



DEVELOPMENT REVIEW

Property address or Location 2111 S US HIGHWAY 1
 Parcel ID #(s) 2415-342-0001-000-8
 Project description Request for site plan approval for a proposed 5,943 sf Wawa Gas Station and Convenience Store with associated improvements.

Morris/Satnick Fort Pierce Associates, LLC
Property Owner(s)
350 Veterans Blvd.
Street Address
Rutherford NJ 07070
City State Zip
(561) 865-9500
Phone Number
peter@peterfeldman.com
Email Address

R.J. Kennedy, P.E. / Authorized Agent / EDC, Inc.
Applicant/Representative, Title, Company
10250 SW Village Parkway, Suite 201
Street Address
Port St. Lucie FL 34987
City State Zip
772-462-2455
Phone Number
rodkenedy@edc-inc.com / patriciasesta@edc-inc.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

[Handwritten Signature]

 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY PALM BEACH
 The foregoing instrument was acknowledged before me this 26th day of February, 2019, by
PETER FELDMAN who is personally known to me or has produced
FL DL HF435-6379-44-4635 exp. 12/23/19 as identification.

[Handwritten Signature]

 Signature of Notary



Amit Patel
 Commission # GG094587
 Expires: April 16, 2021
 Bonded thru Aaron Notary

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Intake Date Stamp



DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input checked="" type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

Site Information:

Existing 80,836 N/A
 Non-Residential: Proposed Sq. Ft.: Add. Proposed: 5,943 sf Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
Commercial	ROW / Commercial	Commercial	Commercial

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- ✓ Complete notarized application
- ✓ Warranty Deed
- ✓ SLC Property Record Card
- ✓ Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- ✓ General location map (see Section 22-58.d.2)
- ✓ Survey (see Section 22-58.d.3)
- ✓ Site Plan (see Section 22-58.d.4)
- ✓ Landscaping Plan (see Section 22-187)
- ✓ Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report Not applicable. Proposing redevelopment of existing site.
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- ✓ Lighting Plan (see Section 22-58.d.8)
- ✓ Design Review submittals (see Design Review application)
- Traffic Impact Report Not applicable. Proposing redevelopment of existing site.
- ✓ Concurrency Review submittals (see Concurrency Review application)



Design Review

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R.J. Kennedy, P.E. / Engineering Design & Construction, Inc.
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Peter Feldman Sec. Vice-President

Property Owner(s) Signature(s)

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 The foregoing instrument was acknowledged before me this 26th day of February, 2019, by
PETER FELDMAN who is personally known to me or has produced

FL DC # FL 125-679-44-463-00 exp. 12/31/19 as identification.

Amit Patel

Signature of Notary



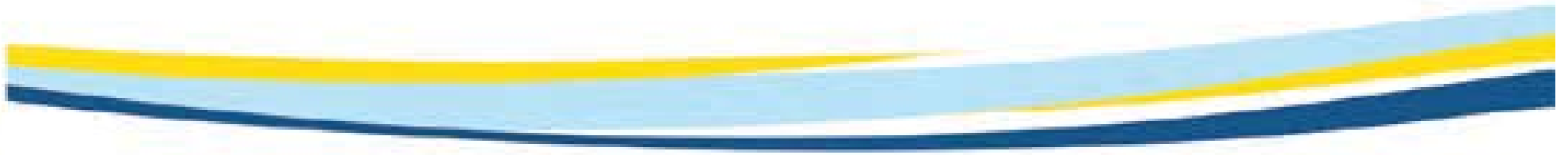
Amit Patel
 Commission # GG094587
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Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

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 Intake Planner _____
 Planner Assigned _____
 Approved _____ Date _____
 Comments _____

Intake Date Stamp



CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Commercial	General Commercial	General Commercial (C3)
South	Commercial	General Commercial	General Commercial (C3)
East	ROW / Commercial	General Commercial	General Commercial (C3)
West	Commercial	General Commercial	General Commercial (C3)

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	General Commercial	C3	242,281 sf	9.27	
**Proposed	General Commercial	C3	242,281 sf	9.27	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 30,285 gpd
**Proposed Zoning/FLU	Total gallons per day 30,285 gpd
Change in Demand	Total gallons per day * No change ***

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 242,228 gpd
**Proposed Zoning/FLU	Total gallons per day 242,228 gpd
**Change in Demand	Total gallons per day ** No Change **

C. Parks and Recreation (Residential Classifications Only): Not Applicable - Commercial (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Not applicable - Commercial Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU Enrollment Demand		
**Proposed Zoning/FLU Enrollment Demand		
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	242,281 sf Maxium Buildout x 0.05 = 12,114 cy
**Proposed Zoning/FLU	242,281 sf Maxium Buildout x 0.05 = 12,114 cy
*Change in Demand	** No Change **

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact	The proposed project will be constructed within the footprint of an existing parking lot and will result in a net decrease of impervious surface. As such, stormwater discharge to existing facilities is anticipated to decrease.
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III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU	0	0
**Proposed Zoning/FLU	4,975	AM 416 / PM 401
*Change in Demand	Trips 1,144 (23% new)	Trips AM 96 / PM 92 (23% new)
Impact to Capacity	Mostly pass-by trips, ITE / FDOT State average assumes 77% (23% new). Sufficient level of service on roads.	

IV. Project Description

PHASING	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units: N/A	Single Family: N/A
Multifamily: N/A	
Non-residential (square footage): 80,836 existing, additional 5,943 sf proposed	
Mixed-use (describe use): N/A	
(If this is a single phase project, name it Phase I – Total)	

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached	N/A				
Single-family, attached	N/A				
Multi-family	N/A				
Other (specify)	N/A				

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
Existing Vacant Commercial Building	I	80,836	9.27	Existing	Existing
Proposed Commercial Building (Wawa)	I	5,943 sf	9.27	September 2019	September 2020

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? N/A
2. What is the current use of the structure to be demolished or re-used? N/A
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)
- C. Exemptions Requested: N/A

** Complete section if requesting a change in zoning, future land use, or expanding

David Baggett

From: Venetia Barnes <vbarnes@cityoffortpierce.com>
Sent: Monday, April 29, 2019 4:43 PM
To: David Baggett
Cc: Rod Kennedy; Tracy Telle; Brandon Creagan; Kori Benton; Kearney, Scott; Peter Feldman
Subject: RE: Wawa @ Gateway Plaza

David,

Thanks again for the information and clarifications. In follow-up of our phone call just now, I reviewed the information and debriefed with the City Engineer. We are going to recommend to Brandon that the project move forward at this time. Comment 1 can be addressed when submitting for building permit. A formal written notification will be issued tomorrow afternoon; the City Engineer is in meetings until then.

Please let me know if you need anything further.

Regards,
Venetia

Venetia Barnes | Stormwater Engineer Manager | City of Fort Pierce

Engineering Department
Phone: 772.467.3783 Fax: 772.460.6847 100 North U.S. 1 Fort Pierce

[Website](#) | [Facebook](#) | [Survey](#)



From: Venetia Barnes
Sent: Monday, April 29, 2019 9:15 AM
To: 'David Baggett' <davidbaggett@edc-inc.com>
Cc: Rod Kennedy <rodkenedy@edc-inc.com>; Tracy Telle <ttelle@city-ftpierce.com>; Brandon Creagan <bcreagan@city-ftpierce.com>; Kori Benton <bentonk@stlucieco.org>; Kearney, Scott <Scott.Kearney@wawa.com>; Peter Feldman <peter@peterfeldman.com>
Subject: RE: Wawa @ Gateway Plaza

David,

Thanks for the information. I will review today.

Regards,
Venetia

Venetia Barnes | Stormwater Engineer Manager | City of Fort Pierce

Engineering Department
Phone: 772.467.3783 Fax: 772.460.6847 100 North U.S. 1 Fort Pierce



From: David Baggett <davidbaggett@edc-inc.com>
Sent: Friday, April 26, 2019 5:30 PM
To: Venetia Barnes <vbarnes@cityoffortpierce.com>
Cc: Rod Kennedy <rodkenedy@edc-inc.com>; Tracy Telle <ttelle@city-ftpierce.com>; Brandon Creagan <bcreagan@city-ftpierce.com>; Kori Benton <bentonk@stlucieco.org>; Kearney, Scott <Scott.Kearney@wawa.com>; Peter Feldman <peter@peterfeldman.com>
Subject: RE: Wawa @ Gateway Plaza

[EXTERNAL EMAIL] Please report any suspicious attachments, links, or requests for sensitive information to IT immediately.

Venetia, per your request please see attached the updated site plan and capacity analysis for land use code 960 generation rates. I have updated using the SF based rates, however 960 can also be calc'd based on number of fueling stations. I have provided both rates attached but the site plan and capacity analysis reflect the greater amount of trips (SF based) for purposes of our coordination. If you'd prefer use to use the fueling stations I can revised.

Based on the revised calcs we are still below 100 new peak hr trips. I have also attached the most recent Level of Service report for US-1 and Virginia from Fall 2018. The 100 new trips per hour would not be anticipated to cause a substantial impact to the current volumes during the AM or PM peak when compared to the peak service capacity volumes.

Thank you for all of your assistance and look forward to catching up on Monday.

David C. Baggett, P.E.
Project Manager | Engineering Division



ENGINEERS ♻️ **SURVEYORS** ♻️ **ENVIRONMENTAL**

10250 SW Village Parkway - Suite 201

Port Saint Lucie, Florida 34987

O: 772.462.2455

DavidBaggett@EDC-Inc.com | www.EDC-Inc.com

♻️ Think before you print.

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From: David Baggett
Sent: Friday, April 26, 2019 12:51 PM
To: Venetia Barnes <vbarnes@cityoffortpierce.com>
Cc: Rod Kennedy <rodkenedy@edc-inc.com>; Tracy Telle <ttelle@city-ftpierce.com>; Brandon Creagan

Super Convenience Market/Gas Station (960)

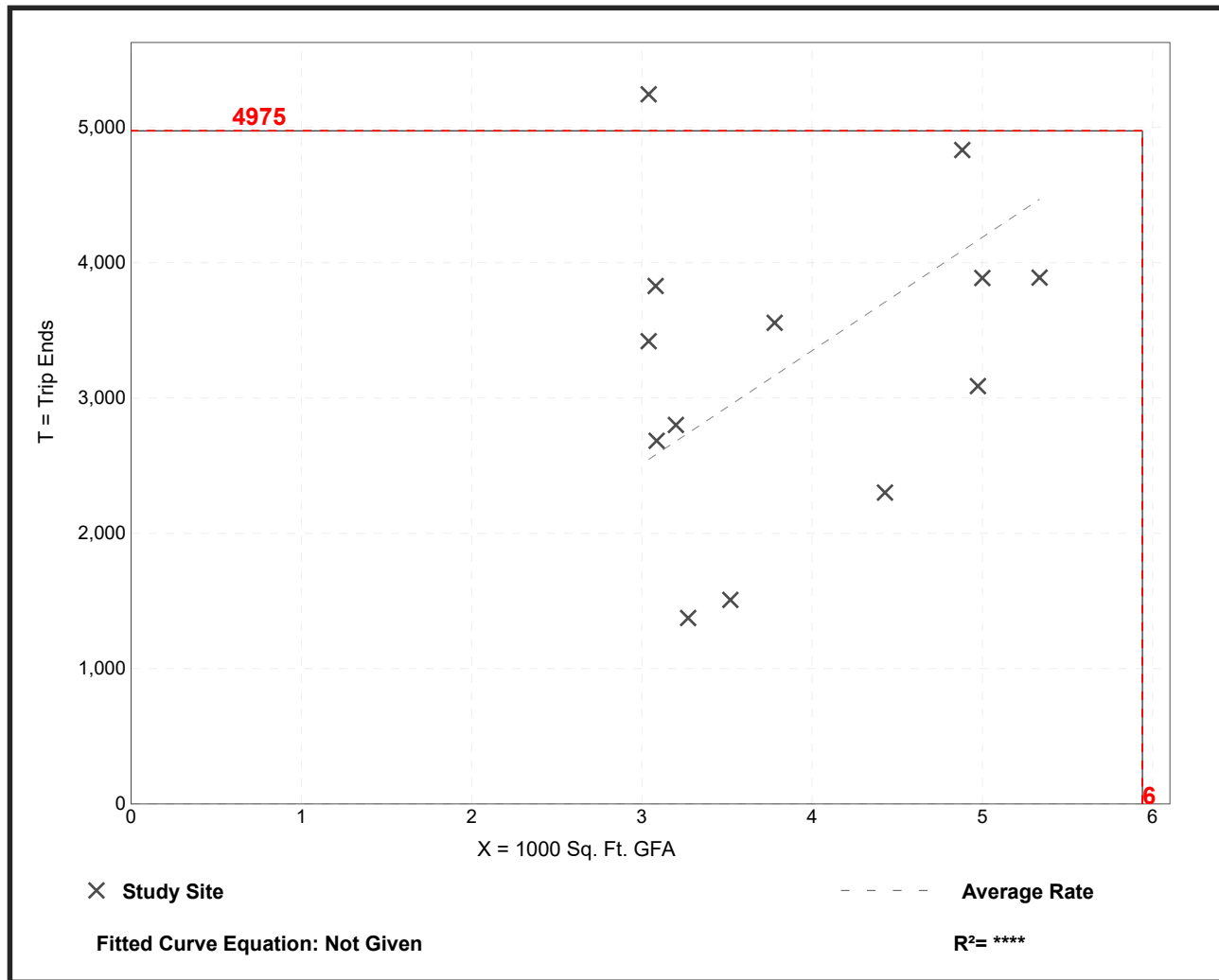
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 13
Avg. 1000 Sq. Ft. GFA: 4
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
837.58	419.93 - 1725.33	334.67

Data Plot and Equation



Trip Generation Manual, 10th Edition • Institute of Transportation Engineers

Super Convenience Market/Gas Station (960)

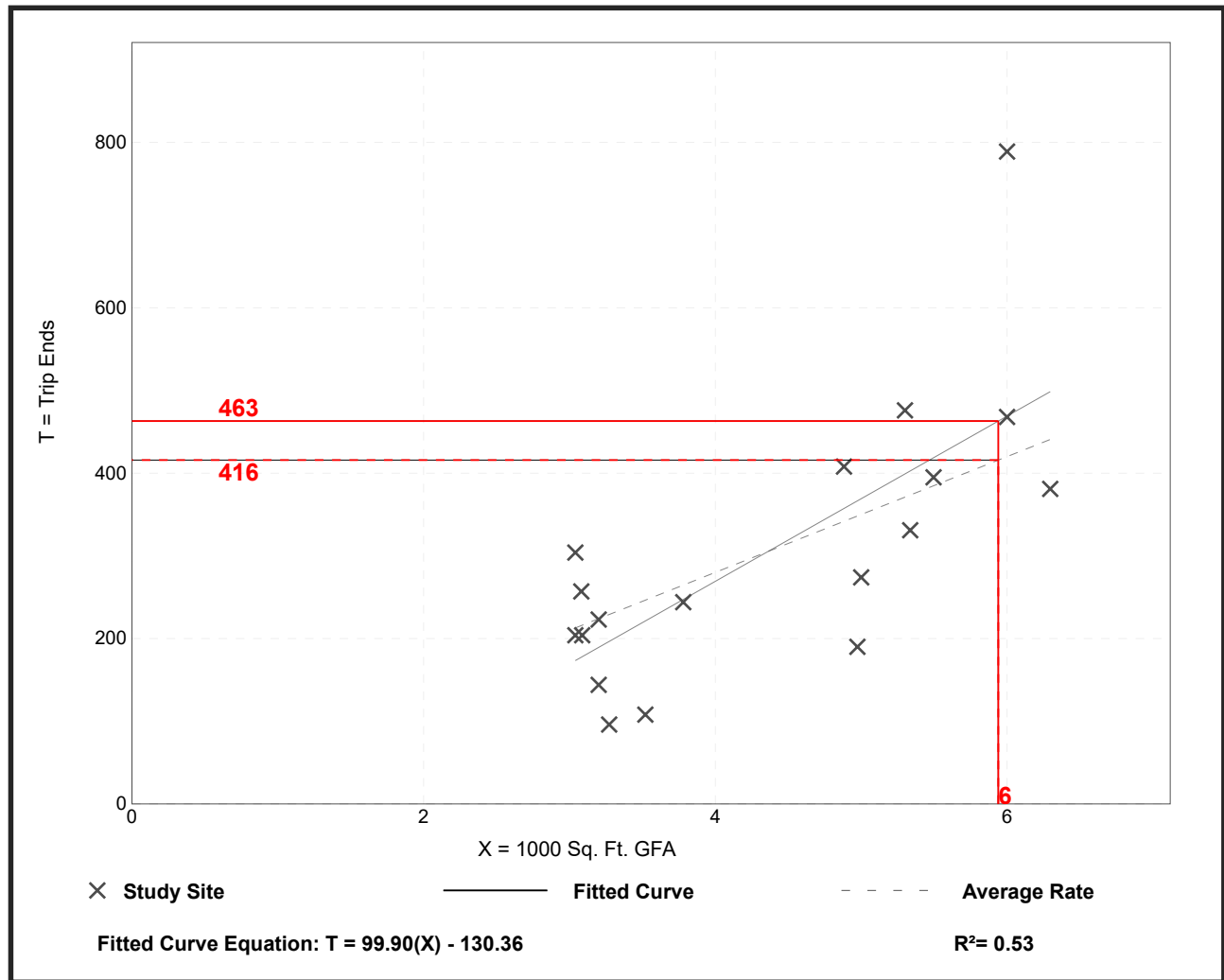
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 18
 Avg. 1000 Sq. Ft. GFA: 4
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
70.01	29.34 - 131.50	25.84

Data Plot and Equation



Trip Generation Manual, 10th Edition • Institute of Transportation Engineers

Super Convenience Market/Gas Station (960)

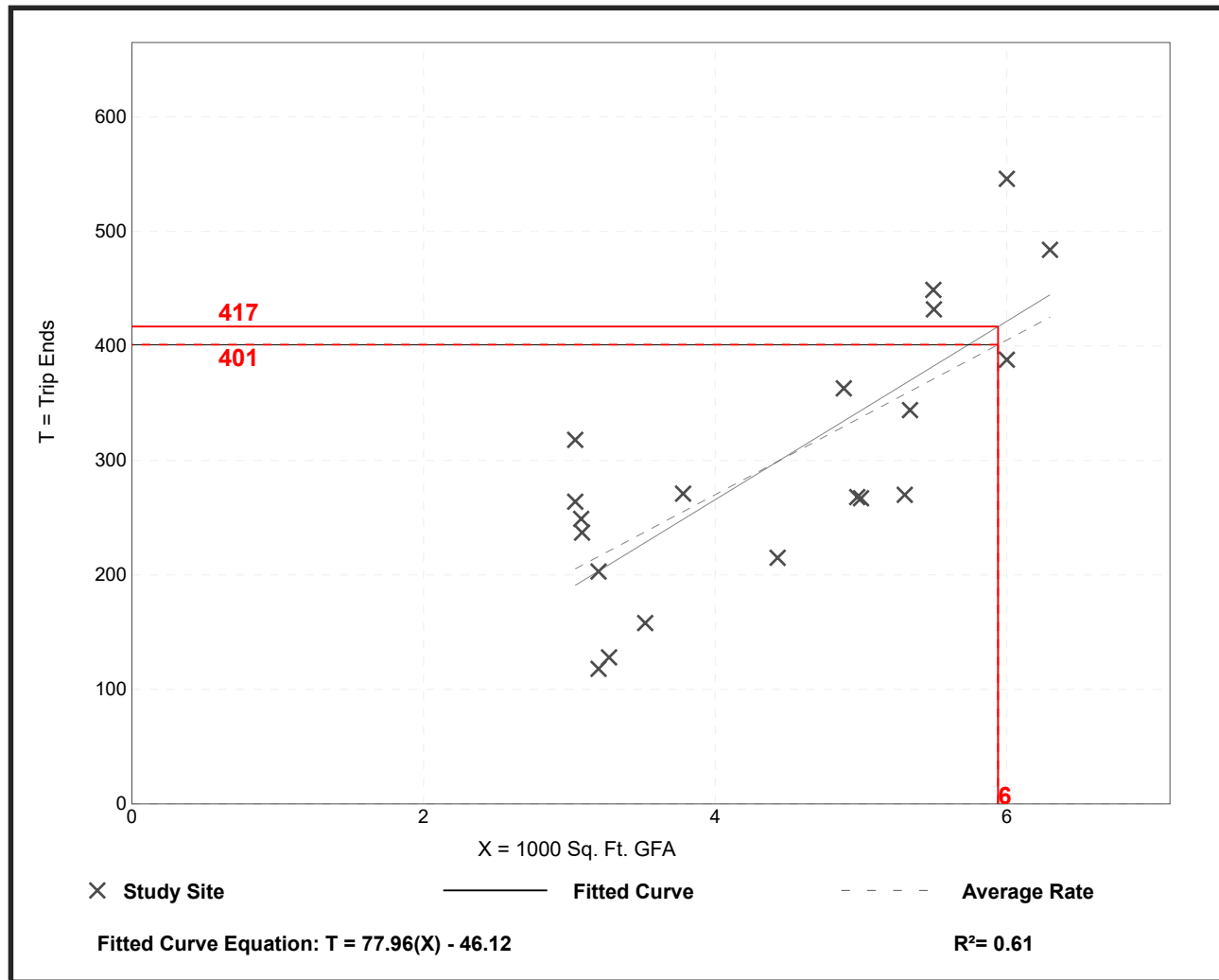
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 20
 Avg. 1000 Sq. Ft. GFA: 4
 Directional Distribution: 50% entering, 50% exiting

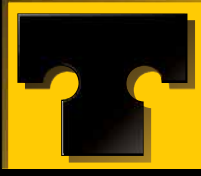
Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
67.53	36.88 - 104.61	17.12

Data Plot and Equation



Trip Generation Manual, 10th Edition • Institute of Transportation Engineers


THOMAS
SIGN & AWNING CO INC
4590 118TH Avenue North
Clearwater, Florida 33762
800-526-3325




Wawa

Wawa #5387 • U.S. 1 & Virginia Ave

Ft. Pierce, FL 34950

D. N. 78541 • PID: 83176 • February 18, 2019



Jurisdiction: Ft. Pierce
Zone: C3

Location:

Wawa #5387

U.S. 1 & Virginia Ave
Ft. Pierce FL 34950

Code and information sheet

Wall signage:

Sign code:

1 wall sign located on main street wall face of building NTE 20% of the total wall face area fronting the main street
Up to 50% of permitted sign area can be located on other wall faces.
PERMITTED SIGN AREA: 22'4" X 107'1" = 2391.52 X 20% - 478.30 SF for all wall signs
50% for all other elevations = 239.15 SF sign area
1 rear wall entrance sign per tenant NTE 6 SF in area
Calculate SF within 1 single continuous perimeter using squares, rectangles or other geometric figures enclosing the extreme limits of all elements.
18" maximum projection from the wall

Proposed signage:

44" Channel letters w/goose logo Front (East) Elevation
31" Channel letters w/goose logo Right (North) Elevation
35" Channel letters w/goose logo Left (South) Elevation
35" Channel letters w/goose logo Rear (West) Elevation

Free Standing signage

Sign code:

1 street frontage sign per lot w/60' or more of street frontage;
NTE 1 SF for each 1 LF of main street lot frontage to a Maximum of 200 SF
Structures on outparcel w/a single tenant having 60' of frontage or more shall be permitted a Separate ground sign subject to the restrictions above.
County only 1 side of sign for total SF
Calculate entire area within and enclosed by exterior perimeter of all cabinets in a single continuous geometric figure including decorative embellishments and border or roof treatments.
Max height: 10' for sites less than 3 acres. Code does not stipulate how to calculate height.
Setback: 5' from any public ROW line from leading edge of the sign (pad)
Visibility Triangle: 10' for intersection of ROW and driveway edge
Count only 1 side of the sign for sign area

Proposed signage:

1 Custom M50 Monument Sign @ 10' OAH

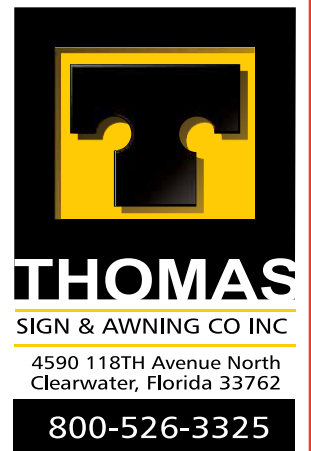
Canopy signage

Sign code:

Code does not specify regarding gas canopies. Using available wall sign area from building.

Proposed signage:

1 Gas Canopy sign
2 gas canopy spanners with copy
16 Gas Pump Indicators





THOMAS

SIGN & AWNING CO INC

4590 118TH Avenue North
Clearwater, Florida 33762

800-526-3325

www.thomassign.com

CLIENT

WAWA #5387

Design Number:

78541

Installation Address:

U.S. 1 & Virginia Ave

Ft. Pierce, FL

34950

Project Identity Number:

83176

Sales Associate: Project Team:

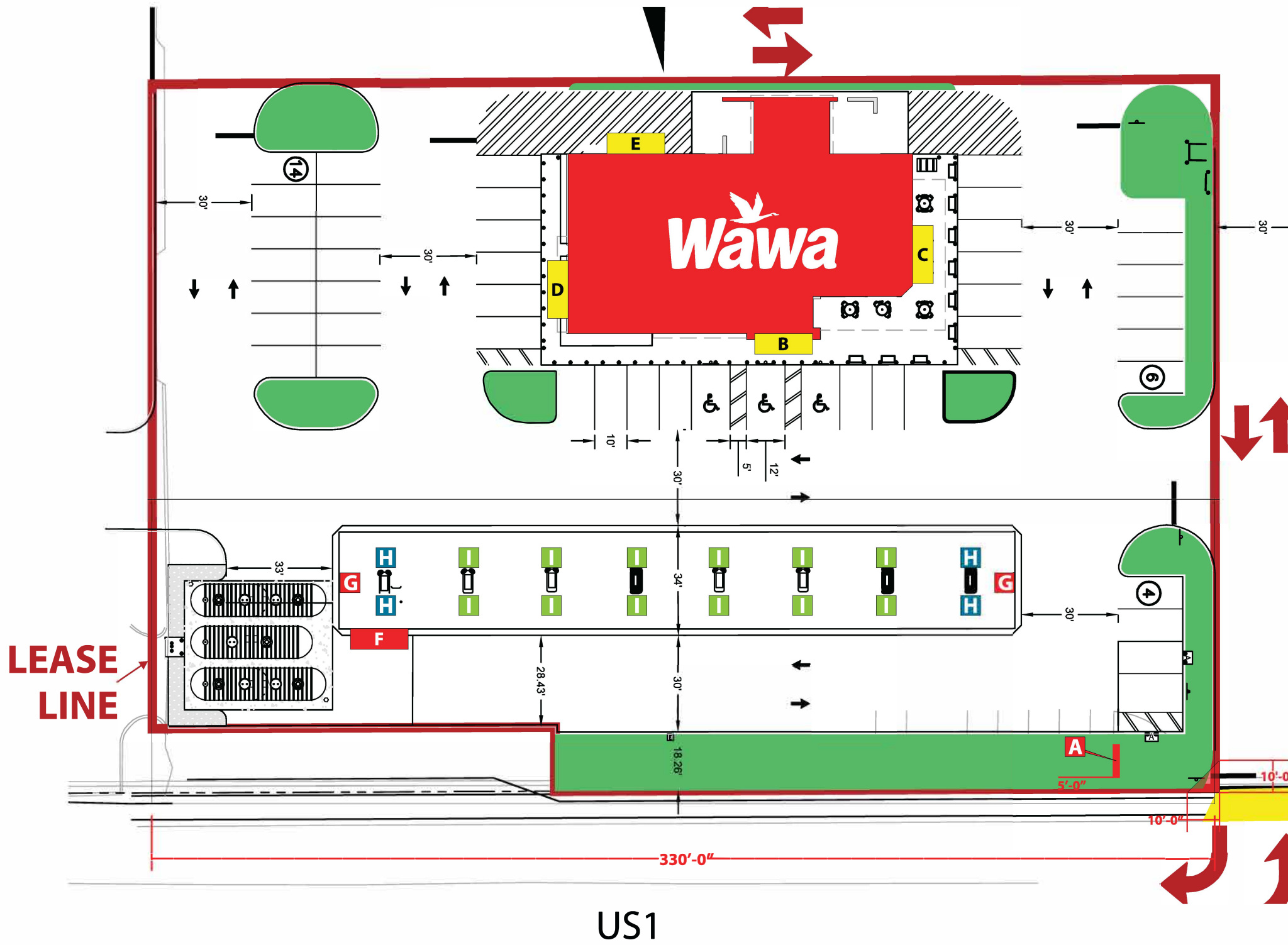
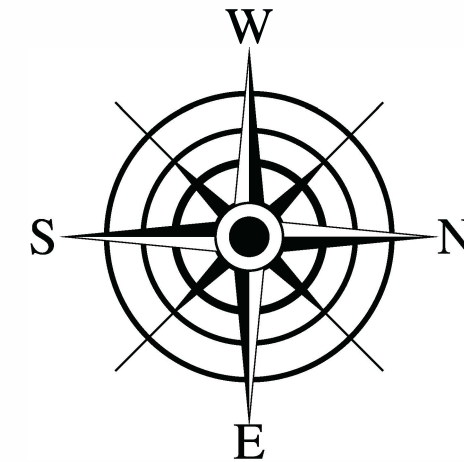
TSA BB

Designer: Date:

MBV 02.18.19

Project Updates:

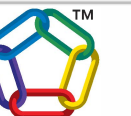
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LEGEND	
A)	CUSTOM M50 MONUMENT @ 10' OAH 65.91 SF
B)	44" CHANNEL LETTERS AND GOOSE LOGO (51.32 SF) FRONT (EAST) ELEVATION
C)	31" CHANNEL LETTERS AND GOOSE LOGO (25.87SF) RIGHT (NORTH) ELEVATION
D)	35" CHANNEL LETTERS AND GOOSE LOGO (33.13SF) LEFT (SOUTH) ELEVATION
E)	35" CHANNEL LETTERS AND GOOSE LOGO (33.13SF) REAR (WEST) ELEVATION
F)	GAS CANOPY SIGN (9.06 SF)
G)	CANOPY SPANNERS QTY: 2 (6.04 SF)
H)	PUMP INDICATORS 3+1+1 QTY: 4
I)	PUMP INDICATORS 3+1 QTY:12

Site Plan with signage location

SCALE: 1" = 450"



3M™ MCS™ Warranty

Approval:

Approved

DATE:

Approved as noted

DATE:

Revise & Re-Submit

DATE:

The designs, concepts, drawings and specifications provided are the exclusive property of Thomas Sign & Awning Company and may not be reproduced in any way shape or fashion without the express written permission of Thomas Sign & Awning Company

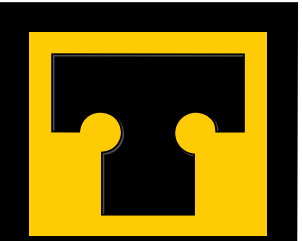
Page

Sheet

2

2 of 11

Local: 727-573-7757
Fax: 727-573-0328



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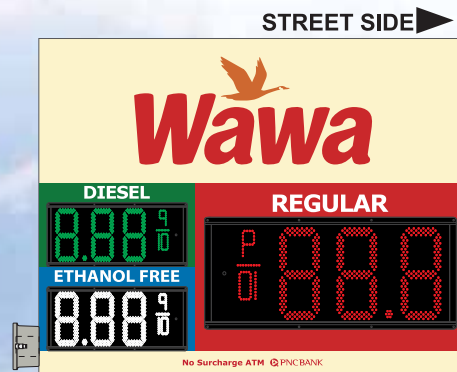
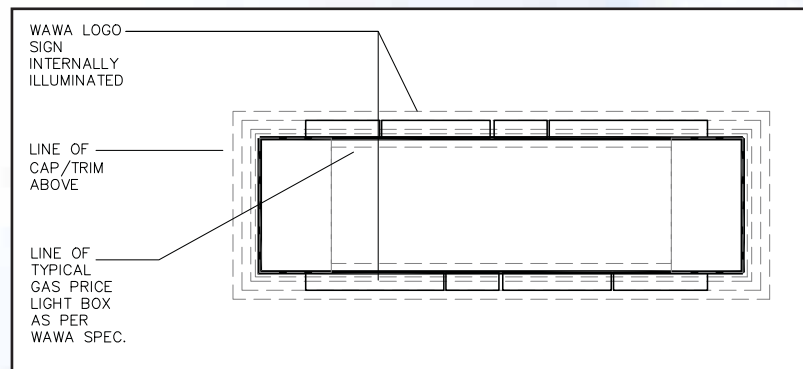
TSA BB

Designer: Date:

MBV 02.18.19

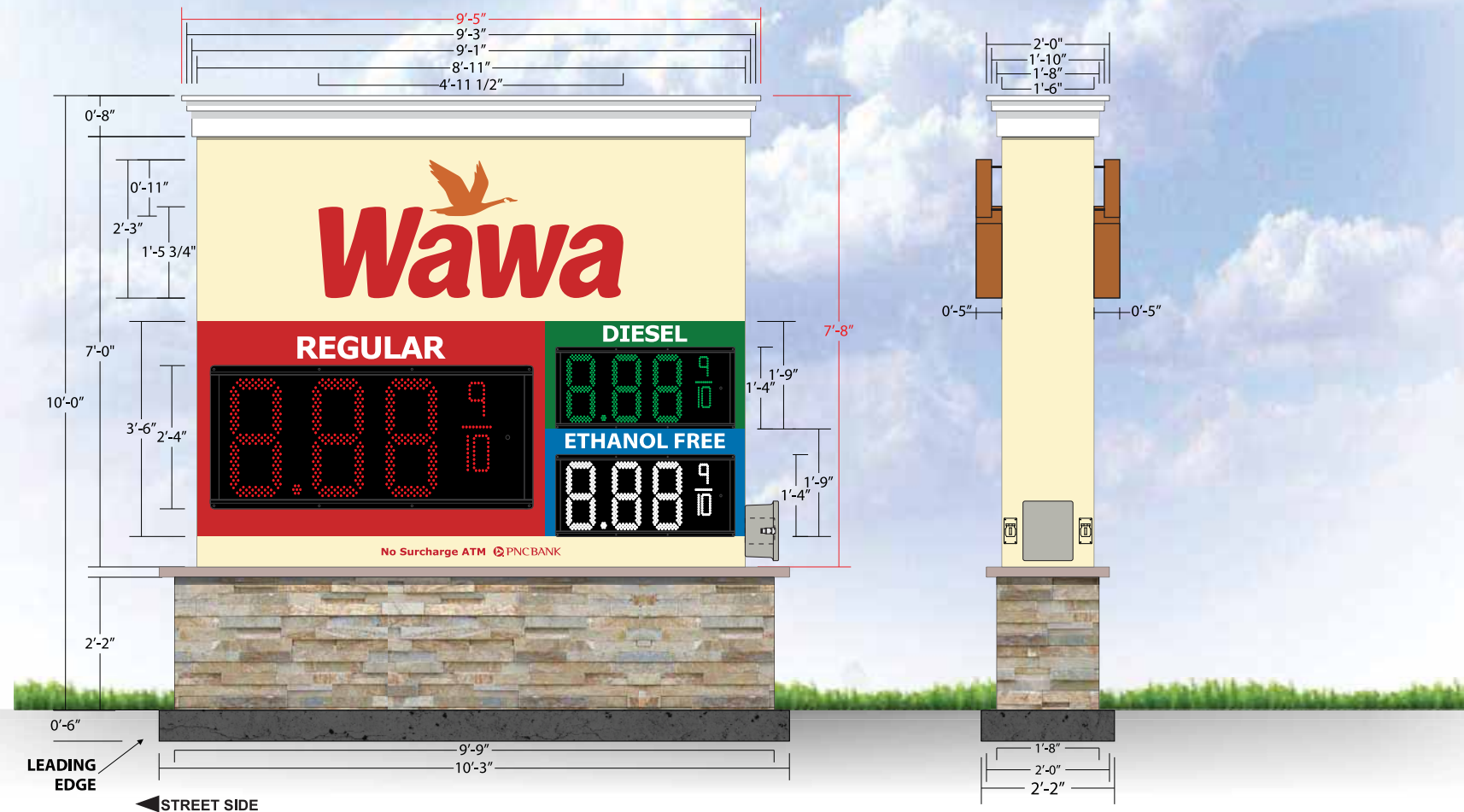
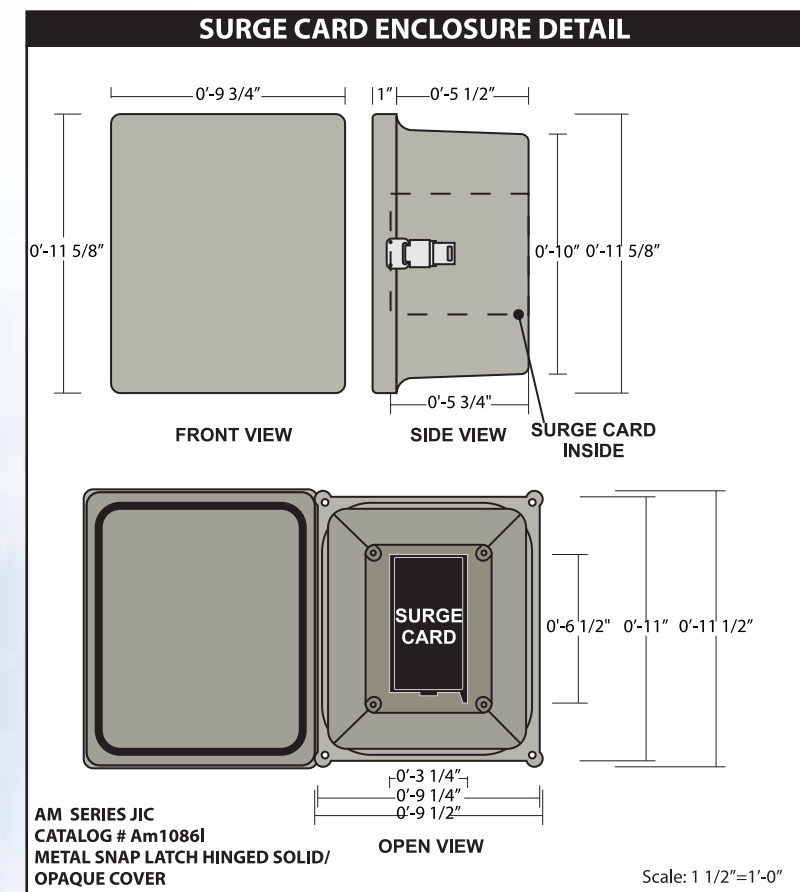
Project Updates:

X



Side B

SCALE: 1/4" = 1'-0"



Color Reference

- RED JEWELITE
- 3M 7725-13 TOMATO RED (EMC BORDER & SURCHARGE NOTICE)
- 3M 7725-46 KELLY GREEN (EMC BORDER)
- 3M 7725-57 OLYMPIC BLUE (EMC BORDER)
- 3M 7725-10 WHITE (FUEL GRADES)
- #2783 RED FLAT ACRYLIC FACES (CHANNEL LETTERS)
- PAINT TO MATCH PMS 876C METALLIC COPPER WITH GLOSS FINISH (RETURNS)
- PAINT TO MATCH PMS 7401C WITH SATIN FINISH (PYLON STRUCTURE)
- WHITE PAINT WITH SATIN FINISH (DECORATIVE CAP AND TRIM)
- LIMESTONE CAP BY OTHERS
- STONE BASE BY OTHERS

SCALE: 3/8" = 1'-0"

A Custom M50 DF Monument Sign @ 10'-0" OAH

- 2'-4" x 5'-3" Gas Price Display, FL-3000-24-D
- 1'-4" x 2'-11" Gas Price Display, FL-3000-12-DI
- 7'-0" x 9'-5" = 65.91 Sq. Ft. Monument face
- TOTAL: 65.91**



3MTM MCSTM Warranty

Approval:

- Approved
DATE:
- Approved as noted
DATE:
- Revise & Re-Submit
DATE:

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Page Sheet

4 4 of 11

Local: 727-573-7757
Fax: 727-573-0328



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CLIENT

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Installation Address:

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Sales Associate: Project Team:

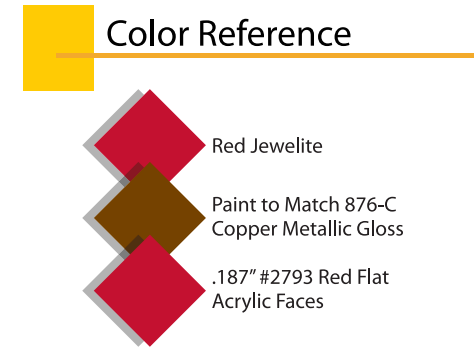
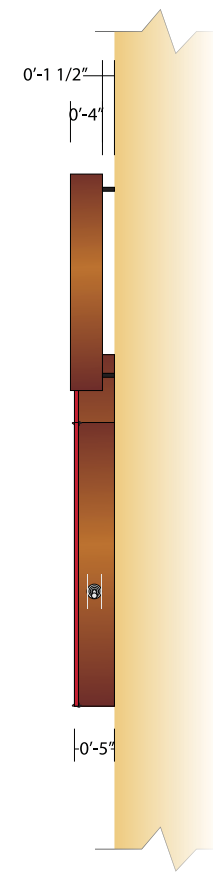
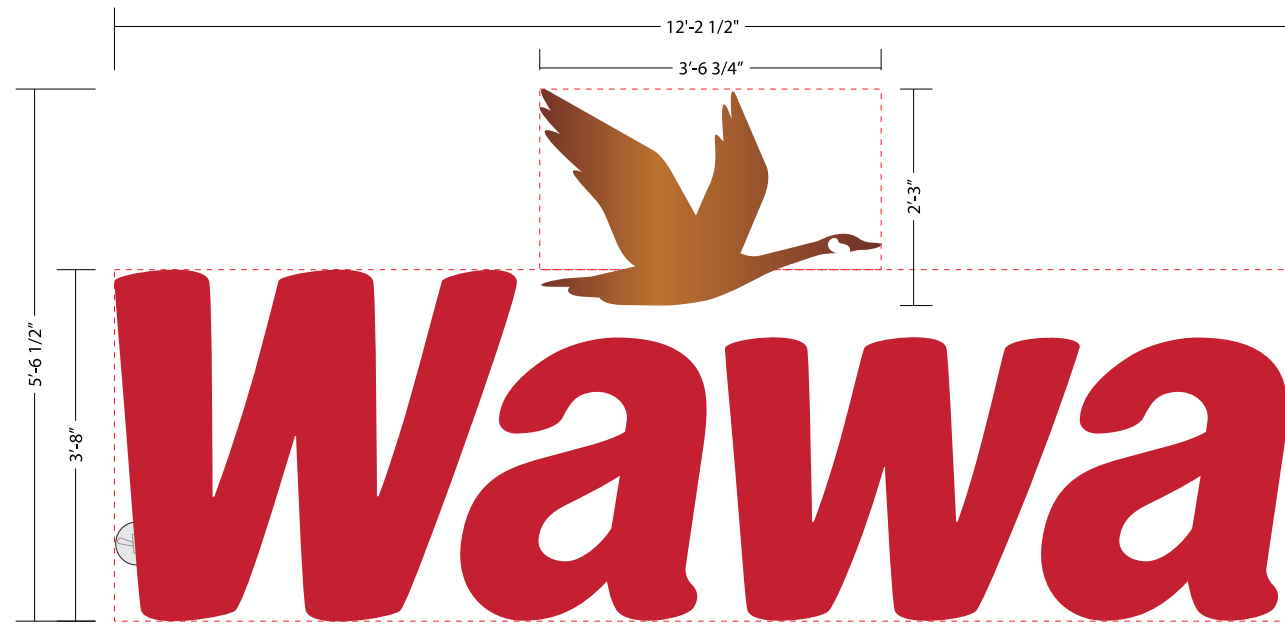
TSA BB

Designer: Date:

MBV 02.18.19

Project Updates:

X



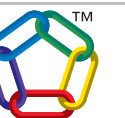
B 44" LED Channel Letters & Halo Lit Logo - Remote Transformers
 3.56' X 1.875' = 6.67 SF
 12.20' X 3.66' = 44.65 SF
 TOTAL = 51.32 SF

SCALE: 1/2" = 1'-0"

TOTAL SF ALLOWED
 22'-4" X 107'-1" = 2391.52 X 20% = 478.30 SF
 50% = 239.15 SF



THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



3MTM MCSTM Warranty

Approval:

Approved

DATE:

Approved as noted

DATE:

Revise & Re-Submit

DATE:

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5 of 11

Local: 727-573-7757
 Fax: 727-573-0328

Proposed Condition - Front (East) Elevation

Scale: 3/32"=1'-0"

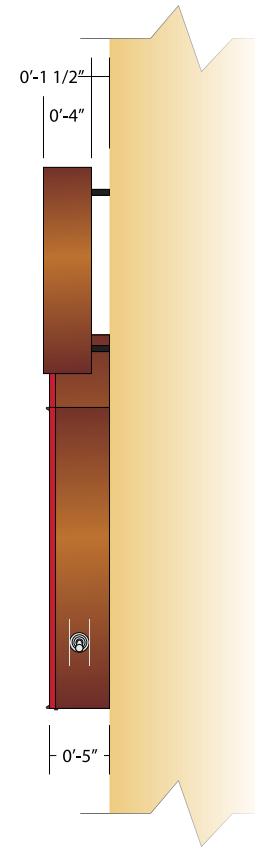
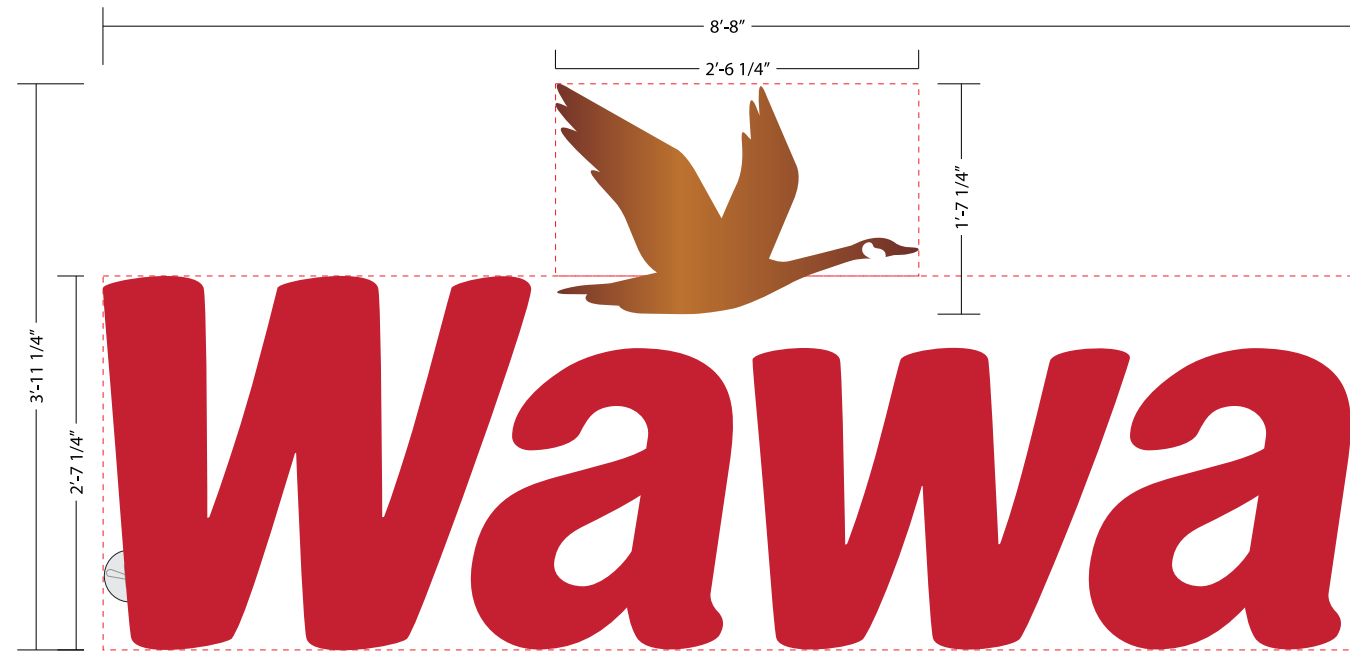


THOMAS
SIGN & AWNING CO INC
4590 118TH Avenue North
Clearwater, Florida 33762
800-526-3325
www.thomassign.com

CLIENT
WAWA #5387
Design Number:
78541
Installation Address:
U.S. 1 & Virginia Ave
Ft. Pierce, FL
34950
Project Identity Number:
83176

Sales Associate:	Project Team:
TSA	BB
Designer:	Date:
MBV	02.18.19

Project Updates:
X



Color Reference

- Red Jewelite
- Paint to Match 876-C Copper Metallic Gloss
- .187" #2793 Red Flat Acrylic Faces

C 31" LED Channel Letters & Halo Lit Logo - Remote Transformers
 2.52' X 1.33' = 3.35 SF
 8.66' X 2.60' = 22.52 SF
 TOTAL = 25.87 SF

SCALE: 3/4" = 1'-0"



Proposed Condition - Right (North) Elevation

Scale: 3/32"=1'-0"



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3M™ MCS™ Warranty

Approval:

Approved

DATE:

Approved as noted

DATE:

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DATE:

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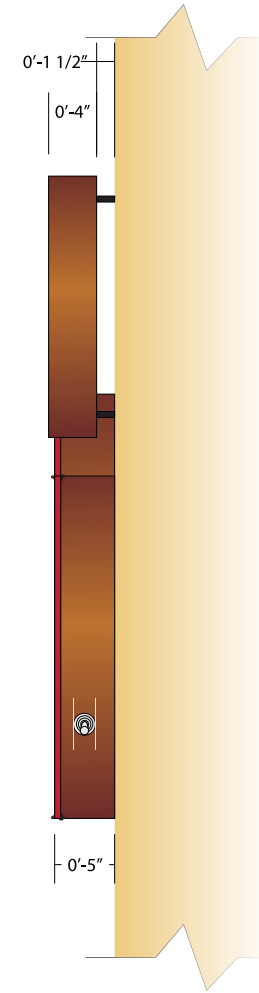
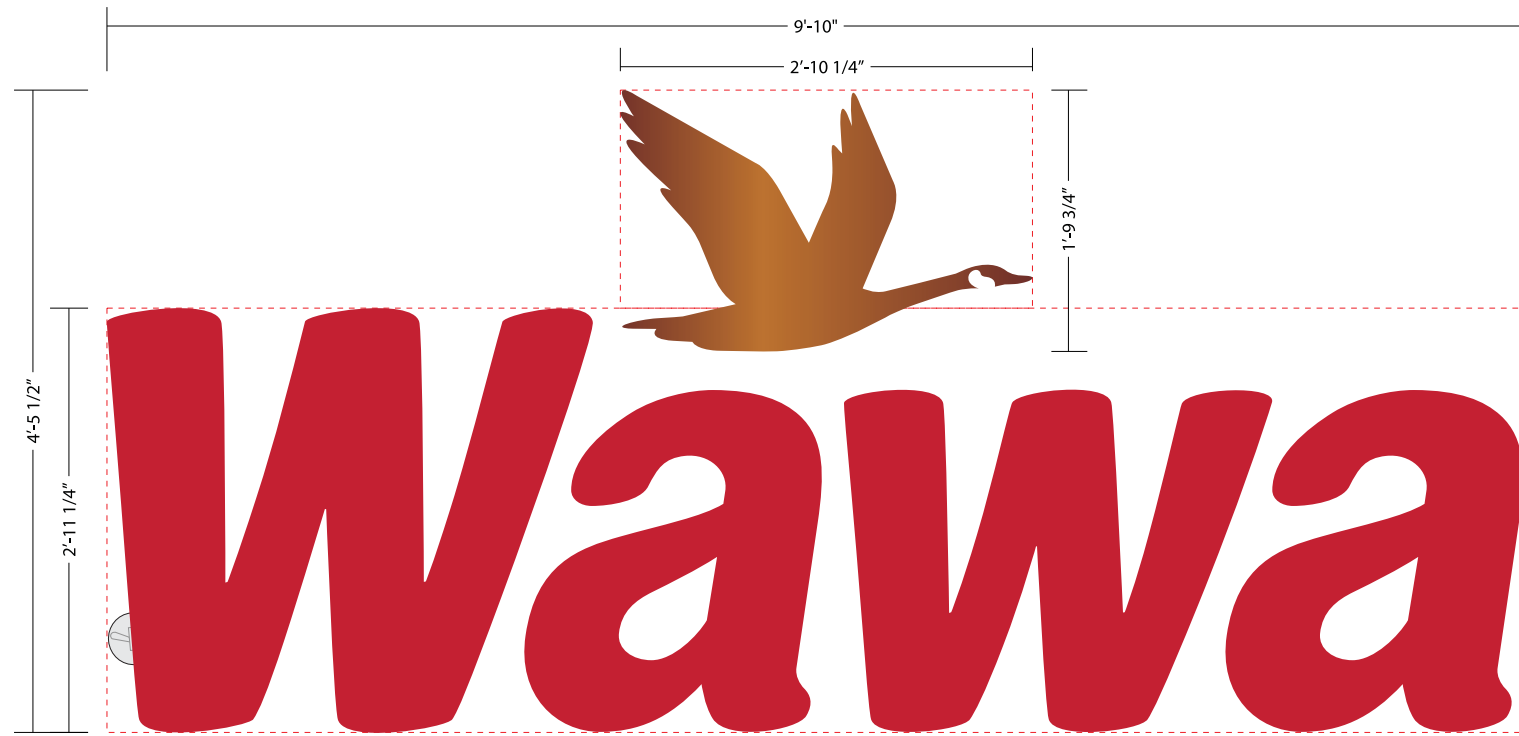
Sales Associate: Project Team:

TSA BB

Designer: Date:

MBV 02.18.19

Project Updates:
X



Color Reference

- Red Jewelite
- Paint to Match 876-C Copper Metallic Gloss
- .187" #2793 Red Flat Acrylic Faces

D 35" LED Channel Letters & Halo Lit Logo - Remote Transformers

2.85' X 1.52' = 4.33 SF
9.83' X 2.93' = 28.80 SF
TOTAL = 33.13 SF

SCALE: 3/4" = 1'-0"

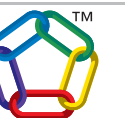


Proposed Condition - Left (South) Elevation

Scale: 3/32"=1'-0"



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3MTM MCSTM Warranty

Approval:

Approved

DATE:

Approved as noted

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CLIENT

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Ft. Pierce, FL
34950

Project Identity Number:
83176

Sales Associate: Project Team:

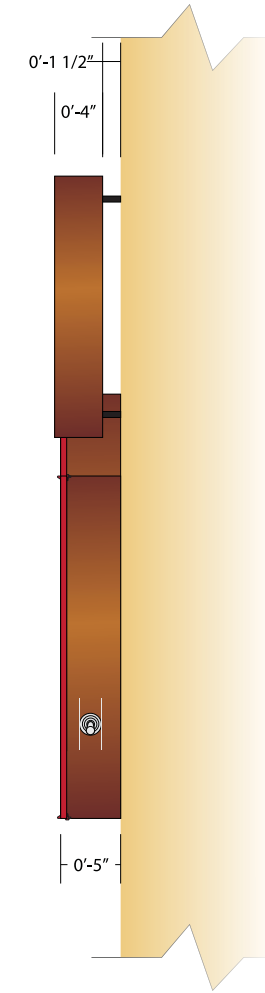
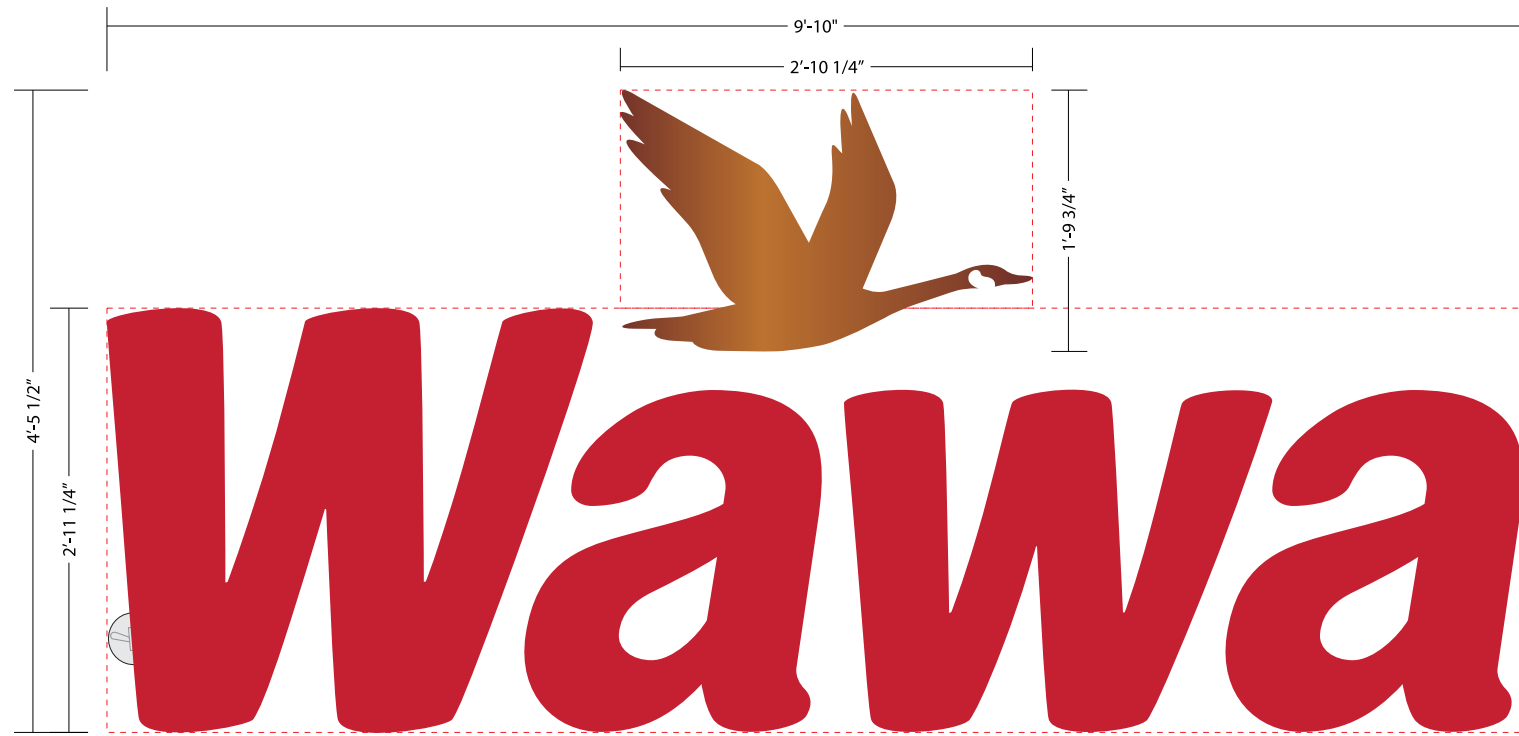
TSA BB

Designer: Date:

MBV 02.18.19

Project Updates:

X



Color Reference

- Red Jewelite
- Paint to Match 876-C Copper Metallic Gloss
- .187" #2793 Red Flat Acrylic Faces

E 35" LED Channel Letters & Halo Lit Logo - Remote Transformers
 2.85' X 1.52' = 4.33 SF
 9.83' X 2.93' = 28.80 SF
 TOTAL = 33.13 SF
 SCALE: 3/4" = 1'-0"



Proposed Condition - Rear (West) Elevation

Scale: 3/32"=1'-0"

UL Underwriters Laboratories, Inc.
 LISTING E89514
ELECTRIC SIGN
 COMPLIES TO UL 48

THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



3M™ MCS™ Warranty

Approval:

- Approved
DATE: _____
- Approved as noted
DATE: _____
- Revise & Re-Submit
DATE: _____

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THOMAS

SIGN & AWNING CO INC
4590 118TH Avenue North
Clearwater, Florida 33762

800-526-3325

www.thomassign.com

CLIENT

WAWA #5387

Design Number:
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Installation Address:
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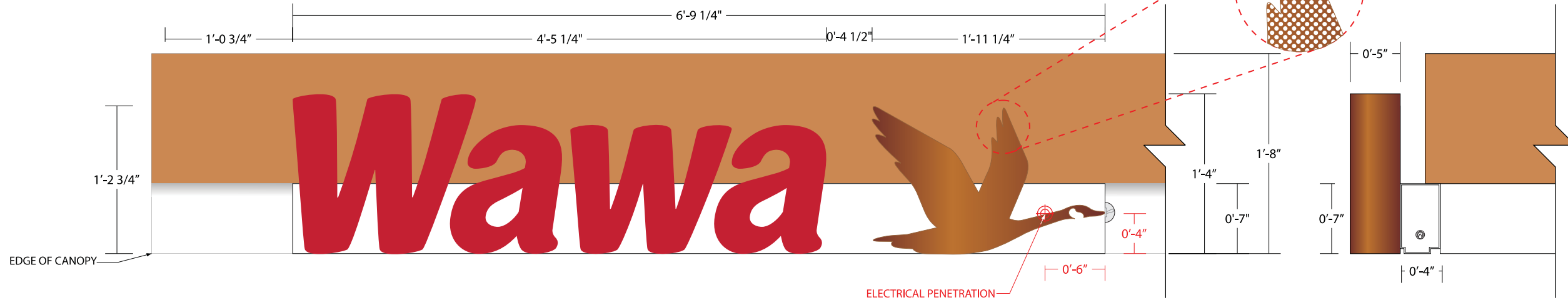
Sales Associate: Project Team:

TSA BB

Designer: Date:

MBV 02.18.19

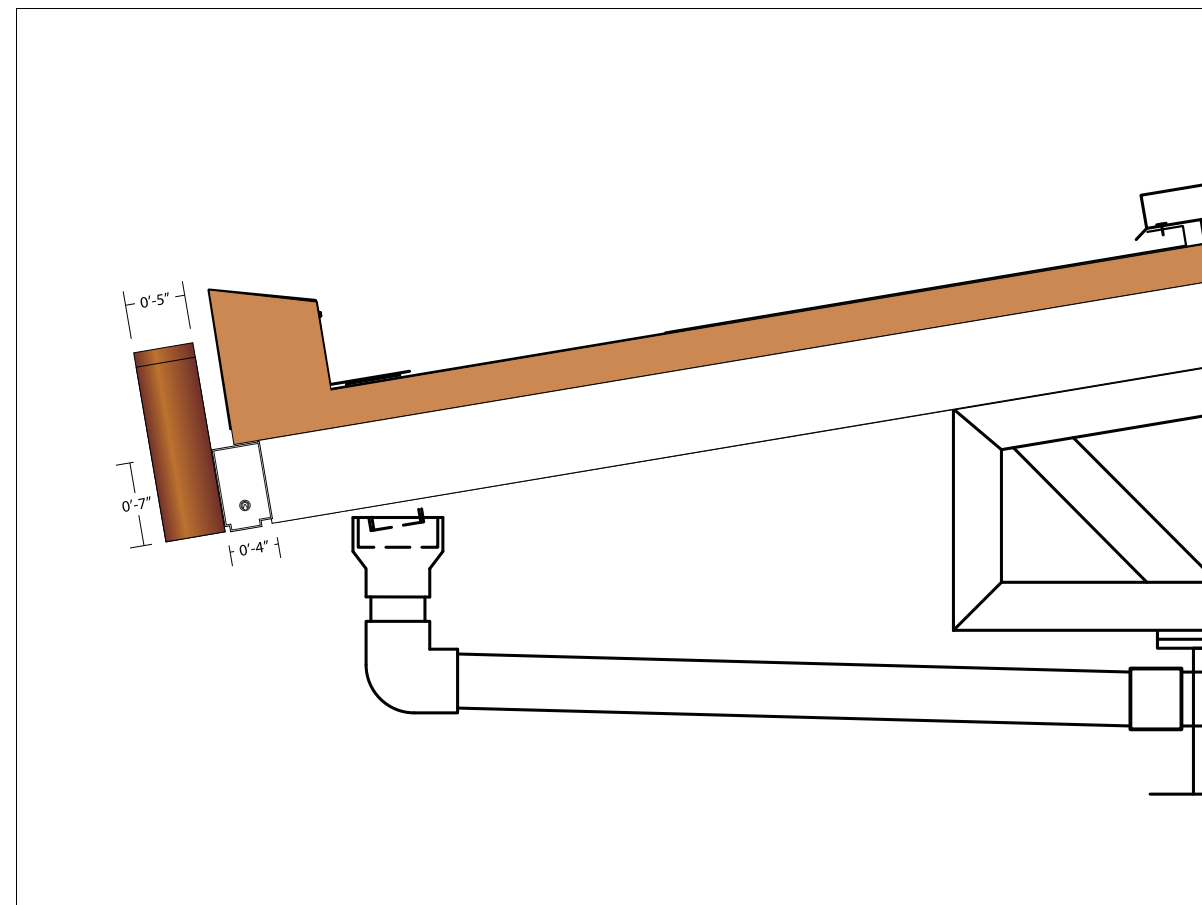
Project Updates:
X



F 5" Deep Front Lit LED Illuminated Letters & Logo (on 4" x 7" Extruded Raceway) - Left Side

SCALE: 1" = 1'-0"
SQ FT: 9.02'

Color Reference



Self-Contained Flush Mount Canopy Sign (Side View)

Scale: 3/4" = 1'-0"



LISTING E89514
ELECTRIC SIGN
COMPLIES TO UL 48

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Approval:

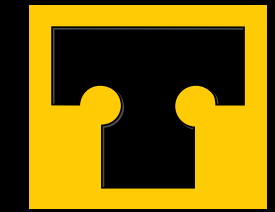
- Approved
DATE: _____
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- Revise & Re-Submit
DATE: _____

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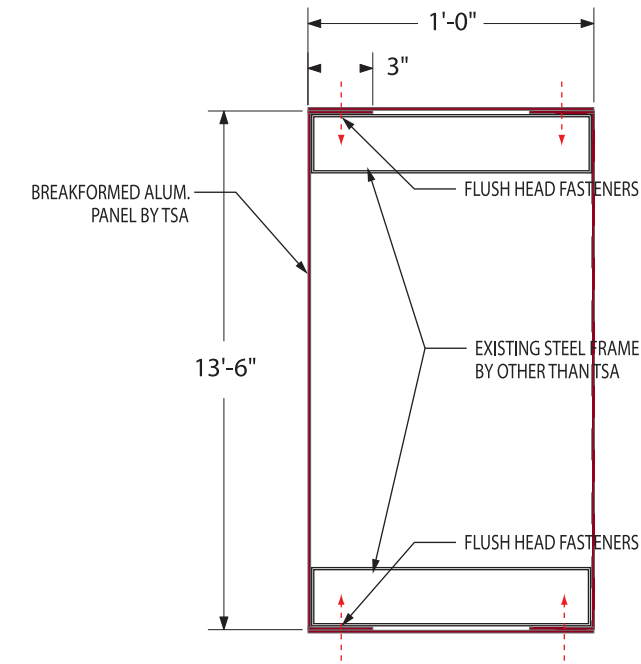
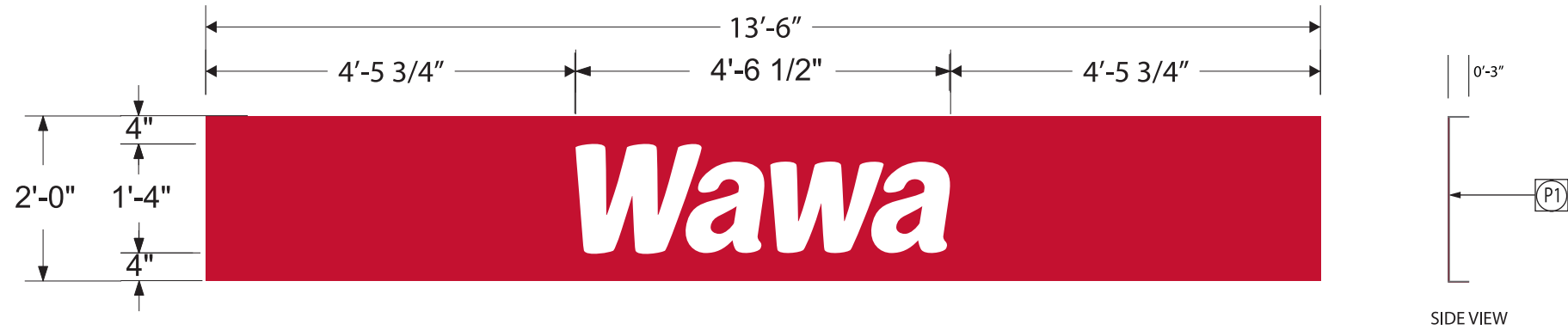
TSA BB

Designer: Date:

MBV 02.18.19

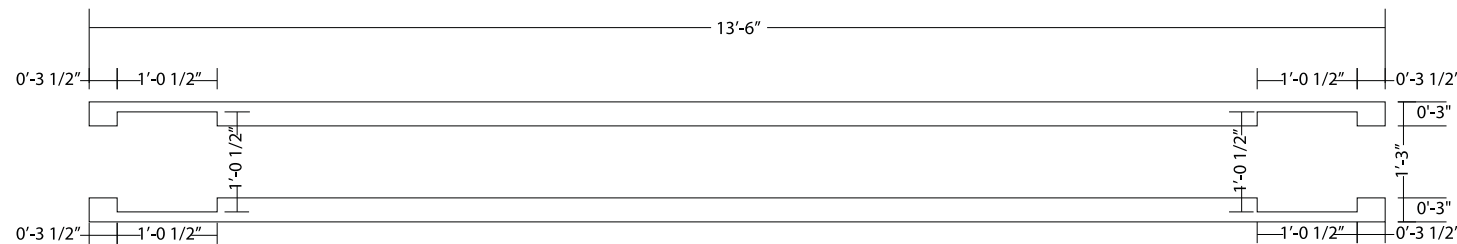
Project Updates:

X



G S/F Brakeformed Alum. Gas Pump Canopy Spanner Panel - QTY: 2
COPY AREA = 6.04 SF

SCALE: 1/2" = 1'-0"



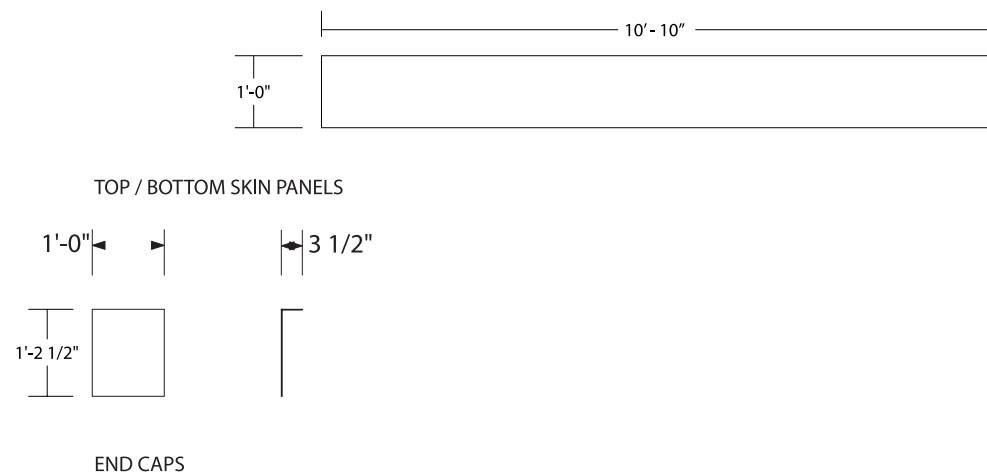
Mounting Detail - Typ.

SCALE: NTS

Top View - Section Detail

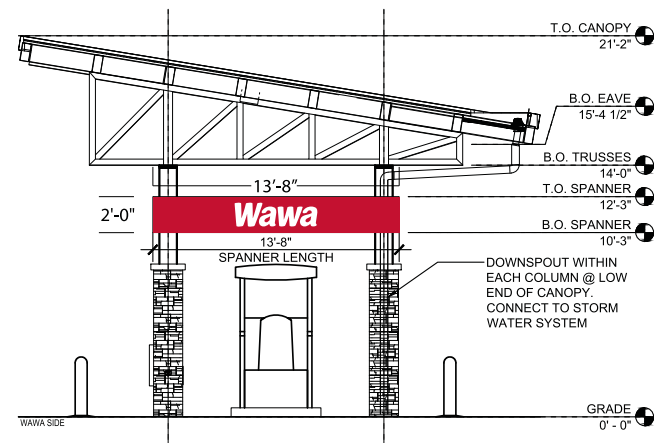
SCALE: 1/2" = 1'-0"

Panels to be secured top & bottom around periphery of panel to existing structure / frame every 16" c/c with #8 x 3/4" S.S. tek screws.

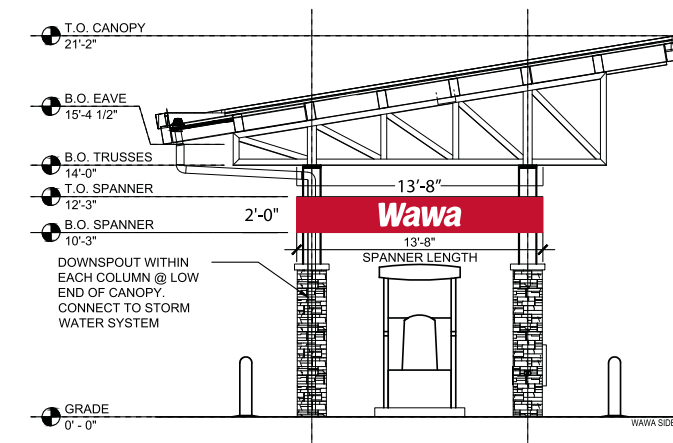


Top / Bottom Skin & Brakeformed End Caps

SCALE: 3/8" = 1'-0"



Pump Elevation View



SCALE: 3/32" = 1'-0"



3MTM MCSTM Warranty

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Approved as noted

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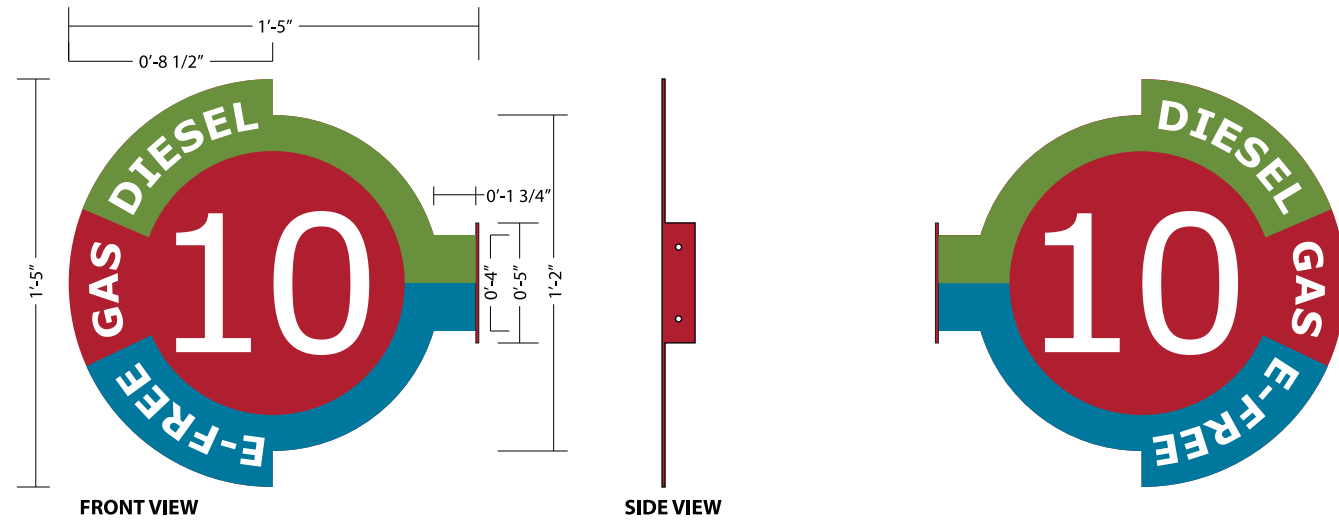
Sales Associate: Project Team:

TSA BB

Designer: Date:

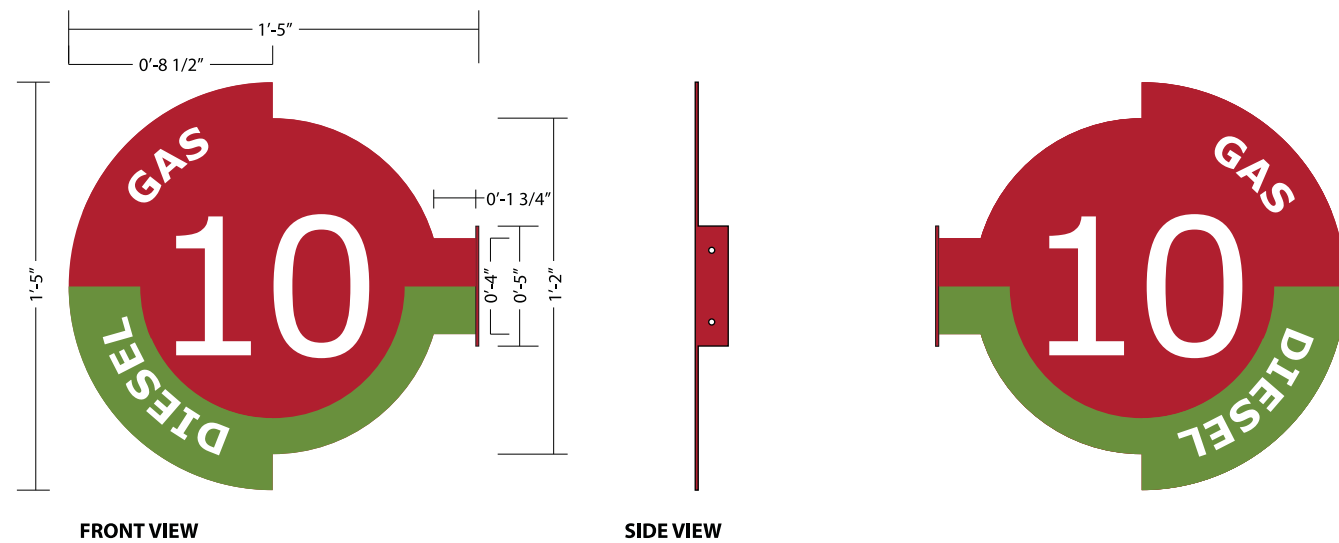
MBV 02.18.19

Project Updates:
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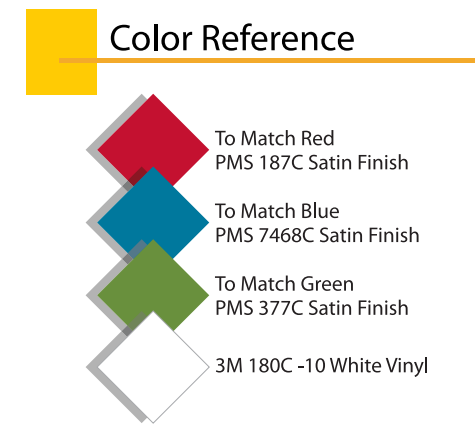
H Double Sided Pump Indicator Sign (3+1+1) - Qty. = 4
Font Used: Verdana Regular

SCALE: 1-1/2" = 1'-0"



I Double Sided Pump Indicator Sign (3+1) - Qty. = 12
Font Used: Verdana Regular

SCALE: 1-1/2" = 1'-0"



3M™ MCS™ Warranty

Approval:

Approved

DATE:

Approved as noted

DATE:

Revise & Re-Submit

DATE:

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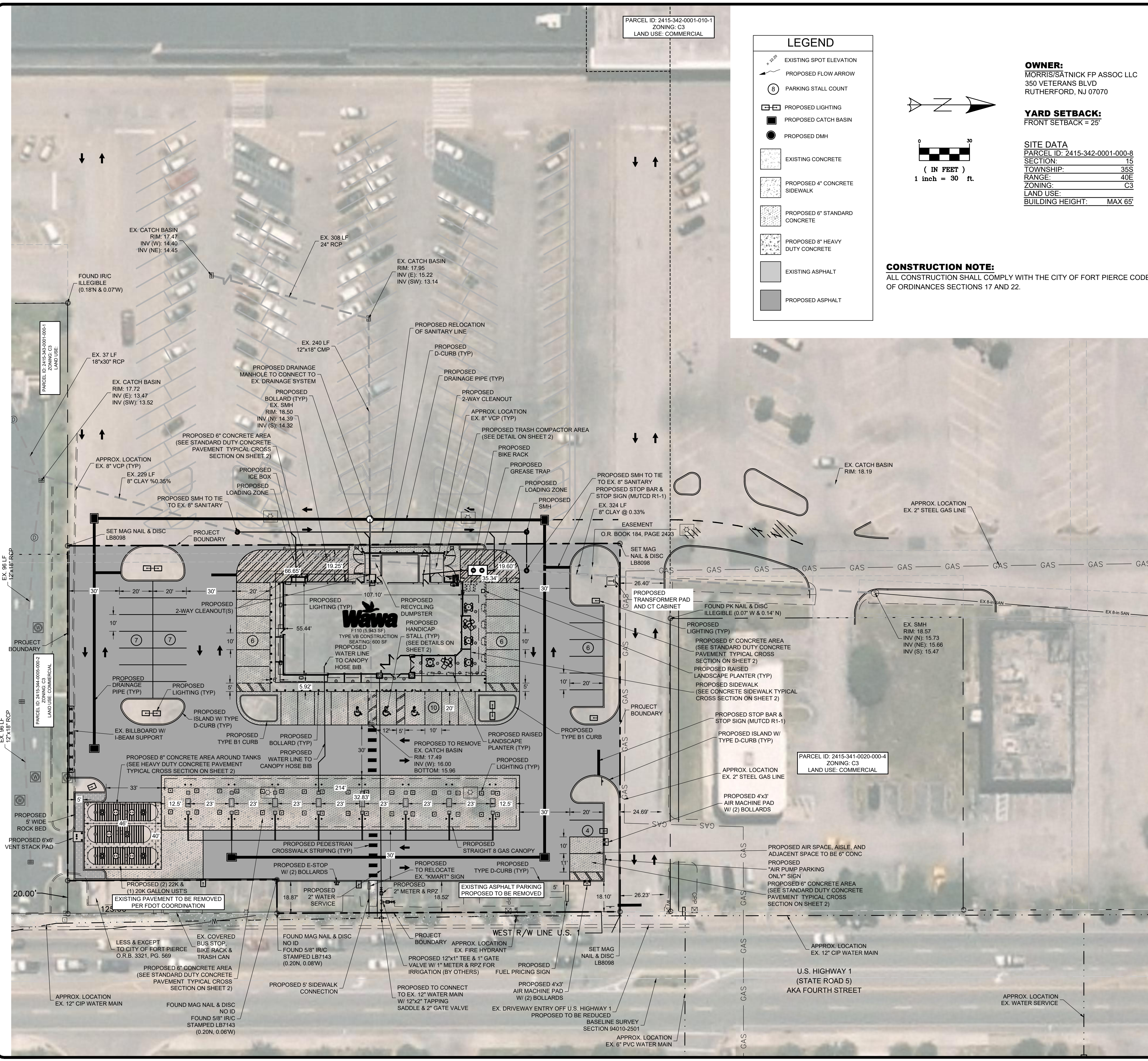
Page Sheet

11

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Fax: 727-573-0328

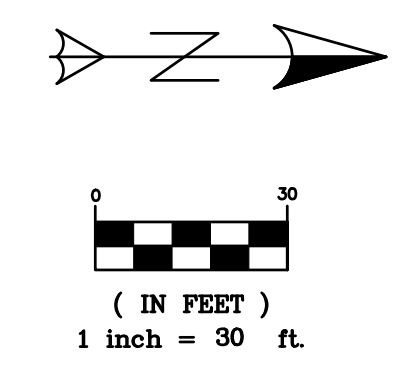
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PARCEL ID: 2415-342-001-010-1
 ZONING: C3
 LAND USE: COMMERCIAL

LEGEND

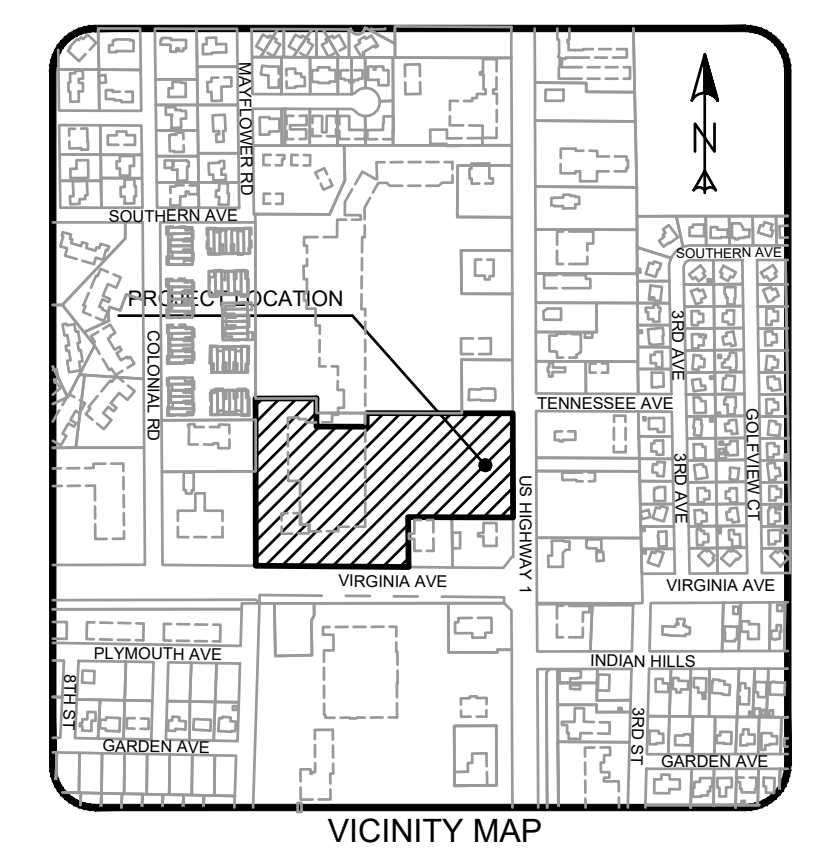
- EXISTING SPOT ELEVATION
- PROPOSED FLOW ARROW
- PARKING STALL COUNT
- PROPOSED LIGHTING
- PROPOSED CATCH BASIN
- PROPOSED DMH
- EXISTING CONCRETE
- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED 6" STANDARD CONCRETE
- PROPOSED 8" HEAVY DUTY CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT



OWNER:
 MORRIS/SATNICK FP ASSOC LLC
 350 VETERANS BLVD
 RUTHERFORD, NJ 07070

YARD SETBACK:
 FRONT SETBACK = 25'

SITE DATA
 PARCEL ID: 2415-342-001-000-8
 SECTION: 15
 TOWNSHIP: 35S
 RANGE: 40E
 ZONING: C3
 LAND USE:
 BUILDING HEIGHT: MAX 65'



CONSTRUCTION NOTE:
 ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF FORT PIERCE CODE OF ORDINANCES SECTIONS 17 AND 22.

TOTAL PROJECT AREA:
 PROJECT BOUNDARY AREA 70,099.36 S.F. 1.61 AC. 100.00%

PROJECT AREA LAND USE TABLE:

PROPOSED WAWA BUILDING	5,943 S.F.	0.14 AC.	8.48%
PROPOSED WAWA ASPHALT	32,983.05 S.F.	0.76 AC.	47.05%
PROPOSED WAWA CONCRETE	19,447.04 S.F.	0.44 AC.	27.74%
REMOVED EX. ASPHALT/CONCRETE	70,099.36 S.F.	1.61 AC.	100.00%

PROJECT AREA IMPERVIOUS/PERVIOUS:

TOTAL IMPERVIOUS	58,373.09 S.F.	1.34 AC.	83.27%
TOTAL PERVIOUS AREA	11,726.27 S.F.	0.27 AC.	16.73%

PROJECT AREA PARKING INFORMATION:

WAWA (5,943 SF @ 1 SPACE PER 200 SF)

TOTAL PARKING REQUIRED	30 STALLS
TOTAL WAWA PARKING PROVIDED*	46 STALLS
REQUIRED HANDICAP	2 STALLS
PROVIDED HANDICAP	3 STALLS

*NOTE: (2) SPACES ARE FOR AIR PUMP PARKING ONLY

TRAFFIC STATEMENT:
 THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE), TRIP GENERATION, 10TH EDITION, LAND USE CODE 960 WAS USED TO DETERMINE EXPECTED DAILY TRIP GENERATION RATES FOR THE PROPOSED PROJECT. PASSBY TRIPS ITE/FDOT STATE AVERAGE IS 77%. TOTAL GROSS SQUARE FEET FOR THE ENTIRE BUILDING AT BUILD-OUT (5,943 GSF) WAS USED TO OBTAIN THE FOLLOWING RESULT:

WEEKDAY - TOTAL AVG TRIPS = 4,975 TRIPS (NEW TRIPS = 1,144)
WEEKDAY - TOTAL AVG AM PEAK HOUR TRIPS = 416 TRIPS (NEW TRIPS = 96)
WEEKDAY - TOTAL AVG PM PEAK HOUR TRIPS = 401 TRIPS (NEW TRIPS = 92)

WATER AND SEWER:
 EXISTING WATER SERVICE AND SEWER SERVICE WILL BE UTILIZED TO SERVE THE PROPOSED BUILDING.

DRAINAGE:
 THE SURFACE WATER MANAGEMENT SYSTEM FOR THE PROJECT WILL COLLECT SITE RUNOFF IN A SERIES OF INLETS WHICH WILL ROUTE THE RUNOFF TO CONNECT TO AN EXISTING DRAINAGE SYSTEM.

SOLID WASTE:
 BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A PROPOSED DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

HAZARDOUS WASTE:
 ALL HAZARDOUS WASTES DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.

FIRE PROTECTION:
 EXISTING FIRE HYDRANTS ARE SHOWN ON THE PLAN VIEW.

WELL FIELD PROTECTION:
 THE SUBJECT PARCEL IS NOT LOCATED WITHIN 1000 FEET OF A PUBLIC WATER SUPPLY WELL.

LIGHTING NOTES:
 ALL LIGHTING, TO INCLUDE POLE HEIGHTS SHALL BE IN CONFORMANCE WITH THE CITY OF FORT PIERCE CODE OF ORDINANCES. SEE PHOTOMETRIC PLAN FOR LIGHTING BY OTHERS.

LANDSCAPE:
 LANDSCAPE TO BE PROVIDED BY OTHERS.

ENVIRONMENTAL:
 NO ENVIRONMENTAL ASSESSMENT WAS COMPLETED BECAUSE THIS IS AN EXISTING DEVELOPED SITE.

ACCESSIBILITY AND ADA COMPLIANCE:
 ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

SIGNS:
 SIGNS WILL BE REVIEWED SEPARATELY.

NOTE:
 THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (g).

SURVEY NOTES:
 ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.

EDC ENGINEERS & SURVEYORS ENVIRONMENTAL
 10250 VILLAGE PARKWAY
 UNIT 201
 PORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

DESIGNED BY: JLB
 DRAWN BY: JLB
 18,302 (18,302) (18,302) (18,302)
 FILE NAME: 18302-18302-18302-18302
 SHEET NO.: 18302-18302-18302-18302
 LAYOUT: 18302-18302-18302-18302
 SCALE: 18302-18302-18302-18302
 DATE: 2/28/2019

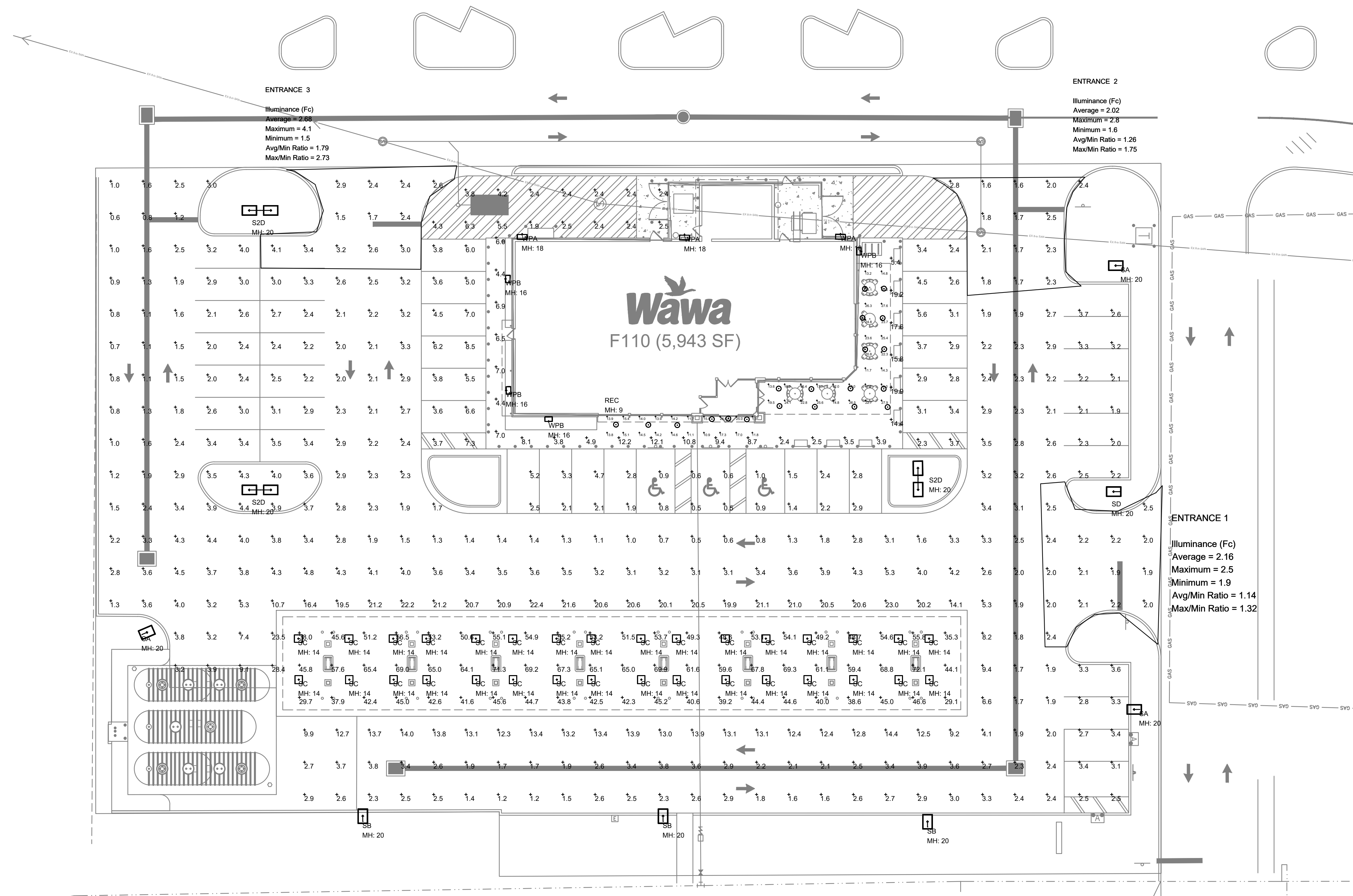
18-302
 REVISIONS
 NO. DATE REVISION COMMENTS

**WAWA - GATEWAY PLAZA
 MAJOR AMENDMENT
 MAJOR SITE PLAN**
 FLORIDA
 FORT PIERCE

DAVID C. BAGGETT, P.E. (DATE)
 #81375

 10250 SW VILLAGE PARKWAY - UNIT 201
 PORT SAINT LUCIE, FL 34987
 772-462-2455

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Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
SA	3	SA	SINGLE	N.A.	0.950	ARE-EDG-4MB-xx-06-E-UL-xx-525-xxxx-40K	102.72
SB	3	SB	SINGLE	N.A.	0.950	ARE-EDG-3MB-xx-06-E-UL-xx-525-xxxx-40K	102.45
SC	32	SC	SINGLE	N.A.	0.950	CAN-304-PS-xx-06-E-UL-700-40K or BXCP-A006-UD7 (700mA)	132.5
SD	1	SD	SINGLE	N.A.	0.950	ARE-EDG-5M-xx-06-E-UL-xx-525-xxxx-40K	101.12
WPA	3	WPA	SINGLE	N.A.	0.950	SEC-EDG-3M-xx-04-E-UL-700-40K or BXSEK304E-UD7 (700mA)	98
WPB	4	WPB	SINGLE	N.A.	0.950	SEC-EDG-4M-xx-06-E-UL-700-40K or BXSEK406E-UD7 (700mA)	132.1
SZD	3	SZD	BACK-BACK	N.A.	0.950	ARE-EDG-5M-xx-06-E-UL-xx-525-xxxx-40K	101.12
REC	20	REC	SINGLE	N.A.	0.950	KR6-20L-27K-120V	27.2

Label	CalcType	Units	Avg	Max	Min	Ratio Avg to Min	Ratio Max to Min
CANOPY	Illuminance	Fc	52.02	72.1	28.1	2.56	2.56
DELIVERY AREA	Illuminance	Fc	3.19	6.3	1.9	3.32	3.32
PARKING AREA AND INTERNAL DRIVE	Illuminance	Fc	4.33	28.4	0.5	8.66	56.80
SEATING AREA	Illuminance	Fc	18.02	27.9	1.3	13.86	21.46
SIDEWALK	Illuminance	Fc	8.67	19.9	2.4	3.61	8.29
ENTRANCE 2	Illuminance	Fc	2.02	2.8	1.6	1.76	1.75
ENTRANCE 3	Illuminance	Fc	2.68	4.1	1.5	1.79	2.73
ENTRANCE 1	Illuminance	Fc	2.16	2.5	1.9	1.14	1.32

PHOTOMETRIC PLAN
 SCALE 1" = 20'-0"



E&C Engineers
 Cert. of Auth # 26558
 117 Moorings Drive
 Lantana, FL 33462
 Tel (561) 712-1149
 email: ed@ecengineers.com
 JOB # 19-3337

Eduardo (Ed) Samour, P.E.
 Registered Electrical Engineer
 P.E. # 41186
 Date:

ENGINEERS SURVEYORS ENVIRONMENTAL
 10250 VILLAGE PARKWAY
 UNIT 201
 PORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION #935
 L.B. CERTIFICATE OF AUTHORIZATION #098

DESIGNED BY	JLW
DRAWN BY	19-3337-001-400
FILE NAME	
PRINT	LAYOUT
SCALE	AS SHOWN
DATE	08FEB19

4.30.19 BUILDING DEPT. COMMENTS 08.12.18 REVISION PARKING PER SIL COMMENTS DATE

WAWA - GATEWAY PLAZA
 MAJOR AMENDMENT
 MAJOR SITE PLAN
 FORT PIERCE FLORIDA

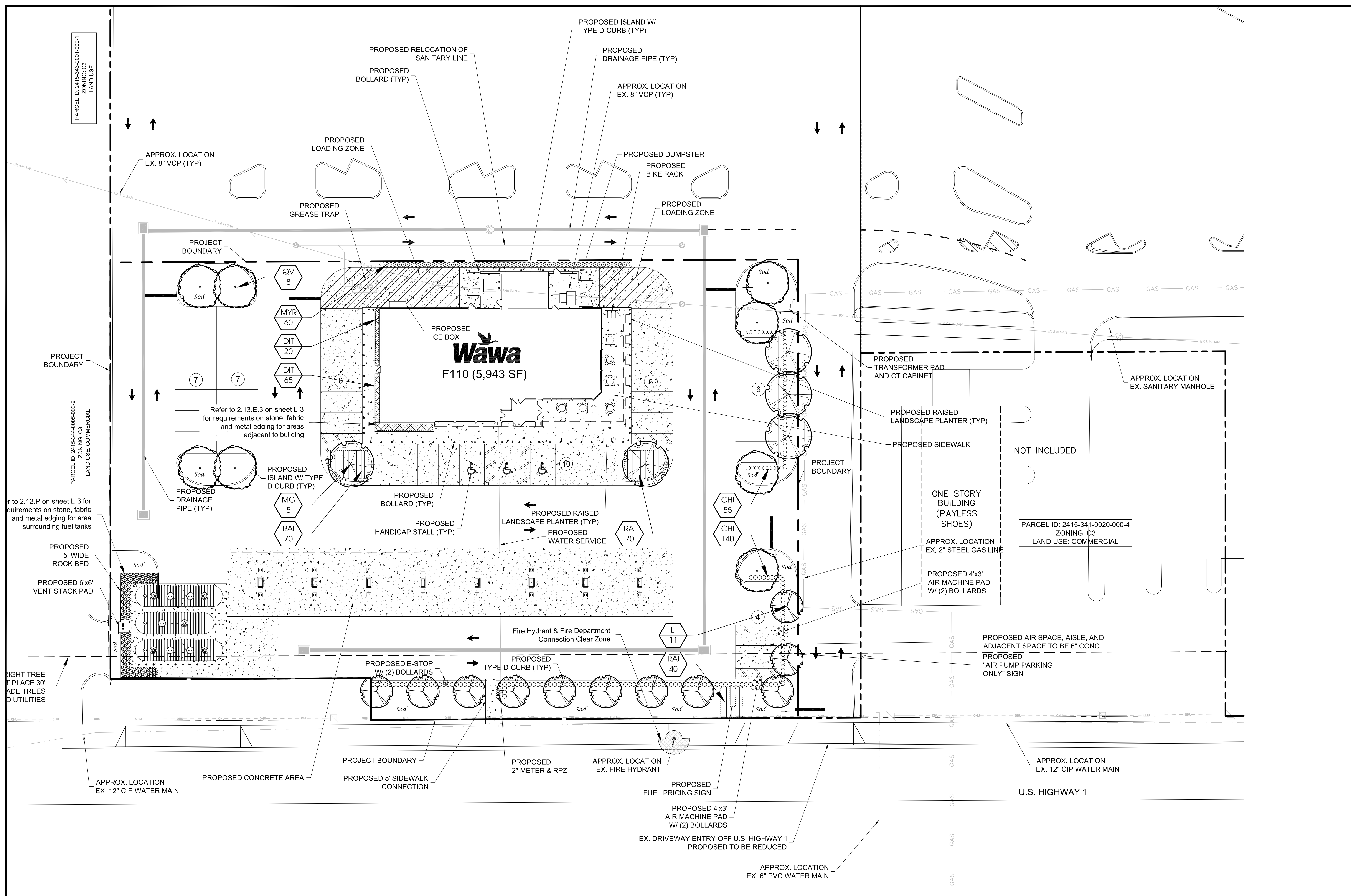
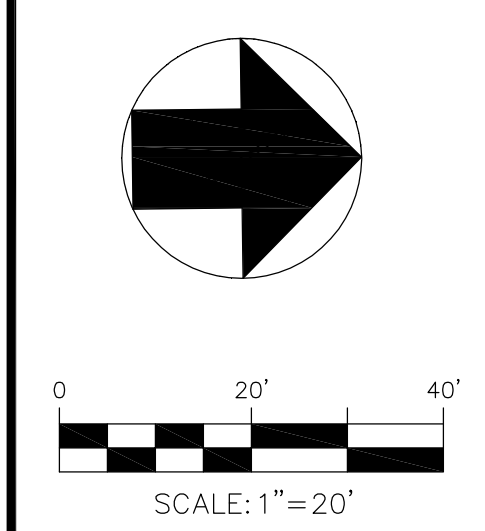
DAVID C. BAGGETT, P.E. (DATE)
 #81375

 10250 SW VILLAGE PARKWAY - UNIT 201
 PORT SAINT LUCIE, FL 34987
 772-462-2455

PHM-1

1 OF 2

DESIGNED:	JWS
PROJECT:	19-0204
DATE:	3-5-2019
REVISIONS:	



Landscape Plan

General Notes

- No plant substitutions can be made without the City of Fort Pierce's approval.
 - All required landscape improvements must be inspected and approved by the City of Fort Pierce prior to the issuance of a Certificate of Occupancy.
 - Any existing landscaping, sod, or irrigation damaged or destroyed during the construction shall be replaced prior to the final inspection.
 - All prohibited, exotic and invasive species shall be removed from the entire site prior to issuance of certificate of occupancy.
 - Planting adjacent to fire hydrants is to have a minimum clear radius of 7.5' as required by the NFPA Uniform Fire Code Florida Edition 18.3.4.1 Hydrants. All fire hydrants and fire check valves shall have a minimum of 7.5' from the front and sides with 4' from the rear to all landscape material per the Florida Fire Prevention Code.
 - Contractor to include drainage testing for all trees and palms in bid. If drainage is inadequate, the Contractor shall notify the Owner and Landscape Architect in writing of poor drainage conditions and written direction will be provided to the Contractor of appropriate soil mixture specification to be used.
 - All fertilizers shall meet the City of Fort Pierce's and St. Lucie County's fertilizer ordinances.
 - All tree and plant material to be Florida No. 1 or better, as classified in "Grades and Standards for Nursery Plants", Part 1 and Part II, State of Florida, Dept. of Agriculture, Tallahassee. All plants not listed in "Grades and Standards for Nursery Plants" shall conform to a Florida No. 1 as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species.
 - Underpinning or substitution of one species or cultivar for another species is a breach of contract and will be "Rejected" at the time of final landscape inspection unless approved by Landscape Architect.
 - Any and all conditions which the contractor feels will be detrimental to the success of the planting shall be brought to the owner or representative's attention.
 - The contractor shall verify the location of underground utilities prior to commencing work on any project area.
 - Cypress Mulch is NOT ACCEPTABLE.
 - All planting areas and sod to be irrigated to provide 100% coverage. Shop drawings to be submitted by the irrigation contractor for approval prior to installation.
 - Maintain positive drainage, no planting is to block drainage.
 - Drainage Testing
- Prior to planting of trees, palms, and specimen material, each planting pit shall be tested in the following manner to verify adequate drainage.
- Dig each planting pit to the minimum specified size.
 - Fill the planting pit with (12") twelve inches of water. If the water level in the planting pit drops (4") four or more inches within (4) four hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than (4") four inches within the (4) four hour period, then a drainage channel is required.
 - When a drainage channel is required, the drainage channel must extend down through the non porous soil and into porous soil. (See Drainage Testing Detail)
 - Discard all material removed from the drainage channel.
 - When backfilling the planting pit, add coarse gravel to the drainage channel. Also, care must be taken to keep the consistency of the soil mix the same throughout the planting pit.
- Refer to the Wawa Landscape Specification Book and the Wawa Irrigation Specification Book for Figures, Appendices and additional information.

Plant List

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS
CANOPY / ORNAMENTAL TREES						
11	LI	LAGERSTROEMIA INDICA 'TONTON'	CREPE MYRTLE 'RED'	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
5	MG*	MAGNOLIA GRANDIFLORA	D D BLANCHARD MAGNOLIA	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 2.5' C.T. MIN.
8	QV*	QUERCUS VIRGINIANA	HIGH-RISE LIVE OAK	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.

SHRUBS / GROUNDCOVERS						
195	CHI*	CHRYSOBALANUS ICACO	COCOPALM	#3, 2' x 2'	2' O.C.	FULL & THICK
85	DIT	DIANELLA TASMANICA	BLUEBERRY FLAX LILY	#3, 12" x 12"	18" O.C.	FULL & THICK
180	RAI	RAPHIOLEPIS INDICA	INDIAN HAWTHORNE	#3, 12" x 12"	2' O.C.	FULL & THICK
60	MYR*	MYRICANTHES FRAGRANS	SIMPSON STOPPER	#3, 2' x 2'	2' O.C.	FULL & THICK
SOD-1		PASPALUM NOTATUM	BAHA SOD			SEE SPECS
SOD		STENOTAPHRUM SECUNDATUS	ST. AUGUSTINE SOD			SEE SPECS

* Florida Native
NOTE: D.B.H. IS MEASURED 4.5' ABOVE GRADE

RAISED PLANTERS: Refer to the Wawa Landscape Specification Book and Wawa Irrigation Specification Book for planting requirements in raised planters adjacent to the outdoor seating areas.

Landscape Data

Vehicular Use Area Landscaping Adjacent to R.O.W. (East Buffer) 205'
Sec. 22-187(4)
Trees Required = 10' Wide Landscape Strip with 1 Tree/300 s.f.
205 l.f. x 10' = 2,050 s.f. / 300 = 7 Trees
Provided = 7 Trees

Shrubs Required = Continuous Hedge @ 2' o.c.
205 l.f. / 2' o.c. = 103 Shrubs
Provided = 103 Shrubs

Interior Vehicular Use Area
Sec. 22-187(7)
Required = 1 s.f. of interior landscaping per 15 s.f. of vehicular use area
Trees Required = 1 Tree/100 s.f. of interior landscape area

Existing Site V.U.A.
Required = 70,099.36 s.f. / 15 s.f. = 4,673.29 s.f.
Provided = 0 s.f.
Trees Required = 4,673.29 s.f. / 100 s.f. = 47
Trees Provided = 0

Proposed Site V.U.A.
Required = 49,763.6 s.f. / 15 s.f. = 3,318.90 s.f.
Provided = 4,204.00 s.f.
Trees Required = 3,318.90 s.f. / 100 s.f. = 33
Trees Provided = 17 (1 Tree / 200 s.f.)

Maximum Use of Palm Trees
Sec. 22-187(1)(c)

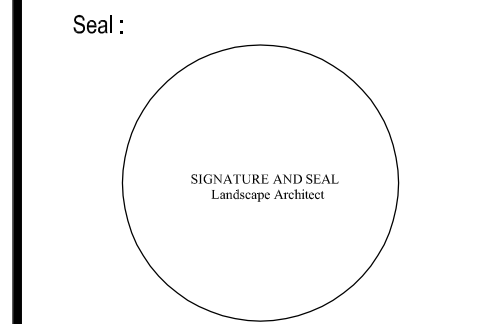
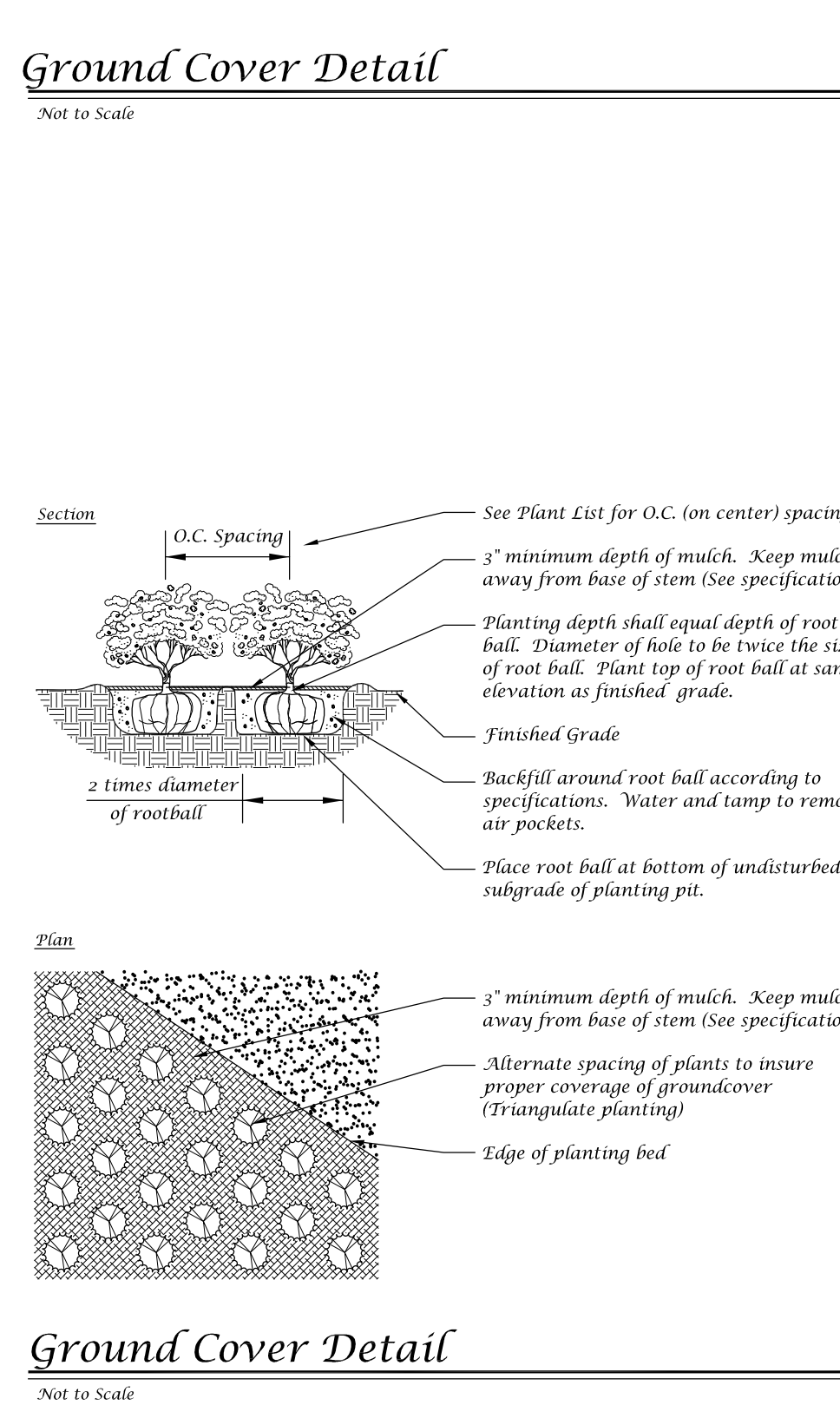
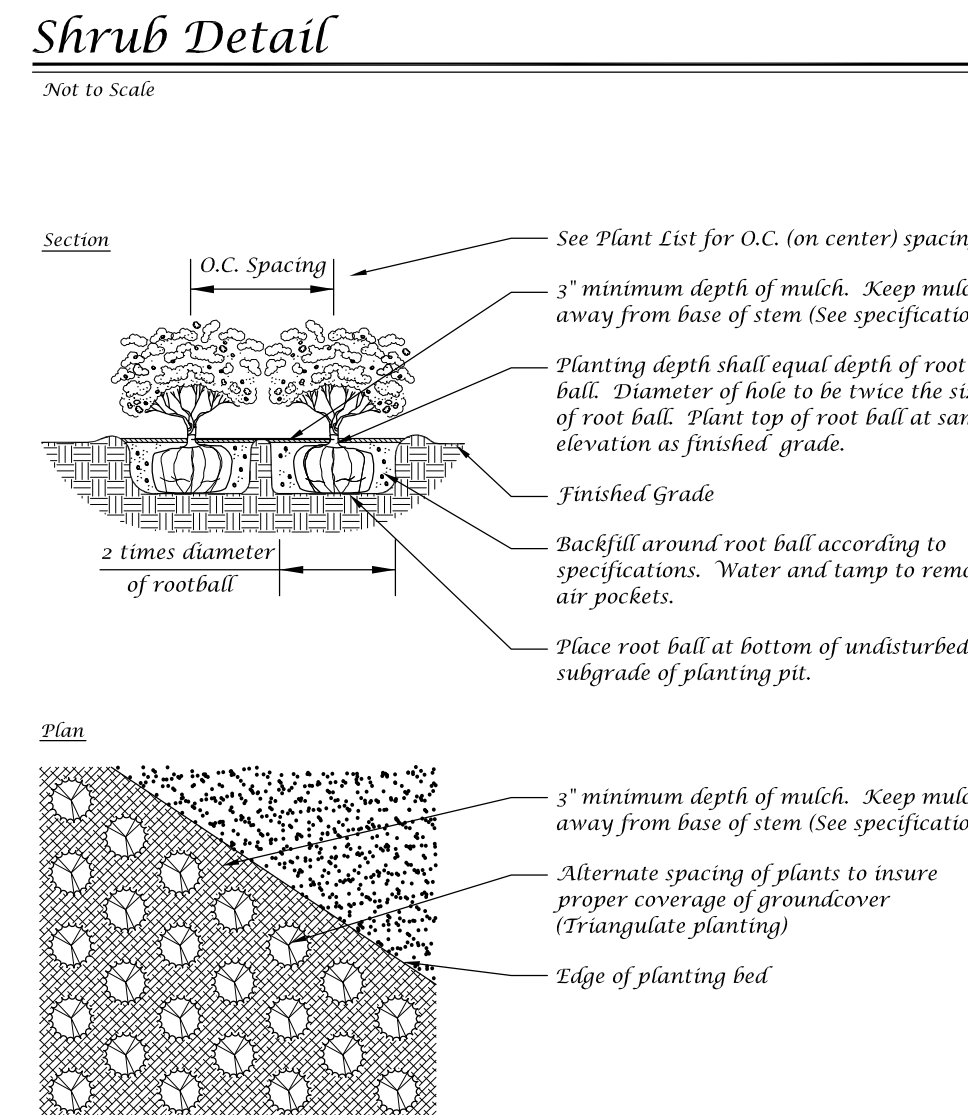
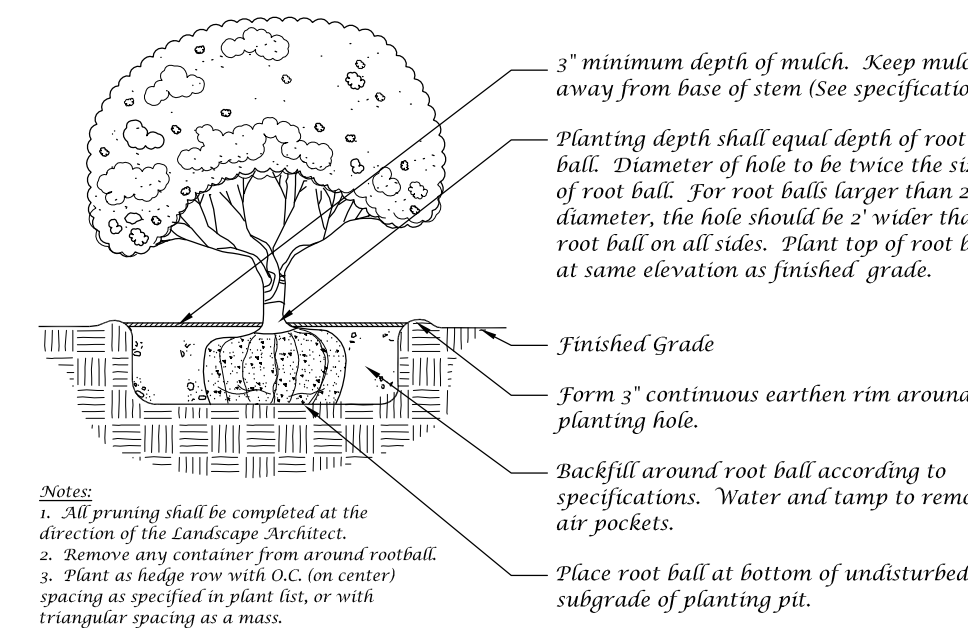
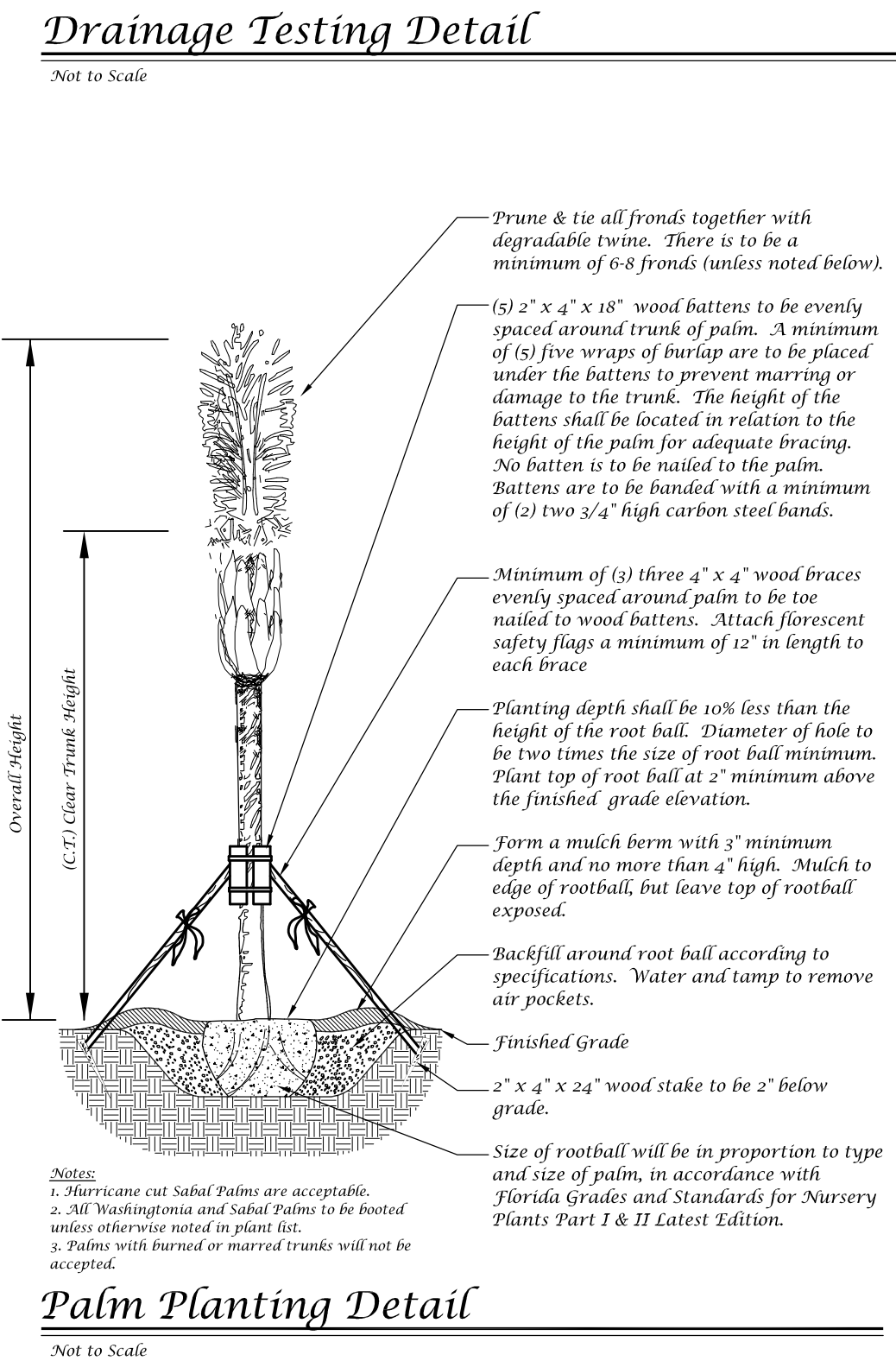
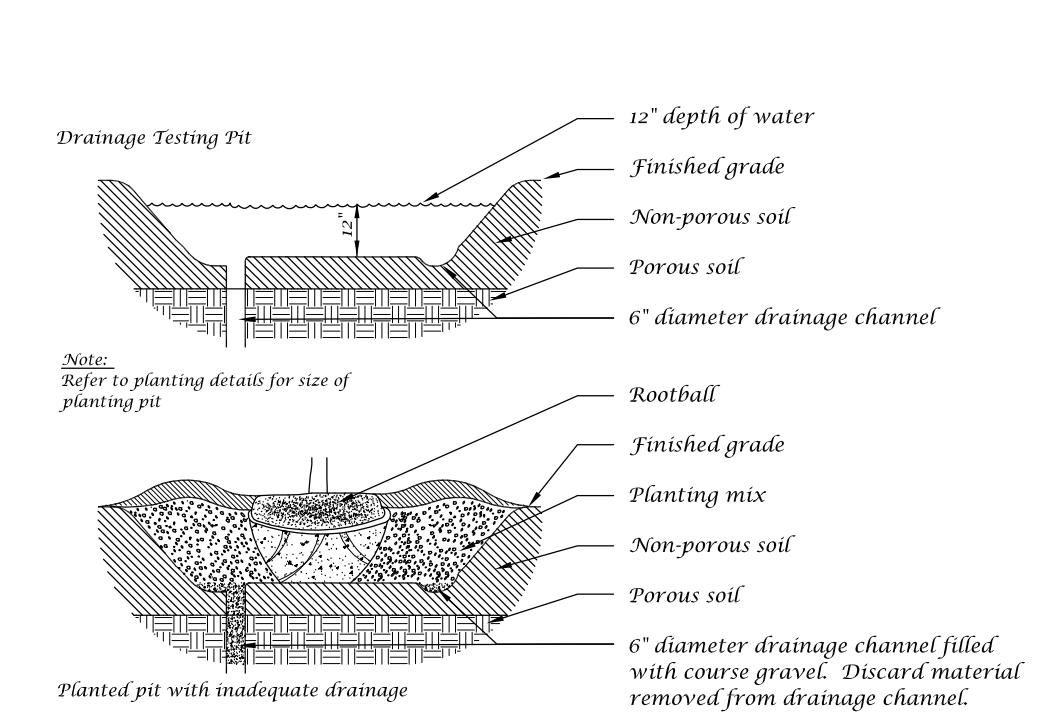
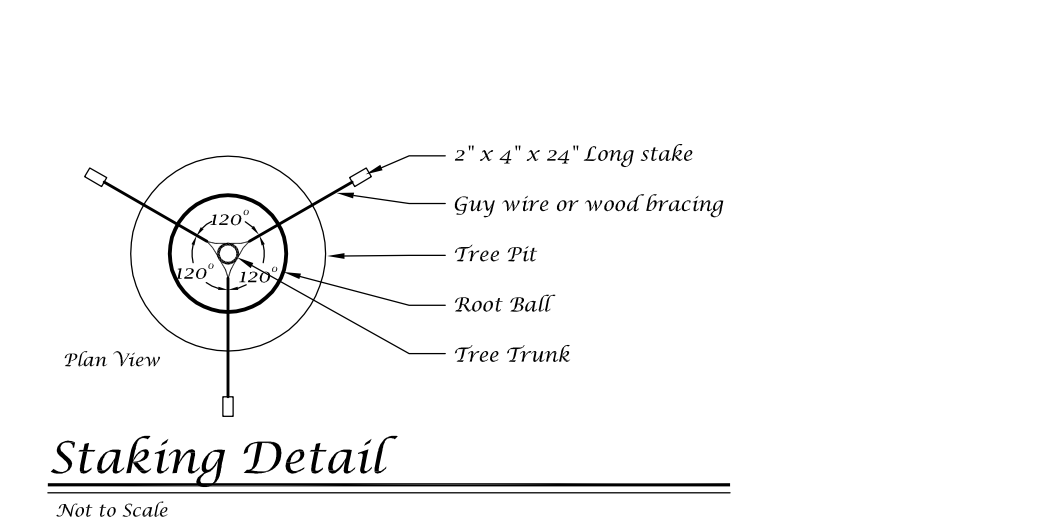
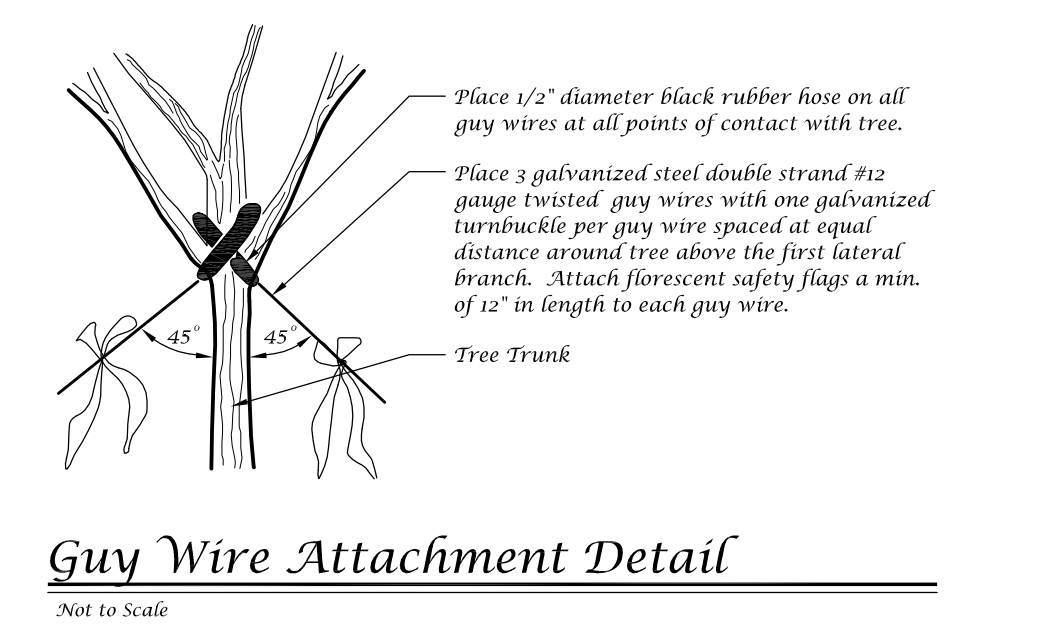
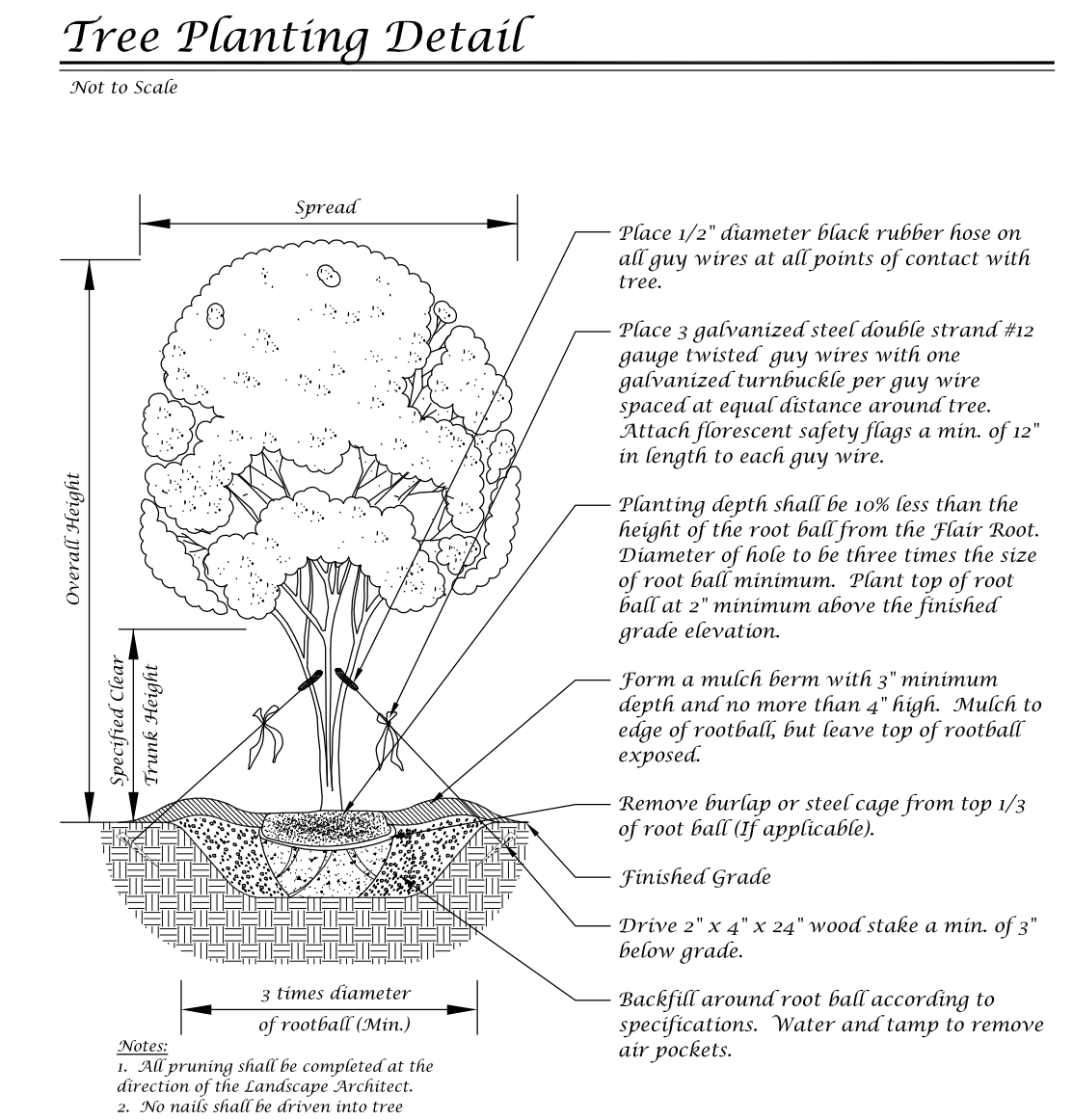
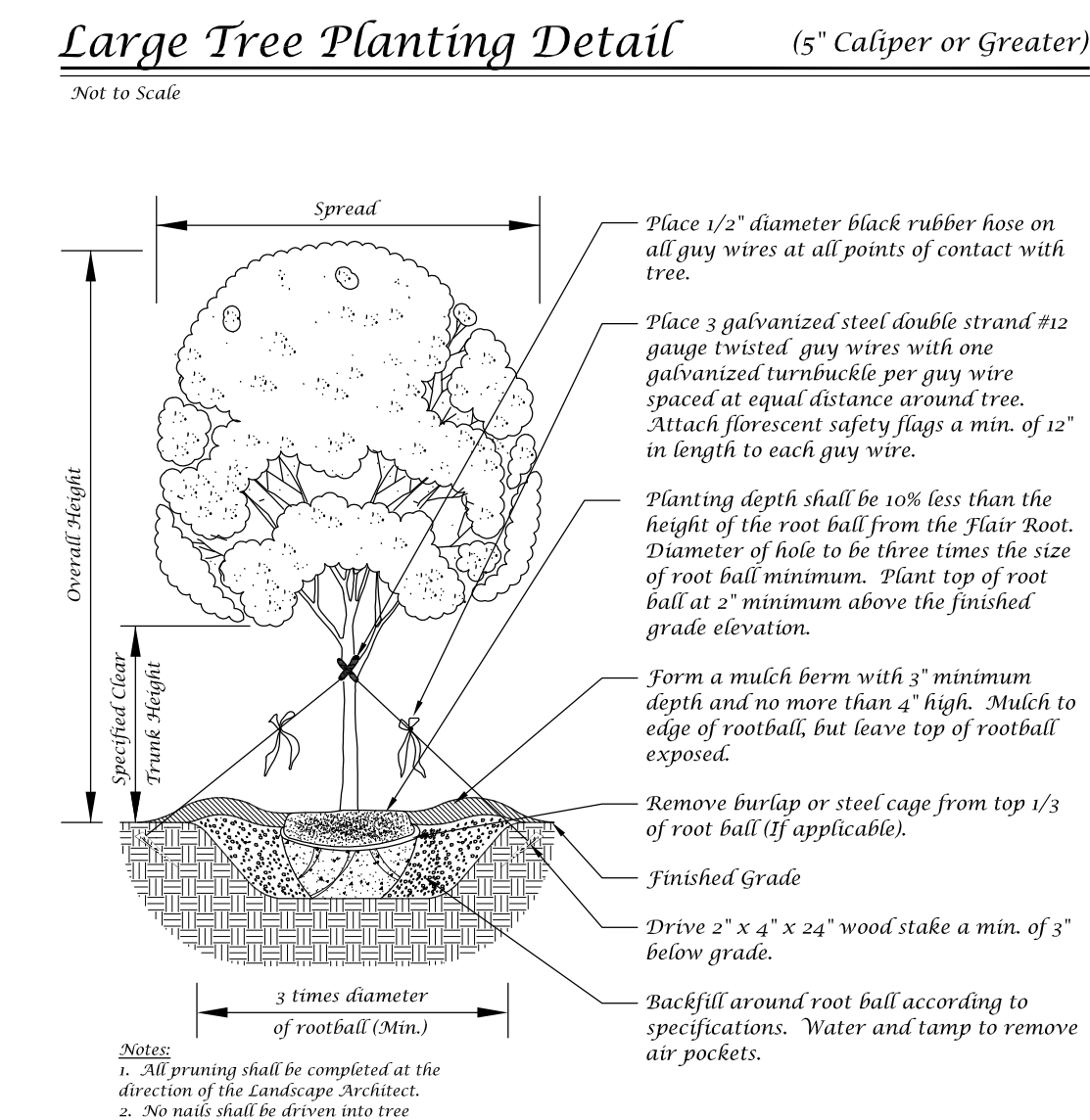
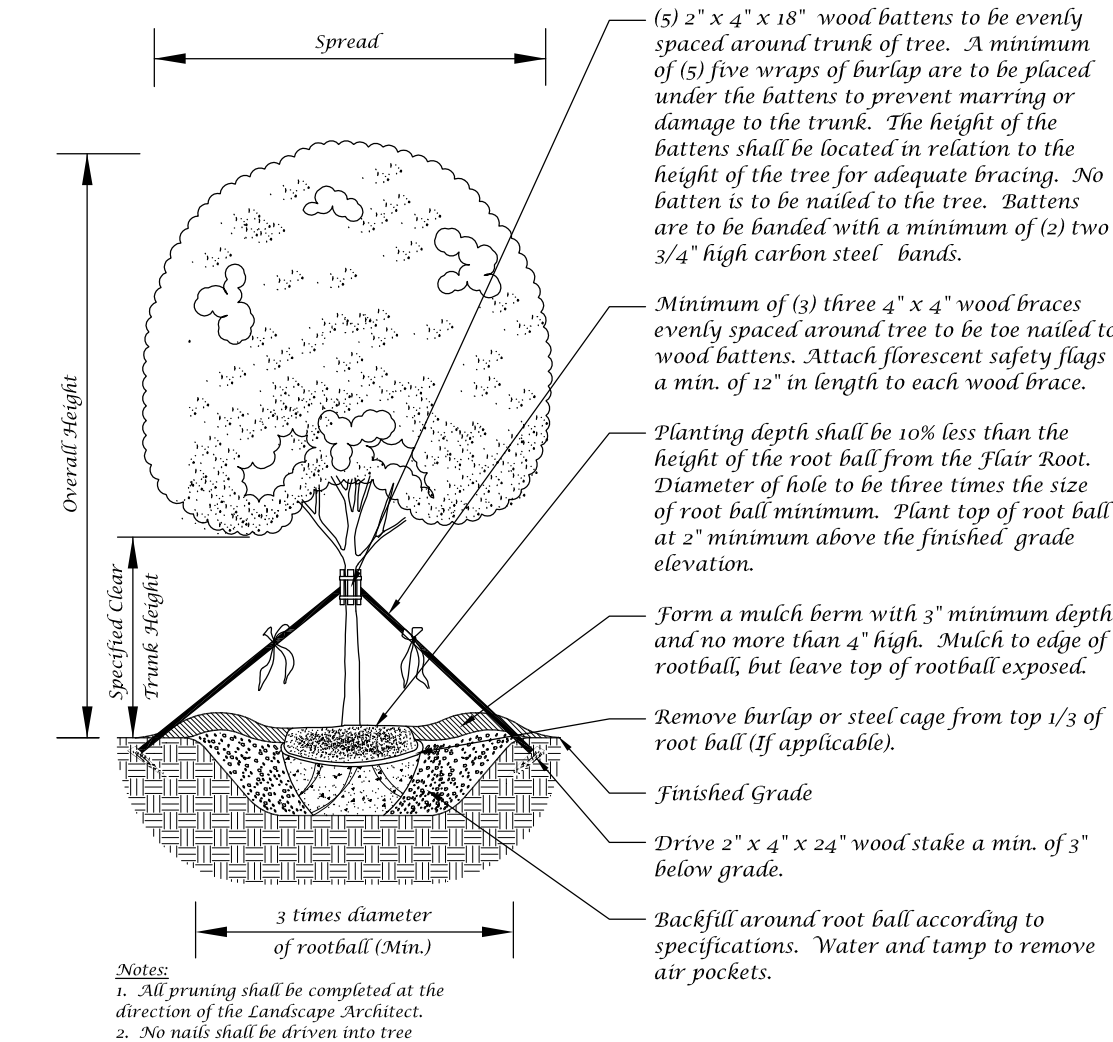
Required = Fifty (50) percent of the required trees shall be species other than palm trees
Total Trees Required = 40 Trees
Maximum Palms Allowed = 20 (40 / 2 = 20)
Total Palms Provided = 0 (0%)

Total Trees Required = 40 Trees
Total Trees Provided = 24 Trees
Total Native Trees Provided = 13 / 24 (54%)

Total Palms Required = 0
Total Palms Provided = 0

Total Shrubs Required = 103
Total Native Shrubs Provided = 255 / 510 (50%)

Landscape Details

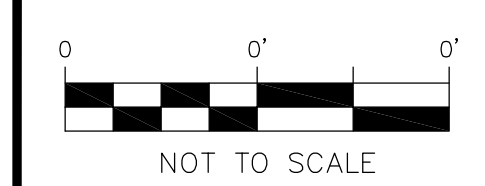


Name: Jeffrey W. Smith, RLA
License #: LA0001635

Prepared, Reviewed & Superseded By: Conventional Design Group, Inc., 300 East Ocean Boulevard, Suite 1304, Stuart, Florida 34954
(772) 344-2340 / (888) 290-0798

Wawa
 Gateway Plaza
 City of Fort Pierce, Florida

DESIGNED: JWS
PROJECT: 19-0204
DATE: 3-5-2019
REVISIONS:



General Notes, Plant List, Landscape Data & Landscape Details

1.00 GENERAL CONDITIONS

1.01 SCOPE OF WORK

The work consists of furnishing all labor, materials, equipment, tools, transportation, and any other accessories necessary for the completion of this project as shown on the drawings, as well as the plant materials and labor necessary for the installation and maintenance of the landscape. Work shall include landscape maintenance and watering of all contract planting areas until certification of acceptance by the Owner.

1.02 DEFINITIONS

- A. "Contractor" shall mean the Landscape or Irrigation Contractor that has been subcontracted to install the Irrigation system by Wawa, Inc. or the Owner's Representative.
- B. "Landscape Maintenance Contractor" shall mean the Landscape or Irrigation Contractor that has been sub-contracted to maintain the irrigation system by the Wawa Representative.
- C. "Drawings" shall mean Irrigation Drawings, Notes, Details and the attached specifications.
- D. "Final Acceptance" shall mean that point in time when all requirements of the Irrigation Drawings and Specifications have been completed, including any punch-list items, to the satisfaction of Wawa, Inc. or the Owner's Representative. The Contractor shall be notified in writing of Final Acceptance by the Wawa Representative.
- E. "Warranty Period" shall begin upon issuance of the Final Acceptance and shall be for a period of twelve (12) months. At the end of the Warranty Period, the Wawa Representative shall request an inspection five (5) days in advance with the Contractor to release the Contractor from any future warranty work.
- F. "Substitutions" wherever brand names are used in these specifications, use only the brand specified. Make no substitutions as a part of your bid package.

1.03 CONTRACTOR QUALIFICATIONS

The bidding CONTRACTOR shall possess a valid CONTRACTOR'S license as issued by the local or state government and shall include their license number on the enclosed bid form.

1.04 JOB SUPERVISION

The CONTRACTOR must designate a qualified full-time on-site superintendent to oversee the project for the entire progress of the work. The superintendent shall have the authority to represent the CONTRACTOR in his absence and all directives given to him shall be as binding as if given directly to the CONTRACTOR.

1.04 GUARANTEE

The CONTRACTOR shall guarantee all plant materials and workmanship for a period of one year from date of final project acceptance.

1.05 RECORD DRAWINGS

The CONTRACTOR shall keep one record copy of all Specifications, Drawings, Addenda, Modifications, Change Orders, and clearly annotated photographs of the work. The Contractor shall change made during the construction process. These documents shall be available to the owner at all times and shall be delivered to the owner upon completion of the project.

1.06 PROTECTION OF EXISTING STRUCTURES

All existing buildings, walks, walls, paving, piping, other site construction items, and planting already completed or established are to remain as shown and shall be protected from damage by the CONTRACTOR unless otherwise specified. All damage resulting from negligence shall be repaired or replaced to the satisfaction of the owner, at no cost to the owner.

The CONTRACTOR shall be responsible for locating all utilities, whether public or private, prior to excavation. The information and data shown with respect to existing underground facilities at or near the project site are for information only. The Contractor shall verify the location of all utilities by other means. The Contractor shall be responsible for the accuracy and completeness of any such information or data. The Contractor shall have full responsibility for reviewing and checking all such information and data; locating all underground facilities; for construction; the safety and protection of utilities; repairing any damage thereto resulting from the work. The cost of all work be considered as having been included in the contract price. The CONTRACTOR shall notify any affected utility companies or agencies in writing at least 48 hours prior to beginning construction.

1.07 PROTECTION OF EXISTING PLANT MATERIALS

The CONTRACTOR shall be responsible for all unauthorized cutting or damage to trees and shrubs existing or otherwise, caused by careless equipment operation, material stacking, etc. This shall include compaction by driving or parking inside the drip-line and spilling oil, gasoline, or other deleterious materials within the drip-line. No materials shall be burned on site. Existing trees listed or damaged trees resulting from the work. The cost of all work be considered as having been included in the contract price. The CONTRACTOR shall replace all trees to be replaced at the cost to the CONTRACTOR of three hundred dollars (\$300) per caliper inch on an escalating scale which adds an additional twenty (20) percent per caliper inch over four (4) inches caliper as listed and agreed liquidated damages. Caliper shall be measured six (6) inches above ground level for trees up to and including four (4) inches in caliper and twelve (12) inches above ground level for trees over four (4) inches in caliper. See tree migration plan and notes, if applicable.

1.08 PERMITS AND FEES

It is the CONTRACTOR'S responsibility to obtain all permits and pay all fees associated with the installation of the proposed plant materials.

2.00 MATERIALS

2.01 PLANT MATERIALS
Plant species and size shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants established and published by the Florida Department of Agriculture and Consumer Services. All plants shall be Florida Grade No. 1 or better as determined by the Florida Division of plant industry. All plants shall be healthy, vigorous, sound, well-rooted, and free of disease and insects. Insects, eggs and larvae shall have adequate root systems. Trees for planting in rows shall be uniform in size and shape. All materials shall be subject to approval by the owner. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants shall be pruned prior to delivery only with approval from owner or owner's representative. No substitutions shall be made without written permission from the owner's representative.

Measurements: the height and/or width of trees shall be measured from the ground or across the normal spread of branches with the plants in their normal position. This measurement shall not include the immediate terminal growth. Plants larger in size than those specified in the plant list may be used if approved by the owner. If the use of larger plants is approved, the ball of ever or spread of roots shall be increased in proportion to the size of the plant.

Inspection: plants shall be subject to inspection and approval at the place of growth, or upon delivery to the site, as determined by the owner, for quality, size, and variety. Such approval shall not impair the right of inspection and rejection at the site during progress of the work or after completion for size and condition of root balls or roots, latent defects, or injuries. Rejected plants shall be removed immediately from the site. Notice requesting inspection shall be submitted in writing by the CONTRACTOR at least one (1) week prior to anticipated date.

Material samples listed below shall be submitted for approval, on or as determined by the OWNER. Upon approval, delivery of materials may commence.

Material	Sample Size
Mulch	One (1) Cubic Foot
Topsoil Mix	One (1) Cubic Foot
Plants	One (1) of Each Variety (or tagged in nursery)

2.02 SOIL MIXTURE

CONTRACTOR shall test existing soil and amend as necessary in accordance with the guidelines below:
A. **Soil Mixtura** (planting medium for plant pits) shall consist of two parts of topsoil and one-part sand, as described below. CONTRACTOR to submit samples and pH testing results of soil mixtures for the Owner's Representative approval prior to plant installation operations commence.
B. **Topsoil** for use in preparing soil mixture for backfilling plant pits shall be fertile, friable, and of a loamy character; reasonably free of silt, clay lumps, bush weeds and other litter; free of roots, stumps, stones larger than 2" in any direction, and other extraneous or toxic matter harmful to plant growth. It shall contain three (3) to five (5) percent decomposed organic matter and have a pH between 5.5 and 7.0.
C. **Sand** shall be coarse, clean, well-draining, native sand.

Trees shall be planted in the existing native soil on site, unless determined to be unsuitable - at which point the CONTRACTOR shall contact owner's representative to discuss alternate recommendation prior to planting.

2.03 WATER

Water necessary for planting and maintenance shall be of satisfactory quality to sustain adequate plant growth and shall not contain harmful, natural, or manufactured elements detrimental to plants. Water meeting the above standard shall be obtained on site from the owner, if available, and the CONTRACTOR shall be responsible to make arrangements for its use by his tanks, hoses, sprinklers, etc. If such water is not available at the site, the CONTRACTOR shall provide satisfactory water from sources off the site at no additional cost to the owner. Watering/irrigation restrictions may apply - refer to property's jurisdictional authority.

The CONTRACTOR shall provide temporary watering bags for all palms and trees throughout the warranty period if permanent or temporary irrigation system is not available. Watering/irrigation restrictions may apply - refer to property's jurisdictional authority. See Appendix A-Figure No. 1-1.

2.04 FERTILIZER

CONTRACTOR shall provide fertilizer application schedule to owner, as applicable to soil type, plant installation type, and site as proposed use. Suggested fertilizer types shall be organic or otherwise naturally-derived. Fertilizer restrictions apply - refer to property's jurisdictional authority, the City of Fort Pierce & St. Lucie County fertilizer restrictions.

2.05 MULCH

Mulch material shall be double-grown, hardwood mulch applied at a minimum depth of three (3) inches. Clear mulch such from each plant's crown (base). Mulch shall be "blot/mulch," eucalyptus or similar sustainably harvested hardwood mulch unless specified otherwise. Cypress mulch is NOT ACCEPTABLE in the City of Fort Pierce and St. Lucie County.

2.06 DIGGING AND HANDLING

Protect roots or root balls of plants at all times from sun, drying winds, frost and freezing, as necessary until planting. Plant materials shall be packaged to prevent damage during transit. Trees transported more than ten (10) miles or that are not planted within three (3) days of delivery to the site shall be sprayed with an anti-transpiration product ("Wilpruf" or equal) to minimize transpirational water loss. Balled and Burlapped (B&B), and field grown (FG) plants shall be dug with firm, natural ball of soil of sufficient size to encompass the fibrous and feeding roots of the plants. No plants moved with a root ball shall be planted if the ball is cracked or broken. Plants shall not be handled by stems.

Plants marked "RF" in the plant list shall be dug with bare roots. Care shall be exercised that the roots do not dry out during transportation and prior to planting. Protection of palms: only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling. Clear trunk (CT) shall be as specified after the minimum of fronds have been removed. All palms shall be braced per palm planting detail.

Excavation of tree pits shall be performed using extreme care to avoid damage to surface and subsurface elements such as utilities or hardscape elements, footers and prepared sub-base.

2.07 CONTAINER GROWN STOCK

All container grown material shall be healthy, vigorous, well-rooted plants established in the container in which they are sold. The plants shall have tops which are of good quality and are in a healthy growing condition.

An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed through the root mass will retain its shape and hold together when removed from the container. Container grown stock shall not be handled by their stems.

Root bound plants are not acceptable and will be rejected.

RFG = "roots plus grower" container products shall be used where specified.

2.08 COLLECTED STOCK

When the use of collected stock is permitted as indicated by the owner or owner's representative, the minimum sizes of root balls shall be equal to that specified for the next larger size of nursery grown stock of the same variety.

2.09 NATIVE STOCK

Plants collected from wild or native stands shall be considered nursery grown when they have been successfully re-established in a nursery row and grown under regular nursery cultural practices for a minimum of three growing seasons and have attained adequate root and top growth to indicate full recovery from transplanting into the nursery row.

2.10 MATERIALS LIST

Quantities necessary to complete the work on the drawings shall be furnished by the CONTRACTOR.

Quantity estimates have been made carefully, but the Landscape Architect or owner assumes no liability for omissions or errors. Should a discrepancy occur between the plans and the plant list quantity, the owner's representative shall be notified for clarification prior to bidding or installation. All dimensions and/or sizes specified shall be the minimum acceptable sizes.

2.11 FINE GRADING

Final grading under this contract shall consist of final finished grading of lawn and planting areas that have been rough graded by others. Berms as shown on the drawings shall be the responsibility of the CONTRACTOR, unless otherwise noted.

The CONTRACTOR shall fine grade the lawn and planting areas to bring the rough grade up to final finished grade allowing for thickness of sod and/or mulch depth. CONTRACTOR shall fine grade by hand and/or with all equipment necessary including a grading tractor with front-end loader for transporting soil within the site.

All planting areas shall be graded and maintained for positive drainage to surface/subsurface storm drain systems. Areas adjacent to buildings shall slope away from the buildings. Refer to the Civil Engineer's plans for final grades, if applicable.

2.12 PLANTING PROCEDURES

Cleaning up before commencing work: the CONTRACTOR shall clean work and surrounding areas of all rubbish or objectionable matter daily. All mulch, cement, and toxic material shall be removed from the surface of all plant beds. These materials shall not be mixed with the soil. Should the CONTRACTOR find such soil conditions beneath the soil which will in any way adversely affect the plant growth, he shall immediately call it to the attention of the owner's representative. Failure to do so before planting shall make the corrective measures the responsibility of the CONTRACTOR.

Verify locations of all utilities, conduits, supply lines and cables, including but not limited to: Electric, Gas (lines and tanks), Water, Sanitary Sewer, Storm Water Systems, Cable, and Telephone. Properly maintain and protect existing utilities. Call Sunshine State One Call of Florida, Inc. (811) to locate utilities at least 48 hours prior to construction.

Subgrade excavation: CONTRACTOR is responsible to remove all existing and imported Limerock and Limerock sub-base from all landscape planting areas to a minimum depth of 36" or to native soil. CONTRACTOR is responsible to backfill these planting areas to a final finished grade with clean topsoil from an on-site source or an imported source. If Limerock or other adverse conditions occur in planted areas after 36" deep excavation by the CONTRACTOR, and positive drainage cannot be achieved, CONTRACTOR shall utilize poor drainage condition planting detail.

- A. Furnish nursery's certificate of compliance with all requirements as specified herein. Inspect and select plant materials before plants are dug at nursery or growing site.
- B. Comply with applicable federal, state, county, and local regulations governing plant materials and work. Obtain all necessary horticultural practices as used in the trade. Upon arrival at the site, plants shall be thoroughly washed and properly maintained until planted. Plants stored onsite shall not remain unplanted or approximately healed for a period exceeding Twenty-Four (24) Hours. At all times sufficient methods customary in the horticultural branch shall be exercised.
- C. The work shall be coordinated with other trades to prevent conflicts. Coordinate planting with irrigation work to assure availability of water and proper location of irrigation equipment and lines.
- D. All planting pits shall be excavated to size and depth in accordance with the USA Standard for Nursery Stock 260.1, unless shown otherwise on the drawings, and back filled with the prepared planting mix mixture as specified in Section E. Test tree pits with water before planting to assure proper drainage percolation is available. No allowance will be made for lost plants due to improper drainage. If poor drainage exists, utilize "poor drainage" planting detail. Trees shall be uniform in size and shall hold in position until the planting mixture has been flushed into place with a soil, full hose stream. All planting shall be performed by personnel familiar with planting procedures and methods that should be selected for color, profession and display.
- C. All newly planted beds will have a minimum of 50% of the plants in bloom at the time of installation.
- D. Contractor will obtain prior approval of plant selection from owner or owner's representative before installation.

- A. Take all necessary precautions to avoid damage to buildings and building structures while installing trees.
- F. Soil mixture shall be as specified in Section E of these specifications. G. Trees and shrubs shall be set straight at an elevation that, after settlement, the plant crown will stand One (1) to Two (2) inches above grade. Each plant shall be set in the center of the pit. Planting soil mixture shall be back filled, thoroughly tamped around the ball, and settled by water (after tamping).
- H. Amend pine and oak plant pits with ectomycorrhizal soil application per manufacturer's recommendation. All other plant pits shall be amended with endomycorrhizal soil application per manufacturer's recommendation. Provide product information submitted prior to installation.
- I. Fill hole with soil mixture, making certain all soil is saturated. To do this, fill hole with water and allow to soak minimum twenty (20) minutes, allowing if necessary to get soil thoroughly wet. Pack lightly with water, and more wet soil, until the soil is saturated with water and allow to soak minimum twenty (20) minutes, allowing if necessary to get soil thoroughly wet. Pack lightly with water, and more wet soil, until the soil is saturated with water and allow to soak minimum twenty (20) minutes, allowing if necessary to get soil thoroughly wet. Do not cover top of ball with soil mixture. All burtop, rope, wires, baskets, etc., shall be removed from the sides and tops of balls, but no burtop shall be pulled from underneath.
- J. Trees shall be pruned, at the direction of the owner or owner's representative, to preserve the natural character of the plant. All soft wood or sucker growth and all broken or badly damaged branches shall be removed with a clean cut. All pruning to be performed by certified arborist, in accordance with ANSI A-300.
- K. Shrubs and ground cover plants shall be evenly spaced in accordance with the drawings and as indicated on the plant list. Materials installed shall meet minimum specimen requirements or quantities shown on plans, whichever is greater. Cultivate all planting areas to a minimum depth of 6" remove and dispose all debris. Mix top 4" planting soil mixture as specified in Section E. Thoroughly water all plants after installation.

- L. Tree guying and bracing shall be installed by the CONTRACTOR in accordance with the plans to insure stability and maintain trees in an upright position. If the owner CONTRACTOR and owner decide to waive the tree guying and bracing, the owner shall notify the project landscape architect in writing and agree to indemnify and hold harmless the project landscape architect in the event unsupported trees planted under this contract fall and damage person or property.
- M. All plant beds shall be kept free of noxious weeds until final acceptance of work. If directed by the owner, "roundups" shall be applied for weed control by a qualified personnel to all planting areas in spot applications per manufacturer's precautions and specifications. Prior to final installation, treat all planting beds with an approved pre-emergent herbicide at an application rate recommended by the manufacturer. (As allowed by jurisdictional authority)
- N. Planting behind perpendicular parking to be indicated a minimum of 6" behind the curb line, where possible.
- O. All landscape and grass areas are to be hand weeded and leaf clear of all stems, roots, extraneous debris and any unauthorized materials.

- P. The CONTRACTOR shall supply and install a minimum 5/8" wide stone mulch bed with weed barrier and aluminum edging in planting areas adjacent to underground gas storage tanks. The stone mulch bed shall be delineated with 1/2" aluminum landscape edging, spaced at 2' intervals. Aluminum edging is to be Cleanline 3/16" x 1/2" x 16" by Pexmark. See Appendix A-Figure No. 2 in Wawa Landscape Specification Book. Weed barrier shall be Zee 200, spunbond filter fabric by Fabricrete, Inc. or approved equal. See Appendix A-Figure No. 3 in Wawa Landscape Specification Book. All weed barrier will be overlapped a minimum of 6" at all seams. Weed barrier shall not be visible in areas designated for stone when stone is called for adjacent to curbs or sidewalks. It shall be fastened down to curb level from a distance 24" from the curb. Stone mulch shall be 1"-3" brown river rock applied a minimum 3" thick in all designated areas. See Appendix A-Figure No. 5 in Wawa Landscape Specification Book.
- Q. Surface of all planting areas shall be covered with stone mulch shall be treated with a pre-emergent herbicide (surflan, dactal or approved equal) in accordance with applicable federal and state regulations and the manufacturer's instructions.

2.13 LAWN SODDING

The work consists of lawn bed preparation, soil Preparation, and sodding complete, in strict accordance with the specifications and the applicable drawings to produce a turf grass lawn acceptable to the owner.
B. All areas that are to be sodded within the Wawa property line shall be certified Empire Zoysia turf (Zoysia japonica) or St. Augustine grass Floramat (Stenotaphrum secundatum). All areas that are to be sodded outside of the Wawa property line (high-of-way) and stormwater retention ponds and awnings shall be Argentine Bahia turf (Paspalum notatum). See Landscape Plans for locations.
C. All areas that are to be sodded shall be cleared of any rough grass, weeds, and debris by means of a soil culture to a depth of three (3) inches, and the ground brought to an even grade. The entire surface shall be rolled with a roller weighing not more than one-hundred (100) pounds per foot of width. During the rolling, all depressions caused by settlement shall be filled with additional soil, and the surface shall be regraded and rolled until presenting a smooth and even finish as the requirements dictate.
D. Prepare loose bed four (4) inches deep. Hand rake all bumps and depressions are removed. Wet prepared area thoroughly.
E. Sodding
1. The CONTRACTOR shall sod all areas that are not paved or planted as designated on the drawings within the contract limits, unless specifically noted otherwise.
2. The sod shall be certified to meet Florida State Plant Board Specifications, true to variety type, and free from weeds, fungus, insects, and disease of any kind.

3. Sod panels shall be laid tightly together to make a solid sodded lawn area. Sod shall be laid uniformly against the edges of all curbs and other hardscape materials, and against all accessible to the ground surface. A 24-hour stone mulch strip shall be provided. Immediately following sod laying, the lawn areas shall be rolled with a lawn roller customarily used for such purposes, and then thoroughly watered. If, in the opinion of the contractor, topsoiling is necessary after rolling to fill the voids between the panels and to even out inconsistencies in the sod, clean sand, as approved by the owner's representative, shall be uniformly spread over the entire surface of the sod and thoroughly watered in. Fertilizer installed sod as allowed by property's jurisdictional authority, the City of Fort Pierce & St. Lucie County fertilizer restrictions.

F. During delivery, prior to, and during the planting of the lawn areas, the sod panels shall be stored and stored on pallets. All pallets shall be stacked so as not to be damaged by sweating or excessive heat and moisture.

G. Lawn maintenance
1. Within the contract limits, the CONTRACTOR shall produce a dense, well established lawn. The CONTRACTOR shall be responsible for the repair and reseedling of eroded banks and eroded spots. Sodding shall be completed and accepted by the owner's representative. Repaired sodding shall be accomplished as in the original work (including regrading if necessary).- 2. CONTRACTOR responsible for establishing and maintaining sod/worm until acceptance by the owner's representative. Prior to and upon acceptance, CONTRACTOR to provide watering/irrigation schedule to owner. Observe all applicable watering restrictions as set forth by the property's jurisdictional authority.

2.14 CLEANUP

At the end of all planting work and before final acceptance, the CONTRACTOR shall remove all material, equipment, and debris resulting from his work. All paved areas shall be cleaned, and the site left in a neat and acceptable condition as approved by the owner's representative.

2.15 FINAL INSPECTION AND ACCEPTANCE OF WORK

All plants and planting included under this contract shall be maintained by watering, cultivating, spraying, and all other operations (including gully supports) necessary to insure a healthy plant condition by the CONTRACTOR until certification of acceptance by the owner's representative.
At the end of the warranty period shall not be planting, construction and all other incidental work pertaining to this contract. Any replacement at this time shall be subject to the same One (1) Year Warranty (or as specified by the Landscape Architect or owner in writing) beginning with the time of replacement and ending with the same inspection and acceptance herein described.

2.16 WARRANTY

- A. The life and satisfactory condition of all plant material installed (including sod) by the landscape CONTRACTOR shall be warranted by the CONTRACTOR for a minimum period of One (1) calendar year commencing at the time of certification of acceptance by the owner's representative.
B. Any plant not found in a healthy growing condition at the end of the warranty period shall be removed from the surface of all plant beds. These materials shall not be mixed with the soil. Should the CONTRACTOR find such soil conditions beneath the soil which will in any way adversely affect the plant growth, he shall immediately call it to the attention of the owner's representative. Failure to do so before planting shall make the corrective measures the responsibility of the CONTRACTOR.

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Verify locations of all utilities, conduits, supply lines and cables, including but not limited to: Electric, Gas (lines and tanks), Water, Sanitary Sewer, Storm Water Systems, Cable, and Telephone. Properly maintain and protect existing utilities. Call Sunshine State One Call of Florida, Inc. (811) to locate utilities at least 48 hours prior to construction.

3.00 RAISED PLANTERS

The nature and purpose of the raised planters is to draw attention to the store and to the outdoor seating areas. The highest level of attention should be placed on their on-going care. All annual flowers shall be a minimum 4" pot size and all perennial flowers shall be a minimum gallon pot size. Choose compact plants with healthy, unblemished leaves, good green color, and lots of flower buds. It is not necessary that they be in bloom at the time of installation. Landscaping materials and work of several flower colors and plant forms are appropriate for a "cottage garden" raised planter look.
In Florida, most annuals only last one season and are divided into two types: warm season and cool season. Warm-season (tender) annuals are damaged by frosts or freezes and should be planted after the last frost date—typically March 15 for North Florida and February 15 for Central Florida; frosts and freezes are rare in South Florida. Cool-season (hardy) annuals are intolerant of heat, rainfall, and humidity. They are planted in fall and overwinter in the ground during summer (late May/June). See Figure No. 1 in Wawa Landscape Specification Book for list of warm season annuals/perennials and Figure No. 2 for list of cool season annuals/perennials. See Figure 3, 4 & 5 for Typical Planter Layouts A, B, C, and D.

3.02 SCHEDULE

A. All flower beds on the property will be changed four (4) times per year during the months of January, April, July and October, and all perennials to be planted will be changed (2) times per year during the months of April and October.
B. CONTRACTOR recognizes that flower beds are intended to highlight and beautifully high profile areas and should be selected for color, profession and display.
C. All newly planted beds will have a minimum of 50% of the plants in bloom at the time of installation.
D. Contractor will obtain prior approval of plant selection from owner or owner's representative before installation.

3.03 INSTALLATION

A. The most important step in establishing annuals and perennials is preparing the planting bed. Apply several inches of organic matter to the soil surface and work into the top 10 to 12 inches. A soil pH of 5.5 to 5.8 is recommended. Many counties Extension offices test soil and make pH recommendations. Next, sprinkle a controlled-release fertilizer such as Osmocote, Dynamite, or other similar product at the rate indicated on the label. Thoroughly mix it into the top 6 inches of soil.
B. Amend pine and oak plant pits with ectomycorrhizal soil application per manufacturer's recommendation. All other plant pits shall be amended with endomycorrhizal soil application per manufacturer's recommendation. Provide product information submitted prior to installation.
C. All raised planter flower beds should be covered with 1" layer of Pine fines after planting.

D. Annually, prior to the spring change out, existing soil will be removed to a depth of 6" in all annual and perennial beds and replaced with clean growing medium composed of 60% peat and 40% fine aged Pine bark.
3.04 MAINTENANCE
A. Flower beds will be reviewed at each service visit for the following:
1. Removal of all litter and debris.
2. Beds are to remain weed - free at all times.
3. All declining blooms are to be removed immediately.
4. Inspect for the presence of insect or disease activity and treat immediately.
B. Maintain annuals throughout the growing season by pinching and deadheading practices. Pinching is a light pruning of stem tips to control the size and shape of the plant. Deadheading is the removal of spent blooms to improve appearance and redirect plant energy into new growth and flowers rather than seed production. Frequent pinching will result in healthier, more compact plants.
C. Most perennials require little maintenance other than occasional pruning and fertilizing. Many perennial applications and amounts may vary with different plants and parts of the state. Let the appearance and growth rate of the plant guide you. Few perennials require little or no fertilizer once established.
Occasional pruning may be needed to remove dead flower spikes or unwanted stems, or to reduce the size of the plant.
D. Pre-emergent herbicides are not to be used in flower beds.
E. Contractor guarantees the survivability and performance of all flower beds for a period of 90 days. Any plant that fails to perform during this period will be immediately replaced at the contractor's expense.
F. Fountain grass shall be cut back annually to a height of 12" in the early spring after the last frost date.
G. Monitor annuals frequently for insects and diseases. Infestations detected in the early stages can be controlled by spot treatments before the entire planter is infested. An insect infestation on a few plants can be controlled by picking insects off by hand or by the use of insecticides. The Contractor shall provide the Owner with an estimate of the total cost, or hourly and material rates if applicable, for all additional services. No additional services shall be provided without the Owner's approval.

3.05 WARRANTY

Any bedding plant that dies due to insect damage or disease will be replaced under warranty. Exclusions to this warranty would be freeze, theft, or vandalism.

4.00 LANDSCAPE MAINTENANCE

The work for the exterior landscape maintenance is to include the furnishing of all labor, materials, equipment, accessories to include an industrial scale all turf and plant materials in a healthy, vigorous growing condition, free from weeds, diseases, insects, and nutritional deficiencies as well as a completely operational irrigation system. All associated plant materials shall be inspected, and the Contractor shall be held responsible to provide maintenance to the plants in the life of the contract. See Appendix D-Weekly Landscape Maintenance Checklist and Appendix E-Monthly Landscape Maintenance Checklist in Wawa Landscape Specification Book.

4.02 GENERAL REQUIREMENTS

This Landscape Maintenance Specification is a part of the contract for landscape maintenance services. Compliance with the requirements set forth in this specification are mandatory for the Landscape Maintenance Contractor. Any part of this specification that is deemed invalid for any reason that invalidation shall apply only to that specific part declared invalid. It shall not nullify any of the requirements of any other part. In the event of question over applicability of any requirement, the minimum sizes of root balls shall be equal to that specified for the next larger size of nursery grown stock of the same variety.

1. Within the contract limits, the CONTRACTOR shall produce a dense, well established lawn. The CONTRACTOR shall be responsible for the repair and reseedling of eroded banks and eroded spots. Sodding shall be completed and accepted by the owner's representative. Repaired sodding shall be accomplished as in the original work (including regrading if necessary).- 2. CONTRACTOR responsible for establishing and maintaining sod/worm until acceptance by the owner's representative. Prior to and upon acceptance, CONTRACTOR to provide watering/irrigation schedule to owner. Observe all applicable watering restrictions as set forth by the property's jurisdictional authority.

4.03 CLEANUP

At the end of all planting work and before final acceptance, the CONTRACTOR shall remove all material, equipment, and debris resulting from his work. All paved areas shall be cleaned, and the site left in a neat and acceptable condition as approved by the owner's representative.

4.04 INSURANCE
The Landscape Maintenance Contractor shall provide the Wawa representative with current Certificates of Insurance showing that the following requirements are met:
A. The contractor shall carry general liability insurance in the amount of \$1,000,000 per occurrence, but not less than an aggregate limit as specified by Wawa.
B. General liability insurance with an aggregate limit as specified by Wawa.
C. Vehicle liability insurance with an aggregate limit as specified by Wawa.
Insurance policies meeting these requirements shall remain in effect for the duration of the work. No payments to the Landscape Maintenance Contractor will be authorized unless current Certificates of Insurance have been filed with the Wawa representative.

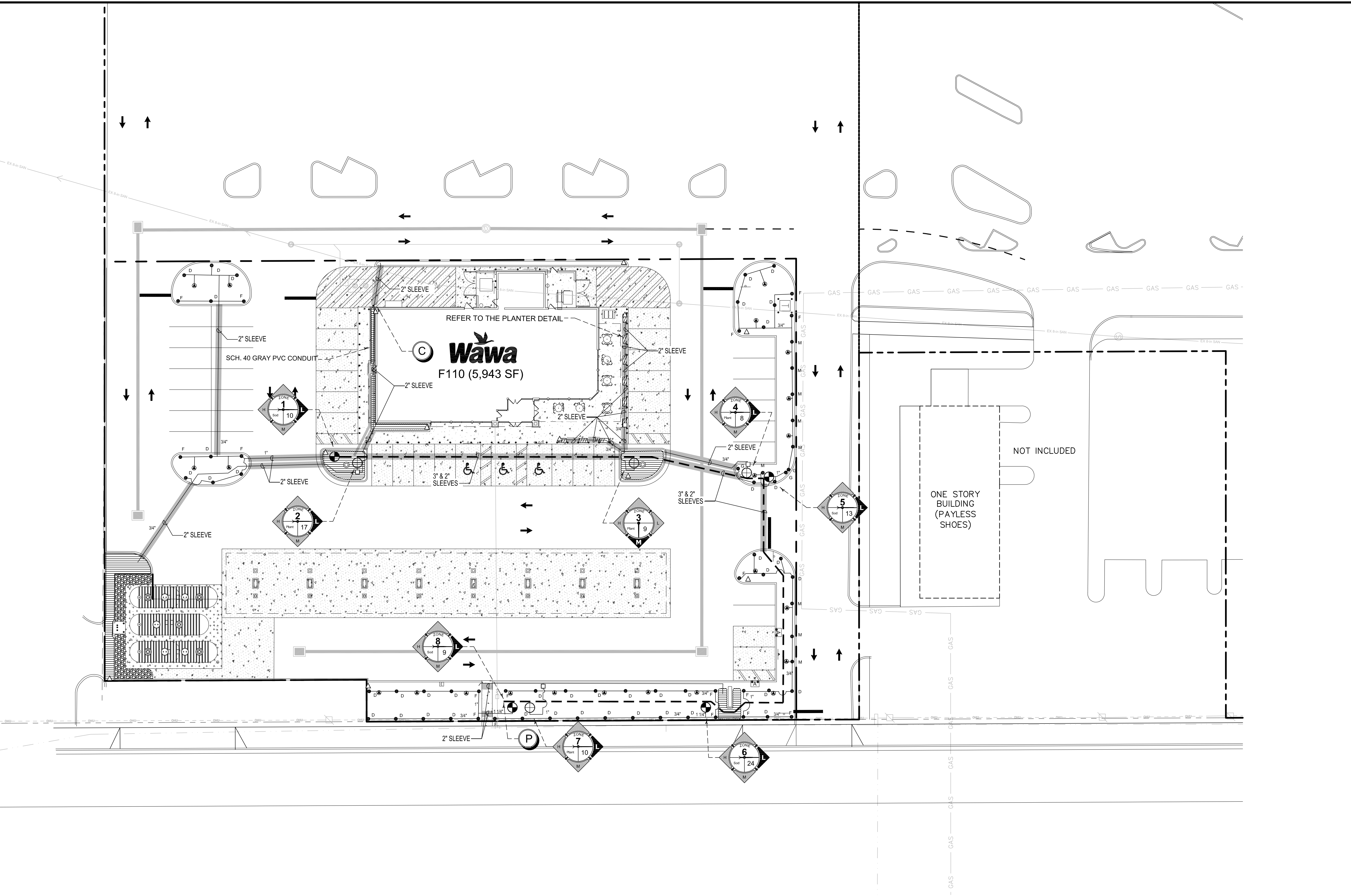
4.05 CONTRACT PERSON

The Landscape Maintenance Contractor shall provide the Wawa representative with a phone number where a message can be left for the contractor 24 hours a day. An answering machine connected to the Landscape Maintenance Contractor's normal phone line is an acceptable method of meeting this requirement. The Landscape Maintenance Contractor shall check messages for this at this phone number every 24 hours or less.

4.06 TURF MAINTENANCE

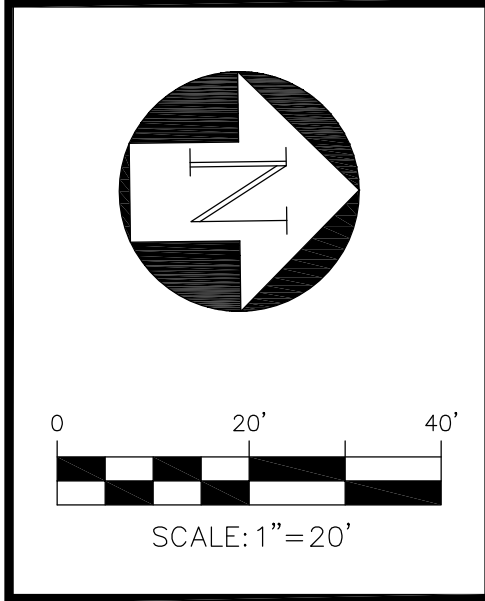
Turf maintenance is defined as all mowing, edging, trimming and cleanup of lawn areas. Turf maintenance operations are to be completed the same day they are begun. High traffic and high profile areas such as front doors and amenity areas will be completely mowed, edged, trimmed and cleaned up prior to normal business hours of operation. In the event of inclement weather or any other circumstances that prevent the Contractor from performing this work, the Contractor shall be notified prior to adjustment of schedule. Mowing during inclement weather will not alleviate the contractor of responsibility for damage caused by the mowing of wet areas.
A. Mowing
1. Prior to mowing, remove and dispose of normal litter and debris from all landscape areas.
2. Turf shall be mowed weekly during the growing season from March 15 through October 15; and bi-weekly during the non-growing season from October 15 through March 15. In accordance with this schedule, it is estimated that the contractor will provide a minimum of 40 and a maximum of 42 mowing cycles per 12-month period in the performance of this contract. It is understood that the contractor may be required to perform additional mowing cycles. Under this agreement, the contractor will reduce the next month's billing by the amount per cycle for each cycle missed. Owner will pay contractor the per cycle amount for each mowing cycle in excess of 42 per contract year.
3. Turf shall be cut with a rotary mower to maintain a uniform height. Mowing blades shall be kept sufficiently sharp and properly adjusted to provide a cleanly cut grass blade. Mowing pattern shall be varied where feasible to prevent tire ruts and ruts in the turf.
4. Proper mowing practices are necessary to keep any lawn healthy and attractive. Standard St. Augustine grass cultivars should be maintained at 1.5 to 2.0 inches. St. Augustine grass should be maintained at a height of 2-2.5 inches. Argentine Bahia grass should be maintained at a depth of 3-4 inches. Maintaining the right height helps the grass develop a deep root system and gives it both a healthier and a more attractive appearance. 1/3 of the leaf blades should be removed with any mowing. If possible, mowing height should be increased during periods of moisture stress or if the grass is growing in shade.
5. This program covers all facility requirements on all existing shrubs and palms, as well as all newly installed shrubs, trees, and palms up to 25". All native trees or transplanted trees over 25" in overall height will require special consideration and are therefore excluded from this program.
6. There will be a deep root feeding every 60 days as needed based on established nursery planted trees.
7. Fertilizer will be distributed evenly under the drip zone of each plant. Special care will be taken not to "clump" fertilizer neither at the base nor in the crown of plants.

4.08 TREE / SHRUB / PALM CARE PROGRAM
A. Schedule:
Monthly Application:
February: Insect/disease control as needed
March/April: Insect/disease control/fertilization as needed
May/June: Summer fertilization /insect/disease control as needed
July/August: Insect/disease control/fertilization as needed
October: Fall fertilization/insect/disease control as needed
December: Insect/disease control/fertilization as needed
B. Application:
1. Fertilization
a. Contractor will submit a schedule of materials to be used under this program along with application rates. Fertilizers selected must be appropriate for the plant material to be fertilized such as an acid-form fertilizer for Azaleas which require a lower soil pH.
b. Contractor will submit a schedule of materials to be used under this program along with application rates. Annual program will include a minimum of 30% slow release Nitrogen and a high Potassium blend in large quantities to promote root development and stress soil sample results to indicate the presence of sufficient Potassium.
c. All fertilizers utilized under this program are to be custom blended with a balanced nutrient package. A complete minor and trace element package will be included with each application to insure that all the requirements of plant material are met. If soil samples indicate a high pH, all fertilizers utilized will be Sulphur coated products.
d. This program covers all facility requirements on all existing shrubs and palms, as well as all newly installed shrubs, trees, and palms up to 25". All native trees or transplanted trees over 25" in overall height will require special consideration and are therefore excluded from this program.
e. There will be a deep root feeding every 60 days as needed based on established nursery planted trees.
f. Fertilizer will be distributed evenly under the drip zone



Wawa
 Gateway Plaza
 City of Fort Pierce, Florida

DESIGNED:	JWS
PROJECT:	19-0204
DATE:	4-24-2019
REVISIONS:	



Irrigation Plan

GENERAL NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS. HAND DIG AROUND ANY EXISTING TREES. DO NOT CUT ANY ROOTS OVER 2" IN DIAMETER.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. DO NOT USE POLYETHYLENE PIPE. USE WELDON 737 WITH A PURPLE PRIMER OR RED HOT CHRISTY'S BLUE GLUE ON ALL CONNECTIONS.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES, WINDOWS AND BLDG. WALLS. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDINGS WINDOWS.
- ALL RISERS SHALL BE PAINTED BLACK OR A COLOR CHOSEN BY THE OWNER'S REPRESENTATIVE AND SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH STAINLESS STEEL CLAMPS. LEAVE THE BOTTOM 1/2 OF THE PIPE PURPLE ON RECLAIMED SYSTEMS.
- ALL CONTROL WIRE CONNECTIONS SHALL BE MADE IN VALVE BOXES USING 3M DBR-Y WIRE CONNECTORS AND SEALANT WITH WIRE NUTS.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING ALL IRRIGATION INSTALLATION. THE CONTRACTOR SHALL NEATLY MARK IN RED INK ON A WHITE BOND PAPER COPY OF THE IRRIGATION PLAN ANY INSTALLATION THAT DEVIATES FROM THE PLAN. THE AS-BUILT DRAWING SHALL ALSO LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. MEASUREMENTS SHALL BE MARKED ON THE PLAN EVEN WHEN THE EQUIPMENT IS INSTALLED IN THE EXACT LOCATION AS THE PLAN. PROVIDE THE OWNER A PDF OF THE AS-BUILT PLAN.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES. THE VALVE BOXES SHALL BE PURPLE WHEN USING RECLAIMED WATER.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS OR INSIDE A SCH. 40 SLEEVE.
- ALL HEADS SHALL BE INSTALLED A MINIMUM OF 24" FROM ANY WALL AND A MINIMUM OF 6" FROM ANY SIDEWALK, PATIO OR ROAD. (MINIMUM OF 2'-0" WHERE THERE ARE NO BUMPER STOPS) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. INSTALL THE 12" POP-UP HIGHER WHERE BLOCKED BY TALL SHRUBS.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY THEIR WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP OR AS OUTLINED IN THE WRITTEN SPECIFICATIONS.
- ELECTRICAL SERVICE TO LOCATION OF THE CONTROLLER, WELL OR PUMP SHALL BE PROVIDED TO A JUNCTION BOX OR DISCONNECT AT THE EQUIPMENT LOCATION BY THE ELECTRICAL CONTRACTOR OR BY OWNER WHEN IT IS NOT PART OF THE BID PACKAGE. CONFIRM THE LOCATION OF THE CONTROLLER WITH THE OWNER OR GENERAL CONTRACTOR BEFORE ANY INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN. ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER, SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOO IN THESE AREAS.
- 48 HOURS BEFORE DIGGING, CALL 1-800-432-4776 (SUNSHINE STATE ONE CALL CENTER)
- INSTALL THREE EXTRA CONTROL WIRES TO EACH TERMINATION OF THE MAIN. ALL CONTROL WIRES SHALL BE INSTALLED INSIDE OF SCH. 40 GRAY PVC CONDUIT WHERE THEY CANNOT BE UNDER THE MAN.

DRIP TUBING NOTES

- INSTALL ALL DRIP TUBING AT GROUND LEVEL AFTER PLANT INSTALLATION. INSTALL NETAFIM T66 U SHAPED WIRE STABILIZERS A MIN. OF 4" O.C. TO HOLD THE LINES IN PLACE.
- KEEP ALL DRIP LINE CLEAN AT ALL TIMES BEFORE THE FINAL CONNECTION. ALL TUBE ENDS SHALL BE INTERCONNECTED TO ALL OTHER DRIP TUBES. DO NOT DEAD END TUBING. SINGLE ROWS SHALL HAVE AN END CAP AND NOT BENT OVER OR TAPED.
- AVOID SHARP BENDS IN THE TUBING. DO NOT BEND THE TUBING WITH LESS THEN A 12" RADIUS. THERE SHALL NOT BE ANY KINKS IN THE TUBING.
- ALL DRIP TUBING SHALL HAVE UNIFORM SPACING AND BURIAL DEPTH. THE PLAN DOES NOT ALWAYS REFLECT THE EXACT SPACING OR LAYOUT OF THE TUBING. LAYOUT THE TUBING DOWN THE LONGEST WIDTH WHEN POSSIBLE. ADAPT THE TUBING TO CURVED BEDS OR PLANTERS AS REQUIRED. ADJUST AND ADAPT THE TUBING FOR ALL TREES. REFER TO THE TREE DRIP RING DETAIL.
- INSTALL DRIP TUBING TO ALL AREAS THAT SHALL RECEIVE PLANT MATERIAL. SEE THE LANDSCAPE PLAN FOR THE EXACT LOCATIONS. THERE SHALL BE A MINIMUM OF TWO ROWS OF TUBING ON A SINGLE ROW OF PLANTS.
- SPACE TUBING AS NOTED ON THE PLAN. DO NOT SNAKE TUBING BACK AND FORTH EXCEPT WHERE SHOWN ON THE PLAN. ALWAYS INSTALL A HEADER PIPE UNLESS THE TOTAL GALLONAGE OF AN AREA IS 3 GPM OR LESS.
- REFER TO THE MANUFACTURERS DRIP INSTALLATION MANUAL FOR INSTALLATION INSTRUCTIONS. ALL FITTINGS SHALL BE THE SAME TYPE AND MANUFACTURER AS THE DRIP TUBING.
- ALWAYS FLUSH ALL LINES BEFORE FINAL CONNECTION.
- INSTALL A "SYSTEM ON" INDICATOR FLAG ON EVERY ZONE WHERE IT IS SEEN FROM THE CONTROL VALVE.
- INSTALL FLUSH VALVES WHERE SHOWN AT THE ENDS OF EACH RUN OF DRIP TUBING AND ONE FOR EVERY 15 GPM OF TUBING.
- CLEARLY AND NEATLY MARK THE TOP OF EACH VALVE BOX WITH THE TYPE OF EQUIPMENT THAT IT CONTAINS. (I.E. VALVE, FLUSH VALVE, ETC.)
- THE DRIP ZONE VALVE ASSEMBLY SHALL BE PLACED INSIDE AN ARMOR JUMBO VALVE BOX. THE VALVE SHALL BE INSTALLED AS PER THE DETAIL ON THE PLANS.
- THE DRIP TUBING SHALL HAVE EMITTERS EVERY 12" AND SHALL BE SPACED 12" APART IN GROUND COVER BEDS AND A MINIMUM OF TWO RUNS FOR EACH ROW OF SHRUBS WHEN THE SHRUBS ARE SPACED FARTHER THAN 2' ON CENTER.
- REFER TO THE ZONE CONTROL KIT DETAIL FOR FILTER SIZES.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HISHER WORK WITH THE LANDSCAPE CONTRACTOR.

LEGEND

SYMBOL	DESCRIPTION
•	HUNTER PRS40 6" POP-UP SPRAY HEAD
—	CLASS 200 PVC DRIP HEADER PIPE-REFER TO DETAIL
⊙	NETAFIM DRIP BUBBLER TREE RING- REFER TO DRIP BUBBLER DETAIL
□	NETAFIM FLAG INDICATOR- REFER TO THE DETAIL
△	NETAFIM FLUSH VALVE
▨	NETAFIM TECHLINE CV 17MM DRIP TUBING- 1 GPH EMITTERS EVERY 12". PLACE ROWS 12" APART IN ALL GROUND COVER BEDS. INSTALL A DOUBLE ROW ON ALL HEDGE ROWS. REFER TO ALL NOTES AND DETAILS ON THIS SHEET.
▨	GROUND COVER
▨	HEDGE
—	CLASS 200 PVC MAINLINE-1 1/2"
—	CLASS 200 PVC LATERAL LINE- SIZE AS SHOWN UNTIL A SMALLER SIZE IS SHOWN. MINIMUM SIZE OF 3/4"
▨	SCH. 40 SLEEVE (MINIMUM OF 24" DEPTH AND 2 SIZES LARGER THAN THE PIPE SIZE OR AS LABELED ON THE PLAN) CUT AND PATCH THE EXISTING PAVEMENT WHERE REQUIRED.
⊕	HUNTER ICV ELECTRIC VALVE. SIZE AS SHOWN BELOW. INSTALL VALVE IN A 11"X17" VALVE BOX AND LID. 0-25 GPM=1"
⊕	HUNTER ZONE CONTROL KIT- REFER TO THE DETAIL. PURPLE BOX AND LID.
⊙	CONTROLLER- HUNTER ICC-2. WHERE SHOWN ON THE PLAN, INSTALL WITH A HUNTER MINI-CLICK RAIN SENSOR. GROUND WITH A MINIMUM 8" COPPER CLAD ROD. SLEEVE TO AS REQUIRED.
⊙	POINT OF CONNECTION TO A 1" POTABLE IRRIGATION METER. REFER TO THE UTILITY PLAN FOR THE EXACT LOCATION AND DETAILS.

NOZZLE CHART

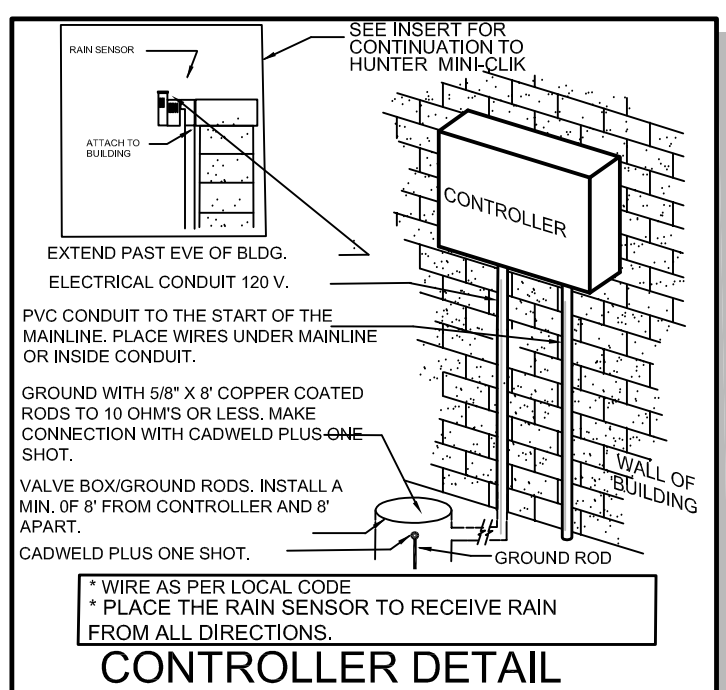
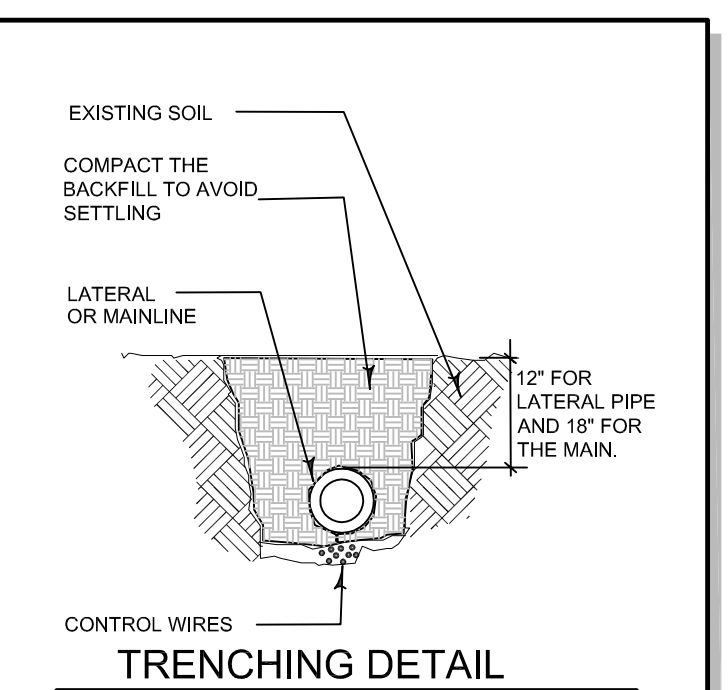
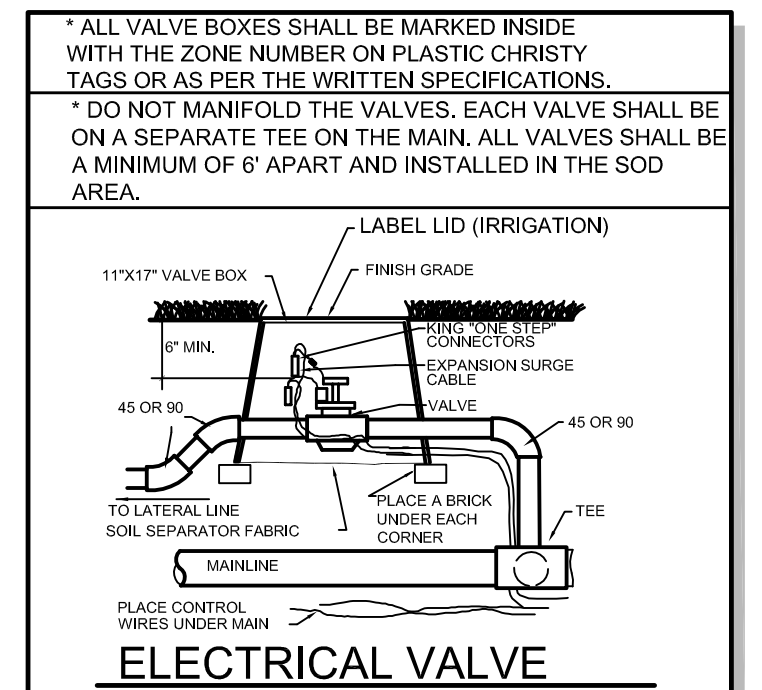
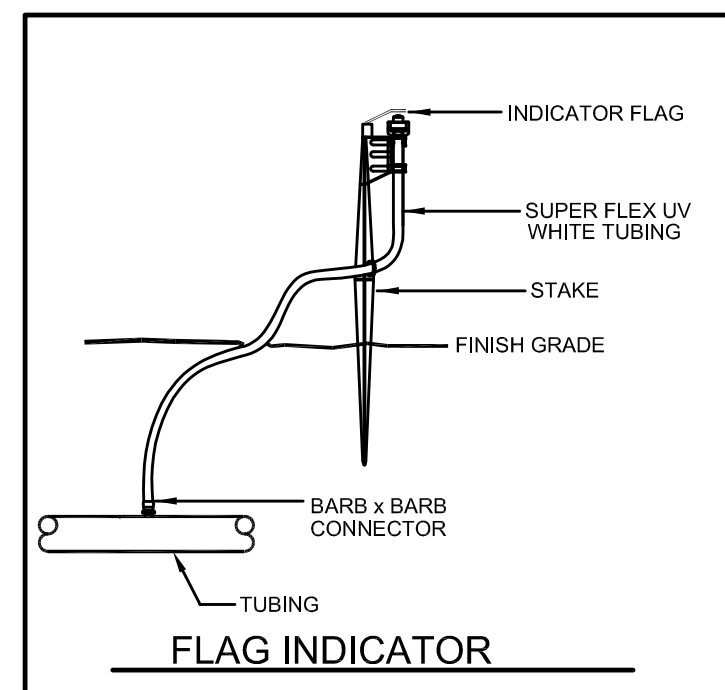
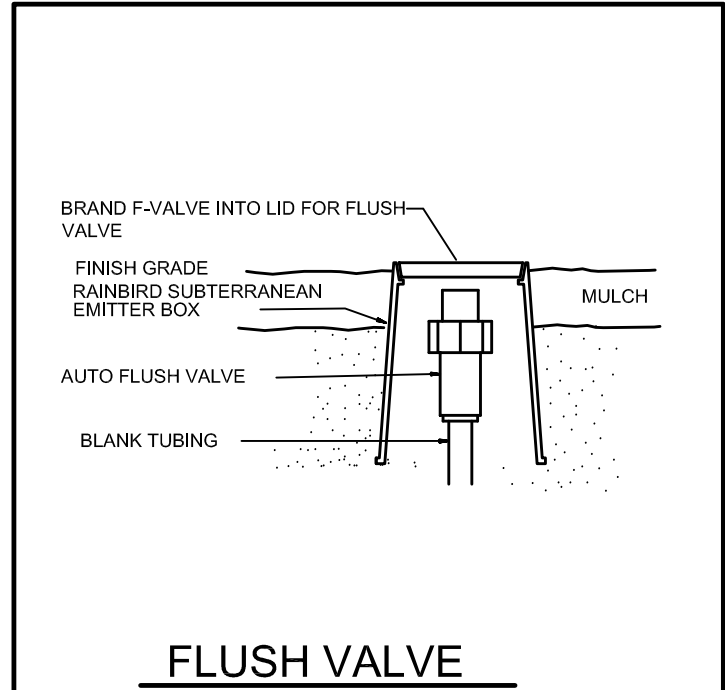
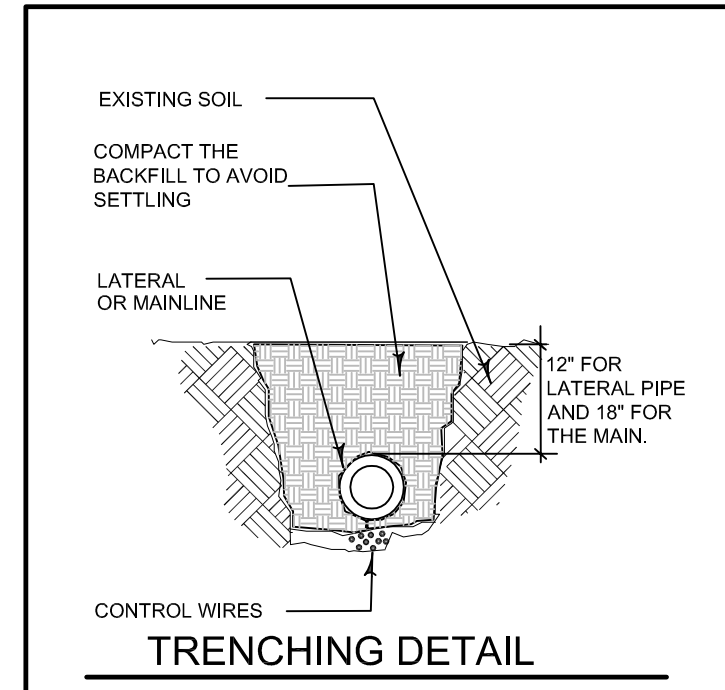
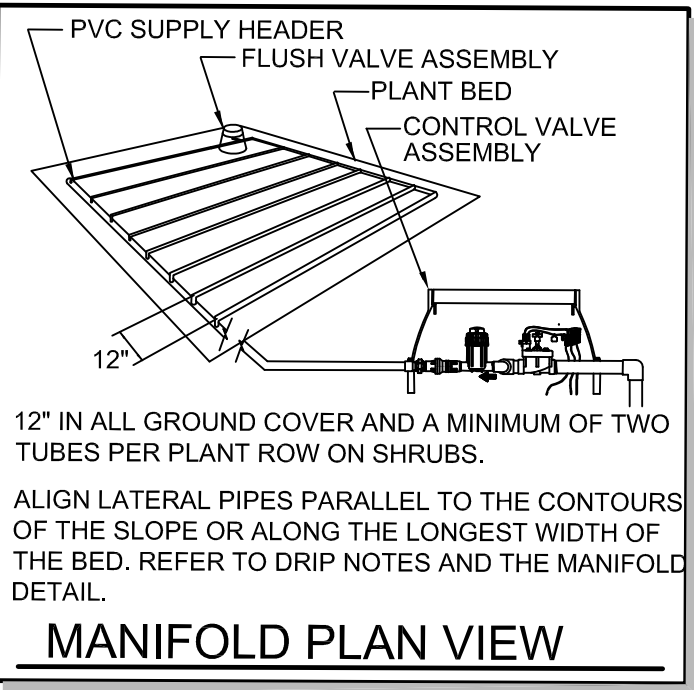
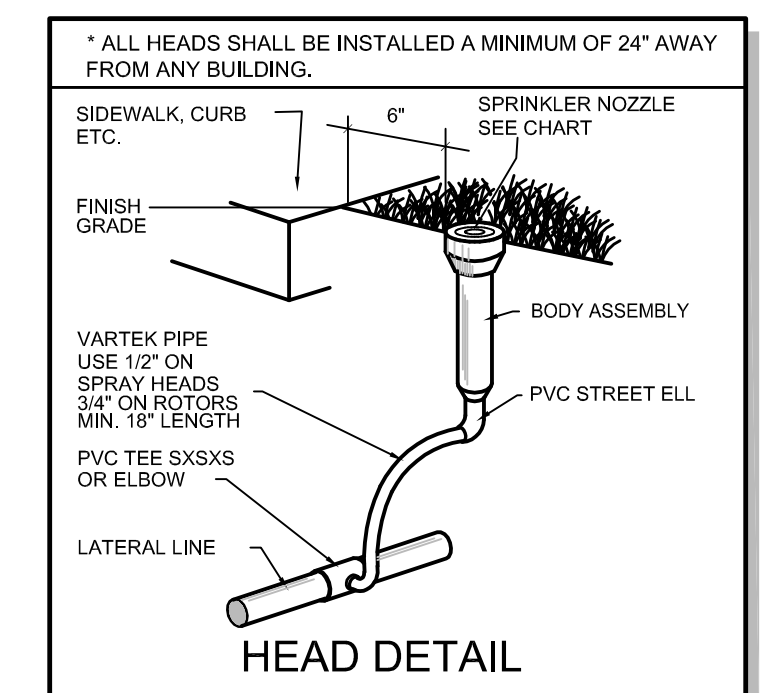
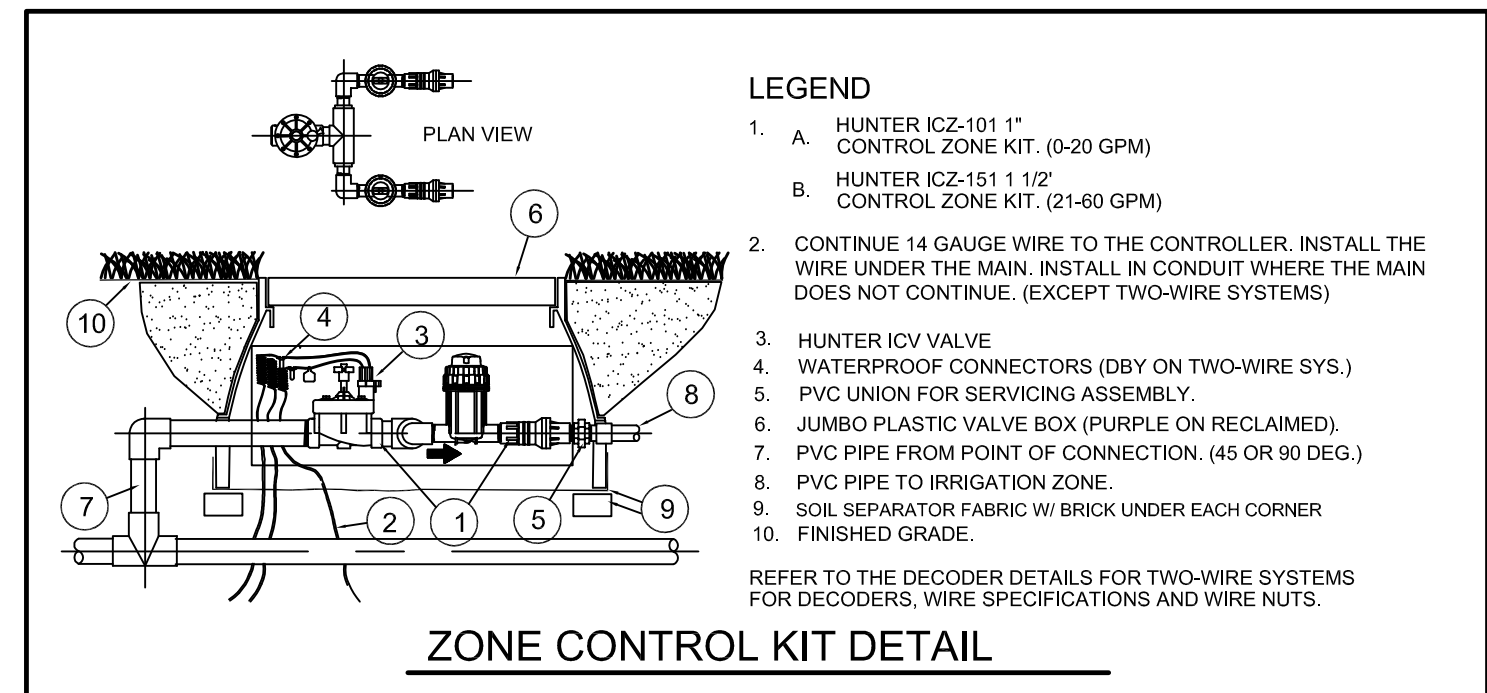
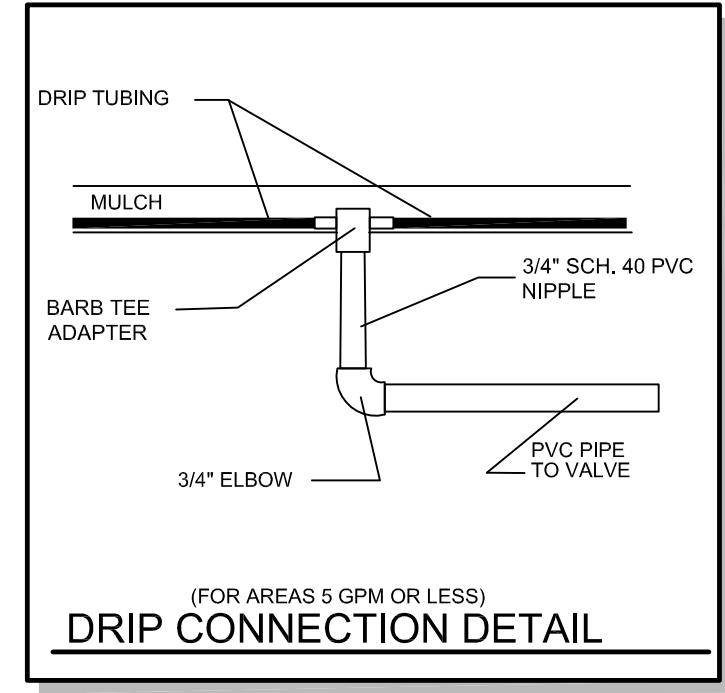
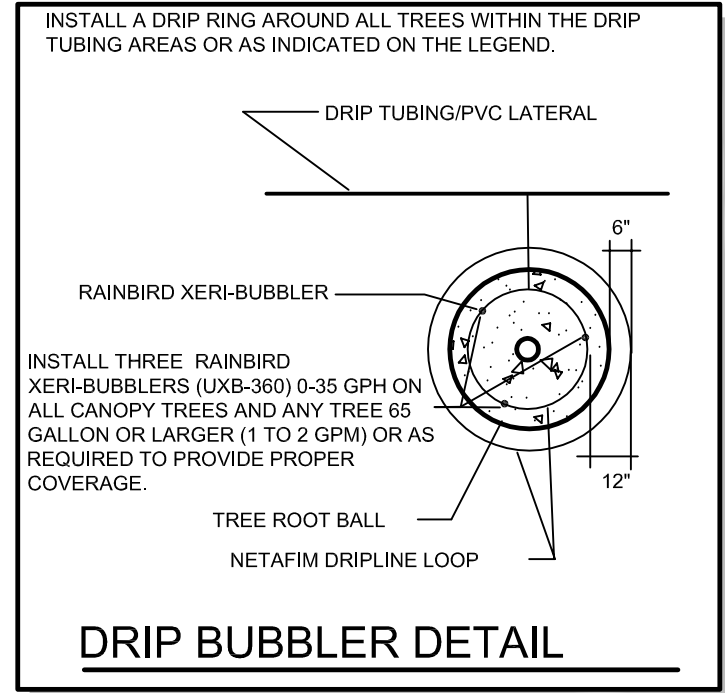
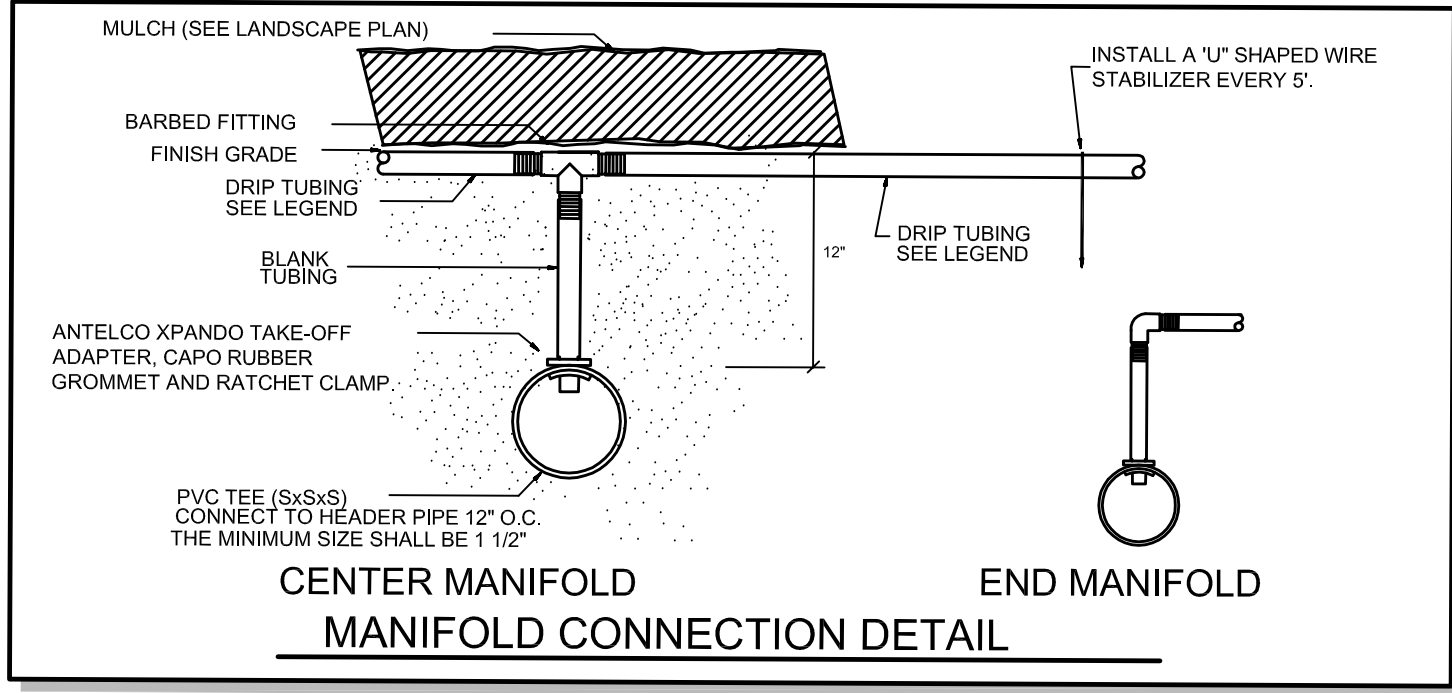
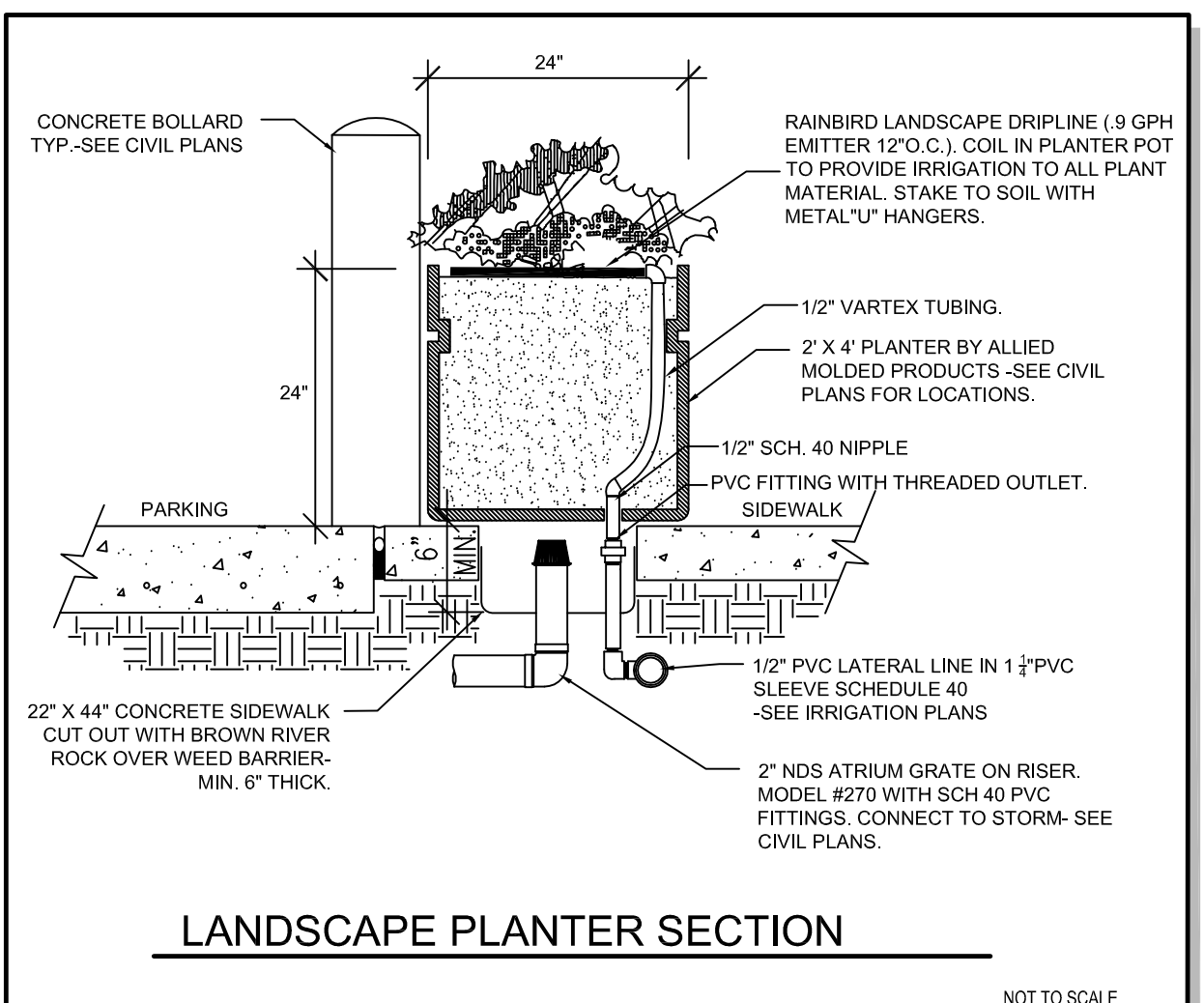
LETTER	SPEC.	COLOR	G.P.M. 40 PSI	DISTANCE	RADIUS	ZONE LABELS
A	MP2000	RED	1.47	19'	FULL 360	
B	MP CORNER	TURQUOISE	.45	14'	CORNER 105	
C	MP CORNER	TURQUOISE	.19	12'	CORNER 45	
D	MP2000	BLACK	.74	19'	HALF 180	
F	MP2000	BLACK	.40	19'	QUARTER 90	
G	MP END STRIP	IVORY COPPER	.22	5' X 15'	END STRIP	
H	RAIN. XPCN	BLACK	.23	4.5'	HALF PATTERN	
M	MP SIDE S	BROWN	.44	5' X 30'	SIDE STRIP	
S	MP815-90	GRAY	.49-.93	8'-16"	90-180	
V	MP3000	BLUE	.86	30'	QUARTER 90	
W	MP3000	BLUE	1.82	30'	HALF 180	
X	MP3000	YELLOW	2.73	30'	THREE QTR. 270	
Y	MP3000	GRAY	3.64	30'	FULL 360	
Z	MP2000	GREEN	1.10	19'	THREE QTR. 270	

THE NOZZLES LISTED SHOW THE TYPE OF MP ROTATOR NOZZLE THAT SHOULD BE USED. THE CONTRACTOR SHOULD INSTALL CORRECT NOZZLE IN EACH HEAD AS SHOWN BY THE LETTER BESIDE THE HEAD ON THE PLAN. DO NOT USE MP1000 SERIES NOZZLES. THE GPM, DISTANCE AND ANGLE ON THE NOZZLE CHART ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST ALL NOZZLES TO PROVIDE THE 100% COVERAGE, BUT LIMIT OVERTHROW ON TO BUILDINGS, WALLS, PAVEMENT, ETC. THE HEADS SHALL BE SPACED AS PER THE PLAN. SCALE THE PLAN FOR DISTANCE. DO NOT ASSUME THAT ALL HEADS ARE SPACED AS PER CONVENTIONAL SPRAY HEADS. THE PRECIPITATION RATE FOR THESE NOZZLES IS LESS THAN A CONVENTIONAL SPRAY NOZZLE. FOLLOW THE ZONE CHART FOR AN APPROXIMATE RUN TIME FOR EACH ZONE, BUT SET THE RUN TIME ON THE CONTROLLER BASED ON THE SPECIFIC SITE CONDITIONS. DO NOT SUBSTITUTE WITH STANDARD NOZZLES.

ZONE CHART

ZONE	PLANT (TYPE)	IRRIGATION (TYPE)	WATER (DEMAND)	PRECIP. (RATE) (IN. PER WEEK REQ.)	APPLIC. (GPM)	ZONE (MINUTES PER CYCLE)	TOTAL (GALLONS)
1	SOD	Spray	LOW	0.75	0.5	10	200
2	PLANT	Drip	LOW	1.5	0.5	17	170
3	PLANT	Drip	MEDIUM	1.5	1.0	9	180
4	PLANT	Drip	LOW	1.5	0.5	8	80
5	SOD	Spray	LOW	0.75	0.5	13	260
6	SOD	Spray	LOW	0.75	0.5	24	480
7	PLANT	Drip	LOW	1.5	0.5	10	100
8	SOD	Spray	LOW	0.75	0.5	9	20
TOTAL GPM PER RUN CYCLE							100
TOTAL GPM PER WEEK (PEAK WEEKLY DEMAND)							130
TOTAL GPM PER YEAR							3,300

THE RUN TIMES SHOWN FOR THE ZONE IS FOR ONE RUN CYCLE AND WILL PROVIDE HALF THE REQUIRED AMOUNT OF WATER NEEDED PER WEEK. TWO RUN CYCLES PER WEEK ARE REQUIRED TO PROVIDE THE TOTAL WEEKLY REQUIREMENT. ALL RUN TIMES SHALL BE SET TO FOLLOW THE CURRENT WATER MANAGEMENT DISTRICT REGULATIONS AND REDUCED TO ONLY ONE RUN TIME PER WEEK WHEN RESTRICTED BY DAYLIGHT SAVINGS TIME OR WATER RESTRICTIONS. THE ZONE CHART IS PROVIDED AS A GENERAL OUTLINE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO SET THE RUN TIMES BASED ON THE SPECIFIC SITE CONDITIONS AND PLANT REQUIREMENTS. THIS SHALL INCLUDE, BUT NOT LIMITED TO, SOIL TYPE, DRAINAGE, SLOPES, SUN EXPOSURE AND THE ESTABLISHMENT PERIOD. THE TOTAL GPM REQUIRED PER YEAR WILL BE LESS THAN THE PEAK DEMAND PER WEEK TIMES 52 WEEKS, BASED ON THE RUN TIMES BEING REDUCED BY SENSORS AND A REDUCED WATER DEMAND IN THE WINTER MONTHS.

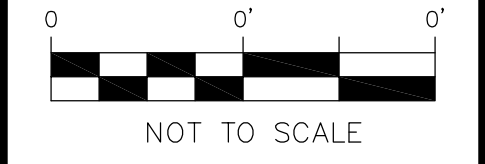


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DESIGNED: JWS
 PROJECT: 19-0204
 DATE: 3-5-2019
 REVISIONS:



IRRIGATION SPECIFICATIONS

1.1.0 GENERAL

A. THE GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS AND SPECIAL CONDITIONS APPLY TO THE WORK IN THIS SECTION.

1.01 DESCRIPTION

A. SCOPE OF WORK: PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION AND SERVICES NECESSARY TO FURNISH AND INSTALL IRRIGATION SYSTEMS AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.

B. CONTRACTOR SHALL SUBMIT JOB SCHEDULE FOR ALL AREAS OF THE WORK. COORDINATE WITH OWNER'S DATES OF OCCUPANCY.

1.02 QUALITY ASSURANCE & REQUIREMENTS

A. PERMITS AND FEES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY AND ALL PERMITS AND ALL INSPECTIONS AS REQUIRED.

B. MANUFACTURER'S DIRECTIONS: MANUFACTURER'S DIRECTIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURERS OF ARTICLES USED IN THIS CONTRACT FURNISH DIRECTIONS COVERING POINTS NOT SHOWN IN THE DRAWINGS AND SPECIFICATIONS.

C. ORDINANCES AND REGULATION: ALL LOCAL, MUNICIPAL AND STATE LAWS, AND RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS, AND THEIR PROVISIONS SHALL BE CARRIED OUT

D. SUPERINTENDENT:

1. THERE SHALL BE A SUPERINTENDENT SATISFACTORY TO THE OWNERS REPRESENTATIVE
2. THE SUPERINTENDENT SHALL NOT BE CHANGED EXCEPT WITH THE CONSENT OF THE OWNER'S REPRESENTATIVE.
3. THE SUPERINTENDENT SHALL BE AUTHORIZED TO REPRESENT THE CONTRACTOR.

E. EXPLANATION OF DRAWINGS:

1. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK.
2. THE TERM LANDSCAPE ARCHITECT AS USED HEREIN SHALL REFER TO THE OWNERS AUTHORIZED REPRESENTATIVE, SPECIFICALLY MENTIONED IN THE SPECIFICATIONS.
3. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES AND DISCREPANCIES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN DESIGN.
4. WORK OF THIS SECTION WHICH IS ALLIED WITH THE WORK OF OTHER TRADES SHALL BE COORDINATED AS NECESSARY.

1.03 SUBMITTALS

A. MATERIALS LIST:

1. THE CONTRACTOR SHALL FURNISH THE ARTICLES, EQUIPMENT, MATERIALS OR PROCESSES SPECIFIED BY NAME IN THE DRAWINGS AND SPECIFICATIONS. NO SUBSTITUTION WILL BE ALLOWED WITHOUT PRIOR WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
 2. COMPLETE MATERIAL LIST SHALL BE SUBMITTED PRIOR TO PERFORMING ANY WORK. MATERIAL LIST SHALL INCLUDE THE MANUFACTURER, MODEL NUMBER AND SPECIFICATIONS. IF EQUIPMENT IS AS SPECIFIED, NO MANUFACTURER DESCRIPTIVE CATALOGS ARE NECESSARY.
 3. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT MAY BE REJECTED AND THE CONTRACTOR REQUIRED TO REMOVE SUCH MATERIALS FROM THE SITE AT THEIR OWN EXPENSE.
 4. APPROVAL OF ANY ITEM, ALTERNATE OR SUBSTITUTE INDICATES ONLY THAT THE PRODUCT OR PRODUCTS APPARENTLY MEET THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS ON THE BASIS OF THE INFORMATION SUBMITTED.
 5. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF THE LIABILITY UNDER THE GUARANTIES. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.
- B. RECORD AND AS-BUILT DRAWINGS:
1. THE CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE AND COMPLETE "AS-BUILT" RECORD SET OF BOND PRINTS WHICH SHALL BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE AND SPECIFICATIONS AND THE EXACT "AS-BUILT" LOCATIONS, SIZES AND KINDS OF EQUIPMENT.
 2. THESE DRAWINGS SHALL ALSO SERVE AS WORK PROGRESS SHEETS AND SHALL BE THE BASIS FOR MEASUREMENT AND PAYMENT FOR WORK COMPLETED. THESE DRAWINGS SHALL BE AVAILABLE AT ALL TIMES FOR REVIEWS AND SHALL BE KEPT IN A LOCATION DESIGNATED BY THE LANDSCAPE ARCHITECT.
 3. THE CONTRACTOR SHALL MAKE NEAT AND LEGIBLE NOTATIONS ON THE AS-BUILT PROGRESS SHEETS DAILY AS THE WORK PROCEEDS, SHOWING THE WORK AS ACTUALLY INSTALLED.
 4. BEFORE THE DATE OF PROVISIONAL ACCEPTANCE, THE CONTRACTOR SHALL PROVIDE A CLEAN AND LEGIBLE AS-BUILT DRAWING. THE DRAWING SHALL INDICATE THE LOCATION OF EQUIPMENT AS DESCRIBED BELOW. THE DRAWING SHALL BE RED INK MARKED ON A BOND COPY OR A PDF OF THIS DRAWING.
 5. THE CONTRACTOR SHALL DIMENSION FROM TWO PERMANENT POINTS OF REFERENCE, BUILDING CORNERS, SIDEWALK, OR ROAD INTERSECTIONS, MAINLINES (DIMENSION MAX. 100' ALONG ROUTING).
 - A. CONTROL VALVES
 - B. ROUTING OF CONTROL WIRING AND MAIN
 - C. QUICK COUPLING VALVES WHEN SPECIFIED
 - D. CONTROLLER, RAIN SENSOR AND SOIL MOISTURE SENSORS WHEN SPECIFIED.
 - E. SLEEVES
 - F. OTHER RELATED EQUIPMENT AS DIRECTED BY THE LANDSCAPE ARCHITECT

6. ON OR BEFORE THE DATE OF WORK REVIEW FOR PROVISIONAL ACCEPTANCE, THE CONTRACTOR SHALL DELIVER THE CORRECTED AND COMPLETED AS-BUILT AND PDF TO THE LANDSCAPE ARCHITECT. DELIVERY OF THE AS-BUILT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FINISHING ALL REQUIREMENTS.

C. CONTROLLER CHARTS:

1. THE CHART SHALL SHOW THE AREA CONTROLLED BY THE CONTROLLER AND SHALL BE THE MAXIMUM SIZE WHICH THE CONTROLLER DOOR WILL ALLOW.
2. THE CHART IS TO BE A REDUCED DRAWING OF THE ACTUAL AS-BUILT SYSTEM OF A MAXIMUM SIZE THAT WILL FIT INSIDE CONTROLLER HOUSING, DOUBLE SIDED IF REQUIRED FOR READABILITY.
3. THE CHART SHALL BE BLACK LINE PRINT AND A DIFFERENT COLOR SHALL BE USED TO INDICATE THE AREA OF COVERAGE FOR EACH STATION, USING PASTEL OR TRANSPARENT COLORS.
4. WHEN COMPLETED AND APPROVED, THE CHART SHALL BE HERMETICALLY SEALED BETWEEN TWO PIECES OF PLASTIC, EACH PIECE BEING MINIMUM 20 MILS.
5. THESE CHARTS SHALL BE COMPLETED AND APPROVED PRIOR TO FINAL ACCEPTANCE OF THE IRRIGATION SYSTEM.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

A. HANDLING OF PVC PIPE AND FITTINGS: THE CONTRACTOR IS CAUTIONED TO EXERCISE CARE IN HANDLING, LOADING, UNLOADING, AND STORING OF PVC PIPE AND FITTINGS.

2.01 MATERIALS

A. GENERAL: USE ONLY NEW MATERIALS OF BRANDS AND TYPES NOTED ON DRAWINGS, SPECIFIED HEREIN, OR APPROVED EQUALS. NO USED EQUIPMENT SHALL BE INSTALLED.

2.02 PIPE & FITTINGS

A. PRESSURE MAIN LINE PIPING AND FITTINGS: (PURPLE RECLAIMED TYPE ON RECLAIMED WATER SYSTEMS) SIZE 3 INCHES OR SMALLER SHALL BE PVC CLASS 200 SOLVENT WELD TYPE.

B. PRESSURE MAIN LINE PIPING AND FITTINGS: (PURPLE RECLAIMED TYPE ON RECLAIMED WATER SYSTEMS) SIZE 2 1/2 INCHES AND SMALLER SHALL BE SCHEDULE PVC CLASS 200.

C. NON-PRESSURE LINES: SHALL BE PVC CLASS 200, (PURPLE RECLAIMED TYPE ON RECLAIMED WATER SYSTEMS)

D. ALL PIPE AND FITTINGS SHALL CONFORM TO SPECIFIC REQUIREMENTS AS FOLLOWS:

1. PVC (SOLVENT WELD)
 - A. PIPE: MANUFACTURED FROM VIRGIN POLYVINYL CHLORIDE COMPOUND IN ACCORDANCE WITH ASTM D 1784 OR ASTM D 2241, CELL CLASSIFICATION 12454B, HYDROSTATIC DESIGN LESS THAN 2,000 PSI.
2. FITTINGS (SOLVENT WELD OR THREAD): STANDARD WEIGHT SCHEDULE 40, SIDE GATED, INJECTION MOLDED PVC COMPLYING WITH ASTM D 1784, CELL CLASSIFICATION 4B, INCLUDING THREADS WHEN REQUIRED.
3. PVC NIPPLES SHALL BE SCHEDULE 80 WITH MOLDED THREADS.
3. ALL PVC PIPE MUST BEAR THE FOLLOWING MARKINGS:
 - A. MANUFACTURER'S NAME.
 - B. NOMINAL PIPE SIZE.
 - C. SCHEDULE OR CLASS.
 - D. DATE OF EXTRUSION.
- 4) ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING AN 18" VARTEX PVC FLEX PIPE CONNECTION. POLYETHYLENE PIPE AND BARBED FITTINGS SHALL NOT BE USED. USE WELDON 737 WITH A PURPLE PRIMER OR RED HOT CHRISTY'S BLUE GLUE ON ALL CONNECTIONS.

2.03 ELECTRICAL (HIGH VOLTAGE)

A. ALL HIGH VOLTAGE ELECTRICAL SERVICE REQUIRED FOR AUTOMATIC CONTROLLER AND OTHER EQUIPMENT NOTED ON THE DRAWING FOR IRRIGATION SYSTEM WILL BE PROVIDED IN THE ELECTRICAL PLANS OR COORDINATED WITH THE OWNER WHEN ELECTRICAL PLANS ARE NOT PART OF THE CONTRACT DOCUMENTS.

2.04 ELECTRICAL (LOW VOLTAGE)

- A. CONNECTIONS BETWEEN CONTROLLER AND REMOTE CONTROL VALVES SHALL BE MADE BY THE CONTRACTOR AS PART OF THESE PLANS.
- B. ALL CONNECTIONS SHALL BE WITH 3M DBY, DBYR CONNECTORS. ANY WIRE THAT CANNOT BE PLACED UNDER THE MAIN SHALL BE INSTALLED INSIDE SCH. 40 RIGID GRAY CONDUIT. SIZE AS REQUIRED. MULTISTRAND OR 18 GAUGE WIRE SHALL NOT BE USED.
- C. INSTALL THREE EXTRA CONTROL WIRES TO EACH TERMINATION OF THE MAIN. ALL CONTROL WIRES SHALL BE INSTALLED INSIDE OF SCH. 40 GRAY PVC CONDUIT WHERE THEY CANNOT BE UNDER THE MAIN.

REFER TO THE LEGEND FOR THE EQUIPMENT SPECIFICATIONS

2.05 ELECTRICAL CONTROL VALVE

2.06 GATE VALVES

2.07 CONTROLLER

2.08 REMOTE CONTROL VALVES

2.09 ROTOR HEADS

2.10 SPRAY HEADS

2.11 VALVE BOXES

- A. VALVE BOXES SHALL BE FABRICATED FROM A DURABLE PLASTIC MATERIAL RESISTANT TO WEATHER, SUNLIGHT AND CHEMICAL ACTION OF SOILS.
- B. VALVE BOX EXTENSIONS SHALL BE BY THE SAME MANUFACTURER AS THE VALVE BOX.
- C. GATE VALVE BOXES SHALL BE ROUND PLASTIC BOXES.
- D. REMOTE CONTROL VALVE BOXES SHALL BE 11" X 17" RECTANGULAR PLASTIC BOXES. (PURPLE RECLAIMED TYPE ON RECLAIMED WATER SYSTEMS)

3.01 SITE CONDITIONS

- A. ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SIZES DIMENSIONS AND RECEIVE LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PROCEEDING WITH WORK UNDER THIS SECTION. ANY PIPE SHOWN OUTSIDE OF THE PROPERTY LINE IS SHOWN FOR CLARITY ONLY. ALL PIPE AND HEADS SHALL BE INSTALLED WITHIN THE PROPERTY LINE.
- B. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY HIS OPERATIONS OR NEGLIGENCE. CHECK EXISTING UTILITIES DRAWINGS FOR EXISTING UTILITY LOCATIONS. 48 HOURS BEFORE DIGGING, CALL 1-800-432-4770 (SUNSHINE STATE ONE CALL CENTER)

C. COORDINATE INSTALLATION OF SPRINKLER IRRIGATION MATERIALS INCLUDING PIPE, SO THERE WILL BE NO INTERFERENCE WITH UTILITIES OR OTHER CONSTRUCTION OR DIFFICULTY IN PLANTING TREES, SHRUBS AND GROUND COVERS.

D. THE CONTRACTOR SHALL CAREFULLY CHECK ALL GRADES TO SATISFY HIMSELF THAT HE MAY SAFELY PROCEED BEFORE STARTING WORK ON THE SPRINKLER IRRIGATION SYSTEM.

E. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THEIR WORK WITH THE LANDSCAPE CONTRACTOR. ALL HEAD LAYOUT SHALL MATCH THE PLAN AND THE INSTALLED PLANT BEDS.

3.02 PREPARATION

A. WATER SUPPLY:

1. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO WATER SUPPLY POINTS OF CONNECTION AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE WELL, UNLESS OTHERWISE NOTED ON WELL SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE GPM AND WATER PRESSURE FROM THE METER OR WELL IS A MINIMUM OF 60 PSI. THE CONTRACTOR SHALL NOT INSTALL ANY IRRIGATION BEFORE THIS IS CONFIRMED IN THE FIELD.

2. CONNECTIONS SHALL BE MADE AT APPROXIMATE LOCATIONS AS SHOWN ON THE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS. REFER TO THE UTILITIES PLAN FOR THE EXACT LOCATION AND DETAILS.

B. OBSERVATION SCHEDULE:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT IN ADVANCE FOR THE FOLLOWING OBSERVATION MEETINGS.
 - A. PRESSURE SUPPLY LINE INSTALLATION AND TESTING - 48 HOURS.
 - B. COVERAGE TEST AND PROVISIONAL OBSERVATION FOR APPROVAL - 48 HOURS.
2. WHEN OBSERVATIONS HAVE BEEN CONDUCTED BY OTHER THAN THE LANDSCAPE ARCHITECT, SHOW EVIDENCE IN WRITING OF WHEN AND BY WHOM THESE OBSERVATIONS WERE MADE.
3. NO SITE OBSERVATIONS WILL COMMENCE WITHOUT AS-BUILT DRAWINGS.

C. FINAL OBSERVATION

1. THE CONTRACTOR SHALL OPERATE EACH SYSTEM IN ITS ENTIRETY FOR THE LANDSCAPE ARCHITECT AT TIME OF FINAL OBSERVATION. ANY ITEMS DEEMED NOT ACCEPTABLE BY THE LANDSCAPE ARCHITECT, OR NOT IN COMPLIANCE WITH THESE SPECIFICATIONS AND DRAWINGS, SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.

D. PHYSICAL LAYOUT:

1. ALL PIPING OR EQUIPMENT SHOWN DIAGRAMMATICALLY ON DRAWINGS OUTSIDE PLANTING AREAS SHALL BE INSTALLED INSIDE PLANTING AREA WHENEVER POSSIBLE. COORDINATE LOCATIONS WITH THE LANDSCAPE CONTRACTOR. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO MOVE HEADS AS REQUIRED TO MATCH THE PLANT BEDS.
2. ALL LAYOUT SHALL BE AS PER THE PLANS.

3.03 INSTALLATION

A. GENERAL:

1. LINE CLEARANCE: ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF 18 INCHES FROM EACH OTHER AND FROM LINES OF OTHER TRADES. REFER TO THE RECLAIMED WATER REQUIREMENTS AND FOLLOW LOCAL CODE.
2. A FINE GRANULAR MATERIAL BACK FILL WILL BE INITIALLY PLACED ON ALL LINES. NO FOREIGN MATTER LARGER THAN 1/2 INCH IN SIZE WILL BE PERMITTED.
3. HAND DIG WITHIN THE DRILIPE OF EXISTING TREES. DO NOT CUT ANY ROOTS 2' OR LARGER.

B. TRENCHING:

1. TRENCHES LOCATED UNDER AREAS WHERE PAVING, ASPHALTIC CONCRETE OR CONCRETE WILL BE INSTALLED SHALL BE BACK FILLED AND COMPACTED.
2. PIPING UNDER EXISTING WALKS IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ANY CUTTING OR BREAKING OF SIDEWALKS AND/OR CONCRETE NECESSARY SHALL BE PERFORMED BY THE CONTRACTOR AND PAVING REPLACED AS A PART OF THE CONTRACT COST. THE CONTRACTOR CAN JET OR WASH THE PIPES UNDER PAVEMENT THAT IS 9' WIDE OR LESS.
3. COORDINATE INSTALLATION OF PIPING AND WIRES UNDER PAVED AREAS.

C. IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTINGS, OR OTHER CONSTRUCTION ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS WITHOUT COST TO THE OWNER.

1. EXCAVATE TRENCHES TO REQUIRED DEPTHS AS INDICATED ON THE LEGEND. FOLLOW APPROVED LAYOUT FOR EACH SYSTEM.
2. TRENCH BOTTOM SHALL BE FLAT TO ENSURE PIPING IS SUPPORTED CONTINUOUSLY ON AN EVEN GRADE.
3. WHERE LINES OCCUR UNDER PAVED AREAS, CONSIDER DIMENSION TO BE BELOW THE SUBGRADE.
4. PROVIDE MINIMUM COVERAGE AS FOLLOWS UNLESS OTHERWISE SHOWN IN THE LEGEND:

- B. NON-PRESSURE LINES: 12 INCHES.
- C. CONTROL WIRE: 18 INCHES.
- C. BACKFILLING:
- D. TRENCHING AND BACKFILL UNDER PAVING:

D. ASSEMBLIES:

1. ROUTING OF SPRINKLER IRRIGATION LINES AS INDICATED ON THE DRAWINGS IS DIAGRAMMATIC. INSTALL LINES (AND VARIOUS ASSEMBLIES) IN SUCH A MANNER AS TO CONFORM WITH THE DETAILS PER PLANS.
2. INSTALL NO MULTIPLE ASSEMBLIES IN PLASTIC LINES. PROVIDE EACH ASSEMBLY WITH ITS OWN OUTLET.
3. PVC PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE INSTALLATION.

E. ELECTRICAL SUPPLY:

1. LOW VOLTAGE WIRING SHALL BE PLACED IN THE SAME DITCH AND ALONG SIDE OF MAIN LINES UNLESS OTHERWISE APPROVED.
2. WHEN MORE THAN ONE WIRE IS PLACED IN A TRENCH, TAPE WIRES TO EACH OTHER AT MAXIMUM 12 FEET ON CENTER.
3. PROVIDE A 12 INCH EXPANSION LOOP AT EACH CONNECTION AND DIRECTIONAL CHANGE.
4. USE A CONTINUOUS WIRE BETWEEN CONTROLLER AND REMOTE CONTROL VALVES.

F. FLUSHING OF SYSTEM:

1. AFTER ALL NEW SPRINKLER PIPE LINES AND RISERS ARE IN PLACE AND CONNECTED, ALL NECESSARY DIVERSION WORK HAS BEEN COMPLETED AND PRIOR TO INSTALLATION OF SPRINKLER HEADS, THE CONTROL VALVES AND FULL HEAD OF WATER TO FLUSH OUT THE SYSTEM.
2. SPRINKLER HEADS SHALL BE INSTALLED ONLY AFTER FLUSHING OF THE SYSTEM HAS BEEN ACCOMPLISHED TO THE COMPLETE SATISFACTION OF THE LANDSCAPE ARCHITECT.

G. SPRINKLER HEADS:

1. INSTALL THE SPRINKLER HEADS AS DESIGNATED ON THE DRAWINGS AND IN ACCORDANCE WITH THEIR RESPECTIVE DETAILS.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN. ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER, SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOD IN THESE AREAS.
3. INSTALL THE CONTROL VALVES AS PER THE DETAIL.
4. ALL BOXES SHALL BE PERMANENTLY MARKED ON TOP, DESIGNATING TYPE OF EQUIPMENT INSTALLED THEREIN STENCILED IN 2" HIGH BLACK LETTERS/NUMBERS USING AVERO BLACK NO. 208M PAINT OR APPROVED EQUAL.
4. ALL HEADS SHALL BE INSTALLED A MINIMUM OF 24" FROM ANY WALL AND A MINIMUM OF 6" FROM ANY SIDEWALK, PATIO OR ROAD. (MINIMUM OF 2'-0" WHERE THERE ARE NO BUMPER STOPS) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. INSTALL THE 12" POP-UP HIGHER WHERE BLOCKED BY TALL SHRUBS.
5. ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES, WINDOWS AND BLDG. WALLS. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDING WINDOWS.
- 6) ALL RISERS SHALL BE PAINTED BLACK OR A COLOR CHOSEN BY THE OWNER'S REPRESENTATIVE AND SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH STAINLESS STEEL CLAMPS. LEAVE THE BOTTOM 12" OF THE PIPE PURPLE ON RECLAIMED SYSTEMS IF REQUIRED BY CODE. CONFIRM RISERS CAN BE INSTALLED BEFORE ANY INSTALLATION. NO NOT INSTALL ANY RISERS WHEN RESTRICTED BY CODE OR AS NOTED ON THE PLANS.

3.04 TEMPORARY REPAIRS

A. THE OWNER RESERVES THE RIGHT TO MAKE TEMPORARY REPAIRS AS NECESSARY TO KEEP THE SPRINKLER SYSTEM EQUIPMENT IN OPERATING CONDITION. THE EXERCISE OF THIS RIGHT BY THE OWNER SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES UNDER THE CONTRACT.

3.05 FIELD QUALITY CONTROL

A. ADJUSTMENT OF THE SYSTEM:

B. TESTING OF IRRIGATION SYSTEM:

1. TEST ALL PRESSURE LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR 2 HOURS AND PROVE WATERTIGHT.
2. TESTING OF PRESSURE MAIN LINES SHALL OCCUR PRIOR TO INSTALLATION OF ELECTRIC CONTROL VALVES, QUICK COUPLERS OR ANY OTHER EQUIPMENT THAT MIGHT PREVENT A PROPER TEST FROM BEING PERFORMED.
3. ALL PIPING UNDER PAVED AREAS SHALL BE TESTED UNDER HYDROSTATIC PRESSURE OF 150 PSI, AND PROVED WATERTIGHT, PRIOR TO PAVING IN PLANTING AREA AT STATIC PRESSURE.
4. SUSTAIN PRESSURE IN LINES FOR NOT LESS THAN 2 HOURS. IF LEAKS DEVELOP, REPLACE JOINTS AND REPEAT TEST UNTIL ENTIRE SYSTEM IS PROVEN WATERTIGHT.
5. ALL HYDROSTATIC TESTS SHALL BE MADE ONLY IN THE PRESENCE OF THE LANDSCAPE ARCHITECT, OR OTHER DULY AUTHORIZED REPRESENTATIVE OF THE OWNER. NO PIPE SHALL BE COMPLETELY BACK FILLED UNTIL INSPECTED, TESTED AND APPROVED IN WRITING.
6. FURNISH NECESSARY FORCE PUMP AND ALL OTHER TEST EQUIPMENT.
7. WHEN THE IRRIGATION SYSTEM IS COMPLETED, PERFORM A COVERAGE TEST IN THE PRESENCE OF THE LANDSCAPE ARCHITECT. TO DETERMINE IF THE WATER COVERAGE FOR PLANTING AREAS IS COMPLETE AND ADEQUATE.
8. UPON COMPLETION OF EACH PHASE OF WORK, ENTIRE SYSTEM SHALL BE TESTED AND ADJUSTED TO MEET SITE REQUIREMENTS.

3.06 MAINTENANCE

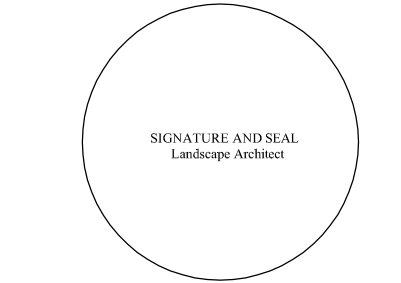
- A. THE ENTIRE SPRINKLER IRRIGATION SYSTEM SHALL BE UNDER FULL AUTOMATIC OPERATION FOR A PERIOD OF SEVEN DAYS PRIOR TO ANY INSPECTIONS.
- B. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO WAIVE OR SHORTEN THE OPERATION PERIOD.

3.07 CLEANUP

A. CLEANUP SHALL BE PERFORMED AS EACH PORTION OF THE WORK PROGRESSES. TRASH AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE. ALL WALKS AND PAVING SHALL BE SWEEPED OR WASHED DOWN, AND ANY DAMAGE SUSTAINED TO THE WORK OF OTHERS SHALL BE REPAIRED.



Seal:



Name: Jeffrey W. Smith, RLA

License #: LA0001635

Project, Reviewed & Supervised By: Conceptual Design Group, Inc. 800 East Ocean Boulevard, Suite 1304, Suite 1304, Ft. Lauderdale, Florida 33304 (772) 344-2340 LIC: 20000158

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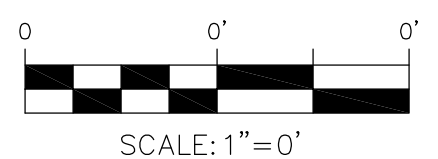
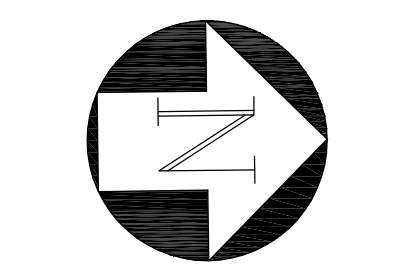
Wawa Gateway Plaza City of Fort Pierce, Florida

DESIGNED: JWS

PROJECT: 19-0204

DATE: 4-24-2019

REVISIONS:



BOUNDARY SURVEY

GATEWAY PLAZA

DESCRIPTION

Parcel 1:

Commencing at the intersection of the West right-of-way of South Fourth Street (U.S. Highway #1) and the South line of the Southeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, in the City of Fort Pierce, St. Lucie County, Florida, run North 0°03'34" East, along the West right-of-way of South Fourth Street 305 feet to the Point of Beginning of the land herein described:

From the said Point of Beginning, continue North 0°03'34" East along the West line of South Fourth Street, 360 feet; thence North 89°42'26" West, parallel to the South line of said Section 15, 501.9 feet to a point; thence South 0°03'34" West, 50 feet to a point; thence North 89°42'26" West, 175 feet to a point; thence North 0°03'34" East, 100 feet to a point; thence North 89°42'26" West 200 feet to a point; thence South 0°03'34" West, 585 feet to a point; thence South 89°42'26" East, 511.9 feet to a point; thence North 0°03'34" East, 175 feet to a point; thence South 89°42'26" East, 365 feet to the Point of Beginning.

LESS AND EXCEPT PARCEL IN WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 3321, PAGE 569, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY #1) AND THE SOUTH LINE OF THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4, OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA AND RUN NORTH 0°03'34" EAST ALONG THE SAID WEST RIGHT OF WAY LINE OF SOUTH FOURTH STREET, A DISTANCE OF 305.00 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 0°03'34" EAST, ALONG THE SAID WEST RIGHT OF WAY LINE OF SOUTH FOURTH STREET (80 FOOT WIDE RIGHT OF WAY) A DISTANCE OF 125.00 FEET; THENCE LEAVING SAID WEST RIGHT OF WAY LINE RUN NORTH 89°42'26" WEST PARALLEL TO THE SAID SOUTH LINE OF THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4, OF SECTION 15, A DISTANCE OF 20.00 FEET; THENCE RUN SOUTH 0°03'34" WEST, ALONG A LINE 20.00 FEET WEST AS MEASURED PERPENDICULARLY TO AND BEING PARALLEL WITH SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 125.00 FEET; THENCE RUN SOUTH 89°42'26" EAST, PARALLEL TO THE SAID SOUTH LINE OF THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4, OF SECTION 15, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING SAID LANDS CONTAINING 2,500 SQUARE FEET OR 0.06 ACRES, MORE OR LESS.

PARCEL 2:

That part of the East 390 feet of the South 200 feet of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, which lies West of U.S. Highway No. 1, except the East 7 feet thereof.

The North 100 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, except the East 7 feet thereof, lying West of U.S. Highway No. 1, except the following:

Beginning at a point 200 feet North of a monument 25 feet East of the Southwest corner of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, thence run East 480 feet along the South line of the above described property thence run North 100 feet, thence run West 480 feet, thence run South 100 feet to the Point of Beginning.

That part of the South 200 feet of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, which lies between that part of the East 390 feet of the South 200 feet of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, which lies West of U.S. Highway No. 1, except the East 7 feet thereof, on the East and that part beginning at a monument 25 feet East of the Southwest corner of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, thence run East 480 feet along the South line of the above described property, thence run North 200 feet, thence run West 480 feet, thence run South 200 feet to the Point of Beginning, on the West.

ALL OF THE ABOVE DESCRIBED PROPERTY IS ALSO TOGETHER, DESCRIBED AS FOLLOWS:

Being that part of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, lying West of U.S. Highway No. 1, (being an 80 foot right-of-way) less a West portion known as Mayflower Terrace, according to the Plat thereof recorded in Plat Book 13, Page 15, of the public records of St. Lucie County, Florida; all of said lands situate, lying and being in St. Lucie County, Florida.

ALSO DESCRIBED AS:

That certain parcel of land in the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, which lies West of U.S. Highway No. 1, situate in the City of Ft. Pierce, St. Lucie County, State of Florida, and being more particularly described as follows:

Beginning at a 5/8 inch capped rebar "LB 4286" found on the Southeast corner of property now of formerly Dorothy Ann Carnes LLC, recorded in Deed Book 1218, page 2930, and the Westerly right-of-way line of U.S. Highway No. 1, 80 feet wide; thence along the Westerly right-of-way line of U.S. Highway No. 1, South 0°01'14" East, a distance of 300.00 feet to a ? inch iron pipe found on the Northeast corner of property now or formerly Morris/Satnick FP Assoc. LLC, recorded in Deed Book 2446, page 712; thence along the Northerly line of said Morris/Satnick FP Assoc. LLC property, North 89°41'58" West, a distance of 400 feet to a concrete monument found on the Southeast corner of property now or formerly Eduardo F. Perez, recorded in Deed Book 2675, page 2981; thence along the Easterly line of said Perez and property now or formerly Joseph & Hsui Leung, recorded in Deed Book 2214, page 2872, North 0°11'14" West, a distance of 300.00 feet to a capped rebar set on the Southwest corner of said Dorothy Ann Carnes LLC property, thence along the Southerly line of said Dorothy Ann Carnes LLC property, South 89°41'58" West, a distance of 400.00 feet to the Point of Beginning.

Parcel 3:

The East 876.9 feet of the South 1/2 of the SW 1/4, lying West of U.S. #1 Highway, Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, LESS: Begin at the intersection of the North right of way of Virginia Avenue and the West right of way of U.S. #1 Highway, North 710 feet; West 175 feet; South 175 feet; West 326.9 feet; South 50 feet; West 175 feet; North 100 feet; West 200 feet; South 585 feet; East 876.9 feet to the point of beginning. ALSO LESS: Southerly 130 feet for road and canal right of way. ALSO LESS: North 150 feet of the South 1222.46 feet of the East 175 feet.

AND

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and the South line of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East in the City of Fort Pierce, St. Lucie County, Florida, run North 0°03'34" East along that right-of-way of South Fourth Street, 1323.18 feet to the North line of the South 1/2 of the Southwest 1/4 of said Section 15, and the POINT OF BEGINNING; thence continue North 0°03'34" East, 335 feet; thence run North 89°39'26" West, 566.9 feet; thence run South 01°10'39" West, 186.33 feet; thence run South 24°58'42" West, 136.59 feet to the North line of the South 1/2 of the Southwest 1/4; thence run South 89°39'26" East 626.80 feet to the POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THE FOLLOWING PARCEL:

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and of the South line of the Southeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, in the City of Fort Pierce, St. Lucie County, Florida, run North 0°03'34" East along the West right-of-way line of South Fourth Street, 1336.18 feet to the POINT OF BEGINNING; thence run North 89°39'26" West, 175 feet; thence run North 0°03'34" East, 185 feet; thence run South 89°39'26" East, 175 feet; thence South 0°03'34" West, 185 feet to the POINT OF BEGINNING.

LESS AND EXCEPT PARCELS CONVEYED BY Warranty Deed to William D. Carlton, in Official Records Book 207, page 592; by Warranty Deed to E.J. Roschman, in Official Records Book 199, page 481; by Quit Claim Deed to James F. Grimes and Susan Grimes, his wife, in Official Records Book 517, page 1232; and by Warranty Deed to Walgreen Co., an Illinois corporation, in Official Records Book 452, page 2789, all of the Public Records of St. Lucie County, Florida.

DESCRIPTION

(PARCELS FROM CHIGAGO TITLE INSURANCE COMPANY POLICY FILE NO. 42190005J, DATED 01/16/2019.)

PARCEL 1:

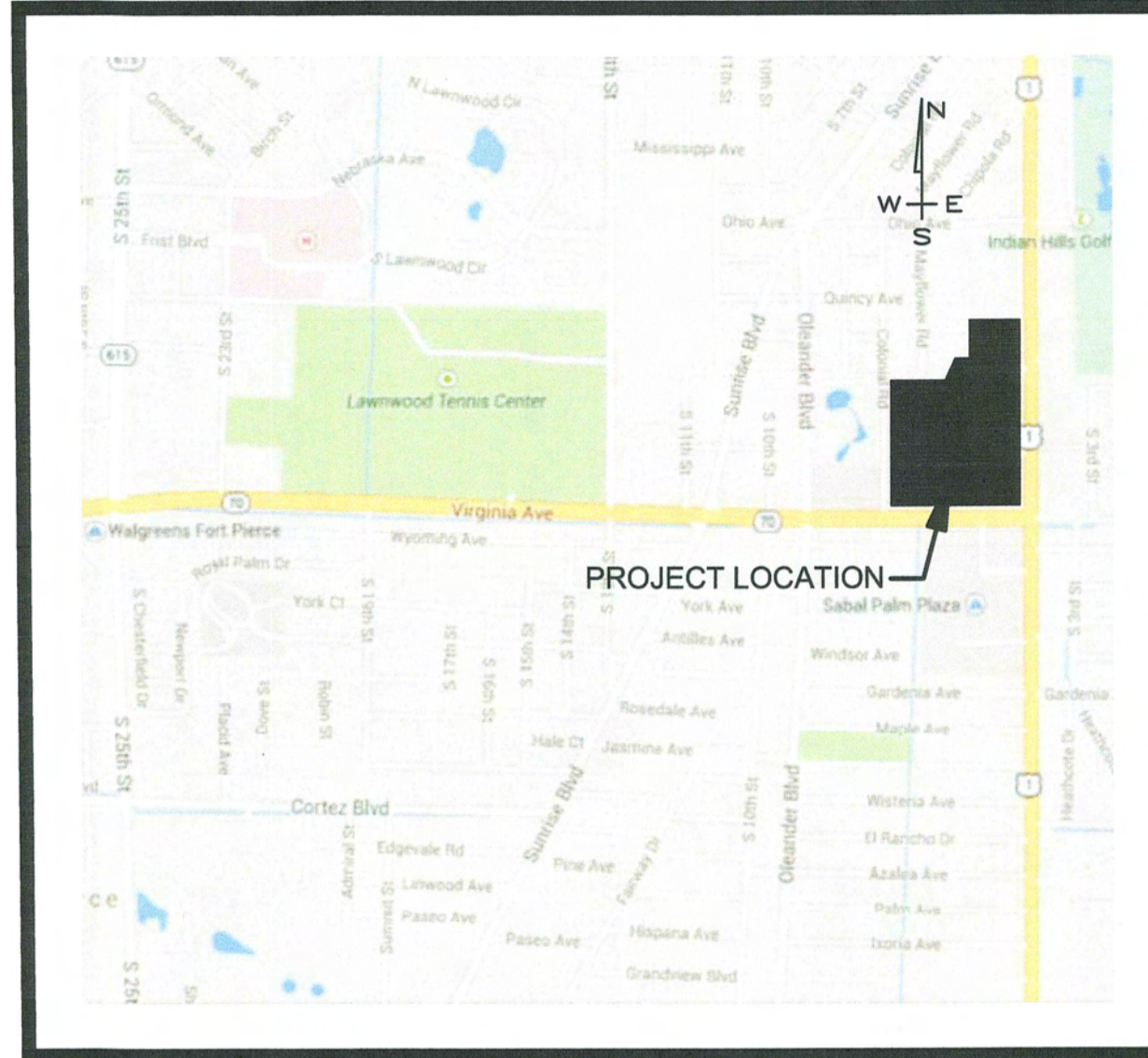
COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY OF SOUTH FOURTH STREET (U.S. HIGHWAY #1) AND THE SOUTH LINE OF THE SE 1/4 OF THE SW 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 0°03'34" EAST, ALONG THE WEST RIGHT-OF-WAY OF SOUTH FOURTH STREET 305 FEET TO THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; FROM THE SAID POINT OF BEGINNING, CONTINUE NORTH 0°03'34" EAST ALONG THE WEST LINE OF SOUTH FOURTH STREET, 360 FEET; THENCE NORTH 89°42'26" WEST, PARALLEL TO THE SOUTH LINE OF SAID SECTION 15, 501.9 FEET TO A POINT; THENCE SOUTH 0°03'34" WEST, 50 FEET TO A POINT; THENCE NORTH 89°42'26" WEST, 175 FEET TO A POINT; THENCE NORTH 0°03'34" EAST, 100 FEET TO A POINT; THENCE NORTH 89°42'26" WEST 200 FEET TO A POINT; THENCE SOUTH 0°03'34" WEST, 585 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST, 511.9 FEET TO A POINT; THENCE NORTH 0°03'34" EAST, 175 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST, 365 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF FORT PIERCE BY WARRANTY DEED RECORDED SEPTEMBER 1, 2011 IN OFFICIAL RECORDS BOOK 3321, PAGE 569, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 2:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY #1) AND OF THE SOUTH LINE OF THE SE-1/4 OF THE SW-1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 0°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET 305 FEET TO A POINT IN SAID RIGHT-OF-WAY LINE; THENCE NORTH 89°42'26" WEST 501.9 FEET TO THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 89°42'26" WEST 175 FEET TO A POINT; THENCE SOUTH 0°03'34" WEST 50 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST 175 FEET TO A POINT; THENCE NORTH 0°03'34" EAST 50 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) AND OF THE SOUTH LINE OF THE SE-1/4 OF THE SW-1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 0°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET, 1336.18 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°39'26" WEST, 175 FEET; THENCE RUN NORTH 0°03'34" EAST, 185 FEET; THENCE RUN SOUTH 89°39'26" EAST, 175 FEET; THENCE RUN SOUTH 0°03'34" WEST, 185 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY WARRANTY DEED RECORDED MARCH 26, 2014 IN OFFICIAL RECORDS BOOK 3615, PAGE 2318, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.



LOCATION MAP

(NOT TO SCALE)
FORT PIERCE, FLORIDA

NOTES

- 1) REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF ENGINEERING DESIGN CONSTRUCTION, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- 2) DESCRIPTION SHOWN HEREON PROVIDED BY THE CLIENT AND/OR THEIR AGENT AND DEEDS PULLED FROM THE CLERK OF THE COURT BASED ON THE PROPERTY APPRAISER'S WEB SITE, FOR THE ADDRESS PROVIDED BY THE CLIENT. THE FOLLOWING DEEDS WERE REVIEWED BUT NOT ALL WERE INCORPORATED; OFFICIAL RECORDS BOOKS AND PAGES 941/837, 2125/1177, 2446/712, 3250/1153, AND 3321/569. IN ADDITION, SOME OF THE DESCRIPTION IS FROM A SURVEY PREPARED BY OPH SURVEYORS FOR THE MORRIS COMPANIES WITH LATEST REVISION ON 02/03/2006. MATTERS OF RECORD SHOWN IN EXCEPTIONS TABLE PERTAIN ONLY TO PARCELS FROM CHICAGO TITLE INSURANCE COMPANY POLICY FILE NO. 42190005J, DATED 01/16/2019. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, ABANDONMENT'S, DEED ABSTRACTIONS, OR MURPHY ACT DEEDS.
- 3) UNDERGROUND UTILITIES, UTILITY SERVICES, FOUNDATIONS AND IMPROVEMENTS WERE NOT LOCATED AS PART OF THIS SURVEY.
- 4) OVERALL PROPERTIES CONTAIN 27.068 ACRES, MORE OR LESS.
- 5) THE LAST DATE OF FIELD WORK WAS 2/16/2018.
- 6) REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
- 7) THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST IS ASSUMED TO BEAR SOUTH 89°59'14" WEST AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
- 8) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
- 9) THE OWNERSHIP OF PERIMETER FENCES, WALLS, HEDGES AND LANDSCAPING SHOWN HEREON ARE NOT KNOWN AND ARE NOT LISTED AS ENCRAGEMENTS. THEIR RELATIVE LOCATION IS SHOWN IN RELATION TO THE BOUNDARY LINES SHOWN.
- 10) SECTION LINES AND MONUMENTATION SHOWN HEREON AND USED TO DETERMINE PROPERTY BOUNDARIES ARE BASED ON PREVIOUS SURVEYS AND HISTORICAL SECTIONAL INFORMATION. SOME MONUMENTATION MAY HAVE BEEN DESTROYED, SINCE THE ORIGINAL DELINEATION OR RESOLUTION, OF THE SECTIONAL SURVEY.
- 11) THE SURVEY MAP SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.

REFERENCE MATERIAL

- 1) FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP FOR STATE ROAD NO. 5, SECTION NO. 94010-2518.

CHICAGO TITLE INSURANCE COMPANY COMMITMENT FILE NO. 4219000295		SCHEDULE B-II EXCEPTIONS	
ITEM No.	DESCRIPTION	PLOTTED	REMARKS
1	Defects, liens, encumbrances, adverse claims or other matters	NO	Not a survey matter
2	Taxes and assessments for the year 2019 and subsequent years, which are not yet due and payable.	NO	Not a survey matter.
3	Standard Exceptions:	NO	No adverse claims noted. Encroachments, if any are reflected on the survey graphics
4	Governmental liens	NO	Not a survey matter
5	Easements set out in DB 81, Pg 163	NO	Blanket easement to American Telephone which affects property as successors in title. Not plottable
	Easements set out in DB 206, Pg 143	NO	Blanket easement to American Telephone which affects subject property as successors in title. Not plottable
	Subordination of utility interest in ORB 4112, Pg 2966	YES	Not a portion of the subject property.
6	Rerodation of non-exclusive easement set out in ORB 174, Pg 884	YES	Affects subject property as shown on survey.
7	Easements set out in ORB 175, Pg 2498	NO	Affects subject property relative to parking & ingress/egress. Not plottable.
8	Lease in ORB 175, Pg 2525	NO	Retail unit lease between Winn Dixie and property owner (1969). Not a survey matter.
	Lease in ORB 365, Pg 1719	NO	Retail unit lease between Winn Dixie and property owner (1981). Not a survey matter.
	Lease in ORB 718, Pg 2408	NO	Amendment to ORB 365-1719. Not a survey matter.
	Lease in ORB 2709, Pg 1296	NO	Lease transferred to successor tenant. Not a survey matter.
	Management Agreement in ORB 2709, Pg 1317	NO	Not a survey matter
	Memorandum of Lease in ORB 1366, Pg 340	NO	Not a survey matter
9	Easement set out in ORB 177, Pg 136	NO	Blanket easement to City of Fort Pierce which affects subject property as successors in title. Not plottable
10	Non-exclusive utility easement set out in ORB 174, Pg 884	YES	Not a portion of subject property as shown on survey.
11	Easement in agreement ORB 184, Pg 2415	YES	Affects subject property as shown on survey.
	Easement in agreement ORB 184, Pg 2423	YES	Affects subject property as shown on survey. Further defines legal for ORB 184, Pg 2415
12	Easement set out in ORB 192, Pg 365	YES	Affects subject property as shown on survey.
13	Easement set out in ORB 192, Pg 368	YES	Affects subject property as shown on survey.
14	Agreement in ORB 207, Pg 594	NO	Affects subject property. Reciprocal easement allowing cross access & cross drainage through shopping center. No easements to plot.
15	Agreement in ORB 215, Pg 2573	NO	Easement allowing sanitary sewer to run through property. Not plottable
16	Lease in ORB 259, Pg 1889	NO	Retail unit lease terminated 1991. Not a survey matter.
	Amendment in ORB 259, Pg 1895	NO	Amendment to retail unit lease terminated 1991. Not a survey matter.
	Radification in ORB 265, Pg 1781	NO	Radification to retail unit lease terminated 1991. Not a survey matter.
17	Easement set out in ORB 381, Pg 423	YES	Does not affect subject property as shown on survey.
18	Reciprocal Agreement in ORB 412, Pg 1612	NO	Easements for utilities and certain rights affecting subject Parcels 2 and 3. No easements to plot.
19	Easement set out in ORB 422, Pg 1347	YES	Does not affect subject property as shown on survey.
20	Restrictions and covenants in deed recorded in ORB 452, Pg 2789	NO	Restrictions affecting Parcel 3 terminated by ORB 2735, Pg 1822. Not plottable
21	Easement set out in ORB 748, Pg 1224	YES	Does not affect subject property as shown on survey.
22	Lease in ORB 1305, Pg 1543	NO	Retail unit lease. Not a survey Matter
23	Easement set out in ORB 1695, Pg 894	YES	Utility easement affecting Parcel 3 as shown on survey.
24	Easement set out in ORB 2221, Pg 1466	YES	Does not affect subject property as shown on survey.
25	Cross easement agreement ORB 2735, Pg 1822	NO	Blanket easement for vehicle and pedestrian traffic affecting Parcel 3. Non-plottable. Also terminates restrictions in Item 20.
	Quit Claim Deed ORB 3615, Pg 2374	NO	Additional FDOT Right-of-Way. Does not affect subject property.
26	Memorandum of Lease in ORB 2895, Pg 923	NO	Property lease over Parcel 3. Not a survey matter
27	Agreement of Restrictions in ORB 2978, Pg 813	NO	Agreement and restrictions affecting Parcel 3. Non-plottable.
28	Rights of occupying tenants	NO	Not a survey matter

CERTIFIED TO:

1. THE MORRIS COMPANIES, ITS SUCCESSORS AND OR ASSIGNS AS THEIR INTEREST MAY APPEAR.
2. CHICAGO TITLE INSURANCE COMPANY.
3. SAUL EWING ARNSTEIN & LEHR LLP.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING AND MAPPING CHAPTER 5J17-050, FLORIDA ADMINISTRATIVE CODE.

Michael T. Owen
MICHAEL T. OWEN PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION #5556

FLORIDA
REGISTERED PROFESSIONAL SURVEYOR
No. 4556
2/22/2019
SIGNATURE DATE

BOUNDARY SURVEY
GATEWAY PLAZA

FOR

THE MORRIS COMPANIES
FORT PIERCE

FLORIDA

FORT PIERCE

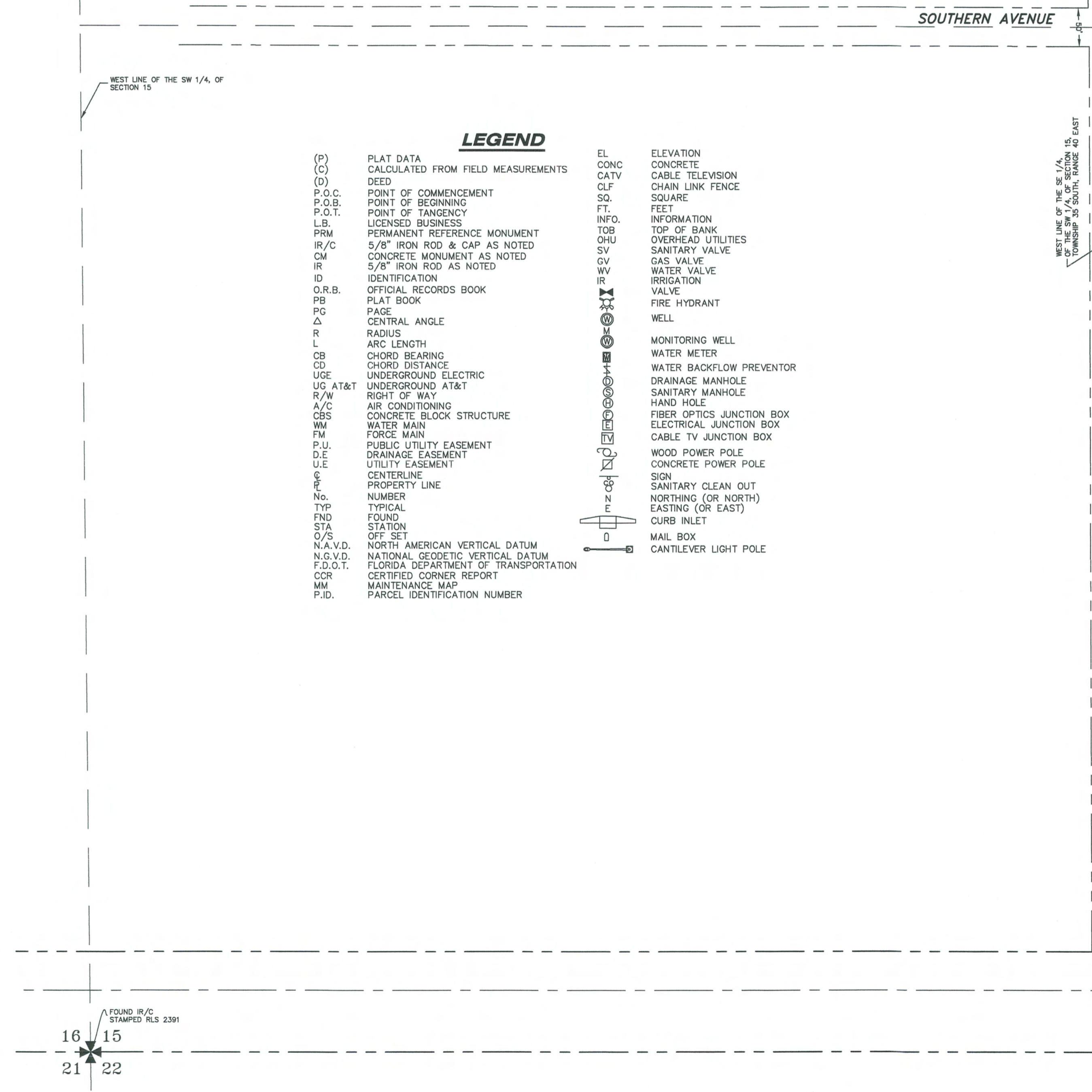
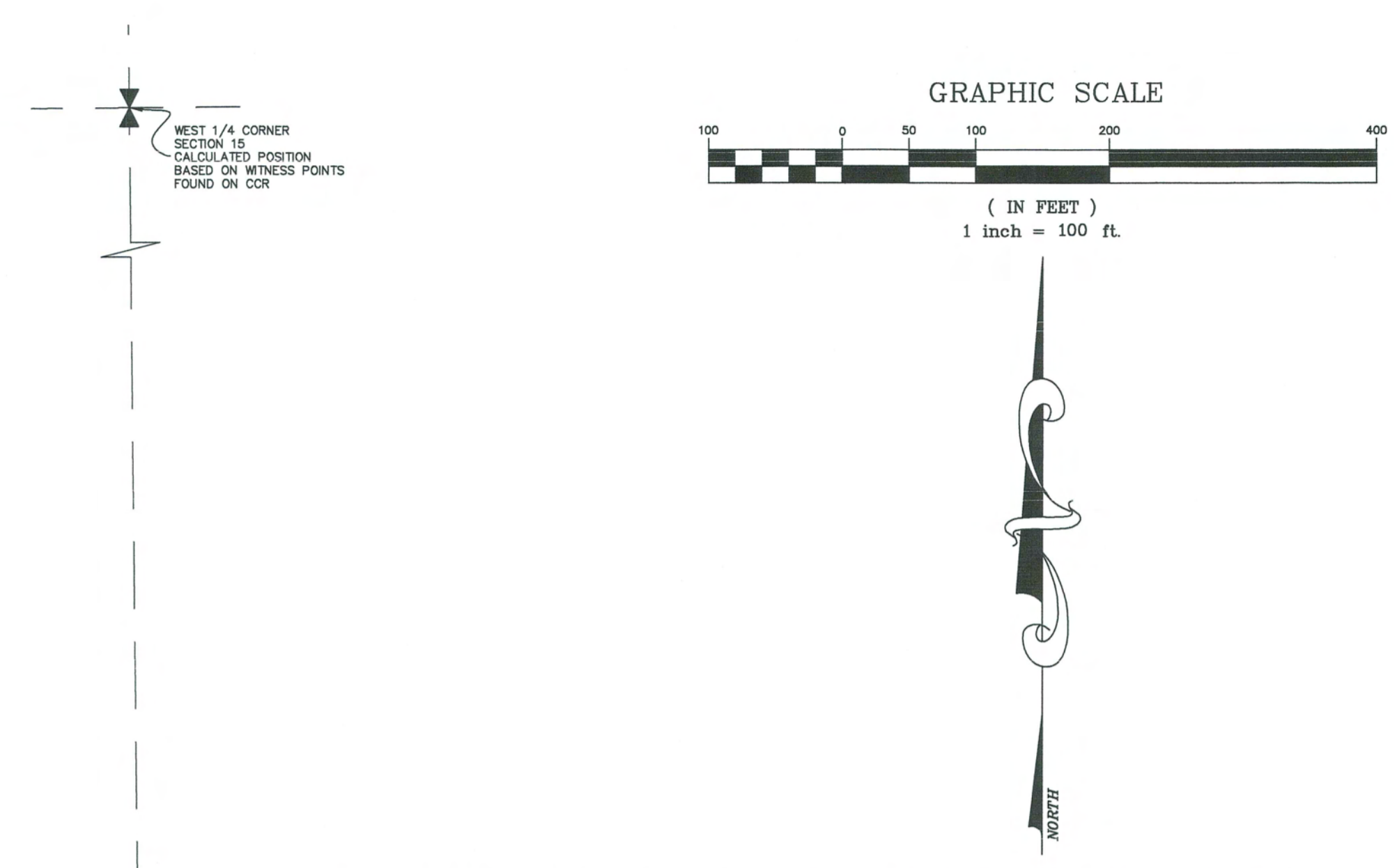
10250 SW VILLAGE PARKWAY, SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

18-302

1 OF 5

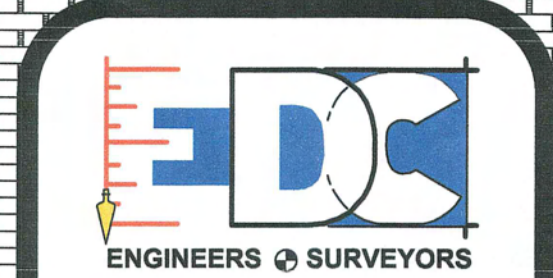
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.

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LEGEND

(P)	PLAT DATA FROM FIELD MEASUREMENTS	EL	ELEVATION
(C)	CALCULATED POSITION	CONC	CONCRETE
(D)	DEED	CATV	CABLE TELEVISION
P.O.C.	POINT OF COMMENCEMENT	CLF	CHAIN LINK FENCE
P.O.B.	POINT OF BEGINNING	FT.	FEET
P.O.T.	POINT OF TANGENCY	INFO.	INFORMATION
L.B.	LICENSED BUSINESS	TOB	TOP OF BANK
PRM	PERMANENT REFERENCE MONUMENT	OHU	OVERHEAD UTILITIES
IR/C	5/8" IRON ROD & CAP AS NOTED	SV	SANITARY VALVE
CM	CONCRETE MONUMENT AS NOTED	GV	GAS VALVE
IR	5/8" IRON ROD AS NOTED	WV	WATER VALVE
ID	IDENTIFICATION	IR	IRRIGATION
O.R.B.	OFFICIAL RECORDS BOOK	VALV	VALVE
PS	PLAT BOOK	FHYD	FIRE HYDRANT
PG	PAGE	WELL	WELL
Δ	CENTRAL ANGLE		
R	RADIUS	MW	MONITORING WELL
L	ARC LENGTH	WM	WATER METER
CB	CHORD BEARING	WBP	WATER BACKFLOW PREVENTOR
CD	CHORD DISTANCE	DM	DRAINAGE MANHOLE
UE	UNDERGROUND ELECTRIC	SH	SANITARY MANHOLE
UG AT&T	UNDERGROUND AT&T	HH	HAND HOLE
R/W	RIGHT OF WAY	FJO	FIBER OPTICS JUNCTION BOX
A/C	AIR CONDITIONING	EJ	ELECTRICAL JUNCTION BOX
CBS	CONCRETE BLOCK STRUCTURE	CJT	CABLE TV JUNCTION BOX
FM	FORCE MAIN	WPP	WOOD POWER POLE
P.U.	PUBLIC UTILITY EASEMENT	CP	CONCRETE POWER POLE
D.E.	DRAINAGE EASEMENT	S	SIGN
U.E.	UTILITY EASEMENT	SC	SANITARY CLEAN OUT
C	CENTERLINE	N	NORTHING (OR NORTH)
PL	PROPERTY LINE	E	EASTING (OR EAST)
No.	NUMBER	CU	CURB INLET
TYP	TYPICAL	M	MAIL BOX
FND	FOUND	CLP	CANTILEVER LIGHT POLE
STA	STATION		
O/S	OFF SET		
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM		
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM		
F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION		
CCR	CERTIFIED CORNER REPORT		
MM	MAINTENANCE MAP		
P.I.D.	PARCEL IDENTIFICATION NUMBER		



10250 SW VILLAGE PARKWAY, SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

F.B.P.E. CERTIFICATE OF AUTHORIZATION 8638
L.B. CERTIFICATE OF AUTHORIZATION 8098

CHECKED BY	DATE
DRAWN BY	DATE
FILE NAME	DATE
LAYOUT	DATE
AS BUILT	DATE
SCALE	DATE
DATE	DATE

2-16-2019	UPDATE PER CHICAGO TITLE INSURANCE CO. POLICY FILE NO. 4219000295J - 1041
2-24-2017	UPDATE BOUNDARY SURVEY BY GEOMATIC SERVICES, INC. OCTOBER 2014

BOUNDARY SURVEY
GATEWAY PLAZA

FOR

THE MORRIS COMPANIES

FLORIDA

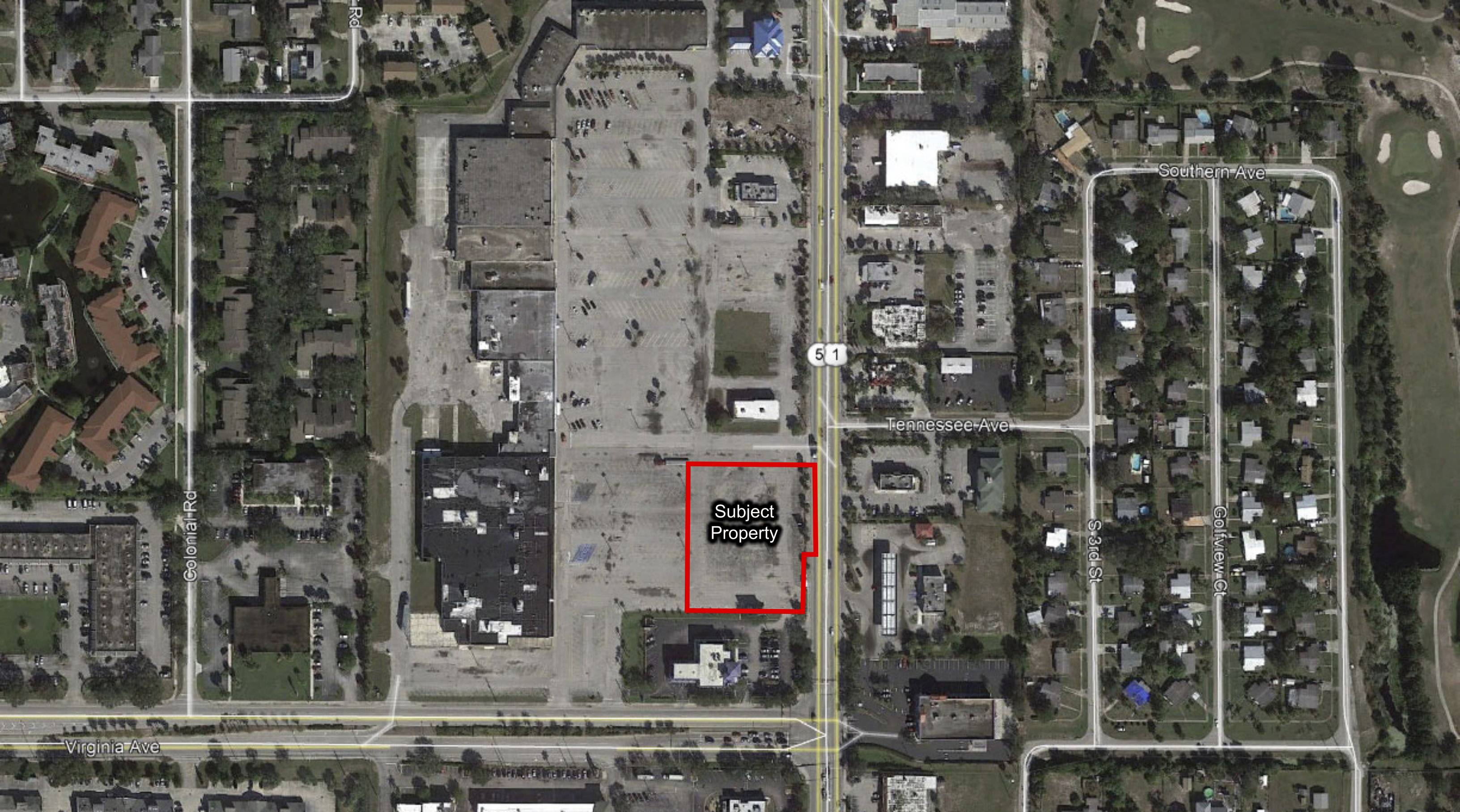
FORT PIERCE



10250 SW VILLAGE PARKWAY, SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

18-302

2 OF 5

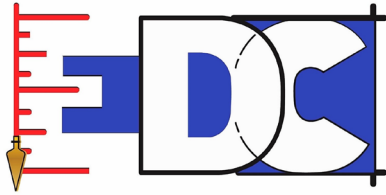


Wawa - Gateway Plaza

Fort Pierce, Florida

Location Map





ENGINEERS SURVEYORS ENVIRONMENTAL

PROJECT NARRATIVE & COVER LETTER
WAWA – GATEWAY PLAZA
Development Review, Design Review & Concurrency

February 28, 2019

REQUEST

On behalf of the Petitioner, Engineering Design & Construction, Inc. is requesting development, design and concurrency approval for a project known as Gateway Wawa. The parcel is located at 2111 SW US Highway 1 in Fort Pierce, Florida. The applicant is proposing the construction of 5,943-square foot gas station and convenience store with associated infrastructure. The parcel can be identified as Parcel ID # 2415-342-0001-000-8 and is approximately 1.61 acres total. A pre-application meeting to discuss this project was held with the development team and the City of Fort Pierce on February 20, 2019.

SITE CHARACTERISTICS & PROJECT HISTORY

The property is located at 2111 SW US Highway 1 in Fort Pierce, Florida and consists of approximately 1.61 acres and is currently undeveloped. The petitioner requesting approval of a 5,943-square-foot gas station and convenience store with associated infrastructure.

The subject property has a current Future Land Use designation of General Commercial (GC) with an underlying Zoning designation of General Commercial (C3). The service provider for Water and wastewater services to serve this facility is FPUA.

To the north of the subject property lies a developed parcel operating as a Payless Shoe Store. This parcel has a Future Land Use designation of General Commercial (GC) and an underlying Zoning category of General Commercial (C3).

To the west of the subject is a developed commercial shopping center that is currently vacant. The future land use designation of this property is General Commercial (CG) with an underlying Zoning designation of General Commercial (C3)

South of the subject property is a developed parcel operating as a Harbor Federal Bank. This commercial parcel has a Future Land Use designation of General Commercial (GC) with an underlying Zoning designation of General Commercial (C3)

East of the subject parcel is the Right-of-Way of US Highway 1 followed by developed commercial properties. The parcels located east of the Right-of-Way have a Future Land Use designation of General Commercial (GC) and are located in the General Commercial Zoning designation.

**SITE PLAN
DEVELOPMENT REVIEW**

Section 22.58 of the City of Fort Pierce Code of Ordinances outlines the requirements for development review. The attached material includes the necessary items required for review and approval.

DESIGN REVIEW

Section 22.59 of the City of Fort Pierce Code of Ordinances outlines the requirements for design review. The attached material includes necessary items required for review and approval.

Based on the above justification and attached information, the Petitioner respectfully requests approval of this request.

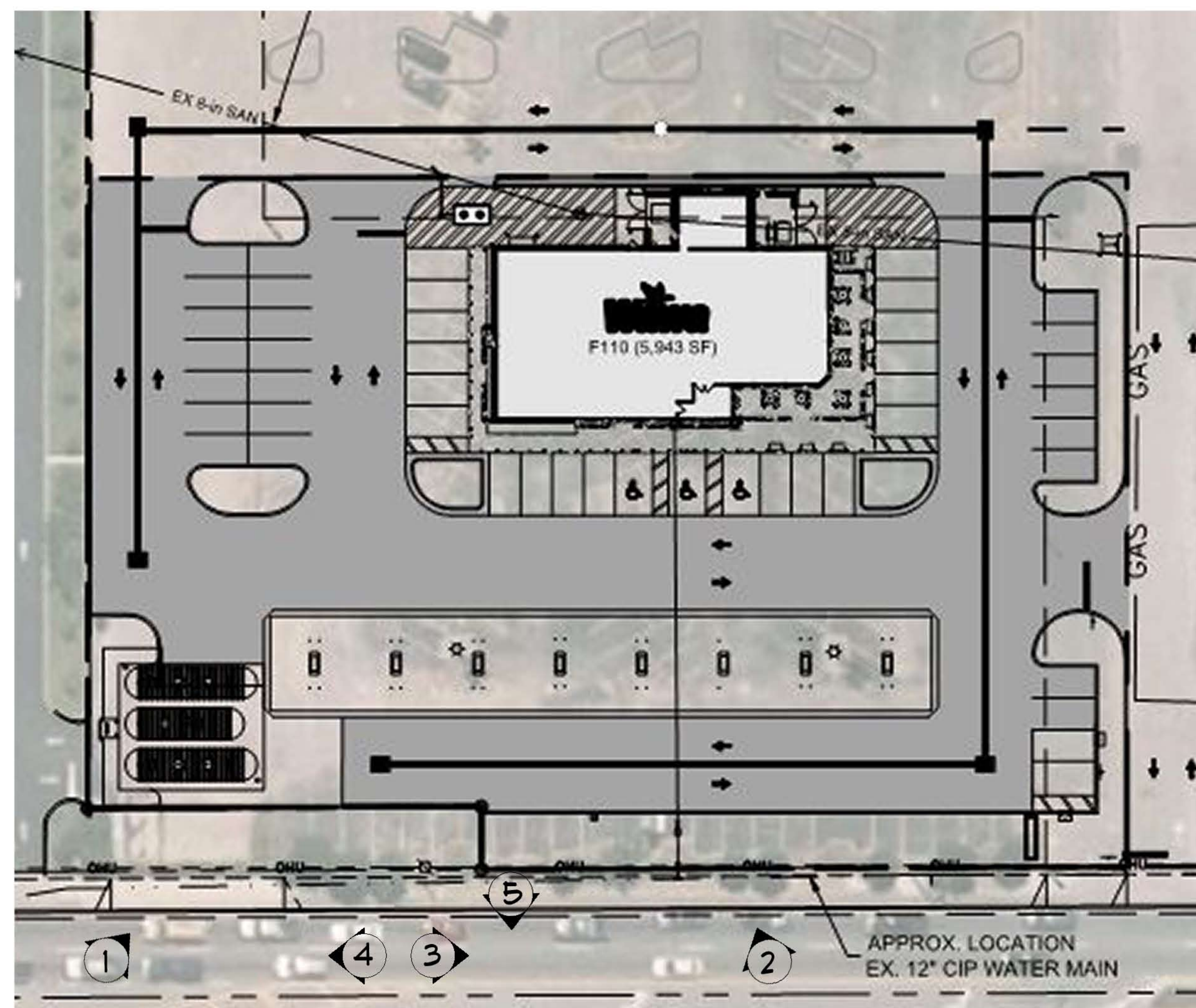
S:\EDC-2018\18-302 - Gateway Plaza - WAWA\ENGINEERING\Documents\Submittal Documents\Justification Statement\2019-02-28_Gateway_Wawa_Dev_Review_Justification_Statement_18-302.doc.docx

BUILDING DESIGN NARRATIVE

THE PROPOSED WAWA STORE, ALONG WITH ITS UNIQUE ARCHITECTURAL GAS CANOPY AND PLEASANT, WELL-MAINTAINED LANDSCAPING, WILL TRULY ENHANCE THE APPEARANCE OF THE EXISTING SHOPPING CENTER BEHIND IT, AS WELL AS THE SURROUNDING AREA. THIS ATTRACTIVE STORE WILL LIKELY INSPIRE MORE HIGH-QUALITY DESIGN IN THE AREA AS TIME GOES ON. NEARBY NEIGHBORHOOD RESIDENTS, AS WELL AS NEIGHBORING BUSINESS OWNERS, ARE CERTAIN TO BE PROUD OF THIS BEAUTIFUL, FLORIDA VERNACULAR BUILDING AND THE WARM, INVITING FEELING IT INVOKES WITHIN OTHERWISE UTILITARIAN SURROUNDINGS. WITH ITS CLAPBOARD SIDING AND WHITE TRIM, LIGHT-TONED STONE WAINSCOTING AND SOARING, LIGHT-FILLED CUSTOMER SPACE, THIS INSPIRING ENHANCEMENT NEAR THE INTERSECTION OF US 1 & VIRGINIA AVE. WILL SURELY BRIGHTEN AND UPLIFT THE IMAGE OF THIS AREA FOR PASSING VEHICLE OCCUPANTS, PEDESTRIANS, AND POTENTIAL CUSTOMERS. WAWA'S PROGRAM OF METICULOUS ONGOING MAINTENANCE TO ITS FACILITIES ENSURES THAT ITS BEAUTIFUL, WELL-DESIGNED BUILDINGS REMAIN A GLOWING EXAMPLE OF CARE, CUSTOMER SERVICE AND QUALITY THAT WAWA BRINGS WHEREVER IT GOES.



FRONT (EAST) ELEVATION (US 1)



① PARCEL VIEW



② PARCEL VIEW



③ VIEW FACING NORTH



④ VIEW FACING SOUTH



⑤ VIEW ACROSS US 1



Property Identification

Site Address: 2111 S US HIGHWAY 1
Parcel ID: 2415-342-0001-000-8
Account #: 24495
Map ID: 24/15S
Use Type: 1600
Zoning: C3
City/County: Fort Pierce

Ownership

Morris/Satnick FP Assoc LLC
350 Veterans Blvd
Rutherford, NJ 07070

Legal Description

15 35 40 FROM INT W R/W LI US #1 AND S LI OF SE 1/4 OF SW 1/4 OF SEC 15 RUN N 00 03 34 E ALG W R/W LI 435FT FOR POB,TH CONT N 235 FT,TH N 89DEG 42 MIN 26 SEC W // TO S LI OF SEC 501.9 FT,TH S 0 DEG 03 MIN 34 SEC W 50 FT,TH N 89 DEG 42 MIN 26 SEC W 175 FT,TH N 0 DEG 03 MIN 34 SEC E 100 FT,TH N 89 DEG 42 MIN 26 SEC W 200 FT,THS 0 DEG 03 MIN 34 SEC W 585 FT TO PT ON N R/W VA AV,TH S 89 DEG 42 MIN 26 SEC E ALG R/W 511.9 FT,TH N 0 DEG 03 MIN 34 SEC E 175 FT,TH S 89 DEG 42 MIN 26 SECE 345 FT TH N 00 03 34 E 125 FT,TH N 89 42 26 E 20 FT TO POB (9.27 AC) (OR 2446-712, 718)



Current Values

Just/Market Value: \$1,674,700
Assessed Value: \$1,674,700
Exemptions: \$0
Taxable Value: \$1,674,700
Taxes for this parcel: SLC Tax Collector's Office [📄](#)
Download TRIM for this parcel: [Download PDF](#) [📄](#)

Total Areas

Finished/Under Air (SF): 80,936
Gross Sketched Area (SF): 91,168
Land Size (acres): 9.27
Land Size (SF): 404,013

Sale History

Date:	Dec 19, 2005
Book/Page:	2446 / 0712
Sale Code:	XX02
Deed:	SP
Grantor:	Morris/Satnick FP Assoc LLC
Price:	\$10,960,000
Date:	Jan 10, 1995
Book/Page:	0941 / 0837
Sale Code:	XX01
Deed:	WD
Grantor:	Elstein Daniel
Price:	\$1,300,000
Date:	Dec 15, 1992
Book/Page:	0821 / 2273
Sale Code:	XX01
Deed:	QC
Grantor:	DR DANIEL ELSTEIN MD P C

Price: \$100
Date: Jan 10, 1992
Book/Page: 0772 / 2756
Sale Code: XX01
Deed: CT
Grantor: PIERCE MART ASSOCIATES LTD
Price: \$600,000

Date: Jan 1, 1900
Book/Page: 0195 / 1753
Sale Code: XX01
Deed: WD
Grantor:
Price: \$0

Building Information (1 of 1)

Finished Area: 80,936 SF

Gross Sketched Area: 91,168 SF

Exterior Data

View:
Building Type: NSCT
Grade: Y_D
Story Height: 1 Story

Roof Cover: Tar & Gravel
Year Built: 1971
Effective Year: 1950
No. Units: 1

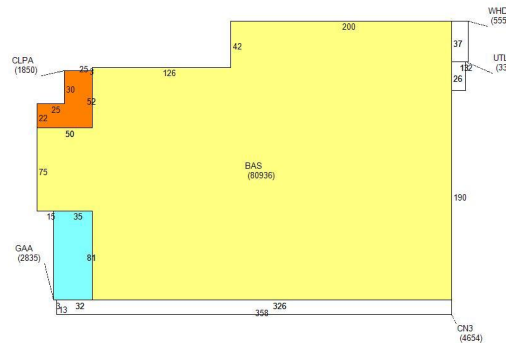
Roof Structure: BarJst/Rigid
Frame:
Primary Wall: Brk/Masonry
Secondary Wall: 8in Brick

Interior Data

Bedrooms: 0
Full Baths: 0
Half Baths: 0
A/C %: 90%

Electric: MAXIMUM
Heat Type: FredHotAir
Heat Fuel: ELEC
Heated %: 90%

Primary Int Wall:
Avg Hgt/Floor: 0
Primary Floors: Vinyl Tiles
Sprinkled %: 100%



Special Features and Yard Items

Type: MEZZANINE
Quantity: 1
Units: 13697
Year Built: 1945

Type: CHAINLINK 10
Quantity: 1
Units: 240
Year Built: 1945

Type: CHAINLINK 8'
Quantity: 1
Units: 258
Year Built: 1945

Type: ASP1 HIGH
Quantity: 1
Units: 255640
Year Built: 1945

Type: TRIPLE LIGHT
Quantity: 1
Units: 2
Year Built: 1971

Type: QUAD LIGHT
Quantity: 1
Units: 7
Year Built: 1999

Current Year Values


Current Values Breakdown

Building: \$38,400
Land: \$1,636,300
Just/Market: \$1,674,700
Ag Credit: \$0
Save Our Homes or 10% Cap: \$0
Assessed: \$1,674,700
Exemption(s): \$0
Taxable: \$1,674,700

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	169.89999	Fort Pierce Stormwater Charge	\$9,174.60

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Permits

Number: 200481
Issue Date: Dec 7, 2004
Description: Property Off '04 Fire List St Lucie Co Fire Dept
Amount: \$10,000
Fee: \$0

Number:	F00-00045
Issue Date:	Feb 4, 2000
Description:	Alterations/Remodeling
Amount:	\$20,000
Fee:	\$0
Number:	F01-000752
Issue Date:	Jun 5, 2001
Description:	Heat and Air Conditioning
Amount:	\$0
Fee:	\$0
Number:	F01-000888
Issue Date:	Jun 27, 2001
Description:	Heat and Air Conditioning
Amount:	\$12,000
Fee:	\$0
Number:	F92-000907
Issue Date:	Jul 27, 1992
Description:	Alterations/Remodeling
Amount:	\$4,000
Fee:	\$4,000
Number:	F94-000686
Issue Date:	May 27, 1994
Description:	Roof
Amount:	\$1,500
Fee:	\$1,500
Number:	F95-001202
Issue Date:	Nov 1, 1995
Description:	Alterations/Remodeling
Amount:	\$15,000
Fee:	\$15,000
Number:	F96-000225
Issue Date:	Mar 8, 1996
Description:	Demolition
Amount:	\$100
Fee:	\$100
Number:	F96-000908
Issue Date:	Aug 12, 1996
Description:	Heat and Air Conditioning
Amount:	\$54,000
Fee:	\$54,000
Number:	F96-000814
Issue Date:	Aug 5, 1997
Description:	Alterations/Remodeling
Amount:	\$15,000
Fee:	\$15,000
Number:	F96-000821
Issue Date:	Aug 12, 1997
Description:	Alterations/Remodeling
Amount:	\$35,000
Fee:	\$35,000
Number:	F97-001370
Issue Date:	Dec 23, 1997
Description:	Additions to existing construction
Amount:	\$3,200

Fee:	\$3,200
Number:	F98-000092
Issue Date:	Jan 23, 1998
Description:	Heat and Air Conditioning
Amount:	\$0
Fee:	\$0
Number:	F98-000148
Issue Date:	Mar 17, 1998
Description:	Alterations/Remodeling
Amount:	\$10,000
Fee:	\$10,000
Number:	F99-000744
Issue Date:	Jun 7, 1999
Description:	Alterations/Remodeling
Amount:	\$20,000
Fee:	\$20,000
Number:	CA2002-3
Issue Date:	Aug 27, 2002
Description:	Alterations/Remodeling
Amount:	\$0
Fee:	\$325
Number:	PV2002-3
Issue Date:	Sep 17, 2002
Description:	Paving
Amount:	\$5,000
Fee:	\$175
Number:	MC2002-139
Issue Date:	Jan 6, 2003
Description:	Alterations/Remodeling
Amount:	\$13,600
Fee:	\$261
Number:	MC2004326
Issue Date:	Oct 28, 2004
Description:	Air Conditioning Only
Amount:	\$4,800
Fee:	\$75
Number:	RF20041059
Issue Date:	Oct 27, 2004
Description:	Roof
Amount:	\$450,000
Fee:	\$0
Number:	PV20046
Issue Date:	Aug 12, 2004
Description:	Paving
Amount:	\$30,000
Fee:	\$475
Number:	CR200484
Issue Date:	Nov 17, 2004
Description:	Alterations/Remodeling
Amount:	\$200,000
Fee:	\$2,125
Number:	RF20041059
Issue Date:	Nov 3, 2004

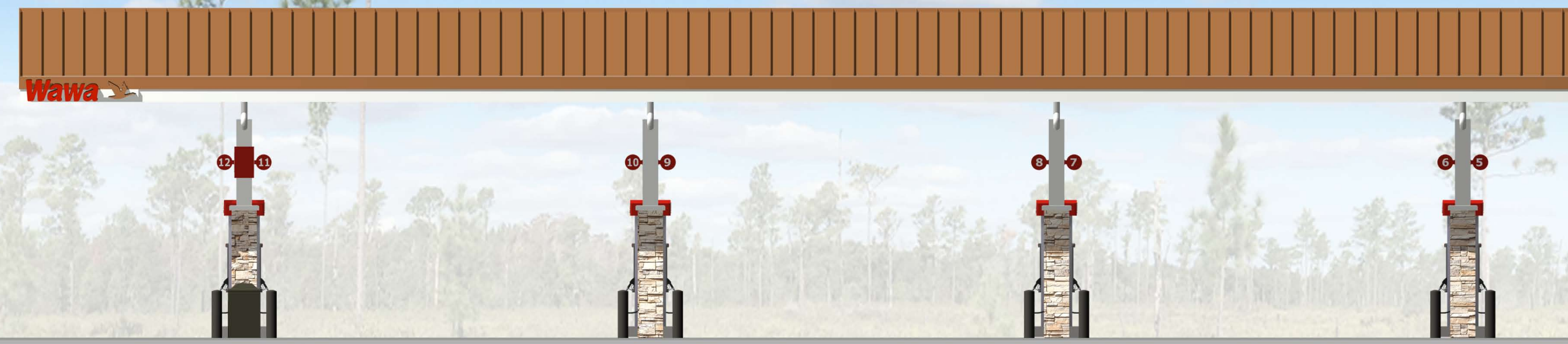
Description:	Roof
Amount:	\$450,000
Fee:	\$0
Number:	IC20066
Issue Date:	Oct 13, 2006
Description:	Alterations/Remodeling
Amount:	\$15,000
Fee:	\$237
Number:	MC20074
Issue Date:	Jan 16, 2007
Description:	Air Conditioning Only
Amount:	\$64,064
Fee:	\$825
Number:	0700000958
Issue Date:	Aug 13, 2007
Description:	Storm Shutters
Amount:	\$15,400
Fee:	\$164
Number:	0700001719
Issue Date:	Dec 27, 2007
Description:	Roof
Amount:	\$7,800
Fee:	\$153
Number:	BP09-2191
Issue Date:	Dec 7, 2009
Description:	Paving
Amount:	\$6,900
Fee:	\$75
Number:	BP09-2083
Issue Date:	Nov 12, 2009
Description:	Alterations/Remodeling
Amount:	\$7,000
Fee:	\$250
Number:	BP10-0483
Issue Date:	Apr 7, 2010
Description:	Alterations/Remodeling
Amount:	\$125,000
Fee:	\$1,300
Number:	BP10-0303
Issue Date:	Jun 24, 2010
Description:	Paving
Amount:	\$7,500
Fee:	\$75
Number:	BP13-1617
Issue Date:	Apr 23, 2013
Description:	Electric
Amount:	\$20,000
Fee:	\$299
Number:	BP16-1200
Issue Date:	May 23, 2016
Description:	Additions to existing construction
Amount:	\$190,002
Fee:	\$0

Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.
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CANOPY END ELEVATION



CANOPY SIDE ELEVATION



CANOPY PERSPECTIVE VIEW

The Wawa fuel canopy is a registered service mark in the U.S. Patent and Trademark Office. The fuel canopy, as well as Wawa's brand names, slogans, logos, service marks, and other trademarks of Wawa's goods, services, and promotions belong exclusively to Wawa, Inc. and/or, Wild Goose Holding Co., Inc. and are protected from copying and simulation under national and international trademark and copyright laws and treaties throughout the world.



WAWA GAS CANOPY - FL STRAIGHT 8 - STORE #5381

US 1 & Virginia Ave., Ft. Pierce, FL • C&P Project #2180370 • 02-20-2019



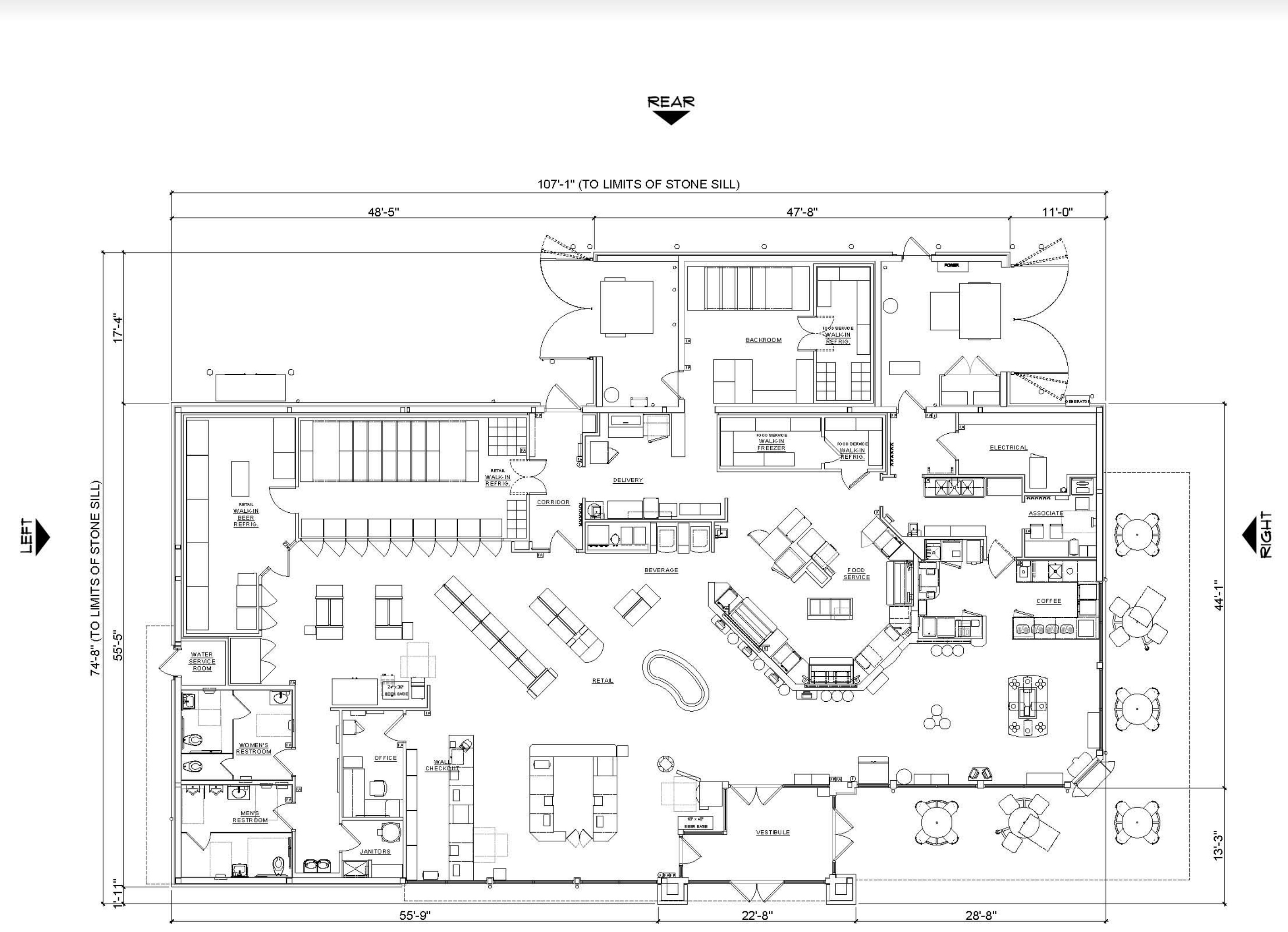
RIGHT (NORTH) ELEVATION



FRONT (EAST) ELEVATION (US 1)



REAR (WEST) ELEVATION



FLOOR PLAN

Metal Door Benjamin Moore White Diamond BM 2121-60	Metal Overhang Atlas #17 Brite Red
Trim James Hardie Arctic White JH10-20	Stucco Senery Meringue #3085
Fiber Cement Siding James Hardie Woodland Cream	Ice Storage Benjamin Moore Natural Wicker OC - 1
Metal Roof Atlas International Coppertone # 23	Exterior Stone Cultured Stone Southwest Blend



LEFT (SOUTH) ELEVATION (VIRGINIA AVE.)

NOTE:
SIGNAGE IS SHOWN FOR REFERENCE ONLY
SEPARATE PERMIT REQUIRED

This instrument prepared by:
Michael E. Parry, Esq.
Kimco Realty Corporation
3333 New Hyde Park Road
New Hyde Park, NY 11042

~~Record and Return to:~~
Bart Mellits, Esq.
Ballard Spahr Andrews & Ingersoll
1735 Market Street, 51st Floor
Philadelphia PA 19103

[For Recorder's Use Only]

SPECIAL WARRANTY DEED

THIS INDENTURE is made as of this 19th day of December, 2005, between **KIMCO UNIVERSITY COMPANY, LTD.**, a Florida limited partnership ("Grantor") whose address is 3333 New Hyde Park Road, New Hyde Park, New York 11042, and **MORRIS/SATNICK FORT PIERCE ASSOCIATES, LLC**, a Delaware limited liability company ("Grantee"), whose address is 350 Veterans Boulevard, Rutherford, New Jersey 07070.

WITNESSETH, Grantor for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration to it in hand paid by Grantee, the receipt of which is hereby acknowledged, has granted, bargained and sold to Grantee, Grantee's, successors and assigns, forever, that certain property lying and being in St. Lucie County, Florida, more particularly described on Exhibit "A" attached hereto and made a part hereof.

Subject only to those matters set forth on Exhibit "B" attached hereto and made a part hereof.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same unto Grantee in fee simple.

Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

RETURN TO: 0-050757-L (MP)
LandAmerica - Commercial Services
1001 N. Lake Destiny Road Ste 250
Maitland, FL 32751

EXHIBIT A

ALL THAT CERTAIN PARCEL OF LAND located in the City of Fort Pierce, St. Lucie County, Florida, as shown on an ALTA/ACSM Land Title Survey prepared for The Morris Companies by CPH Engineers/Surveyors dated October 6, 2005, as last revised December 7, 2005, more fully bounded and described as follows:

Parcel 3:

The East 876.9 feet of the South $\frac{1}{2}$ of the SW $\frac{1}{4}$, lying West of U.S. No.1 Highway, Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, LESS: Begin at the intersection of the North right-of-way of Virginia Avenue and the West right-of-way of U.S. No.1 Highway, North 710 feet; West 175 feet; South 175 feet; West 326.9 feet; South 50 feet; West 175 feet; North 100 feet; West 200 feet; South 585 feet; East 876.9 feet to the Point of Beginning. ALSO LESS: Southerly 130 feet for road and canal right-of-way. ALSO LESS: North 150 feet of the South 1222.46 feet of the East 175 feet.

AND

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and the South line of the Southwest $\frac{1}{4}$ of Section 15, Township 35 South, Range 40 East in the City of Fort Pierce, St. Lucie County, Florida, run North $00^{\circ}03'34''$ East along that right-of-way of South Fourth Street, 1323.18 feet to the North line of the South $\frac{1}{2}$ of the Southwest $\frac{1}{4}$ of said Section 15, and the POINT OF BEGINNING; thence continue North $00^{\circ}03'34''$ East, 335 feet; thence run North $89^{\circ}39'26''$ West, 566.9 feet; thence run South $01^{\circ}10'39''$ West, 186.33 feet; thence run South $24^{\circ}58'42''$ West, 136.59 feet to the North line of the South $\frac{1}{2}$ of the Southwest $\frac{1}{4}$; thence run South $89^{\circ}39'26''$ East 626.80 feet to the POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THE FOLLOWING PARCEL:

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and of the South line of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 15, Township 35 South, Range 40 East, in the City of Fort Pierce, St. Lucie County, Florida, run North $00^{\circ}03'34''$ East along the West right-of-way line of South Fourth Street, 1336.18 feet to the POINT OF BEGINNING; thence run North $89^{\circ}39'26''$ West, 175 feet; thence run North $00^{\circ}03'34''$ East, 185 feet; thence run South $89^{\circ}39'26''$ East, 175 feet; thence South $00^{\circ}03'34''$ West, 185 feet to the POINT OF BEGINNING.

LESS AND EXCEPT PARCELS CONVEYED by Warranty Deed to William D. Carlton, in Official Records Book 207, page 592; by Warranty Deed to E.J. Roschman, in Official Records Book 199, page 481; by Quit Claim Deed to James F. Grimes and Susan Grimes, his wife, in Official Records Book 517, page 1232; and by Warranty Deed to Walgreen Co., an Illinois corporation, in Official Records Book 452, page 2789, all of the Public Records of St. Lucie County, Florida.

EXHIBIT "B"

Subject to the Following Exceptions

EXHIBIT B

Easement to American Telephone and Telegraph Company, recorded in Deed Book 81, page 163 as defined and limited by document recorded in Deed Book 206, page 143.

Reservations of non-exclusive easement as set forth in deed recorded November 6, 1968 in Official Records Book 174, page 884 for the purposes described in said instrument.

Agreements, Restrictions, Easements and Encumbrances created by the "Easement Agreement" set forth hereinafter between KIMCO FORT PIERCE, INC., and Albert W. Johnson and Howard L. Gibson, doing business as Fort Pierce Investments, contained in and attached to Warranty Deed and Easement Agreement dated February 13, 1969, filed February 18, 1969, and recorded in Official Records Book 175, page 2498.

Agreement among KIMCO FORT PIERCE, INC., a Florida corporation, Standard Oil Company, a division of Chevron Oil Company, a California corporation, First Federal Savings and Loan Association of Fort Pierce, a corporation existing under the laws of the United States of America, and Fort Pierce Investments, a Florida limited partnership, dated February 24, 1970, filed May 26, 1970, and recorded in Official Records Book 184, page 2415 and Official Records Book 184, page 2423.

Easement from Albert W. Johnson, General Partner doing business as Fort Pierce Investments and Margaret Hayes Johnson, his wife, to the City of Fort Pierce, a Municipal corporation of the State of Florida, recorded April 30, 1971 in Official Records Book 192, page 365 and Official Records Book 192, page 368.

Lease by and between Equity Associates, Ltd., a Limited Partnership and S.S. Kresge Company, a Michigan corporation as evidenced by Memorandum of Lease dated March 12, 1976 and recorded November 4, 1976 in Official Records Book 259, page 1889 and First Amendment to Lease dated August 30, 1976 and recorded November 4, 1976 in Official Records Book 259, page 1895 and Ratification thereof dated January 10, 1977 and recorded March 24, 1977 in Official Records Book 265, page 1781.

Short Form Lease by and between Kimco University Co., Ltd., a Florida limited partnership and Family Dollar Stores of Florida, Inc., a Florida corporation, recorded in Official Records Book 1305, page 1543.

Easement Agreement by and between Kimco University Company, Ltd., a Florida limited partnership and Kimco Ft. Pierce 147, Inc., a Florida corporation and Fast Food Enterprises #2, a Florida general partnership, recorded in Official Records Book 2221, page 1466.

Short Form Lease by and between Kimco Ft. Pierce, Inc. and Winn-Dixie Stores, Inc. as recorded in Official Records Book 365, page 1719; Second Amendment to Short Form Lease as recorded in Official Records Book 718, page 2408 and Memorandum of Lease by and between

Winn-Dixie Stores, Inc. and CIBC National Bank as recorded in Official Records Book 1366, page 340.

Utility Easement in favor of the City of Fort Pierce as recorded in Official Records Book 177, page 136.

Easement in favor of City of Ft. Pierce as recorded in Official Records Book 180, page 2372.

Agreement by and between Kimco Ft. Pierce Inc. and William D. Carlton as recorded in Official Records Book 207, page 594.

Agreement by and between Kimco Ft. Pierce Inc. and William D. Carlton as recorded in Official Records Book 215, page 2573.

Easement in favor of Fort Pierce Utilities Authority of the City of Fort Pierce as recorded in Official Records Book 381, page 423.

Reciprocal Agreement by and between Kimco University Company, Ltd. and The Kimco Corporation as recorded in Official Records Book 412, page 1612.

Easement in favor of Fort Pierce Utilities Authority of the City of Fort Pierce as recorded in Official Records Book 422, page 1347.

Storm Sewer Easement between Kimco University Company, Ltd. and Walgreen Co. as recorded in Official Records Book 452, page 2795.

Sanitary Sewer Agreement between Kimco University Company, Ltd. and Walgreen Co. as recorded in Official Records Book 452, page 2802.

Declaration of Easements and Covenants by Kimco University Company, Ltd. and Walgreen Co. as recorded in Official Records Book 452, page 2808.

Easement Agreement by and between Kimco University Co. Ltd. and Volume Shoe Corporation as recorded in Official Records Book 748, page 1224.