



CITY OF FORT PIERCE
DEVELOPMENT REVIEW PACKAGE

835 SEAWAY DRIVE/ TBD

May 21, 2019

Submitted by:



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A. PD AMENDMENT PACKAGE

A.1. AMENDMENT NARRATIVE



Atkins
 7175 Murrell Road
 Melbourne, FL 32940-7999
 Tel: +1 321 242 4942
 atkinglobal.com
snclavalin.com

TO: City of Fort Piece Planning Department
 Att: Rebecca Grohall, AICP, Planning Director
 100 North U.S. Highway 1
 Fort Pierce, FL 34950

FROM: Jeffrey Lucas – Atkins N.A
 Authorized Representative

SUBJECT: **Application for Development Review (Major PD Amendment)
 Cumberland Farms @ Harbour Isles
 835 Seaway Drive / TBD**

DATE: April 29, 2019

AMENDMENT NARRATIVE

Owner(s)/Applicant(s): Harbour Isle Development Commercial, LLC
 835 Seaway Drive
 Fort Pierce, FL 34949

Representative: Atkins, NA
 Jeffrey Lucas
 7175 Murrell Road
 Melbourne, FL 34940

Requested Action: Approval with Conditions to allow for a Major Amendment to the Planned Development Plan for Harbour Isle Concerning Property Located at 835 Seaway Drive / TBD

Location: 835 Seaway Drive / TBD

Parcel IDs: 2402-501-0001-010-8

Zoning: PD, Planned Development

Future Land Use: HIMU, Hutchinson Island Mixed Use

Surrounding Zoning:

North	East	South	West
OS1	PD	PD	PD

Land Use: 1.50 acres

Amendment Request:

In accordance with Section, 22-40 of the City Code, Cumberland Farms, Inc. is requesting the review and approval of a Development Review (Major Amendment) to the previously approved PD as follows:

1. Revise the previously approved site plan for property that is located at 835 Seaway Drive. The proposal is to construct a 5,625 square foot convenience store with fuel sales and associated infrastructure.
2. Revise the previously approved 15,000 square foot commercial allocation by $\pm 1,675$ square feet to allow for a Cumberland Farms to be developed on a portion of the original parent parcel that received Commission approval on August 5, 2004. This development will effectively provide for “infill” development of this original parent parcel that received Commission approval of a retail building on January 11, 2019. the second infill parcel of the parent parcel to increase the remaining allotted commercial building square footage from 3,950 square feet to 5,625 square feet.
3. Revise the previously permitted uses to allow convenience stores with fuel sales.

Background Information:

On August 5, 2004, the City Commission granted approval for the Planned Development know as Harbour Isle at Hutchinson Island. This PD consisted of both residential and commercial components. The commercial aspects of the project were located along Seaway drive. A 15,000 square foot retail use was approved for a single parcel as a part of this 2004 Commission approval. On January 11, 2019, the City Commission approved an 11,050 square foot retail development on a portion of this parent parcel that was subdivided into two parcels. This request seeks to development the remaining acreage with a Cumberland Farms that will require a 1,675 square foot commercial allocation increase and permission to have fuel sales.

Site Plan Review:

Cumberland Farms, Inc. is requesting review and approval of a Major Amendment to the Harbour Isle Planned Development for the commercial component of the development that is located at 835 Seaway Drive. As noted above, the previously approved site plan had a commercial building of 15,000 square feet. The parent parcel with the previously approved commercial component has been legally split into two parcels of 1.5 acres and 1.54 acres. The approved site plan of the Planned Development has been revised. The 1.54-acre parcel has been granted a Major Amendment approval by the City Commission on January 11, 2019 for an $\pm 11,050$ square feet commercial building. Cumberland Farms, Inc. is proposing a 5,625 square feet commercial building on the remaining infill parcel. The combined buildings square footage has exceeded the previously approved the 15,000 square feet commercial building by 1,675 square feet.

There are proposed to be two driveways on the property along Seaway Drive. One driveway will be egress (right-out only) only and the second driveway will be a shared driveway with the adjacent commercial development and will be both ingress and egress. The egress for the second driveway will be a left-out and a right-out. There will be no driveway that connects to the interior of the Harbour Isle development, instead there will be a pedestrian path with a secure electronic gate that only the Harbour Isle residents will be able to access.

The proposed building size would require twenty-nine (29) parking spaces with two (2) of those spaces being designated as handicap spaces. The proposed development is providing thirty (30) parking spaces with two (2) of these spaces designated as handicap. Five (5) bicycle stalls will also be provided onsite.

The Lighting Plan provided will have minimal light spill onto both Seaway Drive and on the property line that is shared with the residential component of Harbour Isle. The lighting in the parking area was designed to be in compliance with City Code 22-60 (j)(1)(a) that required a minimum average of two (2) foot-candles in the parking area.

The Landscape Plan proposes the following vegetation:

TYPE	COMMON NAME	QUANTITY
TREES		
	Live Oak	3
	Sabal Palm	14
	Mahogany	6
SHRUBS/GROUNDCOVERS		
	Perennial Peanut	295
	Red Tip cocoplum	138
	Wax Jasmine (Shrub)	78
	Podocarpus	21
TURF		
	St. Augustine Floratam	1,265 SY

The Landscape Plan was designed to be in compliance with the requirements of City Code 22-187, General Landscaping requirements. A fully automatic irrigation system will be installed and will provide 100% coverage in winds up to 15 miles per hour.

Development Review

Section 22.58 of the City of Fort Pierce Code of Ordinances outlines the requirements for development review. The attached material includes the necessary items required for review and approval.

Design Review

Section 22.59 of the City of Fort Pierce Code of Ordinances outlines the requirements for design review. The attached material includes necessary items required for review and approval.

Based on the above justification and attached information, the Petitioner respectfully requests approval of these requests.

A.2. COMPLETE NOTARIZED APPLICATION



DEVELOPMENT REVIEW

Property address or Location 835 Seaway Dr / TBD., Fort Pierce, FL 34949
 Parcel ID #(s) 2402-501-0001-010-8
 Project description 5,625 SF 1-story convenience store with outdoor seating and 6 fueling pumps

Harbour Isle Dev Commercial, LLC
Property Owner(s)
825 Seaway Drive
Street Address
Fort Pierce FL 34949
City **State** **Zip**
(561)-623-8801
Phone Number
cmason@masondc.com
Email Address

Laura Sherman, Assistant Secretary, Cumberland Farms Inc.
Applicant/Representative, Title, Company
165 Flanders Rd.
Street Address
Westborough MA 01581
City **State** **Zip**
(508) 270-1400
Phone Number
lsherman@cumberlandfarms.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

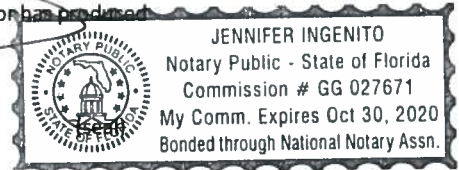
Mason
 Property Owner(s) Signature(s)

Representative
Jeffrey Lucas - ATKINS
7175 Murrell Road
Melbourne, FL 32940
321-242-4942
jeffrey.lucas@atkinglobal.com

STATE OF FLORIDA -- COUNTY
 The foregoing instrument was acknowledged before me this 12th day of June, 2019, by
CRAIG R. MASON
 who is personally known to me or has produced

 as identification.

[Signature]
 Signature of Notary

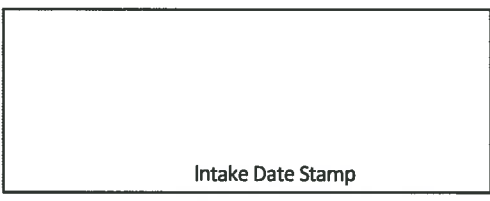


INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____





DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input checked="" type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

Site Information:

5,625

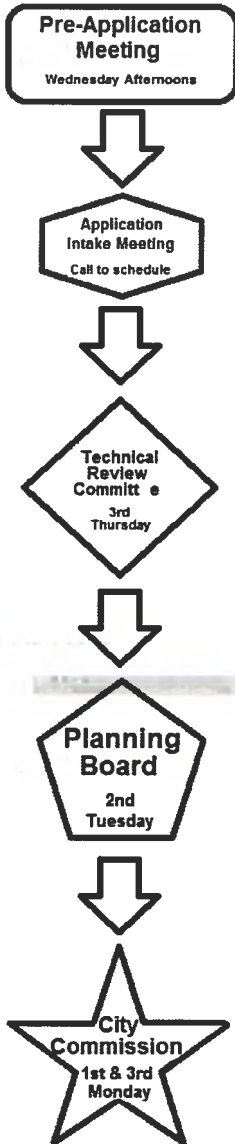
Non-Residential: Proposed Sq. Ft.: _____

Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
RM	HIMU	HIMU	RM

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-S8.d.2)
- Survey (see Section 22-S8.d.3)
- Site Plan (see Section 22-S8.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-S8.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-S8.d.7)
- Lighting Plan (see Section 22-S8.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

A.3. WARRANTY DEED

Prepared by and Return to:
Louisa Martinez, an employee of
First International Title, Inc.
107 North 2nd Street
Fort Pierce, FL 34950
Our File No. 127661-41

WARRANTY DEED

THIS INDENTURE is made on 18th day of September, 2018, between
Harbour Isle Development Commercial LLC a Florida limited liability company, having a
business address at: 9315 Dole Circle, Windermere, FL 34786, ("Grantor"), and
Harbour Isle Plaza, LLC, a Florida limited liability company, having a mailing address of: PO Box
3316, Jupiter, FL 33469, ("Grantee"):

(Which terms "Grantor" and "Grantee shall include singular or plural, corporation or individual, and either sex, and shall include
heirs, legal representatives, successors and assigns of the same)

WITNESSETH, that the said Grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and
other valuable considerations, receipt and sufficiency of which is hereby acknowledged hereby grants,
bargains, sells, remises, releases, conveys and confirms unto said "Grantee" all that certain land,
situated, lying and being in the County of **St. Lucie, Florida**, to-wit:

That portion of Tract D-1, Second Replat of Harbour Isle at Hutchinson Island, according to
the plat thereof, as recorded in Plat Book 46, Page(s) 9 and 10, of the Public Records of St.
Lucie County, Florida, lying East of the following described line:

Commence at the Northwest corner of said Tract D-1; thence North 64°50'00" East, along
the North line of said Tract D-1 (the North line of said Tract D-1 is assumed to bear North
64°50'00" East and all other bearings are relative thereto), a distance of 244.91 feet to the
beginning of a curve concave to the South having a radius of 666.78 feet and a central
angle of 1°01'21"; thence Easterly, along the arc of said curve, a distance of 11.90 feet to
the Point of Beginning of the hereinafter described line; thence South 25°10'00" East, a
distance of 274.36 feet to a point on the South line of said Tract D-1 and the Point of
Terminus.

Parcel Identification Number: **2402-501-0001-010/8 and 2402-501-0001-020-1**

Subject, however, to all reservations, covenants, conditions, restrictions and easements of record
and all applicable zoning ordinances and/or restrictions or requirements imposed by governmental
authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in
anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in
fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the

Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to **December 31, 2017**.

In Witness Whereof, Grantor has signed and sealed these presents on the date first above written.

Harbour Isle Development Commercial, LLC a Florida limited liability company

M. Simpson, Pres
R. Mason Simpson, President

Signed, sealed and delivered in our presence:

Tracy Sawicki
Witness Signature
Print Name: TRACY SAWICKI

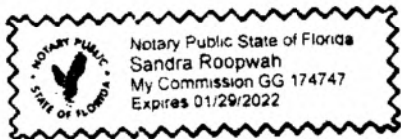
Estrellita Vazquez
Witness Signature
Print Name: ESTRELLITA VAZQUEZ

State of Florida
County of Orange

The Foregoing Instrument Was Acknowledged before me on September 19, 2018, by R. Mason Simpson, as President of **Harbour Isle Development Commercial LLC a Florida limited liability company**, who is/are personally known to me or who has/have produced a valid driver's license as identification.

Sandra Roodwah
Notary Public
Sandra Roodwah
(Printed Name)

My Commission expires: _____



A.4. SLC PROPERTY RECORD CARD

Property Identification

Site Address:	TBD
Parcel ID:	2402-501-0001-010-8
Account #:	183453
Map ID:	24/02N
Use Type:	1000
Zoning:	PUD
City/County:	Fort Pierce

Ownership

Harbour Isle Plaza LLC
PO Box 3316
Jupiter, FL 33469

Legal Description

SECOND REPLAT OF HARBOUR ISLE AT HUTCHINSON ISLAND (PB 46-9) THAT PART OF TRACT D-1 MPDAF: FROM NW COR OF TRACT D-1, TH N 64 50 00 E ALG N LI OF TRACT 244.91 FT TO CURVE CONC S, R OF 666.78 FT, TH ELY ALG ARC 11.90 FT TO POB; TH CONT ALG ARC 388.84 FT TO NE COR OF TRACT, TH S 29 41 35 W 34.91 FT, TH N 78 52 58 W 13.84 FT, TH S 12 27 34 W 6.64 FT, TH N 76 43 04 W 4.75 FT, TH S 56 32 17 W 20.34 FT, TH S 08 07 52 W 4.31 FT, TH N 78 03 59 W 6.65 FT, TH S 11 13 25 W 71.62 FT TO CURVE CONC W, R OF 90 FT, TH SLY ALG ARC 17.17 FT, TH S 22 09 18 W 23.61 FT TO E LI OF TRACT, TH S 29 41 35 W 72.18 FT, TH S 60 12 16 W 160.08 FT TO POB (1.504 AC - 65,532 SF) (OR 2377-203)



Current Values

Just/Market Value:	\$891,200
Assessed Value:	\$891,200
Exemptions:	\$0
Taxable Value:	\$891,200

Total Areas

Finished/Under Air (SF):	0
Gross Sketched Area (SF):	0
Land Size (acres):	1.5
Land Size (SF):	65,532

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)

Sale History

Date:	Sep 19, 2018
Book/Page:	4185 / 1536
Sale Code:	0205
Deed:	WD
Grantor:	Harbour Isle Dev Comm LLC
Price:	\$562,000
Date:	Sep 28, 2005
Book/Page:	2377 / 0203
Sale Code:	XX03
Deed:	SP
Grantor:	Owen Jr Jack B

Price:

\$900,000

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:

Roof Cover:

Roof Structure:

Building Type:

Year Built: N/A

Frame:

Grade:

Effective Year: 2014

Primary Wall:

Story Height:

No. Units: 0

Secondary Wall:

Interior Data

Bedrooms: 0

Electric:

Primary Int Wall:

Full Baths: 0

Heat Type:

Avg Hgt/Floor: 0

Half Baths: 0

Heat Fuel:

Primary Floors:

A/C %: 0%

Heated %: N/A%

Sprinkled %: 0%



Image
or
Sketch
unavailable
for display

Special Features and Yard Items

Current Year Values

Current Values Breakdown

Building:	\$0
Land:	\$891,200
Just/Market:	\$891,200
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$891,200
Exemption(s):	\$0
Taxable:	\$891,200

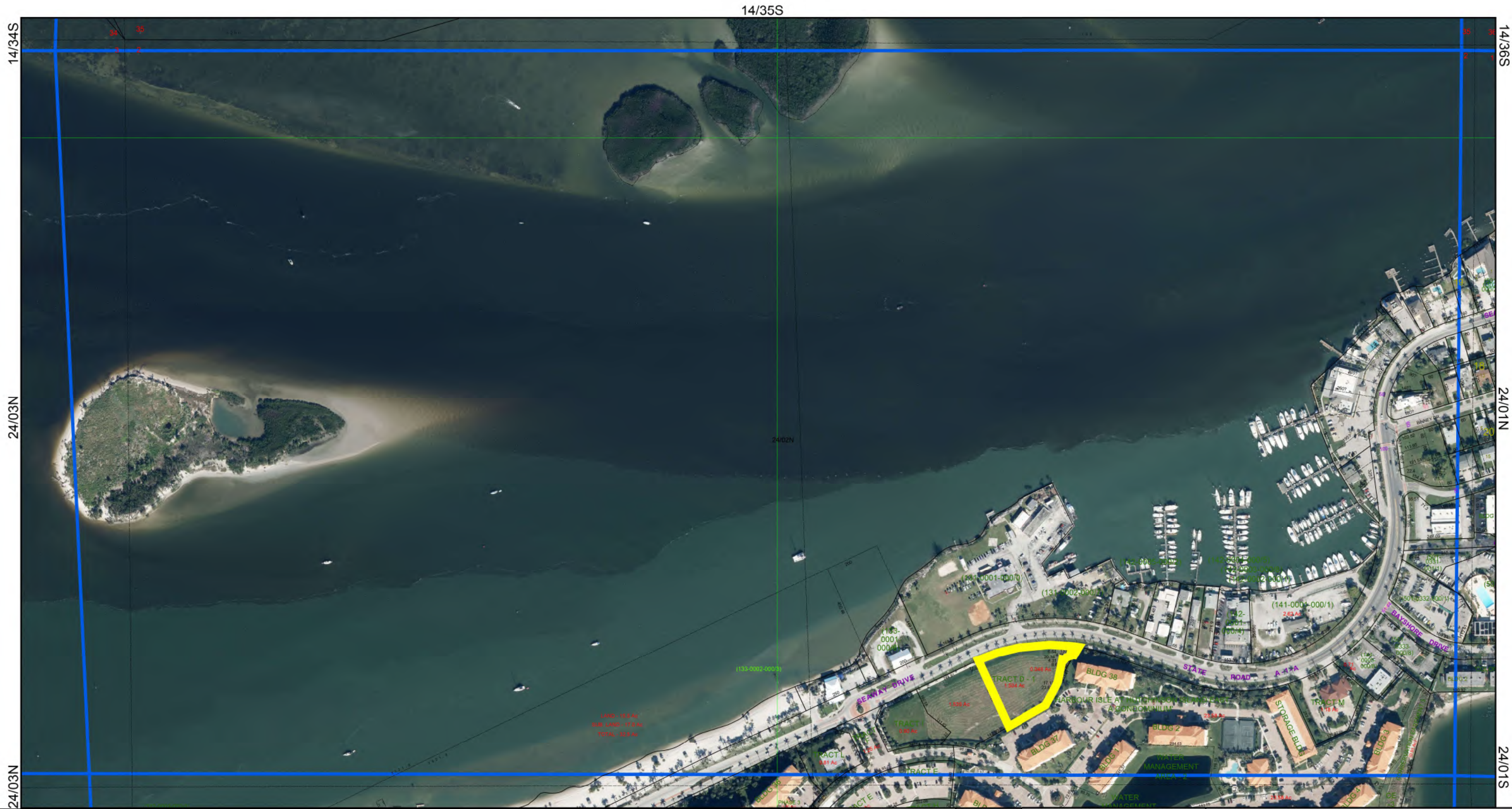
Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office ☐.

Historical Values

Permits



Map Last Updated: 3/9/2019

PREPARED FOR
Michelle Franklin, CFA
 SAINT LUCIE COUNTY PROPERTY APPRAISER



ASSESSMENT MAP
 THIS MAP HAS BEEN PREPARED FOR THE SAINT LUCIE COUNTY PROPERTY APPRAISER'S PURPOSES ONLY AND DOES NOT NECESSARILY REFLECT AN ACTUAL SURVEY. THE SAINT LUCIE COUNTY PROPERTY APPRAISER DOES NOT ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS CONTAINED HEREON.

SAINT LUCIE COUNTY, FLORIDA

SECTION	02	SHEET NUMBER
TOWNSHIP	35	24/02N
RANGE	40	

A.5. STATEMENTS OF OWNERSHIP & CONTROL OF PROPOSED DEVELOPMENT

MEMORANDUM

To: City of Fort Pierce Planning Department
Attn: Rebecca Grohall, Planning Director
100 North U.S. Highway 1
Fort Pierce, FL 34950

From: Jeffrey Lucas – Atkins Global, N.A.
As Authorized Agent

Re: Statement of Ownership & Control of Proposed Development
Proposed Cumberland Farms Convenience Store at 835 Seaway, Fort Pierce, FL

Date: February 19, 2019

SUBJECT PROPERTY

The subject property consists of a vacant parcel of 3.04 acres on the west side of Harbor Isle at Hutchinson's Island Community. The 3.04 acre property was legally split into two parcels, one of approximately 1.5 acres and the other approximately 1.54 acres. The proposed development will be on the northeast +/- 1.50 acres of vacant, well grassed land lying within the jurisdiction of the City of Ft. Pierce, Florida at 801 Seaway Dr.

The property is currently owned by **Harbor Isle Plaza, LLC. Cumberland Farms, Inc.** has entered an Agreement for Sale and Purchase of Real Property with **Harbor Isle Plaza, LLC** on September 4, 2018. Upon the completion of sale, Cumberland Farms, Inc will own and control the proposed development.

PROJECT DESCRIPTION

The northeast parcel is intended to be occupied a Cumberland Farms convenience store. The proposed development includes a single-story building of 5,625 sf with of outdoor seating and 6 dispensing pumps with 12 fueling positions. The development will be equipped with underground storage tanks, canopy, outdoor seating, air tower, and dumpster enclosure.



March 11, 2019

AUTHORIZATION

Project Name: Cumberland Farms
Project Location: 801 Seaway Drive, Fort Pierce, FL

To Whom It May Concern:

Atkins North America, Inc. is the authorized agent for Cumberland Farms, Inc. to handle all site-related permit applications for the Cumberland Farms development project located at 801 Seaway Drive, Fort Pierce, Florida.

Cumberland Farms, Inc.

A handwritten signature in blue ink, appearing to read "Laura S. Sherman".

Laura S. Sherman
Senior Corporate Counsel & Assistant Secretary

COMMONWEALTH OF MASSACHUSETTS
WORCESTER COUNTY

Subscribed and sworn to before me this 11th day of March 2019 by Laura S. Sherman, Senior Corporate Counsel & Assistant Secretary of Cumberland Farms, Inc., who is personally known to me.



A handwritten signature in blue ink, appearing to read "Pamela A. Sinnett".

Notary Public:

My Commission Expires: 1/31/2025

A.6. GENERAL LOCATION MAP

PLOT DATE: Feb 19, 2019 - 8:59am
 FILE NAME: A:\PROJECTS\100062844 - CF - 801Seaway (Ft. Pierce)\10 CAD\10 - EXHIBIT\EXHIBIT-LOCATION MAP.dwg



ATKINS

CORPORATE OFFICE:
 4030 W. BOY SCOUT BOULEVARD
 TAMPA, FLORIDA 33607
 FBPR CERTIFICATE OF
 AUTHORIZATION NO.24

LOCAL OFFICE:
 7175 MURRELL ROAD
 MELBOURNE, FL 32940
 TEL. 321.242.4942
 FAX. 321.242.6101
 www.atkinglobal.com

LOCATION MAP EXHIBIT

Job nos. 100062844		Refer to Sheet No.	
Sketch Date 02/19/2019		Add./ Rev.	RFI N/A
Scale 1" = 300'			
Dr JWS	Ck JAL		

A.7. DEVELOPMENT PLANS (SEE SECTION D)

B. CONCURRENCY REVIEW SUBMITTAL



CAPACITY ANALYSIS

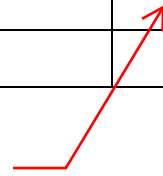
I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

Noted Total is for overall acreage of Harbour Cay Retail + Cumberland Farms



A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 1,875.00
**Proposed Zoning/FLU	Total gallons per day 703 gpd
**Change in Demand	Total gallons per day reduction of 1172 gpd

703 gpd

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot 563 gpd
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 1,500
**Proposed Zoning/FLU	Total gallons per day 563 gpd
**Change in Demand	Total gallons per day decrease of 937 gpd

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU Enrollment Demand		
**Proposed Zoning/FLU Enrollment Demand		
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	15,000 sf at 0.05 cy/sf = 750 cy
**Proposed Zoning/FLU	5625 sf x 0.05 = 281.25 cy
*Change in Demand	of decrease 469 cy

F. Stormwater: Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)
--

Impact	
---------------	--

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU	566	AM Entry: 9, AM Exit:5, PM Entry: 27, PM Exit: 30
**Proposed Zoning/FLU	2766	AM Entry: 62, AM Exit: 63; PM Entry: 46, PM Exit: 48
*Change in Demand	Trips 2,200 (increases)	Trips 53/58/19/18 (increases)
Impact to Capacity	Trip generation will increase based on the combined development on the of the divided parcels.	

IV. Project Description

PHASING	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units:	Single Family: Multifamily:
Non-residential (square footage):	
Mixed-use (describe use):	
(If this is a single phase project, name it Phase I – Total)	

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

C. DESIGN REVIEW SUBMITTAL PACKET



Design Review

Property address or Location 835 Seaway Dr. / TBD, Fort Pierce, FL 34949
 Parcel ID #(s) 2402-501-0001-010-8
 Project Description 5,625sf 1-story convenience store with outdoor seating and 6 fueling pumps

Harbour Isle Dev Commercial, LLC
 Property Owner(s)
825 Seaway Drive
 Street Address
Fort Pierce FL 34949
 City State Zip
(561) 623-8801
 Phone Number
cmason@masondc.com
 Email Address

Laura Sherman, Assistant Secretary, Cumberland Farms Inc.
 Applicant/Representative, Title, Company
165 Flanders Rd.
 Street Address
Westborough MA 01581
 City State Zip
(508) 270-1400
 Phone Number
lsherman@cumberlandfarms.com (Applicant contracting to purchase)
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

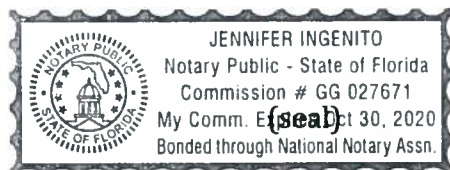
[Signature]
 Property Owner(s) Signature(s)

Representative
 Jeffrey Lucas - ATKINS
 7175 Murrell Road
 Melbourne, FL 32940
 321-242-4942
 jeffrey.lucas@atkinglobal.com

STATE OF FLORIDA -- COUNTY
 The foregoing instrument was acknowledged before me this 12 day of Mar, 2015 by

CRAIG R. MASON who is personally known to me or has produced
 as identification.

[Signature]
 Signature of Notary



TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____
 Intake Planner _____
 Planner Assigned _____
 Approved _____ Date _____
 Comments _____

Intake Date Stamp

Design Review Application Checklist

(City Code of Ordinances 22-59)

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

C.1. DESIGN INTENT NARRATIVE

Cumberland Farms – Ft. Pierce
801 Seaway Drive, Fort. Pierce, FL

MEMORANDUM

To: City of Fort Pierce Planning Department
Attn: Rebecca Grohall, Planning Director
100 North U.S. Highway 1
Fort Pierce, FL 34950

From: Jeffrey Lucas – Atkins Global, N.A.
As Authorized Agent

Re: Design Intent Narrative
Proposed Cumberland Farms Convenience Store at 835 Seaway, Fort Pierce, FL

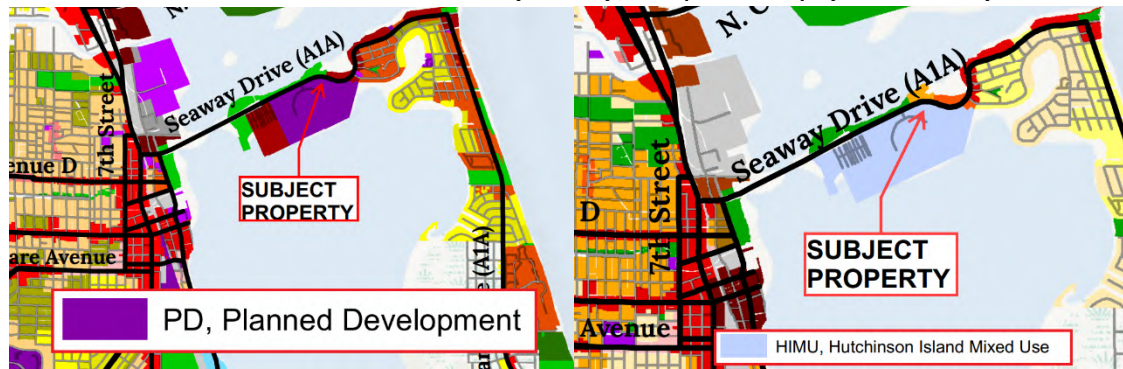
Date: February 19, 2019

SUBJECT PROPERTY

The subject property consists of a vacant parcel of 3.09 acres on the west side of Harbor Isle at Hutchinson's Island Community. It is intended to legally split into two parcels, one of approximately 1.5 acres and the other approximately 1.6 acres. The proposed development will be on the northeast +/- 1.50 acres of vacant, well grassed land lying within the jurisdiction of the City of Ft. Pierce, Florida at 801 Seaway Dr.

The site has no significant vegetation and in fact was created by depositing dredged fill from the intracoastal waterway. There also is no significant topography, wetlands or buffers. The subject property is currently undeveloped and vacant grassed land. The Fort Pierce US army Coastguard facility, vacant property and a residential building are located across Seaway drive adjoining the subject property to the north. A vacant property adjoins the subject property to the west, past which are roadways and residential buildings of Harbor Isles. Parking lots and residential buildings of Harbor Isles surround the subject property to the south. A vacant property adjoins the subject property to the east, past which are residential buildings of Harbor Isles. A hedge and a metal railing bound the property to the south with a few trees.

Current zoning and future land use (FLU) for the site is Planned Development (PD) and Hutchinson Island Mixed Use (HIMU), respectively (see below).



PROJECT DESCRIPTION

The northeast parcel is intended to be occupied a Cumberland Farms convenience store. The proposed development includes a single-story building of 5,625 sf with 300 sf of outdoor seating and 6 dispensing pumps with 12 fueling positions. The development will be equipped with underground storage tanks, canopy, outdoor seating, air tower, and dumpster enclosure.

Refer to PD Amendment for additional

PROPOSED ACCESS

The development has proposed to provide two driveways along Seaway Drive. One shared full access driveway with the southern parcel and a right turn only exit driveway on the north end. Additional internal circulation accesses will be provided with the parcel on the south.

SUMMARY

The proposed Cumberland Farms development fits perfectly with the local environment. It draws on neighboring architecture and provides a safe and clean place for the community to shop.

C.2. CONTEXT PHOTOGRAPHS







C.3. ARCHITECTURAL PRECEDENT

Photos of surrounding uses and styles



















C.4. PHOTOGRAPHS OF EXISTING STRUCTURES







C.5. TRAFFIC IMPACT REPORT

TRAFFIC IMPACT ANALYSIS

Harbor Cay Fort Pierce, FL

Prepared for:
Mason Development & Construction
Jupiter, Florida

Prepared by:


Engineering & Planning, Inc.
1172 SW 30th Street, Suite 500
Palm City, FL 34990
(772) 286-8030



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SHAUN G. MACKENZIE, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
MACKENZIE ENGINEERING AND PLANNING, INC.
1172 SW 30th STREET, SUITE 500
PALM CITY, FL 34990
CERTIFICATE OF AUTHORIZATION 29013
SHAUN G. MACKENZIE, P.E. NO. 61751

Digitally
signed by
Shaun G
MacKenzie
Date:
2019.05.20
11:46:56
-04'00'

174001
April 2019
© MacKenzie Engineering and Planning, Inc.
CA 29013

Shaun G. MacKenzie P.E.
PE Number 61751

EXECUTIVE SUMMARY

MacKenzie Engineering and Planning, Inc. (MEP) was retained to prepare a traffic study update for the development of property on the south side of Seaway Drive east of the Harbor Isle roundabout, Fort Pierce, FL (Parcel ID: 2402-501-0001-000-5). The applicant proposes a 3,250 SF of high-turnover restaurant, 4,745 SF apparel store, 1,040 SF gift shop, 1,495 SF liquor store, and 5,625 SF of convenience store with 12 vehicle fueling positions.

The project has a prior approval through Ft. Pierce and a pre-approval through FDOT for 1 right-in, 1 right-out, and one full access driveway to Seaway Drive along with a full access driveway to Harbor Isle. The project proposes to remove the Harbor Isle access. The project will provide cross-access to the undeveloped parcel to the west.

The site proposes a 2020 buildout. The project's net new trips compared to the prior use approval is a decrease of 969 daily, 66 AM peak hour, and 84 PM peak hour trips.

The proposed project is expected to generate the following net external trips:

- 1,128 daily, 72 AM peak hour (39 in/33 out), and 81 PM peak hour (42 in/39 out)

The proposed project is expected to generate the following cumulative driveway trips:

- 3,918 daily, 268 AM peak hour (139 in/129 out), and 277 PM peak hour (143 in/134 out)

The driveways are projected to operate acceptably without ingress turn lanes. The project will provide left and right-turn egress lanes from the project.

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Exhibit 5. PM Peak Hour Roadway Analysis
Exhibit 6. Harbor Cay Driveway Volumes
Exhibit 7. Adjacent Parcel Trip Generation
Exhibit 8. Adjacent Parcel Driveway Volumes
Exhibit 9. Total Projected Driveway Volumes
Intersection Development Sheet – Seaway Drive @ Driveway

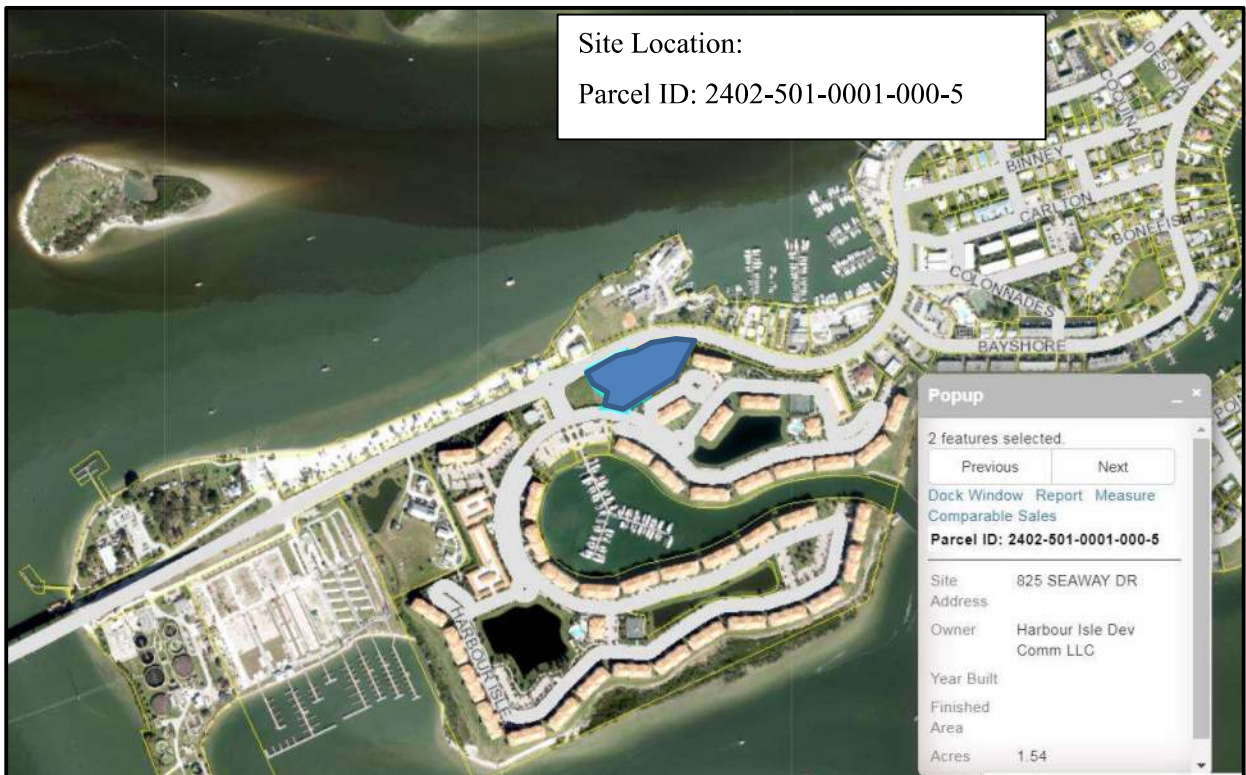
INTRODUCTION

MacKenzie Engineering and Planning, Inc. (MEP) was retained to prepare a traffic study update for the development of property on the south side of Seaway Drive east of the Harbor Isle roundabout, Fort Pierce, FL (Parcel ID: 2402-501-0001-000-5). The applicant proposes a 3,250 SF of high turnover restaurant, 4,745 SF apparel store, 1,040 SF gift shop, 1,495 SF liquor store, and 5,625 SF of convenience store with 12 vehicle fueling positions.

The project has a prior approval through Ft. Pierce and a pre-approval through FDOT for 1 right-in, 1 right-out, and one full access driveway to Seaway Drive along with a full access driveway to Harbor Isle. The project proposes to remove the Harbor Isle access. The purpose of this report is to assess the ability of the driveway and roadways surrounding the project accommodate the projected change in traffic.

The concept plan is shown in Appendix A.

Figure 1. Site Location



INVENTORY AND PLANNING DATA

The traffic data used in this analysis were obtained from FDOT.
 Atkins & EDC provided site information.

PROJECT TRAFFIC

Use

The following changes are proposed:

Table 1. Proposed Changes

Use	Approved	Proposed	Change (P – A)
Medical Office	8,600 SF	-	-8,600 SF
Shopping Center	4,000 SF	0 SF	+4,000 SF
Restaurant	7,050 SF	3,250 SF	-3,800 SF
Apparel Store	-	4,745 SF	+4,745 SF
Gift Shop	-	1,040 SF	+1,040 SF
Liquor Store	-	1,495 SF	+1,495 SF
Convenience Store with Fuel Pumps			
Convenience Store	5,618 SF	5,625 SF	7 SF
Fueling Positions	12 F.P.	12 F.P.	0 F.P.

Traffic Generation

Daily and peak hour rates and equations contained in the Institute of Transportation Engineers' (ITE) report, Trip Generation (10th Edition) were applied to the following uses:

- Restaurant – ITE Land Use 932 – High-Turnover Sit-Down Restaurant
- Beachwear – ITE Land Use 876 – Apparel Store
- Gift Shop – ITE Land Use 876 – Apparel Store
- Liquor Store – ITE Land Use 899 – Liquor Store

The report uses FDOT's Trip Generation Recommendations Report (October 2014) for Convenience Market with Gas Pumps. The FDOT PM peak hour Gasoline plus convenience store equation was also applied to the AM peak hour because FDOT did not publish AM Peak Hour equations.

The proposed project is expected to generate the following net external trips:

- 1,128 daily, 72 AM peak hour (39 in/33 out), and 81 PM peak hour (42 in/39 out)

The proposed project is expected to generate the following cumulative driveway trips:

- 3,918 daily, 268 AM peak hour (139 in/129 out), and 277 PM peak hour (143 in/134 out)

Internal Capture

AM and PM peak hour internal capture is conservatively estimated at 1.8 and 4.8 percent, respectively. This is a conservation rate given the potential interaction between the uses on the site.

Pass-by Trip Capture

MEP utilized the available pass-by rate capture rates published within the ITE's report, *Trip Generation (10th Edition)*. Apparel Store and Liquor Store do not have published pass-by rates, therefore a 34 percent pass-by rate was applied based the average shopping center rate (ITE Land Use 820). The report uses the pass-by capture rate published within FDOT's Trip Generation Recommendations Report (October 2014) for Convenience Market with Gas Pumps as show in Table 2.

Table 2. Trip Generation

Land Use	Intensity		Daily Trips	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Proposed Site Traffic									
High Turnover Sit-Down Rest	3.250	1000 SF	365	32	18	14	32	20	12
Apparel Store	5.785	1000 SF	384	6	5	1	24	12	12
Conv. Mrkt w/ Gas Pumps	5.625 ksf + 12 f.p.		3,361	235	118	117	235	118	117
Liquor Store	1.495	1000 SF	152	1	1	0	26	13	13
Subtotal			4,110	273	141	132	291	150	141
Internal Capture									
	AM	PM	DAILY						
High Turnover Sit-Down Rest	6.3%	12.5%	12.5%	46	2	1	1	4	2
Apparel Store	0.0%	8.3%	8.3%	32	0	0	0	2	1
Conv. Mrkt w/ Gas Pumps	1.3%	3.4%	3.4%	114	3	1	2	8	4
Liquor Store	0.0%	7.7%	7.7%	12	0	0	0	2	1
Subtotal	1.8%	4.8%	4.7%	192	5	2	3	14	7
Pass-By Traffic									
High Turnover Sit-Down Rest	43.0%		137	13	7	6	12	8	4
Apparel Store	34.0%		120	2	2	0	7	4	3
Conv. Mrkt w/ Gas Pumps	78.0%		2,533	181	91	90	177	89	88
Liquor Store	34.0%		48	0	0	0	8	4	4
Subtotal			2,790	196	100	96	196	101	95
NET PROPOSED TRIPS			1,128	72	39	33	81	42	39
Total Proposed Driveway Volumes			3,918	268	139	129	277	143	134
NET EXTERNAL TRIPS (FOR THE PURPOSES OF CONCURRENCY)			1,128	72	39	33	81	42	39
NET CHANGE IN DRIVEWAY VOLUMES			3,918	268	139	129	277	143	134
Note: Trip generation was calculated using the following data:									
Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour		Equation
					in/out	Rate	in/out	Equation	
High Turnover Sit-Down Rest	932	1000 SF	112.18	43%	55/45	9.94	62/38	9.77	
Apparel Store	876	1000 SF	66.4	34%	80/20	1.00	51/49	4.12	
Conv. Mrkt w/ Gas Pumps	FDOT	1000 SF & Pumps	14.3 x PM Trips	78%	50/50	used PM information	50/50	12.3 x Fuel Pumps + 15.5 x 1,000 SF Conv. Store	
Liquor Store	899	1000 SF	101.49	34%	51/49	0.51	50/50	17.12	

Area of Impact

The proposed changes on the site, reductions in intensity and use of the more accurate ITE 10th Edition and FDOT equations resulted in a significant reduction in net external and driveway trips. The most recent traffic study was performed by O'Rourke Engineering & Planning and is dated August 10, 2018. The summary of trips is shown below in Tables 3 and 4.

Table 3. Net External Trip Generation

Traffic Study	Daily Trips	AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out
O'Rourke	2,097	138	80	58	165	83	82
MEP	1,128	72	39	33	81	42	39
Change	-969	-66	-41	-25	-84	-41	-43

Table 4. Driveway Trip Generation

Traffic Study	Daily Trips	AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out
O'Rourke	4,699	309	166	143	357	178	179
MEP	3,918	268	139	129	277	143	134
Change	-781	-41	-27	-14	-80	-35	-45

The reduction in net external trips is attributed to the FDOT's studies of convenience stores with gasoline pumps which demonstrates approximately 78 percent of the traffic is related to traffic passing by the site. The study also eliminated the medical office use from the site and applied the anticipated actual uses (apparel store, gift shop, and liquor store) rather than the general shopping center trip generation.

TRAFFIC DISTRIBUTION

Consistent with the prior approved traffic study, the overall distribution is summarized by general directions and is depicted below:

WEST	-	70 percent
EAST	-	30 percent

TRAFFIC ASSIGNMENT

The distributed external trips for the project were assigned to the roadway network within the radius of influence based on the distribution and are consistent with the O'Rourke August 10, 2018 traffic study. The traffic assignment is illustrated in Figure 2.

PROJECTED GROWTH

Projected growth is estimated using the historical growth in the area. The study uses a 3.4 percent annual growth rate as shown in Table 5 based the weighted average of growth on Seaway Drive and Ocean Drive.

Table 5. Growth Rate Calculation

ROAD	FROM	TO	Station	LANES	2014	2015	2016	2017	2018	GROWTH RATE
Seaway Drive	ICWW	Harbour Isle	940115	2	12,900	15,100	14,800	14,800	16,600	4.28%
Ocean Drive	Seaway Dr	Jaycee Park	945016	2	7,800	8,000	8,800	8,100	8,400	1.55%

Average Weighted Growth Rate	3.4%
------------------------------	-------------

BACKGROUND TRAFFIC

Background traffic identifies how the study area's transportation system is forecast to operate in the buildout year. This includes traffic growth that is associated with the general (historic) growth in the area and the growth due the development of unbuilt portions of approved major developments.

Figure 2. Traffic Assignment



ASSURED AND PROGRAMMED CONSTRUCTION

A review was conducted of the Five-Year Plans of FDOT. No capacity enhancements are identified in the area.

ROADWAY ANALYSIS

Adopted Level of Service

Seaway Drive (SR A1A) has an adopted level of service of D based on the City's comprehensive plan. Seaway Drive is 4-lanes west of Causeway Cove Marina. Seaway Driveway is uninterrupted flow segment from Causeway Cove Marina to Harbour Isle Drive and transitions from 4-lanes to 2-lanes. East of Harbour Isle Drive, Seaway Drive is 2-lanes. The corresponding vehicular roadway capacities for Seaway Drive are 1,300, 1,190 and 750 peak hour peak direction vehicles, respectively, obtained from FDOT's 2013 Quality/Level of Service Manual.

Total Peak Hour

Roadway analysis was performed on Seaway Drive from Indian River Drive to Ocean Drive. The project related traffic and total traffic for the AM and PM peak hours for one-way peak hour conditions are shown in Exhibits 2 through 5. As shown in Exhibits 3 and 5, Seaway is projected to operate acceptably at project buildout in the AM and PM peak hours, respectively.

DRIVEWAYS

The Project site proposes three points of access onto Seaway Drive (SR A1A). The access is as follows:

- Seaway Drive west access – right-in only
- Seaway Drive central access – full access
- Seaway Drive east access – right-out only

In addition, the project will provide cross-access to an undeveloped parcel to the west. The parcel was previously analyzed as an 8,000 SF medical office. This analysis will continue to analyze the project as an 8,000 SF medical office in order to provide a conservative analysis. Trip generation is provided in Exhibit 6 in the Appendix and the traffic assignment is consistent with the proposed project.

The Harbor Cay project, Undeveloped Western Parcel, and Total driveway trips are shown in Figures 3, 4, and 5, respectively.

Figure 3. Projected Harbor Cay Driveway Volumes

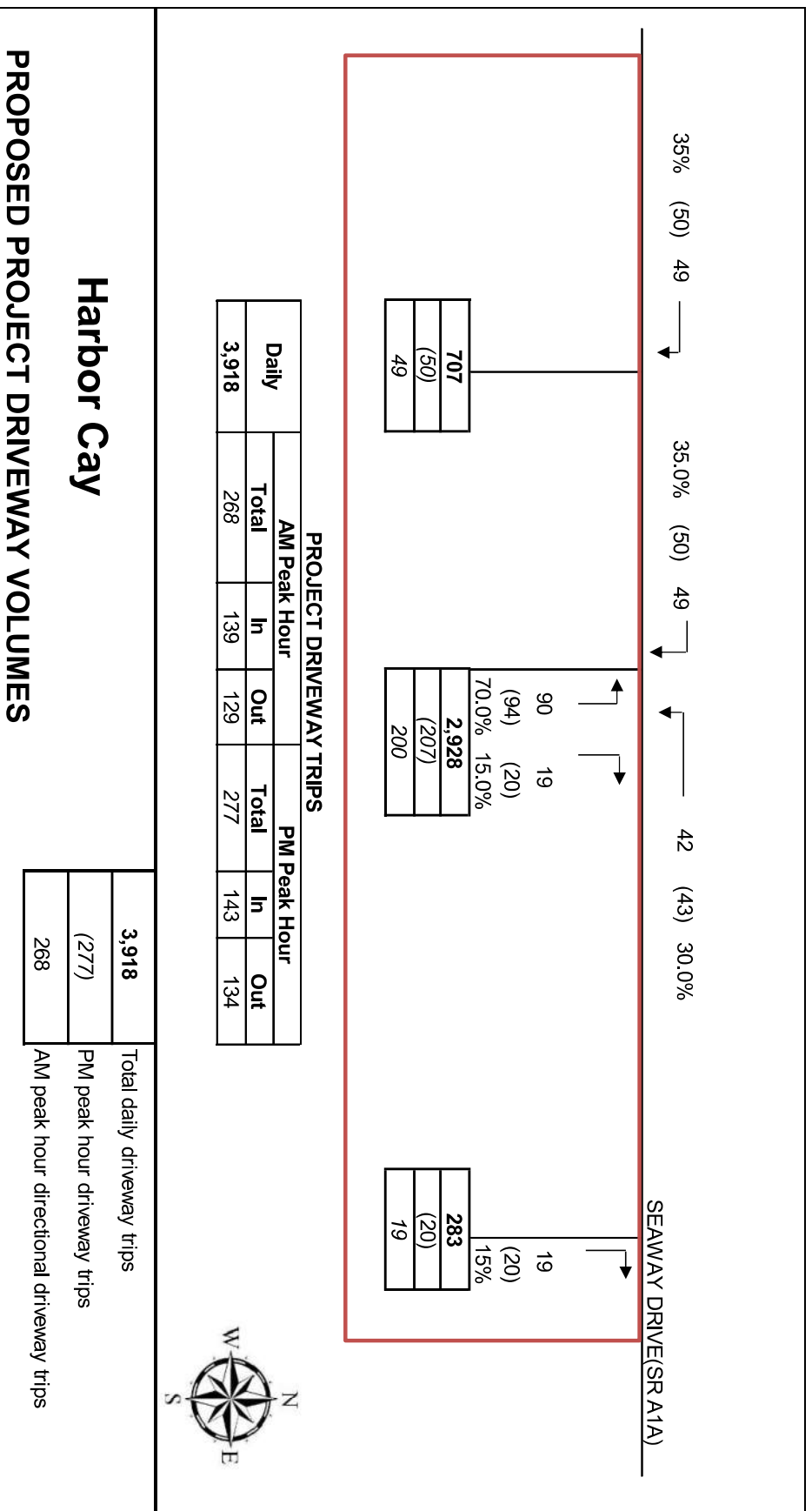


Figure 4. Undeveloped Western Property Driveway Volumes

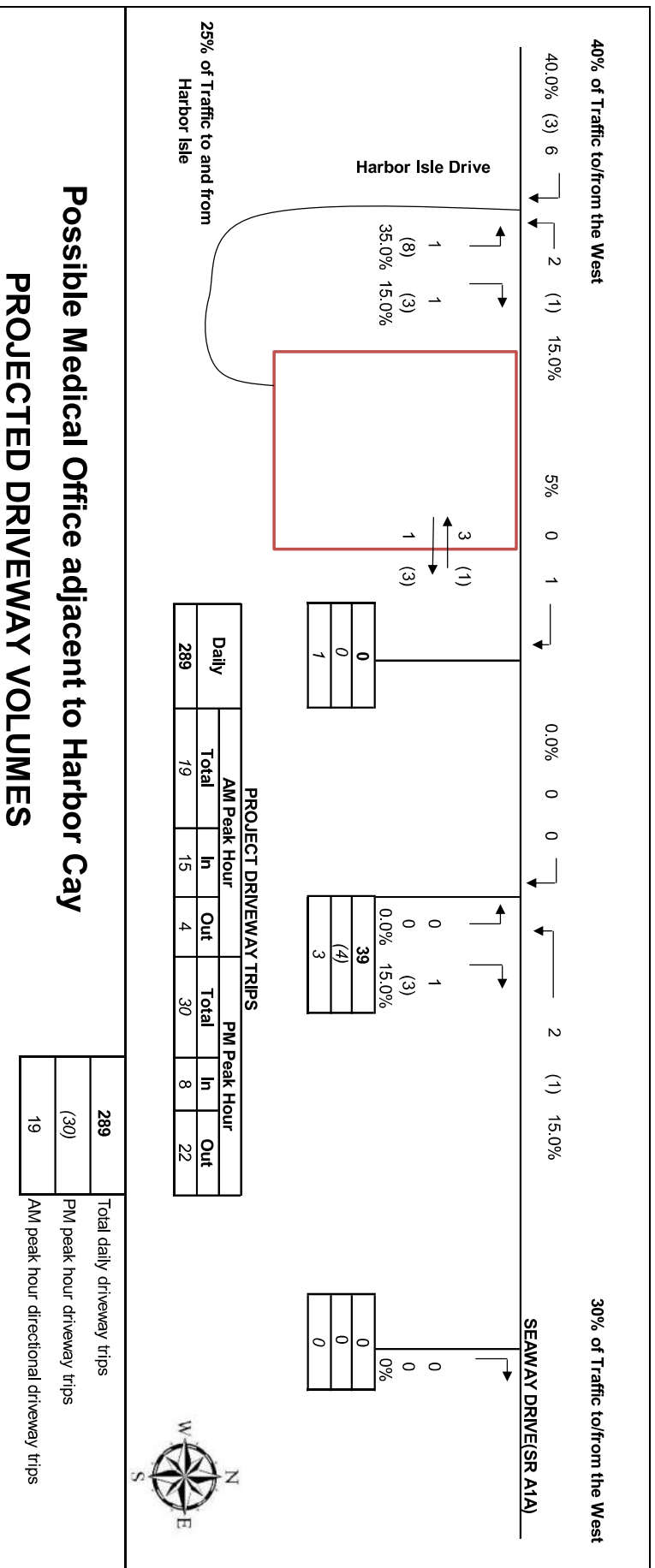
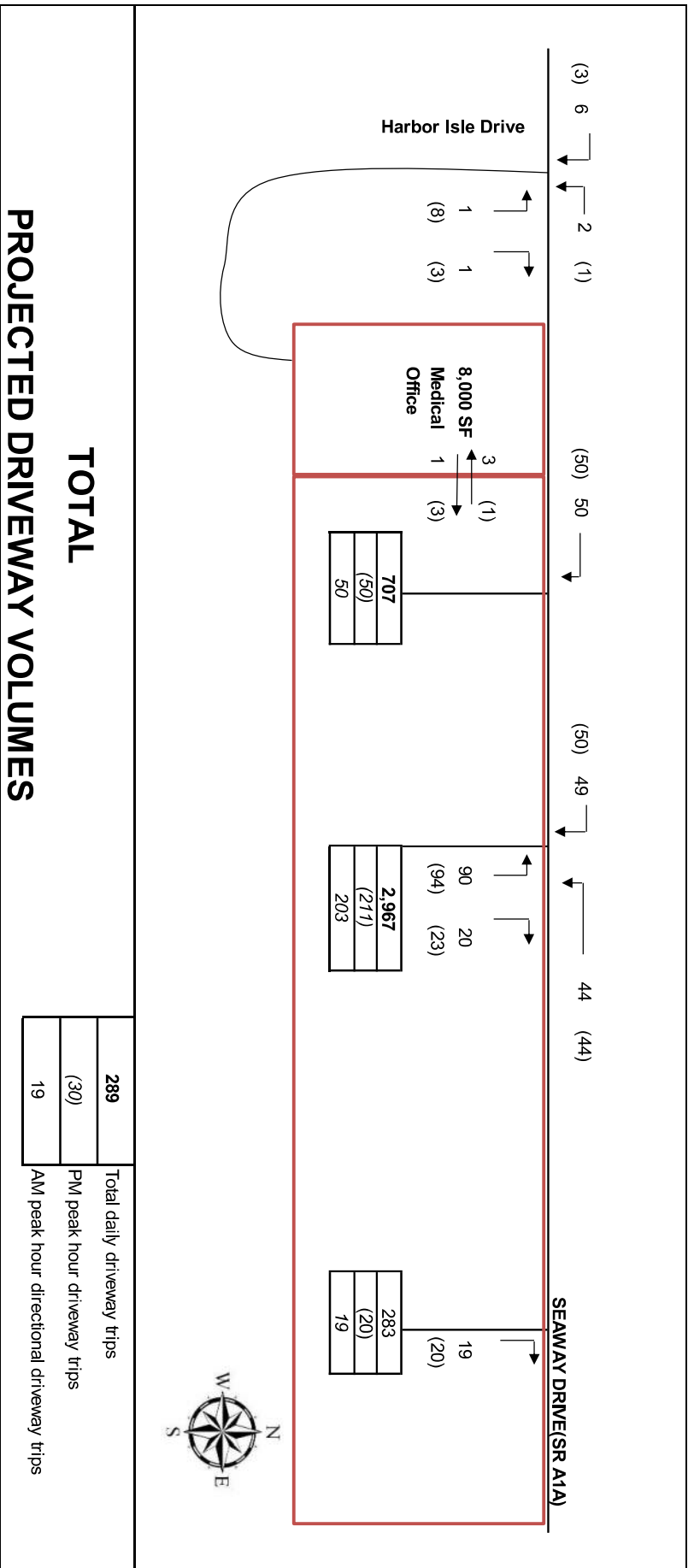


Figure 5. Total Projected Driveway Volumes



Driveway Dimensions

The driveway volumes and dimensions are shown in Table 6.

Table 6. Driveway Volumes

	Western Driveway	Central Driveway	Eastern Driveway
Volume (vph)			
Total	50	211	20
Inbound	50	94	0
Outbound	0	117	20
Reservoir (feet) In/out	15'	15'/28'	18.8'
Reservoir (from travel lane) (feet)	40.5'	46.5'	49.1'
Return Radius (feet)	37'	35'	25'
Ingress Left-Turn Vol (veh/hour)	-	44	-
Ingress Right-Turn Vol (veh/hour)	50	50	-

Turn Lanes

Right-Turn Lane

The right-turn volumes into the project at both entrances are less than 80 vehicles per hour. The speed limit on Seaway Drive is 35 miles per hour. Therefore, right-turn lanes into the project are not warranted.

Left-Turn Lane

The peak hour left-turn volume is projected to conservatively be 49 vehicles. This is nine vehicles fewer than the previously approved project which was approved with no turn lanes. Seaway Drive is a 35 mile per hour facility. The only left-turn lane on the two-lane section of Seaway Drive is at Bayshore Drive. The driveway is projected to operate acceptably without a turn-lane. Seaway Drive was reconstructed less than 10-years ago with the intent of creating a low speed, pedestrian and bicycle friendly environment. Further, the study's trip generation does not consider the potential pedestrians and bicyclists that will patronize the site due to the proximity of nearby residential uses. This will reduce vehicular trips into the site.

Based on the character of the road, a left-turn lane into the project is not recommended.

Access Management

The existing site has FDOT approved driveway permits for the existing driveways. The site was approved for a more trips than proposed and proposes to maintain its approved access except for the elimination of the Harbour Isle access.

CONCLUSION

MacKenzie Engineering and Planning, Inc. (MEP) was retained to prepare a traffic study update for the development of property on the south side of Seaway Drive east of the Harbor Isle roundabout, Fort Pierce, FL (Parcel ID: 2402-501-0001-000-5). The applicant proposes a 3,250 SF of high-turnover restaurant, 4,745 SF apparel store, 1,040 SF gift shop, 1,495 SF liquor store, and 5,625 SF of convenience store with 12 vehicle fueling positions.

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The site proposes a 2020 buildout. The project's net new trips compared to the prior use approval is a decrease of 969 daily, 66 AM peak hour, and 84 PM peak hour trips.

The proposed project is expected to generate the following net external trips:

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The proposed project is expected to generate the following cumulative driveway trips:

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The driveways are projected to operate acceptably without ingress turn lanes. The project will provide left and right-turn egress lanes from the project.

APPENDICES

**EXHIBIT 1
Harbor Cay
Trip Generation**

Land Use	Intensity		Daily Trips	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Proposed Site Traffic									
High Turnover Sit-Down Rest	3.250	1000 SF	365	32	18	14	32	20	12
Apparel Store	5.785	1000 SF	384	6	5	1	24	12	12
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Liquor Store	1.495	1000 SF	152	1	1	0	26	13	13
Subtotal			4,110	273	141	132	291	150	141
Internal Capture									
	AM	PM	DAILY						
High Turnover Sit-Down Rest	6.3%	12.5%	12.5%	46	2	1	1	4	2
Apparel Store	0.0%	8.3%	8.3%	32	0	0	0	2	1
Conv. Mrkt w/ Gas Pumps	1.3%	3.4%	3.4%	114	3	1	2	8	4
Liquor Store	0.0%	7.7%	7.7%	12	0	0	0	2	1
Subtotal	1.8%	4.8%	4.7%	192	5	2	3	14	7
Pass-By Traffic									
High Turnover Sit-Down Rest	43.0%		137	13	7	6	12	8	4
Apparel Store	34.0%		120	2	2	0	7	4	3
Conv. Mrkt w/ Gas Pumps	78.0%		2,533	181	91	90	177	89	88
Liquor Store	34.0%		48	0	0	0	8	4	4
Subtotal			2,790	196	100	96	196	101	95
NET PROPOSED TRIPS			1,128	72	39	33	81	42	39
Total Proposed Driveway Volumes			3,918	268	139	129	277	143	134
NET EXTERNAL TRIPS (FOR THE PURPOSES OF CONCURRENCY)			1,128	72	39	33	81	42	39
NET CHANGE IN DRIVEWAY VOLUMES			3,918	268	139	129	277	143	134

Note: Trip generation was calculated using the following data:

Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour	
					in/out	Rate	in/out	Equation
High Turnover Sit-Down Rest	932	1000 SF	112.18	43%	55/45	9.94	62/38	9.77
Apparel Store	876	1000 SF	66.4	34%	80/20	1.00	51/49	4.12
Conv. Mrkt w/ Gas Pumps	FDOT	1000 SF & Pumps	14.3 x PM Trips	78%	50/50	used PM information	50/50	12.3 x Fuel Pumps + 15.5 x 1,000 SF Conv. Store
Liquor Store	899	1000 SF	101.49	34%	51/49	0.51	50/50	17.12

EXHIBIT 2 - AM PEAK HOUR
Harbor Cay
AM PEAK HOUR PROJECT TRIPS

Roadway From	To	Class	Capacity		Percent Project Assignment	AM Peak Hour Project Trips	
			Number Of Lanes	LOS 'D' Capacity		NB/EB	SB/WB
Seaway Drive							
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	45%	18	15
Causeway Cove Marina	Harbour Isle Drive	2	2L Unit	1,190	45%	18	15
Harbour Isle Drive	Project	2	2L	750	70%	27	23
Project	Bayshore Drive	2	2L	750	30%	10	12
Bayshore Drive	Ocean Drive	2	2L	750	25%	10	10

**EXHIBIT 3 - AM PEAK HOUR
Harbor Cay
ROADWAY ANALYSIS**

Roadway From	To	Class	Committed		AM Peak Hour Project Trips		2018 AM PHPD Volume		Growth Rate	Growth from		2020 Background Peak Hour Volume		2020 Total Peak Hour Volume		Meets Standard ?		
			Number Of Lanes	LOS 'D' Capacity	NB/EB	SB/WB	NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB
Seaway Drive																		
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	18	15	472	647	3.36%	32	44	504	691	522	706	Yes	Yes	
Causeway Cove Marina	Harbour Isle Drive	2	2L Unint	1,190	18	15	472	647	3.36%	32	44	504	691	522	706	Yes	Yes	
Harbour Isle Drive Project	Project Baysshore Drive	2	2L	750	27	23	408	439	3.36%	28	30	436	468	463	491	Yes	Yes	
Baysshore Drive	Ocean Drive	2	2L	750	10	12	408	439	3.36%	28	30	436	468	446	480	Yes	Yes	
		2	2L	750	8	8	344	230	3.36%	24	16	368	246	376	254	Yes	Yes	

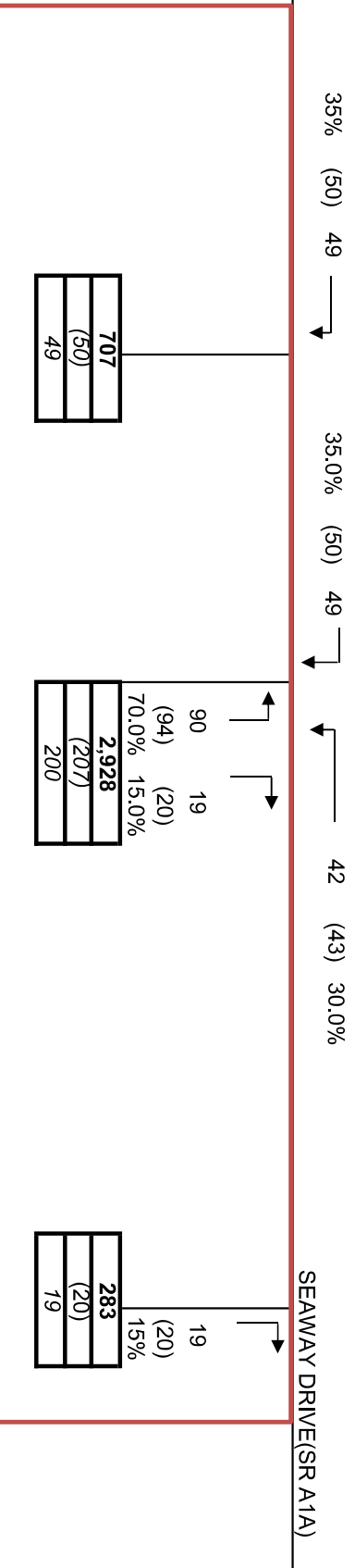
EXHIBIT 4 - PM PEAK HOUR
Harbor Cay
PM PEAK HOUR PROJECT TRIPS

Roadway From	To	Class	Capacity		Percent Project Assign	Project Trips		
			Number Of Lanes	LOS 'D' Capacity		NB/EB	SB/WB	
Seaway Drive								
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	45%	19	18	
Causeway Cove Marina	Harbour Isle Drive	2	2L Urinit	1,190	45%	19	18	
Harbour Isle Drive Project	Project Baysshore Drive	2	2L	750	70%	29	27	
Project Baysshore Drive	Baysshore Drive Ocean Drive	2	2L	750	30%	12	13	
		2	2L	750	25%	11	11	

EXHIBIT 5 - PM PEAK HOUR
Harbor Cay
ROADWAY ANALYSIS

Roadway From	To	Class	Committed		2018 PM		Growth Rate	Growth from		2020 Background		2020 Total Pk		Meets Standard ?			
			Number Of Lanes	LOS 'D' Capacity	NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB		NB/EB	SB/WB	
Seaway Drive																	
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	19	18	718	852	3.36%	49	58	767	910	786	928	Yes	Yes
Causeway Cove Marina	Harbour Isle Drive	2	2L Unit	1,190	19	18	718	852	3.36%	49	58	767	910	786	928	Yes	Yes
Harbour Isle Drive	Project Baysshore Drive	2	2L	750	29	27	550	657	3.36%	38	45	588	702	617	729	Yes	Yes
Project Baysshore Drive	Ocean Drive	2	2L	750	12	13	550	657	3.36%	38	45	588	702	600	715	Yes	Yes
Baysshore Drive	Ocean Drive	2	2L	750	11	11	382	462	3.36%	26	32	459	494	470	505	Yes	Yes

EXHIBIT 6



PROJECT DRIVEWAY TRIPS

Daily	AM Peak Hour			PM Peak Hour		
	Total	In	Out	Total	In	Out
3,918	268	139	129	277	143	134



Harbor Cay

PROPOSED PROJECT DRIVEWAY VOLUMES

3,918	Total daily driveway trips
(277)	PM peak hour driveway trips
268	AM peak hour directional driveway trips

EXHIBIT 7
Possible Medical Office adjacent to Harbor Cay
Trip Generation

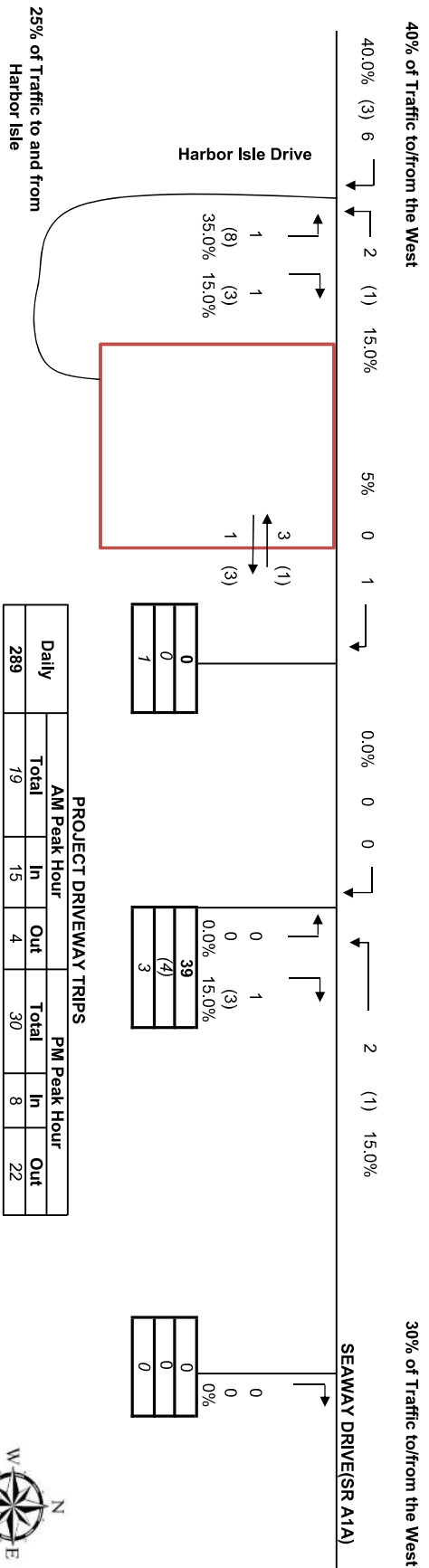
Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
Proposed Site Traffic Medical Office	8.000 1000 SF	289	19	15	4	30	8	22

Note: Trip generation was calculated using the following data:

Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour	
					in/out	Rate	in/out	Equation
Medical Office	720	1000 SF	36.13	0%	79/21	2.39	28/72	$\ln(T) = 0.90 \ln(X) + 1.53$

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EXHIBIT 8

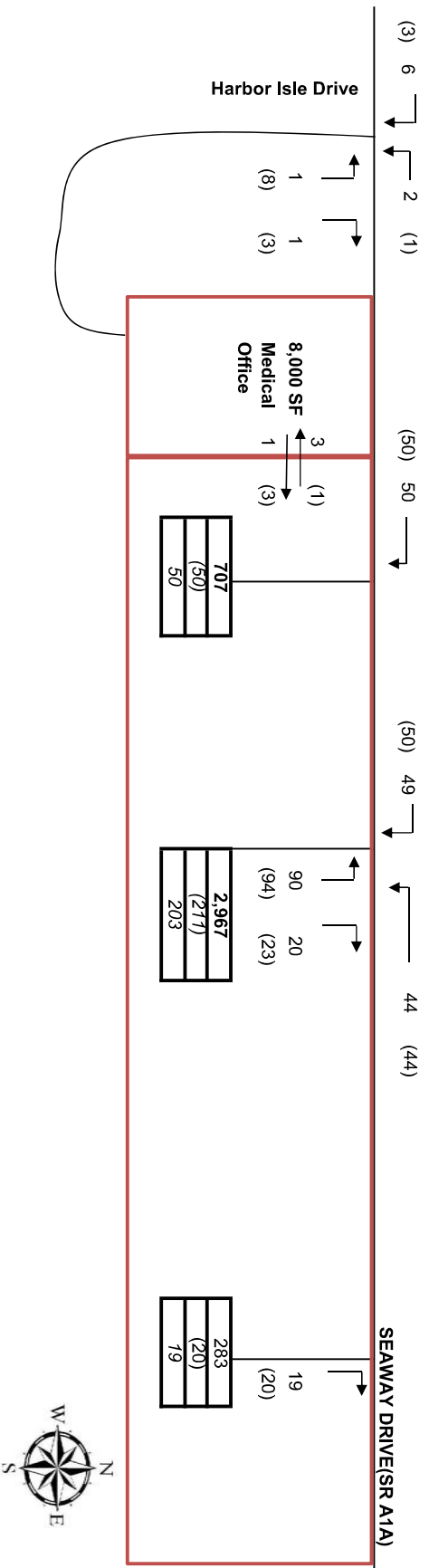


Possible Medical Office adjacent to Harbor Cay
PROJECTED DRIVEWAY VOLUMES

AM Peak Hour		PM Peak Hour	
In	Out	In	Out
8	22	8	22

Total daily driveway trips: 289
 PM peak hour driveway trips: (30)
 AM peak hour directional driveway trips: 19

EXHIBIT 9



PROJECTED DRIVEWAY VOLUMES

289	Total daily driveway trips
(30)	PM peak hour driveway trips
19	AM peak hour directional driveway trips

TOTAL

INTERSECTION ANALYSIS SHEET

Harbor Cay

Seaway Drive @ Central Driveway

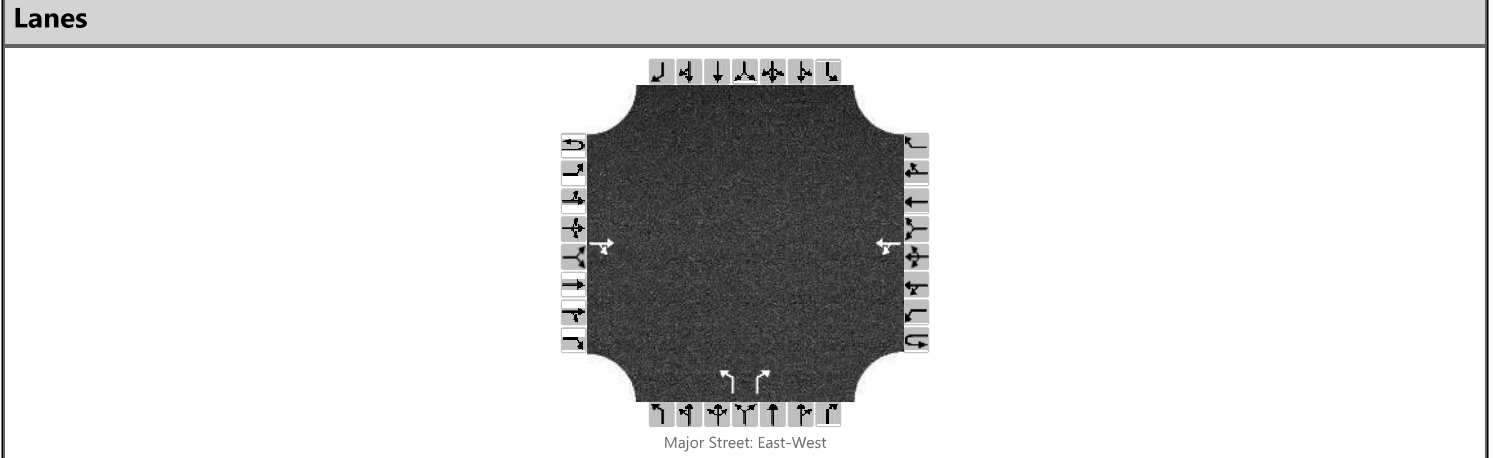
AM Peak Hour												
Intersection Volume Development												
	Eastbound			Westbound			Northbound			Southbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
2020 Peak Season Volume		436			468							
Project Assign	<i>0%</i>	<i>0%</i>	<i>35%</i>	<i>30%</i>	<i>0%</i>	<i>0%</i>	<i>70%</i>	<i>0%</i>	<i>15%</i>	<i>0%</i>	<i>0%</i>	<i>0%</i>
Direction	<i>in</i>	<i>in</i>	<i>in</i>	<i>in</i>	<i>out</i>	<i>out</i>	<i>out</i>	<i>in</i>	<i>out</i>	<i>in</i>	<i>in</i>	<i>in</i>
Total Project Volume	0	0	49	42	0	0	90	0	19	0	0	0
Total Volume	0	436	49	42	468	0	90	0	19	0	0	0

PM Peak Hour												
Intersection Volume Development												
	Eastbound			Westbound			Northbound			Southbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
2020 Peak Season Volume	0	588	0	0	702	0	0	0	0	0	0	0
Project Assign	<i>0%</i>	<i>0%</i>	<i>35%</i>	<i>30%</i>	<i>0%</i>	<i>0%</i>	<i>70%</i>	<i>0%</i>	<i>15%</i>	<i>0%</i>	<i>0%</i>	<i>0%</i>
Direction	<i>in</i>	<i>in</i>	<i>in</i>	<i>in</i>	<i>out</i>	<i>out</i>	<i>out</i>	<i>in</i>	<i>out</i>	<i>in</i>	<i>in</i>	<i>in</i>
Total Project Volume	0	0	50	43	0	0	94	0	20	0	0	0
Total Volume	0	588	50	43	702	0	94	0	20	0	0	0

\\win-6g6svlq19ph\shared drive\data\jobs - share drive\174 - mason development\001 - harbor cay\traffic\[harbor cay 04-24-19.xlsx]seaway & driveway 4/25/2019 15:44

HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	MEP	Intersection	Harbor Cay Driveway & A1A
Agency/Co.		Jurisdiction	FDOT
Date Performed	4/19/2019	East/West Street	Seaway Drive (A1A)
Analysis Year	2020	North/South Street	Harbor Cay
Time Analyzed	AM Peak Hour	Peak Hour Factor	0.95
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	Harbor Cay		



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		1	0	1		0	0	0
Configuration				TR		LT				L		R				
Volume, V (veh/h)			436	49		44	468			90		20				
Percent Heavy Vehicles (%)						3				3		3				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						4.1					7.1		6.2			
Critical Headway (sec)						4.13					6.43		6.23			
Base Follow-Up Headway (sec)						2.2					3.5		3.3			
Follow-Up Headway (sec)						2.23					3.53		3.33			

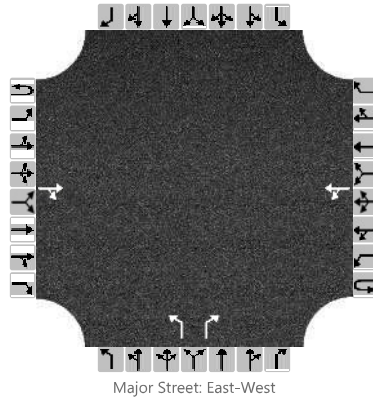
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						46					95		21			
Capacity, c (veh/h)						1048					233		580			
v/c Ratio						0.04					0.41		0.04			
95% Queue Length, Q ₉₅ (veh)						0.1					1.9		0.1			
Control Delay (s/veh)						8.6					30.7		11.4			
Level of Service, LOS						A					D		B			
Approach Delay (s/veh)					1.2				27.2							
Approach LOS									D							

HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	MEP			Intersection	Harbor Cay Driveway & A1A		
Agency/Co.				Jurisdiction	FDOT		
Date Performed	4/19/2019			East/West Street	Seaway Drive (A1A)		
Analysis Year	2020			North/South Street	Harbor Cay		
Time Analyzed	PM Peak Hour			Peak Hour Factor	0.95		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Harbor Cay						

Lanes



Vehicle Volumes and Adjustments

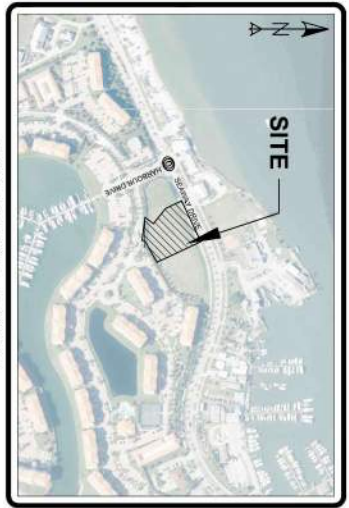
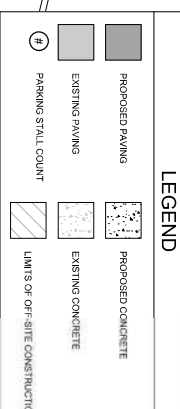
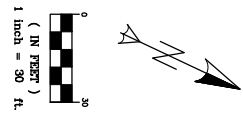
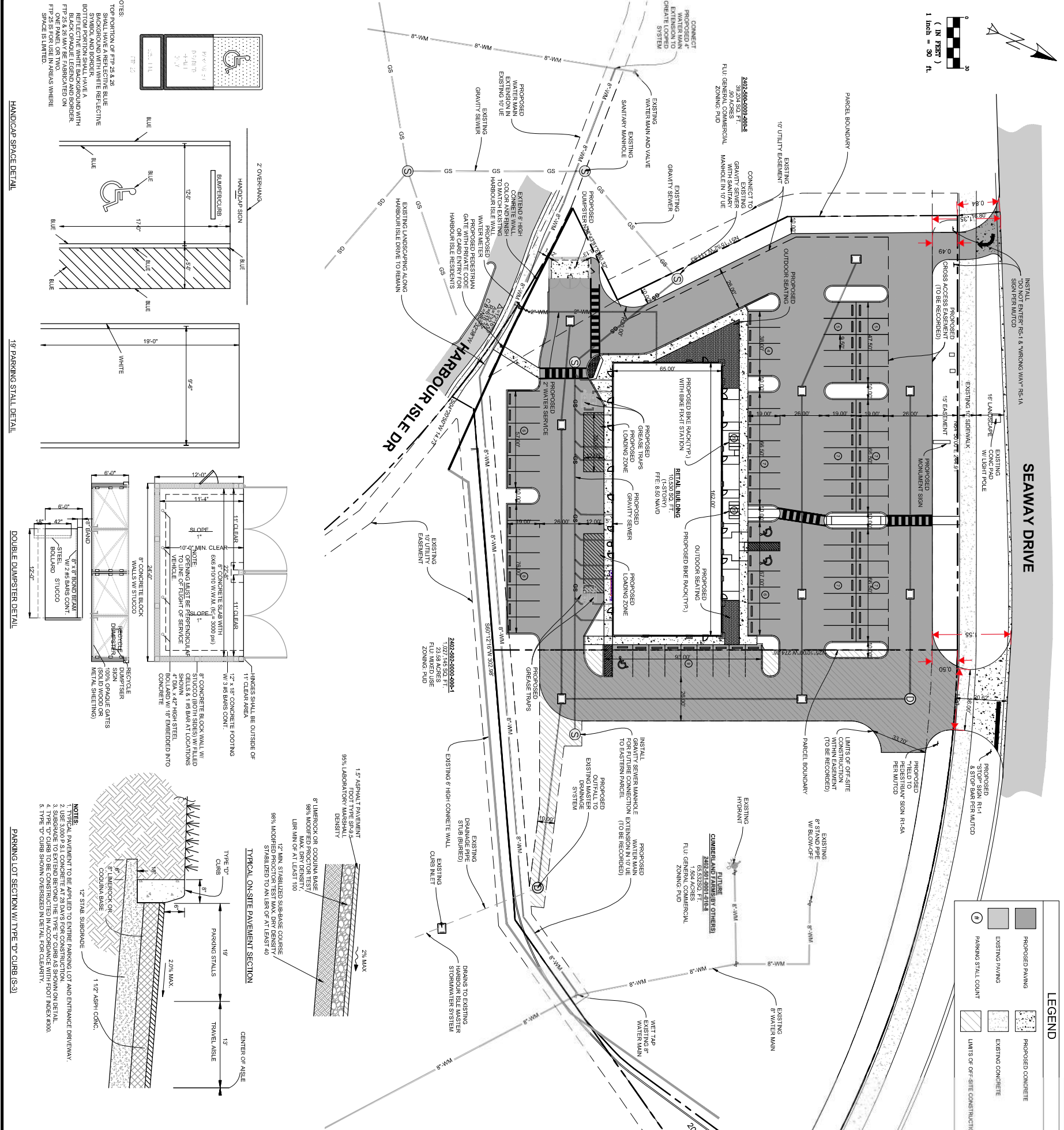
Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		1	0	1		0	0	0
Configuration				TR		LT				L		R				
Volume, V (veh/h)			588	50		44	702			94		23				
Percent Heavy Vehicles (%)						3				3		3				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

Critical and Follow-up Headways

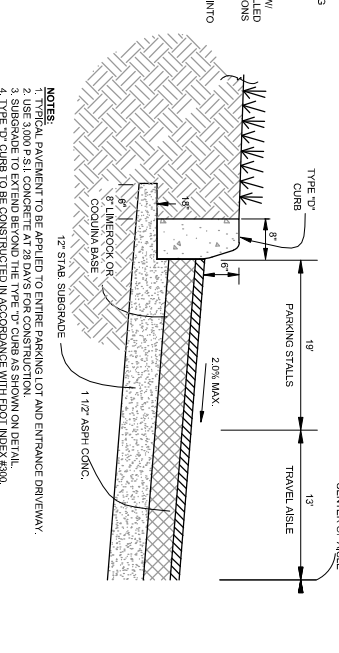
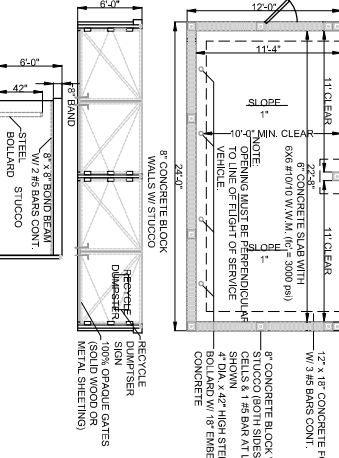
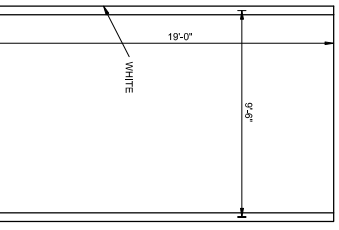
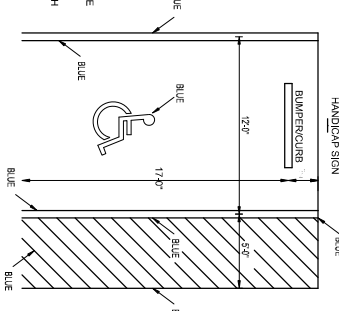
Base Critical Headway (sec)						4.1					7.1		6.2			
Critical Headway (sec)						4.13					6.43		6.23			
Base Follow-Up Headway (sec)						2.2					3.5		3.3			
Follow-Up Headway (sec)						2.23					3.53		3.33			

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						46					99		24			
Capacity, c (veh/h)						913					131		470			
v/c Ratio						0.05					0.75		0.05			
95% Queue Length, Q ₉₅ (veh)						0.2					4.4		0.2			
Control Delay (s/veh)						9.2					88.3		13.1			
Level of Service, LOS						A					F		B			
Approach Delay (s/veh)					1.3				73.6							
Approach LOS									F							



- NOTES:**
- TOP PORTION OF FIP 25 & 26 SHALL HAVE A REFLECTIVE BLUE SYMBOL AND BOTTOM WHITE REFLECTIVE
 - BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLUE SYMBOLS
 - FIP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO
 - FIP SPACE IS LIMITED



LEGAL DESCRIPTION
 THAT PORTION OF TRACT D-1 OF SECOND BEAR 1 OF HARBOUR ISLE AT HATHORN ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46 PAGE 639 AND 10 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LYING WEST OF THE FOLLOWING DESCRIBED LINE: THE NORTHWEST CORNER OF SAID TRACT D-1, THENCE NORTH 64°50'00" EAST ALONG THE NORTH LINE OF SAID TRACT D-1 A DISTANCE OF 244.9 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 107.21', A DISTANCE OF 24.9 FEET TO THE POINT OF TANGENCY, THENCE SOUTH 28°10'00" EAST, A DISTANCE OF 274.38 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT D-1 AND THE POINT OF TERMINUS, CONTAINING IN ALL 66,877 SQUARE FEET OR 1.54 ACRES, MORE OR LESS.

PROJECT STATEMENT
 THE PROJECT IS TO BE THE DEVELOPMENT OF THE 1.54 ACRE PARCEL WITH THE CONSTRUCTION OF A 11,950 S.F. COMMERCIAL BUILDING, A PARKING LOT, A STORMWATER MANAGEMENT SYSTEM, AND UNDERGROUND UTILITIES. ALL IMPROVEMENTS SHALL CONFORM TO THE FORT PIERCE CODE OF ORDINANCES AND HARBOUR ISLE PUD.

REQUIREMENTS
 THE PROJECT SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FORT PIERCE CODE OF ORDINANCES AND HARBOUR ISLE PUD. THE PROJECT SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FORT PIERCE CODE OF ORDINANCES AND HARBOUR ISLE PUD.

REQUIREMENTS
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REQUIREMENTS
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DESIGNED BY: DCB
DRAWN BY: J.E.
FILE NAME: 18-303 harbour cay.dwg
SITE PLAN (2): LAYOUT
AS SHOWN
SCALE:
DATE: 26NOV2018

DESIGNED BY: J.E.
DRAWN BY: J.E.
FILE NAME: 18-303 harbour cay.dwg
SITE PLAN (2): LAYOUT
AS SHOWN
SCALE:
DATE: 26NOV2018

DESIGNED BY: J.E.
DRAWN BY: J.E.
FILE NAME: 18-303 harbour cay.dwg
SITE PLAN (2): LAYOUT
AS SHOWN
SCALE:
DATE: 26NOV2018

DESIGNED BY: J.E.
DRAWN BY: J.E.
FILE NAME: 18-303 harbour cay.dwg
SITE PLAN (2): LAYOUT
AS SHOWN
SCALE:
DATE: 26NOV2018

DESIGNED BY: J.E.
DRAWN BY: J.E.
FILE NAME: 18-303 harbour cay.dwg
SITE PLAN (2): LAYOUT
AS SHOWN
SCALE:
DATE: 26NOV2018

DESIGNED BY: J.E.
DRAWN BY: J.E.
FILE NAME: 18-303 harbour cay.dwg
SITE PLAN (2): LAYOUT
AS SHOWN
SCALE:
DATE: 26NOV2018

DESIGNED BY: J.E.
DRAWN BY: J.E.
FILE NAME: 18-303 harbour cay.dwg
SITE PLAN (2): LAYOUT
AS SHOWN
SCALE:
DATE: 26NOV2018

18-303

1 OF 1

DAVID C. BAGGETT, P.E. (DATE)
 #813175

EDC
 10250 VILLAGE PARKWAY - SUITE 201
 FORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

ENGINEERS & SURVEYORS ENVIRONMENTAL

**10250 VILLAGE PARKWAY - SUITE 201
 FORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com**

**B.P.E. CERTIFICATE OF AUTHORIZATION 0695
 A.B. CERTIFICATE OF AUTHORIZATION 0695**

COUNTY : 94
 STATION : 0115
 DESCRIPTION : SR A1A/S - E END OF S BRIDGE
 START DATE : 02/06/2018
 START TIME : 0000

TIME	DIRECTION : E				TOTAL	DIRECTION : W				COMBINED TOTAL	
	1ST	2ND	3RD	4TH		1ST	2ND	3RD	4TH		
0000	16	4	17	9	46	4	10	9	11	34	80
0100	6	7	1	5	19	10	4	5	8	27	46
0200	3	3	4	5	15	8	3	7	7	25	40
0300	5	4	3	5	17	3	2	3	4	12	29
0400	6	10	13	18	47	7	10	9	8	34	81
0500	35	41	45	45	166	10	12	26	33	81	247
0600	60	65	58	67	250	43	55	69	82	249	499
0700	61	93	82	109	345	102	139	149	154	544	889
0800	114	104	112	115	445	137	131	155	178	601	1046
0900	112	115	130	154	511	161	153	146	157	617	1128
1000	131	134	144	151	560	171	167	159	151	638	1198
1100	176	219	191	183	769	171	151	162	166	650	1419
1200	232	237	205	242	916	169	150	192	177	688	1604
1300	243	254	167	222	886	191	156	199	202	748	1634
1400	200	207	194	199	800	236	185	186	187	794	1594
1500	173	221	196	216	806	188	173	175	222	758	1564
1600	177	184	174	183	718	255	216	213	168	852	1570
1700	220	193	186	232	831	164	180	176	148	668	1499
1800	163	143	136	142	584	165	158	117	104	544	1128
1900	123	112	82	86	403	102	78	66	46	292	695
2000	76	94	58	58	286	58	54	42	43	197	483
2100	62	54	58	47	221	35	31	50	35	151	372
2200	45	45	25	18	133	37	22	24	18	101	234
2300	22	14	12	13	61	20	13	19	16	68	129
24-HOUR TOTALS:					9835					9373	19208

PM Peak
 Eastbound = 718
 Westbound = 852

PEAK VOLUME INFORMATION					
DIRECTION : E			DIRECTION : W		
HOURLY	VOLUME	HOURLY	VOLUME	HOURLY	VOLUME
A.M.	472	830	647	845	1110
P.M.	944	1545	906	1230	1660
DAILY	944	1545	906	1230	1660

COUNTY: 94
 STATION: 5016
 DESCRIPTION: SR A1A/S - S OF SEAWAY DR (COUNTY 5016)
 START DATE: 02/20/2018
 START TIME: 1100

TIME	DIRECTION: N				TOTAL	DIRECTION: S				COMBINED TOTAL		
	1ST	2ND	3RD	4TH		1ST	2ND	3RD	4TH			
0000	0	7	3	1	11	6	6	3	1	16	27	
0100	3	2	2	2	9	1	0	2	6	9	18	
0200	3	0	3	1	7	3	0	4	1	8	15	
0300	2	4	2	3	11	2	1	4	3	10	21	
0400	5	3	10	4	22	4	6	14	17	41	63	
0500	2	13	8	15	38	37	39	63	58	197	235	
0600	24	26	40	42	132	60	49	69	41	199	331	
0700	58	77	84	77	296	52	49	46	51	198	494	
0800	74	82	92	79	327	42	42	46	64	194	521	
0900	91	71	88	68	318	50	58	58	71	237	555	
1000	106	79	101	93	379	56	78	76	83	293	672	
1100	76	96	103	88	363	60	91	106	89	346	709	
1200	76	76	89	101	342	103	100	97	102	402	744	
1300	96	96	96	98	386	107	93	111	99	410	796	
1400	100	102	82	88	372	93	102	113	105	413	785	
1500	122	113	117	98	450	97	113	101	104	415	865	
1600	105	101	93	114	413	95	85	106	90	376	789	
1700	148	107	89	94	438	106	80	80	81	347	785	
1800	86	110	62	50	308	100	66	65	46	277	585	
1900	47	41	27	22	137	59	68	46	39	212	349	
2000	22	27	24	10	83	49	36	30	44	159	242	
2100	23	12	13	16	64	33	35	22	17	107	171	
2200	11	11	11	11	44	22	20	13	13	68	112	
2300	6	5	6	4	21	9	7	0	10	26	47	
24-HOUR TOTALS:					4971						4960	9931

PEAK VOLUME INFORMATION

DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M. 815	344	845	230	845	559
P.M. 1630	462	1430	428	1500	865
DAILY 1630	462	1430	428	1500	865

TRUCK PERCENTAGE 7.44

15.52

11.48

CLASSIFICATION SUMMARY DATABASE

DIR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
N	82	3804	663	16	296	33	2	18	4	0	1	0	1	0	52	370	4971
S	79	3303	752	20	666	30	13	28	8	1	1	1	2	0	770	4960	

Volume in front of project determined by averaging volume west of Harbour Isles and volume at North End of Ocean Drive

Eastbound
 AM = (472 + 344) / 2 = 408

PM = (718 + 382) / 2 = 550

Westbound
 AM = (647 + 230) / 2 = 439
 PM = (852 + 462) / 2 = 657

PM Peak = 106+90+106+80 = 382



Florida Department of Transportation

RICK SCOTT
GOVERNOR

3400 West Commercial Boulevard
Fort Lauderdale, FL 33309

MIKE DEW
SECRETARY

August 25, 2017

THIS PRE-APPLICATION LETTER IS VALID UNTIL – **August 25, 2018**
THIS LETTER IS NOT A PERMIT APPROVAL

Douglas G. Winter
Doug Winter Companies, Inc.
4047 Okeechobee Blvd. # 222
West Palm Beach, FL 33409

Dear Douglas G. Winter:

RE: **August 25, 2017** - Pre-application Meeting for **Category D Driveway**
St. Lucie County - City of Fort Pierce, Urban; SR A1A; Sec. # 94050; MP: 16.600;
Access Class - 06; Posted Speed - 35 mph; SIS - N;

Request:

- **Driveway 1: Joint-use right-in/right-out driveway along SR A1A located approximately 200 feet east of Harbour Isle Drive.**
- **Driveway 2: Right-in/right-out driveway along SR A1A located approximately 295 feet east Driveway 1.**

SITE SPECIFIC INFORMATION

Project Name & Address: **Harbour Island Shoppes - SR A1A/Seaway Dr and Harbour Isle**
Applicant/Property Owner: **Harbour Isle Invests LLC(FLLC)**
Parcel Size: **3.1 Acres** Development Size: **13,000 S.F. Retail & 5,500 S.F. Restaurant**

WE APPROVE YOUR REQUEST

This decision is based on your presentation of the facts, site plan and survey - please see the **conditions** and **comments** below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

Conditions:

- **A minimum driveway length of 25 feet, as measured from the ultimate right-of-way line to the first conflict point shall be provided. If a gate is installed a minimum driveway length of 100 feet is required.**
- **A recorded cross access agreement with the adjacent parcel to the west shall be provided at the time of permit.**

Comments:

- Drainage mitigation is required for any impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). A Storm Water Pollution Prevention Plan must be submitted with the application for more than one acre of "disturbed area" as defined by the Florida Department of Environmental Protection (FDEP).
- The applicant shall donate the right-of-way to the Department if right-of-way dedication is required to implement the improvements.
- All driveways not approved in this letter must be fully removed and the area restored.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway system and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department's personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. **Note, this letter does not guarantee permit approval.** The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://gis.dot.state.fl.us/OneStopPermitting>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact Geysa Sosa, P.E. at the District Permits Office with any questions regarding permits – Tel. # 954-777-4377, or e-mail geysa.sosa@dot.state.fl.us.

Sincerely,

Dalila Fernandez, P.E.
District Access Management Manager

cc: Nesa Y. Harden
File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2017-08-25\5. 94050 MP 16.600 SR A1A_Habour Islands Shoppes\94050 MP 16.600 SR A1A_Habour Islands Shoppes.docx

Apparel Store (876)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

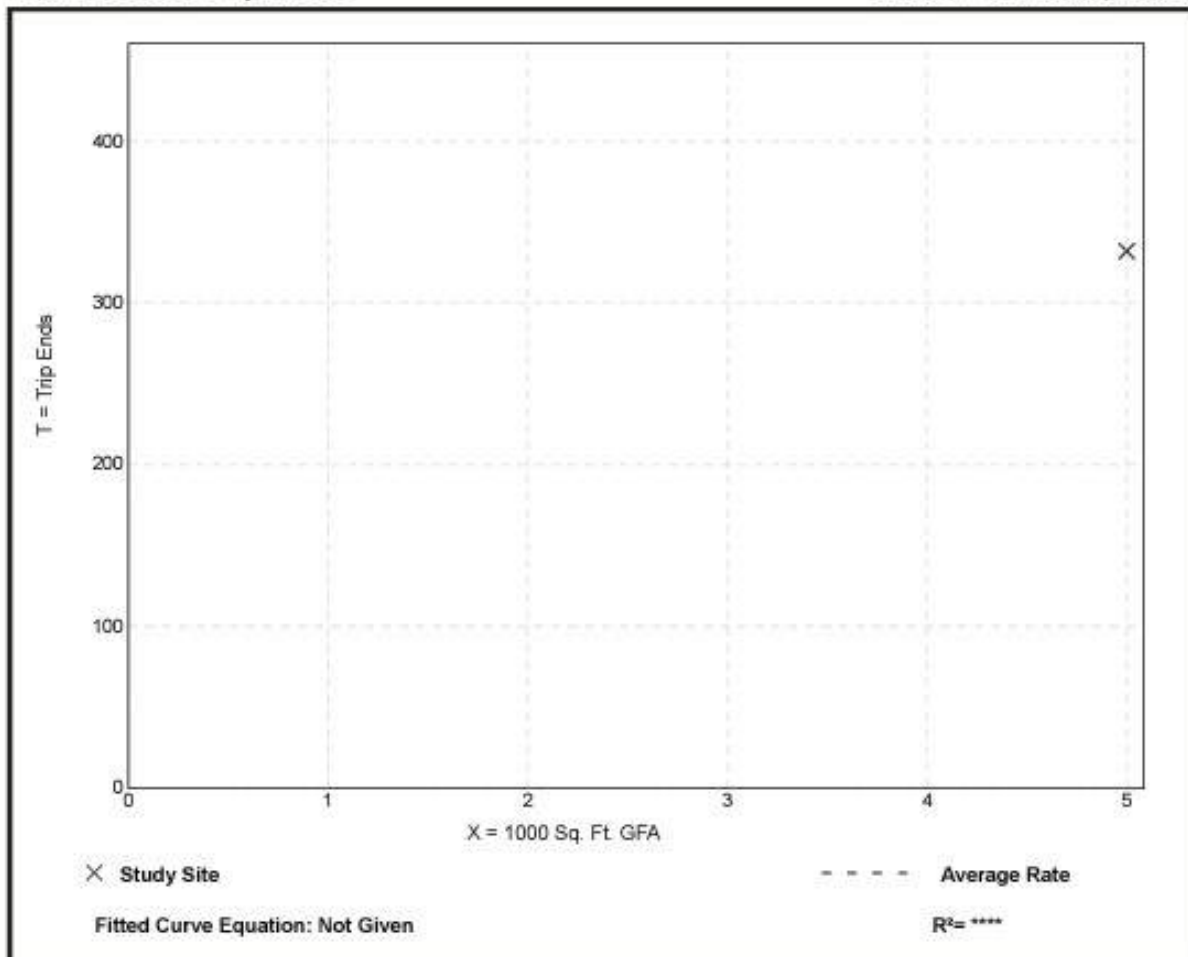
Setting/Location: General Urban/Suburban
Number of Studies: 1
1000 Sq. Ft. GFA: 5
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
66.40	66.40 - 66.40	*

Data Plot and Equation

Caution – Small Sample Size



Apparel Store (876)

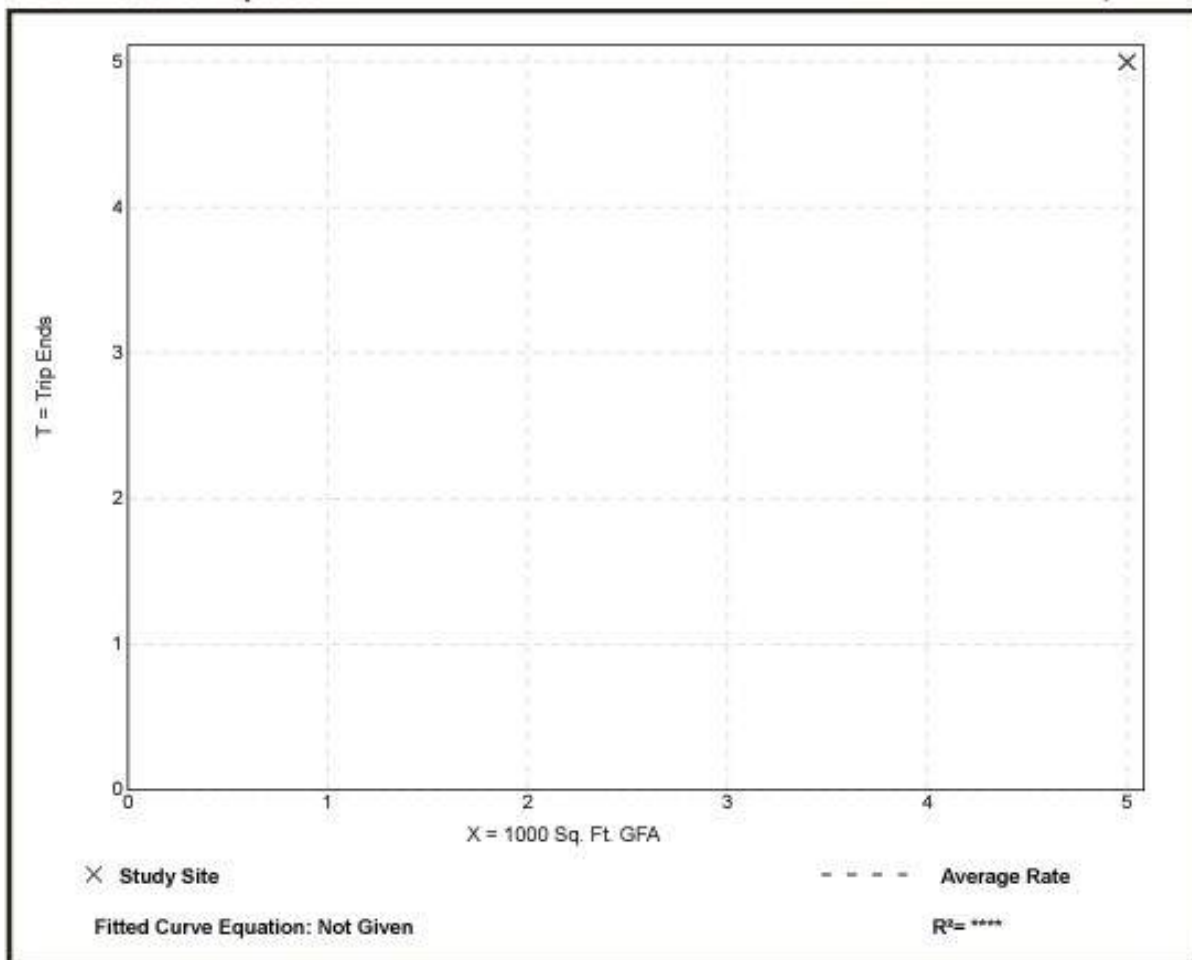
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 1
 1000 Sq. Ft. GFA: 5
 Directional Distribution: 80% entering, 20% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.00	1.00 - 1.00	*

Data Plot and Equation

Caution – Small Sample Size



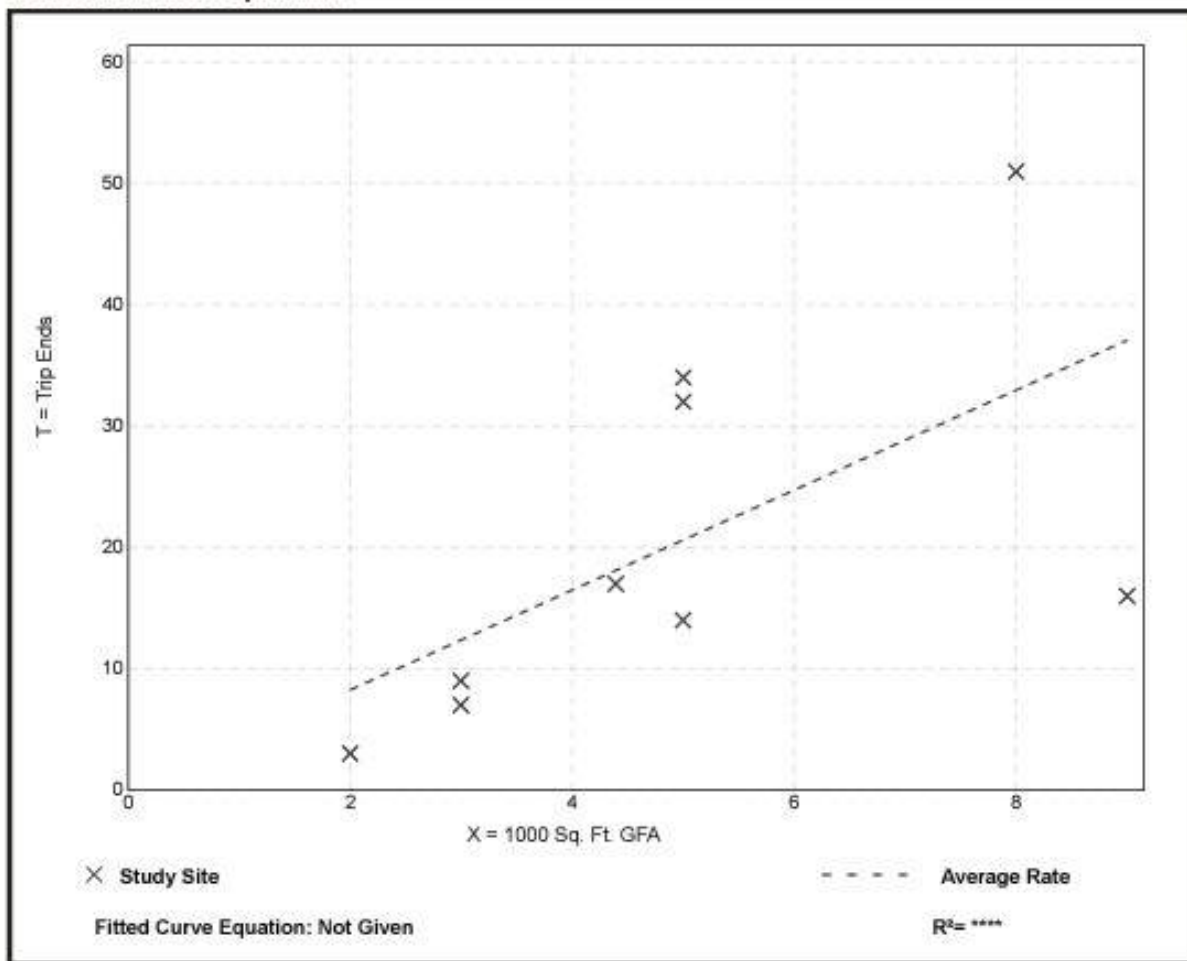
Apparel Store (876)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 9
 1000 Sq. Ft. GFA: 5
 Directional Distribution: 51% entering, 49% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
4.12	1.50 - 6.80	2.18

Data Plot and Equation



Land Use: 899 Liquor Store

Description

A liquor store specializes in the sale of prepackaged alcoholic beverages intended to be consumed off the store's premises.

Additional Data

Time-of-day distribution data for this land use are presented in Appendix A. For the one general urban/suburban site with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 11:30 a.m. and 12:30 p.m. and 5:00 and 6:00 p.m., respectively.

The sites were surveyed in the 1990s and the 2010s in Alberta (CAN) and Minnesota.

Source Numbers

870, 973

Liquor Store (899)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

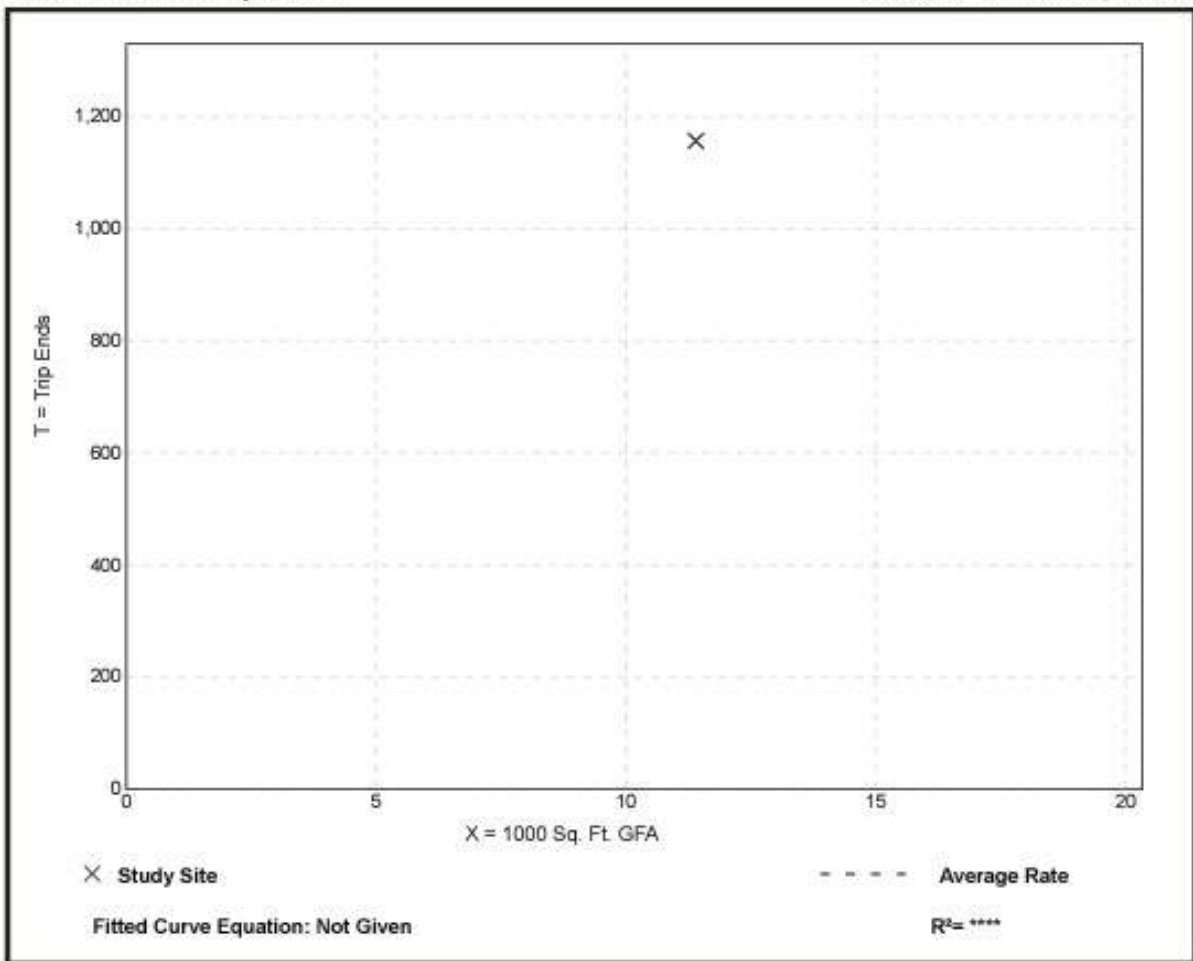
Setting/Location: General Urban/Suburban
Number of Studies: 1
1000 Sq. Ft. GFA: 11
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
101.49	101.49 - 101.49	*

Data Plot and Equation

Caution – Small Sample Size



AM PEAK HOUR TRIP GEN NOT AVAILABLE – USE ½ PERCENT OF DAILY TRIP GENERATION BASED ON 24-HOUR DATA

Land Use	881 Pharmacy/Drugstore with Drive-Through Window						882 Marijuana Dispensary				890 Furniture Store		899 Liquor Store	
	General Urban/Suburban						General Urban/Suburban				General Urban/Suburban		General Urban/Suburban	
Setting	General Urban/Suburban						General Urban/Suburban				General Urban/Suburban		General Urban/Suburban	
Time Period	Weekday		Saturday		Sunday		Weekday		Saturday		Weekday		Weekday	
Trip Type	Vehicle		Vehicle		Vehicle		Vehicle		Vehicle		Vehicle		Vehicle	
# Data Sites	6		2		1		4		4		7		1	
	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM
12:00	0.3	8.5	0.7	9.3	0.0	11.1	0.0	9.0	0.0	10.8	0.0	9.2	0.0	4.1
12:15	0.3	8.2	0.8	9.1	0.0	10.8	0.0	8.7	0.0	10.4	0.0	9.0	0.0	4.1
12:30	0.3	7.7	0.8	8.7	0.0	10.8	0.0	8.6	0.0	9.9	0.0	8.4	0.0	3.6
12:45	0.2	7.8	0.7	8.7	0.0	12.1	0.0	8.1	0.0	9.8	0.0	8.2	0.0	4.4
1:00	0.2	8.3	0.8	8.5	0.0	10.8	0.0	8.1	0.0	9.0	0.0	8.5	0.2	4.8
1:15	0.1	8.4	0.7	9.4	0.0	11.3	0.0	8.3	0.0	8.8	0.0	9.0	0.2	5.1
1:30	0.1	8.8	0.6	9.9	0.0	11.3	0.0	8.7	0.0	9.1	0.0	8.7	0.2	5.6
1:45	0.1	8.8	0.6	10.0	0.0	10.8	0.0	9.2	0.0	9.4	0.0	9.2	0.2	6.5
2:00	0.1	8.3	0.5	10.0	0.0	11.1	0.0	8.9	0.0	10.4	0.0	8.0	0.0	7.3
2:15	0.1	8.3	0.2	9.3	0.0	12.1	0.0	9.2	0.0	10.6	0.0	6.8	0.0	9.7
2:30	0.0	8.2	0.2	8.7	0.0	12.6	0.0	9.2	0.0	10.7	0.0	7.3	0.0	10.3
2:45	0.1	8.2	0.1	9.5	0.0	13.4	0.0	9.4	0.0	10.7	0.0	7.0	0.0	10.1
3:00	0.1	8.3	0.1	10.1	0.0	13.7	0.0	9.7	0.0	10.4	0.0	8.4	0.0	9.8
3:15	0.1	8.6	0.1	10.6	0.0	12.6	0.0	9.8	0.0	10.4	0.0	11.4	0.0	9.3
3:30	0.1	9.0	0.1	10.3	0.0	11.4	0.0	10.3	0.0	10.4	0.0	11.8	0.0	10.2
3:45	0.1	9.4	0.1	9.4	0.0	10.4	0.0	10.7	0.0	10.5	0.0	12.5	0.0	11.5
4:00	0.1	9.3	0.1	8.2	0.0	9.3	0.0	11.4	0.0	10.1	0.0	13.3	0.0	11.9
4:15	0.2	9.0	0.1	7.1	0.0	9.0	0.0	12.1	0.0	10.8	0.0	13.5	0.0	13.4
4:30	0.2	9.3	0.1	7.3	0.0	8.5	0.1	12.2	0.0	11.7	0.0	13.8	0.0	14.6
4:45	0.2	9.2	0.2	6.9	0.0	6.0	0.1	12.6	0.0	11.9	0.0	12.3	0.0	16.3
5:00	0.3	9.4	0.3	6.5	0.0	6.4	0.1	12.4	0.0	12.6	0.0	9.9	0.0	17.5
5:15	0.4	9.2	0.4	6.8	0.0	5.9	0.1	12.7	0.0	12.6	0.0	6.5	0.0	16.4
5:30	0.4	8.0	0.5	6.6	0.0	5.5	0.2	14.0	0.0	11.7	0.0	4.1	0.2	15.6
5:45	0.5	7.0	0.6	6.6	0.0	5.2	0.2	14.2	0.0	11.3	0.0	2.9	0.3	13.1
6:00	0.7	6.1	0.8	6.7	0.0	3.8	0.3	13.6	0.1	10.1	0.0	3.4	0.3	11.5
6:15	1.1	5.4	0.9	5.9	0.0	2.6	0.3	10.4	0.3	7.3	0.2	2.9	0.5	9.7
6:30	1.5	5.7	1.1	5.2	0.0	2.0	0.3	6.7	0.4	5.1	0.2	3.1	0.5	9.2
6:45	2.0	5.8	1.5	4.5	0.3	2.8	0.5	3.1	0.4	2.8	0.3	2.7	0.3	9.2
7:00	2.7	5.6	1.8	4.1	0.5	2.1	0.8	0.9	0.5	1.0	1.0	1.2	0.4	10.0
7:15	3.1	5.3	2.1	4.2	0.8	2.1	1.5	0.7	0.9	0.8	2.7	0.9	0.3	10.3
7:30	3.4	4.8	2.5	4.1	2.1	2.6	2.3	0.3	1.2	0.4	4.8	0.7	0.3	9.3
7:45	3.4	4.3	2.7	3.9	2.4	1.8	3.0	0.3	1.4	0.3	6.5	0.5	0.4	8.9
8:00	3.3	4.2	3.3	3.5	2.4	2.1	3.9	0.2	1.8	0.4	7.8	0.2	0.5	8.5
8:15	3.2	4.3	3.6	2.8	3.8	2.4	3.9	0.2	2.1	0.4	7.7	0.0	0.9	7.7
8:30	3.5	4.1	4.0	2.8	3.1	1.5	4.2	0.1	2.3	0.4	7.7	0.0	1.2	6.8
8:45	3.8	4.1	4.0	2.7	3.6	1.6	4.4	0.1	3.1	0.2	8.4	0.0	1.7	5.9
9:00	4.4	3.8	4.2	2.5	6.4	1.1	4.8	0.0	4.3	0.2	9.2	0.0	2.3	4.4
9:15	4.8	3.4	4.4	2.6	6.9	0.7	6.1	0.0	5.1	0.0	9.9	0.0	2.4	2.8
9:30	5.1	2.9	5.0	2.3	8.2	0.7	7.0	0.0	6.7	0.0	10.1	0.0	2.6	1.9
9:45	5.6	2.4	5.7	2.3	9.3	0.2	7.5	0.0	8.6	0.0	10.6	0.0	2.6	1.0
10:00	5.7	2.0	5.9	2.5	10.0	0.2	7.8	0.0	9.8	0.0	8.7	0.0	2.8	0.3
10:15	6.6	1.5	7.0	2.2	9.3	0.0	7.5	0.0	10.4	0.0	10.2	0.0	3.1	0.3
10:30	6.9	1.2	7.2	2.1	10.1	0.0	7.4	0.1	10.0	0.0	10.8	0.0	3.2	0.0
10:45	7.2	0.8	7.8	2.0	9.8	0.0	7.6	0.1	8.8	0.0	9.4	0.0	3.3	0.0
11:00	7.9	0.5	8.0	1.8	9.1	0.0	8.0	0.0	8.8	0.0	11.1	0.0	3.3	0.0
11:15	8.0	0.4	8.0	1.6	10.0	0.0	8.4	0.0	9.2	0.0	9.2	0.0	3.8	0.0
11:30	8.5	0.3	8.6	1.4	9.8	0.0	8.3	0.0	10.0	0.0	8.7	0.0	4.5	0.0
11:45	8.8	0.3	8.7	1.0	10.3	0.0	8.9	0.0	10.6	0.0	9.6	0.0	4.2	0.0

Percent of Daily Traffic During the 60-Minute Period Beginning at Displayed Time



Liquor Store (899)

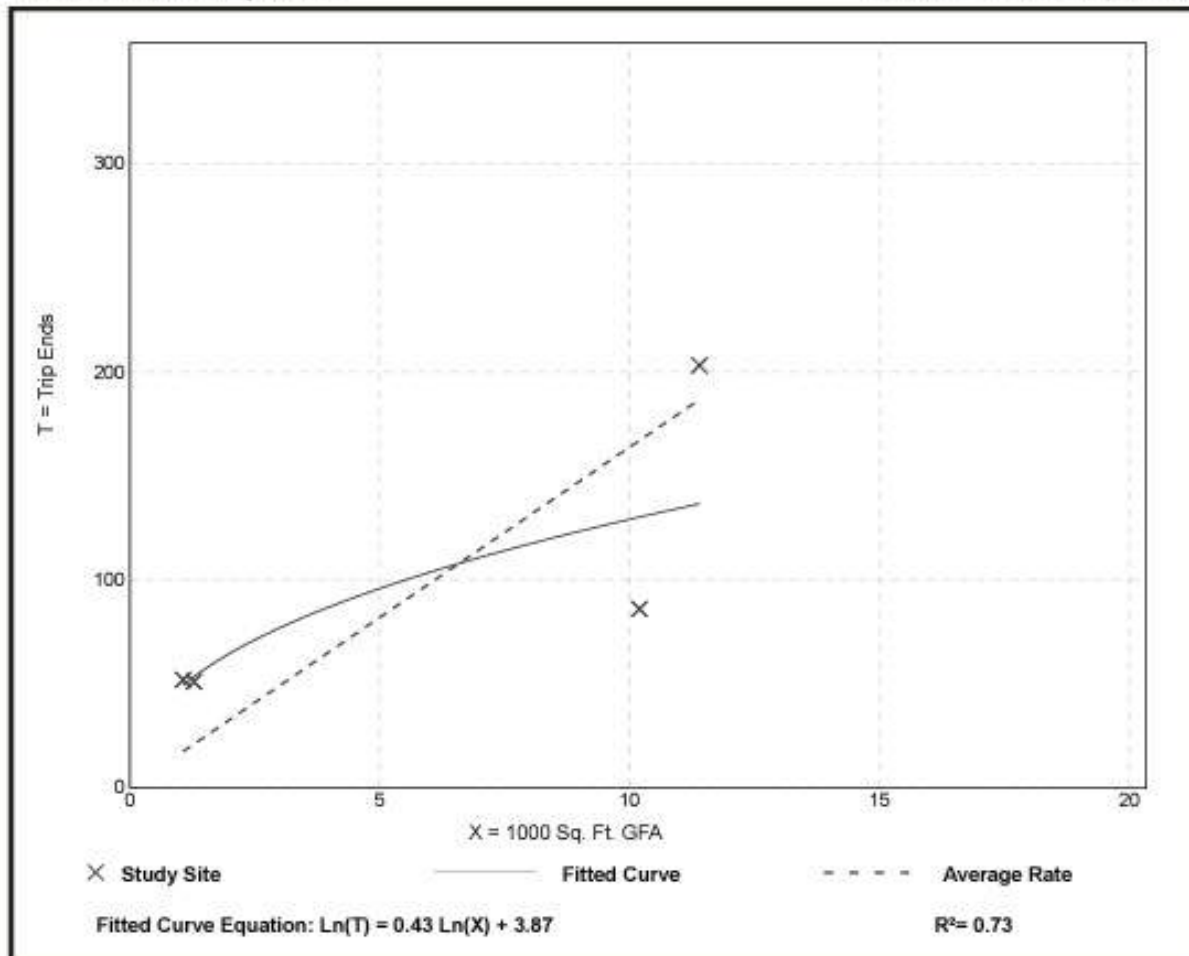
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 4
 1000 Sq. Ft. GFA: 6
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
16.37	8.43 - 48.60	11.76

Data Plot and Equation

Caution – Small Sample Size

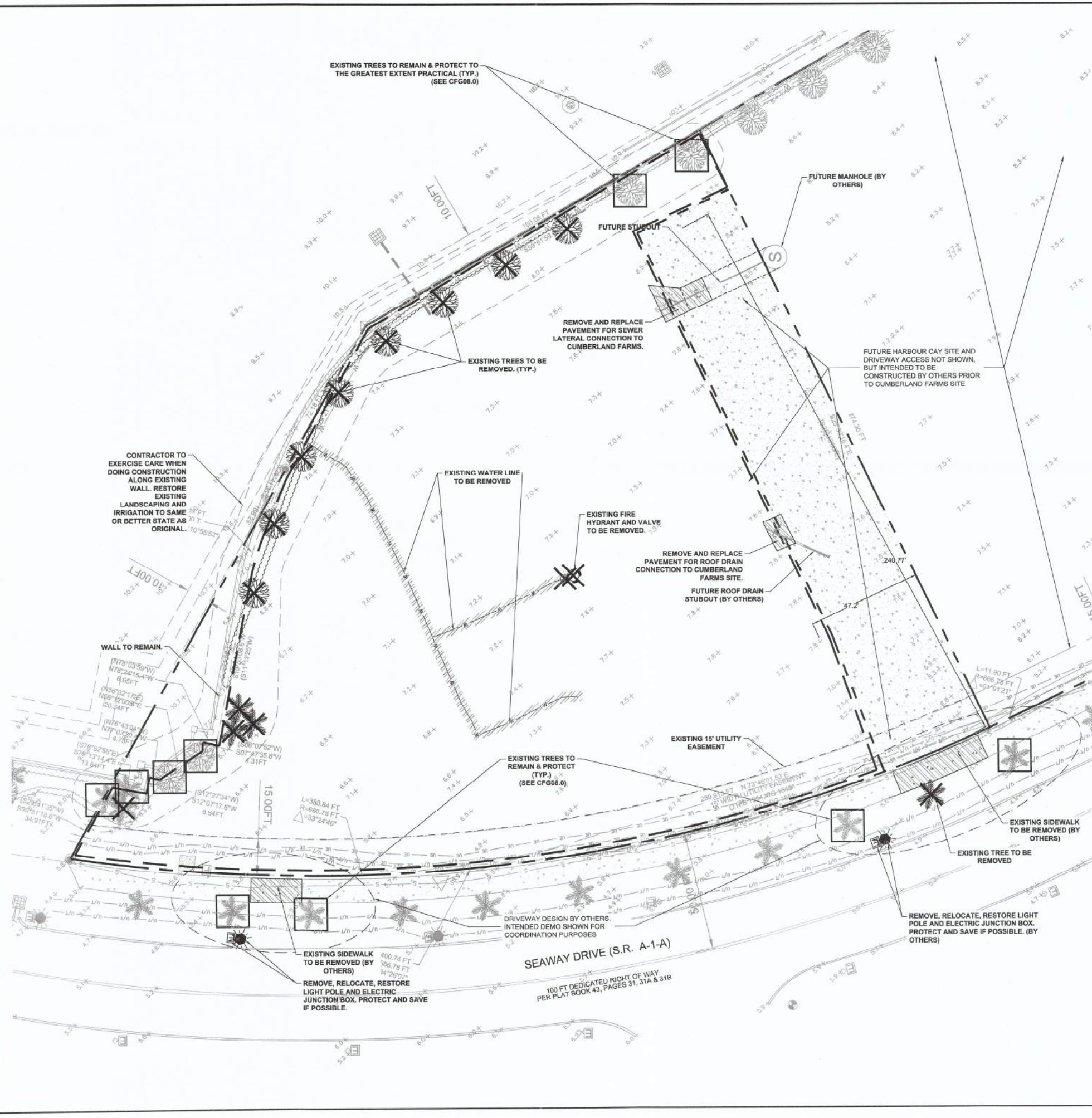


C.6. DEVELOPMENT PLANS (SEE SECTION D)

D. DEVELOPMENT PLANS

- D.1. SURVEY**
- D.2. DEMOLITION PLAN**
- D.3. SITE PLAN**
- D.4. STORM DRAINAGE PLAN**
- D.5. LANDSCAPE MITIGATION (DISPOSITION) PLAN**
- D.6. LANDSCAPE PLAN**
- D.7. PHOTOMETRIC PLAN**
- D.8. PHOTOMETRIC DETAILS**
- D.9. AUTOTURN ANALYSIS**
- D.10. EXTERIOR ELEVATIONS**
- D.11. SECURITY CAMERA EXHIBIT**
- D.12. SIGN RENDERINGS**

Users: FAR4403 \\lumbar1000\civ\15\PROJECTS\100062844 - 80\Scoway (Ft. Pierce)\10 CAD_CFG03.0 DEMOLITION PLAN.dwg
 0 1 2 3 4
 Inches



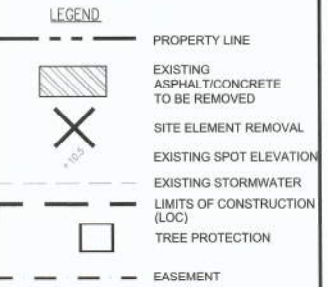
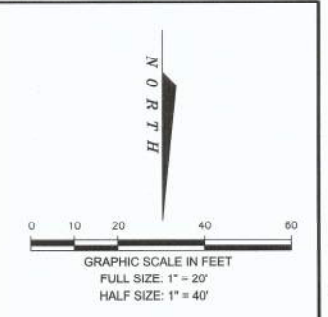
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

SPECIFIC DEMOLITION NOTES

1. ROW WORK BY ADJACENT DEVELOPER SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
2. BOLDED ITEMS DENOTE DEMOLITION.
3. EXISTING UTILITIES SHOWN ON THIS DRAWING ARE FROM THE BEST AVAILABLE INFORMATION. ACTUAL LOCATIONS AND ELEVATIONS MAY VARY. CONTRACTOR TO VERIFY ALL UTILITIES BEFORE PROCEEDING WITH WORK.
4. CONTRACTOR TO COORDINATE WITH THE VARIOUS UTILITIES TO REMOVE, CAP, RELOCATE, BYPASS, OR OTHERWISE ENSURE THAT THE UTILITY SERVICES WILL NOT BE INTERRUPTED DURING CONSTRUCTION/DEMOLITION.
5. ALL ITEMS NOT IDENTIFIED FOR REMOVAL SHALL BE PROTECTED AND REMAIN UNDISTURBED TO THE BEST EXTENT PRACTICAL.
6. STRIPPING (CLEARING AND GRUBBING) BY THE CONTRACTOR SHALL BE PERFORMED TO THE MINIMUM EXTENT PRACTICAL TO COMPLETE WORK. THE CONTRACTOR SHALL GENERALLY BE WITHIN THE LIMITS OF CONSTRUCTION AND STRIP SURFACES OF VEGETATION, STUMPS, DEBRIS, ORGANIC TOP SOIL (ORGANIC CONTENT > 5%) OR OTHER DELETERIOUS MATERIALS AS ENCOUNTERED.
7. CONTRACTOR TO COORDINATE AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION OVER THE SITE OR REGULATING CONSTRUCTION OPERATIONS.
8. REMOVE OR RELOCATE EXISTING TREES PER LANDSCAPE PLAN AND CITY OF FORT PIERCE STANDARDS. SEE LANDSCAPE PLANS. SOME TREES AND LANDSCAPE DEMOLITION IS OFFERED HEREIN FOR PRACTICAL AND INFORMATIONAL PURPOSES ONLY.
9. CONTRACTOR SHALL REFER TO GENERAL NOTES SHEET FOR OTHER DEMOLITION CONSIDERATIONS.
10. CONTRACTOR SHALL COORDINATE WITH OWNER AND ELECTRICAL/TELECOM SERVICE PROVIDER ON SALVAGING OF ELECTRICAL COMPONENTS (LAMP FIXTURES, PULL BOXES, SERVICE LEADS, CONDUITS, ETC) DURING/PRIOR TO REMOVAL ACTIVITIES. ELECTRICAL/TELECOM DEMO AND SERVICES PROVISIONS ARE NOT WITHIN THE CIVIL ENGINEERS SCOPE OF WORK. ELECTRICAL/TELECOM CONSULTANT SHALL BE AT THE CONTRACTOR'S EXPENSE AS NEEDED.
11. SAWCUT PAVEMENT AT PAVEMENT DEMO LIMITS.
12. PHASED DEMOLITION, MAINTENANCE OF TRAFFIC AND LOGISTICS RELATING TO CIVIL ENGINEERING ACTIVITIES SHALL BE MANAGED BY THE CONTRACTOR AND COORDINATED WITH THE OWNER AND ENGINEER. CONSTRUCTION FENCING LIMITS ARE AT THE DISCRETION OF THE CONTRACTOR.
13. SEE SURVEY FOR EXISTING CONDITIONS. (BY OTHERS)
14. CONSTRUCTION SEQUENCING AND SCHEDULING SHALL BE BY THE CONTRACTOR. COORDINATE WITH OWNER AND ENGINEER.
15. CONTRACTOR SHALL REVIEW THE SITE GEOTECHNICAL REPORT PRIOR TO CONDUCTING ANY EARTHWORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROCURE A GEOTECHNICAL REPORT FOR THEIR PURPOSES OF COMPACTION, FILL REQUIREMENTS, ETC. AS NECESSARY.
16. UTILITY COVERS WITHIN THE LOC SHALL BE ADJUSTED TO MEET EXISTING OR PROPOSED GRADES RESPECTIVELY.
17. ANY SHORING OR BRACING SHALL BE BY THE CONTRACTORS MEANS AND METHODS, BUT DOES NOT PRECLUDE STRUCTURAL ENGINEERING PROCUREMENT AT THEIR OWN EXPENSE AS NEEDED DURING EARTH OR DEMOLITION WORK ADJACENT TO ITEMS SUCH AS WALLS, UTILITY POLES, ETC.
18. REMOVAL OF DRIVEWAY, SIDEWALK, AND CURB TO BE FROM JOINT TO JOINT.
19. REFER TO SURVEY FOR EXISTING ITEMS LEGEND NOT INDICATED HEREIN.
20. ALL ITEMS NOT IDENTIFIED FOR REMOVAL SHALL BE PROTECTED AND REMAIN UNDISTURBED TO THE BEST EXTENT PRACTICAL.
21. UTILITIES UNDER THE BUILDING FOOTPRINT TO BE DEMOLISHED SHALL BE REMOVED (FOUNDATIONS, UTILITY LINES) OR RELOCATED UNLESS OTHERWISE DIRECTED. THIS IS STATED FOR INFORMATIONAL PURPOSES ONLY AND THE CONTRACTOR SHALL REFER TO THE RESPECTIVE ENGINEERING DISCIPLINE PLAN SET FOR SPECIFIC GUIDANCE AND DETAIL.
22. REMOVE STRIPING BY GRINDING.
23. SEE SHEET CFG09.3 AND 09.4 FOR MAINTENANCE OF TRAFFIC (MOT). ADDITIONAL MOT NOTES CAN ALSO BE FOUND ON CFG01.1 UNDER THE "ROADWAY & MOT NOTES" HEADING.

ADJACENT DEVELOPMENT:

1. CONSTRUCTION OF THE ADJACENT DEVELOPMENT INFRASTRUCTURE TO BE BY OTHERS, AND SHOWN HEREON FOR PLANNING PURPOSES. ACTUAL DEMOLITION MAY VARY DEPENDING ON ASBUILT CONDITIONS.
2. SCOPE OF WORK BY OTHERS WITHIN THE SHARED ACCESS AND UTILITY EASEMENT:
 - A. SEWER MANHOLE AND GRAVITY SEWER STUBOUT
 - B. STORMWATER SYSTEM AND ROOF DRAIN STUBOUT
 - C. CONCRETE PAVEMENT



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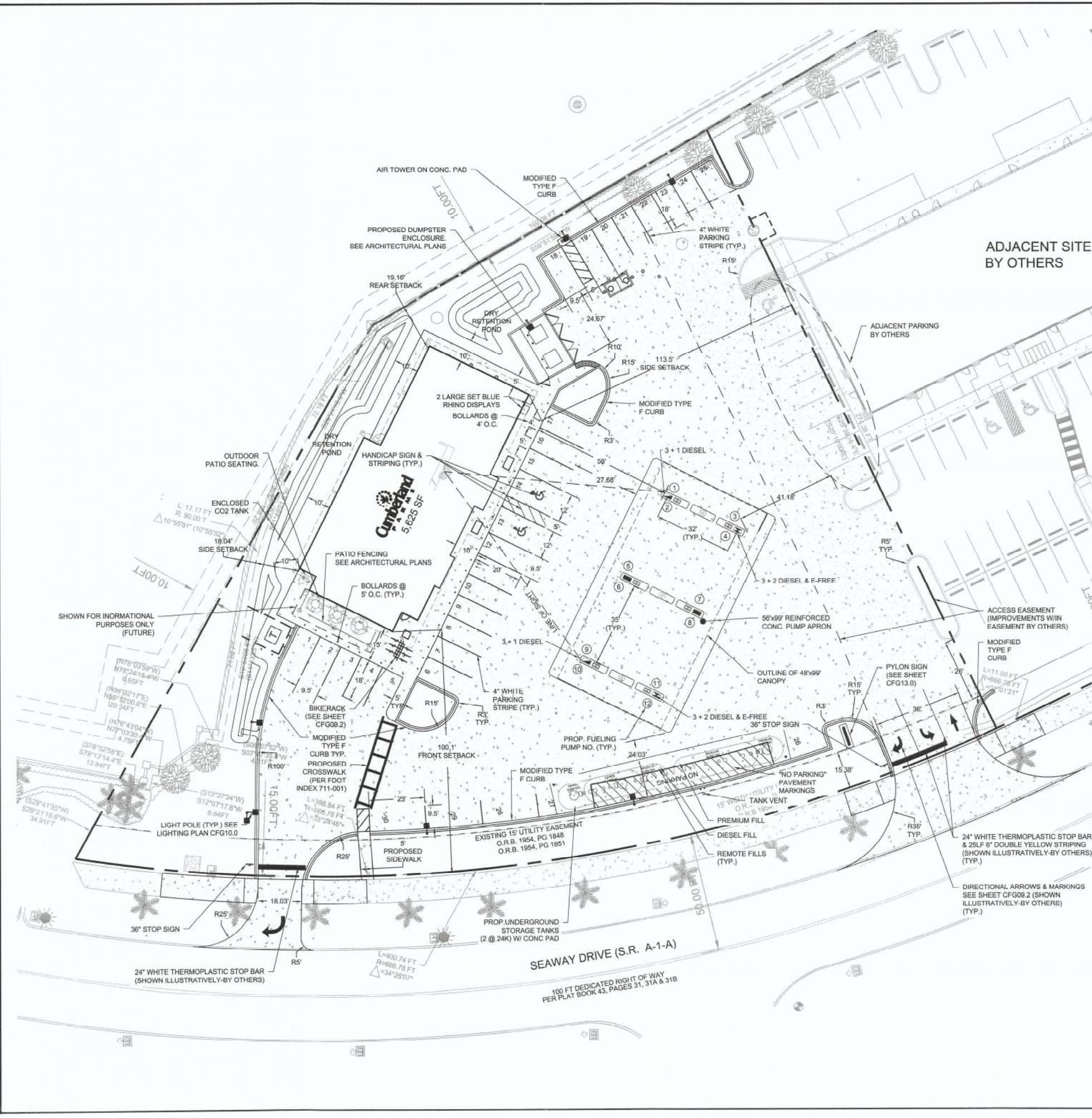
Project Title: **835 SEAWAY DR FT. PIERCE, FL 34949**

DEMOLITION PLAN

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GENERAL STATEMENT

THE PROPOSED DEVELOPMENT INCLUDES THE CONSTRUCTION OF A NEW 5,625 SF CUMBERLAND FARMS SINGLE-STORY CONVENIENCE STORE WITH OUTDOOR SEATING AND 6 DISPENSING PUMPS (WITH 12 FUELING POSITIONS) ON VACANT PROPERTY. THE PROPOSED SITE IS EQUIPPED WITH UNDERGROUND STORAGE TANKS, CANOPY, OUTDOOR SEATING, AIR TOWER, AND DUMPSTER ENCLOSURE.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ST. LUCIE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:
 TRACT "D-1" OF THE SECOND REPLAT OF HARBOUR ISLE, RECORDED IN PLAT BOOK 46, PAGE 10, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING DESCRIBED LAND:

LEGAL DESCRIPTION:
 THAT PORTION OF TRACT D-1, OF SECOND REPLAT OF HARBOUR ISLE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 10, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LYING EAST OF THE FOLLOWING DESCRIBED LINE: COMMENCE AT THE NORTHWEST CORNER OF SAID TRACT D-1
 THENCE NORTH 64°50'00" EAST, ALONG THE NORTH LINE OF SAID TRACT D-1 (THE NORTH LINE OF SAID TRACT D-1 IS ASSUMED TO BEAR NORTH 64°50'00" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO), A DISTANCE OF 244.91 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 698.78 FEET AND A CENTRAL ANGLE OF 1°01'21" THENCE EASTERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 11.90 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED LINE; THENCE SOUTH 25°10'00" EAST, A DISTANCE OF 274.36 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT D-1 AND THE POINT OF TERMINUS.

AND LESS AND EXCEPT

COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT D-1; THENCE SOUTH 20°41'35" WEST, ALONG THE EAST LINE OF SAID TRACT D-1 (THE EAST LINE OF SAID TRACT D-1 IS ASSUMED TO BEAR SOUTH 20°41'35" WEST AND ALL OTHER BEARINGS ARE RELATIVE THERETO), A DISTANCE OF 34.91 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE NORTH 78°52'58" WEST, DEPARTING SAID EAST LINE, A DISTANCE OF 13.84 FEET TO A POINT; THENCE SOUTH 12°27'34" WEST, A DISTANCE OF 6.84 FEET TO A POINT; THENCE NORTH 76°43'04" WEST, A DISTANCE OF 4.75 FEET TO A POINT; THENCE SOUTH 56°32'17" WEST, A DISTANCE OF 23.34 FEET TO A POINT; THENCE SOUTH 68°07'53" WEST, A DISTANCE OF 4.31 FEET TO A POINT; THENCE NORTH 78°03'59" WEST, A DISTANCE OF 6.85 FEET TO A POINT; THENCE SOUTH 11°13'29" WEST, A DISTANCE OF 71.62 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 80.00 FEET AND A CENTRAL ANGLE OF 10°55'02" THENCE SOUTHERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 17.17 FEET TO A POINT; THENCE SOUTH 22°09'18" WEST, A DISTANCE OF 23.81 FEET TO A POINT ON SAID EAST LINE; THENCE NORTH 28°41'35" EAST, ALONG SAID EAST LINE, A DISTANCE OF 144.32 FEET TO THE POINT OF BEGINNING.

PROPERTY DATA

OWNER (CONTRACTING TO PURCHASE): CUMBERLAND FARMS INC. 165 FLANDERS RD, WESTBOROUGH, MA 01501

APPLICANT: CUMBERLAND FARMS, INC. 165 FLANDERS RD, WESTBOROUGH, MA 01501

PROJECT ENGINEER: JEFF LUCAS, P.E. - ATKINS, N.A. 7175 MURRELL RD, MELBOURNE, FL 32940

SITE ADDRESS: 835 SEAWAY DR, FORT PIERCE, FL 34949

PARCEL: 2402-501-0001-010-8
OVERALL SITE AREA: 1.50 AC
JURISDICTION: FORT PIERCE
ZONING DISTRICT: PD
FLU: HIMU

FEMA FIRM PANEL: PROPERTY IS LOCATED WITHIN FLOOD ZONE DESIGNATION X, PANEL NO. 12111C0183J, DATED 02/16/2012

PROPOSED USE: 5,625 SF CONVENIENCE STORE
 6 PUMPS (12 FUELING POSITIONS)
 GAS DISPENSING UNDER CANOPY

PROP. HOURS OF OPERATION 24 HOURS

CONSTRUCTION SCHEDULE 140 DAYS DURATION (APPROXIMATE)

LAND DATA:

ON-SITE IMPERVIOUS AREA:		
• BUILDING	0.13 AC	(8.7%)
• PAVEMENT, SIDEWALKS & CURBING	0.81 AC	(53.8%)
PERVIOUS AREA:	0.56 AC	(37.5%)
TOTAL	1.50 AC	(100%)

PARKING CALCULATIONS:

CONVENIENCE STORE: REQUIRED: (5,625 SF / 200 SF) = 29 SPACES
 TOTAL REQUIRED = 29 SPACES

PROVIDED: 25 SPACES @ 90' - 9.5' X 18'
 AND 5 PARALLEL SPACES @ 9.5' X 23'
 FOR A TOTAL OF 30 PROVIDED SPACES

ADA ACCESSIBLE SPACES: REQUIRED: 2 SPACES PROVIDED: 2 SPACES

DEVELOPMENT PARAMETERS

BUILDING SETBACKS:		
FRONT (NORTH):	± 100'	
SIDE INTERIOR (WEST AND EAST):	± 18'	
REAR (SOUTH):	± 19'	
LANDSCAPE BUFFERS:	ALL SIDES (LESS ABUTTING):	PROVIDED AS SHOWN ON LANDSCAPE PLAN

PROP. BLDG HEIGHT:	PROP. BLDG. - NO EXISTING BLDG 30' (AVG)	± 33'-1" (PEAK) ± 23'-9" (AVG)
CANOPY CLEARANCE:	14'	± 14'-4" (DECK UNDERSIDE HEIGHT)

NOTES:


1. PROPOSED CANOPY, FUEL DISPENSERS, UNDERGROUND STORAGE TANK, OUTDOOR SEATING, AIR TOWER, DUMPSTER ENCLOSURE AND CONVENIENCE STORE DESIGN AND PROVISIONS SHALL BE CROSS REFERENCED TO THE ARCHITECTURAL AND/OR TANK & PUMP PLANS RESPECTIVELY FOR INSTALLATION ASPECTS.
2. FOR ADDITIONAL SIGNING AND PAVEMENT MARKING NOTES, SEE GENERAL NOTES SHEET.
3. ALL PARKING SPACES, INCLUDING HANDICAPPED PARKING SPACES, SHALL BE STRIPED IN WHITE THERMOPLASTIC PAINT, AND BE IN ACCORDANCE WITH MOST CURRENT FDOT SPECIFICATIONS.
4. LIGHT POLES ARE DEPICTED FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO LIGHTING PLANS FOR EXACT LOCATIONS AND CONSTRUCTION.
5. ALL CURB RAMPS (CR-A, B, ETC.) SHOWN ON THESE PLANS SHALL BE PER FDOT INDEX #522-002.
6. THE SURFACE WHICH IS TO BE PAINTED SHALL BE CLEANED, BY COMPRESSED AIR OR OTHER EFFECTIVE MEANS, IMMEDIATELY BEFORE THE START OF PAINTING, AND SHALL BE CLEAN AND DRY WHEN THE PAINT IS APPLIED. ANY VEGETATION OR SOIL SHALL BE REMOVED FROM THE PAVEMENT BEFORE STRIPING IS BEGUN.
7. A MINIMUM OF 4 FEET FROM THE STOP BAR TO THE PEDESTRIAN CROSSING, PER MUTCD SECTION 3B.16, IS REQUIRED AT ALL DRIVEWAYS WITH CROSS WALKS AND STOP BARS. ALL CROSS WALKS SHALL BE A MINIMUM OF 6 FEET OR 2 FEET WIDER THE SIDEWALK BETWEEN THE (2) 12 INCH PARALLEL STRIPES.
8. DRIVEWAY PERMITTING BY ADJACENT DEVELOPER

GRAPHIC SCALE IN FEET
 FULL SIZE: 1" = 20'
 HALF SIZE: 1" = 40'

LEGEND AND ABBREVIATIONS

PROP.	PROPOSED	REFLECTIVE PAVEMENT MARKER
RPM	TYPICAL	SQUARE FEET
SQ. FT.	RIGHT OF WAY	PAVING, GRADING AND DRAINAGE
ROW	CONCRETE	CURB & GUTTER
PGD	PROPOSED CONCRETE SIDEWALK & PADS	
CONC.	EXISTING PROPERTY/ROW LINE	
C&G	EXISTING EASEMENT	
	PROPOSED EASEMENT	
	TRANSFORMER PAD	
	EXISTING TREE TO REMAIN	

JEFFREY LUCAS, P.E.
 FLORIDA REG. NO. 71621


 SIGNATURE DATE

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Cumberland FARMS

CUMBERLAND FARMS INC.
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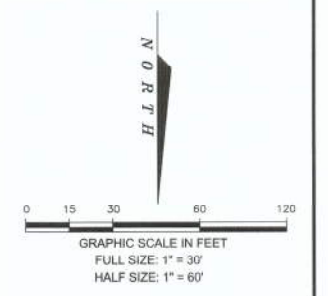
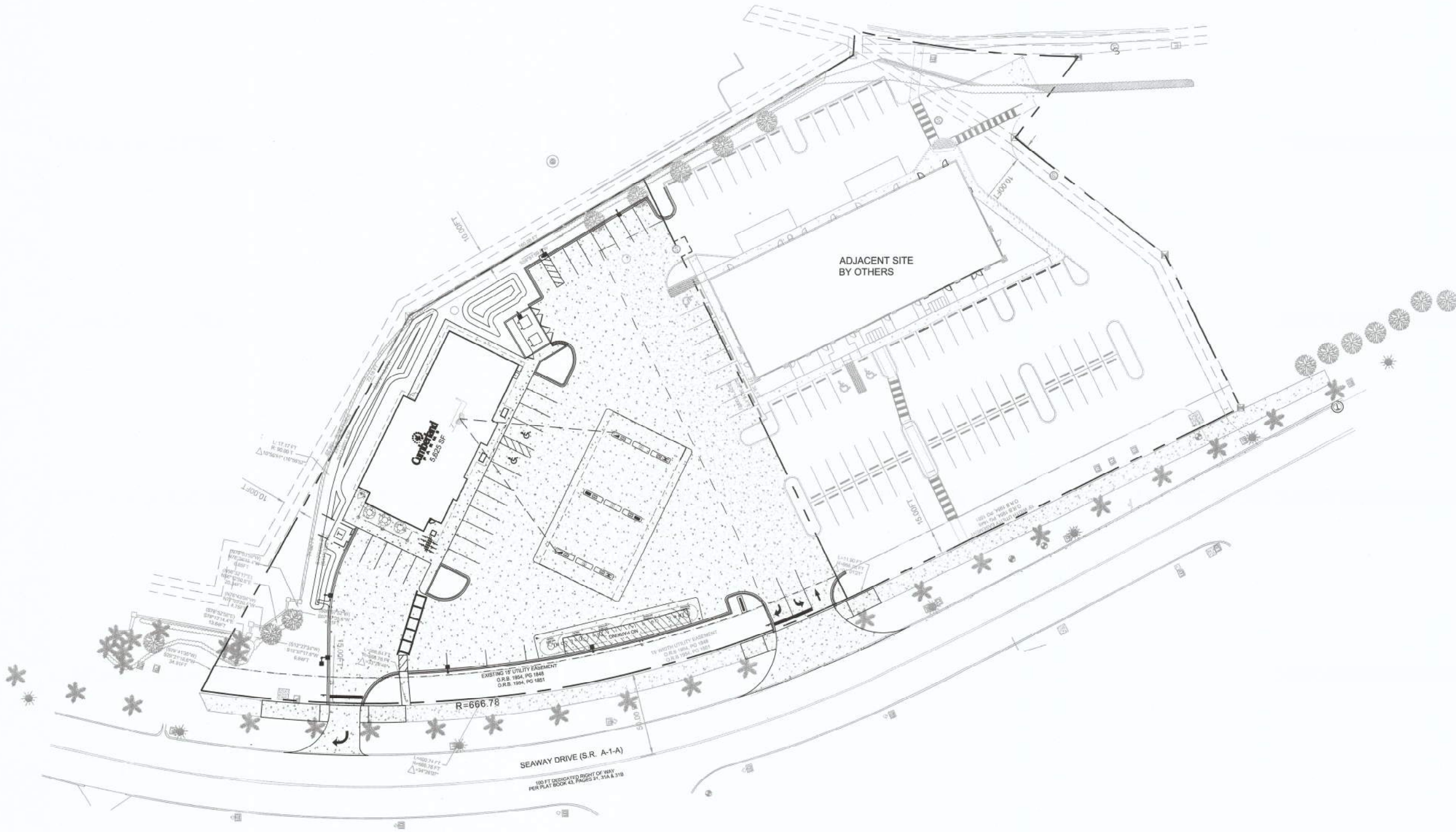
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SITE PLAN

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LEGEND AND ABBREVIATIONS

PROP.	PROPOSED
RPM	REFLECTIVE PAVEMENT MARKER
TYP.	TYPICAL
SQ. FT.	SQUARE FEET
ROW	RIGHT OF WAY
PGD	PAVING, GRADING AND DRAINAGE
CONC.	CONCRETE
C&G	CURB & GUTTER
	PROPOSED CONCRETE SIDEWALK & PADS
	EXISTING PROPERTY/ROW LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	TRANSFORMER PAD
	EXISTING TREE TO REMAIN

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FLORIDA REG. NO. 71621

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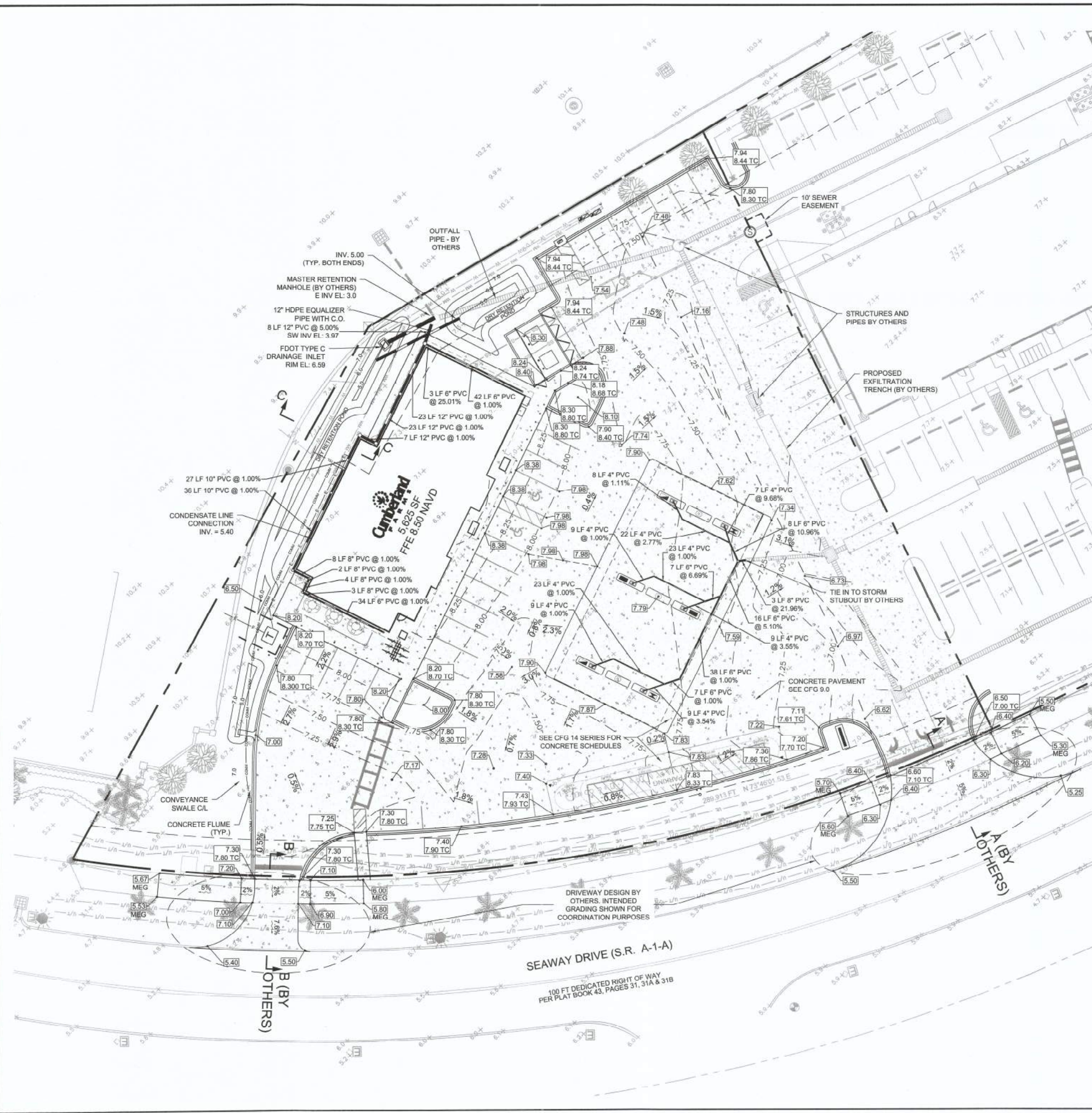
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Drawing Title:
OVERALL SITE PLAN

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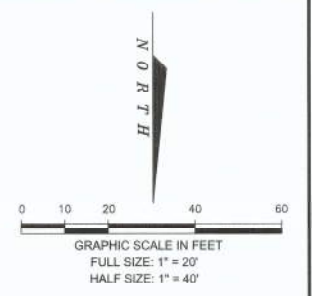
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LEGEND

- FLOW PATTERN
- DRAINAGE STRUCTURES
- PROPOSED ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONCRETE PAVEMENT
- PROPOSED DRAINAGE PIPE
- EXISTING DRAINAGE PIPE
- EXISTING PROPERTY/ROW LINE
- PROPOSED GRADE BREAK
- SPREADER SWALE CENTERLINE
- PROPOSED EASEMENT
- DRAINAGE PIPE (BY OTHERS)
- DRAINAGE STRUCTURES (BY OTHERS)



- ABBREVIATIONS:**
- TYP. - TYPICAL
 - HP - HIGH POINT
 - E/P - EDGE OF PAYMENT
 - T/C - TOP OF CURB
 - T/S - TOP OF SIDEWALK
 - T/W - TOP OF WALL
 - S/W - SIDEWALK
 - REQ. - REQUIRED
 - MEG - MATCH EXISTING GRADE
 - C.O. - CLEAN OUT
 - DS - DOWNSPOUT
 - P/L - PROPERTY LINE
 - TBD - TO BE DETERMINED
 - INT - INTERPOLATED
 - EOR - ENGINEER OF RECORD
 - YD - YARD DRAIN
 - EX - EXISTING

NOTES:

1. CIVIL SITE WORK (GRADING, PAVING, CONCRETE INSTALLATION, DRAINAGE) SHALL BE CROSS REFERENCED TO ARCHITECTURAL PLANS. OVERLAPPING INFORMATION PROVIDED HEREIN IS SUBJECT TO INTERDISCIPLINE COORDINATION. CONTRACTOR TO COORDINATE ACCORDINGLY.
2. CONTRACTOR TO PERFORM PRE-CONSTRUCTION SURVEY TO VERIFY GRADING TIE-IN OF SURFACE AND UNDERGROUND ELEMENTS WITHIN AND DIRECTLY ADJACENT TO THE ACCESS EASEMENT.
3. REINFORCED CONCRETE PIPE SHALL BE CLASS III OR GREATER WITHIN CITY AND/OR FDOT ROW.
4. DOWNSPOUT COLLECTION SYSTEM (BOXES, BACKWATER VALVES, ECT) PER PLUMBING PLANS (SHOWN FOR ILLUSTRATIVE PURPOSES ONLY).
5. REFER TO STRUCTURAL/ARCHITECTURAL PLANS FOR CONSTRUCTION & EXPANSION JOINT DETAILS WHERE SIDEWALKS ABUT BUILDINGS.
6. CONCRETE JOINT (EXPANSION, CONTROL, ETC.) LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL SUPPLY ENGINEER WITH JOINTING PLAN AT TIME OF CONSTRUCTION FOR APPROVAL.
7. CONTRACTOR TO FIELD VERIFY PIPE COVER AND CLEARANCES DURING CONSTRUCTION AND NOTIFY ENGINEER PRIOR TO TRENCH CLOSURE WHEN MINIMUM REQUIREMENT CANNOT BE ACHIEVED. CONCRETE ENCASEMENT MAY BE NECESSARY.
8. FLOOR DRAIN LEADERS ARE LOCATED TO THE BEST EXTENT PRACTICAL. EXACT LOCATION MAY VARY AND/OR REQUIRE FIELD VERIFICATION. EXACT SIZES TO BE VERIFIED WITH PLUMBING PLANS.
9. ALL CLEANOUTS RIMS/COLLARS TO MATCH FINAL GRADE ACCORDINGLY.
10. CONTRACTOR TO COORDINATE CONSIDERATION FOR LANDSCAPE IMPROVEMENTS (TOP SOIL, MULCH, VEGETATION, ETC.) WHEN ESTABLISHING ROUGH AND FINAL GRADES.
11. MATCH EXISTING GRADES AT SITE PERIMETER UNLESS SHOWN OTHERWISE.
12. ALL STREET & STORMWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF FT. PIERCE.
13. COMPACT FILL AREAS, INCLUDING CUT AREAS UNDER THE SIDEWALK THAT HAVE BEEN EXCAVATED MORE THAN 6 INCHES BELOW THE BOTTOM OF SIDEWALK, TO A MINIMUM OF 95% OF AASHTO T99 DENSITY. THE AREA TO BE COMPACTED IS DEFINED AS THAT AREA DIRECTLY UNDER THE SIDEWALK AND 1 FOOT BEYOND EACH SIDE OF THE SIDEWALK WHEN RIGHT-OF-WAY ALLOWS.

RETENTION AREA CONSTRUCTION NOTES:

1. NATURAL GRADE AT POND BOTTOMS/SLOPE AREAS TO BE STRIPPED, CLEARED, AND GRUBBED OF ORGANIC AND PARENT SOIL CONTAINING FINES TO A DEPTH OF 12-18 INCHES, THEN DEEP RAKED.
2. ROUGH GRADE AND EXCAVATE. CONTRACTOR SHALL USE LIGHT CONSTRUCTION EQUIPMENT, AS PRACTICAL, TO AVOID UNDUE COMPACTION OF SAND.
3. AFTER DRAINAGE AREA CONTRIBUTING TO POND HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND POND BOTTOM SHOULD BE CONSTRUCTED TO FINAL DESIGN SPECIFICATIONS.
4. DEEP RAKE POND BOTTOM.
5. SOD POND BOTTOM WITH SAND GROWN SOD, NOT MUCK GROWN.
6. CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERCOLATION TESTS WITHIN THE RETENTION AREA(S). A MINIMUM OF TWO TESTS SHALL BE PROVIDED AND SUPPLIED TO THE EOR PRIOR TO FINAL ACCEPTANCE. IF PERCOLATION RATES TESTED FAIL TO MEET DESIGN TOLERANCES, OVER-EXCAVATION AND SELECT BACKFILL SHALL BE REQUIRED.

JEFFREY LUCAS, P.E.
FLORIDA REG. NO. 71621

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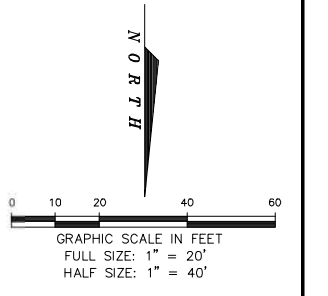
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DRAINAGE**

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NOTE:
- EXCEPT FOR TYPE "AR1" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.
- TYPE "AR1" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.

LUMINAIRE LOCATION SUMMARY			LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.	LUM NO.	LABEL	MTG. HT.
1	A3	15	29	C3	14
2	A3	15	30	C3	14
3	A3	15	31	C3	14
4	A2	15	32	S	12
5	AR1	8	33	S	12
6	AR1	8	34	S	12
7	AR1	8	35	S	12
8	AX	15	36	S	12
9	AX	15	37	S	12
10	AX1	15	38	S	12
11	B3	15	39	S	12
12	B3	15	40	S	12
13	B3	15	41	S	12
14	C3	14	42	S	12
15	C3	14	43	S	12
16	C3	14	44	S	12
17	C3	14	45	S	12
18	C3	14	46	S	12
19	C3	14	47	S	15.5
20	C3	14	48	S	16.945
21	C3	14	49	S	16.945
22	C3	14	50	S	12
23	C3	14	51	S	16.945
24	C3	14	52	S	12
25	C3	14	53	S	15.5
26	C3	14	54	S	12
27	C3	14	55	S	12
28	C3	14	56	S	12
			57	S	12

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	39.38	60	20	1.97	3.00
PAVED AREA	3.00	16.4	0.2	15.00	82.00
UNDEFIND AREA	0.95	29.2	0.0	N.A.	N.A.

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
[Symbol]	1	A2	2 @ 90 DEGREES	10705	1,000	1,000	1,000	B3-U0-G3	132.5	265	CREE, INC.	ARE-EDG-3M-DA-06-E-ULWH-700-57K
[Symbol]	3	A3	SINGLE	7896	1,010	1,000	1,010	B1-U0-G2	134	402	CREE, INC.	ARE-EDG-3MB-DA-06-E-ULWH-700-57K
[Symbol]	3	AR1	SINGLE	5325	1,010	1,000	1,010	B1-U0-G2	92	276	CREE, INC.	ARE-EDR-3MB-R5-04-E-ULBK-700-57K
[Symbol]	2	AX	SINGLE	7896	1,010	1,000	1,010	B1-U0-G2	134	268	CREE, INC.	ARE-EDG-3MB-DA-06-E-ULWH-700-57K (FURNISHED AND INSTALLED BY OTHERS)
[Symbol]	1	AX1	2 @ 90 DEGREES_1	7896	1,010	1,000	1,010	B1-U0-G2	134	268	CREE, INC.	ARE-EDG-3MB-DA-06-E-ULWH-700-57K (FURNISHED AND INSTALLED BY OTHERS)
[Symbol]	3	B3	SINGLE	8480	1,010	1,000	1,010	B1-U0-G2	134	402	CREE INC.	ARE-EDG-4MB-DA-06-E-UL-WH-700-57K
[Symbol]	18	C3	SINGLE	21340	1,010	0.670	0.877	B4-U0-G1	138	2484	Cree Inc	CAN-228-SL-RM-09-E-UL-WH-700-57K (SWITCH SETTING 3)
[Symbol]	26	S	SINGLE	2483	1,010	1,000	1,010	B2-U0-G0	37.4	972.4	Cree Inc	KR6-30L-40K-120V-10V + KR6T-SSGC-WF

REV.	BY	DATE	DESCRIPTION
R1	TAS	2/20/19	UPDATED SITE PLAN
R2	TAS	4/3/19	REVISED FIXTURE TYPES AND ADDED ONE LIGHT POLE
R3	TAS	5/21/19	RELOCATED POLES AT ENTRANCES

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PROJECT NAME:
CUMBERLAND FARMS FT. PIERCE
DRAWING NUMBER:
RL-5964-S1-R3

SCALE: LAYOUT BY: TKS
DATE: 2/12/19

DWG SIZE: D

rla

DATE	SIGNATURE

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Rev.	Date	Description	By	Chk	App

Drawing Status: **FOR INFORMATION** Suitability: **SO**

ATKINS
CORPORATE OFFICE: 4030 W. BOY SCOUT BLVD
TAMPA, FLORIDA 33607
LOCAL OFFICE: 7175 MURRELL ROAD
MELBOURNE, FL 32940
TEL. 321.242.4942
FAX. 321.242.6101
www.atkinsglobal.com
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Client:
Cumberland Farms
CUMBERLAND FARMS INC.
165 CLANCY ROAD
MELBOURNE, FL 32909

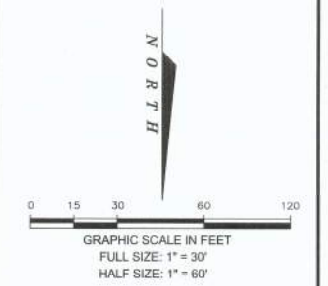
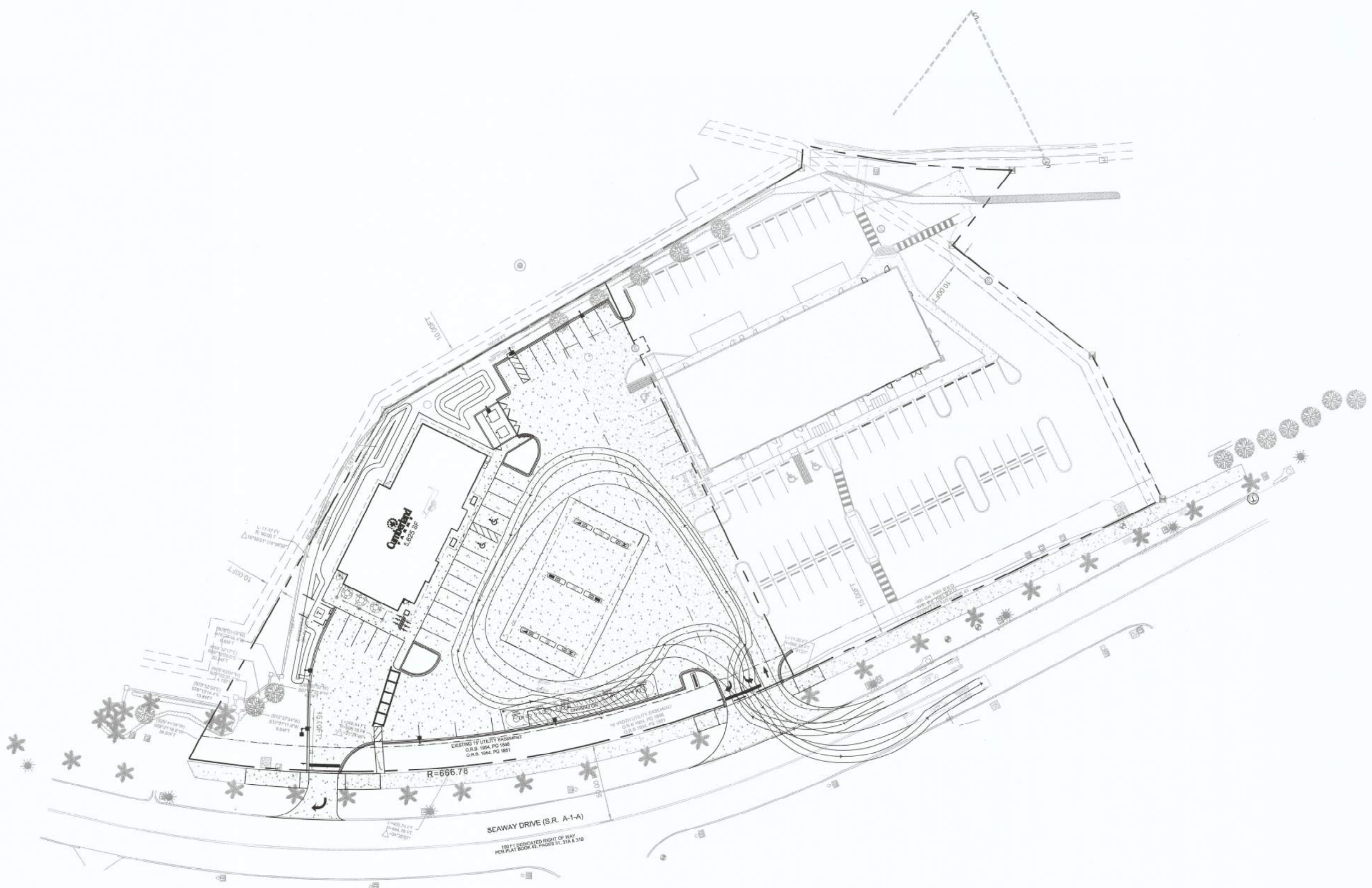
Project Title:
**835 SEAWAY DR
FT. PIERCE, FL 34949**

Drawing Title:
PHOTOMETRIC PLAN

Scale	Designed	Drawn	Checked	Authorized
	JAL	DF		
Original Size	Date	Date	Date	Date
ARCH D				
Drawing Number	Revision			
CFG10.0				

Inches
0 1/4 1/2 1 1 1/2 2

User: F:\84400\Cumberland\10001\proj\CFG16.0 - CF - 801\Seaway (Ft. Pierce)\10 CAD\CFG16.0 - SITE PLAN.dwg



LEGEND AND ABBREVIATIONS

PROP.	PROPOSED
RPM	REFLECTIVE PAVEMENT MARKER
TYP.	TYPICAL
SQ. FT.	SQUARE FEET
ROW	RIGHT OF WAY
PGD	PAVING, GRADING AND DRAINAGE
CONC.	CONCRETE
C&G	CURB & GUTTER

	PROPOSED CONCRETE SIDEWALK & PADS
	EXISTING PROPERTY/ROW LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	TRANSFORMER PAD
	EXISTING TREE TO REMAIN

JEFFREY LUCAS, P.E.
FLORIDA REG. NO. 71021

5-22-19
DATE

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Rev.	Date	Description	By	CS	AS

Drawing Status: **FOR INFORMATION** Submittal: **SO**

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 LOCAL OFFICE:
 7175 MURRELL ROAD
 MELBOURNE, FL 32940
 TEL. 321.242.4942
 FAX. 321.242.5101

CORPORATE OFFICE:
 4330 W. BOY SCOUT BLVD
 TAMPA, FLORIDA 33607
 FBPR CERTIFICATE OF AUTHORIZATION NO.24
 www.atkinsglobal.com

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Client:

 CUMBERLAND FARMS INC.
 165 FLANDERS ROAD
 MELBOURNE, FL 32901

Project Title:
 835 SEAWAY DR
 FT. PIERCE, FL 34949

Drawing Title:
TURNING MOVEMENT PLAN

Scale	Designed	Drawn	Checked	Authorized
Original Size	JAL	DF		
ARCH D	Date	Date	Date	Date

Drawing Number: **CFG16.0**

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Store # TBD
VSH # TBD
Oracle # FL8719
801 Seaway
Fl. Pierce, FL 34949
JOB NUMBER: 41-18-0220

ISSUE BLOCK

CHECKED BY: Checker
DRAWN BY: Author

EXTERIOR ELEVATIONS

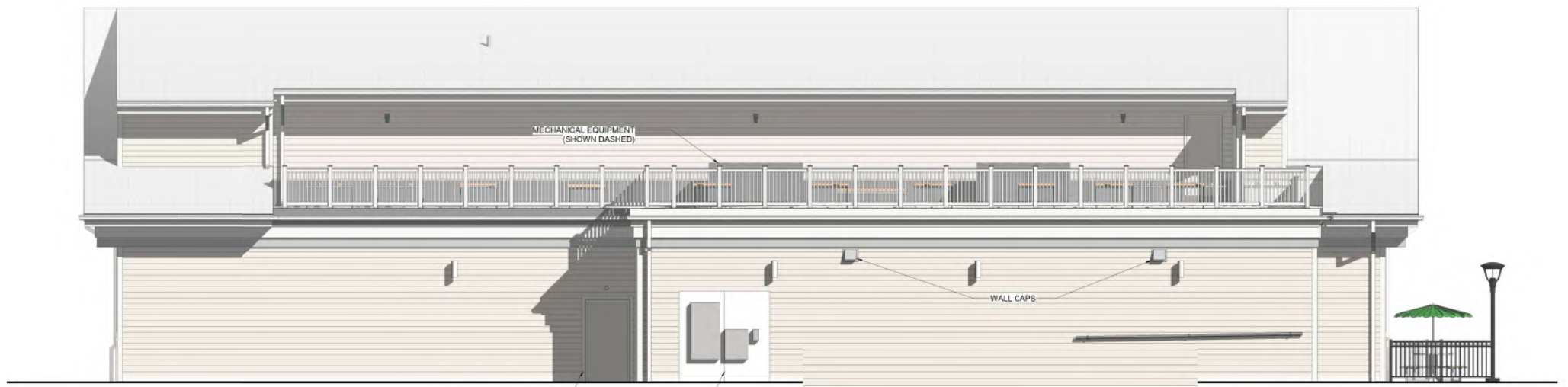
SHEET: A-201



3 REAR SIDE PERSPECTIVE - SD



2 RIGHT SIDE ELEVATION - SD
3/16" = 1'-0"



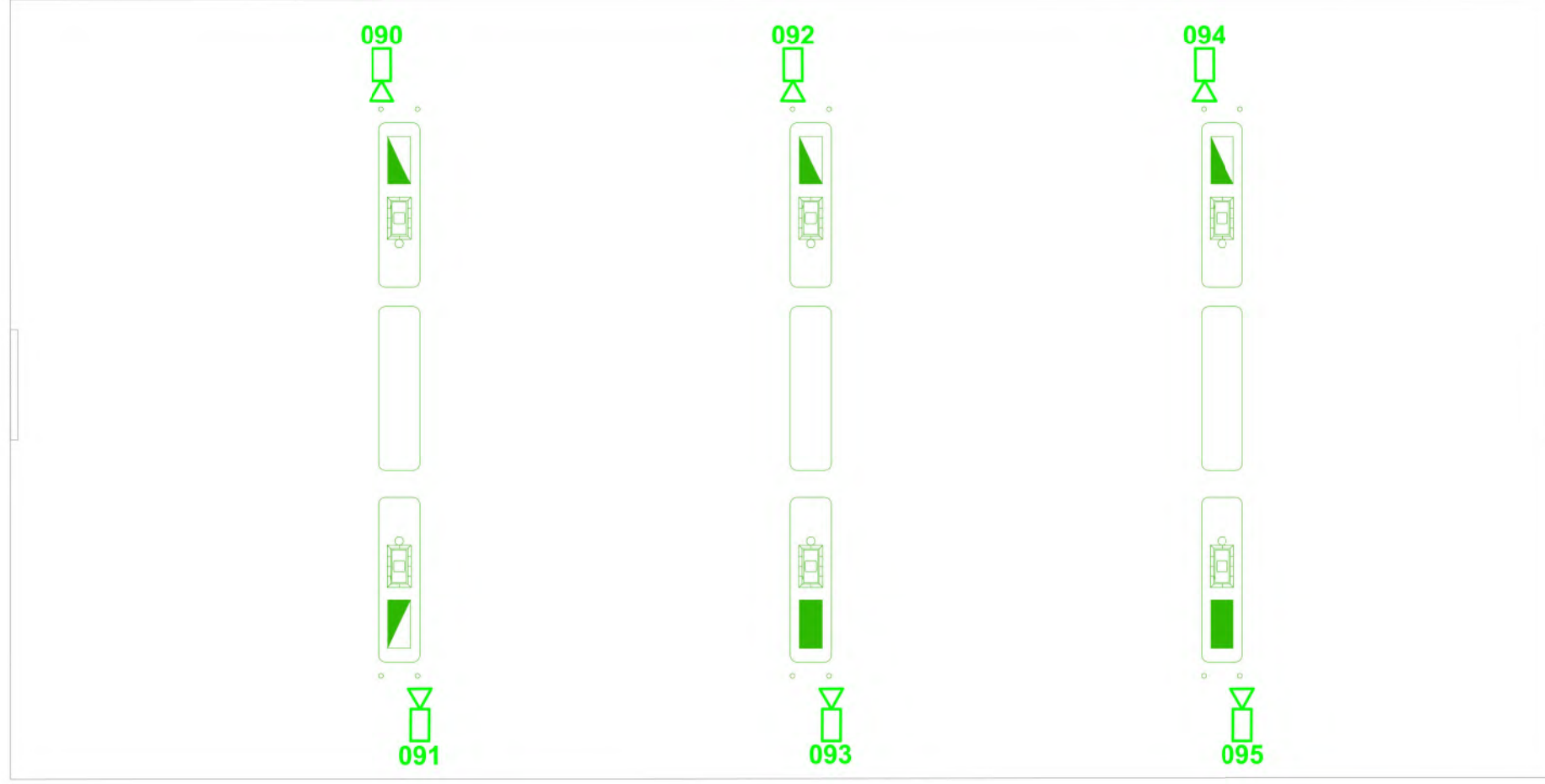
1 REAR ELEVATION - SD
3/16" = 1'-0"

8/20/2019 10:24:47 AM
 C:\Users\hfr1\Documents\2019\Rear Elevation\18-0220_AREDA\17_Plan_Sheet_1.rvt and elevation
 17-0220-AREDA.rvt



SECURITY LEGEND

 EXTERIOR BULLET CAM



REVISIONS

NO.	DATE	BY	REVISION

ECI SYSTEMS

68 STILES ROAD, UNIT C
 SALEM, NH 03079
 (603) 639-2086 • www.eciintegrated.com

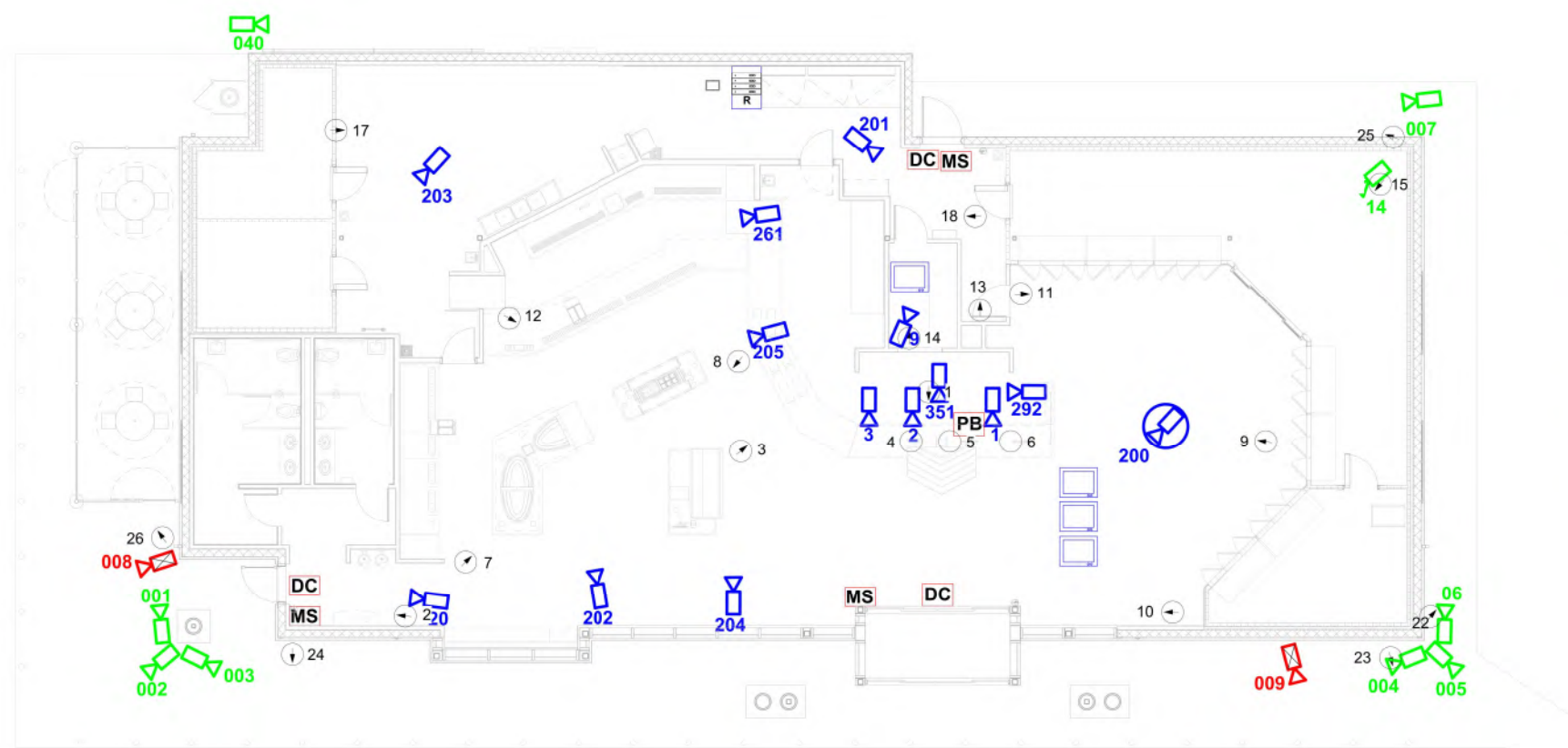
CAMERA LAYOUT - GAS PUMPS

PROJECT: CUMBERLAND FARMS STORE
 CLIENT: CUMBERLAND FARMS FORT PIERCE, FL

TITLE: DRAWN BY: DB
 CHECKED BY: JC

JOB NO.: SCALE: N.T.S.
 DWG. NO.: DATE: 4/3/2019

SEC02



SECURITY NOTES

SPOT MONITOR IS TO CONTAIN THE FOLLOWING VIEWS:

- BEER CAVE
- SIDE DOOR/RESTROOMS
- ENERGY DRINK DOOR
- CANDY

SECURITY LEGEND

- EXTERIOR MULTI-SENSOR DOME
- EXTERIOR 2MP DOME
- INTERIOR 360 DOME
- INTERIOR FIXED DOME
- DC DOOR CONTACT
- MS MOTION SENSOR
- NETWORK RACK AND NVR LOCATION
- SECURITY MONITOR
- EXTERIOR 22MM LICENSE PLATE CAMERA

REVISIONS

NO.	DATE	BY	REVISION

ECI SYSTEMS

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 SALEM, NH 03079
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CAMERA LAYOUT - STORE

CUMBERLAND FARMS STORE
 CUMBERLAND FARMS
 FORT PIERCE, FL

JOB NO.
 DWG. NO

SEC01

DRAWN BY: DB
 CHECKED BY: JC
 SCALE: N.T.S.
 DATE: 4/23/2019



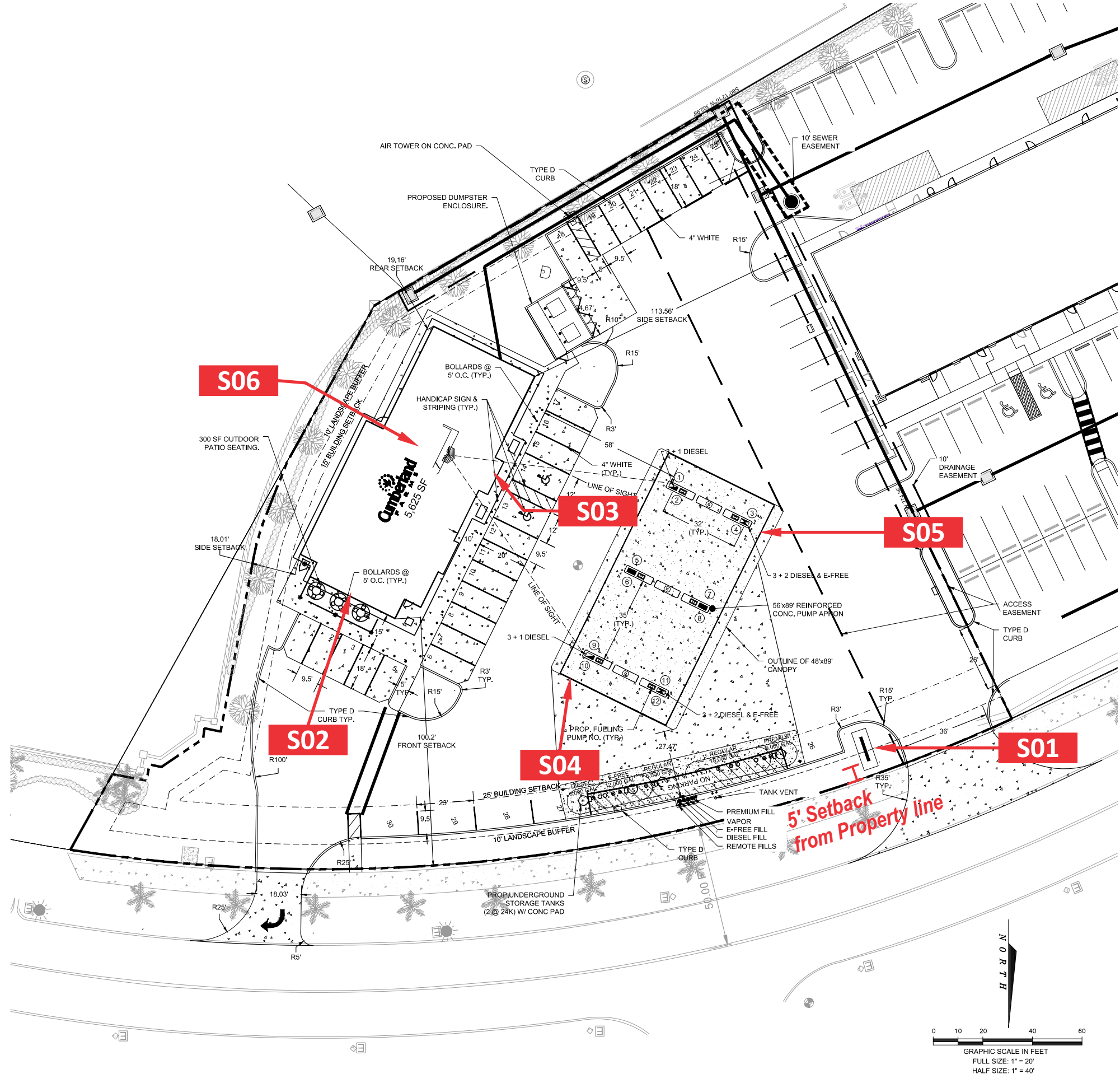
Location #835
801 Seaway Dr
Fort Pierce, FL

SO #99677
Created: 03.07.2019
Revised: 04.25.2019



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West Palm Beach, Florida 33404
800.772.7932
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Site Plan



S06

S03

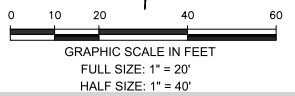
S05

S02

S04

S01

5' Setback from Property line



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Revisions:	
...	...
...	...
...	...
...	...
...	...
...	...

SP

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-SP

Pylon | Custom 10'

Continued on next page

Action:

- Manufacture and Install new pylon as shown.
- Customer to provide LED pricer units.



Material & Color:

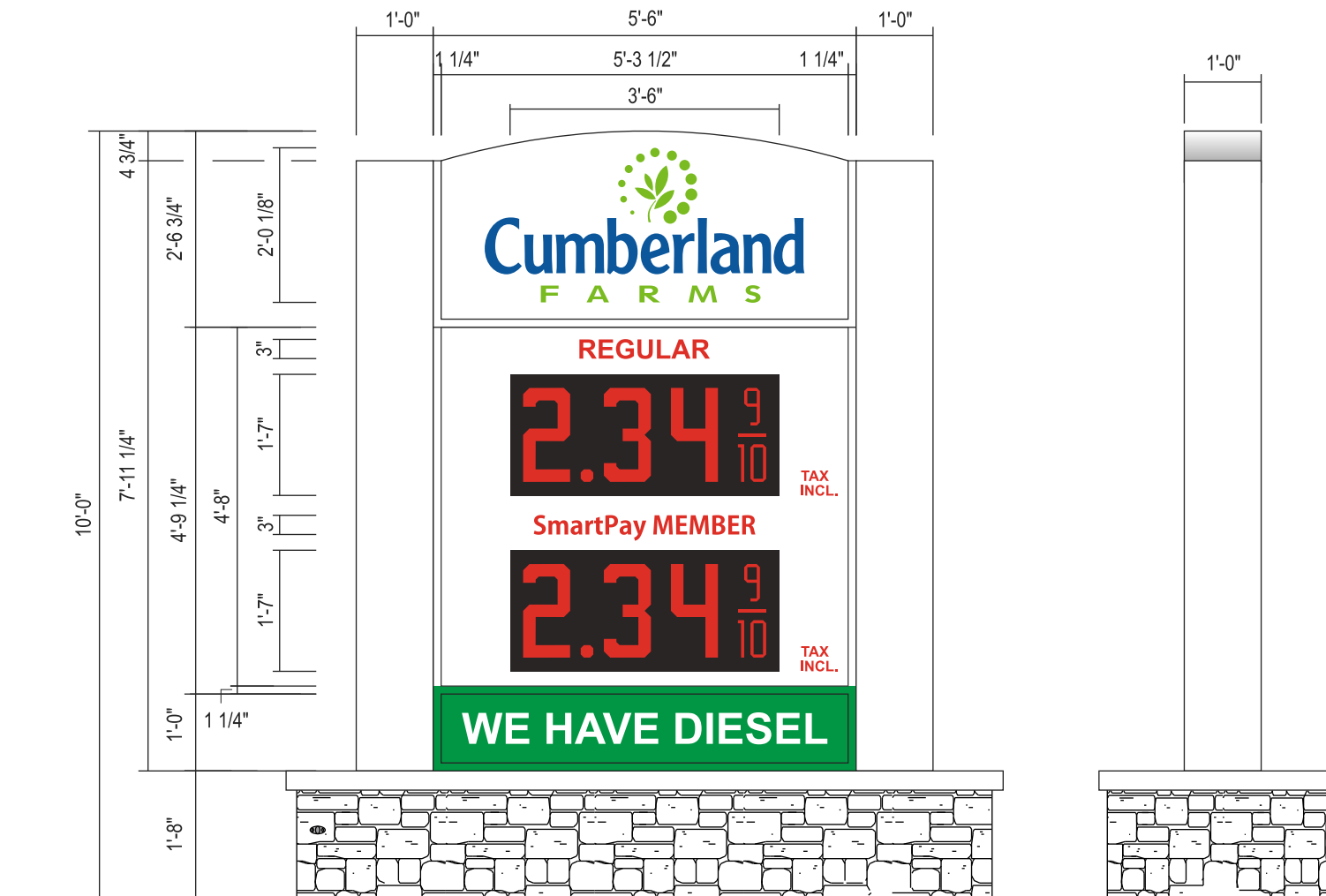
C1 Pantone Color: 301C
 Opaque Vinyl: 3M Vivid Blue 180C-17
 Translucent Vinyl: 3M Bristol Blue 3630-97

C2 Pantone Color: 376C
 Opaque Vinyl: 3M Apple Green 180C-198
 Translucent Vinyl: 3M Brilliant Green 3630-106
 Green ACM: Alcoa Reynobond Duragloss 3000 Outrageous Green

C3 Paint Color: Cumberland Farms White
 matches Alcoa Shell White (300G B-10, .1g B-44)

C4 Pantone Color: 186C
 Opaque Vinyl: 3M Geranium Red 180C-63
 Translucent Vinyl: 3M Cardinal Red 3630-53

C5 Opaque Vinyl: 3M Bright Green 186
 Translucent Vinyl: 3M Vivid Green 3630-156



Code: NTE 10' OAH
 Setback requirement: 5' from property line.
 Proposed: 45.7 Sq Ft



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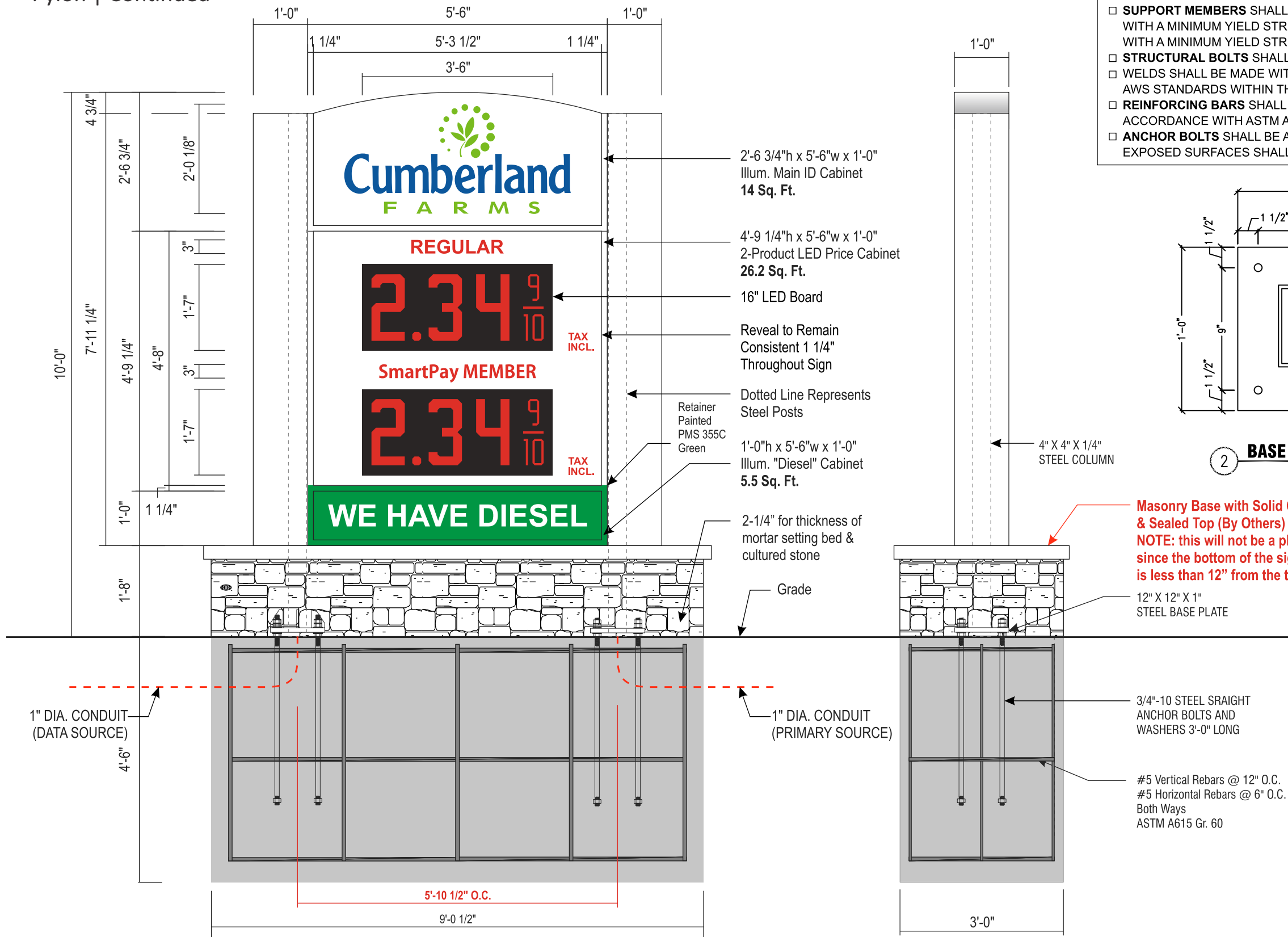
Revisions:

Revised pylon 04.08.2019 TLD	...
Revised to 10' Tall pylon per code 04.25.2019	...
...	...
...	...
...	...

S1.0

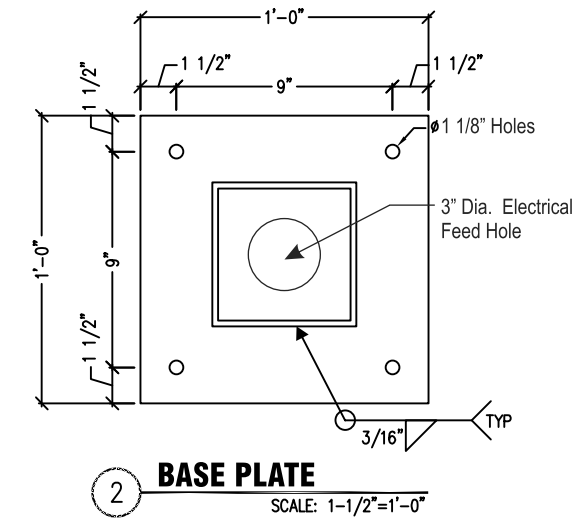
PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S1.0

Pylon | Continued



STRUCTURAL STEEL SPECIFICATIONS:

- **SUPPORT MEMBERS** SHALL BE FREE FROM DEFECTS. TUBE SHALL MEET ASTM A500 GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46000 PSI. PIPE SHALL MEET ASTM A53 GRADE B, WITH A MINIMUM YIELD STRENGTH OF 35000 PSI. PLATE AND ANGLE SHALL MEET ASTM A36.
- **STRUCTURAL BOLTS** SHALL BE ZINC COATED A325 UNLESS OTHERWISE NOTED.
- **WELDS** SHALL BE MADE WITH E70XX ELECTRODES BY PERSONS QUALIFIED IN ACCORDANCE WITH AWS STANDARDS WITHIN THE PAST TWO YEARS.
- **REINFORCING BARS** SHALL CONFORM TO ASTM A615 GRADE 60 WITH DEFORMATIONS IN ACCORDANCE WITH ASTM A-305. WELDING OF REINFORCING BARS IS PROHIBITED.
- **ANCHOR BOLTS** SHALL BE ASTM F1554-07 GRADE 55 ROUND STOCK. EXPOSED SURFACES SHALL BE GALVANIZED OR HAVE BITUMINOUS COATING TO PREVENT CORROSION.



AREA/WEIGHT	
SIGN SQUARE FOOTAGE	80 SQ. FT.
ESTIMATED SIGN WEIGHT	840 LBS.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.

SIGN BASED ON DESIGN LOADS: 2014 FLORIDA BUILDING CODE, SECTION 16 WIND LOAD. RISK CATEGORY II. EXPOSURE C. ASCE 7-10, 150 mph. SOIL RESISTANCE 150 psf/ft

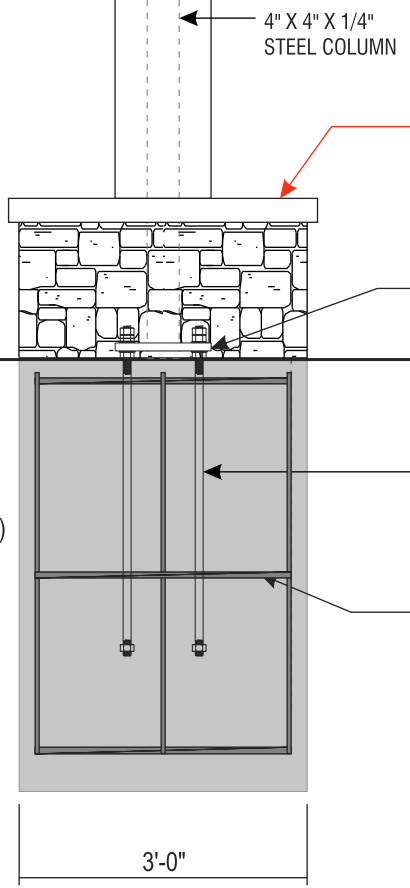
FOUNDATION NOTE:
3000 PSI CONCRETE @ 28 DAYS
2000 PSF SOIL BEARING
150 PSF/FT SOIL LATERAL BEARING
UNDISTURBED SOIL

ELECTRICAL			
AMPS:	7	AMPS	
V.A.:	120	VOLTS	WATTS: 840
CIRCUITS:	2-20 amp CIRCUIT		

NOTE: EMU TO HAVE A DEDICATED 20 AMP CIRCUIT



Masonry Base with Solid Concrete Cap & Sealed Top (By Others)
NOTE: this will not be a planter (just a base) since the bottom of the sign is less than 12" from the top of the base.



SPREAD FOUNDATION
4'-6" X 9'-0 1/2" X 3'-0"
CONCRETE REQUIRED:
4.0 CU. YD.

#5 Vertical Rebars @ 12" O.C.
#5 Horizontal Rebars @ 6" O.C.
Both Ways
ASTM A615 Gr. 60

D.F. ILLUMINATED PYLON - 45.7 SQ. FT.

QTY: 1

SCALE: 1/2"=1'-0"



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Revisions:	
Revised pylon 04.08.2019 TLD	...
Revised to 10' Tall pylon per code 04.25.2019	...
...	...
...	...
...	...

S1.1

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S1.1

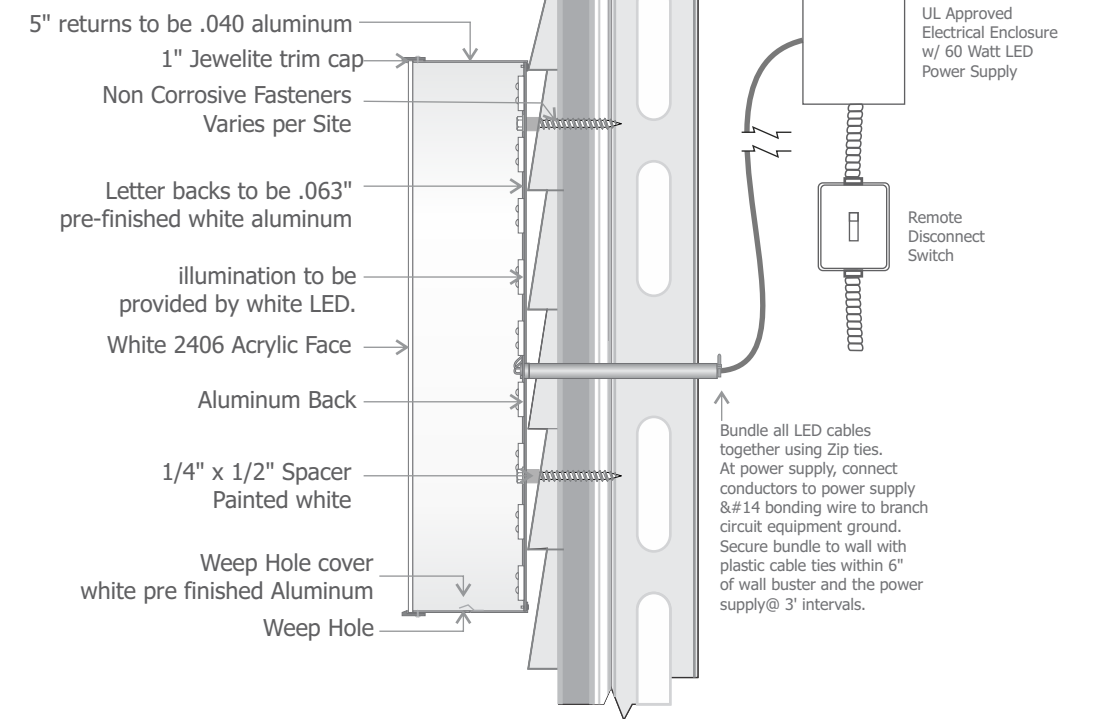
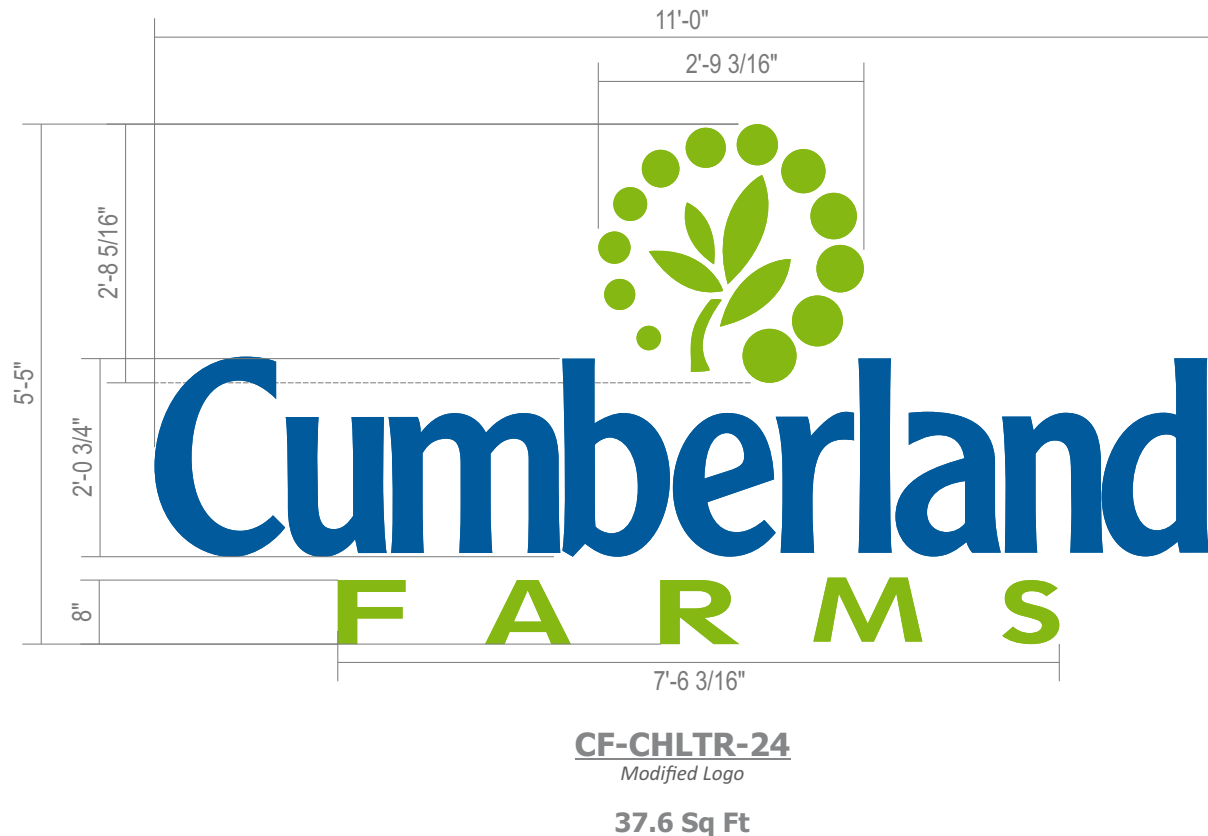
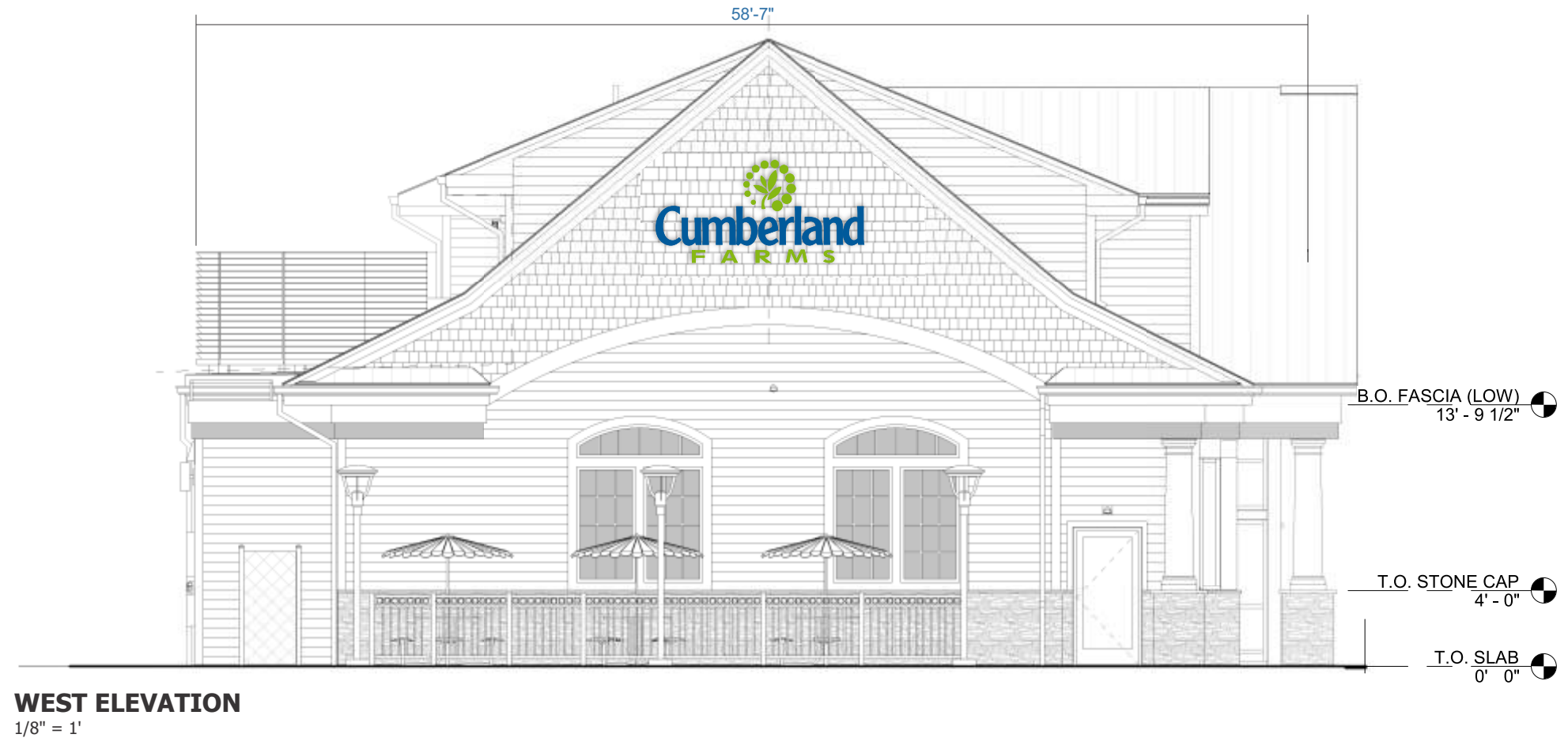
Channel Letters | Remote (West Elevation)

Action:

- Install new letterset as shown.
- Channel letters to be mounted to clapboard siding with non corrosive hardware and standoffs.
- All holes and seams to be sealed and caulked.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Returns - Painted to match PMS 301C
- Returns = Painted to match PMS 376C
- Trim Cap - Blue Jewelite
- Trim Cap = Green Jewelite
- Faces - 2406 White Acrylic
- Illumination - White LED



Scale 1:30



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Revisions:

Revised letterset 03.26.2019 TLD	...
...	...
...	...
...	...
...	...

S02

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S02

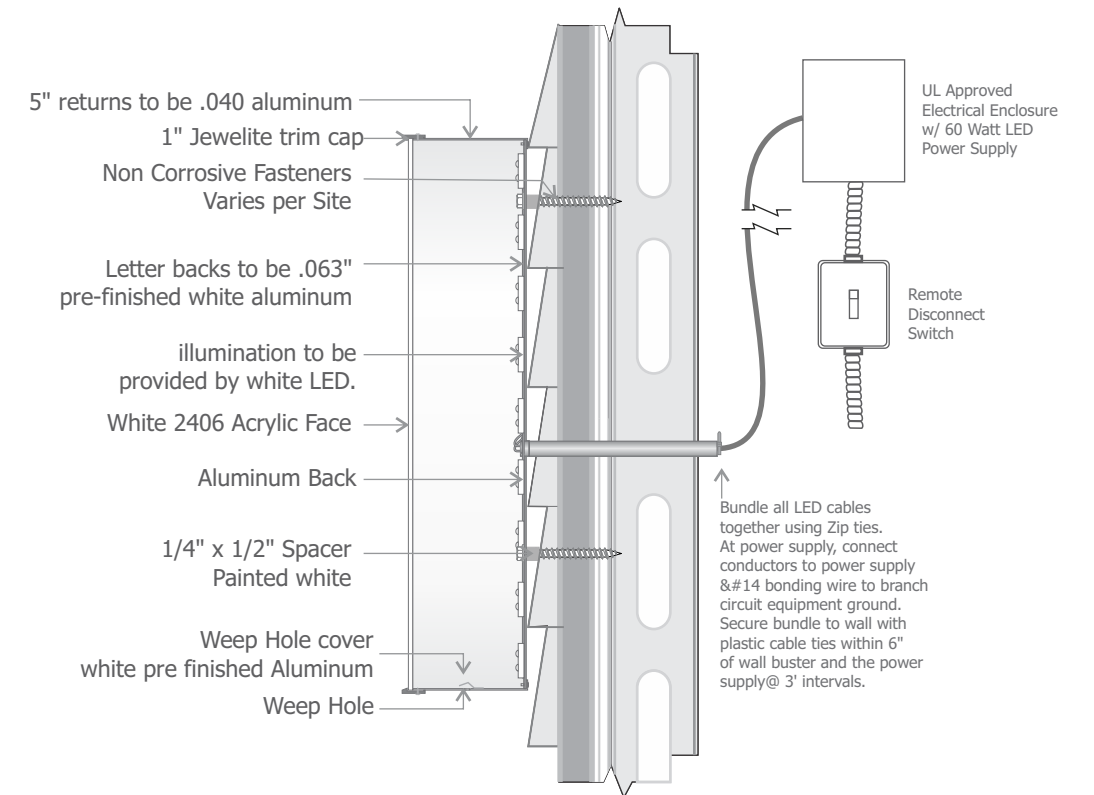
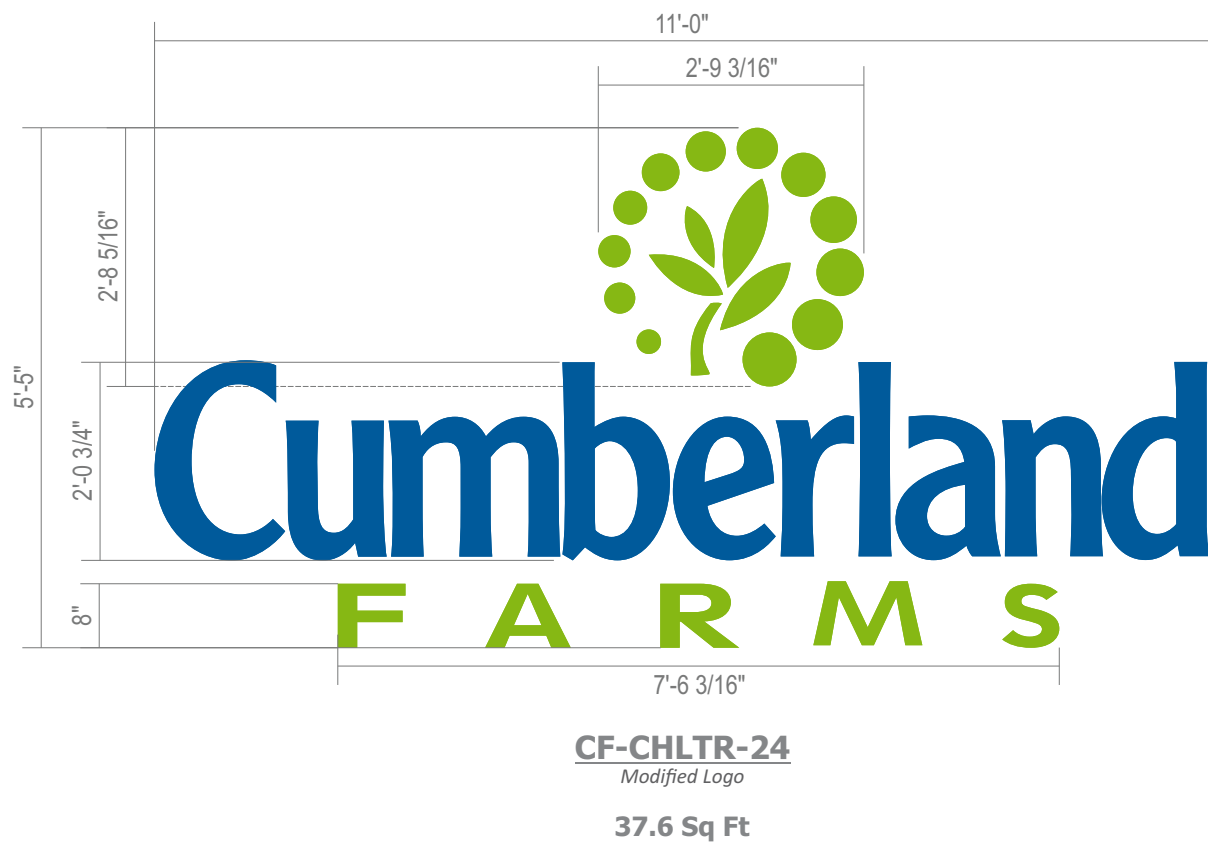
Channel Letters | Remote

Action:

- Install new letterset as shown.
- Channel letters to be mounted to clapboard siding with non corrosive hardware and standoffs.
- All holes and seams to be sealed and caulked.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Returns - Painted to match PMS 301C
- Returns = Painted to match PMS 376C
- Trim Cap - Blue Jewelite
- Trim Cap = Green Jewelite
- Faces - 2406 White Acrylic
- Illumination - White LED



Scale 1:30



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Revisions:

Added 03.14.2019 TLD	...
Revised letterset 03.26.2019 TLD	...
Revised per code 04.25.2019 TLD	...
...	...
...	...

S03

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S03

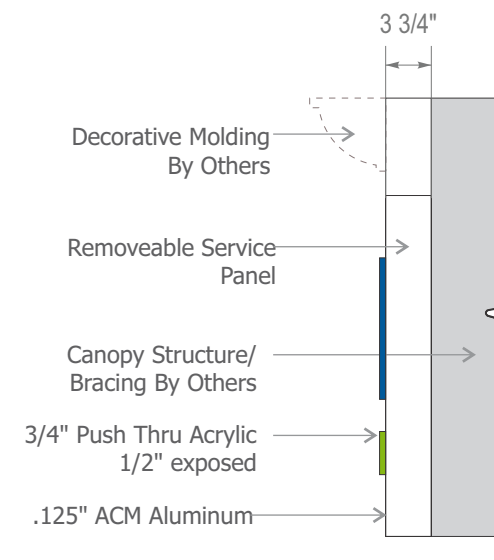
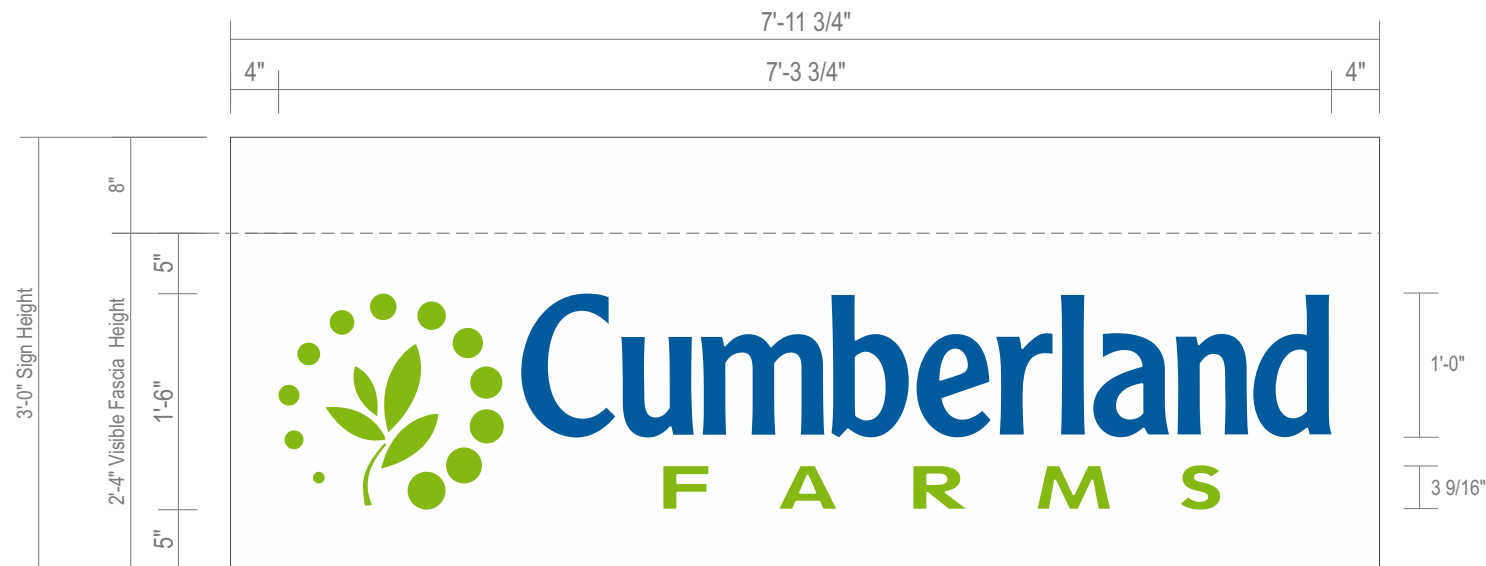
Illuminated Canopy Sign | Left

Action:

- Install new internally illuminated canopy sign.
- Canopy sign to be ACM aluminum with routed push through faces. Mounted to canopy with non corrosive fasteners.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Push Thru Faces - Clear Acrylic
- Aluminum - Painted Alcoa-Shell White
- Illumination - White LED



CF-CAN-18-LED-LH
11.0 Sq Ft



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800.772.7932
www.atlasbtw.com

Revisions:	
Revised placement 03.26.2019 TLD	...
...	...
...	...
...	...
...	...

S04

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S04

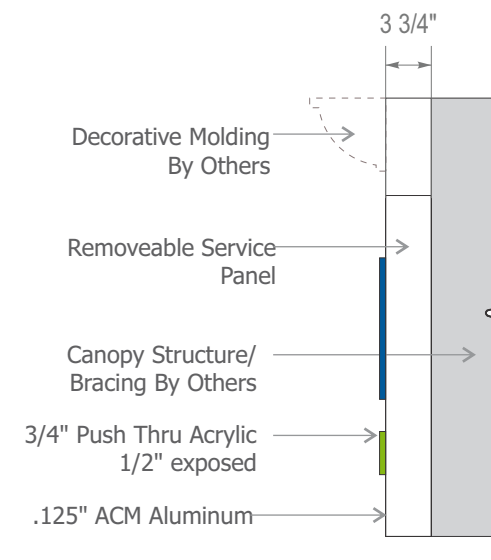
Illuminated Canopy Sign | Right

Action:

- Install new internally illuminated canopy sign.
- Canopy sign to be ACM aluminum with routed push through faces. Mounted to canopy with non corrosive fasteners.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Push Thru Faces - Clear Acrylic
- Aluminum - Painted Alcoa-Shell White
- Illumination - White LED



CF-CAN-18-LED-RH
11.0 Sq Ft



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www.atlasbtw.com

Revisions:	
Added 03.14.2019 TLD	...
...	...
...	...
...	...
...	...

S05

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S05

Interior Low Profile Face Lit Letters | Remote (Interior Elevation)

Action:

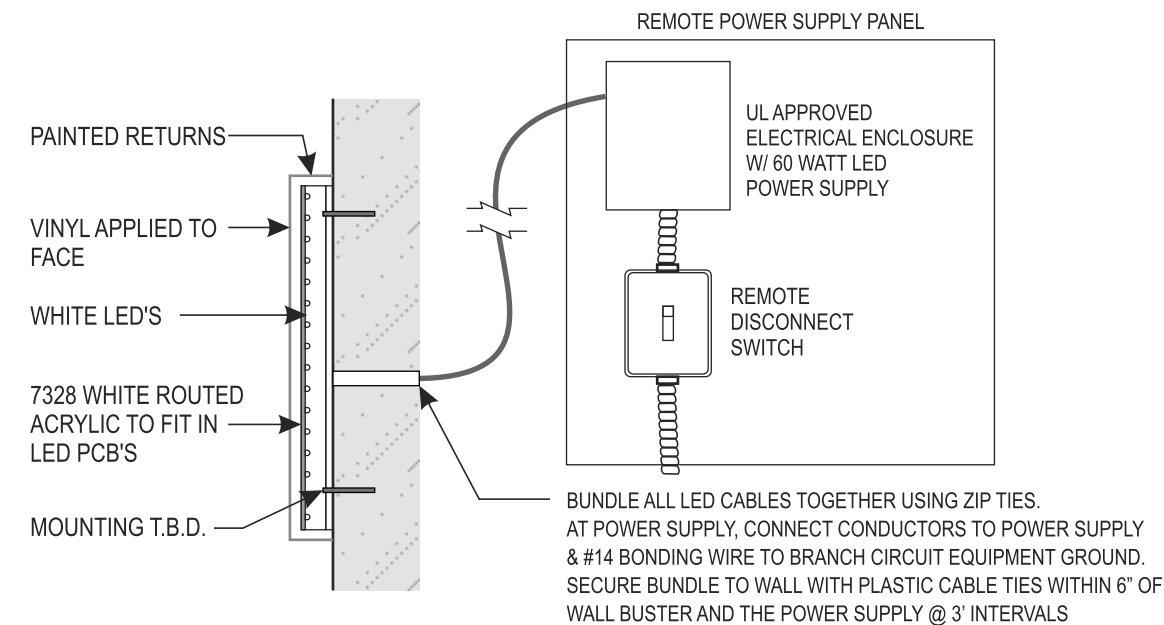
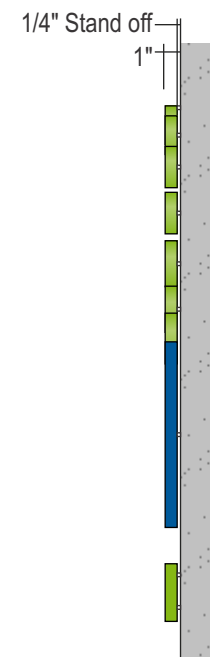
- Install new letterset as shown.
- Letterset to be 1" deep clear acrylic with 1/2" pocket routed out for LEDs.
- Vinyl applied to face of letters. Returns to be painted to match specs below. Letter backs to have .040" aluminum applied to back. Letterset to be stud mounted to wall with 1/4" spacers.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Returns - Painted to match PMS 301C
- Returns = Painted to match PMS 376C
- Clear Acrylic
- Illumination - White LED



CF-LPLTR-24
Modified Logo



Revisions:	
Added 03.14.2019 TLD	...
...	...
...	...
...	...
...	...

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S06







Atkins North America, Inc.
7175 Murrell Road
Melbourne, Florida 32940

Telephone: +1.321.242.4942
Fax: +1.321.242.6101

www.atkinsglobal.com/northamerica

May 22, 2019
Brandon Creagan
LEED Green Associate, Planner
100 North US 1
Fort Pierce, FL 34950
Phone: (772) 467-3742

Technical Review Project Number: # **19-43900002**
Project Name: **Cumberland Farms 835 Seaway Drive**

RE: DEVELOPMENT & DESIGN REVIEW (MAJOR AMENDMENT TO PD)

We are pleased to provide you with our responses below in bold to address comments provided on April 17, 2019 for the above-mentioned project.

GENERAL COMMENTS

1. The project boundaries do not coincide with a recent plat submittal for subdivision of Tract D-1; please modify the site plan accordingly, specifically the eastern and northern property lines.
Response: Boundaries have been revised to match. See Site Plan sheet CFG04.0 and revised survey.
2. Add a note to the site plan specifying the relocation of the two (2) SR A1A streetlights and one (1) royal palm tree must be coordinated with the City of Fort Pierce Engineering Department.
Response: Per discussion with Tracy Telle, noting these items on the plans as by others is sufficient to address this comment.
3. Relocate all parking from within the limits of the 53.17' Access Easement in accordance with the requirements specified in the recorded agreement; refer to ORB 4185, Page 1545, or provide a revised recorded Access Easement permitting parking.
Response: Per discussion with Tracy Telle on May 21, a revised Access Easement Agreement will be noted as a condition of site plan approval.
4. It does not appear that the appropriate landscape buffers are in place between the building and the proposed detention area; refer to Code of Ordinances Section 22-187(4).
Response: Drainage plan has been revised to include a 10' buffer between the building and the area designated as dry retention.
5. All detention and retention areas are required to be screened with a 36" hedge per City of Fort Pierce Code of Ordinances Section 17-34; please revise the landscape plan accordingly.
Response: Landscape plan has been revised to include hedge screening.

6. The new detention area appears to encroach into the existing oak trees root system as the trees will be located within the detention bank; how will this be accomplished without damaging the root system and ultimately the trees?

Response: The trees will be removed and replaced to just outside the top of bank of detention to be between the wall and detention.

7. The demolition plan reflects the removal of six (6) oak trees along the southern property line yet the landscape plan identifies four (4) of these oak trees to remain, please identify the size of these trees and provide the appropriate mitigation calculations.

Response: Landscape plans and Demolition Plan have been revised to match.

8. The submitted traffic report inaccurately identified Seaway Drive as a four-lane roadway between Indian River Drive and Harbour Isle Drive (refer to Exhibits 2 thru 5). The applicant shall revise the exhibits and applicable roadway/intersection analysis to reflect Seaway Drive as a two-lane roadway east of Causeway Cove Marina located near the base of the bridge.

Response: See Traffic Study Response to Comments Letter.

9. Relocate the proposed site lights situated at the two driveways, from within the limits of the 15' Utility Easement.

Response: Site lighting has been moved out of the easement, see CFG10.0, Photometric Plan.

10. Remove the mitered endwalls and culvert pipe from the two driveways, as the SR A1A drainage system is void of roadside swales.

Response: Culverts and mitered end sections have been removed from the right of way on all affected sheets.

11. Add a stop sign and stop bar to the eastern driveway.

Response: Stop bar and Stop sign have been added to the eastern driveway.

12. Advisory Comment: The traffic study submitted to FDOT for pre-approval was based on an additional access through the Harbour Isle development. How will the elimination of this ingress/egress access affect the traffic flow along Seaway Drive? During review of the Site Work application, the applicant will be asked to provide a copy of the FDOT Access permit issued based on the updated traffic study

Response: See Traffic Study Response to Comments Letter.

If you require any additional information or have any questions, please contact me at (321) 775-6647 or Jeff.Lucas@atkinsglobal.com. We look forward to having a great project come to fruition.

Sincerely,



Jeff Lucas, P.E.
Senior Engineer/Project Manager, Civil



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April 29, 2019
Brandon Creagan
LEED Green Associate, Planner
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Technical Review Project Number: # **19-43900002**
Project Name: Cumberland Farms 835 Seaway Drive

RE: DEVELOPMENT & DESIGN REVIEW (MAJOR AMENDMENT TO PD)

We are pleased to provide you with our responses below in bold to address comments provided on April 17, 2019 for the above-mentioned project.

GENERAL COMMENTS

1. The site plan denotes a 23 foot tall sign along Seaway Drive. Per City Code 15-6(b)(3)(a), Sites that are less than or equal to three (3) acres shall have a maximum sign height of ten (10) feet. Because this project is in a Planned Development a Variance would not be allowed. Please adjust the height so that both the planter and sign are no more than 10 feet combined. Please note that all signs will be approved separately under individual Building Permits.
Response: Sign plan has been revised to show a 10' max height, see Sign Drawing.
2. Provide documentation of the proposed cross access agreement with the adjacent property owner.
Response: A draft copy will be provided once it becomes available for review.
3. A lighting plan or photometric survey that is consistent with City Code 22-60(j)(1)(a) will be required at the time of Building Permit.
Response: Photometric plan and site plan details included in CFG10.0 and CFG10.1 respectively.
4. Advisory Comment: If possible please provide trip generation numbers for the current Cumberland Farms Site to compare the number of trips on the current site to the number of anticipated trips on the proposed site.
Response: See included traffic study by Mackenzie dated April 19, 2019.
5. Provide bike parking pursuant to City Code 22-60 (f)(1)(a)
Response: Bike parking included on site and shown on sheet CFG04.0, Site Plan.

FORT PIERCE ENGINEERING DEPARTMENT

1. Update the site plan to identify all property boundary dimensions and bearings.
Response: Please see updated site plan, CFG04.0.
2. The site plan shall include a legal description of the property.
Response: Legal description provided on Cover sheet.
3. The project boundaries do not coincide with a recent plat submittal for subdivision of Tract D-1; please modify the site plan accordingly.
Response: Boundary callouts have been revised to be consistent with latest plat submission, see Sheet CFG04.0, Site Plan.
4. The survey submitted was not certified nor did it identify all recorded easements situated within the limits of the property. Please update the survey to include project boundaries per the recently submitted plat documents, recorded easements, total site area, and any other pertinent information as specified Section 17-27 of the City of Fort Pierce Code of Ordinances.
Response: Certified ALTA survey is included with this submittal.
5. Update the site plan to reflect all impacted existing improvements (streetlights, palm trees, etc.) located with SR AIA and the proposed relocation these items.
Response: All impacted existing improvements shown on demolition plan sheet CFG03.0
6. Relocate the northeastern detention area to the rear of the property as specified in the City of Fort Pierce Code of Ordinances Section 17-34(c).
Response: The northeastern detention pond has been removed from the current plans. A conveyance swale has been added to pick up sheet flow and route to the rear dry detention pond.
7. Relocate all parking from within the limits of the 53.17' Access Easement in accordance with the requirements specified in the recorded agreement; refer to ORB 4185, Page 1545.
Response: The easement language will be modified to included provisions for this parking, or the limits of the easement will be changed. A draft easement will be provided when it becomes available.
8. Provide a copy of the Auto-Turn analysis depicting the movements of a fuel tanker truck servicing the fuel tanks.
Response: Auto turn analysis performed and provided on Turning Movements Plan, Sheet CFG16.0.
9. Provide a copy of the traffic report supporting the specified peak hour traffic as specified on the submitted Transportation Analysis. The report shall include information required under Section 22-217 for large-scale developments.
Response: See included traffic study by Mackenzie dated April 19, 2019.
10. The site plan reflects a 15' utility easement along the north side of the parcel; is this existing or proposed and to whose benefit?
Response: The easement is existing and corresponding reference to Official record is included on the latest survey, included with this submittal. See Sheet CFG02.0, Survey.

FORT PIERCE POLICE DEPARTMENT

1. Please consider moving the outdoor seating area further out (sliding the entire area towards the front of the building) to maximize the opportunity for natural surveillance of the fuel pumping area and general parking area by the users of that outdoor space.

Response: Surveillance will be provided inside and outside the store with equipment for constant monitoring to minimize blind spots where criminal activity could occur. Please see included security camera exhibit.

FORT PIERCE UTILITIES AUTHORITY

1. FPUA W/WW Engineering: Approved
Response: Thank you.
2. FPUA Electric & Gas Engineering: Approved - Both electric and fiber optic services are available to the site. Utility easement will be required for the propose FPUA facilities.

Response: A utility easement will be prepared after utilities installation and provided prior to certificate of completion.

ST LUCIE COUNTY PLANNING DEPARTMENT

1. Please provide a Traffic Impact Report for the proposed development, inclusive of driveway analysis. Based upon the projected trip generation, access points, roadway level of set vice, turn lanes may be recommended. In review of the project size and type, ITE Use Code 960, Super Convenience Market/Gas Station, based upon the independent review variable of 1,000 sq. ft. GFA, the project is estimated to generate 4707 AADT, whereas much may be pass-by, however such analysis should be conducted. Based upon the proposed traffic generation, greater capacity for vehicle stacking (in an organized fashion) is encouraged to avoid back-up into Seaway Drive.

Response: See included traffic study by Mackenzie dated April 19, 2019.

2. The City of Fort Pierce in encouraged to conduct driveway analysis of the proposed adjustment, and corresponding adjustment pending to the west, including proposed driveway location(s), internal stacking/turn lanes, proximity of the cross access driveway to the eastern parcel to the property line, future driveway location foe the par eel to the west. Restoration of internal connection would provide HI residents access without placing an external trip onto the roadway.

Response: See included traffic study by Mackenzie dated April 19, 2019.

3. What are the proposed hours of operation for this establishment? The previously approved project encompassed a neighborhood commercial use, whereas the proposal appears to be a general commercial use, increase intensity for the Planned Development, with adjacent residences. The original plan adopted placed the commercial building towards the right-of-way to provide enhancement urban design, as well as greater separation of the commercial operation from adjacent residential units. Limiting hours of operation may improve compatibility, especially with the relocated building(s).

Response: The Cumberland Farms will be open 24 hours to the public.

4. Please consider a pedestrian connection between the proposed establishment and the development considered to the west.
Response: Acknowledged.

5. Is the applicant providing a loading space/zone for deliveries of stock or fuel? The loading area is encouraged to be located outside of the front yard, but in an area which may minimize impacts to the adjacent residences.
Response: Comment noted.

6. The proposed parallel parking spaces (27-30) appear to conflict with the adjacent two-way driveway which reduces to a one-way exit, at the adjacent driveway. The spaces would cause movements against interior traffic flow.
Response: Acknowledged.

7. The alignment of the project's drive-aisle approaching the joint drive and adjacent project's northern most row of parking appear to cause an unsafe condition, if vehicles seek to traverse across this full access driveway to enter the western project:
Response: Acknowledged. The condition has been relayed to the adjacent developer for consideration.

8. The applicant is proposing a reduction in vehicular use area landscaping based upon "preserved trees" which were planted (required) as part of the PD. The trees are required and not pre-existing to the Planned Development, therefore should not be eligible. The landscape plan should be amended to reflect the required interior vehicular use area landscaping.
Response: Landscape plan has been revised to exclude these preservation trees as part of that calculation. Required Vehicular use landscaping is now provided, see Landscape Plan, Sheet CFG08.0.

9. Please review clear vision areas as it pertains to proposed driveways, landscaping, etc.
Response: Acknowledged.

If you require any additional information or have any questions, please contact me at (321) 775-6647 or Jeff.Lucas@atkinsglobal.com. We look forward to having a great project come to fruition.

Sincerely,



Jeff Lucas, P.E.
Senior Engineer/Project Manager, Civil