

CITY OF FORT PIERCE

CITY COMMISSION AGENDA

Special Meeting - Monday, September 23, 2019 - 5:05 p.m.

City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **OPENING PRAYER** - Pastor Charles Hendley, Greater Mt. Pleasant Primitive Baptist Church
3. **PLEDGE OF ALLEGIANCE**
4. **ROLL CALL**
5. **APPROVAL OF MINUTES**
6. **PROCLAMATIONS**
7. **LETTERS TO COMMISSION**
 - a. Letter from Judith Cruz, President/CEO, Treasure Coast Food Bank thanking the City of Fort Pierce for a Public Service Grant Award in the amount of \$5,000 to the food bank.
 - b. Email from Jim Bede in recognition of Anne Bowen, Marina Concierge, who is an asset to the City of Fort Pierce.
8. **COMMENTS FROM THE PUBLIC ON AGENDA ITEMS NOT REQUIRING PUBLIC HEARINGS**

Any person who wishes to comment on an agenda item which is not under Public Hearings on the Agenda may be heard at this time and must sign up to speak in advance. Please limit your comments to three (3) minutes or less, as directed by the Mayor, as this section of the Agenda is limited to thirty minutes. The City Commission will not be able to take any official actions under Comments from the Public. Speakers will address the Mayor, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.
9. **ADDITIONS OR DELETIONS TO AGENDA AND APPROVAL OF AGENDA**

10. **MISCELLANEOUS REPORTS**

- a. Presentation of City of Fort Pierce 2020 Legislative Program by Nicole L. Fogarty, Legislative Affairs Director, St. Lucie County.

11. **CONSENT AGENDA**

- a. Approval of travel for Commissioner Perona to attend the FPPTA Trustee School on October 06, 2019 - October 09, 2019 for the Fort Pierce Retirement Board in the total amount of \$1,543.88
- b. Approval of an Interlocal Agreement with St. Lucie County and Port St. Lucie for the operation of a temporary animal shelter effective October 1, 2019.
- c. Approval of Blanket Purchase Orders for the Public Works Department for Fiscal Year 2019-2020 to ensure efficient maintenance, service and repair of all City owned facilities, amenities and equipment, in the total budgeted amount of \$1,099,000.00.

12. **PUBLIC HEARINGS**

- a. Ordinance 19-038 Levying and collecting taxes for Fiscal Year beginning October 1, 2019 and Ending September 30, 2020, adopting Final Millage Rate. SECOND READING
- b. Ordinance 19-039 Adopting a Final Budget for Fiscal Year 2020, beginning October 1, 2019 and ending September 30, 2020. SECOND READING
- c. Legislative Hearing - Ordinance 19-031 - an application submitted by the property owner, St. Lucie County, applicant Blue Sky Communities, and representative Dennis Murphy of Culpepper & Terpening, for a Future Land Use Map Amendment for a parcel of land, 9.186 acres in total, to change the Future Land Use designation for parcel ID 2419-211-0004-000-8, from GC, General Commercial, to RH, High Density Residential. SECOND READING
- d. Legislatve Hearing - Ordinance 19-032 Review and approval of an application for Zoning Atlas Map Amendment to rezone property from C-3, General Commercial to R-5, High Density Residential on Parcel ID 2419-211-0004-000-8 in Fort Pierce, Florida. SECOND READING
- e. Legislative Hearing - Ordinance 19-034 Text Amendment 22-22 - An ordinance amending the code of ordinances of the City of Fort Pierce, Florida Chapter 22, Article III, Section 22-22, amending the use table to allow limited vehicle repair and general vehicle repair uses to be allowed by right in lieu of requiring a conditional use approval; amending the use table by creating a new use category "marine-related repair" and providing for its allowance in certain zoning districts. SECOND READING

- f. Legislative Hearing - Ordinance 19-035 FLUMA - an application submitted by the property owner, Yo No Se LLC, and representative, Darren Guettler, P.E of Velcon Engineering & Surveying, LLC for a Future Land Use Map Amendment for one (1) parcel of land, 1.19 acres in total, to change the Future Land Use Designation, within the Comprehensive Plan, from RM, Medium Density Residential to GC, General Commercial. Said Parcel is generally located south of Ohio Avenue & 417 ft. west of South US Highway 1, Ft. Pierce, FL. 34950. SECOND READING
- g. Legislative Hearing - Ordinance 19-036 Rezoning the property generally located at PARCEL ID: 2415-312-0001-010-8, from R-4, Medium Density Residential Zone, TO C-3, General Commercial Zone. SECOND READING
- h. Legislative Hearing - Ordinance 19-037 - An Ordinance by the City Commission of the City Of Fort Pierce, Florida; modifying the Harbour Isle Planned Development to revise the previously approved Site Plan for a convenience store with fuel sales on property generally located at 835 Seaway Drive; providing for a severability clause; repealing all Ordinances or parts thereof in conflict herewith; and providing for an effective date. SECOND READING

13. **CITY COMMISSION**

- a. Resolution 19-R41 appointing a member to serve on the Fort Pierce Utilities Authority.
- b. Resolution 19-R42 appointment of members to serve on the Parks Advisory Committee.

14. **COMMENTS FROM THE PUBLIC**

Any person who wishes to comment on any subject may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Mayor, as this section of the Agenda is limited to thirty minutes. The City Commission will not be able to take any official actions under Comments from the Public. Speakers will address the Mayor, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

15. **COMMENTS FROM THE CITY MANAGER**

16. **COMMENTS FROM THE COMMISSION**

17. **ADJOURNMENT**

Immediately following adjournment, please move toward the doors and exit the chambers. This allows for the safe and courteous exit of all persons, and those on the dais. Conversations after the meeting should be held outside of chambers, in the foyer or elsewhere, but not in the commission chambers where lights will be out as soon as the chambers are empty.

Pursuant to Section 286.0105, Florida Statutes, the City hereby advises you that if you or another person decide to appeal any decision made by the City Commission with respect to any matter considered at its meeting or hearing, that you or said person will need a record of the proceedings, and that for such purpose, affected persons may need to insure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the City for the introduction or admission into evidence of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

City Commission Meeting 5:05 PM

7. a.

Meeting Date: 09/23/2019

Re: Letter from Judith Cruz

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Letter from Judith Cruz, President/CEO, Treasure Coast Food Bank thanking the City of Fort Pierce for a Public Service Grant Award in the amount of \$5,000 to the food bank.

Attachments

Letter from Judith Cruz

Form Review

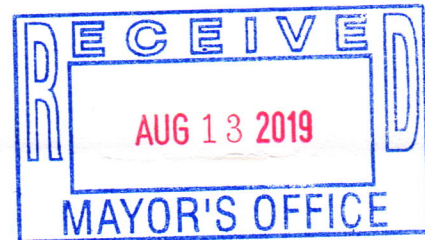
Inbox	Reviewed By	Date
City Manager	Nick Mimms	08/28/2019 09:17 AM
Form Started By: Jennifer Robinson		Started On: 08/21/2019 11:12 AM
Final Approval Date: 09/04/2019		

Food Bank



August 6, 2019

Mayor Linda Hudson
City of Fort Pierce
100 N US Hwy. 1
PO Box 1480
Fort Pierce, FL 34954



Dear Mayor Hudson,

Thank you so much for your generous gift of **\$5,000.00** to the Treasure Coast Food Bank.

As an independent 501(c)3, we appreciate all the contributions we receive from generous donors since we do not have any national or statewide entities whose focus is to fundraise on our behalf.

Your thoughtful commitment to Treasure Coast Food Bank will have a direct impact on individuals in Indian River County who do not know where their next meal is coming from. This includes children in our community who may go to bed at night with hunger pains.

As a valued member of our family, you are always welcome to visit the food bank to witness your donation at work. We would be honored to give you a behind the scenes look at our operations and share other ways to help fight hunger in our community.

Together, we can solve hunger. Thank you for your support and compassion.

Sincerely,

Judith Cruz
President/CEO

No goods or services were provided in exchange for this contribution. Treasure Coast Food Bank is a tax-exempt organization as described in Section 501(c)(3) of the Internal Revenue Code (EIN#650123281).

401 Angle Road, Fort Pierce, FL 34947
tel 772-489-3034 • 772-489-5676 • fax 772-489-5673
stop hunger.org

City Commission Meeting 5:05 PM

7. b.

Meeting Date: 09/23/2019

Re: Email from Jim Bede

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Email from Jim Bede in recognition of Anne Bowen, Marina Concierge, who is an asset to the City of Fort Pierce.

Attachments

Email from Jim Bede

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	09/13/2019 10:10 AM
City Manager	Nick Mimms	09/13/2019 10:10 AM
Form Started By: Jennifer Robinson		Started On: 09/11/2019 01:50 PM
Final Approval Date: 09/13/2019		

From: Linda Hudson <LHudson@cityoffortpierce.com>

Sent: Tuesday, September 10, 2019 3:40 PM

To: Jim Bede <jln17@msn.com>

Cc: Nick Mimms <nmimms@cityoffortpierce.com>

Subject: Re: City Employee Compliment

How wonderful to hear from you and to read the positive experiences you've had with our Marina staff. Yes, I remember that baseball crucial moment. I still love the Cubs, but that's a lifetime commitment.

I'm sharing your email with management. Look forward to seeing you again.

Linda Hudson

Mayor

772-467-3065

100 North US Highway 1

Fort Pierce, Florida 34950

From: Jim Bede <jln17@msn.com>

Sent: Tuesday, September 10, 2019 2:56:23 PM

To: Linda Hudson <LHudson@cityoffortpierce.com>

Subject: City Employee Compliment

[EXTERNAL EMAIL] Please report any suspicious attachments, links, or requests for sensitive information to IT immediately.

Dear Mayor Hudson,

It has been awhile since the last time I saw you, I am the person who has the hangars out at Fort Pierce Airport where we had the lunch-in to celebrate some of the kids achievements. It was a great day except when I finally got back to Cleveland, Ohio that night; the Indians lost game 7 of the World Series to the Cubs. I made it to my seat with 7 minutes to spare!

Let me extend an invitation if our facility can be at any use to you for future functions.

The gist of this note is to let you know that you have an employee, her name is Ann Bowen, she is the concierge at the Fort Pierce City Marina. At times she puts up with 200 different personalities! She always represents the City in a positive light. She truly is an asset to the City of Fort Pierce. I do have two boats there at the marina and I frequently bring potential associates down to the marina area. It really is an impressive area, with all the different restaurants and shops. If we had more space at the airport, I know two potential businesses that would be interested in setting up an office there.

Sincerely Yours,

Jim Bede

330-805-6984

City Commission Meeting 5:05 PM

10. a.

Meeting Date: 09/23/2019

Re: 2020 Legislative Program

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Presentation of City of Fort Pierce 2020 Legislative Program by Nicole L. Fogarty, Legislative Affairs Director, St. Lucie County.

Attachments

Legislative Priorities 2020

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	09/18/2019 04:20 PM
City Manager	Nick Mimms	09/18/2019 04:20 PM
Form Started By: Jennifer Robinson		Started On: 09/06/2019 04:31 PM
Final Approval Date: 09/18/2019		



CITY OF FORT PIERCE

LEGISLATIVE PRIORITIES 2020



ECONOMIC DEVELOPMENT

State and Local Economic Development Partnerships

The City of Fort Pierce **SUPPORTS** legislation and appropriation that enhances the efficiency and effectiveness of the state and local government partnership in economic development through the greater use of targeted strategic investments to induce sustainable economic activity resulting in a consistent positive return on investment for both state and local governments.

Enterprise Florida/Job Growth Grant Fund

The City of Fort Pierce **SUPPORTS** an increase in funding of the Florida Job Growth Grant, to restore it to its former level of \$85 million. In 2018, the City was successful in securing funding through this program to assist in the expansion and relocation of Natalie's Orchid Island Juice Company. Furthermore, to support the state's economic development toolkit in a manner that supports increased economic growth and development by incentivizing businesses to relocate to or expand in all regions of the state of Florida.

Qualified Targeted Industries Tax Refund

The Qualified Target Industry (QTI) Tax Refund is a tool available to Florida communities to encourage quality job growth in targeted high value-added businesses, such as life sciences, aviation/aerospace or financial/professional services. If approved, the applicant may receive refunds on the taxes it pays. This includes corporate income, sales, ad valorem, intangible personal property, insurance premium, communications services, and certain other taxes.

This economic tool allows the City to leverage our respective community when competing to obtain new or expanding businesses to our area, as well as assisting our existing businesses with retention. If this program is to sunset, it could jeopardize our performance in the marketing arena on a state, national or international level, placing our City in a difficult position economically.

The City of Fort Pierce **SUPPORTS** the reauthorization of the Qualified Targeted Industries Tax Refund, which is scheduled to sunset in June of 2020, for an additional 10 years.

Public Record and Open Meeting Exemptions for Economic Development

The City of Fort Pierce **SUPPORTS** changes to s.286.0113 and s.288.075, F.S., that would allow the City Commissioners to deliberate in private regarding an economic development proposal and preserve the confidentiality of confidential information in the possession of an economic development agency.

Visit Florida

Over the past five years, St. Lucie County and the City of Fort Pierce has seen tremendous tourism growth in with three consecutive record years in tourist tax collections. Since 2012, tourist tax revenues have increased 37.8%.

This kind of growth does not happen by accident. It is the direct result of tourism marketing. The St. Lucie County Tourism Development Council works closely with Visit Florida, the State's tourism marketing organization, on a variety of cooperative programs, initiatives and marketing efforts to extend our message into key markets that would otherwise be unattainable due to our limited budget. Without Visit Florida's support, exposure and global buying power, SLC's message would be otherwise unheard in the markets we target for visitors.

A reduction in state funding to Visit Florida would result in a reduction in the cooperative marketing opportunities Tourism Development Council currently utilizes. The travel industry has become increasingly competitive and other states are outspending Florida to market their destinations and therefore gain more market share. The City **SUPPORTS** continued funding of the program at a level which is productive for the organization and for the growth of tourism marketing on behalf of the City. Furthermore, the City **SUPPORTS** the initial reauthorization of Visit Florida for another 10 years.

St. Lucie Cultural Alliance

St. Lucie Cultural Alliance is the representative organization for the arts and cultural sector in St. Lucie County. The mission of the St. Lucie Cultural Alliance is to better position the arts and cultural sector as a significant contributor to the vibrancy, and educational and economic wellbeing, of St. Lucie County. The City of Fort Pierce **SUPPORTS** the full funding of the Department of State's Division of Cultural Affairs to better assist St. Lucie Cultural Alliance's application for the in the Underserved / Salary Assistance category for FY2020-21 funding in the amount of \$25,000.



BUDGET & TAXATION

Home Rule Authority

During the 2017 and 2018 Legislative Session, there were a significant number of legislative bills filed that proposed to preempt the Home Rule Authority of local governments thereby preventing the ability of local governments to respond in a timely manner to matters of local importance. It is imperative and critical that decisions and legislation regarding local government services be left to the form of government closest to the citizens. Therefore, the City **OPPOSES** any legislation which would preempt their Home Rule Authority.

Unfunded Mandates

The State Legislature has frequently passed legislation that compels local governments to provide a service, program, or benefit without providing the appropriate funding or a funding source. This compromises local governments' ability to provide services requested by their local communities by diverting resources to these state-directed, unfunded mandates or cost shifts. In addition, as more and more mandates are created, local governments are faced with the burden of using local tax dollars to finance functions that they have little control over.

The state must do a better job of truthfully identifying costs to local governments when passing new legislation and must provide funding or a funding source for every legislative initiative that imposes a cost on counties. City of Fort Pierce **OPPOSES** new unfunded mandates and unfunded state to city cost shifts.

Local Fuel Tax Indexing

Local fuel tax revenues, also known as gas tax, have been constantly eroding as the costs of road construction and maintenance has increased as well as vehicles becoming more fuel efficient. Unlike local governments, the Florida Department of Transportation has the ability to index their motor fuel tax rate as it relates to the Consumer Price Index (CPI). Without the ability for local governments to index, we are unable to keep pace with our growing transportation costs and needs.

The City of Fort Pierce **SUPPORTS** legislation to allow counties and municipalities the ability to annual index the local fuel tax as it relates to the Consumer Price Index (CPI).

LEVEL	TAX	AMOUNT
Federal		
(Not Indexed)	Fuel Excise Tax	Gasoline - 18.4¢/gal Gasohol - 18.4¢/gal Diesel - 24.4¢/gal
State (Distributed to FDOT)		
(Indexed)	Fuel Sales Tax	All Fuels - 13.4¢/gal
(Indexed)	SCETS Tax	Gas/Gasohol - 6.1¢ to 7.4¢/gal Diesel - 7.4¢/gal
State (Distributed to Local Gov'ts)		
(Not Indexed)	Constitutional Fuel Tax	All Fuels - 2¢/gal
(Not Indexed)	County Fuel Tax	All Fuels - 1¢/gal
(Not Indexed)	Municipal Fuel Tax	All Fuels - 1¢/gal
Local		
(Not Indexed)	Ninth-Cent Fuel Tax	Gas/Gasohol - 0 to 1¢/gal Diesel - 1¢/gal
(Not Indexed)	Local Option Fuel Tax	Gas/Gasohol - 0 to 11¢/gal Diesel - 6¢/gal

Communication Services Tax

The City of Fort Pierce **SUPPORTS** legislation that protects general revenues collected from the local communications services tax. These revenues are used to provide essential municipal services, such as public safety, and constructing and maintaining roads, bridges, public parks and open spaces. Maintaining a diversified revenue base strengthens the fiscal stability of local governments and improves their ability to serve all citizens and businesses.

Sales Tax Equity

The City of Fort Pierce **SUPPORTS** legislation that reforms Florida's sales tax laws that apply to online sales from out of state retailers. Changes to these laws are needed to ensure that consumers and retailers are treated fairly and equitably.

Local Business Tax

The City of Fort Pierce **SUPPORTS** legislation that protects general revenues collected from the local business tax. Currently, the City imposes a local business tax for the privilege of engaging in or managing a business, profession or occupation within the City's jurisdiction. The local business tax revenues collected by the City is used to assist funding services critical to our businesses, such as zoning, permitting, code enforcement, and police.

Sales Tax on Commercial Leases

The City of Fort Pierce **OPPOSES** legislation that repeals or reduces the state sales tax and local option sales tax on commercial leases. Since 1969, Florida has imposed a sales tax on the total rent charged under a commercial lease of real property. Commercial real property includes land, buildings, office or retail space, convention or meeting rooms, airport tie-downs, and parking and docking spaces.

GENERAL ADMINISTRATION

Resources In Community Hope (RICH) House | \$500,000

The City of Fort Pierce **REQUESTS** funding to assist in establishing a Safe Haven in the heart of the Lincoln Park neighborhood, which disproportionately has the highest rate of violent crimes. This Community Center will help foster Community and Police relationships while providing much needed programs with role models, tutors and liaisons under the direction of the Fort Pierce Police Department. The Mission of The RICH House is to empower lives and strengthen the community by providing an opportunity for parents, children and residents of all ages to be involved in a wide range of learning, social and physical activities.

Public Safety/School Resource Officers

The City of Fort Pierce **SUPPORTS** legislation in the continued effort to fully fund the mandated positions of School Resource Officers (SRO) in schools. This mandate has placed a heavy burden on local agencies to fund additional SRO's through ad valorem taxes. Funding of the recurring cost of SRO's through the requirement of this mandate is unsustainable, resulting in the necessity of cutting other public services and having a direct negative impact on the welfare and public safety of all local government entities in the state.

Fort Pierce Public Safety and Emergency Operations Center | \$827,000

The City of Fort Pierce **REQUESTS** funds to assist in the design and engineering of a much needed Public Safety and Emergency Operations Center. The current emergency operations center is old and beyond repair, to the point of the City not being able to utilize the facility for public safety training or natural disaster operations. The new facility will be an estimated 25,000 sq. ft. building that can withstand 190 mph winds and will be engineered to enable the continuation of local public safety training and government operations during a natural disaster event.

ENVIRONMENTAL & NATURAL RESOURCES



Department of Environmental Protection Beach Funding & Permitting

The Beach Management Funding Assistance Program is a Long-Range Budget Plan administered through the Florida Department of Environmental Protection (FDEP) to assist eligible local governments with their beach erosion control projects. Each application request must include a detailed project description, cost estimate, and supporting resolution from the governing body. Individual projects then receive a priority ranking based upon several criteria. The City of Fort Pierce **SUPPORTS** the request by St. Lucie County for the funding as detailed below.

Project	Project Description	Requested Amount	Match
Fort Pierce Shore Protection Project	2021 physical and biological monitoring/tilling	\$140,000	\$140,000
Fort Pierce Inlet Management Plan	2021 Post-Construction Physical/Biological Monitoring	\$27,500	\$27,50
	TOTAL	\$167,500	\$167,500



Comprehensive Water Reform

The City of Fort Pierce **SUPPORTS** legislation intended to assess and regularly report the financial need to address Florida's water infrastructure relating to water supply including conservation, the protection of water quality, stormwater, wastewater, water reuse, flood control and environmental resource protection and restoration.

The City of Fort Pierce **SUPPORTS** legislation that promotes the identification of potential sources of sufficient funding to address the documented need, as well as, the development of priority and science-based grant programs for the implementation of projects, programs, and studies identified by local governments, the water management districts and state agencies.

The City of Fort Pierce **SUPPORTS** legislation requiring the assessment and evaluation of state agency efforts to address sea level rise and other weather impacts on the City. **SUPPORT** continued funding for research and mitigation for harmful algal blooms (HABs), including blue green algae, and red tide.

Indian River Lagoon, Lake Okeechobee Basin & Everglades

The City of Fort Pierce **SUPPORTS** continued dedicated funding for the Comprehensive Everglades Restoration Plan (CERP) and supports long-term funding commitments to finance the completion of the projects on the Integrated Delivery Schedule (IDS), with a priority given to the Indian River Lagoon-South (IRL-S) Project including funding for the C-23/24 and C-25 reservoirs and STAs.

The Indian River Lagoon-South Restoration Project, part of the Comprehensive Everglades Restoration Plan (CERP), was authorized to address the damaging effects of pollution and unnaturally large freshwater discharges and local basin runoff on our ecologically vital water bodies. The IRL-S Project employs a regional approach to address the Martin and St. Lucie County portions of the lagoon. The completion of this project will greatly reduce polluted discharges into the St. Lucie River and the Indian River Lagoon.

Vessel & Waterways

The City of Fort Pierce **SUPPORTS** revised statutory authority and continued state funding for the enforcement and removal of derelict vessels, with emphasis on chronic offenders, and local regulation of vessels, mooring fields, bulkheads and seawalls, floating vessel platforms, and seagrasses.

Land Application of Biosolids

The City of Fort Pierce **SUPPORTS** the efforts of the state and local governments to prioritize the reduction and eventual elimination of the land application, and most importantly the composting of Class B and AA Biosolids. Both Class B and AA Biosolids contain high amounts of nitrogen and phosphorus. Biosolids provide an inefficient form of fertilization, as only a fraction of nutrients are plant available. This results in over fertilization, which runs off into surface waters or migrates into groundwater, leading to negative outcomes that affect surface and other water resources.

The City of Fort Pierce **SUPPORTS** efforts to immediately establish standard protocols and funding for the identification, tracking and monitoring of Biosolids, to include class AA Biosolids, application. Fund and promote emerging and innovative wastewater treatment technologies to improve Biosolids resource, recovery and management options.



TRANSPORTATION & INFRASTRUCTURE

The Port of Fort Pierce

In 2018, the County invested in the purchase of a 12 acre site, known as the King Maritime Terminal, at the Port of Fort Pierce. Although the Port of Fort Pierce lies physically within the City of Fort Pierce limits, management falls under the jurisdiction of St. Lucie County, which comprised of the St. Lucie County Board of County Commissioners. Currently, there is an interlocal agreement between the City of Fort Pierce and St. Lucie County which clarifies roles and responsibilities and sets the framework for future collaboration and partnership in port development.

In 1990, the Florida Legislature created the Florida Seaport Transportation & Economic Development (FSTED), an on-port investment program, which is administered by the FSTED Council, consisting of the port directors of the 15 public seaports, the Secretary of the Department of Transportation, and the Director of the Department of Economic Opportunity. This state and local investment entity is statutorily charged with accomplishing the state's seaport development mission of implementing capital improvement projects at the local level.

The City of Fort Pierce **SUPPORTS** the full funding of all projects within the Florida Department of Transportation's Seaport Program and the Florida Seaport Transportation & Economic Development (FSTED).

Transportation Funding

Municipalities have limited revenue options for funding transportation projects. A major portion of transportation funding flows to municipalities through the county, state and federal governments. Much of that funding is generated through a tax on gasoline, and recent data has shown the purchase of gasoline has decreased significantly, in effect decreasing the available revenue to municipalities for transportation infrastructure.

Transportation projects are often the catalyst for economic development and the result of growth within a community. As municipalities lack options to increase revenue and continue to struggle to fund local transportation projects, increased and alternative funding sources at the state level are a necessity. The City of Fort Pierce **SUPPORTS** legislation that provides opportunities for increased and alternative revenue sources for municipal transportation infrastructure projects.



Impact Fees

Impact fees and transportation concurrency are mechanisms used by local governments to ensure that new developments pay for the infrastructure needs they generate.

An impact fee is based on the proportionate share of the cost of the public facilities needed to serve new development. Florida law requires that calculation of an impact fee be based on the most recent and localized data. In addition, a city imposing an impact fee must provide for an accounting and reporting of impact fee collections and expenditures.

Transportation concurrency is a state law that requires each local government in Florida to adopt a comprehensive plan and implement regulations that require adequate basic services and facilities be provided at the same time as, or concurrent with, any new development.

The City of Fort Pierce **OPPOSES** legislation which would preempt their authority to set impact fees or transportation concurrency.

Micromobility Programs

SUPPORTS the City's ability to effectively manage micromobility programs. Local decision makers should retain the authority to enact appropriate regulations that protect public health, safety and welfare.



HEALTH & HUMAN SERVICES

Homelessness

The City of Fort Pierce **SUPPORTS** State funding for establishing and maintaining local homelessness programs, housing for the homeless, and operating capital for the aid groups and statewide agencies that oversee them.

Foreclosures, unemployment rates, and lack of job opportunities have left communities nationwide devastated with an increase of homelessness. Statistics show that Florida ranked third highest nationally in the number of homeless individuals in 2012, with approximately 54,300 homeless individuals. Homelessness brings many complications to communities besides leaving thousands of people without a sustainable living environment. Having more affordable housing in the community can help individuals at risk of being homeless.

Affordable Housing

The State of Florida established the Sadowski Housing Trust Fund to create a source of funding for affordable housing. Funding comes from a dedicated tax on housing transactions. Recently, the trust fund has been swept by the State Legislature for other uses.

The City of Fort Pierce **SUPPORTS** allocating the full amount of dedicated documentary tax revenues for state and local affordable housing programs, as well as, the investment in affordable housing to create jobs in home repair, hardening homes, retrofitting and constructing affordable rental units, and lowering energy costs to make housing more affordable.

Mental Health/Substance Abuse Services and Funding

In the last two years over \$30 million in mental health funding had been lost to Florida's communities. Increased community funding is required to meet the needs of persons residing in the Treasure Coast who are mentally ill and often also have severe substance use disorders.

Additionally, the human and economic costs of untreated mental illness in our state continue to rise. Those costs include the criminalization of people with untreated mental illness, family erosion, substance abuse, job loss, domestic violence, homelessness, medical problems, crime and suicide. Florida must do more to invest and fund community-based and integrated mental healthcare.

The City Fort Pierce **SUPPORTS** efforts to increase supportive housing, jail diversion, and employment and education initiatives for people with mental health or substance abuse issues, diverting, medically assisting, or treating mentally ill outside of the criminal justice process through alternative programs, such as Crisis Intervention Teams, and continued efforts to work through Medicaid reform initiatives to ensure that persons with substance abuse and mental health treatment needs are appropriately served.

Furthermore, the City **SUPPORTS** appropriate funding for core mental health and substance abuse services. **SUPPORTS** increased funding of the Criminal Justice Mental Health and Substance Abuse Reinvestment Grant Program with recurring dollars in a trust fund. **SUPPORTS** sustainable matching state funds to counties that have received both planning and implementation Reinvestment Grant funds.

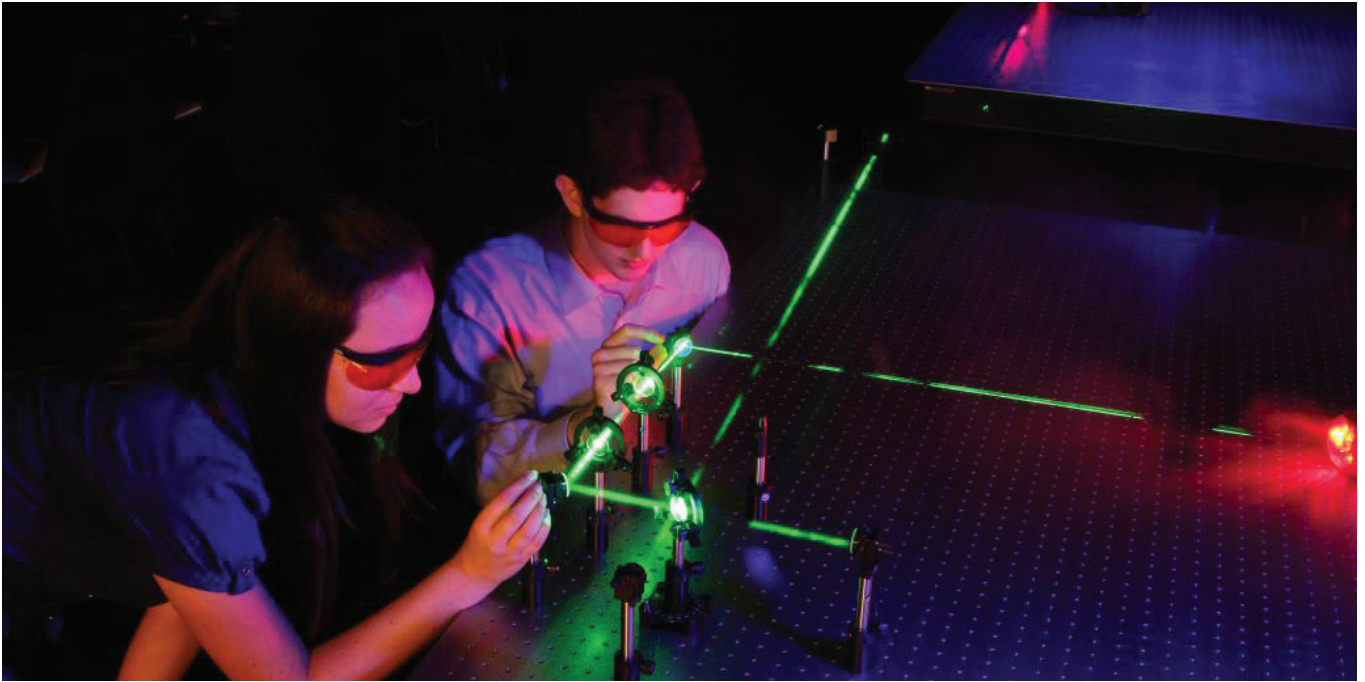
Healthy Families

The City of Fort Pierce **SUPPORTS** a continuation of funding for the Florida Healthy Families program.

Early Steps Program

Treasure Coast Early Steps Program, within Children's Medical Services, serves families with infants and toddlers, birth to 36 months of age, who have developmental delays or an established condition likely to result in a developmental delay. Each child receives an Individualized Family Support Plan (IFSP) that meets his or her needs. Families and caregivers also receive support to develop the skills and confidence they need to help their children learn and develop. The City **SUPPORTS** continued funding of the program.

EDUCATION



State Library Funding

Local governments receive State support for libraries through three different programs: the State Aid program, the Regional Multi-type Library Cooperative Grant program, and the Public Library Construction Grant program. The City of Fort Pierce **SUPPORTS** the continuation of these funding sources to ensure that the State will play an appropriate role in enhancing public library service by matching local library expenditures, enhancing consortia services to area libraries, and providing needed dollars for the construction of new public libraries.

Indian River State College

The City of Fort Pierce **SUPPORTS** IRSC's top legislative priority in 2020 - full funding to construct the Treasure Coast Advanced Manufacturing Center. IRSC is requesting \$10,637,108 in Public Education Capital Outlay (PECO) funding to build a state-of-the-art, 55,000+ square foot training facility on its main campus. The \$23.3 million project has received a combined \$10.7 million in previous legislative sessions (including \$4.2 million in 2019) and will have a local, private fund match of \$2 million from the IRSC Foundation.

The Advanced Manufacturing Center will expand IRSC's capacity to offer training in smart and additive manufacturing, and serve as home to important industrial skills programs such as HVAC, Automotive Technology, Welding, Electrical Systems, and more. The endeavor will additionally provide new opportunities for industry partnerships, applied learning and apprenticeships, and K-12 engagement in Dual Enrollment, CAPE, and beyond. This modern educational facility will also be instrumental in supporting regional economic development efforts, including those in St. Lucie County with respect to the Port of Fort Pierce, the Treasure Coast International Airport, and more.





Mission Statement

To provide community leadership, quality public service, and a safe environment for all citizens, by an empowered team of employees motivated by pride in themselves and their work.

City Commission Meeting 5:05 PM

11. a.

Meeting Date: 09/23/2019

Re: Perona Trustee School

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Approval of travel for Commissioner Perona to attend the FPPTA Trustee School on October 06, 2019 - October 09, 2019 for the Fort Pierce Retirement Board in the total amount of \$1,543.88

SUMMARY:

Attendance is required for certification.

RECOMMENDATION:

Approval.

ALTERNATIVES:

Do not approve.

RESPONSIBLE STAFF:

Johnna Morris, Finance Director.

COORDINATED WITH:

City Clerk's Office.

Fiscal Impact

OTHER INFORMATION:

Funds will be allocated from the Retirement Fund.

Attachments

Travel Docs

Form Review

Inbox

City Manager

Form Started By: Maura Stokes

Final Approval Date: 09/13/2019

Reviewed By

Nick Mimms

Date

09/13/2019 10:10 AM

Started On: 09/11/2019 09:59 AM

REGISTRATION INFORMATION

FPPTA Trustee School
2946 Wellington Circle
Suite A
Tallahassee, FL. 32309
(850) 668-8514

TRAVEL EXPENSE STATEMENT

HOTEL INFORMATION

Sawgrass Marriott
1000 PGA Tour Blvd.
Ponte Vedra Beach, Florida 32082

DATE: 09/09/19

- 1. TRAVELER'S NAME THOMAS PERONA
2. DEPARTURE DATE: 10/06/2019
3. RETURN DATE: 10/09/2019
4. DESTINATION: Ponte Vedra Beach, Flori
5. CODE CHARGE: 603 6300 513 40 20
6. AMT BUDGETED:

- DEPARTMENT: Retirement
DEPARTURE TIME: 12:00 pm
RETURN TIME: 5:00 pm
PURPOSE: FPPTA TRUSTEE SCHOOL
Sawgrass Marriott
Ponte Vedra Beach, Florida

7. BALANCE AVAILABI

Expenses must comply with City Code of Ordinances 1-158.
Per Diem Allowance \$50.00 or \$12.50 per quarter day.
Class A Travel 24-hour day.

- * REGISTRATION FEE:\$670 confirmation# 61879862287
* HOTEL BILL: Confirmation # 32M9Z7L8
BAGGAGE ALLOWANCE (\$5 PER PERSON)
* COMMUNICATION:
* FARES: AIR FARE
* TAXI, BUS
* CAR RENTAL
* MILEAGE @ 0.58 424
* GASOLINE EXPENSE
* TOLL ROAD FEES OR PARKING FEES
* MISC. EXPENSES

Table with 4 columns: PREPAID EXPENSES, CREDIT CARD, ESTIMATED CASH EXPENSES, ACTUAL CASH EXPENSES. Rows include registration fee, hotel bill, mileage, and meals.

- MEALS
0 BREAKFAST @ \$8.00
1 LUNCH @ \$8.00
3 DINNER @ \$20.00
SPECIAL LUNCHEON/BANQUET
7% STATE TAX
15% GRATUITIES

BREAKFAST = When travel begins before 6:00 a.m. and extends beyond 8:00 a.m.
LUNCH = When travel begins before 12:00 noon and extends beyond 2:00 p.m.
DINNER = When travel begins before 6:00 p.m. and extends beyond 8:00 p.m.

TOTALS

Summary table with 4 columns: PREPAID EXPENSES (0.00), CREDIT CARD (1,210.00), ESTIMATED CASH EXPENSES (333.88), ACTUAL CASH EXPENSES.

ADVANCE CASH RECEIVED:
REFUND DUE CITY:
REFUND DUE EMPLOYEE:

TRAVEL APPROVED BY: [Signature]
DEPARTMENT SUPERVISOR
CITY MANAGER
(220 WITH CITY MANAGER SIGNATURE ACCEPTED)

EXPENSES ARE ALSO INCLUDED FOR THE FOLLOWING PERSONS:

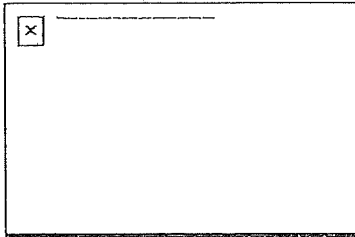
* RECEIPT REQUIRED
REV 1/16 DLN

"BASED ON CITY COMMISSION APPROVAL"

Christine Paz

From: The Sawgrass Marriott Golf Resort & Spa, a Marriott Resort Team
<groupcampaigns@pkghlrss.com>
Sent: Wednesday, August 21, 2019 12:02 PM
To: Christine Paz
Subject: The Sawgrass Marriott Golf Resort & Spa, a Marriott Resort Reservation Update Confirmation

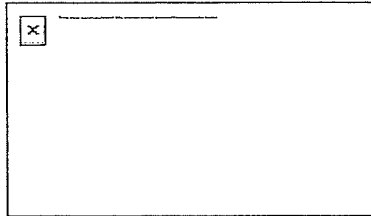
[EXTERNAL EMAIL] Please report any suspicious attachments, links, or requests for sensitive information to IT immediately.



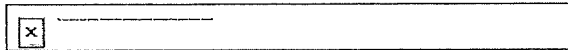
Sawgrass Marriott Golf Resort & Spa
1000 PGA TOUR Boulevard
Ponte Vedra Beach, FL 32082 US
Phone: 904-285-7777 Fax: 904-285-0906



Code:
TSOCT19

Reservation for THOMAS PERONA



Online Confirmation Number: 32M9Z7L8
Check-in: Oct 6, 2019 (Check-in time: 4:00 PM)
Check-out: Oct 9, 2019 (Check-out time: 11:00 AM)



-  [View Hotel Website](#)
-  [Maps & Transportation](#)

Dear **THOMAS PERONA,**

We look forward to welcoming you to Sawgrass Marriott Golf Resort & Spa for Florida Public Pension Trustees Association. The below confirms recent changes made to your reservation.

Sawgrass Marriott Golf Resort & Spa

Planning Your Trip

- [Visit Ponte Vedra Beach area](#)



Reservation Details

Confirmation number: 32M9Z7L8
Your hotel: Sawgrass Marriott Golf Resort & Spa
Check-in: Oct 6, 2019 (Check-in time: 4:00 PM)
Check-out: Oct 9, 2019 (Check-out time: 11:00 AM)
Room type: Standard Guestroom - 1 King or 2 Doubles
Number of rooms: 1
Guests per room: 1
Guest name: THOMAS PERONA
Reservation confirmed: Aug 21, 2019
Guarantee method: Credit Card

Summary of Room Charges	Cost per night per room (USD)
Oct 6, 2019 - Oct 9, 2019	180.00
Estimated taxes and fees	Room Rates shown do not include 6.5% State Tax, 4% County Tax (subject to change) and any applicable resort fees.
Total for stay (for all rooms) not including applicable taxes/fees	540.00
Add-Ons: Sawgrass Marriott Golf Resort & Spa will make every effort to accomodate the below requests, however they are not guaranteed.	
<ul style="list-style-type: none">• E5	

Canceling your Reservation

Cancellations made within 72 hours prior to arrival will forfeit one night's room and tax.

You may modify or cancel your reservation [here](#) or call 800-457-4653 in the US and Canada. Elsewhere, call . Contact us if you have any questions about your reservation.

Travel Alerts

Please Note: All Marriott hotels in the USA and Canada, are committed to a smoke-free policy. [Learn More](#)

Internet Privacy, Authenticity

Your privacy is important to us. [Please visit our Internet Privacy Statement for full details.](#) This email confirmation is an auto-generated message. Replies to automated messages are not monitored.

This email was sent by Passkey International, Inc.
On behalf of:
Sawgrass Marriott Golf Resort & Spa

This is probably related to a problem in your Outbound Email Settings (Administer CiviCRM » System Settings » Outbound Email), OR the FROM email address specifically configured for your contribution page or event. Possible causes are:

- Your SMTP username or Password are incorrect.
- Your SMTP Server (machine) name is incorrect.
- You need to use a port other than the default port 25 in your environment.
- Your SMTP server is not responding right now (it is down for some reason).
- The FROM email address configured for this feature may not be a valid sender based on your email service provider rules.

GET INVOLVED

Check this page for more information.

Thank you for registering.

- Your registration has been processed successfully.
- A registration confirmation email has also been sent to tperona@cityoffortpierce.com

Event Information

Registration for the Fall Trustee School.

When October 6th, 2019 12:00 AM through October 9th, 2019 12:00 AM

Location Sawgrass Marriott
1000 PGA TOUR BLVD
PONTE VEDRA, FL 32082-3036

Contact Phone: (904) 280.7007 ext. 6329

Tom Perona

Event Fees

Item	Qty	Unit Price	Total Price	Total Participants
FTS Active Registration – Pension Board Registration	1	\$ 670.00	\$ 670.00	0

Event Total: \$ 670.00

Total Participants: 1

Transaction Date: August 23rd, 2019 10:14 AM

Transaction #: 61879862287

Participant Information



City Commission Meeting 5:05 PM

11. b.

Meeting Date: 09/23/2019

Re: Animal Shelter Interlocal

SUBJECT:

Approval of an Interlocal Agreement with St. Lucie County and Port St. Lucie for the operation of a temporary animal shelter effective October 1, 2019.

SUMMARY:

This agreement allows all jurisdictions to actively participate in the temporary animal shelter operation at the termination of the existing operation agreement with the Humane Society of St. Lucie County.

RECOMMENDATION:

Approve interlocal agreement.

ALTERNATIVES:

n/a

RESPONSIBLE STAFF:

Peter Sweeney, City Attorney

COORDINATED WITH:

St. Lucie County

Attachments

Interlocal Agreement

Form Review

Form Started By: Linda Cox
Final Approval Date: 09/13/2019

Started On: 09/13/2019 01:49 PM

INTERLOCAL AGREEMENT FOR OPERATON OF TEMPORARY ANIMAL SHELTER

THIS INTERLOCAL AGREEMENT is made and entered into this _____ day of _____, 2019, by and between **St. Lucie County**, a political subdivision of the State of Florida, by and through its Board of County Commissioners (referred to hereinafter as "County"), the **City of Fort Pierce**, a municipal corporation of the State of Florida, (referred to hereinafter as "Fort Pierce"), by and through its City Commission, and the **City of Port St. Lucie**, a municipal corporation of the State of Florida, (referred to hereinafter as "Port St. Lucie") by and through its City Council.

WITNESSETH:

WHEREAS, Section 163.01, Fla. Stat. (2019), the "Florida Interlocal Cooperation Act of 1969," provides that local governments, or public agencies, may cooperate by agreement with one another to provide services and facilities that will best meet the needs of local communities; and

WHEREAS, the above-named governmental entities are public agencies as that term is defined in Section 163.01(3)(a), Fla. Stat. (2019) referred to hereinafter as the "party" or "parties"; and

WHEREAS, each party currently contracts separately with the Humane Society of St. Lucie County, Inc., dba Second Chance Animal Shelters, (referred to hereinafter as "Humane Society") to provide certain animal services; and

WHEREAS, each party's existing agreement with the Humane Society expires on September 30, 2019; and

WHEREAS, the parties desired to enter into one unified contract with the Humane Society for certain animal services; and

WHEREAS, negotiations between the parties and the Humane Society for a unified contract took place and the parties and the Humane Society were unable to reach agreeable terms; and

WHEREAS, each party received a letter from the Humane Society on July 18, 2019 advising them to seek sheltering services elsewhere by October 1, 2019; and

WHEREAS, the governing body of each party voted to not renew their respective contracts with the Humane Society and to instead obtain emergency animal services on a temporary basis until a formal contract for said services could be established through a joint competitive bid process; and

WHEREAS, the parties have determined a joint animal shelter is the most efficient and effective means of offering such shelter services; and,

WHEREAS, the parties acknowledge it is necessary to operate a temporary shelter; and,

WHEREAS, the County has identified one of its buildings which is available for use as a temporary animal shelter, ("Temporary Shelter"); and,

WHEREAS, each party agrees to contribute to the cost of operating the Temporary Shelter.

NOW, THEREFORE, the parties hereby agree and covenant on the terms and conditions hereinafter stated:

1. **GENERAL.** This Agreement is entered into pursuant to Section 163.01, Florida Statutes, the Florida Interlocal Cooperation Act. This Agreement embodies the whole understanding of the parties. There are no promises, terms, conditions, or obligations other than those contained therein, and this Agreement shall supersede all previous telecommunications, representations, or agreements, either verbal or written, between the parties hereto.

2. **TEMPORARY SHELTER.**

A. The Temporary Shelter shall provide shelter for domestic animals seized or otherwise taken into custody by each of the parties and the St. Lucie County Sheriff's Department. The parties acknowledge and agree that the County provides animal control services to St. Lucie Village pursuant to an Interlocal Agreement recorded at Official Records Book 4283, Page 515 of the public records of St. Lucie County, Florida, and this Agreement shall extend to shelter services for such animals.

B. The County shall be responsible for the operation of the Temporary Shelter beginning October 1, 2019 through and including September 30, 2020, or until the execution of a contract with a third-party vendor for a permanent shelter is reopened for use by the parties, whichever first occurs. The County will provide staffing for the Temporary Shelter with County employees. The County Animal Safety Coordinator shall serve as manager of the Temporary Shelter. The County shall enter into a contract with a veterinarian(s) licensed in the State of Florida, to provide veterinary services to animals housed in the shelter. In addition, the County may, at its option, provide additional staffing through temporary employees, contracted labor, and/or St. Lucie County Jail trustees to provide supervised kennel and related services. The County shall also be responsible for the cost of materials, supplies, including veterinary supplies, and utilities for operation of the Temporary Shelter. In the alternative to operation of the Temporary Shelter by County staff, the County may enter into an emergency agreement with a third-party to operate the Temporary Shelter. The Temporary Shelter shall not be an "open shelter," and will not accept animals from the general public.

C. The parties acknowledge and agree that the County is paying the Humane Society a monthly amount of \$19,583.33 under its current contract and will expend this amount or more for the operation of the Temporary Shelter. Fort Pierce and Port St. Lucie shall contribute to the County's costs, or a third-party vendor's cost, in operating the Temporary Shelter through monthly payments to the County, or a third-party vendor, in the following amounts based upon 2019 payments for such shelter services provided by the Humane Society:

- (1) Fort Pierce - \$11,083.33
- (2) Port St. Lucie - \$12,708.33

Payments shall be due without invoice on or before the fifteenth day of each month during the term of the agreement.

D. Should the parties negotiate a contract with a third-party vendor, the following shall occur:

- 1. The St. Lucie County Board of County Commissioners delegates authority to the County Administrator to execute an emergency agreement, by October 1, 2019, for temporary, emergency animal services which shall be ratified by the Board of County Commissioners as soon thereafter as possible. The agreement with a third-party vendor shall not exceed the amount budgeted for animal services for fiscal year 2019 – 2020.
- 2. The Fort Pierce City Commission delegates authority to the City Manager to execute an emergency agreement, by October 1, 2019, for temporary, emergency animal services which shall be ratified by the City Commission as soon thereafter as possible. The agreement with a third-party vendor shall not exceed the amount budgeted for animal

services for fiscal year 2019-2020.

3. The City of Port St. Lucie City Council delegates authority to the City Manager to execute an emergency agreement, by October 1, 2019, for temporary, emergency animal services which shall be ratified by the City Council as soon thereafter as possible. The agreement with a third-party vendor shall not exceed the amount budgeted for animal services for fiscal year 2019-2020.

E. On or before the 30th day of the month during the term of this Agreement, the County, or third-party vendor shall provide a monthly report to the other parties indicating the number and type of animals taken into the shelter, the disposition of the animals, the jurisdiction from which the animals were received, and the expenditures related to the operations of the Temporary Shelter during the previous month.

F. In recognition of the impact the operation of the Temporary Shelter by the County may have on the function of the County's Animal Safety Division, the other parties agree to designate staff, as available, to assist the County in the staffing of the Temporary Shelter and/or Animal Safety Division operations within the unincorporated areas of the County if requested. If an agreement is reached with a third-party vendor, the parties shall decide if staff from the three parties will be needed and available to assist the third-party vendor.

4. **AGENCY REPRESENTATIVE.** Each party shall designate a member of its staff to serve as the contact person for the purposes of this Agreement.

5. **TERM; TERMINATION.** This agreement shall be effective on the date it is recorded in the public records of St. Lucie County, Florida, and shall remain in effect through and including September 30, 2020, unless terminated as herein provided. This agreement may be terminated upon the mutual agreement of the parties. An individual party may choose to opt out of this agreement upon providing a minimum of thirty (30) days prior written notice delivered to the other parties.

6. **NOTICE.** All notices or other communications hereunder shall be in writing and shall be deemed duly given if delivered in person or sent by certified mail return receipt requested and addressed as follows:

If to County:

St. Lucie County Administrator
2300 Virginia Avenue, Annex
Fort Pierce, Florida 34982

With copies to:

St. Lucie County Attorney
2300 Virginia Avenue, Annex
Fort Pierce, Florida 34982

As to Fort Pierce:

City Manager
City of Fort Pierce
100 N US 1
Fort Pierce, FL 34950

With a Copy to:

City Attorney
City of Fort Pierce
100 N US 1
Fort Pierce, FL 34950

If to Port St. Lucie:

City Manager
City of Port St. Lucie
121 S.W. Port St. Lucie Boulevard
Port St. Lucie, Florida 34984

With a copy to:

City Attorney
City of Port St. Lucie
121 S.W. Port St. Lucie Boulevard
Port St. Lucie, Florida 34984

7. **ENTIRE AGREEMENT.** This Agreement constitutes the entire Agreement between the parties with respect to the subject matter hereof and supersedes all prior verbal or written agreement between the parties with respect hereto. This Agreement may only be amended by a written document, properly authorized, executed and delivered by the parties hereto. This Agreement shall be interpreted as a whole unit. All interpretations shall be governed by the laws of the State of Florida.

8. **LIABILITY.** The parties to this Agreement shall not be deemed to have assumed any liability for the negligent or wrongful acts or omissions of the other party, or their respective officers, employees, servants or agents. Nothing contained herein shall be construed as a waiver, by either party, of the liability limits established in Section 768.28, Fla. Stat. (2019), or any other source of applicable governing law.

9. **SEVERABILITY.** Each provision of this Agreement is intended to be severable. If any term or provision hereof is illegal or invalid for any reason whatsoever, such illegality or invalidity shall not affect the validity of the remainder of this Agreement.

10. **AMENDMENTS.** No amendment, modification, or waiver of this Agreement or any part hereof, shall be valid or effective unless in writing and signed by all parties, and no waiver of any breach or condition of this Agreement shall be deemed to be a waiver of any other conditions or subsequent breach whether of like or different nature.

11. **FURTHER DOCUMENTS.** Each of the parties hereto agrees that it will execute and deliver such further instruments and do such further acts and things as may be necessary or desirable to carry out the purposes of this Agreement.

12. **SECTIONS-CAPTIONS.** Sections and other captions contained in this Agreement are for reference purposes only and are in no way intended to describe, interpret, define or limit the scope, extent or intent of this Agreement or any provision hereof.

13. **FILING.** This Agreement and any subsequent amendments hereto shall be filed with the Clerk of the Circuit Court of St. Lucie County pursuant to Section 163.01(11), Florida Statutes.

IN WITNESS WHEREOF, the parties have caused the execution by their duly authorized officials.

ATTEST:

Deputy Clerk

**BOARD OF COUNTY COMMISSIONERS
ST. LUCIE COUNTY, FLORIDA**

BY: _____
Chair

DATE: _____

**APPROVED AS TO FORM AND
CORRECTNESS:**

County Attorney

ATTEST:

City Clerk

CITY OF FORT PIERCE

BY: _____
Mayor

DATE: _____

**APPROVED AS TO FORM AND
CORRECTNESS:**

BY: _____
City Attorney

ATTEST:

City Clerk

CITY OF PORT ST. LUCIE

BY: _____
Mayor

DATE: _____

**APPROVED AS TO FORM AND
CORRECTNESS:**

BY: _____
City Attorney

City Commission Meeting 5:05 PM

11. c.

Meeting Date: 09/23/2019

Re: Approval of Public Works Blanket Purchase Orders for FY 2019-2020

Submitted For: Mike Reals, Public Works Manager, Public Works

SUBJECT:

Approval of Blanket Purchase Orders for the Public Works Department for Fiscal Year 2019-2020 to ensure efficient maintenance, service and repair of all City owned facilities, amenities and equipment, in the total budgeted amount of \$1,099,000.00.

SUMMARY:

The Public Works Department is requesting approval of Blanket Purchase Orders for FY 2019-2020. All Divisions of the Public Works Department will purchase parts, services and materials from the vendor with the best products & prices for city-wide repairs and maintenance. These vendors were chosen for their ability to deliver the needed materials and services in the most timely and cost efficient manner. Please see attached list for amounts and descriptions of the requested vendors. All vendor's prices have been proven competitive.

RECOMMENDATION:

Approval of the requested Blanket Purchase Orders for the 2019-2020 Fiscal Year.

ALTERNATIVES:

The alternative would be to issue purchase orders and/or paperless requisitions for every purchase, which would be very time consuming and lead to inefficiencies.

RESPONSIBLE STAFF:

Public Works Department

COORDINATED WITH:

Public Works and Purchasing Departments

Fiscal Impact

Budgeted Y/N: Y
Fiscal Year: 19
Account: Various
Amount: 1,099,000.00

FISCAL IMPACT:

The requested Blanket Purchase Orders will be shared between all divisions of the Public Works Department.

Attachments

BPO List 19-20

Form Review

Inbox

Finance Department
City Manager
Form Started By: Tanya White
Final Approval Date: 09/18/2019

Reviewed By

Johnna Morris
Nick Mimms

Date

09/18/2019 03:14 PM
09/18/2019 04:21 PM
Started On: 09/13/2019 11:33 AM

VENDOR NAME	AMOUNT
<u>FLEET MAINTENANCE - 4003</u>	
ELPEX	\$59,000.00
<ul style="list-style-type: none"> Goodyear Tire dealer offering State Contract prices. 	
<u>SOLID WASTE - 4200</u>	
A-1 BALERS & COMPACT	\$75,000.00
<ul style="list-style-type: none"> Repair of Hydraulic Cylinders 	
CPM WELDING	\$75,000.00
<ul style="list-style-type: none"> Welding repair 	
ELPEX/HICKMAN'S TIRE INC.	\$170,000.00
<ul style="list-style-type: none"> Goodyear Tire dealer offering State Contract prices. Full service tire company — new, recap, repair and suspension services. 	
FLORIDA REFUSE PARTS	\$60,000.00
<ul style="list-style-type: none"> Miscellaneous refuse truck parts. 	
IRON CONTAINER	\$100,000.00
<ul style="list-style-type: none"> 2, 4, 6, 8 cubic yard dumpsters 	
NEXTRAN TRUCK CENTER – (SOUTH/North Merged)	\$100,000.00
<ul style="list-style-type: none"> Closest dealer – Mack truck OEM repair parts, service, warranty. 	
SSI PETROLEUM	\$100,000.00
<ul style="list-style-type: none"> OEM approved lubricants, Oil – Hydraulic & Transmission. 	
TOTER	\$200,000.00
<ul style="list-style-type: none"> Manufacturer of 96 gallon refuse containers, replacement parts 	
<u>STREETS & DRAINAGE - 4006</u>	
L & S ENTERPRISES	\$60,000.00
<ul style="list-style-type: none"> Emergency energy repairs services/street lighting. 	
LIGHTWORKS, INC.	\$100,000.00
<ul style="list-style-type: none"> Decorative street light parts/replacements. 	

City Commission Meeting 5:05 PM

12. a.

Meeting Date: 09/23/2019

Re:

SUBJECT:

Ordinance 19-038 Levying and collecting taxes for Fiscal Year beginning October 1, 2019 and Ending September 30, 2020, adopting Final Millage Rate. SECOND READING

Attachments

19-038

Proof of Publication

Form Review

Form Started By: Linda Cox

Started On: 09/09/2019 01:43 PM

Final Approval Date: 09/09/2019

ORDINANCE NO. 19-038

AN ORDINANCE OF THE CITY OF FORT PIERCE, FLORIDA; PROVIDING FOR THE **LEVYING AND COLLECTING OF TAXES FOR THE CITY OF FORT PIERCE, FLORIDA, FOR FISCAL YEAR BEGINNING OCTOBER 1, 2019 AND ENDING SEPTEMBER 30, 2020**, FOR THE PURPOSE OF RAISING SUCH AMOUNT AS MAY BE NECESSARY TO CARRY ON THE GOVERNMENT OF SAID CITY DURING SAID FISCAL YEAR AND TO PAY FUNDS SO COLLECTED INTO THE ACCOUNTS PROVIDED THEREFOR; **ADOPTING THE CITY OF FORT PIERCE 2019-20 FISCAL YEAR FINAL MILLAGE RATE**; AND PROVIDING FOR AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA:

SECTION 1. The final millage rate of the City of Fort Pierce, Florida, for the Fiscal Year 2019-20 is hereby levied at the rate of 6.9000 per thousand dollar valuation for general City purposes; said rate being in excess of the roll-back rate by 7.21%.

SECTION 2. The City Commission of the City of Fort Pierce, Florida hereby levies a tax of 6.9000 per thousand dollar valuation on all real and personal property within the corporate limits of said City, subject to tax on the first day of January 2019, provided however that such 6.9000 shall not be levied upon property in the City of Fort Pierce exempt under state statute or federal constitution.

SECTION 3. That the City Manager is hereby instructed and directed to certify to the St. Lucie County Property Appraiser the above and forgoing enumerated Millage to be levied for all purposes, for the 2019-20 fiscal year in the said City of Fort Pierce, Florida, pursuant to the provision of the laws of the State of Florida and the Charter of the City of Fort Pierce.

SECTION 4. This ordinance shall be and become effective October 1, 2019.

APPROVED AS TO FORM & CORRECTNESS:

Pete Sweeney, Esq.
City Attorney

STATE OF FLORIDA
COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No. 19-038 was duly advertised by title only in the St. Lucie News Tribune on September 6, 2019; copy of said ordinance was made available at the office of the City Clerk to the public upon request; said ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on September 16, 2019; and was duly introduced, read by title only, and passed on second and final reading on September 23, 2019, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HERewith, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this the 23rd day of September, 2019.

Linda Hudson,
Mayor Commissioner

ATTEST:

Linda W. Cox, City Clerk

(City Seal)

Treasure Coast Newspapers

PART OF THE USA TODAY NETWORK

St Lucie News Tribune
1801 U.S. 1, Vero Beach, FL 32960
AFFIDAVIT OF PUBLICATION

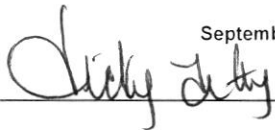
CITY OF FORT PIERCE
100 N. U.S. 1

FORT PIERCE, FL 34950

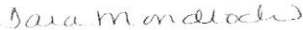
STATE OF WISCONSIN
COUNTY OF BROWN

Before the undersigned authority personally appeared, said legal clerk, who on oath says that he/she is a legal clerk of the St Lucie News Tribune, a daily newspaper published at Fort Pierce in St Lucie News Tribune, a daily newspaper published at Fort Pierce in St. Lucie County, Florida: that the attached copy of advertisement was published in the St Lucie News Tribune in the following issues below. Affiant further says that the said St Lucie News Tribune is a newspaper published in Fort Pierce in said St. Lucie County, Florida, and that said newspaper has heretofore been continuously published in said St. Lucie County, Florida, daily and distributed in St. Lucie County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid or promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. The St Lucie News Tribune has been entered as Periodical Matter at the Post Offices in Fort Pierce, St. Lucie County, Florida and has been for a period of one year next preceding the first publication of the attached copy of advertisement.

September 6, 2019



Subscribed and sworn to before on September 6, 2019:



Notary, State of WI, County of Brown

TARA MONDLOCH
Notary Public
State of Wisconsin

My commission expires August 6, 2021

Publication Cost: \$166.92
Ad No: 0003774200
Customer No: 1330884
PO #: 19-038 039

CITY OF FORT PIERCE
NOTICE OF PROPOSED
ORDINANCES LEVYING AND
COLLECTING TAXES;
ADOPTING MILLAGE RATE
AND ADOPTING FINAL
BUDGET

The City Commission of the City of Fort Pierce, Florida, pursuant to the City Charter and Florida Statutes, will on Monday, September 16, 2019 at their regular meeting which begins at 6:30 p.m. and on Monday, September 23, 2019, at their special meeting which begins at 5:05 p.m., hold Public Hearings on the enactment of proposed ordinances on first and second readings respectively, in the City Hall Commission Chambers, 100 North U.S. Highway #1, Fort Pierce, Florida; said ordinances entitled:

ORDINANCE NO. 19-038 - AN ORDINANCE OF THE CITY OF FORT PIERCE, FLORIDA; PROVIDING FOR THE LEVYING AND COLLECTING OF TAXES FOR THE CITY OF FORT PIERCE, FLORIDA, FOR FISCAL YEAR BEGINNING OCTOBER 1, 2019 AND ENDING SEPTEMBER 30, 2020, FOR THE PURPOSE OF RAISING SUCH AMOUNT AS MAY BE NECESSARY TO CARRY ON THE GOVERNMENT OF SAID CITY DURING SAID FISCAL YEAR AND TO PAY FUNDS SO COLLECTED INTO THE ACCOUNTS PROVIDED THEREFOR ADOPTING THE CITY OF FORT PIERCE 2019-20 FISCAL YEAR FINAL MILLAGE RATE; AND PROVIDING FOR AN EFFECTIVE DATE.

ORDINANCE NO. 19-039 - AN ORDINANCE OF THE CITY OF FORT PIERCE, FLORIDA; ADOPTING A FINAL BUDGET FOR THE CITY OF FORT PIERCE, FLORIDA, FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2019, AND ENDING SEPTEMBER 30, 2020; AND PROVIDING FOR AN EFFECTIVE DATE.

All interested parties may appear at the Public Hearings and be heard with respect to the proposed ordinance. Said proposed ordinance will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. #1, Fort Pierce, Florida.

Pursuant to Section 286.0105, Florida Statutes, the City hereby advises you that if you or another person decide to appeal any decision made by the City Commission with respect to any matter considered at its meeting or hearing, that you or said person will need a record of the proceedings, and that for such purpose, affected persons may need to insure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

print to the meeting.

/s/ Linda W. Cox
City Clerk
Pub: September 6, 2019 TCN
3774200

City Commission Meeting 5:05 PM

12. b.

Meeting Date: 09/23/2019

Re:

SUBJECT:

Ordinance 19-039 Adopting a Final Budget for Fiscal Year 2020, beginning October 1, 2019 and ending September 30, 2020. SECOND READING

Attachments

19-039

Form Review

Form Started By: Linda Cox
Final Approval Date: 09/09/2019

Started On: 09/09/2019 01:43 PM

ORDINANCE NO. 19-039

AN ORDINANCE OF THE CITY OF FORT PIERCE, FLORIDA; ADOPTING A FINAL BUDGET FOR THE CITY OF FORT PIERCE, FLORIDA, FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2019, AND ENDING SEPTEMBER 30, 2020; AND PROVIDING FOR AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA:

SECTION 1. The City Commission of Fort Pierce, Florida after having held a public hearing, hereby adopts as its final budget for the operation of the government of said City for the fiscal year beginning October 1, 2019 and ending September 30, 2020, the estimates made by the City Manager of said City presented to the City Commission on September 9, 2019, which detailed amended estimates are now on file with the City Clerk and the Director of Finance.

SECTION 2. That it shall be the duty of the City Manager to set up the aforesaid appropriation of revenues and expenses on the account records of said City, to keep such accounts thereof, as required by the Charter of said City, as may be directed from time to time by the City Commission.

SECTION 3. This ordinance shall be and become effective October 1, 2019.

APPROVED AS TO FORM & CORRECTNESS:

Pete Sweeney, Esq.
City Attorney

STATE OF FLORIDA
COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No.19-039 was duly advertised by title only in the St. Lucie News Tribune on September 6, 2019; copy of said ordinance was made available at the office of the City Clerk to the public upon request; said ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on September 16, 2019; and was duly introduced, read by title only, and passed on second and final reading on September 23, 2019, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HERewith, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this the 23rd day of September, 2019.

Linda Hudson, Mayor Commissioner

ATTEST:

Linda W. Cox, City Clerk

(City Seal)

Meeting Date: 09/23/2019

Re: Ordinance 19-031 - Future Land Use Map Amendment - 2419-211-0004-000-8

SUBJECT:

Legislative Hearing - Ordinance 19-031 - an application submitted by the property owner, St. Lucie County, applicant Blue Sky Communities, and representative Dennis Murphy of Culpepper & Terpening, for a Future Land Use Map Amendment for a parcel of land, 9.186 acres in total, to change the Future Land Use designation for parcel ID 2419-211-0004-000-8, from GC, General Commercial, to RH, High Density Residential. **SECOND READING**

SUMMARY:

- The applicant is requesting the approval of a Future Land Use Map Amendment, for a parcel of land that is approximately 9.186 acres in total size, and located at approximately 1000 feet northwest of State Road 70 on the West side of McNeil Road.
- The applicant would like to change the Future Land Use on the parcels from GC, General Commercial to RH, High Density Residential.
- The Purpose of the request for Future Land Use Map Amendment is to allow for the development of multi-family residential development.
- The applicant also has a pending application for a Zoning Atlas Map Amendment to rezone to property from C-3, General Commercial to R-5, High Density Residential.
- The Planning Board at their meeting on June 11, 2019 voted 6-0 to recommend approval of the request as presented.

RECOMMENDATION:

Approval

ALTERNATIVES:

Disapproval

RESPONSIBLE STAFF:

Brandon C. Creagan, LEED Green Associate, Planner

COORDINATED WITH:

Technical Review Committee

Fiscal Impact

OTHER INFORMATION:

Potential Increase in Ad-Valorem Tax Revenue.

Attachments

Staff Report

Draft Ordinance 19-031
Application & Supporting Documents
Aerial Map
Zoning Map
Future Land Use Map
TRC Comments
Public Notification Certification

Form Review

Form Started By: Linda Cox
Final Approval Date: 09/04/2019

Started On: 08/21/2019 05:19 PM



TO: Nicholas Mimms, P.E., City Manager

THROUGH: Rebeca Guerra, AICP, LEED-AP, CLD, Interim Planning Director

FROM: Brandon Creagan, LEED Green Associate, Planner

RE: **Application for a Zoning Atlas Map Amendment**
Application for a Future Land Use Map Amendment
Blue Sky Communities

BOARD DATE: July 15, 2019

STAFF REPORT

Property Owner St. Lucie County
2300 Virginia Avenue
Fort Pierce, Florida 34982

Applicant: Blue Sky Communities
5081 SW 48th Street, Suite 103
Tampa, FL 33607

Representative: Culpepper & Terpening, Inc.
2980 South 25th Street
Fort Pierce, FL 34981

Requested Action: Approval to rezone the subject property from C-3, General Commercial to R-5, High Density Residential.

Approval to change the Future Land Use from GC, General Commercial to RH, Heavy Density Residential.

Site Location: North of Walmart, West of Portofino Lands, South of Sabal Chase Apartments, and East of Samuel S. Gaines Academy.

Parcel ID: 2419-211-0004-000-8

Existing Use: Vacant

Parcel Size: 9.16 Acres +/-

Current Zoning: General Commercial (C-3)

Current Future Land Use General Commercial (GC)

Proposed Zoning: Heavy Density Residential (R-5)

Proposed Future Land-Use Heavy Density Residential (RH)

Surrounding Zoning/FLU:

North	East	South	West
C-3/GC	C-3/GC	C-3/GC	C-3/GC

Staff Analysis:

Request

In accordance with Sections 22-128 & 22-143 of the City Code, the applicant is requesting the review and approval of a Zoning Atlas Map Amendment (Rezoning) from C-3, General Commercial to R-5, High Density Residential. The applicant is also requesting review and approval of a Future Land Use Map Amendment from CG, General Commercial to RH, High Density Residential. The applicant would like to rezone and change the Future Land Use of the property so they can use the property for a future multi-family development.

Background

The subject site was originally apart of the Portofino Landings apartment complex, but due to the recession of the mid 2000’s this extension to the apartment complex was never completed. St. Lucie County would come to take ownership of the property. Blue Sky Communities is partnering with St. Lucie County to develop a multi-family development on this site.

Standards for Review

The following standards must be satisfied per Section 22-131 of the City Code prior to the approval of the requested amendment:

- (1) The amendment is consistent with the comprehensive plan;
- (2) The amendment will not have an adverse effect on the ability of the city to:
 - a. Satisfy land and water use needs; and
 - b. Meet transportation demands and provide community facilities and services; and
- (3) The amendment will promote and protect the public health, safety and general welfare.

The proposed amendment is consistent with the Goals, Objectives, and Policies of the City’s Comprehensive Plan, as the applicant along with the Rezoning change is requesting the Future Land Use to be changed to a compatible Future Land Use. Furthermore, the amendment would not have an adverse effect on the ability of the city to satisfy land and water use needs, meet transportation demands, and provide community facilities and services. There are three multi-family developments around this site and the services that are provided for those developments would be the same or similar. The presented amendment promotes and protects the public health, safety and general welfare through the rezoning of this property because the applicant intends to develop a multi-family development and multi-family is more compatible with R-5, High Density Residential than it is with the current zoning of C-3, General Commercial. It would also promote and protect the public health, safety, and general welfare because there are almost no standards in the C-3 Zoning designation to regulate residential. By rezoning the property to an appropriate residential Zoning designation, it allows staff to properly regulate the use of the property.

Future Land Use Designation Comparison

The subject site currently has a Future Land Use of GC, General Commercial. This designation is intended for parcels that are for higher intensity commercial developments or horizontal and vertical mixed-use developments. Uses allowed within this designation include multifamily residential, intensive and general commercial, retail, service, offices, tourist/entertainment facilities, hotels/motels, parks and recreation, along with compatible public, quasi-public, and special uses. This land use designation allows for a maximum density of 15 dwelling units per acre and a maximum FAR of 1.0. Development shall include either commercial or mixed uses fronting major roadway corridors with higher intensity near major intersections. Residential uses may comprise up to 20% of the total floor area of the General Commercial future land use designation.

The subject site is seeking a Future Land Use of RH, Heavy Density Residential. This designation is intended for parcels that are best suited for medium to high density multifamily residential uses ranging in density from 12 to 18 dwelling units per acre. This category allows multifamily dwellings including apartments, condominiums and townhomes. Limited commercial uses intended to serve the residential uses shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools and daycare facilities shall also be allowed.

When comparing both of these designations the High Density Residential designation would be considered a less intense designation compared to the General Commercial designation. While this property is surrounded by properties that hold a GC, General Commercial Future Land Use designation, the proposed use of multi-family would be compatible with the two multi-family developments of Portfino Landings and Sable Chase Apartments that surround this property. This property is also within approximately 350 feet of the the Treasure Cay Apartment Complex that has a Future Land Use of RH, High Density Residential.

Technical Review Committee:

All affected City Departments have reviewed the proposed Application for Zoning Atlas Map Amendment and Future Land Use Map Amendment and have provided conditional approval based on compliance with requirements of the City Code. The comments generated from the technical review, and any responses by the applicant are provided for review.

Planning Board:

The Planning Board at their meeting on June 11, 2019 voted 6-0 to recommend approval of both the Application for Zoning Atlas Amendment and Future Land Use Map Amendment.

Public Notification:

11 letters were sent out to property owners within 500 feet of the subject property for the Zoning Atlas Map Amendment. No letters have been returned, an update will be given at the City Commission meeting.

Staff Recommendation Zoning Atlas Map Amendment:

The requested Application for Zoning Atlas Map Amendment meets the criteria specified in Section 22-131 of the City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience and general welfare; Staff recommends that the City Commission **APPROVE** the request as presented.

Staff Recommendation Future Land Use Map Amendment:

The requested Application for Future Land Use Map Amendment meets the criteria specified in Section 22-131 of the City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience and general welfare; Staff recommends that the City Commission **APPROVE** the request as presented

DRAFT ORDINANCE NO. 19-031

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; AMENDING THE FUTURE LAND USE MAP OF THE COMPREHENSIVE PLAN TO CHANGE THE DESIGNATION OF ONE (1) PARCEL GENERALLY LOCATED AT OR NEAR THE WEST SIDE OF MCNEIL ROAD, APPROXIMATELY 1,000 FEET NORTHWEST OF STATE ROAD 70 FROM CITY OF FORT PIERCE GC, GENERAL COMMERCIAL TO CITY OF FORT PIERCE RH, HIGH DENSITY RESIDENTIAL; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Fort Pierce has adopted a Comprehensive Plan known as the City of Fort Pierce Comprehensive Plan adopted by Ordinance No. L-136, as subsequently amended; and

WHEREAS, changing the Future Land Use designation requires an amendment to the Comprehensive Plan, pursuant to section 163.3187, Florida Statutes; and

WHEREAS, the Fort Pierce City Planning Board having been duly designated as the Local Planning Agency pursuant to section 163.3174, Florida Statutes, and having held a public hearing thereon, has considered this proposed amendment to the Comprehensive Plan and submitted its recommendations thereon to the City Commission; and

WHEREAS, having considered the recommendations of the Planning Board, the City of Fort Pierce City Commission has prepared this amendment to the City's Comprehensive Plan and transmitted it to the Department of Economic Opportunity and other agencies as required by section 163.3187; and

WHEREAS, two (2) public hearings, one transmittal hearing and one adoptive hearing with due notice have been held by the City Commission to inform the public and receive comments and objections; and

WHEREAS, the proposed Future Land Use amendment is consistent with the Comprehensive Plan, and will not have an adverse effect on the ability of the City to satisfy land and water use needs, and meet transportation demands and provide community facilities and services, and will promote and protect the public health, safety, and general welfare as required by City Code 22-131; and

WHEREAS, the City of Fort Pierce desires to hereby formally adopt this amendment to the City's Comprehensive Plan.

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1. The preceding "whereas" clauses are ratified and incorporated as the legislative intent of this ordinance.

SECTION 2. The Comprehensive Plan of the City of Fort Pierce is hereby amended as follows:

Parcels IDs: 2419-211-0004-000-8

From and after the effective date hereof, the following properties legally described as:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19, THENCE N01°20'45"E ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE S52°29'55"W ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 2102.04 FEET; THENCE S55°45'47"W A DISTANCE OF 210.34 FEET; THENCE S52°29'33"W A DISTANCE OF 71.28 FEET; THENCE SOUTH 52°29'55" WEST, A DISTANCE OF 230.26 FEET; THENCE SOUTH 29°51'40" WEST, A DISTANCE OF 31.18 FEET; THENCE SOUTH 52°29'55" WEST, A DISTANCE OF 675.96 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF MCNEIL ROAD EXTENSION; THENCE ALONG THE EASTERLY RIGHT-OF-WAY OF MCNEIL ROAD EXTENSION THE FOLLOWING 4 COURSES AND DISTANCES; THENCE NORTH 37°30'05" WEST, A DISTANCE OF 350.00 FEET; THENCE SOUTH 52°29'55" WEST, A DISTANCE OF 10.00 FEET; THENCE NORTH 37°30'05" WEST, A DISTANCE OF 230.00 FEET TO A POINT OF CURVE TO THE RIGHT HAVING A RADIUS OF 595.00 FEET AND A CENTRAL ANGLE OF 42°32'58"; THENCE NORTHWESTERLY ALONG THE ARC A DISTANCE OF 441.86 FEET; THENCE NORTH 84°57'07" WEST, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL;

TO AN INTERSECTION WITH A NON TANGENT CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 655.00 FEET, THE CHORD OF WHICH BEARS SOUTH 00°51'40" EAST, 134.86 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 135.10 FEET THROUGH A CENTRAL ANGLE OF 11°49'05"; THENCE SOUTH 89°21'58" WEST, A DISTANCE OF 391.21 FEET; THENCE NORTH 82°29'17" WEST, A DISTANCE OF 53.44 FEET; THENCE NORTH 05°25'09" EAST, A DISTANCE OF 509.05 FEET; THENCE SOUTH 89°01'36" WEST, A DISTANCE OF 313.99 FEET; THENCE NORTH 45°38'03" WEST, A DISTANCE OF 28.13 FEET; THENCE NORTH 00°38'03" WEST, A DISTANCE OF 202.81 FEET; THENCE NORTH 89°01'38" EAST, A DISTANCE OF 671.63 FEET TO THE INTERSECTION WITH A NON TANGENT CURVE CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 250.00 FEET, THE CHORD OF WHICH BEARS SOUTH 55°33'29" EAST, 128.13 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 129.58 FEET THROUGH A CENTRAL ANGLE OF 29°41'49"; THENCE SOUTH 70°24'24" EAST, A DISTANCE OF 66.44 FEET TO THE INTERSECTION WITH A NON TANGENT CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 2,103.43 FEET, THE CHORD OF WHICH BEARS SOUTH 12°08'55" WEST, 520.01 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 521.35 FEET THROUGH A CENTRAL ANGLE OF 14°12'04" TO THE POINT OF BEGINNING.

CONTAINING 9.186 ACRES, MORE OR LESS.

said properties being generally located at or near the west side of McNeil Road, approximately 1,000 feet northwest of State Road 70 in Fort Pierce, Florida shall be and the Future Land Use Designation is hereby changed from City of Fort Pierce General Commercial, GC to City of Fort Pierce High Density Residential, RH, as depicted on Exhibit "A", attached hereto and incorporated herein.

SECTION 3. The provisions of this Ordinance are declared to be severable and if any section, sentence, clause, or phrase of this Ordinance shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Ordinance but shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are and the same shall be repealed and shall be of no further force or effect whatsoever.

SECTION 4. This Ordinance is and the same shall become effective immediately upon final passage.

SECTION 5. The effective date of this comprehensive plan amendment, if the amendment is not timely challenged, shall be 31 days after the state land planning agency notifies the local government that the plan amendment package is complete. If timely challenged, this amendment shall become effective on the date the state land planning agency or the Administration Commission enters a final order determining this adopted amendment to be in compliance. No development orders, development permits, or land uses dependent on this amendment may be issued or commence before it has become effective. If a final order of noncompliance is issued by the Administration Commission, this amendment may nevertheless be made effective by adoption of a resolution affirming its effective status, a copy of which resolution shall be sent to the state land planning agency

APPROVED AS TO FORM & CORRECTNESS:

Peter J. Sweeney
City Attorney

STATE OF FLORIDA

COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No.19-031 was duly advertised accordance with F.S. 163.3184 by display advertising in the St. Lucie News Tribune on June 30, 2019, and; copy of said Ordinance was made available at the office of the City Clerk to the public upon request; said Ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on July 15, 2019; and was duly introduced, read by title only, and passed on second and final reading September __, 2019, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HERewith, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this ___ day of September, 2019.

Linda Hudson
Mayor Commissioner

ATTEST:

Linda W. Cox
City Clerk

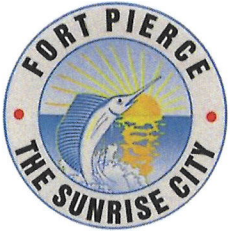
(City Seal)

EXHIBIT A

Proposed Future Land Use

Medium Density Residential, RM





CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

Application for Zoning Atlas Map Amendment

Application submission shall include the following:

- **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a ½ mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- *** Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other _____

1. **Property Address/Location:** _____ t/b/d _____
2. **Property Tax ID(s):** _____ 2419-211-0004-000-8 _____
3. **Total Acreage:** _____ 9.16 _____
4. **Existing Future Land Use Designation:** _____ GC (General Commercial) _____
5. **Existing Zoning Classification:** _____ C-3 (General Commercial) _____

- 6. **Proposed Zoning Classification:** R-5 (Residential – Multiple Family 15 du/ac)
- 7. **Other applications being submitted concurrent with this application, if any:** Future Land Use Amendment Application To the RH (Residential High Future Land Use Category)

- 8. **Describe the existing uses, improvements and structures on the amendment lands:** Site is vacant

- 9. **Are there any identified or possible historical structures on the amendment lands?** No
- 10. **The reason for making this request:** to change the zoning on property to permit multi-family residential development.

11. CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Vacant	RM (Residential Medium)	R4 (Residential Medium Density)
South	Commercial (Wal-Mart)	GC (Commercial General)	C-3 (Commercial General)
East	Residential (Portofino Landings (East))	GC (Commercial General)	C-3 (Commercial General)
West	Education (Samuel S. Gaines Acad K-8)	P/F (Public Use)	I (Institutional)

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	GC	C-3	15 du/ac (20% max of land use)	9.1	
Proposed	RH	R-5	15	9.1	N/A

[go to next page]

II. Public Facilities Information:

A. Potable Water:

Average Use	Residential	100	gallons per day per person (du x 2.6 = persons x 100 gpd = demand)				
	Other	0.125	gallons per day per square foot				
Demand Analysis		Maximum					
Current Zoning	Total gallons per day	commercial	318,572	sf	39,821.50	gpd	
		residential	86	du	22,360	gpd	
Proposed Zoning	Total gallons per day	commercial	-	sf	-	gpd	
		residential	137	du	35,490	gpd	
Change in Demand		Total gallons per day		(26,691.50)		gpd	

B. Wastewater:

Average Use	Residential	100	gallons per day per person (du x 2.6 = persons x 100 gpd = demand)				
	Other	0.100	gallons per day per square foot				
Demand Analysis		Maximum					
Current Zoning	Total gallons per day	commercial	318,572	sf	31,857.20	gpd	
		residential	86	du	22,360	gpd	
Proposed Zoning	Total gallons per day	commercial	-	sf	-	gpd	
		residential	137	du	35,490	gpd	
Change in Demand		Total gallons per day		(18,727.20)		gpd	

C. Parks and Recreation (Residential Classifications Only):

(Du x 2.6 = persons + 44,227 = population /LOS)

Park Type	LOS (per 1000)	Existing Population Park Demand		Proposed Population Park Demand		Change in Demand	
		base	existing	base	existing	persons	added acres
Regional	20	44,227	44,451	44,227	44,583	132.6	2.65 acres
Urban District	5	44,227	44,451	44,227	44,583	132.6	0.66 acres
Community	2.5	44,227	44,451	44,227	44,583	132.6	0.33 acres
Neighborhood	1.36	44,227	44,451	44,227	44,583	132.6	0.18 acres

D. Public Schools (Residential Classifications Only):

Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)

	K-8	High
School Name	Samuel S. Gaines Academy K-8	Ft. Pierce Central
City	Ft. Pierce	Ft. Pierce
Distance	< 1 mile	5 miles
Current Zoning Enrollment Demand	12	5
Proposed Zoning Enrollment Demand	24	10
Change in Demand	11	5

E. Solid Waste:

2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units

Demand Analysis	Maximum
Current Zoning	11.5 yards
Proposed Zoning	21.9 yards
Change in Demand	10.4 yards

F. Stormwater:

Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact The overall stormwater impacts may be expected to be lessened from this site as a result of its conversion from commercial to residential uses. Full stormwater impacts will be addressed with a specific development proposal.

G. Traffic

Most recent ITE Code for use; HCM Roadway Capacity

Demand Analysis	area/ units	AADT		AM Peak Hour Trips		PM Peak Hour Trips		
		rate	Maximum	rate	Maximum	rate	Maximum	
Current Zoning	commercial (820)	318,572	37.5	11946	3	956	4.21	1341
	residential (220)	86	7.32	630	0.56	0.04816	0.67	0.05762
Proposed Zoning	commercial (820)	-	37.5	0	3	0	4.21	0
	residential (220)	164	7.32	1200	0.56	0.09184	0.67	0.804
Change in Demand				-11375		-956		-1340
Impact to Capacity				none		none		none

12. **Name of Owner(s):** St. Lucie County

Mailing Address: 2300 Virginia Avenue

City Ft. Pierce **State** Fla **Zip** 34982

Phone # 772-462-1400 **Fax No.:** _____

E-mail: _____

1
Name of Applicant: (Blue Sky Communities (attn.: Shawn Wilson))

Mailing Address: 5300 W. Cypress Street, Ste 200

City Tampa **State** Fl **Zip** 33607

Phone # _____ **Fax No.:** _____

E-mail: swilson@blueskycommunities.com

14. **Name of Representative:** Culpepper & Terpening, Inc. (attn: B. Terpening)

Mailing Address: 2980 South 25th Street

City Ft. Pierce **State** Fl **Zip** 34981

Phone # 772-464-3537 **Fax No.:** 772-464-9497

E-mail: Bterpening@ct-eng.com

[go to next page]

xxx I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

[Signature] Applicant's Signature 4/9/19. Date

5300 W. Cypress Street, Ste 200, Tampa , Florida, 33607
Address State Zip

Swilson@blueskycommunities.com
Phone Fax E-mail Address

16. Property Owners Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

See attached agent authorization letter
Property Owner's Name (Please Print) Phone

Address State Zip

Property Owner's Signature Date

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this ___ day of _____, 20____, by _____ who is personally known to me or has produced as identification.

Signature of Notary (seal)

OFFICE USE:		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

Application for Future Land Use Map Amendment

Future Land Use Map Amendment – Large Scale (>10 acres)

Future Land Use Map Amendment – Small Scale (<10 acres)

In accordance with Chapter 163.3187, Florida Statutes, The City of Fort Pierce will consider applications for land use changes on parcels in excess of 10 acres (“Large Scale Amendments”) only twice each calendar year. The City Commission will consider applications for land use changes on parcels less than or equal to 10 acres with a maximum density of 10 units per acres or less at any time during the calendar year. You are encouraged to schedule a pre-application meeting with the planning staff and to submit your application up to three months in advance of the application deadline.

Application submission shall include the following:

- **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (13) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a ½ mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- *** Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other _____

1. **Property Address/Location:** t/b/d
2. **Property Tax ID(s):** 2419-211-0004-000-8
3. **Total Acreage:** 9.16
4. **Existing Future Land Use Designation:** GC (General Commercial)
5. **Existing Zoning Classification:** C-3 (General Commercial)
6. **Proposed Zoning Classification:** R-5 (Residential – Multiple Family 15 du/ac)
7. **Other applications being submitted concurrent with this application, if any:** Change in Zoning Application to the R-5 Zoning District

8. **Describe the existing uses, improvements and structures on the amendment lands:** Site is vacant

9. **Are there any identified or possible historical structures on the amendment lands?** No
10. **The reason for making this request:** to change the zoning on property to permit multi-family residential development.

11. Capacity Analysis:

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Vacant	RM (Residential Medium)	R4 (Residential Medium Density)
South	Commercial (Wal-Mart)	GC (Commercial General)	C-3 (Commercial General)
East	Residential (Portofino Landings (East))	GC (Commercial General)	C-3 (Commercial General)
West	Education (Samuel S. Gaines Acad K-8)	P/F (Public Use)	I (Institutional

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	GC	C-3	15 du/ac (20% max of land use)	9.1	
Proposed	RH	R-5	15	9.1	N/A

II. Public Facilities Information:

A. Potable Water:

Average Use	Residential	100	gallons per day per person (du x 2.6 = persons x 100 gpd = demand)			
	Other	0.125	gallons per day per square foot			
Demand Analysis	Maximum					
Current Zoning	Total gallons per day	commercial	318,572	sf	39,821.50	gpd
		residential	86	du	22,360	gpd
Proposed Zoning	Total gallons per day	commercial	-	sf	-	gpd
		residential	137	du	35,490	gpd
Change in Demand	Total gallons per day				(26,691.50)	gpd

B. Wastewater:

Average Use	Residential	100	gallons per day per person (du x 2.6 = persons x 100 gpd = demand)			
	Other	0.100	gallons per day per square foot			
Demand Analysis	Maximum					
Current Zoning	Total gallons per day	commercial	318,572	sf	31,857.20	gpd
		residential	86	du	22,360	gpd
Proposed Zoning	Total gallons per day	commercial	-	sf	-	gpd
		residential	137	du	35,490	gpd
Change in Demand	Total gallons per day				(18,727.20)	gpd

C. Parks and Recreation (Residential Classifications Only):

(Du x 2.6 = persons + 44,227 = population /LOS)

Park Type	LOS (per 1000)	Existing Population Park Demand		Proposed Population Park Demand		Change in Demand	
		base	existing	base	existing	persons	added acres
Regional	20	44,227	44,451	44,227	44,583	132.6	2.65 acres
Urban District	5	44,227	44,451	44,227	44,583	132.6	0.66 acres
Community	2.5	44,227	44,451	44,227	44,583	132.6	0.33 acres
Neighborhood	1.36	44,227	44,451	44,227	44,583	132.6	0.18 acres

D. Public Schools (Residential Classifications Only):

Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)

	K-8	High
School Name	Samuel S. Gaines Academy K-8	Ft. Pierce Central
City	Ft. Pierce	Ft. Pierce
Distance	< 1 mile	5 miles
Current Zoning Enrollment Demand	12	5
Proposed Zoning Enrollment Demand	24	10
Change in Demand	11	5

E. Solid Waste:

2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units

Demand Analysis	Maximum	
Current Zoning	11.5	yards
Proposed Zoning	21.9	yards
Change in Demand	10.4	yards

F. Stormwater:

Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact The overall stormwater impacts may be expected to be lessened from this site as a result of its conversion from commercial to residential uses. Full stormwater impacts will be addressed with a specific development proposal.

G. Traffic

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Change in Demand				-11375		-956		-1340
Impact to Capacity				none		none		none

12. Name of Owner(s): St. Lucie County

Mailing Address: 2300 Virginia Avenue

City Ft. Pierce State Fla Zip 34982

Phone # 772-462-1400 Fax No.: _____

E-mail: _____

13. Name of Applicant: (Blue Sky Communities (attn.: Shawn Wilson))

Mailing Address: 5300 W. Cypress Street, Ste 200

City Tampa State Fl Zip 33607

Phone # _____ Fax No.: _____

E-mail: swilson@blueskycommunities.com

14. Name of Representative: Culpepper & Terpening, Inc. (attn: B. Terpening)

Mailing Address: 2980 South 25th Street

City Ft. Pierce State Fl Zip 34981

Phone # 772-464-3537 Fax No.: 772-464-9497

E-mail: Bterpening@ct-eng.com

[go to next page]

APPLICATION FOR ZONING ATLAS AMENDMENT

Page 5 of 5

xxx I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

[Signature] Applicant's Signature 4/9/19. Date

5300 W. Cypress Street, Ste 200, Tampa , Florida, 33607
Address State Zip

Swilson@blueskycommunities.com
Phone Fax E-mail Address

16. Property Owners Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

See attached agent authorization letter
Property Owner's Name (Please Print) Phone

Address State Zip

Property Owner's Signature Date

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this ___ day of _____, 20____, by _____ who is personally known to me or has produced as identification.

Signature of Notary (seal)

OFFICE USE:		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	



HOWARD N. TIPTON
County Administrator

ST. LUCIE COUNTY
BOARD OF COUNTY
COMMISSIONERS

LINDA BARTZ
CHAIR
DISTRICT 3

CATHY TOWNSEND
VICE-CHAIR
DISTRICT 5

CHRIS DZADOVSKY
DISTRICT 1

SEAN MITCHELL
DISTRICT 2

FRANNIE HUTCHINSON
DISTRICT 4

DAN MCINTYRE
COUNTY ATTORNEY

MAILING ADDRESS
2300 VIRGINIA AVENUE
FORT PIERCE, FL 34982

PHONE
(772) 462-1156

TDD
(772) 462-1428

FAX
(772) 462-2131

E-MAIL
PHELANK@STLUCIECO.ORG

WEBSITE
WWW.STLUCIECO.GOV

March 14, 2019

Mr. Shawn Wilson
Blue McNeil One, LLC
5300 West Cypress Street
Suite 200
Tampa, FL 33607

Dear Mr. Wilson:

Re: McNeil Road Parcel – City of Fort Pierce Rezoning Application

This letter shall serve to confirm that on February 5, 2019 the Board of County Commissioners accepted the response of Blue Sky Communities, LLC to RFQ No. 19-007 for the development of a multi-family affordable housing project on the County-owned 9.16 parcel located on McNeil Road within the City of Fort Pierce (the "Property"), and authorized staff to enter into contract negotiations with Blue Sky for the sale and development of the Property. Those contract negotiations are currently underway. In recognition of the County's desire to have the Property developed for affordable multi-family housing, the County consents to the submission of an application by Blue Sky Communities, LLC or its agent to the City of Fort Pierce to rezone the Property for multi-family residential use.

Sincerely,

Howard N. Tipton

HNT/kp

C: County Attorney
Community Services Director
Property Acquisitions Manager
Dennis Murphy

ST. LUCIE WORKS

Property Card

Page 1 of 2

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: OKEECHOBEE RD Map ID: 24/19N Parcel ID: 2419-211-0004-000-8 Zoning: C3 Account #: 174088 Use Type: 1000 Sec/Town/Range: 19/35S/40E Jurisdiction: Fort Pierce

Ownership

St Lucie County
2300 Virginia AVE
Fort Pierce, FL 34982-5632

Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT, TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28 FT, TH S 52 29 55 W 230.26 FT, TH S 29 51 40 W 31.18 FT, TH S 52 29 55 W 675.96 FT TO ELY R/W LI OF MCNEIL RD EXTENSION, TH N 37 30 05 W 350 FT, TH S 52 29 55 W 10 FT, TH N 37 30 05 W 230 FT TO CURVE CONC E,R OF 595 FT, TH NLY ALG ARC 441.86 FT, TH N 84 57 07 W 60 FT TO POB AND CURVE CONC E,R OF 655 FT, TH SLY ALG ARC 135.10 FT, TH S 89 21 58 W 391.21 FT, TH N 82 29 17 W 53.44 FT, TH N 05 25 09 E 509.05 FT, TH S 89 01 36 W 313.99 FT, TH N 45 38 03 W 28.13 FT, TH N 00 38 03 W 202.81 FT, TH N 89 01 38 E 671.63 FT TO CURVE CONC NE,R OF 250 FT, TH SELY ALG ARC 129.58 FT, TH S 70 24 24 E 66.44 FT TO CURVE CONC E,R OF 2,103.43 FT, TH SLY ALG ARC 521.35 FT TO POB (9.16 AC)

Current Values

Just/Market: \$698,300 Assessed: \$698,300
Exemptions: \$698,300 Taxable: \$0

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2018	\$698,300	\$698,300	\$698,300	\$0
2017	\$698,300	\$698,300	\$0	\$698,300
2016	\$698,300	\$698,300	\$0	\$698,300

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
10-27-2017	4217 / 2629	0111	TD	Board of County Commissioners of St Lucie Cty	\$0
07-28-2017	4058 / 1727	0111	TD	Prime Homes At Portofino Landings Ltd	\$0
01-30-2006	3254 / 1039	XX03	SP	Portofino Landings CDD	\$0

Primary Building Information

Finished Area of this building: 0 SF
Gross Sketched Area: 0 SF

Exterior Data

View: Year Built: N/A Primary Wall: Roof Cover: Frame: Story Height: Roof Structure: Grade: No. Units: 0 Building Type: Effective Year: 2014 Secondary Wall:

Interior Data

Bedrooms: 0 Full Baths: 0 Half Baths: 0 A/C %: 0% Heated %: N/A% Sprinkled %: 0% Electric: Heat Type: Heat Fuel: Primary Int Wall: Avg Hgt/Floor: 0 Primary Floors:

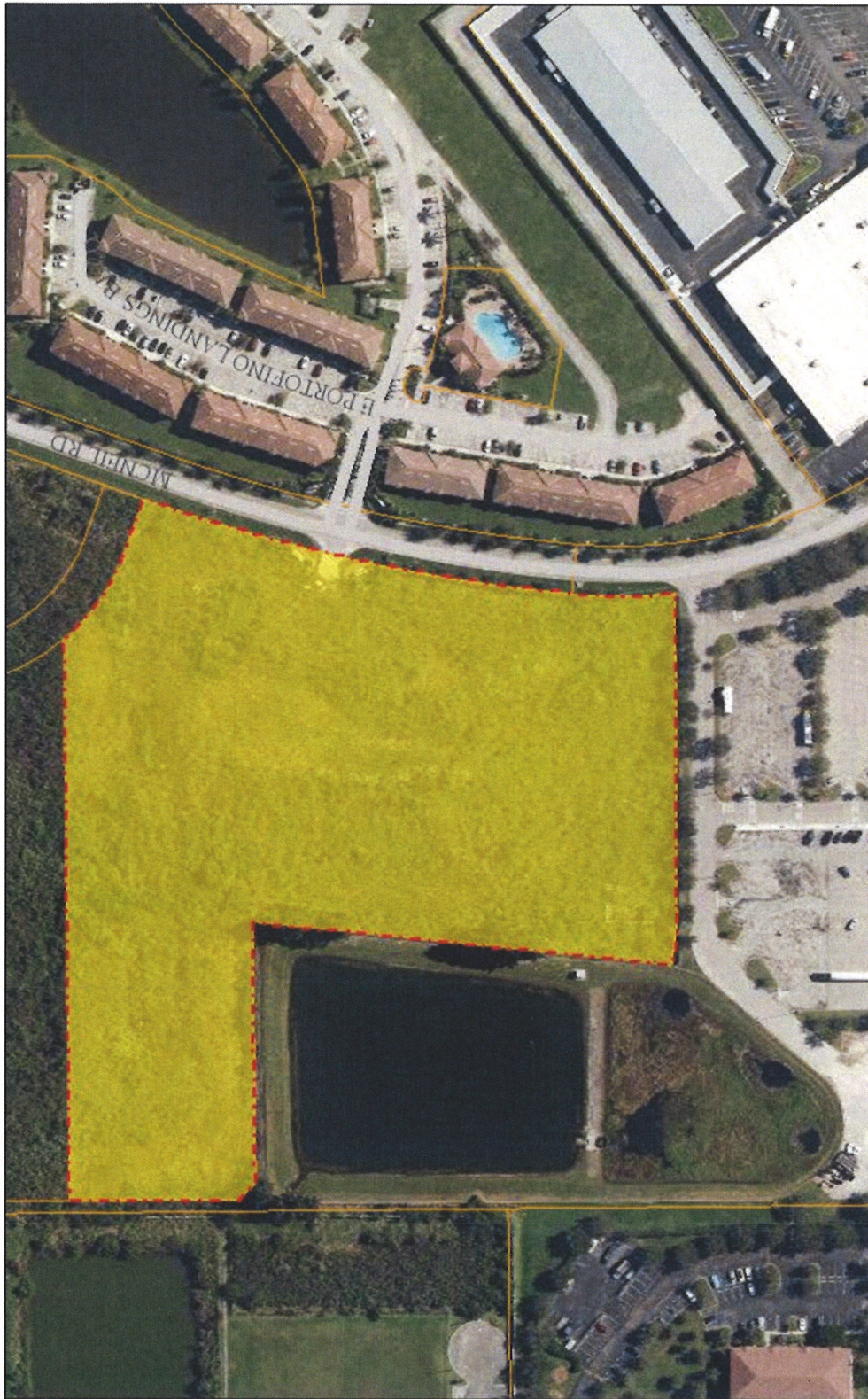


Image or Sketch unavailable for display

Total Areas

Finished/Under Air (SF):	0
Gross Sketched Area (SF):	0
Land Size (acres):	9.16
Land Size (SF):	399,010
Total Building Count:	1

Michelle Franklin, CFA - Saint Lucie County Property Appraiser



March 6, 2019

This information is deemed to be correct at the time this title is filed to change and is not warranted.
© Copyright 12/2019 Saint Lucie County Property Appraiser. All rights reserved.

JOSEPH E. SMITH, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
FILE # 4365236 OR BOOK 4058 PAGE 1727, Recorded 10/30/2017 11:31:13 AM

Tax Deed File No. 13-648

Property
Identification No. 2419-211-0004-000/8

ESCHEATMENT TAX DEED

State of Florida

ST. LUCIE COUNTY

This Tax Deed is issued pursuant to Section 197.502(8), Florida Statutes, wherein three years have passed from the day the subject land was offered for public sale and placed on the list of "lands available for taxes" in accordance with Section 197.502(7), Florida Statutes, without having been purchased. As provided in Section 197.502(8), Florida Statutes, the property has escheated to the County free and clear of any and all tax certificates, tax liens or any other liens of record, including governmental liens, which liens are deemed canceled pursuant to said statutes.

Now, on this 27TH DAY OF OCTOBER, 2017, the undersigned clerk conveys to SAINT LUCIE County through its Board of County Commissioners, whose address is 2300 VIRGINIA AVE, FORT PIERCE, FL 34982 together with all hereditaments, buildings, fixtures and improvements of any kind and description, the following legally described land situation in SAINT LUCIE County, Florida.

PLEASE SEE ATTACHED FOR LEGAL DESCRIPTION.

Witness:

Alice Sennott
ALICE SENNOTT
Sandra Coleman
SANDRA COLEMAN

Margaret Rahal
CLERK OF COURT OR COUNTY COMPTROLLER

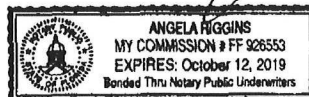

State of Florida

County of ST. LUCIE

On the 28th day of JULY, 2017, before ANGELA RIGGINS personally me personally appeared MARGARET RAHAL, Clerk of the Circuit Court or County Comptroller in and for the State and this County, who is known to me to be the person described in, and who executed the foregoing instrument, and acknowledged the execution of this instrument to be his own free act and deed for the use and purposes therein mentioned.

Witness my hand and office seal date aforesaid

Angela Riggins
ANGELA RIGGINS, Notary Public



OR BOOK 4058 PAGE 1728

Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT, TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28 FT, TH S 52 29 55 W 230.26 FT, TH S 29 51 40 W 31.18 FT, TH S 52 29 55 W 675.96 FT TO ELY R/W LI OF MCNEIL RD EXTENSION, TH N 37 30 05 W 350 FT, TH S 52 29 55 W 10 FT, TH N 37 30 05 W 230 FT TO CURVE CONC E, R OF 595 FT, TH NLY ALG ARC 441.86 FT, TH N 84 57 07 W 60 FT TO POB AND CURVE CONC E, R OF 655 FT, TH SLY ALG ARC 135.10 FT, TH S 89 21 58 W 391.21 FT, TH N 82 29 17 W 53.44 FT, TH N 05 25 09 E 509.05 FT, TH S 89 01 36 W 313.99 FT, TH N 45 38 03 W 28.13 FT, TH N 00 38 03 W 202.81 FT, TH N 89 01 38 E 671.63 FT TO CURVE CONC NE, R OF 250 FT, TH SELY ALG ARC 129.58 FT, TH S 70 24 24 E 66.44 FT TO CURVE CONC E, R OF 2,103.43 FT, TH SLY ALG ARC 521.35 FT TO POB (9.16 AC) (OR 2483-1661; 3254-1039)

JOSEPH E. SMITH, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
FILE # 4515406 OR BOOK 4217 PAGE 2629, Recorded 12/28/2018 02:52:38 PM

Tax Deed File No. 13-648
Property Identification No. 2419-211-0004-000/8

CORRECTIVE ESCHEATMENT TAX DEED

State of Florida

ST. LUCIE COUNTY

This Tax Deed is issued pursuant to Section 197.502(8), Florida Statutes, wherein three years have passed from the day the subject land was offered for public sale and placed on the list of "lands available for taxes" in accordance with Section 197.502(7), Florida Statutes, without having been purchased. As provided in Section 197.502(8), Florida Statutes, the property has escheated to the County free and clear of any and all tax certificates, tax liens or any other liens of record, including governmental liens, which liens are deemed canceled pursuant to said statutes.

Now, on this 27TH DAY OF OCTOBER, 2017, the undersigned clerk conveys to SAINT LUCIE County through its Board of County Commissioners, whose address is 2300 VIRGINIA AVE, FORT PIERCE, FL 34982 together with all hereditaments, buildings, fixtures and improvements of any kind and description, the following legally described land situation in SAINT LUCIE County, Florida.

PLEASE SEE ATTACHED FOR LEGAL DESCRIPTION

The Tax Deed recorded in OR BK 4058, Page 1727-1728
File #4365236 is hereby corrected and reinstated via this
Tax Deed.

Witness:

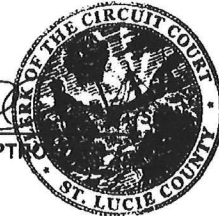
Ana Portilla

ANA PORTILLA
Brittany Jones

BRITTANY JONES

Margaret Rahal

CLERK OF COURT OR COUNTY COMPTROLLER



State of Florida

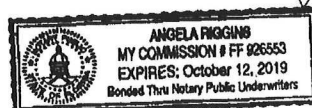
County of ST. LUCIE

On the 27TH DAY OF OCTOBER, 2017, before me personally appeared MARGARET RAHAL, Clerk of the Circuit Court or County Comptroller in and for the State and this County, who is known to me to be the person described in, and who executed the foregoing instrument, and acknowledged the execution of this instrument to be his own free act and deed for the use and purposes therein mentioned.

Witness my hand and office seal date aforesaid

Angela Riggins

ANGELA RIGGINS, Notary Public



OR BOOK 4217 PAGE 2630

OR BOOK 4058 PAGE 1728

Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF DKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT, TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28 FT, TH S 52 29 55 W 230.26 FT, TH S 29 51 40 W 31.18 FT, TH S 52 29 55 W 675.96 FT TO ELY R/W LI OF MCNEIL RD EXTENSION, TH N 37 30 05 W 350 FT, TH S 52 29 55 W 10 FT, TH N 37 30 05 W 230 FT TO CURVE CONC E, R OF 595 FT, TH NLY ALG ARC 441.86 FT, TH N 84 57 07 W 60 FT TO POB AND CURVE CONC E, R OF 655 FT, TH SLY ALG ARC 135.10 FT, TH S 89 21 58 W 391.21 FT, TH N 82 29 17 W 53.44 FT, TH N 05 25 09 E 509.05 FT, TH S 89 01 36 W 313.99 FT, TH N 45 38 03 W 28.13 FT, TH N 00 38 03 W 202.81 FT, TH N 89 01 38 E 671.63 FT TO CURVE CONC NE, R OF 250 FT, TH SELY ALG ARC 129.58 FT, TH S 70 24 24 E 66.44 FT TO CURVE CONC E, R OF 2,103.43 FT, TH SLY ALG ARC 521.35 FT TO POB (9.16 AC) (OR 2483-1661; 3254-1039)

LEGAL DESCRIPTION

A parcel of land lying in Section 19, Township 35 South, Range 40 East, St. Lucie County, Florida, being more particularly described as follows:

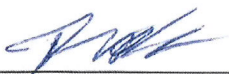
Commence at the Northeast corner of said Section 19, thence N01°20'45"E along the East line of Section 18, Township 35 South Range 40 East, a distance of 357.81 feet to the point of intersection with the Northerly right-of-way line of Okeechobee Road (AKA S.R. 70); thence S52°29'55"W along said northerly right-of-way line a distance of 2102.04 feet; thence S55°45'47"W a distance of 210.34 feet; thence S52°29'33"W a distance of 71.28 feet; thence South 52°29'55" West, a distance of 230.26 feet; thence South 29°51'40" West, a distance of 31.18 feet; thence South 52°29'55" West, a distance of 675.96 feet to the Easterly right-of-way line of McNeil Road Extension; thence along the Easterly right-of-way of McNeil Road Extension the following 4 courses and distances; thence North 37°30'05" West, a distance of 350.00 feet; thence South 52°29'55" West, a distance of 10.00 feet; thence North 37°30'05" West, a distance of 230.00 feet to a point of curve to the right having a radius of 595.00 feet and a central angle of 42°32'58"; thence Northwesterly along the arc a distance of 441.86 feet; thence North 84°57'07" West, a distance of 60.00 feet to the POINT OF BEGINNING of the following described parcel;

To an intersection with a non tangent curve concave to the East, having a radius of 655.00 feet, the chord of which bears South 00°51'40" East, 134.86 feet; thence Southerly along the arc of said curve, a distance of 135.10 feet through a central angle of 11°49'05"; thence South 89°21'58" West, a distance of 391.21 feet; thence North 82°29'17" West, a distance of 53.44 feet; thence North 05°25'09" East, a distance of 509.05 feet; thence South 89°01'36" West, a distance of 313.99 feet; thence North 45°38'03" West, a distance of 28.13 feet; thence North 00°38'03" West, a distance of 202.81 feet; thence North 89°01'38" East, a distance of 671.63 feet to the intersection with a non tangent curve concave to the Northeast, having a radius of 250.00 feet, the chord of which bears South 55°33'29" East, 128.13 feet; thence Easterly along the arc of said curve, a distance of 129.58 feet through a central angle of 29°41'49"; thence South 70°24'24" East, a distance of 66.44 feet to the intersection with a non tangent curve concave to the East, having a radius of 2,103.43 feet, the chord of which bears South 12°08'55" West, 520.01 feet; thence Southerly along the arc of said curve, a distance of 521.35 feet through a central angle of 14°12'04" to the POINT OF BEGINNING.

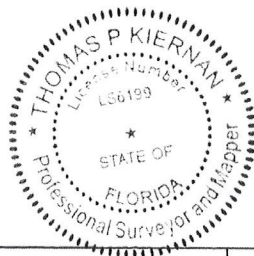

Containing 9.186 acres, more or less.

NOTE: THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

NOTE: LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY AND/OR EASEMENTS OF RECORD.


 THOMAS P. KIERNAN
 Professional Surveyor & Mapper
 Florida Certificate No. 6199

4/26/19
 DATE

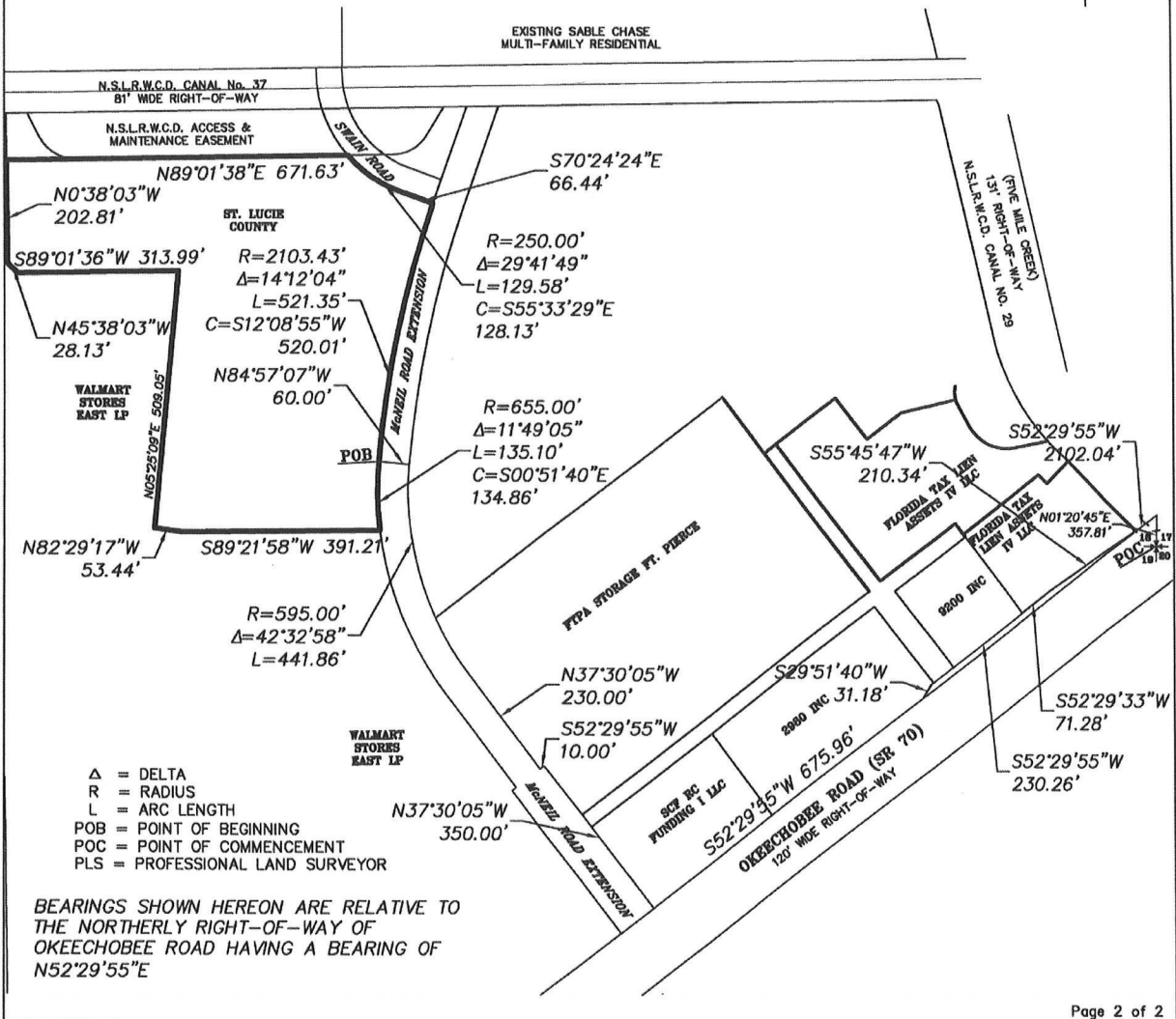
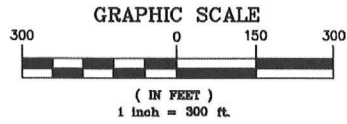



CULPEPPER & TERPENING, INC
 CONSULTING ENGINEERS | LAND SURVEYORS
 2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981
 151 SW FLAGLER AVENUE • STUART, FLORIDA 34994
 PHONE 772-464-3537 • FAX 772-464-9497 • www.ct-eng.com
 STATE OF FLORIDA CERTIFICATION No. 1B-4286

LEGAL	
DESCRIPTION	
JOB NO: 19-052	SCALE: N/A
DRAWN BY: GLM	DATE: 04-25-2019

SKETCH TO ACCOMPANY LEGAL DESCRIPTION

THIS IS NOT A SURVEY



Page 2 of 2



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SKETCH

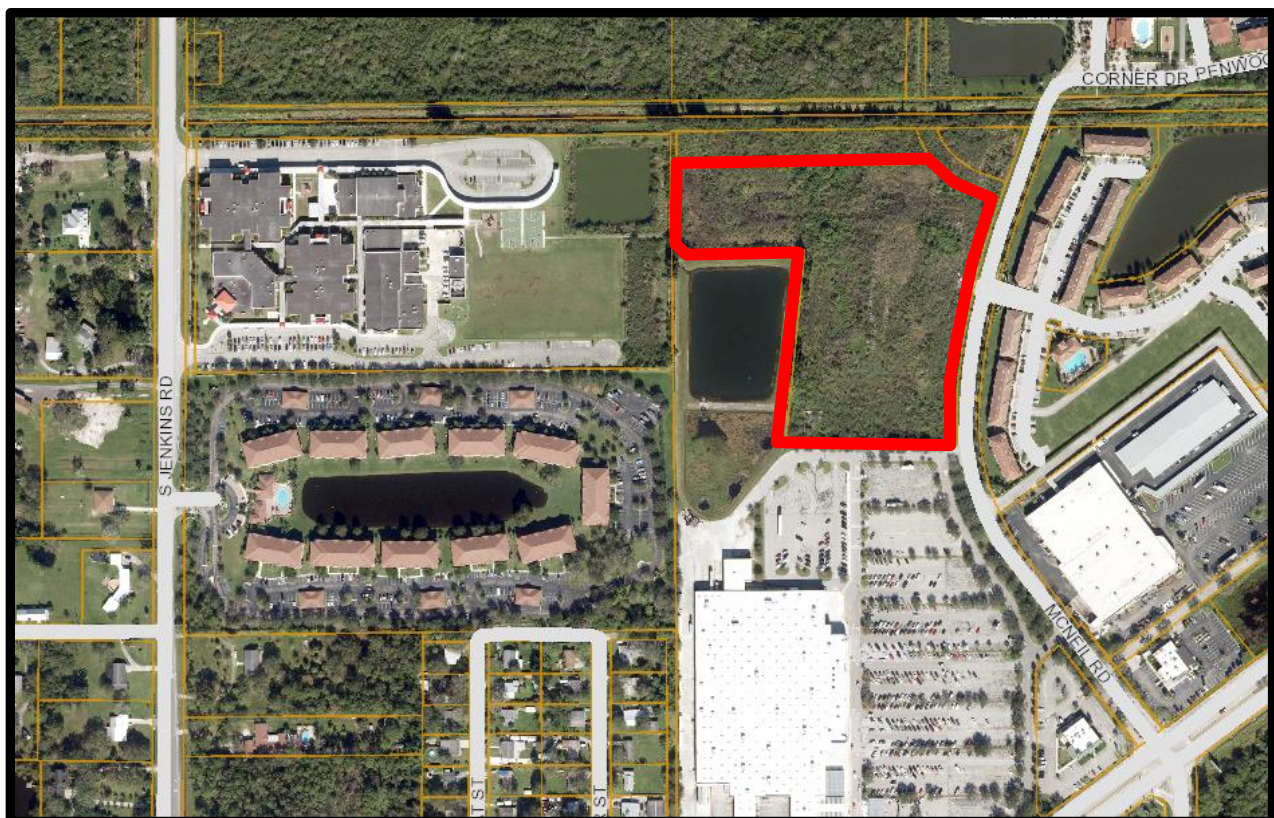
SKETCH OF DESCRIPTION

JOB NO: 19-052

SCALE: 1"=300'

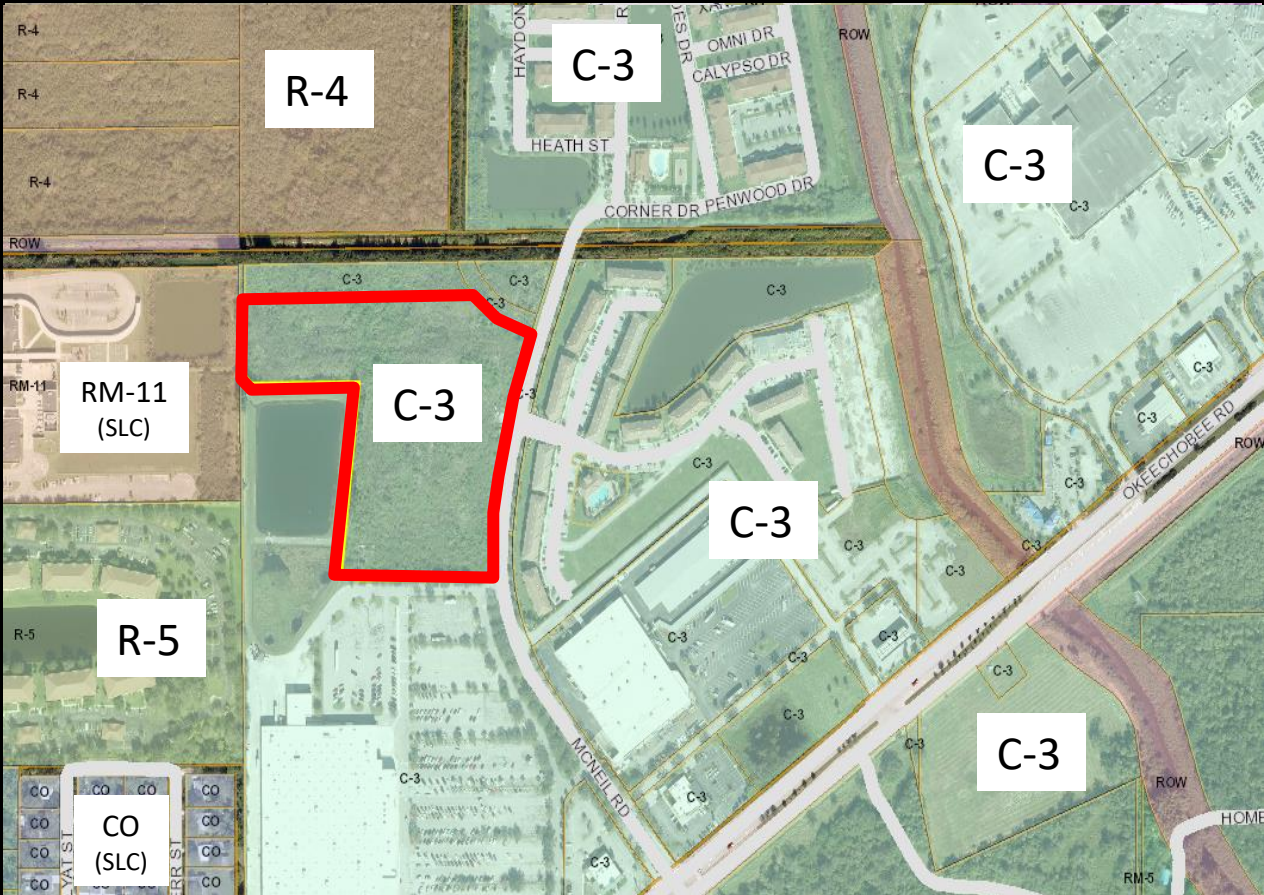
DRAWN BY: GLM

DATE: 04-25-2019



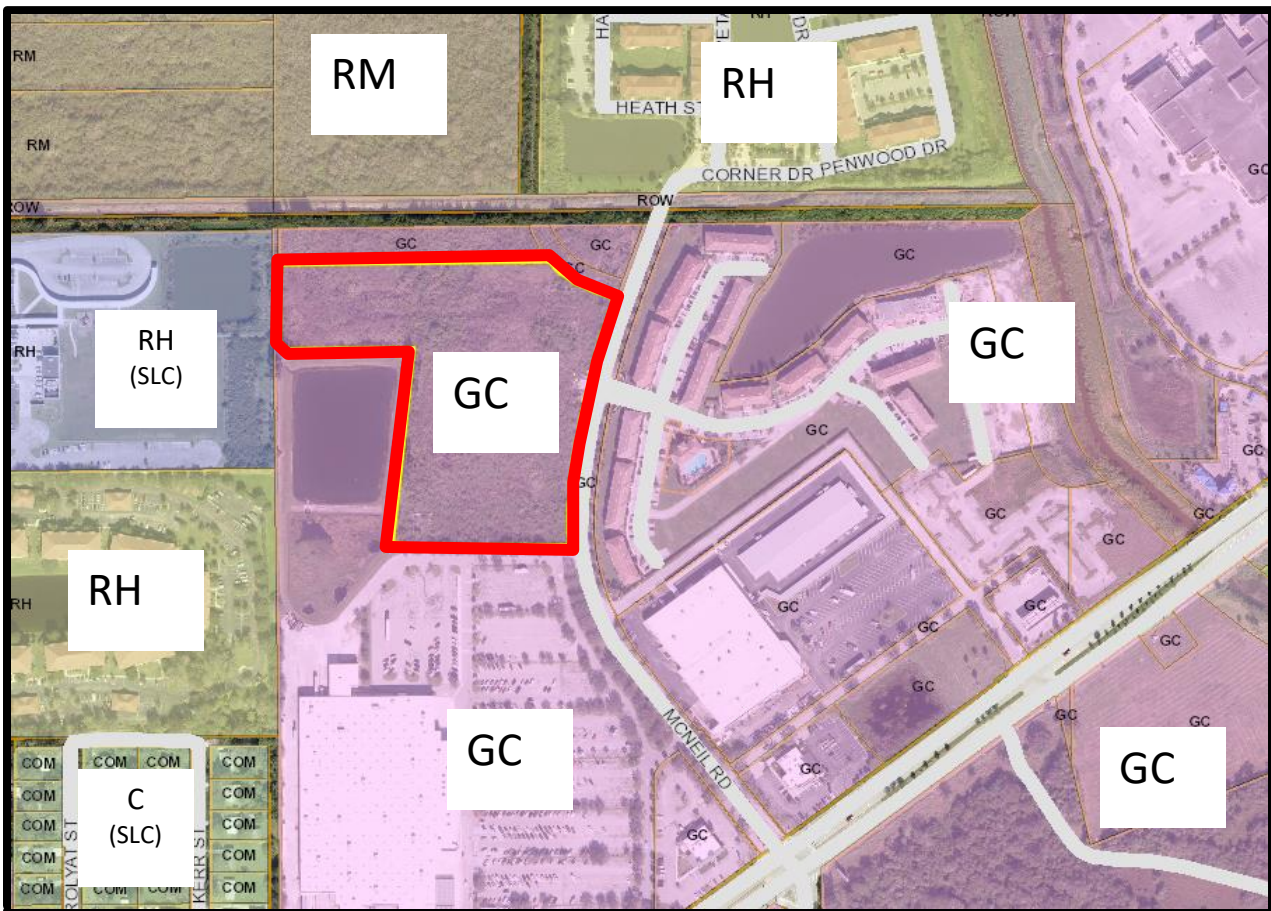
Rezoning & Future Land Use Amendment
Blue Sky Communities – NE of Jenkins Rd & Okeechobee Rd
Aerial





Rezoning & Future Land Use Amendment
Blue Sky Communities – NE of Jenkins Rd & Okeechobee Rd
Zoning Map





Rezoning & Future Land Use Amendment
Blue Sky Communities – NE of Jenkins Rd & Okeechobee Rd
FLU Map





THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida



To : Brandon Creagan, Planner

FROM : John R. Andrews, P.E., City Engineer

RE : Blue Sky Communities – TRC No. 19-06000002 & 19-99900002

DATE : May 15, 2019

This is to advise you that we have completed the review of the following documents as received by this office on May 3, 2019:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Rezoning and Future Land Use | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|--|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of Rezoning | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

No comment



**BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM**

Meeting Date: 5.16.19
Property Address: 2419-2111-0004-0008
Property Name: Blue Sky Communities
Project Name:
Planner: Brandon Creagan

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 6th Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
 - Accessible route
 - Handicapped parking spaces
 - Means of egress
- 7. Change of Use required
 - to include a signed and sealed Life Safety Plan
 - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

Additional Comments/Requirements:

Building Official's or Representative's Signature _____

Date: _____

5/13/19



Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 x3473

Technical Review Committee meeting

May 16, 2019

TECHNICAL REVIEW PROJECT # 19-06000002 & 19-99900002

Rezoning and Future Land Use – Blue Sky Communities – 2419-211-0004-000-8

Comments

FPUA W/WW Engineering: Approved: Water and Sewer capacity are available to serve the proposed development.

FPUA Electric & Gas Engineering: Approved: Electric service availability is along the west side of McNeil Road.



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

www.fpua.com





May 15, 2019

Project: Blue Sky Communities
Subject: Rezoning and FLU Change Comments
To: Brandon Creagan
From: Grant Chambers

1. The Right-of-Way tract to the north of the parcel is substandard. A Right-of-Way dedication of up to 10 FT may be required.
2. The County will reserve further comments until a development plan is submitted for review.



THE SUNRISE CITY
FORT PIERCE
POLICE DEPARTMENT
"In Honor We Serve"

Florida

Technical Review Committee meeting

May 16th, 2019

Case # 19-0600002 / 19-99900002

Rezoning and future land use

Blue Sky Communities 2419-211-0004-000-8., McNeil Road, Ft. Pierce

Comments:

No comments.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: Blue Sky Communities - Future Land Use

NOTICES PROVIDED PURSUANT TO: 22-143

NOTICE BY NEWSPAPER: 6-30-2019

NOTICE BY MAIL: N/A

NOTICE BY SIGNS: N/A

VERIFIED BY: Brandon C. Creagan

TITLE: Planner

SIGNATURE: 

DATE: 7-3-2019

Meeting Date: 09/23/2019

Re: Ordinance 19-032 - Zoning Atlas Map Amendment - 2419-211-0004-000-8

SUBJECT:

Legislative Hearing - Ordinance 19-032 Review and approval of an application for Zoning Atlas Map Amendment to rezone property from C-3, General Commercial to R-5, High Density Residential on Parcel ID 2419-211-0004-000-8 in Fort Pierce, Florida. SECOND READING

SUMMARY:

- In accordance with Sections 22-128 & 22-143 of the City Code, the applicant is requesting the review and approval of a Zoning Atlas Map Amendment (Rezoning) from C-3, General Commercial to R-5, High Density Residential.
- The subject site was originally apart of the Portofino Landings apartment complex, but due to the recession of the mid 2000's this extension to the apartment complex was never completed. St. Lucie County would come to take ownership of the property. Blue Sky Communities is partnering with St. Lucie County to develop a multi-family development on this site.
- The applicant also has a pending application for Future Land Use Map Amendment to change the property from GC, General Commercial to RH, High Density Residential.
- The request for rezoning is to allow for the development of a multi-family residential development.
- The Planning Board at their meeting on June 11, 2019, voted 6-0 to recommend approval of the application for a Zoning Atlas Amendment.
- 11 letters were sent out to property owners within 500 feet of the subject property

RECOMMENDATION:

Approval

ALTERNATIVES:

Disapproval

RESPONSIBLE STAFF:

Brandon C. Creagan, LEED Green Associate, Planner

COORDINATED WITH:

Technical Review Committee

Fiscal Impact

OTHER INFORMATION:

N/A

Attachments

Draft Ordinance 19-032
Staff Report
Application & Supporting Documents
Aerial Map
Zoning Map
Future Land Use Map
TRC Comments
Notification of Mailing
Public Notification Certification
Proof of Publication
Proof of Publication Updated

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	07/05/2019 11:10 AM
Form Started By: Brandon Creagan		Started On: 07/02/2019 11:06 PM
Final Approval Date: 09/04/2019		

DRAFT ORDINANCE NO. 19-032

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; REZONING ONE (1) PARCEL GENERALLY LOCATED AT OR NEAR THE WEST SIDE OF MCNEIL ROAD, APPROXIMATELY 1,000 FEET NORTHWEST OF STATE ROAD 70 FROM CITY OF FORT PIERCE C-3, GENERAL COMMERCIAL TO CITY OF FORT PIERCE R-5, HIGH DENSITY RESIDENTIAL; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the subject property is located at or near the west side of McNeil Road, approximately 1,000 feet northwest of State Road 70 within the City of Fort Pierce, Florida, representing approximately 9.186 acres of land; and

WHEREAS, the owner/applicant seeks rezoning of the subject property located at or near the west side of McNeil Road, approximately 1,000 feet northwest of State Road 70 from C-3, General Commercial to R-5, Medium Density Residential; and

WHEREAS, the proposed zoning atlas map amendment (rezoning) is consistent with the comprehensive plan, will not have an adverse effect on the ability of the city to satisfy land and water use needs; and meet transportation demands and provide community facilities and services, and will promote and protect the public health, safety and general welfare as required by City Code 22-131; and

WHEREAS, the City of Fort Pierce Planning Board, at their June 11th, 2019 meeting, voted unanimously to recommend approval of the request; and

NOW, THEREFORE BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1. From and after the effective date hereof, the following described properties are hereby rezoned as follows:

Parcels IDs: 2419-211-0004-000-8

From and after the effective date hereof, the following properties legally described as:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19, THENCE N01°20'45"E ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE S52°29'55"W ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 2102.04 FEET; THENCE S55°45'47"W A DISTANCE OF 210.34 FEET; THENCE S52°29'33"W A DISTANCE OF 71.28 FEET; THENCE SOUTH 52°29'55" WEST, A DISTANCE OF 230.26 FEET; THENCE SOUTH 29°51'40" WEST, A DISTANCE OF 31.18 FEET; THENCE SOUTH 52°29'55" WEST, A DISTANCE OF 675.96 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF MCNEIL ROAD EXTENSION; THENCE ALONG THE EASTERLY RIGHT-OF-WAY OF MCNEIL ROAD EXTENSION THE FOLLOWING 4 COURSES AND DISTANCES; THENCE

NORTH 37°30'05" WEST, A DISTANCE OF 350.00 FEET; THENCE SOUTH 52°29'55" WEST, A DISTANCE OF 10.00 FEET; THENCE NORTH 37°30'05" WEST, A DISTANCE OF 230.00 FEET TO A POINT OF CURVE TO THE RIGHT HAVING A RADIUS OF 595.00 FEET AND A CENTRAL ANGLE OF 42°32'58"; THENCE NORTHWESTERLY ALONG THE ARC A DISTANCE OF 441.86 FEET; THENCE NORTH 84°57'07" WEST, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL;

TO AN INTERSECTION WITH A NON TANGENT CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 655.00 FEET, THE CHORD OF WHICH BEARS SOUTH 00°51'40" EAST, 134.86 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 135.10 FEET THROUGH A CENTRAL ANGLE OF 11°49'05"; THENCE SOUTH 89°21'58" WEST, A DISTANCE OF 391.21 FEET; THENCE NORTH 82°29'17" WEST, A DISTANCE OF 53.44 FEET; THENCE NORTH 05°25'09" EAST, A DISTANCE OF 509.05 FEET; THENCE SOUTH 89°01'36" WEST, A DISTANCE OF 313.99 FEET; THENCE NORTH 45°38'03" WEST, A DISTANCE OF 28.13 FEET; THENCE NORTH 00°38'03" WEST, A DISTANCE OF 202.81 FEET; THENCE NORTH 89°01'38" EAST, A DISTANCE OF 671.63 FEET TO THE INTERSECTION WITH A NON TANGENT CURVE CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 250.00 FEET, THE CHORD OF WHICH BEARS SOUTH 55°33'29" EAST, 128.13 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 129.58 FEET THROUGH A CENTRAL ANGLE OF 29°41'49"; THENCE SOUTH 70°24'24" EAST, A DISTANCE OF 66.44 FEET TO THE INTERSECTION WITH A NON TANGENT CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 2,103.43 FEET, THE CHORD OF WHICH BEARS SOUTH 12°08'55" WEST, 520.01 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 521.35 FEET THROUGH A CENTRAL ANGLE OF 14°12'04" TO THE POINT OF BEGINNING.

CONTAINING 9.186 ACRES, MORE OR LESS.

said properties being generally located at or near the west side of McNeil Road, approximately 1,000 feet northwest of State Road 70 in Fort Pierce, Florida shall be and the Zoning Designation is hereby changed from C-3, General Commercial, to R-5, High Density Residential, as depicted on Exhibit "A" and Exhibit "B", attached hereto and incorporated herein.

SECTION 2. The provisions of this Ordinance are declared to be severable and if any section, sentence, clause, or phrase of this Ordinance shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Ordinance but shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

SECTION 3. All ordinances or parts thereof that may be determined to be in conflict herewith are hereby repealed.

SECTION 4. This Ordinance shall be and become effective immediately upon final passage.

APPROVED AS TO FORM & CORRECTNESS:

Peter J. Sweeney
City Attorney

STATE OF FLORIDA

COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No. 19-032 was duly advertised by title only in the St. Lucie News Tribune on Sunday, June 30, 2019; copy of said Ordinance was made available at the office of the City Clerk to the public upon request; said Ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on July 17, 2019; and was duly introduced, read

by title only, and passed on second and final reading September __, 2019, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HEREWITH, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this __th day of July, 2019.

Linda Hudson
Mayor Commissioner

ATTEST:

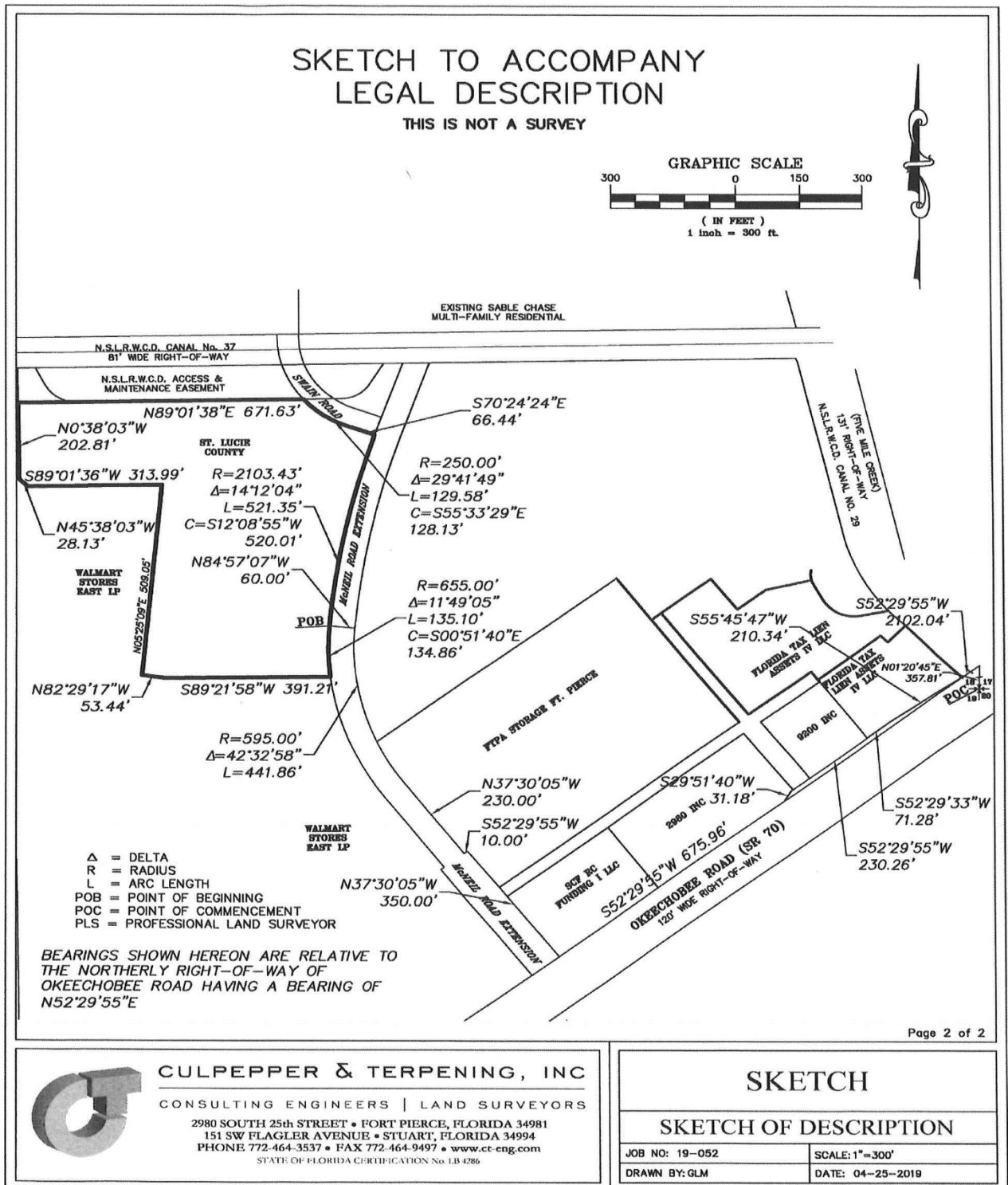
Linda W. Cox
City Clerk

(CITY SEAL)

EXHIBIT A
Proposed Zoning Atlas Map Amendment
R-5, High Density Residential



Exhibit B
Sketch and Legal Description



Parcels IDs: 2419-211-0004-000-8

From and after the effective date hereof, the following properties legally described as:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19, THENCE N01°20'45"E ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE S52°29'55"W ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 2102.04 FEET; THENCE S55°45'47"W A DISTANCE OF 210.34 FEET; THENCE S52°29'33"W A DISTANCE OF 71.28 FEET; THENCE SOUTH 52°29'55" WEST, A DISTANCE OF 230.26

Exhibit B (Cont.)
Sketch and Legal Description

FEET; THENCE SOUTH 29°51'40" WEST, A DISTANCE OF 31.18 FEET; THENCE SOUTH 52°29'55" WEST, A DISTANCE OF 675.96 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF MCNEIL ROAD EXTENSION; THENCE ALONG THE EASTERLY RIGHT-OF-WAY OF MCNEIL ROAD EXTENSION THE FOLLOWING 4 COURSES AND DISTANCES; THENCE NORTH 37°30'05" WEST, A DISTANCE OF 350.00 FEET; THENCE SOUTH 52°29'55" WEST, A DISTANCE OF 10.00 FEET; THENCE NORTH 37°30'05" WEST, A DISTANCE OF 230.00 FEET TO A POINT OF CURVE TO THE RIGHT HAVING A RADIUS OF 595.00 FEET AND A CENTRAL ANGLE OF 42°32'58"; THENCE NORTHWESTERLY ALONG THE ARC A DISTANCE OF 441.86 FEET; THENCE NORTH 84°57'07" WEST, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL;

TO AN INTERSECTION WITH A NON TANGENT CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 655.00 FEET, THE CHORD OF WHICH BEARS SOUTH 00°51'40" EAST, 134.86 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 135.10 FEET THROUGH A CENTRAL ANGLE OF 11°49'05"; THENCE SOUTH 89°21'58" WEST, A DISTANCE OF 391.21 FEET; THENCE NORTH 82°29'17" WEST, A DISTANCE OF 53.44 FEET; THENCE NORTH 05°25'09" EAST, A DISTANCE OF 509.05 FEET; THENCE SOUTH 89°01'36" WEST, A DISTANCE OF 313.99 FEET; THENCE NORTH 45°38'03" WEST, A DISTANCE OF 28.13 FEET; THENCE NORTH 00°38'03" WEST, A DISTANCE OF 202.81 FEET; THENCE NORTH 89°01'38" EAST, A DISTANCE OF 671.63 FEET TO THE INTERSECTION WITH A NON TANGENT CURVE CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 250.00 FEET, THE CHORD OF WHICH BEARS SOUTH 55°33'29" EAST, 128.13 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 129.58 FEET THROUGH A CENTRAL ANGLE OF 29°41'49"; THENCE SOUTH 70°24'24" EAST, A DISTANCE OF 66.44 FEET TO THE INTERSECTION WITH A NON TANGENT CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 2,103.43 FEET, THE CHORD OF WHICH BEARS SOUTH 12°08'55" WEST, 520.01 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 521.35 FEET THROUGH A CENTRAL ANGLE OF 14°12'04" TO THE POINT OF BEGINNING.

CONTAINING 9.186 ACRES, MORE OR LESS.



TO: Nicholas Mimms, P.E., City Manager

THROUGH: Rebeca Guerra, AICP, LEED-AP, CLD, Interim Planning Director

FROM: Brandon Creagan, LEED Green Associate, Planner

RE: **Application for a Zoning Atlas Map Amendment**
Application for a Future Land Use Map Amendment
Blue Sky Communities

BOARD DATE: July 15, 2019

STAFF REPORT

Property Owner St. Lucie County
2300 Virginia Avenue
Fort Pierce, Florida 34982

Applicant: Blue Sky Communities
5081 SW 48th Street, Suite 103
Tampa, FL 33607

Representative: Culpepper & Terpening, Inc.
2980 South 25th Street
Fort Pierce, FL 34981

Requested Action: Approval to rezone the subject property from C-3, General Commercial to R-5, High Density Residential.

Approval to change the Future Land Use from GC, General Commercial to RH, Heavy Density Residential.

Site Location: North of Walmart, West of Portofino Lands, South of Sabal Chase Apartments, and East of Samuel S. Gaines Academy.

Parcel ID: 2419-211-0004-000-8

Existing Use: Vacant

Parcel Size: 9.16 Acres +/-

Current Zoning: General Commercial (C-3)

Current Future Land Use General Commercial (GC)

Proposed Zoning: Heavy Density Residential (R-5)

Proposed Future Land-Use Heavy Density Residential (RH)

Surrounding Zoning/FLU:

North	East	South	West
C-3/GC	C-3/GC	C-3/GC	C-3/GC

Staff Analysis:

Request

In accordance with Sections 22-128 & 22-143 of the City Code, the applicant is requesting the review and approval of a Zoning Atlas Map Amendment (Rezoning) from C-3, General Commercial to R-5, High Density Residential. The applicant is also requesting review and approval of a Future Land Use Map Amendment from CG, General Commercial to RH, High Density Residential. The applicant would like to rezone and change the Future Land Use of the property so they can use the property for a future multi-family development.

Background

The subject site was originally apart of the Portofino Landings apartment complex, but due to the recession of the mid 2000’s this extension to the apartment complex was never completed. St. Lucie County would come to take ownership of the property. Blue Sky Communities is partnering with St. Lucie County to develop a multi-family development on this site.

Standards for Review

The following standards must be satisfied per Section 22-131 of the City Code prior to the approval of the requested amendment:

- (1) The amendment is consistent with the comprehensive plan;
- (2) The amendment will not have an adverse effect on the ability of the city to:
 - a. Satisfy land and water use needs; and
 - b. Meet transportation demands and provide community facilities and services; and
- (3) The amendment will promote and protect the public health, safety and general welfare.

The proposed amendment is consistent with the Goals, Objectives, and Policies of the City’s Comprehensive Plan, as the applicant along with the Rezoning change is requesting the Future Land Use to be changed to a compatible Future Land Use. Furthermore, the amendment would not have an adverse effect on the ability of the city to satisfy land and water use needs, meet transportation demands, and provide community facilities and services. There are three multi-family developments around this site and the services that are provided for those developments would be the same or similar. The presented amendment promotes and protects the public health, safety and general welfare through the rezoning of this property because the applicant intends to develop a multi-family development and multi-family is more compatible with R-5, High Density Residential than it is with the current zoning of C-3, General Commercial. It would also promote and protect the public health, safety, and general welfare because there are almost no standards in the C-3 Zoning designation to regulate residential. By rezoning the property to an appropriate residential Zoning designation, it allows staff to properly regulate the use of the property.

Future Land Use Designation Comparison

The subject site currently has a Future Land Use of GC, General Commercial. This designation is intended for parcels that are for higher intensity commercial developments or horizontal and vertical mixed-use developments. Uses allowed within this designation include multifamily residential, intensive and general commercial, retail, service, offices, tourist/entertainment facilities, hotels/motels, parks and recreation, along with compatible public, quasi-public, and special uses. This land use designation allows for a maximum density of 15 dwelling units per acre and a maximum FAR of 1.0. Development shall include either commercial or mixed uses fronting major roadway corridors with higher intensity near major intersections. Residential uses may comprise up to 20% of the total floor area of the General Commercial future land use designation.

The subject site is seeking a Future Land Use of RH, Heavy Density Residential. This designation is intended for parcels that are best suited for medium to high density multifamily residential uses ranging in density from 12 to 18 dwelling units per acre. This category allows multifamily dwellings including apartments, condominiums and townhomes. Limited commercial uses intended to serve the residential uses shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools and daycare facilities shall also be allowed.

When comparing both of these designations the High Density Residential designation would be considered a less intense designation compared to the General Commercial designation. While this property is surrounded by properties that hold a GC, General Commercial Future Land Use designation, the proposed use of multi-family would be compatible with the two multi-family developments of Portfino Landings and Sable Chase Apartments that surround this property. This property is also within approximately 350 feet of the the Treasure Cay Apartment Complex that has a Future Land Use of RH, High Density Residential.

Technical Review Committee:

All affected City Departments have reviewed the proposed Application for Zoning Atlas Map Amendment and Future Land Use Map Amendment and have provided conditional approval based on compliance with requirements of the City Code. The comments generated from the technical review, and any responses by the applicant are provided for review.

Planning Board:

The Planning Board at their meeting on June 11, 2019 voted 6-0 to recommend approval of both the Application for Zoning Atlas Amendment and Future Land Use Map Amendment.

Public Notification:

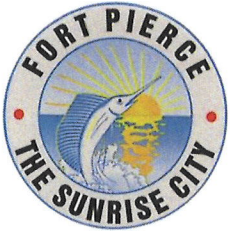
11 letters were sent out to property owners within 500 feet of the subject property for the Zoning Atlas Map Amendment. No letters have been returned, an update will be given at the City Commission meeting.

Staff Recommendation Zoning Atlas Map Amendment:

The requested Application for Zoning Atlas Map Amendment meets the criteria specified in Section 22-131 of the City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience and general welfare; Staff recommends that the City Commission **APPROVE** the request as presented.

Staff Recommendation Future Land Use Map Amendment:

The requested Application for Future Land Use Map Amendment meets the criteria specified in Section 22-131 of the City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience and general welfare; Staff recommends that the City Commission **APPROVE** the request as presented



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

Application for Zoning Atlas Map Amendment

Application submission shall include the following:

- **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a 1/2 mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- *** Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other _____

1. **Property Address/Location:** _____ t/b/d _____
2. **Property Tax ID(s):** _____ 2419-211-0004-000-8 _____
3. **Total Acreage:** _____ 9.16 _____
4. **Existing Future Land Use Designation:** _____ GC (General Commercial) _____
5. **Existing Zoning Classification:** _____ C-3 (General Commercial) _____

- 6. **Proposed Zoning Classification:** R-5 (Residential – Multiple Family 15 du/ac)
- 7. **Other applications being submitted concurrent with this application, if any:** Future Land Use Amendment Application To the RH (Residential High Future Land Use Category)

- 8. **Describe the existing uses, improvements and structures on the amendment lands:** Site is vacant

- 9. **Are there any identified or possible historical structures on the amendment lands?** No
- 10. **The reason for making this request:** to change the zoning on property to permit multi-family residential development.

11. CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Vacant	RM (Residential Medium)	R4 (Residential Medium Density)
South	Commercial (Wal-Mart)	GC (Commercial General)	C-3 (Commercial General)
East	Residential (Portofino Landings (East))	GC (Commercial General)	C-3 (Commercial General)
West	Education (Samuel S. Gaines Acad K-8)	P/F (Public Use)	I (Institutional)

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	GC	C-3	15 du/ac (20% max of land use)	9.1	
Proposed	RH	R-5	15	9.1	N/A

[go to next page]

II. Public Facilities Information:

A. Potable Water:

Average Use	Residential	100	gallons per day per person (du x 2.6 = persons x 100 gpd = demand)				
	Other	0.125	gallons per day per square foot				
Demand Analysis		Maximum					
Current Zoning	Total gallons per day	commercial	318,572	sf	39,821.50	gpd	
		residential	86	du	22,360	gpd	
Proposed Zoning	Total gallons per day	commercial	-	sf	-	gpd	
		residential	137	du	35,490	gpd	
Change in Demand		Total gallons per day		(26,691.50)		gpd	

B. Wastewater:

Average Use	Residential	100	gallons per day per person (du x 2.6 = persons x 100 gpd = demand)				
	Other	0.100	gallons per day per square foot				
Demand Analysis		Maximum					
Current Zoning	Total gallons per day	commercial	318,572	sf	31,857.20	gpd	
		residential	86	du	22,360	gpd	
Proposed Zoning	Total gallons per day	commercial	-	sf	-	gpd	
		residential	137	du	35,490	gpd	
Change in Demand		Total gallons per day		(18,727.20)		gpd	

C. Parks and Recreation (Residential Classifications Only):

(Du x 2.6 = persons + 44,227 = population /LOS)

Park Type	LOS (per 1000)	Existing Population Park Demand		Proposed Population Park Demand		Change in Demand	
		base	existing	base	existing	persons	added acres
Regional	20	44,227	44,451	44,227	44,583	132.6	2.65 acres
Urban District	5	44,227	44,451	44,227	44,583	132.6	0.66 acres
Community	2.5	44,227	44,451	44,227	44,583	132.6	0.33 acres
Neighborhood	1.36	44,227	44,451	44,227	44,583	132.6	0.18 acres

D. Public Schools (Residential Classifications Only):

Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)

	K-8	High
School Name	Samuel S. Gaines Academy K-8	Ft. Pierce Central
City	Ft. Pierce	Ft. Pierce
Distance	< 1 mile	5 miles
Current Zoning Enrollment Demand	12	5
Proposed Zoning Enrollment Demand	24	10
Change in Demand	11	5

E. Solid Waste:

2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units

Demand Analysis	Maximum
Current Zoning	11.5 yards
Proposed Zoning	21.9 yards
Change in Demand	10.4 yards

F. Stormwater:

Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact The overall stormwater impacts may be expected to be lessened from this site as a result of its conversion from commercial to residential uses. Full stormwater impacts will be addressed with a specific development proposal.

G. Traffic

Most recent ITE Code for use; HCM Roadway Capacity

Demand Analysis	area/ units	AADT		AM Peak Hour Trips		PM Peak Hour Trips		
		rate	Maximum	rate	Maximum	rate	Maximum	
Current Zoning	commercial (820)	318,572	37.5	11946	3	956	4.21	1341
	residential (220)	86	7.32	630	0.56	0.04816	0.67	0.05762
Proposed Zoning	commercial (820)	-	37.5	0	3	0	4.21	0
	residential (220)	164	7.32	1200	0.56	0.09184	0.67	0.804
Change in Demand				-11375		-956		-1340
Impact to Capacity				none		none		none

12. **Name of Owner(s):** St. Lucie County

Mailing Address: 2300 Virginia Avenue

City Ft. Pierce **State** Fla **Zip** 34982

Phone # 772-462-1400 **Fax No.:** _____

E-mail: _____

1
Name of Applicant: (Blue Sky Communities (attn.: Shawn Wilson))

Mailing Address: 5300 W. Cypress Street, Ste 200

City Tampa **State** Fl **Zip** 33607

Phone # _____ **Fax No.:** _____

E-mail: swilson@blueskycommunities.com

14. **Name of Representative:** Culpepper & Terpening, Inc. (attn: B. Terpening)

Mailing Address: 2980 South 25th Street

City Ft. Pierce **State** Fl **Zip** 34981

Phone # 772-464-3537 **Fax No.:** 772-464-9497

E-mail: Bterpening@ct-eng.com

[go to next page]

xxx I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

[Signature] Applicant's Signature 4/9/19. Date

5300 W. Cypress Street, Ste 200, Tampa , Florida, 33607
Address State Zip

Swilson@blueskycommunities.com
Phone Fax E-mail Address

16. Property Owners Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

See attached agent authorization letter
Property Owner's Name (Please Print) Phone

Address State Zip

Property Owner's Signature Date

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this ___ day of _____, 20____, by _____ who is personally known to me or has produced as identification.

Signature of Notary (seal)

OFFICE USE:		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

Application for Future Land Use Map Amendment

Future Land Use Map Amendment – Large Scale (>10 acres)

Future Land Use Map Amendment – Small Scale (<10 acres)

In accordance with Chapter 163.3187, Florida Statutes, The City of Fort Pierce will consider applications for land use changes on parcels in excess of 10 acres (“Large Scale Amendments”) only twice each calendar year. The City Commission will consider applications for land use changes on parcels less than or equal to 10 acres with a maximum density of 10 units per acres or less at any time during the calendar year. You are encouraged to schedule a pre-application meeting with the planning staff and to submit your application up to three months in advance of the application deadline.

Application submission shall include the following:

- **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (13) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
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- Current Survey
- Environmental Study
- Traffic Impact Report
- *** Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other _____

1. **Property Address/Location:** t/b/d
2. **Property Tax ID(s):** 2419-211-0004-000-8
3. **Total Acreage:** 9.16
4. **Existing Future Land Use Designation:** GC (General Commercial)
5. **Existing Zoning Classification:** C-3 (General Commercial)
6. **Proposed Zoning Classification:** R-5 (Residential – Multiple Family 15 du/ac)
7. **Other applications being submitted concurrent with this application, if any:** Change in Zoning Application to the R-5 Zoning District
8. **Describe the existing uses, improvements and structures on the amendment lands:** Site is vacant
9. **Are there any identified or possible historical structures on the amendment lands?** No
10. **The reason for making this request:** to change the zoning on property to permit multi-family residential development.

11. Capacity Analysis:

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Vacant	RM (Residential Medium)	R4 (Residential Medium Density)
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C. Parks and Recreation (Residential Classifications Only):
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Park Type	LOS (per 1000)	Existing Population Park Demand		Proposed Population Park Demand		Change in Demand		persons	added acres
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Change in Demand	10.4	yards

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Most recent ITE Code for use; HCM Roadway Capacity

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Change in Demand				-11375		-956		-1340
Impact to Capacity				none		none		none

12. Name of Owner(s): St. Lucie County

Mailing Address: 2300 Virginia Avenue

City Ft. Pierce State Fla Zip 34982

Phone # 772-462-1400 Fax No.: _____

E-mail: _____

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Mailing Address: 5300 W. Cypress Street, Ste 200

City Tampa State Fl Zip 33607

Phone # _____ Fax No.: _____

E-mail: swilson@blueskycommunities.com

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Mailing Address: 2980 South 25th Street

City Ft. Pierce State Fl Zip 34981

Phone # 772-464-3537 Fax No.: 772-464-9497

E-mail: Bterpening@ct-eng.com

[go to next page]

APPLICATION FOR ZONING ATLAS AMENDMENT

Page 5 of 5

xxx I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

[Signature] Applicant's Signature 4/9/19. Date

5300 W. Cypress Street, Ste 200, Tampa , Florida, 33607
Address State Zip

Swilson@blueskycommunities.com
Phone Fax E-mail Address

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See attached agent authorization letter
Property Owner's Name (Please Print) Phone

Address State Zip

Property Owner's Signature Date

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this ___ day of _____, 20____, by _____ who is personally known to me or has produced as identification.

Signature of Notary (seal)

OFFICE USE:		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	



HOWARD N. TIPTON
County Administrator

ST. LUCIE COUNTY
BOARD OF COUNTY
COMMISSIONERS

LINDA BARTZ
CHAIR
DISTRICT 3

CATHY TOWNSEND
VICE-CHAIR
DISTRICT 5

CHRIS DZADOVSKY
DISTRICT 1

SEAN MITCHELL
DISTRICT 2

FRANNIE HUTCHINSON
DISTRICT 4

DAN MCINTYRE
COUNTY ATTORNEY

MAILING ADDRESS
2300 VIRGINIA AVENUE
FORT PIERCE, FL 34982

PHONE
(772) 462-1156

TDD
(772) 462-1428

FAX
(772) 462-2131

E-MAIL
PHELANK@STLUCIECO.ORG

WEBSITE
WWW.STLUCIECO.GOV

March 14, 2019

Mr. Shawn Wilson
Blue McNeil One, LLC
5300 West Cypress Street
Suite 200
Tampa, FL 33607

Dear Mr. Wilson:

Re: McNeil Road Parcel – City of Fort Pierce Rezoning Application

This letter shall serve to confirm that on February 5, 2019 the Board of County Commissioners accepted the response of Blue Sky Communities, LLC to RFQ No. 19-007 for the development of a multi-family affordable housing project on the County-owned 9.16 parcel located on McNeil Road within the City of Fort Pierce (the "Property"), and authorized staff to enter into contract negotiations with Blue Sky for the sale and development of the Property. Those contract negotiations are currently underway. In recognition of the County's desire to have the Property developed for affordable multi-family housing, the County consents to the submission of an application by Blue Sky Communities, LLC or its agent to the City of Fort Pierce to rezone the Property for multi-family residential use.

Sincerely,

Howard N. Tipton

HNT/kp

C: County Attorney
Community Services Director
Property Acquisitions Manager
Dennis Murphy

ST. LUCIE WORKS

Property Card

Page 1 of 2

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: OKEECHOBEE RD Map ID: 24/19N Parcel ID: 2419-211-0004-000-8 Zoning: C3 Account #: 174088 Use Type: 1000 Sec/Town/Range: 19/35S/40E Jurisdiction: Fort Pierce

Ownership

St Lucie County
2300 Virginia AVE
Fort Pierce, FL 34982-5632

Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT, TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28 FT, TH S 52 29 55 W 230.26 FT, TH S 29 51 40 W 31.18 FT, TH S 52 29 55 W 675.96 FT TO ELY R/W LI OF MCNEIL RD EXTENSION, TH N 37 30 05 W 350 FT, TH S 52 29 55 W 10 FT, TH N 37 30 05 W 230 FT TO CURVE CONC E,R OF 595 FT, TH NLY ALG ARC 441.86 FT, TH N 84 57 07 W 60 FT TO POB AND CURVE CONC E,R OF 655 FT, TH SLY ALG ARC 135.10 FT, TH S 89 21 58 W 391.21 FT, TH N 82 29 17 W 53.44 FT, TH N 05 25 09 E 509.05 FT, TH S 89 01 36 W 313.99 FT, TH N 45 38 03 W 28.13 FT, TH N 00 38 03 W 202.81 FT, TH N 89 01 38 E 671.63 FT TO CURVE CONC NE,R OF 250 FT, TH SELY ALG ARC 129.58 FT, TH S 70 24 24 E 66.44 FT TO CURVE CONC E,R OF 2,103.43 FT, TH SLY ALG ARC 521.35 FT TO POB (9.16 AC)

Current Values

Just/Market: \$698,300 Assessed: \$698,300
Exemptions: \$698,300 Taxable: \$0

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2018	\$698,300	\$698,300	\$698,300	\$0
2017	\$698,300	\$698,300	\$0	\$698,300
2016	\$698,300	\$698,300	\$0	\$698,300

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
10-27-2017	4217 / 2629	0111	TD	Board of County Commissioners of St Lucie Cty	\$0
07-28-2017	4058 / 1727	0111	TD	Prime Homes At Portofino Landings Ltd	\$0
01-30-2006	3254 / 1039	XX03	SP	Portofino Landings CDD	\$0

Primary Building Information

Finished Area of this building: 0 SF
Gross Sketched Area: 0 SF

Exterior Data

View: Year Built: N/A Primary Wall: Roof Cover: Frame: Story Height: Roof Structure: Grade: No. Units: 0 Building Type: Effective Year: 2014 Secondary Wall:

Interior Data

Bedrooms: 0 Full Baths: 0 Half Baths: 0 A/C %: 0% Heated %: N/A% Sprinkled %: 0% Electric: Heat Type: Heat Fuel: Primary Int Wall: Avg Hgt/Floor: 0 Primary Floors:



Image or Sketch unavailable for display

Total Areas

Finished/Under Air (SF):	0
Gross Sketched Area (SF):	0
Land Size (acres):	9.16
Land Size (SF):	399,010
Total Building Count:	1

Michelle Franklin, CFA - Saint Lucie County Property Appraiser



March 6, 2019

This information is deemed to be correct at the time this title is filed to change and is not warranted.
© Copyright 12/2019 Saint Lucie County Property Appraiser. All rights reserved.

JOSEPH E. SMITH, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
FILE # 4365236 OR BOOK 4058 PAGE 1727, Recorded 10/30/2017 11:31:13 AM

Tax Deed File No. 13-648

Property
Identification No. 2419-211-0004-000/8

ESCHEATMENT TAX DEED

State of Florida

ST. LUCIE COUNTY

This Tax Deed is issued pursuant to Section 197.502(8), Florida Statutes, wherein three years have passed from the day the subject land was offered for public sale and placed on the list of "lands available for taxes" in accordance with Section 197.502(7), Florida Statutes, without having been purchased. As provided in Section 197.502(8), Florida Statutes, the property has escheated to the County free and clear of any and all tax certificates, tax liens or any other liens of record, including governmental liens, which liens are deemed canceled pursuant to said statutes.

Now, on this 27TH DAY OF OCTOBER, 2017, the undersigned clerk conveys to SAINT LUCIE County through its Board of County Commissioners, whose address is 2300 VIRGINIA AVE, FORT PIERCE, FL 34982 together with all hereditaments, buildings, fixtures and improvements of any kind and description, the following legally described land situation in SAINT LUCIE County, Florida.

PLEASE SEE ATTACHED FOR LEGAL DESCRIPTION.

Witness:

Alice Sennott
ALICE SENNOTT
Sandra Coleman
SANDRA COLEMAN

Margaret Rahal
CLERK OF COURT OR COUNTY COMPTROLLER

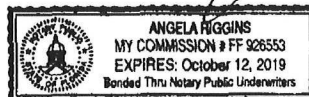

State of Florida

County of ST. LUCIE

On the 28th day of JULY, 2017, before ANGELA RIGGINS personally me personally appeared MARGARET RAHAL, Clerk of the Circuit Court or County Comptroller in and for the State and this County, who is known to me to be the person described in, and who executed the foregoing instrument, and acknowledged the execution of this instrument to be his own free act and deed for the use and purposes therein mentioned.

Witness my hand and office seal date aforesaid

Angela Riggins
ANGELA RIGGINS, Notary Public



OR BOOK 4058 PAGE 1728

Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT, TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28 FT, TH S 52 29 55 W 230.26 FT, TH S 29 51 40 W 31.18 FT, TH S 52 29 55 W 675.96 FT TO ELY R/W LI OF MCNEIL RD EXTENSION, TH N 37 30 05 W 350 FT, TH S 52 29 55 W 10 FT, TH N 37 30 05 W 230 FT TO CURVE CONC E, R OF 595 FT, TH NLY ALG ARC 441.86 FT, TH N 84 57 07 W 60 FT TO POB AND CURVE CONC E, R OF 655 FT, TH SLY ALG ARC 135.10 FT, TH S 89 21 58 W 391.21 FT, TH N 82 29 17 W 53.44 FT, TH N 05 25 09 E 509.05 FT, TH S 89 01 36 W 313.99 FT, TH N 45 38 03 W 28.13 FT, TH N 00 38 03 W 202.81 FT, TH N 89 01 38 E 671.63 FT TO CURVE CONC NE, R OF 250 FT, TH SELY ALG ARC 129.58 FT, TH S 70 24 24 E 66.44 FT TO CURVE CONC E, R OF 2,103.43 FT, TH SLY ALG ARC 521.35 FT TO POB (9.16 AC) (OR 2483-1661; 3254-1039)

JOSEPH E. SMITH, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
FILE # 4515406 OR BOOK 4217 PAGE 2629, Recorded 12/28/2018 02:52:38 PM

Tax Deed File No. 13-648

Property Identification No. 2419-211-0004-000/8

CORRECTIVE ESCHEATMENT TAX DEED

State of Florida

ST. LUCIE COUNTY

This Tax Deed is issued pursuant to Section 197.502(8), Florida Statutes, wherein three years have passed from the day the subject land was offered for public sale and placed on the list of "lands available for taxes" in accordance with Section 197.502(7), Florida Statutes, without having been purchased. As provided in Section 197.502(8), Florida Statutes, the property has escheated to the County free and clear of any and all tax certificates, tax liens or any other liens of record, including governmental liens, which liens are deemed canceled pursuant to said statutes.

Now, on this 27TH DAY OF OCTOBER, 2017, the undersigned clerk conveys to SAINT LUCIE County through its Board of County Commissioners, whose address is 2300 VIRGINIA AVE, FORT PIERCE, FL 34982 together with all hereditaments, buildings, fixtures and improvements of any kind and description, the following legally described land situation in SAINT LUCIE County, Florida.

PLEASE SEE ATTACHED FOR LEGAL DESCRIPTION

The Tax Deed recorded in OR BK 4058, Page 1727-1728
File #4365236 is hereby corrected and reinstated via this
Tax Deed.

Witness:

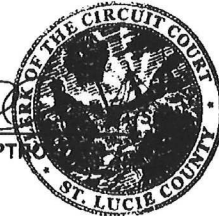
Ana Portilla

ANA PORTILLA
Brittany Jones

BRITTANY JONES

Margaret Rahal

CLERK OF COURT OR COUNTY COMPTROLLER



State of Florida

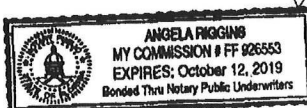
County of ST. LUCIE

On the 27TH DAY OF OCTOBER, 2017, before me personally appeared MARGARET RAHAL, Clerk of the Circuit Court or County Comptroller in and for the State and this County, who is known to me to be the person described in, and who executed the foregoing instrument, and acknowledged the execution of this instrument to be his own free act and deed for the use and purposes therein mentioned.

Witness my hand and office seal date aforesaid

Angela Riggins

ANGELA RIGGINS, Notary Public



OR BOOK 4217 PAGE 2630

OR BOOK 4058 PAGE 1728

Legal Description

19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF DKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT, TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28 FT, TH S 52 29 55 W 230.26 FT, TH S 29 51 40 W 31.18 FT, TH S 52 29 55 W 675.96 FT TO ELY R/W LI OF MCNEIL RD EXTENSION, TH N 37 30 05 W 350 FT, TH S 52 29 55 W 10 FT, TH N 37 30 05 W 230 FT TO CURVE CONC E, R OF 595 FT, TH NLY ALG ARC 441.86 FT, TH N 84 57 07 W 60 FT TO POB AND CURVE CONC E, R OF 655 FT, TH SLY ALG ARC 135.10 FT, TH S 89 21 58 W 391.21 FT, TH N 82 29 17 W 53.44 FT, TH N 05 25 09 E 509.05 FT, TH S 89 01 36 W 313.99 FT, TH N 45 38 03 W 28.13 FT, TH N 00 38 03 W 202.81 FT, TH N 89 01 38 E 671.63 FT TO CURVE CONC NE, R OF 250 FT, TH SELY ALG ARC 129.58 FT, TH S 70 24 24 E 66.44 FT TO CURVE CONC E, R OF 2,103.43 FT, TH SLY ALG ARC 521.35 FT TO POB (9.16 AC) (OR 2483-1661; 3254-1039)

LEGAL DESCRIPTION

A parcel of land lying in Section 19, Township 35 South, Range 40 East, St. Lucie County, Florida, being more particularly described as follows:

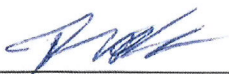
Commence at the Northeast corner of said Section 19, thence N01°20'45"E along the East line of Section 18, Township 35 South Range 40 East, a distance of 357.81 feet to the point of intersection with the Northerly right-of-way line of Okeechobee Road (AKA S.R. 70); thence S52°29'55"W along said northerly right-of-way line a distance of 2102.04 feet; thence S55°45'47"W a distance of 210.34 feet; thence S52°29'33"W a distance of 71.28 feet; thence South 52°29'55" West, a distance of 230.26 feet; thence South 29°51'40" West, a distance of 31.18 feet; thence South 52°29'55" West, a distance of 675.96 feet to the Easterly right-of-way line of McNeil Road Extension; thence along the Easterly right-of-way of McNeil Road Extension the following 4 courses and distances; thence North 37°30'05" West, a distance of 350.00 feet; thence South 52°29'55" West, a distance of 10.00 feet; thence North 37°30'05" West, a distance of 230.00 feet to a point of curve to the right having a radius of 595.00 feet and a central angle of 42°32'58"; thence Northwesterly along the arc a distance of 441.86 feet; thence North 84°57'07" West, a distance of 60.00 feet to the POINT OF BEGINNING of the following described parcel;

To an intersection with a non tangent curve concave to the East, having a radius of 655.00 feet, the chord of which bears South 00°51'40" East, 134.86 feet; thence Southerly along the arc of said curve, a distance of 135.10 feet through a central angle of 11°49'05"; thence South 89°21'58" West, a distance of 391.21 feet; thence North 82°29'17" West, a distance of 53.44 feet; thence North 05°25'09" East, a distance of 509.05 feet; thence South 89°01'36" West, a distance of 313.99 feet; thence North 45°38'03" West, a distance of 28.13 feet; thence North 00°38'03" West, a distance of 202.81 feet; thence North 89°01'38" East, a distance of 671.63 feet to the intersection with a non tangent curve concave to the Northeast, having a radius of 250.00 feet, the chord of which bears South 55°33'29" East, 128.13 feet; thence Easterly along the arc of said curve, a distance of 129.58 feet through a central angle of 29°41'49"; thence South 70°24'24" East, a distance of 66.44 feet to the intersection with a non tangent curve concave to the East, having a radius of 2,103.43 feet, the chord of which bears South 12°08'55" West, 520.01 feet; thence Southerly along the arc of said curve, a distance of 521.35 feet through a central angle of 14°12'04" to the POINT OF BEGINNING.

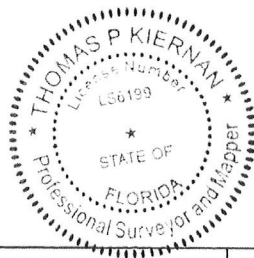
Containing 9.186 acres, more or less.

NOTE: THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.


NOTE: LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY AND/OR EASEMENTS OF RECORD.


 THOMAS P. KIERNAN
 Professional Surveyor & Mapper
 Florida Certificate No. 6199

4/26/19
 DATE



Page 1 of 2



CULPEPPER & TERPENING, INC

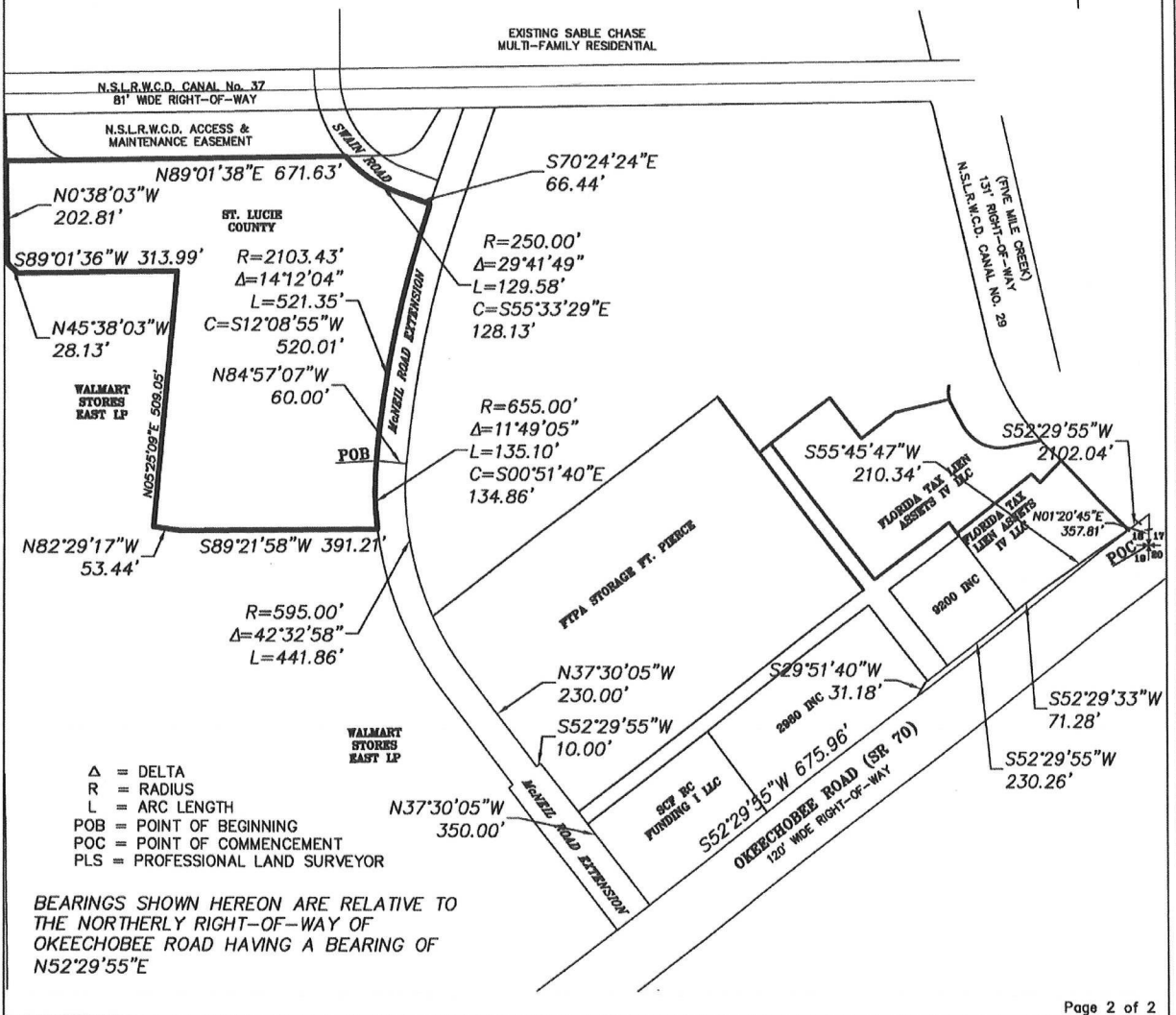
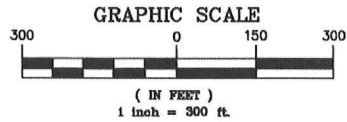
CONSULTING ENGINEERS | LAND SURVEYORS

2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981
 151 SW FLAGLER AVENUE • STUART, FLORIDA 34994
 PHONE 772-464-3537 • FAX 772-464-9497 • www.ct-eng.com
STATE OF FLORIDA CERTIFICATION No. 1B 4286

LEGAL	
DESCRIPTION	
JOB NO: 19-052	SCALE: N/A
DRAWN BY: GLM	DATE: 04-25-2019

SKETCH TO ACCOMPANY LEGAL DESCRIPTION

THIS IS NOT A SURVEY

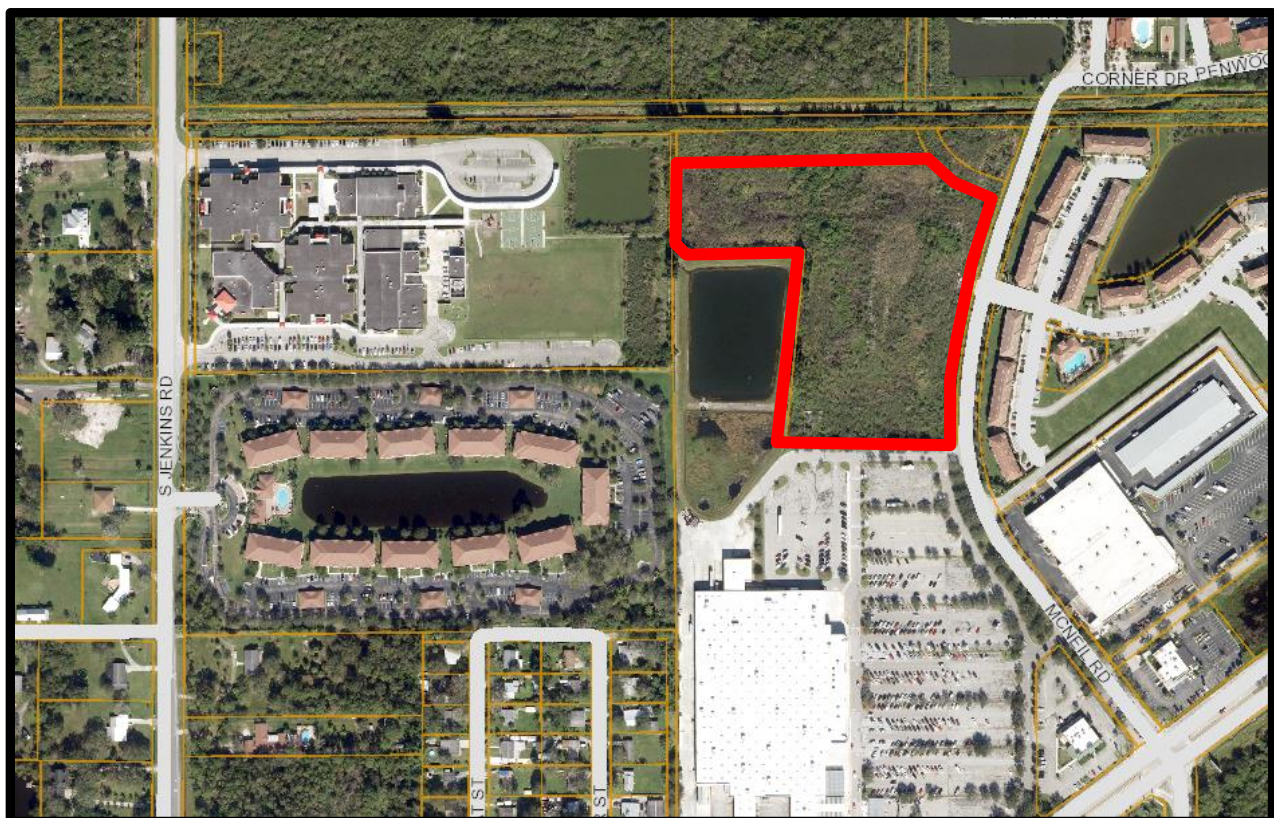


CULPEPPER & TERPENING, INC
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STATE OF FLORIDA CERTIFICATION No. LB 4286

SKETCH

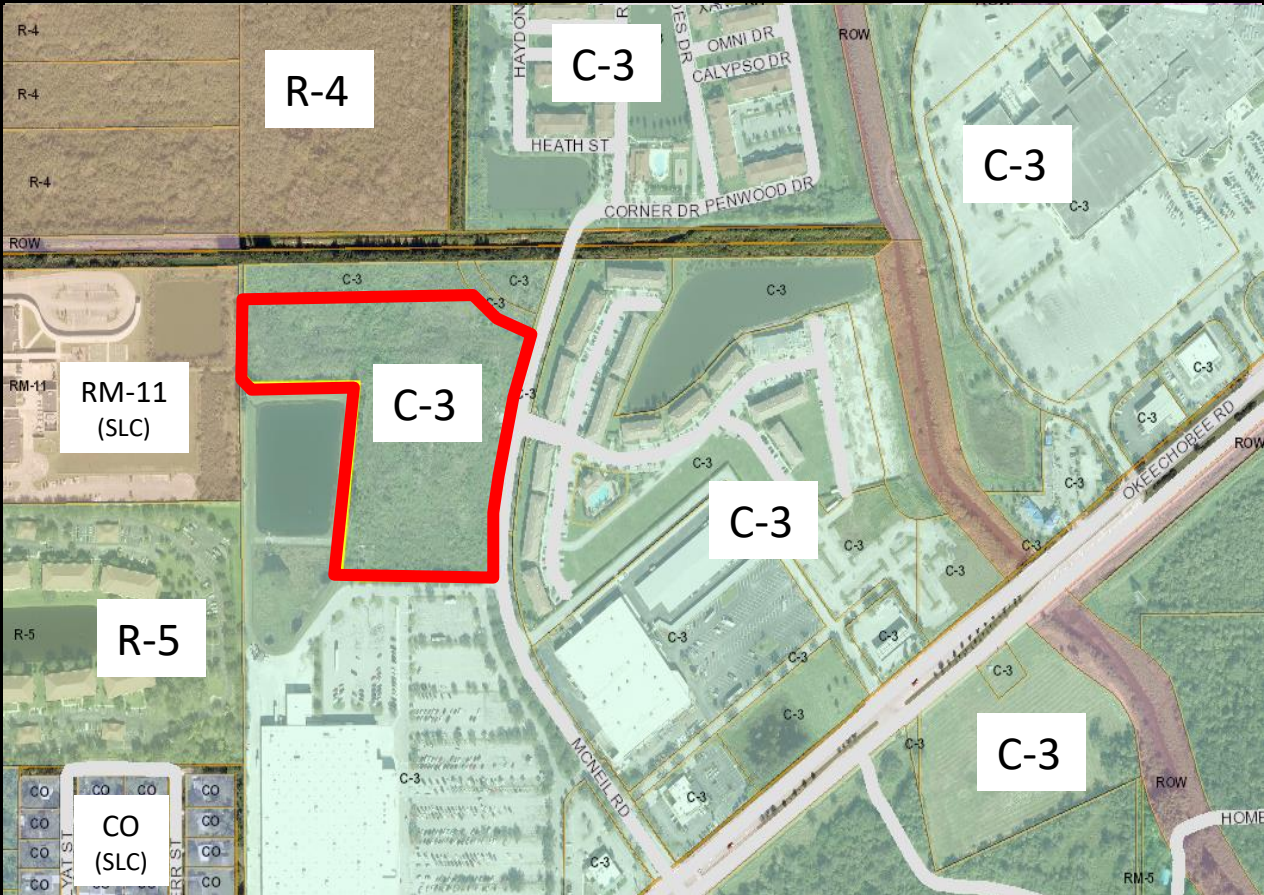
SKETCH OF DESCRIPTION

JOB NO: 19-052	SCALE: 1"=300'
DRAWN BY: GLM	DATE: 04-25-2019



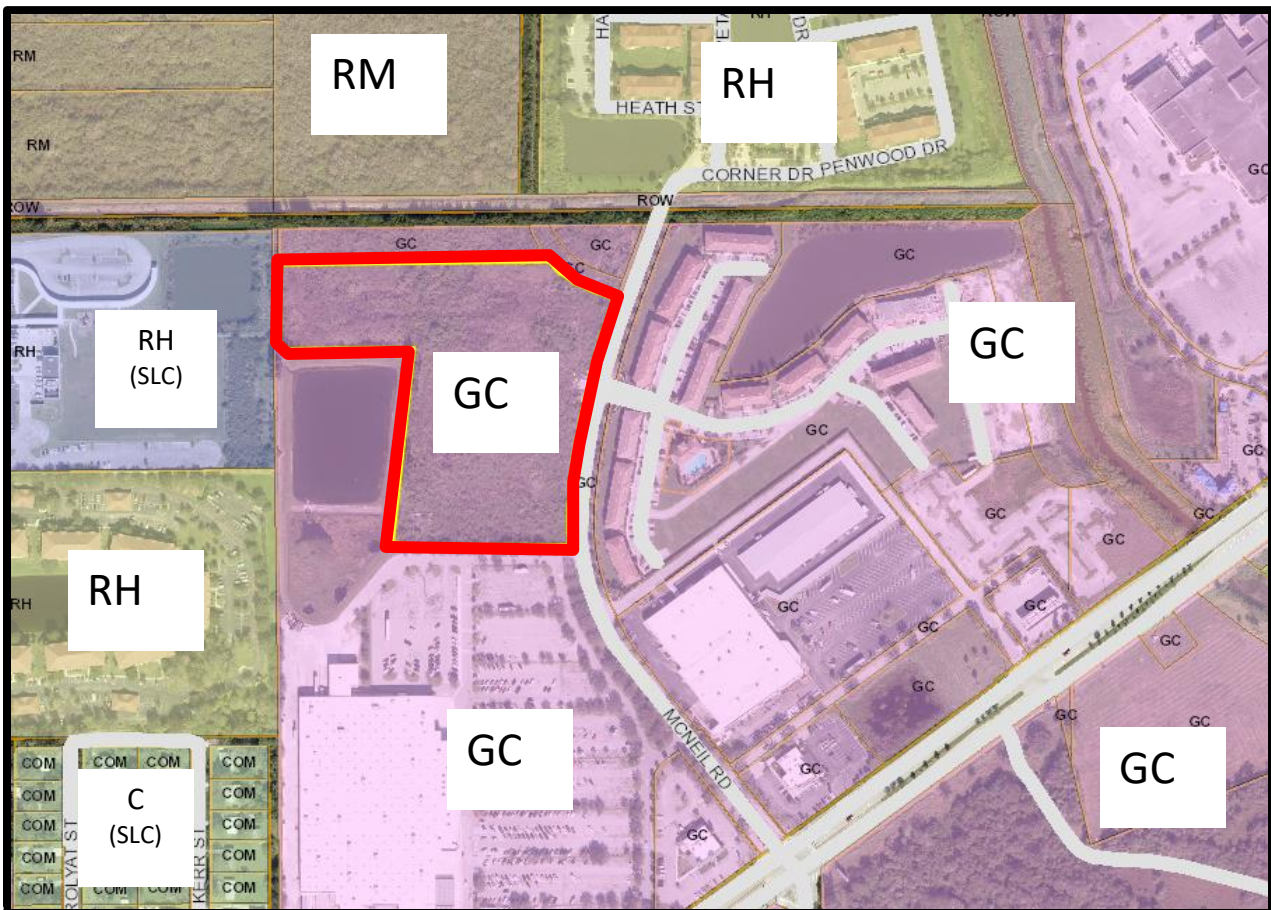
Rezoning & Future Land Use Amendment
Blue Sky Communities – NE of Jenkins Rd & Okeechobee Rd
Aerial





Rezoning & Future Land Use Amendment
Blue Sky Communities – NE of Jenkins Rd & Okeechobee Rd
Zoning Map





Rezoning & Future Land Use Amendment
Blue Sky Communities – NE of Jenkins Rd & Okeechobee Rd
FLU Map





THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida



To : Brandon Creagan, Planner

FROM : John R. Andrews, P.E., City Engineer

RE : Blue Sky Communities – TRC No. 19-06000002 & 19-99900002

DATE : May 15, 2019

This is to advise you that we have completed the review of the following documents as received by this office on May 3, 2019:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Rezoning and Future Land Use | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|--|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of Rezoning | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

No comment



**BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM**

Meeting Date: 5.16.19
Property Address: 2419-2111-0004-0008
Property Name: Blue Sky Communities
Project Name:
Planner: Brandon Creagan

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 6th Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
 - Accessible route
 - Handicapped parking spaces
 - Means of egress
- 7. Change of Use required
 - to include a signed and sealed Life Safety Plan
 - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

Additional Comments/Requirements:

Building Official's or Representative's Signature _____

Date: _____

5/13/19



Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 x3473

Technical Review Committee meeting

May 16, 2019

TECHNICAL REVIEW PROJECT # 19-06000002 & 19-99900002

Rezoning and Future Land Use – Blue Sky Communities – 2419-211-0004-000-8

Comments

FPUA W/WW Engineering: Approved: Water and Sewer capacity are available to serve the proposed development.

FPUA Electric & Gas Engineering: Approved: Electric service availability is along the west side of McNeil Road.



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

www.fpua.com





May 15, 2019

Project: Blue Sky Communities
Subject: Rezoning and FLU Change Comments
To: Brandon Creagan
From: Grant Chambers

1. The Right-of-Way tract to the north of the parcel is substandard. A Right-of-Way dedication of up to 10 FT may be required.
2. The County will reserve further comments until a development plan is submitted for review.



THE SUNRISE CITY
FORT PIERCE
POLICE DEPARTMENT
"In Honor We Serve"

Florida

Technical Review Committee meeting

May 16th, 2019

Case # 19-0600002 / 19-99900002

Rezoning and future land use

Blue Sky Communities 2419-211-0004-000-8., McNeil Road, Ft. Pierce

Comments:

No comments.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



**AFFIDAVIT OF
NOTIFICATION AND MAILING**

I, the undersigned, do hereby declare that I did mail copies of a notice of public hearings to each owner of the property located, or having any part thereof, situated within five hundred (500) feet of any point of the property for which the request has been made and to the owner of the property for which the request has been made, as required by Chapter 22, Article X, Section 22-143 of the Code of Ordinances.

Project: Blue Sky Communities - Rezoning

Staff Name: Brandon C. Creagan

Staff Signature: *[Handwritten Signature]*

Date Mailed: July 3, 2019

Number of Mailed Letters: 11

Attachments:

Copy of notice of public hearings

Mailing list

Map of properties notified



July 2, 2019

Dear Property Owner(s):

The property owner, **St. Lucie County**, applicant, **Blue Sky Communities**, & representative, **Culpepper & Terpening, Inc.**, are requesting approval of a **Zoning Atlas Map Amendment (Rezoning)** to rezone a property from C-3, General Commercial to R-5, High Density Residential in Fort Pierce, Florida. The Parcel ID is 2419-211-0004-000-8.

Legal Description: 19 35 40 FROM NE COR OF SEC RUN N 01 20 45 E ALG E LI OF SEC 357.81 FT TO N RD R/W LI OF OKEE RD, TH S 52 29 55 W ALG NLY R/W LI 2102.04 FT, TH S 55 45 47 W 210.34 FT, TH S 52 29 33 W 71.28 FT, TH S 52 29 55 W 230.26 FT, TH S 29 51 40 W 31.18 FT, TH S 52 29 55 W 675.96 FT TO ELY R/W LI OF MCNEIL RD EXTENSION, TH N 37 30 05 W 350 FT, TH S 52 29 55 W 10 FT, TH N 37 30 05 W 230 FT TO CURVE CONC E, R OF 595 FT, TH NLY ALG ARC 441.86 FT, TH N 84 57 07 W 60 FT TO POB AND CURVE CONC E, R OF 655 FT, TH SLY ALG ARC 135.10 FT, TH S 89 21 58 W 391.21 FT, TH N 82 29 17 W 53.44 FT, TH N 05 25 09 E 509.05 FT, TH S 89 01 36 W 313.99 FT, TH N 45 38 03 W 28.13 FT, TH N 00 38 03 W 202.81 FT, TH N 89 01 38 E 671.63 FT TO CURVE CONC NE, R OF 250 FT, TH SLY ALG ARC 129.58 FT, TH S 70 24 24 E 66.44 FT TO CURVE CONC E, R OF 2,103.43 FT, TH SLY ALG ARC 521.35 FT TO POB (9.16 AC)

A public hearing is scheduled before the City Commission of the City of Fort Pierce, Florida, at their meeting on **Monday, July 15, 2019** which begins at **6:30 p.m.** in the City Hall Commission Chambers, 100 North U.S. 1, Fort Pierce, Florida. You are provided the opportunity to attend the public hearing and to speak in favor of, or in opposition to, the requested **Zoning Atlas Map Amendment**. Whether you attend the meeting or not, it is requested that you please complete the form below and return it so it is received by **5 p.m. on Monday, July 15, 2019**. Methods of returning your ballot are identified below. Each ballot returned will be tabulated and reported to the City Commission. If you have any inquiries, or would like to review the complete application, please contact me at (772) 467-3742 or bcreagan@city-ftpierce.com. Furthermore, published agenda packets for each City Commission meeting are provided a few days in advance at the following web address: <http://cityoffortpierce.com/223/Agendas-Minutes>.

Thank you for your contribution.

Sincerely,

Brandon Creagan, LEED Green Associate
 Planner

Zoning Atlas Map Amendment - Blue Sky Communities

No. 1

I approve 0

I disapprove 0

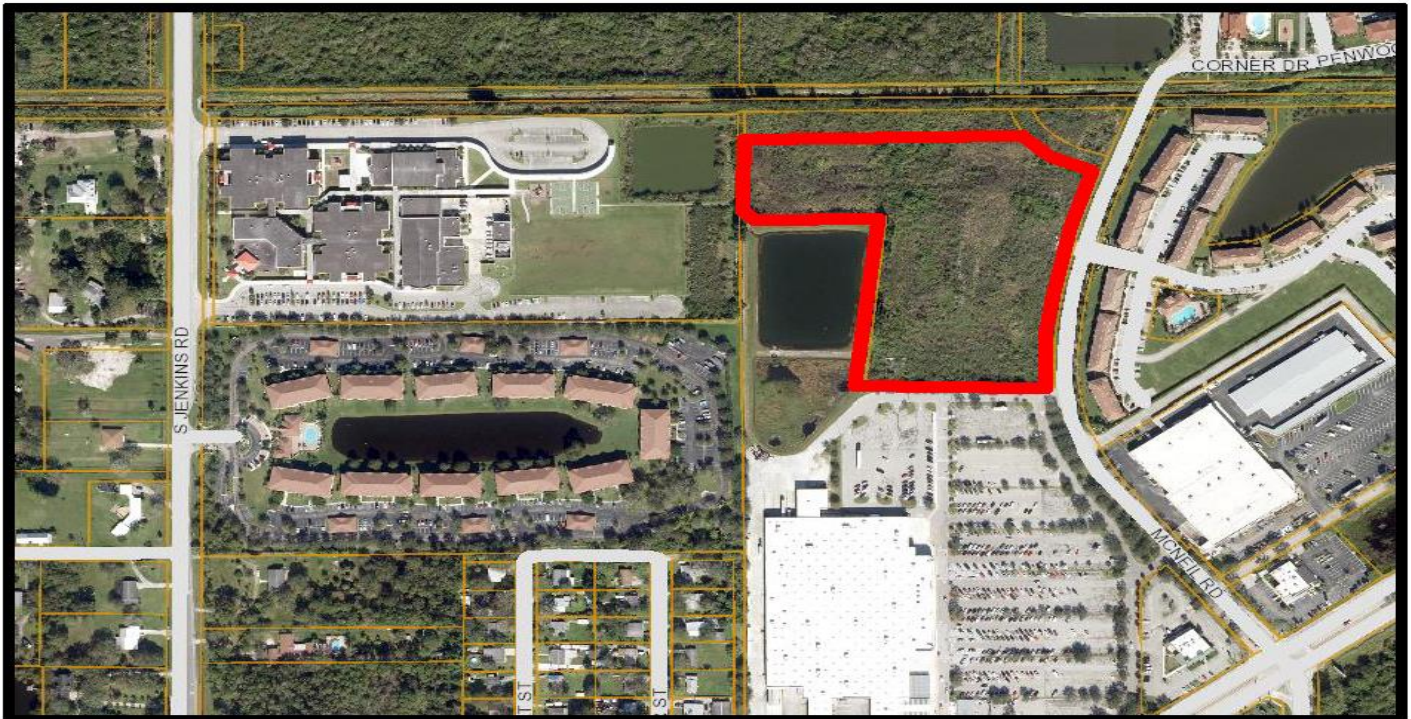
Comments:

Signature

Date

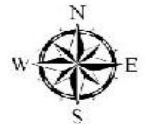
Aerial Map

2419-211-0004-000-8



Rezoning & Future Land Use Amendment

Blue Sky Communities – NE of Jenkins Rd & Okeechobee Rd
Aerial



Please complete and return ballot to:

Mail

City of Fort Pierce
Planning Department
100 N. US Hwy 1
Fort Pierce, FL 34950

or

Fax

(772) 466-5808

or

Email

bcreagan@city-ftpierce.com

BGDN LLC 1
1820 Avenue K
Brooklyn; NY 11230-4457

NSLRWCD 2
14666 Orange Avenue
Fort Pierce; FL 34945-4511

Sabal Chase Harmony Housing LLC 3
8383 Craig Street, Suite #240
Indianapolis; IN 46250-3596

FP Jenkins Road LLC 4
9360 Dundee Drive LK
Lake Worth; FL 33467

FTP Storage Ft Pierce LLC 5
215 E 58th Street, Floor 4
New York; NY 10022-1214

St Lucie County 6
2300 Virginia Avenue
Fort Pierce; FL 34982-5632

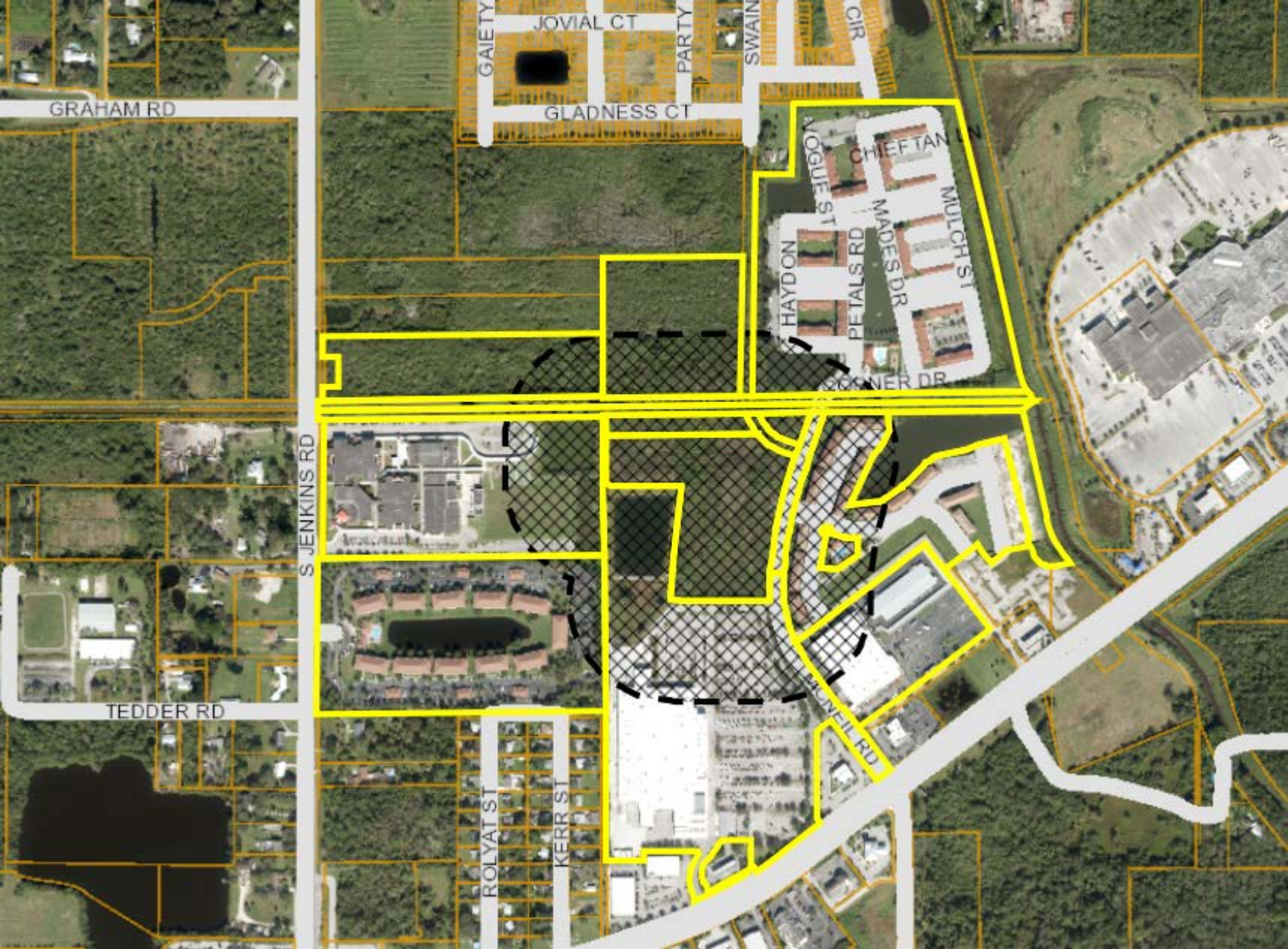
Portofino Landings CDD 7
5385 N Nob Hill Road
Sunrise; FL 33351-4761

School Board Of St Lucie Co FL 8
501 NW University BLVD
Port St Lucie; FL 34986-2209

Treasure Cay Properties LLC. 9
2552 Peters Road, Unit B
Fort Pierce; FL 34945-2635

Landings Fort Pierce LLC 10
4651 Sheridan Street, Unit 480
Hollywood; FL 33021-3430

Wal-Mart Stores East LP Attn: Property Tax Department 11
PO Box 8050 MS 0555 Store #973
Bentonville; AR 72712-8050



GRAHAM RD

GAIETY

JOVIAL CT

PARTY

SWAIN

CIR

GLADNESS CT

NOGUE ST

CHIEF TAN

MULCH ST

MADES DR

HAYDON

PEALS RD

ROXNER DR

S JENKINS RD

TEDDER RD

ROYAL ST

KERR ST

MONTEIL RD



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: Blue Sky Communities - Rezoning

NOTICES PROVIDED PURSUANT TO: 22-143

NOTICE BY NEWSPAPER: 6-30-2019

NOTICE BY MAIL: 7-3-2019

NOTICE BY SIGNS: 7-3-2019

VERIFIED BY: Brandon C. Creagan

TITLE: Planner

SIGNATURE: 

DATE: 7-3-2019

Treasure Coast Newspapers

PART OF THE USA TODAY NETWORK

St Lucie News Tribune
1801 U.S. 1, Vero Beach, FL 32960
AFFIDAVIT OF PUBLICATION

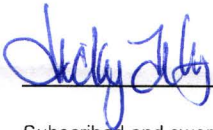
CITY OF FORT PIERCE
100 N. U.S. 1

FORT PIERCE, FL 34950

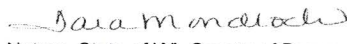
STATE OF WISCONSIN
COUNTY OF BROWN

Before the undersigned authority personally appeared, said legal clerk, who on oath says that he/she is a legal clerk of the St Lucie News Tribune, a daily newspaper published at Fort Pierce in St Lucie County, Florida: that the attached copy of advertisement was published in the St Lucie News Tribune in the following issues below. Affiant further says that the said St Lucie News Tribune is a newspaper published in Fort Pierce in said St. Lucie County, Florida, and that said newspaper has heretofore been continuously published in said St. Lucie County, Florida, daily and distributed in St. Lucie County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid or promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. The St Lucie News Tribune has been entered as Periodical Matter at the Post Offices in Fort Pierce, St. Lucie County, Florida and has been for a period of one year next preceding the first publication of the attached copy of advertisement.

June 30, 2019



Subscribed and sworn to before on July 1, 2019:


Notary, State of WI, County of Brown

TARA MONDLOCH
Notary Public
State of Wisconsin

My commission expires August 6, 2021

Publication Cost: \$123.24
Ad No: 0003651948
Customer No: 1330884
PO #: 19-032

CITY OF FORT PIERCE
NOTICE OF PUBLIC HEARING

The City Commission of the City of Fort Pierce, Florida, pursuant to Section 22-143 of the Code of Ordinances of the City of Fort Pierce, and Sections 166.041 (3)(a) of the Florida State Statutes, will on Monday, July 15, 2019 hold a Public Hearing on the enactment of the proposed rezoning ordinance on first reading, in the City Hall Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida, at their meeting which begin at 6:30 p.m., on **Ordinance 19-032 AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA: REZONING ONE (1) PARCEL GENERALLY LOCATED AT OR NEAR THE WEST SIDE OF MCNEIL ROAD, APPROXIMATELY 1,000 FEET NORTHWEST OF STATE ROAD 70 FROM CITY OF FORT PIERCE-3, GENERAL COMMERCIAL TO CITY OF FORT PIERCE R-5, HIGH DENSITY RESIDENTIAL PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.** Subject Property: Parcel ID: 2419-211-0004-000-8

All interested parties may appear at the meeting and be heard with respect to the ordinance. Said ordinance will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. #1, Fort Pierce, Florida.

ANY PERSON SEEKING TO APPEAL THE DECISION OF THE CITY COMMISSION AS TO THE FOREGOING IS ADVISED THAT A RECORD OF PROCEEDING IS REQUIRED IN ANY SUCH APPEAL AND THAT SUCH PERSON MAY NEED TO INSURE THAT A VERBATIM RECORD OF PROCEEDINGS MADE INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

/s/ Linda W. Cox, City Clerk
Publish: 6/30/2019
TCN 3651948

Treasure Coast Newspapers

PART OF THE USA TODAY NETWORK

St Lucie News Tribune
1801 U.S. 1, Vero Beach, FL 32960
AFFIDAVIT OF PUBLICATION

CITY OF FORT PIERCE NOTICE OF PUBLIC HEARING

The City Commission of the City of Fort Pierce, Florida, pursuant to Section 22-143 of the Code of Ordinances of the City of Fort Pierce, and Sections 166.041 (3)(a) of the Florida State Statutes, will on Monday, September 23, 2019 hold a Public Hearing for the second reading on the enactment of the proposed ordinance, in the City Hall Commission Chambers, 100 North U.S.#1, Fort Pierce, Florida, at their meeting which will begin at 5:05 p.m., to consider review and approval of the following:

Ordinance 19-032 AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; REZONING ONE (1) PARCEL GENERALLY LOCATED AT OR NEAR THE WEST SIDE OF MCNEIL ROAD, APPROXIMATELY 1,000 FEET NORTHWEST OF STATE ROAD 70 FROM CITY OF FORT PIERCE C-3, GENERAL COMMERCIAL TO CITY OF FORT PIERCE R-5, HIGH DENSITY RESIDENTIAL; PROVIDING FOR A SEVERABILITY CLAUSE PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

Subject Property: Parcel ID:
2419-211-0004-000-8

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In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

/s/ Linda W. Cox, City Clerk
Pub: September 8, 2019 TCN
3774172

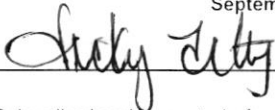
CITY OF FORT PIERCE
100 N. U.S. 1

FORT PIERCE, FL 34950

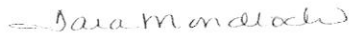
STATE OF WISCONSIN
COUNTY OF BROWN

Before the undersigned authority personally appeared, said legal clerk, who on oath says that he/she is a legal clerk of the St Lucie News Tribune, a daily newspaper published at Fort Pierce in St Lucie News Tribune, a daily newspaper published at Fort Pierce in St. Lucie County, Florida: that the attached copy of advertisement was published in the St Lucie News Tribune in the following issues below. Affiant further says that the said St Lucie News Tribune is a newspaper published in Fort Pierce in said St. Lucie County, Florida, and that said newspaper has heretofore been continuously published in said St. Lucie County, Florida, daily and distributed in St. Lucie County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid or promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. The St Lucie News Tribune has been entered as Periodical Matter at the Post Offices in Fort Pierce, St. Lucie County, Florida and has been for a period of one year next preceding the first publication of the attached copy of advertisement.

September 8, 2019



Subscribed and sworn to before on September 9, 2019:


Notary, State of WI, County of Brown

TARA MONDLOCH
Notary Public
State of Wisconsin

My commission expires August 6, 2021

Publication Cost: \$129.48
Ad No: 0003774172
Customer No: 1330884
PO #: 19-032

City Commission Meeting 5:05 PM

12. e.

Meeting Date: 09/23/2019

Re: Text Amendment to Chapter 22 - Zoning - Article III - Basic Zoning Districts - Sec. 22-22 - Allowed Uses

Submitted For: Rebeca Guerra, Interim Planning Director, Planning & Zoning

SUBJECT:

Legislative Hearing - Ordinance 19-034 Text Amendment 22-22 - An ordinance amending the code of ordinances of the City of Fort Pierce, Florida Chapter 22, Article III, Section 22-22, amending the use table to allow limited vehicle repair and general vehicle repair uses to be allowed by right in lieu of requiring a conditional use approval; amending the use table by creating a new use category "marine-related repair" and providing for its allowance in certain zoning districts. **SECOND READING**

SUMMARY:

The City of Fort Pierce Planning Department is proposing a Zoning Text Amendment to Article III – Basic Zoning Districts, Section 22-22, Allowed Uses, of the City of Fort Pierce Code of Ordinances to allow "Limited Vehicle Repair" and "General Vehicle Repair" identified in the Use Table to be allowed by right, in lieu of needing a Conditional Use approval from City Commission. The Text Amendment would also create a new use category "Marine-Related Repair" to be allowed by right, in certain zoning districts.

RECOMMENDATION:

Approval

ALTERNATIVES:

Approval with modifications.
Disapproval.

RESPONSIBLE STAFF:

Vennis Gilmore, Planner

COORDINATED WITH:

Technical Review Committee

Fiscal Impact

OTHER INFORMATION:

N/A

Attachments

19-034

Staff Report
Presentation
Text Amendment
TRC Comments
Public Notice Certification

Form Review

Inbox	Reviewed By	Date
City Manager	Vennis Gilmore	08/08/2019 10:29 AM
City Manager	Nick Mimms	08/13/2019 11:15 AM
Form Started By: Vennis Gilmore		Started On: 08/07/2019 02:32 PM
Final Approval Date: 09/04/2019		

ORDINANCE NO. 19-034

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF FORT PIERCE, FLORIDA CHAPTER 22, ARTICLE III, SECTION 22-22, AMENDING THE USE TABLE TO ALLOW LIMITED VEHICLE REPAIR AND GENERAL VEHICLE REPAIR USES TO BE ALLOWED BY RIGHT IN LIEU OF REQUIRING A CONDITIONAL USE APPROVAL; AMENDING THE USE TABLE BY CREATING A NEW USE CATEGORY "MARINE-RELATED REPAIR" AND PROVIDING FOR ITS ALLOWANCE IN CERTAIN ZONING DISTRICTS; PROVIDING FOR A SEVERABILITY CLAUSE; REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Commission of the City of Fort Pierce on November 4, 2013, approved Ordinance L-295 that created Section 22-22, Allowed Uses; and

WHEREAS, uses listed are only allowed in each zoning district in accordance with the Use Table; and

WHEREAS, uses may only be permitted in a zoning district provided that the use will not violate basic use standards specified in each zoning district, other applicable use standards, additional zoning ordinance provisions and other City laws; and

WHEREAS, changes to the City's Use Table have been recommended by the Growth Management Task Force in June of 2018 as part of an evaluation of the City's regulatory and permitting process; and

WHEREAS, Section 22-22 has been amended from time to time since it was formally adopted on November 4, 2013, under Ordinance L-295; and

WHEREAS, the City of Fort Pierce Planning Board held a public meeting on July 9, 2019, to consider the Land Development Code amendment and recommended approval of the amendment by a vote of 5 to 0; and

NOW, THEREFORE BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1. Section 22-22 is hereby amended so that the same shall read as follows:

ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R4 A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2
PUBLIC AND CIVIC																							
Community/Cultural (except as noted below)	-	-	-	-	C	C	C	C	C	C	C	P	P	C	C	C	-	-	-	C	-	-	-
-Community Center	-	-	-	-	C	C	C	C	C	-	C	P	P	C	-	C	-	-	-	C	-	-	-
-Fraternal Organization/Lodge	-	-	-	-	C	C	C	C	C	-	C	P	P	C	-	C	-	-	-	C	-	-	-
-Library or Cultural Exhibit	-	-	-	-	C	C	C	C	C	-	C	P	P	C	-	C	-	-	-	C	-	-	-
-Environmental Research and Education Facilities	-	-	-	-	-	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Day Care	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Adult Day Care Center	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Day Care Center	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Child Care Facility	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Family Day Care Home	P	P	P	P	P	P	P	P	P	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Educational Facilities																							
-College or University	-	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-	-	-
-Elementary, Middle or High School	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-	-	-	-	-	-
-Marine Research/Education Facilities	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C
Government Facilities (except as noted below)																							
-Post Office	-	-	-	-	-	-	-	-	-	C	C	P	P	C	-	C	-	-	-	-	-	-	C
-Safety Service	C	C	C	C	C	C	C	C	C	P	P	P	P	P	P	P	P	P	P	-	-	-	C
Medical Facilities (except as noted below)																							
-Hospital	-	-	-	-	C	C	C	-	C	C	-	C	C	-	-	-	-	-	-	-	-	-	-
-Nursing Home	-	-	-	-	C	C	C	-	C	C	-	C	C	-	-	-	-	-	-	-	-	-	-
Park and Open Space (except as noted below)																							
- Cemetery/Columbarium/ Mausoleum	C	C	C	C	C	C	-	-	C	C	C	C	-	-	-	-	-	-	-	C	-	-	-
-Country Club/Golf Course	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-	-	C	-	-	-
-Game and Wildlife Management Preserves	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-
-Water Dependent Recreation Facilities	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C
Passenger Terminal																							
-Airport/Heliport	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-
-Rail/Bus Terminal	-	-	-	-	-	-	-	-	-	C	C	C	C	-	C	C	C	C	C	-	-	-	-

ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R4 A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2
-Bus Shelter	C	C	C	C	C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-
-Taxi Terminal	-	-	-	-	-	-	-	-	-	C	C	C	C	-	C	C	C	C	C	-	-	-	-
Religious Institution	C	C	C	C	C	C	C	C	C	C	C	P	P	C	-	C	-	-	-	-	-	-	-
Social Service Institution (except as noted below)	-	-	-	-	-	-	-	-	-	C	-	C	C	-	-	-	C	C	-	-	-	-	-
-Halfway Houses	-	-	-	-	-	C	C	C	C	C	-	C	C	-	-	-	C	-	-	-	-	-	-
Utilities																							
-Minor, other	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	P	C	P	C	C	C	C
-Major	-	-	-	-	-	-	-	-	-	-	-	C	C	C	C	C	C	C	P	C	C	C	C
-Utility Cabinets, Above Ground	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	C	C	C	C
COMMERCIAL																							
Eating and Drinking Establishments																							
-Brew Pub	-	-	-	-	-	-	-	-	C	P	P	P	P	P	P	C	C	C	-	-	-	-	-
-Coffee Shop	-	-	-	-	-	-	C	-	C	P	P	P	P	P	P	C	C	C	-	-	-	-	-
-Neighborhood Bistro	-	-	-	-	-	-	-	-	C	P	P	P	P	P	P	C	C	C	-	-	-	-	-
-Neighborhood Café	-	-	-	-	-	-	-	-	C	P	P	P	P	P	P	C	C	C	-	-	-	-	-
-Restaurants, Fast Food	-	-	-	-	-	-	-	-	C	-	-	P	P	P	P	C	C	C	-	-	-	-	-
-Restaurant and Bar	-	-	-	-	-	-	-	-	C	C	C	P	P	P	P	C	C	C	-	C	-	-	C
-Wine/Cigar Bar	-	-	-	-	-	-	-	-	C	C	C	P	P	P	P	C	C	C	-	-	-	-	-
Entertainment, Indoor (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	C	-	-	-
-Adult Establishment	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	-	-	-	-	-	-	-
-Arcade Amusement Center/Amusement Arcade	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	-	-	-	-	-	-	-	-
-Bar or Nightclub	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	-	-	-	-
-Theater	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	-	-	-	-
Entertainment, Outdoor (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	P	-	-	-	-	-	C	-	-	-
-Batting Cages, Driving Ranges	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	-	-	-	-
-Stables or Equestrian Facilities	C	C	C	-	-	-	-	-	-	-	-	P	-	P	-	-	-	-	-	-	-	-	-
-Stadium or Arena	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C	-	C	C	-	-	-	-	-
Marine-Related Commercial (except as noted below)	-	-	-	-	-	-	-	-	-	C	-	P	P	C	P	-	-	C	-	C	-	-	C
-Boat and Marine Equipment Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	P	-	-	C	-	-	-	-	-

ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R4 A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2
-Marina/Boat Livery	-	-	-	-	-	-	-	-	-	C	-	C	C	C	C	-	-	P	-	C	-	-	C
Office																							
-Administrative, Professional, General, Medical Office	-	-	-	-	-	-	C	C	C	P	P	P	P	P	P	P	C	C	-	-	-	-	-
-Day Labor Employment Agency	-	-	-	-	-	-	-	-	-	P	C	P	P	-	-	P	-	-	-	-	-	-	-
-Medical and Dental Clinic	-	-	-	-	-	-	-	-	-	P	C	P	P	C	-	P	-	C	-	-	-	-	-
-Television and Radio Studios	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	-	C	-	-	-	-	-
Overnight Accommodations																							
-Bed & Breakfast	-	-	-	-	-	-	C	C	C	C	P	P	P	P	-	-	-	-	-	-	-	-	-
-Dwelling Rental	-	C	C	C	C	C	C	C	C	-	-	-	P	P	-	-	-	-	-	-	-	-	-
-Hotel/Motel	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	C	-	-	-	-	-	-	-
-Recreational Vehicle Park	-	-	-	-	-	-	-	-	-	-	-	C	-	C	-	-	-	-	-	-	-	-	-
-Resort Hotel	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	-	-	-	-	-	-	-
Parking, Commercial	-	-	-	-	-	-	-	C	-	C	C	P	C	C	-	C	-	C	-	-	-	-	-
Retail Sales & Service, Sales-Oriented (except as noted below)	-	-	-	-	-	-	-	-	-	C	P	P	P	P	C	C	-	-	-	-	-	-	-
-Art Gallery	-	-	-	-	-	-	-	-	-	C	C	P	P	P	-	C	-	-	-	-	-	-	-
-Farmers Market or Farm Stand	P	-	-	-	-	-	-	-	-	C	C	P	P	P	-	C	C	-	-	-	-	-	-
-Grocery or Liquor Store	-	-	-	-	-	-	C	-	C	-	P	P	P	C	-	C	-	-	-	-	-	-	-
-Neighborhood Commercial Sale	-	-	-	-	C	C	P	P	P	-	P	P	P	C	-	C	-	-	-	-	-	-	-
-Office Supplies & Electronics	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
-Pet Stores	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
Retail Sales & Service, Personal-Service Oriented (except as noted below)	-	-	-	-	-	-	-	-	-	C	C	P	P	P	-	C	-	-	-	-	-	-	-
-Art Studio	-	-	-	-	-	-	-	-	-	P	P	P	P	P	-	C	-	-	-	-	-	-	-
-Animal Care Facilities & Service	-	-	-	-	-	-	-	-	-	-	P	P	-	P	-	C	-	-	-	-	-	-	-
-Animal Grooming Services	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	C	-	-	-	-	-	-	-
-Check Cashing/Loan Service	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	-	-	-	-	-	-	-
-Educational Service Establishments	-	-	-	-	-	-	-	-	C	C	P	P	P	C	P	P	P	C	C	-	-	-	-

ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R4 A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2
-Laundry & Dry Cleaners Pick-Up	-	-	-	-	-	-	C	C	C	C	P	P	P	P	-	C	-	-	-	-	-	-	-
-Laundromat	-	-	-	-	-	-	C	C	C	C	P	P	P	C	-	C	-	-	-	-	-	-	-
-Mortuaries or Funeral Homes	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	C	-	-	-	-	-	-	-
-Neighborhood Commercial Services	-	-	-	-	C	C	P	P	P	P	P	P	P	P	-	C	-	-	-	-	-	-	-
-Pawn Shop	-	-	-	-	-	-	-	-	-	-	-	P	P	C	-	C	-	-	-	-	-	-	-
-Personal Improvement Service	-	-	-	-	-	-	C	C	C	P	P	P	P	P	-	C	-	-	-	-	-	-	-
-Veterinary (Without Outdoor Runs)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
Retail Sales & Service, Repair-Oriented	-	-	-	-	-	-	-	P	-	C	-	P	P	P	-	P	-	-	-	-	-	-	-
Self-Service Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C	-	P	-	P	-	-	-	-
Vehicle Sales & Service																							
-Automobile Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Automobile Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Boat Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	P	C	C	P	-	P	-	-	C	P
-Boat Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	P
-Fueling Station	-	-	-	-	-	-	-	-	C	C	P	C	C	-	C	-	P	-	-	-	-	-	-
-Travel Plaza	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Truck Stop	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Vehicle Repair, General	-	-	-	-	-	-	-	-	-	-	C	P	C	-	-	C	-	-	-	-	-	-	-
-Vehicle Repair, Limited	-	-	-	-	-	-	-	-	-	-	C	P	C	-	-	P	-	-	-	-	-	-	-
-Marine-Related Repair	-	-	-	-	-	-	-	-	-	-	-	P	-	-	P	-	P	P	-	-	-	-	-
-Vehicle Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	P	C	P	-	-	-	-
INDUSTRIAL																							
Artisan	-	-	-	-	-	-	-	-	-	-	C	P	C	-	-	P	P	-	P	-	-	-	-
-Cabinet Shops, Woodworking	-	-	-	-	-	-	-	-	-	-	-	P	C	-	C	P	P	-	P	-	-	-	-
Light Industrial Service (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	-	P	-	-	-	-
-Catering Facility, Large-Scale	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	P	P	-	P	-	-	-	-
-Crematorium	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	-	-	-	-	-	-	-	-
-Building Maintenance Facilities And Services	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	-	-	-	-	-	-	-
-Contractors/Others Performing Services Off-Site	-	-	-	-	-	-	-	-	-	-	C	P	-	-	-	P	P	-	P	-	-	-	-

ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2	
-Microbrewery	-	-	-	-	-	-	-	-	-	C	C	C	C	C	C	C	-	-	-	-	-	-	-	
-Research Service	-	-	-	-	-	-	-	-	-	-	-	P	-	-	P	P	P	P	P	-	-	-	-	
Marine-Related Industrial	-	-	-	-	-	-	-	-	-	-	-	C	-	-	P	-	P	P	P	-	-	-	P	
Warehouse & Freight (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	C	P	-	-	-	-	
-Parcel Service	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	P	P	C	P	-	-	-	-	
Waste-Related Use (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-	
-Solid Waste Separation, Transfer Station	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-	
-Recycling Center	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	C	-	-	-	-	
-Wrecking or Salvage Yard	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-	
Wholesale Trade	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	P	P	P	P	-	-	-	-	
Heavy Industrial (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	
-Heavy Equipment Sales & Rentals	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	P	P	P	-	-	-	-	
-Service of Heavy Equipment	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	P	P	P	-	-	-	-	
-Processing of Food & Related Products	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	P	P	P	-	-	-	-	
OTHER																								
Aquaculture Facilities	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	C	-	-	C	C	
Community Gardens	P	P	P	P	P	P	P	P	P	C	C	C	C	C	C	C	C	C	C	C	C	-	-	
Dock/Moorage Facility (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C
-Docks for Single Family Homes	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
-Docks for Single Family Homes on canals within Surfside or Jennings Cove	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C
Navigational Aids	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Telecommunication Facility																								
-Antenna Support Structure	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	
-Antenna (on existing structure)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	

SECTION 2. The provisions of this Ordinance are declared to be severable and if any section, sentence, clause, or phrase of this Ordinance shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Ordinance but shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

SECTION 3. All ordinances or parts thereof that may be determined to be in conflict herewith are hereby repealed.

SECTION 4. This Ordinance shall be and become effective immediately upon final passage.

APPROVED AS TO FORM & CORRECTNESS:

Peter J. Sweeney
City Attorney

STATE OF FLORIDA
COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No. 19-034 was duly advertised by title only in the St. Lucie News Tribune on Sunday, August 4, 2019; copy of said Ordinance was made available at the office of the City Clerk to the public upon request; said Ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on August 19, 2019; and was duly introduced, read by title only, and passed on second and final reading September 3, 2019, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HEREWITH, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this 4th day of September 2019.

Linda Hudson
MAYOR COMMISSIONER

ATTEST

Linda W. Cox
CITY CLERK

(CITY SEAL)



TO: Nicholas Mimms, PE, City Manager

THROUGH: Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

FROM: Vennis Gilmore, Planner

RE: **Ordinance 19-034**
Amendment to Chapter 22 - Zoning
Article III – Basic Zoning Districts
Section 22-22 – Allowed Uses

BOARD DATE: August 19, 2019

STAFF REPORT

The City of Fort Pierce Planning Department is proposing a Zoning Text Amendment to Article III – Basic Zoning Districts, Section 22-22, Allowed Uses, of the City of Fort Pierce Code of Ordinances to allow “Limited Vehicle Repair” and “General Vehicle Repair” identified in the Use Table to be allowed by right, in lieu of needing a Conditional Use approval from City Commission. The Text Amendment would also create a new use category “Marine-Related Repair” to be allowed by right, in certain zoning districts.

The purpose of the Text Amendment is to streamline the development process by providing for a broader range of uses to be allowed outright in certain zoning districts where the use itself is appropriate given the characteristics of each district and its location in the City. In particular, Vehicle Repair and Marine-Related Repair uses have been expanded in such a manner so as to allow for a more streamlined review and development approval process. Vehicle Repair, both Limited and General, is proposed to be allowed outright in the I-1 zoning district. The new use category of “Marine-Related Repair” is being proposed to be allowed outright in the C-3, C-6, I-1, and I-2 zoning districts.

The Technical Review Committee (TRC) reviewed this item on June 20, 2019. Comments from each department and agency are attached.

The Planning Board, at their July 9th, 2019 meeting voted unanimously to recommend approval of the request.

Attachments:
Proposed text amendment
TRC comments

**Text Amendment
to
Chapter 22,
Article III,
Section 22-22:
Allowed Uses**



Text Amendment (Use Table)

Section 22-22. – Allowed Uses

- *Use Table Changes:*
 - To streamline the development process.
 - Vehicle Repair, both Limited and General, is proposed to be allowed out right in the I-1 zoning district.
 - The new use category of “Marine-Related Repair” is -being proposed to be allowed out right in the C-3, C-6, I-1, and I-2 zoning districts.

Text Amendment (Use Table)

ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R4 A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2
-Laundry & Dry Cleaners Pick-Up	-	-	-	-	-	-	C	C	C	C	P	P	P	P	-	C	-	-	-	-	-	-	-
-Laundromat	-	-	-	-	-	-	C	C	C	C	P	P	P	C	-	C	-	-	-	-	-	-	-
-Mortuaries or Funeral Homes	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	C	-	-	-	-	-	-	-
-Neighborhood Commercial Services	-	-	-	-	C	C	P	P	P	P	P	P	P	P	-	C	-	-	-	-	-	-	-
-Pawn Shop	-	-	-	-	-	-	-	-	-	-	-	P	P	C	-	C	-	-	-	-	-	-	-
-Personal Improvement Service	-	-	-	-	-	-	C	C	C	P	P	P	P	P	-	C	-	-	-	-	-	-	-
-Veterinary (Without Outdoor Runs)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
Retail Sales & Service, Repair-Oriented	-	-	-	-	-	-	-	P	-	C	-	P	P	P	-	P	-	-	-	-	-	-	-
Self-Service Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C	-	P	-	P	-	-	-	-
Vehicle Sales & Service																							
-Automobile Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Automobile Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Boat Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	P	C	C	P	-	P	-	-	C	P
-Boat Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	P
-Fueling Station	-	-	-	-	-	-	-	-	-	C	C	P	C	C	-	C	-	P	-	-	-	-	-
-Travel Plaza	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Truck Stop	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Vehicle Repair, General	-	-	-	-	-	-	-	-	-	-	C	P	C	-	-	C	-	P	-	-	-	-	-
-Vehicle Repair, Limited	-	-	-	-	-	-	-	-	-	-	C	P	C	-	-	P	-	P	-	-	-	-	-
-Marine-Related Repair	-	-	-	-	-	-	-	-	-	-	-	P	-	-	P	-	P	-	-	-	-	-	-
-Vehicle Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	P	C	P	-	-	-	-
INDUSTRIAL																							
Artisan	-	-	-	-	-	-	-	-	-	-	C	P	C	-	-	P	P	-	P	-	-	-	-
-Cabinet Shops, Woodworking	-	-	-	-	-	-	-	-	-	-	-	P	C	-	C	P	P	-	P	-	-	-	-
Light Industrial Service (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	-	P	-	-	-	-
-Catering Facility, Large-Scale	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	P	P	-	P	-	-	-	-
-Crematorium	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	-	-	-	-	-	-	-	-
-Building Maintenance Facilities And Services	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	-	-	-	-	-	-	-
-Contractors/Others Performing Services Off-Site	-	-	-	-	-	-	-	-	-	-	C	P	-	-	-	P	P	-	P	-	-	-	-

CC Recommendations

Possible actions of the City Commission:

- APPROVAL of the proposed Text Amendment with no changes.
 - Staff recommends that the City Commission APPROVE the proposed Text Amendment.
- APPROVAL of the proposed Text Amendment with changes.
- DISAPPROVAL of the proposed Text Amendment.

**Text Amendment
to
Chapter 22,
Article III,
Section 22-22:
Allowed Uses**



ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R4 A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2
PUBLIC AND CIVIC																							
Community/Cultural (except as noted below)	-	-	-	-	C	C	C	C	C	C	C	P	P	C	C	C	-	-	-	C	-	-	-
-Community Center	-	-	-	-	C	C	C	C	C	-	C	P	P	C	-	C	-	-	-	C	-	-	-
-Fraternal Organization/Lodge	-	-	-	-	C	C	C	C	C	-	C	P	P	C	-	C	-	-	-	C	-	-	-
-Library or Cultural Exhibit	-	-	-	-	C	C	C	C	C	-	C	P	P	C	-	C	-	-	-	C	-	-	-
-Environmental Research and Education Facilities	-	-	-	-	-	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Day Care	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Adult Day Care Center	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Day Care Center	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Child Care Facility	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Family Day Care Home	P	P	P	P	P	P	P	P	P	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Educational Facilities																							
-College or University	-	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-	-	-
-Elementary, Middle or High School	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-	-	-	-	-	-
-Marine Research/Education Facilities	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-			P	-	-	-	C
Government Facilities (except as noted below)	-	-	-	-	-	-	-	-	-	C	C	P	P	C	-	C	-	-	-	-	-	C	C
-Post Office	-	-	-	-	-	-	-	-	-	C	C	P	P	-	-	C	-	-	-	-	-	-	-
-Safety Service	C	C	C	C	C	C	C	C	C	P	P	P	P	P	P	P	P	P	P	-	-	C	C
Medical Facilities (except as noted below)	-	-	-	-	C	C	C	-	C	C	-	C	-	C	-	-	-	-	-	-	-	-	-
-Hospital	-	-	-	-	C	C	C	-	C	C	-	C	C	-	-	-	-	-	-	-	-	-	-
-Nursing Home	-	-	-	-	C	C	C	-	C	C	-	C	C	-	-	-	-	-	-	-	-	-	-
Park and Open Space (except as noted below)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	C	C	-
- Cemetery/Columbarium/Mausoleum	C	C	C	C	C	C	-	-	C	C	C	C	-	-	-	-	-	-	-	C	-	-	-
-Country Club/Golf Course	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-	-	C	-	-	-
-Game and Wildlife Management Preserves	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-
-Water Dependent Recreation Facilities	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C
Passenger Terminal																							
-Airport/Heliport	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-
-Rail/Bus Terminal	-	-	-	-	-	-	-	-	-	C	C	C	C	-	C	C	C	C	C	-	-	-	-

ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R4 A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2
-Bus Shelter	C	C	C	C	C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-
-Taxi Terminal	-	-	-	-	-	-	-	-	-	C	C	C	C	-	C	C	C	C	C	-	-	-	-
Religious Institution	C	C	C	C	C	C	C	C	C	C	C	P	P	C	-	C	-	-	-	-	-	-	-
Social Service Institution (except as noted below)	-	-	-	-	-	-	-	-	-	C	-	C	C	-	-	-	C	C	-	-	-	-	-
-Halfway Houses	-	-	-	-	-	C	C	C	C	C	-	C	C	-	-	-	C	-	-	-	-	-	-
Utilities																							
-Minor, other	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	P	C	P	C	C	C	C
-Major	-	-	-	-	-	-	-	-	-	-	-	C	C	C	C	C	C	C	P	C	C	C	C
-Utility Cabinets, Above Ground	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	C	C	C	C
COMMERCIAL																							
Eating and Drinking Establishments																							
-Brew Pub	-	-	-	-	-	-	-	-	C	P	P	P	P	P	P	C	C	C	-	-	-	-	
-Coffee Shop	-	-	-	-	-	-	C	-	C	P	P	P	P	P	P	C	C	C	-	-	-	-	
-Neighborhood Bistro	-	-	-	-	-	-	-	-	C	P	P	P	P	P	P	C	C	C	-	-	-	-	
-Neighborhood Café	-	-	-	-	-	-	-	-	C	P	P	P	P	P	P	C	C	C	-	-	-	-	
-Restaurants, Fast Food	-	-	-	-	-	-	-	-	C	-	-	P	P	P	P	C	C	C	-	-	-	-	
-Restaurant and Bar	-	-	-	-	-	-	-	-	C	C	C	P	P	P	P	C	C	C	-	C	-	-	C
-Wine/Cigar Bar	-	-	-	-	-	-	-	-	C	C	C	P	P	P	P	C	C	C	-	-	-	-	
Entertainment, Indoor (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	C	-	-	-
-Adult Establishment	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	-	-	-	-	-	-	-
-Arcade Amusement Center/Amusement Arcade	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	-	-	-	-	-	-	-	-
-Bar or Nightclub	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	-	-	-	-
-Theater	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	-	-	-	-
Entertainment, Outdoor (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	P	-	-	-	-	-	C	-	-	-
-Batting Cages, Driving Ranges	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	-	-	-	-
-Stables or Equestrian Facilities	C	C	C	-	-	-	-	-	-	-	-	P	-	P	-	-	-	-	-	-	-	-	-
-Stadium or Arena	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C	-	C	C	-	-	-	-	-
Marine-Related Commercial (except as noted below)	-	-	-	-	-	-	-	-	-	C	-	P	P	C	P	-	-	C	-	C	-	-	C
-Boat and Marine Equipment Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	P	-	-	C	-	-	-	-	-

ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R4 A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2
-Marina/Boat Livery	-	-	-	-	-	-	-	-	-	C	-	C	C	C	C	-	-	P	-	C	-	-	C
Office																							
-Administrative, Professional, General, Medical Office	-	-	-	-	-	-	C	C	C	P	P	P	P	P	P	P	C	C	-	-	-	-	-
-Day Labor Employment Agency	-	-	-	-	-	-	-	-	-	P	C	P	P	-	-	P	-	-	-	-	-	-	-
-Medical and Dental Clinic	-	-	-	-	-	-	-	-	-	P	C	P	P	C	-	P	-	C	-	-	-	-	-
-Television and Radio Studios	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	-	C	-	-	-	-	-
Overnight Accommodations																							
-Bed & Breakfast	-	-	-	-	-	-	C	C	C	C	P	P	P	P	-	-	-	-	-	-	-	-	-
-Dwelling Rental	-	C	C	C	C	C	C	C	C	-	-	-	P	P	-	-	-	-	-	-	-	-	-
-Hotel/Motel	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	C	-	-	-	-	-	-	-
-Recreational Vehicle Park	-	-	-	-	-	-	-	-	-	-	-	C	-	C	-	-	-	-	-	-	-	-	-
-Resort Hotel	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	-	-	-	-	-	-	-
Parking, Commercial	-	-	-	-	-	-	-	C	-	C	C	P	C	C	-	C	-	C	-	-	-	-	-
Retail Sales & Service, Sales-Oriented (except as noted below)	-	-	-	-	-	-	-	-	-	C	P	P	P	P	C	C	-	-	-	-	-	-	-
-Art Gallery	-	-	-	-	-	-	-	-	-	C	C	P	P	P	-	C	-	-	-	-	-	-	-
-Farmers Market or Farm Stand	P	-	-	-	-	-	-	-	-	C	C	P	P	P	-	C	C	-	-	-	-	-	-
-Grocery or Liquor Store	-	-	-	-	-	-	C	-	C	-	P	P	P	C	-	C	-	-	-	-	-	-	-
-Neighborhood Commercial Sale	-	-	-	-	C	C	P	P	P	-	P	P	P	C	-	C	-	-	-	-	-	-	-
-Office Supplies & Electronics	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
-Pet Stores	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
Retail Sales & Service, Personal-Service Oriented (except as noted below)	-	-	-	-	-	-	-	-	-	C	C	P	P	P	-	C	-	-	-	-	-	-	-
-Art Studio	-	-	-	-	-	-	-	-	-	P	P	P	P	P	-	C	-	-	-	-	-	-	-
-Animal Care Facilities & Service	-	-	-	-	-	-	-	-	-	-	P	P	-	P	-	C	-	-	-	-	-	-	-
-Animal Grooming Services	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	C	-	-	-	-	-	-	-
-Check Cashing/Loan Service	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	-	-	-	-	-	-	-
-Educational Service Establishments	-	-	-	-	-	-	-	-	C	C	P	P	P	C	P	P	P	C	C	-	-	-	-

ZONING DISTRICT	E 1	E 2	E 3	R 1	R 2	R 3	R 4	R4 A	R 5	C 1	C 2	C 3	C 4	C 5	C 6	C P	I1	I2	I3	OS 1	OS 2	A 1	A 2
-Laundry & Dry Cleaners Pick-Up	-	-	-	-	-	-	C	C	C	C	P	P	P	P	-	C	-	-	-	-	-	-	-
-Laundromat	-	-	-	-	-	-	C	C	C	C	P	P	P	C	-	C	-	-	-	-	-	-	-
-Mortuaries or Funeral Homes	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	C	-	-	-	-	-	-	-
-Neighborhood Commercial Services	-	-	-	-	C	C	P	P	P	P	P	P	P	P	-	C	-	-	-	-	-	-	-
-Pawn Shop	-	-	-	-	-	-	-	-	-	-	-	P	P	C	-	C	-	-	-	-	-	-	-
-Personal Improvement Service	-	-	-	-	-	-	C	C	C	P	P	P	P	P	-	C	-	-	-	-	-	-	-
-Veterinary (Without Outdoor Runs)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
Retail Sales & Service, Repair-Oriented	-	-	-	-	-	-	-	P	-	C	-	P	P	P	-	P	-	-	-	-	-	-	-
Self-Service Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C	-	P	-	P	-	-	-	-
Vehicle Sales & Service																							
-Automobile Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Automobile Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Boat Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	P	C	C	P	-	P	-	-	C	P
-Boat Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	P
-Fueling Station	-	-	-	-	-	-	-	-	-	C	C	P	C	C	-	C	-	P	-	-	-	-	-
-Travel Plaza	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Truck Stop	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Vehicle Repair, General	-	-	-	-	-	-	-	-	-	-	C	P	C	-	-	C	-	-	-	-	-	-	-
-Vehicle Repair, Limited	-	-	-	-	-	-	-	-	-	-	C	P	C	-	-	P	-	-	-	-	-	-	-
<u>-Marine-Related Repair</u>	-	-	-	-	-	-	-	-	-	-	-	<u>P</u>	-	-	<u>P</u>	-	-	-	-	-	-	-	-
-Vehicle Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	P	C	P	-	-	-	-
INDUSTRIAL																							
Artisan	-	-	-	-	-	-	-	-	-	-	C	P	C	-	-	P	P	-	P	-	-	-	-
-Cabinet Shops, Woodworking	-	-	-	-	-	-	-	-	-	-	-	P	C	-	C	P	P	-	P	-	-	-	-
Light Industrial Service (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	-	P	-	-	-	-
-Catering Facility, Large-Scale	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	P	P	-	P	-	-	-	-
-Crematorium	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	-	-	-	-	-	-	-	-
-Building Maintenance Facilities And Services	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	-	-	-	-	-	-	-
-Contractors/Others Performing Services Off-Site	-	-	-	-	-	-	-	-	-	-	C	P	-	-	-	P	P	-	P	-	-	-	-

**BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM**

RECEIVED

Meeting Date: June 20, 2019
Property Address: n/a
Property Name: Text Amendment
Type: Chapter 22 - Zoning
Planner: Vennis Gilmore

JUN 20 2019

CITY OF FORT PIERCE
PLANNING & ZONING

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 6th Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
 - Accessible route
 - Handicapped parking spaces
 - Means of egress
- 7. Change of Use required
 - to include a signed and sealed Life Safety Plan
 - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

Additional Comments/Requirements:

--

Building Official's or Representative's Signature _____ Date: 6/19/19



Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 x3473

Technical Review Committee meeting

June 20, 2019

TECHNICAL REVIEW PROJECT # 19-99800007 (Text Amendment to Chapter 22)

TEXT AMENDMENT - Chapter 22 - Zoning - Article III – Basic Zoning Districts - Section 22-22 – Allowed Uses

Comments

FPUA W/WW Engineering: Approved

FPUA Electric & Gas Engineering: No comment



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

www.fpua.com





Technical Review Committee meeting

June 20th, 2019

Case # 19-99800007

Text amendment

Chapter 22, zoning Article III, Basic zoning districts, Section 22-22, allowed uses.

Comments:

No comments.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

To : Vennis Gilmore, Planner

FROM : John R. Andrews, P.E., City Engineer

RECEIVED

**RE : Chapter 22-22 Text Amendment
Allowed Uses**

JUN 14 2019

CITY OF FORT PIERCE
PLANNING & ZONING

DATE : June 14, 2019

This is to advise you that we have completed the review of the following documents as received by this office on June 2, 2019:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Text Amendment | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|---|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of Amendment | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for conditions of approval

JRA/jra



TO : Members of the Planning Board

FROM : Vennis Gilmore, Planner

RE : Project: #19-99800007 (Text Amendment to Chapter 22)

DATE : June 6th, 2019

TEXT AMENDMENT
Chapter 22 - Zoning
Article III – Basic Zoning Districts
Section 22-22 – Allowed Uses

The City of Fort Pierce Planning Department is proposing a Zoning Text Amendment to Article III – Basic Zoning Districts, Section 22-22, Allowed Uses, of the City of Fort Pierce Code of Ordinances to allow some uses identified in the Use Table to be allowed by right, in lieu of needing a Conditional Use approval from City Commission. The Text Amendment would also allow one use to be allowed with Conditional Use approval instead of being prohibited outright in one zoning district. This memo is in reference to the one month of Text Amendments, requested by the Planning Board.

Thank You,
Vennis Gilmore
Planner



TO : All the members of the Technical Review Committee

FROM : Vennis Gilmore, Planner

RE : Technical Review Project: #19-42800009 (Temporary Use)

DATE : June 2nd, 2019

Temporary Use
Auto Repair in I-1, Light Industrial Zone
995 Edwards Road

The above – referenced **Temporary Use** is being submitted for your review and comments. The request seeks a temporary use of General and Limited Vehicle Repair in the I-1, Light Industrial Zone. The Temporary Use shall remain active until the second reading approval of a City-initiated Zoning Text Amendment to Article III – Basic Zoning Districts, Section 22-22, Allowed Uses.

The purpose of the Text Amendment is to streamline the development process by providing for a broader range of uses to be allowed outright in certain zoning districts where the use itself is appropriate given the characteristics of each district and its location in the City. In particular, commercial and industrial uses have been expanded in such a manner so as to allow for a more streamlined review and development approval process. Temporary Use approval of this application will allow the applicant to operate the non-permitted use of “Vehicle Repair,” until the City-initiated Zoning Text Amendment is approved to allow the subject use as permitted by right.

Please provide two (2) copies of written comments regarding the above at your easiest convenience. The item will be reviewed at the June 20th, 2019 TRC Meeting.

Please do not hesitate to contact one of our staff members should you require any additional information or clarification at 772-467-3741. Please send all TRC Comments to vgilmore@city-ftpierce.com.

Thank You,

Vennis Gilmore
Planner



PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: Text Amendment to Chapter 22 - Zoning - Article III - Basic Zoning Districts - Sec. 22-22 -

NOTICES PROVIDED PURSUANT TO: City Code Section 22-143. Public Hearings A,B,C, & D

NOTICE BY NEWSPAPER: August 4, 2019

NOTICE BY MAIL: N/A

NOTICE BY SIGNS: N/A

VERIFIED BY: Vennis Gilmore

TITLE: Planner

SIGNATURE: 

DATE: August 7, 2019

City Commission Meeting 5:05 PM

12. f.

Meeting Date: 09/23/2019

Re: Future Land Use Amendment - Fort Pierce Self Storage - (Parcel ID: 2415-312-0001-010-8)

Submitted For: Rebeca Guerra, Interim Planning Director, Planning & Zoning

SUBJECT:

Legislative Hearing - Ordinance 19-035 FLUMA - an application submitted by the property owner, Yo No Se LLC, and representative, Darren Guettler, P.E of Velcon Engineering & Surveying, LLC for a Future Land Use Map Amendment for one (1) parcel of land, 1.19 acres in total, to change the Future Land Use Designation, within the Comprehensive Plan, from RM, Medium Density Residential to GC, General Commercial. Said Parcel is generally located south of Ohio Avenue & 417 ft. west of South US Highway 1, Ft. Pierce, FL. 34950.

SECOND READING

SUMMARY:

- The subject parcel currently consists of vacant land and is approximately 1.19 acres in size.
- The applicant requests a FLU Amendment from RM, Medium Density Residential to GC, General Commercial to allow the property owner to open a self-storage facility on the subject parcel and the two adjacent properties under the same ownership (2415-311-0003-000-6, and 2415-311-0003-030-5).
- The two parcels on the east of the proposed development are zoned C-3, General Commercial Zone with a FLU of GC, General Commercial. A self-storage facility is not consistent with the RM, Medium Density Residential FLU designation, therefore the subject parcel needs to be amended to GC, General Commercial to match the FLU designations of the other adjacent parcels.
- The applicant has also submitted an application for Zoning Atlas Amendment to change the zoning of the subject parcel from R-4, Medium Density Residential Zone to C-3, General Commercial Zone. Action to amend the Zoning and FLU of the parcel from the residential designations to the more appropriate commercial designations are necessary, and sought by the applicant to advance consideration of the subject proposed development.

RECOMMENDATION:

Approval.

ALTERNATIVES:

Disapproval.

RESPONSIBLE STAFF:

Vennis Gilmore, Planner

COORDINATED WITH:

Fiscal Impact

OTHER INFORMATION:

N/A

Attachments

19-035
Staff Report
Presentation
Application
Authorization Letter
Deed
Legal Description
Aerial Map
Current FLU Map
Proposed FLU Map
Property Record Card
Narrative
Survey
Site Plan
Historical Statement
Traffic Statement
Drainage Statement
TRC Comments
Public Notice Certification

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	08/13/2019 11:17 AM
Form Started By: Vennis Gilmore		Started On: 08/07/2019 02:15 PM
Final Approval Date: 09/04/2019		

ORDINANCE NO. 19-035

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; **AMENDING THE FUTURE LAND USE MAP OF THE COMPREHENSIVE PLAN TO CHANGE THE DESIGNATION OF PROPERTY GENERALLY LOCATED AT PARCEL ID: 2415-312-0001-010-8, FROM MEDIUM DENSITY RESIDENTIAL, RM, TO GENERAL COMMERCIAL, GC;** PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the subject properties are generally located at Parcel ID: 2415-312-0001-010-8, within the City of Fort Pierce, Florida, representing approximately 1.19 acres of land; and

WHEREAS, the subject property is included in a proposed site plan for a storage facility; and

WHEREAS, the subject property is also included in a zoning atlas amendment for the proposed storage facility site plan; and

WHEREAS, Parcel ID: 2415-312-0001-010-8 is presently designated RM, Medium Density Residential; and

WHEREAS, the applicant seeks a future land use amendment of the subject parcel, Parcel ID: 2415-312-0001-010-8, from RM, Medium Density Residential to GC, General Commercial; and

WHEREAS, the proposed future land use amendment is consistent with the comprehensive plan, and will not have an adverse effect on the ability of the city to satisfy land and water use needs, and meet transportation demands and provide community facilities and services, and will promote and protect the public health, safety and general welfare as required by City Code section 22-131; and

WHEREAS, the City of Fort Pierce Planning Board, at their July 9th, 2019 meeting, voted unanimously to recommend approval of the proposed Future Land Use Amendment for this parcel; and

WHEREAS, the City of Fort Pierce has adopted a Comprehensive Plan known as the City of Fort Pierce Comprehensive Plan adopted by Ordinance No. L-136, as subsequently amended; and

WHEREAS, changing the future land use designation requires an amendment to the Comprehensive Plan, pursuant to section 163.3187, Florida Statutes; and

WHEREAS, the City of Fort Pierce Planning Board having been duly designated as the Local Planning Agency pursuant to section 163.3174 et seq., Florida Statutes, and having held a public hearing thereon, has considered this proposed amendment to the Comprehensive Plan and submitted its recommendations thereon to the City Commission; and

WHEREAS, two (2) public hearings with due notice have been held by the City Commission to inform the public and receive comments and objections; and

WHEREAS, the City of Fort Pierce desires to hereby formally adopt this amendment to the City's Comprehensive Plan.

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1. The preceding "whereas" clauses are ratified and incorporated as the legislative intent of this ordinance.

SECTION 2. The Comprehensive Plan of the City of Fort Pierce is hereby amended as follows:

From and after the effective date hereof, the following property legally described as:

Generally Located at Parcel ID: 2415-312-0001-010-8

LEGAL DESCRIPTION:

THE EAST 145.51 FEET OF THE WEST 495.51 FEET OF THE NORTH 380.01 FEET OF THE NORTHEAST 114 OF THE SOUTHWEST ¼ OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ALL LYING IN ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

Said property being generally located at Parcel ID: 2415-312-0001-010-8, in Fort Pierce, Florida shall be and the Future Land Use Designation is hereby changed from Medium Density Residential, RM, to General Commercial, GC, as depicted on Exhibit "A", attached hereto and incorporated herein.

SECTION 3. The provisions of this Ordinance are declared to be severable and if any section, sentence, clause, or phrase of this Ordinance shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Ordinance but shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

SECTION 4. All ordinances or parts of ordinances in conflict herewith are and the same shall be repealed and shall be of no further force or effect whatsoever.

SECTION 5. This Ordinance is and the same shall become effective immediately upon final passage.

APPROVED AS TO FORM & CORRECTNESS:

Peter J. Sweeney, Esq.
City Attorney

STATE OF FLORIDA

COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No.19-035 was duly advertised accordance with section 163.3187, Florida Statutes by display advertising in the St.

Lucie News Tribune on August 4th, 2019 and on August 11th, 2019; copy of said Ordinance was made available at the office of the City Clerk to the public upon request; said Ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on August 19th, 2019; and was duly introduced, read by title only, and passed on second and final reading September 3rd, 2019, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HEREWITH, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this 4th day of September 2019.

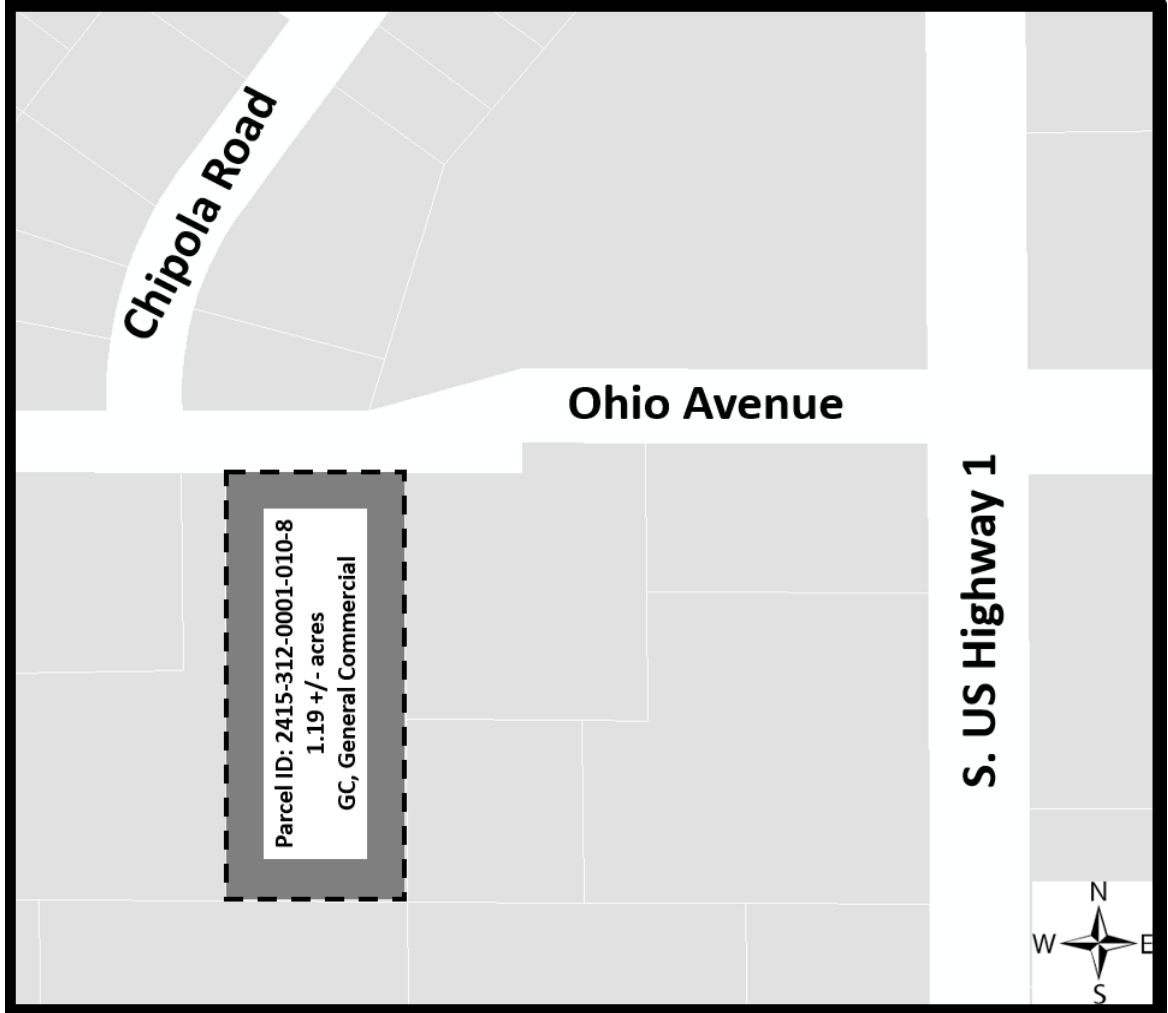
Linda Hudson
Mayor Commissioner

ATTEST:

Linda W. Cox
City Clerk

(City Seal)

EXHIBIT A
Proposed Future Land Use
General Commercial, GC





TO: Nicholas Mimms, PE, City Manager

THROUGH: Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

FROM: Vennis Gilmore, Planner

RE: **Ordinance 19-035 - Application for Future Land Use Amendment
 Fort Pierce Self Storage
 Parcel ID: 2415-312-0001-010-8**

BOARD DATE: August 19, 2019

STAFF REPORT

Owner(s): Yo No Se LLC
 2701 Industrial Avenue #3
 Fort Pierce, FL 34946

Applicant and Representative: Darren Guettler, P.E.
 Velcon Engineering & Surveying, LLC
 590 NW Peacock Boulevard, Suite 8
 Port St. Lucie, FL 34986

Applicant's Request: Approval of a Future Land Use Amendment from RM, Medium Density Residential to GC, General Commercial.

Location: South of Ohio Ave. & 417 ft. West of US Highway 1, Ft. Pierce, FL. 34950

Parcel ID: 2415-312-0001-010-8

Current Future Land Use: Medium Density Residential (RM)

Proposed Future Land Use: General Commercial (GC)

Surrounding Future Land Use:

North	East	South	West
RM	GC	RM	RM

Site Size: 1.19 acres

Utilities: FPUA

Staff Analysis:

Request

In accordance with Sections 22-128 & 22-143 of the City Code, the applicant is requesting the review and approval of a Future Land Use (FLU) Amendment from RM, Medium Density Residential to GC, General Commercial.

Background & Project Summary

The subject parcel currently consists of vacant land and is approximately 1.19 acres in size. The applicant requests a FLU Amendment from RM, Medium Density Residential to GC, General Commercial to allow the property owner to open a self-storage facility on the subject parcel and the two adjacent properties under the same ownership (2415-311-0003-000-6, and 2415-311-0003-030-5). The two parcels on the east of the proposed development are zoned C-3, General Commercial Zone with a FLU of GC, General Commercial. A self-storage facility is not consistent with the RM, Medium Density Residential FLU designation, therefore the subject parcel needs to be amended to GC, General Commercial to match the FLU designations of the other adjacent parcels. The applicant has also submitted an application for Zoning Atlas Amendment to change the zoning of the subject parcel from R-4, Medium Density Residential Zone to C-3, General Commercial Zone. Action to amend the Zoning and FLU of the parcel from the residential designations to the more appropriate commercial designations are necessary, and sought by the applicant to advance consideration of the subject proposed development.

Future Land Use Designation & Comprehensive Plan

The subject site has a FLU designation of RM, Medium Density Residential. The Medium Density Residential designation is intended for parcels that are best suited for multifamily residential uses ranging in density from multifamily dwelling units per acre. This category allows small-lot single family units and multifamily dwellings including duplexes, condominiums and townhomes. Limited commercial uses intended to serve the residential uses shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools, and daycare facilities shall also be allowed. This category combines the previously allowed Medium Density Residential (Rme) and Moderate Density Residential (Rmo) categories.

The proposed FLU is GC, General Commercial. The General Commercial designation provides for higher intensity commercial developments or horizontal and vertical mixed-use developments. Uses allowed within this designation include multifamily residential, intensive and general commercial, retail, service, offices, tourist/entertainment facilities, hotels/motels, parks and recreation, along with compatible public, quasi-public, and special uses. This land use designation allows for a maximum density of 15 dwelling units per acre and a maximum FAR of 1.0. Development shall include either commercial or mixed uses fronting major roadway corridors with higher intensity near major intersections. Residential uses may comprise up to 20% of the total floor area of the General Commercial FLU designation.

Standards for Review

The following standards must be satisfied prior to the approval of the requested amendment:

- (1) The amendment is justified by a validated need or hardship;

The proposed commercial development will consist of the three aforementioned parcels. The subject parcel's FLU is not compatible with the proposed use.

- (2) The amendment will result in an orderly and logical development pattern;

All parcels to the east and northeast are zoned C-3, General Commercial Zone with a FLU of GC, General Commercial. The subject properties are located just west of the major commercial corridor of US Highway 1. The proposed use would provide a service to the neighboring communities.

- (3) The amendment is consistent with the Comprehensive Plan; and

The proposed GC FLU designation is consistent with the Comprehensive Plan's requirement that proposed uses include general commercial aspects fronting major roadways. The applicant's intent to develop a self-storage facility appears to satisfy this requirement.

- (4) The amendment is compatible with Future Land Use (FLU) designations and existing land uses surrounding the amended lands; and

The FLU Amendment would be an extension to the west for the C-3, General Commercial Zones and GC, General Commercial FLU designations along the major commercial corridor of US Highway 1.

The proposed amendment is consistent with the Goals, Objectives, and Policies of the City's Comprehensive Plan and is consistent with the concurrent request to amend the Zoning designation of the parcel. Furthermore, the amendment will not appear to have an adverse effect on the ability of the City to satisfy land and water use needs, meet transportation demands, and provide community facilities and services. The presented amendment promotes and protects the public health, safety, and general welfare through the increased variety and access to neighborhood goods and services while ensuring minimal impacts to neighboring residential districts.

Technical Review Committee

All affected departments have reviewed the proposed FLU Amendment for consistency with the requirements of the City Code. Findings and comments from review by affected departments, and the corresponding responses and plan amendments by the applicant are provided for consideration.

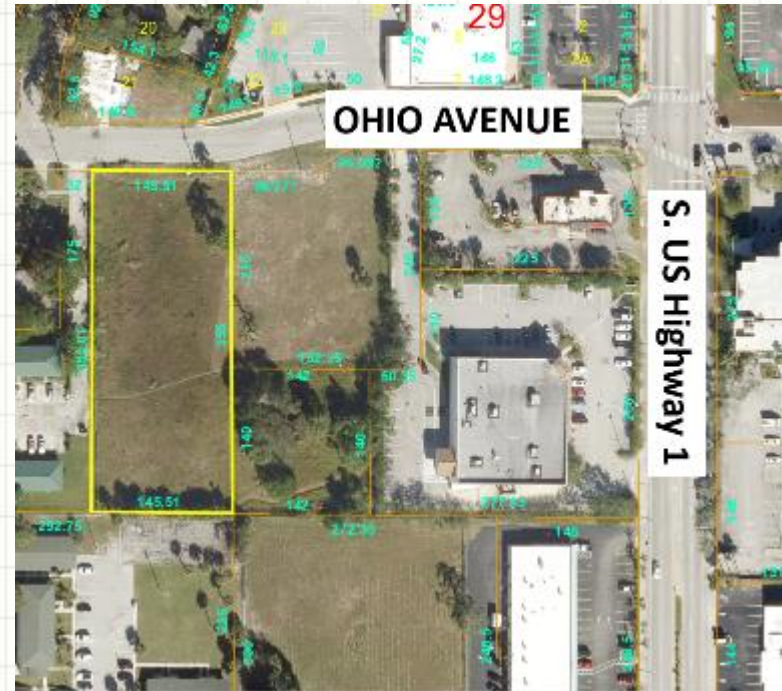
Planning Board Recommendation:

The Planning Board, at their August 9th, 2019 meeting, voted unanimously to recommend **APPROVAL** of the request.

Staff Recommendation

The proposed amendment meets the criteria specified in Section 22-131 of the City Code, and is consistent with the City's Comprehensive Plan. Therefore, Staff recommends the City Commission **APPROVE** the proposed amendment.

Future Land Use Map Amendment



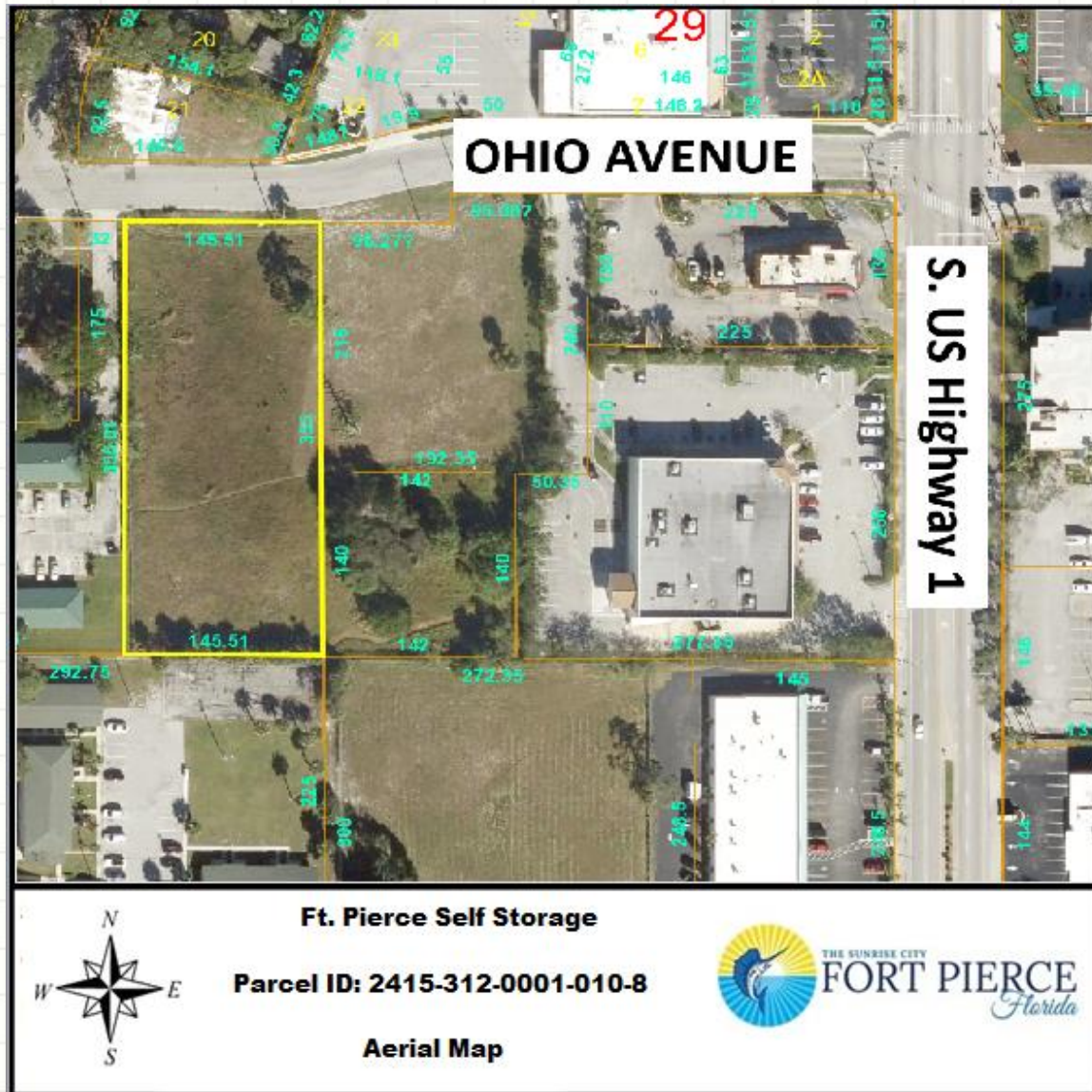
South of Ohio Ave. & 417 ft. West
of US Highway 1, Ft. Pierce, FL.

34950

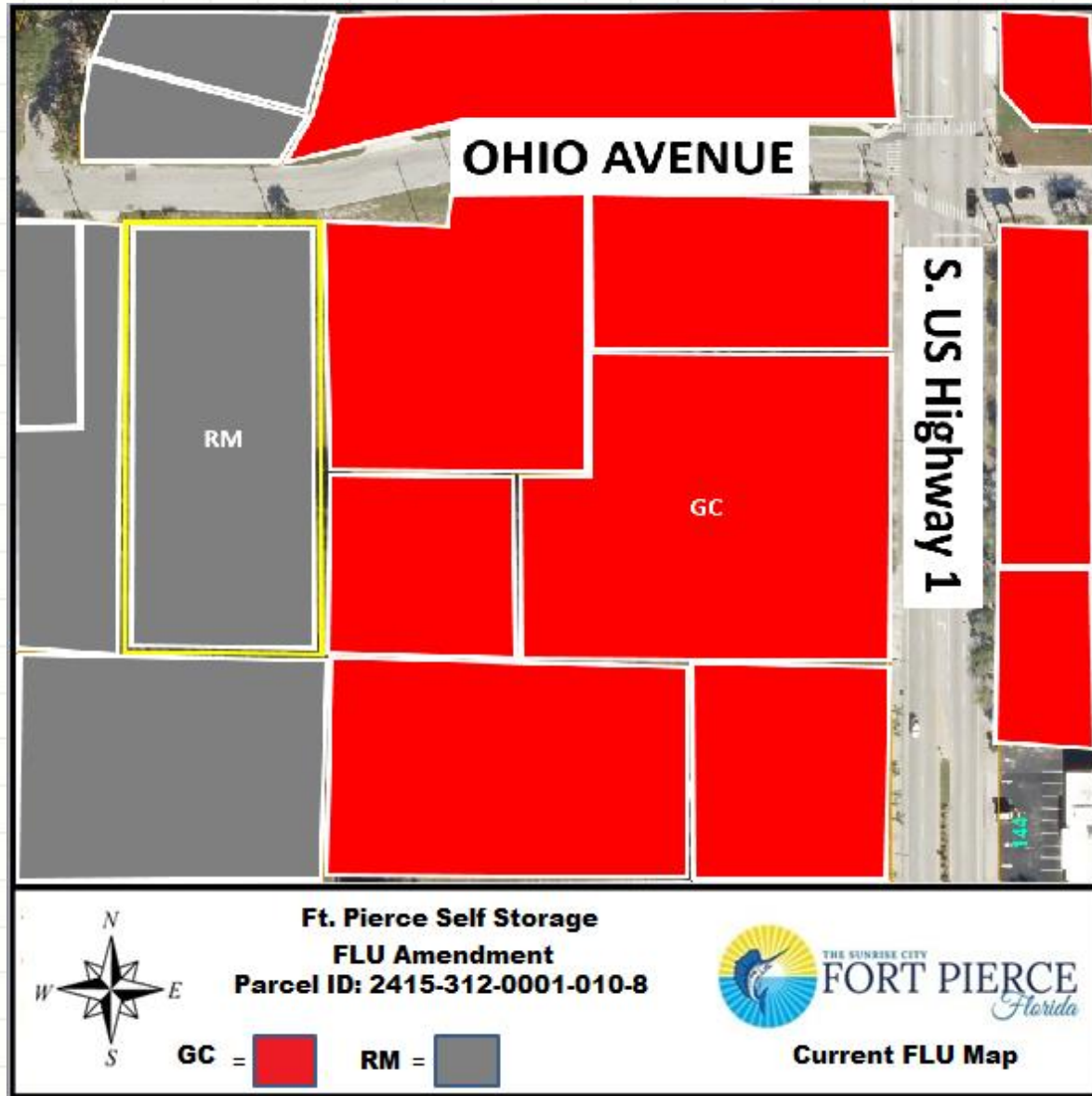
Parcel ID: 2415-312-0001-010-8



Aerial Map



Future Land Use Map

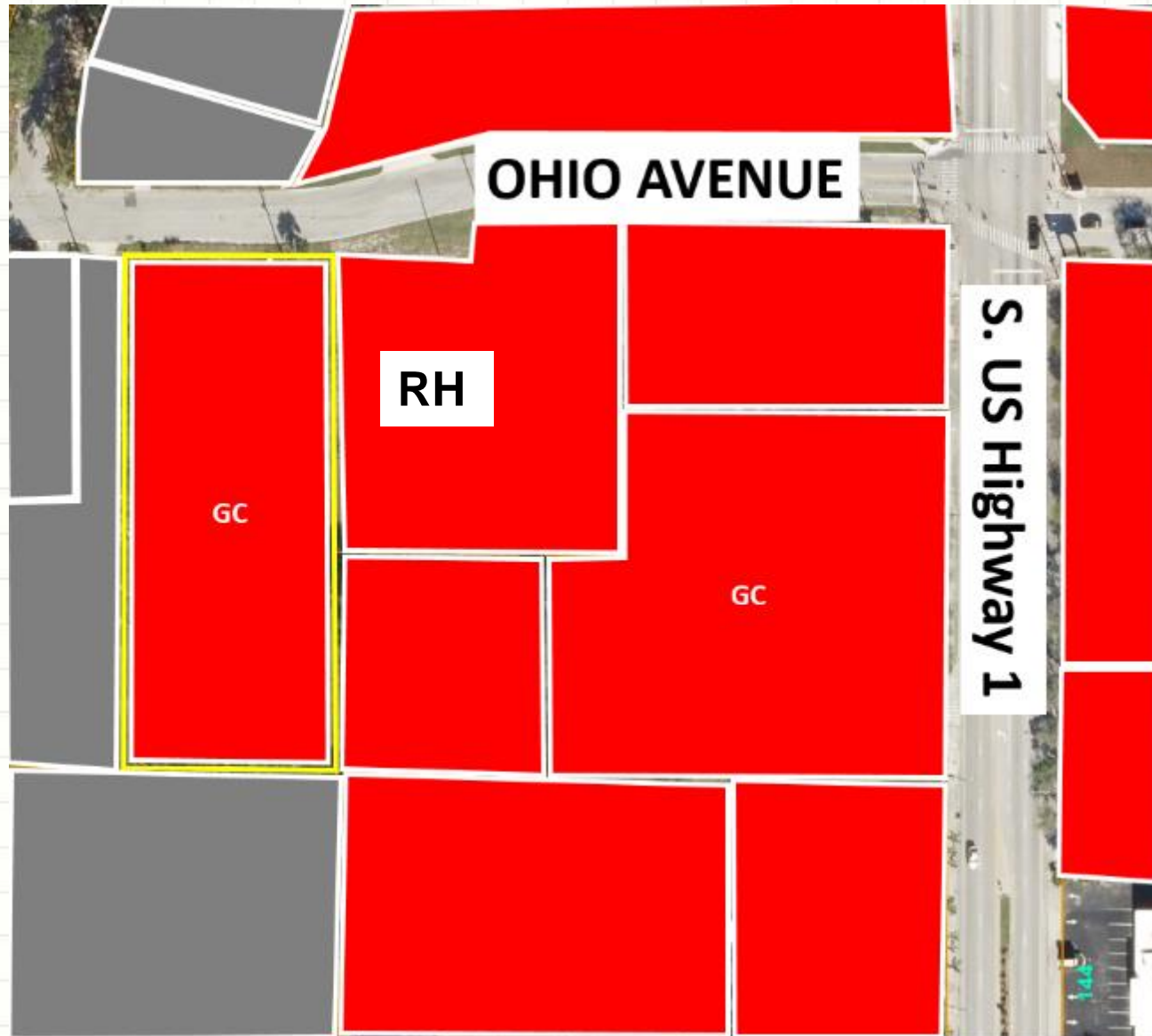


Future Land Use Map Amendment

Future Land Use change from RM, Medium Density Residential to GC, General Commercial

- Staff recommends **Approval** of the request
 - ❑ Commercial developments are more suited for a Commercial FLU than a Residential FLU
 - ❑ Consistent with Section 22-131 of City Code & the Comprehensive Plan
 - ❑ Does not adversely affect the public health, safety, convenience and general welfare

Proposed Future Land Use Map



CC Recommendations

Possible actions of the City Commission:

- **APPROVAL** of the proposed Amendment.
 - Staff recommends that the City Commission **APPROVE** the proposed Amendment.
- **DISAPPROVAL** of the proposed Amendment.

Future Land Use Map Amendment



**South of Ohio Ave. & 417 ft. West
of US Highway 1, Ft. Pierce, FL.
34950
Parcel ID: 2415-312-0001-010-8**



Application for Future Land Use Map Amendment

Future Land Use Map Amendment – Large Scale (>10 acres)

Future Land Use Map Amendment – Small Scale (<10 acres)

In accordance with Chapter 163.3187, Florida Statutes, The City of Fort Pierce will consider applications for land use changes on parcels in excess of 10 acres ("Large Scale Amendments") only twice each calendar year. The City Commission will consider applications for land use changes on parcels less than or equal to 10 acres with a maximum density of 10 units per acres or less at any time during the calendar year. You are encouraged to schedule a pre-application meeting with the planning staff and to submit your application up to three months in advance of the application deadline.

Application submission shall include the following:

- **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (13) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a ½ mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- *** Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other _____

1. Property Address/Location: South of Ohio Avenue & 417 ft West of US -1, Fort Pierce, FL 34950
2. Property Tax ID(s): 2415-312-0001-010-8
3. Total Acreage: 1.19
4. Existing Future Land Use Designation: RM - Medium Density Residential
5. Existing Zoning Classification: R4 - Medium Density Residential
6. Proposed Zoning Classification: C3 - General Commercial
7. Other applications being submitted concurrent with this application, if any: _____
Application for Zoning Atlas Map Amendment
8. Describe the existing uses, improvements and structures on the amendment lands: _____
Existing site is vacant and there are no existing structures on the site.
9. Are there any identified or possible historical structures on the amendment lands? No
10. The reason for making this request: The owner wishes to open a self storage business on his property which consists of three parcels 2415-312-0001-010-8, 2415-311-0003-000-6, and 2415-311-0003-030-5. The two parcels on the east of the subject parcel is zoned C3 General Commercial. Since self storage business is not permitted in R4 Medium Density Residential zoning district, parcel 2415-312-0001-010-8 needs to be rezoned to C3 General Commercial to match the zoning districts to the other two parcels.

11. Capacity Analysis:

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Commercial & Residential	GC - Commercial General	C3 - General Commercial
South	HOMES REALTY VENTURES LC, & Vacant	RM - Medium Density Residential; GC - Commercial General	R4 - Medium Density Residential; C3 - General Commercial
East	Popeyes & Walgreens	GC - Commercial General	C3 - General Commercial
West	Arc of St. Lucie County INC. & BCAG LLC - APARTMENT BLDGS.	RM - Medium Density Residential	R4 - Medium Density Residential

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	RM - Medium Density Residential	R4 - Medium Density Residential	11	1.19	X
Proposed	GC - Commercial General	C3 - General Commercial	31,102	1.19	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot 2,860
Demand Analysis	Maximum
Current Zoning	Total gallons per day 2,860
Proposed Zoning	Total gallons per day 3,888
Change in Demand	Total gallons per day 1,028

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot 2,860
Demand Analysis	Maximum
Current Zoning	Total gallons per day 2,860
Proposed Zoning	Total gallons per day 3,110
Change in Demand	Total gallons per day 250

C. Parks and Recreation (Residential Classifications Only): N/A (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): N/A Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning Enrollment Demand		
Proposed Zoning Enrollment Demand		
Change in Demand		

E. Solid Waste: 2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units	
Demand Analysis	Maximum
Current Zoning	2 yards
Proposed Zoning	
Change in Demand	

F. Stormwater:

Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact	No significant impacts are anticipated due to rezoning from medium density residential to general commercial zoning district.
---------------	---

G. Transportation Analysis:

Most recent ITE Code for use; HCM Roadway Capacity

	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning	73.92	6.05/7.37
Proposed Zoning	1378.44	213/156
Change in Demand	Trips 1305	Trips 207/148
Impact to Capacity	More trips will be generated from the rezoning but since the US highway - 1 is located 225 ft east of the property this trip generation will not have any negative impacts to the neighborhood area.	

12. Name of Owner(s): ANTONIO HUERTA - Yo No Se LLC
 Mailing Address: 2701 Industrial Avenue 3
 City Fort Pierce State FL Zip 34986
 Phone # 407-921-6991
 E-mail: redfishtony@hotmail.com

13. Name of Applicant: Darren Guettler, P.E. - Velcon Engineering & Surveying, LLC.
 Mailing Address: 590 NW Peacock Blvd., Suite 8
 City Port St. Lucie State FL Zip 34986
 Phone # 772/879-0477 Fax # _____
 E-mail: darreng@velconfl.com

14. Name of Representative: Darren Guettler, P.E. - Velcon Engineering & Surveying, LLC.
 Mailing Address: 590 NW Peacock Blvd., Suite 8
 City Port St. Lucie State FL Zip 34986
 Phone # 772/879-0477 Fax # _____
 E-mail: darreng@velconfl.com

15. Applicant Acknowledgements (Owner’s signature must be notarized)

I certify that: (Check One)

I (we) do hereby certify that I (we) own in fee simple the above referenced described property for which a change in Zoning Classification is requested.

I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

[Handwritten Signature]

Applicant's Signature

590 NW Peacock Blvd., Suite 8

Address

772/879-0477

Phone

Fax

Date

State FL

34986 Zip

randyr@velconfl.com

E-mail Address

16. Property Owners Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature(s) below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

ANTONIO HUERTA

407-921-6991

Property Owner's Name (Please Print)

Phone

2701 Industrial Avenue 3

FL

34946

Address

State

Zip

[Handwritten Signature]

4/3/19

Property Owner's Signature

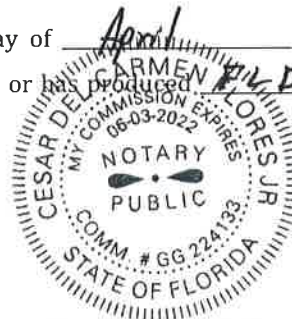
Date

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this 3rd day of April, 2019, by Antonio Huerta who is personally known to me or has produced FL DL as identification.

[Handwritten Signature]
Signature of Notary

(seal)



OFFICE USE:

DATE RECEIVED: _____ Signed: _____

File Number: _____ Check No: _____ Receipt No: _____

TRC Review: _____ Planning Board Review: _____ City Commission: _____

Ordinance No: _____ Date Approved: _____

Yo No Se LLC
2701 Industrial Avenue 3
Fort Pierce, FL 34946

To Whom It May Concern:

This letter authorizes Velcon Engineering & Surveying LLC. to act as agent for the purposes of obtaining permits and approvals from state and local government agencies for the property described on the attached legal description.

If you have any questions, please call me at 407-921-6991.

Sincerely,



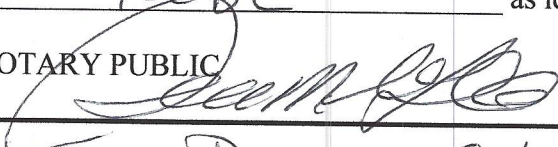
ANTONIO HUERTA, MANAGER

Date: 12/27/2018

State of: Florida
County of: St. Lewis

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me this 27 day of Dec, 2018, by _____, who () is personally known to me, or (X) has produced Feld as identification.

NOTARY PUBLIC



Name Printed: Deanna M. Gerhart
State of Florida at-large
My Commission expires: June 26, 2022

File: 18-1030 aut.doc



LEGAL DESCRIPTION:

PARCEL IDENTIFICATION NUMBER: 2415-311-0003-030-5

COMMENCE AT THE NORTHWEST COMER OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE RUN NORTH 90°00'00" EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 691.85 FEET; THENCE RUN SOUTH 00°22'54" EAST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 240.00 FEET; THENCE RUN NORTH 90°00'00" WEST ALONG A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 50.35 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 00°22'54" EAST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 140.00 FEET; THENCE RUN NORTH 90°00'00" WEST ALONG A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 142.00 FEET; THENCE RUN NORTH 00°22'54" WEST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 140.00 FEET; THENCE RUN NORTH 90°00'00" EAST ALONG A LINE THAT IS PARALLEL WITH THE SAID NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 142.00 FEET TO THE POINT OF BEGINNING.

PARCEL IDENTIFICATION NUMBER: 2415-312-0001-010-8

THE EAST 145.51 FEET OF THE WEST 495.51 FEET OF THE NORTH 380.01 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ALL LYING IN ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

PARCEL IDENTIFICATION NUMBER: 2415-311-0003-000-6

BEING A PART OF THE NORTH 380 FEET OF THE NE 1/4 OF THE SW 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING WEST OF U.S. HIGHWAY NO. 1, BEING MORE FULLY DESCRIBED AS FOLLOWS: THE WEST 192.35 FEET OF THE EAST 417.35 FEET (AS MEASURED FROM THE WEST RIGHT-OF-WAY OF U.S. HIGHWAY NO. 1) OF THE NORTH 380 FEET LESS AND EXCEPT THE SOUTH 140 FEET THEREFROM. SUBJECT TO ALL

Prepared by and Return to:
Veronika Swords, employee of
First International Title, Inc.
107 North 2nd Street
Fort Pierce, FL 34950
Our File No. 129194-41

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made on 29th day of August, 2018, between **Indian River State College Foundation, Inc., a Florida corporation not for profit**, having a business address at: 3209 Virginia Avenue, Fort Pierce, FL 34981

("Grantor"), and **Yo No Se, LLC, a Florida limited liability company**, having a mailing address of: 2701 Industrial Avenue 3, Fort Pierce, FL 34946 , ("Grantee"):

(Which terms "Grantor" and "Grantee shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

WITNESSETH, that the said Grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt and sufficiency of which is hereby acknowledged has granted, bargained, sold, remised, released, conveyed and confirmed unto said "Grantee", its successors and assigns forever, following described land, situated, lying and being in the County of **St. Lucie, Florida**, to-wit:

SEE EXHIBIT "A" FOR COPY OF ATRICLES AND BY LAWS
SEE EXHIBIT "B" FOR LEGAL DESCRIPTION

Parcel Identification Number: **2415-311-0003-000/6 AND 2515-312-0001-010/8
AND 2415-311-0003-030/5**

Subject, however, to all reservations, covenants, conditions, restrictions and easements of record and all applicable zoning ordinances and/or restrictions or requirements imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; and that said land is free of all encumbrances except taxes accruing subsequent to **December 31, 2017**. That it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

In Witness Whereof, Grantor has signed and sealed these presents on the date first above written.

Indian River State College Foundation, Inc.
a Florida not for profit corporation

by: *Ann L. Decker*
Ann L. Decker, Executive Director

Signed, sealed and delivered in our presence:

Karen J. Cristaldi
Witness Signature
Print Name: KAREN J. CRISTALDI

Veronika Swords
Witness Signature
Print Name: Veronika Swords

State of Florida
County of St. Lucie

The Foregoing Instrument Was Acknowledged before me on 8-29-2018, by Ann L. Decker, Executive Director of **Indian River State College Foundation, Inc., a Florida corporation not for profit**, who is/are personally known to me or who has/have produced a valid driver's license as identification.

Veronika Swords
Notary Public

(Printed Name)

My Commission expires: _____

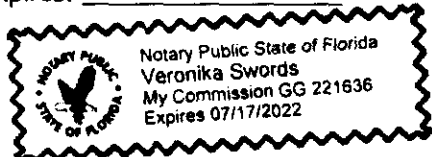


Exhibit "A"

ARTICLES OF AMENDMENT
To
ARTICLES OF INCORPORATION
Of
INDIAN RIVER COMMUNITY COLLEGE FOUNDATION, INC.

Pursuant to the provisions of Section 617.1006, Florida Statutes, the undersigned corporation adopts the following Articles of Amendment to its Articles of Incorporation:

1. The name of the corporation is INDIAN RIVER COMMUNITY COLLEGE FOUNDATION, INC., and the document number of the corporation is 709584.

2. The name of the corporation shall be as follows:

INDIAN RIVER STATE COLLEGE FOUNDATION, INC.

3. The date of adoption of this Amendment to the Articles is JUNE 24 2008

4. This amendment was duly adopted by the Board of Directors of the corporation at meeting held for that purpose on JUNE 24 2008. The amendment was approved by the Board of Directors and the Amendment does not require member approval.

Signed this 21st day of July, 2008.

INDIAN RIVER COMMUNITY COLLEGE
FOUNDATION, INC.

By: Suzanne H. Clemons
SUZANNE H. CLEMONS
CHAIRMAN OF BOARD

FILED
09 JUL 28 AM 8:25
SECRETARY OF STATE
TALLAHASSEE, FLORIDA

**BYLAWS OF THE
INDIAN RIVER STATE COLLEGE FOUNDATION, INC.**

(As amended November 17, 2003; July 18, 2005; August 4, 2008)

ARTICLE I.

Section 1. MEETINGS.

- (a) The regular business meetings of the Board of Directors shall be held at the Indian River Community College, Fort Pierce, Florida, on a bi-monthly basis.
- (b) Special Meetings of the Board of Directors may be called by the Chairman of the Board of Directors or by request of a simple majority of the members.
- (c) Attendance is required and recorded. Members may have two unexcused absences per year. A majority of the members shall constitute a quorum at any meeting of the Board of Directors and all questions shall be determined by a majority of the Directors voting; provided, however, a majority of all members of the Board of Directors must concur in the following:
 - (1) The election of members of the Board of Directors.
 - (2) Amendments to these bylaws.
 - (3) Amendments to the Articles of Incorporation.

The Chairman shall preside at all meetings of the Board of Directors and shall act as the Chief Executive Officer of this corporation, and shall do and perform such other duties as from time to time may be assigned him by the Directors.

Section 2. FIRST-VICE CHAIR.

The First-Vice Chair shall preside at all meetings of the Board of Directors in the absence of the Chairman and he shall do and perform such other duties as from time to time may be assigned him by the Board of Directors, and he shall also do and perform all duties which might or should be performed by the Chairman when the Chairman is ill, absent from the State of Florida, or otherwise incapacitated.

Section 3. SECOND-VICE CHAIR.

The Second-Vice Chair shall preside at all meetings of the Board of Directors in the absence of the Chair and the First-Vice Chair and he shall do and perform such other duties as from time to time may be assigned to him by the Board of Directors and he shall also do and perform all duties which might or should be performed by the Chairman when the Chairman and First-Vice Chair are both ill, absent from the State of Florida, or otherwise incapacitated.

Section 4. SECRETARY/TREASURER.

The Executive Director will serve as corporate secretary and treasurer of the Board of Directors as well as executive director of the IRCC Foundation, Inc. All components of the Foundation and all aspects of its operation are responsible to the Board of Directors through the Executive Director. The Board of Directors shall have the power to take action without a recommendation from the executive director and shall have the power to require the executive director to deliver to the board all data and information required by the board in the performance of its duties.

The Secretary/Treasurer shall:

AGENDA ITEM #6B

1) Advise and counsel the board of directors and seek the advice and counsel of the board. Recommendations, nominations, proposals, and reports to the board from the chair shall be recorded in the minutes or shall be made in writing, noted in the minutes, and filed in the records of the board. In the absence of such record, the recommendations, nominations, proposals, and reports shall be presumed consistent with action by the board.

2) Attend, but not vote at, all meetings of the board of directors.

3) Keep minutes of all official actions and proceedings of the board of Directors and keep such other records, including records of property held or disposed of by the board, as may be necessary to provide complete information regarding the college.

4) Act for the Board of Directors as custodian of all property. Recommend plans for contracting, receiving, purchasing, acquiring through condemnation, leasing, selling, holding, transmitting and conveying title to real and personal property.

Recommend plans for holding in trust and administering real and personal property, money, and other things of value, granted, conveyed, devised, or bequeathed for the benefit of the Foundation.

5) Be responsible for administration of financial matters.

6) Leave with the board of directors and make available to the successor a complete inventory of Foundation property, together with all official records and such other records as may be needed.

7) Have or designate custody of the Foundation seal and authenticate true copies of decisions, acts, and documents when required by law, rules of the State Board of Education, or rules of the Board of Directors.

Section 5.

Wherever the masculine gender is used herein, the feminine is also included.

Section 6.

In the event of absence, inability or refusal to act of any of the officers of this corporation, the Board of Directors may appoint the necessary person or persons to perform his or their respective duties.

Escrow File No.: 129194-41

EXHIBIT "B"**Parcel 1**

Being a part of the North 380 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, lying west of U.S. Highway No. 1, being more fully described as follows: The West 192.35 feet of the East 417.35 feet (as measured from the West right of way of U.S. Highway No. 1) of the North 380 feet less and except the South 140 feet therefrom, less and except road right of way.

Parcel 2

Commence at the Northwest corner of the Northeast quarter (NE 1/4) of the Southwest quarter (SW 1/4) of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida; thence run North 90°00'00" East along the North line of said Northeast quarter (NE 1/4) of the Southwest quarter (SW 1/4) for a distance of 691.85 feet; thence run South 00°22'54" East along a line that is parallel with U.S. Highway No. 1 for a distance of 240.00 feet; thence run North 90°00'00" West along a line that is parallel with the North line of said Northeast Quarter (NE 1/4) of the Southwest Quarter (SW 1/4) for a distance of 50.35 feet to the Point of Beginning; thence run South 00°22'54" East along a line that is parallel with U.S. Highway No. 1 for a distance of 140.00 feet; thence run North 90°00'00" West along a line that is parallel with the North line of said Northeast quarter (NE 1/4) of the Southwest Quarter (SW 1/4) for a distance of 142.00 feet; thence run North 00°22'54" West along a line that is parallel with U.S. Highway No. 1 for a distance of 140.00 feet; thence run North 90°00'00" East along a line that is parallel with the said North line of the Northeast quarter (NE 1/4) of the Southwest quarter (SW 1/4) for a distance of 142.00 feet to the Point of Beginning.

Parcel 3

The East 145.51 feet of the West 495.51 feet of the North 380.01 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, less and except road right of way.

LEGAL DESCRIPTION:

PARCEL IDENTIFICATION NUMBER: 2415-312-0001-010-8

THE EAST 145.51 FEET OF THE WEST 495.51 FEET OF THE NORTH 380.01 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ALL LYING IN ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

OHIO AVENUE

S. US Highway 1



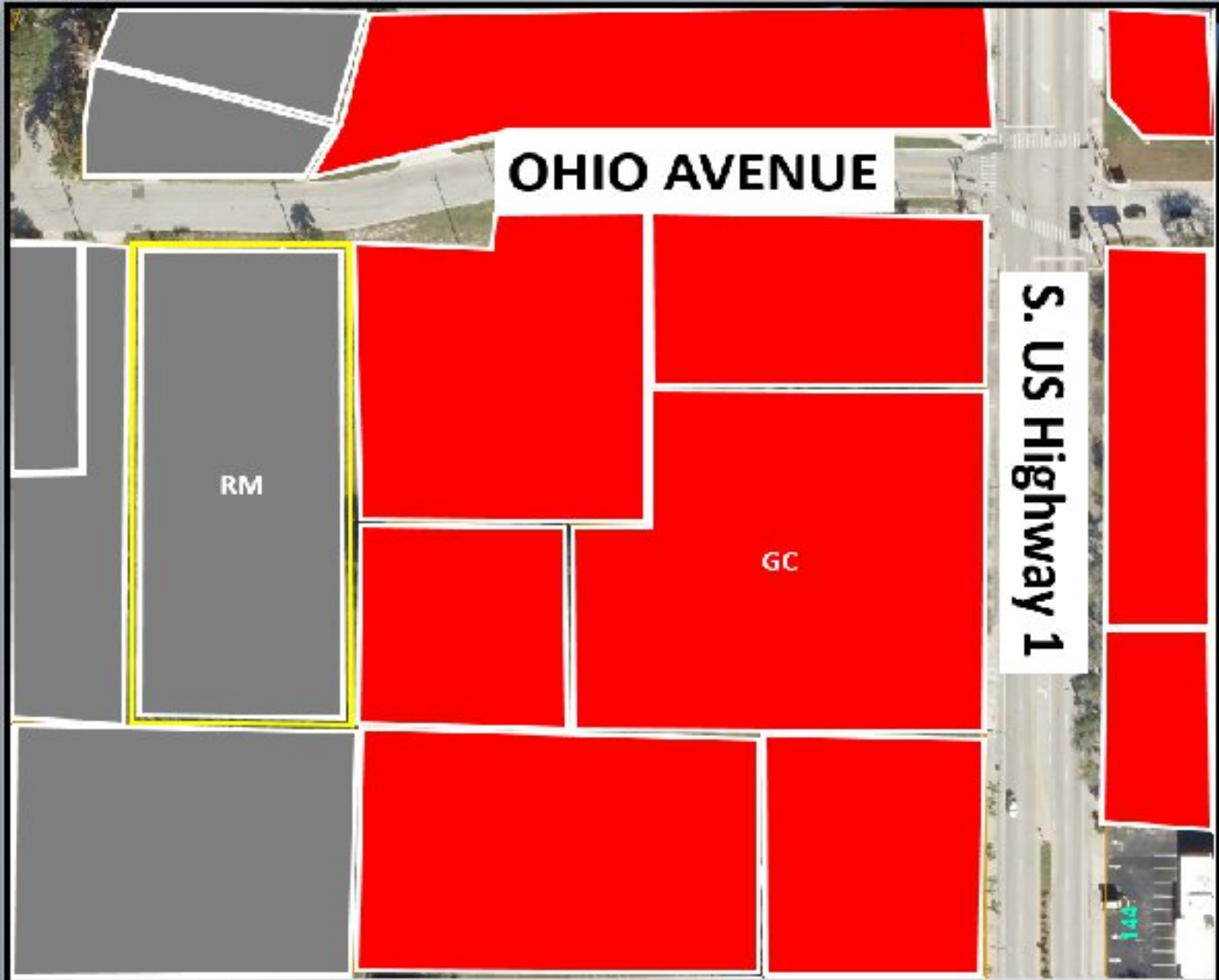
Ft. Pierce Self Storage

Parcel ID: 2415-312-0001-010-8

Aerial Map



THE SUNRISE CITY
FORT PIERCE
Florida



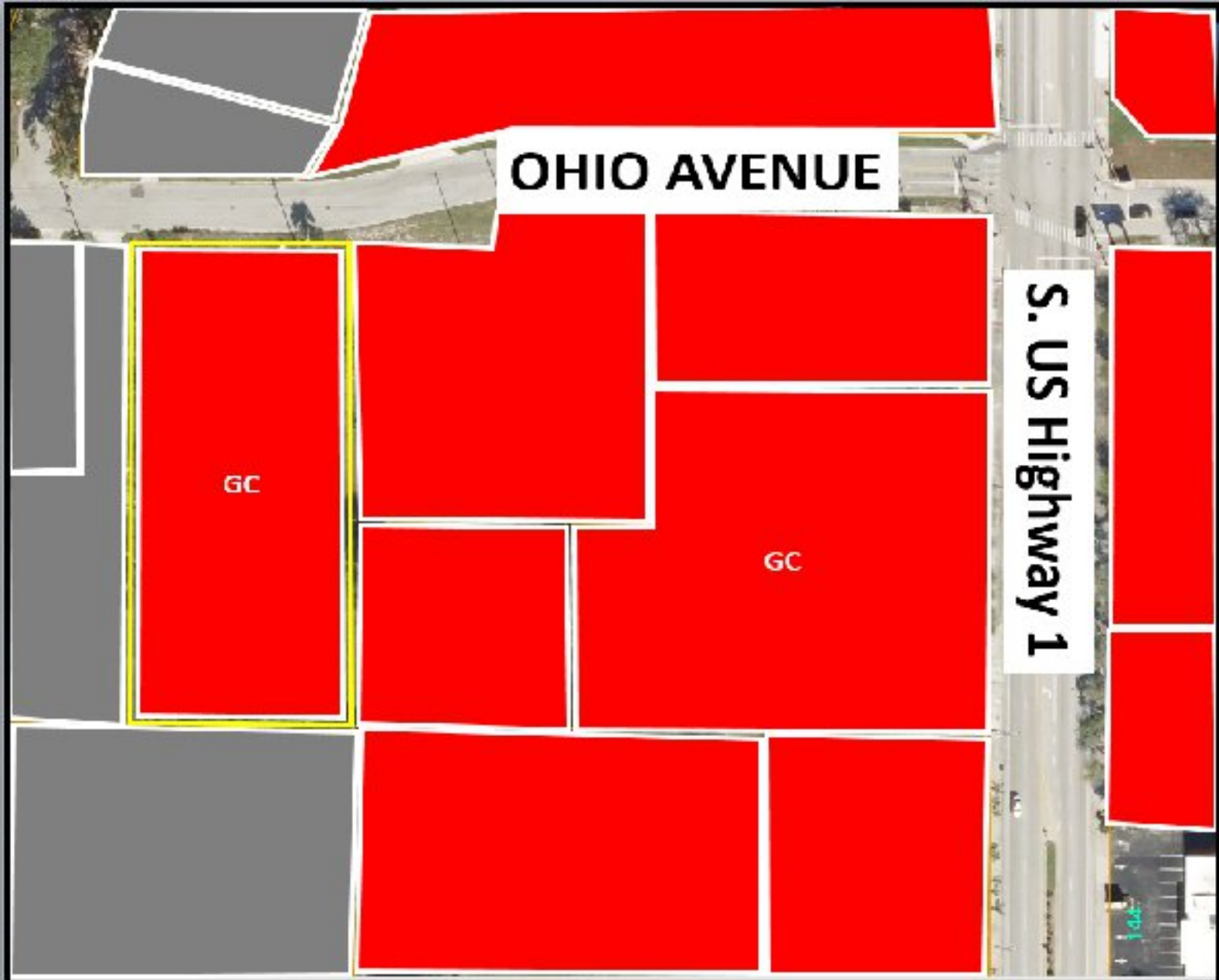
**Ft. Pierce Self Storage
FLU Amendment
Parcel ID: 2415-312-0001-010-8**

GC =  **RM =** 



THE SUNRISE CITY
FORT PIERCE
Florida

Current FLU Map



**Ft. Pierce Self Storage
FLU Amendment
Parcel ID: 2415-312-0001-010-8**



THE SUNRISE CITY
FORT PIERCE
Florida

GC =  **RM =** 

Proposed FLU Map

Property Identification

Site Address: OHIO AVE
Parcel ID: 2415-312-0001-010-8
Account #: 24450
Map ID: 24/15S
Use Type: 0000
Zoning: R4
City/County: Fort Pierce

Ownership

Yo No Se LLC
2701 Industrial Avenue 3
Fort Pierce, FL 34946

Legal Description

15 35 40 FROM NW COR OF NE 1/4 OF SW 1/4 RUN E 350 FT, TH S 25 FT TO S R/W OF OHIO AV AND POB, TH CONT S 355 FT, TH E 145.51 FT, TH N 355 FT, TH W 145.51 FT TO POB

Current Values

Just/Market Value: \$23,900
Assessed Value: \$16,456
Exemptions: \$16,456
Taxable Value: \$0

Taxes for this parcel: SLC Tax Collector's Office [☑](#)

Download TRIM for this parcel: [Download PDF](#) [☑](#)



Total Areas

Finished/Under Air (SF): 0
Gross Area (SF): 0
Land Size (acres): 1.19
Land Size (SF): 51,656

Sale History

Date: Aug 29, 2018
Book/Page: 4177 / 0752
Sale Code: 0317
Deed: SP
Grantor: Indian River State College Foundation Inc
Price: \$185,000

Date: Feb 9, 2015
Book/Page: 3715 / 1920
Sale Code: 0318
Deed: WD
Grantor: Brinkley Property Investment
Price: \$100

Date: Jan 1, 2009
Book/Page: 3061 / 2874
Sale Code: 0311
Deed: WD
Grantor: Brinkley (TR) James B

Price: \$100

Date: Nov 23, 1991
 Book/Page: 0775 / 0798
 Sale Code: XX01
 Deed: WD
 Grantor: James B Brinkley
 Price: \$100

Date: Oct 1, 1984
 Book/Page: 0447 / 1694
 Sale Code: XX00
 Deed: CV
 Grantor:
 Price: \$50,000

Building Information (1 of 1)

Finished Area: 0 SF
 Gross Total Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: 2014	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

Interior Data

Bedrooms: 0	Electric:	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors:
A/C %: 0%	Heated %: N/A%	Sprinkled %: 0%



*Image
or
Sketch
unavailable
for display*


Special Features and Yard Items

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$0					
Land:	\$23,900	2018	2016	3000	Education	\$16,456
Just/Market:	\$23,900					

Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$7,444
Assessed:	\$16,456
Exemption(s):	\$16,456
Taxable:	\$0

Current Year Special Assessment Breakdown

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Permits

Number:	BP14-0618
Issue Date:	Mar 27, 2014
Description:	Electric
Amount:	\$1,000
Fee:	\$155

Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.
© Copyright 2018 Saint Lucie County Property Appraiser. All rights reserved.



April 3, 2019

Rebecca Grohall – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: Fort Pierce Self Storage
South of Ohio Avenue
S15, T35S, R 40E
Property ID # 2415-312-0001-010-8
Application for Future Land Use Map Amendment

Dear Ms. Grohall,

This application requests a zoning change from Medium Density Residential (R4) to General Commercial (C3) and future land use change from Medium Density Residential (RM) to General Commercial (GC) to allow the owner to open a self-storage business on his property. The owner wishes to use three of the parcels he owns: 2415-312-0001-010-8, 2415-311-0003-000-6, and 2415-311-0003-030-5 for his self-storage business. The two other parcels on the east of the subject parcel is zoned C3 - General Commercial. Since self-storage business is not permitted in R4 - Medium Density Residential zoning district, the subject parcel needs to be rezoned to C3 General Commercial to match the zoning districts to the other two parcels. The future land uses of the properties to the North, South and East of the subject property are GC - Commercial General and to the west is RM – Medium Density Residential all of which are compatible with the proposed future land use of the subject parcel.

Following items are attached with the subject application:

1. Application for Future Land Use Map Amendment
2. Application Fee – \$4,000.00
3. Warranty Deed
4. Property Card
5. Authorization Letter
6. Environmental Study
7. Traffic Impact Statement
8. Capacity Analysis
9. Drainage Statement
10. Historical Report
11. Boundary & Topographical Survey
12. Conceptual Site Plan
13. CD

Velcon Engineering & Surveying, LLC
590 NW Peacock Blvd., Suite 8, Port St. Lucie, FL, 34986
Ph: 772 / 879-0477



Should you have any questions, please do not hesitate to contact me at 772/879-0477.

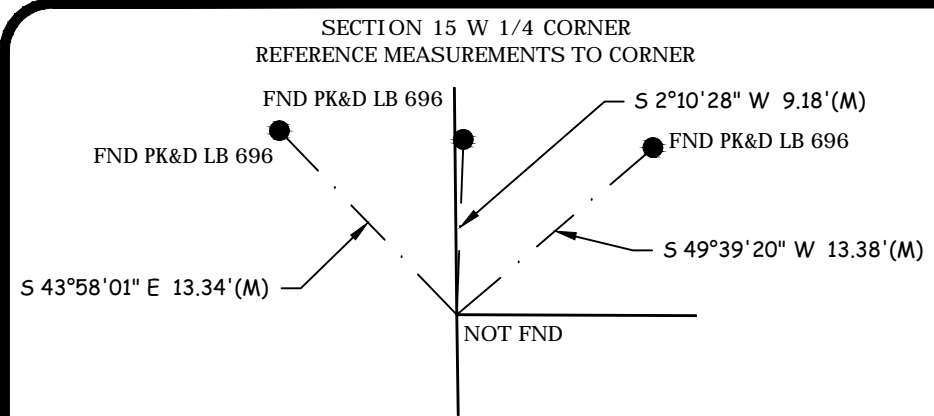
Sincerely,

A handwritten signature in blue ink, appearing to read 'Shaikha Abedin', written in a cursive style.

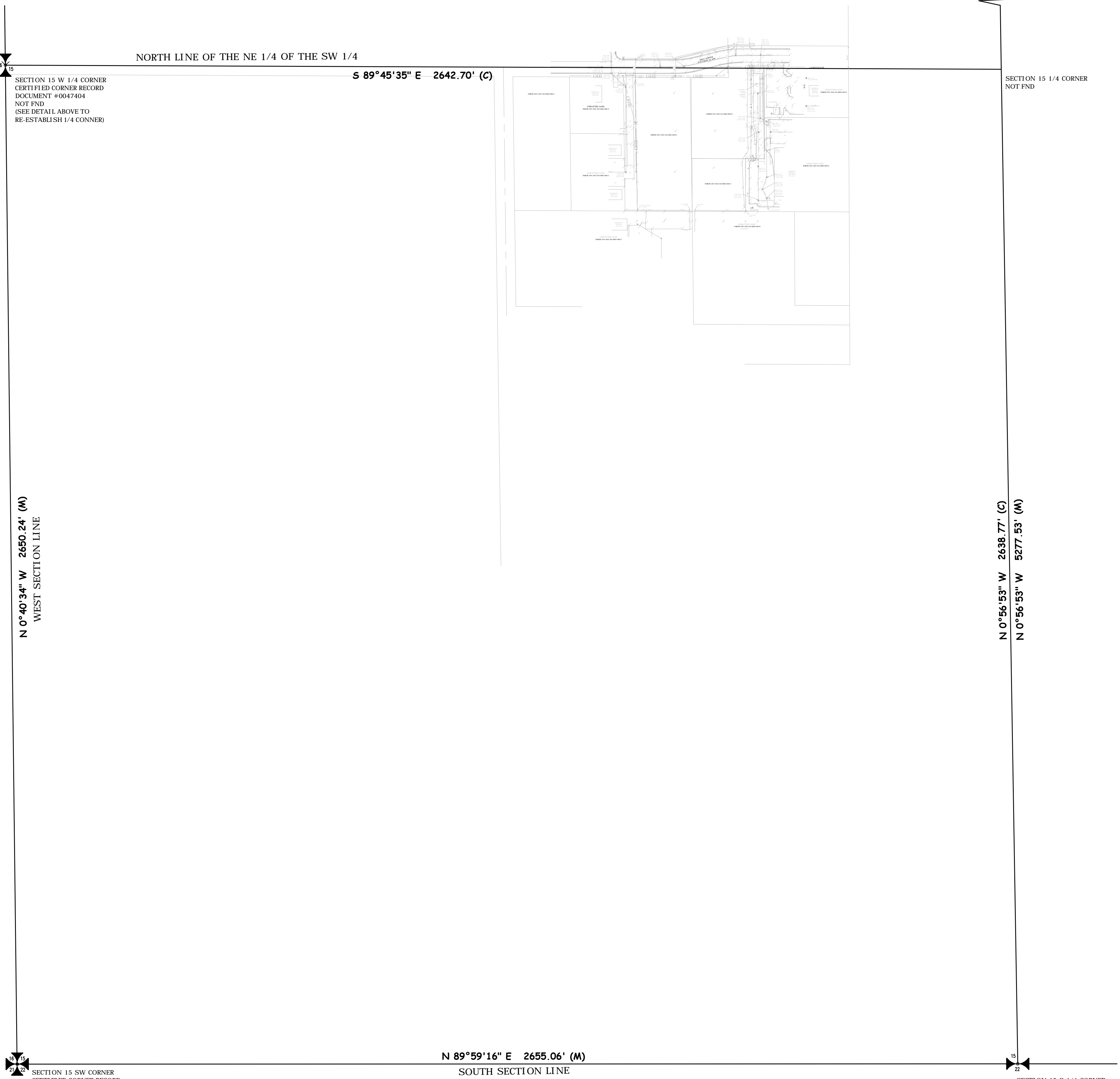
Shaikha Abedin, EI

Attachments

cc: File 18-1030 (w/ att)



SECTION DETAIL



SECTION 15 W 1/4 CORNER
CERTIFIED CORNER RECORD
DOCUMENT # 0047404
NOT FND
(SEE DETAIL ABOVE TO
RE-ESTABLISH 1/4 CORNER)

SECTION 15 1/4 CORNER
NOT FND

N 0°40'34\"/>

N 0°56'53\"/>

SECTION 15 SW CORNER
CERTIFIED CORNER RECORD
DOCUMENT # 093999
FND 5/8\"/>

SECTION 15 S 1/4 CORNER
CERTIFIED CORNER RECORD
DOCUMENT # 094000
FND MAG&D LB 6557

LEGAL DESCRIPTION:

PARCEL IDENTIFICATION NUMBER: 2415-311-0003-030-5:
COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE RUN NORTH 90°00'00\"/>

PARCEL IDENTIFICATION NUMBER: 2415-312-0001-010-8:
THE EAST 145.51 FEET OF THE WEST 495.51 FEET OF THE NORTH 380.01 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ALL LYING IN ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

PARCEL IDENTIFICATION NUMBER: 2415-311-0003-000-6:
BEING A PART OF THE NORTH 380 FEET OF THE NE 1/4 OF THE SW 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING WEST OF U.S. HIGHWAY NO. 1, BEING MORE FULLY DESCRIBED AS FOLLOWS: THE WEST 192.35 FEET OF THE EAST 417.35 FEET (AS MEASURED FROM THE WEST RIGHT-OF-WAY OF U.S. HIGHWAY NO. 1) OF THE NORTH 380 FEET LESS AND EXCEPT THE SOUTH 140 FEET THEREFROM, SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

ADDRESS: OHIO AVENUE
FORT PIERCE, FL

NOTES:

SUBJECT TO ANY APPLICABLE EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS OF RECORD.

A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN MADE BY THIS OFFICE.

ELEVATIONS ARE IN FEET AND RELATED TO "NGS" BENCHMARK "D 401" HAVING A PUBLISHED ELEVATION = 23.51 (FEET) NAVD 1988. ALL OTHER ELEVATIONS ARE RELATIVE THERETO.

BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN, ALONG THE SOUTH RIGHT OF WAY LINE OF OHIO AVENUE, HAVING AN ASSUMED BEARING OF S 89°45'35\"/>

PROPERTY LIES IN F.I.R.M. ZONE "X", AS SHOWN ON PANEL I211C0187 J, DATED 2/16/12. FLOOD ZONES ARE APPROXIMATE AS SCALED FROM FLOOD INSURANCE RATE MAPS.

IN ACCORDANCE WITH CHAPTER 5J-17.051, ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY, THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THE EXPECTED USE OF THE SURVEY AND MAP IS COMMERCIAL.

25 FOOT JOG IN RIGHT IN WAY LINE OF OHIO SHOWN ON TAX MAP AND CONFIRMED BY ST. LUCIE COUNTY.

ALL DISTANCES AND ELEVATIONS SHOWN ARE IN ACCORD WITH THE UNITED STATES STANDARD USING FEET.

ALL DIRECTIONAL MEASUREMENTS SHOWN ARE IN THE FORMAT OF DEGREES, MINUTES AND SECONDS.

LEGAL DESCRIPTION FROM WARRANTY DEED RECORDED IN OFFICIAL RECORD BOOK 3715, PAGE 1920, ST. LUCIE COUNTY PUBLIC RECORDS.

TOTAL LOTS CONTAIN 115,948 SQUARE FEET.

BOUNDARY & TOPOGRAPHICAL SURVEY FIELD DATE: 09-05-18.

CERTIFIED TO: FORT PIERCE SELF STORAGE

VELCON ENGINEERING & SURVEYING, LLC
 CERTIFICATE OF AUTHORIZATION NO. LB 8206
 702 S.W. FORT ST. LUCIE BLVD.
 FORT ST. LUCIE, FLORIDA 34953
 PHONE: (772) 879-0477
 Web Site: www.velcongroup.com

BOUNDARY & TOPOGRAPHICAL SURVEY PREPARED FOR FORT PIERCE SELF STORAGE

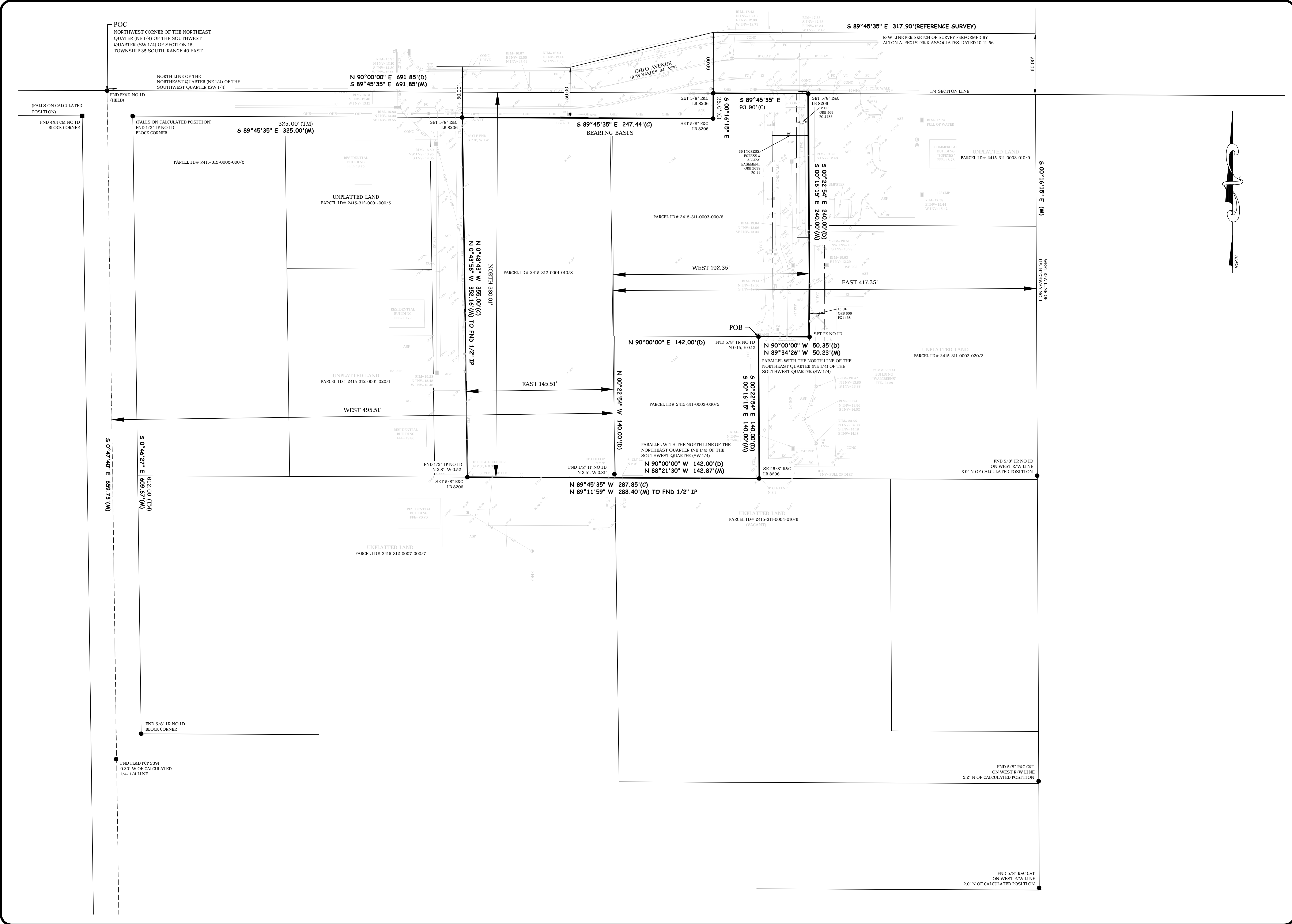
NO.	DATE	REVISIONS

DRAWN BY:
G SANTOITEMMA
 APPROVED BY:
R. KEMERSON
 SCALE:
1" = 150'
 DATE:
09/07/18
 FIELD BOOK/PAGES
PLANS

JOB NUMBER:
18-1030

SHEET:
1 OF 3

ROBERT F. KEMERSON
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA (PSM)#6285



VELCON ENGINEERING & SURVEYING, LLC
 CERTIFICATE OF AUTHORIZATION NO. LB 8206
 702 S.W. FORT ST. LUCIE BLVD.
 FORT ST. LUCIE, FLORIDA 34953
 PHONE (772) 879-0477
 Web Site: www.velcongroup.com

VELCON
 ENGINEERING & SURVEYING

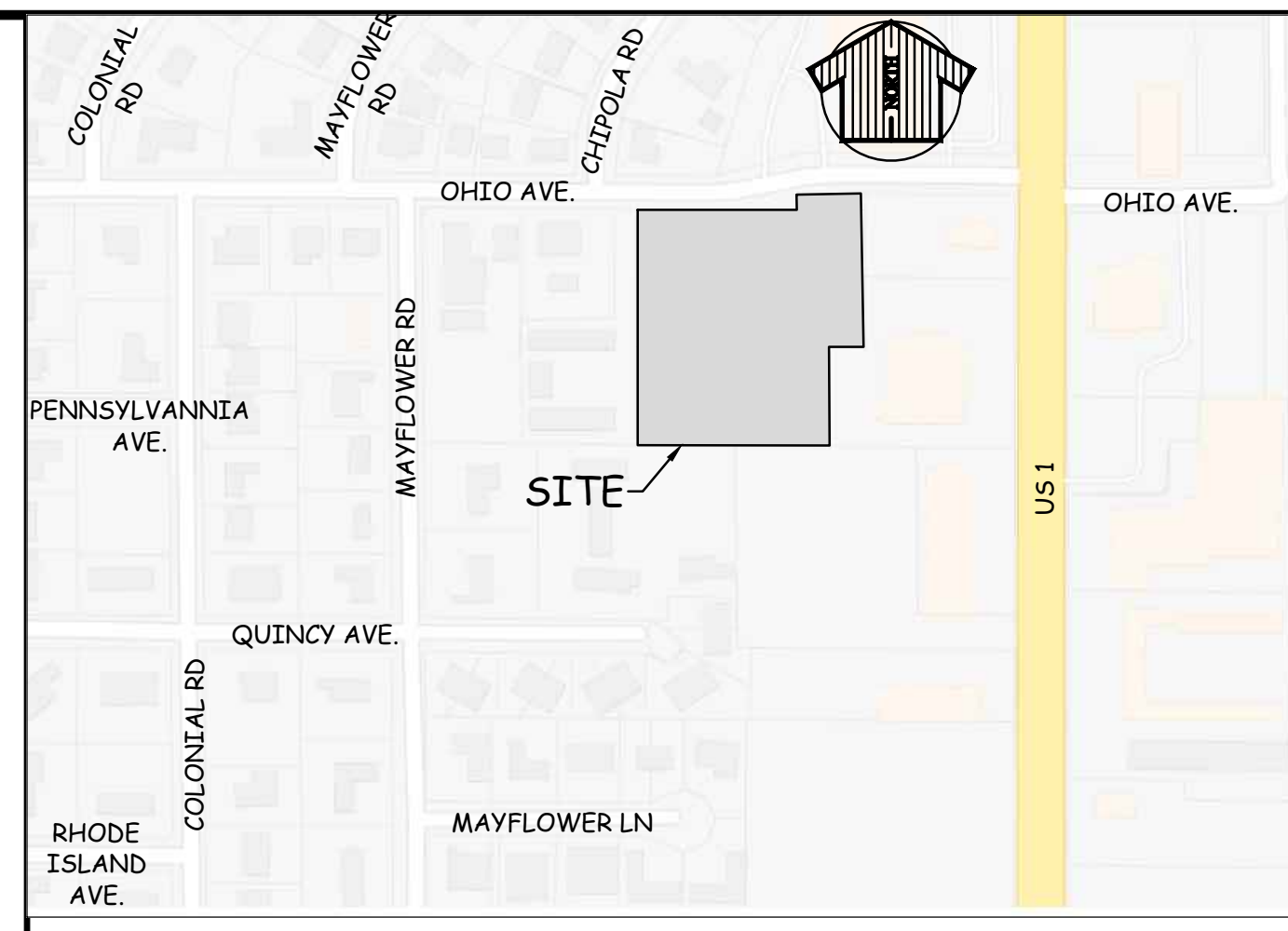
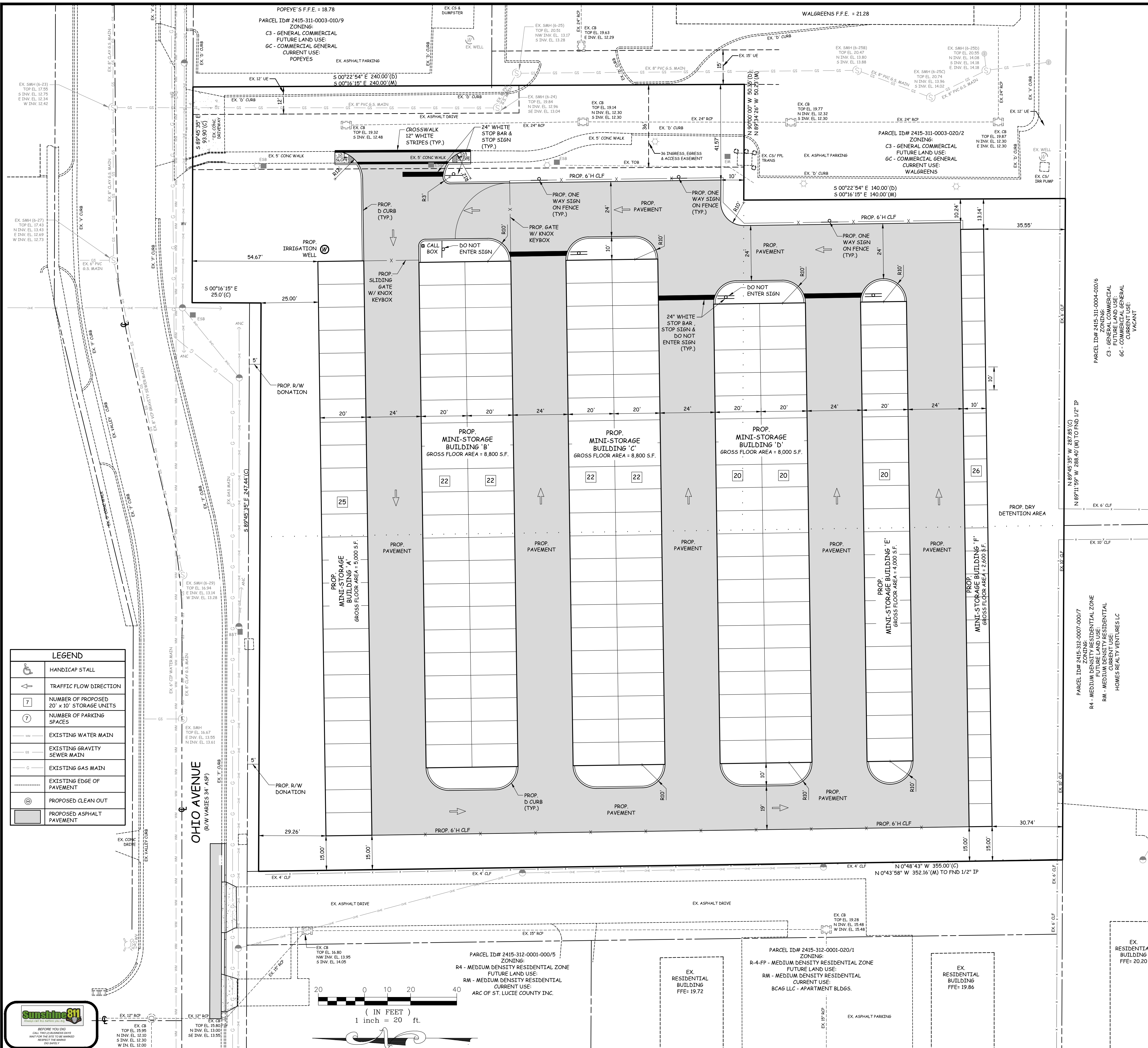
**BOUNDARY & TOPOGRAPHICAL SURVEY
 PREPARED FOR
 FORT PIERCE SELF STORAGE**

NO.	DATE	BY	REVISIONS

DRAWN BY:
G. SANTOILEMMA
 APPROVED BY:
R. KEMERSON
 SCALE:
1" = 40'
 DATE:
09/07/18
 FIELD BOOK/PAGES:
PLANS

JOB NUMBER:
18-1030

SHEET:
2 OF 3



LEGAL DESCRIPTION:

PARCEL IDENTIFICATION NUMBER: 2415-311-0003-030-5; LEGAL DESCRIPTION:
COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, THENCE RUN NORTH 90°00'00" EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 691.85 FEET; THENCE RUN SOUTH 00°22'54" EAST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 240.00 FEET; THENCE RUN NORTH 90°00'00" WEST ALONG A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 50.35 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 00°22'54" EAST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 140.00 FEET; THENCE RUN NORTH 90°00'00" WEST ALONG A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 142.00 FEET; THENCE RUN NORTH 00°22'54" WEST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 140.00 FEET; THENCE RUN NORTH 90°00'00" EAST ALONG A LINE THAT IS PARALLEL WITH THE SAID NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 142.00 FEET TO THE POINT OF BEGINNING.

PARCEL IDENTIFICATION NUMBER: 2415-312-0001-010-8:
THE EAST 145.51 FEET OF THE WEST 495.51 FEET OF THE NORTH 380.01 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ALL LYING IN ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

PARCEL IDENTIFICATION NUMBER: 2415-311-0003-000-6:
BEING A PART OF THE NORTH 380 FEET OF THE NE 1/4 OF THE SW 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING WEST OF U.S. HIGHWAY NO. 1, BEING MORE FULLY DESCRIBED AS FOLLOWS: THE WEST 192.35 FEET OF THE EAST 417.35 FEET (AS MEASURED FROM THE WEST RIGHT-OF-WAY OF U.S. HIGHWAY NO. 1) OF THE NORTH 380 FEET LESS AND EXCEPT THE SOUTH 140 FEET THEREFROM, SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

DEVELOPER:
Yo No Se LLC
2701 INDUSTRIAL AVENUE 3
FORT PIERCE, FL 34946
PH: 407-921-6991

SITE ADDRESS:
OHIO AVENUE
FORT PIERCE, FL

PARCEL IDENTIFICATION NUMBERS:
2415-312-0001-010/8
2415-311-0003-000/6
2415-311-0003-030/5

PROPERTY CLASSIFICATIONS:

PARCEL ID: 2415-311-0003-000/6 & 2415-311-0003-030/5
CURRENT ZONING: C3 - GENERAL COMMERCIAL
FUTURE LAND USE: GC - COMMERCIAL GENERAL

PARCEL ID: 2415-312-0001-010/8
CURRENT ZONING: R4 - MEDIUM DENSITY RESIDENTIAL
FUTURE LAND USE: RM - MEDIUM DENSITY RESIDENTIAL

BUILDING SETBACKS:

FRONT:	REQUIRED
REAR/SIDE:	25 FEET
REAR/SIDE:	10 FEET
REAR/SIDE:	15 FEET

(ABUTTING RESIDENTIAL DISTRICT)

PARKING CALCULATIONS:
NO PARKING REQUIRED

DRAINAGE STATEMENT:
THE PROJECT WILL BE SERVED BY SITE GRADING, INLETS AND CULVERTS THAT DIRECTS STORM WATER TO THE DRY DETENTION AREA ALONG THE SOUTH SIDE OF THE SITE PRIOR TO A CONTROLLED DISCHARGE TO THE EXISTING STORM INLET LOCATED JUST WEST OF THE PROJECT ON THE SOUTH SIDE OF OHIO AVENUE. CITY OF FT. PIERCE AND SFWMD CRITERIA FOR WATER QUALITY AND QUANTITY TREATMENT WILL BE PROVIDED.

UTILITY PROVIDERS:

POTABLE WATER	= N/A - NONE PROPOSED
WASTEWATER	= N/A - NONE PROPOSED
IRRIGATION	= WELL

CONSTRUCTION SCHEDULE:
CONSTRUCTION START: MARCH 2019
CONSTRUCTION COMPLETION: 180 DAYS

PROJECT NOTES:

- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THIS PROJECT WILL COMPLY WITH THE CITY OF FORT PIERCE CODE OF ORDINANCES, CHAPTER 17 AND CHAPTER 22.

PROP. SITE DATA:

TOTAL PROJECT AREA	115,948 S.F.	2.661 AC	100.00%
IMPERVIOUS AREA			
PROP. BUILDINGS	37,200 S.F.	0.854 AC	32.09%
PROP. PAVEMENT / WALKS	40,014 S.F.	0.919 AC	34.54%
EX. PART. / W. WALKS (TO REMAIN)	6,459 S.F.	0.148 AC	5.59%
TOTAL IMPERVIOUS	83,673 S.F.	1.921 AC	72.19%
TOTAL PERVIOUS	32,275 S.F.	0.740 AC	27.81%

VELCON ENGINEERING & SURVEYING LLC
590 NW PEACOCK BLVD, SUITE #8
FORT ST. LUCIE, FL 34986
PHONE: (772) 878-0477
FBPE C.O.A. # 3222

ENGINEER'S APPROVAL
SEAL

REVISIONS

NO.	DATE	DESCRIPTION

SITE PLAN

FORT PIERCE SELF STORAGE
CITY OF FORT PIERCE, FLORIDA

SHEET NO. 1

OF : 1

JOB No. : 18-1030-ENG



April 3rd, 2019

Rebecca Grohall – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: Fort Pierce Self Storage
South of Ohio Avenue
S15, T35S, R 40E
Property ID # 2415-312-0001-010-8
Historical Statement - Application for Zoning Atlas Map Amendment and
Future Land Use Map Amendment

Dear Ms. Grohall,

This application requests a zoning change from Medium Density Residential (R4) to General Commercial (C3) and future land use change from Medium Density Residential (RM) to General Commercial (GC) to allow the owner to open a self-storage business on his property. The project site is located on the west of U.S. highway – 1 and south of Ohio avenue in the City of Fort Pierce. Based on available historical aerials the project site appears undeveloped for at least the past 25 years. In accordance with the City of Fort Pierce comprehensive plan data, inventory, and analysis, the project site is not located in any historical districts of the city. There are no rivers, active wells or wellfield protection zones near the project location. An existing historic district map and well location and protection zones map are attached with the letter.

Should you have any questions, please do not hesitate to contact me at 772/879-0477.

Sincerely,

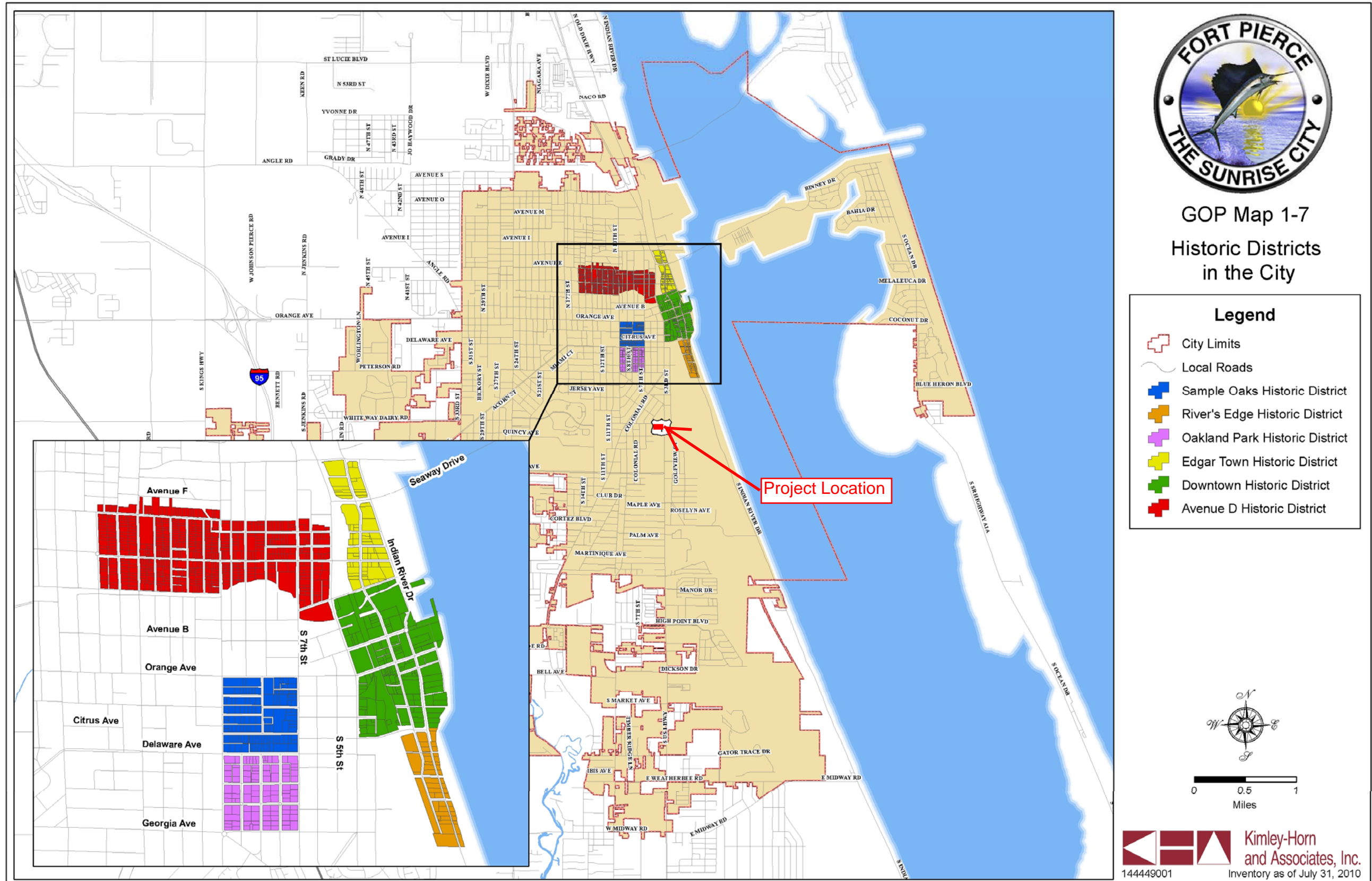
A handwritten signature in blue ink, appearing to read 'Shaikha Abedin'.

Shaikha Abedin, EI

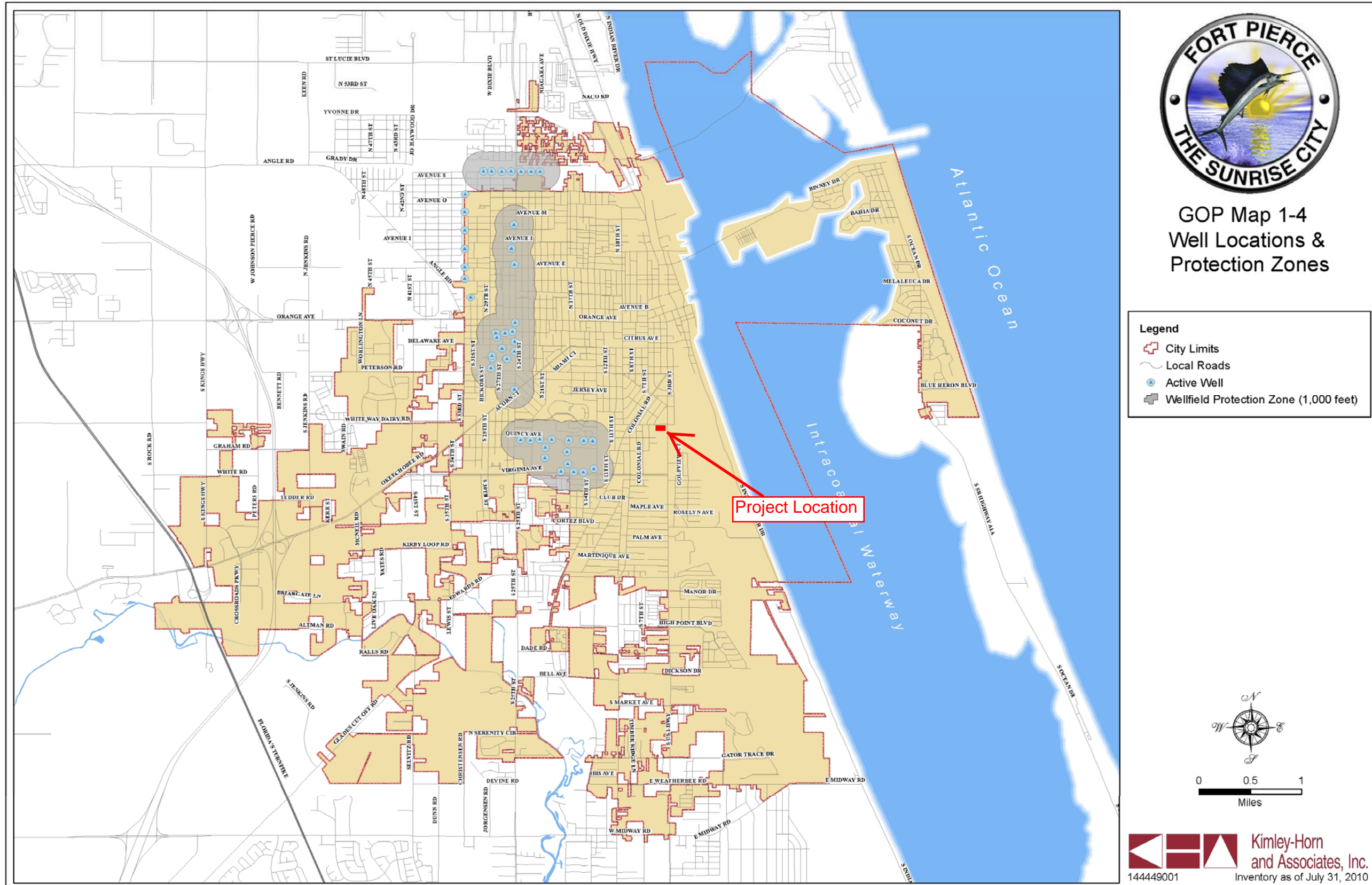
Attachments

cc: File 18-1030 (w/ att)

GOP Map 1-3 - Existing Historic Districts within the City



GOP Map 1-4 - Location of Existing Wells and Wellhead Protection Areas



Velcon Engineering & Surveying, LLC
590 NW Peacock Blvd., Suite 8, Port St. Lucie, FL, 34986
Ph: 772 / 879-0477



April 3rd, 2019

Rebecca Grohall – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: Fort Pierce Self Storage
South of Ohio Avenue
S15, T35S, R 40E
Property ID # 2415-312-0001-010-8
Traffic Statement - Application for Zoning Atlas Map Amendment and Future Land
Use Map Amendment

Dear Ms. Grohall,

This application requests a zoning change from Medium Density Residential (R4) to General Commercial (C3) and future land use change from Medium Density Residential (RM) to General Commercial (GC) to allow the owner to open a self-storage business on his property. More trips will be generated from the rezoning; however, the project site is located approximately 225 ft west of US Highway 1 which can adequately accommodate the increased trips generated from the rezoning and will not have any adverse effects on the neighborhood area.

Should you have any questions, please do not hesitate to contact me at 772/879-0477.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Shaikha Abedin', is written over a light blue horizontal line.

Shaikha Abedin, EI

Attachments

cc: File 18-1030 (w/ att)



April 3rd, 2019

Rebecca Grohall – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: Fort Pierce Self Storage
South of Ohio Avenue
S15, T35S, R 40E
Property ID # 2415-312-0001-010-8
Drainage Statement - Application for Zoning Atlas Map Amendment and Future
Land Use Map Amendment

Dear Ms. Grohall,

This application requests a zoning change from Medium Density Residential (R4) to General Commercial (C3) and future land use change from Medium Density Residential (RM) to General Commercial (GC) to allow the owner to open a self-storage business on his property. The project will be served by site grading, inlets and culverts and dry detention area to provide water quality treatment and water attenuation in accordance with City of Ft. Pierce and SFWMD criteria. No significant drainage impacts are anticipated due to this rezoning.

Should you have any questions, please do not hesitate to contact me at 772/879-0477.

Sincerely,

A handwritten signature in blue ink that reads "Shaikha Abedin".

Shaikha Abedin, EI

Attachments

cc: File 18-1030 (w/ att)

May 8, 2019

Project: Fort Pierce Storage
Subject: SURVEY REVIEW
To: Vennis Gilmore
From: Rod Reed, PLS
SLC-Engineering Division

All comments are based on the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, per Chapter 5J-17.050 thru 5J-17.052, Florida Administrative Code, pursuant to current Section 472.027, Florida Statutes

SURVEY:

- 1) Please show two bench marks on topo sheet (3) per Ch. 5J-17.052 (12) (a).
- 2) Please state that the accuracy of control measurements meets or exceeds standards based on intended use of survey map, using wording of your choice.
- 3) Please check drawing for appearance of random "rectangles" which effect text on all sheets.
- 4) Please verify last date of field work is consistent with date in title block for survey.

Please provide a written response to all comments

Rod Reed, County Surveyor

*St. Lucie County, Fl.
2300 Virginia Avenue
Ft. Pierce, Fl. 34982-5652
www.stlucieco.org
Ph. (772) 462-1721
E-mail reedr@stlucieco.org*

ST. LUCIE COUNTY FIRE DISTRICT
FIRE PREVENTION BUREAU
Office of the Fire Marshal



Telephone: (772) 621-3322
Fax: (772) 621-3604

BUREAU OF FIRE PREVENTION
SITE PLAN REVIEW

TO: Site Plan Applicant

SITE PLAN: Fort Pierce Self Storage

REVIEW DATE: May 9, 2019

PLANNER: VENNIS GILMORE

REVIEWED BY: Captain Paul Langel

Site Plan Approved: _____

Site Plan Approved with conditions: X

Site Plan Approval withheld pending written acknowledgement of conditions: _____

Site Plan Rejected: _____

The Following Revisions Are Necessary:

- 1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <http://www.slcfcd.com/permits.htm>**
- 2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.**
- 3. Please provide an electronic copy of the Site Plan (pdf format)**
- 4. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.**

"Our Family Serving Yours"

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392

Telephone: (772) 621-3400 Fax: (772) 621-3500

www.slcfcd.com



5. **An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4. See “Needed NFPA Fire Flow Calculator Spreadsheet”.**
6. **Fire hydrants (shall be) are provided for buildings other than detached one-and-two-family dwellings IAW both of the following 1) The maximum distance to a fire hydrant from the closest point in the building shall not exceed 400 feet. 2) The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1:18.5.3. Please provide fire flow calculations for hydrants.**
7. **Security gates must either be manned 24 hour/day or provide an access control key switch on the control panel to allow for Fire Department entry in an emergency. Security gates must maintain a clear width of 12 feet when open and provide a means to open the gates manually upon loss of power.**
8. **FD access roads (shall be) are provided such that any portion of an unsprinklered facility or exterior wall is located not more than 150’ from FD access roads as measured by an approved route around the exterior of the building or facility. (450’ for NFPA 13, 13D, 12R sprinklered protected buildings). It appears that buildings 25 and 26 will be required to be sprinkled per this requirement.**

“Our Family Serving Yours”

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392
Telephone: (772) 621-3400 Fax: (772) 621-3500

www.slcfld.com



**BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM**

Meeting Date: 5.16.19
Property Address: S of Ohio Ave. and W of US Hwy. 1
Property Name: Fort Pierce Storage
Project Name:
Planner: Vennis Gilmore

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 6th Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
 - Accessible route
 - Handicapped parking spaces
 - Means of egress
- 7. Change of Use required
 - to include a signed and sealed Life Safety Plan
 - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

Additional Comments/Requirements:

Building Official's or Representative's Signature _____

Date: _____

5/16/19



Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 x3473

Technical Review Committee meeting

May 16, 2019

TECHNICAL REVIEW PROJECT # 19-06000001

Zoning Atlas & Future Land Use Amendments – Fort Pierce Storage

Comments

FPUA W/WW Engineering: Approved, no comment

FPUA Electric & Gas Engineering: Approved, no comment



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

www.fpu.com





THE SUNRISE CITY
FORT PIERCE
POLICE DEPARTMENT
"In Honor We Serve"

Florida

Technical Review Committee meeting

May 16th, 2019

Case # 19-0600001

Zoning atlas and future land use amendment

Fort Pierce storage, Approximately South of Ohio Avenue, West of U.S. Hwy 1

Comments:

No comments.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.





THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

To : Vennis Gilmore, Planning Analyst

FROM : John R. Andrews, P.E., City Engineer

JRA

**RE : Fort Pierce Storage – Ohio Ave & S. US Highway 1
TRC No. 19-0600001**

DATE : May 15, 2019

This is to advise you that we have completed the review of the following documents as received by this office on May 3, 2019:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Zoning Atlas & FLUA | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|---|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of Zoning Atlas/
FLUA | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

ADVISORY COMMENTS:

At the time of submittal for site plan review, the applicant shall:

1. Provide a signed and sealed Boundary and Topographic Survey as executed by a Florida Licensed Land Surveyor and Mapper, refer to City of Fort Pierce Code of Ordinances Section 17-27(a)(7).
2. Provide a site layout that includes a 5' concrete sidewalk adjacent to the development along Ohio Avenue.
3. Provide a site layout that includes the parking for the development in accordance with the City of Fort Pierce Code of Ordinance Sections 17 and 22.

JRA/VB/vb



PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: Future Land Use Amendment - Fort Pierce Self Storage - (Parcel ID: 2415-312-0001-010)

NOTICES PROVIDED PURSUANT TO: City Code Section 22-143. A,B,C, & D; F.S.S. 163.3187

NOTICE BY NEWSPAPER: August 4, 2019, August 11, 2019

NOTICE BY MAIL: N/A

NOTICE BY SIGNS: N/A

VERIFIED BY: Vennis Gilmore

TITLE: Planner

SIGNATURE:

A handwritten signature in blue ink, appearing to read "Vennis Gilmore", written over a horizontal line.

DATE: August 7, 2019

City Commission Meeting 5:05 PM

12. g.

Meeting Date: 09/23/2019

Re: Zoning Atlas Amendment - Fort Pierce Self Storage - (Parcel ID: 2415-312-0001-010-8)

Submitted For: Rebeca Guerra, Interim Planning Director, Planning & Zoning

SUBJECT:

Legislative Hearing - Ordinance 19-036 Rezoning the property generally located at PARCEL ID: 2415-312-0001-010-8, from R-4, Medium Density Residential Zone, TO C-3, General Commercial Zone. SECOND READING

SUMMARY:

- The subject parcel currently consists of vacant land and is approximately 1.19 acres in size.
- The applicant requests a rezoning from the R-4, Medium Density Residential Zone to the C-3, General Commercial Zone to allow the property owner to open a self-storage facility on the subject parcel and the two adjacent properties under the same ownership (2415-311-0003-000-6, and 2415-311-0003-030-5).
- The two parcels on the east of the proposed development are zoned C-3, General Commercial Zone with a Future Land Use (FLU) designation of GC, General Commercial. A self-storage facility is not permitted in the R-4, Medium Density Residential Zone, therefore the subject parcel needs to be rezoned to C-3, General Commercial Zone to match the zoning districts of the other adjacent parcels.
- The applicant has also submitted an application for a Future Land Use Amendment to change the FLU of the subject parcel from RM, Medium Density Residential, to GC, General Commercial. Action to amend the Zoning and FLU of the parcel from the residential designations to the more appropriate commercial designations are necessary, and sought by the applicant to advance consideration of the subject proposed development.

RECOMMENDATION:

Approval.

ALTERNATIVES:

Approval with modifications.

Disapproval.

RESPONSIBLE STAFF:

Vennis Gilmore, Planner

COORDINATED WITH:

Technical Review Committee

Fiscal Impact

OTHER INFORMATION:

N/A

Attachments

19-036
Staff Report
Presentation
Application
Property Record Card
Authorization Letter
Legal Description
Aerial Map
Current Zoning Map
Proposed Zoning Map
Narrative
Survey
Site Plan
Deed
Historical Statement
Traffic Statement
Drainage Statement
TRC Comments
Public Notice Certification
Proof of Publication
Proof of Publication Updated

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	08/13/2019 11:17 AM
Form Started By: Vennis Gilmore		Started On: 08/07/2019 02:10 PM
Final Approval Date: 09/04/2019		

ORDINANCE NO. 19-036

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; **REZONING** THE PROPERTY LOCATED AT **PARCEL ID: 2415-312-0001-010-8**, FROM R-4, MEDIUM DENSITY RESIDENTIAL ZONE, TO C-3, GENERAL COMMERCIAL ZONE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the subject property is located at Parcel ID: 2415-312-0001-010-8, within the City of Fort Pierce, Florida, representing 1.19 Acres of land; and

WHEREAS, the subject site is presently designated Medium Density Residential Zone (R-4); and

WHEREAS, the applicant seeks rezoning the subject site, Parcel ID: 2415-312-0001-010-8, from Medium Density Residential Zone (R-4) to General Commercial Zone (C-3); and

WHEREAS, the proposed zoning atlas amendment (rezoning) is consistent with the comprehensive plan, and will not have an adverse effect on the ability of the city to satisfy land and water use needs, and meet transportation demands and provide community facilities and services, and will promote and protect the public health, safety and general welfare as required by City Code section 22-131; and

WHEREAS, the City of Fort Pierce Planning Board, at their July 9th, 2019 meeting, voted unanimously to recommend approval of the proposed Zoning Atlas Amendment for this parcel.

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1. From and after the effective date hereof, the following property legally described as:

Parcel ID: 2415-312-0001-010-8

LEGAL DESCRIPTION:

THE EAST 145.51 FEET OF THE WEST 495.51 FEET OF THE NORTH 380.01 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ALL LYING IN ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

Shall be and the same is hereby rezoned from R-4, Medium Density Residential Zone, to C-3, General Commercial Zone; said property being located at Parcel ID: 2415-312-0001-010-8 in Fort Pierce, Florida.

SECTION 2. The provisions of this Ordinance are declared to be severable and if any section, sentence, clause, or phrase of this Ordinance shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Ordinance but shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are and the same shall be repealed and shall be of no further force or effect whatsoever.

SECTION 4. This Ordinance is and the same shall become effective immediately upon final passage.

APPROVED AS TO FORM & CORRECTNESS:

Peter J. Sweeney, Esq.
City Attorney

STATE OF FLORIDA
COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No. 19-036 was duly advertised by title only in the St. Lucie News Tribune on August 4th, 2019; copy of said Ordinance was made available at the office of the City Clerk to the public upon request; said Ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on August 19th, 2019; and was duly introduced, read by title only, and passed on second and final reading September 3rd, 2019 by the City Commission of the City of Fort Pierce, Florida.

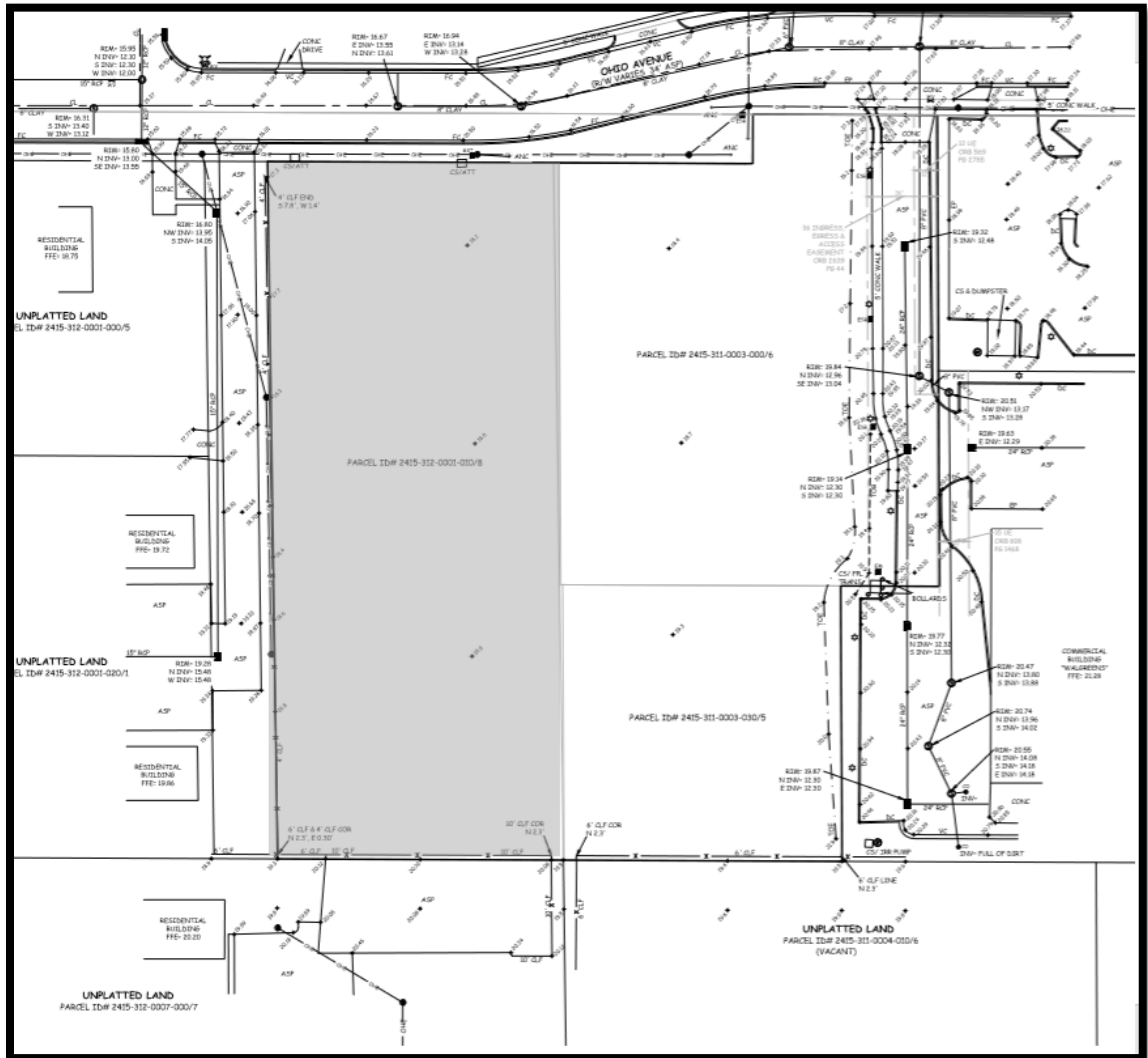
IN WITNESS HERewith, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this 4th day of September, 2019.

Linda Hudson
MAYOR COMMISSIONER

Linda W. Cox
CITY CLERK

(CITY SEAL)

EXHIBIT A
Sketch & Legal Description of Subject Property



Parcel ID: 2415-312-0001-010-8

LEGAL DESCRIPTION:

THE EAST 145.51 FEET OF THE WEST 495.51 FEET OF THE NORTH 380.01 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ALL LYING IN ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.



TO: Nicholas Mimms, PE, City Manager

THROUGH: Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

FROM: Vennis Gilmore, Planner

RE: **Ordinance 19-036 - Application for Zoning Atlas Amendment
 Fort Pierce Self Storage
 Parcel ID: 2415-312-0001-010-8**

BOARD DATE: August 19, 2019

STAFF REPORT

Owner(s): Yo No Se LLC
 2701 Industrial Avenue #3
 Fort Pierce, FL 34946

Applicant and Representative: Darren Guettler, P.E.
 Velcon Engineering & Surveying, LLC
 590 NW Peacock Boulevard, Suite 8
 Port St. Lucie, FL 34986

Applicant's Request: Approval of a Zoning Atlas Amendment (Rezoning) from R-4, Medium Density Residential Zone to C-3, General Commercial Zone.

Location: South of Ohio Ave. & 417 ft. West of US Highway 1, Ft. Pierce, FL. 34950

Parcel ID: 2415-312-0001-010-8

Current Zoning: Medium Density Residential Zone (R-4)

Proposed Zoning: General Commercial Zone (C-3)

Surrounding Zoning:

North	East	South	West
R-4	C-3	R-4	R-4

Site Size: 1.19 acres

Utilities: FPUA

Staff Analysis:

Request

In accordance with Sections 22-128 & 22-143 of the City Code, the applicant is requesting the review and approval of a Zoning Atlas Amendment (Rezoning) from R-4, Medium Density Residential Zone to C-3, General Commercial Zone.

Background & Project Summary

The subject parcel currently consists of vacant land and is approximately 1.19 acres in size. The applicant requests a rezoning from the R-4, Medium Density Residential Zone to the C-3, General Commercial Zone to allow the property owner to open a self-storage facility on the subject parcel and the two adjacent properties under the same ownership (2415-311-0003-000-6, and 2415-311-0003-030-5). The two parcels on the east of the proposed development are zoned C-3, General Commercial Zone with a Future Land Use (FLU) designation of GC, General Commercial. A self-storage facility is not permitted in the R-4, Medium Density Residential Zone, therefore the subject parcel needs to be rezoned to C-3, General Commercial Zone to match the zoning districts of the other adjacent parcels. The applicant has also submitted an application for a Future Land Use Amendment to change the FLU of the subject parcel from RM, Medium Density Residential, to GC, General Commercial. Action to amend the Zoning and FLU of the parcel from the residential designations to the more appropriate commercial designations are necessary, and sought by the applicant to advance consideration of the subject proposed development.

Future Land Use Designation & Comprehensive Plan

The subject site has a FLU designation of RM, Medium Density Residential. The Medium Density Residential designation is intended for parcels that are best suited for multifamily residential uses ranging in density from multifamily dwelling units per acre. This category allows small-lot single family units and multifamily dwellings including duplexes, condominiums and townhomes. Limited commercial uses intended to serve the residential uses shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools, and daycare facilities shall also be allowed. This category combines the previously allowed Medium Density Residential (Rme) and Moderate Density Residential (Rmo) categories. However, a FLU Amendment to GC, General Commercial is currently proposed, which would make the C-3, General Commercial Zoning request compatible with the Comprehensive Plan.

Standards for Review

The following standards must be satisfied per Section 22-131 of the City Code prior to the approval of the requested amendment:

- (1) The amendment is consistent with the comprehensive plan;
- (2) The amendment will not have an adverse effect on the ability of the City to:

- a. Satisfy land and water use needs; and
- b. Meet transportation demands and provide community facilities and services; and

(3) The amendment will promote and protect the public health, safety and general welfare.

The proposed amendment is consistent with the Goals, Objectives, and Policies of the City's Comprehensive Plan and is consistent with the concurrent request to amend the FLU designation of the parcel. Furthermore, the amendment does not appear to have an adverse effect on the ability of the City to satisfy land and water use needs, meet transportation demands, and provide community facilities and services. The presented amendment promotes and protects the public health, safety and general welfare through the increased variety and access to neighborhood goods and services while ensuring minimal impacts to neighboring residential districts.

Technical Review Committee

All affected departments have reviewed the proposed Zoning Atlas Amendment for consistency with the requirements of the City Code. Findings and comments from review by affected departments, and the corresponding responses and plan amendments by the applicant are provided for consideration.

Property Owner Response Summary:

A total of 55 notifications of the proposal were mailed to the owners of property located within 500 feet of the subject property. As August 7, 2019, zero (0) responses have been received in opposition to the request. An update will be provided to the City Commission at the public hearing.

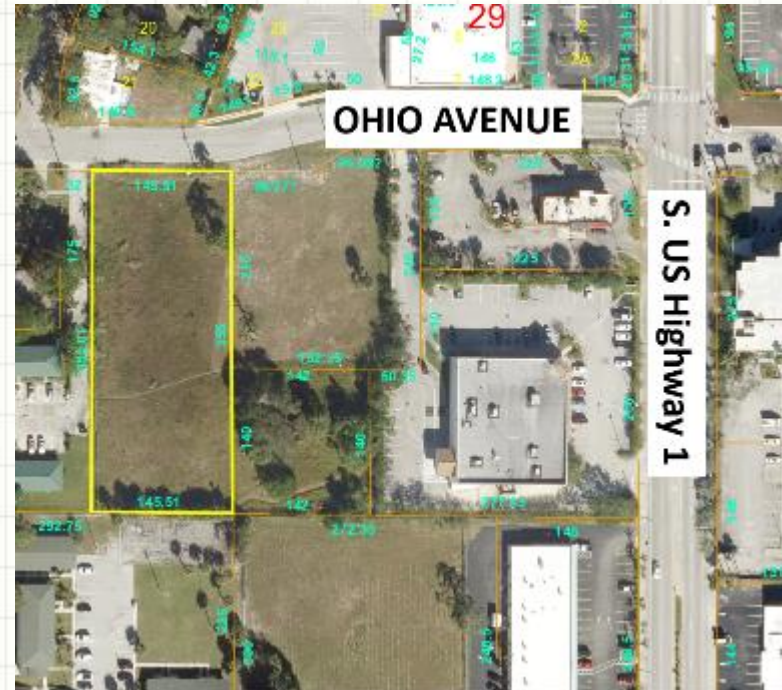
Planning Board Recommendation:

The Planning Board, at their July 9th, 2019 meeting, voted unanimously to recommend **APPROVAL** of the request.

Staff Recommendation

The proposed amendment meets the criteria specified in Section 22-131 of the City Code, and is consistent with the City's Comprehensive Plan. Therefore, Staff recommends the City Commission **APPROVE** the proposed amendment.

Zoning Atlas Map Amendment



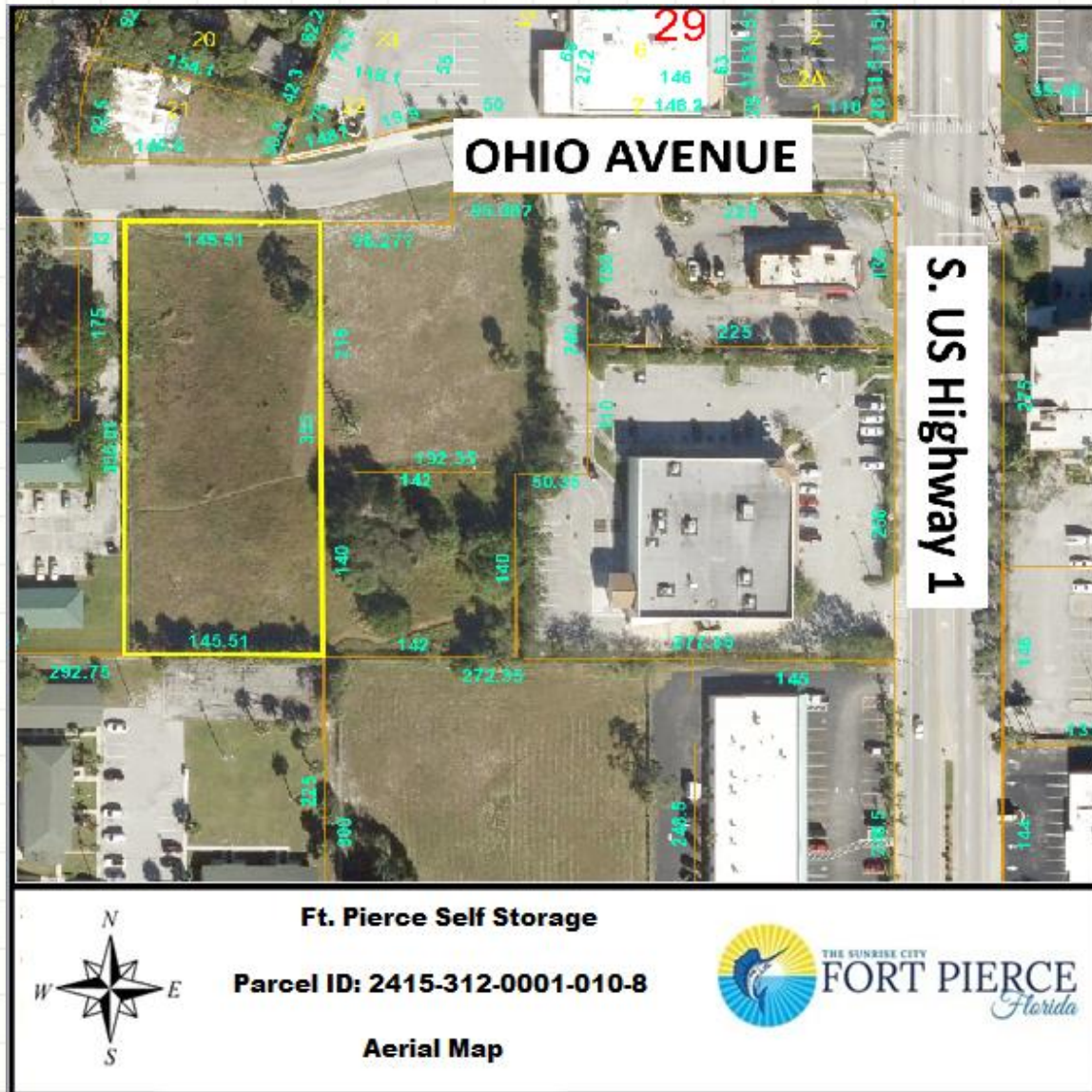
**South of Ohio Ave. & 417 ft. West
of US Highway 1, Ft. Pierce, FL.**

34950

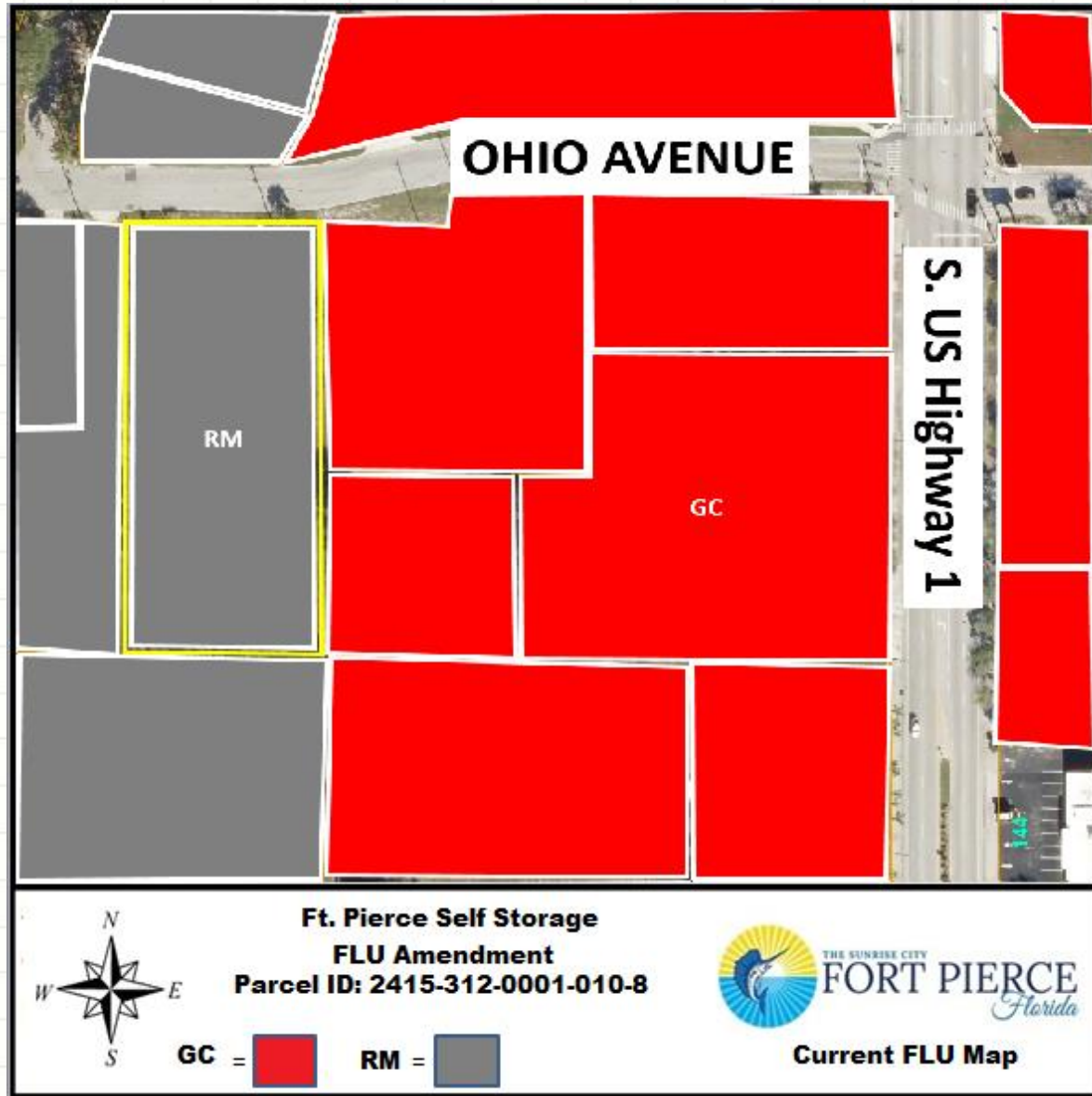
Parcel ID: 2415-312-0001-010-8



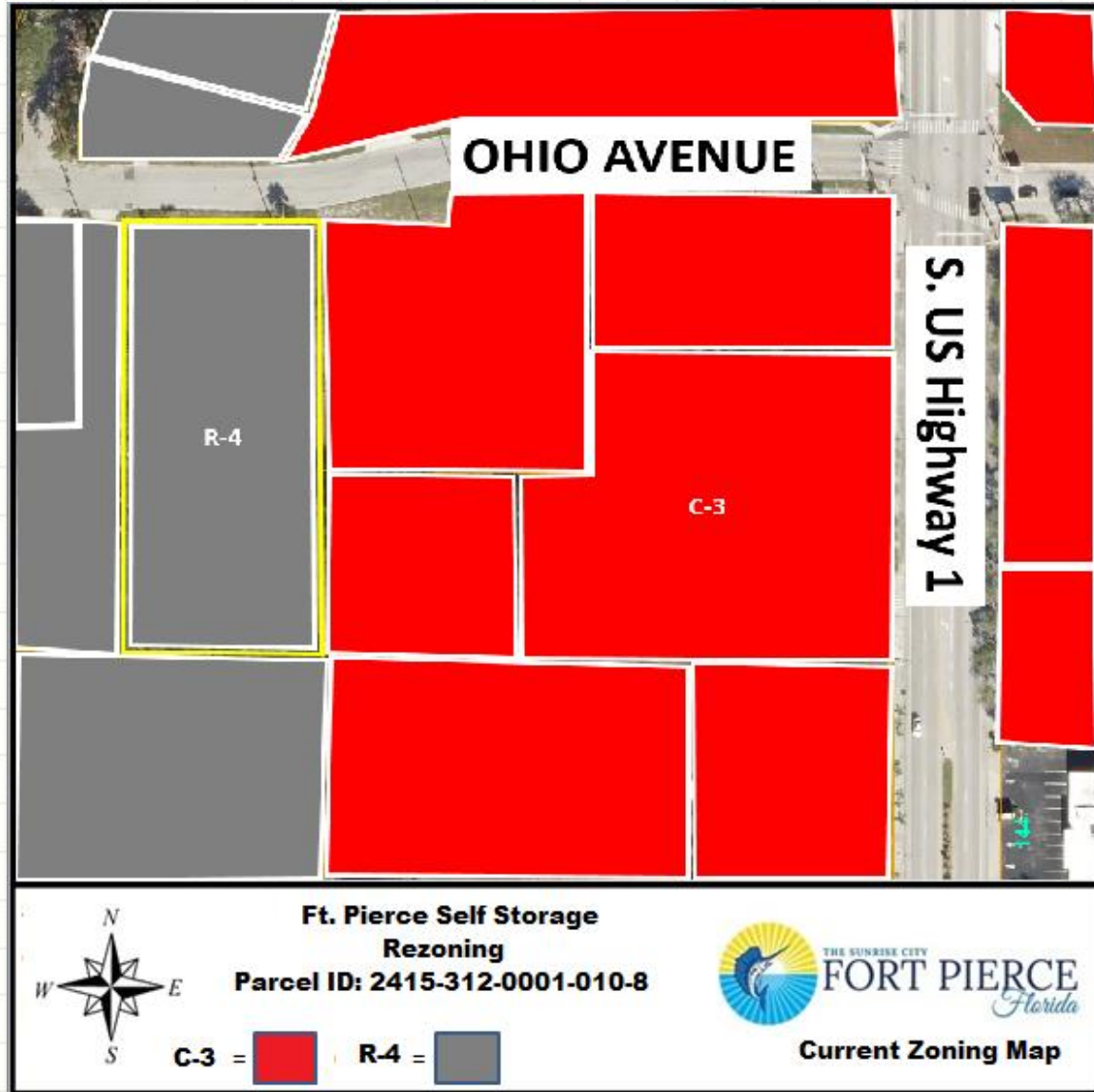
Aerial Map



Future Land Use Map



Zoning Map

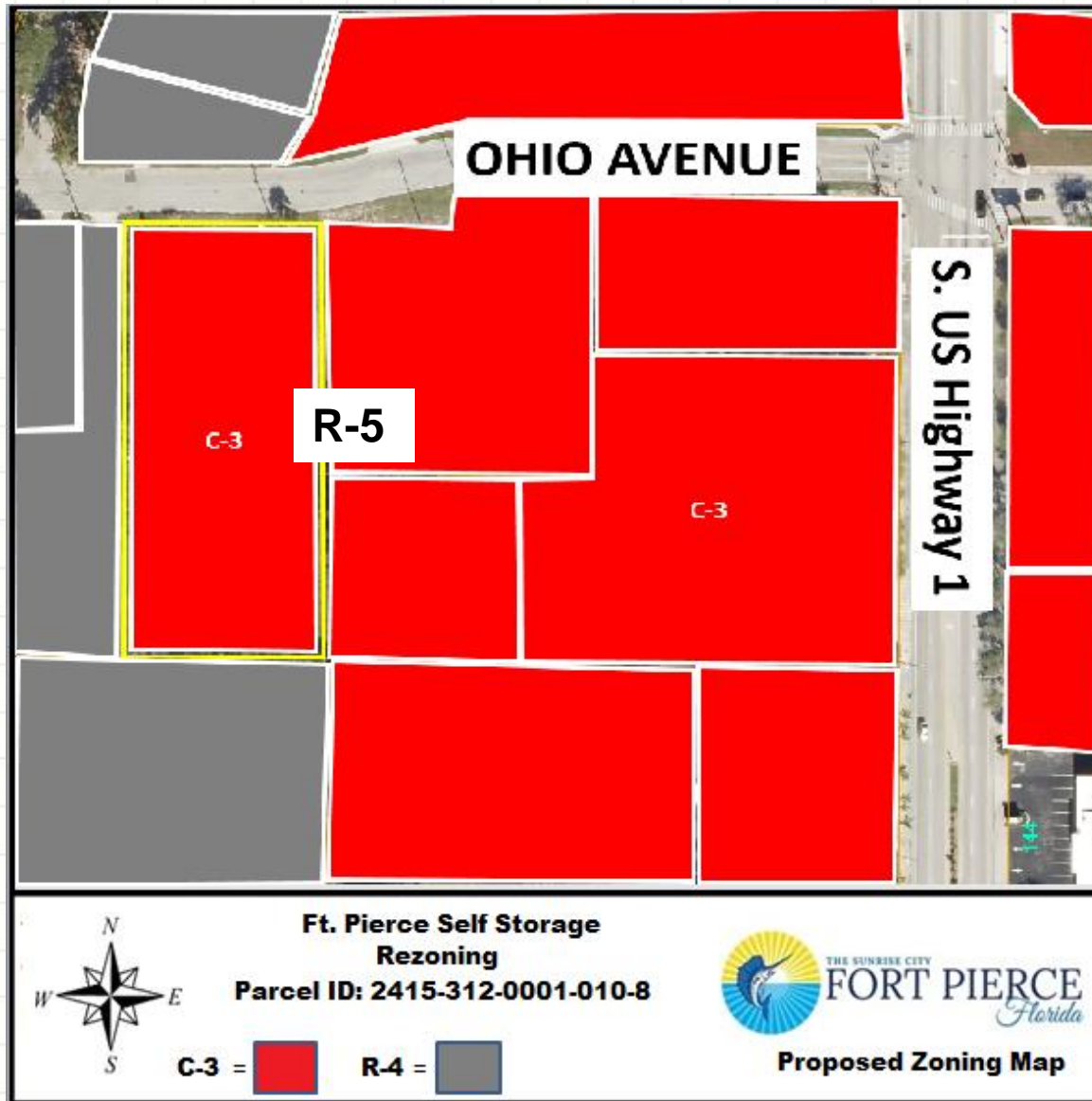


Zoning Atlas Map Amendment

Zoning Atlas Map Amendment from R-4, Medium Density Residential Zone to C-3, General Commercial Zone.

- Staff recommends **Approval** of the request.
 - ❑ Commercial developments are more suited for a Commercial Zoning District than a Residential Zoning District.
 - ❑ Consistent with Section 22-131 of City Code & Comprehensive Plan.
 - ❑ Does not adversely affect the public health, safety, convenience and general welfare.

Proposed Zoning



Adjacent Property Owner Responses



55 Notifications

0 = In favor (0%)

0 = In opposition (0%)

CC Recommendations

Possible actions of the City Commission:

- APPROVAL of the proposed Zoning Atlas Map Amendment with no changes.
 - Staff recommends that the City Commission APPROVE the proposed Amendment.
- APPROVAL of the proposed Zoning Atlas Map Amendment with changes.
- DISAPPROVAL of the proposed Zoning Atlas Map Amendment.

Zoning Atlas Map Amendment



**South of Ohio Ave. & 417 ft. West
of US Highway 1, Ft. Pierce, FL.
34950**

Parcel ID: 2415-312-0001-010-8



Application for Zoning Atlas Map Amendment

Application submission shall include the following:

- **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a ½ mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- *** Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other _____

1. Property Address/Location: South of Ohio Avenue & 417 ft West of US -1, Fort Pierce, FL 34950
2. Property Tax ID(s): 2415-312-0001-010-8
3. Total Acreage: 1.19
4. Existing Future Land Use Designation: RM - Medium Density Residential
5. Existing Zoning Classification: R4 - Medium Density Residential
6. Proposed Zoning Classification: C3 - General Commercial
7. Other applications being submitted concurrent with this application, if any: None

8. Describe the existing uses, improvements and structures on the amendment lands: _____
 Existing site is vacant and there are no existing structures on the site.

9. Are there any identified or possible historical structures on the amendment lands? No

10. The reason for making this request: The owner wishes to open a self storage business on his property which consists of three parcels 2415-312-0001-010-8, 2415-311-0003-000-6, and 2415-311-0003-030-5. The two parcels on the east of the subject parcel is zoned C3 General Commercial. Since self storage business is not permitted in R4 Medium Density Residential zoning district, parcel 2415-312-0001-010-8 needs to be rezoned to C3 General Commercial to match the zoning districts to the other two parcels.

11. CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Commercial & Residential	GC - Commercial General	C3 - General Commercial
South	HOMES REALTY VENTURES LC, & Vacant	RM - Medium Density Residential; GC - Commercial General	R4 - Medium Density Residential; C3 - General Commercial
East	Popeyes & Walgreens	GC - Commercial General	C3 - General Commercial
West	Arc of St. Lucie County INC. & BCAG LLC - APARTMENT BLDGS.	RM - Medium Density Residential	R4 - Medium Density Residential

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	RM - Medium Density Residential	R4 - Medium Density Residential	11	1.19	
Proposed	GC - Commercial General	C3 - General Commercial	31,102	1.19	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6 = persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot 2,860
Demand Analysis	Maximum
Current Zoning	Total gallons per day 2,860
Proposed Zoning	Total gallons per day 3,888
Change in Demand	Total gallons per day 1,028

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person 2,860 (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning	Total gallons per day 2,860
Proposed Zoning	Total gallons per day 3,110
Change in Demand	Total gallons per day 250

C. Parks and Recreation (Residential Classifications Only):				
(Du x 2.6 = persons + 44,227 = population /LOS)				N/A
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only):		
Single Family: (du x 0.405 = students/70% K-8/30% High)		N/A
Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning Enrollment Demand		
Proposed Zoning Enrollment Demand		
Change in Demand		

E. Solid Waste:	
2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units	
Demand Analysis	Maximum
Current Zoning	2 yards
Proposed Zoning	TBD
Change in Demand	

F. Stormwater:
 Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year - 1 day storm event)

Impact	No significant impacts are anticipated due to rezoning from medium density residential to general commercial zoning district.
---------------	---

III. Transportation Analysis

G. Traffic		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning	73.92	6.05/7.37
Proposed Zoning	1378.44	213/156
Change in Demand	Trips 1305	Trips 207/148
Impact to Capacity	More trips will be generated from the rezoning but since the US highway - 1 is located 225 ft east of the property this trip generation will not have any negative impacts to the neighborhood area.	

12. Name of Owner(s): Yo No Se LLC
 Mailing Address: 2701 Industrial Avenue 3
 City Fort Pierce State FL Zip 34946
 Phone # 407-921-6991
 E-mail: redfishtony@hotmail.com

13. Name of Applicant: Darren Guettler, P.E. - Velcon Engineering & Surveying, LLC.
 Mailing Address: 590 NW Peacock Blvd., Suite 8
 City Port St. Lucie State FL Zip 34986
 Phone # 772/879-0477 Fax # _____
 E-mail: darreng@velconfl.com

14. Name of Representative: Darren Guettler, P.E. - Velcon Engineering & Surveying, LLC.
 Mailing Address: 590 NW Peacock Blvd., Suite 8
 City Port St. Lucie State FL Zip 34986
 Phone # 772/879-0477 Fax # _____
 E-mail: darreng@velconfl.com

15. Applicant Acknowledgements (Owner's signature must be notarized)

I certify that: (Check One)

I (we) do hereby certify that I (we) own in fee simple the above referenced described property for which a change in Zoning Classification is requested.

I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.


 Applicant's Signature Date

590 NW Peacock Blvd., Suite 8

FL

34986

Address

State

Zip

772/879-0477

randyr@velconfl.com

Phone

Fax

E-mail Address

16. **Property Owners Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

ANTONIO HUERTA

407-921-6991

Property Owner's Name (Please Print)

Phone

2701 Industrial Avenue 3

Fort Pierce

34946

Address

State

Zip

[Handwritten Signature]

4/3/19

Property Owner's Signature

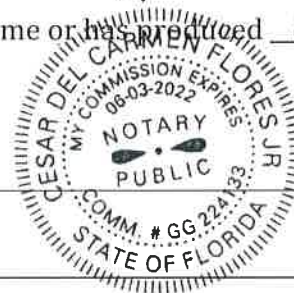
Date

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this 3rd day of April, 2019, by Antonio A. Huerta who is personally known to me or has been FLDL as ident

[Handwritten Signature]
Signature of Notary

(seal)



OFFICE USE:	
DATE RECEIVED: _____	Signed: _____
File Number: _____	Check No: _____ Receipt No: _____
TRC Review: _____	Planning Board Review: _____ City Commission: _____
Ordinance No: _____	Date Approved: _____

Property Identification

Site Address: OHIO AVE
Parcel ID: 2415-312-0001-010-8
Account #: 24450
Map ID: 24/15S
Use Type: 0000
Zoning: R4
City/County: Fort Pierce

Ownership

Yo No Se LLC
2701 Industrial Avenue 3
Fort Pierce, FL 34946

Legal Description

15 35 40 FROM NW COR OF NE 1/4 OF SW 1/4 RUN E 350 FT, TH S 25 FT TO S R/W OF OHIO AV AND POB, TH CONT S 355 FT, TH E 145.51 FT, TH N 355 FT, TH W 145.51 FT TO POB

Current Values

Just/Market Value: \$23,900
Assessed Value: \$16,456
Exemptions: \$16,456
Taxable Value: \$0

Taxes for this parcel: SLC Tax Collector's Office [☑](#)

Download TRIM for this parcel: [Download PDF](#) [☑](#)



Total Areas

Finished/Under Air (SF): 0
Gross Area (SF): 0
Land Size (acres): 1.19
Land Size (SF): 51,656

Sale History

Date: Aug 29, 2018
Book/Page: 4177 / 0752
Sale Code: 0317
Deed: SP
Grantor: Indian River State College Foundation Inc
Price: \$185,000

Date: Feb 9, 2015
Book/Page: 3715 / 1920
Sale Code: 0318
Deed: WD
Grantor: Brinkley Property Investment
Price: \$100

Date: Jan 1, 2009
Book/Page: 3061 / 2874
Sale Code: 0311
Deed: WD
Grantor: Brinkley (TR) James B

Price: \$100

Date: Nov 23, 1991
 Book/Page: 0775 / 0798
 Sale Code: XX01
 Deed: WD
 Grantor: James B Brinkley
 Price: \$100

Date: Oct 1, 1984
 Book/Page: 0447 / 1694
 Sale Code: XX00
 Deed: CV
 Grantor:
 Price: \$50,000

Building Information (1 of 1)

Finished Area: 0 SF
 Gross Total Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: 2014	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

Interior Data

Bedrooms: 0	Electric:	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors:
A/C %: 0%	Heated %: N/A%	Sprinkled %: 0%



*Image
or
Sketch
unavailable
for display*


Special Features and Yard Items

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$0					
Land:	\$23,900	2018	2016	3000	Education	\$16,456
Just/Market:	\$23,900					

Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$7,444
Assessed:	\$16,456
Exemption(s):	\$16,456
Taxable:	\$0

Current Year Special Assessment Breakdown

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Permits

Number:	BP14-0618
Issue Date:	Mar 27, 2014
Description:	Electric
Amount:	\$1,000
Fee:	\$155

Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.
© Copyright 2018 Saint Lucie County Property Appraiser. All rights reserved.

Yo No Se LLC
2701 Industrial Avenue 3
Fort Pierce, FL 34946

To Whom It May Concern:

This letter authorizes Velcon Engineering & Surveying LLC. to act as agent for the purposes of obtaining permits and approvals from state and local government agencies for the property described on the attached legal description.

If you have any questions, please call me at 407-921-6991.

Sincerely,



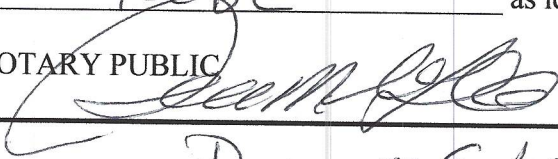
ANTONIO HUERTA, MANAGER

Date: 12/27/2018

State of: Florida
County of: St. Lewis

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me this 27 day of Dec, 2018, by _____, who () is personally known to me, or (X) has produced Feld as identification.

NOTARY PUBLIC



Name Printed: Deanna M. Gerhart
State of Florida at-large
My Commission expires: June 26, 2022

File: 18-1030 aut.doc



LEGAL DESCRIPTION:

PARCEL IDENTIFICATION NUMBER: 2415-311-0003-030-5

COMMENCE AT THE NORTHWEST COMER OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE RUN NORTH 90°00'00" EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 691.85 FEET; THENCE RUN SOUTH 00°22'54" EAST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 240.00 FEET; THENCE RUN NORTH 90°00'00" WEST ALONG A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 50.35 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 00°22'54" EAST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 140.00 FEET; THENCE RUN NORTH 90°00'00" WEST ALONG A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 142.00 FEET; THENCE RUN NORTH 00°22'54" WEST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 140.00 FEET; THENCE RUN NORTH 90°00'00" EAST ALONG A LINE THAT IS PARALLEL WITH THE SAID NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 142.00 FEET TO THE POINT OF BEGINNING.

PARCEL IDENTIFICATION NUMBER: 2415-312-0001-010-8

THE EAST 145.51 FEET OF THE WEST 495.51 FEET OF THE NORTH 380.01 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ALL LYING IN ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

PARCEL IDENTIFICATION NUMBER: 2415-311-0003-000-6

BEING A PART OF THE NORTH 380 FEET OF THE NE 1/4 OF THE SW 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING WEST OF U.S. HIGHWAY NO. 1, BEING MORE FULLY DESCRIBED AS FOLLOWS: THE WEST 192.35 FEET OF THE EAST 417.35 FEET (AS MEASURED FROM THE WEST RIGHT-OF-WAY OF U.S. HIGHWAY NO. 1) OF THE NORTH 380 FEET LESS AND EXCEPT THE SOUTH 140 FEET THEREFROM. SUBJECT TO ALL

LEGAL DESCRIPTION:

PARCEL IDENTIFICATION NUMBER: 2415-312-0001-010-8

THE EAST 145.51 FEET OF THE WEST 495.51 FEET OF THE NORTH 380.01 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ALL LYING IN ST. LUCIE COUNTY, FLORIDA; LESS AND EXCEPT ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

OHIO AVENUE

S. US Highway 1



Ft. Pierce Self Storage

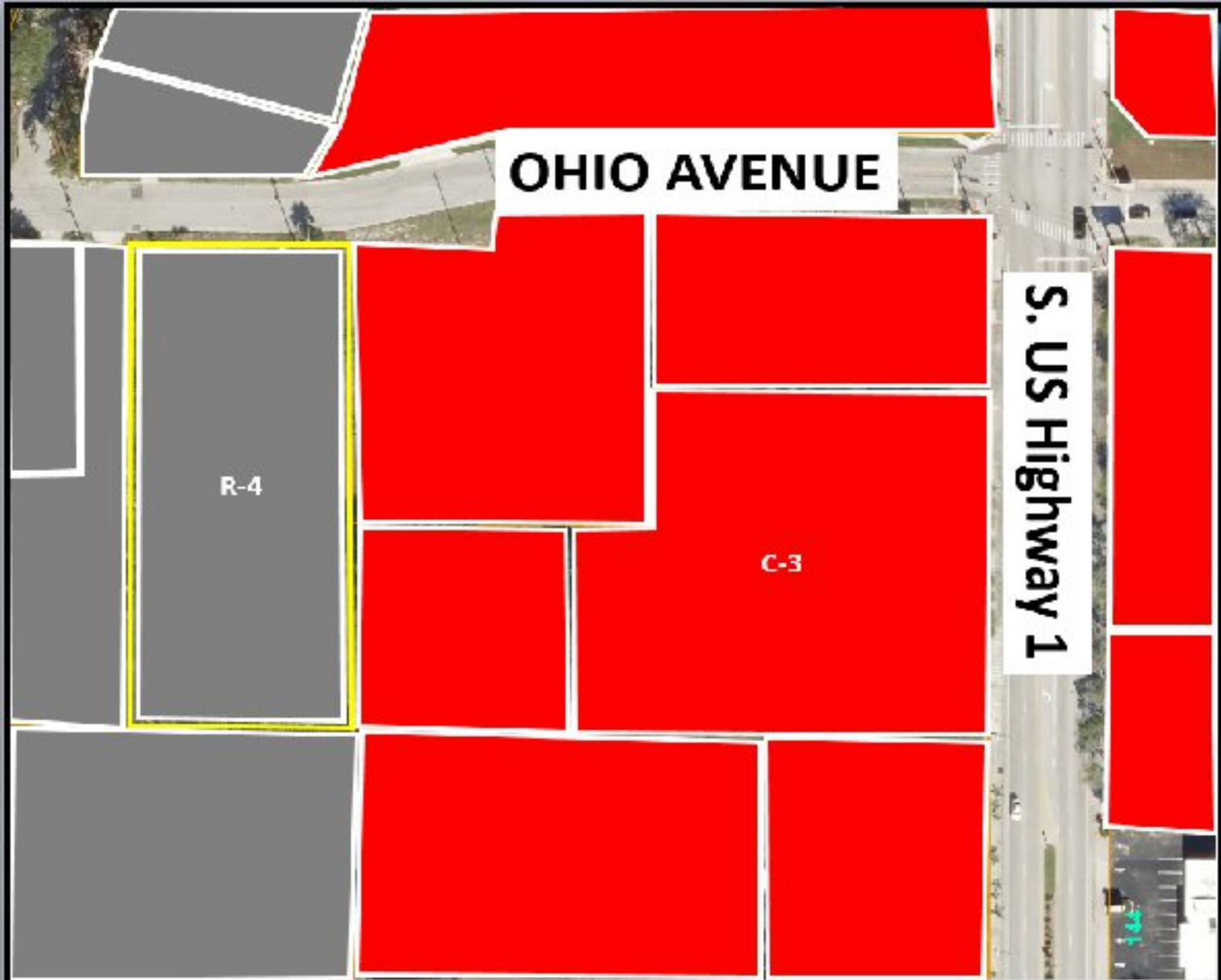
Parcel ID: 2415-312-0001-010-8



Aerial Map



**THE SUNRISE CITY
FORT PIERCE
Florida**



**Ft. Pierce Self Storage
Rezoning**

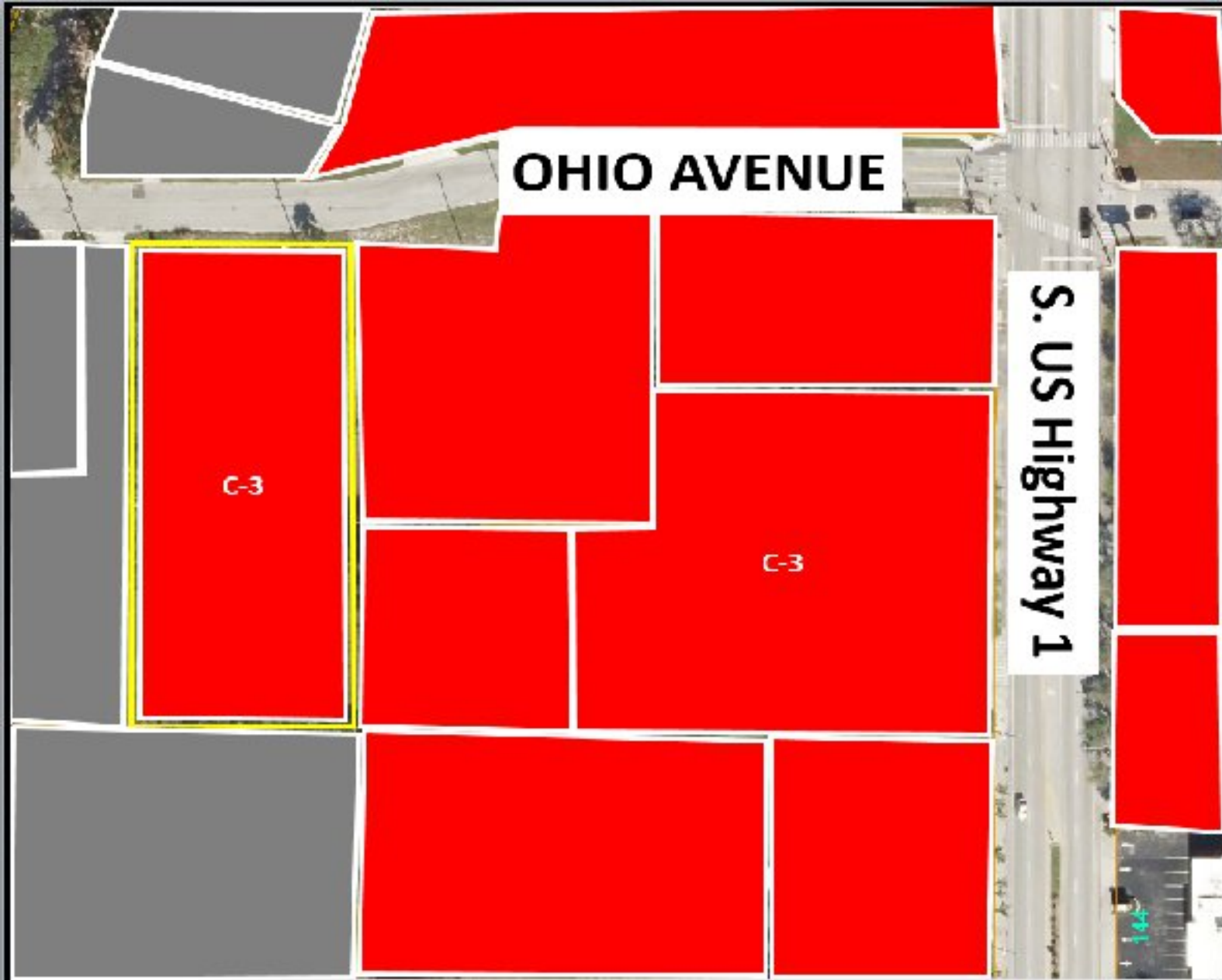
Parcel ID: 2415-312-0001-010-8

C-3 =  **R-4 =** 



THE SUNRISE CITY
FORT PIERCE
Florida

Current Zoning Map



**Ft. Pierce Self Storage
Rezoning**

Parcel ID: 2415-312-0001-010-8

C-3 =  **R-4 =** 



THE SUNRISE CITY
FORT PIERCE
Florida

Proposed Zoning Map



April 3, 2019

Rebecca Grohall – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: Fort Pierce Self Storage
South of Ohio Avenue
S15, T35S, R 40E
Property ID # 2415-312-0001-010-8
Application for Zoning Atlas Map Amendment

Dear Ms. Grohall,

This application requests a zoning change from Medium Density Residential (R4) to General Commercial (C3) and future land use change from Medium Density Residential (RM) to General Commercial (GC) to allow the owner to open a self-storage business on his property. The owner wishes to use three of the parcels he owns: 2415-312-0001-010-8, 2415-311-0003-000-6, and 2415-311-0003-030-5 for his self-storage business. The two other parcels on the east of the subject parcel is zoned C3 - General Commercial. Since self-storage business is not permitted in R4 - Medium Density Residential zoning district, the subject parcel needs to be rezoned to C3 General Commercial to match the zoning districts to the other two parcels. The future land uses of the properties to the North, South and East of the subject property are GC - Commercial General and to the west is RM – Medium Density Residential all of which are compatible with the proposed future land use of the subject parcel.

Following items are attached with the subject application:

1. Application for Zoning Atlas Map Amendment
2. Application Fee – \$2,155.00
3. Warranty Deed
4. Property Card
5. Authorization Letter
6. Environmental Study
7. Traffic Impact Statement
8. Capacity Analysis
9. Drainage Statement
10. Historical Report
11. Boundary & Topographical Survey
12. Conceptual Site Plan
13. CD

Velcon Engineering & Surveying, LLC
590 NW Peacock Blvd., Suite 8, Port St. Lucie, FL, 34986
Ph: 772 / 879-0477



Should you have any questions, please do not hesitate to contact me at 772/879-0477.

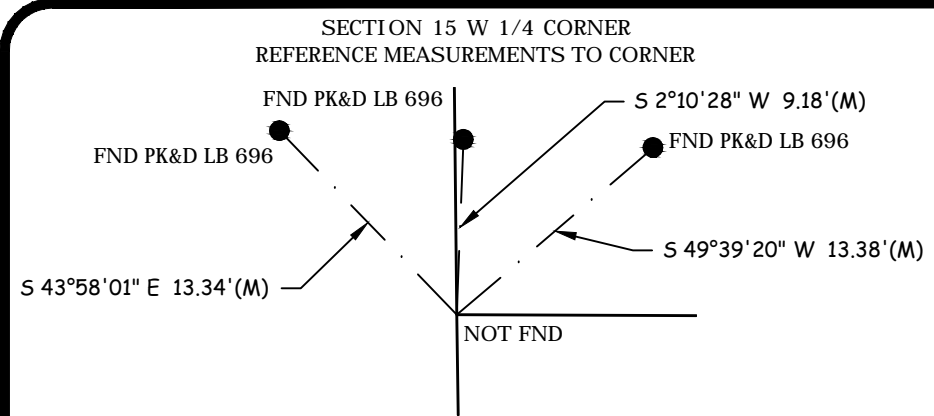
Sincerely,

A handwritten signature in blue ink, appearing to read 'Shaikha Abedin'.

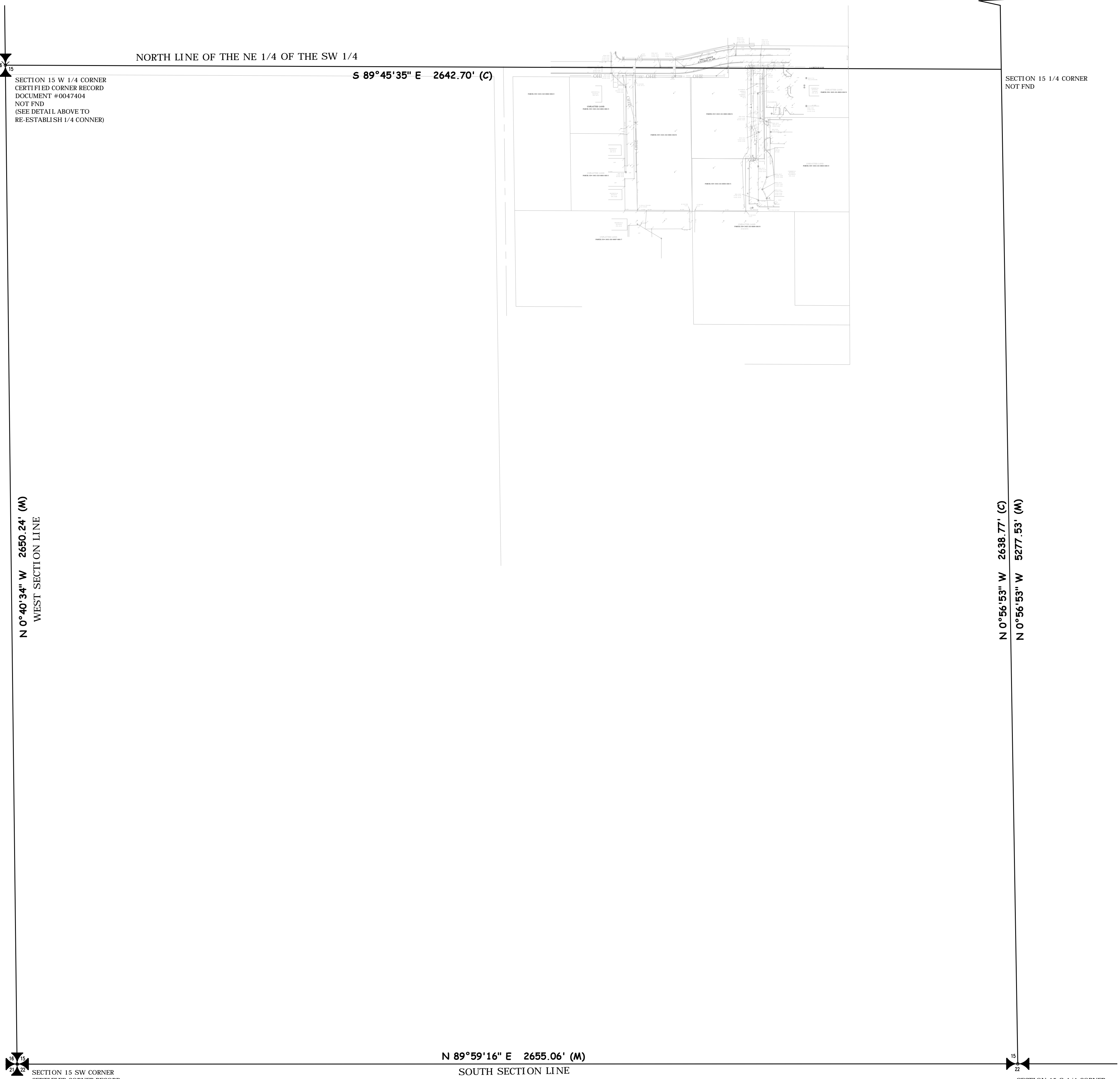
Shaikha Abedin, EI

Attachments

cc: File 18-1030 (w/ att)



SECTION DETAIL



SECTION 15 W 1/4 CORNER
CERTIFIED CORNER RECORD
DOCUMENT # 0047404
NOT FND
(SEE DETAIL ABOVE TO
RE-ESTABLISH 1/4 CORNER)

N 0°40'34" W 2650.24' (M)
WEST SECTION LINE

SECTION 15 SW CORNER
CERTIFIED CORNER RECORD
DOCUMENT # 093999
FND 5/8" R&C RLS 2301

S 89°45'35" E 2642.70' (C)

N 89°59'16" E 2655.06' (M)
SOUTH SECTION LINE

SECTION 15 N 1/4 CORNER
CERTIFIED CORNER RECORD
DOCUMENT # 0003341
FND 1" IP NO 1D 1N CUT OUT

N 0°56'53" W 2638.77' (C)
N 0°56'53" W 5277.53' (M)

SECTION 15 S 1/4 CORNER
CERTIFIED CORNER RECORD
DOCUMENT # 094000
FND MAG&D LB 6557



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PARCEL IDENTIFICATION NUMBER: 2415-311-0003-000-6:
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ADDRESS: OHIO AVENUE
FORT PIERCE, FL

NOTES:

SUBJECT TO ANY APPLICABLE EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS OF RECORD.

A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN MADE BY THIS OFFICE.

ELEVATIONS ARE IN FEET AND RELATED TO "NGS" BENCHMARK "D 401" HAVING A PUBLISHED ELEVATION = 23.51 (FEET) NAVD 1988. ALL OTHER ELEVATIONS ARE RELATIVE THERETO.

BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN, ALONG THE SOUTH RIGHT OF WAY LINE OF OHIO AVENUE, HAVING AN ASSUMED BEARING OF S 89°45'35" E. ALL OTHER BEARINGS ARE RELATIVE THERETO.

PROPERTY LIES IN F.I.R.M. ZONE "X", AS SHOWN ON PANEL I211C0187 J, DATED 2/16/12. FLOOD ZONES ARE APPROXIMATE AS SCALED FROM FLOOD INSURANCE RATE MAPS.

IN ACCORDANCE WITH CHAPTER 5J-17.051, ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY, THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THE EXPECTED USE OF THE SURVEY AND MAP IS COMMERCIAL.

25 FOOT JOG IN RIGHT IN WAY LINE OF OHIO SHOWN ON TAX MAP AND CONFIRMED BY ST. LUCIE COUNTY.

ALL DISTANCES AND ELEVATIONS SHOWN ARE IN ACCORD WITH THE UNITED STATES STANDARD USING FEET.

ALL DIRECTIONAL MEASUREMENTS SHOWN ARE IN THE FORMAT OF DEGREES, MINUTES AND SECONDS.

LEGAL DESCRIPTION FROM WARRANTY DEED RECORDED IN OFFICIAL RECORD BOOK 3715, PAGE 1920, ST. LUCIE COUNTY PUBLIC RECORDS.

TOTAL LOTS CONTAIN 115,948 SQUARE FEET.

BOUNDARY & TOPOGRAPHICAL SURVEY FIELD DATE: 09-05-18.

CERTIFIED TO: FORT PIERCE SELF STORAGE

VELCON ENGINEERING & SURVEYING, LLC
 CERTIFICATE OF AUTHORIZATION NO. LB 8206
 702 S.W. FORT ST. LUCIE BLVD.
 FORT ST. LUCIE, FLORIDA 34953
 PHONE: (772) 879-0477
 Web Site: www.velcongroup.com

BOUNDARY & TOPOGRAPHICAL SURVEY PREPARED FOR FORT PIERCE SELF STORAGE

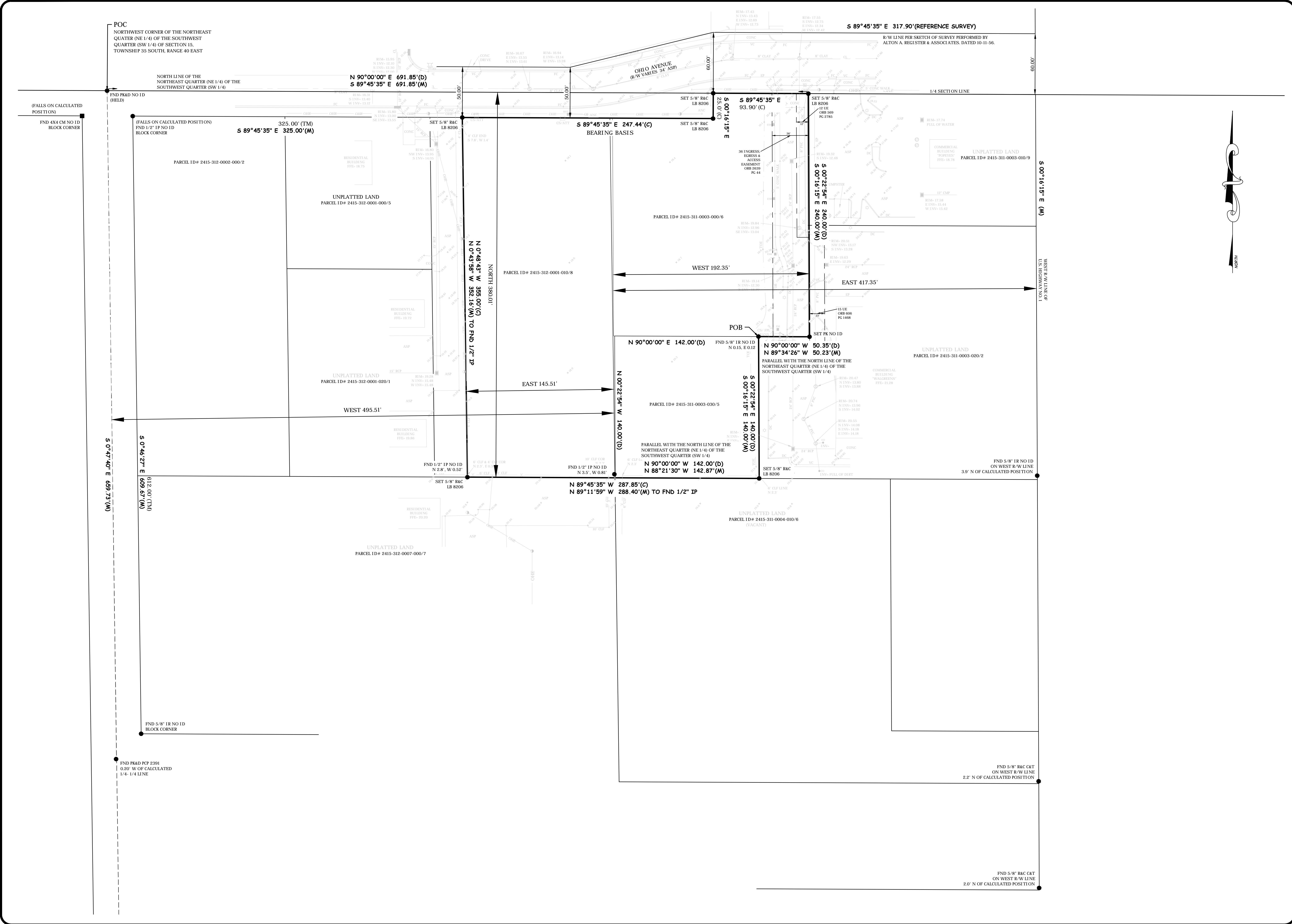
NO.	DATE	REVISIONS

DRAWN BY:
G SANTOITEMMA
 APPROVED BY:
R. KEMERSON
 SCALE:
1" = 150'
 DATE:
09/07/18
 FIELD BOOK/PAGES
PLANS

JOB NUMBER:
18-1030

SHEET:
1 OF 3

ROBERT F. KEMERSON
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA (PSM)#6285



VELCON ENGINEERING & SURVEYING, LLC
 CERTIFICATE OF AUTHORIZATION NO. LB 8206
 702 S.W. FORT ST. LUCIE BLVD.
 FORT ST. LUCIE, FLORIDA 34953
 PHONE (772) 879-0477
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VELCON
ENGINEERING & SURVEYING

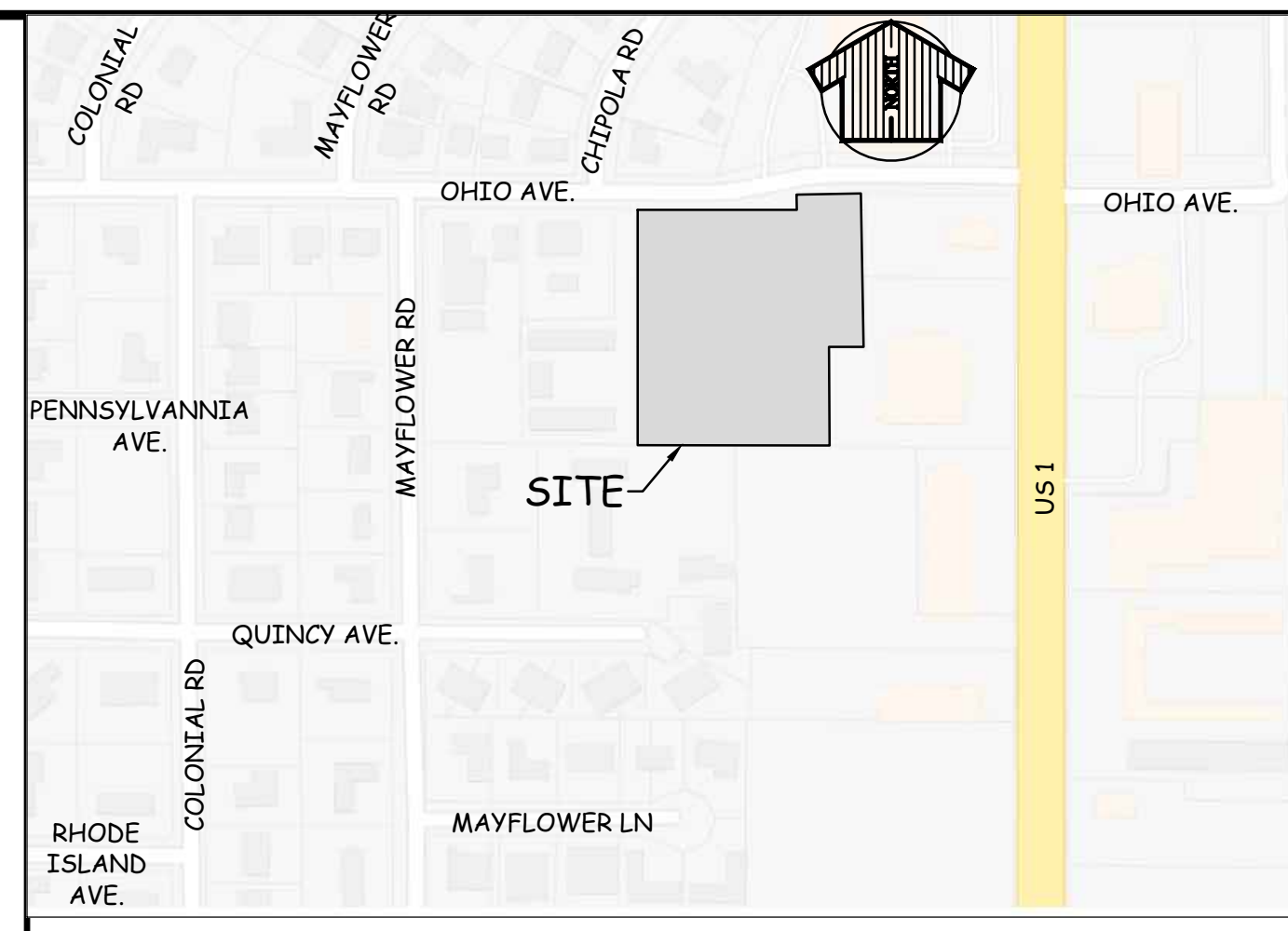
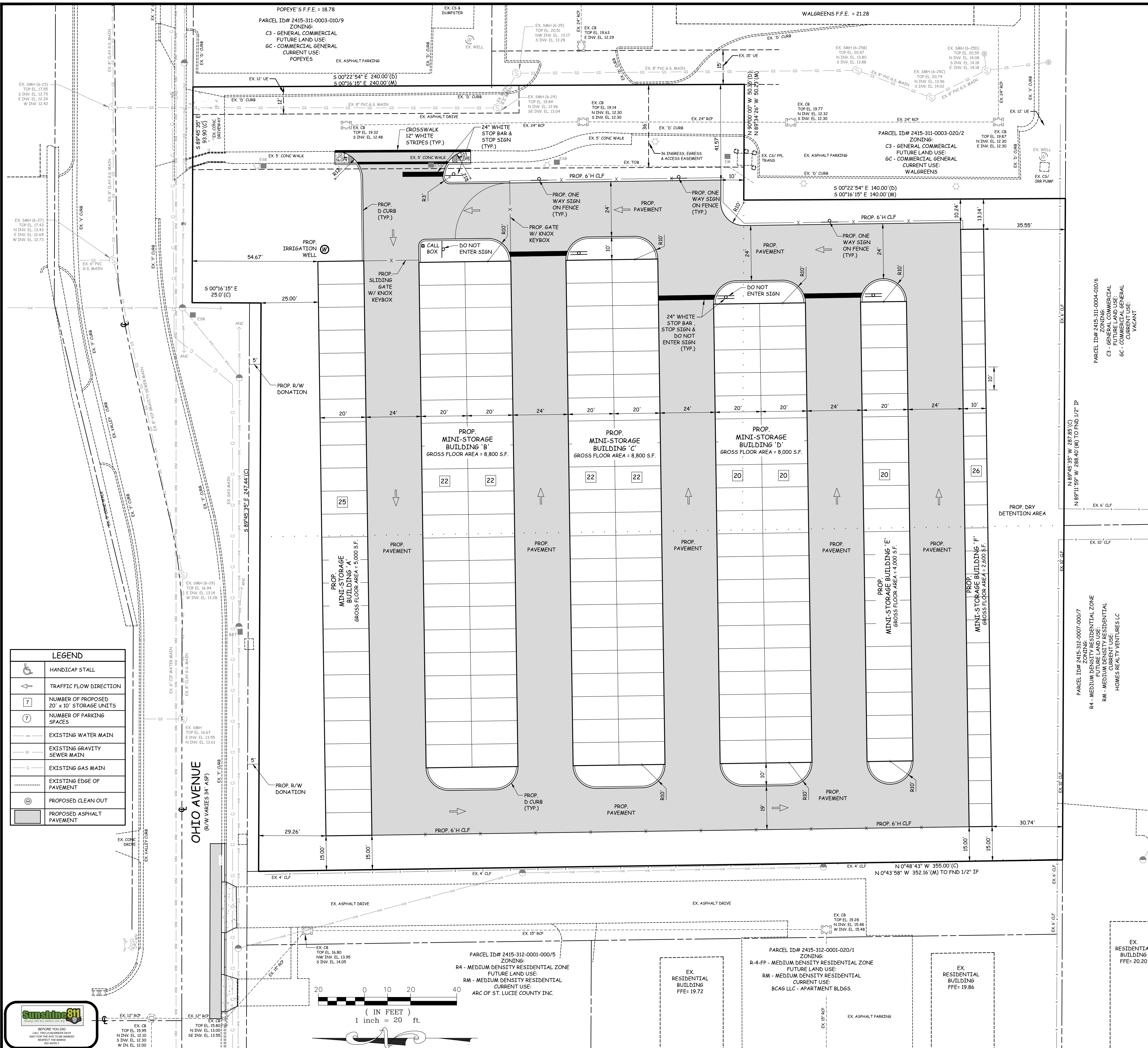
**BOUNDARY & TOPOGRAPHICAL SURVEY
 PREPARED FOR
 FORT PIERCE SELF STORAGE**

NO.	DATE	BY	REVISIONS

DRAWN BY:
G. SANTOITEMMA
 APPROVED BY:
R. KEMERSON
 SCALE:
1" = 40'
 DATE:
09/07/18
 FIELD BOOK/PAGES:
PLANS

JOB NUMBER:
18-1030

SHEET:
2 OF 3



LEGAL DESCRIPTION:

PARCEL IDENTIFICATION NUMBER: 2415-311-0003-030-5; LEGAL DESCRIPTION:
COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE RUN NORTH 90°00'00" EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 691.85 FEET; THENCE RUN SOUTH 00°22'54" EAST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 240.00 FEET; THENCE RUN NORTH 90°00'00" WEST ALONG A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 50.35 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 00°22'54" EAST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 140.00 FEET; THENCE RUN NORTH 90°00'00" WEST ALONG A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 142.00 FEET; THENCE RUN NORTH 00°22'54" WEST ALONG A LINE THAT IS PARALLEL WITH U.S. HIGHWAY NO. 1 FOR A DISTANCE OF 140.00 FEET; THENCE RUN NORTH 90°00'00" EAST ALONG A LINE THAT IS PARALLEL WITH THE SAID NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) FOR A DISTANCE OF 142.00 FEET TO THE POINT OF BEGINNING.

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DEVELOPER:
Yo No Se LLC
2701 INDUSTRIAL AVENUE 3
FORT PIERCE, FL 34946
PH: 407-921-6991

SITE ADDRESS:
OHIO AVENUE
FORT PIERCE, FL

PARCEL IDENTIFICATION NUMBERS:
2415-312-0001-010/8
2415-311-0003-000/6
2415-311-0003-030/5

PROPERTY CLASSIFICATIONS:

PARCEL ID: 2415-311-0003-000/6 & 2415-311-0003-030/5
CURRENT ZONING: C3 - GENERAL COMMERCIAL
FUTURE LAND USE: GC - COMMERCIAL GENERAL

PARCEL ID: 2415-312-0001-010/8
CURRENT ZONING: R4 - MEDIUM DENSITY RESIDENTIAL
FUTURE LAND USE: RM - MEDIUM DENSITY RESIDENTIAL

BUILDING SETBACKS:

FRONT:	REQUIRED
REAR/SIDE:	25 FEET
REAR/SIDE:	10 FEET
REAR/SIDE:	15 FEET

(ABUTTING RESIDENTIAL DISTRICT)

PARKING CALCULATIONS:
NO PARKING REQUIRED

DRAINAGE STATEMENT:
THE PROJECT WILL BE SERVED BY SITE GRADING, INLETS AND CULVERTS THAT DIRECTS STORM WATER TO THE DRY DETENTION AREA ALONG THE SOUTH SIDE OF THE SITE PRIOR TO A CONTROLLED DISCHARGE TO THE EXISTING STORM INLET LOCATED JUST WEST OF THE PROJECT ON THE SOUTH SIDE OF OHIO AVENUE. CITY OF FT. PIERCE AND SFWMD CRITERIA FOR WATER QUALITY AND QUANTITY TREATMENT WILL BE PROVIDED.

UTILITY PROVIDERS:

POTABLE WATER:	= N/A - NONE PROPOSED
WASTEWATER:	= N/A - NONE PROPOSED
IRRIGATION:	= WELL

CONSTRUCTION SCHEDULE:
CONSTRUCTION START: MARCH 2019
CONSTRUCTION COMPLETION: 180 DAYS

PROJECT NOTES:

- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THIS PROJECT WILL COMPLY WITH THE CITY OF FORT PIERCE CODE OF ORDINANCES, CHAPTER 17 AND CHAPTER 22.

PROP. SITE DATA:

TOTAL PROJECT AREA	115,948 S.F.	2.661 AC	100.00%
IMPERVIOUS AREA			
PROP. BUILDINGS	37,200 S.F.	0.854 AC	32.09%
PROP. PAVEMENT / WALKS	40,014 S.F.	0.919 AC	34.54%
EX. PAVT. / WALKS (TO REMAIN)	6,459 S.F.	0.148 AC	5.59%
TOTAL IMPERVIOUS	83,673 S.F.	1.921 AC	72.19%
TOTAL PERVIOUS	32,275 S.F.	0.740 AC	27.81%

VELCON ENGINEERING & SURVEYING LLC
590 NW PEACOCK BLVD, SUITE #8
FORT ST. LUCIE, FL 34986
PHONE: (772) 878-0477
FBPE C.O.A. # 32222

ENGINEER'S APPROVAL

SEAL

DATE

REVISIONS

NO.	DATE	DESCRIPTION

SITE PLAN

FORT PIERCE SELF STORAGE
CITY OF FORT PIERCE, FLORIDA

SHEET NO. 1

OF 1

JOB No.: 18-1030-ENG

Prepared by and Return to:
Veronika Swords, employee of
First International Title, Inc.
107 North 2nd Street
Fort Pierce, FL 34950
Our File No. 129194-41

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made on 29th day of August, 2018, between **Indian River State College Foundation, Inc., a Florida corporation not for profit**, having a business address at: 3209 Virginia Avenue, Fort Pierce, FL 34981

("Grantor"), and **Yo No Se, LLC, a Florida limited liability company**, having a mailing address of: 2701 Industrial Avenue 3, Fort Pierce, FL 34946 , ("Grantee"):

(Which terms "Grantor" and "Grantee shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

WITNESSETH, that the said Grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt and sufficiency of which is hereby acknowledged has granted, bargained, sold, remised, released, conveyed and confirmed unto said "Grantee", its successors and assigns forever, following described land, situated, lying and being in the County of **St. Lucie, Florida**, to-wit:

SEE EXHIBIT "A" FOR COPY OF ATRICLES AND BY LAWS
SEE EXHIBIT "B" FOR LEGAL DESCRIPTION

Parcel Identification Number: **2415-311-0003-000/6 AND 2515-312-0001-010/8
AND 2415-311-0003-030/5**

Subject, however, to all reservations, covenants, conditions, restrictions and easements of record and all applicable zoning ordinances and/or restrictions or requirements imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; and that said land is free of all encumbrances except taxes accruing subsequent to **December 31, 2017**. That it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

In Witness Whereof, Grantor has signed and sealed these presents on the date first above written.

Indian River State College Foundation, Inc.
a Florida not for profit corporation

by: *Ann L. Decker*
Ann L. Decker, Executive Director

Signed, sealed and delivered in our presence:

Karen J. Cristaldi
Witness Signature
Print Name: KAREN J. CRISTALDI

Veronika Swords
Witness Signature
Print Name: Veronika Swords

State of Florida
County of St. Lucie

The Foregoing Instrument Was Acknowledged before me on 8-29-2018, by Ann L. Decker, Executive Director of **Indian River State College Foundation, Inc., a Florida corporation not for profit**, who is/are personally known to me or who has/have produced a valid driver's license as identification.

Veronika Swords
Notary Public

(Printed Name)

My Commission expires: _____

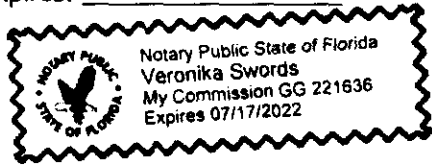


Exhibit "A"

ARTICLES OF AMENDMENT
To
ARTICLES OF INCORPORATION
Of
INDIAN RIVER COMMUNITY COLLEGE FOUNDATION, INC.

Pursuant to the provisions of Section 617.1006, Florida Statutes, the undersigned corporation adopts the following Articles of Amendment to its Articles of Incorporation:

1. The name of the corporation is INDIAN RIVER COMMUNITY COLLEGE FOUNDATION, INC., and the document number of the corporation is 709584.

2. The name of the corporation shall be as follows:

INDIAN RIVER STATE COLLEGE FOUNDATION, INC.

3. The date of adoption of this Amendment to the Articles is JUNE 24 2008

4. This amendment was duly adopted by the Board of Directors of the corporation at meeting held for that purpose on JUNE 24 2008. The amendment was approved by the Board of Directors and the Amendment does not require member approval.

Signed this 21st day of July, 2008.

INDIAN RIVER COMMUNITY COLLEGE
FOUNDATION, INC.

By: Suzanne H. Clemens
SUZANNE H. CLEMENS
CHAIRMAN OF BOARD

FILED
09 JUL 28 AM 8:25
SECRETARY OF STATE
TALLAHASSEE, FLORIDA

**BYLAWS OF THE
INDIAN RIVER STATE COLLEGE FOUNDATION, INC.**

(As amended November 17, 2003; July 18, 2005; August 4, 2008)

ARTICLE I.

Section 1. MEETINGS.

- (a) The regular business meetings of the Board of Directors shall be held at the Indian River Community College, Fort Pierce, Florida, on a bi-monthly basis.
- (b) Special Meetings of the Board of Directors may be called by the Chairman of the Board of Directors or by request of a simple majority of the members.
- (c) Attendance is required and recorded. Members may have two unexcused absences per year. A majority of the members shall constitute a quorum at any meeting of the Board of Directors and all questions shall be determined by a majority of the Directors voting; provided, however, a majority of all members of the Board of Directors must concur in the following:
 - (1) The election of members of the Board of Directors.
 - (2) Amendments to these bylaws.
 - (3) Amendments to the Articles of Incorporation.

The Chairman shall preside at all meetings of the Board of Directors and shall act as the Chief Executive Officer of this corporation, and shall do and perform such other duties as from time to time may be assigned him by the Directors.

Section 2. FIRST-VICE CHAIR.

The First-Vice Chair shall preside at all meetings of the Board of Directors in the absence of the Chairman and he shall do and perform such other duties as from time to time may be assigned him by the Board of Directors, and he shall also do and perform all duties which might or should be performed by the Chairman when the Chairman is ill, absent from the State of Florida, or otherwise incapacitated.

Section 3. SECOND-VICE CHAIR.

The Second-Vice Chair shall preside at all meetings of the Board of Directors in the absence of the Chair and the First-Vice Chair and he shall do and perform such other duties as from time to time may be assigned to him by the Board of Directors and he shall also do and perform all duties which might or should be performed by the Chairman when the Chairman and First-Vice Chair are both ill, absent from the State of Florida, or otherwise incapacitated.

Section 4. SECRETARY/TREASURER.

The Executive Director will serve as corporate secretary and treasurer of the Board of Directors as well as executive director of the IRCC Foundation, Inc. All components of the Foundation and all aspects of its operation are responsible to the Board of Directors through the Executive Director. The Board of Directors shall have the power to take action without a recommendation from the executive director and shall have the power to require the executive director to deliver to the board all data and information required by the board in the performance of its duties.

The Secretary/Treasurer shall:

AGENDA ITEM #6B

1) Advise and counsel the board of directors and seek the advice and counsel of the board. Recommendations, nominations, proposals, and reports to the board from the chair shall be recorded in the minutes or shall be made in writing, noted in the minutes, and filed in the records of the board. In the absence of such record, the recommendations, nominations, proposals, and reports shall be presumed consistent with action by the board.

2) Attend, but not vote at, all meetings of the board of directors.

3) Keep minutes of all official actions and proceedings of the board of Directors and keep such other records, including records of property held or disposed of by the board, as may be necessary to provide complete information regarding the college.

4) Act for the Board of Directors as custodian of all property. Recommend plans for contracting, receiving, purchasing, acquiring through condemnation, leasing, selling, holding, transmitting and conveying title to real and personal property.

Recommend plans for holding in trust and administering real and personal property, money, and other things of value, granted, conveyed, devised, or bequeathed for the benefit of the Foundation.

5) Be responsible for administration of financial matters.

6) Leave with the board of directors and make available to the successor a complete inventory of Foundation property, together with all official records and such other records as may be needed.

7) Have or designate custody of the Foundation seal and authenticate true copies of decisions, acts, and documents when required by law, rules of the State Board of Education, or rules of the Board of Directors.

Section 5.

Wherever the masculine gender is used herein, the feminine is also included.

Section 6.

In the event of absence, inability or refusal to act of any of the officers of this corporation, the Board of Directors may appoint the necessary person or persons to perform his or their respective duties.

Escrow File No.: 129194-41

EXHIBIT "B"**Parcel 1**

Being a part of the North 380 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, lying west of U.S. Highway No. 1, being more fully described as follows: The West 192.35 feet of the East 417.35 feet (as measured from the West right of way of U.S. Highway No. 1) of the North 380 feet less and except the South 140 feet therefrom, less and except road right of way.

Parcel 2

Commence at the Northwest corner of the Northeast quarter (NE 1/4) of the Southwest quarter (SW 1/4) of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida; thence run North 90°00'00" East along the North line of said Northeast quarter (NE 1/4) of the Southwest quarter (SW 1/4) for a distance of 691.85 feet; thence run South 00°22'54" East along a line that is parallel with U.S. Highway No. 1 for a distance of 240.00 feet; thence run North 90°00'00" West along a line that is parallel with the North line of said Northeast Quarter (NE 1/4) of the Southwest Quarter (SW 1/4) for a distance of 50.35 feet to the Point of Beginning; thence run South 00°22'54" East along a line that is parallel with U.S. Highway No. 1 for a distance of 140.00 feet; thence run North 90°00'00" West along a line that is parallel with the North line of said Northeast quarter (NE 1/4) of the Southwest Quarter (SW 1/4) for a distance of 142.00 feet; thence run North 00°22'54" West along a line that is parallel with U.S. Highway No. 1 for a distance of 140.00 feet; thence run North 90°00'00" East along a line that is parallel with the said North line of the Northeast quarter (NE 1/4) of the Southwest quarter (SW 1/4) for a distance of 142.00 feet to the Point of Beginning.

Parcel 3

The East 145.51 feet of the West 495.51 feet of the North 380.01 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, less and except road right of way.

Velcon Engineering & Surveying, LLC
590 NW Peacock Blvd., Suite 8, Port St. Lucie, FL, 34986
Ph: 772 / 879-0477



April 3rd, 2019

Rebecca Grohall – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: Fort Pierce Self Storage
South of Ohio Avenue
S15, T35S, R 40E
Property ID # 2415-312-0001-010-8
Historical Statement - Application for Zoning Atlas Map Amendment and
Future Land Use Map Amendment

Dear Ms. Grohall,

This application requests a zoning change from Medium Density Residential (R4) to General Commercial (C3) and future land use change from Medium Density Residential (RM) to General Commercial (GC) to allow the owner to open a self-storage business on his property. The project site is located on the west of U.S. highway – 1 and south of Ohio avenue in the City of Fort Pierce. Based on available historical aerials the project site appears undeveloped for at least the past 25 years. In accordance with the City of Fort Pierce comprehensive plan data, inventory, and analysis, the project site is not located in any historical districts of the city. There are no rivers, active wells or wellfield protection zones near the project location. An existing historic district map and well location and protection zones map are attached with the letter.

Should you have any questions, please do not hesitate to contact me at 772/879-0477.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Shaikha Abedin'.

Shaikha Abedin, EI

Attachments

cc: File 18-1030 (w/ att)

Velcon Engineering & Surveying, LLC
590 NW Peacock Blvd., Suite 8, Port St. Lucie, FL, 34986
Ph: 772 / 879-0477



April 3rd, 2019

Rebecca Grohall – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: Fort Pierce Self Storage
South of Ohio Avenue
S15, T35S, R 40E
Property ID # 2415-312-0001-010-8
Traffic Statement - Application for Zoning Atlas Map Amendment and Future Land
Use Map Amendment

Dear Ms. Grohall,

This application requests a zoning change from Medium Density Residential (R4) to General Commercial (C3) and future land use change from Medium Density Residential (RM) to General Commercial (GC) to allow the owner to open a self-storage business on his property. More trips will be generated from the rezoning; however, the project site is located approximately 225 ft west of US Highway 1 which can adequately accommodate the increased trips generated from the rezoning and will not have any adverse effects on the neighborhood area.

Should you have any questions, please do not hesitate to contact me at 772/879-0477.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Shaikha Abedin', is written over a white background.

Shaikha Abedin, EI

Attachments

cc: File 18-1030 (w/ att)

Velcon Engineering & Surveying, LLC
590 NW Peacock Blvd., Suite 8, Port St. Lucie, FL, 34986
Ph: 772 / 879-0477



April 3rd, 2019

Rebecca Grohall – Planning Director
City of Fort Pierce Planning Department
100 North US 1, Fort Pierce, FL 34950

Re: Fort Pierce Self Storage
South of Ohio Avenue
S15, T35S, R 40E
Property ID # 2415-312-0001-010-8
Drainage Statement - Application for Zoning Atlas Map Amendment and Future
Land Use Map Amendment

Dear Ms. Grohall,

This application requests a zoning change from Medium Density Residential (R4) to General Commercial (C3) and future land use change from Medium Density Residential (RM) to General Commercial (GC) to allow the owner to open a self-storage business on his property. The project will be served by site grading, inlets and culverts and dry detention area to provide water quality treatment and water attenuation in accordance with City of Ft. Pierce and SFWMD criteria. No significant drainage impacts are anticipated due to this rezoning.

Should you have any questions, please do not hesitate to contact me at 772/879-0477.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Shaikha Abedin', is written over a light blue horizontal line.

Shaikha Abedin, EI

Attachments

cc: File 18-1030 (w/ att)

May 8, 2019

Project: Fort Pierce Storage
Subject: SURVEY REVIEW
To: Vennis Gilmore
From: Rod Reed, PLS
SLC-Engineering Division

All comments are based on the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, per Chapter 5J-17.050 thru 5J-17.052, Florida Administrative Code, pursuant to current Section 472.027, Florida Statutes

SURVEY:

- 1) Please show two bench marks on topo sheet (3) per Ch. 5J-17.052 (12) (a).
- 2) Please state that the accuracy of control measurements meets or exceeds standards based on intended use of survey map, using wording of your choice.
- 3) Please check drawing for appearance of random "rectangles" which effect text on all sheets.
- 4) Please verify last date of field work is consistent with date in title block for survey.

Please provide a written response to all comments

Rod Reed, County Surveyor

St. Lucie County, Fl.
2300 Virginia Avenue
Ft. Pierce, Fl. 34982-5652
www.stlucieco.org
Ph. (772) 462-1721
E-mail reedr@stlucieco.org

ST. LUCIE COUNTY FIRE DISTRICT
FIRE PREVENTION BUREAU
Office of the Fire Marshal



Telephone: (772) 621-3322
Fax: (772) 621-3604

BUREAU OF FIRE PREVENTION
SITE PLAN REVIEW

TO: Site Plan Applicant

SITE PLAN: Fort Pierce Self Storage

REVIEW DATE: May 9, 2019

PLANNER: VENNIS GILMORE

REVIEWED BY: Captain Paul Langel

Site Plan Approved: _____

Site Plan Approved with conditions: X

Site Plan Approval withheld pending written acknowledgement of conditions: _____

Site Plan Rejected: _____

The Following Revisions Are Necessary:

- 1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <http://www.slcfcd.com/permits.htm>**
- 2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.**
- 3. Please provide an electronic copy of the Site Plan (pdf format)**
- 4. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.**

"Our Family Serving Yours"
5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392
Telephone: (772) 621-3400 Fax: (772) 621-3500
www.slcfcd.com



5. **An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4. See “Needed NFPA Fire Flow Calculator Spreadsheet”.**
6. **Fire hydrants (shall be) are provided for buildings other than detached one-and-two-family dwellings IAW both of the following 1) The maximum distance to a fire hydrant from the closest point in the building shall not exceed 400 feet. 2) The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1:18.5.3. Please provide fire flow calculations for hydrants.**
7. **Security gates must either be manned 24 hour/day or provide an access control key switch on the control panel to allow for Fire Department entry in an emergency. Security gates must maintain a clear width of 12 feet when open and provide a means to open the gates manually upon loss of power.**
8. **FD access roads (shall be) are provided such that any portion of an unsprinklered facility or exterior wall is located not more than 150’ from FD access roads as measured by an approved route around the exterior of the building or facility. (450’ for NFPA 13, 13D, 12R sprinklered protected buildings). It appears that buildings 25 and 26 will be required to be sprinkled per this requirement.**

“Our Family Serving Yours”

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392
Telephone: (772) 621-3400 Fax: (772) 621-3500

www.slcfld.com



**BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM**

Meeting Date: 5.16.19
Property Address: S of Ohio Ave. and W of US Hwy. 1
Property Name: Fort Pierce Storage
Project Name:
Planner: Vennis Gilmore

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 6th Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
 - Accessible route
 - Handicapped parking spaces
 - Means of egress
- 7. Change of Use required
 - to include a signed and sealed Life Safety Plan
 - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

Additional Comments/Requirements:

Building Official's or Representative's Signature _____

Date: _____

5/16/19



Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 x3473

Technical Review Committee meeting

May 16, 2019

TECHNICAL REVIEW PROJECT # 19-06000001

Zoning Atlas & Future Land Use Amendments – Fort Pierce Storage

Comments

FPUA W/WW Engineering: Approved, no comment

FPUA Electric & Gas Engineering: Approved, no comment



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

www.fpua.com





THE SUNRISE CITY
FORT PIERCE
POLICE DEPARTMENT
"In Honor We Serve"

Florida

Technical Review Committee meeting

May 16th, 2019

Case # 19-0600001

Zoning atlas and future land use amendment

Fort Pierce storage, Approximately South of Ohio Avenue, West of U.S. Hwy 1

Comments:

No comments.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



To : Vennis Gilmore, Planning Analyst

FROM : John R. Andrews, P.E., City Engineer

**RE : Fort Pierce Storage – Ohio Ave & S. US Highway 1
TRC No. 19-0600001**

DATE : May 15, 2019

This is to advise you that we have completed the review of the following documents as received by this office on May 3, 2019:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Zoning Atlas & FLUA | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | |
|---|---|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend |
| <input checked="" type="checkbox"/> Approval of Zoning Atlas/
FLUA | <input type="checkbox"/> Building Permit <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

ADVISORY COMMENTS:

At the time of submittal for site plan review, the applicant shall:

1. Provide a signed and sealed Boundary and Topographic Survey as executed by a Florida Licensed Land Surveyor and Mapper, refer to City of Fort Pierce Code of Ordinances Section 17-27(a)(7).
2. Provide a site layout that includes a 5' concrete sidewalk adjacent to the development along Ohio Avenue.
3. Provide a site layout that includes the parking for the development in accordance with the City of Fort Pierce Code of Ordinance Sections 17 and 22.

JRA/VB/vb



PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: Zoning Atlas Amendment - Fort Pierce Self Storage - (Parcel ID: 2415-312-0001-010-8)

NOTICES PROVIDED PURSUANT TO: City Code Section 22-143. A,B,C, & D

NOTICE BY NEWSPAPER: August 4, 2019

NOTICE BY MAIL: July 29, 2019

NOTICE BY SIGNS: Planning Board - July 3, 2019, City Commission - August 7, 2019

VERIFIED BY: Vennis Gilmore

TITLE: Planner

SIGNATURE:

DATE: August 7, 2019

Treasure Coast Newspapers

PART OF THE USA TODAY NETWORK

St Lucie News Tribune

1801 U.S. 1, Vero Beach, FL 32960

AFFIDAVIT OF PUBLICATION

CITY OF FORT PIERCE

100 N. U.S. 1

FORT PIERCE, FL 34950

STATE OF WISCONSIN

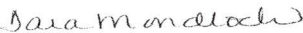
COUNTY OF BROWN

Before the undersigned authority personally appeared, said legal clerk, who on oath says that he/she is a legal clerk of the St Lucie News Tribune, a daily newspaper published at Fort Pierce in St Lucie News Tribune, a daily newspaper published at Fort Pierce in St. Lucie County, Florida: that the attached copy of advertisement was published in the St Lucie News Tribune in the following issues below. Affiant further says that the said St Lucie News Tribune is a newspaper published in Fort Pierce in said St. Lucie County, Florida, and that said newspaper has heretofore been continuously published in said St. Lucie County, Florida, daily and distributed in St. Lucie County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid or promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. The St Lucie News Tribune has been entered as Periodical Matter at the Post Offices in Fort Pierce, St. Lucie County, Florida and has been for a period of one year next preceding the first publication of the attached copy of advertisement.

August 4, 2019



Subscribed and sworn to before on August 5, 2019:



Notary, State of WI, County of Brown

TARA MONDLOCH
Notary Public
State of Wisconsin

My commission expires August 6, 2021

Publication Cost: \$102.96

Ad No: 0003714545

Customer No: 1330884

PO #:

CITY OF FORT PIERCE NOTICE OF PUBLIC HEARING FOR REZONING

The City Commission of the City of Fort Pierce, Florida, pursuant to City Charter and Florida Statute 166.041, will hold Public Hearings on Monday, August 19th, 2019 and Tuesday, September 3rd, 2019 in the City Hall Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida, at their meeting which begins at 6:30 p.m., to consider review and approval of the following:
ORDINANCE 19-036 - AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, REZONING THE PROPERTY LOCATED AT PARCELID: 2415-312-0001-010-8, FROM R-4, MEDIUM DENSITY RESIDENTIAL ZONE, TO C-3, GENERAL COMMERCIAL ZONE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT AND PROVIDING FOR AN EFFECTIVE DATE.

All interested parties may appear at the meeting and be heard with respect to the rezoning. Said Ordinance will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. #1, Fort Pierce, Florida.

ANY PERSON SEEKING TO APPEAL THE DECISION OF THE CITY COMMISSION AS TO THE FOREGOING IS ADVISED THAT A RECORD OF PROCEEDING IS REQUIRED IN ANY SUCH APPEAL AND THAT SUCH PERSON MAY NEED TO INSURE THAT A VERBATIM RECORD OF PROCEEDINGS MADE INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

/s/ Linda W. Cox, City Clerk
Publish: August 4, 2019
TCN3714545

Treasure Coast Newspapers

PART OF THE USA TODAY NETWORK

St Lucie News Tribune
1801 U.S. 1, Vero Beach, FL 32960
AFFIDAVIT OF PUBLICATION

CITY OF FORT PIERCE NOTICE OF PUBLIC HEARING FOR REZONING

The City Commission of the City of Fort Pierce, Florida, pursuant to City Charter and Florida Statute 166.041, will hold a Public Hearing on Monday, September 23, 2019 in the City Hall Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida, at their meeting which begins at 5:05 p.m., to consider review and approval of the following:

ORDINANCE 19-036 - AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA: **REZONING** THE PROPERTY LOCATED AT **PARCEL ID: 2415-312-0001-010-8**, FROM R-4, MEDIUM DENSITY RESIDENTIAL ZONE, TO C-3, GENERAL COMMERCIAL ZONE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT AND PROVIDING FOR AN EFFECTIVE DATE.

All interested parties may appear at the meeting and be heard with respect to the rezoning. Said Ordinance will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. #1, Fort Pierce, Florida.

ANY PERSON SEEKING TO APPEAL THE DECISION OF THE CITY COMMISSION AS TO THE FOREGOING IS ADVISED THAT A RECORD OF PROCEEDING IS REQUIRED IN ANY SUCH APPEAL AND THAT SUCH PERSON MAY NEED TO INSURE THAT A VERBATIM RECORD OF PROCEEDINGS MADE INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

/s/ Linda W. Cox, City Clerk
Publish: 9/8/2019 TCN3774293

CITY OF FORT PIERCE
100 N. U.S. 1

FORT PIERCE, FL 34950

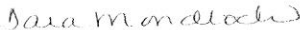
STATE OF WISCONSIN
COUNTY OF BROWN

Before the undersigned authority personally appeared, said legal clerk, who on oath says that he/she is a legal clerk of the St Lucie News Tribune, a daily newspaper published at Fort Pierce in St Lucie News Tribune, a daily newspaper published at Fort Pierce in St. Lucie County, Florida: that the attached copy of advertisement was published in the St Lucie News Tribune in the following issues below. Affiant further says that the said St Lucie News Tribune is a newspaper published in Fort Pierce in said St. Lucie County, Florida, and that said newspaper has heretofore been continuously published in said St. Lucie County, Florida, daily and distributed in St. Lucie County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid or promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. The St Lucie News Tribune has been entered as Periodical Matter at the Post Offices in Fort Pierce, St. Lucie County, Florida and has been for a period of one year next preceding the first publication of the attached copy of advertisement.

September 8, 2019



Subscribed and sworn to before on September 9, 2019:



Notary, State of WI, County of Brown

TARA MONDLOCH
Notary Public
State of Wisconsin

My commission expires August 6, 2021

Publication Cost: \$109.20
Ad No: 0003774293
Customer No: 1330884
PO #:

Meeting Date: 09/23/2019

Re: Major Amendment to Planned Development - Harbour Isle - 835 Seaway Drive

SUBJECT:

Legislative Hearing - Ordinance 19-037 - An Ordinance by the City Commission of the City Of Fort Pierce, Florida; modifying the Harbour Isle Planned Development to revise the previously approved Site Plan for a convenience store with fuel sales on property generally located at 835 Seaway Drive; providing for a severability clause; repealing all Ordinances or parts thereof in conflict herewith; and providing for an effective date. SECOND READING

SUMMARY:

In accordance with Section, 22-40 of the City Code, the applicant is requesting the review and approval of the following (Major Amendment) to the Harbour Isle Planned Development:

1. Allow for the addition of a Fueling Station to be a permitted and allowed use in the Planned Development.
2. Approve a site plan that would include a 5,625 square foot convenience store with fuel sales and associated improvements.

The proposed building is 5,625 square feet in size with twelve fueling positions. All affected City Departments have reviewed the proposed applications for a Major Amendment to a Planned Development & Design Review and have provided conditional approval based on compliance with requirements of City Code. The Planning Board at their July 9, 2019 meeting voted 5-0 to recommend approval of the request to the City Commission. 164 letters were mailed to property owners within 500 feet of the subject property.

As of August 7, 2019, 51 letters have been received in opposition and 2 letters have been received in support. An update of these numbers will be given at the City Commission meeting.

RECOMMENDATION:

Approve, subject to four (4) Conditions:

1. Before a Certificate of Occupancy is issued, a Landscape Bond shall be submitted for all proposed landscaping, pursuant to City Code 22-180.
2. A revised Landscape Plan shall be submitted which provides additional landscaping along the property line that is shared with the residential component of Harbour Isle to establish a 100% opaque screen consistent with City Code 22-187 at the time of Building Permit.
3. A revised Photometric Survey shall be submitted that complies with City Code 22-60(j)(1) at the time of Building Permit.
4. Prior to the issuance of a Site Work permit, the applicant shall provide the Engineering Department a recorded copy of the revised Access Easement Agreement authorizing parking within the limits of the existing 53.17' Access Easement.

ALTERNATIVES:

- Approve with Alternate Conditions
- Disapprove

RESPONSIBLE STAFF:

Brandon C. Creagan, LEED Green Associate, Planner

COORDINATED WITH:

Technical Review Committee

Fiscal Impact

OTHER INFORMATION:

N/A

Attachments

19-037 w/ Updated Conditions
Site Plan Approval Letter
Updated Presentation
Ordinance 19-037 original version
Staff Presentation
Staff Documentation & Supporting Documents
Applicant Presentation & Supporting Documents
Applicant Packet Submitted to City
Intervenor #1 Presentation & Supporting Documents
Intervenor #2 Presentation & Supporting Documents
Affidavit of Notification & Mailing
Public Notification Certification
Proof of Publication
Proof of Publication Updated

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	08/13/2019 11:19 AM
Form Started By: Brandon Creagan		Started On: 08/07/2019 12:01 PM
Final Approval Date: 09/04/2019		

ORDINANCE NO. 19-037

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; **MODIFYING THE HARBOUR ISLE PLANNED DEVELOPMENT** TO REVISE THE PREVIOUSLY APPROVED SITE PLAN FOR A CONVENIENCE STORE WITH FUEL SALES ON PROPERTY GENERALLY LOCATED AT 835 SEAWAY DRIVE; PROVIDING FOR A SEVERABILITY CLAUSE; REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HERewith; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Fort Pierce Code of Ordinances ("City Code") Section 22-40, Planned Development Zone (PD), sets forth a procedure for major modifications to a Planned Development; and;

WHEREAS, on August 4, 2004, the City Commission granted approval for the Planned Development known as Harbour Isle at Hutchinson Island ("Harbour Isle"), and

WHEREAS, on July 26, 2006, the plat for the Harbour Isle subdivision was recorded in Plat Book 43, Pages 31, 31A, & 31B of the Public Records of St. Lucie County, Florida; and

WHEREAS, the current property owner, Harbour Isle Development Commercial, LLC, has submitted a development review application for a major amendment to the Planned Development to allow for two (2) modifications; and

WHEREAS, City Code Section 22-40 requires a major modification to any Planned Development to follow the same procedure as set forth for a new Planned Development request.

WHEREAS, the City of Fort Pierce Planning Board, at its July 9, 2019, meeting, voted 5-0 to recommend approval of the application for Development Review (Major Amendment) to the City Commission; and

NOW, THEREFORE BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1. The preceding "whereas" clauses are ratified and incorporated as the legislative intent of this ordinance.

SECTION 2. The Harbour Isle Planned Development as recorded in Plat Book 43, Pages 31, 31A, & 31B of the Public Records of St. Lucie County, Florida, is hereby amended as follows and as shown in Exhibit "A"

1. Allow for the addition of a fueling station to be a permitted and allowed use in the Planned Development.
2. Approve a site plan that would include a 5,625 square foot convenience store with fuel sales and associated improvements.

SECTION 3. At the Quasi-Judicial Hearing by the City Commission on August 19, 2019, the Mayor and Commission approved the following additional requirements to the Planned Development as conditions of approval:

1. Turning movements from Seaway Drive shall be right in and right out only; and
2. Reinststate the rear driveway connection to Harbour Isle Drive incorporating a shared access agreement with all three parcel owners (2402-500-0009-000-8, 2402-504-0001-000-4, and 2402-504-0002-000-1); and
3. Additional conditions of approval shall attach to the Cumberland Farms site plan.

SECTION 4. All other aspects of the original Harbour Isle Planned Development remain in full force and effect.

SECTION 5. The provisions of this Ordinance are declared to be severable and if any section, sentence, clause, or phrase of this Ordinance shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Ordinance but shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

SECTION 6. All ordinances or parts thereof that may be determined to be in conflict herewith are hereby repealed.

SECTION 7. This Ordinance shall become effective immediately upon final passage.

APPROVED AS TO FORM & CORRECTNESS:

Peter J. Sweeney
City Attorney

STATE OF FLORIDA
COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No. 19-037 was duly advertised in accordance with Section 171.044(2) of the Florida Statutes in the St. Lucie News Tribune on Sunday, August 4, 2019; copy of said Ordinance was made available at the office of the City Clerk to the public upon request; said Ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on August 19, 2019; and was duly introduced, read by title only, and passed on second and final reading September 3, 2019, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HEREWITH, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this September 3, 2019.

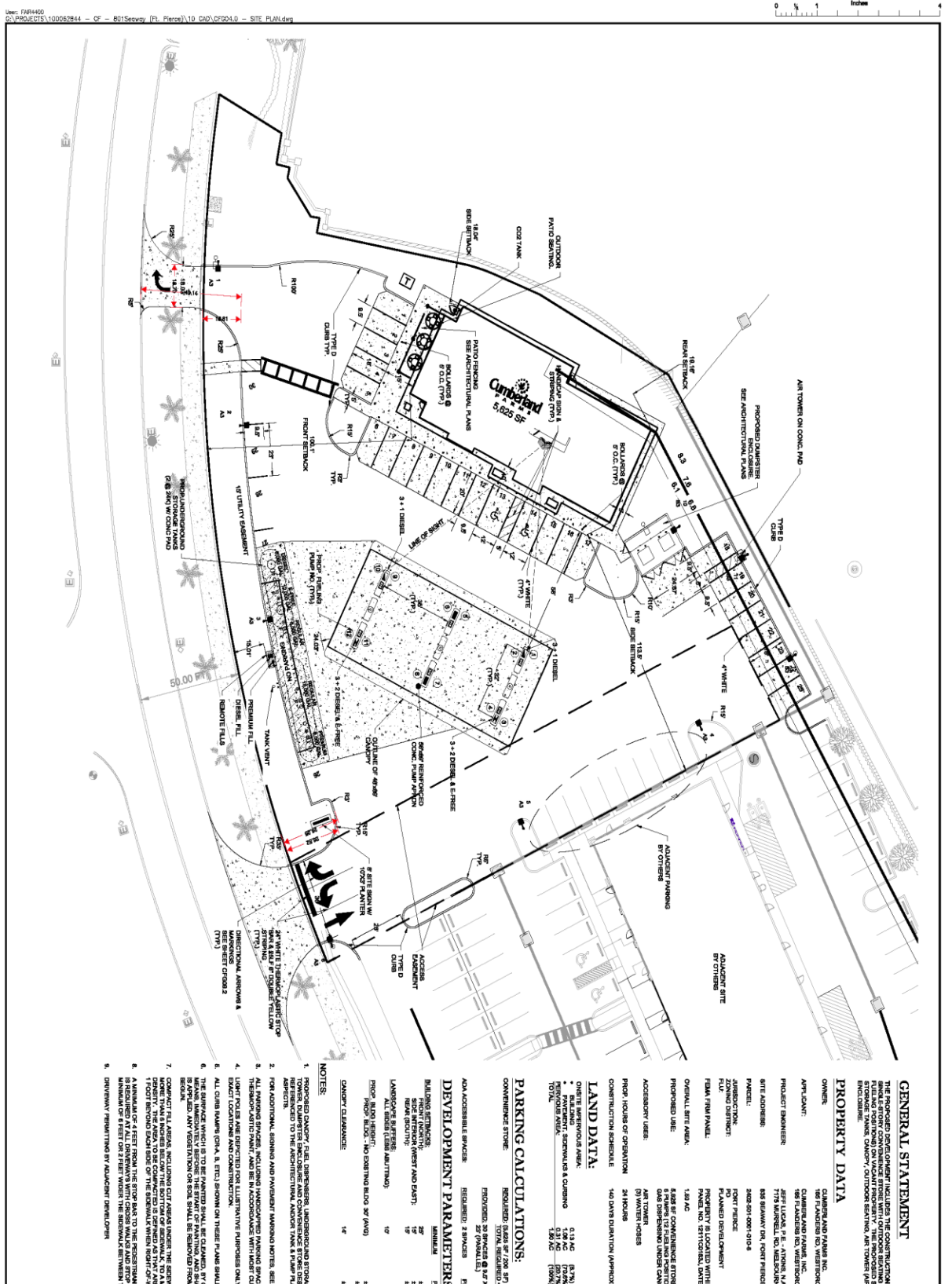
Linda Hudson
Mayor Commissioner

ATTEST:

Linda W. Cox
City Clerk

(CITY SEAL)

EXHIBIT A
Site Plan
Major Modification to Planned Development



GENERAL STATEMENT

THE PROPOSED DEVELOPMENT INCLUDES THE CONSTRUCTION OF THE FOLLOWING: [Detailed description of the development project, including building modifications, parking, and landscaping.]

PROPERTY DATA

OWNER: CLAMBERLAND PARKS INC.
185 CLAMBERLAND RD WEST/CONC
APPLICANT: CLAMBERLAND PARKS INC.
PROJECT ENGINEER: JEFFI LUCAS, P.E., ATTY. IN CHARGE
SITE ADDRESS: 7775 WURNELLE RD, WELLSBORO
PARCEL: 899 SHAWNY DR, NORTH POND
JURISDICTION: NORTH POND
PLANNED DEVELOPMENT: [Details of the planned development, including map number and subdivision name.]

LAND DATA

OVERALL SITE AREA: 1.26 AC
6,542 SF OF CONCRETE DRIVEWAY AND DRIVEWAY
640 DRIVEWAY AND DRIVEWAY
PHOTODUPLICATION: 1.26 AC
ACCIDENTARY USES:
AIR TOWER: 24 HOURS
(3) WATER HOSES
PROPOSED HOURS OF OPERATION: 24 HOURS
CONSTRUCTION SCHEDULE: 140 DAYS DURATION (APPROX)

PARKING CALCULATIONS:

REQUIRED PARKING: 170 SPACES
PROVIDED: 207 SPACES
TOTAL: 170 SPACES
REQUIRED: 170 SPACES
PROVIDED: 207 SPACES
TOTAL: 207 SPACES

DEVELOPMENT PARAMETERS:

PARAMETER	REQUIREMENT	PROVIDED
MINIMUM BUILDING SETBACK	5'	5'
MINIMUM SIDE SETBACK	5'	5'
MINIMUM REAR SETBACK	5'	5'
MINIMUM FRONT SETBACK	5'	5'
MINIMUM SIDE SETBACK (WEST AND EAST)	5'	5'
MINIMUM REAR SETBACK (WEST AND EAST)	5'	5'
MINIMUM FRONT SETBACK (WEST AND EAST)	5'	5'
MINIMUM SIDE SETBACK (EAST AND WEST)	5'	5'
MINIMUM REAR SETBACK (EAST AND WEST)	5'	5'
MINIMUM FRONT SETBACK (EAST AND WEST)	5'	5'
MINIMUM SIDE SETBACK (SOUTH AND NORTH)	5'	5'
MINIMUM REAR SETBACK (SOUTH AND NORTH)	5'	5'
MINIMUM FRONT SETBACK (SOUTH AND NORTH)	5'	5'
MINIMUM SIDE SETBACK (NORTH AND SOUTH)	5'	5'
MINIMUM REAR SETBACK (NORTH AND SOUTH)	5'	5'
MINIMUM FRONT SETBACK (NORTH AND SOUTH)	5'	5'
MINIMUM SIDE SETBACK (WEST AND EAST)	5'	5'
MINIMUM REAR SETBACK (WEST AND EAST)	5'	5'
MINIMUM FRONT SETBACK (WEST AND EAST)	5'	5'
MINIMUM SIDE SETBACK (EAST AND WEST)	5'	5'
MINIMUM REAR SETBACK (EAST AND WEST)	5'	5'
MINIMUM FRONT SETBACK (EAST AND WEST)	5'	5'
MINIMUM SIDE SETBACK (SOUTH AND NORTH)	5'	5'
MINIMUM REAR SETBACK (SOUTH AND NORTH)	5'	5'
MINIMUM FRONT SETBACK (SOUTH AND NORTH)	5'	5'
MINIMUM SIDE SETBACK (NORTH AND SOUTH)	5'	5'
MINIMUM REAR SETBACK (NORTH AND SOUTH)	5'	5'
MINIMUM FRONT SETBACK (NORTH AND SOUTH)	5'	5'

NOTES:

- PROPOSED DRIVEWAY, UTILITY, DISPENSERS, UNDERGROUND STORAGE TANKS, WATER PUMP/GENERATOR AND CONCRETE DRIVEWAY SHALL BE CONSTRUCTED AND COMPLETED BEFORE THE START OF CONSTRUCTION OF THE BUILDING.
- FOR ADDITIONAL SETBACK AND EASEMENT REQUIREMENTS, SEE THE PLANNED DEVELOPMENT MAP.
- ALL PARKING SPACES, INCLUDING HANDICAPPED PARKING SPACES, SHALL BE CONSTRUCTED AND COMPLETED BEFORE THE START OF CONSTRUCTION OF THE BUILDING.
- LANDSCAPING SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION OF THE BUILDING.
- ALL CURBS SHALL BE CONSTRUCTED AND COMPLETED BEFORE THE START OF CONSTRUCTION OF THE BUILDING.
- THE DRIVEWAY SHALL BE CONSTRUCTED AND COMPLETED BEFORE THE START OF CONSTRUCTION OF THE BUILDING.
- CONCRETE FILL AREAS, INCLUDING CURBS, SHALL BE CONSTRUCTED AND COMPLETED BEFORE THE START OF CONSTRUCTION OF THE BUILDING.
- A MINIMUM OF 4 FEET FROM THE DRIVEWAY TO THE PROPOSED DRIVEWAY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION OF THE BUILDING.
- DRIVEWAY PERMITTING BY ADJACENT DEVELOPER.



August 21, 2019

Jeffery Lucas, Atkins, NA (Applicant Representative)
7175 Murrell Road
Melbourne, FL 34940

SHIP Group, Robert Malatesta and Annette Rudd, Party Intervenors
c/o Max Forgey, AICP, Representative
4704 Vincennes Blvd.
Cape Coral, FL 33904

Mr. Keith J. Madsen, Party Intervenor
38 Harbour Isle East Unit 103
Fort Pierce, FL 34949

Dear Ladies and Gentlemen:

The City Commission conducted a Quasi-Judicial Hearing on Monday, August 19, 2019 to consider on first reading Ordinance 19-037 modifying the Harbour Isle Planned Development to revise the site plan to allow for a 5,625 square foot convenience store with fuel sales on property generally located at 835 Seaway Drive; Parcel ID: 22402-501-0001-010-8. After deliberations, the Ordinance and site plan were approved with the following conditions:

1. Before a Certificate of Occupancy is issued, a Landscape Bond shall be submitted for all proposed landscaping, pursuant to City Code 22-180.
2. A revised Landscape Plan shall be submitted which provides additional landscaping along the property line that is shared with the residential component of Harbour Isle to establish a 100% opaque screen consistent with City Code 22-187 at the time of Building Permit.
3. A revised Photometric Survey shall be submitted that complies with City Code 22-60(j)(1) at the time of Building Permit.
4. Prior to the issuance of a Site Work permit, the applicant shall provide the Engineering Department a recorded copy of the revised Access Easement Agreement authorizing parking within the limits of the existing 53.17' Access Easement.
5. Increase onsite stormwater storage to 1" with approval by the City Engineer.
6. Addition of pervious pavers on the site to include parking spaces as appropriate.
7. All other conditions as approved in Ordinance 19-037 (draft attached).

The City Commission will conduct a legislative public hearing for the second reading of Ordinance 19-037 on September 3, 2019 at 6:30 p.m. which will incorporate all of the conditions of approval. Anyone interested in speaking will be limited to three minutes at this public hearing.

Very truly yours,

Linda W. Cox
City Clerk

cc: Rebeca Guerra, Interim Planning Director
madsenk1@verizon.net
max@zoningtechnologies.com
zmiddlebrooks@metrogroupdevelopment.com
ralfbrookes@gmail.com
anetrudd@aol.com
jhester86@gmail.com
bema328@aol.com

Major Amendment to a Planned Development



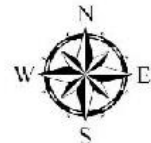
835 Seaway Drive



Aerial Map



Major Amendment to PD
Cumberland Farms
Aerial Map



Future Land Use Map



Major Amendment to PD
Cumberland Farms
Future Land Use Map



Zoning Map



Major Amendment to PD
Cumberland Farms
Zoning Map

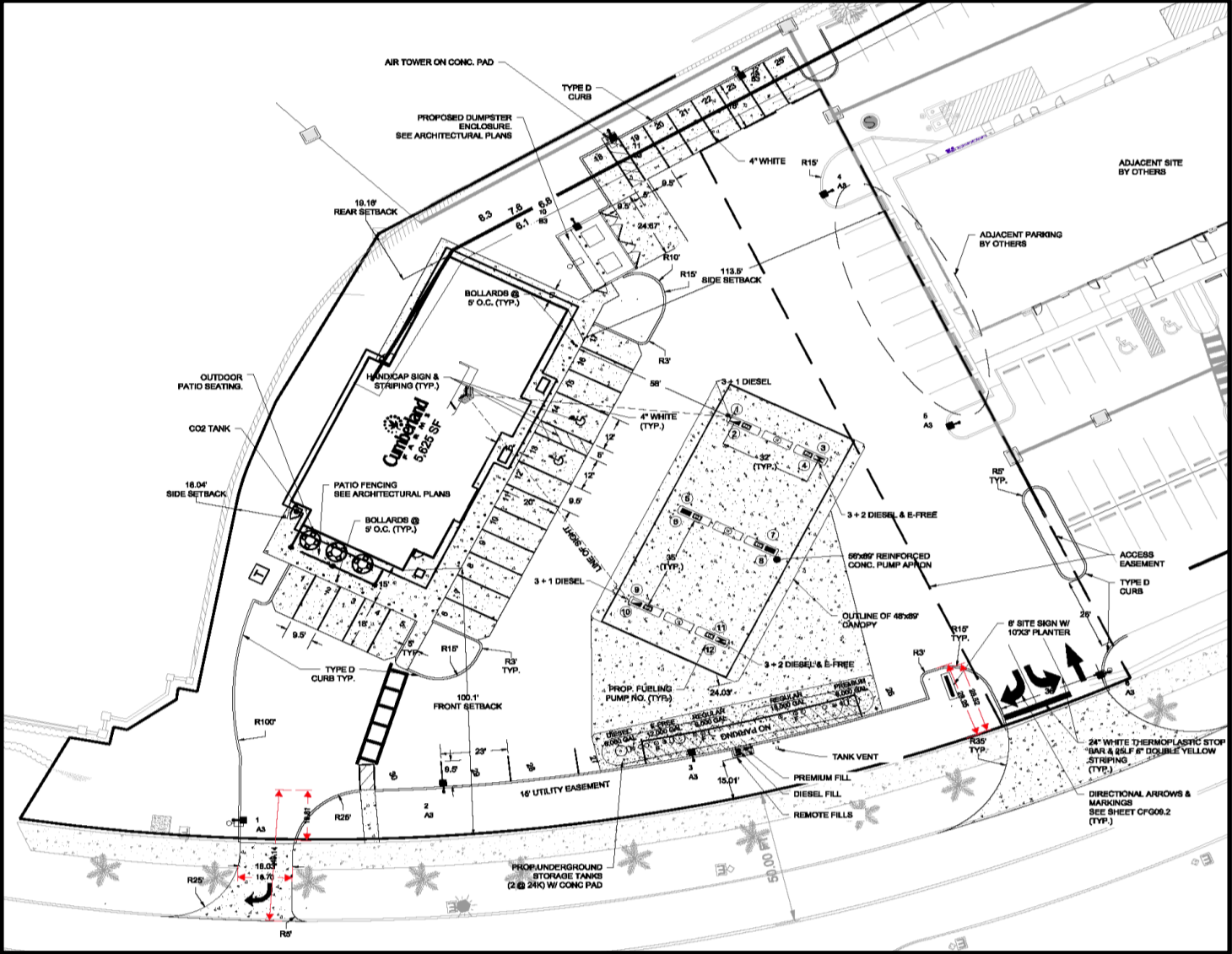


Major Amendment to PD

Design Review approval to construct a 5,625 square foot fueling station & a Major Amendment to a PD to add a fueling station as a permitted use

- Staff recommends **Approval** with seven (7) Conditions
 - The area where this fueling station will be located is designated as commercial space and the proposed development is a commercial use.
 - The project is consistent with the City's Land Development Code and Comprehensive Plan.

Site Plan



Notifications



164 Notifications

3 = In favor

2 = No Comment

76 = In Opposition (46.3%)

If 20% or more of property owners within 500 feet are in opposition, an **Approval** will require a concurring four-fifths vote by the City Commission.

Staff Recommendation

Staff recommends that the City Commission **APPROVE** the plan as presented with the following four (4) Conditions

1. Before a Certificate of Occupancy is issued, a Landscape Bond shall be submitted for all proposed landscaping, pursuant to City Code 22-180.
2. A revised Landscape Plan shall be submitted which addresses all inconsistencies. Provide additional landscaping along the property line that is shared with the residential component of Harbour Isle to establish a 100% opaque screen.
3. A revised Photometric Survey shall be submitted which addresses the inconsistencies with the Calculation Summary table.
4. Prior to the issuance of a Site Work permit, the applicant shall provide the Engineering Department a recorded copy of the revised Access Easement Agreement authorizing parking within the limits of the existing 53.17' Access Easement.

Staff Recommendation

5. Turning movements from Seaway Drive shall be right in and right out only
6. Reinstate the rear driveway connection to Harbour Isle Drive incorporating a shared access agreement with all three parcel owners (2402-500-0009-000-8, 2402-504-0001-000-4, and 2402-504-0002-000-1).
7. Additional conditions of approval shall attach to the Cumberland Farms site plan.

CC Recommendations

Possible actions of the City Commission:

- APPROVAL of the Major Amendment to PD with no changes.
 - Staff recommends that the City Commission APPROVE, subject to seven (7) Conditions of Approval.
 - Approval of the Major Amendment will require a 4/5 vote from the City Commission.
- APPROVAL of the proposed Major Amendment to PD with changes or additional Conditions.
- DISAPPROVAL of the proposed Major Amendment to PD.

Major Amendment to a Planned Development



835 Seaway Drive

ORDINANCE NO. 19-037

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; MODIFYING THE HARBOUR ISLE PLANNED DEVELOPMENT TO REVISE THE PREVIOUSLY APPROVED SITE PLAN FOR A CONVENIENCE STORE WITH FUEL SALES ON PROPERTY GENERALLY LOCATED AT 835 SEAWAY DRIVE; PROVIDING FOR A SEVERABILITY CLAUSE; REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HERewith; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Fort Pierce Code of Ordinances ("City Code") Section 22-40, Planned Development Zone (PD), sets forth a procedure for major modifications to a Planned Development; and;

WHEREAS, on August 4, 2004, the City Commission granted approval for the Planned Development known as Harbour Isle at Hutchinson Island ("Harbour Isle"), and

WHEREAS, on July 26, 2006, the plat for the Harbour Isle subdivision was recorded in Plat Book 43, Pages 31, 31A, & 31B of the Public Records of St. Lucie County, Florida; and

WHEREAS, the current property owner, Harbour Isle Development Commercial, LLC, has submitted a development review application for a major amendment to the Planned Development to allow for two (2) modifications; and

WHEREAS, City Code Section 22-40 requires a major modification to any Planned Development to follow the same procedure as set forth for a new Planned Development request.

WHEREAS, the City of Fort Pierce Planning Board, at its July 9, 2019, meeting, voted 5-0 to recommend approval of the application for Development Review (Major Amendment) to the City Commission; and

NOW, THEREFORE BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1. The preceding "whereas" clauses are ratified and incorporated as the legislative intent of this ordinance.

SECTION 2. The Harbour Isle Planned Development as recorded in Plat Book 43, Pages 31, 31A, & 31B of the Public Records of St. Lucie County, Florida, is hereby amended as follows and as shown in Exhibit "A"

1. Allow for the addition of a fueling station to be a permitted and allowed use in the Planned Development.
2. Approve a site plan that would include a 5,625 square foot convenience store with fuel sales and associated improvements.

SECTION 3. All other aspects of the original Harbour Isle Planned Development remain in full force and effect.

SECTION 4. The provisions of this Ordinance are declared to be severable and if any section, sentence, clause, or phrase of this Ordinance shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Ordinance but shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

SECTION 5. All ordinances or parts thereof that may be determined to be in conflict herewith are hereby repealed.

SECTION 6. This Ordinance shall become effective immediately upon final passage.

APPROVED AS TO FORM & CORRECTNESS:

Peter J. Sweeney
City Attorney

STATE OF FLORIDA
COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No. 19-037 was duly advertised in accordance with Section 171.044(2) of the Florida Statutes in the St. Lucie News Tribune on Sunday, August 4, 2019; copy of said Ordinance was made available at the office of the City Clerk to the public upon request; said Ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on August 19, 2019; and was duly introduced, read by title only, and passed on second and final reading September 3, 2019, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HERewith, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this September 3, 2019.

Linda Hudson
Mayor Commissioner

ATTEST:

Linda W. Cox
City Clerk

(CITY SEAL)

Major Amendment to a Planned Development



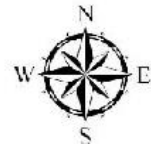
835 Seaway Drive



Aerial Map



Major Amendment to PD
Cumberland Farms
Aerial Map



Future Land Use Map




Major Amendment to PD
Cumberland Farms
Future Land Use Map



Zoning Map



 Subject Site



Major Amendment to PD
Cumberland Farms
Zoning Map

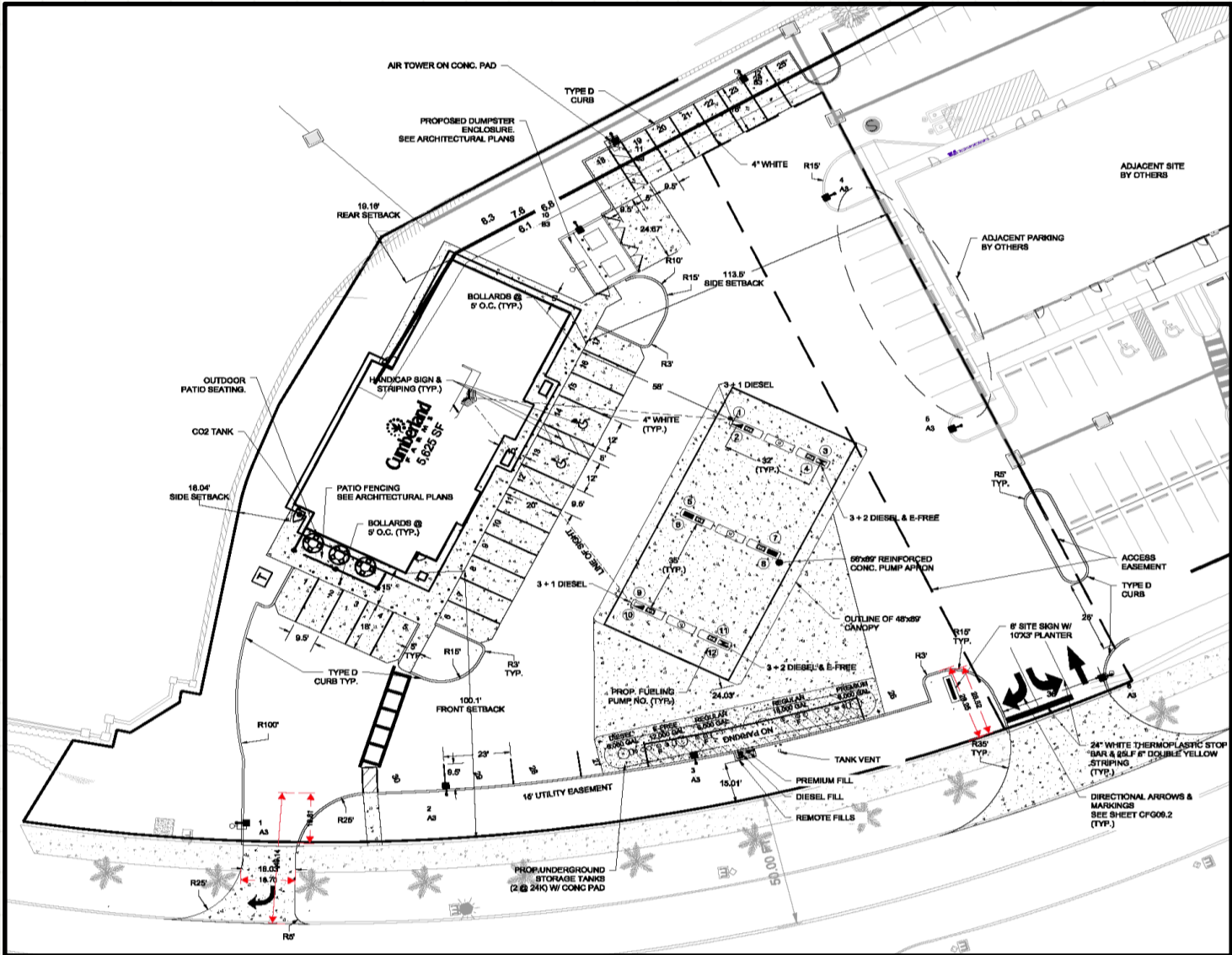


Major Amendment to PD

Design Review approval to construct a 5,625 square foot fueling station & a Major Amendment to a PD to add a fueling station as a permitted use

- Staff recommends **Approval** with four (4) Conditions
 - The area where this fueling station will be located is designated as commercial space and the proposed development is a commercial use.
 - The project is consistent with the City's Land Development Code and Comprehensive Plan.

Site Plan



Notifications



164 Notifications

2 = In favor

2 = No Comment

54 = In Opposition (32.9%)

If 20% or more of property owners within 500 feet are in opposition, an **Approval** will require a concurring four-fifths vote by the City Commission.

Staff Recommendation

Staff recommends that the City Commission **APPROVE** the plan as presented with the following four (4) Conditions

1. Before a Certificate of Occupancy is issued, a Landscape Bond shall be submitted for all proposed landscaping, pursuant to City Code 22-180.
2. A revised Landscape Plan shall be submitted which addresses all inconsistencies. Provide additional landscaping along the property line that is shared with the residential component of Harbour Isle to establish a 100% opaque screen.
3. A revised Photometric Survey shall be submitted which addresses the inconsistencies with the Calculation Summary table.
4. Prior to the issuance of a Site Work permit, the applicant shall provide the Engineering Department a recorded copy of the revised Access Easement Agreement authorizing parking within the limits of the existing 53.17' Access Easement.

CC Recommendations

Possible actions of the City Commission:

- APPROVAL of the Major Amendment to PD with no changes.
 - Staff recommends that the City Commission APPROVE, subject to four (4) Conditions of Approval.
 - Approval of the Major Amendment will require a 4/5 vote from the City Commission.
- APPROVAL of the proposed Major Amendment to PD with changes or additional Conditions.
- DISAPPROVAL of the proposed Major Amendment to PD.

Major Amendment to a Planned Development



835 Seaway Drive



TO: Nicholas Mimms, P.E., City Manager

THROUGH: Rebeca Guerra, AICP, LEED-AP, CPD, Interim Planning Director

FROM: Brandon Creagan, LEED Green Associate, Planner

SUBJECT: **Application for Major Amendment to a PD and Design Review
 Cumberland Farms
 835 Seaway Drive**

BOARD DATE: August 19, 2019

STAFF REPORT

Owner: Harbour Isle Development Commercial, LLC
 825 Seaway Drive
 Fort Pierce, FL 34949

Representative: Atkins, NA (Jeffery Lucas)
 7175 Murrell Road
 Melbourne, FL 34940

Applicant's Request: Design Review approval to construct a 5,625 square foot fueling station & a Major Amendment to a Planned Development (PD) to amendment to add a fueling station as a permitted use

Location: 835 Seaway Drive

Parcel ID: 2402-501-0001-010-8

Current Zoning: Planned Development (PD)

Future Land Use: Hutchinson Island Mixed Use (HIMU)

Surrounding Zoning:

North	East	South	West
OS1	PD	PD	PD

Site Size: 1.50 Acres

Utilities: FPUA

Staff Analysis: Request

In accordance with Section, 22-40 of the City Code, the applicant is requesting the review and approval of the following (Major Amendment) to the Harbour Isle Planned Development:

1. Allow for the addition of a Fueling Station to be a permitted and allowed use in the Planned Development, and
2. Approve a site plan that would include a 5,625 square foot convenience store with fuel sales and associated improvements.

History:

On September 20, 2004, the City Commission granted approval for the Planned Development known as "Harbour Isle at Hutchinson Island." This PD consisted of both residential and commercial components. The commercial aspects of the project are located along Seaway Drive. One of the commercial developments proposed was a 15,000 square foot retail building. This commercial development was never built and the property remains vacant.

On January 21, 2019, the City Commission approved a 11,050-square foot retail development known as "Harbour Cay Shoppes" to be developed on the western parcel that abuts the subject property. Additionally, Harbour Cay Shoppes requested a reduction in the approved square footage of their building to accommodate an access driveway that needed to be reconfigured. On April 24, 2019, a Minor Amendment for the reduction (10, 530 sq. ft) in the building's square footage was approved through the Administrative Review process.

Design Review

The City's Design Review guidelines provide approaches to design situations that will contribute to the existing and developing character of the City. The intent of the City's design review process is not to stifle innovative architecture, but rather to assure respect for, and reduce incompatible and adverse impacts on, the visual experience throughout the City. This may be accomplished through respectful interpretation of vernacular building typologies and styles in proposed development. Designs should take cues from traditional proportioning systems and be synonymous with a chosen style.

The fueling station's design presentation is intended to blend in with the surrounding architecture in the area. Most notably, Chucks Seafood that is located nearby and the adjacent Harbour Cay Shoppes that was recently approved for development by the City Commission. The applicants have provided renderings of what the building will look like against the back drop of its surroundings. The provided 3D renderings show that the development would not overtly stand out, architecturally, from the surrounding buildings. The gas canopy will not feature a flat roof, but will instead feature a design that seeks to mimic the design and feel of the main building.

Site & Landscaping Plan

The proposed building is 5,625 square feet in size with twelve fueling positions. There are twenty-nine parking spaces that are required and the applicant is providing thirty parking spaces. Two handicap parking spaces are also required and are being provided as part of the thirty spaces. They will also be providing bicycle

parking in accordance with City Code 22-60(f)(1)(a). The Lighting Plan provided appears to be consistent with City Code Section 22-60(j)(1)(a), which stipulates that commercial projects shall have site lights that are a minimum average of two footcandles. It should be noted that Staff has detected some potential errors on the calculation summary and have requested that the applicant address this. After the Planning Board meeting the applicant addressed the above with Planning Staff and the error has been corrected on the plans, the applicant will submit a revised Lighting Plan with the Building Permit.

The Landscape Plan provides for seven Live Oaks, fourteen Sabal Palms, & six Mahogany Trees, as well as 551 various types of shrubs and groundcovers. Upon review of the Landscape Plan, Staff notes that it appears to be consistent with City Code 22-187, General Landscaping requirements. Staff has detected, however, some potential errors between the Code requirement table that the applicant provided on the Landscape Plan. Staff is asking the applicant to address this and provide clarification as it does not match the Landscape Plan provided. After the Planning Board meeting the applicant addressed the landscaping with Planning Staff, the applicant will have a revised Landscape Plan submitted with the Building Permit. The site plan does provide for pedestrian cross access from the sidewalk on Seaway Drive to the front door of the building.

Traffic

The Traffic Impact Report provided by the applicant incorporates data for not only the Cumberland Farms, but also for the recently approved Harbour Cay Shoppes. Staff has instead utilized the Capacity Analysis numbers provided as that data is germane only to the Cumberland Farms. The Capacity Analysis has determined that there will be an increase of 2,200 new additional daily trips that will be generated by the proposed project. Of these trips, 53 AM peak hour trips and 19 PM peak hour trips will enter into the site and 58 AM peak hour trips and 18 PM peak hour trips be dispersed onto the surrounding roadway network. The presented increase in daily trips has been stated to have no impact on the levels of service (LOS) within the project radius of the impact area. It should be noted, the traffic numbers presented take into account that the current Cumberland Farms site, with its associated traffic impact, is still active and in operation.

Technical Review Committee

All affected City Departments have reviewed the proposed applications for a Major Amendment to a Planned Development & Design Review and have provided conditional approval based on compliance with requirements of City Code. The comments generated from the technical review, and any responses by the applicant, are provided for review.

Planning Board:

The Planning Board at their July 9, 2019 meeting voted 5-0 to recommend approval of the request to the City Commission.


Public Notification:

164 letters were mailed to property owners within 500 feet of the subject property. As on August 7, 2019 49 letters have been received in opposition and 2 letters have been received in support. An update will be given at the City Commission meeting.

Staff Recommendation

The requested Applications for a Major Amendment to the Planned Development and Design Review meets the requirements of the City Code and are found to be consistent with the City's Comprehensive Plan. Therefore, Staff recommends **APPROVAL** of the requests with the following four (4) conditions:


1. Before a Certificate of Occupancy is issued, a Landscape Bond shall be submitted for all proposed landscaping, pursuant to City Code 22-180.
2. A revised Landscape Plan shall be submitted which provides additional landscaping along the property line that is shared with the residential component of Harbour Isle to establish a 100% opaque screen consistent with City Code 22-187 at the time of Building Permit.
3. A revised Photometric Survey shall be submitted that complies with City Code 22-60(j)(1) at the time of Building Permit.
4. Prior to the issuance of a Site Work permit, the applicant shall provide the Engineering Department a recorded copy of the revised Access Easement Agreement authorizing parking within the limits of the existing 53.17' Access Easement.

 Subject Site



**Major Amendment to PD
Cumberland Farms
Aerial Map**




 Subject Site



**Major Amendment to PD
Cumberland Farms
Future Land Use Map**



 Subject Site



**Major Amendment to PD
Cumberland Farms
Zoning Map**





April 17, 2019

Jeffrey Lucas (Atkins NA)
7175 Murrell Road
Melbourne, FL 34940

SUBJECT: Cumberland Farms – 835 Seaway Drive
TECHNICAL REVIEW PROJECT: # 19-43900002
DEVELOPMENT & DESIGN REVIEW (MAJOR AMENDMENT TO PD)

Comments:

1. The site plan denotes a 23 foot tall sign along Seaway Drive. Per City Code 15-6(b)(3)(a), Sites that are less than or equal to three (3) acres shall have a maximum sign height of ten (10) feet. Because this project is in a Planned Development a Variance would not be allowed. Please adjust the height so that both the planter and sign are no more than 10 feet combined. Please note that all signs will be approved separately under individual Building Permits.
2. Provide documentation of the proposed cross access agreement with the adjacent property owner.
3. A lighting plan or photometric survey that is consistent with City Code 22-60(j)(1)(a) will be required at the time of Building Permit.
4. Advisory Comment: If possible please provide trip generation numbers for the current Cumberland Farms Site to compare the number of trips on the current site to the number of anticipated trips on the proposed site.
5. Provide bike parking pursuant to City Code 22-60 (f)(1)(a)

Please provide a written response to all TRC comments and provide submittal (10 hard copies/1 digital copy) of all materials by April 30, 2019 to advance to the Planning Board. The presented review is specific to the proposed facility. Please contact me should you have any questions regarding the project at (772) 467-3742 or by e-mail: bc Reagan@city-ft pierce.com.

Sincerely,

Brandon Creagan, LEED Green Associate
Planner



To : Brandon Creagan, Planner

FROM : John R. Andrews, P.E., City Engineer

**RE : Cumberland Farms – 835 Seaway Drive
 Development Design Review
 TRC No. 19-43900002**

DATE : June 5, 2019

JRA

RECEIVED
 JUN 06 2019
 CITY OF FORT PIERCE
 PLANNING & ZONING

This is to advise you that we have completed the review of the following documents as received by this office on June 3, 2019:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Development Design Submittal Package | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- Recommend Do Not Recommend
- Approval of Development Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

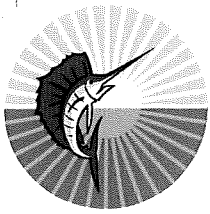
See attached for engineering advisory comments

ENGINEERING ADVISORY COMMENTS:

1. **Advisory Comment:** Prior to issuance of a Site Work permit, the applicant shall provide a recorded copy of the revised Access Easement Agreement authorizing parking within the limits of the existing 53.17' Access Easement.
2. **Advisory Comment:** The traffic study submitted to FDOT for pre-approval was based on an additional access through the Harbour Isle development. How will the elimination of this ingress/egress access affect the traffic flow along Seaway Drive? During review of the Site Work application, the applicant will be asked to provide a copy of the FDOT Access permit issued based on an updated traffic study.

JRA/TST/tst

TST



THE SUNRISE CITY
FORT PIERCE
 ENGINEERING
 DEPARTMENT

Florida

To : Brandon Creagan, Planner

FROM : John R. Andrews, P.E., City Engineer

**RE : Cumberland Farms – 835 Seaway Drive
 Development Design Review
 TRC No. 19-4390002**

DATE : May 9, 2019

JRA

RECEIVED
 MAY 14 2019
 CITY OF FORT PIERCE
 PLANNING & ZONING

This is to advise you that we have completed the review of the following documents as received by this office on April 30, 2019:

- Development Design Submittal Package
- Test Reports & Related Documents
- Record Drawings
- Clearances from all applicable Local, State and Federal Agencies
- P/D Drawings
- Certificate of Completion
- Permits from applicable Local, State & Federal Agencies

Based on our reviews and appropriate site final inspection, we

- Recommend
- Do Not Recommend
- Approval of Development
- Building Permit
- C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

See attached for engineering comments

Q:\ENGINEERING\Site Development Projects\Cumberland Farms\Seaway Drive\Site Plan\Submittal No. 2 - 043019\Development Comments - 050919.docx

ENGINEERING COMMENTS:

1. The project boundaries do not coincide with a recent plat submittal for subdivision of Tract D-1; please modify the site plan accordingly, specifically the eastern and northern property lines.
2. Add a note to the site plan specifying the relocation of the two (2) SR A1A streetlights and one (1) royal palm tree must be coordinated with the City of Fort Pierce Engineering Department.
3. Relocate all parking from within the limits of the 53.17' Access Easement in accordance with the requirements specified in the recorded agreement; refer to ORB 4185, Page 1545, or provide a revised recorded Access Easement permitting parking.
4. It does not appear that the appropriate landscape buffers are in place between the building and the proposed detention area; refer to Code of Ordinances Section 22-187(4).
5. All detention and retention areas are required to be screened with a 36" hedge per City of Fort Pierce Code of Ordinances Section 17-34; please revise the landscape plan accordingly.
6. The new detention area appears to encroach into the existing oak trees root system as the trees will be located within the detention bank; how will this be accomplished without damaging the root system and ultimately the trees?
7. The demolition plan reflects the removal of six (6) oak trees along the southern property line yet the landscape plan identifies four (4) of these oak trees to remain, please identify the size of these trees and provide the appropriate mitigation calculations.
8. The submitted traffic report inaccurately identified Seaway Drive as a four-lane roadway between Indian River Drive and Harbour Isle Drive (refer to Exhibits 2 thru 5). The applicant shall revise the exhibits and applicable roadway/intersection analysis to reflect Seaway Drive as a two-lane roadway east of Causeway Cove Marina located near the base of the bridge.
9. Relocate the proposed site lights situated at the two driveways, from within the limits of the 15' Utility Easement.
10. Remove the mitered endwalls and culvert pipe from the two driveways, as the SR A1A drainage system is void of roadside swales.
11. Add a stop sign and stop bar to the eastern driveway.
12. Advisory Comment: The traffic study submitted to FDOT for pre-approval was based on an additional access through the Harbour Isle development. How will the elimination of this ingress/egress access affect the traffic flow along Seaway Drive? During review of the Site Work application, the applicant will be asked to provide a copy of the FDOT Access permit issued based on the updated traffic study.

JRA/TST/tst





TO : Brandon Creagan, Planner

FROM : John R. Andrews, P.E., City Engineer

**RE : Cumberland Farms – 835 Seaway Drive
Development Design Review
TRC No. 19-4390002**

DATE : April 17, 2019

JRA

This is to advise you that we have completed the review of the following documents as received by this office on April 5, 2019:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Development Design Submittal Package | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- Recommend Do Not Recommend

- Approval of Development Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

See attached for engineering comments

ENGINEERING COMMENTS:

1. Update the site plan to identify all property boundary dimensions and bearings.
2. The site plan shall include a legal description of the property.
3. The project boundaries do not coincide with a recent plat submittal for subdivision of Tract D-1; please modify the site plan accordingly.
4. The survey submitted was not certified nor did it identify all recorded easements situated within the limits of the property. Please update the survey to include project boundaries per the recently submitted plat documents, recorded easements, total site area, and any other pertinent information as specified Section 17-27 of the City of Fort Pierce Code of Ordinances.
5. Update the site plan to reflect all impacted existing improvements (streetlights, palm trees, etc.) located with SR A1A and the proposed relocation these items.
6. Relocate the northeastern detention area to the rear of the property as specified in the City of Fort Pierce Code of Ordinances Section 17-34(c).
7. Relocate all parking from within the limits of the 53.17' Access Easement in accordance with the requirements specified in the recorded agreement; refer to ORB 4185, Page 1545.
8. Provide a copy of the Auto-Turn analysis depicting the movements of a fuel tanker truck servicing the fuel tanks.
9. Provide a copy of the traffic report supporting the specified peak hour traffic as specified on the submitted Transportation Analysis. The report shall include information required under Section 22-217 for large-scale developments.
10. The site plan reflects a 15' utility easement along the north side of the parcel; is this existing or proposed and to whose benefit?

JRA/TST/tst

TST



BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM

Meeting Date: 4.18.19
Property Address: 835 Seaway
Property Name:
Project Name: Cumberland Farms
Planner: Brandon Creagan

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
2. Pre-construction meeting with the City's Building Department is requested.
3. Any construction will need to meet the requirements of the Florida Building Code 6th Edition.
4. Means of egress is required.
5. Means of ingress is required.
6. Must meet the following Accessibility requirements:
- Accessible route
- Handicapped parking spaces
- Means of egress
7. Change of Use required
- to include a signed and sealed Life Safety Plan
- to include a signed and sealed detailed comprehensive building plan.
8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
9. Flood Development Permit required.
10. Building Permit required.
11. Signed and sealed construction drawings required.
12. Will need to meet the Fire Code.
13. Sprinkler system is required.
14. Smoke alarm system is required.
15. Other

Additional Comments/Requirements:

Empty rectangular box for additional comments or requirements.

Building Official's or Representative's Signature [Signature] Date: 4/17/19



Technical Review Committee meeting

April 18th, 2019

Case # 19-43900002

Development and design review

Cumberland Farms, 835 Seaway Dr., Ft Pierce

Comments:

Please consider moving the outdoor seating area further out (sliding the entire area towards the front of the building) to maximize the opportunity for natural surveillance of the fuel pumping area and general parking area by the users of that outdoor space.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 x3473

Technical Review Committee meeting

April 18, 2019

TECHNICAL REVIEW PROJECT # 19-43900002

Development & Design Review – Cumberland Farms – 835 Seaway Drive

Comments

FPUA W/WW Engineering: Approved

FPUA Electric & Gas Engineering: Approved - Both electric and fiber optic services are available to the site. Utility easement will be require for the propose FPUA facilities.



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

www.fpua.com





ST. LUCIE COUNTY
PLANNING & DEVELOPMENT SERVICES
TECHNICAL REVIEW LETTER

TO: Brandon Creagan, LEED Green Associate, Planner

FROM: Kori Benton, Senior Planner

DATE: April 18, 2019

SUBJECT: **Development Review – Development & Design Review – Cumberland Farms – 835 Seaway Drive**
Technical Review Project: #19-43900002

The St. Lucie County Planning & Development Services Department has completed a review of the April 4, 2019 distribution of Technical Review Project: #19-43900002.

Background

Application for Development (Major Amendment to PD) & Design Review for Cumberland Farms located at 835 Seaway Dive. The parcel is zoned PD, Planned Development with a Future Land-Use of HIMU, Hutchinson Island Mixed Use. The parcel ID for the property is 2402- 501-0001-010-8. The applicant would like to develop a gas station at the front of the Harbour Isle Development, along Seaway Drive. The proposed fueling station and convenience store will be approximately 5,625 square feet with 12 fueling positions.

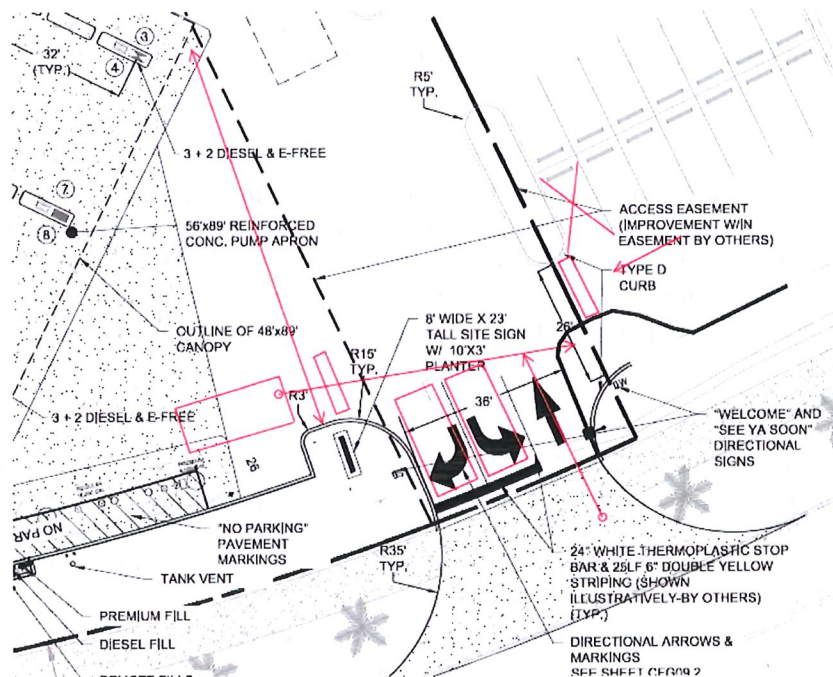
Review Comments

1. Please provide a Traffic Impact Report for the proposed development, inclusive of driveway analysis. Based upon the projected trip generation, access points, roadway level of service, turn lanes may be recommended. In review of the project size and type, ITE Use Code 960, Super Convenience Market/Gas Station, based upon the independent review variable of 1,000 sq. ft. GFA, the project is estimated to generate 4707 AADT, whereas much may be pass-by, however such analysis should be conducted. Based upon the proposed traffic generation, greater capacity for vehicle stacking (in an organized fashion) is encouraged to avoid back-up into Seaway Drive.
2. The City of Fort Pierce in encouraged to conduct driveway analysis of the proposed adjustment, and corresponding adjustment pending to the west, including proposed driveway location(s), internal stacking/turn lanes, proximity of the cross access driveway to the eastern parcel to the property line, future driveway location for the parcel to the west. Restoration of internal connection would provide HI residents access without placing an external trip onto the roadway.

General Note(s):

- What are the proposed hours of operation for this establishment? The previously approved project encompassed a neighborhood commercial use, whereas the proposal appears to be a general commercial use, increase intensity for the Planned Development, with adjacent residences. The original plan adopted placed the commercial building towards the right-of-way to provide enhancement urban design, as well as greater separation of the commercial operation from adjacent residential units. Limiting hours of operation may improve compatibility, especially with the relocated building(s).
- Please consider a pedestrian connection between the proposed establishment and the development considered to the west.

- Is the applicant providing a loading space/zone for deliveries of stock or fuel? The loading area is encouraged to be located outside of the front yard, but in an area which may minimize impacts to the adjacent residences.
- The proposed parallel parking spaces (27-30) appear to conflict with the adjacent two-way driveway which reduces to a one-way exit, at the adjacent driveway. The spaces would cause movements against interior traffic flow.
- The alignment of the project's drive-aisle approaching the joint drive and adjacent project's northern most row of parking appear to cause an unsafe condition, if vehicles seek to traverse across this full access driveway to enter the western project:



- The applicant is proposing a reduction in vehicular use area landscaping based upon "preserved trees" which were planted (required) as part of the PD. The trees are required and not pre-existing to the Planned Development, therefore should not be eligible. The landscape plan should be amended to reflect the required interior vehicular use area landscaping.
- Please review clear vision areas as it pertains to proposed driveways, landscaping, etc.

Please contact me at 772-462-2518 if you have any questions or would like to discuss the presented comments.

Ordinance No. K-113 entitled, "AN ORDINANCE **REZONING** PROPERTY GENERALLY LOCATED **EAST OF SOUTH CAUSEWAY BRIDGE ON THE SOUTH SIDE OF SEAWAY DRIVE**, FROM R-3, SINGLE FAMILY MODERATE DENSITY ZONE, TO PUD, PLANNED UNIT DEVELOPMENT ZONE, REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HERewith, AND PROVIDING FOR AN EFFECTIVE DATE." was placed on first reading and read by title only. (Property Owner: Causeway Island Trust)

Mayor Enns said he is sure all of them have had some contact with either Smithsonian or the applicant or others on this. Let the record reflect that they have. They are not trying to hide anything. (The Commissioners agreed they had been contacted regarding this item from people on both sides of the issue.)

Mayor Enns declared a Public Hearing on Ordinance No. K-113 in session and asked if anyone in the audience wished to be heard.

Mayor Enns asked is Mr. Simpson is he prepared to make a presentation at this point? This first item is the ordinance which changes the zoning from single family to PUD and the second Public Hearing will be on the application for the Preliminary Development Plan.

Mr. Philippe Jeck said he is an attorney for Jeck, Harris, & Jones and he represents the applicant here today. For his own clarification, is it the will of the Commission that he address one issue at a time or can he address them both together?

Mayor Enns said he can address both of them at one time; but if somebody gets up to speak on it, the first one is going to be on the zoning, if they could do it that way. He thinks it would save them a little time.

Mr. Jeck said he will address them together. By way of introduction to this project, he would like to take a moment of their time and introduce the developer that is behind the project. He believes that is important for them all to know for a couple of reasons. One being their code addresses the fact that they should be considering whether there is demand for the project before them and also the capacity of this developer to complete the project. He thinks for them to understand that element of what is before them, it would be helpful to understand Mr. Simpson's history. He started about 30 years ago in development with Ashland Oil and he was a pipeline engineer and built pipelines for Ashland Oil across the country. When they decided to commence a development arm in Florida, he became their first head of their development in Florida in the early 1970's. From that point in time he was then fully immersed into the development of residential projects and commercial projects. His first major project in Jupiter was The Bluffs. It was about a 324 acre site mixed-use. It had mid-rise condominiums, it had town homes, it had single family homes. And interestingly it had a marina, very similar to the marina that is going to be proposed to them today, that is an upland marina, a marina dredged out with development around it. He moved on from that extremely successful project in Jupiter to another project in Jupiter called The Shores, which was a 600 residential lot development that was actually the most successful project of that kind that Palm Beach County ever had. The next project he moved to was Jupiter Island. He moved into the luxury arena, building three consecutive high-rise condominium luxury projects on Jupiter Island, each one right after the other, and they were the last three condominium projects built on Jupiter Island. All three of

them were extremely successful, selling out a majority before the first stake hit the dirt in pre-sales. It was a very successful project that demonstrates, as all these projects have demonstrated, the ability to predict the market and develop a product that meets the market demand. The next project, he moved north up to Vero Beach area, Indian River County, and started a project called The Carlton at Vero Beach. Some of them may have visited that project, a very strong high luxury condominium project with multiple buildings with single family lots as well. It was a very successful project proceeded immediately by another project in the same area in Vero Beach or actually in the City of Indian River Shores. That next project is called River Club at Carlton. It is about 200 units, all luxury, single family, duplex units, carriage homes, and mid-rise condominiums again. That project then led to two more projects, one also in the same area in Vero Beach, single family lots, mid-rise, very successful project. It is well underway and almost all sold out as well. The next project immediately preceding this one is one known as Claridge by the Sea and that project is located right on the Martin County/St. Lucie County line just this side. It is in St. Lucie County. That project is again a luxury condominium high-rise project of 20 units that has received approval and is proceeding very strongly. That leads to this project, the Causeway Island project. This is his current on-going development project. His experiences with all of these other projects have let him choose this particular design which will be shown to them today, the product mix, and the pricing of it. He has been very well received in all the communities that he has had the opportunity to build in and develop in. But this project is of particular significance. This piece of property they have at Causeway Island in the City of Fort Pierce is a tremendous opportunity to build a gateway type of project. It is the gateway for the community to the beach side, to the island. Right now they have uses there as they know, a mobile home park and a water treatment facility. And this is going to change the entire character and the impression that this City creates for people heading to the beaches. Mr. Simpson feels extremely privileged to be given the opportunity to bring them a plan and be able to develop something that will be a signature of this City for many years to come. He would like to pass the microphone to Mr. Simpson and Mr. Boggs to explain some of the details of the project.

Mr. Greg Boggs said he is with Thomas Lucido & Associates. He won't spend much time talking about the site. There is a picture of the site. (Plans showing the project were displayed and Mr. Boggs distributed a drawing entitled "Harbour Isle Preliminary Master Plan".) It is approximately 108 acres. The application before them tonight is for 102 acres. There is a piece by reference in the development plan that Sandy Steele is passing out. It excludes six and a half acres just east of Smithsonian and south of A-1-A right of way. The site is a man-made spoil area basically consisting of primarily Australian Pines and Brazilian Pepper. It does have a shoreline of mangrove that the project will preserve. There appears to be no endangered or threatened plants or animals on the site. They have been authorized to begin some brief clearing to begin looking at the site for survey and topographic survey purposes. They have all been by it many times looking into it. It is a jungle of exotics. They are looking forward to removing the exotics and building the project and reinstating the natives and some ornamental plant materials and other complimentary plant materials. Obviously, not the plant material that is there today except for the mangrove shoreline. Are there any questions before he moves on to the plan about the site itself?

Mayor Enns asked are there any questions? If not, proceed.

Mr. Boggs said the project itself, just for clarification, is for preliminary PUD. They will be back again before them for a final PUD. But tonight they are simply here to gain permission to proceed through the preliminary PUD process. Without belaboring the technical aspects of the plan, they meet or exceed all of their performance standards in the PUD section - parking, common area open space, building spacing, fire access, and police access. They went through site plan review with staff as well as the technical review committee. So they are confident based on that thorough review that it conforms to the ordinances. Just keying in on the plan, the site is basically bisected by the upland marina. It is a 73 slip public marina. On each side there are sixteen 24-unit, four story buildings. As they go through the project from A-1-A, the beginning is a paver stone roundabout, much like the one at the corner down at P.P. Cobb, probably half again as big as that. That is the beginning of the feature not only for their project but for passers-by that go on to the beach. It is a major landscape architecture and architectural feature. Progressing on, it is a double lane divided road. What they are picturing is a double outlay perhaps of Royal Palms that lead them to the restaurant which is along the public area together with a 1,500 square foot ship's store, public parking that accommodates the restaurant and ship's store and the marina. He would like to point out the areas that are being designated for public access for the general public. Obviously the entry into the project. But following the plan, they will go along the bulkhead of the marina where the restaurant and ship's store is. All the area in white, coming back to this area south of this building and back to A-1-A, will all be public. If they note the plan, it is kind of hard to see because of the scale of that plan, but there are two security gates - one on the east and one on the west. Past the gate is private for residents only. In terms of he thinks they are talking about a manned security system which will obviously maintain 24 hours a day security. But from that point on it is a private gated residential community. Each side of the community will have an eight or nine acre lake, approximately a nine acre lake with a 4,500 square feet cabana or activity area. There is a jogging path around each lake, two tennis courts, and sufficient open space for a gathering such as where they may rent a party tent for Christmas or some event out on the lawn. Each side as well, if they look at the little boxes on each side, those are 16,000 square foot storage areas for residents only, where if they have stuff they can't handle in their unit they have a storage unit. Basically it is a glorified garage unit that has an interior core that will be landscaped and architecturally detailed like the rest of the buildings. That is an overview. There are 768 units which is around seven and a half dwelling units an acre. In the PUD ordinance, they could go to 15 dwelling units per acre, so they are a little under half of what is allowed on the land. It would be four story buildings, much lower than the 200 feet allowed in the PUD ordinance. Other than that, the dwelling units he spoke about, the marina, the restaurant, the ship's store, and the storage. Mason Simpson will join him in a minute and they will talk about details. The other component to this just to the west of the entry is a six and a half acre kind of a wedge shaped parcel that appears to be part of the Smithsonian expansion. So all along the frontage of A-1-A will part of the Smithsonian, which is an exciting part of this project naturally to have this Smithsonian Institution come along. With that he will stop and maybe they can just limit it to questions versus continuing to discuss the plan.

City Manager Beach said he has a question regarding the six and a half acres they are considering for the Smithsonian. What type of development criteria are they placing on the Smithsonian for that site; or have they reached that point?

Mr. Boggs said he understood some discussion has gone on between Mr. Simpson and Dr. Rice. Perhaps Mr. Simpson could address.

Mr. Mason Simpson said he thanks the Mayor and Commissioners for the opportunity to speak before them tonight. As these fellows have said, they regard this as a real opportunity to come to Fort Pierce and provide what they think will be the gateway project to the island out there. They think they will set the tone and are very pleased to be here and pleased and honored to have that opportunity. They are here to affirm the decision of the Planning Board who voted 7 to 1 in favor of this project. The staff has been very helpful in working with them to work out conditions which at the end of this presentation they will want to go through one by one and clarify each one of them. But they have worked hard with them for a couple of months now and prior to actually making application for two or three months before that just trying to get their arms around this thing. As Mr. Boggs mentioned, they propose no high rise development here. They think that is an advantage to this town. They think it is an advantage to the Treasure Coast in general. And they are pleased they are able to come in with a plan that shows no highrise development. They believe they have the marina right in that they got it out of the river and put it on the upland property where it doesn't bother the existing boat traffic and in fact provides protected dockage for anyone who would like to use it. As Mr. Boggs mentioned, that is part of the public component of the project. Just a quick word or two about the economics of this. This will cost approximately \$100 million to build, somewhere between \$90 and \$100 million. They see that as a very significant impact on the local economy. They think a very significant positive impact. At the end of the day when it is sold, they think it will add something in terms of \$120 to \$130 million to the assessed value of property here in St. Lucie County and Fort Pierce. They also see that as a very significant contribution to the local economy, not to mention the fact there will be 768 folks or households that will be living here and will be spending money in local restaurants and local stores and helping the economy in that fashion. That is all he had to say. He doesn't want to belabor this point any more than they already have because he knows they have a long agenda tonight. Just to answer Mr. Beach's question about where they are with the Smithsonian folks, he sees Dr. Rice is here tonight and she will probably speak to the issue and she is a much more eloquent speaker than he is. They are in the process of getting very close, and he would assume she would affirm this, to an agreement between them. They are trying to work their way toward a term sheet that will specify a number of different items including whatever conditions will be associated with that 6.5 acre parcel and the donation of that to the Smithsonian. If they have any questions for him, he will be right here; but he would like, unless they have some immediately, to go ahead and ask Mr. Jeck come up so they can go through one by one the conditions staff has placed on the project so they can clarify for their satisfaction as well as the City's anything that might be outstanding. (Mr. Boggs distributed a drawing showing the architecture of the proposed buildings.) He forgot about his pretty picture here. But this is the architectural style they intend for Harbour Isle and they think this is a very attractive building. This is a 24-unit condominium complex, four living

levels. And again, they think it is a very attractive building. They hope the Commissioners agree with them.

Mr. Jeck said staff has come up with seven recommendations for this project (outlined in the Memorandum from the Planning Coordinator dated September 5, 2001). In addition, there was some recommendations that came out of the Planning Board. He would just like to address them specifically so they understood clearly and hopefully they will share the understanding of what those conditions are. He has discussed these clarification points with Mr. Trias today and he believes he is comfortable with these points of clarification, but he can let Mr. Trias address that himself. The first item they have no change. They think it is clear. What it is Item #1: "The developer is required to design, permit, and construct the roundabout and the related sidewalks and landscaping that are shown on the plan." They are detailed further in this application submittal in terms of number of trees and what not, so they are comfortable with that.

Mayor Enns asked is Mr. Trias comfortable with that?

Mr. Trias said yes.

Commissioner Nelson asked let him ask staff at this point, in the event of an evacuation of that route, have they considered the possibility of slowing traffic down so much that they might have a safety hazard there?

Mr. Trias said yes. They consider that in every design of a roundabout and a roundabout is designed to actually make traffic flow better, so they have been shown to work well in those conditions.

Commissioner Nelson asked so they don't envision a problem slowing traffic down in the event of an emergency?

Mr. Trias said no.

Mr. Jeck asked may he move to Item #2? "The developer will construct a 20 foot sidewalk connecting the project with the Smithsonian aquarium on the north side of A-1-A and related landscaping." That would be the sidewalk at the bottom of the exhibit here. And the only point of clarification, like the description of the roundabout being as shown in the plan, they would like the sidewalk to be "as shown on the plan" so they are all clear that is where they are going to put it and approximately the type of vegetation they are going to put around it.

Mayor Enns asked Mr. Trias?

Mr. Trias said yes, that is acceptable wording. And of course, this is part of the overall master plan of that South Causeway area that eventually will get built.

Commissioner Nelson asked is that City-owned or County-owned property?

Mr. Trias said the right of way is D.O.T. right of way.

Commissioner Nelson asked is that in the right of way?

Mr. Trias said the sidewalk is going to be in the right of way. He is pretty sure of that.

Commissioner Nelson said that is a pretty far piece from the road there. It is not in the little park area there on the side?

Mr. Trias said the right of way is 100 feet. Those details will have to be worked out with the engineering plans.

Commissioner Nelson said if it is, they will work it out with the County?

Mr. Trias said they could do it either way.

City Manager Beach said they actually have the ability to do either of those. They could either put it in the park or in the right of way.

Assistant City Attorney Schwerer said just as point of clarification. There are some references in the staff report here and Mr. Jeck's references on the record tonight are referring to the plan, the proposed plan, and it is shown in the plan. Could they get that identified? Is that the plan that was submitted with the materials? And is that the same in every respect as this color rendition they have here before the Commission, so they understand for the record what...?

Mr. Jeck said yes. It is the plan that is included in the official application that is in their package for consideration.

Assistant City Attorney Schwerer asked is that plan the one that is attached to the agenda materials that is here?

Mr. Trias said yes. It is the preliminary site plan for the PUD application.

Mr. Jeck said thank you for that clarification. Item #3 is where they have a little bit of wording change to be a little more specific. It says in the original recommendation, "Reconstruction of an adequate portion of A-1-A...", which they propose to clarify by saying, "Reconstruction of not more than a 600 foot portion of A-1-A..."

Mr. Hector Arias, City Engineer, said on this A-1-A they will be hopefully administering the project for D.O.T. The 600 feet, he doesn't want to have that restriction because sometimes because of the type of requirements from D.O.T. it may be more than 600 feet. Let's say whatever D.O.T. requires. He would be more than happy to accept that.

Mr. Trias said some language that limits that to whatever is required to make the roundabout work with the design may be acceptable.

Mr. Jeck said that is all they are trying to qualify.

Mayor Enns said he thinks they need something more than just "an adequate portion". Somebody might take that to mean to the Martin County line.

Mr. Trias said yes.

Mayor Enns asked would the wording "acceptable to D.O.T." to make that roundabout work? Tie it to the roundabout.

Mr. Jeck said he thinks that would work fine. It's good clarification. That would be fine.

Mr. Trias said that is the intent of the recommendation.

Mr. Jeck said on Item #4, "Public access to those areas defined as public..." and he would like to clarify that to say, "Public access as those public areas as shown on the plan..." Previously when the plan was explained to them by Mr. Boggs, he outlined what the public areas were and they just want to make sure that is the public area they are referring to in Item #4.

Mayor Enns asked is there any question about that?

Mr. Trias said no, that is fine, that is acceptable.

Mayor Enns said he guesses it is up to the gates for the residents.

Mr. Trias said that is the intent of that Item #4, yes.

Mr. Jeck said going on at the very end of the recommendation of Item # 4, he will continue to read it. It says, "...shall remain in perpetuity to include parking lots, marina and pedestrian access to the waterfront." He would like to add clarification since they have lots of waterfront here - around lakes and everything. So that the clarification is "...the waterfront within the public area as shown on the plan" referring to the public area that was defined by Mr. Boggs. Then he would like to make one exception to that - "Except for any exclusive area conveyed to the Smithsonian." He will explain that. They are discussing with the Smithsonian of giving them a secure berth for two boats on one of the finger piers along the bulkhead and it is their request they be able to secure that area exclusively to their use so the public is not endangering their equipment. They are perfectly comfortable with that, so he would like to make that as an exception to this requirement of public access in this area.

Mayor Enns asked does Mr. Trias have any problems with that?

Mr. Trias said he thinks it is acceptable in the context of some design guidelines for the development of the Smithsonian property and so on. He thinks in addition to this, he thinks that would be a good thing.

Commissioner Nelson asked on the south side near the water, they are going to have 100 set back there for the water?

Mr. Jeck said actually the code requires a 50 foot setback from mean high water line for these buildings. The staff has recommended a 75 foot set back from this. This plan they are seeing is basically a minimum of 50 foot setbacks. And they are going to ask for the Commission here to depart from that recommendation of 75 feet and agree that 50 feet is sufficient for the purposes of the code and would be sufficient for the purpose of this plan.

Mayor Enns said that it Item #6. Let's go back to Item #5.

Commissioner Sessions said Item #4.

Commissioner Nelson said he was concerned about the public access of that.

Mayor Enns said they have an orderly process, going one at a time.

Mr. Trias said there are two recommendations that deal with public access. One deals with the public areas, that is the one that is being described now; and the second one deals with the setback in that area, that is #6.

Commissioner Nelson said what he is trying to address now is whether or not the public is going to have access to that area back there.

Mayor Enns said no.

City Manager Beach said if they go back to Item #5 and have that discussion, it will lead them to Item #6.

Mayor Enns said right, that is what he is trying to get to. Let's not play leap frog. They are going good.

Mr. Jeck said all right, they are rolling to Item #5 which says, "No additional gates or other means to eliminate public access shall be installed..." And again, he just wants to clarify that means no other gates, "No additional gates or other means to eliminate public access to the public areas shown in the plan..." Again relating back to that description of those public hearings. They are not going to restrict this area in here.

Mayor Enns said the gates that are proposed in this, will they point those out to the Commission?

Mr. Jeck said there is this guard gate to serve this half of the residential private area and there is a second guard gate at this point for the east half of the residential area. And they will agree not to move those. Perhaps there was a concern they would be moved up to this point and they agree not to do that. And that is what was his point of clarification addresses.

Mayor Enns said they would restrict public access they talked about previously.

Mr. Jeck said that is correct.

Commissioner Bryan asked on the public access to the marina, the public would be allowed to enter the marina area by boat?

Mr. Jeck said yes. There is no...

Commissioner Bryan asked they can come in to the docks and the restaurant, etc. that way?

Mr. Jeck said yes. There is no restriction in the plan, their proposal, or in staff's to alter that element.

City Manager Beach said if he may just for clarification, what they just described in Item #5 appears to conflict with Item #6. Is he going to go into that shortly?

Mayor Enns said let's get through with Item #5. Do they agree with Item #5?

Mr. Trias said it has to do with Item #6.

City Manager Beach said they don't, because it conflicts with Item #6 the way he stated it.

Mayor Enns said let's get through Item #5. Apparently they don't want them to move the gates, right?

Mr. Trias said that is right. The recommendation was that the gates would not be moved, as the attorney mentioned, to the entrance, for example. The second part of that is what Mr. Beach is...

Mayor Enns said okay, now they get to Item #6.

Mr. Trias said maybe a discussion of both issues at the same time would be appropriate.

Mr. Jeck said okay. Moving to Item #6, this deals with the setbacks between the buildings and the waterfront. In the first sentence they don't have any concern about "The setback between the buildings and the waterfront shall remain open space and properly landscaped and accessible to pedestrians." They would like to add for clarification that means "...pedestrians who live in the area within these residential developments." And then the next sentence, "The minimum setback for buildings shall be 75 feet from mean high water line." His point of clarification on that, it really is not a point of clarification, this is a change. They would like to have the right to build the way the code says, which is within 50 feet of the mean high water along the existing shore line. And as to the marina, they would like to have the right to build not closer than 30 feet to the edge of the marina. This plan shows the approximate location and it is to scale of where those buildings would be with a 30 foot setback or less than 30 foot setback on buildings around the marina.

Mayor Enns said let's get the clarification. The recommendation on the shore line is 75 feet. Mr. Jeck is asking for 50 feet which is in the code. The marina part is 30 feet. What does the code require?

Mr. Jeck said he believes that is minimum code requirement. The code does not talk about an internal marina setback.

Commissioner Benton asked how many of the buildings are basically about 50 feet away from the water? He thinks there are three. And the rest of them are more and in some cases 100 feet. It is just the way of the contour of the shore line. So just to state for the record they are looking at three buildings.

Mr. Jeck said they can see how this is a far greater distance.

Commissioner Sessions said he has one question while they are on that issue too for the City Attorney. Is it true the code is mute on that issue regarding internal facilities setbacks?

Assistant City Attorney Schwerer said he doesn't know. He thinks it does address it, but he thinks it is unclear in this particular case, if staff looks at it. He thinks Mr. Boggs and Mr. Trias would agree with him that it is unclear as to whether or not it is addressing the internal marina area. So it could be read either way. On the internal marina area he thinks it could be read for

the lower number. But it is a question of interpretation. He would like Mr. Trias's input on that since he administers that code regularly in the site plan review process and how he has interpreted that in the past if at all.

Mr. Trias said they have not interpreted it in the past or at least he hasn't; but he would apply the same rule to both the natural shore line and the marina. Their recommendation is based on the fact that the waterfront is one of the most valuable areas of the City. And the 75 foot setback allows for a more general use of that water's edge and maybe in the future perhaps some further development of amenities on the water. And that is a very important issue. There is a substantial amount of land in that interior of those two gated areas to redesign the plan to allow for a wider grass area along the water.

Assistant City Attorney Schwerer asked is it staff's recommendation in response to Commissioner Sessions' question that the 50 foot code for setback purposes from the mean high water line would apply to the Marina area and Mr. Trias' recommendation is for this project to increase it an additional 25 feet so it would be 75 feet in the marina area and 75 feet in the building area?

Mr. Trias said he thinks one possible compromise to that would be 50 foot within the marina and 75 feet along the natural edge of the lagoon. And that may work a little better from the point of the geometry there. The marina clearly has some different design issues there. It seems to be a beneficial thing for the City. In the PUR, there is a Section (d) on Open Spaces does talk about waterfront access for the public being one of the most important issues. The thinking here was that this is a very low intensity access. It is just simply grass and people may be able to walk around and so on. And the opportunity for something a little more could happen in the future if the residents of the community and the condo association chooses to do that in the future. He thinks that is a very valid planning idea at this point.

Mayor Enns asked is the property that is in question here, which is 75 feet versus 50 feet versus 30 feet, is that going to be part of the common elements of the condominium association?

Mr. Jeck said absolutely. This will all be common area owned by the condominium association as a common element to the individual units. That is correct.

Mayor Enns asked so any changes that ever took place in the future would be done by a vote of the majority of or maybe 2/3rds of the people in that condominium association?

Mr. Jeck said right. That is correct. In fact, he represented to Mr. Trias under the authority of his client that they will not put anything into their condominium declaration that would prohibit the association from in the future agreeing to do something if they wanted to do something as far as public access in that area.

Mayor Enns said when he is saying public access, is he talking about public access or private access for the residents?

Mr. Jeck said he used the term public in that instance to mean the general public. In other words, they will not prohibit as the developer, the future condominium association board from choosing what they want to do with this property along the water's edge.

They won't restrict it. If they choose to do it, that is up to them.

Mayor Enns said he won't have to, because they won't do it. That is fine. That is the way it should be. They own it.

Commissioner Benton said he was sitting at the Planning Board and the discussion with the setbacks off the water. He doesn't think there was ever any discussion on the marina part where they have the little canal leading back to the marina. To him, he would hate to put that restriction. He doesn't want to see any restrictions on the site plan as is, because once they start picking it apart he thinks they are going to eliminate some quality there and some green space. He has seen Mr. Simpson's projects. He knows from the Planning Board there was no discussion about the marina area. They were talking about the area looking at the Indian River. Like he said, there are only three buildings that are in that 50 foot range, the rest are set back more than that. He has no problem at all with that because he thinks if they are looking at green space versus sidewalk, if he is sitting there in his quarter of a million dollar condo, he doesn't need to look at a sidewalk out front with people jogging. He doesn't think that day will happen; but he would rather see the green and landscaping, and he thinks that is what they are trying to sell here.

Mr. Jeck said he has another point of information for the Commission to consider and Mr. Melville has alerted him to the fact that this Commission has approved in the recent past for Harbortown, which is understandably a commercial development, but a setback on the inside of the marina of 15 feet in that instance, which is not what they are asking for, but it is a point of information. That is what he has been told.

City Manager Beach said he can assure him this Commission didn't approve that. That was some time ago.

Mayor Enns said so they don't end up spending the rest of the night on footage, unless there are any more questions, because he wants to get this...

Mr. Trias said this is the only issue there is some disagreement about.

Mayor Enns said this is what he wants to get at. He wants to get the questions out of the way and see what the Commission wants to do on these footages and then they will proceed.

Commissioner Sessions said that is what he wanted to find out. They have gone through Item #1 through Item #6 and this is the first one that staff has a conflict with.

Mr. Trias said yes, this is the only one where they don't have an agreement.

Mr. Jeck said he is actually done because the other (Item #7) they don't have any points of clarification on.

Mayor Enns said the request of the applicant is that the minimum setback on the river side remain as per code at 50 feet and that the setback on the interior of the marina be at 30 feet. Are there three people that agree with the developer?

Commissioner Benton said he does.

Mayor Enns said he does.

City Manager Beach asked can they have some staff comment on that before they vote?

Mayor Enns said they have had staff comment on that. He thinks the issue is pretty clear. He knows what the staff's position is on it, that some day they think the general public will have access to this. He can tell them, knowing how condominium associations work, they are never going to have general access to this. And if they are going to put gates up there and restrict access to it, what difference does it make?

City Manager Beach said he thinks the idea they talked about here extensively is attempting to preserve the waterfront for the general public throughout the entire city, not just the waterfront downtown and the waterfront at the port, but the waterfront on the causeway as well. They have lost a great deal of it through the development of residential areas on the island. They are at a point right now where if they look at this over the long term they have the opportunity to preserve a great deal of that waterfront that in the future would give them the ability to tie that area, that causeway, they could tie it pedestrian-wise all the way to the downtown area for bicycling, whatever people do, walking. If they don't believe that is the most effective development, they need to go to larger communities and see what they are doing with their waterfront. They absolutely specifically require that the waterfronts remain public. And if they can't develop them public immediately, they at least preserve enough property so it can be developed in the future. And that is all they are asking them to do. His request of the developer was to leave a minimum of 100 feet. How it got to 75 feet he doesn't know. But it absolutely at a minimum should be 75 feet. It should be required to be maintained public. And that is what their job is as a City is to try to watch after public interest and do things that cause the long term development of this community to take place.

Mayor Enns said until that property is in the public's hands, then they are limited as to what they can do with it. They can request it. If they have objections to it, they have every right to ask for an exception.

City Manager Beach said they can require it.

Mayor Enns said they can require it. They can also turn the whole project down. They can do anything they want to. They have every right to ask for an exception and he is going to give them that right and it is going to be made by this Commission.

Mr. Trias said the code does require waterfront access to the public explicitly. That is what the code says on PUD, so it is a very valid issue within the discussion of PUD.

Mayor Enns said he would agree with him if he allowed the public access to any part of that project; but they are allowing the gates to be put up, they are not allowing the general public to go in there, so it doesn't make any difference to those except those who own it and the ownership is going to be in the common elements of the condominium association.

Mr. Trias said he thinks the distinction between vehicles and pedestrians is very significant in terms of how they limit access.

Mayor Enns said he doesn't care if it is landing craft, airplanes, bicycles, or whatever, it is still going to be part of the common elements.

Commissioner Benton said he would refer to Melody Lane. They have had their problems on Melody Lane. Can you imagine taking that problem and putting it behind these quarter million dollar on up apartments? People aren't going to put up with that. He was one that went to Boston and saw how the public had access to the waterfront everywhere. In a lot of places he agrees. The public has a lot of access to the waterfront in this City and he wants to see it. But in this area? They would threaten this project. And he thinks it is such a good idea that they built this inland marina instead of put a marina out into the river. There are some concessions the City should make and he thinks that is one. The public has access across the street to plenty of waterfront. This is probably one of the nicest developments the City of Fort Pierce has seen yet and he definitely doesn't want to threaten it.

City Manager Beach said it is a serious misjudgment to think that things are always going to be the way they are today.

Mayor Enns said he thinks they have had enough discussion about it, unless somebody has got a question.

Commissioner Nelson said he always ends up being the peacemaker. This developer is such a fine fellow. He thinks both the Mayor and City Manager have some very good points. How does he feel about it? In the long run they want this to be a first class City. And of course, what he is doing is a very commendable job. They want to meet with a happy medium here without having too much bloodshed.

Mr. Mason Simpson said it is interesting he would use that bloodshed parallel, because he thinks if they did what he hears Mr. Beach saying they should do they will put an arrow right through the heart of this project. There is no way people who come to buy and live on the water... They need to understand these residences are open to the water, that is the whole point of them, because people who live in them are buying that view. When they put a sidewalk behind them, they are at that point violating that privacy that those folks have at the back door of their home. He can't speak to the planning issues and obviously it is a passionate thing with Mr. Beach and he doesn't want to be in a position here of being in disagreement with him about that aspect of what he likes to see. But he can tell them that on the sales floor of this condominium project once they get to that point they will have serious buyer objections and it might very well be enough to be the death knell for this project. That is exactly what he thinks about it.

Commissioner Sessions said so in essence they would be setting him up for a failure.

Mr. Simpson said he doesn't want to hang that on Mr. Beach, obviously he is very passionate about it. But he does not believe this project, he can't tell them whether they will lose 50 sales or 500 sales over an issue like this. But he can tell them that for every prospect that comes in that door that he has to say, "Oh by the way, after you buy this maybe some time down the road there

will be public walking behind your home." He can see people turning around and walking out the door and saying, "Let's go find some place where the back is what we think we are getting."

City Manager Beach said they can accept that argument if they choose, but just everybody he knows lives in a place that people can walk by their house. They can walk by their house, behind their house, or wherever they want to. They have a proposed development downtown that is approximately \$30 million worth of condominiums that people walk all the way around it, not just in front of it or behind it. They have a developer sitting out here now that is talking about building a development where people can circle it, drive through it, drive around it, walk under it. And that simply is not an effective argument.

Mayor Enns said they are just about to get to the end of this argument.

Commissioner Bryan said she has a question. She doesn't know of Mr. Jeck could answer it or maybe Mr. Boggs, about the fringe on the water. She can't tell from this rendering. She is assuming that is a border of mangrove trees.

Mr. Jeck said yes, those are existing mangroves which cannot and will not be interfered with.

Commissioner Bryan said correct. She can't see how anybody could put a sidewalk out there with that already in a protected area.

Mr. Jeck said he would also like to take the opportunity of answering this question. Just to remind everyone that the careful planning that went into this was to create a very accessible and usable public space and access to the waterfront and what waterfront brings to it and the marina brings to this plan right here where people can enjoy that unique feature. That has gone to address the concerns of having the public with the opportunity to benefit from waterfront.

Mayor Enns said they will be here until midnight if they don't get off this issue.

Commissioner Sessions said he would like to make a motion; but at any rate, before he makes that motion he wants to make a comment or two.

Mayor Enns asked is this a motion on the overall project?

Commissioner Benton said 50 feet, the condition.

Commissioner Sessions said on the condition itself, the setback.

Motion was made by Commissioner Sessions, seconded by Commissioner Benton, to go along with proposition of the Developer regarding the setbacks, what has been proposed is 50 feet and 30 feet, as opposed to what Staff is recommending.

Those voting in favor of the motion were: Commissioners Benton, Nelson, Sessions, and Enns. Those opposed: Commissioner Bryan.

Mayor Enns said Item #7 is environmental permits.

Mr. Trias said that is routine.

Mayor Enns said they are still in the Public Hearing. Does anyone wish to speak?

Ms. Marcia Baker said she lives on Seaway Drive and she welcomes with open arms this development, except she has one concern. When the roundabout was being built down along the waterfront, there were plenty of detour areas. She would like to know what provisions are going to be made for the months of construction on A-1-A, including the drainage underground utilities she presumes and the roundabout. Is there going to be a two lane access to the island and where is it going to be and who is going to pay for it?

Mayor Enns said the roundabout and the additions to Seaway Drive are going to have to be approved by the D.O.T. because it is a D.O.T. road. He thinks there will probably be an opportunity to address those questions at some future date.

Mr. Trias said yes and the design has not been prepared yet and all of those issues have to be addressed in the design process.

Mayor Enns said this is actually the rezoning. At this point the public comment should be just addressed to the rezoning from R-1 to PUD, Planned Unit Development.

Mr. Jim Piowaty said they have made a major point that the public would be able to use those docks and all that. They have 768 units. He wonders how many docks they have? How many people will be able to drive in and park at the docks? Do they have 200 docks, 100 docks, how many docks do they have?

Mayor Enns said he thinks the site plan calls for 73.

Mr. Piowaty said it is pretty likely those docks will be filled up by the residents.

Mayor Enns said well, they will take care of the overflow at the City Marina.

Seeing no one further and hearing no one wishing to be heard, Mayor Enns declared the Public Hearing closed.

Motion was made by Commissioner Benton, seconded by Commissioner Bryan, that Ordinance No. K-113 be passed on first reading.

Those voting in favor of the passage of Ordinance No. K-113 on first reading were: Commissioners Benton, Bryan, Nelson, Sessions, and Enns. Those opposed: None.

The next item on the Agenda was Public Hearing on Application for Preliminary Development Plan filed by Causeway Island Trust to construct Harbour Isle Project, a mixed use development to include multi-family housing, restaurant, marina, etc. on property located east of South Causeway Bridge on the south side of Seaway Drive.

Mayor Enns declared a Public Hearing in session and asked if anyone in the audience wished to be heard.

Dr. Mary Rice said she is Director of the Smithsonian Marine Station at Fort Pierce. She is speaking on behalf of the Smithsonian Marine Station at Fort Pierce as a neighbor and adjoining property owner of the proposed Harbour Isle development. The Smithsonian Institution has been a proud member of the Fort

Pierce community since 1969. The Smithsonian Marine Station at Fort Pierce, a branch of the Smithsonian Institution in Washington, D.C. was established in this community because the Indian River Lagoon represented one of the most important estuarine systems in the world and they felt it their obligation to better understand its rich biodiversity and ecological processes in a way that would not only benefit the citizens of this special city, but that would also enable them to take the lessons learned here and apply them to other ecosystems throughout the world. From the beginning, they recognized their commitment to this community was long term and for their organization to succeed they needed to be responsive not only to their mandate for marine sciences, but also to the citizens of this city and region. They therefore have developed over a period of three decades a robust program of science in service to society as well as a broad program of educational outreach aimed at teaching citizens at all levels of society of both the wonder and the importance of the natural resources they enjoy on the Treasure Coast. They were initially housed on a converted barge on the campus of the Harbor Branch Oceanographic Institution. Their relations with Harbor Branch were cordial and productive and remain so today. Over a number of years, however, they increasingly recognized the need to establish their own campus. After an extensive search, bearing in mind their need to be in a location which offered them access to water, to a variety of habitats in the Indian River Lagoon, and to public attractions, they chose to relocate to Seaway Drive. Over the past few years, they have begun the process of developing their campus with the construction of a laboratory building and relocation of a house for the use of visiting scientists. They are in the process of constructing a new storage building and plans are readied for construction of a new research platform, seawater system, and another research building. At the same time, recognizing the popular demand for greater education on the Indian River Lagoon and related marine/coastal issues, they worked very hard and were successful in relocating a prime attraction in Washington to Fort Pierce and that is the coral reef ecosystem and expanding this presentation to include habitats of the Indian River Lagoon. Over the ensuing years this presentation will be enriched by new temporary exhibits and a vigorous informal education program for the citizens of this City and region. In addition, they have worked diligently with the St. Lucie County school system and the Indian River Community College in developing courses and classes for the students from the elementary to the undergraduate level. They share the vision of this community and the St. Lucie Research and Education coalition to develop Fort Pierce and St. Lucie County into a major national center for research and education. In their original planning for their site at Seaway Drive, they always envisioned the acquisition of additional property including waterfront to meet their vision over the next half century. In negotiations with the MacArthur Foundation and later WCI, it was clear they understood their needs and indicated their willingness to work with potential buyers to accommodate their requirements within the context of future development. Their needs are basic. As an internationally recognized marine research laboratory, they need assured and unencumbered access to the Indian River Lagoon for their research purposes. This includes the ability to have a research platform extending into the Indian River Lagoon upon which to conduct experiments with easy access to and from their campus. They require appropriate dockage for their research vessel, for visiting research vessels, and other small boats used in modern marine research. They require access to flowing sea water for laboratory experiments. In addition, they require sufficient acreage to build

the necessary buildings to serve their research and education needs. They have extensively reviewed the plans of Harbour Isle Development Company and held a series of consultations with Mr. Mason Simpson, as he has pointed out, and with his architectural firm. They recognize that development will occur at the site and their discussions have been focused on how such development can proceed to assure a synergistic versus an adversarial relationship. All of their aforementioned requirements have been made known to Harbour Isle Development Company both verbally and in writing. They have also been cognizant of the need of the City of Fort Pierce to expand its tax base by appropriate development, and thus their approach to negotiations has been to create a win-win situation for all stakeholders. In an ideal world, this would not be how they would develop the site. However, they are extremely sensitive to the needs to balance inevitable growth with sensible needs for the environment and their own needs. Their conversations with Mr. Simpson have begun to yield a formula which will allow for the type of synergy for all parties that she has alluded to. The key will be a resolve on all sides of this issue to successfully implement this formula in a timely fashion and for the City Commissioners, they hope, to periodically review progress toward this end. If this formula can be successfully concluded into a binding legal framework agreed to by all parties, the entire City of Fort Pierce and the region will indeed benefit in the end. They have responded just this morning to Mr. Simpson's most recent proposal. They remain confident of Mr. Simpson's good will on the issues and his willingness to seek alternative means to satisfy the needs of the community including the Smithsonian Marine Station at Fort Pierce. His willingness to donate property and work with the Marine Station on certain infrastructure issues are all very positive sides and they thank him and his corporation for approaching the issue with understanding and the spirit of a new neighbor joining their rich and storied community.

Seeing no one further and hearing no one wishing to be heard, Mayor Enns declared the Public Hearing closed.

Commissioner Sessions said first of all he would like to say this is a Grade A project. This is beautiful. He has not seen anything that resembles something of this nature given the architectural design for these buildings in their immediate area in a long time. And knowing his staff the way he does, he sees Ramon Trias's name written all over this. But he thinks it is time they become a little more user-friendly, for a better choice of words, developer-friendly. Let's face it, they are in a crisis here; and that crisis is called southern flight. It is about time they place developments of this nature and this magnitude in their community. It is an attraction. When they look at where it is going, it is a sight for sore eyes. It is near that water treatment center as well as the trailer park they have been talking about and having so many problems with. He is just grateful an individual would even have an interest to come in this area and put such a development in this area. He is grateful to him for doing so. They have a jewel. God has blessed us with the waterfront and it is about time they start utilizing their jewel to their advantage and reap the benefits of it. In light of that he is prepared to make a motion.

Motion made by Commissioner Sessions, seconded by Commissioner Benton, to approve the Preliminary Development Plan filed by Causeway Island Trust to construct Harbour Isle Project on property located east of South Causeway Bridge on the south side of Seaway Drive.

Commissioner Benton said he would just like to make a couple of comments. He would like to see a condition. He did talk to Mr. Simpson about this. If they look at their site plan, the landscaping that is on the east side along A-1-A, he would just ask him if he could continue it just to the south. They are not talking about a lot there. But he is just asking again if that would be considered just to the border of the property.

Mr. Simpson said it is not a problem, but he is not sure he understands exactly where he is talking about.

Commissioner Benton said from the roundabout to the west to continue what is on the east side. Would they consider that?

Mr. Simpson said yes, they would certainly do that. He had forgotten about it; but he is exactly right, he did mention it to him. Even though that is the property they propose to give to the Smithsonian, they will continue that same landscaping theme along the A-1-A right of way.

Commissioner Benton said if they would work with the Smithsonian, he just thinks it would make the project look a lot better because they wouldn't be coming off the bridge and looking right at the interior part of a parking lot.

Mr. Trias said within a year a final plan has to be submitted. He thinks at that time those very specific changes can be incorporated very easily. And then hopefully the Smithsonian will have, that area may have a better clear idea of what is going to happen.

Mayor Enns said he almost hates to bring it up. There was some question in previous years as to whether the City has jurisdiction over the Smithsonian as to construction and landscaping. Does that still apply?

City Manager Beach said that is still an issue. He would hope that in their discussions with Mr. Simpson and Harbour Isle, that in their conveyance of the land to Smithsonian that they will put some requirements on Smithsonian to comply with landscaping issues and fencing issues that would make their development more attractive.

Assistant City Attorney Schwerer said he understood the discussion on that specifically to include that. He thinks Mr. Jeck and Mr. Trias were exchanging comments at the time. But he thinks it was absolutely clear that whatever conveyance is made, Mr. Trias had a comment that he wanted that to be specifically reviewable by City staff with the ability to comment on the type of development that would be undertaken by Smithsonian. Is that what he understood?

Mr. Jeck said yes. In fact, the very latest exchange of letters between the two parties has confirmed a willingness on both sides to work together on an architectural plan and restrictions that accommodate the needs of the project and the City.

Assistant City Attorney Schwerer said so when they ask the Commission for that exception, which they seem willing to agree, it was on the provision that City staff would retain and review an approval process over what was built by Smithsonian?

Mr. Jeck said the exception he discussed was strictly dealing with the public's ability to have access to this one dock, a finger pier with two boat slips on it, which was going to be secured and

therefore not accessible to the public. That was the only exception he had made to the staff.

Mayor Enns said he thinks what they are looking for now is the conveyance of this property down here.

Assistant City Attorney Schwerer said the 6.5 acres.

Mayor Enns said right, in the northwest corner of the project next to the existing Smithsonian; and their conveyance, that whatever the Smithsonian does there it will have to come to the Commission for approval.

Mr. Trias said the discussion they had previously with the developer very informally was that it was to their advantage to have some...

Mayor Enns said they are going to put it in the site plan approval.

Mr. Trias said that will be staff recommendation that will be one of the conditions.

Commissioner Benton said the only thing he was concerned about was that landscaping out front just along A-1-A. He knows Mr. Simpson figured it was a good idea. The other thing he would like to say, he agrees with Dr. Rice as far as unfortunately it is not a perfect world or they wouldn't have a sewer plant out there and some of the facilities they have. But he did talk to County Commissioner Barnes the other day and hopefully this will iron out and there will be an agreement with the Smithsonian and Mr. Simpson. But if not or if it doesn't work out perfectly, hopefully they can work out something between the Historical Museum and the Aquarium over there. There is a lot of County property that has the ability to get to the water. He knows County Commissioner Barnes felt they could maybe work something out there. Hopefully they can work with them and get this straightened out.

Assistant City Attorney Schwerer said one final thing if he can ask staff for clarification on something. A great deal of what has been presented by the developer and what has been discussed by the Commission depends upon the architectural renderings of the building that have been presented which apparently are very first class in quality. What controls do they have in place at this point in time - and he knows it may be a minor point - to assure the Commission that if they are approving the conceptual site plan or conceptual development plan that this is the type of architectural quality the City and the Commission can expect from the project?

Mr. Trias said the only real specific control is the number of stories and the ultimate height which is four stories and 60 feet. Any additional design ideas should be mentioned as a condition.

Assistant City Attorney Schwerer asked does he have anything to suggest to the Commission in that respect?

Mr. Trias said just a general comment that it will be consistent with the representations made to the City Commission through the renderings. That will be sufficient.

Assistant City Attorney Schwerer asked is that acceptable?

Mr. Simpson said yes, it is.

Commissioner Sessions said as maker of the motion, he includes that stipulation.

Commissioner Nelson said Mr. Simpson and the Smithsonian have been working hard and he appreciates that very much. In his discussion when they talk about a dock in the southwest portion of that property, are they going to have accessibility to that for either him or the Smithsonian?

Mr. Simpson said they hope not because they would like to, as they have mentioned before, provide them the dockage at that location. They do not need another dock.

Commissioner Nelson asked have they all worked that out?

Mr. Simpson said they are in the process of discussing it. He does not think it would be a fair characterization to say it is totally worked out, but that is the direction they are moving in. Yes, they are doing that.

Those voting in favor of the motion were: Commissioners Benton, Bryan, Nelson, Sessions, and Enns. Those opposed: None.

MAYOR ENNS DECLARED A RECESS AT 8:50 P.M. AND THEN RECONVENED THE MEETING AT 8:55 P.M.

Ordinance No. K-106 entitled, "AN ORDINANCE OF THE CITY OF FORT PIERCE, FLORIDA, AMENDING CHAPTER 17 OF THE CITY CODE OF ORDINANCES BY REPEALING SECTION 17-1 THROUGH 17-11; CREATING REVISED AND AMENDED SECTIONS 17-1 THROUGH 17-9; PROVIDING FOR PAYMENT OF COSTS ASSOCIATED WITH RIGHT OF WAY ABANDONMENT; CREATING SECTION 17-7 ENTITLED "**PLACEMENT OF UTILITY FACILITIES IN THE PUBLIC RIGHT OF WAY**" TO PROHIBIT THE OPEN CUTTING OF STREETS OR DISRUPTION OF THE PUBLIC RIGHTS OF WAY; PROVIDING DEFINITIONS; PROVIDING FOR THE APPLICATION FOR, THE GRANTING OF, OR CANCELLATION OF PERMITS; PROVIDING FOR APPEAL; AMENDING AND RENAMING SECTION 11-35 OF CHAPTER 11 OF THE CITY CODE OF ORDINANCES ENTITLED "PLANTING AND MAINTAINING VEGETATION IN THE RIGHT OF WAY"; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HERewith; AND PROVIDING FOR AN EFFECTIVE DATE." was placed on second and final reading and read by title only.

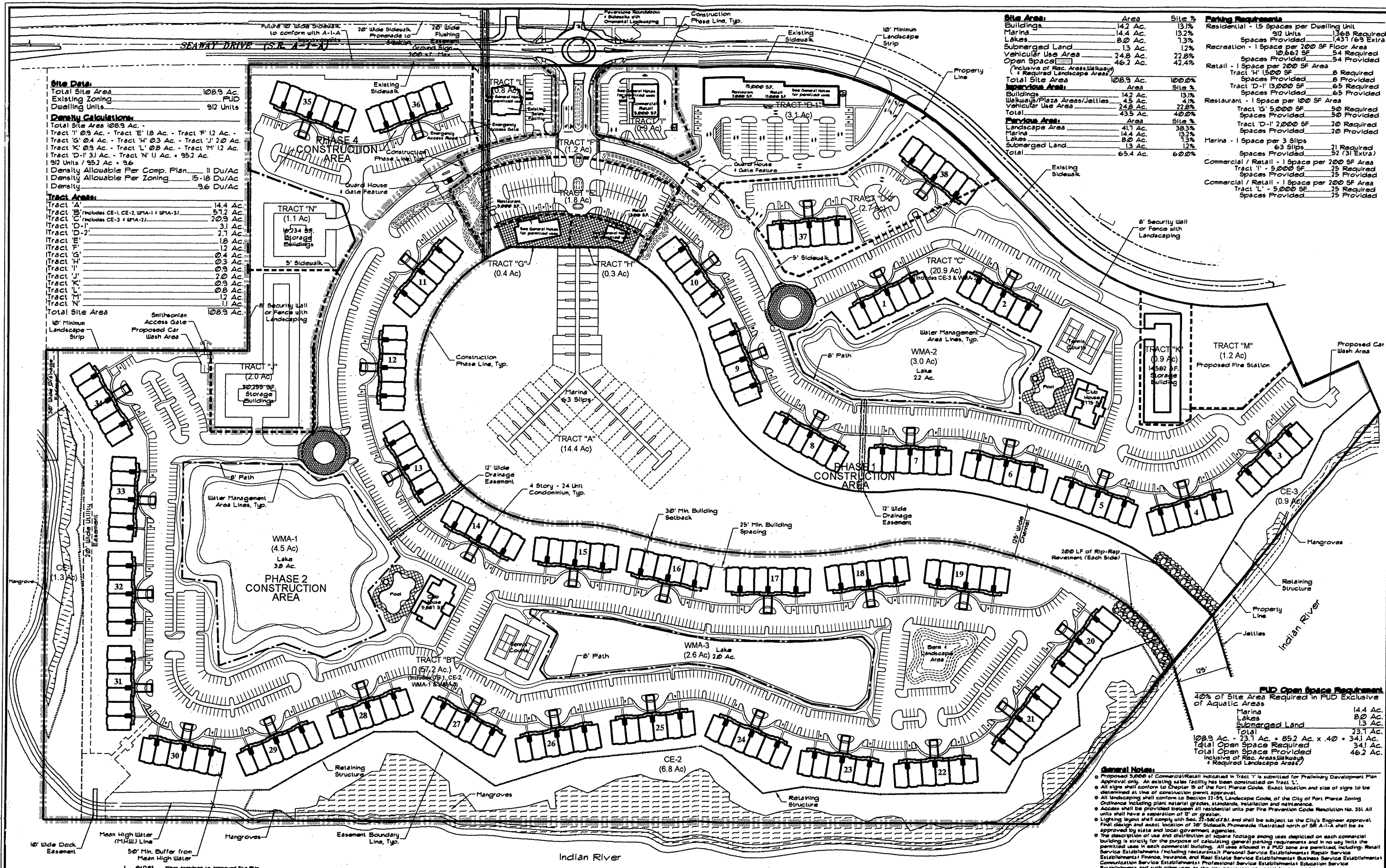
Mayor Enns declared a Public Hearing on Ordinance No. K-106 in session and asked if anyone in the audience wished to be heard.

Seeing no one and hearing no one wishing to be heard, Mayor Enns declared the Public Hearing closed.

Motion was made by Commissioner Bryan, seconded by Commissioner Benton, that Ordinance No. K-106 be passed on second and final reading.

Commissioner Nelson said he would like to have it stated he thinks the definitions should be up front as opposed to in the body of the thing, but he is not going to insist on it.

Those voting in favor of the passage of Ordinance No. K-106 on second and final reading were: Commissioners Benton, Bryan, Nelson, Sessions, and Enns. Those opposed: None.



Site Data:

Total Site Area 108.9 Ac.
 Existing Zoning PUD
 Dwelling Units 912 Units

Density Calculations:

Total Site Area 108.9 Ac. - Tract F 12 Ac. - Tract I 0.9 Ac. - Tract E 1.8 Ac. - Tract G 0.4 Ac. - Tract H 0.3 Ac. - Tract J 2.0 Ac. - Tract K 0.9 Ac. - Tract L 0.8 Ac. - Tract M 1.2 Ac. - Tract D 1.3 Ac. - Tract N 1.1 Ac. = 95.2 Ac.
 912 Units / 95.2 Ac. = 9.6
 Density Allowable Per Comp. Plan 11 Du/Ac
 Density Allowable Per Zoning 15-18 Du/Ac
 Density 9.6 Du/Ac

Tract Areas:

Tract A	14.4 Ac.
Tract B	57.2 Ac.
Tract C	20.9 Ac.
Tract D-1	3.1 Ac.
Tract D-2	2.7 Ac.
Tract E	1.8 Ac.
Tract F	12.0 Ac.
Tract G	0.4 Ac.
Tract H	0.3 Ac.
Tract I	0.9 Ac.
Tract J	2.0 Ac.
Tract K	0.9 Ac.
Tract L	0.8 Ac.
Tract M	1.2 Ac.
Tract N	1.1 Ac.
Total Site Area	108.9 Ac.

Site Area:

Buildings	14.2 Ac.	13.1%
Marina	14.4 Ac.	13.2%
Lakes	8.0 Ac.	7.3%
Submerged Land	1.3 Ac.	1.2%
Vehicular Use Area	24.8 Ac.	22.8%
Open Spaces	46.2 Ac.	42.4%
Total	108.9 Ac.	100.0%

Required Landscape Areas:

Buildings	14.2 Ac.	13.1%
Walkways/Plaza Areas/Jetties	4.5 Ac.	4.1%
Vehicular Use Area	24.8 Ac.	22.8%
Total	43.5 Ac.	40.0%

Marina Area:

Landscape Area	41.1 Ac.	38.3%
Marina	14.4 Ac.	13.2%
Submerged Land	1.3 Ac.	1.2%
Total	65.4 Ac.	60.2%

Parking Requirements:

Residential - 15 Spaces per Dwelling Unit
 912 Units = 1,368 Required
 Spaces Provided = 1,431 (63 Extra)

Recreation - 1 Space per 200 SF Floor Area
 10,862 SF = 54 Required
 Spaces Provided = 54

Retail - 1 Space per 200 SF Area
 Tract H 15,000 SF = 8 Required
 Spaces Provided = 8

Tract D-1 13,000 SF = 65 Required
 Spaces Provided = 65

Restaurant - 1 Space per 100 SF Area
 Tract G 5,000 SF = 50 Required
 Spaces Provided = 50

Tract D-1 2,000 SF = 20 Required
 Spaces Provided = 20

Marina - 1 Space per 3 Slips
 63 Slips = 21 Required
 Spaces Provided = 52 (31 Extra)

Commercial / Retail - 1 Space per 200 SF Area
 Tract I 5,000 SF = 25 Required
 Spaces Provided = 25

Commercial / Retail - 1 Space per 200 SF Area
 Tract L 5,000 SF = 25 Required
 Spaces Provided = 25

PUD Open Space Requirement:

40% of Site Area Required in PUD Exclusive of Aquatic Areas

Marina	14.4 Ac.
Lakes	8.0 Ac.
Submerged Land	1.3 Ac.
Total	23.7 Ac.
108.9 Ac. - 73.1 Ac. = 35.8 Ac. x 40% = 14.3 Ac.	
Total Open Space Required	34.1 Ac.
Total Open Space Provided	46.2 Ac.

Inclusive of Rec. Areas/Walkways
 + Required Landscape Areas

General Notes:

- Proposed 5,000 sq ft Commercial/Retail indicated in Tract I is submitted for Preliminary Development Plan Approval only. An existing sales facility has been constructed on Tract I.
- All signs shall conform to Chapter 9 of the Fort Pierce Code. Exact location and size of signs to be determined at time of construction permit approval.
- All landscaping shall conform to Section 22-55, Landscape Code, of the City of Fort Pierce Zoning Ordinance including plant material grades, standards, installation and maintenance.
- Access shall be provided between all residential units per Fire Prevention Code Resolution No. 331. All units shall have a separation of 12' or greater.
- Lighting layout shall comply with Sec. 22-58(d)(2)(b) and shall be subject to the City's Engineer approval. Final design and exact location of 20' Sidewalk, Promenade illustrated north of SR A-1-A shall be as approved by state and local government agencies.
- The description of use and distribution of square footage among uses depicted on each commercial building is strictly for the purpose of calculating general parking requirements and in no way limits the permitted uses in each commercial building. All uses allowed in a PUD zone are permitted, including: Retail Service Establishments (including restaurants), Personal Service Establishments, Repair Service Establishments, Financial, Insurance, and Real Estate Service Establishments, Business Service Establishments, Communication Service Establishments, Professional Service Establishments, Education Service Establishments and such other uses as the city commission may consider appropriate.

Scale: 1"=100'-0"

Drawn by: BR
 Checked by: GB
 CADD No: B-4682-site
 Date: 09.29.03

No.	Date	Description of Revision
1	04/17/03	Minor Amendment to Approved Site Plan
2	06/03/03	Block 734 Location and Car Wash Area
3	06/18/03	East Car Wash Area, Storage Bldg, Club Bldg, Pool Area
4	06/24/03	West Car Wash Area/Club Pool Area
5	06/24/03	Remove Storage Center, Add 4 Buildings
6	06/18/04	Revise per Owner, Add Signage
7	06/25/04	Revise Tract D' Parking/Construction Update Tract L' Building
8	07/15/04	Revise Tract N' per City Comments
9	07/29/04	Revise PUA to Tract N' to add Storage Building per owner

Development Team:

1	04/17/03	Minor Amendment to Approved Site Plan
2	06/03/03	Block 734 Location and Car Wash Area
3	06/18/03	East Car Wash Area, Storage Bldg, Club Bldg, Pool Area
4	06/24/03	West Car Wash Area/Club Pool Area
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Thomas Lucido & Associates, P.A.
 Land Planning/Landscape Architecture
 Lic. #LC-0000335
 100 Avenue A, Suite 2A, Ft. Pierce, FL 34950 888-487-1301, Fax 888-487-1303

Harbour Isle
 City of Fort Pierce
 Amendment to Approved Development Plan

Sheet 1 of 2

SITE PLAN APPROVAL
CITY OF FORT PIERCE, FLORIDA

- APPROVED
- APPROVED W/CHANGES
- APPROVED W/CONDITIONS
- DISAPPROVED

[Signature]
MAYOR

9-20-04

DATE

- APPROVED
- APPROVED W/CHANGES
- APPROVED W/CONDITIONS
- DISAPPROVED
- NO RECOMMENDATION

[Signature]
CITY PLANNING BOARD

8/31/04

DATE

STATE OF FLORIDA
ST. LUCIE COUNTY
CITY OF FORT PIERCE

THIS IS TO CERTIFY THAT
THIS IS A TRUE AND COR-
RECT COPY OF THE RECORDS
ON FILE IN THIS OFFICE.

[Signature]
CITY CLERK

BY _____
DEPUTY CLERK

DATE 9-21-04
(CITY SEAL)

Commissioner Nelson said if that be the case, why don't they make a motion to that effect.

Motion was made by Commissioner Coke, seconded by Commissioner Becht, to deny the Application for Conditional Use & Site Plan submitted by Lloyd Bell for construction of four mooring pilings in an A-2, Aquatic Development Zone, for storage of a personal vessel in an area generally known as the Port of Fort Pierce, based on insufficient information submitted.

Mayor Benton said just for the record, he did meet with the applicants; and he felt Mr. Bell wasn't very supportive of this after they talked about what the person wanted to do there. Basically he wanted to bring in steel on a vacant piece of land and drive off in a truck. With all the interest in the Port, that would turn it away real quick if they allowed something like that to happen there.

Those voting in favor of the motion were: Commissioners Alexander, Becht, Coke, Nelson, and Benton. Those opposed: None.

The next item on the Agenda was Public Hearing on Application for Site Plan Review submitted by Causeway Island Trust for an Amended Preliminary and Final Development Plan for a Planned Unit Development known as Harbour Isle at 801 Seaway Drive; said property zoned PUD, Planned Unit Redevelopment Zone. (Postponed from September 7, 2004, due to Hurricane Frances.)

Mayor Benton declared a Public Hearing in session and asked if anyone in the audience wished to be heard.

Mr. Philippe Jeck said he is an attorney with the firm Jeck, Harris & Jones, representing the applicant. They are here after a unanimous vote of the Planning Board's support for an amendment to the Harbour Isle plan. The staff report reflects accurately the circumstances of their application and recommends approval. He is available for questions. Other than that, he did not plan on going into any details because he believes they have all the information.

Commissioner Coke said first of all she has to express the fact that she is very unhappy that they are not getting a Publix on South Beach. That would have been just a wonderful thing for many residents. Her concern is, they are going to go back to the Fire District. They, through whatever error in judgment when this was originally proposed, omitted the fact that they needed property for a Fire District there. She sees now that in essence, they are looking to sell them that piece of land for \$139,386. She would contend that with an additional 48 units of the profit level on those 48 units would be such that would be more than sufficient that property ought to be donated to the Fire District as a gesture of good faith to be part of the community, in lieu of giving them retail on South Beach.

Mr. Jeck said first he will put a little twist on the history of the donation of the property; and that is, at the time there were discussions about donation of the property when this originally came before the Commissioners. And he does not believe it was overlooked by anyone at that time. He believes it was just uncertainty about the desires of the Fire District.

Commissioner Coke said be that as it may, they can't change the past.

Mr. Jeck said on the issue she raised about selling the property, there have been very extensive continuous negotiations and discussions with the Fire District, multiple meetings, multiple correspondence exchanged, multiple efforts to work together with the County Fire District as well as City staff. The culmination of all that hard work by a lot of people was an agreement and a support from the Fire District for the condition of approval that is before them today. The expressed language in that conditional approval which says they will donate the property in exchange for getting that credit of \$140,000 on their impact fees is express language that is approved in writing by the Fire District.

Commissioner Coke said she knows. He is an attorney and she is not an attorney and that is great. But what she is telling him is that their Fire District is going to have to make up the cost of those impact fees some place along the line. The citizens of this City are going to have to pay for it. Although she is disappointed not to have the retail, she could certainly support their making however much profit they are going to make on those other 48 units and she could support this entire recommendation with the exception of the recommendation which calls for the Fire District basically to pay \$139,000. That is just her and she is only one vote. She is telling them she will support this if they would go ahead and pay the impact fees for the Fire District and be a good neighbor and contribute to the City.

Mr. Jeck said he hears her. But let him add one other element of information to the equation for their decision; and that is, what is actually happening is the developer is giving \$330,000 worth of value, donating that value right now to the Fire District over and above the \$140,000 of value they are getting the fee credit for. That \$330,000 of value that is being donated to the Fire District is double the amount that any other developer is being asked to give to the Fire District under their current policy which says that they are currently asking for \$160 per unit over and above their impact fee as a voluntary donation. So they are not only giving the \$140,000 of impact fees, they are not only giving value of \$330,000, but that \$330,000 represents actually about \$320 per unit of additional value, so that is double what any other developer in this community is being asked to give and he is just wondering why.

Commissioner Coke said she is not going to argue. The only thing she is going to tell him is that he is putting a dollar figure of \$330,000 on it. It is property and it is his that he can absolutely do nothing without the approval of this Commission and he already has a lot of buildings over there and a high profit margin and he is going to have a high profit margin on these others. As she says, she is only one vote; but she personally is not going to support this with that clause in there that the Fire District give up \$140,000 worth of impact fees. She thinks especially in this time with the hurricane having gone through, they are in a time of crisis, they need all of the public money that they can possibly get to support the Fire Department, the Police Department, Public Works, and all those things. She thinks he is making an actual contribution to the community by providing retail services and a grocery store. That contribution to the community has gone away; and in lieu of that contribution to the community there will be added profit in the developer's pocket, which is fine, he is entitled to make a profit. What she is saying, since they are not donating or making a contribution to the community in the form of providing something for the residents of

South Beach other than the residents of Harbour Isle, that he ought to consider this. She won't argue any more. She is just going to tell him, unless that is what he is doing, she is not going to support it. But she is only one vote.

Mr. Jeck said he thanks Commissioner Coke for those viewpoints. He just wants to correct another thing that may be an incorrect impression; and that is, the developer wanted the Publix and worked very hard as the file will show through written submissions to find any kind of grocery store to go in there. It was by far their preference that it occur. So the decision to change the site plan was not one that was generated because the developer wanted more profit on this project or to change that. He just wanted to correct that.

Commissioner Coke said but that was the end result.

Mayor Benton said it was unfortunate that Publix moved in on North U.S. #1. If that hadn't happened he thinks Publix probably would have been located here. Just for the record, they are not asking to cut out all the commercial space. They are talking about 10,000 square feet, right?

Mr. Jeck said it is going from 33,000 square feet to 15,000 square feet.

Mayor Benton said in here it says 23,000 square feet.

Mr. Jeck said that is an older version from several months ago.

Commissioner Becht said let's clarify that. In the packet he has he cannot clearly identify what the changes are that Mr. Jeck is requesting nor where they are. So let's get clearly on the record all of the changes he is requesting tonight be performed on his development. They are talking about reducing 33,000 square feet of commercial down to what?

Mr. Jeck said 15,000 square feet.

Commissioner Becht said that is about 18,000 square feet of eliminated commercial square footage.

Mr. Jeck said that is correct.

Commissioner Becht asked he is going to get an additional 48 units?

Mr. Jeck said two buildings with 24 units in each one which is a total of 48 units.

Commissioner Becht said they will get an additional 48 units. That brings them up to what total number of units in this project?

Mr. Jeck said 912 total units.

Commissioner Becht asked what is the density per acre?

Mr. Jeck said that is 9.6, which is well below the 15 that is in the zoning code and the 18 if they add bonuses to it.

Commissioner Becht said other than those two things, and they are talking about under some formula the donation granting of 1.2 acres to the Fire District.

Mr. Jeck said that is correct.

Commissioner Becht asked what else is happening under his proposal tonight?

Mr. Jeck said those are the main things.

Commissioner Becht said he wants to get all of them on record.

Mr. Jeck said the other things are a sign on the road which is permitted under the code, a 200 square foot sign on the road.

Commissioner Becht asked where will it be located?

Mr. Jeck said it will be located on the out parcel tract just to the west of the entranceway.

Commissioner Becht asked is this additional signage?

Mr. Jeck said no, it is the only sign that is going up along the road.

Commissioner Becht asked that is going to be 200 square feet, is that what he said?

Mr. Jeck said yes, about half the size of what the code allows.

Mr. Ramon Trias, Director of Development, asked how tall is it?

Mr. Jeck said he is not sure the exact height.

Mr. Trias said 8 feet maximum. That is what he is going to support in the approval later on.

Commissioner Becht said if they would hold their thought there. He thought if they go forward with the sign ordinance, the maximum they could have is 200 square feet.

Mr. Trias said that is one option, yes. The Commission can make that decision if they want to.

Commissioner Becht said under the ordinance Mr. Trias has presented to them for discussion later tonight, he thought the maximum square footage would be 200 square feet.

Mr. Trias said yes.

Commissioner Becht said so there is really no concession being made by the developer if they go forward with that.

Mr. Trias said no.

Commissioner Becht asked what other changes?

Mr. Jeck said a storage area that is being proposed to be added. There used to be a pond there that was to be used for I.Q. (Irrigation Quality) water, which was determined by the Fort Pierce Utilities Authority would not be an appropriate thing to do in the end of the analysis. So they were left with nothing to do with that piece of land. And because the residents have a limited number of storage units on that side, they felt it was an important service to provide them with more storage units in this area.

Commissioner Becht said that would be on the westerly edge of the property, so he is going to pick up an additional storage area. That would be how much additional storage area?

Mr. Jeck said 41 storage units.

Commissioner Becht said 41 storage units at roughly how much square footage per unit?

Mr. Jeck said the square footage is 16,234 square feet.

Commissioner Becht asked what other changes?

Mr. Jeck said those are all of the changes.

Commissioner Becht said he has the reduction of the commercial from 33,000 down to 15,000 square feet. He has an additional 48 units. He has the 1.2 acres for the Fire District under some formula. He has a 200 square foot sign on the road. And he has roughly 16,000 square feet of storage space. Are there any other changes they are making to their PUD?

Mr. Jeck said not under this application. Those are all the changes that are before the Commission today.

Commissioner Becht said there is an administrative change being made of an additional 1,500 square feet for restaurant space and something else, if he is not mistaken. Is that correct?

Mr. Jeck said yes. There is an administrative change for that which he just mentioned, and there are two others. One is, if they look at the other storage building on the west portion of the project - the one that is already approved - there is an internal storage building. If they will see the notches on the corner, where building has been removed. They are removing four storage units.

Commissioner Becht said he has actually lost four units, so they have reduced their storage by that change.

Mr. Trias said by 1,242 square feet.

Mr. Jeck said the third administrative change is, if they look at the two clubhouses that are shown in the diagram, there is one here for the west side and one here for the east side, and they have been moved over several feet. He is not sure exactly what the number of feet is.

Mr. Trias said 34 feet to the north and the east clubhouse was moved 17 feet to the north.

Mr. Jeck said to provide yard space, so the residents would enjoy a little more yard space.

Commissioner Becht asked does that cover all the changes he is requesting both administratively and through this Commission tonight?

Mr. Jeck said yes.

Commissioner Becht said he thought he had heard somewhere along the line that there was something happening with the wall.

Mr. Trias said the wall is not going in front of the commercial area, the 8 foot wall or whatever; so therefore that area of the site is not going to have a wall.

Mr. Jeck said that is not a change. There never was a wall in front of the commercial area.

Mr. Trias said right, exactly.

Commissioner Becht said he appreciates the clarification.

Mr. Trias said the point he was making is, the alternative would have been to have a wall around that and it would have been very different from a visual point of view.

Commissioner Becht said okay. He thanks Mr. Jeck for that clarification because he did not understand it from his packet; and now he does understand the changes, the benefits to the owner, and the benefits to the Fire District. What he is still being troubled by is what is the benefit to the City. So let him ask that directly, because he is bothered by these things and he wants to give Mr. Jeck an opportunity to respond to them. Quite frankly he is bothered by them going from initially what he had seen as a Planning Board Member, which was 820 units, to 862 units to now 912 units. And he understands they will be able to sell them, that is not a problem; but there is an additional impact on the island, on the community, and on the road system, so he is bothered by that. The developer picks up roughly an additional 16,000 square feet of storage space. Where is the benefit to the City?

Mr. Jeck said he thinks this whole project offers a tremendous benefit to this City considering where they were at the time this project was first proposed and his client decided to invest in this community when nobody else would for many years. So there is a tremendous benefit to the businesses in this City of having a residential base near downtown, a residential base of 912 units that is still far below what the maximum code allows. It provides a source of revenue for not only the businesses in the downtown area, but the entire beachfront area. The community that will be there will also provide some safe harbor for the boats in the area, which the importance of that has been demonstrated to all of them unfortunately with the recent hurricane.

Commissioner Becht said he doesn't mean to interrupt him, but what he is looking at in particular is the benefit to the City of the additional burden on the City by these additional units. That is what he is looking for.

Mr. Jeck said he doesn't view it as a burden to add additional units. Again, he would say the additional units are an advantage to the City because there is certainly a market. The market is driving the need for that. The market is not driving the need for a Publix unfortunately, as they found out. The additional people in the community will add additional tax base to the community in an area that is, remember this is a community redevelopment zone. This is an area they have targeted as a community to cause there to be development in here. They have encouraged and have many policies on record of encouraging projects such as this to be developed in this area. So he would say there is a tremendous benefit to the community in achieving all of its policies under its CRA plan. So there are just numerous benefits being brought to them. The additional benefits to the tax base. The fact that his

client is donating approximately \$650,000 for the construction of a roundabout. The fact that his client is donating the land to the Fire District. The fact that the client has agreed to contribute to the cost of the underground utilities along Seaway Drive. The client has agreed to contribute \$50,000 for landscaping and construction in and around Chuck's Seafood.

Commissioner Becht said let him stop him there. Some of the things Mr. Jeck has mentioned, the developer has to do with his 862 units. The \$50,000, is that something that was negotiated in exchange for these additional units?

Mr. Jeck said no.

Commissioner Becht asked the roundabout, that was not something that was added because of these units?

Mr. Jeck said no.

Commissioner Becht said once again, he is trying to focus on what additional burdens Harbour Isle has picked up because of this. He sees 48 additional units that will add to the tax base, but they are also going to create a corresponding burden in terms of services. Mr. Jeck mentioned the utilities, the burying of the utilities, that is something new he believes.

Mr. Jeck said yes.

Commissioner Becht asked are the utilities buried now or not, as they speak tonight?

Mr. Jeck said he believes they are buried.

Commissioner Becht said that was his understanding is that they are buried. So how is that going to work? Somebody, FPUA he presumes, has already buried the utilities. So how is that going to work?

Mr. Jeck said they agreed to reimburse \$307,000 for that expense.

Commissioner Becht asked is that something they all have talked to FPUA about?

Mr. Jeck said that has been agreed upon and that is a condition of approval.

Commissioner Becht said that is in addition to anything else they may have with FPUA. That is the type of benefit he is looking for in trying to understand why he should alter what was a good plan before and a plan good enough for the developer. But now he wants to change the plan. Which his problem is that they are taking away what he perceives to be long term a need for commercial space because the current market is driven by residential. Five or ten years from now they are going to need more commercial space. This project is designed with that commercial space in mind. And now, with the pressures of the current economy, they are going to change that long term plan into a short term plan that is more economically sensible today. That is where he is coming from.

Mr. Jeck said he won't debate whether it is a long term or short term benefit about this commercial change with him other than knowing anecdotally that the businesses in the area are relieved to have less commercial space there and more residents there.

Commissioner Nelson said the consulting engineer is the guy he wants to talk to relative to the installation of that second storage area. They talked about that storage area they are putting in there replaces the retention pond, right?

Mr. Jeck said that was an I.Q. pond.

Commissioner Nelson asked what is that impact going to be with respect to drainage in that area?

Mr. Butch Terpening, Culpepper & Terpening, Inc., said the pond Commissioner Nelson is referring to was never intended to be nor was it intended to be a drainage or retention pond. It was an irrigation pond which was to take the effluent from the Utilities Authority's Wastewater Plant and provide irrigation to the project. It was an off line pond. When the U.A. decided not to provide water quality sufficient for irrigation, there was no other need for that pond. That is why they eliminated it.

Commissioner Nelson said Mr. Terpening is the engineer on that, so he will be looking at him. He is not going to forget it. When he gets flooded in that area, he will come and see Mr. Terpening.

Seeing no one further and hearing no one wishing to be heard, Mayor Benton declared the Public Hearing closed.

Mayor Benton asked what was Staff's recommendation?

Mr. Trias said Staff and Planning Board recommend approval with conditions and the conditions are fairly detailed. These are listed in the staff report and he would suggest they incorporate those conditions.

Mayor Benton said he has a question of their two Fire Board members. Is the Fire District agreeable to the conditions and the property and everything?

Commissioner Alexander said yes and he would be a man of his word to Harbour Isle, that because of the Fire Board being agreeable with this, that is why he would go forth with it.

Commissioner Becht said the Fire District is represented here tonight. He doesn't know that they have seen the specific language that is in these conditions; and so there is no further miscues, he is wondering if they would care to comment or read or make certain that this language is sufficient to take care of their needs.

Mr. Ken Crooks, Fire District Attorney, said he has seen the language and it is exactly what they had proposed with Mr. Jeck.

Commissioner Nelson asked is it totally acceptable?

Mr. Crooks said acceptable.

Mayor Benton said that is what he wanted to hear. He wanted to make sure.

Commissioner Coke said she would like to make a comment along those lines, because she spoke with the Fire Chief; and the Fire Chief said although this was the best deal they could negotiate, he would be much happier if somehow they could get him his impact fees.

Mr. Crooks said of course they would willing to take that as well.

Mr. Trias said just to set the record straight. The conditions were drafted by Mr. Jeck at his request; and the reason was that this is the result of many months of negotiations between many different people. And obviously perfection is impossible and there is always some compromise, and he thinks they reflect some level of compromise. However, this is exactly what came out after all those months. The Commission is welcome to accept it or make any recommendations they want.

Mayor Benton said he knows when he spoke to them at one point they were looking at four buildings and no commercial, and he couldn't have accepted that because they do need commercial over there. The developer was willing to work with them. He just cut it down and there is still some commercial space there.

Commissioner Coke said her concern is, they started to look toward addressing the needs of the Fire District; and if the Chief says he would agree to this because it is the best he felt he could do, she thinks it would behoove three of them, especially those of them on the Fire Board, to at least ask Mr. Simpson if there is not some way he couldn't partner with this community that little bit more. Because she is sure he will be making enough profit on those 48 units that he could pay the impact fees for the Fire District. She thinks it is just a bad precedence to set, waiving the impact fees.

Mayor Benton said that is why he asked, because he felt the Fire District already dealt with this.

Commissioner Alexander said when he said he is a man of integrity, he spoke concerning that. Now if Mr. Simpson in the near future wants to make that donation to the community... But he can't hold him hostage for not making that suggestion.

Commissioner Becht said he is a man of integrity and he has had several meetings with Mr. Terpening in which he has told him that he doesn't think this is good planning. He doesn't think it is good to increase the number of units because he thinks it is an overload on the community as it is. And he doesn't think taking away the commercial is good. So if they are going to strike an accord or a compromise tonight, he is not in favor of the additional units, he just doesn't think it is good planning. But if he can get a benefit for the Utilities Authority which appears to be substantial and if he can get a substantial benefit to the Fire District... And he has to tell them, he is not happy about this being the location of the Fire Station. He would prefer that the Fire Station be located down by the museum. But if, as Commissioner Nelson is so fond of saying, this will make everybody happy. He would be happy if they could get a complete donation of the land, that would appease him in terms of giving the additional units and having the Fire Station located on what otherwise would be commercial property. Because if the applicant understands, it is not just the loss of the 18,000 square feet of commercial, it is the 1.2 acres, because if the Fire District goes there, he is going to lose that for commercial space as well. So in order for him to be happy, that property will have to be outright donated; and then Mr. Simpson will get his additional units and his additional storage. But, as Commissioner Coke said earlier, he is just one vote here.

Commissioner Nelson said he certainly wants everybody to be happy. He thinks Mr. Simpson is in the audience tonight. He wonders whether or not he could come down here. Maybe he might have been struck by the good fairy to say something good to the Commission tonight and try to really make everybody happy.

Mr. Mason Simpson, Harbour Isle Development, said he appreciates all they have said and he has heard all of their comments. He truly believes, as Mr. Jeck said, that Harbour Isle has done everything it should and it is being a good citizen here. He would reiterate some of that and he would say to them that they are already paying double in terms as Mr. Jeck explained the arithmetic to them. The donation of that land is twice what the Fire District has been accepting from other developers as a contribution in lieu of land. It would seem to him that if this Commission is going to make the decision that everybody gives twice as much, then it is a fair thing for Harbour Isle to give twice as much. But he would remind them that Harbour Isle came here at a time... He remembers the night they came before the Planning Board, September 9, 2001, was the night they came before the Planning Board. Frankly it was a scary night for all of them. And he was wondering if he needed to have his head examined, not because it was Fort Pierce or not because it was development that required people from outside the area to buy it because it is second home stuff, but wondering if there was even going to be an America in a couple of weeks. They all know how they felt and he doesn't need to tell them. But they stayed the course and the City worked with them all and has been very good to them. Through the CRA contribution, if they will call it that, that Harbour Isle is making, there is roughly \$70 million worth of CRA funds that are going to come to this City. And with all due respect to Commissioner Coke and her suppositions about the profit of Harbour Isle, a lot of the profit of Harbour Isle has been taken away by things like concrete being twice as much as it used to be. He will remind them when they sold this project - yes, they sold it all in one day - but when they sold it concrete was \$50 a yard, now it is \$80, and steel was half as much as it is today. Everything they are buying there is costing a lot more. But by virtue of the fact that they entered into what is known as a hard contract, a binding contract with their purchasers, they are delivering the units at what they thought was going to be their cost plus a little increase, and it turns out that little increase is a large increase. They all know that people are reselling those units and making \$100,000 and some people as much as \$150,000 on them and he thinks those are fair values for them. But to characterize Harbour Isle Development as the high profit guy with the big deep pockets that ought to just keep giving and giving, he honestly really thinks Harbour Isle has given all that it should give. And frankly, their profit margins are a whole lot thinner than most people presume. He thinks what he would answer to all that is, he would like to not do that. But if this Commission is going to make the decision that everybody is going to pay double... In other words, the Fire District has been taking roughly \$160 per unit in addition to impact fees as what they like to see developers give, if this Commission is going to bump that to \$320 per unit and from now on everybody is going to pay that, then he will pay it. But it is not coming from deep pockets that are endless, he can tell them that. He doesn't think it is fair to apply it just to Harbour Isle.

Commissioner Nelson asked is he saying that even though he doesn't necessarily think it is fair, but to make everybody happy he will go along with this proposal?

Mr. Simpson said no, not unless they are going to double it for everybody. He sees other projects on the agenda tonight that are here for approval that have already agreed. As Mr. Crooks explained, they spent a good deal of time talking to the Fire Chief. He told Commissioner Coke he would like to have a little more, well he will go tell her he would like a little less if she would let him sit down with her for a few minutes. He would say yes, he gave him that much and he would have liked to have not given him that much, but he did it anyhow because he felt they reached a fair compromise.

Commissioner Nelson said he has been a gentleman all along in this project and they certainly appreciate his project over all. But Mr. Simpson he would certainly make him happy if he would go ahead and do that. He just believes Mr. Simpson could do it and not suffer too greatly. Why can't he just do that?

Mr. Simpson said Commissioner Nelson has not responded to his question. If they are going to do this for everyone...

Commissioner Nelson said he is going to get there, because he is going to say as a precedent they had one developer who did this, now why can't the other developer do the same thing. He operates on the basis of principle and precedent; and if he does it to one, he will do it to another. He will tell him again, he can't think of a finer project they have in this City than Mr. Simpson has over there and he commends him for it. But they are caught shorthanded because of the fact that they didn't lock in the Fire Department's needs over there. They are caught shorthanded because they didn't consummate the deal to get that Publix grocery store or some other type of commercial venture in there, which might have been a good selling point that made them sell 864 units initially because they felt they could walk down the street and buy their groceries. Now they can't do that. They will have to go down to beg some food from the Fire Department people. They have good food in the Fire Department. So if Mr. Simpson were to do this, it might work for everybody's advantage and all these guys might be happy. How much money are they talking about?

Mr. Simpson said \$140,000.

Commissioner Nelson said \$140,000. Don't tell him how much the whole project is going to be. He thinks they can afford it. Do that to make him happy.

Mr. Simpson said okay. If Commissioner Nelson tells him they are going to double that fee and they are going to make everybody else pay it from here on, he will do it.

Commissioner Nelson said he can't say that, because he is only one vote. He tries to persuade people, but he is not very good persuading these guys. He has a lady sitting on his left and a young fellow that sits on the right side over there who are hardheaded.

Mr. Simpson said there are two other Commissioners who have sat here tonight and said they think he ought to give it. So that means, he presumes, they think it is fair that everybody pay twice as much as they are paying. If that is the consensus of this Commission, then he will do it.

Commissioner Nelson said they follow him in terms of trying to be fair and follow precedent and protocol and he can't see them backing off from it. If they do it to one and they do it to the other. He recognizes that the whole idea of the Fire Department thing has been a hot potato for them for quite some time in this situation. There is definitely a need. But hose guys over there who have been on the Fire Board, they don't think like he thinks.

Mr. Simpson said if they all want to make the Fire Chief happy, let him have his CRA money. That is what the Fire Chief told him he would like to have.

Commissioner Nelson said they are working on something on that too. The final question, what is Mr. Simpson going to do for him?

Mr. Simpson said he told him he would go along with it if they are going to raise the bar for everybody else.

Mayor Benton said if they are going to raise the bar for everybody else starting right now.

Commissioner Nelson asked is everybody happy with that?

Commissioner Alexander said they need to get legal advice on that.

Commissioner Becht said the problem he has with the way it has been characterized, the way they are characterizing the donation is based on valuation of the land. He does not know what the 1.2 acres is worth. Mr. Simpson is the investor and the developer, not himself, so he doesn't want to go there. But the Fire District has made certain acceptances of cash donations based on certain things. That number per unit is in flux. It is somewhere in the neighborhood of what they are talking about, but he doesn't know that is where it is going to stay.

Commissioner Nelson asked it is not going to go down, does he think?

Commissioner Becht said no, it is not going to go down. He is not here to punish Mr. Simpson and he is not here to extract or extort anything out of him. He doesn't like the additional units. The compromise is, if the Fire District gets something and the Utilities Authority gets something and Mr. Simpson gets something, then he can see his way through to approve the additional units. That is where he is. He has tried to be as honest as he can.

Commissioner Coke asked do they want to ask her opinion since she was the other one opening her mouth? Before Mr. Simpson and Commissioner Nelson put words in her mouth, she will put them there herself. She thinks the issue is not a specific dollar amount per unit, because she doesn't think that is within this Commission's realm, that is something the Fire Board decides. She thinks the issue here has become - and she would agree with Commissioner Becht that she is very disappointed, as she said up front - to see the retail go. She thinks that would have been a blessing for the whole community, especially those on South Beach. But when they talk about raising the bar and raising the donation level, she thinks when they look at the totality of a project and the impact that this project is going to have. Granted, it is a great project, they love it, and it is bringing wonderful things to the community; but it also is going to have a huge impact on the roads and the Fire District services and all those other things. And

considering that, that is why she thinks if they ever have another project coming in of this size, this Commission would probably have learned from its mistakes and say those guys need to give an "x" amount of space for the Fire District right up front. They won't make that mistake again. So then she won't be bargaining with them at the end of it and asking could they do this for them? She would prefer to see the retail space stay there. She would agree with Commissioner Becht. If the retail space is going away based on the fact that they are compromising and getting something good for the Utilities Authority and the Fire District, she could support it.

Mayor Benton said he doesn't think this Commission made any mistakes when Mr. Simpson first came here. They looked at this as a gift horse, as something the City hasn't seen since the day Ocean Village was built. None of them dreamed in their wildest dreams that the economy and the housing market would do what it had done. Plus when Mr. Simpson came to him, he doesn't know of any developer in the 16 years he has been involved (with the Planning Board and the City Commission) that has ever come to Homeowner's Associations first and asked what do they think of this? Most of the time they get it shoved down their throat. He has to say he appreciates working with Mr. Simpson. The inland marina on this property was the way to go. Most of the developers would put it out there in the river and destroy the river. So he has worked with folks, he has worked with him, he has worked with the Homeowner's Association out there and the staff, and he thinks Mr. Simpson has done a lot more than any developer he has ever had any dealings with and he thinks Mr. Trias could back that up and the Fire District. They have been through this for how many years now? And each time Mr. Simpson comes back with something, they try to extract more. He hopes they do that with everybody else that comes back. There was some discussion here, are they going to be able to, if this is going to be in the motion, charge every developer the new charge?

Commissioner Nelson said he could word the motion to have this addressed with future developers.

Assistant City Attorney Schwerer asked is he talking about the charge that the Fire District has voted on for every unit to be paid over and above the impact fees? Is that the charge he is talking about?

Mr. Trias said the way he understands this - and if he is wrong, correct him - what the developer is proposing is to donate the land and then get some impact fees back; and his interpretation of that value is that he is giving more money than the impact fees would be in any event. He doesn't think the developer is proposing to have a different impact fee, he is simply saying donate the land and pay the impact fee in place already. So he doesn't believe there is any suggestion to change the impact fees from the Fire District. However, from the developer's point of view, he believes he is paying more money than the impact fees. That is the way he understands the discussion.

Mr. Simpson said that is correct.

Commissioner Nelson asked is that his interpretation too?

Mr. Simpson said technically the way things are put together right now - and Mr. Schwerer and Mr. Trias can correct him if he is wrong - legally and technically right now the Fire District is technically happy to have their impact fee, which is something they

have asked for and has been duly processed and approved, and in recent days he thinks they have been asking for additional contributions of cash in lieu of land to build fire stations on if the project isn't big enough to be able to carve out or maybe doesn't need to have it carved out. So they were willing to go along with the original idea, which was that they pay the Fire impact fee just like everyone else does. And then came the issue of it is a big project, so... Nobody missed anything that first time around, the Fire District didn't ask for this so the City didn't ask for this, nobody did, and it just wasn't discussed. So it wasn't really overlooked, it just wasn't talked about. At any rate, now they are saying other big projects around the County maybe and maybe in Fort Pierce that have had enough land that they could carve out an acre or two and say there is the Fire Station site. They have gotten that plus the impact fees. For the smaller projects they said that works out to about \$160 a unit in their estimation, so if they don't have enough room for a Fire Station on their property or their project is too small to need one dedicated to it, then they just give them the \$160 per unit plus the impact fee and they will be happy. Where Harbour Isle is here is they are giving, if they want to look at it that way, the impact fees plus \$320 a unit. It seems to him that is unfair to Harbour Isle. But he also sees he is kind of forcing them all into some kind of a policy decision here that they are not totally comfortable with. And that is not really his idea. He is just trying to talk in terms of fairness. It is not an endless pit of money. He can't just keep writing checks for whatever people ask for. But in fairness, if they all think that everybody should be paying that much additional and they are going to do that in the future, then he can't very well stand here and say that the difference between making money and not making money is \$140,000 over there, he doesn't think it is that tight. But it is not a bottomless pit of money. And while he does not think it is fair, because he negotiated with the Fire Chief. The Fire Chief and he agreed, and Mr. Crooks has told them they spent a long time getting to where they are. The Fire Chief said "This will do it, Mason, if you will agree to this, it will do it. I will be happy." Now he goes back to his wife and says he gave more than he had to or more than he wanted to. But the Fire Chief said it was okay. Now the Fire Chief goes to Commissioner Coke and says he got as much as he could get, but sure he would like to have more. And so here he stands renegotiating the deal one more time.

Commissioner Coke said she is not really looking to renegotiate. But the point is, the renegotiation was brought up by Harbour Isle wanting to do away with the retail space, which was going to be a tremendous asset to the community, and put in two more buildings. She thinks that Commissioner Becht has a valid point, that in 10 years time they will have a desperate need for that retail space there.

Mr. Simpson said he thinks they should be so lucky as to have a desperate need for retail space in this town. Everything along A-1-A that is currently residential or lower valued commercial can get wiped out and new commercial can be built there. They have plenty of room.

Commissioner Coke said if they are moving all of these people in, there will be a need for retail.

Mr. Simpson said he hopes so, from her mouth to God's ear. But he begged for Publix to come here and Publix said no, there will never

ever be enough rooftops on Hutchinson Island that they will put a Publix store there. He went over the guy and he went around the guy and went to the top of Publix to Mr. Jenkins, and Mr. Jenkins said they are not going to do it. Now they have done shopping centers with Publix in them and love to have Publix and they like them. But trust him, it isn't going to happen here.

Mayor Benton said they have one grocery store out there that is real happy that Publix isn't coming out there. They have been waiting for their day in the sunshine for ten years. And he thinks they are going to finally have it until the big guy comes in. To him, he thinks they have beat this to death. That is why he specifically asked the Fire Board members, and he is sure the Fire Board had discussion, if they were happy and if they were agreeable to the agreement that was drawn up.

Commissioner Alexander said he just has to reiterate that he talked to Mr. Simpson and he gave him his word. And he just wants to let one thing to be known that any of the monetary value is a donation. It is not required that they do anything, but it is a donation on their behalf, and he is going to leave it like that.

Mayor Benton said he believes when he bought that property it was for \$140,000. Today he could probably sell it for about three or four times that easily.

Mr. Simpson said he has one other quick question. He knows they have beat this thing all night long. That price of \$470,000 was an MAI appraisal, Dan Fuller did it. And so the value is not inflated or anything else. In fact, it was over a year ago. On point with what Mayor Benton is saying, it is probably worth \$600,000 or \$700,000 now. But he agreed a year ago to hold the price for the Fire Chief when he didn't even know if he wanted it. Last summer, he is talking about the summer of 2003, the Fire Chief said he is not sure he really wants to be there and asked if he could he hold it for him for a while. He told the Fire Chief he would hold it for him for a while and he will hold the price. And so a year has come and gone, and now not only is he holding the price, he is being asked to give it away.

Commissioner Becht said he would just like to clarify a couple of things. Back in September when Mr. Simpson came to the Planning Board, if he will go back to the Minutes, he will see comments from him that he thought he had underestimated their market. It will be in there. And he asked him why he was just building two bedroom, two bath units instead of a mix in there. They will see it in the Minutes. It is not his money. Mr. Simpson is the guy standing at the plate doing it. And he wants to thank him for what he has done. He ought to be thanked. He ought to be complimented. But he has an approved project and now he is coming in and he wants to tinker with it. The tinkering he is doing has some good things and the tinkering he is doing has some bad things. The bad things to his way of thinking outweigh the good things unless they can get the additional concessions. Commissioner Coke several weeks ago at a public meeting here said she would have preferred that the land be donated. He does not know in what context it came up, but it wasn't this week or last week that she made that position known, and it was in a public forum. Mr. Simpson wasn't here, so he doesn't know how he would have found out about it, but it wasn't at the last minute. And he himself has for the last two months at the Fire Board meetings said this is not the solution to this problem because he for one can't approve the reduction in the commercial

taking, the 1.2 acres out of commercial production and the reduced square footage. So he has been consistent over there. He is sorry that Mr. Simpson got signals from other directions. He has talked with Mr. Terpening repeatedly and said he just doesn't think it is good planning for the City. He appreciates what Mr. Simpson has done. He likes the project he has. But he wants to tinker with it, and he is not real happy with all the tinkering he is doing.

Motion was made by Commissioner Alexander, seconded by Commissioner Nelson, to approve the Site Plan submitted by Causeway Island Trust for an Amended Preliminary and Final Development Plan for a Planned Unit Development known as Harbour Isle at 801 Seaway Drive, with the conditions outlined in the memorandum by Staff dated August 2, 2004: (1) The developer will pay for underground utilities along the front of the site. (2) Harbour Isle Development, LLC, or its affiliates, (collectively "HID") will deed Tract M of the Plat of Harbour Isle to the St. Lucie County Fire District ("District") under the following conditions: (a) HID will deliver the deed to the district no later than 12/31/04; (b) The District will not charge HID and will waive the St. Lucie County Fire/EMS impact fees in the amounts of 912 residential units at \$148 each and 31,500 square feet of commercial retail/restaurant space at \$140 per 1,000 square feet for a total of \$139,386; (c) No St. Lucie County Fire/EMS impact fees are applicable to the recreation buildings and storage buildings serving the condominiums or the marina boat slips, but if any such impact fees become applicable, they will not be charged and will be waived by the District; (d) Tract M will not be subject to the Master Declaration or other Harbour Isle PUD conditions; and (e) At its expense, HID shall use its best efforts to cause Tract M to not be subject to the conditions of the Harbour Isle PUD permits from the South Florida Water Management District, the Florida Department of Transportation, and the Army Corps of Engineers.

Commissioner Nelson said he thinks the City Attorney could have added some clarity to the point that Mr. Simpson and he were discussing relative to precedence being established in relations to other following developers making similar concessions. Commissioner Becht is always talking about his favorite thing, let's raise the bar. He would much rather have had that discussion. He will give the City Attorney a chance to make that input if he so desires at this time; otherwise, they are going to vote on it one way or the other.

Assistant City Attorney Schwerer asked is there a question?

Commissioner Nelson said precedent and the possibility of the Commission having to impose similar type of constraints on future developers as Mr. Simpson was offering relative to the impact fees.

Assistant City Attorney Schwerer said let him try to address that. Mr. Trias was right on point, what he was simply saying is that is the developer's way of valuing what his contribution is by weighing it against what the current impact fee is. His advice to this Commission is to stay as far away from impact fees as they can. They presented a proposal that says they want a waiver of the impact fees and they are willing to donate it. He is valuing that donation by saying it is twice the current rate for the extra units. His advice to the Commission is to value it for whatever benefit they feel it is to the City or the community or whatever the benefit is to the developer to get these extra units. The Commission is here to weigh the benefits and detriments of this

proposal. Mr. Simpson is here for a modification of the site plan. It has a number of conditions to it. They can approve that as stated in the report, they can disapprove it, or they can approve it with additional conditions provided the developer agrees to those conditions, but they cannot force him to agree to it. They can either approve it or disapprove it, unless he agrees to the change they want him to make. Is that clear?

Commissioner Nelson said like muddy water.

Mr. Trias said just to help him with the information, as he said before, these conditions are a result of many months of negotiations. In his view, this is what everybody could live with and everybody agreed to live with. And short of him making a different statement today, he thinks that is probably the best negotiated agreement they can get. But if they choose to make a strong message and do something else, they obviously have that ability and power.

Commissioner Nelson said hears him and it appears everybody agrees with it, but they have two Commissioners that are straddling the fence. The objective was to make truly everybody happy. He is not sure they are going to achieve that under the present circumstances. Mr. Simpson did offer an olive branch there, but he put it on the head of future developers and he laid it down.

Mayor Benton said just to add to that discussion, they have talked about raising the bar and they are waiting for that consultant to come in and do so, but it is still a fact that a good part of Fort Pierce does not have impact fees at all. So it is hard to say they are going to raise the bar to one when there is a good chunk of the City they can do anything they want and not pay a dime in impact fees. And that has to be addressed now that the world has found out about Fort Pierce. It is hard to extract until they change the rules and he thinks they need to change the rules soon. But he has been at it for a long time.

Commissioner Coke said she would just make one point in reference to what Mr. Trias said that a lot of people have been working on this. She thinks had staff come to this Commission right up front and said they are negotiating giving up "x" amount of retail space for this, how would they like to see the negotiation go, she would have told them. Number one, she doesn't want to see the retail space diminished; but number two, if it is diminished, then this community as a whole needs to see a great value in exchange for what they are losing.

Mr. Trias said right. That is the purpose of this meeting. This is the meeting when they get a chance to say that.

Commissioner Coke said she knows. But she is saying, had they told her up front, they would have known right up front that she would not be happy with giving up the retail; and if they were going to give up the retail, then she would have told them right up front to donate the land for the Fire Department.

Mr. Trias said basically the nature of the compromise was that they give up half of the retail and they gave up half of the units.

Commissioner Coke said she would have liked if staff had called and asked what did she think prior to this point.

Those voting in favor of the motion were: Commissioners Alexander, Nelson, and Benton. Those opposed: Commissioners Becht and Coke.

Commissioner Nelson said that means most of them are happy.

Mr. Simpson said thank you. He appreciates it.

The next item on the Agenda was Public Hearing on Application for Waiver of Distance submitted by Dennis M. Franklin of Pizzoodle's, Inc., for a 2-COP license for a restaurant to be located at 222 Orange Avenue; said property zoned C-4, Central Commercial Zone. (Postponed from August 2, 2004. Postponed from September 7, 2004, due to Hurricane Frances.)

Mayor Benton declared a Public Hearing in session and asked if anyone in the audience wished to be heard.

Mr. Mitchell Weiss said he is the General Manager of Pizzoodle's making the request.

Commissioner Becht asked when would he be open?

Mr. Weiss said hopefully the end of this week or the middle of next week.

Seeing no one further and hearing no one wishing to be heard, Mayor Benton declared the Public Hearing closed.

Mayor Benton asked what was Staff's recommendation?

Mr. Ramon Trias, Director of Development, said Staff and Planning Board recommend approval.

Commissioner Becht asked where is this restaurant going to be?

Commissioner Nelson said 222 Orange Avenue.

Mr. Trias said next to Jiffy Print.

Commissioner Alexander said it was a restaurant there not too long ago.

Commissioner said all right, he knows where it is now.

Motion was made by Commissioner Becht, seconded by Commissioner Alexander, to approve a Waiver of Distance requested by Dennis M. Franklin of Pizzoodle's, Inc., for a 2-COP license for a restaurant to be located at 222 Orange Avenue.

Those voting in favor of the motion were: Commissioners Alexander, Becht, Coke, Nelson, and Benton. Those opposed: None.

Ordinance No. K-285 entitled, "AN ORDINANCE EXTENDING THE TERRITORIAL LIMITS OF THE CITY OF FORT PIERCE, FLORIDA, TO INCLUDE PROPERTY GENERALLY LOCATED ON THE **WEST SIDE OF STATE ROAD A-1-A, NORTH OF BLUE HERON BOULEVARD (LOT 11, BLOCK 17, RE-PLAT OF SURFSIDE PLAZA UNIT NUMBER ONE)**; DIRECTING THE ST. LUCIE COUNTY PROPERTY APPRAISER TO ASSESS SAID PROPERTY AND PLACE IT ON THE CITY TAX ROLLS AS OF JANUARY 1, 2005; DIRECTING THE ST. LUCIE COUNTY TAX COLLECTOR TO COLLECT TAXES ON THE HEREIN DESCRIBED PROPERTY; CERTIFYING PUBLICATION OF THIS ORDINANCE; ZONING SAID LAND; ESTABLISHING THE FUTURE LAND USE DESIGNATION; REPEALING ALL

“STATE-OF-THE-ART”



Cumberland

F A R M S

Quasi-Jucial Proceeding/Competent and Substantial Evidence

- Subject Matter Expert testimony:

- Land Use/Code Compliance

- Mel Scott, AICP (since 1997) – land use compatibility/Comp. Plan & Zoning Code compliance/consistency

- Traffic Safety/FDOT Compliance

- Shaun MacKenzie, P.E. (since 2001) – Seaway Drive level-of-service (LOS) acceptability and traffic flow/design per FDOT standards

- Environmental Protections/Innovations

- William E. Baird, P.E., LSP (since 1965) – environmental protections meeting and/or exceeding State and Federal standards for underground petroleum storage

- Engineer of Record

- Jeff Lucas, P.E., (since 2010) – site layout and code compliance

Cumberland Farms Request to Mayor/Commission

- Approval of “State-of-the-Art” Convenience Store w/ *fueling island*
- *1,675 sq. ft.* of additional retail space.



Harbor Isle at Hutchinson Island History

- August 5, 2004, City Commission granted approval of the “planned development” *Harbor Isle*.
- Multi-family and commercial uses were approved.
- Commercial uses were approved along Seaway Drive (i.e., subject parcel) to ensure resident convenience and predictability of future build-out.
- Initially planned for a 33,000 s.f. retail center and later reduced to a 15,000 s.f. retail center.

Tenants of “Planned Development”

- Community Planning – Right uses/right locations
- Architecture/Aesthetics
- Landscaping
- Lighting/Security
- Traffic Circulation
- Environmental Protections

Site Design; Listening - Responding

- Underground Storage tanks shifted away from adjacent residential.
- All deliveries will occur in “front of house”, never from the rear.
- Increased landscaping along existing privacy wall to achieve 100% opaque condition from all commercial activity at rear property line.
- Color scheme/architecture consistent with Harbor Cay shops and Harbor Isle (Benjamin Moore paint).

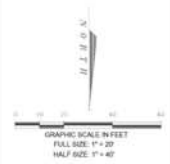
Site Design; Listening - Responding

- Additional investment in security cameras around perimeter
- (3) Storm-Ceptor devices to capture runoff particulates before entering into master storm system (key innovation exceeds Code)
- Site lighting achieves 0 foot-candles at property line (slide 14 will illustrate)

LANDSCAPE PLAN



LANDSCAPE CODE REQUIREMENTS		REQUIRED	PROVIDED
Landscape strip (not over 10,000 SF)	1 tree per 300 SF @ 3,724 SF	13	2 (6 palms) & 2 trees
Interior vehicular use area	1 SF per 15 SF of Vehicular Use area @ 29,767 SF = 2053 SF Reduction for preserved trees (50% min): 4 @ 400 SF = 1600 SF Interior landscape of 1 tree per 100 SF @ 1053 SF		4 existing & 13 proposed
		11	17
	Up to 50% of required trees may be palms (1 tree = 3 palms)	< 7 (21)	0



DATE: _____
SCALE: _____

NOTES:
1. The landscape plan is prepared in accordance with the Florida Landscape Architecture Code of Ethics and the Florida Landscape Architecture Board's rules and regulations.
2. The landscape plan is prepared in accordance with the Florida Landscape Architecture Code of Ethics and the Florida Landscape Architecture Board's rules and regulations.
3. The landscape plan is prepared in accordance with the Florida Landscape Architecture Code of Ethics and the Florida Landscape Architecture Board's rules and regulations.

FOR INFORMATION SO

ATKINS
CORPORATE OFFICE
1175 BURGESS BLVD
MELBOURNE, FL 32940
TEL: 321 242 4842
FAX: 321 242 6101
www.atkinsglobal.com



835 SEAWAY DR
FT. PIERCE, FL 34949

LANDSCAPE PLAN

DATE: _____
SCALE: _____
PROJECT NO: _____
ARCH: D
CFG08.1

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	REMARKS
TREES					
LJ	LIGUSTRUM JAPONICUM	LIGUSTRUM	4	12' HT., 1.8" DBH.	
QV	QUERCUS VIRGINIANA	LIVE OAK	5	14' HT., 2.0" DBH.	9' CLEAR TRUNK
BP	SABAL PALMETTO	SABAL PALM	14	12' CLEAR TRUNK	
SM	BREWSTERIA MAHAGONI	MAHOGANY	8	14' HT., 2.0" DBH.	9' CLEAR TRUNK
SHRUBS/GROUNDCOVERS					
AG	ARACHIS GLABRATA	PERENNIAL PEANUT	351	8" HT. x 12" SPR.	18" O.C.
O	CHRYSTOMALUS GARGO RED TIP	RED TIP COCKSPURM	136	30" HT., 1 GAL.	30" O.C.
JV	JASMINUM VOLUBILE	WAX JASMINE	134	24" HT., 1 GAL.	30" O.C.
PW	PODOCARPUS MACROPHYLLUS	PODOCARPUS	138	30" HT., 1 GAL.	30" O.C.
TURF					
S00	STENOTAPHRUM SECUNDATUM FLORIDAM	ST. AUGUSTINE FLORIDANA	1,171 SQYD		

Eastern Entrance



835 Seaway Dr
Fort Pierce FL

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SOLUTIONS

Western Entrance



835 Seaway Dr
Fort Pierce FL

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SOLUTIONS



**EXAMPLES OF
ALUMINUM ROOFTOP
SCREENING LOUVERS**

North View Harbor
Isle pkg lot & CF rear

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SOLUTIONS**

2nd FL looking north



835 Seaway Dr
Fort Pierce FL

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3rd FL looking north

835 Seaway Dr
Fort Pierce FL

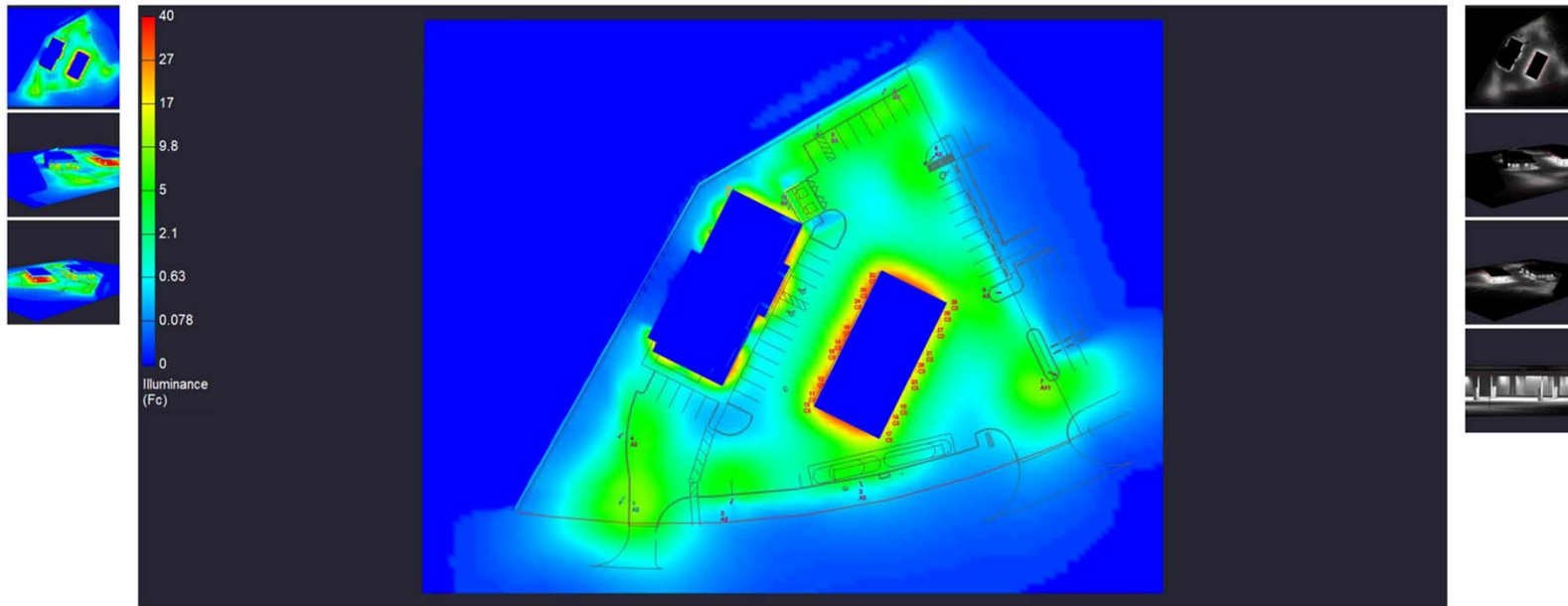
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INTERACTIVE SITE LIGHTING

ILLUMINATION MAPPING
PSEUDO COLOR LIGHTING STUDY AND SLIDESHOW



ROLL CURSOR OVER IMAGES ON LEFT AND RIGHT TO VIEW LARGER



UNDERSTAND YOUR LIGHTING SOLUTION
CLICK TO VIEW AN INTERACTIVE PHOTOMETRY COMPARISON

PHOTOMETRIC COMPARISON TOOL
LIGHTING DISTRIBUTION TOOL
IP RATINGS EXPLAINED



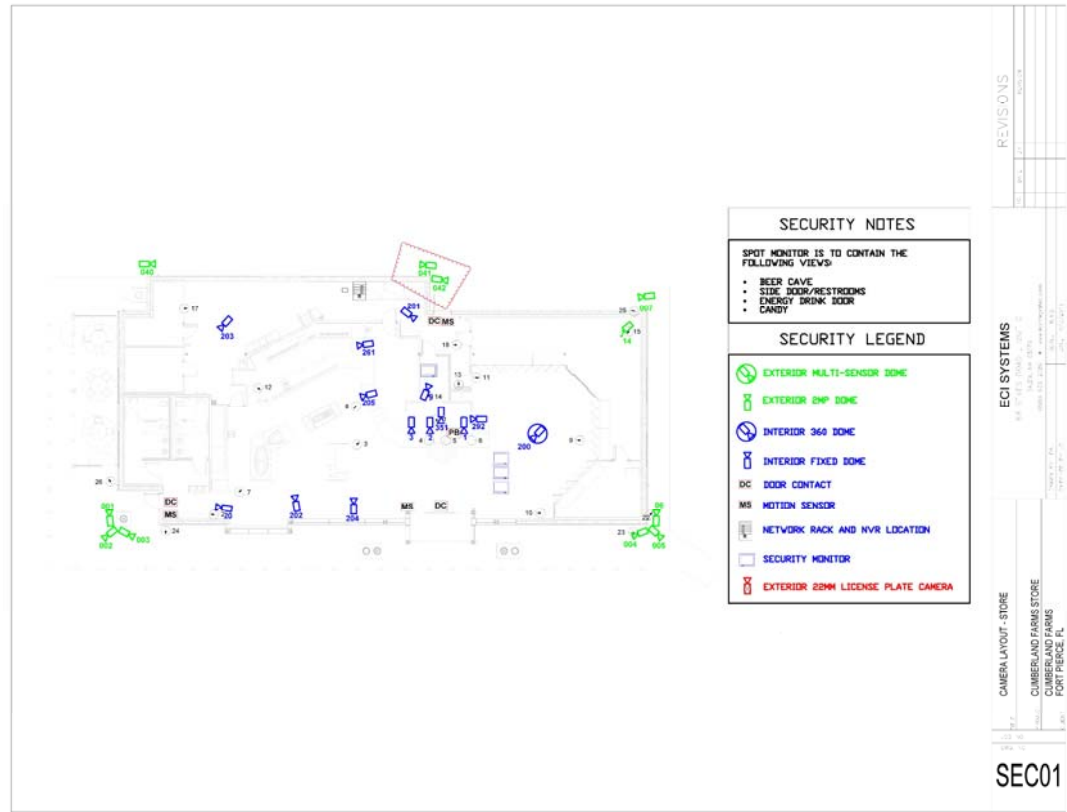
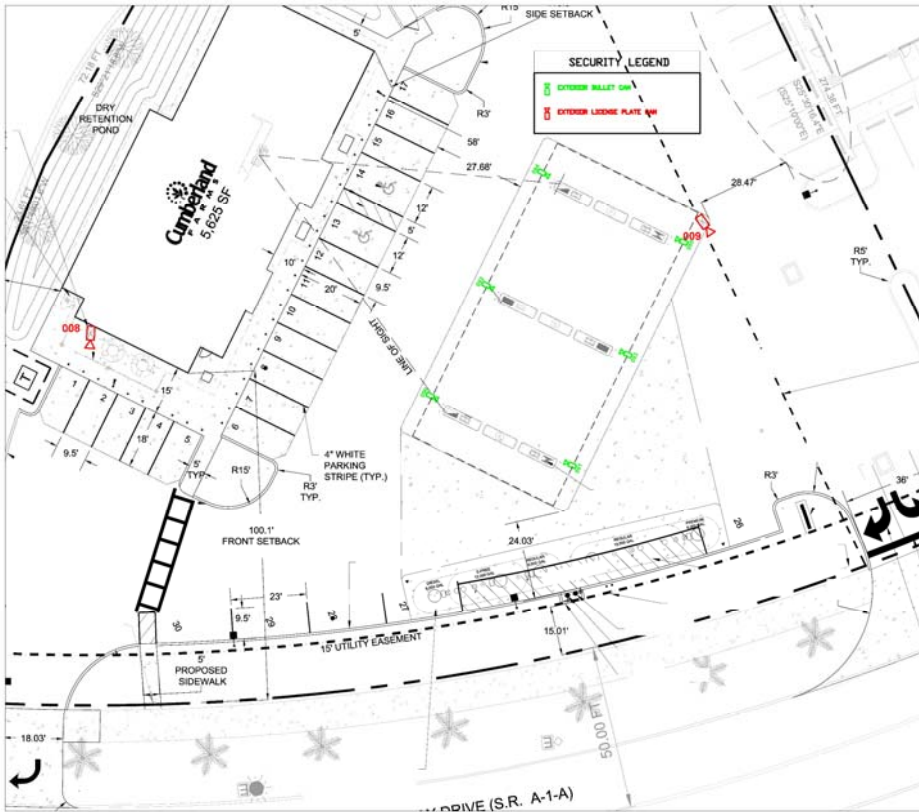
Adobe Acrobat
Document



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RL-5964-S1-R5
PAGE 4 OF 5

SECURITY CAMERA LAYOUT



REVISIONS	

ECI SYSTEMS	

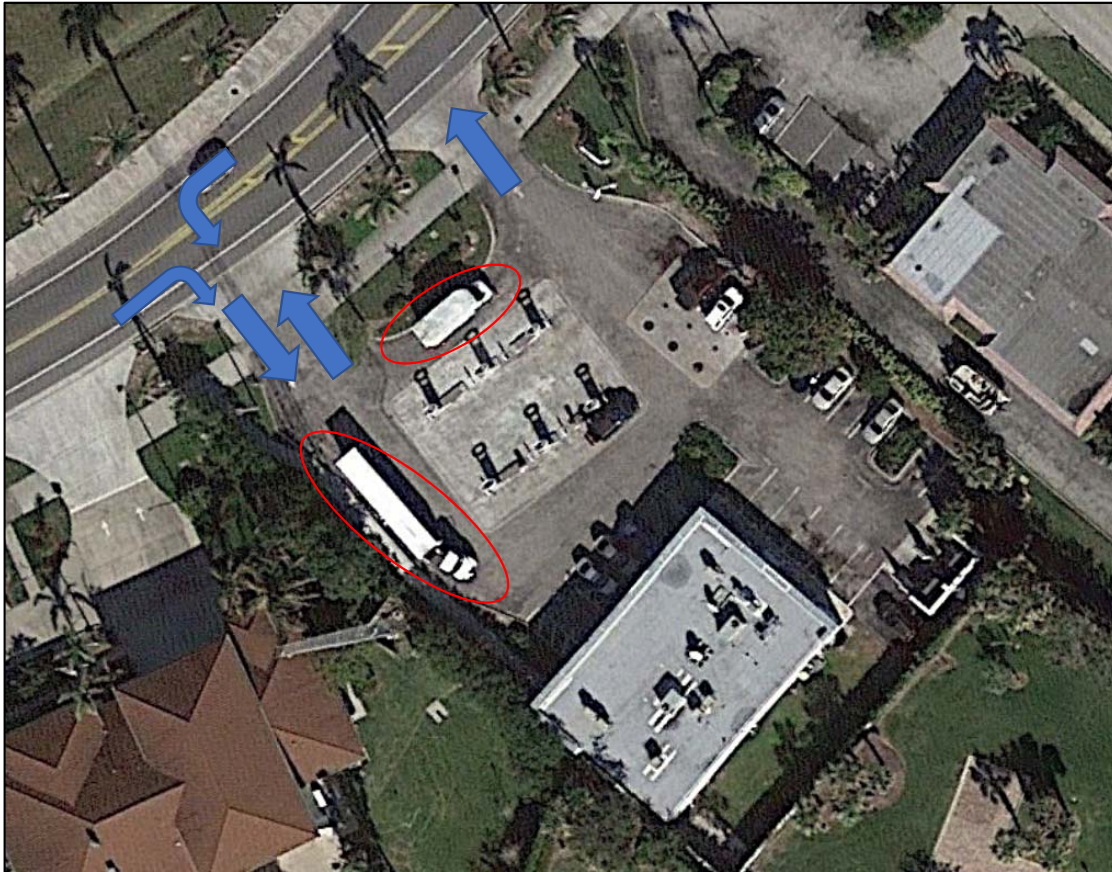
CAMERA LAYOUT - STORE	

CUMBERLAND FARMS STORE	

PORT PEARL, TX	

SEC01

TRAFFIC - EXISTING SITE



- One Outbound Driveway
- One Inbound and Outbound Driveway
- Tight Circulation
 - 1 x 12' inbound lane
 - 12' between Pumps Parking & Store Parking
 - 13' between Pump parking and exit Island
 - 21 parking stalls
 - 12 vehicle fueling positions

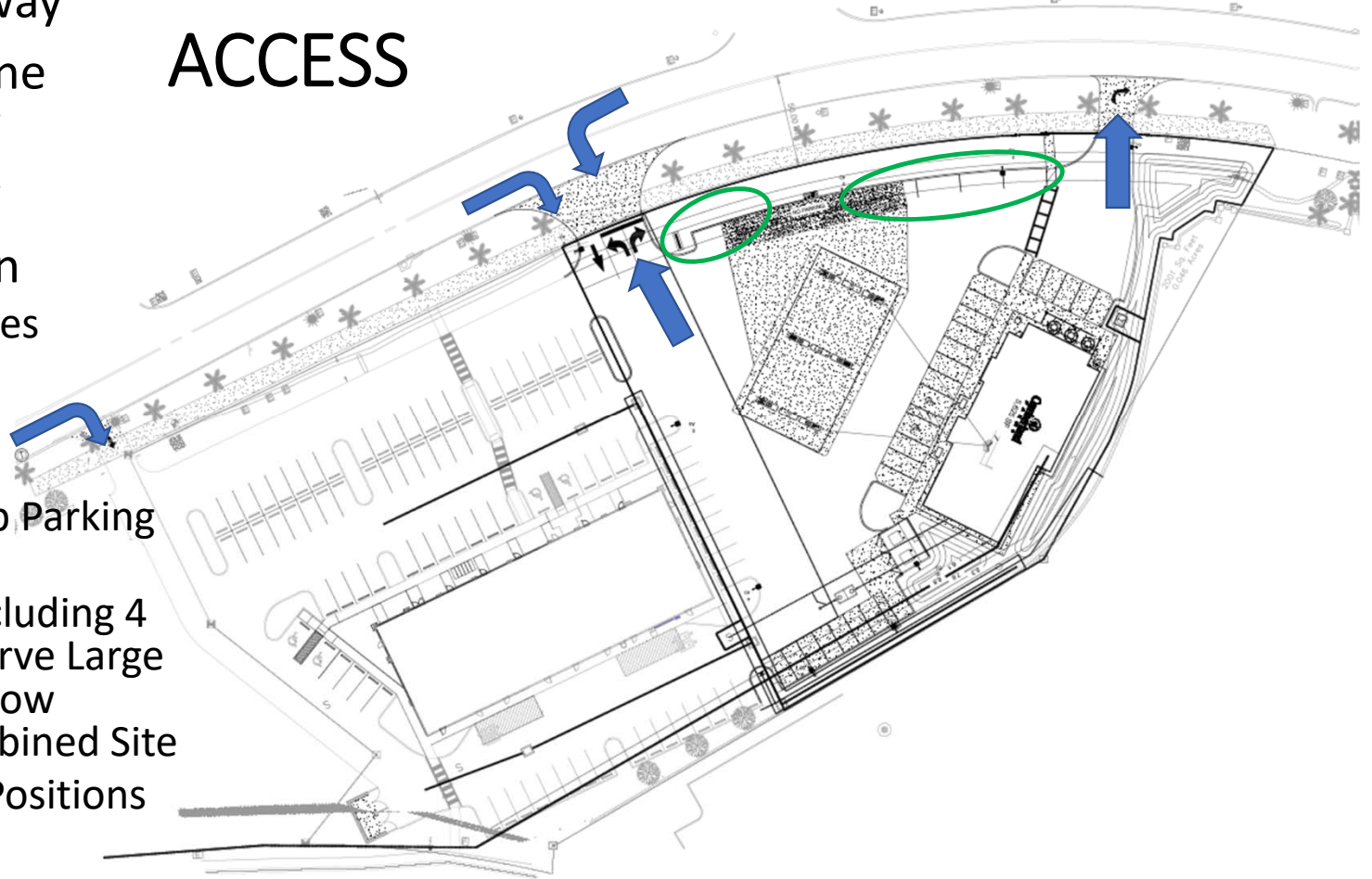
EXISTING SITE CONSTRAINTS



- Onsite Circulation is constrained and impacting A1A
- Large vehicles have difficulty parking at circulating at the existing site
- 2 Pump Islands

IMPROVED SITE CIRCULATION AND ACCESS

- One Inbound Driveway
- One Inbound and One Outbound Driveway
- Outbound Driveway
- Improved Circulation
 - 2 x 12' Inbound Lanes
 - 30±' between Pump Parking & Store Parking
 - 28±' between Pump Parking and Exit Island
 - 30 Parking Stalls Including 4 Parallel Spaces – Serve Large Vehicles Plus Overflow Parking within Combined Site
 - 12 Vehicle Fueling Positions
 - 3 Pump Islands



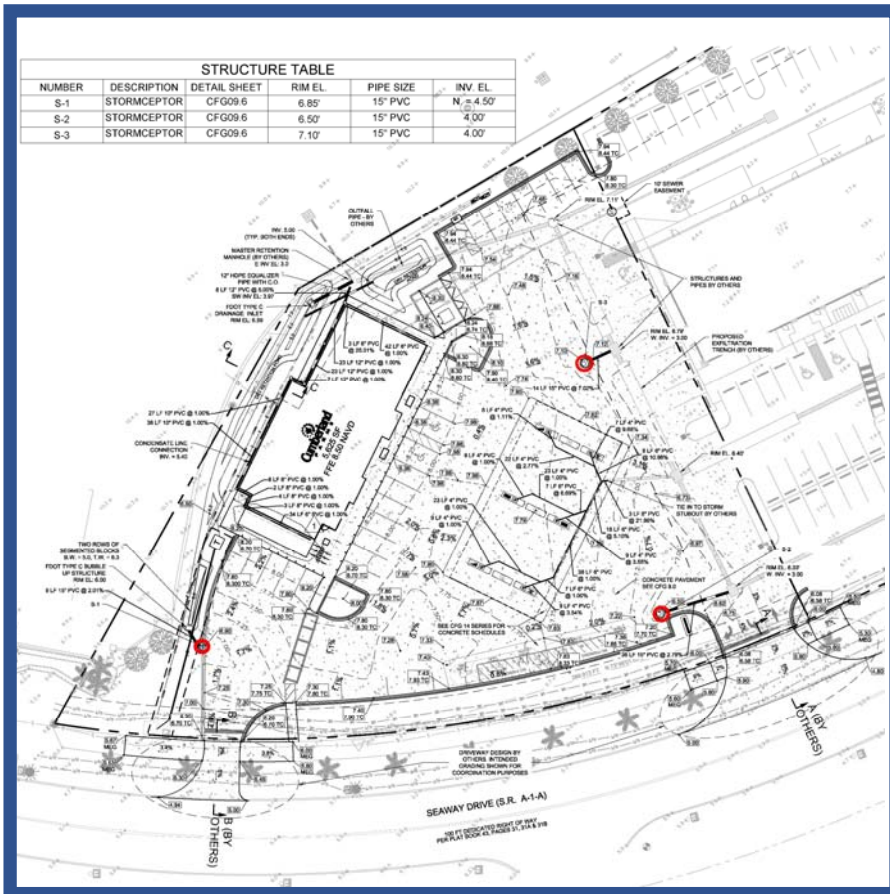
TRAFFIC FLOW

- New Site Provides More and Better Access
- Move Cars Off A1A Faster and on to Site
- FDOT Approved Access as Shown
- St Lucie County Fire District Approve Site and Access – “The St Lucie County Fire District has no issues and the site meets the access requirements” – Captain Paul Langel

TRAFFIC CONCURRENCY

- MEETS ADOPTED LEVEL OF SERVICE STANDARD
- Westbound Left-turn LOS
 - AM Peak Hour – 8.6 Seconds – LOS A
 - PM Peak Hour – 9.2 Seconds – LOS A
- Traffic Study Includes Impact of Existing Cumberland Farms Store
- Closure of Existing Store – 661 Daily Trip Reduction on A1A

Protecting the Environment



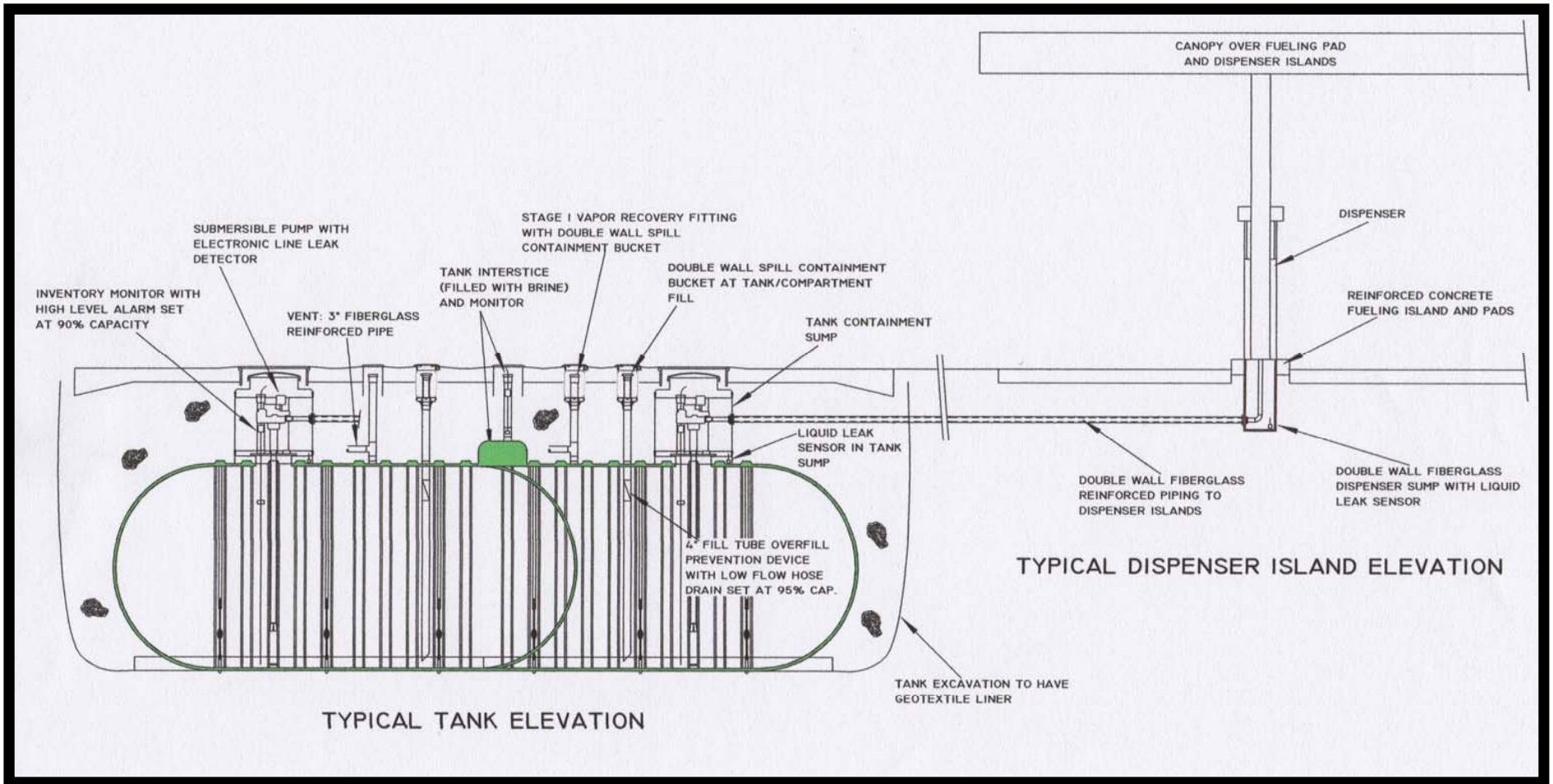
- The site plan shows 3 Stormceptors.
- All surface waters will drain to a Stormceptor.
- Stormceptors remove sediments and oils from stormwater.
- Stormceptors were first approved by the New Jersey Corporation of Advanced Technology in 2004.
- Stormceptors were recently recertified by the Department Environmental Engineering and Sciences at the University of Florida, Gainesville in 2008

Protecting the Environment

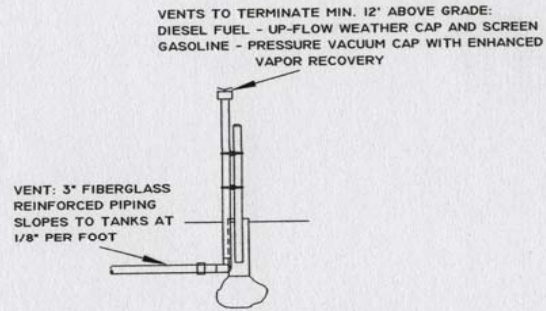
- Water with sediment, oils and trash will enter the Stormceptor from the surface.
- Water flows downward to lower chamber. Sediments settle. Oil and trash floats and is trapped in a containment structure.
- If there are no spills, the Stormceptor is cleaned yearly.
- Each Stormceptor is certified to hold 50 gallons of oil.
- Stormceptors meet Iso 14034 Environmental Management Environmental Technology Verification.



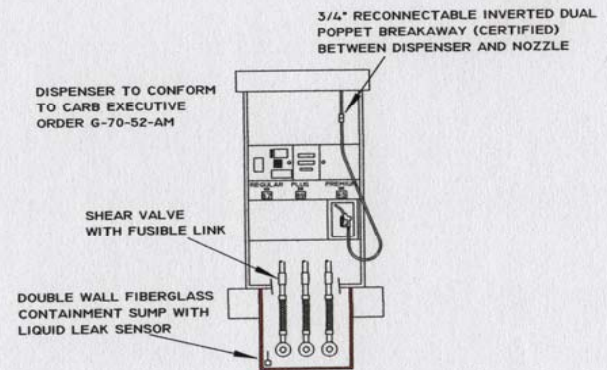
Protecting the environment



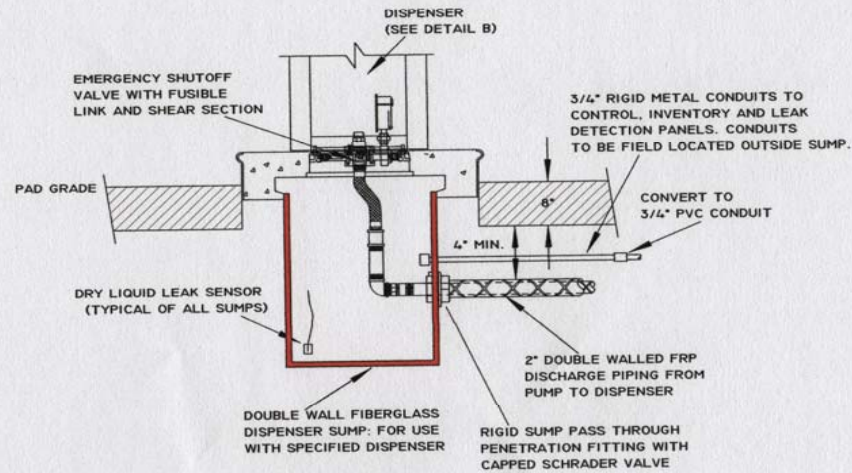
Protecting the Environment



VENT SUPPORT AND TERMINATION



TYPICAL DISPENSER DETAILS



TYPICAL DISPENSER SUMP

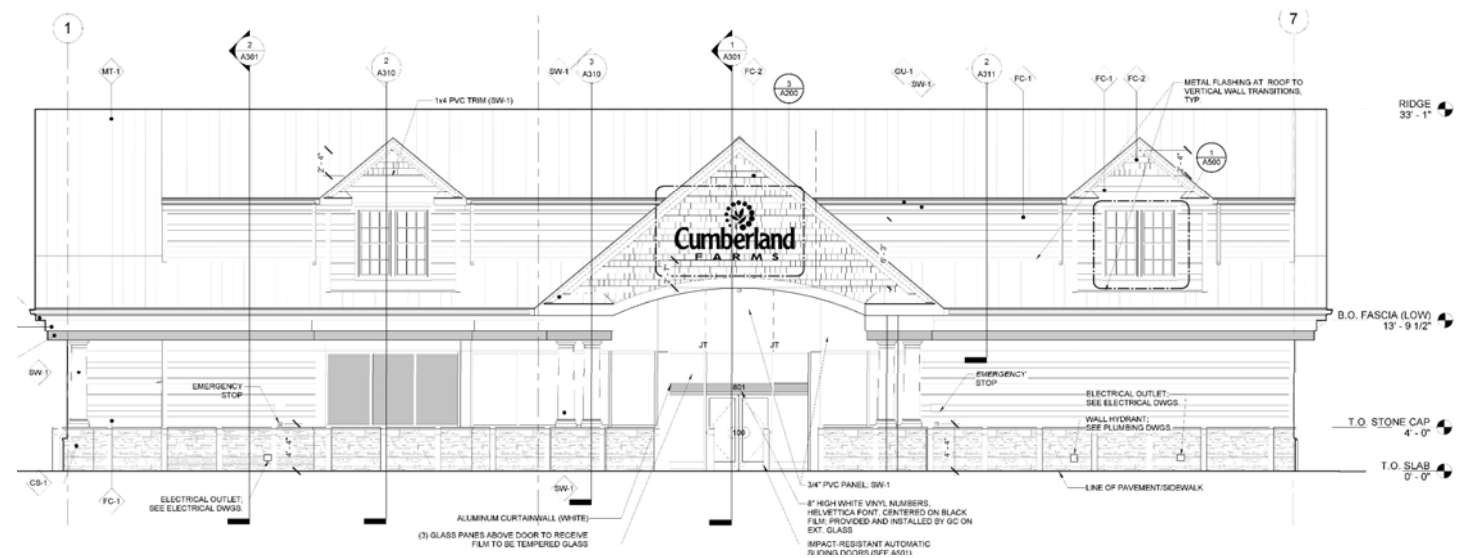
Summary Facts for Approval

- Planning Staff recommendation – APPROVAL
- Planning Board recommendation – Unanimous APPROVAL
- Elimination of “old” store with “State-of-the-Art” Facility
- 15 years ago – HIMU/PD anticipated commercial use at 835 Seaway Dr.
- Infill development preserving community asset for convenience goods.

Summary Facts for Approval

- Cumberland Farms listened and responded to community.
- Tax Base and investment in the **Sun Rise City** of Ft. Pierce

• THANK YOU



WEB ENGINEERING ASSOCIATES, INC.

111 Summer Street

P.O. Box 710

North Scituate, Massachusetts 02060

TEL: 781-546-2161 • FAX: 781-378-2192

July 1, 2019

Fort Pierce Planning Board
100 N. U.S. Highway 1
P.O. Box 1480
Fort Pierce, FL 34954

Dear Members of the Fort Pierce Planning Board

The following is a Third Party Evaluation of the Proposed New Petroleum Storage, Fuel Dispensing and Environmental Protection for Cumberland Farms, Inc. at 801 Seaway Drive, Ft. Pierce, FL

This evaluation is prepared by Web Engineering Associates, Inc., Scituate, MA., William E. Baird, PE, LSP.

Existing Facility: Cumberland Farms currently operates a convenience store with gasoline at 975 Seaway Drive. The existing fuel storage and dispensing at 975 Seaway Drive consists of 3-8,000-gallon double wall steel tanks installed in 1995. The underground piping is double wall flexible piping with mechanical leak detection. There are two dispenser islands with 6 dispensers dispensing gasoline.

Proposed new facility: Cumberland Farms proposes to operate a new convenience store at 801 Seaway Drive with fuel dispensing. The fuel will be stored in double wall fiberglass reinforced plastic (FRP) tanks. The underground piping will be double wall FRP piping. There will be 3 dispenser islands with 6 dispensers. The fuels dispensed will be regular and premium gasoline, ethanol free gasoline and diesel fuel.

The entire facility will be "state of the art" for petroleum storage, meeting or exceeding state and federal regulations for underground petroleum storage.

This report is divided into 4 Sections: (1) Environmental Protection, (2) Operations and (3) Environmental issues related to the storage of gasoline. (4) Comments Regarding the "Initial Strategy Analysis-Harbour Isle Preservation & Cumberland Farms."

(1) Environmental Protection:

Tanks: The proposed new tanks are 24,000 gallons each. The tank storing ethanol free gasoline has three compartments; 1-6,000-gallon diesel, 1-6,000 gallon regular gasoline and 1-12,000 gallon ethanol free gasoline. The tank storing 18,000 gallons of regular gasoline also has a 6,000-gallon premium gasoline compartment. The compartments are separated by a fiberglass reinforced plastic bulkhead. The 6,000-gallon gasoline compartment is connected to the 18,000 gallon gasoline compartment by a pipe that creates a siphon, so the two regular gasoline compartments in the two tanks act as one tank.

The primary tank and the secondary tank are constructed of fiberglass reinforced plastic (FRP). FRP tanks and FRP piping contain glass fiber reinforcement embedded in cured thermosetting resin. Thermosetting plastics are resins that undergo an irreversible reaction when cured in the presence of a catalyst. Cured thermosetting resins cannot be re-melted and are insoluble to petroleum products; blends of gasoline and diesel fuels. FRP tanks and piping do not corrode in a soils environment.

The steel tanks at 975 Seaway are steel and subject to internal and external corrosion.

FRP tanks and piping meet the standards of the following organizations:

API American Petroleum Institute
ASME American Society of Mechanical Engineers
ASTM American Society for Testing and Materials
AWWA American Water Works Association
FM Factory Mutual Research
NSF National Sanitation Foundation
UL Underwriters Laboratories, Inc.

The FRP tanks are double wall. The space between the walls, the interstice, is filled with brine. Brine is filled into the interstice and into a containment area located on the top of the tank. The brine is a calcium chloride solution. The containment area at the top of the tank has a liquid level sensor. Should the primary tanks containing gasoline or diesel fuel fail, the brine will leak into the primary tank and the liquid level sensor will activate an alarm. An inventory gauge located in the product also has a liquid sensor. Therefore, there is redundancy in sensing a leak in the primary tank. There will be no release to the environment. Should the external tank, the secondary containment, leak, the brine will leak into the area surrounding the tank and the level sensor will sound an alarm. The brine is a non toxic colored water solution. The sensor is continuously monitored and should the sensor fail to provide a signal, an audio/visual alarm is activated.

The steel tanks at 975 Seaway have a dry interstice. Should the secondary containment fail above the groundwater or above the normal high level of the storage of the gasoline, the failure of the secondary containment will not be detected.

I have consulted the Fiberglass Tank Institute, a nonprofit manufacturers association dedicated to the advancement of FRP products, and other journal sources and found no reports of a release of product from double wall fiberglass tanks, of which there are more than 200,000 in service.

Piping: The underground piping is secondarily contained FRP pipe. The primary pipe contains gasoline or diesel fuel. In the event of a failure in the primary pipe, the interstice between the two pipes, conducts the product to a containment sump. The containment sump has sensors located near the bottom of the sump. All underground piping is sloped to a containment sump, so any release of product flows quickly to the containment sump. Activation of a sump sensor creates an audible/visual alarm and the system is immediately shut down.

The underground piping at 975 Seaway has flexible piping. Flexible piping is subject to failure from reactions with certain gasolines or diesel fuels. Flexible piping does not have the ability to carry product leaking from primary containment to a containment sump except under pressure. Small leaks may go undetected for long periods of time.

The underground piping from the tank to the dispenser islands is pressurized by pumps located at the top of the tank in an FRP containment sump. One pump services one product except for the regular gasoline that requires 2 pumps to supply the 6 dispensers. The piping at the pump is equipped with a Veeder-Root Pressurized Line Leak Detector (PLLD). This equipment is "state of the art" for detecting leaks in product piping. Should a leak occur in the pressurized piping an audio/visual alarm is activated and the transfer of product is terminated. Thus, there are redundant systems to detect primary piping leaks and the interstice of the double wall piping conveys product to a containment area such that a release to the environment as a result of a piping leak will not occur.

The pressure piping at 975 Seaway Drive has a mechanical leak detection device. This device only works when the pumps are not working. It senses a leak by the pressure drop in the leaking pipe. The mechanical leak detection device does not sound an alarm. A leak is detected by the partial closure of the valve slowing down the rate of flow to vehicles as the vehicles are filled.

The fill pipes to the regular and ethanol free gasoline tanks are located above the tanks. Each fill pipe has a 5 gallon spill containment sump around the top of the pipe where the tank is filled. The containment sump is designed to catch any drops that may discharge from a nozzle as a hose is disconnected from the fill pipe. The containment sump is double wall cast iron and steel. The double wall containment sump has a connection to test the integrity of the secondary containment. The bottom of the sump connects to steel piping that connects directly to the tank. Inside the steel pipe is an aluminum fill tube. The top of the tube is sealed such that the fill piping is secondarily contained.

The aluminum fill tube is equipped with a float valve. The float valve stops the flow of product into the tank when the level of product in the tank reaches 95% of the capacity of the tank.

The diesel compartment and the premium gasoline compartments have "remote fills." There are spill buckets located between the two double wall tanks. The spill buckets are also double wall. 4 inch diameter double wall FRP pipe carries the diesel fuel and the premium gasoline to their respective compartments. These double wall pipes terminate in containment sumps with leak sensors prior to entering the tanks fill pipe. The remote fills to the diesel and premium gasoline are located so the transport truck will not have to move to deliver product to the tanks.

Also located on top of the gasoline containing compartments is a vapor return pipe. The vapor return pipe also is equipped with a 5 gallon double wall spill containment sump. The spill containment sump will collect any condensate that may occur in the vapor return hose preventing the condensate from entering the subsurface environment.

All hose connections at the tank tops comply with the California Air Resources Board requirements for control of vapor emissions.

The tanks and the piping are installed by qualified contractors. The contractors must be certified by the tank and the piping manufacturers. The Petroleum Equipment Institute and the American Petroleum Institute, as well as the manufacturers, provide recommended practices for the installation of tanks and piping.

Containment Sumps: Containment sumps are constructed of FRP. FRP does not corrode or deteriorate when exposed to the products or to soils. Containment sumps are located under each dispenser with liquid sensors located near the bottom of the sump. Should product leak inside the dispenser, the sump sensor will activate the audio/visual alarm. The dispenser containment sumps are double wall.

The containment sump under each dispenser has a volume of approximately 23 gallons. The containment sump at the top of the tank that has the pump, piping connections and the inventory gage will hold approximately 180 gallons of product.

Dispensers: At the top of the dispenser sump, inside the protection of the concrete mat surrounding the dispenser there is a valve on the product piping. The valve is called a "shear valve" or an "emergency shear valve." The purpose of the valve is safety. Should the dispenser be displaced in an accident, the emergency shear valve closes and prevents an uncontrolled release of gasoline. Cumberland Farms installs double poppet shear valves. The double poppet prevents gasoline in the dispenser and the piping supplying the dispenser from escaping in the event of an accident involving a dispenser.

The hose on the dispenser contains a breakaway coupling (dry-break connection). Should a driver leave the area with the hose nozzle still in the vehicle fill pipe, the dry-break will sever. Mechanisms inside the dry-break prevent the release of little more than a few drops of product.

The nozzle that is placed in the vehicle fill pipe has a self-closing valve. The valve closes automatically as product fills the fill tube. Should the automatic valve fail, the operator would release the lever on the valve and much less than a gallon of product would be released. (The vehicle tank fills with product at less than 10 gallons per minute. If it takes two seconds for an operator to react, the amount released will be about 1/3 of a gallon.

Inventory and Sensor Control: The product inventory is measured by a Veeder-Root Automatic Tank Gauge (ATG). Veeder-Root is the worlds' leading tank gauge supplier. In each tank, there is a float mechanism that senses the level of the product. The ATG converts the level of the product into gallons. Cumberland Farms employs a version of the ATG that provides many functions. The ATG not only provides the tank inventory, but also conducts continuous product leak detection on the tank inventory. The ATG also continuously monitors all the sump sensors and the product line leak detectors. The ATG sends an electronic signal to each sensor. If the signal is not returned, the alarm is activated. Thus, all the sensors, the line leak detector, the tank interstice sensor and the inventory in the tank are continuously monitored. The ATG also has a high product level sensor. Should the product in the tank reach 95% of the capacity of the tank, an audio/visual alarm is activated.

The USEPA requires third party certification of all leak detection systems. The Veeder-Root System meets or exceeds all federal requirements.

Air Emissions Control: The tank venting system is configured for vapor recovery and the control of emissions from the gasoline tanks. The vent on the venting system has a pressure vacuum valve. This valve controls the release of gasoline vapors to the atmosphere. During the filling of the tanks, the vapor and air in the tanks is exchanged with the product in the tanker truck.

The pressure vacuum vents installed on the gasoline tank vents limit the emissions from the tanks to 0.17 Standard Cubic Feet per Hour. 0.17 Standard Cubic Feet equals the 293 cubic inches about the size of a professional football. Gasoline is not continuously emitted from the tank vents. As the gasoline tanks are emptied by filling vehicles, a slight vacuum is placed on the tanks. Air is therefore sucked into the tanks and no emission of gasoline vapors occurs. The system is required to be field tested every three years for compliance with regulations.

Cumberland Farms is required to report the amount of gasoline dispensed from the station to the USEPA.

The gasoline delivery and tank venting system meet the National Emission Standards for Hazardous Air Pollutants (NESHAPS) with the Maximum Achievable Control Technology (MACT).

Tank Flotation: The tanks are anchored to concrete structures placed below the tanks with "straps" supplied by the tank manufacturer. The straps are placed over the tops of the tanks and anchor the tanks to the concrete structures. In the event of a high-water table, the anchoring prevents empty tanks from floating.

The tanks and piping are bedded in specifically sized stone. The stone provides structure to the tanks and protects the tanks and piping from any sharp objects that may be in the native soil. The excavation is lined with a geotextile fabric. The geotextile fabric prevents native soils from migrating into the stone placed under and around the tanks. Inside the tank excavation are "observation wells." The wells extend below the bottom of the tanks. The wells are required by regulation. The stone surrounding the tanks is much more permeable than native soils. Should a release occur from the secondary of the tanks or piping, product would flow to the tank excavation. The observation wells provide a convenient method to determine if product has been released to the environment.

Spill Control:

Fuel Deliveries: Fuels are delivered in transport trucks. Before fuel is scheduled to be delivered to a location, the CFI dispatcher knows the volume in the underground storage tanks. This is done electronically through the ATG system. This procedure ensures that the tanks will not be overfilled. When the

truck enters the site to make a delivery, the driver is required to manually determine that the tanks will hold the product. The driver opens the cover of the spill containment sump and removes the cap on the fill pipe. The driver inserts a calibrated wooden stick (pole or rod) into the tank, withdraws the stick and reads the elevation of the product in the tank. He then checks the level of the product against a calibrated tank chart. The chart indicates the amount of product in the tank. The driver then knows if the tank will hold the product that is in the truck. "Sticking the tank" is a check against the Automatic Tank Gauge and the Dispatcher.

Once the driver has determined the tank will hold the product, the driver removes two hoses from a shelf on the truck and connects one hose to the tank fill pipe and to the product manifold on the truck. The second hose is for vapor recovery. This hose attaches to the Stage One Vapor Recovery Piping at the tank and a special fitting on the truck. The two hoses are for gasoline only. As gasoline product fills the underground tank, the truck empties. This procedure creates a slight vacuum in the truck tank such that gasoline vapors in the underground tank are transferred to the truck tank.

Diesel fuel has one hose to fill the tank. Diesel fuel does not have vapors such that vapor return is required.

When the hoses are safely connected to the tank piping and the tanker truck piping, the safety valves on the truck are opened and product flows from the truck to the tank.

As product begins to flow, the driver checks for leaks. If a leak occurs, the driver shuts the valves on the truck manifold and makes a repair. Any gasoline that has dripped on any surface is carefully removed with absorbent pads. The driver is required to remain by the truck manifold as long as the hoses are connected to the truck and the underground storage tank. Absorbent pads contaminated with gasoline or diesel fuel are safely stored on site and removed in accordance with Florida DEP regulations.

Generally, product flows through the hose at less than 500 gallons per minute. Should a hose fail, it will take the driver less than 4 seconds to close the tank truck valves. The release will be less than 40 gallons.

Should a tanker truck hose failure occur, the Fire Department is notified immediately and the Cumberland Farms dispatcher is notified. A Hazmat company is called to remove the spill from any containment structure.

When the truck tank is empty, the driver closes the valve at the truck manifold and disconnects the hose from the truck manifold. The hose is "rolled" toward the tank such that any product in the hose drains into the tank.

When the driver is certain there is no product in the hose, he disconnects and the hose from the tank and places caps on the hose and the tank fill pipe. Any product dripping from the hose during this operation is captured in the 5-gallon spill containment sump.

Stormwater from the area of the tanks and the fuel dispensing is directed to three Stormceptor surface drainage catch basins. The Stormceptor is a prefabricated underground structure designed to remove sediments and oil and grease from stormwater. Stormceptors are installed based upon the storm flow rates for a specific surface area. The smallest Stormceptor has an oil retention capacity of 86 gallons.

The proposed Stormceptor is approved by NJCAT (New Jersey Corporation of Advanced Technology). The Stormceptor was originally tested in 2004 at the NJCAT facility in Bordentown, NJ and recertified by the Department of Environmental Engineering Sciences at the University of Florida, Gainesville in 2008.

The gasoline delivery and tank venting system meet California Air Resources Board (CARB) Standards for Enhanced Vapor Recovery (EVR), the National Emission Standards for Hazardous Air Pollutants (NESHAPS), and Maximum Achievable Control Technology (MACT). Based on the vapor pressure of diesel fuel, diesel tanks do not have vapor recovery.

New vehicles with carbon canisters emit very little gasoline per fill up. Onboard Refueling Vapor Recovery (ORVR) systems, dramatically limit refueling emissions. The EPA implementation of ORVR rules has brought American ORVR efficiency to 98%.

(2) Operations:

Operations concerning fuel deliveries were discussed in the Spill Control Section.

The equipment that measures product in the tank and all the sensors is manufactured by Veeder Root Corporation. The automatic tank gauge not only determines product inventory, but provides a Continuous Leak Detection System. During periods when the dispensers are not in use, the ATG performs a leak test. The tanks' inventory is monitored for temperature and level for a period of time. The time periods when data is collected is examined statistically to determine if product is being lost from the tank. This statistical tank leak test is in addition to the continuous piping leak test and inventory reconciliation.

The USEPA requires third party certification of all leak detection systems. The Veeder-Root System meets or exceeds all federal requirements for leak detection. Third party evaluations of Leak Detection Systems are now reviewed by the National Work Group on Leak Detection Evaluations. The Veeder-Root System is listed as meeting USEPA criteria.

Cumberland Farms employs a third-party company to monitor, on a 24 hour basis, the Veeder Root system. The connection from the Veeder Root System to the third party may be severed during an electrical outage or communication loss as the connection is made through an IP address which essentially is an internet connection. This is the industry standard for remote monitoring connections and is password protected to prevent tampering at the store level. A loss of connection notifies the third party vendor to begin immediately, working to restore the connection. During the period of loss connectivity, the store is contacted to inform employees of the lost connection and ensure that there are no existing Veeder Root alarms.

The State and Federal Government require the training and certification of people that operate underground tanks that store petroleum products.

There are three categories of operators for each underground tank, A, B, C. The A operator is responsible to be certain that regulations are being met at the company level. The B operator must know the equipment and operation of the tank system and on a monthly basis inspect the tank systems. This includes monthly inventory control in accordance with current regulations.

A & B operators are required to take and pass a test.

The A and or B operator is also responsible for training C operators. A C operator must be present whenever a tank system is in operation. The C operator must be trained to respond to emergencies. Every Cumberland Farms facility that dispenses motor fuels has an A, B or C operator.

Each C operator is trained in accordance with the Cumberland Farms Retail Emergency Response Plan. (See next page)

The current Florida DEP regulations require monthly inspection of all sumps. A visual inspection of all electronic release detection devices every 6 months. Annual testing of leak detection devices and integrity testing of pump and piping sumps every three years.

Summary: The existing gasoline storage and dispensing at the proposed Cumberland Farms Convenience Store and Gasoline Station meets all requirements for the safe storage and dispensing of fuels. The CFI employees are trained in accordance with State and Federal requirements.

- The proposed new tanks will be double wall FRP with brine in the interstice. The brine will detect a breach in either the primary wall or the secondary wall.
- The new piping will be FRP double wall. All piping drains to a containment sump with leak detection sensors.
- Stormwater is treated in a Stormceptor before entering the environment.
- The air pollution control system meets NESHAPS and MACTs

(3) Environmental Issues Regarding the Storage of Gasoline

Fires:

Report: "**Fires At U.S. Service Stations**" by Ben Evarts, April 2011, National Fire Protection Association, Fire Analysis and Research Division

NFPA Executive Summary regarding fires at stations delivering gasoline:

Report: NFPA's "Fires at U.S. Service Stations"

Author: Ben Evarts

Issued: April 2011

Incident types and trend data are reported for fires that occurred in or at service stations. Three different types of incidents, structure fires, vehicle fires, and outside and other fires are analyzed for cause, equipment involved, and other type of material first ignited, among other relevant factors specific to each incident type. Other information relevant to this occupancy, such as the hazards of static electricity is presented as well.

Executive Summary:

During the five-year period of 2004-2008, NFPA estimates that U.S. fire departments responded to an average of 5,020 in service or gas station properties per year. These fires caused an annual average of two civilian deaths, 48 civilian fire injuries, and \$20 million in direct property damage. The majority of the fires in this category were vehicle fires. Reported fires in this occupancy group fell 46% from 7,860 in 1980 to 4,280 in 2008.

According to the U.S. Census Bureau, there were 117,000 gasoline stations in the United States in 2007. Fires in these occupancies represent a variety of incidents, including structure fires, vehicle fires, outdoor fires and other fires. The majority of incidents are vehicle fires (61%), but the majority of the property damage (59%), results from structure fires. Outside trash or rubbish fires account for 12% of the fires reported to local fire departments at this type of property.

Twelve percent of fires reported to local fire departments in these properties were structure fires. The most common items first ignited in structure fires at service stations were flammable and combustible liquids and gases, piping or filter (22% of structure fires), followed by rubbish, trash, or waste (18%) and electrical wire or cable insulation (13%).

Most vehicle fires (82%) occurred in passenger vehicles, these fires accounted for nearly half of the total number of civilian injuries that occurred in service station fires of any kind (structure, vehicle, outside, other). The most common type of material first ignited in a vehicle fire was gasoline (28%).

Outside and other fires accounted for 15% of incidents at service stations. Natural vegetation fires accounted for 42% of these incidents. The most common heat source for outside fires was smoking materials (21%).

Twelve percent of fire incidents at service stations were outside trash or rubbish fires.

Individuals interested in keeping service stations safe from fire should consult NFPA 30A – Code for Motor Fuel Dispensing Facilities and Repair Garages for information about fire prevention in these properties. The proposed Cumberland Farms Facility meets all the requirements of NFPA 30A – Code for Motor Fuel Dispensing Facilities.

Excerpts from the report:

Structure Fires: 600 Structure Fires caused 1 death and 15 injuries per year. “Many fires in service stations started in the cooking area, or in a lavatory or bathroom.” The balance of the structural fires was caused by failure of heating systems or electrical systems.

Vehicle Fires: 3,050 Vehicle Fires caused an annual average of 1 death and 29 injuries per year. Of an average of 3,050 vehicle fires, 2,500 were passenger vehicle fires.

“A flammable liquid or gas being spilled was a factor in 4% of vehicle fires at service stations.” Spilled gasoline on average caused one injury per year. (Approximately 1 out of 1,000 stations dispensing gasoline will have a fire as a result of spilled gasoline.)

“The majority of vehicle fires at service station or gas station properties began in the engine area. The engine area, running gear, or wheel area was the area of origin for 74% of vehicle fires at these properties. The passenger area of the vehicle was the area of origin for 6% of fires, and 4% of fires originated in the fuel tank or fuel line of the vehicle.”

The dispenser closest to the residence is 200 feet away and mostly shielded by the convenience store. It is unlikely that a fire would have an impact upon the residence. The Fire Department is right next door.

Benzene:

As stated previously: The gasoline delivery and tank venting system meet California Air Resources Board (CARB) Standards for Enhanced Vapor Recovery (EVR), the National Emission Standards for Hazardous Air Pollutants (NESHAPS), and Maximum Achievable Control Technology (MACT). Based on the vapor pressure of diesel fuel, diesel tanks do not have vapor recovery.

New vehicles with carbon canisters emit very little gasoline per fill up. Onboard Refueling Vapor Recovery (ORVR) systems, dramatically limit refueling emissions. The EPA implementation of ORVR rules has brought American ORVR efficiency to 98%.

Benzene currently occurs in gasoline at 0.62%. The USEPA is continuing to lower the acceptable levels of benzene.

The pressure vacuum vents installed on the gasoline tank vents limit the emissions from the tanks to 0.17 Standard Cubic Feet per Hour. 0.17 Standard Cubic Feet equals the 293 cubic inches about the size of a professional football. The Benzene content in the 293 cubic inches is 1.8 cubic inches. Gasoline is not continuously emitted from the tank vents. As the gasoline tanks are emptied by filling vehicles, a slight vacuum is placed on the tanks. Air is therefore sucked into the tanks and no emission of gasoline vapors occurs.

My experience is that gasoline vapors cannot be detected when standing under the tank vents.

The location of this proposed fuel dispensing facility is opposite the USCG Base. There is no occupancy for a very long distance across the street.

The climate at Fort Pierce is such that there is nearly always a wind. For seven months from October to May, the average wind speed is 9.2 miles per hour. For 4 months, the end of May to early October, the average wind speed is 6.9 miles per hour. The wind is from the East for 9 months; from the South for 2 months, mid-June to mid-August. The nearest residence to the fueling operations is to the Northeast, about 200 feet from the first gasoline dispenser and about 250 feet from the tank vents.

Given the normal wind speed and the direction of the wind, it is unlikely that the nearest residence will be impacted by the gasoline vapors at any time of the year. With an average wind speed of 7 miles per hour, any vapors from automobile filling will be quickly dissipated.

(4) Comments Regarding the “Initial Strategy Analysis-Harbour Isle Preservation & Cumberland Farms.”

Page 1. Summary; “Four of the 38 Harbour Isle residential buildings will be within 500 feet of the gas station.” Cumberland Farms currently operates a Convenience Store with gasoline at 975 Seaway Drive. Currently two buildings at 38 Harbour Isle, ½ if the tennis court and the St. Lucie Fire Station and two residential buildings on Bayshore Drive are within 500 feet of or the 975 Seaway Drive. At the proposed location of 801 Seaway Drive, three Harbour Isle residential buildings will be within 500 feet of the dispenser island. Two of the three buildings will be blocked from the dispenser island by the Cumberland Farms Convenience Store. Please see the attached Google Earth map entitled “Location of Living Units from dispensers and tanks.”

Page 2. Health Effects; The California “Air Quality and Land Use Handbook: A Community Health Perspective.” April 2005, California Environmental Protection Agency, California Air Resources Board.

The assessments upon which the data and therefore the recommendations are made is based on old technology, no longer employed at modern gas stations. Cumberland Farms employs Enhanced Vapor Recovery (EVR) as required by the current California Air Resources Board (CARB). For instance, Phase II Vapor Recovery is cited in the report and is an important source for models that created the 500 feet recommended distance from gasoline dispensing facilities. Phase II Vapor Recovery has been replaced by carbon canisters located in vehicles. New filling equipment, the hose nozzle and the new vehicle fill pipe force gasoline vapors into carbon canisters located in the air inlet to the automobile engine. Therefore, filling gasoline tanks emit very little gasoline per fill up. The gasoline vapors stored in the carbon canisters are mixed with air and incinerated in the vehicles' engine.

On May 9, 2012 EPA Administrators released their final rule making which acknowledged enough ORVR systems were operational to remove further need for Stage II systems. Onboard Refueling Vapor Recovery (ORVR) systems, dramatically limit refueling emissions. The EPA implementation of ORVR rules has brought American ORVR efficiency to 98%.

In addition to the elimination of the Phase II, Cumberland Farms installs all the requirements of the CARB. The CARB has required new designs of existing equipment to eliminate vapor emissions from gasoline dispensing facilities. The vent pipes have pressure vacuum valves. The hose connections are now designed to eliminate vapor emissions during idle periods. The equipment that measures inventory is now designed to prevent gasoline vapor emissions.

These new CARB regulations were not in effect when the Air Quality and Land Use Handbook: A Community Health Perspective was created in April 2005.

Page 6 sites a Johns Hopkins University, HUB publication entitled “Small spills at gas stations could cause significant public health risks over time”, October 7, 2014.

This publication sites research that approximately 1 gallon of gasoline is spilled daily at a typical gas station.

The publication cited in the October 7, 2014 article above is in the Journal of Contaminant Hydrology, published online September 19, 2014. The document is entitled “Infiltration and evaporation of small hydrocarbon spills at gas station”

A review of the document is that it is basically a modelling exercise with many assumptions about the characteristics of gasoline in concrete. Some of the “proof” of the modeling was by using concrete from the sidewalk of the city of Baltimore. There is no data as to the strength or thickness of the concrete. It is unlikely the City of Baltimore pays for the specification of concrete that Cumberland Farms uses in its facilities. Cumberland Farms

installs concrete with a minimum strength of 4,000 psi and a thickness of 6 inches. It is unlikely gasoline will penetrate this concrete to affect groundwater.

Page 7 also indicates “scientific studies” of plume travel may be 400 feet. Plume travel depends upon the porosity of soil and the slope of groundwater. A 400 feet plume is most likely from a large spill with groundwater sloping away from the source. Given the topography of this site, the slope of the groundwater is nearly flat. The case of a surface spill penetrating concrete at the proposed Cumberland Farms gasoline and diesel fuel dispensing facility and migrating to nearby waters is very unlikely.

Web Engineering Associates, Inc.

A handwritten signature in black ink that reads "William E. Baird". The signature is written in a cursive style with a prominent initial 'W'.

William E. Baird, PE, LSP

ROBERT P. COLUCCIO, P.E., 4L Rocco Drive, Derry, NH
Chemical Engineer

PROFESSIONAL CERTIFICATIONS:

Commonwealth of Massachusetts – Certification No. 41274
State of New Hampshire – Certification No. 10319
State of Rhode Island – Certification No. 7846
State of Connecticut – Certification No. 21912
State of Florida – Certification No. 24739
State of Maine – Certification No. 12900

EDUCATION

1984 - Master of Science, Chemical Engineering; Clarkson University, Potsdam, NY
1982 - Bachelor of Science, Chemistry, State University of New York at Oneonta, Oneonta, NY

EXPERIENCE

Mr. Coluccio brings over 30 years of professional experience with hundreds of environmental and chemical engineering/design projects. His expertise includes: Design of chemical, petroleum, propane, and natural gas facilities, wastewater treatment plants, chemical process control, vehicle, marine, and aircraft refueling facilities, spill prevention and countermeasure, failure analysis, stormwater and sewer management, as well as design and implementation of remedial action systems for hazardous waste sites, hazardous waste site investigations, and air quality permitting.

Other experiences include: Expert witness, mediation, public hearings, licensing, appeals, and special permitting with planning boards, conservation commissions, city councils, board of selectmen, state and local fire marshals, Army Corps of Engineers, U.S. Coast Guard, and Massachusetts Port Authority.

Engineering Design

Chemical and Fuel Process Control and Storage Facilities: Design of aboveground and underground storage tanks and process control systems for chemical, propane, natural gas, and fuel handling facilities; flammable and viscous chemical and hazardous waste storage and handling, fire risk assessments, fire protection, truck traffic, secondary containment and leak detection, truck loading/unloading, plant wide distribution, spill prevention and countermeasure.

Industrial Wastewater Treatment Plant: Design of wastewater treatment plants employing dissolved air flotation, chemical flocculation, pH adjustment, oil/water separation, chemical destruction of organics,

sedimentation design, sludge management, high level controls and building design. Interface with municipal waste treatment plants. Solve regulatory issues.

Vehicle, Marine, and Aircraft Refueling Stations: Designed and installed vehicle, marine, and aircraft refueling stations in Boston Harbor and throughout Massachusetts. Designed and installed largest marine refueling stations in Massachusetts serving cruise vessels, commercial fishing vessels, and pleasure boats. Interface with U.S. Army Corp of Engineers, U.S. Coast Guard, Massport Fire and Rescue, Massport Environmental, Boston Conservation Commission, and Massachusetts Department of Environmental Protection.

Inventory Control and Spill Prevention: Designed inventory control system for large fuel storage depots including a multi-million gallon fuel farm for a power generation plant. Experience includes No. 6 Fuel oil, epoxy resins, Class I and II liquids, ultrasonics, weigh scales, concrete, steel, and fiberglass containment structures.

Stormwater and Sewer Management: Design of stormwater management systems, site survey and re-grading, oil/water separation, manway structures, concrete pads and containment dikes, NPDES and sewer discharge permitting

Site Assessment and Remediation

Oil and Hazardous Material Releases: Emergency response and investigation, remedial design and implementation following releases of oil or hazardous material to the environment. Representative projects include:

Investigation and remediation of gasoline, fuel oil, chlorinated solvents, and PCB releases. Phase I site assessments, subsurface investigations, MCP Compliance, Notifications of Activities and Use Limitations, and Tier Classification. Remedial design includes: Vapor Extraction, Air Sparging, Oil/Water Separation, Air Stripping, Carbon Filtration, Catalytic Oxidation, and Bioremediation.

Project and Contract Management

Contract Management: Managed numerous site-specific projects for state, federal, and private clients from proposal phase to final construction approval. Prepare cost estimates, bid documents, written specifications and drawings. Provide consultation during contractor selection and submittal approvals, and oversight during construction. Project values range to \$2,000,000.

Air Quality Permitting

MADEP Source Registration Regulatory Compliance: Performed mass balances to determine volatile organic emission status of industrial facilities, interface with regulatory agencies regarding category updates and compliance fees

WILLIAM E. BAIRD, PE, LSP, MISCO
President, Web Engineering Associates, Inc.
President, MicroSorb Environmental Products, Inc.

Lafayette College 1965
B.S. Mechanical Engineering

Boston College 1973
Masters, Business Administration

Registered Professional Engineer - Commonwealth of Massachusetts
- New Hampshire

Licensed Site Professional – Commonwealth of Massachusetts

Certified Waste Water Treatment Plant Operator - Commonwealth of Massachusetts

Licensed Third Party Inspector, Class A & B Operator Underground Storage Tanks -Commonwealth of Massachusetts

American Society of Petroleum Operations Engineers - Past President - no longer active

Additional Memberships: Petroleum Equipment Institute, National Fire Protection Association, International Spill Control Organization, New England Fuel Institute, Massachusetts Oil Heat Council, National Groundwater Association. Licensed Site Professional Association

OSHA Confined Space Entry Certification, OSHA 40 Hour Hazardous Waste Operations Certification
API Safety Certification – Service Stations, Production Facilities

Lectures and Papers

Manuscript - Pollution Engineering, July 1988 - “Critical Evaluation of EPA’s UST Testing Apparatus”

American Society of Petroleum Operations Engineers - “Examination of Above Ground Petroleum Storage Tank Bottom/Shell Weldments”

Article - New England Real Estate Journal, “Proper Control Needed To Keep Tanks An Asset”

Article – Co-author, Pollution Engineering, March 2002 – “Success Story” (Article about innovative bioremediation of brownfields site, Baycity, MI)

Guest Lecturer - California Association of Health Professionals - Underground Tank Dynamics and Physical Principles Affecting Precision Testing

Guest Lecturer - USAF Precision UST Testing Methods

Guest Panellist - American Society of Mechanical Engineers- Physical Principles of Underground Tank Leak Detection

Battelle Memorial Institute – co-author, Remedial Actions in Response to a Kerosene Release to Wetlands

University of Massachusetts, Amherst – co-author, Bioremediation of Bedrock Groundwater Contaminated w/ PCE, TCE, TCA, Toluene & Hexane

Continuing Education:

University of Wisconsin Professional Courses:

Cathodic Protection of Underground Structures

Underground Storage Tank Management

Liquid Storage Tank Installation

National Association Corrosion Engineers, Professional Courses:

Cathodic Protection, Corrosion Basics

Second International NACE/MTI Symposium - AST; Design, Inspection, Maintenance

Northeastern University:

Graduate Courses in Environmental Engineering

Government Institutes:

Environmental Laws and Regulations

University of Massachusetts:

Annual Seminars on Petroleum Products in the Environment and Remediation Technologies

Environmental Protection Agency:

Leak Detection Technology Transfer Seminar

Environmental Protection Agency:

Region IV Seminar on Remediation of Petroleum Contaminated Sites

American Petroleum Institute:

1999 Storage Tank Management and Technology Conference

National Groundwater Association/American Petroleum Institute

2000 Petroleum Hydrocarbons and Organic Chemicals in Ground Water

NFPA – National Electrical Code – Hazardous Area Classification

PEI – CNG Systems for Automotive Fuelling

Instructor - Hartmann Management Services - University of Wisconsin, UST Installation Course

- Expert Witness
- Provided expert witness regarding an explosion and fire during a gasoline delivery
 - Provided expert witness regarding vibration stress failure of 12” diameter LNG pipeline
 - Chapter 21E Site Assessment - US Bankruptcy Court
 - Numerous appearances before Planning Boards, Selectmen, Zoning Board of Appeals, Conservation Commissions regarding Storage Tank Designs/Operation
- Expert Consultation
- Provided report documenting tank installation practices, tank management, petroleum industry practices, regulations and recommended practices regarding tank failure
 - Provided a report regarding tank management practices and residual groundwater contamination
 - Assisted Department of Defence in evaluation of leak testing equipment for a 1,000,000 gallon UST
 - Witnessed excavation and provided report regarding failure of cathodically protected UST - 3 Sites
 - Provided a report detailing the safety violations which caused an explosion while a gasoline underground storage tank was being abandoned.
 - Examined a tank failure of a new tank installation and provided a report detailing the cause of the failure
 - Naval Education and Training Centre - Investigate Failure of Two-1,000,000 Gallon Underground Storage Tanks, Review Design, Provide Expert Testimony as to Cause of Failure
 - Provided a report on the failure of an AST storing sulphuric acid, failure of the containment structure and exposure of sulphuric acid fumes to an abutter.
 - Provided a report as to the requirement to replace underground piping when an automobile displaced a gasoline pump on an island.
 - Provided a report about underground storage tank anchoring and floatation
- Invention
- Co-invented and developed the “Tank Auditor” (Patent #4811601). A certified precision underground storage tank testing method. (10,000+ tests have been conducted with this method)
 - Co-invented a hydraulic separator pump to condense and remove floating products (Patent #5207897)

Co-invented a Catch Basin OWS and Bioreactor

Co-invented a “Biofence” to control spills and apply microbes for bioremediation of oils.

Public Service: Elected Member - Town of Cohasset Board of Health- 7 years,

Town Committees: Recycling Transfer Station, Watershed Protection,

Sewer Study Committee, Hazardous Materials Guidance

1975 President of Web Engineering Associates, Inc.

To Present Professional Staff - 2 Engineers, 1 Geologist, 1 Land Use Planner, 2 Technicians

Petroleum & Chemical Engineering: Included in design experience is tanker and barge terminal facilities, bulk oil plants, hazardous waste storage systems, marinas, service stations, industrial fuel oil storage systems, tank truck and railroad loading and unloading facilities, air pollution control systems, spill prevention control and countermeasure plans, pump and piping systems, tank heaters, tank repair, lube oil storage and drumming facilities, solvent storage, solvent distillation, chemical waste water treatment, piping and process systems.

The products include crude oil, #1 to #6 fuel oils, gasoline, fish oils, biofuels, flammable solvents, alcohols, chlorinated solvents, heated flammable resins, natural gas, LPG, steam, pesticides, and herbicides.

Environmental Engineering: More than 400 site investigations for surface and subsurface contamination. Included in experience is investigation of petroleum, solvents, pesticides, PCB and foundry landfill plumes, design and installation supervision of interceptors and recovery equipment; innovative bioremediation, vacuum educators, air stripping columns, water and vapor carbon systems, landfill capping, monitoring and reports. (Responsible for the first bioremediation system in the Commonwealth located in Turkey Swamp, Halifax, MA. Saved destruction of the wetlands and documented the efficacy of bioremediation to uplands and wetlands).

Tank Testing: Two crews precision leak tested 4000+ tanks.

1996 Founded MicroSorb®Environmental Products, Inc. a company to
to facilitate the use of wastewater treatment systems and insitu
Present bioremediation through design and application of microbes and to distribute microbial remediation and microbial cleaning products.

1983 Founded Leak Detection Systems, Inc., a company to license and to market
To the “Tank Auditor” underground tank leak detection system.

1997

1975
to 1981

Construction: Developed a mechanical construction company that employed 20+ people with annual sales of +\$1,000,000.00. Construction projects included a \$225,000.00 tank truck loading facility for gasoline and distillates with vapor recovery. Installation of 3000' of 14" diameter pipe connecting tanks, pumps and loading facilities; installation of 600' of 6" diameter high pressure natural gas pipeline; installation of plant and equipment to reclaim solvents; underground storage tank removals and installations; stainless steel process and steam piping.

1973
to
1975

Proprietor, Web Engineering Associates

Began company to provide engineering and construction expertise to oil industry. Engineering projects included engineering review of the design of a 600' - 24" diameter #6 oil line; design of a 40' pipe bridge; design of Spill Prevention, Control and Countermeasure Plans. Construction experience included developing a company to provide service station pump and tank installation and small bulk oil storage plant installation.

1971
to
1973

Engineer, Chevron Oil Company, Western Division, Marketing Operations, Denver, Colorado

Develop and coordinate company wide projects for five marketing divisions in ten Mid-Western states. Projects included feasibility study of lube oil blending and canning plant, construction costs- \$2,000,000.00, annual costs- \$12,000,000.00; design and implementation of a \$3,000,000.00 OSHA compliance program; gasoline, diesel and aviation fuel quality control; development of an environmental protection program; implementation of compliance with Department of Transportation regulations.

Responsible for specification and purchase of equipment and facilities, including transport tank trucks; warehouse and bulk storage facilities, self service gasoline stations, and tank truck loading facilities, vapor recovery equipment.

1968
to
1971

Associate Engineer, Chevron Oil Company, Eastern Division New England Region

Responsible for estimating costs, payout calculations, and engineering design and construction in eighteen bulk plants and two terminals in Maine, New Hampshire, and Massachusetts. Responsible for estimating costs, design, presentation of plans to local officials, and construction of service stations.

Major projects included analysis, design and installation of new tanker terminal piping system; improving loading rack capacity and safety; oil spill contingency plan; designed, secured permits and supervised construction of sixteen service stations. Designed systems to remove gasoline and oils from the groundwater and vapors from residences. Supervised UST testing.

1965 Associate Design Engineer, Chevron Oil Company, Eastern Division,
to Perth Amboy, New Jersey
1968 Responsible for estimating costs, payout calculations, design, drafting,
field construction, and contract administration of refinery projects.



Mel Scott, AICP

Regional Business Development & Sales Director

Mel Scott has 20 years of Brevard County public service experience in a wide range of professional disciplines, highlighted by his 7 year tenure as Brevard County's Assistant County Manager. Overseeing departments which included Planning & Zoning (formerly the Growth Management Dept.), Public Works, Utility Services and the former Metropolitan Planning Organization (which is now the SCTPO), Mel is a valuable team member that knows this community and has a proven track record of driving quality outcomes.

Specifically, his experience includes participation in the inception, planning and construction phases of many multi-jurisdictional roadways, including the St. Johns Heritage Parkway, as well as the oversight of Public Works Department efforts that are entrusted with maintenance and capacity improvements for 1,177 miles of paved roadway, or enough to travel from the Space Coast to Connecticut! During his service in Brevard County, he supported the continued investment in ITS technology and, ultimately, the completion of a comprehensive ITS Master Plan which continues to guide extensive vehicle detection upgrades within the County's ITS system today.

As a *Project Advisor*, Mel will make sure that ATKINS provides the right level of staff, that the team remains available throughout all work processes and will regularly contact SCTPO leadership to verify that you are satisfied with the ATKINS team's work.

For 28 years, Mel has been an active member in the planning profession and is a member of the American Institute of Certified Planners (AICP). His knowledge of local, state and federal regulatory structures and commitment to this region's success, will be dedicated to the SCTPO's responsibility to manage a continuing, cooperative and comprehensive planning process in support of an evolving transportation network designed to improve quality of life, add economic viability and enhance safety within our community.

Prior to joining Atkins, Mr. Scott's experience included:

Blue Ribbon Transportation Advisory Committee Report and Recommendations (BRAC): Technical Staff Support; Recognizing the critical role that infrastructure plays in promoting economic development and community welfare, as well as the burgeoning mismatch between infrastructure revenues and needs, the Brevard County Board of County Commissioners established this Committee in 2013. Over a course of 8 months Mel worked with other County/City/TPO staff, and BRAC members in public forums to identify sustainable short and long term funding solutions for BCC or voter consideration for the purpose of bridging the gap between funds needed and funds available to sustain Brevard's roadway network.

Civic/Community Involvement

Immaculate Conception Church – Board of Trustees, 2002 – Present
Immaculate Conception Church – Fund-Raising Chair, Children's Education Fund
United Way – Past Fundraising Chair, Brevard County Board of County Commissioners

Education

M.A., Urban and Regional Planning, Political Science and Government, Florida Atlantic University, 1991

B.A., Political Science, Criminal Justice, University of Tampa, 1988

Certifications

American Institute of Certified Planners, American Planning Association (AICP), 1989.

Professional affiliations

American Planning Association, Florida (1989 – Present)

Florida Chapter, American Planning Association (1989 – Present)

Florida Atlantic Planning Society, Founding President (1990)

International City/County Management Association (2013 – Present)

Professional development

Brevard Executive Leadership (ELI), Graduate, 2011

**Mel Scott, AICP**

Regional Business Development & Sales Director

Boys/Girls Head Basketball Coach, HNJ School, South Beach Basketball Association (2006 – present)
Board of Directors, Keep Brevard Beautiful

Previous Work History

Director, Property Research & Acquisition
Certified Building Corp, Indialantic, FL
2004 – 2007; Responsible for property research, acquisition, design and permitting or residential communities in Brevard & Indian River Counties.

Director, Planning & Zoning Office (Zoning Official), Brevard County
1998-2004

Responsible for implementing, amending and interpreting the Comprehensive Plan and Zoning Code. Provided leadership for the day-to-day operations and budget management for the department which included continuous improvement of the permit review and approval process, code enforcement, contractor licensing and impact fee program of Brevard County.

Number of Years with Other Firms:

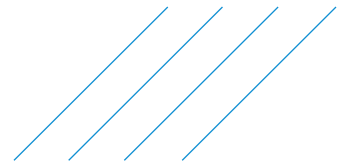
3 – Certified Building Corp.

Do You Hold a Public Elected or Appointed Office?

Office Held: Supervisor

Name of Agency: Brevard Soil & Water Conservation District

Term Expiration: 1996 - 2000



Jeffrey A. Lucas, PE

Project Manager

Jeffrey Lucas has 18 years of land development, water resources, and consulting experience involving commercial, residential, and municipal project layout, permitting, and design; four of these years were involved with construction practice as an active member of the U.S. Army on deployments in countries abroad. Other experience includes field inspection, environmental site assessment work, and port engineering projects. His responsibilities include site design, planning, project management, permitting, and related engineering assessments, calculations, and modeling. Mr. Lucas is experienced in land development conceptual and master planning activities including zoning changes, land use amendments, and master plan compliance related to utilities and administrative actions. He has directly coordinated management of project subconsultants as well as interacted with clients, legal counsel, and municipal and regulatory agencies to see projects planned from design to construction.

Mr. Lucas' project experience includes:

Cumberland Farms Gas Stations and Convenience Stores, East Coast, FL.

Project manager and engineer of record for site civil work for proposed new construction of site planning and land development for these new facilities. Managed traffic engineering team for traffic studies, Geotech investigation, surveying, eco-bio studies, community planning, petroleum tank and pump plans, landscape and irrigation, and various permits amongst numerous agencies. Construction administrative services are also included. Approximately 20 facilities have been constructed to date from program inception timeframe of about 2012.

Big Box Retail Development Conceptual Planning, Orlando, FL. Performed site reconnaissance and due diligence to include meeting with planning and zoning officials to discuss moratoria and lot aggregation issues. Submitted conceptual access plan to FDOT to obtain preliminary assessment. Performed conceptual stormwater models to address flow-restricted watershed basin criteria. Drafted conceptual stormwater management system using AutoCAD. **Duration:** 10/2007-11/2008

Big Box Home Improvement Center Retrofit Project, Rockledge, FL.

Coordinated/designed site expansion to accommodate an adjacent roadway expansion project including right-of-way donations. Designed and permitted construction plans for infrastructure improvements and utility relocations. Evaluated existing stormwater master plan and obtained a letter of conformance from regulatory agency. Evaluated municipal roadway expansion project and planned/coordinated traffic study for a signal warrant analysis of a future intersection. Met with municipality to gain project approval within a community redevelopment area including variances. Provided project status updates for clients and consultants. **Duration:** 02/2007-12/2008

La Fourche and Plaquemines Parrish Levee Inspections, New Orleans, LA.

Completed 90 miles of levee and 2 major pump station inspections to inventory deficiencies for input into the National Levee Database (NLD) for use in hazard insurance. **Duration:** 08/2010-12/2010

Total years of experience

18

Years with firm

9

Education

B.S., Civil Engineering, University of Central Florida, 2005

Registrations/licenses

Professional Engineer
Florida 71621, 2010

Certifications

State-Certified Stormwater Management Inspector
Class "B" Commercial Driver's License
TWIC Card Carrier

Honors and awards

3rd in State, Water Resources Design Competition, Florida Water Environment Association (FWEA) Commendation, Achievement, and Good Conduct Medals, U.S. Army Florida Engineering Society, Member National Society of Professional Engineers, Affiliate

Software

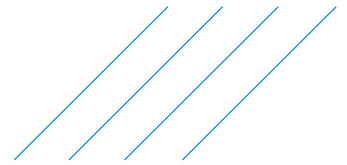
ICPR, SewerCAD, WaterCAD, OPSEW, PONDS, MODRET, StormCAD, AutoCAD (Civil 3d/LDD), ARCEXplorer/GIS, Derive 5, HY-8, PUMP-FLO, SMADA, Microsoft Project, Hydraflow, Trimble GPS

Professional development

Advanced Best Management Practices (BMP) Selection Course, Florida Stormwater Association, Orlando, FL.
Stormwater Permitting Course, Florida Engineering Society, Orlando, FL.
Stormwater Management Design Course, Water Resources Learning Center, Orlando, FL.

Jeffrey A. Lucas, PE

Project Manager



Various Community Block Grant Projects, Brevard County, FL. Designed and permitted various sidewalk, neighborhood entry signs, pedways, and roadway restoration plans for the County. Also included construction administration. Duration: 02/2011-11/2012

SR524 Logistics Center, Canaveral Port Authority, Cocoa, FL. Project manager and the engineer of record for site civil work for proposed new construction of site planning and land development for new logistics center encompassing 270 acres. Managed traffic engineering team for traffic studies, geotechnical investigation, surveying, eco-bio studies, community planning, and various permits amongst numerous agencies. Also provided cost estimation and stockpile planning. Project was constructed as Walmart Distribution Center.

CT6 Cruise Terminal Design-Build/CT6 Parking Garage Design-Build at Port Canaveral, Canaveral Port Authority, FL. Project manager and engineer of record for site civil work for new construction of these facilities. Prepared fast track design-build plans for site civil project aspects – planning, potable water, lift station, permitting, and construction administration. Unique aspects included Fuel Line impact mitigation planning, survey layout, and pile driving coordination. Performed design of the commercial vehicle staging access lot. Design Fees: ± \$200k; Constructed in Summer 2012; Project size: approx. 20 acres of sitework with ±300,000 SF of building area; Cost: ±\$40M; ODP's were contractor managed.

Miss Cape Canaveral, Canaveral Port Authority, Port Canaveral, FL. Project manager/engineer of record, performed site layout and design of demolition and relocation of a deep sea fishing charter operation. Project entailed design of a dock/deck by filling in a dilapidated, unutilized boat ramp, pad placement of a modular building, utility and lift station design, all while designing around the ongoing and recently completed Cove Welcome center stormwater outfall project (by others). Also managed construction administration. **Duration:** 01/2013-03/2013

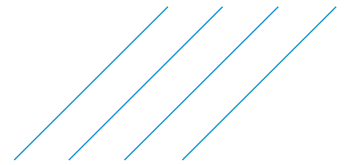
Big Box Retail Retrofit Construction Inspection, St. Augustine, FL. Coordinated with contractors on inspection scheduling and resolving potential change orders. Inspected infrastructure improvements for as-built certification. Checked depths of pavement cross sections and landscaping placement. Evaluated compaction test results from subconsultant. Prepared written and pictorial reports of site construction progress for client. Coordinated with municipality and contractor to resolve Americans with Disabilities Act (ADA) compliance issues. **Duration:** 01/2008-01/2009

Big Box Retail Site Development, Lynn Haven, FL. Designed, modeled, prepared reports, and permitted onsite wet detention stormwater management system. Designed and permitted offsite stormwater quality management system including wetland mitigation. Evaluated geotechnical, environmental, and ecological reports. Consulted with client legal counsel and Audubon Society regarding site's previous wetland mitigation banking success criteria and future cost. Performed offsite large-scale stormwater model evaluating floodplain to assess conveyance impacts regarding state road improvements. Coordinated with agencies, municipalities, and consultants to gain design approvals. Prepared exhibits for subconsultants for the U.S. Army Corps permitting department. Drafted onsite and offsite infrastructure improvements. Consulted on water study reports (flow tests) to determine if adequate municipal supply exists for site development. Performed initial onsite drainage investigations and researched drainage records. Attended required state agency pre-application meetings. **Duration:** 01/2008-02/2009

Stormwater Management Inspector's Course, Florida Department of Environmental Protection, Cocoa, FL. Leadership Course, Creech Engineers Inc., Stuart, Florida. Stormwater Modeling Course, Streamline Technologies, Inc., Orlando, FL. Indirectly affiliated with the University of Central Florida (UCF) Stormwater Management Academy (former student, attended meetings on stormwater sustainability with researchers to gain latest knowledge for clients on green roof, pervious pavements, stormwater reuse, etc.)

Jeffrey A. Lucas, PE

Project Manager



Big Box Retail Site Development #1, Madison, FL. Designed and permitted wet detention stormwater system. Designed and permitted offsite lift station and forcemain. Coordinated with municipal consultants on design approvals. Performed initial onsite drainage investigations. Coordinated with subconsultants and client legal counsel on past environmental issues associated with lumber mill activities. Performed subsurface removal estimates of buried debris using geotech borings. Performed cut and fill calculations. Coordinated with environmental/geotechnical consultants for cost-effective design solutions to subsurface instability using Tensar GeoGrid technology. Designed offsite roadway improvements. Provided project status updates to project managers. Coordinated project surveys from subconsultants. **Duration:** 05/2006-07/2007

Large-Scale Commercial Subdivision Master Plan, Palm Bay, FL. Prepared cost estimates. Maintained project schedule. Drafted conceptual plans, construction plans, and specifications. Coordinated with client, agencies, sub-consultants and municipalities to see project from inception to construction. Negotiated with client legal counsel and agencies to donate mutually beneficial right-of-way in support of a state roadway project. Designed and modeled master stormwater, wastewater, and potable water utilities. Designed offsite roadway improvements. Prepared utility calculations, reports, and permits. Hired subconsultant to perform traffic study. Managed ecological subconsultant in permitting the relocation of gopher tortoises in an offsite preserve. Coordinated with municipal consultants to obtain design approvals. Managed platting approval with a municipality. Coordinated project to complement FDOT intersection improvement project. **Duration:** 07/2007-05/2008



Engineering & Planning, Inc.

1172 SW 30th Street
Suite 500
Palm City
Florida 34990

Point Of Contact:

Shaun MacKenzie, P.E.
772-286-8030

shaun@mackenzieengineeringinc.com

FDOT Prequalified Consultants:
FDOT Work Group 3.
Roadway Design
3.1 Minor Highway Design

FDOT Work Group 6.
Traffic Engineering & Operations
Studies
6.1 Traffic Engineering Studies
6.2 Traffic Signal Timing

FDOT Work Group 7.
Traffic Engineering & Operations
Studies
7.3 Signalization

FDOT Work Group 13. Planning
13.3 Policy Planning
13.4 Systems Planning
13.5 Subarea/Corridor Planning
13.6 Land Planning/Engineering
13.7 Data Collection

MacKenzie Engineering & Planning, Inc. (MEP) was established in 2010 and is headquartered in Palm City, Florida. **MEP** specializes in transportation planning and engineering, growth management, and project implementation. The benefit is that **MEP** can develop concepts that can be cost effectively implemented.

Since 2001, Mr. MacKenzie has been practicing Transportation Planning and Engineering for both the public and private sectors. **MEP** has 5 full time employees and can utilize 4 flexible time employees. Our mission is to provide Superior Client Service and Technical Expertise. We use our extensive transportation knowledge, local experience and established relationships to deliver the best solution for our clients. We are able provide extensive knowledge and skills to our clients with the superior client service, one expects from a small business. Our experience includes, but is not limited to the following categories:

- Transportation Planning
- Parking Planning
- Signal Design
- Minor Roadway Design
- Statute, FAC, LDC Interpretation
- Data Collection
- Transportation Modeling
- Bicycle & Pedestrian Facility Planning and Design
- Transportation Impact and Mitigation Studies
- Transportation Analysis
- Interchange Justification & Modification
- Site Plan and Concurrency Reviews
- Corridor Evaluation and Feasibility
- Development of Regional Impact Review
- Multimodal Analysis
- Mobility Planning



Shaun G. MacKenzie, P.E. 61751

Principal Engineer

Professional Credentials

Professional Engineer in Florida
Master of Science, Civil Engineering, University of Florida
Bachelor of Science, Civil Engineering, University of Florida
Advanced Maintenance of Traffic Certified

Organizations

St. Lucie TPO Bicycle & Pedestrian Past Chair
Institute of Transportation Engineers
(Past President Treasure Coast Chapter)

Professional Qualifications

Past Experience Mr. MacKenzie has over 18 years of experience in traffic engineering conducting numerous transportation projects, including traffic engineering studies, transportation planning studies, parking studies, signal systems, traffic operations, and pavement markings. With extensive experience working with HCS and Synchro for intersection operations, VISSIM for examining multimodal alternatives and unique conditions, CorSim and SimTraffic simulation modeling, Art-Plan arterial planning tools, FSUTMS Cube/Voyager transportation modeling, and Synchro for signal system timing plans, and AutoCAD for design, signing and pavement marking.

Traffic Impact Analyses, Various Clients, FL – 2001-Current

Numerous traffic and transportation reviews, Intersection Safety Reviews, Data Collection, Parking Study Reviews, Code Creation, Code Review, Code Implementation, Long Range Transportation Plan, LOS interpretation and reporting, Site impact analyses, internal capture analysis, congestion management solutions, access management and access management solutions.

Parking Studies – Southeast Florida – 2010-Current

Developed parking recommendations based on observation and needed parking supply based on information contained with the Institute of Traffic Engineers' report, Parking Generation, 4th Edition and the Urban Land Institute's report, Shared Parking, 2nd Edition. Sites include 5th Avenue Shops, 1600 North Federal Highway, 831 East Palmetto Park Road, 331 East Yamato Road, Pine Circle Villas, 4000 North Federal Highway, Royal Palm Plaza, University Shoppes, 21302 St. Andrews, 3501 North Federal Highway, 2399 North Federal Highway, 900 North Federal Highway, St. David's Preschool, 55 South Federal Highway, and the Deerfield Building.

TLE Concurrency & Neighborhood Analysis

A proposed school required analysis of its impacts on the neighborhood. The project required traffic data collection of similar schools, queuing observations, queuing analysis, analysis of the roadway network, analysis of the existing neighborhood, and analysis of the existing adjacent Montessori



school. Based on neighborhood and school operations, we provided recommendations for hours of operation, traffic circulation, access, required parking, reservoir (throat) distance requirements, turn-lane improvements, and off-site improvements.

Indian Trails Improvement District (ITID)

Special consultant to Indian Trails Improvement District to review transportation studies and impacts to ITID roads and provide recommendations to the ITID Engineer. Over 13,000 dwelling units and four million square feet of non-residential use are approved or proposed adjacent to ITID and will utilize ITID's private roads for transportation and circulation.

Okeechobee County On-Call Reviewer

Provide continuing traffic and site plan review services to Okeechobee County. We make concurrency determinations in accordance with the adopted code and provide our professional opinion to the County on matters of traffic engineering, including: queues, signal warrants, off-site improvements, parking requirements, circulation, site design, trip generation, traffic assignment, and trip distribution.

Western Grove DRI - NOPC

Revise this approved DRI in Port St. Lucie to modify the conditions and identify specific developer improvements, extend the buildout of the project to 2040, and provide certainty to the developer. MEP worked with the City of Port St. Lucie, St. Lucie County, Treasure Coast Regional Planning Council, and FDOT to assist in the approval of the necessary Land Use Amendments and Notice of Proposed Change.

St. Lucie West Boulevard Turn Lanes & Signal Modification

The project was for the design and permitting services of an additional left turn lane and the extension of the existing left turn lane. The project required collecting traffic volumes, vehicle queues and intersection timings along the corridor and the I-95 Interchange ramp signals. St. Lucie West Boulevard was modeled using collected data. The analysis showed that a 1,000 foot second eastbound left turn lane would provide adequate storage capacity and alleviate queuing at this intersection and greatly improve the arterial operation. Therefore, the design included a new 1,000 linear foot turn lane. The design included traffic signal modifications, typical section design, roadway design, landscaping evaluation and approval, signing and striping, stormwater design, maintenance of traffic plan, and new signal timing.

Intersection Evaluation – California Blvd & University Blvd

This intersection was identified in the Congestion Management Process as being a priority project because it has experienced a high level of traffic related issues, including accidents and congestion, during the morning and afternoon peak hours. MEP evaluated the intersection for safety, signal warranting, existing and future intersection operation, and existing and future roadway operation.



The study included researching, collecting, and obtaining data to determine the existing traffic patterns, volumes, turning movements, and accidents at the intersection. The study provides recommendations for roundabout and intersection improvement alternatives and preliminary cost estimates for each option.

Hypoluxo Road and Adonis Drive Signal Design & Roadway Modifications

The project was for the traffic signal warrant, design and permitting. MEP collected data for the traffic signal warrant. The data collection included: Qualitative field visit during the AM and PM peak hour, pictures of intersection approaches, signal timing data, and 24-hour traffic volume data. The design and permitting required signal timing and phasing, signing and pavement markings, and pedestrian facilities. The signal was originally designed with mast arms and in order to reduce construction costs and was redesigned with a span wire section. The span wire design utilizing prestressed concrete poles allowed for the required vertical and horizontal distances from the existing FPL, AT&T, and Comcast overhead utilities and the underground water and force mains. In addition, the span wire design included meeting the minimum signal head height requirements and the concrete poles' minimum clear zone requirements.

Tequesta US Hwy 1

MEP performed an analysis of the traffic impacts resulting from a proposed 6 lane to 4 lane reduction. Modified the roadway laneage and improvements to match the existing plus committed roadway network to the projected buildout year. The corridor analyzed the conditions for the existing (year 2014) and future (year 2040) traffic conditions and potential impacts of the proposed lane elimination project on transportation facilities and operations in the corridor as well as the study area. The study included intersection and segment LOS interpretation and reporting, congestion management solutions, access management, access management solutions, safety analyses and conceptual design.

High Meadow Avenue Signal & Fiber Optic Network Plan

The project was for the fiber optic installation, traffic signal warrant, design and permitting. MEP collected data for the traffic signal warrant. The design and permitting required signal timing and phasing, structural analysis, fiber optic schematics and splicing diagrams.

Xenon S.A. vs. Exxon

Expert during mediation. Familiarization with Lennard Road Special Assessment District (SAD). Performed detailed analysis of SAD and improvement costs and gathered historical data related to SAD, contractual relationships and impact fees. Provided guidance during mediation negotiations to client.



CITY OF FORT PIERCE
DEVELOPMENT REVIEW PACKAGE

835 SEAWAY DRIVE/ TBD

May 21, 2019

Submitted by:



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A. PD AMENDMENT PACKAGE

A.1. AMENDMENT NARRATIVE



Atkins
 7175 Murrell Road
 Melbourne, FL 32940-7999
 Tel: +1 321 242 4942
 atkinglobal.com
snclavalin.com

TO: City of Fort Piece Planning Department
 Att: Rebecca Grohall, AICP, Planning Director
 100 North U.S. Highway 1
 Fort Pierce, FL 34950

FROM: Jeffrey Lucas – Atkins N.A
 Authorized Representative

SUBJECT: **Application for Development Review (Major PD Amendment)
 Cumberland Farms @ Harbour Isles
 835 Seaway Drive / TBD**

DATE: April 29, 2019

AMENDMENT NARRATIVE

Owner(s)/Applicant(s): Harbour Isle Development Commercial, LLC
 835 Seaway Drive
 Fort Pierce, FL 34949

Representative: Atkins, NA
 Jeffrey Lucas
 7175 Murrell Road
 Melbourne, FL 34940

Requested Action: Approval with Conditions to allow for a Major Amendment to the Planned Development Plan for Harbour Isle Concerning Property Located at 835 Seaway Drive / TBD

Location: 835 Seaway Drive / TBD

Parcel IDs: 2402-501-0001-010-8

Zoning: PD, Planned Development

Future Land Use: HIMU, Hutchinson Island Mixed Use

Surrounding Zoning:

North	East	South	West
OS1	PD	PD	PD

Land Use: 1.50 acres

Amendment Request:

In accordance with Section, 22-40 of the City Code, Cumberland Farms, Inc. is requesting the review and approval of a Development Review (Major Amendment) to the previously approved PD as follows:

1. Revise the previously approved site plan for property that is located at 835 Seaway Drive. The proposal is to construct a 5,625 square foot convenience store with fuel sales and associated infrastructure.
2. Revise the previously approved 15,000 square foot commercial allocation by $\pm 1,675$ square feet to allow for a Cumberland Farms to be developed on a portion of the original parent parcel that received Commission approval on August 5, 2004. This development will effectively provide for “infill” development of this original parent parcel that received Commission approval of a retail building on January 11, 2019. the second infill parcel of the parent parcel to increase the remaining allotted commercial building square footage from 3,950 square feet to 5,625 square feet.
3. Revise the previously permitted uses to allow convenience stores with fuel sales.

Background Information:

On August 5, 2004, the City Commission granted approval for the Planned Development know as Harbour Isle at Hutchinson Island. This PD consisted of both residential and commercial components. The commercial aspects of the project were located along Seaway drive. A 15,000 square foot retail use was approved for a single parcel as a part of this 2004 Commission approval. On January 11, 2019, the City Commission approved an 11,050 square foot retail development on a portion of this parent parcel that was subdivided into two parcels. This request seeks to development the remaining acreage with a Cumberland Farms that will require a 1,675 square foot commercial allocation increase and permission to have fuel sales.

Site Plan Review:

Cumberland Farms, Inc. is requesting review and approval of a Major Amendment to the Harbour Isle Planned Development for the commercial component of the development that is located at 835 Seaway Drive. As noted above, the previously approved site plan had a commercial building of 15,000 square feet. The parent parcel with the previously approved commercial component has been legally split into two parcels of 1.5 acres and 1.54 acres. The approved site plan of the Planned Development has been revised. The 1.54-acre parcel has been granted a Major Amendment approval by the City Commission on January 11, 2019 for an $\pm 11,050$ square feet commercial building. Cumberland Farms, Inc. is proposing a 5,625 square feet commercial building on the remaining infill parcel. The combined buildings square footage has exceeded the previously approved the 15,000 square feet commercial building by 1,675 square feet.

There are proposed to be two driveways on the property along Seaway Drive. One driveway will be egress (right-out only) only and the second driveway will be a shared driveway with the adjacent commercial development and will be both ingress and egress. The egress for the second driveway will be a left-out and a right-out. There will be no driveway that connects to the interior of the Harbour Isle development, instead there will be a pedestrian path with a secure electronic gate that only the Harbour Isle residents will be able to access.

The proposed building size would require twenty-nine (29) parking spaces with two (2) of those spaces being designated as handicap spaces. The proposed development is providing thirty (30) parking spaces with two (2) of these spaces designated as handicap. Five (5) bicycle stalls will also be provided onsite.

The Lighting Plan provided will have minimal light spill onto both Seaway Drive and on the property line that is shared with the residential component of Harbour Isle. The lighting in the parking area was designed to be in compliance with City Code 22-60 (j)(1)(a) that required a minimum average of two (2) foot-candles in the parking area.

The Landscape Plan proposes the following vegetation:

TYPE	COMMON NAME	QUANTITY
TREES		
	Live Oak	3
	Sabal Palm	14
	Mahogany	6
SHRUBS/GROUNDCOVERS		
	Perennial Peanut	295
	Red Tip cocoplum	138
	Wax Jasmine (Shrub)	78
	Podocarpus	21
TURF		
	St. Augustine Floratam	1,265 SY

The Landscape Plan was designed to be in compliance with the requirements of City Code 22-187, General Landscaping requirements. A fully automatic irrigation system will be installed and will provide 100% coverage in winds up to 15 miles per hour.

Development Review

Section 22.58 of the City of Fort Pierce Code of Ordinances outlines the requirements for development review. The attached material includes the necessary items required for review and approval.

Design Review

Section 22.59 of the City of Fort Pierce Code of Ordinances outlines the requirements for design review. The attached material includes necessary items required for review and approval.

Based on the above justification and attached information, the Petitioner respectfully requests approval of these requests.

A.2. COMPLETE NOTARIZED APPLICATION



DEVELOPMENT REVIEW

Property address or Location 835 Seaway Dr / TBD., Fort Pierce, FL 34949
 Parcel ID #(s) 2402-501-0001-010-8
 Project description 5,625 SF 1-story convenience store with outdoor seating and 6 fueling pumps

Harbour Isle Dev Commercial, LLC
Property Owner(s)
825 Seaway Drive
Street Address
Fort Pierce FL 34949
City **State** **Zip**
(561)-623-8801
Phone Number
cmason@masondc.com
Email Address

Laura Sherman, Assistant Secretary, Cumberland Farms Inc.
Applicant/Representative, Title, Company
165 Flanders Rd.
Street Address
Westborough MA 01581
City **State** **Zip**
(508) 270-1400
Phone Number
lsherman@cumberlandfarms.com
Email Address

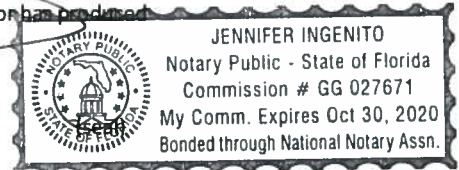
Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Mason
 Property Owner(s) Signature(s)

Representative
Jeffrey Lucas - ATKINS
7175 Murrell Road
Melbourne, FL 32940
321-242-4942
jeffrey.lucas@atkinglobal.com

STATE OF FLORIDA -- COUNTY
 The foregoing instrument was acknowledged before me this 12th day of June, 2019, by
CRAIG R. MASON

who is personally known to me or has produced
 as identification.



[Signature]
 Signature of Notary

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Intake Date Stamp



DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input checked="" type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

Site Information:

5,625

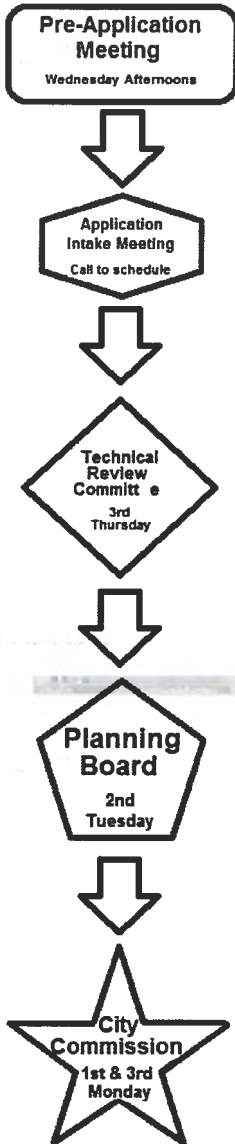
Non-Residential: Proposed Sq. Ft.:

Residential: Proposed Units:

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
RM	HIMU	HIMU	RM

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-S8.d.2)
- Survey (see Section 22-S8.d.3)
- Site Plan (see Section 22-S8.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-S8.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-S8.d.7)
- Lighting Plan (see Section 22-S8.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

A.3. WARRANTY DEED

Prepared by and Return to:
Louisa Martinez, an employee of
First International Title, Inc.
107 North 2nd Street
Fort Pierce, FL 34950
Our File No. 127661-41

WARRANTY DEED

THIS INDENTURE is made on 18th day of September, 2018, between **Harbour Isle Development Commercial LLC a Florida limited liability company**, having a business address at: 9315 Dole Circle, Windermere, FL 34786, ("Grantor"), and **Harbour Isle Plaza, LLC, a Florida limited liability company**, having a mailing address of: PO Box 3316, Jupiter, FL 33469, ("Grantee"):

(Which terms "Grantor" and "Grantee shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

WITNESSETH, that the said Grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt and sufficiency of which is hereby acknowledged hereby grants, bargains, sells, remises, releases, conveys and confirms unto said "Grantee" all that certain land, situated, lying and being in the County of **St. Lucie, Florida**, to-wit:

That portion of Tract D-1, Second Replat of Harbour Isle at Hutchinson Island, according to the plat thereof, as recorded in Plat Book 46, Page(s) 9 and 10, of the Public Records of St. Lucie County, Florida, lying East of the following described line:

Commence at the Northwest corner of said Tract D-1; thence North 64°50'00" East, along the North line of said Tract D-1 (the North line of said Tract D-1 is assumed to bear North 64°50'00" East and all other bearings are relative thereto), a distance of 244.91 feet to the beginning of a curve concave to the South having a radius of 666.78 feet and a central angle of 1°01'21"; thence Easterly, along the arc of said curve, a distance of 11.90 feet to the Point of Beginning of the hereinafter described line; thence South 25°10'00" East, a distance of 274.36 feet to a point on the South line of said Tract D-1 and the Point of Terminus.

Parcel Identification Number: **2402-501-0001-010/8 and 2402-501-0001-020-1**

Subject, however, to all reservations, covenants, conditions, restrictions and easements of record and all applicable zoning ordinances and/or restrictions or requirements imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the

Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to **December 31, 2017.**

In Witness Whereof, Grantor has signed and sealed these presents on the date first above written.

Harbour Isle Development Commercial, LLC a Florida limited liability company

R. Mason Simpson, Pres
R. Mason Simpson, President

Signed, sealed and delivered in our presence:

Tracy Sawicki
Witness Signature
Print Name: TRACY SAWICKI

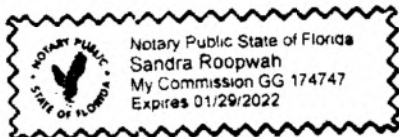
Estrellita Vazquez
Witness Signature
Print Name: ESTRELLITA VAZQUEZ

State of Florida
County of Orange

The Foregoing Instrument Was Acknowledged before me on September 19, 2018, by R. Mason Simpson, as President of **Harbour Isle Development Commercial LLC a Florida limited liability company**, who is/are personally known to me or who has/have produced a valid driver's license as identification.

Sandra Roodwah
Notary Public
Sandra Roodwah
(Printed Name)

My Commission expires: _____



A.4. SLC PROPERTY RECORD CARD

Property Identification

Site Address:	TBD
Parcel ID:	2402-501-0001-010-8
Account #:	183453
Map ID:	24/02N
Use Type:	1000
Zoning:	PUD
City/County:	Fort Pierce

Ownership

Harbour Isle Plaza LLC
PO Box 3316
Jupiter, FL 33469

Legal Description

SECOND REPLAT OF HARBOUR ISLE AT HUTCHINSON ISLAND (PB 46-9) THAT PART OF TRACT D-1 MPDAF: FROM NW COR OF TRACT D-1, TH N 64 50 00 E ALG N LI OF TRACT 244.91 FT TO CURVE CONC S, R OF 666.78 FT, TH ELY ALG ARC 11.90 FT TO POB; TH CONT ALG ARC 388.84 FT TO NE COR OF TRACT, TH S 29 41 35 W 34.91 FT, TH N 78 52 58 W 13.84 FT, TH S 12 27 34 W 6.64 FT, TH N 76 43 04 W 4.75 FT, TH S 56 32 17 W 20.34 FT, TH S 08 07 52 W 4.31 FT, TH N 78 03 59 W 6.65 FT, TH S 11 13 25 W 71.62 FT TO CURVE CONC W, R OF 90 FT, TH SLY ALG ARC 17.17 FT, TH S 22 09 18 W 23.61 FT TO E LI OF TRACT, TH S 29 41 35 W 72.18 FT, TH S 60 12 16 W 160.08 FT TO POB (1.504 AC - 65,532 SF) (OR 2377-203)



Current Values

Just/Market Value:	\$891,200
Assessed Value:	\$891,200
Exemptions:	\$0
Taxable Value:	\$891,200

Total Areas

Finished/Under Air (SF):	0
Gross Sketched Area (SF):	0
Land Size (acres):	1.5
Land Size (SF):	65,532

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)

Sale History

Date:	Sep 19, 2018
Book/Page:	4185 / 1536
Sale Code:	0205
Deed:	WD
Grantor:	Harbour Isle Dev Comm LLC
Price:	\$562,000
Date:	Sep 28, 2005
Book/Page:	2377 / 0203
Sale Code:	XX03
Deed:	SP
Grantor:	Owen Jr Jack B

Price:

\$900,000

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:

Roof Cover:

Roof Structure:

Building Type:

Year Built: N/A

Frame:

Grade:

Effective Year: 2014

Primary Wall:

Story Height:

No. Units: 0

Secondary Wall:

Interior Data

Bedrooms: 0

Electric:

Primary Int Wall:

Full Baths: 0

Heat Type:

Avg Hgt/Floor: 0

Half Baths: 0

Heat Fuel:

Primary Floors:

A/C %: 0%

Heated %: N/A%

Sprinkled %: 0%



Image
or
Sketch
unavailable
for display

Special Features and Yard Items

Current Year Values

Current Values Breakdown

Building:	\$0
Land:	\$891,200
Just/Market:	\$891,200
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$891,200
Exemption(s):	\$0
Taxable:	\$891,200

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office ☐.

Historical Values

Permits



Map Last Updated: 3/9/2019

PREPARED FOR
Michelle Franklin, CFA
 SAINT LUCIE COUNTY PROPERTY APPRAISER



0 50 100 200 300 400
 Feet

ASSESSMENT MAP
 THIS MAP HAS BEEN PREPARED FOR THE SAINT LUCIE COUNTY PROPERTY APPRAISER'S PURPOSES ONLY AND DOES NOT NECESSARILY REFLECT AN ACTUAL SURVEY. THE SAINT LUCIE COUNTY PROPERTY APPRAISER DOES NOT ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS CONTAINED HEREON.

SAINT LUCIE COUNTY, FLORIDA

SECTION	02	SHEET NUMBER
TOWNSHIP	35	24/02N
RANGE	40	

A.5. STATEMENTS OF OWNERSHIP & CONTROL OF PROPOSED DEVELOPMENT

MEMORANDUM

To: City of Fort Pierce Planning Department
Attn: Rebecca Grohall, Planning Director
100 North U.S. Highway 1
Fort Pierce, FL 34950

From: Jeffrey Lucas – Atkins Global, N.A.
As Authorized Agent

Re: Statement of Ownership & Control of Proposed Development
Proposed Cumberland Farms Convenience Store at 835 Seaway, Fort Pierce, FL

Date: February 19, 2019

SUBJECT PROPERTY

The subject property consists of a vacant parcel of 3.04 acres on the west side of Harbor Isle at Hutchinson's Island Community. The 3.04 acre property was legally split into two parcels, one of approximately 1.5 acres and the other approximately 1.54 acres. The proposed development will be on the northeast +/- 1.50 acres of vacant, well grassed land lying within the jurisdiction of the City of Ft. Pierce, Florida at 801 Seaway Dr.

The property is currently owned by **Harbor Isle Plaza, LLC. Cumberland Farms, Inc.** has entered an Agreement for Sale and Purchase of Real Property with **Harbor Isle Plaza, LLC** on September 4, 2018. Upon the completion of sale, Cumberland Farms, Inc will own and control the proposed development.

PROJECT DESCRIPTION

The northeast parcel is intended to be occupied a Cumberland Farms convenience store. The proposed development includes a single-story building of 5,625 sf with outdoor seating and 6 dispensing pumps with 12 fueling positions. The development will be equipped with underground storage tanks, canopy, outdoor seating, air tower, and dumpster enclosure.



March 11, 2019

AUTHORIZATION

Project Name: Cumberland Farms
Project Location: 801 Seaway Drive, Fort Pierce, FL

To Whom It May Concern:

Atkins North America, Inc. is the authorized agent for Cumberland Farms, Inc. to handle all site-related permit applications for the Cumberland Farms development project located at 801 Seaway Drive, Fort Pierce, Florida.

Cumberland Farms, Inc.

A handwritten signature in blue ink, appearing to read "Laura S. Sherman".

Laura S. Sherman
Senior Corporate Counsel & Assistant Secretary

COMMONWEALTH OF MASSACHUSETTS
WORCESTER COUNTY

Subscribed and sworn to before me this 11th day of March 2019 by Laura S. Sherman, Senior Corporate Counsel & Assistant Secretary of Cumberland Farms, Inc., who is personally known to me.



A handwritten signature in blue ink, appearing to read "Pamela A. Sinnett".

Notary Public:

My Commission Expires: 1/31/2025

A.6. GENERAL LOCATION MAP

PLOT DATE: Feb 19, 2019 - 8:59am
 FILE NAME: A:\PROJECTS\100062844 - CF - 801Seaway (Ft. Pierce)\10 CAD\10 - EXHIBIT\EXHIBIT-LOCATION MAP.dwg



ATKINS

CORPORATE OFFICE:
 4030 W. BOY SCOUT BOULEVARD
 TAMPA, FLORIDA 33607
 FBPR CERTIFICATE OF
 AUTHORIZATION NO.24

LOCAL OFFICE:
 7175 MURRELL ROAD
 MELBOURNE, FL 32940
 TEL. 321.242.4942
 FAX. 321.242.6101
 www.atkinglobal.com

LOCATION MAP EXHIBIT

Job nos. 100062844		Refer to Sheet No.	
Sketch Date 02/19/2019		Add./ Rev.	RFI N/A
Scale 1" = 300'			
Dr JWS	Ck JAL		

A.7. DEVELOPMENT PLANS (SEE SECTION D)

B. CONCURRENCY REVIEW SUBMITTAL



CAPACITY ANALYSIS

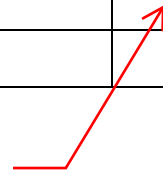
I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

Noted Total is for overall acreage of Harbour Cay Retail + Cumberland Farms



A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 1,875.00
**Proposed Zoning/FLU	Total gallons per day 703 gpd
**Change in Demand	Total gallons per day reduction of 1172 gpd

703 gpd

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot 563 gpd
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 1,500
**Proposed Zoning/FLU	Total gallons per day 563 gpd
**Change in Demand	Total gallons per day decrease of 937 gpd

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU Enrollment Demand		
**Proposed Zoning/FLU Enrollment Demand		
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	15,000 sf at 0.05 cy/sf = 750 cy
**Proposed Zoning/FLU	5625 sf x 0.05 = 281.25 cy
*Change in Demand	of decrease 469 cy

F. Stormwater: Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)
--

Impact	
---------------	--

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU	566	AM Entry: 9, AM Exit:5, PM Entry: 27, PM Exit: 30
**Proposed Zoning/FLU	2766	AM Entry: 62, AM Exit: 63; PM Entry: 46, PM Exit: 48
*Change in Demand	Trips 2,200 (increases)	Trips 53/58/19/18 (increases)
Impact to Capacity	Trip generation will increase based on the combined development on the of the divided parcels.	

IV. Project Description

PHASING	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units:	Single Family: Multifamily:
Non-residential (square footage):	
Mixed-use (describe use):	
(If this is a single phase project, name it Phase I – Total)	

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

C. DESIGN REVIEW SUBMITTAL PACKET



Design Review

Property address or Location 835 Seaway Dr. / TBD, Fort Pierce, FL 34949
 Parcel ID #(s) 2402-501-0001-010-8
 Project Description 5,625sf 1-story convenience store with outdoor seating and 6 fueling pumps

Harbour Isle Dev Commercial, LLC
 Property Owner(s)
825 Seaway Drive
 Street Address
Fort Pierce FL 34949
 City State Zip
(561) 623-8801
 Phone Number
cmason@masondc.com
 Email Address

Laura Sherman, Assistant Secretary, Cumberland Farms Inc.
 Applicant/Representative, Title, Company
165 Flanders Rd.
 Street Address
Westborough MA 01581
 City State Zip
(508) 270-1400
 Phone Number
lsherman@cumberlandfarms.com (Applicant contracting to purchase)
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

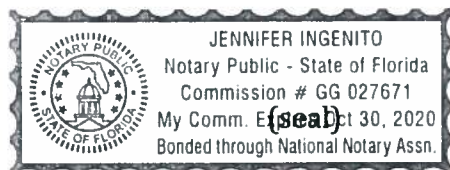
Property Owner(s) Signature(s)

Representative
 Jeffrey Lucas - ATKINS
 7175 Murrell Road
 Melbourne, FL 32940
 321-242-4942
 jeffrey.lucas@atkinglobal.com

STATE OF FLORIDA -- COUNTY
 The foregoing instrument was acknowledged before me this 12 day of Mar, 2015 by

CRAG R. MASON who is personally known to me or has produced
 as identification.

Signature of Notary



TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____
 Intake Planner _____
 Planner Assigned _____
 Approved _____ Date _____
 Comments _____

Intake Date Stamp

Design Review Application Checklist

(City Code of Ordinances 22-59)

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

C.1. DESIGN INTENT NARRATIVE

Cumberland Farms – Ft. Pierce
801 Seaway Drive, Fort. Pierce, FL

MEMORANDUM

To: City of Fort Pierce Planning Department
Attn: Rebecca Grohall, Planning Director
100 North U.S. Highway 1
Fort Pierce, FL 34950

From: Jeffrey Lucas – Atkins Global, N.A.
As Authorized Agent

Re: Design Intent Narrative
Proposed Cumberland Farms Convenience Store at 835 Seaway, Fort Pierce, FL

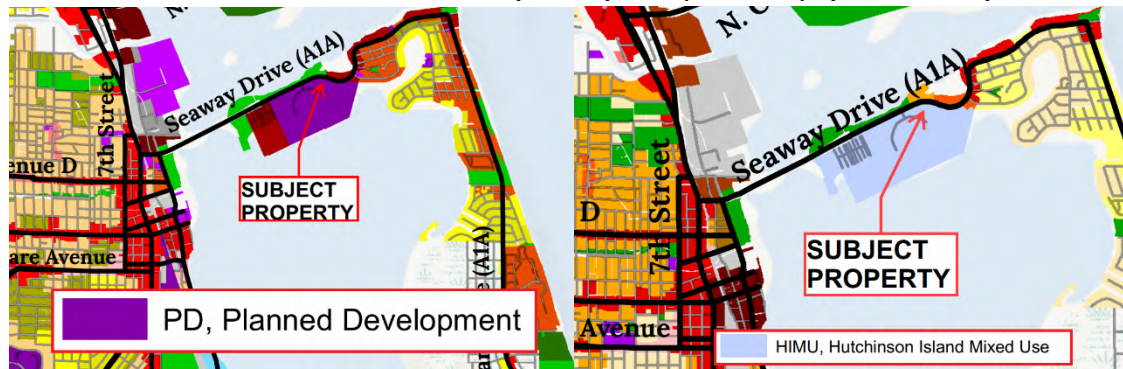
Date: February 19, 2019

SUBJECT PROPERTY

The subject property consists of a vacant parcel of 3.09 acres on the west side of Harbor Isle at Hutchinson's Island Community. It is intended to legally split into two parcels, one of approximately 1.5 acres and the other approximately 1.6 acres. The proposed development will be on the northeast +/- 1.50 acres of vacant, well grassed land lying within the jurisdiction of the City of Ft. Pierce, Florida at 801 Seaway Dr.

The site has no significant vegetation and in fact was created by depositing dredged fill from the intracoastal waterway. There also is no significant topography, wetlands or buffers. The subject property is currently undeveloped and vacant grassed land. The Fort Pierce US army Coastguard facility, vacant property and a residential building are located across Seaway drive adjoining the subject property to the north. A vacant property adjoins the subject property to the west, past which are roadways and residential buildings of Harbor Isles. Parking lots and residential buildings of Harbor Isles surround the subject property to the south. A vacant property adjoins the subject property to the east, past which are residential buildings of Harbor Isles. A hedge and a metal railing bound the property to the south with a few trees.

Current zoning and future land use (FLU) for the site is Planned Development (PD) and Hutchinson Island Mixed Use (HIMU), respectively (see below).



PROJECT DESCRIPTION

The northeast parcel is intended to be occupied a Cumberland Farms convenience store. The proposed development includes a single-story building of 5,625 sf with 300 sf of outdoor seating and 6 dispensing pumps with 12 fueling positions. The development will be equipped with underground storage tanks, canopy, outdoor seating, air tower, and dumpster enclosure.

Refer to PD Amendment for additional

PROPOSED ACCESS

The development has proposed to provide two driveways along Seaway Drive. One shared full access driveway with the southern parcel and a right turn only exit driveway on the north end. Additional internal circulation accesses will be provided with the parcel on the south.

SUMMARY

The proposed Cumberland Farms development fits perfectly with the local environment. It draws on neighboring architecture and provides a safe and clean place for the community to shop.

C.2. CONTEXT PHOTOGRAPHS







C.3. ARCHITECTURAL PRECEDENT

Photos of surrounding uses and styles



















C.4. PHOTOGRAPHS OF EXISTING STRUCTURES







C.5. TRAFFIC IMPACT REPORT

TRAFFIC IMPACT ANALYSIS

Harbor Cay Fort Pierce, FL

Prepared for:
Mason Development & Construction
Jupiter, Florida

Prepared by:


Engineering & Planning, Inc.
1172 SW 30th Street, Suite 500
Palm City, FL 34990
(772) 286-8030



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SHAUN G. MACKENZIE, P.E. ON THE DATE ADJACENT TO THIS SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
MACKENZIE ENGINEERING AND PLANNING, INC.
1172 SW 30th STREET, SUITE 500
PALM CITY, FL 34990
CERTIFICATE OF AUTHORIZATION 29013
SHAUN G. MACKENZIE, P.E. NO. 61751

Digitally
signed by
Shaun G
MacKenzie
Date:
2019.05.20
11:46:56
-04'00'

174001
April 2019
© MacKenzie Engineering and Planning, Inc.
CA 29013

Shaun G. MacKenzie P.E.
PE Number 61751

EXECUTIVE SUMMARY

MacKenzie Engineering and Planning, Inc. (MEP) was retained to prepare a traffic study update for the development of property on the south side of Seaway Drive east of the Harbor Isle roundabout, Fort Pierce, FL (Parcel ID: 2402-501-0001-000-5). The applicant proposes a 3,250 SF of high-turnover restaurant, 4,745 SF apparel store, 1,040 SF gift shop, 1,495 SF liquor store, and 5,625 SF of convenience store with 12 vehicle fueling positions.

The project has a prior approval through Ft. Pierce and a pre-approval through FDOT for 1 right-in, 1 right-out, and one full access driveway to Seaway Drive along with a full access driveway to Harbor Isle. The project proposes to remove the Harbor Isle access. The project will provide cross-access to the undeveloped parcel to the west.

The site proposes a 2020 buildout. The project's net new trips compared to the prior use approval is a decrease of 969 daily, 66 AM peak hour, and 84 PM peak hour trips.

The proposed project is expected to generate the following net external trips:

- 1,128 daily, 72 AM peak hour (39 in/33 out), and 81 PM peak hour (42 in/39 out)

The proposed project is expected to generate the following cumulative driveway trips:

- 3,918 daily, 268 AM peak hour (139 in/129 out), and 277 PM peak hour (143 in/134 out)

The driveways are projected to operate acceptably without ingress turn lanes. The project will provide left and right-turn egress lanes from the project.

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Exhibit 5. PM Peak Hour Roadway Analysis
Exhibit 6. Harbor Cay Driveway Volumes
Exhibit 7. Adjacent Parcel Trip Generation
Exhibit 8. Adjacent Parcel Driveway Volumes
Exhibit 9. Total Projected Driveway Volumes
Intersection Development Sheet – Seaway Drive @ Driveway

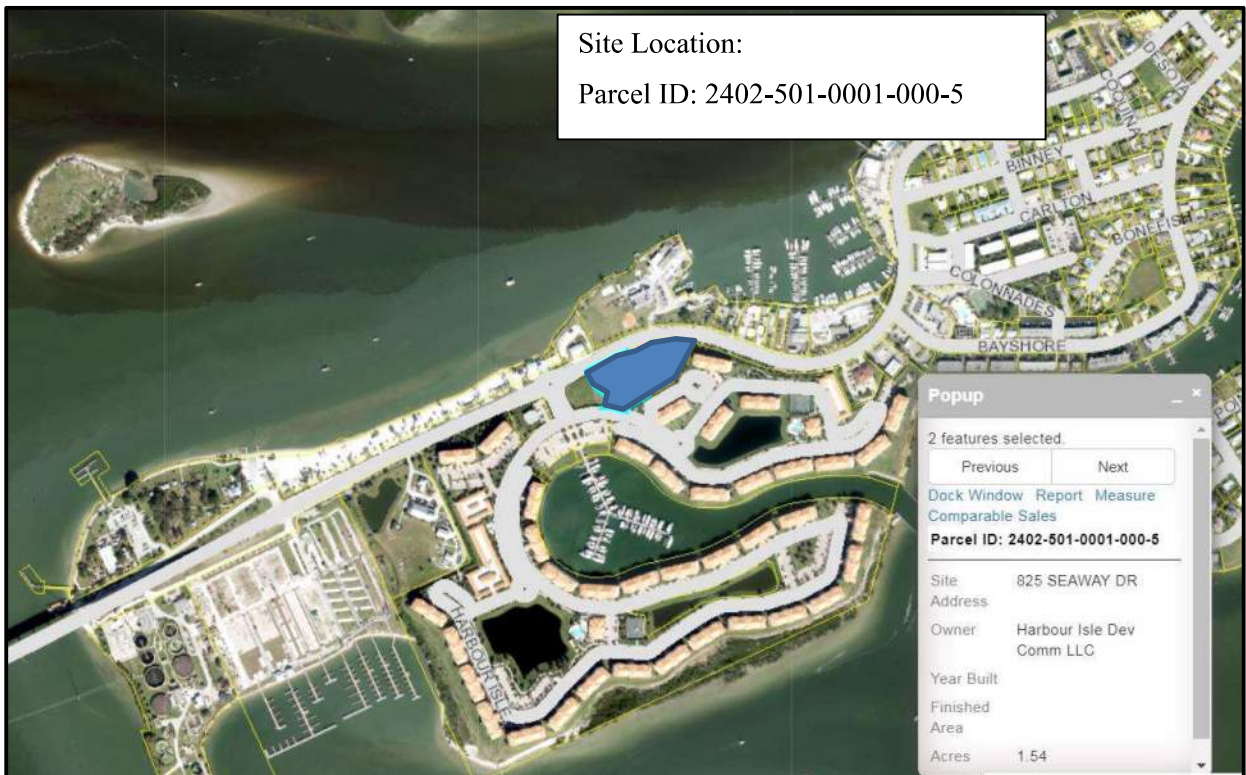
INTRODUCTION

MacKenzie Engineering and Planning, Inc. (MEP) was retained to prepare a traffic study update for the development of property on the south side of Seaway Drive east of the Harbor Isle roundabout, Fort Pierce, FL (Parcel ID: 2402-501-0001-000-5). The applicant proposes a 3,250 SF of high turnover restaurant, 4,745 SF apparel store, 1,040 SF gift shop, 1,495 SF liquor store, and 5,625 SF of convenience store with 12 vehicle fueling positions.

The project has a prior approval through Ft. Pierce and a pre-approval through FDOT for 1 right-in, 1 right-out, and one full access driveway to Seaway Drive along with a full access driveway to Harbor Isle. The project proposes to remove the Harbor Isle access. The purpose of this report is to assess the ability of the driveway and roadways surrounding the project accommodate the projected change in traffic.

The concept plan is shown in Appendix A.

Figure 1. Site Location



INVENTORY AND PLANNING DATA

The traffic data used in this analysis were obtained from FDOT.
Atkins & EDC provided site information.

PROJECT TRAFFIC

Use

The following changes are proposed:

Table 1. Proposed Changes

Use	Approved	Proposed	Change (P – A)
Medical Office	8,600 SF	-	-8,600 SF
Shopping Center	4,000 SF	0 SF	+4,000 SF
Restaurant	7,050 SF	3,250 SF	-3,800 SF
Apparel Store	-	4,745 SF	+4,745 SF
Gift Shop	-	1,040 SF	+1,040 SF
Liquor Store	-	1,495 SF	+1,495 SF
Convenience Store with Fuel Pumps			
Convenience Store	5,618 SF	5,625 SF	7 SF
Fueling Positions	12 F.P.	12 F.P.	0 F.P.

Traffic Generation

Daily and peak hour rates and equations contained in the Institute of Transportation Engineers’ (ITE) report, Trip Generation (10th Edition) were applied to the following uses:

- Restaurant – ITE Land Use 932 – High-Turnover Sit-Down Restaurant
- Beachwear – ITE Land Use 876 – Apparel Store
- Gift Shop – ITE Land Use 876 – Apparel Store
- Liquor Store – ITE Land Use 899 – Liquor Store

The report uses FDOT’s Trip Generation Recommendations Report (October 2014) for Convenience Market with Gas Pumps. The FDOT PM peak hour Gasoline plus convenience store equation was also applied to the AM peak hour because FDOT did not publish AM Peak Hour equations.

The proposed project is expected to generate the following net external trips:

- 1,128 daily, 72 AM peak hour (39 in/33 out), and 81 PM peak hour (42 in/39 out)

The proposed project is expected to generate the following cumulative driveway trips:

- 3,918 daily, 268 AM peak hour (139 in/129 out), and 277 PM peak hour (143 in/134 out)

Internal Capture

AM and PM peak hour internal capture is conservatively estimated at 1.8 and 4.8 percent, respectively. This is a conservation rate given the potential interaction between the uses on the site.

Pass-by Trip Capture

MEP utilized the available pass-by rate capture rates published within the ITE's report, *Trip Generation (10th Edition)*. Apparel Store and Liquor Store do not have published pass-by rates, therefore a 34 percent pass-by rate was applied based the average shopping center rate (ITE Land Use 820). The report uses the pass-by capture rate published within FDOT's Trip Generation Recommendations Report (October 2014) for Convenience Market with Gas Pumps as show in Table 2.

Table 2. Trip Generation

Land Use	Intensity		Daily Trips	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Proposed Site Traffic									
High Turnover Sit-Down Rest	3.250	1000 SF	365	32	18	14	32	20	12
Apparel Store	5.785	1000 SF	384	6	5	1	24	12	12
Conv. Mrkt w/ Gas Pumps	5.625 ksf + 12 f.p.		3,361	235	118	117	235	118	117
Liquor Store	1.495	1000 SF	152	1	1	0	26	13	13
Subtotal			4,110	273	141	132	291	150	141
Internal Capture									
	AM	PM	DAILY						
High Turnover Sit-Down Rest	6.3%	12.5%	12.5%	46	2	1	1	4	2
Apparel Store	0.0%	8.3%	8.3%	32	0	0	0	2	1
Conv. Mrkt w/ Gas Pumps	1.3%	3.4%	3.4%	114	3	1	2	8	4
Liquor Store	0.0%	7.7%	7.7%	12	0	0	0	2	1
Subtotal	1.8%	4.8%	4.7%	192	5	2	3	14	7
Pass-By Traffic									
High Turnover Sit-Down Rest	43.0%			137	13	7	6	12	8
Apparel Store	34.0%			120	2	2	0	7	4
Conv. Mrkt w/ Gas Pumps	78.0%			2,533	181	91	90	177	89
Liquor Store	34.0%			48	0	0	0	8	4
Subtotal			2,790	196	100	96	196	101	95
NET PROPOSED TRIPS			1,128	72	39	33	81	42	39
Total Proposed Driveway Volumes			3,918	268	139	129	277	143	134
NET EXTERNAL TRIPS (FOR THE PURPOSES OF CONCURRENCY)			1,128	72	39	33	81	42	39
NET CHANGE IN DRIVEWAY VOLUMES			3,918	268	139	129	277	143	134
Note: Trip generation was calculated using the following data:									
Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour		Equation
					in/out	Rate	in/out	Equation	
High Turnover Sit-Down Rest	932	1000 SF	112.18	43%	55/45	9.94	62/38	9.77	
Apparel Store	876	1000 SF	66.4	34%	80/20	1.00	51/49	4.12	
Conv. Mrkt w/ Gas Pumps	FDOT	1000 SF & Pumps	14.3 x PM Trips	78%	50/50	used PM information	50/50	12.3 x Fuel Pumps + 15.5 x 1,000 SF Conv. Store	
Liquor Store	899	1000 SF	101.49	34%	51/49	0.51	50/50	17.12	

Area of Impact

The proposed changes on the site, reductions in intensity and use of the more accurate ITE 10th Edition and FDOT equations resulted in a significant reduction in net external and driveway trips. The most recent traffic study was performed by O'Rourke Engineering & Planning and is dated August 10, 2018. The summary of trips is shown below in Tables 3 and 4.

Table 3. Net External Trip Generation

Traffic Study	Daily Trips	AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out
O'Rourke	2,097	138	80	58	165	83	82
MEP	1,128	72	39	33	81	42	39
Change	-969	-66	-41	-25	-84	-41	-43

Table 4. Driveway Trip Generation

Traffic Study	Daily Trips	AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out
O'Rourke	4,699	309	166	143	357	178	179
MEP	3,918	268	139	129	277	143	134
Change	-781	-41	-27	-14	-80	-35	-45

The reduction in net external trips is attributed to the FDOT's studies of convenience stores with gasoline pumps which demonstrates approximately 78 percent of the traffic is related to traffic passing by the site. The study also eliminated the medical office use from the site and applied the anticipated actual uses (apparel store, gift shop, and liquor store) rather than the general shopping center trip generation.

TRAFFIC DISTRIBUTION

Consistent with the prior approved traffic study, the overall distribution is summarized by general directions and is depicted below:

WEST	-	70 percent
EAST	-	30 percent

TRAFFIC ASSIGNMENT

The distributed external trips for the project were assigned to the roadway network within the radius of influence based on the distribution and are consistent with the O'Rourke August 10, 2018 traffic study. The traffic assignment is illustrated in Figure 2.

PROJECTED GROWTH

Projected growth is estimated using the historical growth in the area. The study uses a 3.4 percent annual growth rate as shown in Table 5 based the weighted average of growth on Seaway Drive and Ocean Drive.

Table 5. Growth Rate Calculation

ROAD	FROM	TO	Station	LANES	2014	2015	2016	2017	2018	GROWTH RATE
Seaway Drive	ICWW	Harbour Isle	940115	2	12,900	15,100	14,800	14,800	16,600	4.28%
Ocean Drive	Seaway Dr	Jaycee Park	945016	2	7,800	8,000	8,800	8,100	8,400	1.55%

Average Weighted Growth Rate	3.4%
------------------------------	-------------

BACKGROUND TRAFFIC

Background traffic identifies how the study area's transportation system is forecast to operate in the buildout year. This includes traffic growth that is associated with the general (historic) growth in the area and the growth due the development of unbuilt portions of approved major developments.

Figure 2. Traffic Assignment



ASSURED AND PROGRAMMED CONSTRUCTION

A review was conducted of the Five-Year Plans of FDOT. No capacity enhancements are identified in the area.

ROADWAY ANALYSIS

Adopted Level of Service

Seaway Drive (SR A1A) has an adopted level of service of D based on the City's comprehensive plan. Seaway Drive is 4-lanes west of Causeway Cove Marina. Seaway Driveway is uninterrupted flow segment from Causeway Cove Marina to Harbour Isle Drive and transitions from 4-lanes to 2-lanes. East of Harbour Isle Drive, Seaway Drive is 2-lanes. The corresponding vehicular roadway capacities for Seaway Drive are 1,300, 1,190 and 750 peak hour peak direction vehicles, respectively, obtained from FDOT's 2013 Quality/Level of Service Manual.

Total Peak Hour

Roadway analysis was performed on Seaway Drive from Indian River Drive to Ocean Drive. The project related traffic and total traffic for the AM and PM peak hours for one-way peak hour conditions are shown in Exhibits 2 through 5. As shown in Exhibits 3 and 5, Seaway is projected to operate acceptably at project buildout in the AM and PM peak hours, respectively.

DRIVEWAYS

The Project site proposes three points of access onto Seaway Drive (SR A1A). The access is as follows:

- Seaway Drive west access – right-in only
- Seaway Drive central access – full access
- Seaway Drive east access – right-out only

In addition, the project will provide cross-access to an undeveloped parcel to the west. The parcel was previously analyzed as an 8,000 SF medical office. This analysis will continue to analyze the project as an 8,000 SF medical office in order to provide a conservative analysis. Trip generation is provided in Exhibit 6 in the Appendix and the traffic assignment is consistent with the proposed project.

The Harbor Cay project, Undeveloped Western Parcel, and Total driveway trips are shown in Figures 3, 4, and 5, respectively.

Figure 3. Projected Harbor Cay Driveway Volumes

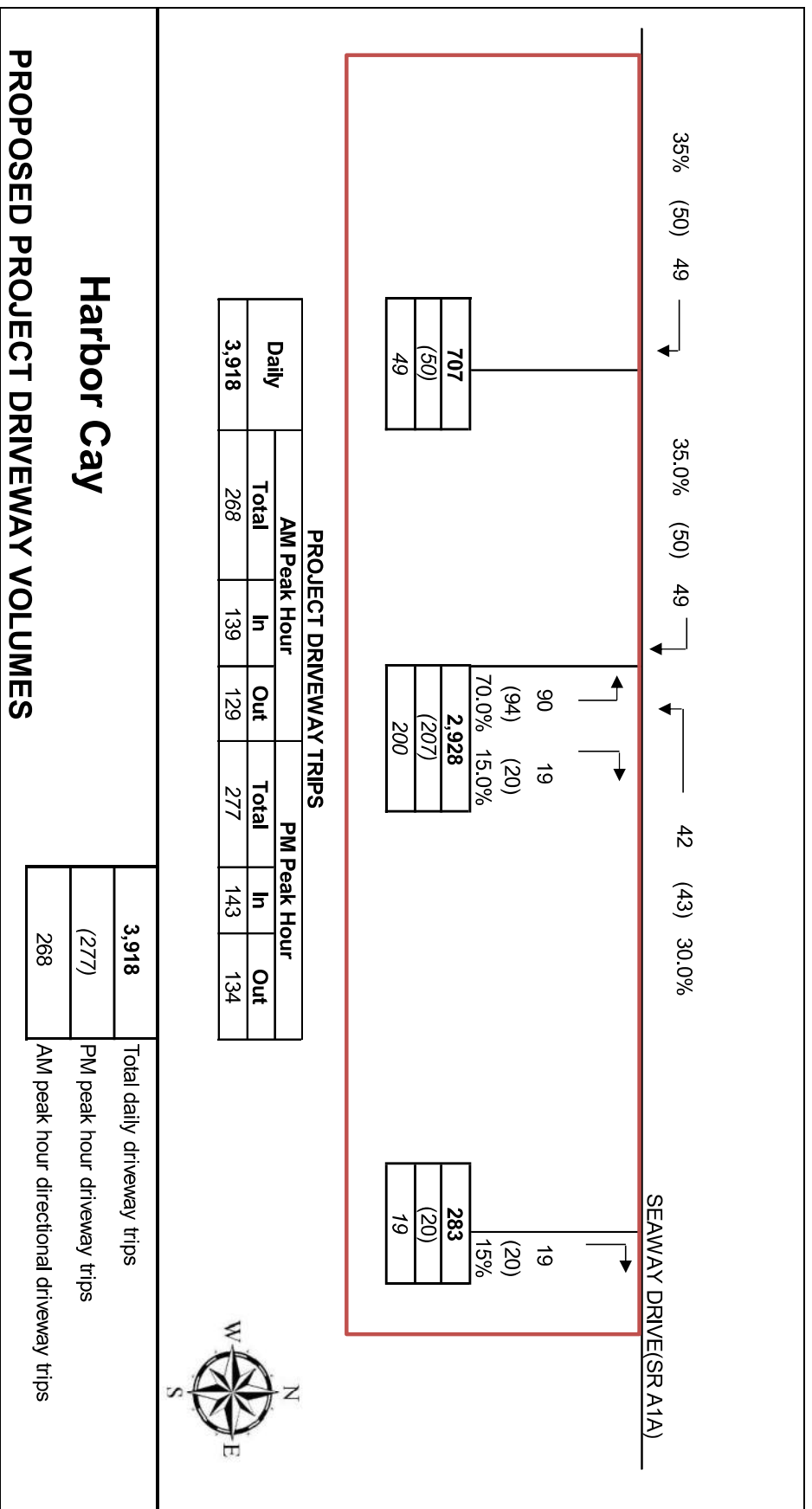
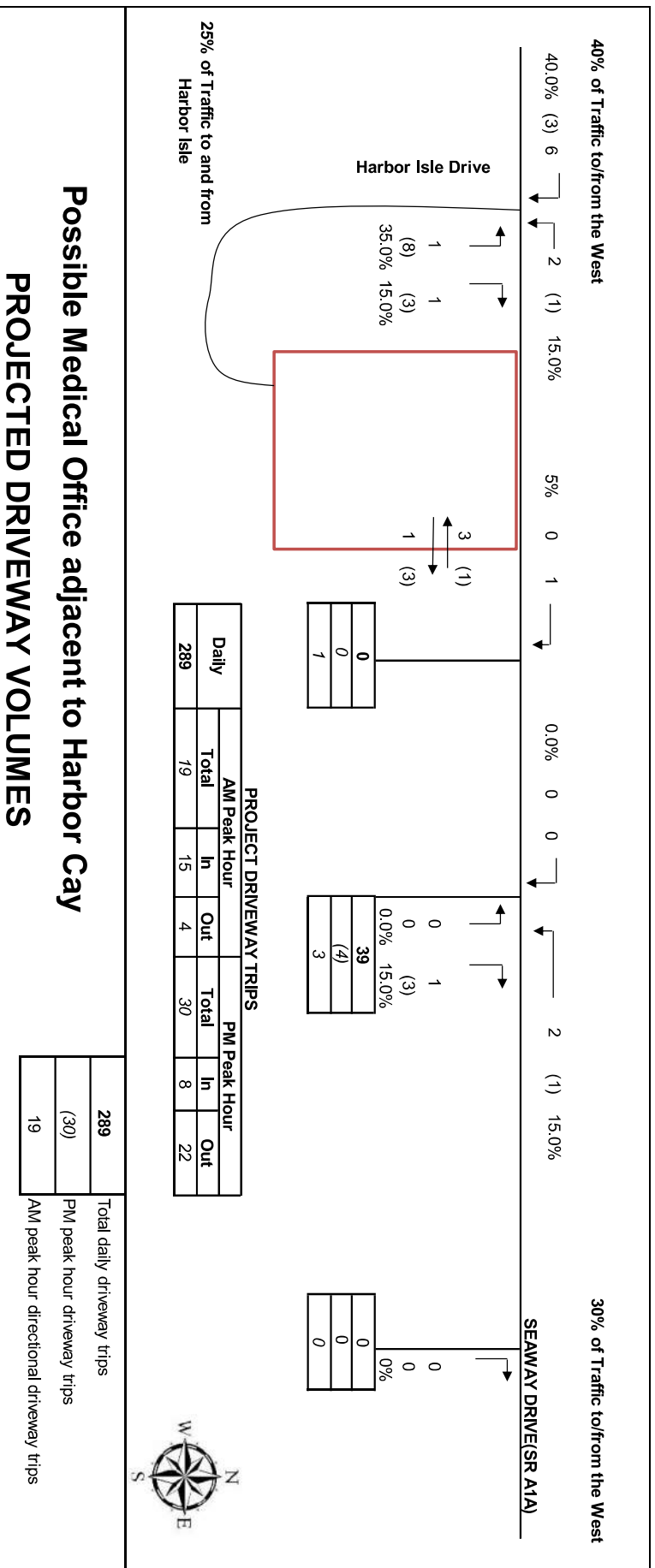


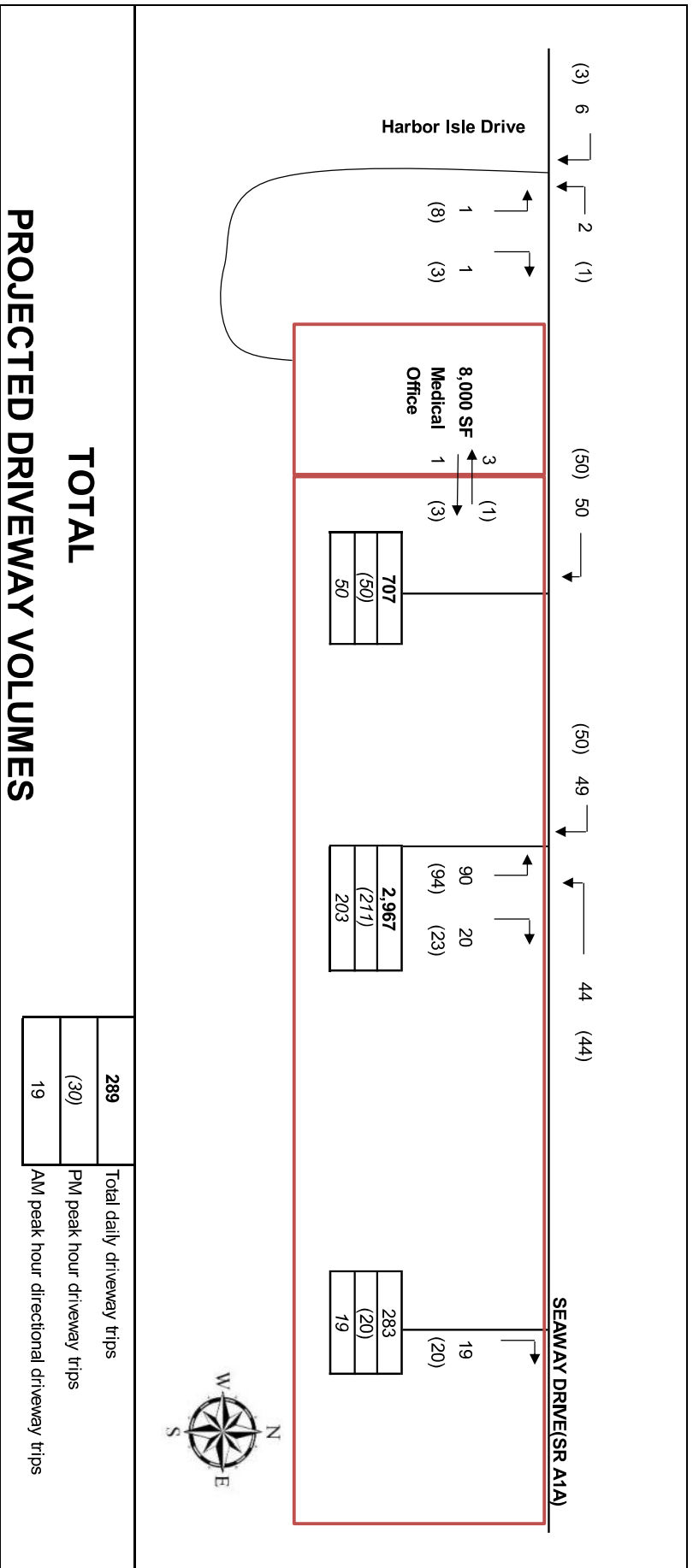
Figure 4. Undeveloped Western Property Driveway Volumes



Possible Medical Office adjacent to Harbor Cay

PROJECTED DRIVEWAY VOLUMES

Figure 5. Total Projected Driveway Volumes



Driveway Dimensions

The driveway volumes and dimensions are shown in Table 6.

Table 6. Driveway Volumes

	Western Driveway	Central Driveway	Eastern Driveway
Volume (vph)			
Total	50	211	20
Inbound	50	94	0
Outbound	0	117	20
Reservoir (feet) In/out	15'	15'/28'	18.8'
Reservoir (from travel lane) (feet)	40.5'	46.5'	49.1'
Return Radius (feet)	37'	35'	25'
Ingress Left-Turn Vol (veh/hour)	-	44	-
Ingress Right-Turn Vol (veh/hour)	50	50	-

Turn Lanes

Right-Turn Lane

The right-turn volumes into the project at both entrances are less than 80 vehicles per hour. The speed limit on Seaway Drive is 35 miles per hour. Therefore, right-turn lanes into the project are not warranted.

Left-Turn Lane

The peak hour left-turn volume is projected to conservatively be 49 vehicles. This is nine vehicles fewer than the previously approved project which was approved with no turn lanes. Seaway Drive is a 35 mile per hour facility. The only left-turn lane on the two-lane section of Seaway Drive is at Bayshore Drive. The driveway is projected to operate acceptably without a turn-lane. Seaway Drive was reconstructed less than 10-years ago with the intent of creating a low speed, pedestrian and bicycle friendly environment. Further, the study's trip generation does not consider the potential pedestrians and bicyclists that will patronize the site due to the proximity of nearby residential uses. This will reduce vehicular trips into the site.

Based on the character of the road, a left-turn lane into the project is not recommended.

Access Management

The existing site has FDOT approved driveway permits for the existing driveways. The site was approved for a more trips than proposed and proposes to maintain its approved access except for the elimination of the Harbour Isle access.

CONCLUSION

MacKenzie Engineering and Planning, Inc. (MEP) was retained to prepare a traffic study update for the development of property on the south side of Seaway Drive east of the Harbor Isle roundabout, Fort Pierce, FL (Parcel ID: 2402-501-0001-000-5). The applicant proposes a 3,250 SF of high-turnover restaurant, 4,745 SF apparel store, 1,040 SF gift shop, 1,495 SF liquor store, and 5,625 SF of convenience store with 12 vehicle fueling positions.

The project has a prior approval through Ft. Pierce and a pre-approval through FDOT for 1 right-in, 1 right-out, and one full access driveway to Seaway Drive along with a full access driveway to Harbor Isle. The project proposes to remove the Harbor Isle access.

The site proposes a 2020 buildout. The project's net new trips compared to the prior use approval is a decrease of 969 daily, 66 AM peak hour, and 84 PM peak hour trips.

The proposed project is expected to generate the following net external trips:

- 1,128 daily, 72 AM peak hour (39 in/33 out), and 81 PM peak hour (42 in/39 out)

The proposed project is expected to generate the following cumulative driveway trips:

- 3,918 daily, 268 AM peak hour (139 in/129 out), and 277 PM peak hour (143 in/134 out)

The driveways are projected to operate acceptably without ingress turn lanes. The project will provide left and right-turn egress lanes from the project.

APPENDICES

**EXHIBIT 1
Harbor Cay
Trip Generation**

Land Use	Intensity		Daily Trips	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Proposed Site Traffic									
High Turnover Sit-Down Rest	3.250	1000 SF	365	32	18	14	32	20	12
Apparel Store	5.785	1000 SF	384	6	5	1	24	12	12
Conv. Mrkt w/ Gas Pumps	5.625 ksf + 12 f.p.		3,361	235	118	117	235	118	117
Liquor Store	1.495	1000 SF	152	1	1	0	26	13	13
Subtotal			4,110	273	141	132	291	150	141
Internal Capture									
	AM	PM	DAILY						
High Turnover Sit-Down Rest	6.3%	12.5%	12.5%	46	2	1	1	4	2
Apparel Store	0.0%	8.3%	8.3%	32	0	0	0	2	1
Conv. Mrkt w/ Gas Pumps	1.3%	3.4%	3.4%	114	3	1	2	8	4
Liquor Store	0.0%	7.7%	7.7%	12	0	0	0	2	1
Subtotal	1.8%	4.8%	4.7%	192	5	2	3	14	7
Pass-By Traffic									
High Turnover Sit-Down Rest	43.0%		137	13	7	6	12	8	4
Apparel Store	34.0%		120	2	2	0	7	4	3
Conv. Mrkt w/ Gas Pumps	78.0%		2,533	181	91	90	177	89	88
Liquor Store	34.0%		48	0	0	0	8	4	4
Subtotal			2,790	196	100	96	196	101	95
NET PROPOSED TRIPS			1,128	72	39	33	81	42	39
Total Proposed Driveway Volumes			3,918	268	139	129	277	143	134
NET EXTERNAL TRIPS (FOR THE PURPOSES OF CONCURRENCY)			1,128	72	39	33	81	42	39
NET CHANGE IN DRIVEWAY VOLUMES			3,918	268	139	129	277	143	134

Note: Trip generation was calculated using the following data:

Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour	
					in/out	Rate	in/out	Equation
High Turnover Sit-Down Rest	932	1000 SF	112.18	43%	55/45	9.94	62/38	9.77
Apparel Store	876	1000 SF	66.4	34%	80/20	1.00	51/49	4.12
Conv. Mrkt w/ Gas Pumps	FDOT	1000 SF & Pumps	14.3 x PM Trips	78%	50/50	used PM information	50/50	12.3 x Fuel Pumps + 15.5 x 1,000 SF Conv. Store
Liquor Store	899	1000 SF	101.49	34%	51/49	0.51	50/50	17.12

**EXHIBIT 2 - AM PEAK HOUR
Harbor Cay
AM PEAK HOUR PROJECT TRIPS**

Roadway From	To	Class	Capacity		Percent Project Assignment	AM Peak Hour Project Trips	
			Number Of Lanes	LOS 'D' Capacity		NB/EB	SB/WB
Seaway Drive							
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	45%	18	15
Causeway Cove Marina	Harbour Isle Drive	2	2L Unit	1,190	45%	18	15
Harbour Isle Drive	Project	2	2L	750	70%	27	23
Project	Bayshore Drive	2	2L	750	30%	10	12
Bayshore Drive	Ocean Drive	2	2L	750	25%	10	10

**EXHIBIT 3 - AM PEAK HOUR
Harbor Cay
ROADWAY ANALYSIS**

Roadway From	To	Class	Committed		AM Peak Hour Project Trips		2018 AM PHPD Volume		Growth Rate	Growth from		2020 Background Peak Hour Volume		2020 Total Peak Hour Volume		Meets Standard ?		
			Number Of Lanes	LOS 'D' Capacity	NB/EB	SB/WB	NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB
Seaway Drive																		
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	18	15	472	647	3.36%	32	44	504	691	522	706	Yes	Yes	
Causeway Cove Marina	Harbour Isle Drive	2	2L Unint	1,190	18	15	472	647	3.36%	32	44	504	691	522	706	Yes	Yes	
Harbour Isle Drive Project	Project Baysshore Drive	2	2L	750	27	23	408	439	3.36%	28	30	436	468	463	491	Yes	Yes	
Baysshore Drive	Ocean Drive	2	2L	750	10	12	408	439	3.36%	28	30	436	468	446	480	Yes	Yes	
		2	2L	750	8	8	344	230	3.36%	24	16	368	246	376	254	Yes	Yes	

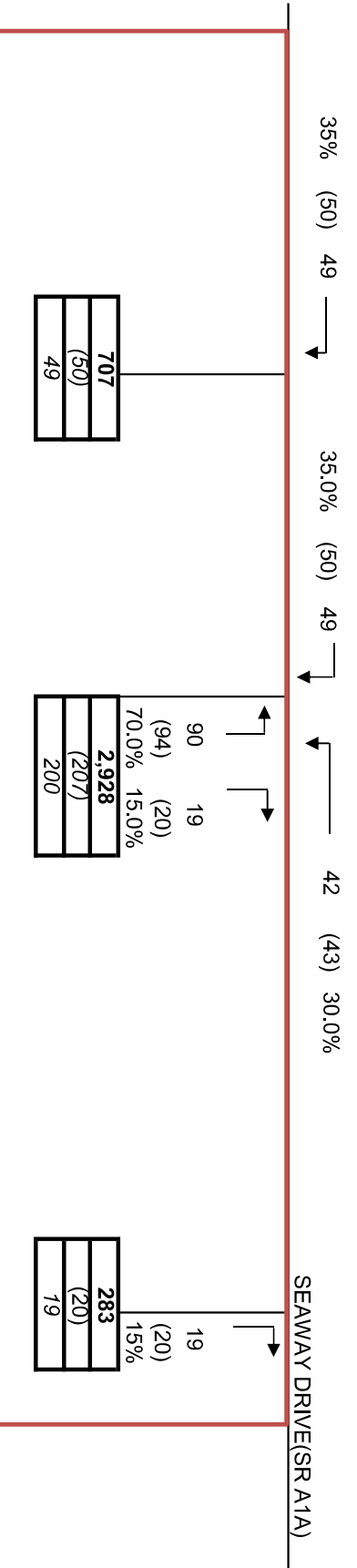
EXHIBIT 4 - PM PEAK HOUR
Harbor Cay
PM PEAK HOUR PROJECT TRIPS

Roadway From	To	Class	Capacity		Percent Project Assign	Project Trips		
			Number Of Lanes	LOS 'D' Capacity		NB/EB	SB/WB	
Seaway Drive								
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	45%	19	18	
Causeway Cove Marina	Harbour Isle Drive	2	2L Urnint	1,190	45%	19	18	
Harbour Isle Drive Project	Project Baysshore Drive	2	2L	750	70%	29	27	
Project Baysshore Drive	Baysshore Drive Ocean Drive	2	2L	750	30%	12	13	
		2	2L	750	25%	11	11	

EXHIBIT 5 - PM PEAK HOUR
Harbor Cay
ROADWAY ANALYSIS

Roadway From	To	Class	Committed		2018 PM		Growth Rate	Growth from		2020 Background		2020 Total Pk		Meets Standard ?			
			Number Of Lanes	LOS 'D' Capacity	NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB		NB/EB	SB/WB	
Seaway Drive																	
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	19	18	718	852	3.36%	49	58	767	910	786	928	Yes	Yes
Causeway Cove Marina	Harbour Isle Drive	2	2L Unit	1,190	19	18	718	852	3.36%	49	58	767	910	786	928	Yes	Yes
Harbour Isle Drive	Project Baysshore Drive	2	2L	750	29	27	550	657	3.36%	38	45	588	702	617	729	Yes	Yes
Project Baysshore Drive	Ocean Drive	2	2L	750	12	13	550	657	3.36%	38	45	588	702	600	715	Yes	Yes
Baysshore Drive	Ocean Drive	2	2L	750	11	11	382	462	3.36%	26	32	459	494	470	505	Yes	Yes

EXHIBIT 6



PROJECT DRIVEWAY TRIPS

Daily	AM Peak Hour			PM Peak Hour		
	Total	In	Out	Total	In	Out
3,918	268	139	129	277	143	134



Harbor Cay

PROPOSED PROJECT DRIVEWAY VOLUMES

3,918	Total daily driveway trips
(277)	PM peak hour driveway trips
268	AM peak hour directional driveway trips

EXHIBIT 7
Possible Medical Office adjacent to Harbor Cay
Trip Generation

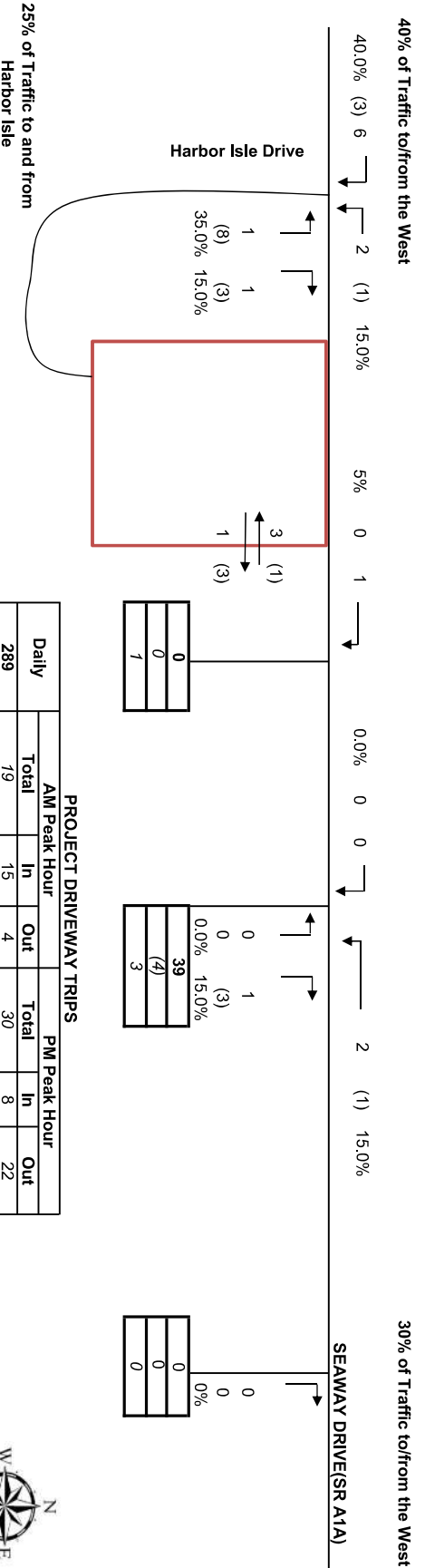
Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
Proposed Site Traffic Medical Office	8.000 1000 SF	289	19	15	4	30	8	22

Note: Trip generation was calculated using the following data:

Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour	
					in/out	Rate	in/out	Equation
Medical Office	720	1000 SF	36.13	0%	79/21	2.39	28/72	$\ln(T) = 0.90 \ln(X) + 1.53$

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EXHIBIT 8



PROJECT DRIVEWAY TRIPS

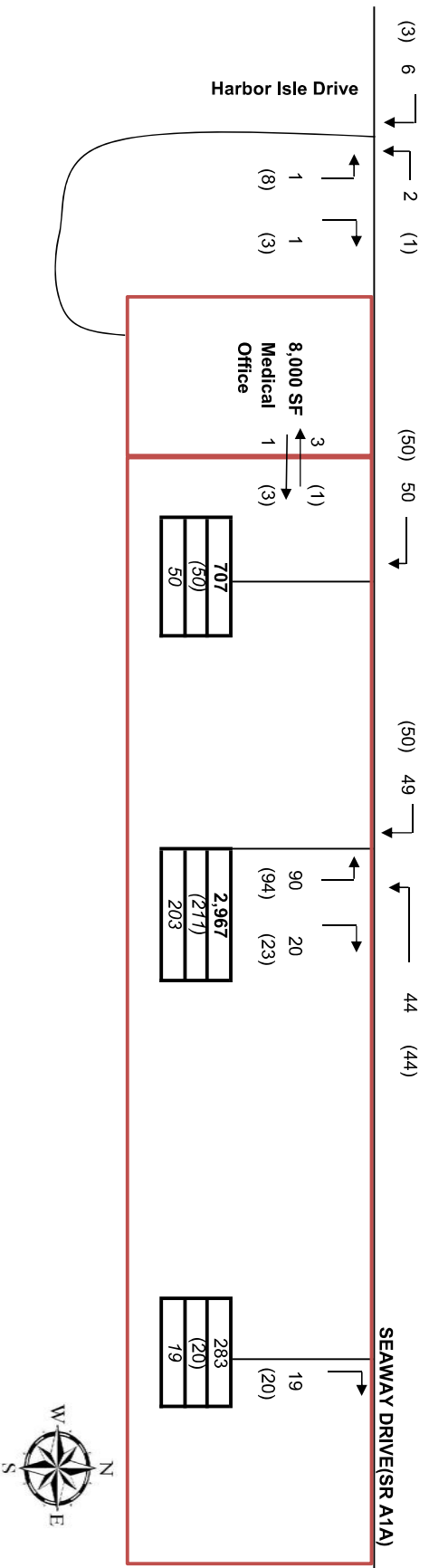
Daily	AM Peak Hour			PM Peak Hour		
	Total	In	Out	Total	In	Out
289	19	15	4	30	8	22



Possible Medical Office adjacent to Harbor Cay PROJECTED DRIVEWAY VOLUMES

289	Total daily driveway trips
(30)	PM peak hour driveway trips
19	AM peak hour directional driveway trips

EXHIBIT 9



PROJECTED DRIVEWAY VOLUMES

289	Total daily driveway trips
(30)	PM peak hour driveway trips
19	AM peak hour directional driveway trips

TOTAL

INTERSECTION ANALYSIS SHEET

Harbor Cay

Seaway Drive @ Central Driveway

AM Peak Hour												
Intersection Volume Development												
	Eastbound			Westbound			Northbound			Southbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
2020 Peak Season Volume		436			468							
Project Assign	<i>0%</i>	<i>0%</i>	<i>35%</i>	<i>30%</i>	<i>0%</i>	<i>0%</i>	<i>70%</i>	<i>0%</i>	<i>15%</i>	<i>0%</i>	<i>0%</i>	<i>0%</i>
Direction	<i>in</i>	<i>in</i>	<i>in</i>	<i>in</i>	<i>out</i>	<i>out</i>	<i>out</i>	<i>in</i>	<i>out</i>	<i>in</i>	<i>in</i>	<i>in</i>
Total Project Volume	0	0	49	42	0	0	90	0	19	0	0	0
Total Volume	0	436	49	42	468	0	90	0	19	0	0	0

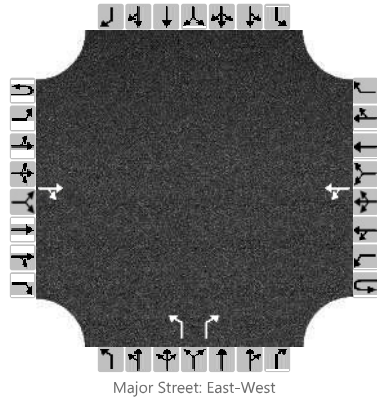
PM Peak Hour												
Intersection Volume Development												
	Eastbound			Westbound			Northbound			Southbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
2020 Peak Season Volume	0	588	0	0	702	0	0	0	0	0	0	0
Project Assign	<i>0%</i>	<i>0%</i>	<i>35%</i>	<i>30%</i>	<i>0%</i>	<i>0%</i>	<i>70%</i>	<i>0%</i>	<i>15%</i>	<i>0%</i>	<i>0%</i>	<i>0%</i>
Direction	<i>in</i>	<i>in</i>	<i>in</i>	<i>in</i>	<i>out</i>	<i>out</i>	<i>out</i>	<i>in</i>	<i>out</i>	<i>in</i>	<i>in</i>	<i>in</i>
Total Project Volume	0	0	50	43	0	0	94	0	20	0	0	0
Total Volume	0	588	50	43	702	0	94	0	20	0	0	0

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HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	MEP	Intersection	Harbor Cay Driveway & A1A
Agency/Co.		Jurisdiction	FDOT
Date Performed	4/19/2019	East/West Street	Seaway Drive (A1A)
Analysis Year	2020	North/South Street	Harbor Cay
Time Analyzed	AM Peak Hour	Peak Hour Factor	0.95
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	Harbor Cay		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		1	0	1		0	0	0
Configuration				TR		LT				L		R				
Volume, V (veh/h)			436	49		44	468			90		20				
Percent Heavy Vehicles (%)						3				3		3				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						4.1					7.1		6.2			
Critical Headway (sec)						4.13					6.43		6.23			
Base Follow-Up Headway (sec)						2.2					3.5		3.3			
Follow-Up Headway (sec)						2.23					3.53		3.33			

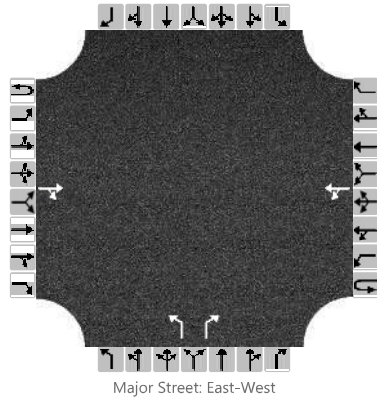
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						46					95		21			
Capacity, c (veh/h)						1048					233		580			
v/c Ratio						0.04					0.41		0.04			
95% Queue Length, Q ₉₅ (veh)						0.1					1.9		0.1			
Control Delay (s/veh)						8.6					30.7		11.4			
Level of Service, LOS						A					D		B			
Approach Delay (s/veh)					1.2				27.2							
Approach LOS									D							

HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	MEP	Intersection	Harbor Cay Driveway & A1A				
Agency/Co.		Jurisdiction	FDOT				
Date Performed	4/19/2019	East/West Street	Seaway Drive (A1A)				
Analysis Year	2020	North/South Street	Harbor Cay				
Time Analyzed	PM Peak Hour	Peak Hour Factor	0.95				
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25				
Project Description	Harbor Cay						

Lanes



Vehicle Volumes and Adjustments

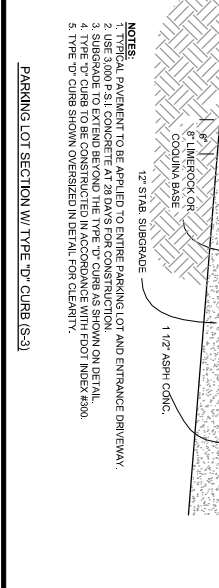
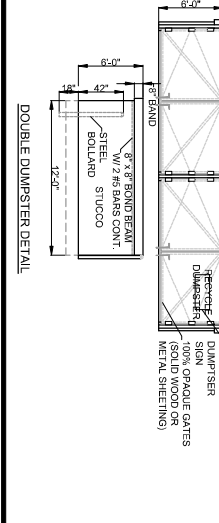
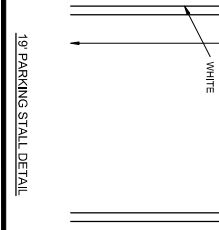
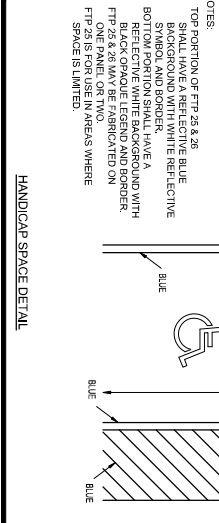
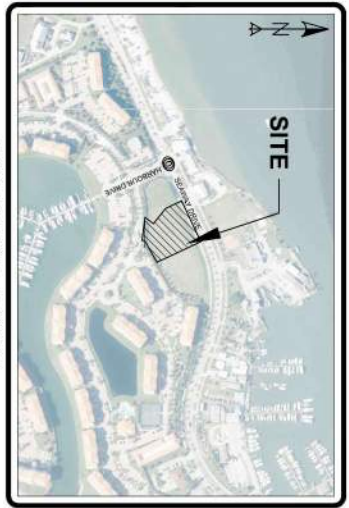
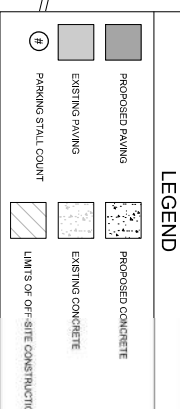
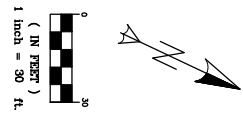
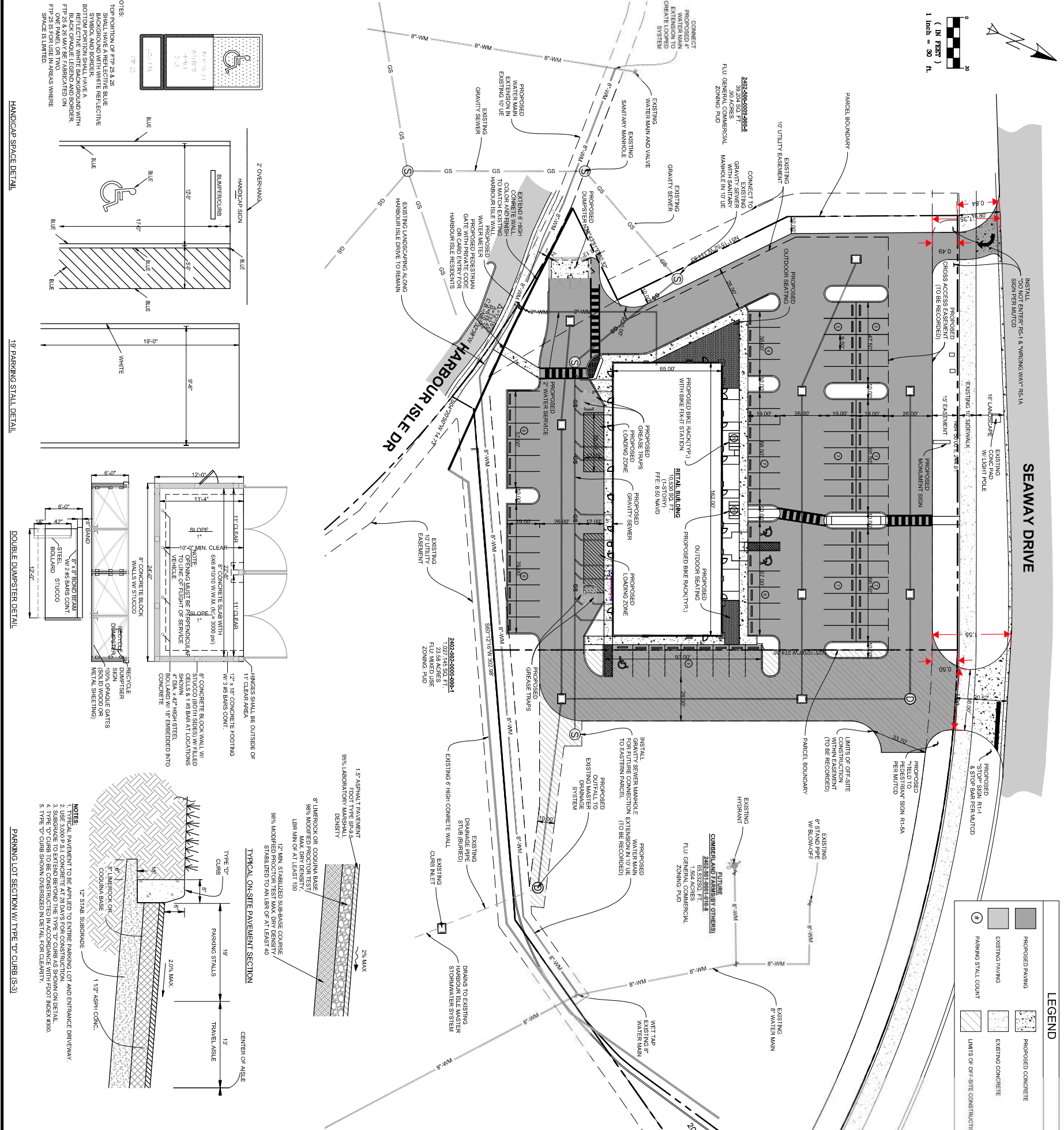
Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6	7	8	9		10	11	12	
Priority																
Number of Lanes	0	0	1	0	0	0	1	0	1	0	1		0	0	0	
Configuration				TR		LT				L		R				
Volume, V (veh/h)			588	50		44	702			94		23				
Percent Heavy Vehicles (%)						3				3		3				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						4.1				7.1		6.2				
Critical Headway (sec)						4.13				6.43		6.23				
Base Follow-Up Headway (sec)						2.2				3.5		3.3				
Follow-Up Headway (sec)						2.23				3.53		3.33				

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						46				99		24				
Capacity, c (veh/h)						913				131		470				
v/c Ratio						0.05				0.75		0.05				
95% Queue Length, Q ₉₅ (veh)						0.2				4.4		0.2				
Control Delay (s/veh)						9.2				88.3		13.1				
Level of Service, LOS						A				F		B				
Approach Delay (s/veh)					1.3				73.6							
Approach LOS									F							



NOTES:
 1. TOP PORTION OF FIP 25 & 26 SHALL HAVE A REFLECTIVE BLUE SYMBOL AND BOTTOM WHITE REFLECTIVE
 2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH ONE PANEL OR TWO.
 3. FIP 25 & 26 MAY BE FABRICATED ON 1/2\"

LEGAL DESCRIPTION
 THAT PORTION OF TRACT D-1 OF SECOND BEAR OF HARBOUR ISLE AT HATHORN ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46 PAGE 639 AND 10 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LYING WEST OF THE FOLLOWING DESCRIBED LINE: THE NORTHWEST CORNER OF SAID TRACT D-1, THENCE NORTH 64°50'00\"

SITE DATA
 FUTURE LAND USE: PORTION OF SAID MIXED USE (RMU) GROSS SITE AREA: 66,877 S.F. (1.54 AC)
 GROSS PROPOSED DEVELOPMENT AREA: 66,877 S.F. (1.54 AC) = 100.00%
 IMPERVIOUS AREA: 60,981 S.F. 0.24 AC 14.62%
 PROPOSED BUILDING: 10,200 S.F. 0.24 AC 15.68%
 PROPOSED PAVEMENT: 36,031 S.F. 0.83 AC 53.90%
 PROPOSED CONCRETE: 3,620 S.F. 0.08 AC 5.19%
 PROPOSED PAVERS: 800 S.F. 0.02 AC 1.20%
 OFF-SITE PROPOSED PAVEMENT: 13,945 S.F. 0.31 AC
 GREEN SPACE: 1,892 S.F. 0.04 AC

BUILDING DATA
 GROSS SQUARE FOOTAGE: 11,090 S.F.
PARKING CALCULATIONS
 REQUIRED PARKING SPACES: 11,090 S.F. (1 SPACE/200 S.F.) = 55 SPACES
 REQUIRED HANDICAP SPACES (INCLUDED): 3 SPACES
 REQUIRED BICYCLE PARKING (1 PER 10 PROVIDED SPACES) = 9.2 STALLS
 PROPOSED PARKING: 75 SPACES
 PROVIDED HANDICAP SPACES (INCLUDED): 3 SPACES
 PROVIDED BICYCLE STALLS: 10 STALLS
 NOTE: REQUIRED PARKING RATE PER HARBOUR ISLE PUD FOR RETAIL USE.

PROJECT STATEMENT
 THE DEVELOPMENT OF THE 1.54 ACRE PARCEL WITH THE CONSTRUCTION OF A 11,090 S.F. COMMERCIAL BUILDING, A PARKING LOT, A STORMWATER MANAGEMENT SYSTEM, AND UNDERGROUND UTILITIES, ALL IMPROVEMENTS SHALL CONFORM TO THE FORT PIERCE CODE OF ORDINANCES AND HARBOUR ISLE PUD.
SURVEY:
 THIS SITE IS BASED UPON A SURVEY THAT WAS PROVIDED BY WALLACE SURVEYING CORP.
DATE:
 THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM (NAVD). A TYPICAL ACCEPTED CONVERSION TO NAVD NOW NAVD IS:
 NAVD = NGVD - 1.475'

WATER AND SEWER:
 WATER AND SEWER SERVICE TO THE BUILDING WILL BE PROVIDED BY EXISTING FORT PIERCE UTILITIES. ALL POINTS OF SERVICE ARE SHOWN ON THIS PLAN. THIS PLAN IS FOR PRELIMINARY ENGINEERING PURPOSES ONLY. ALL FINAL UTILITIES AND SIZES TO BE INCLUDED ON CONSTRUCTION LEVEL PLANS.
DRAINAGE STATEMENT:
 THE PROJECTS IS LOCATED WITHIN THE HARBOUR ISLE MASTER STORMWATER SYSTEM (S/MWD) ERP. THE PROJECTS WILL BE DESIGNED AND CONSTRUCTED TO CONFORM TO THE S/MWD ERP. THE PROJECTS WILL BE DESIGNED AND CONSTRUCTED TO CONFORM TO THE S/MWD ERP. THE PROJECTS WILL BE DESIGNED AND CONSTRUCTED TO CONFORM TO THE S/MWD ERP.
SOLID WASTE:
 THIS PROJECT WILL UTILIZE A DOUBLE DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS. THE PROJECTS WILL BE DESIGNED AND CONSTRUCTED TO CONFORM TO THE S/MWD ERP. THE PROJECTS WILL BE DESIGNED AND CONSTRUCTED TO CONFORM TO THE S/MWD ERP.
HAZARDOUS WASTE:
 ALL HAZARDOUS OR TOXIC MATERIALS GENERATE OR USED ON-SITE SHOULD BE DISPOSED OF AT AN APPROVED HAZARDOUS WASTE TREATMENT, STORAGE, AND DISPOSAL FACILITY. HAZARDOUS WASTE IS NOT PERMITTED ON-SITE.
FIRE PROTECTION:
 FIRE PROTECTION WILL BE PROVIDED BY THE FORT PIERCE FIRE DEPARTMENT. ALL BUILDINGS SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM TO THE FORT PIERCE FIRE DEPARTMENT REQUIREMENTS. ALL BUILDINGS SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM TO THE FORT PIERCE FIRE DEPARTMENT REQUIREMENTS.

DESIGNED BY: DCB
DRAWN BY: J.E.
FILE NAME: 18-303 harbour cay.dwg
SITE PLAN (2): LAYOUT
AS SHOWN: SCALE
DATE: 26NOV2018

DATE: 12/26/2018
DATE: 11/26/2018
REVISION COMMENTS:
 12/26/2018 ADDED EXISTING PROPOSED CONCRETE WALL, GATE & BIKE/FK-T STATION
 11/26/2018 FORT PIERCE COMMENTS ADDRESSED (10/14/2018)

ENGINEERS & SURVEYORS ENVIRONMENTAL
 10250 VILLAGE PARKWAY
 SUITE 201
 FORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

HARBOUR CAY
SITE PLAN
 FORT PIERCE
 FLORIDA

DAVID C. BAGGETT, P.E./DATE
 #813175
EDC
 10250 VILLAGE PARKWAY - SUITE 201
 FORT ST. LUCIE, FL 34987
 772-462-2455

18-303
1 OF 1

COUNTY : 94
 STATION : 0115
 DESCRIPTION : SR A1A/S - E END OF S BRIDGE
 START DATE : 02/06/2018
 START TIME : 0000

TIME	DIRECTION : E				TOTAL	DIRECTION : W				COMBINED TOTAL	
	1ST	2ND	3RD	4TH		1ST	2ND	3RD	4TH		
0000	16	4	17	9	46	4	10	9	11	34	80
0100	6	7	1	5	19	10	4	5	8	27	46
0200	3	3	4	5	15	8	3	7	7	25	40
0300	5	4	3	5	17	3	2	3	4	12	29
0400	6	10	13	18	47	7	10	9	8	34	81
0500	35	41	45	45	166	10	12	26	33	81	247
0600	60	65	58	67	250	43	55	69	82	249	499
0700	61	93	82	109	345	102	139	149	154	544	889
0800	114	104	112	115	445	137	131	155	178	601	1046
0900	112	115	130	154	511	161	153	146	157	617	1128
1000	131	134	144	151	560	161	167	159	151	638	1198
1100	176	219	191	183	769	171	151	162	166	650	1419
1200	232	237	205	242	916	169	150	192	177	688	1604
1300	243	254	167	222	886	191	156	199	202	748	1634
1400	200	207	194	199	800	236	185	186	187	794	1594
1500	173	221	196	216	806	188	173	175	222	758	1564
1600	177	184	174	183	718	255	216	213	168	852	1570
1700	220	193	186	232	831	164	180	176	148	668	1499
1800	163	143	136	142	584	165	158	117	104	544	1128
1900	123	112	82	86	403	102	78	66	46	292	695
2000	76	94	58	58	286	58	54	42	43	197	483
2100	62	54	58	47	221	35	31	50	35	151	372
2200	45	45	25	18	133	37	22	24	18	101	234
2300	22	14	12	13	61	20	13	19	16	68	129
24-HOUR TOTALS:					9835					9373	19208

PEAK VOLUME INFORMATION

DIRECTION : E		DIRECTION : W		COMBINED DIRECTIONS	
HOURLY VOLUME	HOURLY VOLUME	HOURLY VOLUME	HOURLY VOLUME	HOURLY VOLUME	HOURLY VOLUME
A.M. 845	472	830	647	845	1110
P.M. 1230	944	1545	906	1230	1660
DAILY 1230	944	1545	906	1230	1660

PM Peak
 Eastbound = 718
 Westbound = 852

COUNTY: 94
 STATION: 5016
 DESCRIPTION: SR A1A/S - S OF SEAWAY DR (COUNTY 5016)
 START DATE: 02/20/2018
 START TIME: 1100

TIME	DIRECTION: N				TOTAL	DIRECTION: S				COMBINED TOTAL		
	1ST	2ND	3RD	4TH		1ST	2ND	3RD	4TH			
0000	0	7	3	1	11	6	6	3	1	16	27	
0100	3	2	2	2	9	1	0	2	6	9	18	
0200	3	0	3	1	7	3	0	4	1	8	15	
0300	2	4	2	3	11	2	1	4	3	10	21	
0400	5	3	10	4	22	4	6	14	17	41	63	
0500	2	13	8	15	38	37	39	63	58	197	235	
0600	24	26	40	42	132	60	49	69	41	199	331	
0700	58	77	84	77	296	52	49	46	51	198	494	
0800	74	82	92	79	327	42	42	46	64	194	521	
0900	91	71	88	68	318	50	58	58	71	237	555	
1000	106	79	101	93	379	56	78	76	83	293	672	
1100	76	96	103	88	363	60	91	106	89	346	709	
1200	76	76	89	101	342	103	100	97	102	402	744	
1300	96	96	96	98	386	107	93	111	99	410	796	
1400	100	102	82	88	372	93	102	113	105	413	785	
1500	122	113	117	98	450	97	113	101	104	415	865	
1600	105	101	93	114	413	95	85	106	90	376	789	
1700	148	107	89	94	438	106	80	80	81	347	785	
1800	86	110	62	50	308	100	66	65	46	277	585	
1900	47	41	27	22	137	59	68	46	39	212	349	
2000	22	27	24	10	83	49	36	30	44	159	242	
2100	23	12	13	16	64	33	35	22	17	107	171	
2200	11	11	11	11	44	22	20	13	13	68	112	
2300	6	5	6	4	21	9	7	0	10	26	47	
24-HOUR TOTALS:					4971						4960	9931

PEAK VOLUME INFORMATION

DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M. 815	344	845	230	845	559
P.M. 1630	462	1430	428	1500	865
DAILY 1630	462	1430	428	1500	865

TRUCK PERCENTAGE 7.44

15.52

11.48

CLASSIFICATION SUMMARY DATABASE

DIR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
N	82	3804	663	16	296	33	2	18	4	0	1	0	1	0	52	370	4971
S	79	3303	752	20	666	30	13	28	8	1	1	1	2	0	770	4960	

Volume in front of project determined by averaging volume west of Harbour Isles and volume at North End of Ocean Drive

Eastbound
 AM = (472 + 344) / 2 = 408

PM = (718 + 382) / 2 = 550

Westbound
 AM = (647 + 230) / 2 = 439
 PM = (852 + 462) / 2 = 657

PM Peak = 106+90+106+80 = 382



Florida Department of Transportation

RICK SCOTT
GOVERNOR

3400 West Commercial Boulevard
Fort Lauderdale, FL 33309

MIKE DEW
SECRETARY

August 25, 2017

THIS PRE-APPLICATION LETTER IS VALID UNTIL – **August 25, 2018**
THIS LETTER IS NOT A PERMIT APPROVAL

Douglas G. Winter
Doug Winter Companies, Inc.
4047 Okeechobee Blvd. # 222
West Palm Beach, FL 33409

Dear Douglas G. Winter:

RE: **August 25, 2017** - Pre-application Meeting for **Category D Driveway**
St. Lucie County - City of Fort Pierce, Urban; SR A1A; Sec. # 94050; MP: 16.600;
Access Class - 06; Posted Speed - 35 mph; SIS - N;

Request:

- **Driveway 1: Joint-use right-in/right-out driveway along SR A1A located approximately 200 feet east of Harbour Isle Drive.**
- **Driveway 2: Right-in/right-out driveway along SR A1A located approximately 295 feet east Driveway 1.**

SITE SPECIFIC INFORMATION

Project Name & Address: **Harbour Island Shoppes - SR A1A/Seaway Dr and Harbour Isle**
Applicant/Property Owner: **Harbour Isle Invests LLC(FLLC)**
Parcel Size: **3.1 Acres** Development Size: **13,000 S.F. Retail & 5,500 S.F. Restaurant**

WE APPROVE YOUR REQUEST

This decision is based on your presentation of the facts, site plan and survey - please see the **conditions** and **comments** below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

Conditions:

- **A minimum driveway length of 25 feet, as measured from the ultimate right-of-way line to the first conflict point shall be provided. If a gate is installed a minimum driveway length of 100 feet is required.**
- **A recorded cross access agreement with the adjacent parcel to the west shall be provided at the time of permit.**

Comments:

- Drainage mitigation is required for any impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). A Storm Water Pollution Prevention Plan must be submitted with the application for more than one acre of "disturbed area" as defined by the Florida Department of Environmental Protection (FDEP).
- The applicant shall donate the right-of-way to the Department if right-of-way dedication is required to implement the improvements.
- All driveways not approved in this letter must be fully removed and the area restored.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway system and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department's personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. **Note, this letter does not guarantee permit approval.** The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://gis.dot.state.fl.us/OneStopPermitting>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact Geysa Sosa, P.E. at the District Permits Office with any questions regarding permits – Tel. # 954-777-4377, or e-mail: geysa.sosa@dot.state.fl.us.

Sincerely,

Dalila Fernandez, P.E.
District Access Management Manager

cc: Nesa Y. Harden
File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2017-08-25\5. 94050 MP 16.600 SR A1A_Habour Islands Shoppes\94050 MP 16.600 SR A1A_Habour Islands Shoppes.docx

Apparel Store (876)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

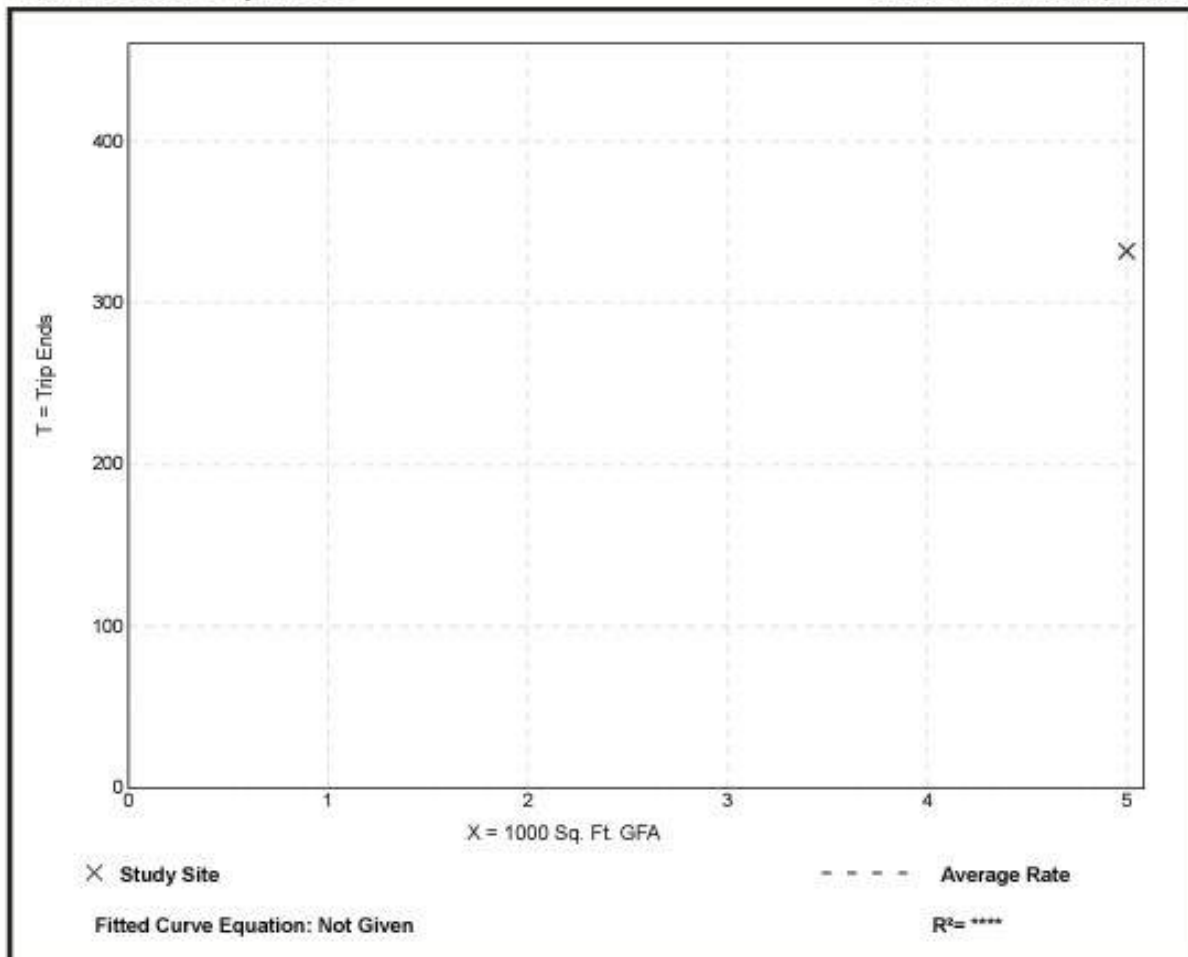
Setting/Location: General Urban/Suburban
Number of Studies: 1
1000 Sq. Ft. GFA: 5
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
66.40	66.40 - 66.40	*

Data Plot and Equation

Caution – Small Sample Size



Apparel Store (876)

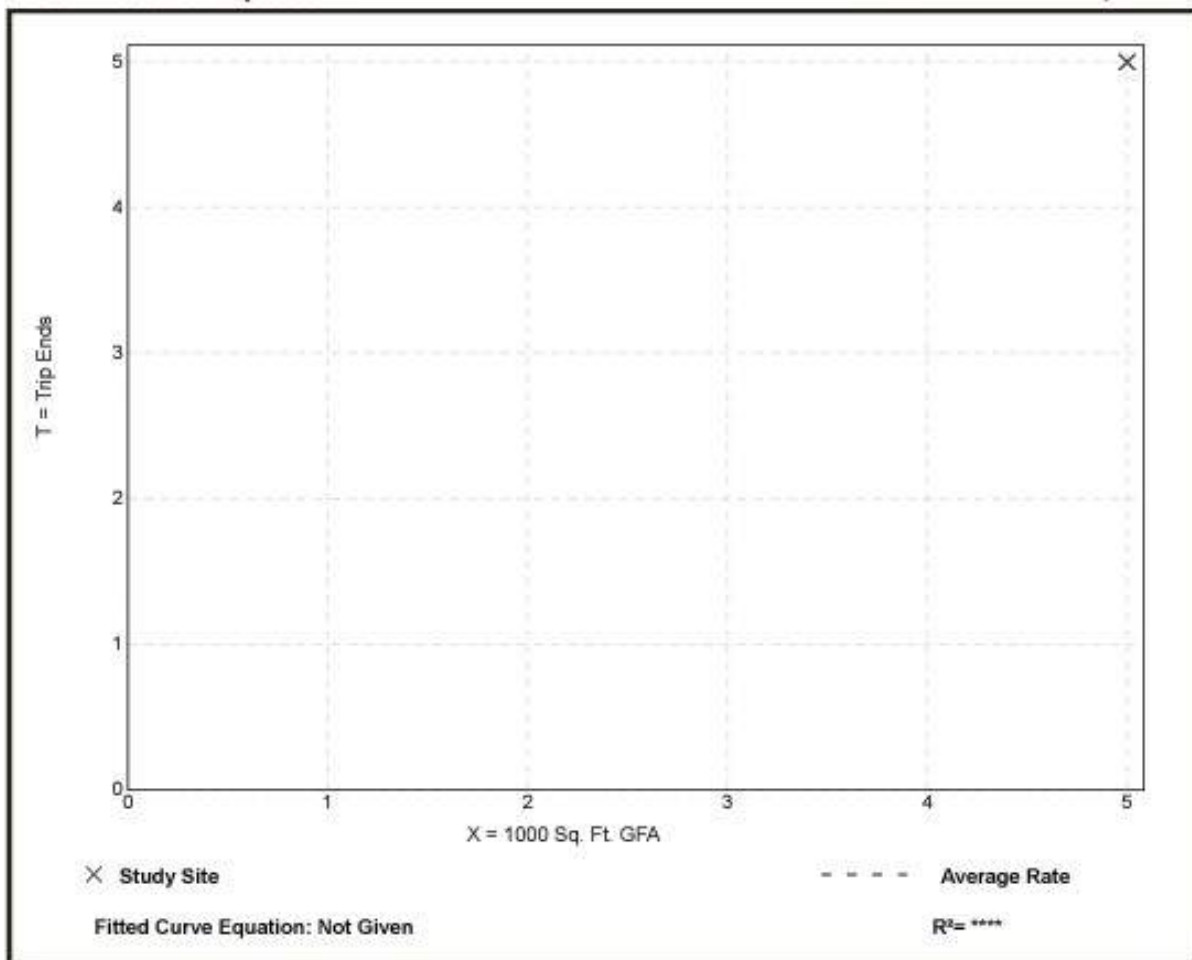
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 1
 1000 Sq. Ft. GFA: 5
 Directional Distribution: 80% entering, 20% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.00	1.00 - 1.00	*

Data Plot and Equation

Caution – Small Sample Size



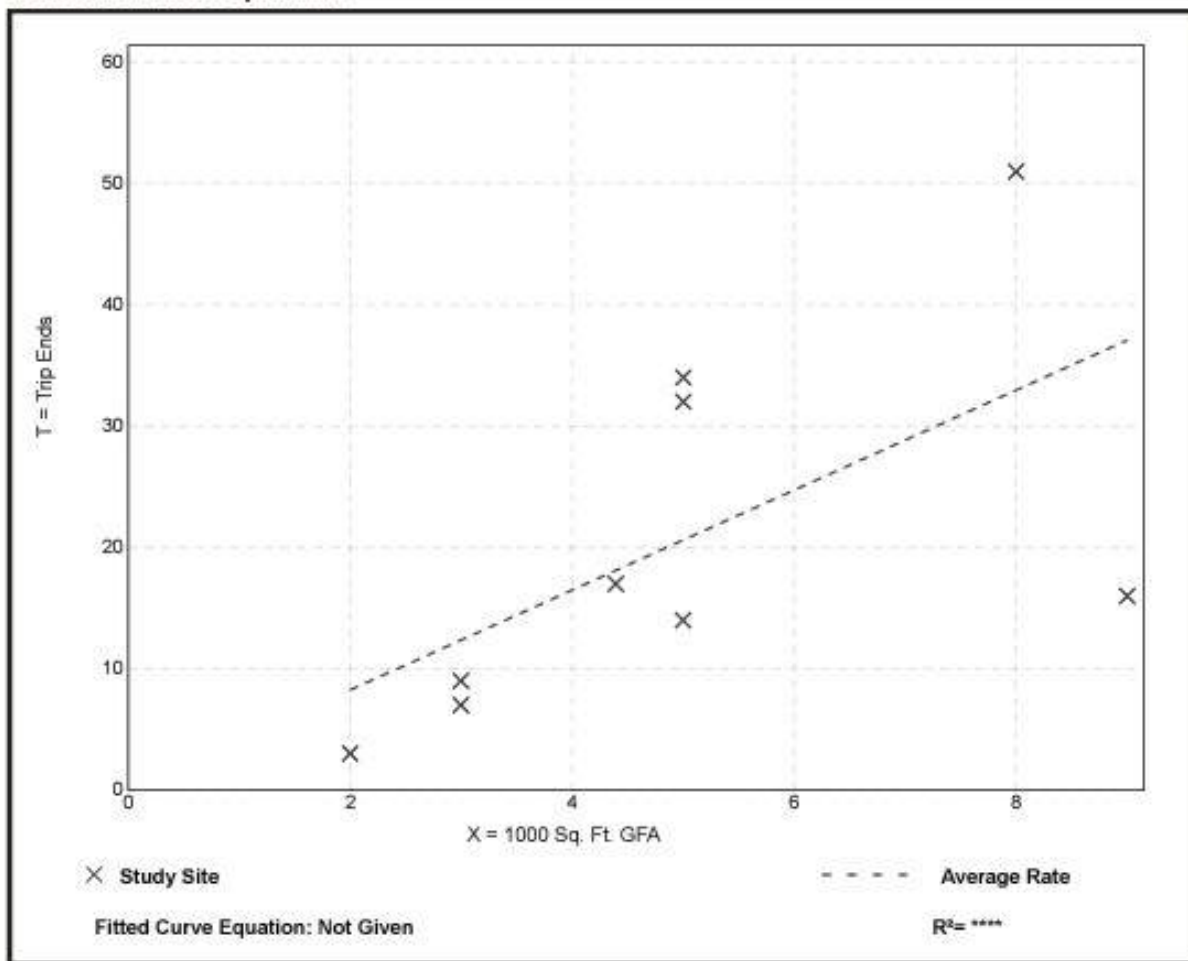
Apparel Store (876)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 9
 1000 Sq. Ft. GFA: 5
 Directional Distribution: 51% entering, 49% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
4.12	1.50 - 6.80	2.18

Data Plot and Equation



Land Use: 899 Liquor Store

Description

A liquor store specializes in the sale of prepackaged alcoholic beverages intended to be consumed off the store's premises.

Additional Data

Time-of-day distribution data for this land use are presented in Appendix A. For the one general urban/suburban site with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 11:30 a.m. and 12:30 p.m. and 5:00 and 6:00 p.m., respectively.

The sites were surveyed in the 1990s and the 2010s in Alberta (CAN) and Minnesota.

Source Numbers

870, 973

Liquor Store (899)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

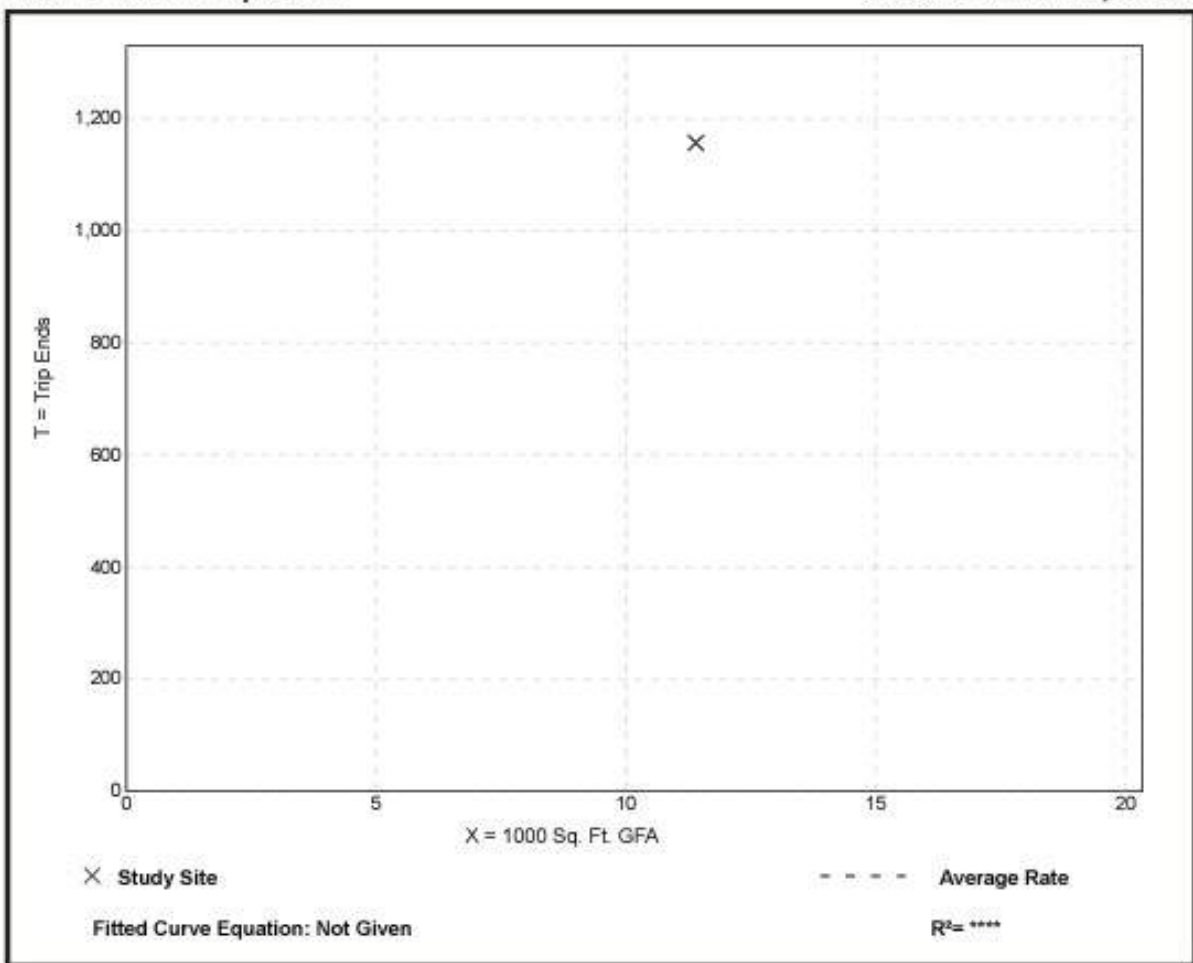
Setting/Location: General Urban/Suburban
Number of Studies: 1
1000 Sq. Ft. GFA: 11
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
101.49	101.49 - 101.49	*

Data Plot and Equation

Caution – Small Sample Size



AM PEAK HOUR TRIP GEN NOT AVAILABLE – USE ½ PERCENT OF DAILY TRIP GENERATION BASED ON 24-HOUR DATA

Land Use	881 Pharmacy/Drugstore with Drive-Through Window						882 Marijuana Dispensary				890 Furniture Store		899 Liquor Store	
	General Urban/Suburban						General Urban/Suburban				General Urban/Suburban		General Urban/Suburban	
Setting	General Urban/Suburban						General Urban/Suburban				General Urban/Suburban		General Urban/Suburban	
Time Period	Weekday		Saturday		Sunday		Weekday		Saturday		Weekday		Weekday	
Trip Type	Vehicle		Vehicle		Vehicle		Vehicle		Vehicle		Vehicle		Vehicle	
# Data Sites	6		2		1		4		4		7		1	
	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM
12:00	0.3	8.5	0.7	9.3	0.0	11.1	0.0	9.0	0.0	10.8	0.0	9.2	0.0	4.1
12:15	0.3	8.2	0.8	9.1	0.0	10.8	0.0	8.7	0.0	10.4	0.0	9.0	0.0	4.1
12:30	0.3	7.7	0.8	8.7	0.0	10.8	0.0	8.6	0.0	9.9	0.0	8.4	0.0	3.6
12:45	0.2	7.8	0.7	8.7	0.0	12.1	0.0	8.1	0.0	9.8	0.0	8.2	0.0	4.4
1:00	0.2	8.3	0.8	8.5	0.0	10.8	0.0	8.1	0.0	9.0	0.0	8.5	0.2	4.8
1:15	0.1	8.4	0.7	9.4	0.0	11.3	0.0	8.3	0.0	8.8	0.0	9.0	0.2	5.1
1:30	0.1	8.8	0.6	9.9	0.0	11.3	0.0	8.7	0.0	9.1	0.0	8.7	0.2	5.6
1:45	0.1	8.8	0.6	10.0	0.0	10.8	0.0	9.2	0.0	9.4	0.0	9.2	0.2	6.5
2:00	0.1	8.3	0.5	10.0	0.0	11.1	0.0	8.9	0.0	10.4	0.0	8.0	0.0	7.3
2:15	0.1	8.3	0.2	9.3	0.0	12.1	0.0	9.2	0.0	10.6	0.0	6.8	0.0	9.7
2:30	0.0	8.2	0.2	8.7	0.0	12.6	0.0	9.2	0.0	10.7	0.0	7.3	0.0	10.3
2:45	0.1	8.2	0.1	9.5	0.0	13.4	0.0	9.4	0.0	10.7	0.0	7.0	0.0	10.1
3:00	0.1	8.3	0.1	10.1	0.0	13.7	0.0	9.7	0.0	10.4	0.0	8.4	0.0	9.8
3:15	0.1	8.6	0.1	10.6	0.0	12.6	0.0	9.8	0.0	10.4	0.0	11.4	0.0	9.3
3:30	0.1	9.0	0.1	10.3	0.0	11.4	0.0	10.3	0.0	10.4	0.0	11.8	0.0	10.2
3:45	0.1	9.4	0.1	9.4	0.0	10.4	0.0	10.7	0.0	10.5	0.0	12.5	0.0	11.5
4:00	0.1	9.3	0.1	8.2	0.0	9.3	0.0	11.4	0.0	10.1	0.0	13.3	0.0	11.9
4:15	0.2	9.0	0.1	7.1	0.0	9.0	0.0	12.1	0.0	10.8	0.0	13.5	0.0	13.4
4:30	0.2	9.3	0.1	7.3	0.0	8.5	0.1	12.2	0.0	11.7	0.0	13.8	0.0	14.6
4:45	0.2	9.2	0.2	6.9	0.0	6.0	0.1	12.6	0.0	11.9	0.0	12.3	0.0	16.3
5:00	0.3	9.4	0.3	6.5	0.0	6.4	0.1	12.4	0.0	12.6	0.0	9.9	0.0	17.5
5:15	0.4	9.2	0.4	6.8	0.0	5.9	0.1	12.7	0.0	12.6	0.0	6.5	0.0	16.4
5:30	0.4	8.0	0.5	6.6	0.0	5.5	0.2	14.0	0.0	11.7	0.0	4.1	0.2	15.6
5:45	0.5	7.0	0.6	6.6	0.0	5.2	0.2	14.2	0.0	11.3	0.0	2.9	0.3	13.1
6:00	0.7	6.1	0.8	6.7	0.0	3.8	0.3	13.6	0.1	10.1	0.0	3.4	0.3	11.5
6:15	1.1	5.4	0.9	5.9	0.0	2.6	0.3	10.4	0.3	7.3	0.2	2.9	0.5	9.7
6:30	1.5	5.7	1.1	5.2	0.0	2.0	0.3	6.7	0.4	5.1	0.2	3.1	0.5	9.2
6:45	2.0	5.8	1.5	4.5	0.3	2.8	0.5	3.1	0.4	2.8	0.3	2.7	0.3	9.2
7:00	2.7	5.6	1.8	4.1	0.5	2.1	0.8	0.9	0.5	1.0	1.0	1.2	0.4	10.0
7:15	3.1	5.3	2.1	4.2	0.8	2.1	1.5	0.7	0.9	0.8	2.7	0.9	0.3	10.3
7:30	3.4	4.8	2.5	4.1	2.1	2.6	2.3	0.3	1.2	0.4	4.8	0.7	0.3	9.3
7:45	3.4	4.3	2.7	3.9	2.4	1.8	3.0	0.3	1.4	0.3	6.5	0.5	0.4	8.9
8:00	3.3	4.2	3.3	3.5	2.4	2.1	3.9	0.2	1.8	0.4	7.8	0.2	0.5	8.5
8:15	3.2	4.3	3.6	2.8	3.8	2.4	3.9	0.2	2.1	0.4	7.7	0.0	0.9	7.7
8:30	3.5	4.1	4.0	2.8	3.1	1.5	4.2	0.1	2.3	0.4	7.7	0.0	1.2	6.8
8:45	3.8	4.1	4.0	2.7	3.6	1.6	4.4	0.1	3.1	0.2	8.4	0.0	1.7	5.9
9:00	4.4	3.8	4.2	2.5	6.4	1.1	4.8	0.0	4.3	0.2	9.2	0.0	2.3	4.4
9:15	4.8	3.4	4.4	2.6	6.9	0.7	6.1	0.0	5.1	0.0	9.9	0.0	2.4	2.8
9:30	5.1	2.9	5.0	2.3	8.2	0.7	7.0	0.0	6.7	0.0	10.1	0.0	2.6	1.9
9:45	5.6	2.4	5.7	2.3	9.3	0.2	7.5	0.0	8.6	0.0	10.6	0.0	2.6	1.0
10:00	5.7	2.0	5.9	2.5	10.0	0.2	7.8	0.0	9.8	0.0	8.7	0.0	2.8	0.3
10:15	6.6	1.5	7.0	2.2	9.3	0.0	7.5	0.0	10.4	0.0	10.2	0.0	3.1	0.3
10:30	6.9	1.2	7.2	2.1	10.1	0.0	7.4	0.1	10.0	0.0	10.8	0.0	3.2	0.0
10:45	7.2	0.8	7.8	2.0	9.8	0.0	7.6	0.1	8.8	0.0	9.4	0.0	3.3	0.0
11:00	7.9	0.5	8.0	1.8	9.1	0.0	8.0	0.0	8.8	0.0	11.1	0.0	3.3	0.0
11:15	8.0	0.4	8.0	1.6	10.0	0.0	8.4	0.0	9.2	0.0	9.2	0.0	3.8	0.0
11:30	8.5	0.3	8.6	1.4	9.8	0.0	8.3	0.0	10.0	0.0	8.7	0.0	4.5	0.0
11:45	8.8	0.3	8.7	1.0	10.3	0.0	8.9	0.0	10.6	0.0	9.6	0.0	4.2	0.0

Percent of Daily Traffic During the 60-Minute Period Beginning at Displayed Time



Liquor Store (899)

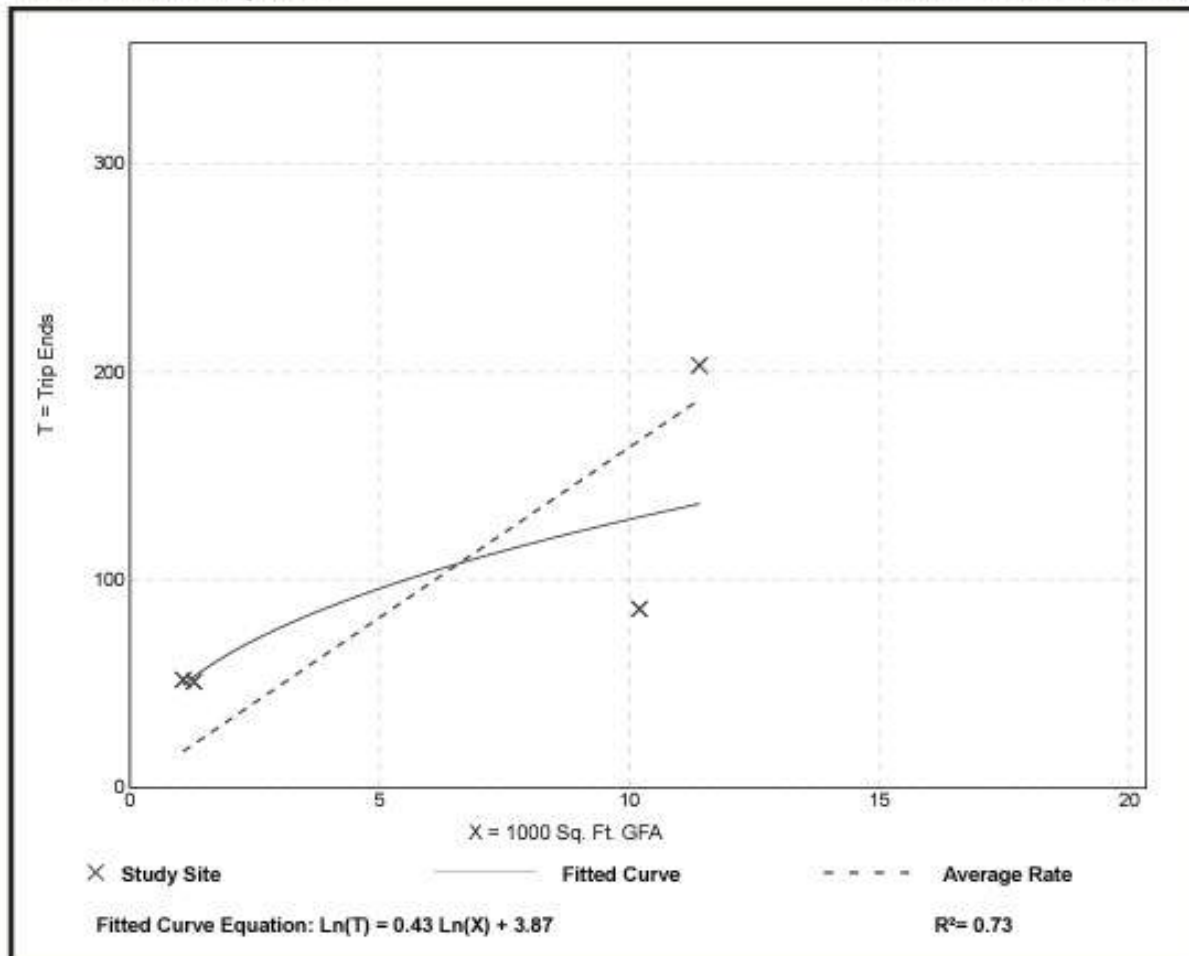
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 4
 1000 Sq. Ft. GFA: 6
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
16.37	8.43 - 48.60	11.76

Data Plot and Equation

Caution – Small Sample Size

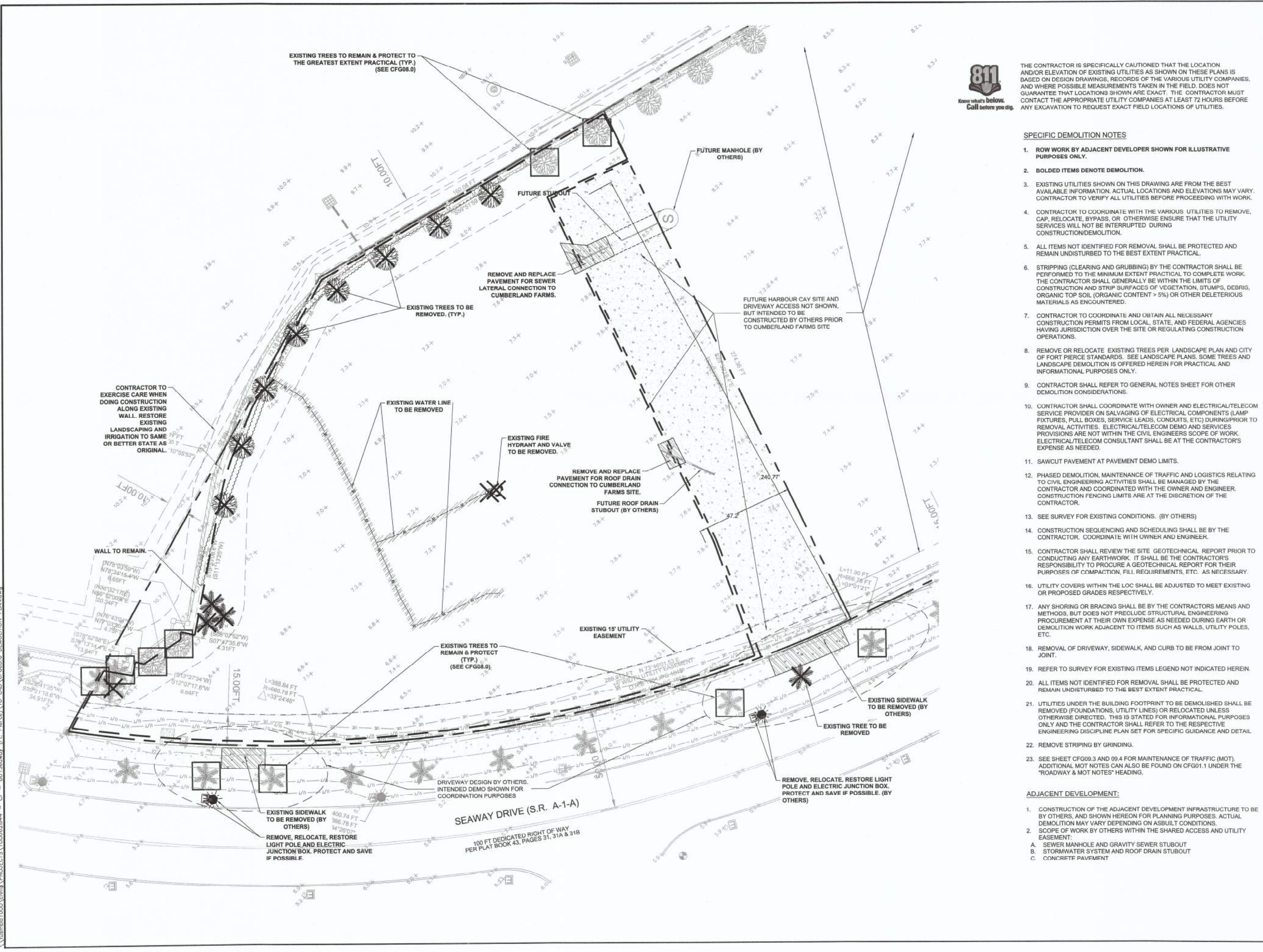


C.6. DEVELOPMENT PLANS (SEE SECTION D)

D. DEVELOPMENT PLANS

- D.1. SURVEY**
- D.2. DEMOLITION PLAN**
- D.3. SITE PLAN**
- D.4. STORM DRAINAGE PLAN**
- D.5. LANDSCAPE MITIGATION (DISPOSITION) PLAN**
- D.6. LANDSCAPE PLAN**
- D.7. PHOTOMETRIC PLAN**
- D.8. PHOTOMETRIC DETAILS**
- D.9. AUTOTURN ANALYSIS**
- D.10. EXTERIOR ELEVATIONS**
- D.11. SECURITY CAMERA EXHIBIT**
- D.12. SIGN RENDERINGS**

Users: FAR4403 \\lumbar1000\civ\15\PROJECTS\100062844 - 80\Scoway (Ft. Pierce)\10 CAD_CFG03.0 DEMOLITION PLAN.dwg



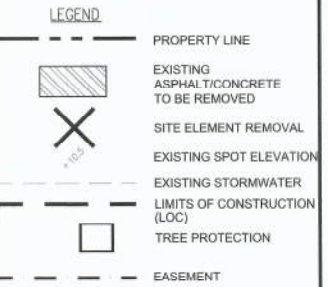
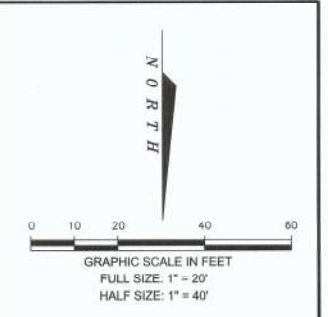
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

SPECIFIC DEMOLITION NOTES

1. ROW WORK BY ADJACENT DEVELOPER SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
2. BOLDED ITEMS DENOTE DEMOLITION.
3. EXISTING UTILITIES SHOWN ON THIS DRAWING ARE FROM THE BEST AVAILABLE INFORMATION. ACTUAL LOCATIONS AND ELEVATIONS MAY VARY. CONTRACTOR TO VERIFY ALL UTILITIES BEFORE PROCEEDING WITH WORK.
4. CONTRACTOR TO COORDINATE WITH THE VARIOUS UTILITIES TO REMOVE, CAP, RELOCATE, BYPASS, OR OTHERWISE ENSURE THAT THE UTILITY SERVICES WILL NOT BE INTERRUPTED DURING CONSTRUCTION/DEMOLITION.
5. ALL ITEMS NOT IDENTIFIED FOR REMOVAL SHALL BE PROTECTED AND REMAIN UNDISTURBED TO THE BEST EXTENT PRACTICAL.
6. STRIPPING (CLEARING AND GRUBBING) BY THE CONTRACTOR SHALL BE PERFORMED TO THE MINIMUM EXTENT PRACTICAL TO COMPLETE WORK. THE CONTRACTOR SHALL GENERALLY BE WITHIN THE LIMITS OF CONSTRUCTION AND STRIP SURFACES OF VEGETATION, STUMPS, DEBRIS, ORGANIC TOP SOIL (ORGANIC CONTENT > 5%) OR OTHER DELETERIOUS MATERIALS AS ENCOUNTERED.
7. CONTRACTOR TO COORDINATE AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION OVER THE SITE OR REGULATING CONSTRUCTION OPERATIONS.
8. REMOVE OR RELOCATE EXISTING TREES PER LANDSCAPE PLAN AND CITY OF FORT PIERCE STANDARDS. SEE LANDSCAPE PLANS. SOME TREES AND LANDSCAPE DEMOLITION IS OFFERED HEREIN FOR PRACTICAL AND INFORMATIONAL PURPOSES ONLY.
9. CONTRACTOR SHALL REFER TO GENERAL NOTES SHEET FOR OTHER DEMOLITION CONSIDERATIONS.
10. CONTRACTOR SHALL COORDINATE WITH OWNER AND ELECTRICAL/TELECOM SERVICE PROVIDER ON SALVAGING OF ELECTRICAL COMPONENTS (LAMP FIXTURES, PULL BOXES, SERVICE LEADS, CONDUITS, ETC) DURING/PRIOR TO REMOVAL ACTIVITIES. ELECTRICAL/TELECOM DEMO AND SERVICES PROVISIONS ARE NOT WITHIN THE CIVIL ENGINEERS SCOPE OF WORK. ELECTRICAL/TELECOM CONSULTANT SHALL BE AT THE CONTRACTOR'S EXPENSE AS NEEDED.
11. SAWCUT PAVEMENT AT PAVEMENT DEMO LIMITS.
12. PHASED DEMOLITION, MAINTENANCE OF TRAFFIC AND LOGISTICS RELATING TO CIVIL ENGINEERING ACTIVITIES SHALL BE MANAGED BY THE CONTRACTOR AND COORDINATED WITH THE OWNER AND ENGINEER. CONSTRUCTION FENCING LIMITS ARE AT THE DISCRETION OF THE CONTRACTOR.
13. SEE SURVEY FOR EXISTING CONDITIONS. (BY OTHERS)
14. CONSTRUCTION SEQUENCING AND SCHEDULING SHALL BE BY THE CONTRACTOR. COORDINATE WITH OWNER AND ENGINEER.
15. CONTRACTOR SHALL REVIEW THE SITE GEOTECHNICAL REPORT PRIOR TO CONDUCTING ANY EARTHWORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROCURE A GEOTECHNICAL REPORT FOR THEIR PURPOSES OF COMPACTION, FILL REQUIREMENTS, ETC. AS NECESSARY.
16. UTILITY COVERS WITHIN THE LOC SHALL BE ADJUSTED TO MEET EXISTING OR PROPOSED GRADES RESPECTIVELY.
17. ANY SHORING OR BRACING SHALL BE BY THE CONTRACTORS MEANS AND METHODS, BUT DOES NOT PRECLUDE STRUCTURAL ENGINEERING PROCUREMENT AT THEIR OWN EXPENSE AS NEEDED DURING EARTH OR DEMOLITION WORK ADJACENT TO ITEMS SUCH AS WALLS, UTILITY POLES, ETC.
18. REMOVAL OF DRIVEWAY, SIDEWALK, AND CURB TO BE FROM JOINT TO JOINT.
19. REFER TO SURVEY FOR EXISTING ITEMS LEGEND NOT INDICATED HEREIN.
20. ALL ITEMS NOT IDENTIFIED FOR REMOVAL SHALL BE PROTECTED AND REMAIN UNDISTURBED TO THE BEST EXTENT PRACTICAL.
21. UTILITIES UNDER THE BUILDING FOOTPRINT TO BE DEMOLISHED SHALL BE REMOVED (FOUNDATIONS, UTILITY LINES) OR RELOCATED UNLESS OTHERWISE DIRECTED. THIS IS STATED FOR INFORMATIONAL PURPOSES ONLY AND THE CONTRACTOR SHALL REFER TO THE RESPECTIVE ENGINEERING DISCIPLINE PLAN SET FOR SPECIFIC GUIDANCE AND DETAIL.
22. REMOVE STRIPING BY GRINDING.
23. SEE SHEET CFG09.3 AND 09.4 FOR MAINTENANCE OF TRAFFIC (MOT). ADDITIONAL MOT NOTES CAN ALSO BE FOUND ON CFG01.1 UNDER THE "ROADWAY & MOT NOTES" HEADING.

ADJACENT DEVELOPMENT:

1. CONSTRUCTION OF THE ADJACENT DEVELOPMENT INFRASTRUCTURE TO BE BY OTHERS, AND SHOWN HEREON FOR PLANNING PURPOSES. ACTUAL DEMOLITION MAY VARY DEPENDING ON ASBUILT CONDITIONS.
2. SCOPE OF WORK BY OTHERS WITHIN THE SHARED ACCESS AND UTILITY EASEMENT:
 - A. SEWER MANHOLE AND GRAVITY SEWER STUBOUT
 - B. STORMWATER SYSTEM AND ROOF DRAIN STUBOUT
 - C. CONCRETE PAVEMENT



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 FIRM CERTIFICATE OF AUTHORIZATION NO. 24

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Project Title: **835 SEAWAY DR FT. PIERCE, FL 34949**

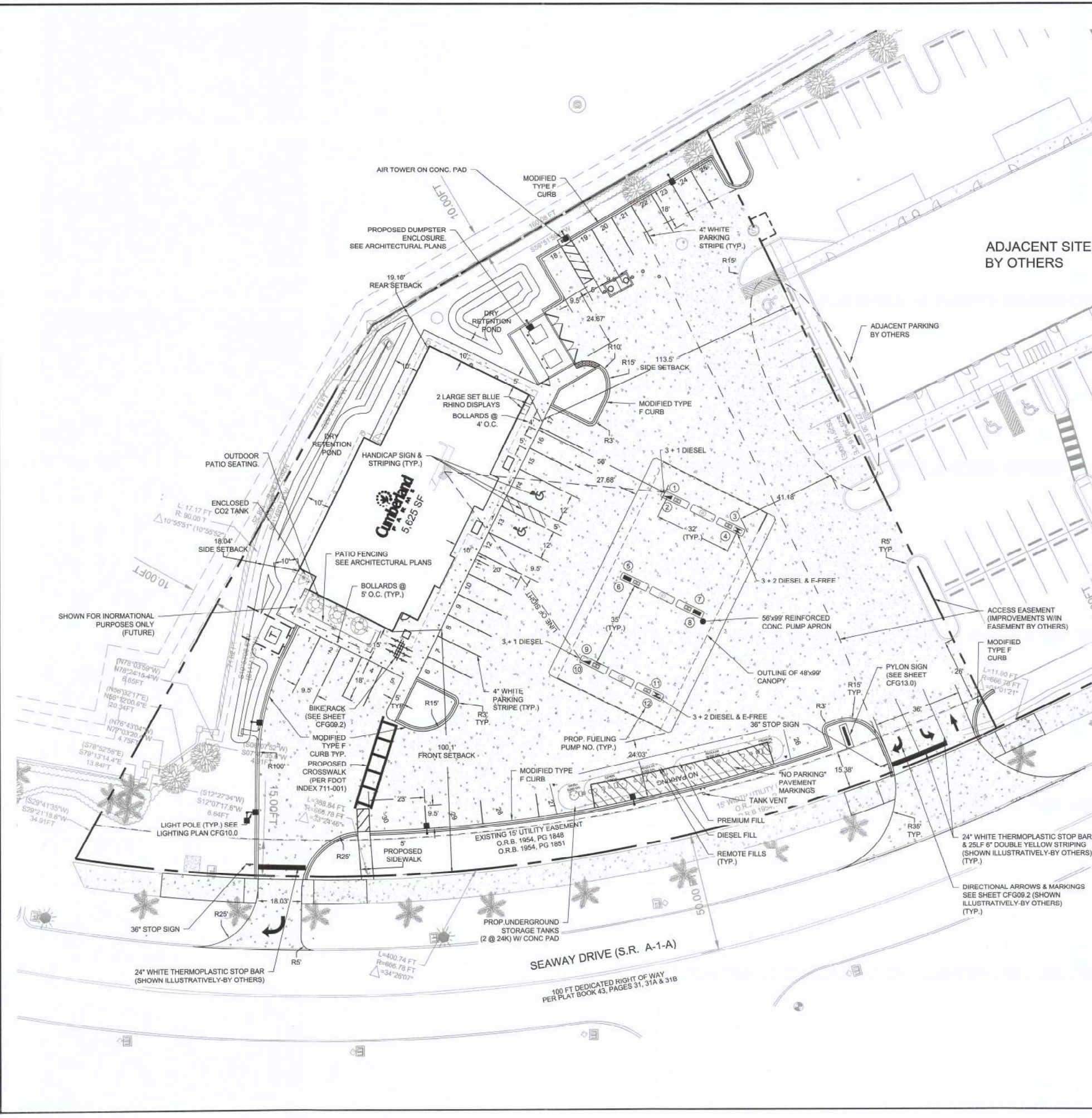
DEMOLITION PLAN

Scale	Designed	Drawn	Checked	Authorized
	JAL	DF		

Original Size: ARCH D

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 0 1/2 1 2 3 4
 inches



GENERAL STATEMENT

THE PROPOSED DEVELOPMENT INCLUDES THE CONSTRUCTION OF A NEW 5,625 SF CUMBERLAND FARMS SINGLE-STORY CONVENIENCE STORE WITH OUTDOOR SEATING AND 6 DISPENSING PUMPS (WITH 12 FUELING POSITIONS) ON VACANT PROPERTY. THE PROPOSED SITE IS EQUIPPED WITH UNDERGROUND STORAGE TANKS, CANOPY, OUTDOOR SEATING, AIR TOWER, AND DUMPSTER ENCLOSURE.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ST. LUCIE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:
 TRACT "D-1" OF THE SECOND REPLAT OF HARBOUR ISLE, RECORDED IN PLAT BOOK 46, PAGE 10, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING DESCRIBED LAND:

LEGAL DESCRIPTION:
 THAT PORTION OF TRACT D-1, OF SECOND REPLAT OF HARBOUR ISLE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 10, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LYING EAST OF THE FOLLOWING DESCRIBED LINE: COMMENCE AT THE NORTHWEST CORNER OF SAID TRACT D-1
 THENCE NORTH 64°50'00" EAST, ALONG THE NORTH LINE OF SAID TRACT D-1 (THE NORTH LINE OF SAID TRACT D-1 IS ASSUMED TO BEAR NORTH 64°50'00" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO), A DISTANCE OF 244.91 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 698.78 FEET AND A CENTRAL ANGLE OF 1°01'21" THENCE EASTERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 11.90 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED LINE; THENCE SOUTH 25°10'00" EAST, A DISTANCE OF 274.36 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT D-1 AND THE POINT OF TERMINUS.

AND LESS AND EXCEPT

COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT D-1; THENCE SOUTH 20°41'35" WEST, ALONG THE EAST LINE OF SAID TRACT D-1 (THE EAST LINE OF SAID TRACT D-1 IS ASSUMED TO BEAR SOUTH 20°41'35" WEST AND ALL OTHER BEARINGS ARE RELATIVE THERETO), A DISTANCE OF 34.91 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE NORTH 78°52'58" WEST, DEPARTING SAID EAST LINE, A DISTANCE OF 13.84 FEET TO A POINT; THENCE SOUTH 12°27'34" WEST, A DISTANCE OF 6.84 FEET TO A POINT; THENCE NORTH 76°43'04" WEST, A DISTANCE OF 4.75 FEET TO A POINT; THENCE SOUTH 56°32'17" WEST, A DISTANCE OF 23.34 FEET TO A POINT; THENCE SOUTH 68°07'53" WEST, A DISTANCE OF 4.31 FEET TO A POINT; THENCE NORTH 78°03'59" WEST, A DISTANCE OF 6.85 FEET TO A POINT; THENCE SOUTH 11°13'29" WEST, A DISTANCE OF 71.62 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 80.00 FEET AND A CENTRAL ANGLE OF 10°55'02" THENCE SOUTHERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 17.17 FEET TO A POINT; THENCE SOUTH 22°09'18" WEST, A DISTANCE OF 23.81 FEET TO A POINT ON SAID EAST LINE; THENCE NORTH 28°41'35" EAST, ALONG SAID EAST LINE, A DISTANCE OF 144.32 FEET TO THE POINT OF BEGINNING.

PROPERTY DATA

OWNER (CONTRACTING TO PURCHASE): CUMBERLAND FARMS INC. 165 FLANDERS RD, WESTBOROUGH, MA 01501

APPLICANT: CUMBERLAND FARMS, INC. 165 FLANDERS RD, WESTBOROUGH, MA 01501

PROJECT ENGINEER: JEFF LUCAS, P.E. - ATKINS, N.A. 7175 MURRELL RD, MELBOURNE, FL 32940

SITE ADDRESS: 835 SEAWAY DR, FORT PIERCE, FL 34949

PARCEL: 2402-501-0001-010-8
OVERALL SITE AREA: 1.50 AC
JURISDICTION: FORT PIERCE
ZONING DISTRICT: PD
FLU: HIMU

FEMA FIRM PANEL: PROPERTY IS LOCATED WITHIN FLOOD ZONE DESIGNATION X, PANEL NO. 12111C0183J, DATED 02/16/2012

PROPOSED USE: 5,625 SF CONVENIENCE STORE
 6 PUMPS (12 FUELING POSITIONS)
 GAS DISPENSING UNDER CANOPY

PROP. HOURS OF OPERATION: 24 HOURS

CONSTRUCTION SCHEDULE: 140 DAYS DURATION (APPROXIMATE)

LAND DATA:

ON-SITE IMPERVIOUS AREA:		
• BUILDING	0.13 AC	(8.7%)
• PAVEMENT, SIDEWALKS & CURBING	0.81 AC	(53.8%)
PERVIOUS AREA:	0.56 AC	(37.5%)
TOTAL	1.50 AC	(100%)

PARKING CALCULATIONS:

CONVENIENCE STORE: REQUIRED: (5,625 SF / 200 SF) = 29 SPACES
 TOTAL REQUIRED = 29 SPACES

PROVIDED: 25 SPACES @ 90' - 9.5' X 18'
 AND 5 PARALLEL SPACES @ 9.5' X 23'
 FOR A TOTAL OF 30 PROVIDED SPACES

ADA ACCESSIBLE SPACES: REQUIRED: 2 SPACES PROVIDED: 2 SPACES

DEVELOPMENT PARAMETERS

BUILDING SETBACKS:		
FRONT (NORTH):	± 100'	
SIDE INTERIOR (WEST AND EAST):	± 18'	
REAR (SOUTH):	± 19'	
LANDSCAPE BUFFERS:	ALL SIDES (LESS ABUTTING):	PROVIDED AS SHOWN ON LANDSCAPE PLAN
PROP. BLDG HEIGHT:	PROP. BLDG. - NO EXISTING BLDG 30' (AVG)	± 33'-1" (PEAK) ± 23'-9" (AVG)
CANOPY CLEARANCE:	14'	± 14'-4" (DECK UNDERSIDE HEIGHT)

NOTES:

1. PROPOSED CANOPY, FUEL DISPENSERS, UNDERGROUND STORAGE TANK, OUTDOOR SEATING, AIR TOWER, DUMPSTER ENCLOSURE AND CONVENIENCE STORE DESIGN AND PROVISIONS SHALL BE CROSS REFERENCED TO THE ARCHITECTURAL AND/OR TANK & PUMP PLANS RESPECTIVELY FOR INSTALLATION ASPECTS.
2. FOR ADDITIONAL SIGNING AND PAVEMENT MARKING NOTES, SEE GENERAL NOTES SHEET.
3. ALL PARKING SPACES, INCLUDING HANDICAPPED PARKING SPACES, SHALL BE STRIPED IN WHITE THERMOPLASTIC PAINT, AND BE IN ACCORDANCE WITH MOST CURRENT FDOT SPECIFICATIONS.
4. LIGHT POLES ARE DEPICTED FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO LIGHTING PLANS FOR EXACT LOCATIONS AND CONSTRUCTION.
5. ALL CURB RAMPS (CR-A, B, ETC.) SHOWN ON THESE PLANS SHALL BE PER FDOT INDEX #522-002.
6. THE SURFACE WHICH IS TO BE PAINTED SHALL BE CLEANED, BY COMPRESSED AIR OR OTHER EFFECTIVE MEANS, IMMEDIATELY BEFORE THE START OF PAINTING, AND SHALL BE CLEAN AND DRY WHEN THE PAINT IS APPLIED. ANY VEGETATION OR SOIL SHALL BE REMOVED FROM THE PAVEMENT BEFORE STRIPING IS BEGUN.
7. A MINIMUM OF 4 FEET FROM THE STOP BAR TO THE PEDESTRIAN CROSSING, PER MUTCD SECTION 3B.16, IS REQUIRED AT ALL DRIVEWAYS WITH CROSS WALKS AND STOP BARS. ALL CROSS WALKS SHALL BE A MINIMUM OF 6 FEET OR 2 FEET WIDER THE SIDEWALK BETWEEN THE (2) 12 INCH PARALLEL STRIPES.
8. DRIVEWAY PERMITTING BY ADJACENT DEVELOPER

GRAPHIC SCALE IN FEET
 FULL SIZE: 1" = 20'
 HALF SIZE: 1" = 40'

LEGEND AND ABBREVIATIONS

PROP.	PROPOSED	REFLECTIVE PAVEMENT MARKER
RPM	TYPICAL	SQUARE FEET
SQ. FT.	RIGHT OF WAY	PAVING, GRADING AND DRAINAGE
ROW	CONCRETE	CURB & GUTTER
PGD	PROPOSED CONCRETE SIDEWALK & PADS	
CONC.	EXISTING PROPERTY/ROW LINE	
C&G	EXISTING EASEMENT	
	PROPOSED EASEMENT	
	TRANSFORMER PAD	
	EXISTING TREE TO REMAIN	

JEFFREY LUCAS, P.E.
 FLORIDA REG. NO. 71621

DATE: 7-22-15

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Cumberland FARMS
 CUMBERLAND FARMS INC.
 165 FLANDERS ROAD
 WESTBOROUGH, MA 01581

Project Title:
**835 SEAWAY DR
 FT. PIERCE, FL 34949**

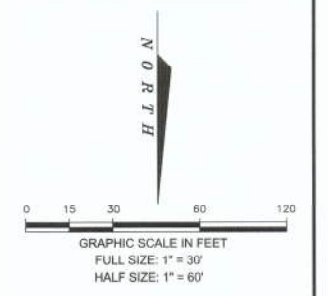
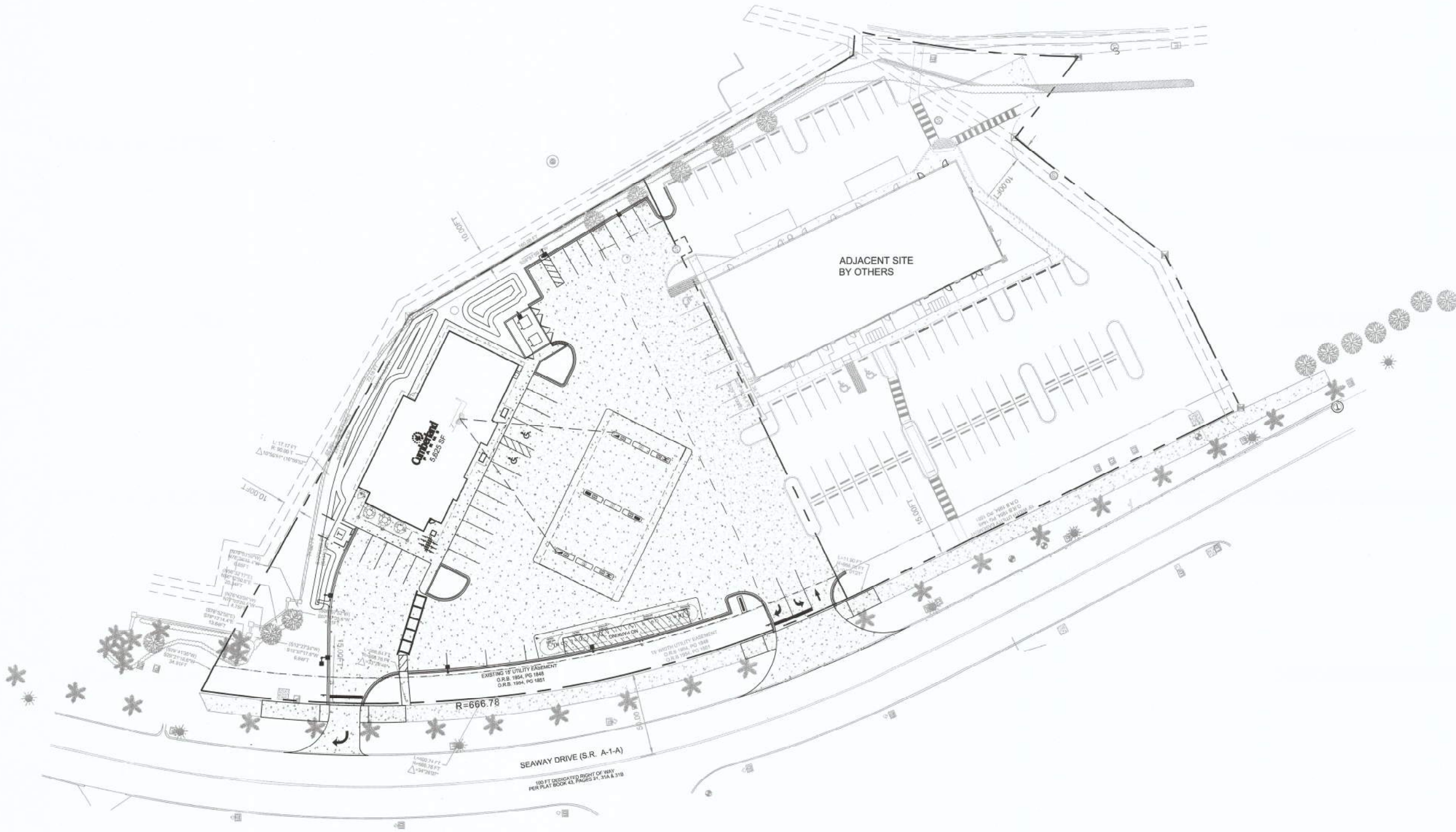
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SITE PLAN

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LEGEND AND ABBREVIATIONS

PROP.	PROPOSED
RPM	REFLECTIVE PAVEMENT MARKER
TYP.	TYPICAL
SQ. FT.	SQUARE FEET
ROW	RIGHT OF WAY
PGD	PAVING, GRADING AND DRAINAGE
CONC.	CONCRETE
C&G	CURB & GUTTER
	PROPOSED CONCRETE SIDEWALK & PADS
	EXISTING PROPERTY ROW LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	TRANSFORMER PAD
	EXISTING TREE TO REMAIN

JEFFREY LUCAS, P.E.
FLORIDA REG. NO. 71621

SIGNATURE: DATE: 5-2-15

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 TAMPA, FL 33607
 FBPR CERTIFICATE OF
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Client:

 CUMBERLAND FARMS INC.
 100 FLANDERS ROAD
 WESTBOROUGH, MA 01581

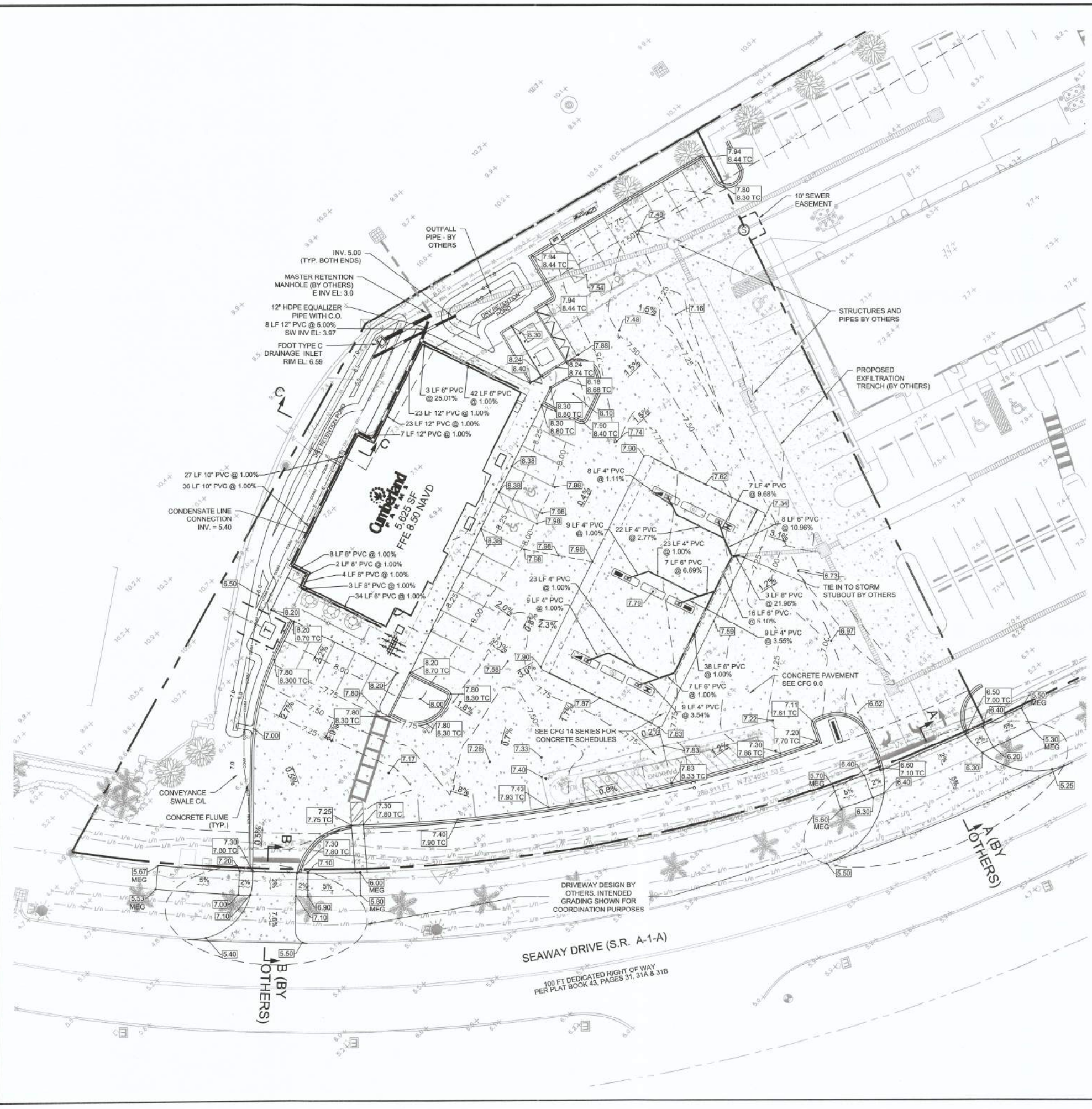
Project Title:
 835 SEAWAY DR
 FT. PIERCE, FL 34949

Drawing Title:
OVERALL SITE PLAN

Scale	Designed	Drawn	Checked	Authorized
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Original Date	Date	Date	Date	Date
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Drawing Number	CFG04.1			Revision

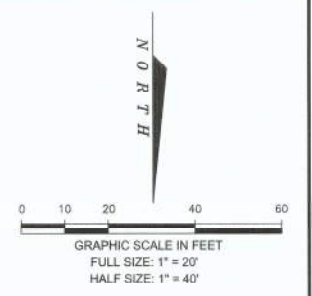
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LEGEND

- FLOW PATTERN
- DRAINAGE STRUCTURES
- PROPOSED ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONCRETE PAVEMENT
- PROPOSED DRAINAGE PIPE
- EXISTING DRAINAGE PIPE
- EXISTING PROPERTY/ROW LINE
- PROPOSED GRADE BREAK
- SPREADER SWALE CENTERLINE
- PROPOSED EASEMENT
- DRAINAGE PIPE (BY OTHERS)
- DRAINAGE STRUCTURES (BY OTHERS)



- ABBREVIATIONS:**
- TYP. - TYPICAL
 - HP - HIGH POINT
 - E/P - EDGE OF PAYMENT
 - T/C - TOP OF CURB
 - T/S - TOP OF SIDEWALK
 - T/W - TOP OF WALL
 - S/W - SIDEWALK
 - REQ. - REQUIRED
 - MEG - MATCH EXISTING GRADE
 - C.O. - CLEAN OUT
 - DS - DOWNSPOUT
 - P/L - PROPERTY LINE
 - TBD - TO BE DETERMINED
 - INT - INTERPOLATED
 - EOR - ENGINEER OF RECORD
 - YD - YARD DRAIN
 - EX. - EXISTING

NOTES:

1. CIVIL SITE WORK (GRADING, PAVING, CONCRETE INSTALLATION, DRAINAGE) SHALL BE CROSS REFERENCED TO ARCHITECTURAL PLANS. OVERLAPPING INFORMATION PROVIDED HEREIN IS SUBJECT TO INTERDISCIPLINE COORDINATION. CONTRACTOR TO COORDINATE ACCORDINGLY.
2. CONTRACTOR TO PERFORM PRE-CONSTRUCTION SURVEY TO VERIFY GRADING TIE-IN OF SURFACE AND UNDERGROUND ELEMENTS WITHIN AND DIRECTLY ADJACENT TO THE ACCESS EASEMENT.
3. REINFORCED CONCRETE PIPE SHALL BE CLASS III OR GREATER WITHIN CITY AND/OR FDOT ROW.
4. DOWNSPOUT COLLECTION SYSTEM (BOXES, BACKWATER VALVES, ECT) PER PLUMBING PLANS (SHOWN FOR ILLUSTRATIVE PURPOSES ONLY).
5. REFER TO STRUCTURAL/ARCHITECTURAL PLANS FOR CONSTRUCTION & EXPANSION JOINT DETAILS WHERE SIDEWALKS ABUT BUILDINGS.
6. CONCRETE JOINT (EXPANSION, CONTROL, ETC.) LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL SUPPLY ENGINEER WITH JOINTING PLAN AT TIME OF CONSTRUCTION FOR APPROVAL.
7. CONTRACTOR TO FIELD VERIFY PIPE COVER AND CLEARANCES DURING CONSTRUCTION AND NOTIFY ENGINEER PRIOR TO TRENCH CLOSURE WHEN MINIMUM REQUIREMENT CANNOT BE ACHIEVED. CONCRETE ENCASEMENT MAY BE NECESSARY.
8. FLOOR DRAIN LEADERS ARE LOCATED TO THE BEST EXTENT PRACTICAL. EXACT LOCATION MAY VARY AND/OR REQUIRE FIELD VERIFICATION. EXACT SIZES TO BE VERIFIED WITH PLUMBING PLANS.
9. ALL CLEANOUTS RIMS/COLLARS TO MATCH FINAL GRADE ACCORDINGLY.
10. CONTRACTOR TO COORDINATE CONSIDERATION FOR LANDSCAPE IMPROVEMENTS (TOP SOIL, MULCH, VEGETATION, ETC.) WHEN ESTABLISHING ROUGH AND FINAL GRADES.
11. MATCH EXISTING GRADES AT SITE PERIMETER UNLESS SHOWN OTHERWISE.
12. ALL STREET & STORMWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF FT. PIERCE.
13. COMPACT FILL AREAS, INCLUDING CUT AREAS UNDER THE SIDEWALK THAT HAVE BEEN EXCAVATED MORE THAN 6 INCHES BELOW THE BOTTOM OF SIDEWALK, TO A MINIMUM OF 95% OF AASHTO T99 DENSITY. THE AREA TO BE COMPACTED IS DEFINED AS THAT AREA DIRECTLY UNDER THE SIDEWALK AND 1 FOOT BEYOND EACH SIDE OF THE SIDEWALK WHEN RIGHT-OF-WAY ALLOWS.

RETENTION AREA CONSTRUCTION NOTES:

1. NATURAL GRADE AT POND BOTTOMS/SLOPE AREAS TO BE STRIPPED, CLEARED, AND GRUBBED OF ORGANIC AND PARENT SOIL CONTAINING FINES TO A DEPTH OF 12-18 INCHES, THEN DEEP RAKED.
2. ROUGH GRADE AND EXCAVATE. CONTRACTOR SHALL USE LIGHT CONSTRUCTION EQUIPMENT, AS PRACTICAL, TO AVOID UNDUE COMPACTION OF SAND.
3. AFTER DRAINAGE AREA CONTRIBUTING TO POND HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND POND BOTTOM SHOULD BE CONSTRUCTED TO FINAL DESIGN SPECIFICATIONS.
4. DEEP RAKE POND BOTTOM.
5. SOD POND BOTTOM WITH SAND GROWN SOD, NOT MUCK GROWN.
6. CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERCOLATION TESTS WITHIN THE RETENTION AREA(S). A MINIMUM OF TWO TESTS SHALL BE PROVIDED AND SUPPLIED TO THE EOR PRIOR TO FINAL ACCEPTANCE. IF PERCOLATION RATES TESTED FAIL TO MEET DESIGN TOLERANCES, OVER-EXCAVATION AND SELECT BACKFILL SHALL BE REQUIRED.

JEFFREY LUCAS, P.E.
FLORIDA REG. NO. 71621

DATE: 5-22-15
SIGNATURE: [Signature]

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Rev.	Date	Description	By	Chk	App

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Cumberland Farms

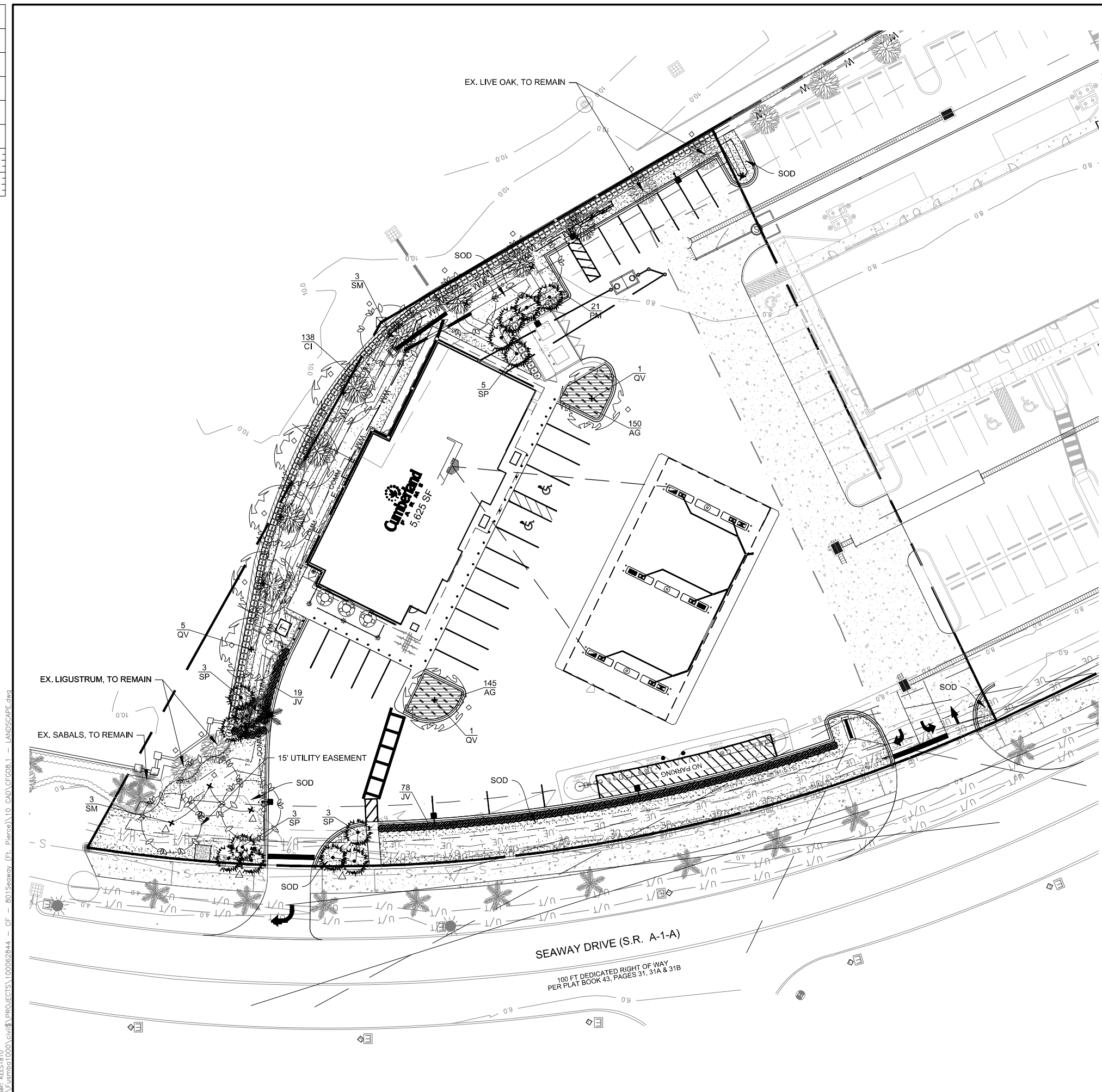
CUMBERLAND FARMS INC.
165 FLANDERS ROAD
WESTBOROUGH, MA 01581

Project Title:
**835 SEAWAY DR
FT. PIERCE, FL 34949**

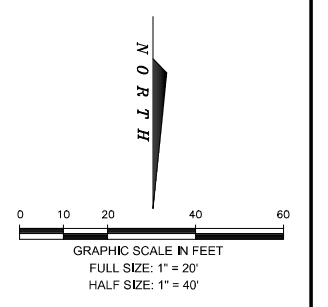
Drawing Title:
**PAVING, GRADING AND
DRAINAGE**

Scale	Designd	Drawn	Checked	Authorized
Original Date	Date	Date	Date	Date
ARCH D				
Drawing Number	CFG05.0			Revision

0 1/2 1 2 3 4
Inches



LANDSCAPE CODE REQUIREMENTS		
	REQUIRED	PROVIDED
Landscape strip (lot over 10,000 SF) 1 tree per 300 SF @ 3,724 SF	13	2 (6 palms) & 2 trees
Interior vehicular use area 1 SF per 15 SF of Vehicular Use area @ 39,787 SF = 2653 SF Reduction for preserved trees (50% max), 7 @ 400 SF = 2800 SF Interior landscape of 1 tree per 100 SF @ 1326 SF	14	4 existing & 11 proposed
Up to 50% of required trees may be palms (1 tree = 3 palms)	< 7 (21)	0



Users: KEES1810
F:\usb\1000_civ\PROJECTS\100062844 - CF - 801Seaway (Ft. Pierce)\10 CAD\CF08.1 - LANDSCAPE.dwg

JASON L. KEES, R.L.A.
FLORIDA REG. NO. 6667398



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 WESTBOROUGH, MA 01581

Project Title:
**835 SEAWAY DR
 FT. PIERCE, FL 34949**

Drawing Title:
LANDSCAPE PLAN

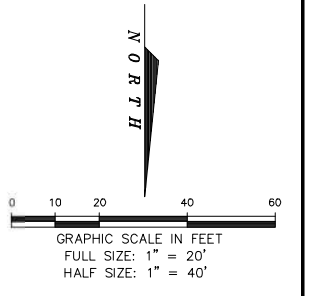
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Drawing Number	Date	Date	Date	Date
CFG08.1				

Revision: _____

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Inches

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red leonard associates
1340 Kemper Meadow Dr. | Cincinnati, OH 45240 | 513-574-9500
www.redleonard.com



NOTE:
- EXCEPT FOR TYPE "AR1" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.
- TYPE "AR1" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.

LUMINAIRE LOCATION SUMMARY			LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.	LUM NO.	LABEL	MTG. HT.
1	A3	15	29	C3	14
2	A3	15	30	C3	14
3	A3	15	31	C3	14
4	A2	15	32	S	12
5	AR1	8	33	S	12
6	AR1	8	34	S	12
7	AR1	8	35	S	12
8	AX	15	36	S	12
9	AX	15	37	S	12
10	AX1	15	38	S	12
11	B3	15	39	S	12
12	B3	15	40	S	12
13	B3	15	41	S	12
14	C3	14	42	S	12
15	C3	14	43	S	12
16	C3	14	44	S	12
17	C3	14	45	S	12
18	C3	14	46	S	12
19	C3	14	47	S	15.5
20	C3	14	48	S	16.945
21	C3	14	49	S	16.945
22	C3	14	50	S	12
23	C3	14	51	S	16.945
24	C3	14	52	S	12
25	C3	14	53	S	15.5
26	C3	14	54	S	12
27	C3	14	55	S	12
28	C3	14	56	S	12
			57	S	12

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	39.38	60	20	1.97	3.00
PAVED AREA	3.00	16.4	0.2	15.00	82.00
UNDEFIND AREA	0.95	29.2	0.0	N.A.	N.A.

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
[Symbol]	1	A2	2 @ 90 DEGREES	10705	1,000	1,000	1,000	B3-U0-G3	132.5	265	CREE, INC.	ARE-EDG-3M-DA-06-E-ULWH-700-57K
[Symbol]	3	A3	SINGLE	7896	1,010	1,000	1,010	B1-U0-G2	134	402	CREE, INC.	ARE-EDG-3MB-DA-06-E-ULWH-700-57K
[Symbol]	3	AR1	SINGLE	5325	1,010	1,000	1,010	B1-U0-G2	92	276	CREE, INC.	ARE-EDR-3MB-R5-04-E-ULBK-700-57K
[Symbol]	2	AX	SINGLE	7896	1,010	1,000	1,010	B1-U0-G2	134	268	CREE, INC.	ARE-EDG-3MB-DA-06-E-ULWH-700-57K (FURNISHED AND INSTALLED BY OTHERS)
[Symbol]	1	AX1	2 @ 90 DEGREES_1	7896	1,010	1,000	1,010	B1-U0-G2	134	268	CREE, INC.	ARE-EDG-3MB-DA-06-E-ULWH-700-57K (FURNISHED AND INSTALLED BY OTHERS)
[Symbol]	3	B3	SINGLE	8480	1,010	1,000	1,010	B1-U0-G2	134	402	CREE INC.	ARE-EDG-4MB-DA-06-E-UL-WH-700-57K
[Symbol]	18	C3	SINGLE	21340	1,010	0.670	0.877	B4-U0-G1	138	2484	Cree Inc	CAN-228-SL-RM-09-E-UL-WH-700-57K (SWITCH SETTING 3)
[Symbol]	26	S	SINGLE	2483	1,010	1,000	1,010	B2-U0-G0	37.4	972.4	Cree Inc	KR6-30L-40K-120V-10V + KR6T-SSGC-WF

REV.	BY	DATE	DESCRIPTION
R1	TAS	2/20/19	UPDATED SITE PLAN
R2	TAS	4/3/19	REVISED FIXTURE TYPES AND ADDED ONE LIGHT POLE
R3	TAS	5/21/19	RELOCATED POLES AT ENTRANCES

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PROJECT NAME:
CUMBERLAND FARMS FT. PIERCE

DRAWING NUMBER:
RL-5964-S1-R3

SCALE: LAYOUT BY: TAS
DWG SIZE: D DATE: 2/12/19

rla

PEDRO TREVIN
P.E. No. 15309

DATE

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Rev. Date Description By C/K JH PH

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Client: **Cumberland FARMS**
CUMBERLAND FARMS INC. 165 CLANCY ROAD, MESCOROOG, VA 01858

Project Title: **835 SEAWAY DR FT. PIERCE, FL 34949**

Drawing Title: **PHOTOMETRIC PLAN**

Scale	Designed	Drawn	Checked	Authorized
	JAL	DF		
Original Size	Date	Date	Date	Date
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Drawing Number: **CFG10.0** Revision

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AREA PRODUCT INFORMATION

Table with columns SYMBOL, QTY, LABEL. ARE-EDG-3MB-DA-06-E-ULWH-700-57K

Table with columns SYMBOL, QTY, LABEL. ARE-EDG-3MB-DA-06-E-ULWH-700-57K

Table with columns SYMBOL, QTY, LABEL. ARE-EDG-3MB-DA-06-E-ULWH-700-57K (FURNISHED AND INSTALLED BY OTHERS)

Table with columns SYMBOL, QTY, LABEL. ARE-EDG-3MB-DA-06-E-ULWH-700-57K

Table with columns SYMBOL, QTY, LABEL. ARE-EDG-4MB-DA-06-E-UL-WH-700-57K

Cree Edge™ Series LED Area Flood Luminaires

Product Description: The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing provides excellent heat management and features an integral, weatherproof LED driver component and high performance aluminum heat sink and ballast board.

Performance Summary table with columns Item, Description, Value.

Accessories table with columns Item, Description, Value.

Ordering Information table with columns Part No., Description, Price.

Technical specifications table with columns Part No., Description, Price.



AREA PRODUCT INFORMATION

Table with columns SYMBOL, QTY, LABEL. ARE-EDR-3MB-R5-04-E-UL-BK-700-57K

Table with columns SYMBOL, QTY, LABEL. ARE-EDR-3MB-R5-04-E-UL-BK-700-57K

Table with columns SYMBOL, QTY, LABEL. ARE-EDR-3MB-R5-04-E-UL-BK-700-57K

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Accessories table with columns Item, Description, Value.

Ordering Information table with columns Part No., Description, Price.

Technical specifications table with columns Part No., Description, Price.



Technical specifications table with columns Part No., Description, Price.



CANOPY PRODUCT INFORMATION

Table with columns SYMBOL, QTY, LABEL. CAN-228-SL-RM-09-E-UL-WH-700-57K

Table with columns SYMBOL, QTY, LABEL. CAN-228-SL-RM-09-E-UL-WH-700-57K (SWITCH SETTING 3)

Table with columns SYMBOL, QTY, LABEL. CAN-228-SL-RM-09-E-UL-WH-700-57K

228 Series™ LED Recessed Canopy Luminaires

Product Description: Slim, low profile, easy-mounting from below or above the deck. Luminaires are rugged cast aluminum with high performance aluminum heat sink and weatherproof LED driver component.

Performance Summary table with columns Item, Description, Value.

Accessories table with columns Item, Description, Value.

Ordering Information table with columns Part No., Description, Price.

Technical specifications table with columns Part No., Description, Price.



Technical specifications table with columns Part No., Description, Price.



SOFFIT PRODUCT INFORMATION

Table with columns SYMBOL, QTY, LABEL. KR6-30L-40K-120V-10V + KR6T-SSGC-WF

Table with columns SYMBOL, QTY, LABEL. KR6-30L-40K-120V-10V + KR6T-SSGC-WF

Table with columns SYMBOL, QTY, LABEL. KR6-30L-40K-120V-10V + KR6T-SSGC-WF

KR Series LED Recessed Downlight - Round 4"

Product Description: The KR Series LED Recessed Downlight features Cree's ProLight™ technology and features a sleek, high quality light with adjustable up to 15° beam angle. Designed for new construction applications, the KR Series is available in a variety of beam spreads, beam angles, and color temperatures.

Performance Summary table with columns Item, Description, Value.

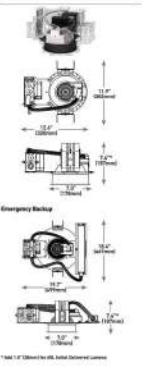
Accessories table with columns Item, Description, Value.

Ordering Information table with columns Part No., Description, Price.

Technical specifications table with columns Part No., Description, Price.



Technical specifications table with columns Part No., Description, Price.



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RL-5964-S1-R2

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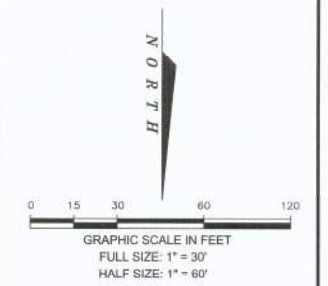
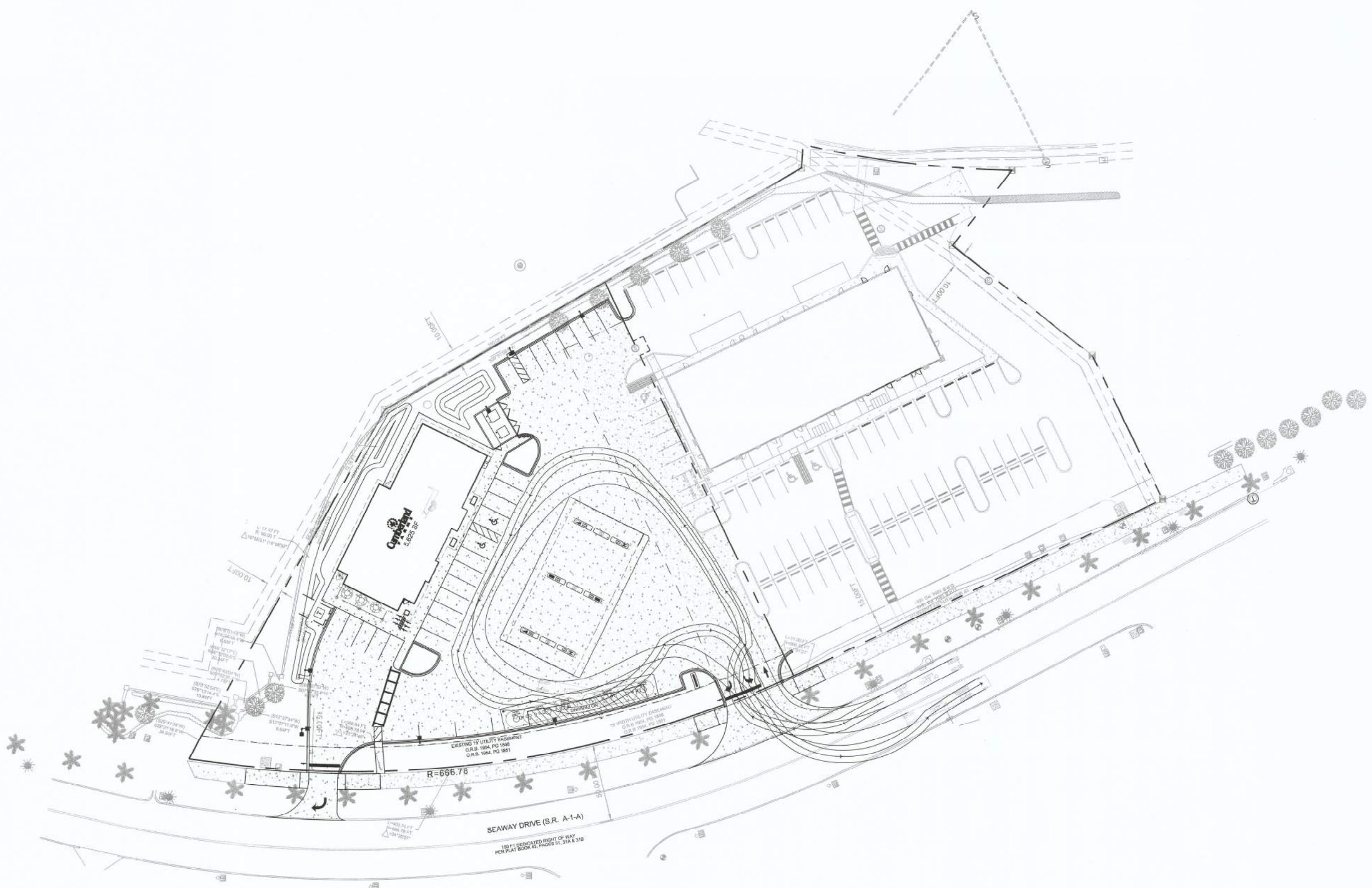
835 SEAWAY DR FT. PIERCE, FL 34949

SITE LIGHTING PLAN DETAILS

Table with columns Scale, Designed, Drawn, Checked, Authorized, Original Size, Date, Date, Date, Date, Drawing Number, Revision.

Inches
0 1/4 1/2 1 1 1/2 2

User: FN84400
\\tumba10001\civ\PROJECTS\PROJECTS\00062844 - CF - 801\Seaway (Ft. Pierce)\10 CAD\CFG16.0 - SITE PLAN.dwg



LEGEND AND ABBREVIATIONS

PROP.	PROPOSED
RPM	REFLECTIVE PAVEMENT MARKER
TYP.	TYPICAL
SQ. FT.	SQUARE FEET
ROW	RIGHT OF WAY
PGD	PAVING, GRADING AND DRAINAGE
CONC.	CONCRETE
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	PROPOSED CONCRETE SIDEWALK & PADS
	EXISTING PROPERTY/ROW LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	TRANSFORMER PAD
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JEFFREY LUCAS, P.E.
FLORIDA REG. NO. 71021

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 TAMPA, FLORIDA 33607
 FBPR CERTIFICATE OF AUTHORIZATION NO.24
 www.atkinsglobal.com

Client:

 CUMBERLAND FARMS INC.
 165 FLANDERS ROAD
 METROPOLE, VA 01081

Project Title:
 835 SEAWAY DR
 FT. PIERCE, FL 34949

Drawing Title:
TURNING MOVEMENT PLAN

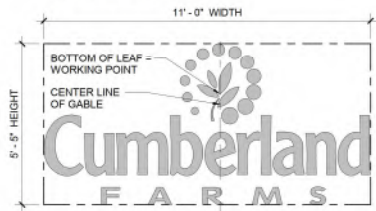
Scale	Designed	Drawn	Checked	Authorized
Original Size	JAL	DF		
ARCH D	Date	Date	Date	Date

Drawing Number: **CFG16.0**

WALL SIGNAGE SPECIFICATION

CUSTOM FABRICATED INTERNALLY ILLUMINATED SIGN THAT IS SUPPLIED BY OWNER AND IS INSTALLED BY SIGN VENDOR.

SIGN AREA = 37.6 SF



EXTERIOR FINISH SCHEDULE

MARK	DESCRIP.	MANUF.	MODEL	COLOR	NOTES
CS-1	CULTURED STONE	BORAL	COUNTRY LEDGESTONE	ECHO RIDGE	INSTALL DRYSTACK ONLY
FB-1	FIBERGLASS COLUMN SHROUD	PACIFIC COLUMNS	-	WHITE	16"x9" ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH.
MT-1	METAL STANDING SEAM ROOF	-	-	PREFIN. B.D.	-
GU-1	ALUMINUM GUTTER SYSTEM	ATAS	.032	WHITE	PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MANUF. INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D. PROVIDE SUPPORT STIFFENERS AT 12" MIN. O.C. GUTTER SHALL BE SEAMLESS & 6" MIN.
SW-1	SYNTHETIC WOOD TRIM	CERTAINTED	-	WHITE	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. G.C. TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
SW-2	SYNTHETIC WOOD TRIM	CERTAINTED	-	GREEN	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. G.C. TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
FC-1	FIBER CEMENT SIDING	JAMES HARDIE	HARDIEPLANK	PREFIN. TBD	6" EXPOSURE. CEDARMILL FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.
FC-2	FIBER CEMENT SHINGLES	JAMES HARDIE	HARDIESHINGLE	PREFIN. TBD	5" EXPOSURE. STRAIGHT EDGE PANEL. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.



3 FRONT SIDE PERSPECTIVE - SD



2 LEFT SIDE ELEVATION - SD
3/16" = 1'-0"



1 FRONT ELEVATION - SD
3/16" = 1'-0"



HARRISON FRENCH & ASSOCIATES, L.T.D.
1 508.528.0770
51 Hayward Street
Franklin, Massachusetts 02038
www.hfa-ar.com

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Cumberland FARMS
Store # TBD
VSH # TBD
Oracle # FL8719
801 Seaway
Fl. Pierce, FL 34949
JOB NUMBER: 411-18-0220

ISSUE BLOCK

90% CDs	08/30/18

CHECKED BY: Checker
DRAWN BY: Author

EXTERIOR ELEVATIONS

SHEET: **A-200**

18/02019 1:28:10 PM
C:\Users\hfr\OneDrive\Documents\18\18-0220\AMEL\17\Plan\Sheet_A-1E.dwg
C:\Users\hfr\OneDrive\Documents\18\18-0220\AMEL\17\Plan\Sheet_A-1E.dwg

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Store # TBD
VSH # TBD
Oracle # FL8719
801 Seaway
Fl. Pierce, FL 34949
JOB NUMBER: 41-18-0220

ISSUE BLOCK

CHECKED BY: Checker
DRAWN BY: Author

EXTERIOR ELEVATIONS

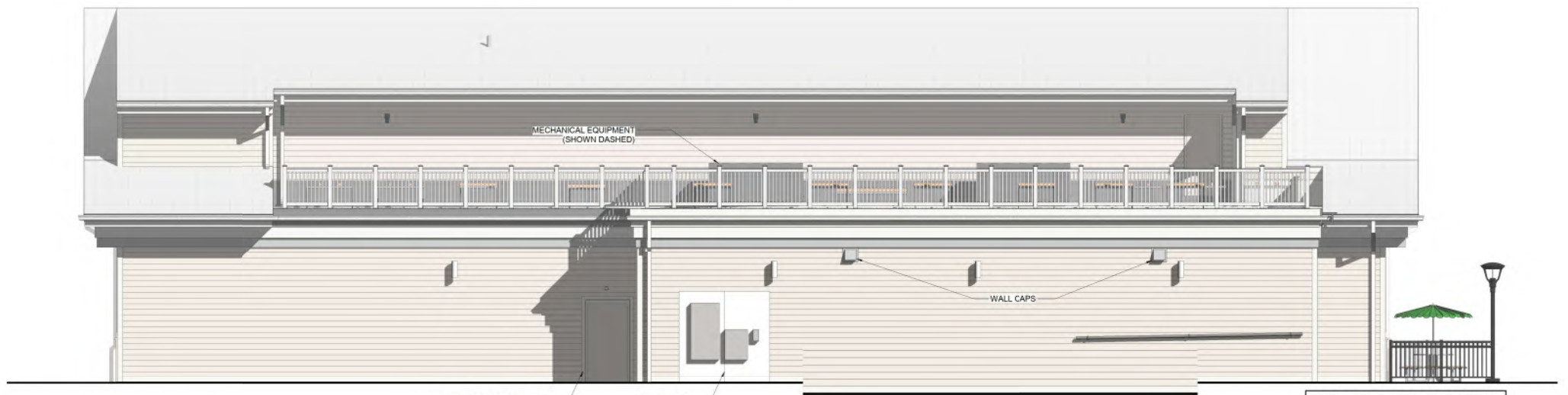
SHEET: A-201



3 REAR SIDE PERSPECTIVE - SD



2 RIGHT SIDE ELEVATION - SD
3/16" = 1'-0"



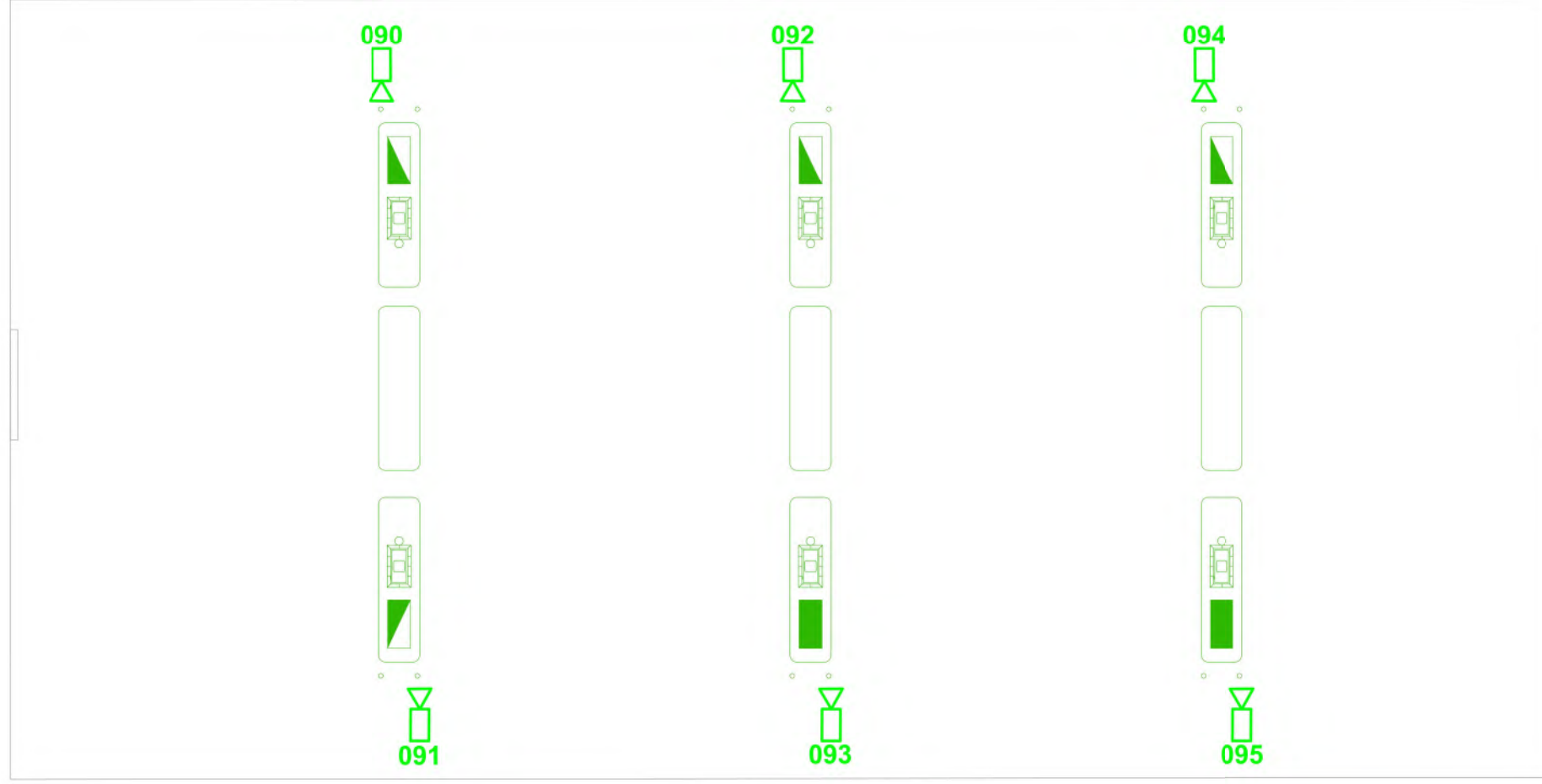
1 REAR ELEVATION - SD
3/16" = 1'-0"

8/20/2019 10:24:47 AM
C:\Users\hfr\OneDrive\Documents\2019\Rear Elevation\18-0220_AREDA\17_Plan_Sheet_1.rvt and elevation
17-0220_AREDA.rvt



SECURITY LEGEND

 EXTERIOR BULLET CAM



REVISIONS

NO.	DATE	BY	REVISION

ECI SYSTEMS

68 STILES ROAD, UNIT C
 SALEM, NH 03079
 (603) 639-2086 • www.eciintegrated.com

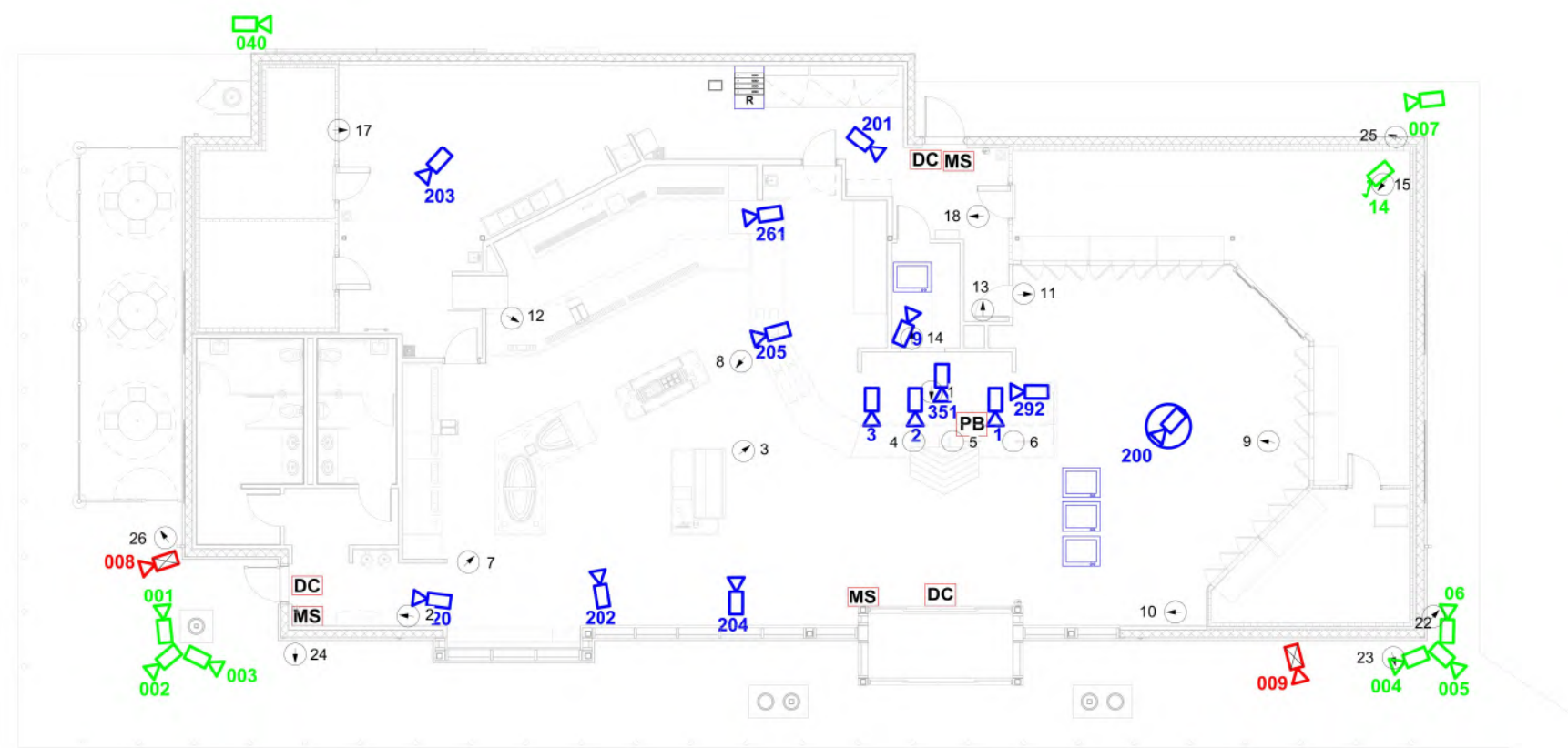
CAMERA LAYOUT - GAS PUMPS

PROJECT: CUMBERLAND FARMS STORE
 CLIENT: CUMBERLAND FARMS FORT PIERCE, FL

JOB NO.
 DWG. NO.

SEC02

DRAWN BY: DB
 CHECKED BY: JC
 SCALE: N.T.S.
 DATE: 4/3/2019



SECURITY NOTES

SPOT MONITOR IS TO CONTAIN THE FOLLOWING VIEWS:

- BEER CAVE
- SIDE DOOR/RESTROOMS
- ENERGY DRINK DOOR
- CANDY

SECURITY LEGEND

- EXTERIOR MULTI-SENSOR DOME
- EXTERIOR 2MP DOME
- INTERIOR 360 DOME
- INTERIOR FIXED DOME
- DC DOOR CONTACT
- MS MOTION SENSOR
- NETWORK RACK AND NVR LOCATION
- SECURITY MONITOR
- EXTERIOR 22MM LICENSE PLATE CAMERA

REVISIONS

NO.	DATE	BY	REVISION

ECI SYSTEMS

68 STILES ROAD, UNIT C
 SALEM, NH 03079
 (603) 639-2086 • www.eciintegrated.com

CAMERA LAYOUT - STORE

CUMBERLAND FARMS STORE
 CUMBERLAND FARMS
 FORT PIERCE, FL

JOB NO.
 DWG. NO

SEC01

DRAWN BY: DB
 CHECKED BY: JC
 SCALE: N.T.S.
 DATE: 4/23/2019



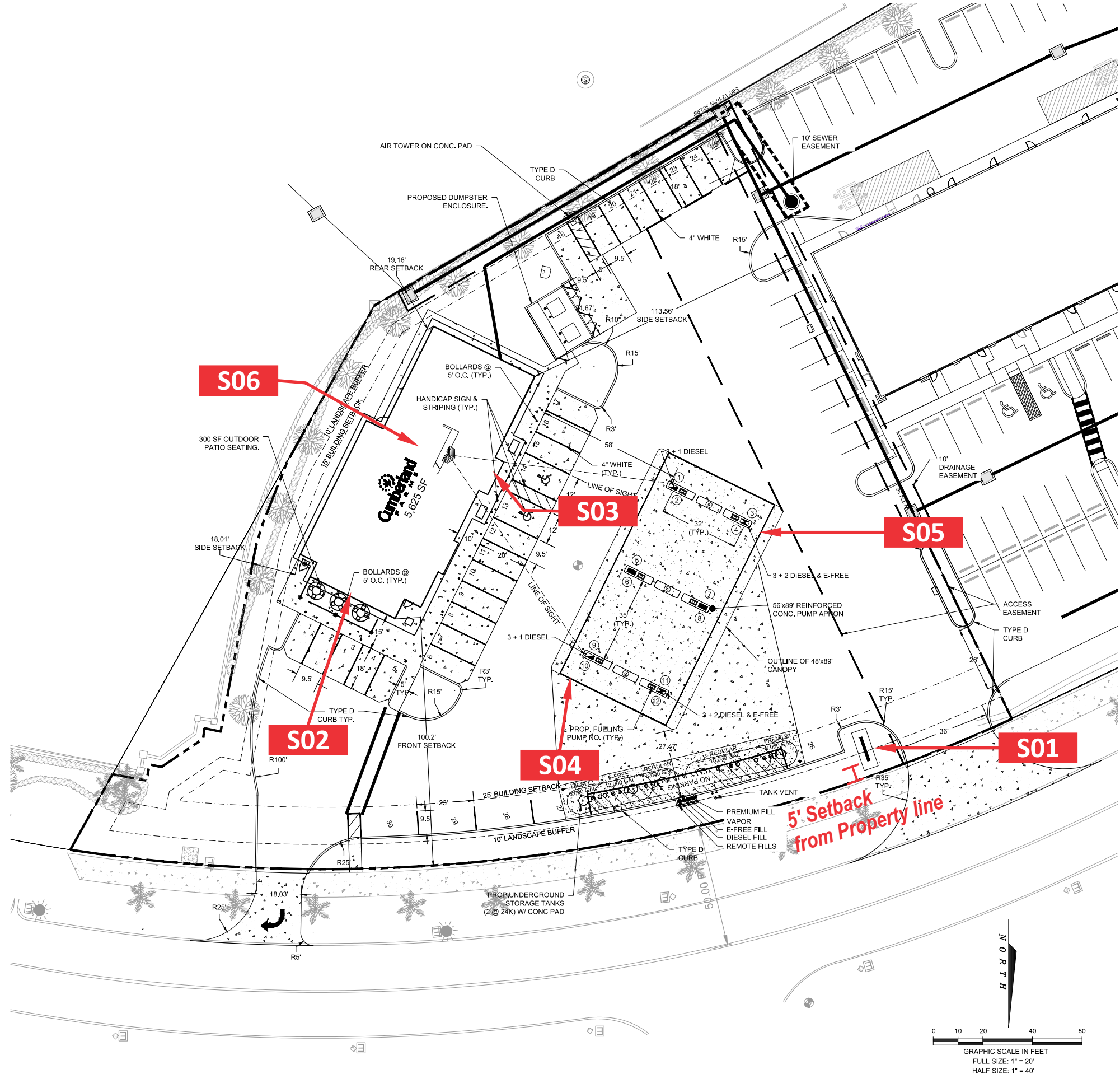
Location #835
801 Seaway Dr
Fort Pierce, FL

SO #99677
Created: 03.07.2019
Revised: 04.25.2019



National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Site Plan



Revisions:	
...	...
...	...
...	...
...	...
...	...
...	...

SP

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-SP



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Pylon | Custom 10'

Continued on next page

Action:

- Manufacture and Install new pylon as shown.
- Customer to provide LED pricer units.



Material & Color:

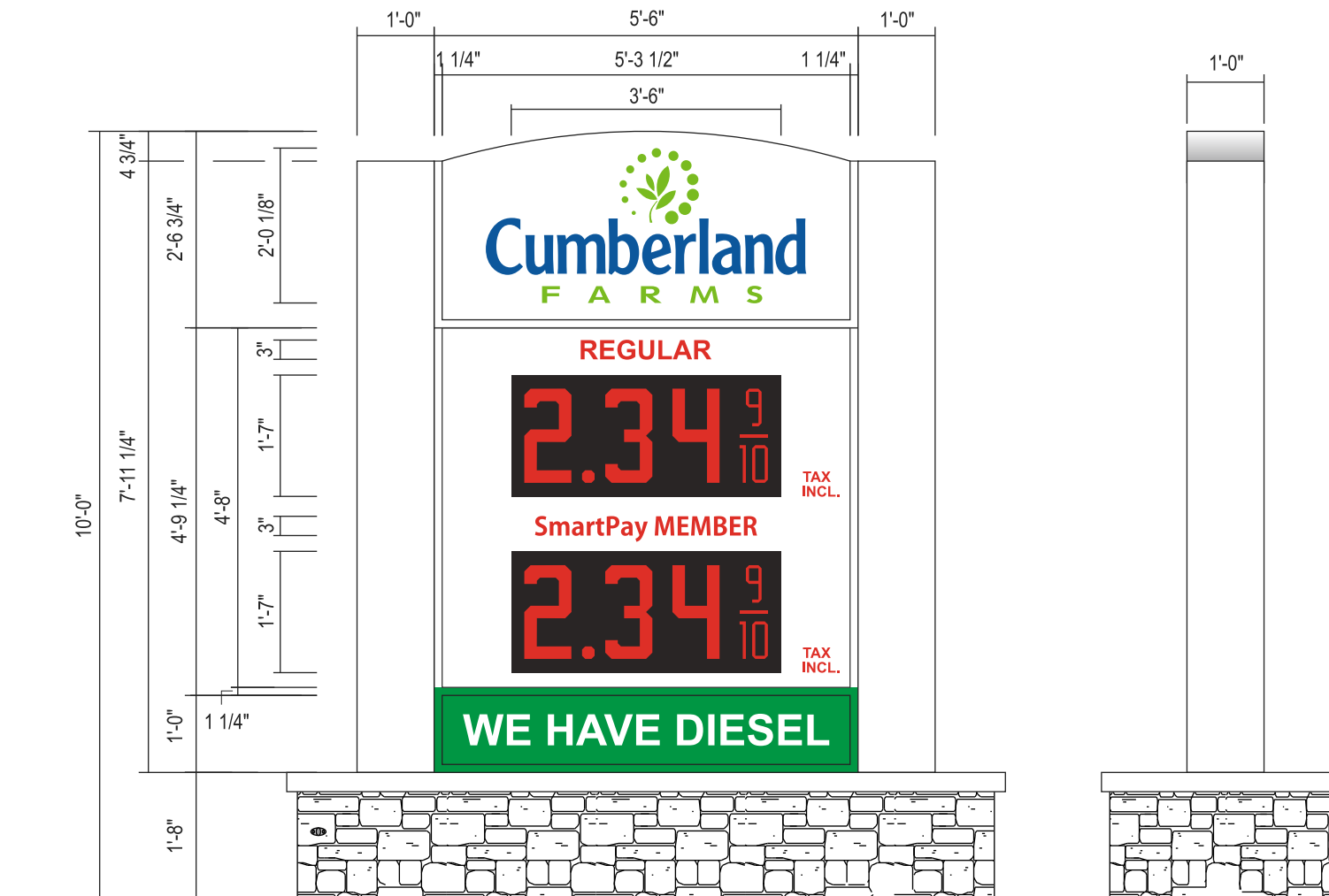
C1 Pantone Color: 301C
 Opaque Vinyl: 3M Vivid Blue 180C-17
 Translucent Vinyl: 3M Bristol Blue 3630-97

C2 Pantone Color: 376C
 Opaque Vinyl: 3M Apple Green 180C-198
 Translucent Vinyl: 3M Brilliant Green 3630-106
 Green ACM: Alcoa Reynobond Duragloss 3000 Outrageous Green

C3 Paint Color: Cumberland Farms White
 matches Alcoa Shell White (300G B-10, .1g B-44)

C4 Pantone Color: 186C
 Opaque Vinyl: 3M Geranium Red 180C-63
 Translucent Vinyl: 3M Cardinal Red 3630-53

C5 Opaque Vinyl: 3M Bright Green 186
 Translucent Vinyl: 3M Vivid Green 3630-156



Code: NTE 10' OAH
 Setback requirement: 5' from property line.
 Proposed: 45.7 Sq Ft



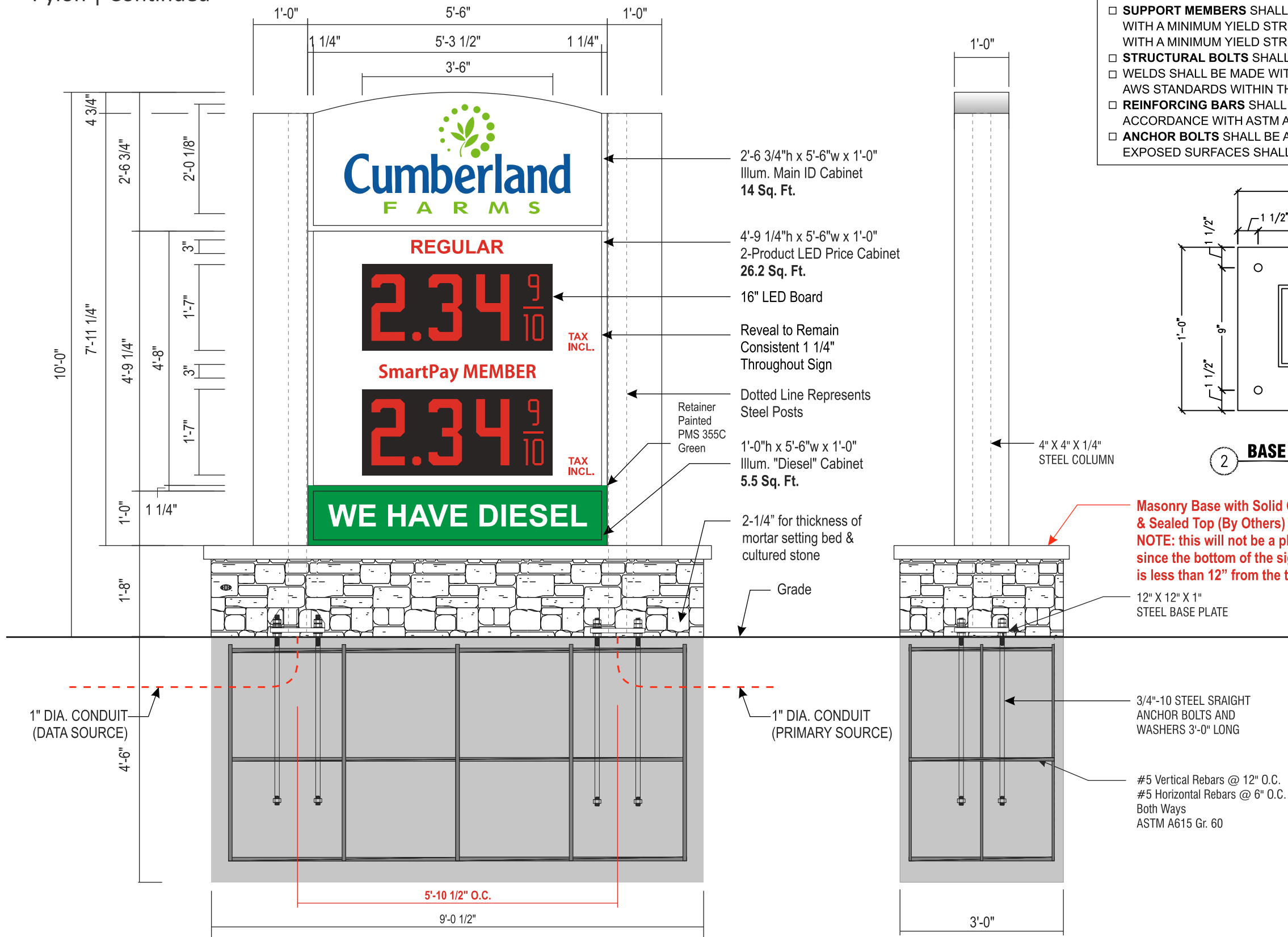
National Headquarters: 1077 West Blue Heron Blvd.
 West Palm Beach, Florida 33404
 800.772.7932
 www.atlasbtw.com

Revisions:	
Revised pylon 04.08.2019 TLD	...
Revised to 10' Tall pylon per code 04.25.2019	...
...	...
...	...
...	...

S1.0

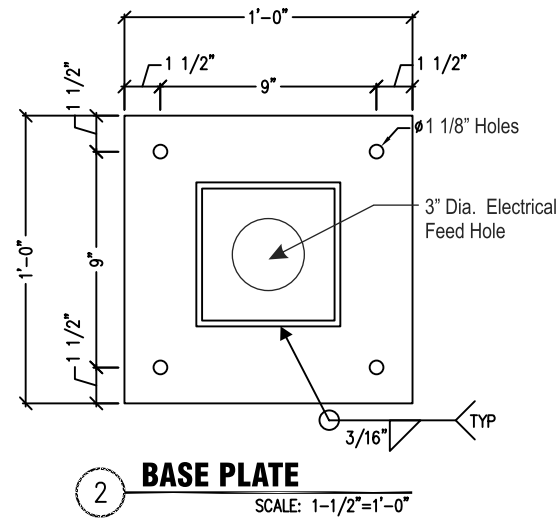
PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S1.0

Pylon | Continued



STRUCTURAL STEEL SPECIFICATIONS:

- **SUPPORT MEMBERS** SHALL BE FREE FROM DEFECTS. TUBE SHALL MEET ASTM A500 GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46000 PSI. PIPE SHALL MEET ASTM A53 GRADE B, WITH A MINIMUM YIELD STRENGTH OF 35000 PSI. PLATE AND ANGLE SHALL MEET ASTM A36.
- **STRUCTURAL BOLTS** SHALL BE ZINC COATED A325 UNLESS OTHERWISE NOTED.
- **WELDS** SHALL BE MADE WITH E70XX ELECTRODES BY PERSONS QUALIFIED IN ACCORDANCE WITH AWS STANDARDS WITHIN THE PAST TWO YEARS.
- **REINFORCING BARS** SHALL CONFORM TO ASTM A615 GRADE 60 WITH DEFORMATIONS IN ACCORDANCE WITH ASTM A-305. WELDING OF REINFORCING BARS IS PROHIBITED.
- **ANCHOR BOLTS** SHALL BE ASTM F1554-07 GRADE 55 ROUND STOCK. EXPOSED SURFACES SHALL BE GALVANIZED OR HAVE BITUMINOUS COATING TO PREVENT CORROSION.



AREA/WEIGHT	
SIGN SQUARE FOOTAGE	80 SQ. FT.
ESTIMATED SIGN WEIGHT	840 LBS.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.

SIGN BASED ON DESIGN LOADS: 2014 FLORIDA BUILDING CODE, SECTION 16 WIND LOAD. RISK CATEGORY II. EXPOSURE C. ASCE 7-10, 150 mph. SOIL RESISTANCE 150 psf/ft

FOUNDATION NOTE:
3000 PSI CONCRETE @ 28 DAYS
2000 PSF SOIL BEARING
150 PSF/FT SOIL LATERAL BEARING
UNDISTURBED SOIL

ELECTRICAL			
AMPS:	7	AMPS	
V.A.:	120	VOLTS	WATTS: 840
CIRCUITS:	2-20 amp CIRCUIT		

NOTE: EMU TO HAVE A DEDICATED 20 AMP CIRCUIT



D.F. ILLUMINATED PYLON - 45.7 SQ. FT.

QTY: 1

SCALE: 1/2"=1'-0"



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Revisions:	
Revised pylon 04.08.2019 TLD	...
Revised to 10' Tall pylon per code 04.25.2019	...
...	...
...	...
...	...

S1.1

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S1.1

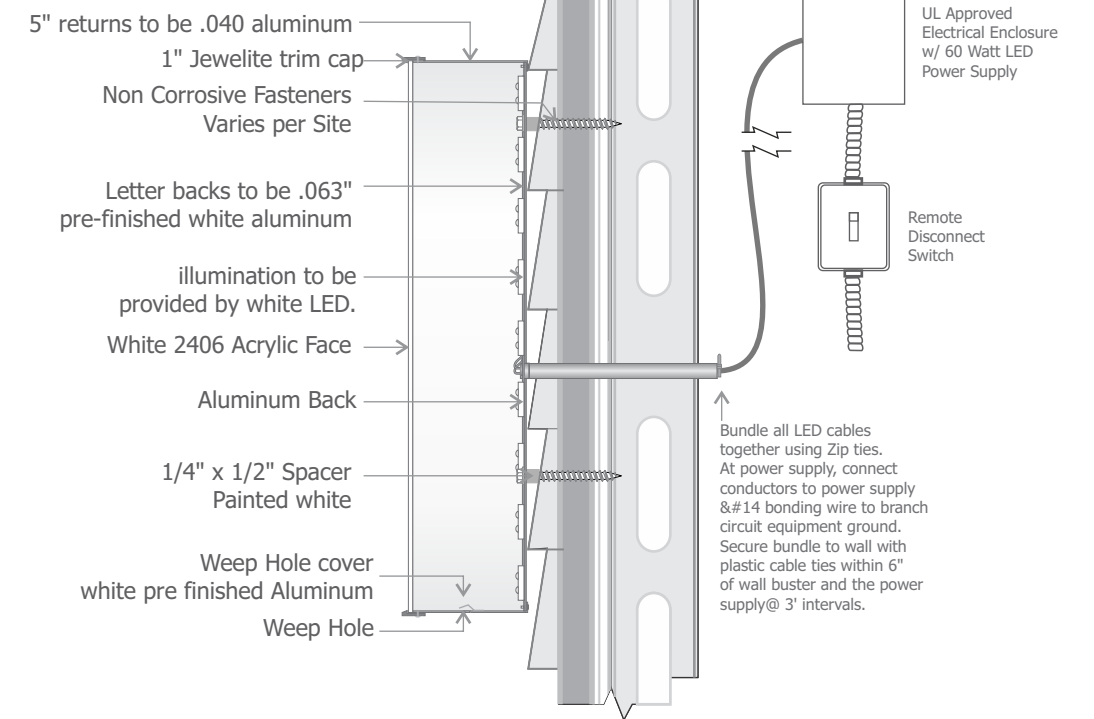
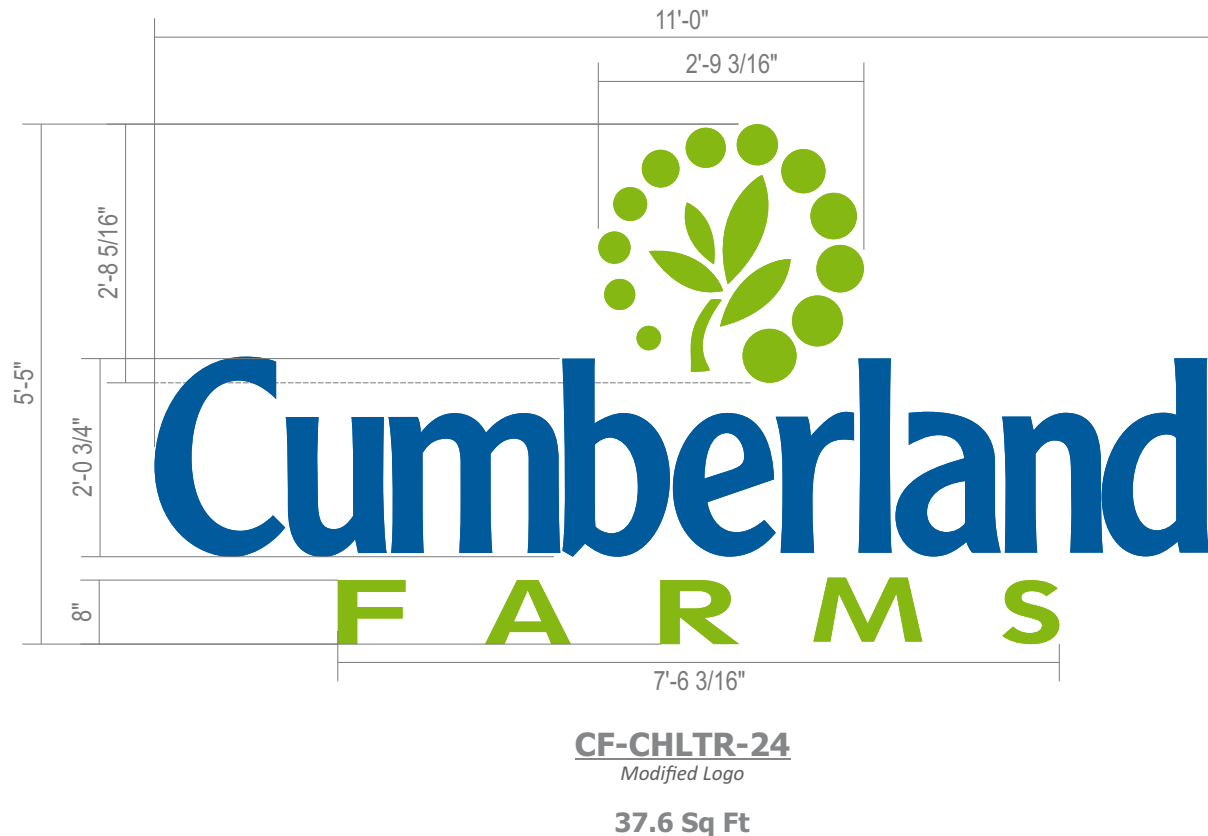
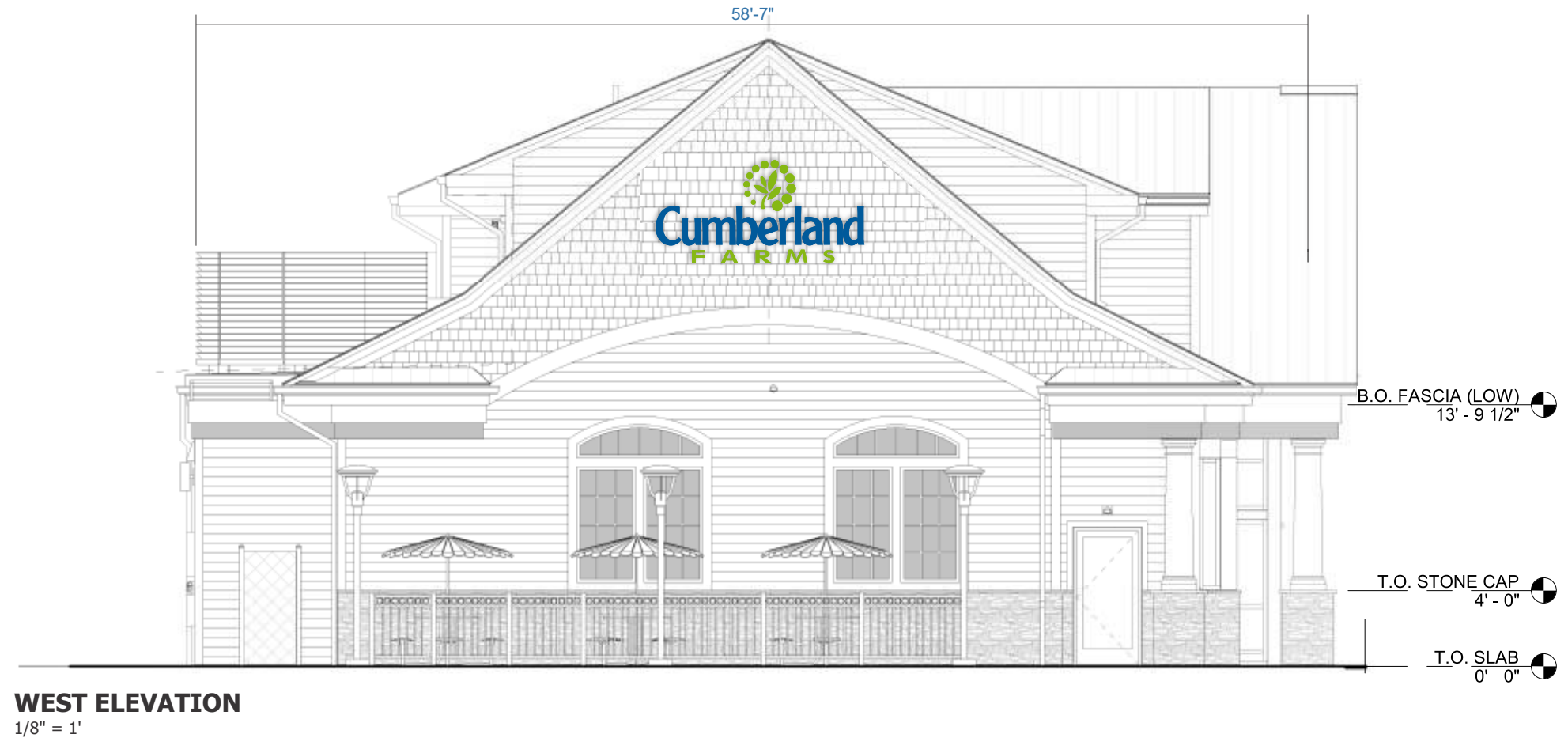
Channel Letters | Remote (West Elevation)

Action:

- Install new letterset as shown.
- Channel letters to be mounted to clapboard siding with non corrosive hardware and standoffs.
- All holes and seams to be sealed and caulked.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Returns - Painted to match PMS 301C
- Returns = Painted to match PMS 376C
- Trim Cap - Blue Jewelite
- Trim Cap = Green Jewelite
- Faces - 2406 White Acrylic
- Illumination - White LED



Scale 1:30



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Revisions:	
Revised letterset 03.26.2019 TLD	...
...	...
...	...
...	...
...	...

S02

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S02

Channel Letters | Remote

Action:

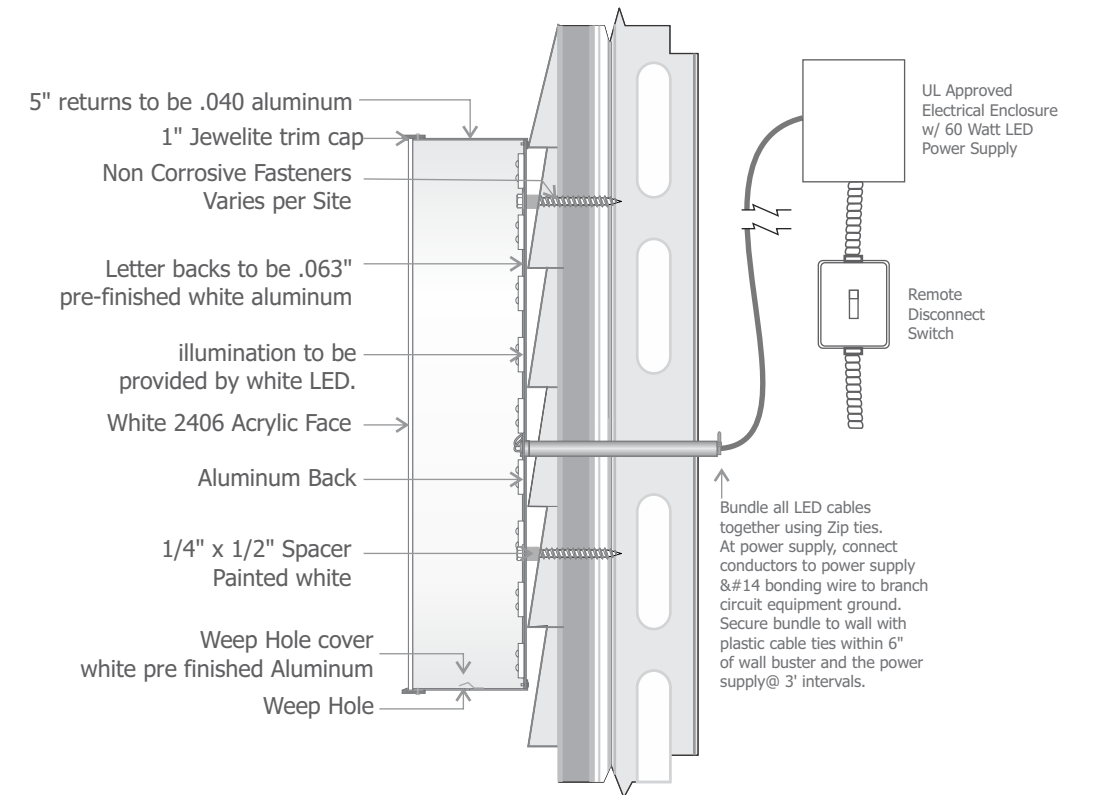
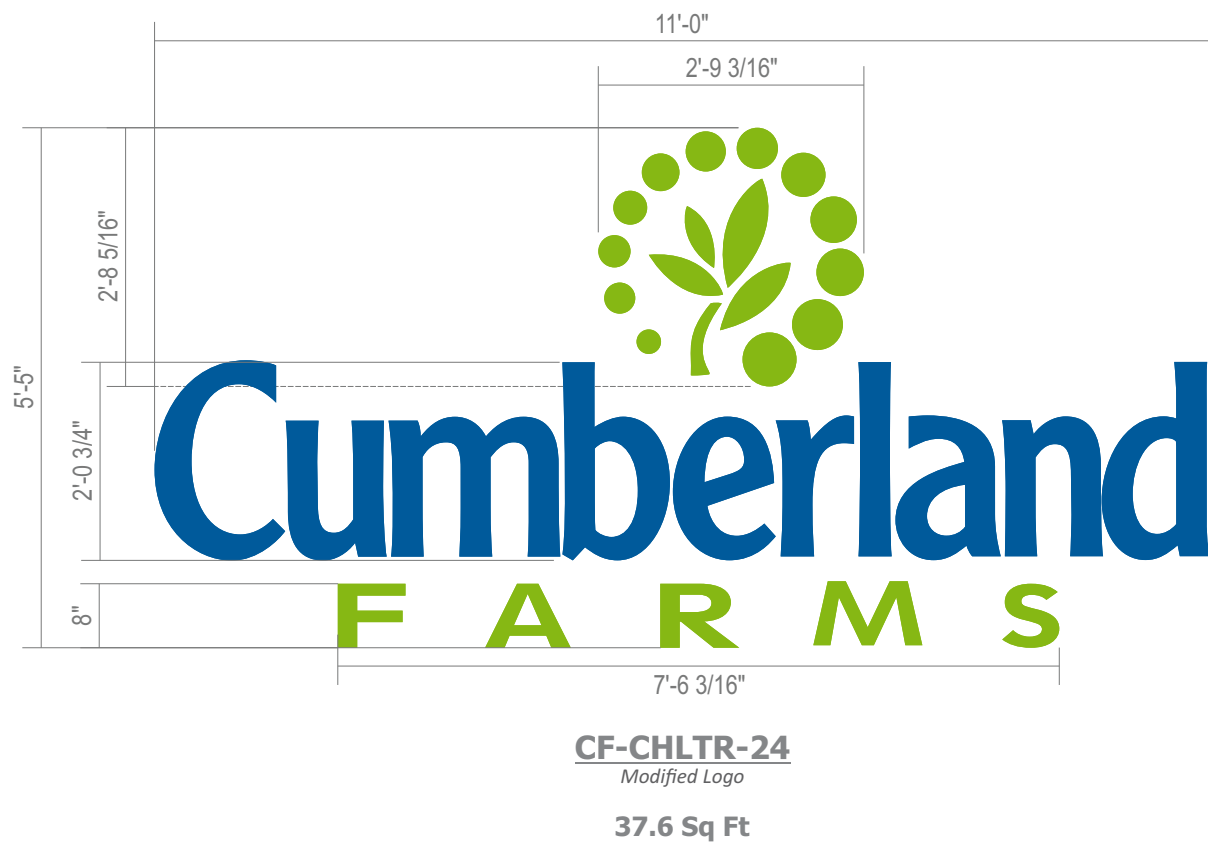
- Install new letterset as shown.
- Channel letters to be mounted to clapboard siding with non corrosive hardware and standoffs.
- All holes and seams to be sealed and caulked.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Returns - Painted to match PMS 301C
- Returns = Painted to match PMS 376C
- Trim Cap - Blue Jewelite
- Trim Cap = Green Jewelite
- Faces - 2406 White Acrylic
- Illumination - White LED



NORTH ELEVATION
3/32" = 1'



Scale 1:30



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Revisions:

Added 03.14.2019 TLD	...
Revised letterset 03.26.2019 TLD	...
Revised per code 04.25.2019 TLD	...
...	...
...	...

S03

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S03

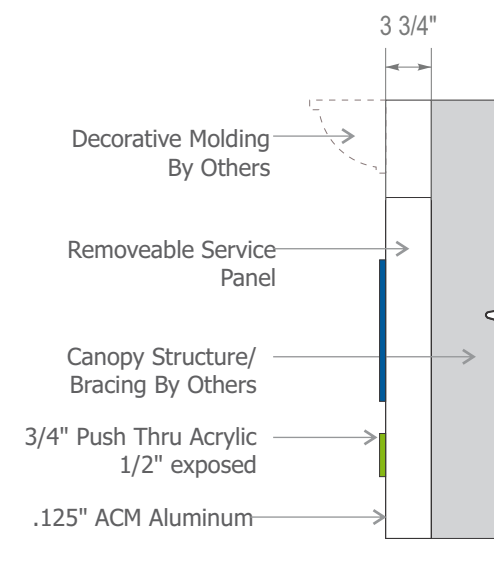
Illuminated Canopy Sign | Left

Action:

- Install new internally illuminated canopy sign.
- Canopy sign to be ACM aluminum with routed push through faces. Mounted to canopy with non corrosive fasteners.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Push Thru Faces - Clear Acrylic
- Aluminum - Painted Alcoa-Shell White
- Illumination - White LED



CF-CAN-18-LED-LH
11.0 Sq Ft



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Revisions:	
Revised placement 03.26.2019 TLD	...
...	...
...	...
...	...
...	...

S04

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S04

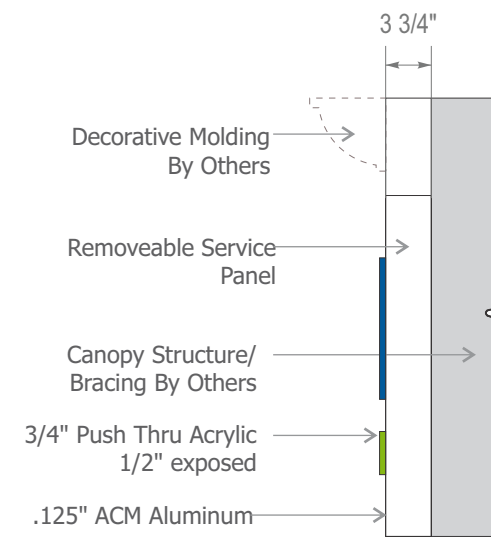
Illuminated Canopy Sign | Right

Action:

- Install new internally illuminated canopy sign.
- Canopy sign to be ACM aluminum with routed push through faces. Mounted to canopy with non corrosive fasteners.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Push Thru Faces - Clear Acrylic
- Aluminum - Painted Alcoa-Shell White
- Illumination - White LED



CF-CAN-18-LED-RH
11.0 Sq Ft



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West Palm Beach, Florida 33404
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Revisions:	
Added 03.14.2019 TLD	...
...	...
...	...
...	...
...	...

S05

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S05

Interior Low Profile Face Lit Letters | Remote (Interior Elevation)

Action:

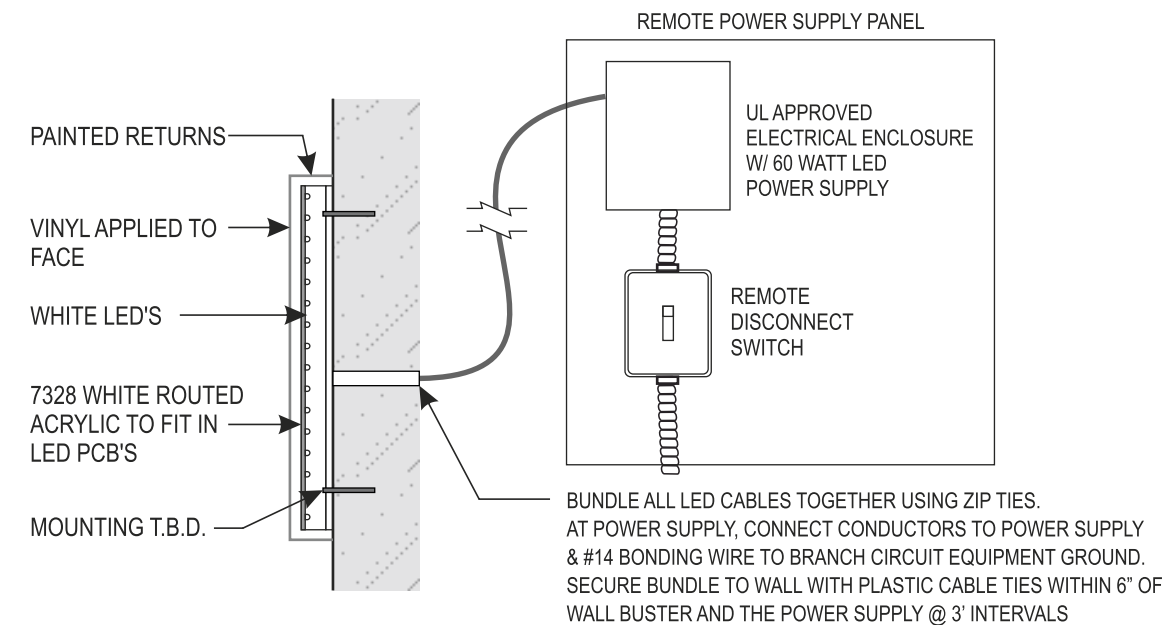
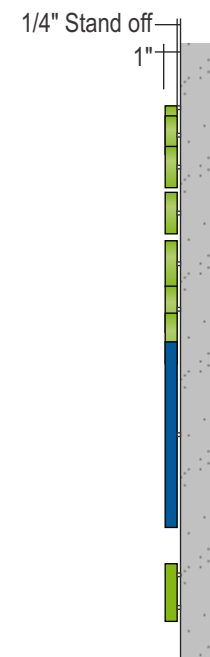
- Install new letterset as shown.
- Letterset to be 1" deep clear acrylic with 1/2" pocket routed out for LEDs.
- Vinyl applied to face of letters. Returns to be painted to match specs below. Letter backs to have .040" aluminum applied to back. Letterset to be stud mounted to wall with 1/4" spacers.

Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Returns - Painted to match PMS 301C
- Returns = Painted to match PMS 376C
- Clear Acrylic
- Illumination - White LED



CF-LPLTR-24
Modified Logo



Revisions:	
Added 03.14.2019 TLD	...
...	...
...	...
...	...
...	...

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S06







Atkins North America, Inc.
7175 Murrell Road
Melbourne, Florida 32940

Telephone: +1.321.242.4942
Fax: +1.321.242.6101

www.atkinsglobal.com/northamerica

May 22, 2019
Brandon Creagan
LEED Green Associate, Planner
100 North US 1
Fort Pierce, FL 34950
Phone: (772) 467-3742

Technical Review Project Number: # 19-43900002
Project Name: **Cumberland Farms 835 Seaway Drive**

RE: DEVELOPMENT & DESIGN REVIEW (MAJOR AMENDMENT TO PD)

We are pleased to provide you with our responses below in bold to address comments provided on April 17, 2019 for the above-mentioned project.

GENERAL COMMENTS

1. The project boundaries do not coincide with a recent plat submittal for subdivision of Tract D-1; please modify the site plan accordingly, specifically the eastern and northern property lines.
Response: Boundaries have been revised to match. See Site Plan sheet CFG04.0 and revised survey.
2. Add a note to the site plan specifying the relocation of the two (2) SR A1A streetlights and one (1) royal palm tree must be coordinated with the City of Fort Pierce Engineering Department.
Response: Per discussion with Tracy Telle, noting these items on the plans as by others is sufficient to address this comment.
3. Relocate all parking from within the limits of the 53.17' Access Easement in accordance with the requirements specified in the recorded agreement; refer to ORB 4185, Page 1545, or provide a revised recorded Access Easement permitting parking.
Response: Per discussion with Tracy Telle on May 21, a revised Access Easement Agreement will be noted as a condition of site plan approval.
4. It does not appear that the appropriate landscape buffers are in place between the building and the proposed detention area; refer to Code of Ordinances Section 22-187(4).
Response: Drainage plan has been revised to include a 10' buffer between the building and the area designated as dry retention.
5. All detention and retention areas are required to be screened with a 36" hedge per City of Fort Pierce Code of Ordinances Section 17-34; please revise the landscape plan accordingly.
Response: Landscape plan has been revised to include hedge screening.

6. The new detention area appears to encroach into the existing oak trees root system as the trees will be located within the detention bank; how will this be accomplished without damaging the root system and ultimately the trees?

Response: The trees will be removed and replaced to just outside the top of bank of detention to be between the wall and detention.

7. The demolition plan reflects the removal of six (6) oak trees along the southern property line yet the landscape plan identifies four (4) of these oak trees to remain, please identify the size of these trees and provide the appropriate mitigation calculations.

Response: Landscape plans and Demolition Plan have been revised to match.

8. The submitted traffic report inaccurately identified Seaway Drive as a four-lane roadway between Indian River Drive and Harbour Isle Drive (refer to Exhibits 2 thru 5). The applicant shall revise the exhibits and applicable roadway/intersection analysis to reflect Seaway Drive as a two-lane roadway east of Causeway Cove Marina located near the base of the bridge.

Response: See Traffic Study Response to Comments Letter.

9. Relocate the proposed site lights situated at the two driveways, from within the limits of the 15' Utility Easement.

Response: Site lighting has been moved out of the easement, see CFG10.0, Photometric Plan.

10. Remove the mitered endwalls and culvert pipe from the two driveways, as the SR A1A drainage system is void of roadside swales.

Response: Culverts and mitered end sections have been removed from the right of way on all affected sheets.

11. Add a stop sign and stop bar to the eastern driveway.

Response: Stop bar and Stop sign have been added to the eastern driveway.

12. Advisory Comment: The traffic study submitted to FDOT for pre-approval was based on an additional access through the Harbour Isle development. How will the elimination of this ingress/egress access affect the traffic flow along Seaway Drive? During review of the Site Work application, the applicant will be asked to provide a copy of the FDOT Access permit issued based on the updated traffic study

Response: See Traffic Study Response to Comments Letter.

If you require any additional information or have any questions, please contact me at (321) 775-6647 or Jeff.Lucas@atkinsglobal.com. We look forward to having a great project come to fruition.

Sincerely,



Jeff Lucas, P.E.
Senior Engineer/Project Manager, Civil



Atkins North America, Inc.
7175 Murrell Road
Melbourne, Florida 32940

Telephone: +1.321.242.4942
Fax: +1.321.242.6101

www.atkinsglobal.com/northamerica

April 29, 2019
Brandon Creagan
LEED Green Associate, Planner
100 North US 1
Fort Pierce, FL 34950
Phone: (772) 467-3742

Technical Review Project Number: # **19-43900002**
Project Name: Cumberland Farms 835 Seaway Drive

RE: DEVELOPMENT & DESIGN REVIEW (MAJOR AMENDMENT TO PD)

We are pleased to provide you with our responses below in bold to address comments provided on April 17, 2019 for the above-mentioned project.

GENERAL COMMENTS

1. The site plan denotes a 23 foot tall sign along Seaway Drive. Per City Code 15-6(b)(3)(a), Sites that are less than or equal to three (3) acres shall have a maximum sign height of ten (10) feet. Because this project is in a Planned Development a Variance would not be allowed. Please adjust the height so that both the planter and sign are no more than 10 feet combined. Please note that all signs will be approved separately under individual Building Permits.
Response: Sign plan has been revised to show a 10' max height, see Sign Drawing.
2. Provide documentation of the proposed cross access agreement with the adjacent property owner.
Response: A draft copy will be provided once it becomes available for review.
3. A lighting plan or photometric survey that is consistent with City Code 22-60(j)(1)(a) will be required at the time of Building Permit.
Response: Photometric plan and site plan details included in CFG10.0 and CFG10.1 respectively.
4. Advisory Comment: If possible please provide trip generation numbers for the current Cumberland Farms Site to compare the number of trips on the current site to the number of anticipated trips on the proposed site.
Response: See included traffic study by Mackenzie dated April 19, 2019.
5. Provide bike parking pursuant to City Code 22-60 (f)(1)(a)
Response: Bike parking included on site and shown on sheet CFG04.0, Site Plan.

FORT PIERCE ENGINEERING DEPARTMENT

1. Update the site plan to identify all property boundary dimensions and bearings.
Response: Please see updated site plan, CFG04.0.
2. The site plan shall include a legal description of the property.
Response: Legal description provided on Cover sheet.
3. The project boundaries do not coincide with a recent plat submittal for subdivision of Tract D-1; please modify the site plan accordingly.
Response: Boundary callouts have been revised to be consistent with latest plat submission, see Sheet CFG04.0, Site Plan.
4. The survey submitted was not certified nor did it identify all recorded easements situated within the limits of the property. Please update the survey to include project boundaries per the recently submitted plat documents, recorded easements, total site area, and any other pertinent information as specified Section 17-27 of the City of Fort Pierce Code of Ordinances.
Response: Certified ALTA survey is included with this submittal.
5. Update the site plan to reflect all impacted existing improvements (streetlights, palm trees, etc.) located with SR AIA and the proposed relocation these items.
Response: All impacted existing improvements shown on demolition plan sheet CFG03.0
6. Relocate the northeastern detention area to the rear of the property as specified in the City of Fort Pierce Code of Ordinances Section 17-34(c).
Response: The northeastern detention pond has been removed from the current plans. A conveyance swale has been added to pick up sheet flow and route to the rear dry detention pond.
7. Relocate all parking from within the limits of the 53.17' Access Easement in accordance with the requirements specified in the recorded agreement; refer to ORB 4185, Page 1545.
Response: The easement language will be modified to included provisions for this parking, or the limits of the easement will be changed. A draft easement will be provided when it becomes available.
8. Provide a copy of the Auto-Turn analysis depicting the movements of a fuel tanker truck servicing the fuel tanks.
Response: Auto turn analysis performed and provided on Turning Movements Plan, Sheet CFG16.0.
9. Provide a copy of the traffic report supporting the specified peak hour traffic as specified on the submitted Transportation Analysis. The report shall include information required under Section 22-217 for large-scale developments.
Response: See included traffic study by Mackenzie dated April 19, 2019.
10. The site plan reflects a 15' utility easement along the north side of the parcel; is this existing or proposed and to whose benefit?
Response: The easement is existing and corresponding reference to Official record is included on the latest survey, included with this submittal. See Sheet CFG02.0, Survey.

FORT PIERCE POLICE DEPARTMENT

1. Please consider moving the outdoor seating area further out (sliding the entire area towards the front of the building) to maximize the opportunity for natural surveillance of the fuel pumping area and general parking area by the users of that outdoor space.

Response: Surveillance will be provided inside and outside the store with equipment for constant monitoring to minimize blind spots where criminal activity could occur. Please see included security camera exhibit.

FORT PIERCE UTILITIES AUTHORITY

1. FPUA W/WW Engineering: Approved
Response: Thank you.
2. FPUA Electric & Gas Engineering: Approved - Both electric and fiber optic services are available to the site. Utility easement will be required for the propose FPUA facilities.

Response: A utility easement will be prepared after utilities installation and provided prior to certificate of completion.

ST LUCIE COUNTY PLANNING DEPARTMENT

1. Please provide a Traffic Impact Report for the proposed development, inclusive of driveway analysis. Based upon the projected trip generation, access points, roadway level of set vice, turn lanes may be recommended. In review of the project size and type, ITE Use Code 960, Super Convenience Market/Gas Station, based upon the independent review variable of 1,000 sq. ft. GFA, the project is estimated to generate 4707 AADT, whereas much may be pass-by, however such analysis should be conducted. Based upon the proposed traffic generation, greater capacity for vehicle stacking (in an organized fashion) is encouraged to avoid back-up into Seaway Drive.

Response: See included traffic study by Mackenzie dated April 19, 2019.

2. The City of Fort Pierce in encouraged to conduct driveway analysis of the proposed adjustment, and corresponding adjustment pending to the west, including proposed driveway location(s), internal stacking/turn lanes, proximity of the cross access driveway to the eastern parcel to the property line, future driveway location foe the par eel to the west. Restoration of internal connection would provide HI residents access without placing an external trip onto the roadway.

Response: See included traffic study by Mackenzie dated April 19, 2019.

3. What are the proposed hours of operation for this establishment? The previously approved project encompassed a neighborhood commercial use, whereas the proposal appears to be a general commercial use, increase intensity for the Planned Development, with adjacent residences. The original plan adopted placed the commercial building towards the right-of-way to provide enhancement urban design, as well as greater separation of the commercial operation from adjacent residential units. Limiting hours of operation may improve compatibility, especially with the relocated building(s).

Response: The Cumberland Farms will be open 24 hours to the public.

4. Please consider a pedestrian connection between the proposed establishment and the development considered to the west.

Response: Acknowledged.

5. Is the applicant providing a loading space/zone for deliveries of stock or fuel? The loading area is encouraged to be located outside of the front yard, but in an area which may minimize impacts to the adjacent residences.

Response: Comment noted.

6. The proposed parallel parking spaces (27-30) appear to conflict with the adjacent two-way driveway which reduces to a one-way exit, at the adjacent driveway. The spaces would cause movements against interior traffic flow.

Response: Acknowledged.

7. The alignment of the project's drive-aisle approaching the joint drive and adjacent project's northern most row of parking appear to cause an unsafe condition, if vehicles seek to traverse across this full access driveway to enter the western project:

Response: Acknowledged. The condition has been relayed to the adjacent developer for consideration.

8. The applicant is proposing a reduction in vehicular use area landscaping based upon "preserved trees" which were planted (required) as part of the PD. The trees are required and not pre-existing to the Planned Development, therefore should not be eligible. The landscape plan should be amended to reflect the required interior vehicular use area landscaping.

Response: Landscape plan has been revised to exclude these preservation trees as part of that calculation. Required Vehicular use landscaping is now provided, see Landscape Plan, Sheet CFG08.0.

9. Please review clear vision areas as it pertains to proposed driveways, landscaping, etc.

Response: Acknowledged.

If you require any additional information or have any questions, please contact me at (321) 775-6647 or Jeff.Lucas@atkinsglobal.com. We look forward to having a great project come to fruition.

Sincerely,



Jeff Lucas, P.E.
Senior Engineer/Project Manager, Civil

Fort Pierce Mayor & City Commission

Members

-
- Rufus J. Alexander, III, City Commissioner, District 1
- Jeremiah Johnson, City Commissioner, District 2
- Thomas K. Perona, City Commissioner District 2
- Reginald B. Sessions, City Commissioner, District 1

City Manager, Nick Mimms

Re: Five Determining Factors for the opposition to Cumberland Farms

- **Environmental Impact**
- **Decrease in Property Values**
- **Human Rights Act**
- **911**
- **FHA Determination**

1. Environmental Impact

Waters/gas emanating from the site i.e., “run off” of gas will be piped into our pond, not just running off into it. The long term environmental, health and safety implications cannot be overlooked.

- (a) Potential Pollution from Gas Station Runoff**
By: Bryce Franklin, Nate Braun, Jacob Monroe
7th of December, 2014

See: http://gsp.humboldt.edu/olm_2015/Courses/GSP_270_Online/PreviousClassProjects/2014_Fall/Potential%20Pollution%20from%20Gas%20Station%20Runoff.pdf

Excerpts from the above publication:

When putting gas in your car, drips from the nozzle can accumulate at the base of pumps at gas stations. Rainstorms will cause the gas to move along with the runoff. This runoff will lead to a water source that could potentially pollute the water and cause ecological damage.

While there has been no formal study that shows how much gas is lost in liquid form when fueling a vehicle (as droplets falling from the nozzle or dripping down from the fill spout on the vehicle), an estimation has been done. In a paper written by Raymond Sierra from Stanford University, he finds that approximately one liter of gasoline is wasted or lost as liquid runoff per every 15,000 gallons pumped. While that may not seem like a lot, when it is considered that “in 2013, about 134.51 billion gallons¹ (or 3.20 billion barrels) of gasoline were consumed² in the United States, a daily average of about 368.51 million gallons.” (Department of Energy). Using Mr. Sierra’s estimation, this means that roughly 24,567 liters are lost as runoff per day.

(b) Johns Hopkins Bloomberg School of Public Health. October 2014. Small Spills at Gas Stations Could Cause Significant Public Health Risks Over Time.

See: <https://www.jhsph.edu/news/news-releases/2014/small-spills-at-gas-stations-could-cause-significant-public-health-risks-over-time.html>

Excerpts from the above publication:

A new study suggests that drops of fuel spilled at gas stations — which occur frequently with fill-ups — could cumulatively be causing long-term environmental damage to soil and groundwater in residential areas in close proximity to the stations.

Few studies have considered the potential environmental impact of routine gasoline spills and instead have focused on problems associated with large-scale leaks. Researchers with the Johns Hopkins Bloomberg School of Public Health, publishing online Sept. 19 in the *Journal of Contaminant Hydrology*, developed a mathematical model and conducted experiments suggesting these small spills may be a larger issue than previously thought. A study by Markus Hilpert, PhD, a senior scientist in the Department of Environmental Health Sciences in the Johns Hopkins Bloomberg School of Public Health states; “Even if only a small percentage reaches the ground, this could be problematic because gasoline contains harmful chemicals including benzene, a known human carcinogen,” Hilpert says. “In a perfect world, it would be ideal to avoid chronic spills,” “However, if these spills do occur, it is also important to prevent rainwater from flowing over the concrete pads underneath the pumps. Otherwise, storm runoff gets contaminated with benzene and other harmful chemicals and can infiltrate into adjacent soil patches or from storm water that may end up in natural bodies of water.”

Patrick N. Breysse, PhD, a professor in the Department of Environmental Health Sciences, also wrote; “The environmental and public health impacts of chronic gasoline spills are poorly understood,” says Breysse. “Chronic gasoline spills could well become significant public health issues since the gas station industry is currently trending away from small-scale service stations that typically dispense around 100,000 gallons per month to high-volume retailers that dispense more than 10 times this amount.”

2. Decrease in Property Values

This study was presented in the “The Coastal Business Journal” in the spring of 2013, a document of variability over 25 years in a coastal market. These studies document that when our water view is obstructed and in some cases completely obscured, property values plummet. This not only hurts us, but all of Hutchinson Island. Taking distance into account, the highest-quality view commanded a premium in the 2005-2007 period of about \$102,000. If located 0.1 miles from the bay and a premium of \$75,000 if located 2 miles away. By today's measures they will be even higher. The resulting losses will be shared by both the residents and the city.

3. Human Rights Act

Our contention in this case, the Planning Board before making any final rulings on this matter, should consider sections of the Human Rights Act, in particular Protocol 1, Article 1...This states that a person has the right to peaceful enjoyment, of all their possessions, which includes the home and other land. e.g. Harbour Isle Condo's . Additionally, Article 8 of the Human Rights Act, states that a person has the substantive right to respect for their private and family life. In the case of *Britton vs SOS* the courts reappraised the purpose of the law and concluded that the protection of the countryside falls within the interests of Article 8. Private and family life therefore encompasses not only the home but also the surroundings. This impacts, not only buildings 37, 38, 10, 9, 1 that are in the immediate surroundings, all of Harbour Isle Condo's and the two homes across the street at 940 and 936 Seaway Drive.

In respect of privacy, it may be worth citing the Human Rights Act 1998 in particular Protocol 1, Article 1, states that a person has the right to peaceful enjoyment of all their possessions, which includes the home and other land.

In the case of *Britton vs SOS* the courts reappraised the purpose of the law and concluded that the protection of the countryside falls within the interests of Article 8. Private and family life therefore encompasses not only the home but also the surroundings. *Should residents of Fort Pierce expect anything less?*

4. 911

If the tragedy of 911 hasn't shown us anything else, it has shown the airplanes flying into the Twin Towers turned into bombs, destroying over 3000 human lives and an untold amount of property destruction. That happened because the wings of the planes were something not-unlike the storage tanks that Cumberland Farms will install if approved. The wings stored over 1,000 gallons of fuel as does Cumberland Farms gas stations. Gas stations have at least two tanks (3 if they have diesel), typically with 5,000 to maybe 10,000 gallons. In some cases it could amount to storage of 30,000-40,000 gallons of a flammable liquid constituting a hazard.

5. Deeming the move a Hazard and Denial of FHA Insurance

Copied Monday August 12, 2019. FHA mandated statements. <https://www.appraisalbuzz.com/the-latest-updates-to-sf-handbook-4000-1/>
Peter Gillispie October 12, 2016

The latest enhancements to the Single Family Housing Policy Handbook 4000.1 (SF Handbook) have been published. These changes consist of technical changes for consistency and clarity as well as several policy updates. The SF Handbook was published to eliminate the need for mortgagees and other stakeholders in FHA transactions to search through multiple stand-alone policy documents. The following highlights the revisions to the SF Handbook pertaining to FHA appraisal reporting requirements.

Handbook Section/ Reference	Handbook Changes	Page Numbers
II.D.3.c.iii(C) (7) Stationary Storage Tanks	Revised language about stationary storage tanks and MPR/MPS	490

Revised Handbook Text Page 490:

“If the subject property line is located within 300 feet of an aboveground or subsurface stationary storage tank with a capacity of 1,000 gallons or more of flammable or explosive material, then the Property is ineligible for FHA insurance, and the Appraiser must notify the Mortgagee of the deficiency of MPR or MPS. This includes domestic and commercial uses as well as automotive service station tanks.”

Summary: Reinforced clarification regarding the ineligibility of properties within 300 feet of stationary storage tanks holding 1,000 or more gallons of flammable or explosive material.

- Conclusion: “The proposed development is a direct contravention of why properties were purchased at Harbour Isle. It does not respect local context and safety of street pattern for tractor and trailers, and trucks toting long boats that will try to negotiate safe entrance and/or egress of the station. Forget the thousands of cars that travel in that immediate area day in and day out. We alone have 912 units that constitute a potential 1,824 drivers committed to getting out of Harbour Isle and then returning home each and every day. That amounts to a potential 3,646 trips every day. When you consider how the two lane highway of Seaway Dr contributes to an unsafe entrance and/or egress of the station for those large tractor and trailers, you readily see it’s compounded by our own 3,646 trips every day.
- The scale of Cumberland Farms and proportions of surrounding buildings, put this proposal out of character of the area, to the detriment of Harbour Isle and the Beach across at Indian River. The aim should be for any development to result in a benefit in environmental and safety of surrounding areas.

The issues I presented are Documentary Evidence-i.e., real evidence-no innuendo, just facts that cannot be disputed or overlooked. All competent substantial evidence which establishes a substantial basis from which the fact at issue can reasonably be inferred. Including, fact or opinion evidence offered by experts on matters that requires specialized knowledge that is relevant to the issues to be decide.

If only one of the Five Determining Factors were to be taken into account, then by any Reasonable Mans Standard, denying owners a mortgage puts them at an unfair advantage to one who is mortgaged approved. No other criteria needs come into play.

This body must not disregard a Federal Agency’s determination, especially when that Federal Agency determines an imminent hazard is in-place.

Potential Pollution from Gas Station Runoff

By: Bryce Franklin, Nate Braun, Jacob Monroe

7th of December, 2014

Introduction

When putting gas in your car, drips from the nozzle can accumulate at the base of pumps at gas stations. Rainstorms will cause the gas to move along with the runoff. This runoff will lead to a water source that could potentially pollute the water and cause ecological damage. The distance from the gas station to the water body will show which gas stations have the highest potential to cause pollution.

While there has been no formal study that shows how much gas is lost in liquid form when fueling a vehicle (as droplets falling from the nozzle or dripping down from the fill spout on the vehicle), an estimation has been done. In a paper written by Raymond Sierra from Stanford University, he finds that approximately one liter of gasoline is wasted or lost as liquid runoff per every 15,000 gallons pumped. While that may not seem like a lot, when it is considered that “in 2013, about 134.51 billion gallons¹ (or 3.20 billion barrels) of gasoline were consumed² in the United States, a daily average of about 368.51 million gallons.” (Department of Energy). Using Mr. Sierra’s estimation, this means that roughly 24,567 liters are lost as runoff per day. The following report shows the potential for runoff from gas stations in Arcata to reach and pollute local waterways.

Methods

Acquiring the necessary data, stream and gas station location, was the first step. Once this data was imported to ArcMap and geo-referenced we added a basemap to show the layout of Arcata. We then created a new shapefile for the locations of all the local gas stations in the area. A buffer was created at 75 meters around all of the streams. We then created buffers around all the gas stations at 75, 150, and 300 meters. These are our high, medium, and low risk parameters respectively. The intersect tool was then used to find where the buffer zones for the gas station and the buffer zone for the streams intersect. The final step was making the map attractive to the viewer.

Results

We found that there are ten gas stations throughout Arcata. Eight of them are within range of streams with at least a low risk of polluting the water body. Of the eight stations, three of them have a medium pollution risk factor and two have a high risk of polluting a local waterway.



Figure 1. Analysis area within Humboldt County

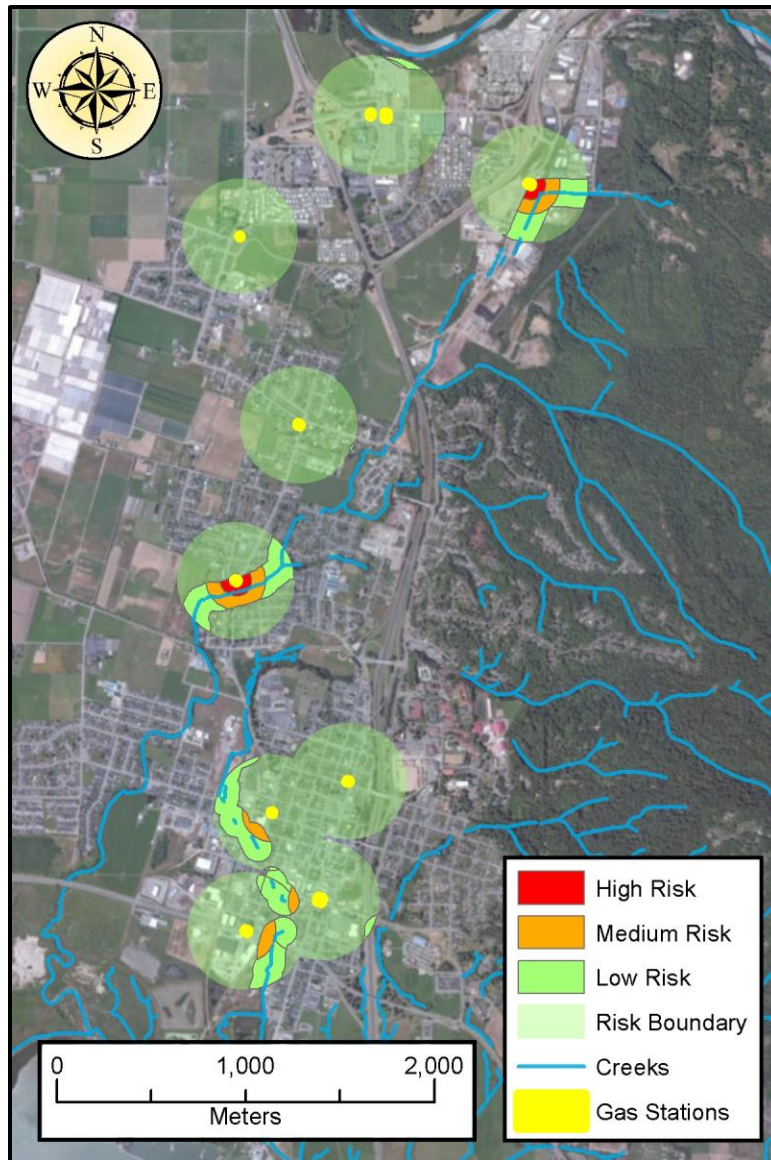


Figure 2. Potential risk of gas pollution due to run off.

Conclusion

There are two gas stations with a high risk for pollution nearby water resources. These are the Renner Petroleum gas station at 5000 W End Road and a 76 gas station at 2205 Alliance Road. Both of these stations sit extremely close to the riparian areas surrounding the waterways. The sites should be monitored for inadvertent gas runoff because of the increased potential for polluting the water. The riparian areas nearby should also be inspected for contamination. It may prove beneficial to do additional research on the effects of topography on the potential for waterway contamination by gas runoff not only for these two sites, but also for all areas with the potential for pollution by gas runoff.

Sources

Data was acquired from Humboldt County's GIS data website and the City of Arcata's GIS portal. ESRI also provided the base map on which the data was layered onto.

Sierra, Raymond. "Drops at the Pump." Stanford University, 24 Oct. 2010. Web. 04 Dec. 2014. <<http://large.stanford.edu/courses/2010/ph240/sierra1/>>.

U.S. Energy Information Administration - EIA - Independent Statistics and Analysis." How Much Gasoline Does the United States Consume? U.S. Department of Energy, 13 May 2014. Web. 04 Dec. 2014. <http://www.eia.gov/tools/faqs/faq.cfm?id=23&t=10>

Acknowledgements

A special thanks goes out to Nick Ramirez for his outstanding teaching and support. This project would not have been successful without him. He will live on in our hearts long after we have graduated and departed his realm.

October 9, 2014

Small Spills at Gas Stations Could Cause Significant Public Health Risks Over Time, Johns Hopkins Finds

A new study suggests that drops of fuel spilled at gas stations — which occur frequently with fill-ups — **could cumulatively be causing long-term environmental damage to soil and groundwater in residential areas in close proximity to the stations.**

Few studies have considered the potential environmental impact of routine gasoline spills and instead have focused on problems associated with large-scale leaks.

Researchers with the Johns Hopkins Bloomberg School of Public Health, publishing online September 19 in the *Journal of Contaminant Hydrology*, developed a mathematical model and conducted experiments suggesting these small spills may be a larger issue than previously thought.

“Gas station owners have worked very hard to prevent gasoline from leaking out of underground storage tanks,” says study leader Dr. Markus Hilpert, a senior scientist in the department of environmental health sciences in the

Johns Hopkins Bloomberg School of Public Health. *“But our research shows we should also be paying attention to the small spills that routinely occur when you refill your vehicle’s tank.”*

Over the lifespan of a gas station, Dr. Hilpert says, concrete pads underneath the pumps can accumulate significant amounts of gasoline, which can eventually penetrate the concrete and escape into underlying soil and groundwater, potentially impacting the health of those who use wells as a water source. Conservatively, the researchers estimate, roughly 1,500 liters of gasoline are spilled at a typical gas station each decade.

To learn more: **<http://www.jhsph.edu/news/news-releases/2014/small-spills-at-gas-stations-could-cause-significant-public-health-risks-over-time.html>**

THE VALUE OF A WATER VIEW: VARIABILITY OVER 25 YEARS IN A COASTAL HOUSING MARKET

Julia L. Hansen, Western Washington University

Earl D. Benson, Western Washington University

ABSTRACT

Given a relatively inelastic supply of locations with coastal water views, the price of a water view is likely to rise during housing market upturns and fall during downturns. Using 25 years of data and more than 20,000 home sales for Bellingham, Washington, this study uses the hedonic methodology to estimate water view premiums over different phases of the housing cycle. Views are differentiated both by scope and by distance from the water. Results show real dollar premiums associated with water views move with the housing cycle, rising when housing demand and overall market prices increase and falling when the overall price of housing declines. In addition, the relative value of a view fluctuates as well.

INTRODUCTION

The value of a residential “view” has been well-documented in numerous studies over the past 15 years or so. Water views in particular have been found to add significantly to the sales price of a single-family home. While earlier research used a generic definition of view, classifying all properties as “view” or “no view”, recent studies have examined several dimensions of the view amenity, including view scope (degree of obstruction by buildings or trees) and distance from the water. When views are differentiated by scope and distance, view premiums are found to increase with the scope of the view and decrease with distance from the water (see, for example, Benson et al., 1998 and Bourassa et al., 2004).

With few exceptions, previous studies have estimated view values in a particular market over a relatively short period of time. An interesting question concerns what happens to view premiums over a longer period of time. Theory suggests that prices of housing attributes with relatively inelastic supply are likely to change over time in response to changing demand. Because the supply of land with view potential is limited, the “quantity” of lots with water views cannot rise significantly in response to rising prices. In that case, the implicit price of a view would be expected to rise and fall with the cyclical variation in home prices. What is less clear is what might happen to the relative value of a view over time, where relative value is the view premium as a percentage of home value. Is this relative premium roughly constant over time or should we expect it to fluctuate, as well, with home values?

Unlike previous studies that use a much more limited database, this study examines a 25-year period (that includes two complete housing cycles) and more than 20,000 transactions. The hedonic methodology is used to estimate real prices of water views in Bellingham, WA, for the period 1984-2009. In this coastal market, properties with water views comprised 21 percent of

all single-family transactions during this period. Author-collected view data distinguishes between type of water view (ocean or lake) and scope of view, ranging from full, unobstructed views to partial views. In addition, ocean views are differentiated by distance from the water. Results suggest that view premiums can vary substantially over time, both in terms of the dollar premium (as measured by the inflation-adjusted implicit price), and in relative terms (as measured by the percentage of sales price).

The following section provides a review of the recent literature on the value of view amenities. Data and local housing market cycles are described in Section III. Section IV presents results of hedonic modeling when views are differentiated by type and scope, while Section V presents results when view/distance interaction variables are included for ocean views. A final section provides a summary and conclusions.

PREVIOUS RESEARCH

Prior to 1997, research on single-family view premiums used simple binary (0-1) definitions of view, and most did not incorporate distance (see Benson et al. (1998) and Bourassa et al. (2004) for a thorough review of these early studies). Later studies have incorporated more complex measures that include interactive measures of view and distance and incorporate geographic information systems (GIS) and other objective measurement techniques. These studies are discussed in detail below.

An early study that used both view and distance as independent variables in a hedonic pricing model was done by Milton et al. (1984), who analyze sales prices of vacant parcels near Florida's Apalachicola Bay. Independent variables include distance from the Gulf and a dummy variable for view/no view. Using three different locations around the bay, they find that distance and view are both important determinants of parcel value. Other studies, focusing on lake views, include Smith (1994), Lansford and Jones (1995), and Doss and Taff (1996). All three studies find that lake view adds significant value and distance from the lake reduces the value of homes, with the first two studies looking at sales prices and the third study using assessed values. None of these earlier papers attempt to interact distance with view.

Starting with a study of the housing market in Point Roberts, Washington, (an area for which no land link exists from the U.S. and if traveling by car one must enter from Canada), the definition of a view was expanded beyond the binary definition of earlier studies to include the scope and quality of the view (Benson et al., 1997). The authors personally collected view data for 397 residential properties, by visiting each property and classifying views into four categories--ocean frontage, unobstructed ocean view, partial ocean view and no view. Personal inspection was judged to be the best way to assess the impact of obstructions such as buildings or trees. Estimated view premiums for the three categories are 147 percent, 32 percent, and 10 percent, respectively, relative to "no view" home sales. No distance variables were included.

The first paper to investigate the complexities of view and distance was Benson et al. (1998). A database was constructed that contained 7,305 single-family homes sold in

Bellingham, Washington, over the period 1984-1993. View data was collected by the authors by personally conducting a site visit for each view property. Views were classified into mountain, lake, and “ocean” views (views of Bellingham Bay). Ocean views were further classified into four quality categories ranging from unobstructed ocean view to poor partial ocean view. Distance from the water was calculated for each view property, using GIS software. Interaction variables for each of the four ocean views with distance from the water were also calculated. Hedonic estimation results yield view premiums that increase with the scope of an ocean view. For the year 1993, premiums range from 8 percent for a poor partial ocean view to 60 percent for an unobstructed ocean view. Lake frontage is found to add 127 percent to value. The view premium for all ocean view scopes is found to fall significantly with distance from the water. Again for the year 1993, estimated view premiums for properties 0.1 miles from the bay were 68, 56, 37, and 26 percent respectively for the four view categories in declining order of quality; one mile from the bay, the view premiums were 45, 30, 28, and 12 percent, respectively, for the four categories.

The same study (Benson et al., 1998) was also the first to estimate view values over time. Results show that view premiums in percentage terms rose during the late 1980s, a period of growing demand and rising prices in the local market. For example, the percentage impact of an unobstructed ocean view (not controlling for distance) rose from 50% in 1984 and 1986 to roughly 60% from 1988 to 1993. During a period in which overall house prices are rising faster than the rate of inflation, even a constant percentage view premium implies an increase in the real price of a view. When the percentage premium is rising, that implies an even larger increase in the real view price. Thus findings of this study are consistent with the theory that prices of housing attributes with a relatively inelastic supply, such as view amenities, are likely to move with the housing cycle. During the same time period (1984-93), estimated elasticities for dwelling square footage remained relatively constant.

In a follow-up study, Benson et al. (2000) use the same Bellingham, WA, database as described above but focus on 1991-1993, a period of time in which the local market was relatively stable. They show that pooling the data for the three-year period yields estimates of view premiums that are similar to the individual year estimates. Given the likelihood of changing view values over the housing cycle, however, pooling is not likely to be appropriate for long periods of time.

Studies by Seiler et al. (2001) and Bond et al. (2002) examine the value of views of Lake Erie in Cuyahoga County, OH. Both studies used a simple dummy variable for view. The 2001 study of 1,172 homes showed that assessed values were \$115,000 higher (a 56 percent premium) for view properties in 1998. Using a database of 190 home sales the 2002 study showed that sales prices during the 1998 to 2000 period were \$256,545 higher (a 90 percent premium) for view properties. Neither study incorporated variables measuring distance from the water.

Bourassa et al. (2004) examine 4,814 real estate transactions in Auckland, New Zealand. Their explanatory variables include several dimensions of the view amenity including type and scope of view, and distance from the coast. They also include variables to capture the

“appearance” of the surrounding area, the quality of landscaping in the neighborhood, and average quality of structures in the neighborhood. Hedonic regression estimates suggest that a wide view at the coast provides a 59 percent premium over properties having no view, while a medium scope view and a narrow view yield premiums of 33 and 4 percent, respectively. At a distance of 100 meters from the coast, the view premiums are 18, 13, and 10 percent, respectively. The study shows that the view amenity (or aesthetic externalities as they call them) is multidimensional.

In another paper using transactions for coastal New Zealand, Bourassa et al. (2005) examine view values over time (1986-1996) in three cities: Auckland, Christchurch, and Wellington. Using housing attribute data that includes a binary variable for water view and a variable measuring distance from the coast, the authors estimate a hedonic model for each of eleven years for each city. Estimated percentage price impacts suggest that the premium for a water view varies over time, as well as across cities. When evaluated at the real mean sales price, estimated percentage impacts imply real prices for water views that move roughly with the local housing cycle, at least for Auckland and Christchurch. View premiums are found to be inversely related to the scarcity of views across cities, lowest in Wellington, the city with the fewest water views, and highest in Christchurch, the city with the most water views. Like Benson et al. (1998), this study finds elasticities for dwelling square footage (“floor space”) to be highly stable over time. Because the paper does not report complete regression equation estimates or tests of significance for estimated coefficients, it is somewhat difficult to interpret the results, or to compare with other studies.

Samarasinghe and Sharp (2008) also focus on view values in Auckland, New Zealand, using a database of 2,531 home sales in 2004. Estimation of a hedonic model yields results similar to previous studies that differentiate water views by scope, and that interact view with distance from the water. The effect of distance is found to be greatest for properties with the widest scope of water view. Wide scope water views are found to increase sales price by roughly 44 percent at the coastline. In this study, the authors attempt to control for neighborhood quality by including socioeconomic variables, finding that homes sell for higher prices in neighborhoods with a higher percentage of European ethnic groups, and lower prices in neighborhoods with family income below \$50,000(NZ).

Filippova (2009) examines whether water view premiums vary across housing submarkets. Using data for over 53,000 home sales from 2004 to 2006 in Auckland, New Zealand, the author uses a spatial definition of submarkets, dividing the Auckland region into geographic areas of 3,000-5,000 people. To focus on the effect of socioeconomic factors on view premiums, only those submarkets with similar water view scarcities are included in the hedonic analysis. Several view variables are included in the estimation, based on scope of view and distance from the water. The impact of view on sales price was found to vary in the expected way based on scope and distance, and also to vary significantly from one submarket to another. For example, for the region as a whole a wide water view 500 meters from the coast is found to add 18 percent to value; when estimated for submarkets, however, the premium varies from 5 to 54 percent.

Results suggest that differences in view premiums across submarkets are associated with differences in household socioeconomic characteristics.

Shultz and Smith (2008) examine the value of views of manmade lakes in Omaha using a sample of 1298 home sales from 2000 to 2006. They find that view premiums are between 7.6 and 8.3 percent. Interestingly they find that multiple listing service data underestimates the number of view properties by 79 percent, that GIS frontage calculations overestimate the number by 42 percent, and that GIS viewshed analyses overestimated the number by about 0.5 percent. In order to correct the GIS viewshed data, they conducted site visits to take into account view obstructions.

Bin, et al. (2008) measure a home's view as the number of degrees of view (maximum = 180), using LIDAR (Light Detection and Ranging) data, in their study of coastal views and flood hazard risk in North Carolina. The LIDAR technique makes it possible to account for obstructions to view from buildings and trees, using a continuous view measure which uses GIS measures that are "objective" and replicable. In examining 1,075 home sales from 1995 to 2002, they estimate that "willingness to pay" increases at a rate of \$995 per degree of view (or about \$179,000 for a 180 degree water view at the coast) in 2002 dollars. The \$179,000 is roughly 60 percent of the average selling price of \$298,000. Unfortunately, we cannot calculate the percent impact of a view home relative to a no view home because of insufficient information provided.

Morgan and Hamilton (2011) examine Pensacola Beach, Florida, home sales from 1998 to 2007 using a similar methodology to that of Bin et al. (2008). They find the marginal willingness-to-pay is \$1,228 per degree of viewshed (about \$221,000 for a 180 degree water view) in 2007 dollars, when the average sales price was \$559,000. The \$221,000 is about 40 percent of the average selling price.

Baranzini and Schaerer (2011) use GIS techniques to develop three-dimensional view variables. For water views, they create a continuous variable that measures the number of hectares of "water-covered areas" that can be seen from individual apartments in apartment buildings in Geneva, Switzerland. They examine the rents on 12,932 apartment units in 2005, with the average rent being CHF 1,122. The model combines a topographical land profile with a "surface numerical model", that takes into account heights of all objects, including buildings and trees. They find that dwellings with the maximum view of water-covered areas (88 hectares) rent for 57 percent more than a dwelling with no water view.

Hindsley, et al. (2012) use LIDAR data and GIS techniques to create three-dimensional view variables for 1,081 home sales in Pinellas County, Florida. Four continuous variables measuring Gulf of Mexico views are constructed. In measuring view scope, both natural and man-made obstructions are taken into account, including structures, sand dunes, trees and other vegetation. They estimate a marginal view scope value of \$1,300 per degree of water view (about \$234,000 for a 180 degree water view). This represents about 49% of the average home sales price of \$475,400.

Finally, Wallner (2012) uses GIS techniques to develop four view measures for a database of 24,491 Sydney, Australia home sales in 2008. Using a continuous variable for water views that measures the number of square kilometers of visible water surface area, the average water view is found to add 6.8 to 12.7% to a property's value. Water views in the top 5th percentile are found to increase property values 18.2 to 34.7%. For an angular diameter measure of water views, the maximum water view adds 59.4 to 107.0% to value. Compared to a binary (0-1) view variable for the same sample, the GIS measures improve out-of-sample prediction accuracy. As pointed out by the author, however, GIS measures cannot identify trees, telephone poles and other "idiosyncrasies" that can only be captured with an on-site inspection of a property.

In sum, these studies tend to show that "world-class" water view premiums for homes that are near the coastline tend to be about 45 to 70 percent, relative to no view homes; and premiums for waterfront homes tend to be 125 to 150 percent (though these premiums reflect more than "view" since these properties have direct access to water, often with a dock). This contrasts with "lake view" homes in Omaha that have 8 percent premiums. As discussed above, only two studies have examined the movement of view premiums over time -- Benson et al. (1998) for the period 1984-1993 in Bellingham, WA., and Bourassa et al. (2005) for the period 1986-1996 in Auckland, Christchurch and Wellington, New Zealand -- and none have incorporated the most recent housing cycle. This paper estimates water view premiums over a 25-year period, including the housing boom and bust of the 2000s.

DATA AND LOCAL MARKET HOUSING CYCLES

Data

To conduct the analysis of view values, this study uses data for single-family home transactions in Bellingham, Washington for the period January 1984 through July 2009. Databases obtained from the Whatcom County Assessor included a total of 29,854 transactions. After removal of invalid and/or inappropriate transactions, the sample size is 20,883. Transactions were removed for the following reasons: 1) transaction prices were identified as possibly not reflecting market prices because the sale was between family members, the property was a foreclosure sale, or the property was sold to a relocation firm 2) transaction prices represented multiple property sales 3) the transaction was a lot-only sale, 4) the transaction was a duplicate of another transaction for the same property on the same date, 5) the property was remodeled after the transaction date, and 6) data for the transaction was missing or in error, such as an invalid sales date, no year built information, or the number of bathrooms coded as zero.

Bellingham is the central city of a small metropolitan area in the northwest corner of the contiguous U.S. It is located 90 miles north of Seattle and 45 miles south of Vancouver, British Columbia. The city is particularly well-suited for a view study given the prevalence of water views and the diversity of view quality caused by hills and trees. The market is small enough that the authors were able to collect view information by personal inspection of all properties in the sample that could potentially have a water view. These were properties in neighborhoods located either on the water, or on hills facing the water. Personal inspection was the best method to ensure accurate view classifications. To determine the view from the main living area, properties were inspected from street level, and from above and along the side where possible and when necessary. This fieldwork was conducted in August and September, 1995, in August 2004 and in July and August, 2009. During the most recent inspection of view properties, the authors also updated view classifications for some of the properties already in the sample. Most of the view neighborhoods in Bellingham are established neighborhoods, in which virtually no new construction has occurred. However, view classifications for a few properties were changed due to the growth of trees.

View properties are classified by type of water view – ocean view (a view of Bellingham Bay) or lake view (a view of Lake Whatcom). Ocean views are further subdivided into four quality levels ranging from full ocean view to poor partial ocean view. Generally speaking, the quality of ocean views was determined based on the degree of obstruction, with more obstructed views judged to be lower quality. While there are no true oceanfront properties in Bellingham due to the existence of a railroad right-of-way along the water, there are a number of lakefront properties. Lake view properties are classified into three quality categories – lakefront, full lake view and partial lake view. The following vector of view dummy variables was created:

OCEANVIEW1 = 1 if the home has a full (unobstructed) view of Bellingham Bay, else 0,
OCEANVIEW2 = 1 if the home has a superior partial bay view (some obstruction by buildings, trees, etc., up to 30% obstruction), else 0,
OCEANVIEW3 = 1 if the home has a good partial bay view (significant obstructions, from 30% to 60% obstruction), else 0,
OCEANVIEW4 = 1 if the home has a poor partial bay view (some water could be seen, more than 60% obstruction), else 0,
LAKEFRONT = 1 if the home has a lake view from lakefront property, else 0,
LAKEVIEW1 = 1 if the home has a full lake view from non-lakefront property, else 0, and
LAKEVIEW2 = 1 if the home has a partial lake view from non-lakefront property, else 0,
with the omitted category containing homes with no water view.

Table 1 provides definitions of variables, and descriptive statistics are shown in Table 2. Property characteristics data were obtained from the Whatcom County Assessor; these data are supplemented by distance from Bellingham Bay and neighborhood variables provided for our sample by the City of Bellingham. For the full 25½-year sample, the average property is approximately 43 years old at the time of sale, and the mean square footage is 1479, excluding finished and unfinished basement. Properties with water views comprise 21.2 percent of all

transactions. As shown in Table 2, 5.0 percent of transactions were for houses with an unobstructed ocean view, 2.6 percent were for houses with a superior partial ocean view, and 4.0 percent and 6.2 percent for houses with a good or poor partial ocean view, respectively. An additional 0.5 percent of transactions were for lakefront property, 0.6 percent for full lake view property, and 2.3 percent for partial lake view property. The set of explanatory variables for the hedonic model includes dummy variables for 20 neighborhoods, as defined by Bellingham city government. Neighborhood dummy variables are included to control for unobserved locational factors that affect housing prices; such factors may include socioeconomic characteristics of neighborhood households.

Table 1. Variable Definitions

Variable Name	Definition
PRICE	Sales price of house (2009 dollars)
AGE	Year of sale minus the year house was built
REMODEL	Dummy variable (1 if house remodeled since 1960, otherwise 0)
SQFT	House square feet (above grade)
FBASEM_SF	Finished basement square feet
UFBASEM_SF	Unfinished basement square feet
GARAGE_SF	Garage square feet
CARPORT_SF	Carport square feet
DECK_SF	Deck square feet
PATIO_SF	Patio square feet
BEDRMS	Number of bedrooms
BATHS	Number of bathrooms
QUALITY1	Dummy variable (1 if quality given a well above average assessor rating of 5 or 6 on a 1-6 scale; otherwise 0)
QUALITY2	Dummy variable (1 if quality given an above average assessor rating of 2 on a 1-6 scale; otherwise 0)
QUALITY3	Dummy variable (1 if quality given an average assessor rating of 2 on a 1-6 scale; otherwise 0)
QUALITY4	Dummy variable (1 if quality given a below average assessor rating of 2 on a 1-6 scale; otherwise 0)
QUALITY5	Dummy variable (1 if quality given a below average assessor rating of 1 on a 1-6 scale; otherwise 0)
QUALITY+	Dummy variable (1 if house given an additional quality classification of plus, otherwise zero)
QUALITY-	Dummy variable (1 if house given an additional quality classification of minus, otherwise zero)
CONDITION1	Dummy variable (1 if condition given an above average assessor rating of 4, 5 or 6 on a 1-6 scale, otherwise zero)
CONDITION2	Dummy variable (1 if condition given an average assessor rating of 3 on a 1-6 scale, otherwise zero)
CONDITION3	Dummy variable (1 if condition given a below average assessor rating of 1 or 2 on a 1-6 scale, otherwise zero)
OCEANVIEW1	Dummy variable (1 if house has an unobstructed view of Bellingham Bay; if not, 0)
OCEANVIEW2	Dummy variable (1 if house has a superior partial bay view (up to 30% obstruction); if not, 0)
OCEANVIEW3	Dummy variable (1 if house has a good partial bay view (30 to 60% obstruction) ; if not, 0)
OCEANVIEW4	Dummy variable (1 if house has a poor partial bay view (more than 60% obstruction); if not, 0)
LAKEFRONT	Dummy variable (1 if property fronts on Lake Whatcom; if not, 0)
LAKEVIEW1	Dummy variable (1 if house has an unobstructed Lake Whatcom view from non-lakefront property; if not, 0)
LAKEVIEW2	Dummy variable (1 if house has a partial Lake Whatcom view from non-lakefront property; if not, 0)
DBAY	Shortest distance in miles from Bellingham Bay
N1...N20	Dummy variables for 21 neighborhoods (defined by City of Bellingham). The omitted neighborhood is Roosevelt.
Y1985 ... Y2004	Dummy variable (1 if house sold in that year, otherwise 0)

Table 2. Summary Statistics of Sample Variables (n=20883)

<i>Continuous variables:</i>					<i>Dummy Variables*:</i>	Mean	n
	Mean	Std. Dev.	Min.	Max.			
PRICE (2009\$)	\$229,530	\$131,318	\$31,048	\$2,088,670	REMODEL	0.061	1273
AGE	43	36	0	123	QUALITY1	0.004	92
SQFT	1479	566	368	6585	QUALITY2	0.101	2105
FBASEMT_SF	128	354	0	3344	QUALITY3	0.610	12736
UBASEM_SF	142	310	0	2710	QUALITY4	0.281	5868
GARAGE_SF	319	254	0	1890	QUALITY5	0.003	82
CARPORT_SF	26	101	0	1664	QUALITY+	0.290	6066
DECK_SF	118	188	0	1690	QUALITY-	0.184	3848
PATIO_SF	69	168	0	3840	CONDITION1	0.497	10375
BEDRMS	2.89	0.81	1	8	CONDITION2	0.401	8368
BATHS	1.76	0.73	1	6	CONDITION3	0.102	2140
DBAY (miles)	1.44	0.95	0.02	4.06	OCEANVIEW1	0.050	1053
					OCEANVIEW2	0.026	548
					OCEANVIEW3	0.040	828
					OCEANVIEW4	0.062	1294
					LAKEFRONT	0.005	94
					LAKEVIEW	0.006	134
					LAKEVIEW2	0.023	475

*Dummy variable means give the proportion of sample transactions with this attribute.

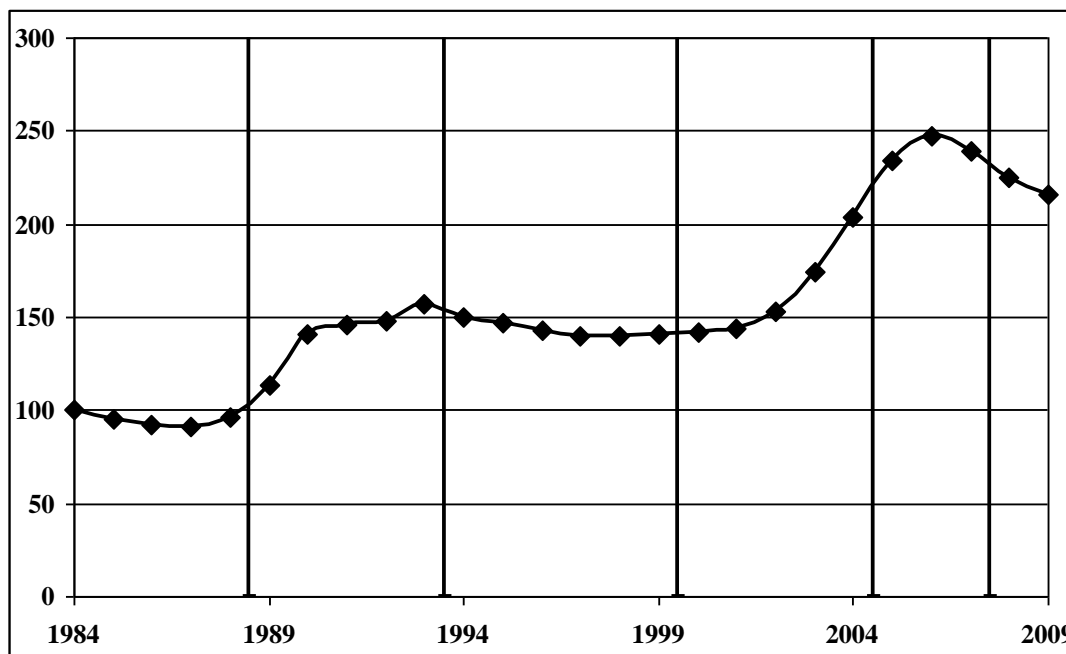
Pairwise correlations between explanatory variables are generally small; the only exceptions are the correlations between total square footage and the number of bathrooms, and total square footage and the number of bedrooms (correlation coefficients of 0.70 and 0.66, respectively). Of particular interest given our focus on views, pairwise correlations between each of the view dummy variables and the other explanatory variables are very small, with only one above 0.36. Computation of variance inflation factors for all explanatory variables results in very low values for the view variables (between 1.2 and 1.6) and values less than 4 for all variables except for “dbay”, leading us to conclude that multicollinearity is not a problem for our sample.

Local Market Housing Cycles

The first step in the empirical analysis is an examination of housing price cycles in the local market. In order to identify the movement of housing prices over time, we pooled our 25 ½ years of data and used it to construct a real hedonic price index. (The specification for the

pooled hedonic model is identical to the specification used in Model 1 (shown in Table 3 below), with dummy variables for each year of the sample after 1984. The dependent variable is the natural log of the sales price adjusted for inflation using the Seattle CPI-U. Hedonic price index values are computed as $\exp(\beta) \cdot 100$, where β is the estimated coefficient on the year dummy variable.) This index, illustrated in Figure 1, provides a measure of the inflation-adjusted constant-quality house price. As shown in the figure, the Bellingham single-family market experienced two housing price cycles during the period of our data. Real prices rose substantially during the period 1988-1993 (about 62 percent), then fell slightly from 1994-1999 (about 6 percent). For the more recent cycle, the index peaks in 2006 at a level about 74 percent higher than the 2000 level. It should be noted that the time period for this study does not capture the entire recent cycle, as the downturn did not end in 2009. (As of 1st quarter 2011, the FHFA repeat sales price index for the Bellingham MSA continued to fall.)

Figure 1. Real Hedonic House Price Index, Bellingham



For purposes of examining how the value of a view varies with the housing cycle, we identify six time periods over which to create pooled subsamples of our data. The time periods are chosen to represent phases of the local housing cycle, as indicated by the movement of real prices in Figure 1. Shown by vertical bars in the figure, the six time periods are as follows:

Time Period	Years	House Price Movement
1	1984-1988	Stable/slight decline

2	1989-1993	Rising
3	1994-1999	Stable/slight decline
4	2000-2004	Rising
5	2005-2007	Peaking
6	2008-2009	Falling

If the price of a view moves with the real estate cycle as hypothesized, we would expect view prices measured in real terms to rise in Period 2, fall in Period 3, then rise again in Period 4, following by a peak in Period 5, and a decline in Period 6. To estimate the real price of different views, we estimate a hedonic housing price model for each of the six time periods. With the dependent variable given by the log of the real sales price (see below), the coefficients on view dummy variables yield the percentage impact of a particular view type. An estimate of the real dollar price of a view can then be obtained by multiplying the percentage impact by the mean real sales price for the time period.

HEDONIC MODEL 1: THE VALUE OF WATER VIEWS OVER TIME

A hedonic pricing model is used to estimate the value of water views in the Bellingham single-family housing market. Theory gives little guidance with respect to the appropriate functional form for the hedonic model. A maximum-likelihood Box-Cox hedonic model is an attractive choice, as it provides a flexible functional form. However, a Box-Cox model has the disadvantage of not allowing for continuous variables with zero values (and thus does not allow the use of view/distance interaction variables used below in Model 2). Given this disadvantage, and given that previous estimation of a Box-Cox hedonic model for this market yielded results very similar those obtained from a log-linear model (Benson et al., 1998), we chose the log-linear model. The following model is estimated:

$$\ln(P_i) = \alpha + \sum_{j=1}^n \beta_j X_{ji} + \sum_{k=1}^m \gamma_k Z_{ki} + e_i$$

where $\ln(P)$ is the natural log of price of property i , X is a vector of the natural logs of j property characteristics such as age and square footage, and Z is a vector of dummy variables, including dummy variables for sale year and neighborhood.

To test the hypothesis that water views add significantly to value, our first hedonic model (Model 1) includes dummy variables for ocean and lake views. In the next section of the paper, additional variables are added to test the hypothesis that view values vary with distance. Estimation results for Model 1, which is estimated for all six time periods using ordinary least squares, are shown in Table 3.

Most of the variables describing property characteristics are significant, with the expected sign. Sales prices are higher, the newer the house, the better the quality and condition, and the greater the above-grade square footage, as well as the greater the basement square footage, garage square footage, etc. A variable measuring distance from Bellingham Bay is negative and significant, but the magnitude is very small. With only two exceptions, estimated coefficients

for the water view variables are positive and significant at the 1% level in all time periods. Coefficients not significantly different from zero are the coefficient on poor partial ocean view in the 1984-88 time period, and the coefficient on unobstructed lake view in the 2008-09 period.

Table 3. Hedonic Regression Results, Model 1
Dependent variable is ln(P)

	Time Period					
	1984-88	1989-93	1994-99	2000-04	2005-07	2008-09
C	8.9002 ^a	8.8817 ^a	9.5373 ^a	9.3565 ^a	9.8154 ^a	9.7007 ^a
ln(AGE)	-0.0612 ^a	-0.0218 ^a	-0.0124 ^a	-0.0116 ^a	-0.0013 ^a	0.0144 ^a
REMODEL	0.0921 ^a	0.0461 ^a	0.0224 ^a	0.0070 ^a	0.0167 ^a	0.0346 ^c
ln(SQFT)	0.3952 ^a	0.3991 ^a	0.3484 ^a	0.3589 ^a	0.3635 ^a	0.3556 ^a
ln(FBASEM_SF)	0.0227 ^a	0.0178 ^a	0.0174 ^a	0.0209 ^a	0.0184 ^a	0.0216 ^a
ln(UBASEM_SF)	0.0103 ^a	0.0082 ^a	0.0060 ^a	0.0078 ^a	0.0056 ^a	0.0065 ^a
ln(GARAGE_SF)	0.0142 ^a	0.0109 ^a	0.0098 ^a	0.0086 ^a	0.0072 ^a	0.0073 ^a
ln(CARPORT_SF)	0.0106 ^a	0.0084 ^a	0.0057 ^a	0.0030 ^a	0.0042 ^a	-0.0011 ^a
ln(DECK_SF)	0.0060 ^a	0.0049 ^a	0.0046 ^a	0.0040 ^a	0.0048 ^a	0.0052 ^a
ln(PATIO_SF)	0.0099 ^a	0.0039 ^a	0.0038 ^a	0.0043 ^a	0.0033 ^a	0.0031 ^a
ln(BEDRMS)	0.0000 ^a	0.0064 ^a	0.0247 ^b	0.0170 ^a	0.0139 ^a	0.0169 ^a
ln(BATHS)	0.06912 ^a	0.0513 ^a	0.0335 ^a	0.0250 ^a	0.0119 ^a	0.0218 ^a
QUALITY1	0.4555 ^a	0.2696 ^a	0.4457 ^a	0.4348 ^a	0.3942 ^a	0.5195 ^a
QUALITY2	0.2614 ^a	0.2049 ^a	0.2830 ^a	0.2583 ^a	0.2755 ^a	0.26546 ^a
QUALITY4	-0.1290 ^a	-0.1209 ^a	-0.1566 ^a	-0.1344 ^a	-0.1310 ^a	-0.1289 ^a
QUALITY5	-0.2127 ^a	-0.3058 ^a	-0.3668 ^a	-0.2873 ^a	-0.1469 ^a	-0.0957 ^a
QUALITY+	0.0811 ^a	0.0780 ^a	0.0790 ^a	0.0735 ^a	0.0815 ^a	0.0667 ^a
QUALITY-	-0.0428 ^a	-0.0497 ^a	-0.0749 ^a	-0.0697 ^a	-0.0434 ^a	-0.0417 ^a
CONDITION1	0.0401 ^a	0.0678 ^a	0.0477 ^a	0.0609 ^a	0.0417 ^a	0.0535 ^a
CONDITION3	-0.0610 ^a	-0.1057 ^a	-0.0782 ^a	-0.0777 ^a	-0.0286 ^a	-0.0329 ^a
OCEANVIEW1	0.2436 ^a	0.2743 ^a	0.1904 ^a	0.2042 ^a	0.2114 ^a	0.1738 ^a
OCEANVIEW2	0.1034 ^a	0.1949 ^a	0.1316 ^a	0.1327 ^a	0.1703 ^a	0.1226 ^a
OCEANVIEW3	0.0842 ^a	0.1442 ^a	0.0660 ^a	0.0976 ^a	0.1124 ^a	0.0864 ^a
OCEANVIEW4	0.0049 ^a	0.0468 ^a	0.0435 ^a	0.0612 ^a	0.0648 ^a	0.0733 ^a
LAKEFRONT	0.6373 ^a	0.7419 ^a	0.5465 ^a	0.6286 ^a	0.6827 ^a	0.7755 ^a
LAKEVIEW1	0.1923 ^a	0.2490 ^a	0.1145 ^a	0.1326 ^a	0.2165 ^a	0.0475 ^a
LAKEVIEW2	0.0921 ^a	0.1147 ^a	0.0370 ^a	0.0467 ^a	0.0826 ^a	0.0848 ^a
ln(DBAY)	-0.0368 ^a	-0.0305 ^a	-0.0201 ^a	-0.0343 ^a	-0.0890 ^a	-0.0222 ^a
Edgemoor	0.2621 ^a	0.2956 ^a	0.2533 ^a	0.3177 ^a	0.2562 ^a	0.4219 ^a
South Hill	0.1257 ^a	0.1770 ^a	0.1276 ^a	0.2429 ^a	0.1265 ^a	0.3160 ^a
R-squared	0.8603	0.8633	0.8626	0.8648	0.8205	0.8427
Adjusted R-sq.	0.8579	0.8613	0.8612	0.8635	0.8174	0.8346
S.E. of regression	0.1788	0.1841	0.1416	0.1547	0.1539	0.1455
n	2851	3441	5099	5534	2951	1007

^aSignificant at the 1% level; ^bsignificant at the 5% level; ^csignificant at the 10% level. Estimated coefficients for year dummy variables and neighborhood dummy variables other than Edgemoor and South Hill are not shown.

Table 4 shows percentage impacts of views on sales price, (computed as $100*(e^{\beta}-1)$, where β is the estimated coefficient), along with real prices of views over time. (The correct interpretation of coefficients on dummy variables when the dependent variable is specified in logs was first pointed out by Halvorsen and Palmquist (1980).) In every time period, the percentage price impact is highest for lakefront properties. This is not surprising, given that lakefront locations provide recreational amenities as well as view amenities. Percentage impacts for ocean views generally decline as the scope of the view narrows. It should be noted that estimated percentage impacts for ocean views are significantly lower than those found in previous research for this market (Benson et al., 1998) for the time period 1984-1993. This can be explained by the addition of neighborhood dummy variables to the model. The two Bellingham neighborhoods with the highest prevalence of ocean views--Edgemoor and South Hill--are also the most prestigious neighborhoods, and according to our regression results command the highest neighborhood premiums (shown in Table 3). After controlling for neighborhood, the estimated marginal impact of an ocean view on sales price is, therefore, reduced.

Table 4. Percentage Impacts and Real Prices of Water Views

	Time Period					
	1984-88	1989-93	1994-99	2000-04	2005-07	2008-09
OCEANVIEW1:						
Percent Impact	27.6%	31.6%	21.0%	22.6%	23.5%	19.0%
Price (2009\$)*	\$36,999	\$58,734	\$43,577	\$54,558	\$83,246	\$62,976
OCEANVIEW2:						
Percent Impact	10.9%	21.5%	14.1%	14.2%	18.6%	13.0%
Price (2009\$)	\$14,609	\$40,044	\$29,235	\$34,189	\$65,649	\$43,291
OCEANVIEW3:						
Percent Impact	8.8%	15.5%	6.8%	10.2%	11.9%	9.0%
Price (2009\$)	\$11,780	\$28,862	\$14,186	\$24,686	\$42,077	\$29,949
OCEANVIEW4:						
Percent Impact	0.5%**	4.8%	4.4%	6.3%	6.7%	7.6%
Price (2009\$)	\$664	\$8,909	\$9,238	\$15,205	\$23,676	\$25,244
LAKEFRONT:						
Percent Impact	89.1%	110.0%	72.7%	87.5%	97.9%	117.2%
Price (2009\$)	\$119,557	\$204,682	\$151,139	\$210,748	\$346,309	\$388,719
LAKEVIEW1:						
Percent Impact	21.2%	28.3%	12.1%	14.2%	24.2%	4.9%**
Price (2009\$)	\$28,439	\$52,616	\$25,210	\$34,159	\$85,472	\$16,126
LAKEVIEW2:						
Percent Impact	9.7%	12.2%	3.8%	4.8%	8.6%	8.9%
Price (2009\$)	\$12,947	\$22,625	\$7,822	\$11,520	\$30,473	\$29,375

*Percentage impacts are evaluated at the mean sales price for the time period (\$2009 dollars). **Coefficient not significantly different from zero.

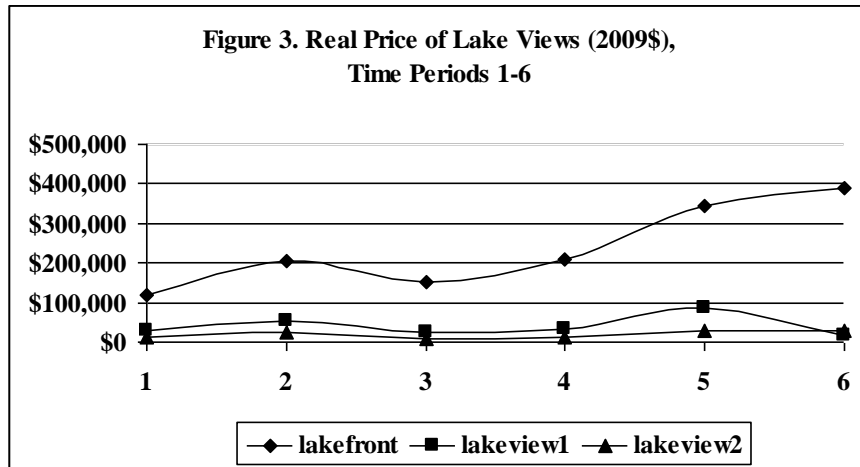
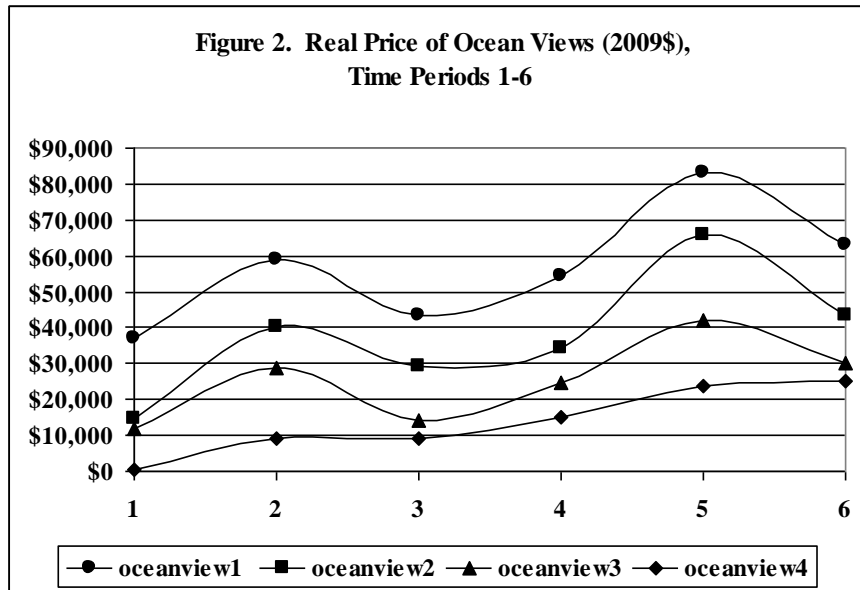
We suspect, however, that the neighborhood premiums themselves are not independent of views. It is likely that the high prevalence of view properties in certain neighborhoods leads to greater prestige and higher household incomes, making the neighborhood more attractive and leading to higher prices even for non-view properties. In addition, both neighborhoods mentioned above are located along Bellingham Bay, and provide water views not only from private houses, but from roads, sidewalks and common areas, another factor which may contribute to higher prices for non-view properties. If the view and neighborhood effects are combined for these two neighborhoods, the value premium can be quite high. In the case of the Edgemoor neighborhood, for example, the combined percentage impact for view and

neighborhood for the 2005-2007 time period is 59.62 percent for an unobstructed ocean view (OCEANVIEW1) and 53.19 percent for a superior partial ocean view (OCEANVIEW2).

For all the different view types, estimated percentage impacts rise during period 2, a period in which the market price level was rising, then fall in time period 3, rise again in period 4 and reach a peak in period 5, the period in which real housing prices peaked in the overall market (2005-2007). For all views except for poor partial ocean view and lakefront, the percentage impact then falls in the most recent time period (2008-09). (It should be noted that only six lakefront properties sold in that time period, making it difficult to interpret that particular result.) For all view types except for the lowest-quality ocean view, percentage impacts are highest in period 2, the 1989-93 time period. It is interesting to note that the coefficients (and hence percentage impacts) for the two dummy variables for above-average structure quality – QUALITY1 and QUALITY2 – are lowest in time period 2, perhaps indicating a higher than normal willingness of buyers during the housing boom of the late 1980s and early 1990s to trade off structure quality for views.

Evaluating percentage impacts at the real mean sales price for each time period yields estimates of the real dollar prices of water and lake views. The movement of real view prices across time periods is illustrated in Figures 2 and 3. For all view types, prices generally move as expected with the housing cycle, exceptions being the increase in real price for poor partial ocean views and lakefront during the recent downturn (period 6). Again we note the very small sample size for lakefront properties in this time period. Although the percent impact of most view types is lower during the most recent housing boom than during the earlier boom, real prices of views are higher, given that the percent impacts are being applied to much higher sales prices. For example, estimation results suggest that a full ocean view adds 31.6 percent to value in the 1989-93 time period, implying a real price of \$58,734; although the premium for 2005-07 time period is 23.5 percent, the corresponding real price of an unobstructed ocean view is \$83,246.

In contrast to the percentage price impacts for views, the elasticities for square footage are quite stable across all six time periods. As shown by the coefficients on the SQFT variable in Table 3, these elasticities vary from 0.348 to 0.399, implying that a 1 percent increase in square feet increases the sale price by .348 to .399 percent, *ceteris paribus*. It should be noted that this elasticity measures the impact of an increase in above-grade square footage, holding the number of bedrooms, bathrooms, and basement square feet constant. Of course a stable elasticity does not imply a constant dollar price of square footage. Evaluating the elasticity value at the mean sales price and mean square footage for each time period yields a real price of square footage that moves with the Bellingham housing cycle. Based on the elasticities estimated here, the price of a marginal square foot in real terms moves from \$37.50 in time period 1 to \$54.16 in period 2, then to \$48.33, \$57.11, \$83.20 and \$75.73 in the last 4 time periods, respectively. The finding of a stable square footage elasticity, and a real price of square footage that varies with the housing cycle, is similar to the findings of Bourassa et al. (2005).



HEDONIC MODEL 2: THE EFFECT OF DISTANCE FROM THE WATER ON VIEW VALUES

The previous section explored the value of different types of water views – both ocean and lake views, and how those values have varied over a long period of time. In this section of the paper, we consider that for ocean view and partial ocean view properties, the value of a view may vary depending on distance from the water. More specifically, we hypothesize that the

more distant the view, the smaller the view premium, everything else held constant. To test this hypothesis over the six time periods of this study, variables interacting each of the four ocean view variables with distance are added to the hedonic model. Interaction variables (OCEAND1-4) are defined as the natural log of (DBAY + 1), where as defined in Table 1, DBAY is the shortest distance in miles from Bellingham Bay. In this model, the impact of a view on sales price is determined by the estimated coefficients on both the view dummy variable and the view/distance variable. As shown by Benson et al. (1998), the percentage impact of a particular type of ocean view on sales price is given by: $100 * [e^{(\beta+\gamma*(OCEAND))}-1]$, where β is the coefficient on the view dummy variable, and γ is the coefficient on the view/distance interaction term.

Table 5. Selected Hedonic Regression Results and Percentage Impacts, Model 2

	Time Period					
	1984-88	1989-93	1994-99	2000-04	2005-07	2008-09
Coefficient:						
OCEANVIEW1	0.3431 a	0.4128 a	0.2876 a	0.2604 a	0.2585 a	0.2721 a
OCEAND1	-0.2251 a	-0.2718 a	-0.140 a	-0.0839 a	-0.0606 c	-0.1646 a
OCEANVIEW2	0.2098 a	0.3531 a	0.2551 a	0.1861 a	0.2520 a	0.1993 a
OCEAND2	-0.1249 a	-0.2001 a	-0.1397 a	-0.0701 a	-0.0987 b	-0.0899
OCEANVIEW3	0.1590 a	0.2123 a	0.1318 a	0.1424 a	0.2219 a	0.2433 a
OCEAND3	-0.0908 a	-0.0697 c	-0.0666 b	-0.0549 b	-0.1312 a	-0.1820 a
OCEANVIEW4	0.0190	0.4128 a	0.0689 a	0.1082 a	0.1130 a	0.0736
OCEAND4	-0.0133	-0.2717 a	-0.0259	-0.0601 a	-0.0557	-0.0135
Percentage Impacts:						
OCEANVIEW1						
0.1 miles	37.9%	47.2%	31.6%	28.7%	28.8%	29.2%
0.5 miles	28.6%	35.3%	26.0%	25.4%	26.4%	22.8%
1 mile	20.6%	25.2%	21.0%	22.4%	24.1%	17.1%
2 miles	10.1%	12.1%	14.3%	18.3%	21.1%	9.6%
OCEANVIEW2						
0.1 miles	21.9%	39.7%	27.3%	19.7%	27.5%	21.0% *
0.5 miles	17.3%	31.2%	21.9%	17.1%	23.6%	17.7% *
1 mile	13.1%	23.9%	17.1%	14.7%	20.1%	14.7% *
2 miles	7.5%	14.3%	10.7%	11.2%	15.4%	10.6% *
OCEANVIEW3						
0.1 miles	16.2%	22.8%	13.4%	14.7%	23.3%	25.4%
0.5 miles	13.0%	20.2%	11.0%	12.8%	18.4%	18.5%
1 mile	10.1%	17.8%	8.9%	11.0%	14.0%	12.4%
2 miles	6.1%	14.5%	6.0%	8.6%	8.1%	4.4%

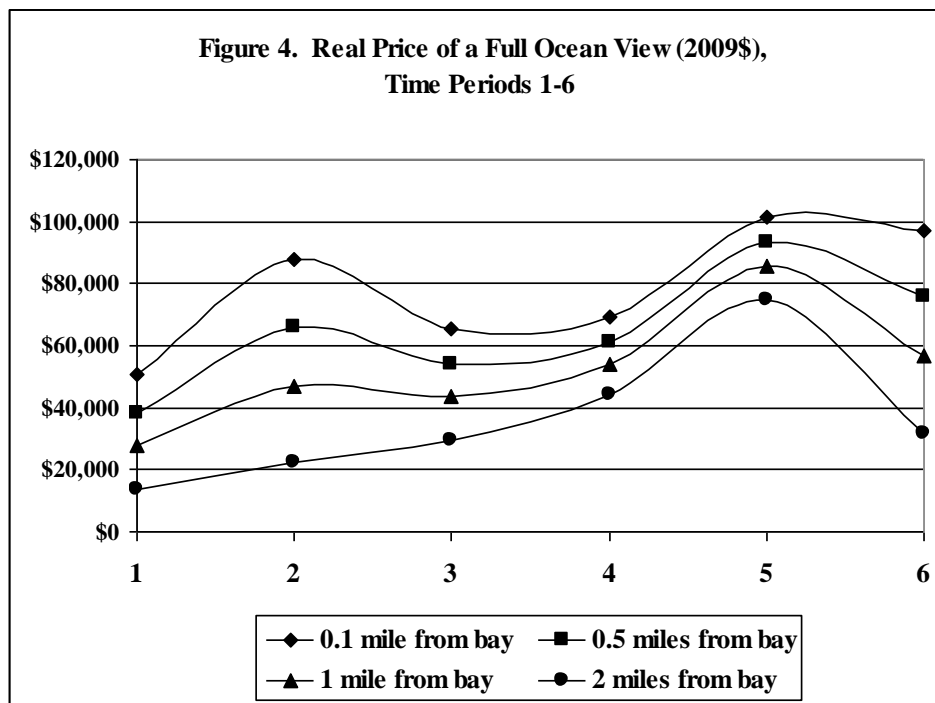
^aSignificant at the 1% level; ^bsignificant at the 5% level; ^csignificant at the 10% level. *Distance interaction term is not statistically significant.

Table 5 (above) shows selected hedonic regression results for Model 2 – the coefficients on the view dummy variables and interaction terms – and implied percentage impacts. Distance is a significant addition to the specification of ocean views for the three highest-quality ocean views (for most time periods), but not for the lowest-quality ocean view. For the highest-quality ocean views – a full ocean view -- coefficients on the view/distance interaction variables are negative and significant at the 1 percent level for all time periods except 2005-2007 (where the coefficient is significant at the 10 percent level). For superior partial ocean views, the coefficients for the

interaction terms are negative and significant for all time periods except for the most recent period, and for good partial ocean views, coefficients are negative and significant at at least the 10 percent level for all time periods. The view/distance interaction term does not generally perform well for poor partial ocean views.

For the three highest-quality ocean views, percentage price impacts tend to move with the housing cycle, but there are some exceptions to the general pattern. For example, the percentage impact of unobstructed water views at locations 0.1 mile from the water doesn't fall during the recent downturn (time period 6). For the same quality-level at locations 2 miles from the water, percentage price impacts rise during all time periods except the most recent. As a result, the percentage impacts at different distances become more similar up until period 5 (2005-07), and less similar after period 5.

As in the previous section of the paper, real dollar prices of water and lake views are obtained by evaluating percentage impacts at the real mean sales price for each time period. Figure 4 illustrates real prices for unobstructed ocean view properties located 0.1 mile, 0.5 miles, 1 mile and 2 miles from the water. While prices at all distances tend to track the overall market, the relationship between distance from the water and the value of a view has clearly varied over time.



For example, for full ocean view properties within 0.1 mile of the bay, the view premium is \$50,893, \$87,912, \$65,578, and \$101,701 for periods 1, 2, 3 and 5, respectively. From a distance

of 2 miles the premium is \$13,486, \$22,527, \$29,723, and \$74,842 for the same periods, but falls to \$31,692 in period 6. The reduced effect of distance starting in time period 3, and continuing in time periods 4 and 5 is unexpected, and appears to be related to an increase in the number of sales of full ocean view properties located more than 3 miles from Bellingham Bay. For the 1989-93 time period, there were no sales of full ocean view properties located farther than 3 miles in our sample, but for the next three time periods, the percentage of full ocean view properties at distances greater than 3 miles rises to 12.8 percent, and then to 23.9 and 20.1 percent. (The percentage for the most recent time period drops to 10.3 percent.)

The increase in the percentage of full ocean view properties located at distances beyond 3 miles is likely explained by the development of a new area of Bellingham view homes in the late 1990s and early 2000s (the “Barkley area”). This area is farther from the bay than other view areas in the city, and many houses are located more than 3 miles from the water. Because the area is located on a high hill, however, many properties have full ocean views. We suspect that a high value for full ocean views in the Barkley area, in spite of the relatively great distance from the water, is causing the reduction in the view/distance interaction term, particular for the 2000-2004 and 2005-2007 time periods. The value of these views may be explained by the dimension of elevation. It is possible that higher elevation can offset the effect of distance by “opening up” the view, and in the case of the Barkley area, affording a view of a greater expanse of water and islands. More research is needed to investigate the impact of elevation on view values.

SUMMARY AND CONCLUSIONS

Very little research has focused on the value of water views over the housing cycle. This study uses housing market sales data for the coastal city of Bellingham, Washington to estimate the value of ocean and lake views over a 25-year period from 1984-2009. Both ocean and lake views are categorized by quality level, as defined by the scope of the view (or conversely, the degree of obstruction), and in the case of ocean views by distance from the ocean as well. The view classifications were determined by a site visit to each potential view property, a method judged by the authors to be the best way to account for obstructions such as building and trees.

The empirical work in the paper addresses both the “absolute” change and the “relative” change of water view premiums over this 25-year period. Results show that real prices of water views have moved substantially over the housing cycle. Real prices of ocean and lake views of all quality levels rose during the housing upturn of the late 1980s and early 1990s, then fell, then rose again during the housing boom of the 2000s before declining again in the most recent period. Measured in 2009 dollars, the price of the highest-quality ocean view (an unobstructed view of Bellingham Bay and the San Juan Islands) peaks at about \$83,000 in 2005-2007, the time period corresponding to the peak of the local market. Taking distance into account, the highest-quality ocean view home commands a premium in the 2005-2007 period of about \$102,000 if located 0.1 miles from the bay and a premium of \$75,000 if located 2 miles away. In

the 1994-1999, the period prior to the recent housing boom, these view premiums were only \$66,000 and \$30,000, respectively.

We find that water view premiums move with the housing cycle not only when measured in inflation-adjusted dollar terms, but also when measured on a relative basis. For this market, percentage premiums appear to have peaked during the housing boom of the late 1980s and early 1990s, and then fell in the late 1990s. They recovered in the early 2000s, reached a peak in the boom years of 2005-2007, and fell as home prices dropped in 2008-2009. For example, the view premium for a home that is within 0.1 miles of the bay, with a superior partial bay view rose from 21.9 percent in the mid-1980s to 39.7 percent in the late 1980s and early 1990s, only to fall to 27.3 percent and 19.7 percent in the subsequent two periods. Then, the relative premium rose to 27.5 percent in the 2005-2007 period and fell to 21 percent in 2008-2009. This pattern was true for all view/distance categories except for the best view category (with the highest home values) which exhibited much less variation compared to the other categories. One implication is that percentage view premiums cannot be assumed to be constant over time, or assumed to be similar for similar phases of the housing cycle. Percentage view premiums for the next housing upturn, for example, may differ from premiums exhibited during previous upturns. Results here suggest that in addition to the scope of a view, and distance from the water, careful assessment of views should consider that not only the dollar value but the percentage impact of a view may vary with the housing cycle.

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ABOUT THE AUTHORS

Julia L. Hansen is Professor of Economics in the Economics Department at Western Washington University and has a Ph.D. in economics from the University of California, Berkeley. Her teaching and research activities include microeconomics, urban economics, public finance, and real estate. Her publications have appeared in the *Journal of Urban Economics*, *Journal of Real Estate Finance and Economics*, *Journal of Housing Economics*, *Land Economics*, *Journal of Real Estate Research*, and *The Appraisal Journal*. She is also the Editor of the annual *Whatcom County Real Estate Research Report*.



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From: Mohsen Salehi msalehi@caltransgroup.com
Subject: Brief Qualifications
Date: Aug 6, 2019 at 5:50:51 PM
To: madsenk1@verizon.net

Mohsen Salehi's Qualifications:

The career of Mohen Salehi, AICP, ITE(F) spans over 30 years of public- and private-sector experience with an extensive track record in traffic and parking studies, transportation/ infrastructure planning and urban design, low impact development and redevelopment projects, complete streets/ context sensitive design solutions, traffic calming/ roadway safety audits/ development review services/ and expert testimony for public agencies and community organizations. Mohsen has a Master of City and Regional Planning (MCRP) from Clemson University with a concentration in Urban Design and Infrastructure, and a Bachelor of Architectural Engineering from Southern Tech (formerly a division of Georgia Tech). He is a member of the American Institute of Certified Planners (AICP) and a fellow of the Institute of Transportation Engineers (ITE).

RALF BROOKES ATTORNEY

**Robert L. Malatesta
37 Harbour Isle Drive East PH6
Hutchinson Island, FL 34949-2789**

**Annette Rudd
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July 1, 2019

Peter Sweeney, Esq.
City Attorney City of Fort Pierce
100 N. U.S. Highway 1 Fort Pierce, FL 34950

SUBJECT: REQUEST FOR INTERVENOR STATUS IN CASE # 19-4390002 FOR A MAJOR PD AMENDMENT FOR A PROPERTY LOCATED AT 835 SEAWAY DRIVE

Dear Mr. Sweeney:

Purpose of this letter. We request intervenor status in the above entitled case, which is scheduled for first hearing before the City of Fort Pierce Planning Board on Tuesday July 9, 2019 at 5:30 PM. This is a quasi-judicial proceeding.

Parties requesting intervenor status. On behalf of the SOUTH HUTCHINSON ISLAND PRESERVATION (SHIP) GROUP, a §501(c)3 not-for-profit corporation (in organization) which advocates for good land use planning on the island, and on behalf of ourselves, ROBERT L. MALATESTA and ANNETTE RUDD, at the addresses above, we request recognition of intervenor status in opposition to case number 19-4390002, Harbour Isle Development Commercial, LLC, applicants.

Criteria for granting intervenor status. A search of Municode’s online version of the Fort Pierce Code does not identify rules for granting intervenor status, but we understand that the City’s **Resolution 17.R16** articulates the following “process for establishing quasi-judicial procedures”:

V. Party Intervenors. The City Attorney may allow a person to intervene as a Party intervenor if they meet the following requirements:

A. The person must have an interest in the application, which is different than the public at large.

B. At least three days prior to the hearing, the person shall submit a written request to intervene including: a detailed outline of his or her interest in the application and argument in favor or against it, copies of all exhibits which will

be presented at the hearing and the names and addresses of all witnesses who will be called to testify on their behalf (including resumes for any witness the person intends to qualify as an expert).

Criterion Number 1, an interest different from the public at large. The residences of both Robert Malatesta and Annette Rudd are among the dwellings nearest to the site of the proposed service station. Their residences, at building 37 literally overlook the wall which separates the Harbour Isle development from the subject property. Other residents of building 37 and nearby building 38, which is the second closest building in the complex. Other residents in close proximity are represented by SHIP. *We respectfully request that Robert Malatesta, Annette Rudd, and the SHIP group be recognized as intervenors in case #19-4390002 on grounds that their interest is greater than that of the public at large.*

Criterion Number 2, a request submitted at least three days prior to the hearing with specified contents. The request for intervenor status has been forwarded via email to the City Attorney and the Community Development Director at least three days prior to the first scheduled hearing on July 9th. Resolution 17-R16 also requires that we provide the following materials:

- “a detailed outline of his or her interest in the application and argument in favor or against it.” We have explained our interest in our response to Criterion Number 1. Our argument against the application will be that it is generally inconsistent with the Fort Pierce Comprehensive Plan, that it will be disruptive to the immediate neighborhood, due to its 24-hour operations, light pollution, noise, an increase in police calls and illegal behavior, motor and diesel fuel fumes, smells and stormwater runoff, which will be directed on to and share an existing retention pond at our development.
- “copies of all exhibits which will be presented at the hearing.” At this time, we have prepared no exhibits, expert reports, or slide presentations, and will not do so until we have the staff report for the case, which the Planner on Duty advises will be available on or about Friday, July 5th. We will have exhibits available on, before or at the adoption hearing when it is heard by the City Commission.
- “names and addresses of all witnesses who will be called to testify on their behalf (including resumes for any witness the person intends to qualify as an expert).” In addition to ourselves, Robert Malatesta and Annette Rudd, addresses listed above, we anticipate testimony from Keith Madson, who resides in building 38, Anne Marie Bode, from building 10 and Paul Nist, resident of building 9. Our expert

Request for intervenor status
Fort Pierce case # 19-4390002
Page 3

witness will be Daryl Max Forgey, AICP, of Forgey Planning Services in Cape Coral, Florida.

Our attorney will be Ralf Brookes, Esq. Mr. Brookes has a scheduling conflict and we do not anticipate that he will be personally present at the Planning Board hearing. We are forwarding his resume, along with Mr. Forgey's. We understand that other persons may wish to testify at the public hearing.

We respectfully request that Robert Malatesta, Annette Rudd, and the SHIP group be recognized as intervenors in case #19-4390002 on grounds that they have applied in a timely manner for intervenor status.

If you have any questions concerning this request, please direct them to Annette Rudd at (856) 498-8033.

Sincerely,

Robert L. Malatesta

Robert L. Malatesta

Annette Rudd

Annette Rudd

/s/ Ralf Brookes Attorney
Attorney for Plaintiff
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cc: Rebeca Guerra
Max Forgey AICP

RALF BROOKES

Board Certified in City County and Local Government Law by The Florida Bar



Ralf G. Brookes, Attorney. 1998-present. Local government law practice - Representing local governments, public and private sector clients, public interest groups and not-for-profit organizations. Prepare and present to local government councils, commissions and boards, review and file applications, litigate approvals and denials, prepare and defend ordinances, land development regulations, comprehensive plan amendments, settlements, development agreements, administrative proceedings on local, state and federal agency permits, approvals, challenges and appeals in state and federal courts, state agencies, counties and municipalities.

MUNICIPAL/CITY ATTORNEY EXPERIENCE:

- **City of Madeira Beach, Florida** (Pinellas County, population 4,406) 2017-present
- **Town of Yankeetown, Florida**, (Levy County, population 760) Town Attorney 2006 – present
- **City of St Pete Beach, Florida** (Pinellas County, population 10,086) (City Attorney 2007-2008):
- **City of Bradenton Beach Florida**, (Manatee County, population 1,536) 2004 – 2009

As City/Town Attorney: Meet with and advise City Manager and Departments; Municipal Law; Contracts, RFQs/RFPs; Disputes, Litigation, Comprehensive Plan Amendments, Land Development Code Amendments and review of development application, variances, planned developments, development agreements; legislation, ordinances, audits, sunshine law, public records law; grants, government and public works projects.

COUNTY ATTORNEY EXPERIENCE:

- **Monroe County (the “Florida Keys”) - Land Use Litigation Counsel** (1992-1998) Representing Monroe County Florida in land use litigation in state and federal courts, serve as counsel for Growth Management Division, counsel for Planning Department, Planning Commission and Code Enforcement; prepared and defended **vacation rental ordinance**, noise ordinances, resolutions and land development regulations, development agreements, comprehensive plan amendments, defended Monroe County in state and federal court.
- **Sarasota County Assistant County Attorney** (1990 – 1992) Advise County Attorney, Board of County Commissioners of Sarasota County; Planning Commission, Planning, Natural Resources, Code Enforcement, Solid Waste Departments, interagency and interlocal agreements; Pollution Control

MEDIATOR/ARBITRATOR/ALTERNATIVE DISPUTE RESOLUTION

- **Circuit Civil Court Mediator** - Florida Supreme Court Certified
- **Florida Court Appointed Arbitrator** – Florida Supreme Court Approved Training
- **Special Magistrate/Master, Fla. Stat. 70.51 Land Use & Dispute Resolution Act:** Alternative dispute resolution process for land use applications. (e.g., Village of Islamorada Florida)

BUSINESS MANAGEMENT:

BUSINESS MANAGEMENT CONSULTANT & ANALYST: 1998 –2000

Senior Consultant & Analyst Business Management–Cambridge Management Consulting (Celerant Consulting). Delivered measurable improvements in Operations and Maintenance systems to deliver sustainable measurable results of \$2.7 to 3.5 million dollars in annual client savings and increased profits. Identify and implement systems, reporting and management procedures for sustainable continual improvements and economic return on location in Texas, NJ, La, Delaware in Oil, Gas, Technology Sectors

TEACHING:

University of Florida Law School – Conservation Clinic and Env and Land Use Law Program, Practitioner in Residence 2013 under Professors Ankersen, Flournoy and Hamann
Florida Gulf Coast University (FGCU) - Adjunct Professor Env Law 2005 - 2014.
Masters of Public Administration Program: Environmental & Land Use Law PAD 5620.

EDUCATION:

University of Florida –Law School Gainesville, Florida, Juris Doctorate (J.D. 1988)

- Jessup's Cup Moot Court Team;
- UF Law Center for Governmental Responsibility Fellowship

University of Miami - Bachelor Science degree in **Marine Sciences/Geology**, Coral Gables, (B.S. 1985)

PROFESSIONAL:

Admitted to Florida Bar – 1988 (Over 22+ years as member in good standing)

Board Certified: City, County and Local Government Law by The Florida Bar – **2004 to date**

Florida Federal Courts: Admitted Middle District Fla., Southern District Fla., Northern District Florida

Florida State Courts: Admitted all state circuits, all appellate district courts, Florida Supreme Court

The Florida Bar, Sections and Committees:

- **City, County and Local Government Law Section**, to present
- **Environmental and Land Use Law Section (ELULS)**, Executive Council, 1993-2001
- **Administrative Law Section** Executive Council, 1991- 1999

Florida League of Cities, Florida Municipal Attorney's Association Member/Lecturer

The Florida Chamber of Commerce,

- Growth Management Short Course
- Environmental Permitting Short Course

The Florida Bar, Continuing Legal Education (CLE) Programs

- City, County and Local Government Section of the Florida Bar
- Environmental and Land Use Law Section of the Florida Bar
- Administrative Law Section of the Florida Bar
- University of Florida Law program, speaker and guest lecturer

Continuing Legal Education, CLE-International Programs,

- Dealing With Government
- Litigating Land Use and Takings Claims
- Defending Local Government Land Use Denials
- Regulatory Takings under the U.S. and Florida Constitution
- Wetlands Regulations

Florida Municipal Attorney's Association Speaker Noise Ordinances

Southwest Florida Chamber of Commerce "Issues 08" Southwest Florida Legislative Delegation

A Sustainable Southwest Florida: Creating a Vision. Participant City Attorney



Board Certified in City County and Local Government Law by The Florida Bar

DARYL MAX FORGEY, AICP
4704 Vincennes Blvd.
Cape Coral FL 33904
(239) 560-5864
max@zoningtechnologies.com

AICP (American Institute of Certified Planners). Member in good standing since 1993. A national professional certification maintained by the American Planning Association. AICPs must first meet educational standards and then pass an examination covering all aspects of professional planning practice, and are expected to maintain their membership through a self-directed program of study that is monitored by the national organization, which includes regular training in law and ethics.

Current Positions

FORGEY PLANNING SERVICES—Cape Coral, Florida

Sole Proprietor November 2008-present

A solo planning practice that has done comprehensive planning work for Lee and Sarasota Counties, the City of North Port, and the Captiva Community Panel. Developed a template for auditing the effectiveness of existing local governments comprehensive plans which has been applied in Sarasota County and the City of North Port. An expert witness since 2013, working on more than 30 cases in 25 Florida counties and municipalities, appearing before planning commissions, city councils, county commissions, hearing examiners, administrative law judges, and circuit court. Qualified as an expert witness in Lee County Hearing Examiner proceedings.

ZONING TECHNOLOGIES @, Inc.—Cape Coral, Florida

President October 2011-present

A start-up subsection 'S' corporation that specializes in restructuring and updating local government comprehensive plans and developing implementation strategies which employ automation to create linked tools (e.g. application forms, automated worksheets, case reports, and adopting resolutions). The Zoning Technologies expert system prototype products were marketed statewide and were demonstrated at the American Planning Association (APA) national conference in Atlanta in April 2014.

Past Positions

OSCEOLA COUNTY, FLORIDA—Kissimmee

Planning Coordinator April 20, 2005-December 31, 2008

Authored key elements of the Osceola County Comprehensive Plan and the 2008 Evaluation and Appraisal Report.

CLAY COUNTY, FLORIDA—Green Cove Springs

Senior Planner October 2003-March 2005

Authored the county's Interlocal Service Delivery Agreement Report (ISDAR) mandated by the Florida legislature, identifying all service overlaps between and among all local governments within Clay County.

LAKE COUNTY, FLORIDA—Tavares

March 2001 to September 2003

Senior Planner – September 2002-September 2003; **Planning Director** – May 2001-September 2002.

Staff liaison to the Environmental Lands Management Advisory Committee, a citizen organization created by the Board of County Commissioners to study the creation of an environmental land program.

Recommended policies were ratified in November 2002, when Lake County voters approved a one-third mil assessment for the acquisition of environmental lands.

SOUTHWEST FLORIDA REGIONAL PLANNING COUNCIL—Fort Myers

Planner--March 1997 to June 1998

Reviewed local government plan amendments throughout the six-county area and authored “The Platted Lands Challenge” report.

CHARLOTTE COUNTY, FLORIDA

Community Development Director – June 1995 to March 1997

Planning Director – January 1990 to June 1995

Early in my tenure, Gulf Development Corporation (GDC), the County’s largest land subdivider, declared bankruptcy, shifting responsibility for completion of roads, bridges, drainage works, and utilities, to the public sector and forcing a host of development decisions upon the local government and public agencies. I had two memorable achievements during these seven years:

- Led the staff team that rewrote the Charlotte County Comprehensive Plan and was the point person in the successful four-year effort to negotiate a stipulated settlement agreement between the Board of County Commissioners and the Florida Department of Community Affairs to find Charlotte County’s Comprehensive Plan in compliance with Florida’s Growth Management Act.
- Advocated internally against the rezoning of 42 parks (illustrated as such on GDC sales maps and the County’s Future Land Use Maps) to residential uses. The Company’s receivers eventually gave in and donated 41 of them to the people of Charlotte County.

CITY OF CAPE CORAL – Cape Coral, Florida

Acting Deputy Planning Director; Planner; Senior Planner—January 1985 to January 1990

Authored and supervised preparation of key elements of the 1988 Comprehensive Plan (the City’s first plan under the 1985 Growth Management Act) and the City’s 1989 Land Development Code.

Education

Indiana University Bloomington.

Master of Public Affairs (MPA) with concentration in Urban and Regional Planning 1982.

Bachelor of Arts (BA) 1976.

Recent Continuing Education, Writing and Teaching

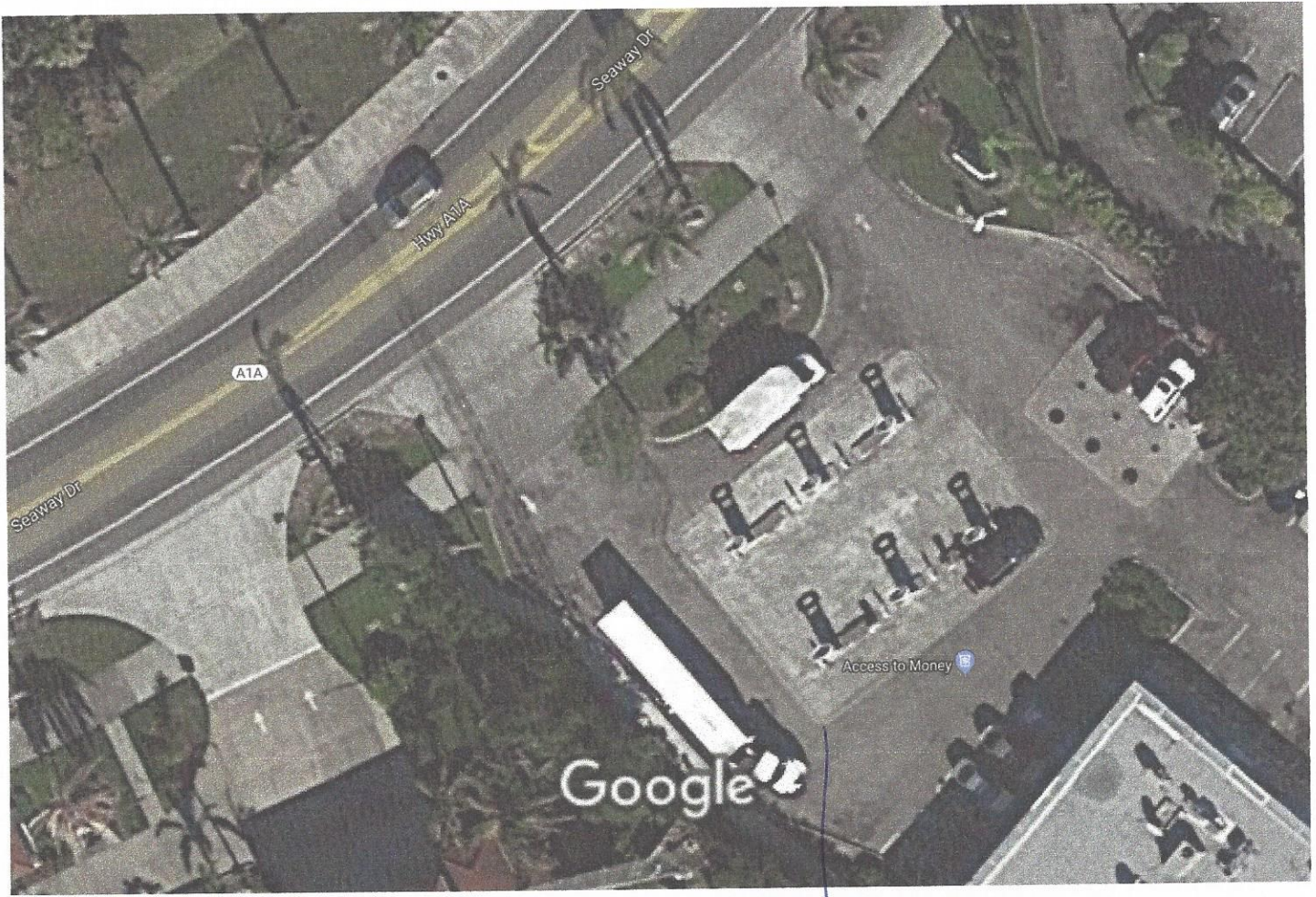
- Program chair for “Planners in Peril: Law and Ethics for Design Professionals” tentatively scheduled for December 6, 2019 in Bonita Springs.
- Program chair for “How High is the Water, Ma?: Rising Sea Level on the Florida Gulf Coast and what we can do about it,” sponsored by Friends of Boca Grande Community Center, March 22, 2019 at the Boca Grande Community Center Auditorium.
- Member, Faith Presbyterian Affordable Housing Board, a not for profit corporation which aspires to offer quality housing for low- and moderate-income persons in Cape Coral. Appointed 2018.
- Received 2018 American Planning Association Florida Chapter, Promised Lands section’s first-ever Wayne Daltry Award for Planning Programs for developing professional education symposia.
- Prepared policy audit of Town of Fort Myers Beach Comprehensive Plan for Weiler Engineering, Summer 2018.
- Program chair for American Planning Association symposium “Warped Tour ’18: Land Use Law for Planners” March 23, 2018 in Punta Gorda.

- Program chair for Captiva Community Panel/ Florida APA symposium “Now in *My Back Yard*: Rising Sea Level on Florida’s Gulf Coast and what can be done about it” January 13, 2017 at South Seas Resort on Captiva Island.
- Co-authored article with Karen Consalo, Esq. “Best Practices for Local Government Land Use Decision-making” in Summer 2016 edition of *Florida Planning*.
- Speaker at American Planning Association Florida Chapter Annual Conference in Tampa, September 9, 2016. “A Pre-tirement Guide for Perplexed Planners: Making the Transition to Solo Practitioner.”
- Attended and participated in CLE International’s annual Land Use Law symposium in Tampa, August 18-19, 2016 and August 6-7, 2015
- Speaker at University of Central Florida 2016 Public Administration Research Conference April 8, 2016. Topic: “What’s the Big Idea: New Software that Aids Land Use Decisions.”
- Attended and participated in American Planning Association Florida chapter annual conference in Hollywood, Florida September 10-13, 2015.
- Coordinator and presenter for daylong FAPA-sponsored symposium “Everything You Ever Wanted to Know about Florida Land Use” in Cape Coral May 16, 2014.

Jurisdictions where Max Forgey has done Expert Witness Work 2013-2019
April 19, 2019

Bonita Springs
 Bradenton
 Cape Coral (3)
 Charlotte County
 Collier County
 DeSoto County
 Fort Myers Beach (2)
 Hardee County
 Hendry County (C Court)
 Hernando County
 Highlands County
 Lantana
 Lee County (5)
 Miramar
 Monroe Co (ALJ)
 Orange County
 Palm Beach County (ALJ)
 Pasco County
 Polk County (C court)
 Punta Gorda (2)
 St. Johns County
 Sarasota County
 Venice

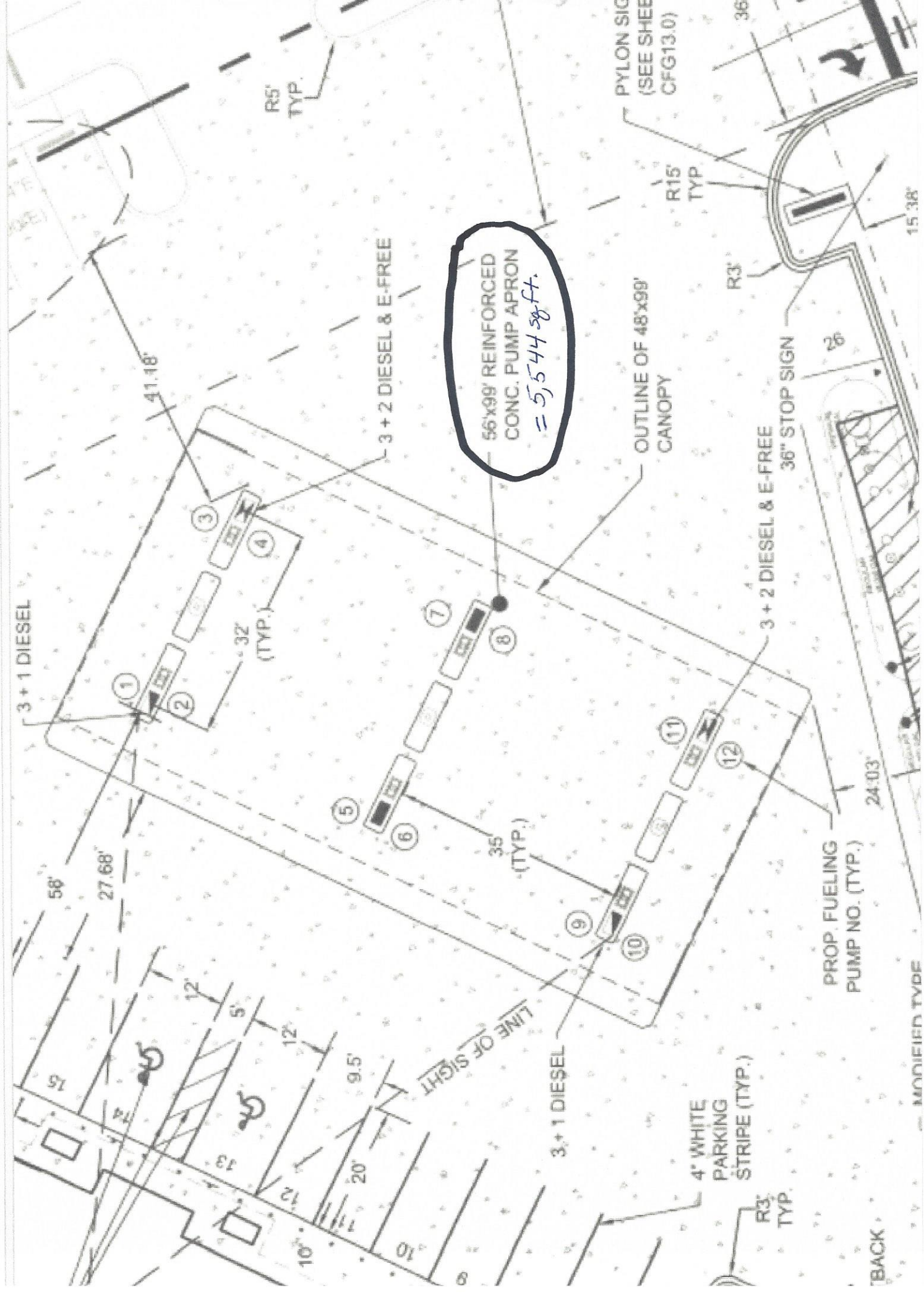
Google Maps 975 Seaway Dr



Map data ©2019 20 ft

Concrete pump apron
 $49' \times 64' = 3,136 \text{ sq ft.}$

file:///F:/Cumberland%20Farms/Cumberland%20Farms%20Layout%20Plans%20-%202019.pdf



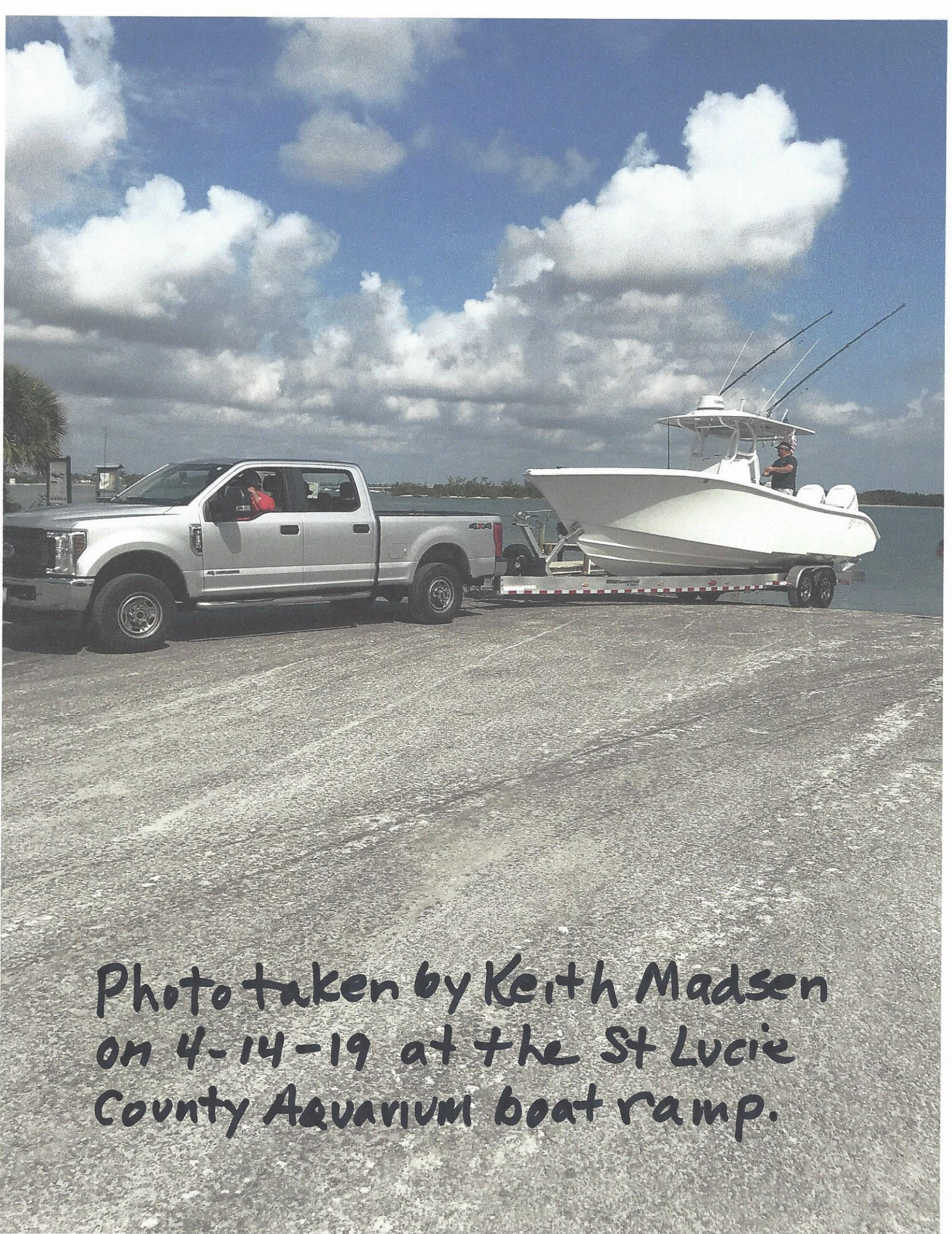
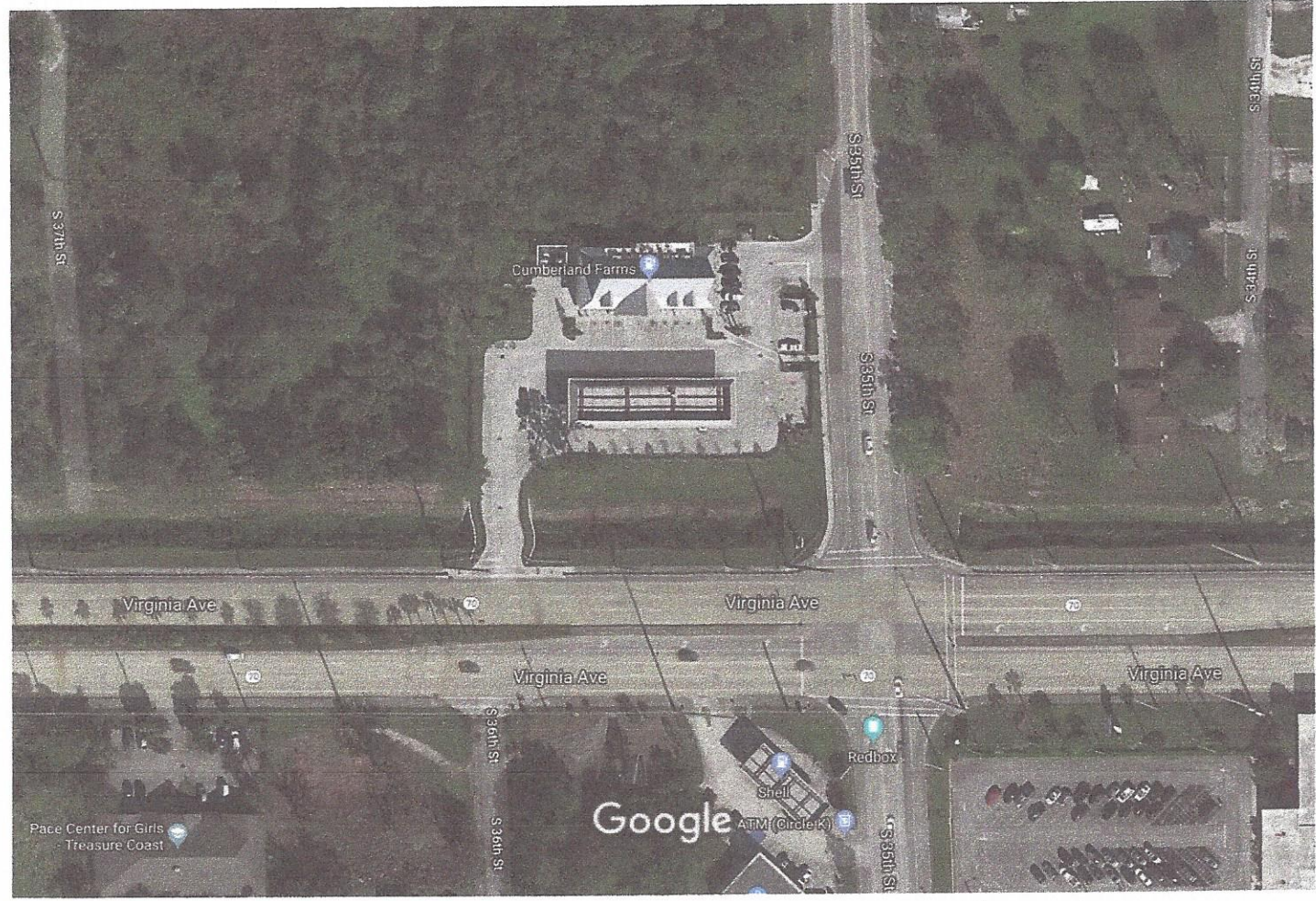




Photo taken by Keith Madsen
on 4-14-19 at the St Lucie
County Aquarium boat ramp.





Imagery ©2019 DigitalGlobe, U.S. Geological Survey 100 ft

 2009 S 35th St, Fort Pierce, FL 34981

CJGQ+GH Fort Pierce, Florida

 locations.cumberlandfarms.com

 (772) 466-6450

 Open now: Open 24 hours

Popular times Saturdays ▾

Google Maps FL-70



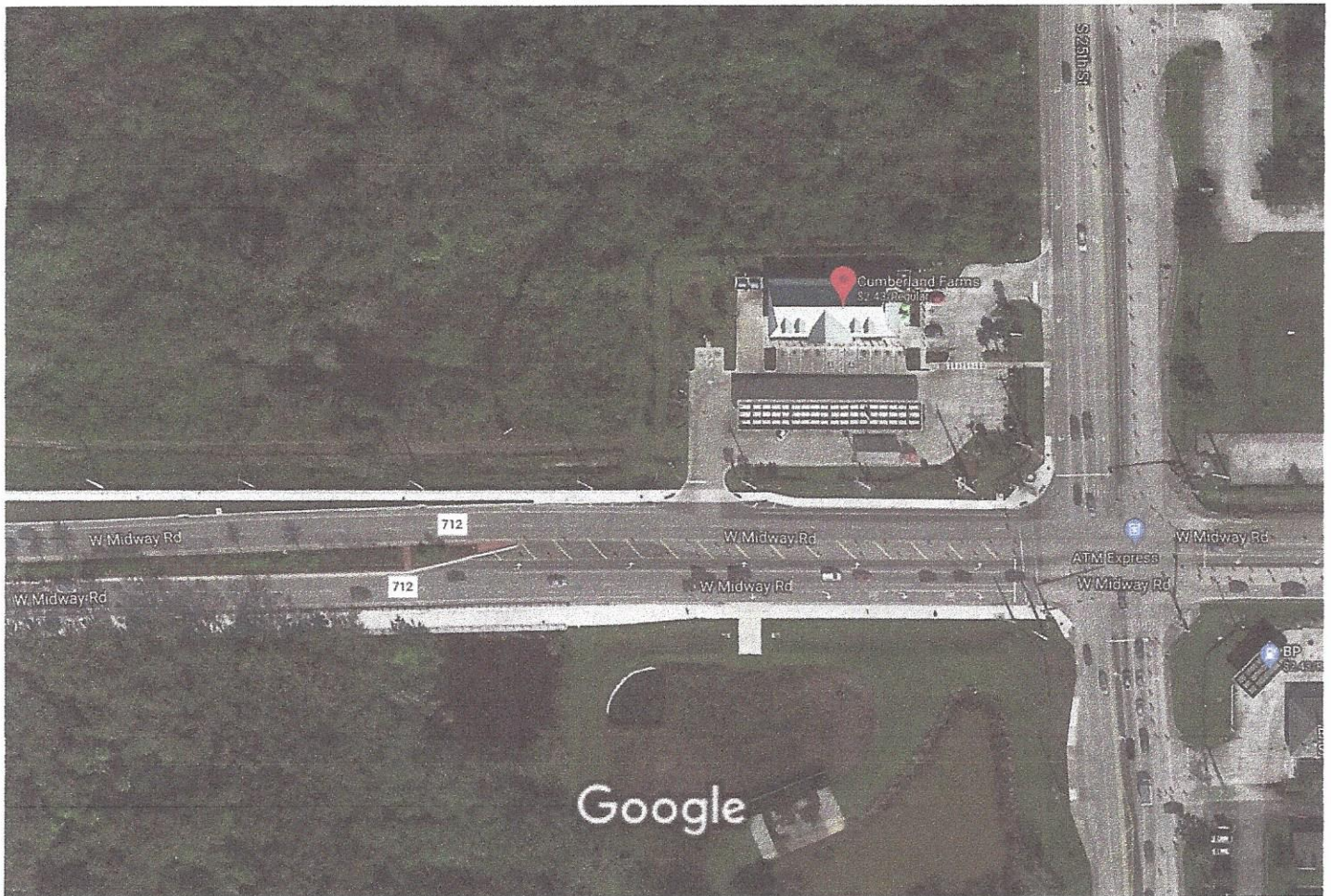
Image capture: May 2019 © 2019 Google

Fort Pierce, Florida

Google

Street View - May 2019

Google Maps Cumberland Farms



Imagery ©2019 Maxar Technologies, U.S. Geological Survey 100 ft



2500 W Midway Rd, Fort Pierce, FL 34981

9JFX+WH Fort Pierce, Florida



locations.cumberlandfarms.com



(772) 464-8909



Open now: Open 24 hours



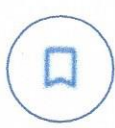
Cumberland Farms

3.7 ★★☆☆ (14) · \$

Gas station



Directions



Save



Nearby



Send to your phone



Share

Diesel

-

Regular

\$2.43

Midgrade

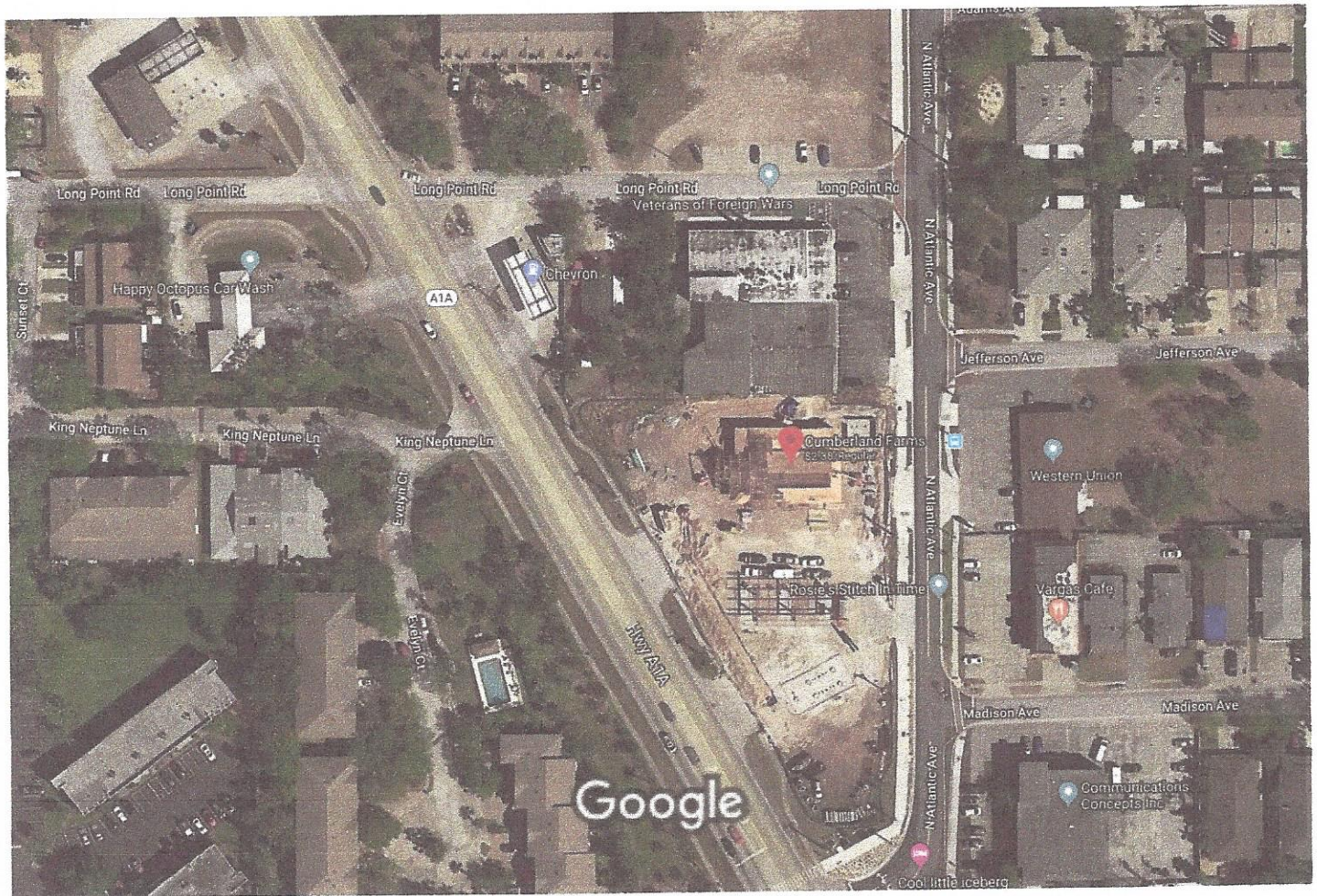
-

Premium

-

Convenience store chain with packaged snacks, cold drinks, prepared foods & more (most sell fuel).

Google Maps Cumberland Farms



Imagery ©2019 Maxar Technologies, U.S. Geological Survey, Map data ©2019 Google

50 ft

Google Maps 7949 Astronaut Blvd

Google Maps 7949 Astronaut Blvd



Image capture: Dec 2018 © 2019 Google

Cape Canaveral, Florida

Google

Street View - Dec 2018

Google Maps 7949 Astronaut Blvd



Image capture: Dec 2018 © 2019 Google

Cape Canaveral, Florida

Google

Street View - Dec 2018

Google Maps 8040 N Atlantic Ave



Image capture: Dec 2018 © 2019 Google

Cape Canaveral, Florida

Google

Street View - Dec 2018

From: Mohsen Salehi msalehi@caltransgroup.com
Subject: Brief Qualifications
Date: Aug 6, 2019 at 5:50:51 PM
To: madsenk1@verizon.net

Mohsen Salehi's Qualifications:

The career of Mohen Salehi, AICP, ITE(F) spans over 30 years of public- and private-sector experience with an extensive track record in traffic and parking studies, transportation/ infrastructure planning and urban design, low impact development and redevelopment projects, complete streets/ context sensitive design solutions, traffic calming/ roadway safety audits/ development review services/ and expert testimony for public agencies and community organizations. Mohsen has a Master of City and Regional Planning (MCRP) from Clemson University with a concentration in Urban Design and Infrastructure, and a Bachelor of Architectural Engineering from Southern Tech (formerly a division of Georgia Tech). He is a member of the American Institute of Certified Planners (AICP) and a fellow of the Institute of Transportation Engineers (ITE).



Food Mobile App/SmartPay Working Here **Comp**

Find Us

Our Stores



Check out the future of Cumberland Farms, coming soon to a neighborhood near you. We have over 300 of these incredible new locations up and running, but many more are on the way. We won't stop until every one of our nearly 600 stores is converted!



Keith J. Madsen
38 Harbour Isle Drive East Unit 103
Hutchinson Island, FL 34949-2789

August 5, 2019

Peter Sweeney, Esq.
City Attorney
City of Fort Pierce
100 N. U. S. Highway 1
Fort Pierce, FL 34950

SUBJECT: REQUEST FOR INTERVENOR STATUS IN CASE # 19-4390002 FOR A MAJOR PD AMENDMENT FOR A PROPERTY LOCATED AT 835 SEAWAY DRIVE

Dear Mr. Sweeney:

Purpose of this letter. I am requesting intervenor status in the above entitled case, which is scheduled for a public hearing before the City Commission of the City of Fort Pierce, Florida, at their meetings on Monday, August 19, 2019 and Tuesday, September 3, 2019 which begin at 6:30 PM. This is a quasi-judicial proceeding.

Party requesting intervenor status. On behalf of myself, Keith J. Madsen, at the address above, I request recognition of intervenor status in opposition to case number 19-4390002, Harbour Isle Development Commercial, LLC, property owner and Cumberland Farms, and representative Jeffery Lucas of Atkins, NA.

Criteria for granting intervenor status. A search of Municode's online version of the Fort Pierce Code does not identify rules for granting intervenor status, but we understand that the City's **Resolution 17.R16** articulates the following "process for establishing quasi-judicial procedures".

V. Party Intervenors. The City attorney may allow a person to intervene as a Party intervenor if they meet the following requirements:

- A. The person must have an interest in the application, which is different than the public at large.
- B. At least three days prior to the hearing, the person shall submit a written request to intervene Including: a detailed outline of his or her interest in the application and argument in favor or against it, copies of all exhibits which will be presented at the hearing and the names and addresses of all witnesses who will be called to testify on their behalf (including resumes for any witness the person intends to qualify as an expert.)

Criterion Number 1, an interest different from the public at large. The residence of Keith J. Madsen is among the dwellings nearest to the site of the proposed service station. *I respectfully request that I be recognized as an intervenor in case #19-439002 on grounds that my interest is greater than that of the public at large.*

Criterion Number 2, a request submitted at least three days prior to the hearing with specified contents. The request for intervenor status has been forwarded via email to the City Attorney and the Community Development Director at least three days prior to the first scheduled hearing on August 19, 2019. Resolution 17-R16 also requires that we provide the following materials:

- “a detailed outline of his or her interest in the application and argument in favor or against it.” We have explained our interest in our response to Criterion Number 1. Our argument against the application will be that it is inconsistent with the Fort Pierce Comprehensive Plan, that it will be disruptive to the immediate neighborhood due to its 24-hour operations, light pollution, noise, and antisocial behavior. The largest factor affecting the entire island will be traffic congestion as well as hazards for vehicles, pedestrians and bicyclists.
- “copies of all exhibits which will be presented at the hearing.” All exhibits, expert reports, or slide presentations will be submitted to the City Clerk’s office no later than three days prior to the hearing.
- “names and addresses of all witnesses who will be called to testify on their behalf (including resumes for any witness the person intends to qualify as an expert)”. In addition to myself, Keith J. Madsen, address listed above, also testifying will be expert witness Mohsen Salehi (ITE(F) of Salehi Consulting Service of Ft. Myers, Florida; resume is attached.

I respectfully request that Keith J. Madsen and Mohsen Salehi (ITE)(F) be recognized as intervenors in case # 19-4390002 on grounds that we have applied in a timely manner for intervenor status.

If you have any questions concerning this request please contact me at 443-618-0621 or email madsenk1@verizon.net. and/or Mohsen Salehi at 239-994-1320 or email msalehi@caltrangroup.com.

Sincerely,



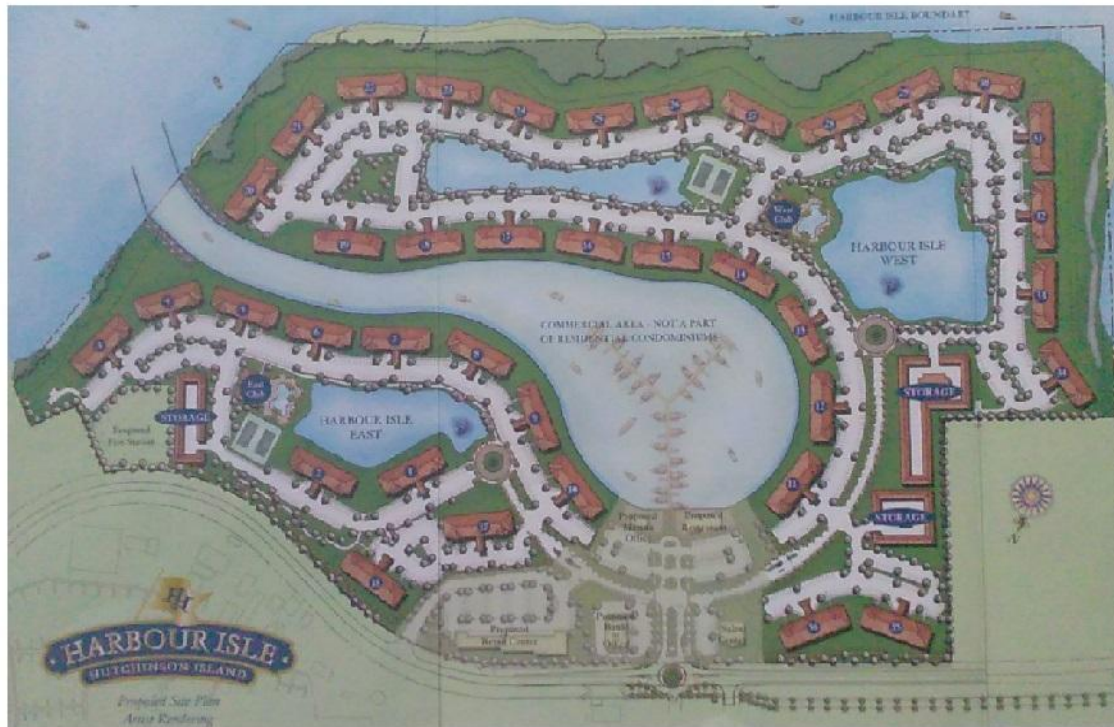
Keith J. Madsen

From: Mohsen Salehi msalehi@caltrangroup.com
Subject: Brief Qualifications
Date: Aug 6, 2019 at 5:50:51 PM
To: madsenk1@verizon.net

Mohsen Salehi's Qualifications:

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City of Ft Pierce
Case#19-4390002 Cumberland Farms
Application For Major Amendment To PD At 835 Seaway Drive



Mohsen Salehi, AICP, ITE(F)
On Behalf of Harbour Isle Community
of South Hutchinson Island
Preservation (SHIP), Inc.
Ft Pierce City Commission
August 19, 2019



TRAFFIC IMPLICATIONS

Of Proposed Cumberland Farms Relocation To 835 Seaway Dr (A1A)

Existing CF:
975 Seaway Dr
4,000 sq ft
0.74 AC
Zoning: C5/TC
FLU: GC



Proposed CF:
835 Seaway Dr
5,625 sq ft / 12 FP
1.5 AC
Zoning: PD
FLU: HIMU

Seaway Dr (A1A) Walk Score

Scores for Seaway Drive

Walk Score **36** Bike Score **54**

Walk Score

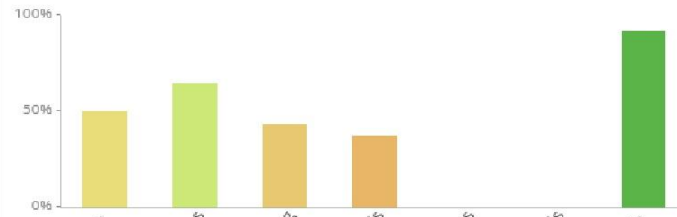
Transit Score

Bike Score

Score Details

What is Walk Score

The Walk Score for Seaway Drive is based on the following categories.



Seaway Dr (A1A) Bike Score



Scores for Seaway Drive



Walk Score

Transit Score

Bike Score

Bike Score measures whether an area is good for biking based on bike lanes and trails, hills, road connectivity, and destinations.

90-100

Biker's Paradise

Daily errands can be accomplished on a bike

70-89

Very Bikeable

Biking is convenient for most trips

50-69

Bikeable

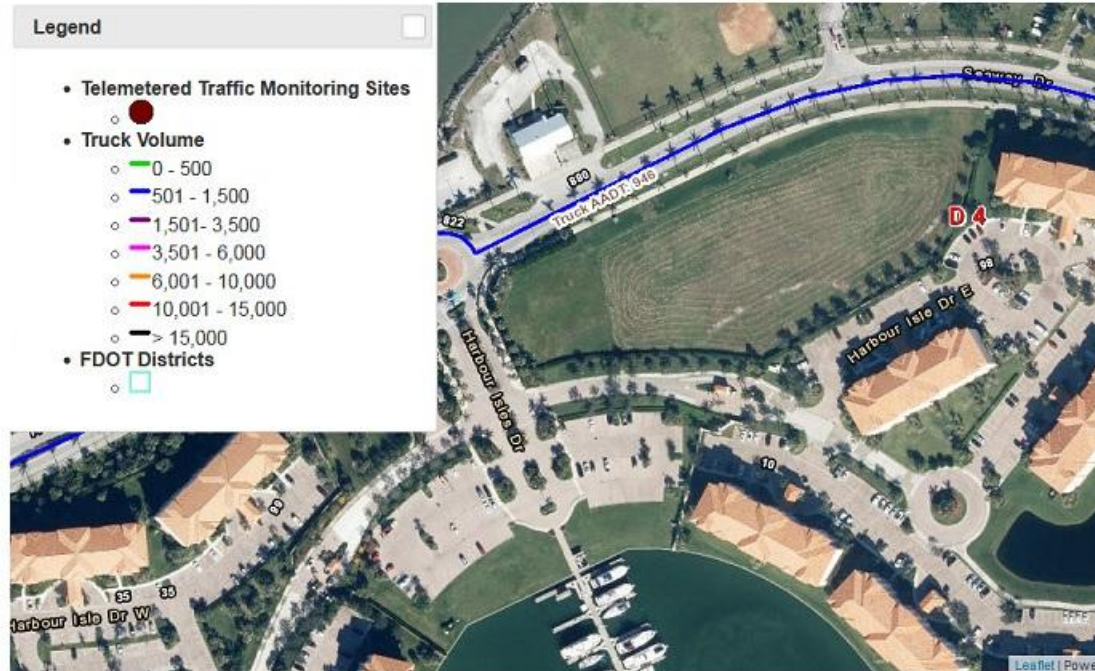
Some bike infrastructure

0-49

Somewhat Bikeable

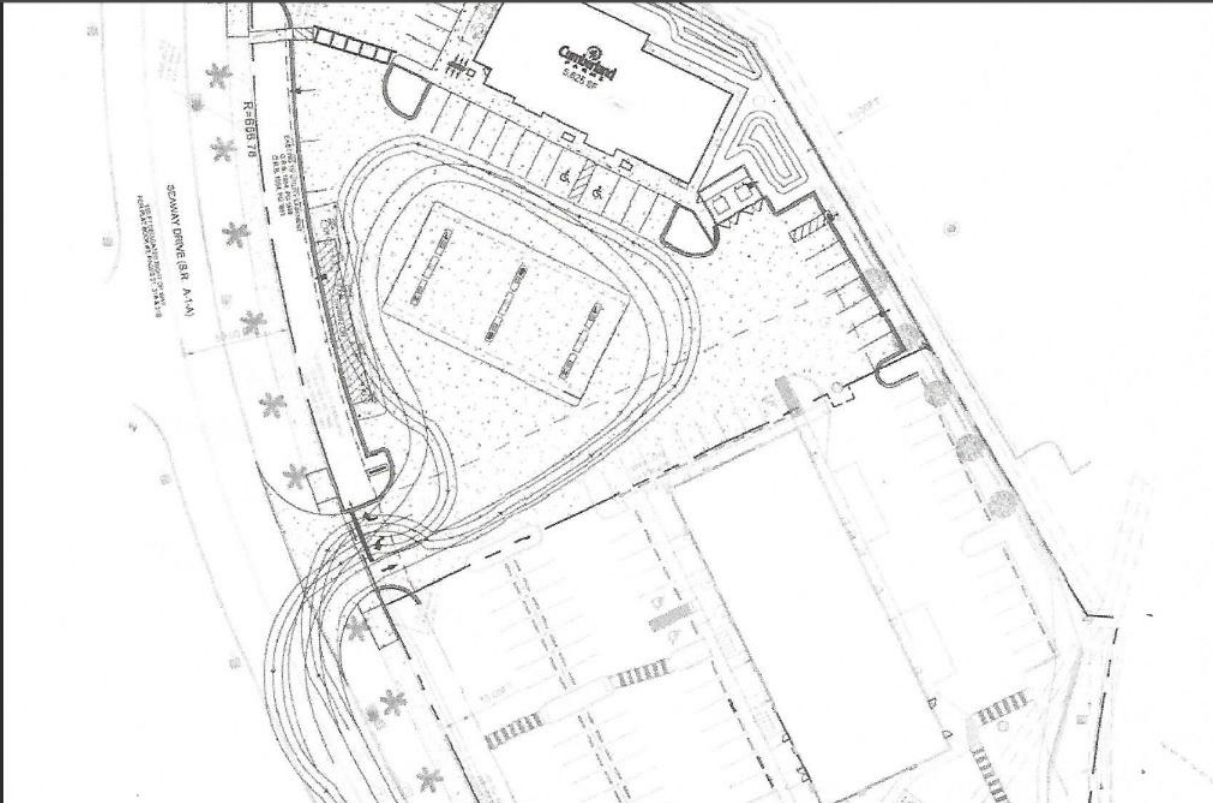
Minimal bike infrastructure

Truck Traffic



- 1) 2018 Truck Traffic: 946 AADT or 5.7% of Seaway Dr (A1A) Traffic Total of 16,600
- 2) Truck Impacts on Coastal Traffic w/ their Limited Maneuverability, & Larger Radii, on A1A as 2Lane Undivided Rd Pose Safety & Quality of Life Concerns

Turning Movements Issues



- 1) RI/LO Turning Movements (Swept Path) Shown For a Fuel Tanker Truck (Typ. 39.03'X8.2'X11.15') Fail to Address Concerns About RVs & Boat-Towing Trucks RIRO or LIRO
- 2) Trucks Swept Path Encroachment onto Bike Lanes Constitute a Safety Concern

Driveways Issues

1) Movements to & from A1A Single Lane Approaches, - T Intersection Driveways, Particularly Full Access, RIRO/LILO, Constitute 9 Conflict Points Through Merging (3) , Diverging (3), and Crossing(3) Movements

2) Conflict Points Compounded by Pedestrian Crossing & Bicycle Traffic Particularly if Riding Against Traffic Flow

3) A1A as a Two Lane Undivided Roadway, without a Median or Right Turn Lane is Particularly Vulnerable to Unsafe Short Cuts in the Vicinity of the Proposed CF.

4) FDOT Approval of CF Request for “Driveway 1: Right in only Driveway on the South side of SR A1A/Seaway Drive, Located Approximately 200 feet East of Harbour Isle Drive” inconsistent with the Department’s Rule 14-97, Table 2 Establishing a Minimum of 245 Connection Spacing for Access Class 06 with speed =< 45mph

Rule 14-97: Table 2

Access Class	Medians	Connection Spacing (FEET)		Median Opening Spacing (FEET)		Signal Spacing (FEET)
		> 45 mph	≤45mph	Directional	Full	
2	Restrictive with Service Roads	1320	660	1320	2640	2640
3	Restrictive	660	440	1320	2640	2640
4	Non-Restrictive	660	440			2640
5	Restrictive	440	245	660	*2640/ 1320	*2640/ 1320
6	Non-Restrictive	440	245			1320
7	Both		125	330	660	1320

*2640 feet for > 45 mph; 1320 feet for < 45 mph

"Restrictive" = physically prevent vehicle crossing

"Non-Restrictive" = allow turns across at any point

CF Traffic Area of Influence



1) Per LDC Sec 22-217 (f)(b)(2) Table A, Even as “Minimal Scale” 1.0 Mile Radius Links & Intersections Need to be Analyzed


MEP CF's Traffic Study Irregularities & Inconsistencies

- 1) Background Traffic AADT By Averaging FDOT CS#940115 (Seaway Dr)& #945016 (Ocean Dr) To Reduce 5YR Growth Rate (4.28%,1.55% Respectively) to 3.4%(p.6)
- 2) Assertion of Approval of 24,268sqft Development Parameters in MEP's TIS (p.2) as Opposed to Shoppe's 11,050sqft (Per Ord. 19-003)
- 3) Trip Generation Calculations for Medical Office (Exhibit7) w/o Entering them into Links LOS
- 4) Limiting Intersections Analyses to RI(W), Full Access, RIRO-LILO(M), & RO(E) Driveways & Excluding Harbour Isle Roundabout & A1A / Bayshore Intersection
- 5) 2018 St Lucie TPO LOS Report for PM Pk Hr Pk Dir Indicate Background Traffic LOS D for A1A (Binney Dr to Causeway Park ($V/C = 777/790 = 0.984$ w/ 14,800 AADT 2017)

PM Pk Hr Pk Dir for 2018 Data Results in LOS F ($V/C = 944/790 = 1.19$ w/16,600 AADT 2018) inconsistent w/ LDC Sec. 22-218 (e)(1) Table B Requirement for Minor Arterials LOS D

PRE-APPLICATION VS. METHODOLOGY

1 of 23 Automatic Zoom

 **St. Lucie** Transportation Planning Organization

Coco Vista Centre
466 SW Port St. Lucie Blvd, Suite 111
Port St. Lucie, Florida 34953
772-462-1593 www.stlucietpo.org

STANDARDIZED TRAFFIC IMPACT STUDIES (TIS) METHODOLOGY AND PROCEDURES

- **ST. LUCIE COUNTY**
- **CITY OF FORT PIERCE**
- **CITY OF PORT ST. LUCIE**

Considering Availability of St. Lucie County TPO Standardized TIS, Methodology & Procedure (May 2014) City Is Urged to Require Applicants to Follow to Show Full Impact of Proposed Developments.

Inconsistency w/ Comp Plan

Comp Plan Future Land Use Element

1.4 Objective: Coordinate the transportation and land use planning activities of Fort Pierce to ensure that the roadway level of service(LOS) standards established within the Comprehensive Plan are maintained

.1.4.1 Policy: The City shall evaluate land use with transportation impacts for all land use and development applications which will direct planned improvements in the Schedule of Capital Improvements and the Capital Improvements Element

1.4.2 Policy: The City will require traffic impact studies for all future land use changes, rezonings, and development applications. Applicants will be required to demonstrate the traffic impacts according to professionally accepted traffic engineering practices.

With A1A Background Traffic at F, Denying the Application based on Applicant's TIS Downplaying Full Impact of Development, is Ground for Denying CF Application, Consistent w/ Objective 1.4 & Policy 1.41. 1.4.2.

Inconsistency w/ Comp Plan

Comp Plan Transportation Element

2.1. Objective: The City of Fort Pierce is designated as a transportation Concurrency Exception area pursuant to Section 163.3180, Florida Statutes (F.S.). The City is exempt from state-mandated transportation concurrency. The City will continue to administer a roadway level of service (LOS) based Concurrency Management system to review development impacts. Land use and Transportation strategies to support and fund mobility shall be implemented to comply with 163.3180(5)(b)4, F.S.

2.1.1 Policy: Development impacts will continue to be mitigated through the administration of a roadway LOS based concurrency management system that requires transportation facilities needed to serve new development to be in place or under construction within three years after the City approves a building permit or its functional equivalent.

In the Absence of Any Planned Capacity Improvements for A1A, City Must Uphold Adopted LOS to Safeguard Public Safety & Mobility Consistent with Objective 2.1. & Policy 2.1.1. and Deny CF Application

Inconsistency w/ LDC

LDC Sec. 22-218 (b)(2).

(2) *De minimis impacts*. A development which meets the following *de minimis impact* thresholds is also exempt from the requirements of this article, but only to the extent stated in an applicable certification of exemption:

a.

An *impact* that would not affect more than one per cent of the maximum volume at the adopted level of service of the affected transportation facility as determined by the director of planning.

b.

An *impact* for which the sum of existing roadway volumes and the projected volumes from approved projects on a transportation facility does not exceed one hundred ten (110) per cent of the maximum volume at the adopted level of service of the affected transportation facility.

CF Application Not eligible for Exemptions Since w/ Background Traffic at LOS F w/ V/C Ratio of 1.19 & Exceeding both (a.) & (b.) thresholds, therefore City is Strongly Urged to Deny CF Application.

Questions?

Sometimes in the city's rush to be
business friendly,
(Mayor)“Hudson Said . We don't
follow all of our rules.”

July 18, 2016

The Commission Is Urged to Stay
Consistent w/Comp Plan & LDC &
Deny CF Application For Major
Amendment To PD at 835 Seaway





Thank You

Mohsen Salehi, AICP, ITE(FL)
Salehi Consulting Services
Ft. Myers, Florida





**AFFIDAVIT OF
NOTIFICATION AND MAILING**

I, the undersigned, do hereby declare that I did mail copies of a notice of public hearings to each owner of the property located, or having any part thereof, situated within five hundred (500) feet of any point of the property for which the request has been made and to the owner of the property for which the request has been made, as required by Chapter 22, Article X, Section 22-143 of the Code of Ordinances.

Project: Major Amendment to PD - Harbour Isle - 835 Seaway Drive

Staff Name: Brandon C. Creagan

Staff Signature: B C C

Date Mailed: 7-17-19

Number of Mailed Letters: 164

Attachments:

- Copy of notice of public hearings
- Mailing list
- Map of properties notified



July 17, 2019

Dear Property Owner(s):

The property owner, **Harbour Isle Dev Commercial, LLC**, applicant, **Cumberland Farms**, and representative **Jeffery Lucas of Atkins, NA**, are requesting approval of a **Major Amendment** to the Harbour Isle Planned Development for the construction of a 5,625 sqft Fueling Station and Convenience Store with associated improvements to be known as Cumberland Farms. The property is zoned PD, Planned Development with a Future Land Use of HIMU, Hutchinson Island Mixed Use.

Legal Description: SECOND REPLAT OF HARBOUR ISLE AT HUTCHINSON ISLAND (PB 46-9) THAT PART OF TRACT D-1 MPDAF: FROM NW COR OF TRACT D-1, TH N 64 50 00 E ALG N LI OF TRACT 244.91 FT TO CURVE CONC S, R OF 666.78 FT, TH ELY ALG ARC 11.90 FT TO POB; TH CONT ALG ARC 388.84 FT TO NE COR OF TRACT, TH S 29 41 35 W 34.91 FT, TH N 78 52 58 W 13.84 FT, TH S 12 27 34 W 6.64 FT, TH N 76 43 04 W 4.75 FT, TH S 56 32 17 W 20.34 FT, TH S 08 07 52 W 4.31 FT, TH N 78 03 59 W 6.65 FT, TH S 11 13 25 W 71.62 FT TO CURVE CONC W, R OF 90 FT, TH SLY ALG ARC 17.17 FT, TH S 22 09 18 W 23.61 FT TO E LI OF TRACT, TH S 29 41 35 W 72.18 FT, TH S 60 12 16 W 160.08 FT TO POB (1.504 AC - 65,532 SF) (OR 2377-203)

A public hearing is scheduled before the City Commission of the City of Fort Pierce, Florida, at their meetings on **Monday, August 19, 2019** and **Tuesday, September 3, 2019** which begins at **6:30 p.m.** in the City Hall Commission Chambers, 100 North U.S. 1, Fort Pierce, Florida. You are provided the opportunity to attend the public hearing and to speak in favor of, or in opposition to, the requested **Major Amendment to the PD**. Whether you attend the meeting or not, it is requested that you please complete the form below and return it so it is received by **5 p.m. on Monday, August 19, 2019**. Methods of returning your ballot are identified below. Each ballot returned will be tabulated and reported to the City Commission. If you have any inquiries, or would like to review the complete application, please contact me at (772) 467-3742 or bcreagan@city-ftpierce.com. Furthermore, published agenda packets for each City Commission meeting are provided a few days in advance at the following web address: <http://cityoffortpierce.com/223/Agendas-Minutes>.

Thank you for your contribution.

Sincerely,

Brandon Creagan, LEED Green Associate
 Planner

Major Amendment to PD - Harbour Isle - 835 Seaway Drive

No. 1

I approve 0

I disapprove 0

Comments:

Signature

Date

Aerial Map

835 Seaway Drive



Major Amendment to PD Cumberland Farms Aerial Map



Please complete and return ballot to:

Mail
City of Fort Pierce
Planning Department
100 N. US Hwy 1
Fort Pierce, FL 34950

or

Fax
(772) 466-5808

or

Email
bcreagan@city-ftpierce.com

Salvador-Harbeck (LF EST) Aleida 1
240 Gray Street
West Palm Beach , FL 33405-4706
UNITED STATES

Newman Tracy E 2
1 E Harbour Isle Dr, Unit 102
Fort Pierce , FL 34949-2753
UNITED STATES

Massei (TR) Sara S 3
10946 Lake Central Drive
Saint John , IN 46373-0260
UNITED STATES

Tarallo John 4
27 Crystal Terrace
Mount Bethel , PA 18343-5775
UNITED STATES

Leonard Laurie 5
2 Swift Road, Unit 105
Lombard , IL 60148-1147
UNITED STATES

Bunch (LF EST) Laura L 6
1951 NE 60th Street
Fort Lauderdale , FL 33308-2125
UNITED STATES

McCarthy James G 7
31 Yankee Maid Lane
Goshen , NY 10924-2600
UNITED STATES

DeVries Ronald 8
1336 SW Cottonwood CV
Port St Lucie , FL 34986-2002
UNITED STATES

Jeppson Charles A 9
1129 San Martin Drive
Tucson , AZ 85704
UNITED STATES

Peterson William A 10
1 E Harbour Isle Dr, Unit 204
Fort Pierce , FL 34949-2753
UNITED STATES

O`Leary Marian 11
1 E Harbour Isle Dr, Unit 205
Fort Pierce , FL 34949-2753
UNITED STATES

Sangster David E 12
1 E Harbour Isle Dr, Unit 206
Fort Pierce , FL 34949-2753
UNITED STATES

Staelens Solange A 13
1 E Harbour Isle Dr, Unit 301
Fort Pierce , FL 34949-2753
UNITED STATES

Flosi (TR) Elizabeth 14
22 Praire Lane
Orland Park , IL 60467-7222
UNITED STATES

Speck Charles 15
1 E Harbour Isle Dr, Unit 303
Fort Pierce , FL 34949
UNITED STATES

VanWyk (TR) Janet E 16
7273 SE Old Lantern Dr
Caledonia , MI 49316-9002
UNITED STATES

Collins (LF EST) Roger 17
1 E Harbour Isle Dr, Unit 305
Fort Pierce , FL 34949-2753
UNITED STATES

Clifford Joseph D 18
2367 Barnsbury Road
East Lansing , MI 48823-7770
UNITED STATES

Mijares Carlos 19
7700 SW 176th Street
Palmetto Bay , FL 33157-6244
UNITED STATES

Berman (TR) Alan M 20
1780 NW 104th Avenue
Coral Springs , FL 33071-6501
UNITED STATES

Briganti Francis L 21
1 Harbour Isle Dr E PH03
Fort Pierce , FL 34949-2753
UNITED STATES

Montgomery George 22
1 E Harbour Isle Dr, Unit PH4
Fort Pierce , FL 34949-2753
UNITED STATES

Tischler Robert J 23
5003 Jackson Drive
Jefferson Hills , PA 15025-3455
UNITED STATES

Metcalf Daryl L 24
1 E Harbour Isle Dr, Unit PH6
Fort Pierce , FL 34949-2753
UNITED STATES

Stroh Cary A 25
1911 N 47th Avenue
Hollywood , FL 33021-4125
UNITED STATES

Starcevich Charles A 26
917 Krystal Lane
New Lenox , IL 60451-2618
UNITED STATES

Squires Thomas E 27
2 E Harbour Isle Dr, Unit 103
Fort Pierce , FL 34949-2754
UNITED STATES

Anthony Stephen M 28
2 E Harbour Isle Dr, Unit 104
Fort Pierce , FL 34949-2754
UNITED STATES

Davis John R 29
2 E Harbour Isle Dr, Unit 105
Fort Pierce , FL 34949-2754
UNITED STATES

Debus Sr John R 30
2469 SE Grand Drive
Port St Lucie , FL 34952-6533
UNITED STATES

Doherty Bernadette 31
2 E Harbour Isle Dr, Unit 201
Fort Pierce , FL 34949-2754
UNITED STATES

Conner Jeffrey 32
2 E Harbour Isle Dr, Unit 202
Fort Pierce , FL 34949-2754
UNITED STATES

Kussel (TR) Jean Z 33
2 E Harbour Isle Dr, Unit 203
Fort Pierce , FL 34949-2754
UNITED STATES

Natale Johanna 34
2 E Harbour Isle Dr, Unit 204
Fort Pierce , FL 34949-2754
UNITED STATES

Reilly Grace M 35
914 Bay Avenue
Point Pleasant Beach , NJ 08742-3065
UNITED STATES

Gilmore Kent 36
2 E Harbour Isle Dr, Unit 206
Fort Pierce , FL 34949-2754
UNITED STATES

Tutt III Karl F 37
2 E Harbour Isle Dr, Unit 301
Fort Pierce , FL 34949
UNITED STATES

Marino Joseph 38
2 E Harbour Isle Dr, Unit 302
Fort Pierce , FL 34949
UNITED STATES

Truby Charles P 39
502 Waycross Drive
Greensboro , NC 27410-6056
UNITED STATES

Morse Guy W 40
139 E Berkeley Street, Unit Apt 602
Boston , MA 02118-4604
UNITED STATES

Czarnota Joseph R 41
13 Bigham Road
North Reading , MA 01864-2903
UNITED STATES

Eenigenburg (TR) Eugene 42
10049 Prairie Knoll Court
Saint John , IN 46373-8752
UNITED STATES

Morris Rodney 43
2 E Harbour Isle Dr, Unit PH1
Fort Pierce , FL 34949-2754
UNITED STATES

Hayden Joseph 44
2 E Harbour Isle Dr, Unit PH2
Fort Pierce , FL 34949-2754
UNITED STATES

Anderson Jonathan 45
2 Harbour Isle Dr, Unit PH3
Fort Pierce , FL 34949-2754
UNITED STATES

Bajada Angelo 46
268 Dock Road
Barrie , ON L4N 9S2
CANADA

Grondin (LF EST) Bette 47
2 E Harbour Isle Dr, Unit PH 5
Fort Pierce , FL 34949-2754
UNITED STATES

Byrum (TR) Tina M 48
2 E Harbour Isle Dr, Unit PH 6
Fort Pierce , FL 34949-2754
UNITED STATES

Voss Thomas 49
70 Aqua Ra Drive
Jensen Beach , FL 34957-2622
UNITED STATES

Guettler Brian K 50
1413 Lone Pine Drive
Fort Pierce , FL 34982-3344
UNITED STATES

Diotte Richard J 51
9 E Harbour Isle E Dr, Unit 103
Fort Pierce , FL 34949-2761
UNITED STATES

Urella Joseph J 52
9 E Harbour Isle Dr, Unit 104
Fort Pierce , FL 34949-2761
UNITED STATES

Center Bruce P 53
9 E Harbour Isle Dr, Unit 105
Fort Pierce , FL 34949-2761
UNITED STATES

Murphy (TR) Marilyn S 54
4 E Harbour Isle Dr, Unit 102
Fort Pierce , FL 34949-2756
UNITED STATES

Gordon (TR) Russell C 55
9 E Harbour Isle Dr, Unit 201
Fort Pierce , FL 34949-2761
UNITED STATES

Davis (TR) Thomas J 56
516 W Columbia Street
Chippewa Falls , WI 54729-2217
UNITED STATES

Cooper Robert C 57
212 Claiborne Fields Drive
Centreville , MD 21617-2506
UNITED STATES

Crea Linda 58
9 E Harbour Isle Dr, Unit 204
Fort Pierce , FL 34949-2761
UNITED STATES

Schreiner Dale A 59
9 E Harbour Isle Dr, Unit 205
Fort Pierce , FL 34949-2761
UNITED STATES

Szegeski Michael A 60
9 E Harbour Isle Dr, Unit 206
Fort Pierce , FL 34949-2761
UNITED STATES

Camire (TR) Robert J 61
9442 Northcote Avenue
Munster , IN 46321-3908
UNITED STATES

Foley Nancy B 62
9 E Harbour Isle Dr, Unit 302
Fort Pierce , FL 34949-2761
UNITED STATES

High Performance Properties LLC 63
3950 S Highway 41A
Clarksville , TN 37043-6803
UNITED STATES

Lanese Joseph 64
1 Osborn Street
Stony Point , NY 10980-3650
UNITED STATES

Raymon Jay Sizemore Jr 65
9 E Harbour Isle Drive, Unit 305
Fort Pierce , FL 34949
UNITED STATES

Lisa R Skipper 66
3848 Spring Tide Drive
Southport , NC 28461
UNITED STATES

Nist Paul A 67
9 E Harbour Isle Dr, Unit PH1
Fort Pierce , FL 34949
UNITED STATES

Huerta Holdings LLC (TR) 68
380 Creekstone Court
Longwood , FL 32779-6115
UNITED STATES

Bode Anne Marie 69
9 E Harbour Isle Dr, Unit PH3
Fort Pierce , FL 34949-2761
UNITED STATES

Ochse Daniel Francios 70
9 E Harbour Isle Dr, Unit PH4
Fort Pierce , FL 34949
UNITED STATES

Willis Donald 71
1720 Skyline Dr, Unit 108
Johnson City , TN 37604-3792
UNITED STATES

Cecchini Michael J 72
9 E Harbour Isle Dr, Unit PH6
Fort Pierce , FL 34949-2761
UNITED STATES

Cote Louis 73
711 RTE-138 Street
St-Tite-des-Caps , QC G0A 4J0
CANADA

Stecher (LF EST) Maureen M 74
10 E Harbour Isle Dr, Unit 102
Fort Pierce , FL 34949-2762
UNITED STATES

Windle John F 75
10 E Harbour Isle Dr, Unit 103
Fort Pierce , FL 34949
UNITED STATES

Kelly John M 76
122 Oyster Cove Dr
Grasonville , MD 21638-1045
UNITED STATES

Barr Victor M 77
10 E Harbour Isle Dr, Unit 105
Fort Pierce , FL 34949-2762
UNITED STATES

Rick Schaefer ETAL 78
10 E Harbour Isle Dr, Unit 106
Fort Pierce , FL 34949
UNITED STATES

Evans John F 79
441 Irving Avenue
Millville , NJ 08332-9781
UNITED STATES

Stiglbauer Nancy C 80
10 E Harbour Isle Dr, Unit 202
Fort Pierce , FL 34949-2762
UNITED STATES

Mazzo Paul 81
136 Szost Dr
Fairfield , CT 06824-4059
UNITED STATES

Hahneman Rodger 82
836 Forepeak Dr
Forked River , NJ 08731-3030
UNITED STATES

DeGraw Jr Bruce G 83
3608 Belmar Blvd
Neptune , NJ 07753-7105
UNITED STATES

Rizzo Alfonso V 84
10 E Harbour Isle Dr, Unit 206
Fort Pierce , FL 34949-2762
UNITED STATES

Mills Patrick W 85
1630 Toscano Terrace
Oconomowoc , WI 53066-4659
UNITED STATES

Rajaballey Maureen E 86
16386 SW 70 Street
Fort Lauderdale , FL 33331
UNITED STATES

Rajaballey Maureen E 87
16386 SW 70th Street
Fort Lauderdale , FL 33331
UNITED STATES

Bell James J 88
10 E Harbour Isle Dr, Unit 304
Fort Pierce , FL 34949-2762
UNITED STATES

Yenchko Thomas S 89
10 E Harbour Isle Dr, Unit 305
Fort Pierce , FL 34949-2762
UNITED STATES

AMB Land Inc 90
10 E Harbour Isle Dr, Unit 306
Fort Pierce , FL 34949-2762
UNITED STATES

Ferrari Arthur J 91
10 E Harbour Isle Dr, Unit PH1
Fort Pierce , FL 34949-2762
UNITED STATES

Maffei (LF EST) Frank A 92
10 E Harbour Isle Dr, Unit PH 2
Fort Pierce , FL 34949-2762
UNITED STATES

Sauls Stephen 93
32 W Harbour Isle Dr, Unit PH5
Fort Pierce , FL 34949-2784
UNITED STATES

Tarassenko Serge 94
10 E Harbour Isle Dr, Unit PH4
Fort Pierce , FL 34949-2762
UNITED STATES

Nelson Dean 95
18 Bruns Road
Allenhurst , NJ 7711
UNITED STATES

Neil Richard 96
10 E Harbour Isle Dr, Unit PH 6
Fort Pierce , FL 34949-2762
UNITED STATES

Giancola Carol A 97
150 Charles Street
Floral Park , NY 11001-2237
UNITED STATES

Love Becky 98
1717 Sunset Isles Road
Fort Pierce , FL 34949-3433
UNITED STATES

Joiner Sid 99
37 E Harbour Isle Dr, Unit 103
Fort Pierce , FL 34949-2789
UNITED STATES

Love George 100
37 E Harbour Isle Dr, Unit 104
Fort Pierce , FL 34949
UNITED STATES

Rovira (TR) Cora J 101
1743 Cotswold Dr
Orlando , FL 32825
UNITED STATES

Cade (TR) Frederick C 102
1323 SE 17th Street, Unit Ste 471
Fort Lauderdale , FL 33316-1707
UNITED STATES

Marreiros Arthur J 103
36 Bell Drive
Highland , NY 12528-1608
UNITED STATES

Grover Paul L 104
5318 Villa Ridge Court
Baldwinsville , NY 13027-8975
UNITED STATES

Bond Richard 105
37 E Harbour Isle Dr, Unit 203
Fort Pierce , FL 34949-2789
UNITED STATES

Theodore Thomas Sawicz Revocable Trust 106
37 E Harbour Isle Dr, Unit 204
Fort Pierce , FL 34949-2789
UNITED STATES

Ulishney Eugene 107
5812 NW 63rd Way
Parkland , FL 33067-1528
UNITED STATES

Brady Anthony P 108
536 N Preserve PT
Jupiter , FL 33458-8325
UNITED STATES

Barbret (TR) Craig T 109
37 E Harbour Isle Dr, Unit 301
Fort Pierce , FL 34949-2789
UNITED STATES

Sullivan Donald W 110
2235 El Cid Court
Davie , FL 33324-5912
UNITED STATES

Florio Pietro 111
265 Maron Lane
Seven Hills , OH 44131-3523
UNITED STATES

Anderson (TR) Daniel M 112
37 E Harbour Isle Dr, Unit Unit 304
Fort Pierce , FL 34949-2789
UNITED STATES

Howell Don M 113
19394 Gulfstream Dr
Tequesta , FL 33469-2050
UNITED STATES

Casson Tammy L 114
37 E Harbour Isle Dr, Unit 306
Fort Pierce , FL 34949-2789
UNITED STATES

Hegedus Kathy M 115
37 E Harbour Isle Dr
Fort Pierce , FL 34949-2789
UNITED STATES

Anderson (TR) Daniel M 116
37 E Harbour Isle Dr, Unit Unit 304
Fort Pierce , FL 34949-2789
UNITED STATES

Spyrzynski Grzegorz 117
37 E Harbour Isle Dr, Unit PH03
Fort Pierce , FL 34949-2789
UNITED STATES

Rudd James M 118
37 E Harbour Isle Dr, Unit PH04
Fort Pierce , FL 34949-2789
UNITED STATES

VanDenbos Gary 119
1706 Francis Court
Fort Pierce , FL 34949-3579
UNITED STATES

Malatesta Robert I 120
37 E Harbour Isle Dr, Unit PH06
Fort Pierce , FL 34949-2789
UNITED STATES

Robertson Diane D 121
38 E Harbour Isle Dr, Unit 101
Fort Pierce , FL 34949-2790
UNITED STATES

Hernandez Danilo R 122
1250 Belfiore Way
Windermere , FL 34786-8113
UNITED STATES

Crow Cheryl N 123
503 Bayberry Drive
Severna Park , MD 21146-3602
UNITED STATES

Kohler Shauna R 124
2358 SE Delano Road
Port St Lucie , FL 34952-5558
UNITED STATES

Koblegard Susan A 125
38 Harbour Isle Dr, Unit 105
Fort Pierce , FL 34949-2790
UNITED STATES

Wooten Daniel L 126
38 E Harbour Isle Dr, Unit 106
Fort Pierce , FL 34949-2790
UNITED STATES

Carroll Lawrence G 127
23 Hendrik Hudson Way
Halfmoon , NY 12065-2673
UNITED STATES

Sachs (LF EST) Sharon E 128
161 SE Osprey Ridge
Port St Lucie , FL 34984-8941
UNITED STATES

Sweeney William M 129
38 E Harbour Isle Dr, Unit 203
Fort Pierce , FL 34949-2790
UNITED STATES

Emerald Harbour Enterprises 130
2326 S Congress Avenue, Unit Ste 1C
West Palm Beach , FL 33406-7652
UNITED STATES

Noble Carol S 131
38 E Harbour Isle Dr, Unit 205
Fort Pierce , FL 34949-2790
UNITED STATES

Martin Daniel 132
38 E Harbour Isle Dr, Unit 206
Fort Pierce , FL 34949-2790
UNITED STATES

Rodriguez Elvis 133
38 E Harbour Isle Dr, Unit 301
Fort Pierce , FL 34949-2790
UNITED STATES

Shaw Mary L 134
772 Howe Island Dr
Gananoque , ON K7G 2V6
CANADA

Settanni Sebastiano 135
11702 W 130th Street
Strongsville , OH 44136-2753
UNITED STATES

Payne (TR) Rosemarie 136
38 E Harbour Isle Dr, Unit 304
Fort Pierce , FL 34949-2790
UNITED STATES

Pinho Manuel A 137
342 Long Ridge Road
Stamford , CT 06902-1637
UNITED STATES

DiCenso Ferdinando 138
325 Oakview Circle
Hinckley , OH 44233-9414
UNITED STATES

Hamilton Gisela B 139
2322 Keen Road
Fort Pierce , FL 34946-2003
UNITED STATES

Ramos (LF EST) Victoria M 140
12104 SW Bayberry Avenue
Port St Lucie , FL 34987-2818
UNITED STATES

Rowe Robert 141
11349 Kingsley Manow Way
Jacksonville , FL 32225-1075
UNITED STATES

Johnston Ronnie L 142
PO Box 1578
Sweetwater , TX 79556-1578
UNITED STATES

Hartl Willaim 143
38 E Harbour Isle DR, Unit PH5
Fort Pierce , FL 34949-2790
UNITED STATES

Sreenan (TR) Janis A 144
3810 NE 30th Avenue
Lighthouse Point , FL 33064-8422
UNITED STATES

AMB Land Inc 145
1017 Creek Road
Newark , DE 19711
UNITED STATES

Becky Love ETAL 146
414 Conc 4
West Waterdown , ON L8B IJ5
CANADA

Frederick C Cade (TR) ETAL 147
1323 SE 17th Street, Suite 471
Fort Lauderdale , FL 33316
UNITED STATES

Brian R Murphy ETAL 148
43 Congress Street
Pembroke , MA 2359
UNITED STATES

Donald Willis 149
3835 E Millers Bridge Road
Tallahassee , FL 32312-1061
UNITED STATES

St Lucie County 150
2300 Virginia Avenue
Fort Pierce , FL 34982-5632
UNITED STATES

Seaway Drive Investments LLC 151
7892 Saddlebrook Drive
Port St Lucie , FL 34986
UNITED STATES

Harbour Isle Dev Comm LLC 152
801 Seaway Drive
Fort Pierce , FL 34949
UNITED STATES

Harbour Isle Dev Comm LLC 153
825 Seaway Drive
Fort Pierce , FL 34949
UNITED STATES

Harbour Isle Plaza LLC 154
PO Box 3316
Jupiter , FL 33469
UNITED STATES

Camerone T Elizer (TR) 155
940 Seaway Drive
Fort Pierce , FL 34949
UNITED STATES

United States Coast Guard 156
15608 SW 117th Avenue
Miami , FL 33177
UNITED STATES

SLC Ft Pierce Fire Dist 157
5160 NW Milner Drive
Port St Lucie , FL 34983
UNITED STATES

Harbour Isle at Hutchinson Island Property Maintenance
Association 158
801 Seaway Drive
Fort Pierce , FL 34949
UNITED STATES

Harbour Isle At Hutchinson Island West Condominium
Association Inc 159
14 W Harbour Isle Drive
Fort Pierce , FL 34949
UNITED STATES

Harbour Isle At Hutchinson Island East Condominium Association
Inc 160
6 E Harbour Isle Drive
Fort Pierce , FL 34949
UNITED STATES

Angler`s Landing LLC 161
1708 SE Clearmont Street
Port St. Lucie , FL 34983
UNITED STATES

Saucier Realty LLC 162
8351 Chinaberry Road
Vero Beach , FL 32963
UNITED STATES

Republic Western Investments Co LLC 163
2049 Century Park E Ste 3630
Los Angeles , CA 90067
UNITED STATES

Republic Western Investments Co LLC 164
2049 Century Park E Ste 3630
Los Angeles , CA 90067
UNITED STATES

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SEAWAY DR

DR E

HARBOUR ISLE DR W



PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: Major Amendment to Planned Deveopment - Harbour Isle - 835 Seaway Drive

NOTICES PROVIDED PURSUANT TO: 22-143

NOTICE BY NEWSPAPER: 8-4-2019

NOTICE BY MAIL: 7-17-2019

NOTICE BY SIGNS: 8-7-2019

VERIFIED BY: Brandon C. Creagan

TITLE: Planner

SIGNATURE:

DATE: 8/7/2019

Treasure Coast Newspapers

PART OF THE USA TODAY NETWORK

St Lucie News Tribune
1801 U.S. 1, Vero Beach, FL 32960
AFFIDAVIT OF PUBLICATION

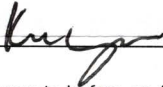
CITY OF FORT PIERCE
100 N. U.S. 1

FORT PIERCE, FL 34950

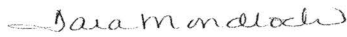
STATE OF WISCONSIN
COUNTY OF BROWN

Before the undersigned authority personally appeared, said legal clerk, who on oath says that he/she is a legal clerk of the St Lucie News Tribune, a daily newspaper published at Fort Pierce in St Lucie News Tribune, a daily newspaper published at Fort Pierce in St. Lucie County, Florida: that the attached copy of advertisement was published in the St Lucie News Tribune in the following issues below. Affiant further says that the said St Lucie News Tribune is a newspaper published in Fort Pierce in said St. Lucie County, Florida, and that said newspaper has heretofore been continuously published in said St. Lucie County, Florida, daily and distributed in St. Lucie County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid or promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. The St Lucie News Tribune has been entered as Periodical Matter at the Post Offices in Fort Pierce, St. Lucie County, Florida and has been for a period of one year next preceding the first publication of the attached copy of advertisement.

August 4, 2019



Subscribed and sworn to before on August 5, 2019:


Notary, State of WI, County of Brown

TARA MONDLOCH
Notary Public
State of Wisconsin

My commission expires August 6, 2021

Publication Cost: \$127.92
Ad No: 0003713733
Customer No: 1330884
PO #:

CITY OF FORT PIERCE NOTICE OF PUBLIC HEARING

The City Commission of the City of Fort Pierce, Florida, pursuant to Sections 22-40 & 22-143 of the Code of Ordinances of the City of Fort Pierce, and Section 166.041 (3)(a) of Florida State Statutes, will on Monday, August 19th, 2019 and Tuesday, September 3rd, 2019 hold Quasi-Judicial Public Hearing on the enactment of the proposed ordinance on first and second readings, respectively, in the City Hall Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida, at their meetings which begin at 6:30 p.m., to consider review and approval of the following:

ORDINANCE 19-037 AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; MODIFYING THE HARBOUR ISLE PLANNED DEVELOPMENT TO REVISE THE PREVIOUSLY APPROVED SITE PLAN FOR A CONVENIENCE STORE WITH FUEL SALES ON PROPERTY GENERALLY LOCATED AT 835 SEAWAY DRIVE; PROVIDING FOR A SEVERABILITY CLAUSE REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

All interested parties may appear at the meeting and be heard with respect to the Applications for Major Amendment to a Planned Development. Said application will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. #1, Fort Pierce, Florida.

ANY PERSON SEEKING TO APPEAL THE DECISION OF THE CITY COMMISSION AS TO THE FOREGOING IS ADVISED THAT A RECORD OF PROCEEDING IS REQUIRED IN ANY SUCH APPEAL AND THAT SUCH PERSON MAY NEED TO INSURE THAT A VERBATIM RECORD OF PROCEEDINGS MADE INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

/s/ Linda W. Cox, City Clerk
Publish: 8/4/2019
TCN3713733

Treasure Coast Newspapers

PART OF THE USA TODAY NETWORK

St Lucie News Tribune

1801 U.S. 1, Vero Beach, FL 32960

AFFIDAVIT OF PUBLICATION

CITY OF FORT PIERCE

100 N. U.S. 1

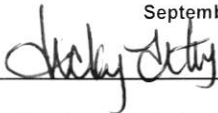
FORT PIERCE, FL 34950

STATE OF WISCONSIN

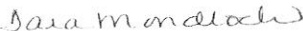
COUNTY OF BROWN

Before the undersigned authority personally appeared, said legal clerk, who on oath says that he/she is a legal clerk of the St Lucie News Tribune, a daily newspaper published at Fort Pierce in St. Lucie County, Florida; that the attached copy of advertisement was published in the St Lucie News Tribune in the following issues below. Affiant further says that the said St Lucie News Tribune is a newspaper published in Fort Pierce in said St. Lucie County, Florida, and that said newspaper has heretofore been continuously published in said St. Lucie County, Florida, daily and distributed in St. Lucie County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid or promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. The St Lucie News Tribune has been entered as Periodical Matter at the Post Offices in Fort Pierce, St. Lucie County, Florida and has been for a period of one year next preceding the first publication of the attached copy of advertisement.

September 8, 2019



Subscribed and sworn to before on September 9, 2019:



Notary, State of WI, County of Brown

TARA MONDLOCH
Notary Public
State of Wisconsin

My commission expires August 6, 2021

Publication Cost: \$121.68

Ad No: 0003774314

Customer No: 1330884

PO #:

CITY OF FORT PIERCE
NOTICE OF PUBLIC
HEARING

The City Commission of the City of Fort Pierce, Florida, pursuant to Sections 22-40 & 22-143 of the Code of Ordinances of the City of Fort Pierce, and Section 166.041 (3)(a) of Florida State Statutes, will on Monday, September 23, 2019 hold a Public Hearing on the enactment of the proposed ordinance on second reading, in the City Hall Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida, at their meeting which will begin at 5:05 p.m., to consider review and approval of the following:

ORDINANCE 19-037 AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; MODIFYING THE HARBOUR ISLE PLANNED DEVELOPMENT TO REVISE THE PREVIOUSLY APPROVED SITE PLAN FOR A CONVENIENCE STORE WITH FUEL SALES ON PROPERTY GENERALLY LOCATED AT 835 SEAWAY DRIVE; PROVIDING FOR A SEVERABILITY CLAUSE; REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

All interested parties may appear at the meeting and be heard with respect to the Applications for Major Amendment to a Planned Development. Said application will be available for inspection in the City Clerk's Office, City Hall, 100 North U.S. #1, Fort Pierce, Florida.

ANY PERSON SEEKING TO APPEAL THE DECISION OF THE CITY COMMISSION AS TO THE FOREGOING IS ADVISED THAT A RECORD OF PROCEEDINGS IS REQUIRED IN ANY SUCH APPEAL AND THAT SUCH PERSON MAY NEED TO INSURE THAT A VERBATIM RECORD OF PROCEEDINGS IS MADE INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

/s/ Linda W. Cox, City Clerk
Publish: 9/8/2019
TCN3774314

City Commission Meeting 5:05 PM

13. a.

Meeting Date: 09/23/2019

Re:

SUBJECT:

Resolution 19-R41 appointing a member to serve on the Fort Pierce Utilities Authority.

SUMMARY:

Pursuant to Resolution 18-R23, Charter Review Committee recommendations, this seat will be filled by a District 2 resident.

To be eligible, individuals must be a qualified elector of the City of Fort Pierce and live within District 2 and have no business relationship with FPUA.

RECOMMENDATION:

Consider the attached applications.

ALTERNATIVES:

Seek additional applications.

RESPONSIBLE STAFF:

Linda W. Cox, City Clerk

COORDINATED WITH:

n/a

Attachments

19-R41

18-R23

Albosta Application

DiPalma Application

Englmeier Application

Fee Application

Kraaz Application

Form Review

Form Started By: Linda Cox

Started On: 08/26/2019 09:31 AM

Final Approval Date: 09/04/2019

RESOLUTION NO. 19-R41

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, **CERTIFYING THE APPOINTMENT OF A MEMBER OF THE FORT PIERCE UTILITIES AUTHORITY BOARD**; PROVIDING FOR AN EFFECTIVE DATE.

BE IT RESOLVED By the City Commission of the City of Fort Pierce, Florida, that _____ be and is hereby appointed as a District 2 member of the Fort Pierce Utilities Authority Board for a term of four years in compliance with city charter and consistent with Resolution 18-R23; said term to commence October 1, 2019, and to expire on September 30, 2023, or when a successor has been duly appointed.

BE IT FURTHER RESOLVED that this Resolution shall become effective on October 1, 2019.

IN WITNESS WHEREOF, this Resolution has been duly adopted this 23rd day of September, 2019.

LINDA HUDSON, MAYOR COMMISSIONER

ATTEST:

LINDA W. COX, CITY CLERK

(CITY SEAL)

APPROVED AS TO FORM
AND CORRECTNESS:

PETER SWEENEY
CITY ATTORNEY

RESOLUTION NO. 18-R23

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; ADOPTING THE RECOMMENDATIONS OF THE **CHARTER REVIEW COMMISSION**; AGREEING TO MEET ANNUALLY WITH THE FPUA IN A JOINT PLANNING SESSION; AGREEING TO ESTABLISH A FORMAL COMPLAINT RESOLUTION PROCESS; ADOPTING A REVISED **APPOINTMENT PROCESS TO THE FPUA BOARD**; PROVIDING FOR A SEVERABILITY CLAUSE; REPEALING ALL RESOLUTIONS IN CONFLICT HERewith; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Commission adopted Resolution 17-R17 on August 7, 2017 establishing the Charter Review Commission, hereinafter called the "CRC"; and

WHEREAS, the Charter Review Commission held its organizational meeting on September 27, 2017, their initial Public Input Meeting on October 24, 2017 and their final Public Input Meeting on February 27, 2018; and

WHEREAS, on March 19, 2018, the CRC presented its final report to the Fort Pierce City Commission; and

WHEREAS, the Fort Pierce City Commission desires to formally accept the recommendations of the Charter Review Commission and memorialize the implementation of the recommendations by resolution since the recommendations do not require any charter amendments.

NOW THEREFORE, BE IT RESOLVED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1: The City Commission accepts the recommendations of the Charter Review Commission as presented on March 19, 2018.

SECTION 2: The City agrees to meeting annually with the FPUA in a Joint Planning Session to review and discuss Capital Improvements' budgets of each and the strategic goals and perspective growth of the City and FPUA including the potential joint participation in projects.

SECTION 3: The City Commission agrees to establish a formal dispute resolution process with FPUA that would be far simpler and more efficient and expedient than the statutory process.

SECTION 4: The City Commission adopts a revised appointment process for FPUA Board membership, beginning with the existing term that expires on September 30, 2018, to ensure that one person would be a District 1 resident, one person would be a resident of District 2 and the remaining two seats would be filled by city residents without regard to district of residence. The revised process is as follows:

- (a) One resident of District 1 shall be appointed for a four-year term to the FPUA Board by the Commissioners of District 1 by mutual agreement; in the event District 1 Commissioners do not agree on the appointee, each District 1 Commissioner will make a nomination and the Mayor shall select one of the two nominees as the FPUA Board Member. This seat shall be referred to as FPUA District 1 Seat. (Process to commence for the term which shall begin October 1, 2018.
- (b) The next year, one resident of District 2 shall be appointed for a four-year term to the FPUA Board by the Commissioners of District 2 by mutual agreement; in the event District 2 Commissioners do not agree on the appointee, each District 2 Commissioner will make a nomination and the

Mayor shall select one of the two nominees as the FPUA Board Member. This seat shall be referred to as FPUA District 2 Seat. (Process to commence for the term which shall begin October 1, 2019)

(c) For the remaining two appointments, the City Commission as a whole would appoint the FPUA Board Members utilizing a point system for votes based upon the order in which the City Commission ranks their choices based upon applications received. These seats shall be referred to as FPUA At-Large Seats. (Terms which shall begin October 1, 2020 and October 1, 2021).

(d) In the event any member representing District 1 or 2 move out of the district for which they were appointed to represent, the seat shall automatically become vacant and a new person residing within the appropriate district shall be appointed to fill the balance of the term.

SECTION 5. The provisions of this Resolution are declared to be severable and if any section, sentence, clause, or phrase of this Resolution shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Resolution but shall remain in effect, it being the legislative intent that this Resolution shall stand notwithstanding the invalidity of any part.

SECTION 6. All resolutions or parts of resolutions in conflict herewith are hereby repealed.

SECTION 7. This Resolution shall take effect immediately upon its adoption.

IN WITNESS HEREWITH, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this 21st day of May, 2018.

Linda Hudson, Mayor

ATTEST:

Linda W. Cox, City Clerk

(SEAL)

Approved as to Form
And Correctness:

James M. Messer, Esq.
City Attorney



CITY OF FORT PIERCE

100 NORTH US HWY 1

FORT PIERCE, FLORIDA 34950

(772) 467-3065 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT TO FPUA

(City Residency Required)

Name: Richard F. Albosta		Phone: 973 216-8749	
Home Address: 1028 Windward Drive		How long at this address? 5 years. 25 years of residential ownership in Ft. Pierce, Fl. Florida resident since 1998.	
City/Zip Code: Fort Pierce, Florida 34949			
Are you a qualified elector of the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Occupation: Executive/Consultant		Employer Name: Self Employed	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you now or in the future plan to do business with or have a business relationship with FPUA? If yes, please describe in detail outlining any businesses or matters deemed appropriate.		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Describe your professional background and what expertise you will bring to the FPUA Board. Feel free to attach your curriculum vitae (CV) or other applicable information. (See CV attached)			
Do you have special training or knowledge in any of the following areas: Utilities: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contracting/Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Legal: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Management: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Finance/Accounting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Describe your education and background in any of the above areas:			
Are you currently a member of a Commission-appointed board or committee? If yes, please specify:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If appointed, are you willing to attend a training session which could last at least 5 hours? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Referred by:		Applicant Email Address: ralbosta@O-hold.com	
Date: Aug 24, 2019	Applicant's Signature <i>R F Albosta</i>		

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950

fax (772) 467-3841 or via email at lcox@city-ftpierce.com

PROFESSIONAL RESUME

RICHARD F. ALBOSTA
1028 WINDWARD DRIVE
FORT PIERCE, FLORIDA 34949
Phone: 973 216-8749, E Mail Address: ralbosta@O-hold.com

Career Summary: Chief Executive Officer with over 50 years of experience in the energy industries, with concentration in electric energy and natural gas. Past and present member of the Board of Directors of numerous private, public and non- profit companies.

Specific Company and Industry Experience:

- 25 years with Ebasco Services, Inc., and engineering and construction company with over a 100-year history, who has put more electric plants in service worldwide (coal, gas, & nuclear) than any other company. Rose through the ranks from VP Finance to several operational positions, then to CEO. Eight years as CEO until sold to Raytheon in 1994. Ebasco was the engineer and constructor of the St. Lucie Power, and numerous other nuclear power plants.
- 20 years as a Principal and project investor in an independent privately-owned power company, Olympus Power, LLC. Olympus in its history has been involved in ownership of over 3,000 Mw of power, including coal, gas, geothermal, solar and wind.
- 3 years as a CEO of Enserch Environmental Company, a company engaged in all phases of environment services, including site characterization, environmental solutions, and actual site remediation.
- Past member of the Board of Directors of Connex, as subsidiary of Puget Sound Energy, and electric utility, Brooklyn Navy Yard Cogeneration Partners, Crompco, an oil and gas services company, Columbia Energy Group (seven years), a \$10 billion integrated publicly owned natural gas exploration & production, and pipeline company, before being purchased by NiSource Corporation in an unfriendly tender offer. Current member of the Board of Directors of Olympus Holdings, LLC, AquaSmart Enterprises, LLC. an advanced technology company engaged in the oil and gas proppant industry, and Oceanhouses of Southpoint, LLC, a non-profit HOA.

Listing of Specific Skill Sets

- Major equipment and balance of plant (electric power & gas – including wind and solar) procurement practices.
- Familiar with all electric energy production facilities – coal, gas nuclear, geothermal, solar and wind.
- Negotiation, review and preparation (if needed) of all types of contracts related to electric power – PPA's, engineering & construction contracts, major and minor procurement contracts, purchase & sale agreements, permitting, RFP's, litigation.
- Board of Directors governance practices and committees
- Financial reporting, review and practices (CPA credentials)
- Management and operational best practices

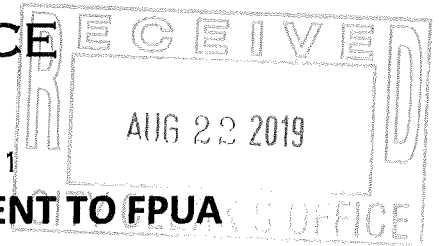
Education

BBA, University of Pittsburgh (Accounting Major), Wharton School of Business (Executive Program), Certified Public Accountant (CPA), Numerous Technical Energy Seminars & Programs



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3065 FAX (772) 467-3841



APPLICATION FOR APPOINTMENT/REAPPOINTMENT TO FPUA

(City Residency Required)

Name: Steven DiPalma		Phone: 772-370-7440	
Home Address: 516 Crooked Lake Lane #A		How long at this address? 7 Years	
City/Zip Code: Ft. Pierce 34982			
Are you a qualified elector of the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Occupation: President/Property Manager		Employer Name: High Point of Fort Pierce Condominium Association Section One	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list the address and nature of said business:			
Do you now or in the future plan to do business with or have a business relationship with FPUA? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe in detail outlining any businesses or matters deemed appropriate.			
Describe your professional background and what expertise you will bring to the FPUA Board. Feel free to attach your curriculum vitae (CV) or other applicable information. President/Licensed Property Manager CAM48591 of High Point Condominium Association. Have 264 units with a \$1,000,000 Budget. Manage and oversee all contracts and work being done dealing with Plumbing, Electrical, Utilities, Roads, Buildings, Streets, etc.			
Do you have special training or knowledge in any of the following areas: Utilities: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting/Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Legal: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Management: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Finance/Accounting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Describe your education and background in any of the above areas: Continuing Property Management Educational Seminars on Legal and Maintaining all the above updates.			
Are you currently a member of a Commission-appointed board or committee? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please specify:			
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:			
If appointed, are you willing to attend a training session which could last at least 5 hours? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Referred by: Tom Perona		Applicant Email Address: steven.dipalma@yahoo.com	
Date: 8/22/19	Applicant's Signature <i>Steven DiPalma</i>		

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950

fax (772) 467-3841 or via email at lcox@city-ftpierce.com

Steven DiPalma

Born on 8/29/50 65 years old

Wife: Margarita Vallejo DiPalma

Sons: Steven DiPalma, St. Lucie County Fireman/Paramedic

Brian DiPalma, IT Computer Security Technician

Grandson, Vincenzo

Granddaughter, Amelia Mae

Semi Retired, President/ Property Manager of High Point of Ft. Pierce Condominium Section One

Ft. Pierce resident for almost 45 Years

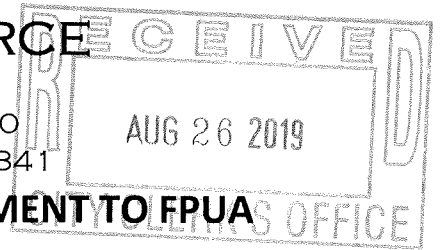
Community Activist since 1982

President of Ft. Pierce Athletic League since 2005, President St. Lucie Sheriff's Pal since 2017, Committee Member Victory's Saint Lucie County Toy Run, Past President of Ft. Pierce Downtown Kiwanis Club, Past Chairperson of the Civil Service Appeals Board, Past Vice Chairman Communitywide Council, Committee member for City of Ft. Pierce Advisory Board for FPUA, Ft. Pierce Elks 1520, Downtown Landlords Association, Special Deputy St. Lucie Sherriff Department, FOP #41



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
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APPLICATION FOR APPOINTMENT/REAPPOINTMENT TO FPUA

(City Residency Required)

Name: Robert F. Englmeier		Phone: 772-528-6255
Home Address: 3605 Chestnut Oak Drive City/Zip Code: Ft Pierce, FL 34981		How long at this address? 28 years
Are you a qualified elector of the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Occupation: Retired	Employer Name: Retired, see below for previous employers	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Do you now or in the future plan to do business with or have a business relationship with FPUA? If yes, please describe in detail outlining any businesses or matters deemed appropriate.		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Describe your professional background and what expertise you will bring to the FPUA Board. Feel free to attach your curriculum vitae (CV) or other applicable information. 19 years with FPL in various engineering & management positions 16 years with GE in various engineering & management positions 3 years Pilot in USAF		
Do you have special training or knowledge in any of the following areas: Utilities: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contracting/Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Legal: <input type="checkbox"/> Yes <input type="checkbox"/> No Management: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Finance/Accounting: <input type="checkbox"/> Yes <input type="checkbox"/> No Describe your education and background in any of the above areas: BS Mechanical Engineering Virginia Tech MBA University of Miami		
Are you currently a member of a Commission-appointed board or committee? If yes, please specify:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If appointed, are you willing to attend a training session which could last at least 5 hours?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Referred by: N/A	Applicant Email Address: bobengl@comcast.net	
Date: 8/22/2019	Applicant's Signature <i>R F Englmeier</i>	

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

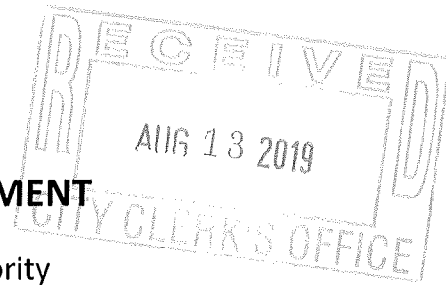
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CITY OF FORT PIERCE

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FORT PIERCE, FLORIDA 34950
(772) 467-3065 fax (772) 467-3841



APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: Fort Pierce Utilities Authority

Name: Frank H. Fee, IV		Phone: 772-461-5020
Home Address: 2401 Wilderness Dr. South, Fort Pierce, Florida 34982 City/Zip Code:		How long at this address? 10 years
Are you a citizen of the United States?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Occupation: Attorney at Law		
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fee, Yates & Fee, PLLC Treasure Coast Title & Escrow, a division of Fee & Fee, PLLC, a Law firm. 426 Ave A, Fort Pierce, Florida 34950		
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
From time to time, my firm is called upon to provide title searches or to insure title to real estate to be acquired by the City Of Fort Pierce. Neither me or my firm have a business relationship with the FPUA, other than as a consumer.		
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fee, Yates & Fee, PLLC 426 Ave A, Fort Pierce, Florida 34950		
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No Other: Describe your education, background, training and knowledge – (feel free to attach a resume): Born Fort Pierce, Florida, August 11, 1975; admitted to bar, 2002, Florida. Education: Georgia Southern College (B.A., 1998); Florida Coastal School of Law (J.D., 2002). Member: St Lucie County Bar Association; The Florida Bar. Practice Areas: Creditors Rights; Banking law; special assets litigation, loan workouts, loss mitigation; Estate Planning; Mortgages; Mortgage Foreclosure Residential and Commercial. Approximately 80% of my practice is devoted to real estate transactions.		
Are you currently a member of a Commission-appointed board/committee? If yes, please specify:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Referred by: Thomas K. Perona and Jeremiah Johnson Applicant Email Address: Hfee@feeyateslaw.com		
Date: August 12, 2019	Applicant's Signature	

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 467-3841 or via email at lcox@city-ftpierce.com



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3065 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT TO FPUA

(City Residency Required)

Name: <u>Hans Kraaz</u>	Phone: <u>772 979 0308</u>
Home Address: <u>1450 Sea way DR</u>	How long at this address? <u>6 months</u>
City/Zip Code: <u>FT. Pierce, FL. 34949</u>	
Are you a qualified elector of the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <u>applied today</u>	
Occupation: <u>CEO Various companies</u>	Employer Name: <u>IFB/K:K</u>
Do you own a business that operates within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business: <u>124 A N 2 ST</u> <u>FT. Pierce, FL. 34950</u>	
Do you now or in the future plan to do business with or have a business relationship with FPUA? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please describe in detail outlining any businesses or matters deemed appropriate. <u>I own properties that use the FPUA.</u>	
Describe your professional background and what expertise you will bring to the FPUA Board. Feel free to attach your curriculum vitae (CV) or other applicable information. <u>I own Real Estate, Finance, and retail business in Ft. Pierce</u>	
Do you have special training or knowledge in any of the following areas: Utilities: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting/Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Legal: <input type="checkbox"/> Yes <input type="checkbox"/> No Management: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Finance/Accounting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Describe your education and background in any of the above areas: <u>Run a company that has over 100 employees, Have built and renovated 30 buildings.</u>	
Are you currently a member of a Commission-appointed board or committee? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please specify:	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
If appointed, are you willing to attend a training session which could last at least 5 hours? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Referred by: <u>Butch alexander</u>	Applicant Email Address: <u>Hans@boatloans.net</u>
Date: <u>8/23/19</u>	Applicant's Signature:

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office - 100 North US Hwy 1, Fort Pierce, Florida 34950

fax (772) 467-3841 or via email at lcox@city-ftpierce.com

City Commission Meeting 5:05 PM

13. b.

Meeting Date: 09/23/2019

Re: Parks Advisory Committee Applications

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Resolution 19-R42 appointment of members to serve on the Parks Advisory Committee.

SUMMARY:

The City Commission adopted Resolution 19-R37 formalizing the Parks Advisory Committee which will consist of 7 members, one member appointed by each member of the Commission and two members appointed at large.

RECOMMENDATION:

Consider appointing members to the committee.

ALTERNATIVES:

Seek additional applicants.

RESPONSIBLE STAFF:

Linda W. Cox, City Clerk

COORDINATED WITH:

Mike Reals, Public Works Director

Fiscal Impact

OTHER INFORMATION:

No fiscal impact.

Attachments

19-R42

19-R37 Establishing PAC

Charlene Adair

Bob Burdge

Ionis Jefferson-Knowles

Susan Hamburger

Patty Reconco

John Smith

Martha Wright

Form Review

Inbox

City Manager

Form Started By: Linda Cox

Final Approval Date: 09/17/2019

Reviewed By

Nick Mimms

Date

09/10/2019 08:38 AM

Started On: 08/27/2019 02:54 PM

RESOLUTION NO. 19-R42

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, **CERTIFYING THE APPOINTMENT OF MEMBERS TO THE PARKS ADVISORY COMMITTEE**; PROVIDING FOR AN EFFECTIVE DATE.

BE IT RESOLVED By the City Commission of the City of Fort Pierce, Florida, that the following be and are hereby appointed by the City Commission to serve as members of the Parks Advisory Committee, which was established via Resolution No. 19-R37; said terms to commence upon adoption of this resolution and to expire as indicated below, or when a successor has been duly appointed.

<u>Name</u>	<u>Appointed by:</u>	<u>Term Expires</u>
	Rufus Alexander	December 3, 2022
	Jeremiah Johnson	December 4, 2020
	Tom Perona	December 3, 2022
	Reginald Sessions	December 4, 2020
	Linda Hudson	December 4, 2020
	At-Large	September 30, 2023
	At-Large	September 30, 2023

BE IT FURTHER RESOLVED that this Resolution shall become effective upon adoption.

IN WITNESS WHEREOF, this Resolution has been duly adopted this 23rd day of September, 2019.

LINDA HUDSON, MAYOR COMMISSIONER

ATTEST:

LINDA W. COX, CITY CLERK

(CITY SEAL)

APPROVED AS TO FORM
AND CORRECTNESS:

PETER J. SWEENEY
CITY ATTORNEY

RESOLUTION NO. 19-R37

A RESOLUTION BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, **ESTABLISHING THE CITY OF FORT PIERCE PARKS ADVISORY COMMITTEE**; RESPONSIBILITIES OF THE COMMITTEE, ELECTION OF PRESIDING OFFICER, MEETINGS, AND QUORUM; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Commission has determined that there is a need to formalize the Parks Advisory Committee in an effort to insure proper transparency and to adhere to all necessary state laws; and

WHEREAS, the Parks Advisory Committee has demonstrated great value to the City Commission through its collaborative efforts with citizens and business owners to evaluate, research and recommend solutions for parks related concerns within the City of Fort Pierce.

NOW, THEREFORE, BE IT RESOLVED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1. The City of Fort Pierce, Florida hereby establishes a Fort Pierce Parks Advisory Committee as an advisory committee to the Mayor and City Commission.

SECTION 2. Membership and Qualifications: Term of Appointment; Vacancy

A. The Committee shall consist of seven (7) members. All members shall have the following qualifications:

1. Members shall be a resident of the City of Fort Pierce;
2. One member shall be appointed by each member of the City Commission;
3. Two members shall be appointed at large;
4. Members shall not be elected officials or City staff members;

B. The term of each member of the Committee appointed by an individual City Commission member shall coincide with the term of the City Commission member that appointed the member of the Committee. At-large members shall serve a term of four years.

C. All Committee members appointed by an individual City Commission member shall serve at the pleasure of the City Commission member who appointed the Committee member.

- D. At-large Committee members shall serve at the pleasure of the majority of the City Commission. A majority is defined as three (3) members of the City Commission.
- E. Committee members shall be automatically removed for lack of attendance. Lack of attendance means failure to attend three (3) consecutive regularly scheduled meetings or failure to attend at least two-thirds of the regularly scheduled meetings during a calendar year. Participation for less than three-fourths of a meeting shall be the same as a failure to attend a meeting. Absences shall be entered into the minutes of the Committee meeting. Absences may not be excused.
- F. Vacancies occurring for any reason during the term of office by a Committee member shall be filled within ninety (90) days from the date of the vacancy.

SECTION 3. Responsibilities and Duties:

- A. The Committee shall act solely in an advisory capacity to the City Commission on matters relating to public parks. The Committee shall have the following responsibilities and duties:
 - 1. Provide input to the City Commission on parks related activities.
 - 2. Recommend policies related to parks activities.
 - 3. Provide research on tasks assigned by the City Commission.
 - 4. Educate the public on Commission directed initiatives.
 - 5. Other duties as assigned by the City Commission.

SECTION 4. The Committee shall elect one of its members as a Chairperson, one as a Vice Chairperson, and one as a Second Vice Chairperson. Elections shall be held at the first regularly scheduled meeting, or as soon thereafter as practical, after appointment of the Parks Advisory Committee. The Chairperson shall preside and conduct meetings of the Parks Advisory Committee. The Vice Chairperson shall act in the absence of the Chairperson. In the absence of both the Chairperson and Vice Chairperson, the Second Vice Chairperson shall act as the Chairperson. The term of the

Chairperson, Vice Chairperson, and the Second Vice Chairperson shall be for one year. A vacancy in the office of Chairperson or Vice Chairperson shall be filled at the earliest possible date by the Committee by the election of one of its members to fill the unexpired term.

SECTION 5. The Committee shall meet at least once per month unless there is no business to transact by the day before the regular meeting date. Special meetings may be called by the City Manager or as requested by City Commission.

SECTION 6. All meetings of the Committee shall be open to the public. City staff shall be responsible for recording minutes for all meetings of the Parks Advisory Committee. Minutes of the meetings and records shall be filed in the appropriate offices of the City and shall be public records.

SECTION 7. A majority of the Committee membership shall constitute a quorum for the transaction of business; providing, however, that no official action shall be taken by the Committee without the concurring vote of a majority of all members present at such meeting.

SECTION 8. This resolution shall take effect immediately upon its adoption.

IN WITNESS WHEREOF, this Resolution has been duly adopted this ____ day of August, 2019.

Linda Hudson
Mayor Commissioner

ATTEST:

Linda W. Cox, City Clerk

Approved as to Form
And Correctness:

Peter Sweeney, Esq.
City Attorney



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3065 fax (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: Parks Advisory Committee

Name: <u>Charlene Adair</u>	Phone: <u>772-285-3757</u>
Home Address: <u>1710 Francis CT</u> City/Zip Code: <u>Fort Pierce, FL 34949</u>	How long at this address? <u>6 yrs</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>Retired Management Consultant</u>	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, state the business and location:	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Other: Describe your education, background, training and knowledge – (feel free to attach a resume): <u>See Attached</u>	
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify: <u>Keep Fort Pierce Beautiful</u>	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Applicant Email Address: <u>cbadair4884@gmail.com</u>
Date: <u>9/5/19</u>	Applicant's Signature: <u>Charlene Adair</u>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950

fax (772) 467-3841 or via email at lcox@city-ftpierce.com

Charlene Adair

Summary of Training and Experience for Fort Pierce Parks Advisory Committee Application

Education

B.S. in Information Science (computer science through the business department), Boise State University

Employment Experience

After many years as a Management Consultant, I retired in 2011. I worked for Rath & Strong and was also one of four partners who founded The ChangeManagement Group. I have authored/co-authored four books on process improvement. Prior to this, I worked for Hewlett Packard as an Information Science (IT) specialist and, later, a consultant to HP customers.

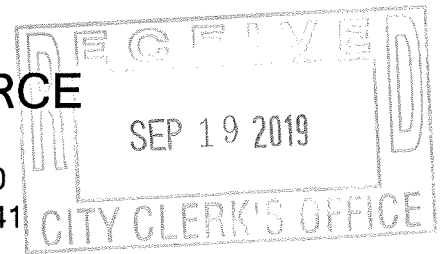
Volunteer Experience

- South Beach Association (SBA) Beaches & Parks: Cleanup in 9 parks and 4 miles of beach in South Beach.
 - Began volunteering in 2014 and continue to serve. Became the chairperson for approximately 40 volunteers in 2015. Recruit and manage volunteers, manage supplies provided by the City for the volunteers, report volunteer hours monthly for resource management and grant applications, and serve as a liaison with Fort Pierce Public Works.
 - Have promoted, gotten sponsors for, and maintained BlueTubes throughout South Beach (17 to date), encouraging everyone to keep our parks and beaches litter free.
- SBA Code Liaison 2016 – present.
- City of Fort Pierce Code Enforcement Department. Research and other special projects 2015 to present.
- St. Lucie County Sheriff Department Citizens on Patrol (COP) Driver 2015 – 2019.
- Keep Fort Pierce Beautiful (KFPB) Advisory Board.
 - Appointed to the KFPB Advisory Board in November of 2015 and continue to serve. Have participated in 5 Great American Cleanup events, working Registration and coordinating the project for South Beach each year.
 - Working to get power boxes wrapped to beautify the City.
 - Actively working on KFPB projects throughout the City.
- Parks Committee.
 - Appointed in May of 2017. Have participated in the following projects:
 - Dog friendly beach within the City? Included public survey and research on other jurisdictions.
 - Shuffleboard courts at Veterans Park – gather information.
 - Pickle Ball courts – how to provide more.
 - Golf cart utilization within the City. Determined what is legal (per the State), created a brochure & educational program to inform the public.
 - Memorial bench program. Reviewed present procedures, took inventory, and suggested changes.
 - Naming of public facilities. Created a process with application forms and presently vetting nominations for the Commission.
 - Use of City Parks by Vendors. Included data gathering from vendors, other jurisdictions, and an inventory of City Parks. Developed Special Use Permit process, application, and form. Completion of process soon.
 - Utilization of Jaycee Park. Work with FWC, other jurisdictions, Code Enforcement, and FPPD. Commission approved recommendations being implemented.
- Completed City of Fort Pierce Citizens Academy.



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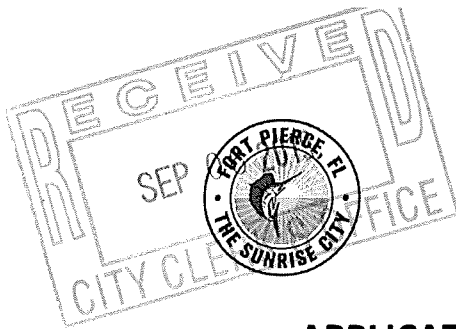


APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: Parks Advisory Committee

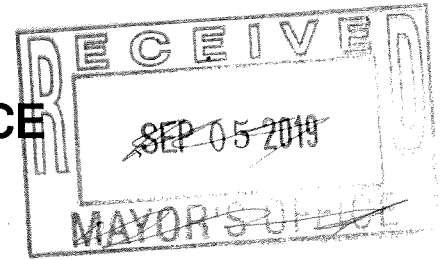
Name: <u>Bob Burdge</u>	Phone: <u>772-466-0032</u>
Home Address: <u>1302 NE BRASKA AVE 1-C</u> City/Zip Code: <u>FT Pierce FL 34950</u>	How long at this address? <u>2 1/2 yrs</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>Retired</u>	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge – (feel free to attach a resume):	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify: <u>PLANNING BOARD, VACANT WEBSITE COMMITTEE</u> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Referred by:	Applicant Email Address: <u>Commish33@Aol.com</u>
Date: <u>9/19/19</u>	Applicant's Signature: <u>[Signature]</u>

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APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: Parks Advisory

Name: <u>Lonis M. Jefferson-Knowles</u>	Phone: <u>(772) 672-1179</u>
Home Address: <u>2300 Valencia Ave</u> City/Zip Code: <u> Ft. Pierce 34946</u>	How long at this address? <u>3 1/2 yrs.</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>Retired Educator</u>	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>Frontline For Kids</u>	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Other: Describe your education, background, training and knowledge – (feel free to attach a resume): <u>Art Education K-12</u>	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Referred by: <u>Carlene Adair</u>	Applicant Email Address: <u>Honeydrop3199@gmail.com</u>
Date: <u>9.6.2019</u>	Applicant's Signature: <u>M. Jefferson-Knowles</u>

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APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: Parks Advisory Committee

Name: <u>Susan Hamburger</u>	Phone: <u>772-353-8422 cell</u> <u>772-882-9249 home</u>
Home Address: <u>1504 Coronado Avenue</u> City/Zip Code: <u>Fort Pierce, FL 34982</u>	How long at this address? <u>4 yrs.</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>retired Librarian</u>	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you have special training or knowledge in the area of: Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Other: <u>Florida Master Naturalist</u> Describe your education, background, training and knowledge – (feel free to attach a resume): <u>B.A. English, M.S. Library Science, M.A. Historical Administration, Ph.D. American History</u> <u>Florida Master Naturalist (6 courses); volunteer with St. Lucie County ELD as hike and kayak</u> <u>assistant; Savannah Preserve State Park; Friends of Savannahs Treasurer, Gift Shop Manager, webmaster,</u> <u>kayak assistant; NOAA Phytoplankton Monitoring Network volunteer; Florida Anticomplicitas Awareness Project</u> <u>volunteer</u>	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Referred by: <u>email from Suzanne Helms</u>	Applicant Email Address: <u>sxh36@psu.edu</u>
Date: <u>9-2-19</u>	Applicant's Signature: <u>Susan Hamburger</u>

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SUSAN HAMBURGER
1504 Coronado Avenue
Fort Pierce, FL 34982
772-882-9249 home; 772-353-8422 cell
sxh36@psu.edu

EDUCATION

- Ph.D., 1994 Florida State University (American History): "And They're Off! The Development of the Horse Racing Industry in Florida"
M.A., 1985 Florida State University (Historical Administration)
MLS, 1976 Rutgers University (Reference and Technical Services)
A.B., 1975 Rutgers University (English, minors in Anthropology and Ecology)

CONTINUING EDUCATION

- 2016 Florida Master Naturalist, Freshwater Systems
2017 Florida Master Naturalist, Uplands Systems
2017 Florida Master Naturalist, Coastal Systems
2018 Florida Master Naturalist, Coastal Shoreline Restoration
2019 Florida Master Naturalist, Conservation Science
2019 Florida Master Naturalist, Environmental Interpretation
2019 Indiana University, Eppley Institute for Parks and Public Lands: Foundations of Interpretation
2019 National Association for Interpretation: Certified Interpretive Host

EMPLOYMENT

- 8/2017-present University of Florida, Indian River Research & Education Center, Fort Pierce, FL
Lab Assistant (part-time temporary): Analyze phosphate levels in Everglades area soil samples and monitor citrus groves for Soils and Water Lab; wrote 15-page procedures manual for lab and field work.
- 1/1998-present MaritzCX, Overland Park, KS
Mystery Shopper (part-time). Self-assign jobs in St. Lucie, Martin, and Indian River counties.
- 7/1996-1/2016 Broadcast Music Inc., Nashville, TN
Music Logger (part-time). Field investigations of establishments that did not pay their performance rights license; identify artists and songs to document music being played with notes and digital recorder, draw floor plans, count attendance, and photograph establishment—all while incognito.
- 1/1994-8/2015 Pennsylvania State University, University Park, PA
Manuscripts Cataloging Librarian: tenured, full-time. Arrange, describe, and catalog literary and historical manuscript collections. Serve on and chair search committees for professional positions. Serve on and chair library- and university-wide committees. Write and administer grants to support statewide archival continuing education programs. Retired August 21, 2015.

- 10/1993-7/1994 Virginia Historical Society, Richmond, VA
Manuscripts Cataloger (grant project). Catalog historical manuscript collections for eight repositories throughout Virginia; teach their staff how to collect data from which I catalog the collections.
- 10/1992-9/1993 University of Virginia, Charlottesville, VA
Manuscripts Cataloger (grant project). Catalog literary and historical manuscript collections in the Special Collections Library. Train and supervise two paraprofessional staff plus student assistants.
- 9/1989-10/1992 Virginia State Library and Archives, Richmond, VA
Archivist and Head, Description Section. Supervise fourteen professional archivists and paraprofessionals who arrange and describe state and county government records, maps, business records, and personal papers collections. Write and administer grants to fund two cooperative cataloging projects.
- 2/1990-1/1995 ASCAP, Baltimore, MD
Music Logger (part-time). Field investigations of establishments that did not pay their performance rights license; identify artists and songs to document music being played, draw floor plans, count attendance—all while incognito.
- 2/1981-9/1989 Florida State University, Tallahassee, FL
Associate University Librarian, Special Collections. Answer questions and assist patrons with their research projects in rare books, university archives, Florida collection (books and photographs), and historical manuscripts. Create and design exhibits for library's main lobby case.
- 9/1977-2/1981 R.T. Vanderbilt Company, East Norwalk, CT
Corporate Librarian. Acquire and catalog chemistry books and periodicals for research chemists.
- 9/1976-9/1977 Westport Public Library, Westport, CT
Adult Services Librarian. Recommend books to read. Create programs for young adults. Answer patrons' questions in arts and music, and general reference departments. Select books and recordings to purchase. Catalog recordings.

ARCHIVAL AND HISTORICAL PRESENTATIONS AND PUBLICATIONS

Available at <https://scholarsphere.psu.edu/catalog?q=Hamburger&utf8=%E2%9C%93>)

AWARDS

2019. Florida Paddling Trails Association. \$500 grant to support screening of Reel Paddling Film Festival, April 2020, for the Florida Master Naturalist Program Endowment Fund.

2007. "Schreyer Institute Teaching Enrichment Travel Grant." Funded by Penn State's Schreyer Institute for Teaching Excellence at \$500 matching to support attendance and presentation at the American Historical Association meeting, January 5, 2007.

2007-2008. "Archival Continuing Education Grant." Pennsylvania Historical and Museum Commission. Received \$15,000 matching funds (\$37,958 project total) for three workshops for Pa. archivists by Society of American Archivists trainers.

2006-2007. "Archival Advanced Level Continuing Education Grant." Pennsylvania Historical and Museum Commission. Received \$15,000 matching funds (\$34,754 project total) for three workshops for Pa. archivists by Society of American Archivists trainers.

2005-2006. "Archival Intermediate Continuing Education Grant." Pennsylvania Historical and Museum Commission. Received \$15,000 matching funds (\$33,913 project total) for three workshops for Pa. archivists by Society of American Archivists trainers.

2004-2005. "Archival Continuing Education Grant." Pennsylvania Historical and Museum Commission. Received \$15,000 matching funds (\$32,572 project total) for four basic workshops for Pa. archivists by Society of American Archivists trainers.

COMMUNITY SERVICE

- Bok Tower, Lake Wales, FL: Savannas Mint Monitoring Project, 2017-present; Lakela's Mint monitoring and clean-up projects, 2018-present [all in St. Lucie County]
- Florida Master Naturalist--St. Lucie Chapter: Secretary, 2017; President, 2018-present (organized 2018 Learning Series presentations; recruited members for county-wide volunteer opportunities; judged student entries in St. Lucie County Regional STEM Fair, February 9, 2018; maintain Facebook page)
- Florida Microplastic Awareness Project: Volunteer, St. Lucie County, January 2018-present (water sample collection, filtering, analyzing results)
- Fort Pierce, Florida: Restoring the Village cleanup day, June 9, 2018 (painted exterior of house)
- Friends of Savannas Preserve State Park, Inc.: Secretary, 2016-2017 (organized files); Treasurer, 2017-2018, 2019-present (banking, budgeting); Webmaster, 2017-present (redesigned and maintain Website); Archivist and Librarian, 2016-present (catalog reference library books, organized non-profit's archival records)
- National Oceanic and Atmospheric Administration: Volunteer, Phytoplankton Monitoring Network, August 2019-present (collect and analyze water samples from Jaycee Park and Richard E. Becker Preserve, Fort Pierce)
- Savannas Preserve State Park, Port St. Lucie, FL: Volunteer, February 2016-present (information desk, special events guided hike interpreter, kayak tour guide; organized Park Service Specialist's archival records; created databases for posters and wet lab equipment)
- St. Lucie County Environmental Resources Department: Hike and Kayak Assistant, October 2017-present (21 hikes and 3 kayak trips, October 2017-May 2018; 7 hikes and 7 kayak trips, September 2018-July 2019)
- Tropical Trekkers (Florida Trails Association affiliate). Invited presentations on gopher tortoises (2018) and microplastics (2019)
- Volunteer Algae Monitoring Program (VAMP) for St. Lucie County Extension Office, May 2017-February 2018 (collected water samples in Indian River Lagoon for testing; presented preliminary findings at FIT's TechCon 2017, September 2017; presented expanded report on program, Florida Master Naturalist Learning Series, January 11, 2018; published scientific article on program results in *Marine Technology Society Journal*, 2018)



CITY OF FORT PIERCE

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APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: Parks Advisory Committee

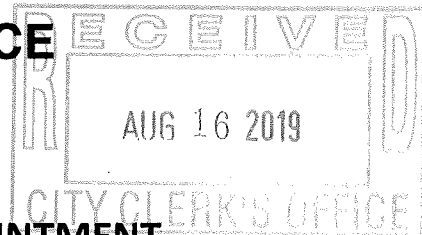
Name: <u>Patly Reconco</u>	Phone: <u>772-577-4145</u>
Home Address: <u>517 Beach Ct</u> City/Zip Code: <u>Fort Pierce FL 34950</u>	How long at this address? <u>6 yrs.</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>Property Manager</u>	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business: <u>Employee at RMD Investments LLC.</u>	
Do you now or in the future plan to do business with the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, in what capacity? <u>WORK</u>	
Are you employed by a business that is located within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location: <u>116 N 2nd St.</u> <u>Suite 201 Fort Pierce 34950</u>	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Other: <u>Property Management</u> Describe your education, background, training and knowledge – (feel free to attach a resume):	
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify: <u>(Currently in the Parks committee)</u>	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by: <u>Mike Reals</u>	Applicant Email Address: <u>ethel@pers.com</u>
Date: <u>8/22/2019</u>	Applicant's Signature: <u>Patly Reconco</u>

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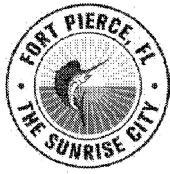


APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: City PARKS Advisory

Name: <u>John S. Smith</u>	Phone: <u>772 464-7035</u>
Home Address: <u>2400 South Ocean Dr.,</u> City/Zip Code: <u>APT. 4300A, Fort Pierce, FL 34949</u>	How long at this address? <u>15 years</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>Retired City Attorney</u>	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Other: <u>LAW</u> Describe your education, background, training and knowledge – (feel free to attach a resume): <u>Now Retired.</u> <u>Licensed Attorney 50 years. 29 years as a City Attorney.</u>	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>City Parks Advisory Board since its formation</u>	
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Referred by: <u>Charlene Adair</u>	Applicant Email Address: <u>JohnLaw1939@yahoo.com</u>
Date: <u>8-31-2019</u>	Applicant's Signature: <u>John S. Smith</u>

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APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: Parks Advisory Committee

Name: <u>Martha Wright</u>	Phone: <u>772-461-2351</u>
Home Address: <u>1209 Kentucky Ave.</u> City/Zip Code: <u>Fort Pierce 34950</u>	How long at this address? <u>50+ years</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>Retired</u>	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, state the business and location:	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Other: <u>Education</u> Describe your education, background, training and knowledge – (feel free to attach a resume): <u>See attached</u>	
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify: <u>Parks Advisory Committee</u> <u>Keep Fort Pierce Beautiful</u>	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Applicant Email Address: <u>mar.wright@att.net</u>
Date: <u>08-28-19</u>	Applicant's Signature <u>Martha Wright</u>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 467-3841 or via email at lcox@city-ftpierce.com

Martha Wright
1209 Kentucky Avenue
Ft. Pierce, FL 34950

Education

- Bachelor of Arts in Education
- Master of Science in Administration and Supervision
- Additional graduate studies
- Certified in Early Childhood Education

Background

1st half of career: Classroom teacher in elementary and middle schools

2nd half of career: Worked with administrators, principals, teachers and primary specialists to manage various federal, state and local educational programs, including:

- Florida Primary Education Program (PREP) in St. Lucie County
- Developmental Placement Program
- Even Start Program
- Partnership with Indian River Community College. They provided courses to parents to earn their GED, while the school system provided care and education for their pre-school aged children.

Training

- Facilitative Leadership
- Development of behavioral objectives
- Project management
- Curriculum writing and development

Skills/Knowledge

- Problem solving
- Testing
- Reporting data
- Organizing and delivering information

City Commission Meeting 5:05 PM

15.

Meeting Date: 09/23/2019

Re:

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

COMMENTS FROM THE CITY MANAGER

Attachments

City Manager's Purchase Order Approvals Report

City Manager's Report

Form Review

Form Started By: Jennifer Robinson

Started On: 08/20/2019 09:21 AM

Final Approval Date: 09/04/2019

Purchase Order Approvals between \$10,000 and \$50,000 by the City Manager

1. Purchase Orders
 - a. Approval of Sunrise Theatre termite treatment tenting by DSI Pest Control, Stuart, FL in an amount not to exceed \$37,165.00 per the attached quote.
 - b. Approval for purchase of LiveScan Fingerprint System from DataWorks, Greenville, SC, in the amount of \$12,440.
 - c. Approval to piggyback the NASPO Contract Code #WN08AGW and State Contract # 43211500-WSCA-15-ACS, for the purchase of two (2) new servers from Dell Computers, in the amount of \$12,374.28.
 - d. Approval for CentralSquare Technologies, AnalyticsNOW (Professional Services, Cloud/Hosted Access Fees) in the amount of \$30,840.00.
 - e. Request an increase in the amount of \$17,700 to Kimley Horn's P.O. #191026 for engineering services related to Citrus Avenue Bridge over FEC Railroad Rehabilitation Project.

SEPTEMBER 2019

FORT INSIDER





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UNITED STATES NATIONALS

FORT PIERCE, FLORIDA

MANATEE OBSERVATION AND EDUCATION CENTER

480 N. Indian River Drive, Fort Pierce, FL 34950

Friday Oct. 4th - Saturday Oct. 5th - Sunday Oct. 6th



PRESENTED BY:



Fort Pierce • Port St. Lucie • Hutchinson Island



...from tides to trails

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WELCOME BACK!

BY AUDRIA WELLS, PUBLIC AFFAIRS MANAGER

Fort Pierce Police Department welcomes students on the first day of school. Officers, school officials, residents and other first responders formed “Tunnels of Hope” to cheer for incoming students as the first day of schools began in St. Lucie County on August 12. Students were greeted with high-fives, hugs and signs bearing encouraging messages in hopes of setting the tone for the rest of hope. This year held great significance for the department as Officer Eddie Dove and Officer Jorge Goz joined the new School Resource Officer program. Officer Dove is assigned to Dan McCarty Middle School and Officer Goz is assigned to C. A. Moore Elementary School.





COMMUNITY NIGHT OUT



Fort Pierce Police Chief Diane Hobbey-Burney was joined by Deputy Chief Robert Ridle and several other officers in helping to promote police-community partnerships in local neighborhoods on National Night Out. The nationwide observance celebrates the efforts of our neighborhood watches. During past events, each neighborhood watch group was visited by our officers and members thanked them for their efforts and dedication helping to make our city a safer place.

▲ RIVER RAFTING

The Image of Christ Ministry’s “Youth4Change” received the chance of a life time to build a raft and sail it, all in the same day. The youth group was invited to compete in the 2019 River Raft Regatta, an annual event hosted by the Treasure Coast Youth Sailing Foundation. This year Derektor Ship Yard of Fort Pierce and Freedom Boat Club of Fort Pierce joined Fort Pierce Police Department officers and staff in helping members of the youth group to build their vessels in order to compete. As part of the rule, participants must use a home-made raft, vessel, boat, and flotation device....something that will not (or should not) sink while underway. Power must be supplied via human powered paddle or paddles. The youth from the Youth4Change group had a great time and demonstrated incredible teamwork as they constructed and prepared their vessels prior to the race.



ONE HOUSE AT A TIME.



A LIST OF COMPLETED PROJECTS BY WORLD CHANGERS:

- 428 N 27th Street
- 525 N 10th Street
- 703 N 9th Street
- 1009 Avenue I
- 1201 N 24th Street
- 1406 N 22nd Street
- 1901 N 16th Street

SAVE THE DATE - World Changers 2020
June 15 - 20, 2020

Over 200 high school and college students and chaperones were in Fort Pierce to participate in the 2019 World Changers on June 24 - 29. While here for this very short time, they cleanup/spruced up and painted 7 homes, replacing particle boards, light fixtures and more. They also purchased and delivered groceries to many needy households and assisted United Against Poverty (UP Center) and Treasure Coast Food Bank. The City provided the paint and supplies/materials for the home renovations as well as food and staff support for the Block Party, June 26, where they served the Lincoln Park community with a barbeque celebration.

A very special Thank You to Joel and Dawn Dramis, local World Changers, Pastor Harry Shaw of Good News Missionary Baptist Church, the entire World Changers team, City staff, and the local churches and volunteers who made this event an outstanding success!





▲ **ALMOST TIME!**

The proposed 2,200 square foot Starbucks, which is located at 5550 Okeechobee Road is nearing completion. The architectural style and quality of building reflect Neolithic design elements. Starbucks’ opening should be sometime in Winter 2019.



▲ **Camping World
Gander Outdoors**

Gander Outdoors, which is located at 2111 S. Jenkins Road has gone vertical and the shell is in place. The Camping World portion of the development has yet to go vertical, but that is expected to happen soon. The light poles have also been installed around what will become the parking lot.

THIRSTY TURTLE

The Thirsty Turtle Seagrill will be opening at 108 N. 2nd Street in Downtown Fort Pierce as soon as current renovations are completed. This will be the third location of the popular family and sports restaurants which have been serving the Treasure Coast for over 20 years. The Thirsty Turtle specializes in unique recipes of fresh local seafood and a wide array of wings, sandwiches and pasta dishes, as well as local and national drinks. They also offer a “Cook Your Catch” service, popular among visiting and resident anglers alike.

CONSTRUCTION UPDATE



Thanks to voters, the Half-Cent Slaes Tax Initaitive is underway at South 7th Street. The contractor has completed milling operations between 10th Street and Wendell Road and is currently constructing the new sanitary sewer trunk line and sanitary sewer services.

South 7th Street Project key dates:

Construction Commencement - July 2019

Construction Completion - January 2020



Surfside Neighborhood Drainage Improvements:

CWR Construction has completed 90% of the valley gutter installation on Rio Vista Drive and is constructing driveway aprons in these locations. Contractor has started the textured and painted driveways for both sections of the project. The contractor has completed replacement of undersized drainage structures and drainage pipe that was found to be compromised during construction on Bayshore Drive and Sunset Isle Road the last week of July including relocation of FPUA waterline which was in conflict with the drainage replacement. Roadway reconstruction and resurfacing will finish the neighborhood improvements scheduled for September.



WHAT'S NEW?



MORE ON GANDER & CAMPING WORLD

All exterior walls and the roof have been inspected, and work has begun inside. Temporary electric has been provided to the site for construction purposes. Framing for the interior walls is being done in phases and has had partial inspections. Fire sprinkler lines, plumbing piping and electrical conduit are among the next items to be inspected.

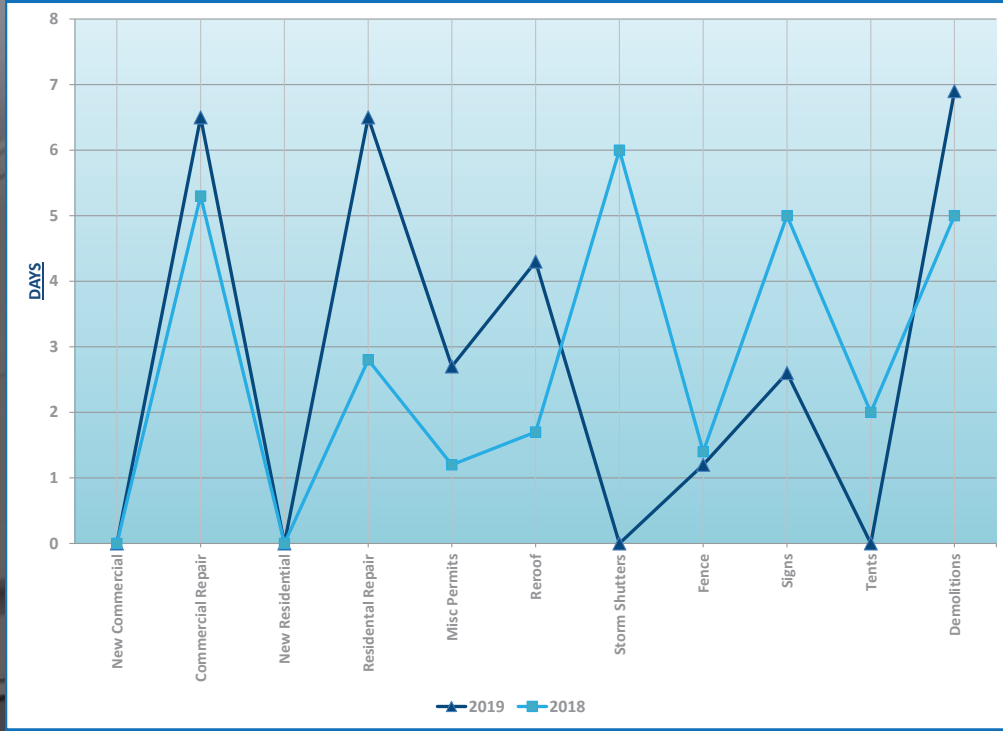


Kindred Homes - building this home in the Celebration Pointe Subdivision. This home is ready for a tie beam inspection and plumbing rough inspection. One of the items inspected during the tie beam inspection is that steel reinforcement (rebar) has been installed, as designed, in the concrete block. The rebar must be inspected before it is covered with grout. The white PVC pipe at the rear of the house, sticking above the structure will have a head pressure test to ensure that the system is free from leaks.

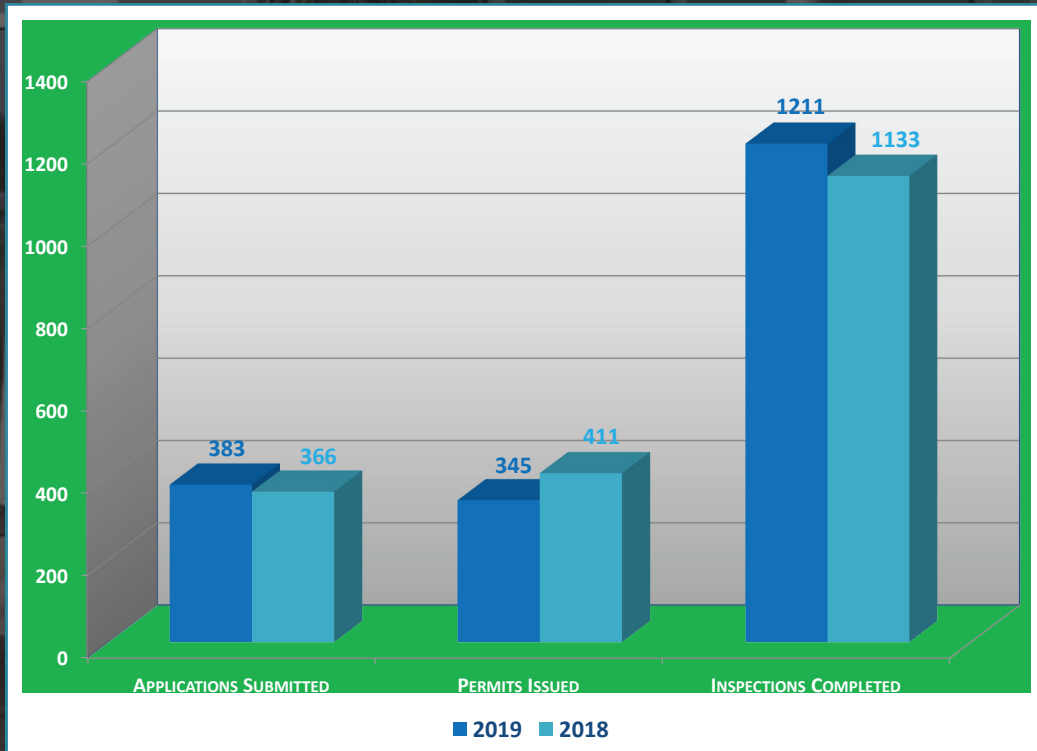
BUILDING CHARTS FOR AUGUST 2019

PLAN REVIEW PROCESSING TIME

For permits with 0 days, either the review was not completed within the month, or there were no reviews for the entire month.



BUILDING PERMIT ACTIVITY REPORT



PLAYTIME!

MIKE REALS, DIRECTOR OF PUBLIC WORKS

The Public Works Department is pleased to announce the addition of the new play amenities in two of our parks for kids to enjoy.

MLK Dreamland Park has our newest playset, located in the southwest corner of the park. The new playset is for ages 2-5 years old which includes plenty of activities for young ones to explore and discover. Our second addition is at our recreation facility where we've added a Expression Swing. This new swing allows adults and children to swing together.

The Recreation Division is excited to start youth football and cheer through Pop Warner Little Scholars. The season officially started the beginning of August. The Fort Pierce Firehawks's program consist of eight (8) football teams and four (4) cheer teams, ages from 5 to 14 Last year was an exciting start to the program and we anticipate an even better one this year!





RIVER WALK CENTER SALES REPORT AUGUST 2019

CLASSES	\$ 1,396.87
PARK PERMITS	\$ 1,700.00
SPECIAL EVENTS	\$ 2,375.00
FACILITY	\$ 8,111.85
TOTAL	\$ 13,583.72

INDIAN HILLS GOLF COURSE



DANIEL VISCONTI, IHGC MANAGER

It’s been a busy summer at the golf course, as we’ve averaged approximately 90 players per day between May 1st and August 23rd! Already this summer we’ve hosted The Ft Pierce Sunrise Kiwanis Outing, The Fort Pierce Rotary Outing and the Fort Pierce Central Athletic Program Outing! We will have two additional outings in October prior to the start of season which will help not only our bottom line, but will also help in gaining future events.

We continue to improve the course conditions on an almost daily basis, focusing on the health of the turf on the greens and fairways. This process will help carry us through the dry and cool conditions of the winter months when grass growth is at its slowest. Our last and final large greens project was completed on August 6th and the greens are fully recovered and rolling smoothly! Our next large project will be our bunkers. Many of the bunkers have too much sand making playing conditions much more difficult and inconsistent, so we’ll be trying to get those back to the proper level in the last part of the summer. We look forward to hosting the Girl’s & Boy’s Golf Teams of Fort Pierce Central

this summer as they begin their matches on August 23rd and will run into October. We will be able to showcase our dramatic course turnaround to Okeechobee, PSL/ Centennial, South Fork, Sebastian, Martin County, Treasure Coast and Vero Beach High Schools.

Please “Like” and “Follow Us” on Facebook or Instagram to see almost daily updates on the golf course and our ongoing summer maintenance projects.

INDIAN HILLS SALES REPORT

	6/2019	7/2019
GOLF ROUNDS	1890	2267
GOLF FEES	\$32,560.74	\$29,454.31
RANGE TOKENS	\$1,890.75	\$926.26
MEMBERSHIP PASS	\$265.00	\$497.38
FOOD & BEVERAGES	\$5,006.63	\$6,220.93
MERCHANDISE	\$4,405.92	\$2,245.80
TOTAL	\$44,129.04	\$39,344.68



CITY MARINA FINANCIAL REPORT

	MAY	June	August
Dockage Reservations	205	129	88
Monthly Dockage	\$122,723.47	\$104,589.85	\$138,570.49
Transient Dockage	\$49,882.89	\$37,922.62	\$34,155.10
Electricity	\$5,095.69	\$3,464.06	\$6,032.24
Retail	\$12,158.20	\$9,845.40	\$12,903.79
Gas Sales	\$59,091.39	\$5,180.97	\$0
Diesel Sales	\$123,359.56	\$92,287.89	\$44,420.30
TOTALS	\$ 372,311.20	\$ 253,290.79	\$ 235,901.92

TICKETS ON SALE TO SUNRISE THEATRE 2019/20 MEMBERS NOW!

• ON SALE TO PUBLIC SEPT 3RD



OCTOBER 25TH

NOVEMBER 22ND

DECEMBER 22ND

DECEMBER 26TH

JANUARY 11TH



JANUARY 18TH

JANUARY 24TH

JANUARY 25TH

FEBRUARY 1ST

FEBRUARY 8TH



FEBRUARY 14TH

FEBRUARY 15TH

FEBRUARY 20TH

FEBRUARY 22ND

FEBRUARY 23RD



FEBRUARY 27TH

MARCH 7TH

MARCH 11TH

MARCH 12TH

MARCH 13TH



MARCH 14TH

MARCH 29TH

APRIL 16TH

MAY 2ND

BECOME A MEMBER TODAY FOR AS LITTLE AS \$75!

SHOWS BOOKED TO DATE, MORE SHOWS WILL BE ADDED THROUGHOUT THE SEASON!



www.sunrisetheatre.com
Box office M-F 10am-2pm
772.461.4775.

117 South 2nd St.
Historic Downtown
Fort Pierce



SUNRISE THEATRE FINANCIAL REPORT

Date	Show	Ticket Sales	Concessions	Miscellaneous	Total Revenue
7/13/2019	Missoula Children' Theatre/Pinocchio	2,196.00	184.00	5,875.00	8,255.00
7/14/2019	Summer Movie / A Star is Born	N/A	571.00	1,000.00	1,571.00
7/19/2019	Missoula Children' Theatre	1,992.00	269.00	5,225.00	7,486.00
7/21/2019	Summer Movie/ Black Panther	N/A	182.00	1,000.00	1,182.00
	RENTALS				
7/19/2019	FP Central High Class Reunion	N/A	607.00	1,081.50	1,688.50
7/20/2019	Pure Zeppelin / Artists for MS	14,590.00	3,028.00		17,618.00
7/28/2019	African Skies / Little Birthday Angles	2,380.00	210.00	765.00	3,355.00
7/1 ~31/19	Jazz Jam - BB	425.00	323.00		748.00
7/1 ~31/19	Comedy Corner - BB	5,820.00	2,642.00		8,462.00
		\$27,403.00	\$8,016.00	\$14,946.50	\$50,365.50



#FortMade - THE GRILL REFILL

Follow us on Social Media as we continue to share #FortMade stories about the unique and creative people living the Fort Pierce dream. This city wouldn't be the same without the wonderful people in our community.

WELCOMING NEW BUSINESSES!

BIRIYANY, INC.
 COLDWELL BANKER PARADISE
 COVARRUBIAS, DAVID
 CRYSTAL N. HUTCHINSON, MSW LLC
 CUTTING EDGE HANDY SERVICES
 D.A.D. ENTERPRISES LLC
 DREAM STYLES BOUTIQUE
 DYNAMITE REMODEL
 ECOBOARDIN ASSETS, LLC
 ECOBOARDIN LLC
 FRUIT FRENZY
 GARDEN HOME & TOOLS SHOP INC
 GLAM CITY HAIR & CLOTHING LLC

GUARDIANS CREDIT UNION
 HOLIDAY INN EXPRESS & SUITES
 JOSE MARTINEZ
 KINGDOM KREATIONS BY TIFFANIE,
 LITTLE JIM BAIT AND TACKLE
 MICHELE BALTAZAR
 ON THE EDGE BAR AND GRILL
 ORCHID'S CLEANING, LLC
 PHO DELI
 PLANT FANCIES
 PLASCENCIA, KAIJILEENA SANDRA
 REZK, AURORE, D.M.D., P.A.
 RONALD HERNANDEZ

RUNEKS HAIR AFFAIR
 SENTINEL IT MANAGEMENT LLC
 SOUTHEAST LAWN MAINTENANCE
 SOUTHERN COMFORT HEALTH, LLC
 SPUNKY'S SURF SHOP, LLC
 STUDIO BELLA LLC
 SUNOCO 3306 ORANGE AVENUE LLC
 SUPER TAQUERIAS INC
 SURE CARE MEDICAL SUPPLIES LLC
 TOP TO BOTTOM & MORE CLEANING
 TREASURE COAST NEUROLOGY INC
 WILSON, JENNIFER L



UPCOMING COMMUNITY EVENTS

EVENT	DATE	TIME	LOCATION
FORT PIERCE FARMER'S MARKET	EVERY SATURDAY	8:00 AM - 1:00 PM	MARINA SQUARE
GREEN MARKET	EVERY WEDNESDAY	12:00 PM - 6:30 PM	MARINA SQUARE
AVENUE D MARKET	EVERY FRIDAY AND SATURDAY	8:00 AM - 10:30 PM	AVENUE D PLAZA
LINCOLN PARK BUSINESS EXPO & JOB FAIR	9/6	9:00 AM - 6:00 PM	PERCY PEEK GYM
FRIDAY FEST	9/6	5:30 PM - 9:00 PM	MARINA SQUARE
CEECEE ROSS LYLES MEMORIAL	9/11	10:00 AM - 11:00AM	RIVER WALK CENTER
COFFEE WITH THE MAYOR	9/20	8:00 AM - 9:00 AM	FORT PIERCE YACHT CLUB



Mission Statement

To provide community leadership, quality public service, and a safe environment for all citizens, by an empowered team of employees motivated by pride in themselves and their work.

WWW.CITYOFFORTPIERCE.COM ■ [FACEBOOK.COM / FTPIERCE](https://FACEBOOK.COM/FTPIERCE)