

## **CITY PLANNING BOARD**

### **BOARD AGENDA**

Planning Board Regular Meeting - Tuesday, May 14, 2019 - 6:00 p.m.  
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **APPROVAL OF MINUTES**
  - a. Minutes from the April 9, 2019 meeting
6. **NEW BUSINESS**
  - a. Voluntary Annexation - (3403-502-0075-010-6) - 5300 Melville Road
  - b. Voluntary Annexation - (3410-603-0064-000-5) - 500 Ulrich Road
  - c. Voluntary Annexation - (2420-444-0006-000-2) - 2995 South 25th Street
  - d. (2) Voluntary Annexations - (2428-603-0002-000-5) 3076 South 25th Street -and- (2428-603-0005-000-6) 3092 South 25th Street
  - e. (2) Voluntary Annexations - (2407-131-0002-000-2) -and- (2407-131-0001-000-5) - unaddressed parcels generally located on the north side of Orange Avenue between La Jean Drive and North 39th Street.
  - f. (4) Voluntary Annexations - (3403-805-0158-000-9) 160 Smallwood Avenue -and- (3403-805-0156-000-5) 302 Smallwood Avenue -and- (3403-433-0002-000-0) 367 Smallwood Avenue -and- (3403-805-0160-000-6) unaddressed parcel on Smallwood Avenue
  - g. Conditional Use with New Construction - Delpapa Residence - 1655 Thumb Point Drive

- h. Conditional Use - Robbins Dwelling Rental - 1014 S. 7th Street
- i. Development Review & Design Review - Wawa Fueling Station - 2101 S. US Highway 1
- j. Discussion regarding Short Term Rentals

7. **COMMENTS FROM THE PUBLIC**

Any person who wishes to comment on any subject may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Chair, as this section of the Agenda is limited to thirty minutes. The Planning Board will not be able to take any official actions under Comments from the Public. Speakers will address the Board and the Public with respect. Inappropriate language will not be tolerated.

8. **BOARD COMMENTS**

9. **ADJOURNMENT**

Any person seeking to appeal any decision by the Planning Board with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based. Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

**Planning Board**

**5.a.**

Meeting Date: 05/14/2019

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Information

REQUESTED ACTION

Minutes from the April 9, 2019 meeting

LOCATION

N/A

RESPONSIBLE STAFF

Alicia Rosenthal, Executive Assistant

RECOMMENDATION

Approve

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Attachments

Planning Board Minutes 4.9.19

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**Form Review**

Form Started By: Alicia Rosenthal  
Final Approval Date: 05/01/2019

Started On: 04/24/2019 09:26 AM

# DRAFT



## CITY OF FORT PIERCE PLANNING BOARD

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### Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON TUESDAY, **APRIL 9, 2019**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Present: **Michael Broderick; Gloria Johnson-Scott; Tim O'Connell; Brian Paul; Jovona Parker; Bob Burdge; Frank Creyaufmiller, Chairman**

Staff Present: **Peter Sweeney, City Attorney**  
**Linda Cox, City Clerk**  
**Rebeca Guerra, Interim Planning Director**  
**Maria Lewicka, Historic Preservation Planner**  
**Brandon Creagan, Planner**  
**Vennis Gilmore, Planning Analyst**

Attendees: **Marty Sanders, Ex-officio**

4. **CONSIDERATION OF ABSENCES**

All members were in attendance.

5. **APPROVAL OF MINUTES**

- a. Minutes from the February 12, 2019 meeting

**Motion was made by Michael Broderick, and seconded by Gloria Johnson-Scott to approve the minutes from the February 12, 2019 meeting.**

**AYE: Tim O'Connell, Brian Paul, Jovona Parker, Bob Burdge, Michael Broderick, Gloria Johnson-Scott, Chairman Frank Creyaufmiller**

Passed

## 6. NEW BUSINESS

### a. Conditional Use - Malizia Dwelling Rental - 1180 Carlton Court 204A (Apt. D)

Mr. Gilmore gave an overview of the application and answered questions from the Board on the sidewalk payment in lieu of and background checks.

Michael McLeod, Resident, asked about the Hollander legal case and its applicability.

David Malizia, Applicant, answered questions from the Board on the homeowner association rental policy.

**Motion was made by Michael Broderick, and seconded by Gloria Johnson-Scott to forward a recommendation to approve the request with the following conditions:**

- 1) The maximum occupancy ensures compliance with City Code Section 8.5-43. -Required space in dwelling units, based upon the size of each unit;**
- 2) Registration of the property manager accessible at all times, to resolve complaints or violations of City Code;**
- 3) Issuance of guide booklets(available from Code Enforcement)for renters regarding local rules and public service resources to minimize conflicts;and**
- 4) The applicant files for and obtains St. Lucie County & City of Fort Pierce Business Tax Licenses within thirty(30) days of Conditional Use approval.**
- 5) Limit no more than 2 vehicles.**
- 6) Include the City of Fort Pierce Business Tax License number on all advertising.**
- 7) Per City Code Section 22-62 Sidewalks. b) Applicability: In order to provide continual access for pedestrians, sidewalks and sidewalk linkages shall be required to be provided by the property owner or permit applicant when one of the following events occur: (4) Plans submitted for site plan, conditional use, PUD/PUR, and subdivision review. Please install a sidewalk along Alhambra Street connecting to the Carlton Court existing sidewalk.**

**AYE: Brian Paul, Jovona Parker, Bob Burdge, Michael Broderick, Gloria Johnson-Scott, Tim O'Connell, Chairman Frank Creyaufmiller**

Passed

### b. Conditional Use - Patti's Hair Lounge - 808 Delaware Avenue

Ms. Lewicka gave an overview of the application and answered a question on parking.

Mike Menard, applicant, provided history on the building.

**Motion was made by Jovona Parker, and seconded by Gloria Johnson-Scott to forward a recommendation to approve the request.**

**AYE: Jovona Parker, Michael Broderick, Gloria Johnson-Scott, Tim O'Connell, Brian Paul, Bob Burdge, Chairman Frank Creyaufmiller**

Passed

### c. Conditional Use - Crownman Bed & Breakfast - 515 S. Indian River Drive

Mr. Creagan gave an overview of the application and answered questions from the Board on the process the project has been through, the number of bedrooms, and the reason for condition #6.

Ms. Guerra and Mr. Sanders explained to the Board that at the time of building permit the fire protection designer will coordinate with Fort Pierce Utilities Authority regarding the fire main.

David Cleveland, applicant representative, explained the larger fire main is not required for the fire suppression system for the existing building. Mr. Cleveland stated they do not want the requirement of having the property manager live on site. Mr. Cleveland asked the Board to strike condition #6 and amend condition #5 because 14 days is not enough time to get the state licenses.

Ms. Cox stated within 30 days of getting a state DBPR license, the applicant should obtain a local business tax license.

Mr. Sanders suggested the Board look at an appropriate response time to resolve complaints.

Dr. Ronald Lyman, resident, opposed the application.

**Motion was made by Michael Broderick, and seconded by Jovona Parker to forward a recommendation to the City Commission for approval with the following conditions:**

- 1) A Lighting Plan or Photometric survey that demonstrates compliance with City Code 22-60 (j)(1)(a) will be required at time of Building Permit**
- 2) A Landscape Plan that demonstrates compliance with City Code 22-187, General Landscaping Requirements will be required at the time of Building Permit.**
- 3) Registration of the property manager(s) accessible at all times, to resolve complaints or violations of City Code; the property manager shall reside in the boundaries of St. Lucie County.**
- 4) Provide a guide booklets for renters regarding local rules and public service resources to minimize conflicts, these are available from the Code Enforcement Department of the City.**
- 5) The applicant files for and obtains a City of Fort Pierce, County, and State Business Tax Licenses within thirty (30) days of Conditional Use approval.**

**AYE: Michael Broderick, Gloria Johnson-Scott, Tim O'Connell, Brian Paul, Jovona Parker, Bob Burdge, Chairman Frank Creyaufmiller**

Passed

**d. Waiver of Distance - The Truth Restaurant - 1721 Avenue D**

Mr. Gilmore gave an overview of the application and answered questions from the Board on the code enforcement infractions.

Ms. Johnson Scott expressed her concern with the location's proximity to other churches and the operating times.

Mr. Broderick expressed concerns with the Technical Review Committee denial from the Code Enforcement and Police Department.

Vincent Barnett, applicant, provided information on the restaurant incident that took place four years ago and Mr. Barnett answered questions from the Board on serving alcohol and code violations at the restaurant.

Ms. Guerra stated there was a code enforcement action that was brought before the magistrate and the magistrate shut the business down due to the severity of the violations.

Leon Hall, resident, spoke in favor of the application and stated all code violations have been taken care of.

Michael McLeod, resident, spoke in favor of the application.

Chairman Creyaufmiller stated he is in a bit of a quandry if a motion was made to approve the application, due to the violations being several years old, possibly the violations were made by someone other than the owner of the restaurant and there are multiple churches near the restaurant's location.

Ms. Parker commented that the sell of beer and wine would not lead to a change, and they have been operating the last 6 months with no violations or complaints from the surrounding churches.

Mr. Sweeney stated if the Planning Board recommends disapproval of the application, a 4/5 majority vote would be needed by the City Commission to approve the Waiver of Distance.

Mr. Broderick asked that the City Commission receive further information to make an informed decision.

Mr. Burdge asked if the city has a mechanism to close the business, if the business becomes a nuisance.

Mr. Sweeney explained there are enforcement provisions that would allow it to move through the special magistrate and there could be a number of outcomes.

Mr. Sanders stated when you undertake a waiver of a code requirement you usually need a plan stating how you plan to operate and why you need the provision waived.

Mr. Broderick asked that Code Enforcement and Police Department be represented at the City Commission meeting.

**Motion was made by Michael Broderick, and seconded by Brian Paul to table the application subject to the City Attorney's office and the Planning department getting the information to the Planning Board, so they can make an informed recommendation to the City Commission.**

AYE: **Tim O'Connell, Brian Paul, Michael Broderick**

NAY: **Gloria Johnson-Scott, Jovona Parker, Bob Burdge, Chairman Frank Creyaufmiller**

Failed

**Motion was made by Bob Burdge, and seconded by Jovona Parker to recommend approval for the Waiver of Distance.**

AYE: **Tim O'Connell, Brian Paul, Jovona Parker, Bob Burdge, Michael Broderick**

NAY: **Gloria Johnson-Scott, Chairman Frank Creyaufmiller**

Passed

**e. Text Amendment - Chapter 22 - Board of Adjustment**

Ms. Guerra gave an overview of the Board of Adjustment text amendment and answered questions from the Board regarding the removal of authority of the Historic Preservation Board.

Mr. Broderick stated he is not confident that the City Commission is aware of what they are bringing on to themselves by making the Historic Preservation Board an advisory Board. He said the Board grinds through an extensive amount of minutia and this process is left best to a Board that is highly organized and has a tremendous amount of experience. Mr. Broderick

stated he would prefer this item not move forward because this process is the reverse of expediting the approval, construction and development processes in the city.

Chairman Creyaufmiller expressed his concerns with the additional workload the City Commission is going to see.

Mr. Broderick asked for more information on what the Board of Adjustment does.

Cathy Wassylenko, resident, stated she is not sure if the City Commission will be effective in making the Historic Preservation decisions. Ms. Wassylenko said the city needs to have people on the Board who are knowledgeable in architecture, and she would like to see an advisory Historic Board with more knowledgeable information so that the decisions being made will preserve the historic character of Fort Pierce.

Holly Theuns, Historic Preservation Board member, stated that maintaining the history of Fort Pierce is an important job that should not be placed on the Commissioners and the Board should remain the same.

Mike McLeod, resident, stated if the city is going to take Historic Preservation seriously, the city needs to define what standard they want the Board to go after and maintain. Mr. McLeod said the standards are too loose and there is not enough guidance for the Board to make quality decisions that leads to consistent outcomes.

Holly Beckwith, resident, is against getting rid of the Historic Preservation Board. She stated if the Historic Board does not have any teeth, then anything can be done with the historic homes.

Mr. Burdge said by making the Historic Preservation Board an advisory Board, the public will have more opportunity to state their case because the City Commission will make the final decision.

Chairman Creyaufmiller stated he does not know enough about the Board of Adjustment and he does not feel comfortable abolishing the Board.

Mr. Broderick asked if it is possible to have an in depth discussion of the case load of the Board of Adjustment, what type of appeals they have been confronted with and what their mission statement is at the next Planning Board meeting.

**Motion was made by Bob Burdge, and seconded by Gloria Johnson-Scott to approve the recommendation of changes.**

AYE: **Brian Paul, Jovona Parker, Bob Burdge**

NAY: **Tim O'Connell, Michael Broderick, Gloria Johnson-Scott, Chairman Frank Creyaufmiller**

Failed

**Motion was made by Michael Broderick, and seconded by Gloria Johnson-Scott to defer the text amendment vote until the next Planning Board meeting with new and in depth information.**

AYE: **Tim O'Connell, Jovona Parker, Michael Broderick, Gloria Johnson-Scott, Chairman Frank Creyaufmiller**

NAY: **Brian Paul, Bob Burdge**

Passed

f. **Text Amendment - Chapter 22 - Major and Minor Site Plans**

Chairman Creyaufmiller stated this item was presented to the Planning Board at the last meeting on February 12, 2019, and it was passed to the City Commission with a denial. The Commission visited this item and sent it back to the Planning Board.

Ms. Guerra explained the City Commission sent the proposed text amendment back to the Planning Board for reexamination.

Mr. Burdge stated it is necessary for the public to be heard on site plan and multi-family applications. He said he would prefer not to allow one individual within the city to control what currently the Planning Board and City Commission has an opinion on to modify, change, deny or approve.

Mr. Broderick expressed that resident participation is a critical part of the process and if we increase the threshold to 50,000 square feet, in essence 92% of site plans that come in for approval would be eliminated. Mr. Broderick believes a balance can be struck between being a business friendly community and complete public participation, without changing the thresholds, but adopting the policies and procedures that are being recommended. Mr. Broderick suggested hiring a plan navigator to steward the applicant through the process.

Chairman Creyaufmiller said he thinks the City Commission and Planning Board was hung up over the thresholds and not the processes and procedures, and he does not want to take away the citizens voice from those projects.

Mr. Sanders stated the Chamber of Commerce is looking for a black and white code requirement for site plans that don't need a public hearing. Mr Sanders said if you have an applicant that meets the clearly defined site plan criteria, the Board is going to have to approve it, even if you have a room full of people that are against it.

Ms. Parker stated she agrees with the variations remaining the same, and she also has an issue with not letting the public speak.

Ms. Johnson Scott stated she does not feel the public should be taken out of the process and that they need to be heard.

Walter Beckwith, resident, appreciates when the public is allowed to speak because it provides transparency and allows the public to keep an eye of what is going on in the city.

Charlene Adair, resident, stated the Board has made some important changes to projects through their input, and she does not want to lose the Planning Board, City Commission or the community's input on 92% of the projects that were looked at. Ms. Adair, supports leaving the thresholds as they are but improving the process.

**Motion was made by Bob Burdge, and seconded by Michael Broderick for the Board to reconsider the text amendment.**

**AYE: Brian Paul, Jovona Parker, Bob Burdge, Michael Broderick, Gloria Johnson-Scott, Tim O'Connell, Chairman Frank Creyaufmiller**

Passed

**Motion was made by Michael Broderick, and seconded by Bob Burdge to recommend approval of the proposed text amendment with changes, maintaining the thresholds as they currently exist and the remainder of the text remaining unchanged.**

AYE: **Brian Paul, Jovona Parker, Bob Burdge, Michael Broderick, Gloria Johnson-Scott, Tim O'Connell, Chairman Frank Creyaufmiller**

Passed

## **7. BOARD COMMENTS**

Chairman Creyaufmiller asked staff if the Board could receive future text amendments at least two weeks in advance. Chairman Creyaufmiller asked staff to educate Board members at Planning Board meetings when there are no applications.

Ms. Guerra stated the Board can have a discussion about a proposed text amendment before it is brought back for the public hearing. Ms Guerra said she would like to streamline processes and hear from the Board on how things can be made better.

Chairman Creyaufmiller asked how the short term rental project on Mimosa came to the Planning Board as a recommendation of denial from staff and it was sent to the City Commission with a recommendation of approval from staff. Chairman Creyaufmiller stated that the Board relies on the professional opinion of staff and the recommendations help guide them.

Ms. Guerra stated staff was educated as to what the state statutory stipulations were for short term rentals and staff re-examined its recommendation and basis for recommendation.

Mr. Broderick asked that if a recommendation is going to be changed before going to City Commission, could it come back to the Planning Board?

Mr. Sweeney said he does not know if this can happen because there is a certain time frame that it has to move to City Commission.

Chairman Creyaufmiller mentioned the Board Appreciation Breakfast invitations were sent out.

Mr. Sanders stated the ballots have been mailed out for the school district special referendum to fund teacher's salaries, safety and security and special mental health programs.

## **8. ADJOURNMENT**

**Planning Board**

**6.a.**

Meeting Date: 05/14/2019

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Information

REQUESTED ACTION

Voluntary Annexation - (3403-502-0075-010-6) - 5300 Melville Road

LOCATION

1.72 acres located at 5300 Melville Road in Fort Pierce, Florida.

RESPONSIBLE STAFF

Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

RECOMMENDATION

Approval to forward to City Commission.

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Attachments

Staff Report

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**Form Review**

Form Started By: Rebeca Guerra  
Final Approval Date: 05/07/2019

Started On: 05/07/2019 06:36 PM



**TO:** Planning Board

**FROM:** Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director *RG*

**RE:** **Application for Annexation  
 5300 Melville Road**

**BOARD DATE:** May 14, 2019

**STAFFREPORT**

**Property Owner:** New Life Christian Centre of the Treasure Coast Inc.  
 10618 Pine Needle Drive  
 Fort Pierce, FL 34945

**Requested Action:** Approval of a Voluntary Application for Annexation for a parcel of land along with the Zoning designation of C-2, Neighborhood Commercial, and a Future Land Use Designation of NC, Neighborhood Commercial.

**Site Location:** 5300 Melville Road, Fort Pierce, Florida.

**Parcel ID:** 3403-502-0075-010-6

**Parcel Size:** 1.72 acres

**Current Zoning:** CO, Office Commercial (St. Lucie County)

**Current Future Land Use:** PF, Public Facility (St. Lucie County)

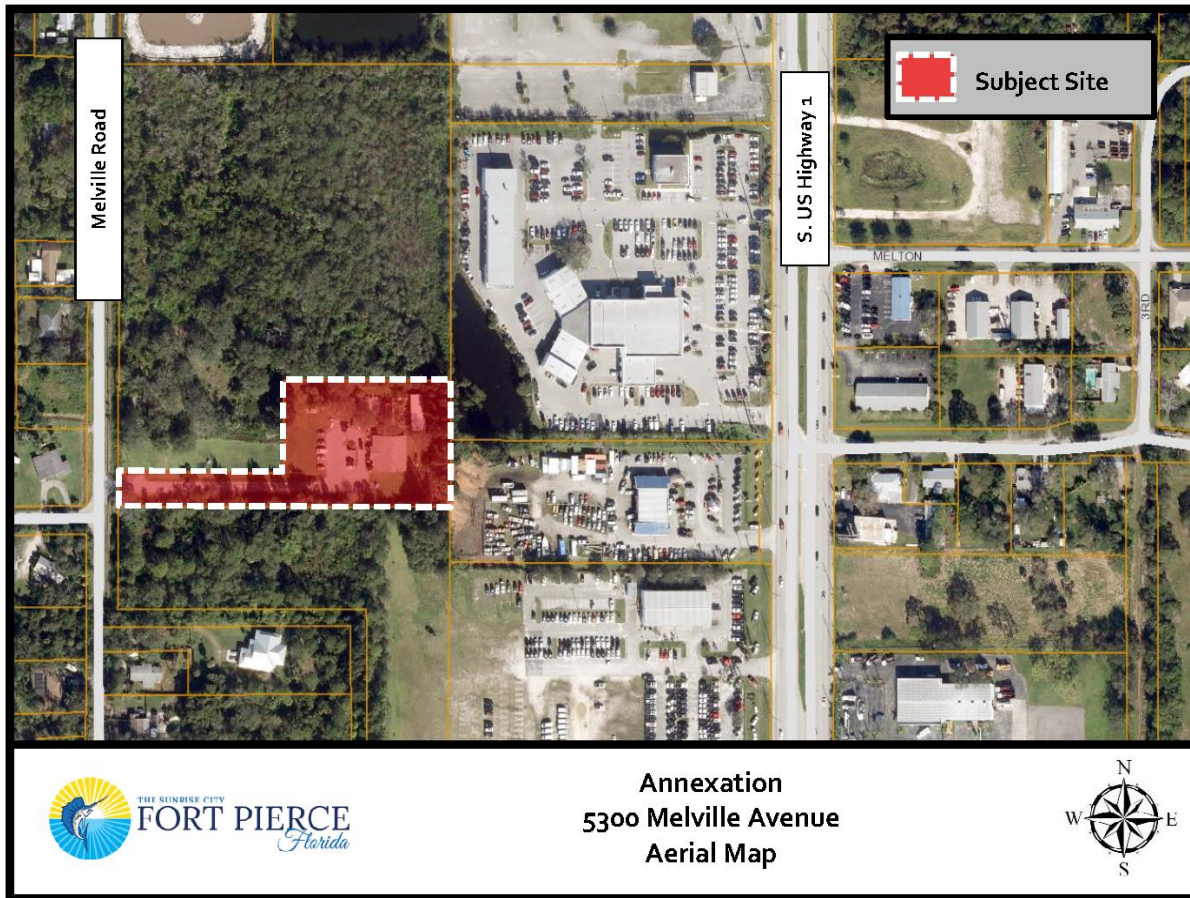
**Proposed Zoning:** C-2, Neighborhood Commercial

**Proposed Future Land Use:** NC, Neighborhood Commercial

<b>Surrounding Zoning:</b>	North	East	South	West
	I (SLC)	C-3	RS-3, CG (SLC)	RS-3 (SLC)
<b>Surrounding FLU:</b>	PF (SLC)	GC	RU, COM (SLC)	RU (SLC)

**Staff Analysis:**

This is a request for a voluntary annexation of property (Parcel ID 3403-502-0075-010-6) located at 5300 Melville Road in Fort Pierce, Florida.



The current St. Lucie County Zoning for 5300 Melville Road is CO, Office Commercial, with a St. Lucie County Future Land Use of PF, Public Facility. To ensure consistency with Policy 1.11.5 of the City's Comprehensive Plan, the proposed Zoning designation will be C-2, Neighborhood Commercial, and the proposed Future Land Use designation will be NC, Neighborhood Commercial.

Staff has confirmed that the property is located within unincorporated St. Lucie County and is contiguous to the Fort Pierce City municipal boundary. The property is also within the Fort Pierce Utilities Authority (FPUA) service area. Moreover, there is a signed Annexation Agreement for this property from the FPUA which grants water service and/or sewer service outside the City limits of the City of Fort Pierce.

This proposed annexation is also consistent with F.S 171.044, whereas the property is contiguous to a municipality and reasonably compact; and the annexation will not result in the creation of an enclave.

The current taxable value of the property is approximately \$343,700. If the Application for Annexation is approved it would create a new source of ad-valorem tax revenue annually to the City of Fort Pierce, depending on the millage rate per year, which currently is 6.9000.

#### **Comprehensive Plan:**

Staff has reviewed the Comprehensive Plan and finds the proposed annexation is consistent with the following Objectives and Policies:

Objective 1.11 of the Comprehensive Plan: "Annex properties within the Fort Pierce Utilities Authority Boundary in an orderly manner that promotes efficiency of public service provision and economic vitality of the City."

The property is within the FPUA service boundary. Policy, 1.11.1 of the City Comprehensive Plan: "The City shall evaluate proposed annexations within the urban service boundary based upon the following criteria:

1. The ability of the City to provide public services at a level equal to or better than that available from the current service providers;
2. The ability of the City to provide public services at the City's adopted levels of service;
3. Whether the annexation would eliminate an unincorporated island or could be expanded to eliminate an unincorporated island; and
4. Whether the annexation would eliminate an irregularity or irregularities in the City's boundaries, thereby improving service delivery"

The area where this annexation is taking place has an even mix of properties with-in St. Lucie County jurisdiction and with-in City of Fort Pierce jurisdiction. The annexation of this property would help to continue eliminating irregularities along the City's boundary in this area. The adoption of this property into the City also helps to provide efficient public services.

The City of Fort Pierce Zoning designation and Future Land Use designation shall remain consistent with the current County designation and the City's Comprehensive Plan. The Zoning Designation of C-2, Neighborhood Commercial, and the Future Land Use designation of NC, Neighborhood Commercial would be consistent with Policy 1.11.5.

Pursuant to the Future Land Use Element of the Comprehensive Plan, annexations are reviewed for fiscal impacts, the effect upon adopted level of service standards for public facilities, and the elimination of the municipal boundary irregularities to improve service delivery.

**Public Notification:**

In accordance with Policy Section 4.1.1 of the Joint Planning Agreement between the City of Fort Pierce and St. Lucie County, the City Planning Department has provided notice of this annexation by mail to the St. Lucie County Administrator's Office on May 4, 2019, no fewer than thirty (30) days prior to the first reading of this annexation by the City Commission

**Staff Recommendation:**

The request meets the above standards of the City's Comprehensive Plan, specifically Policy Section 1.11 regarding annexations. Therefore, Planning Staff recommends that the Planning Board forward the proposed annexation application along with a Zoning designation of C-2, Neighborhood Commercial, and a Future Land Use designation of NC, Neighborhood Commercial.

**Planning Board**

**6.b.**

Meeting Date: 05/14/2019

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Information

REQUESTED ACTION

Voluntary Annexation - (3410-603-0064-000-5) - 500 Ulrich Road

LOCATION

0.3 acres located at 500 Ulrich Road in Fort Pierce, Florida.

RESPONSIBLE STAFF

Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

RECOMMENDATION

Approval to forward to City Commission.

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Attachments

Staff Report

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**Form Review**

Form Started By: Rebeca Guerra  
Final Approval Date: 05/07/2019

Started On: 05/07/2019 06:50 PM



**TO:** Planning Board

**FROM:** Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director *RG*

**RE:** **Application for Annexation  
 500 Ulrich Road**

**BOARD DATE:** May 14, 2019

**STAFF REPORT**

**Property Owner:** Sharon R Byers  
 502 Ulrich Road  
 Fort Pierce, FL 34982

**Requested Action:** Approval of a Voluntary Application for Annexation for a parcel of land along with the Zoning designation of C-3, General Commercial, and a Future Land Use Designation of NC, Neighborhood Commercial.

**Site Location:** 500 Ulrich Road, Fort Pierce, Florida.

**Parcel ID:** 3410-603-0064-000-5

**Parcel Size:** 0.3 acres

**Current Zoning:** GC, General Commercial (St. Lucie County)

**Current Future Land Use:** COM, Commercial (St. Lucie County)

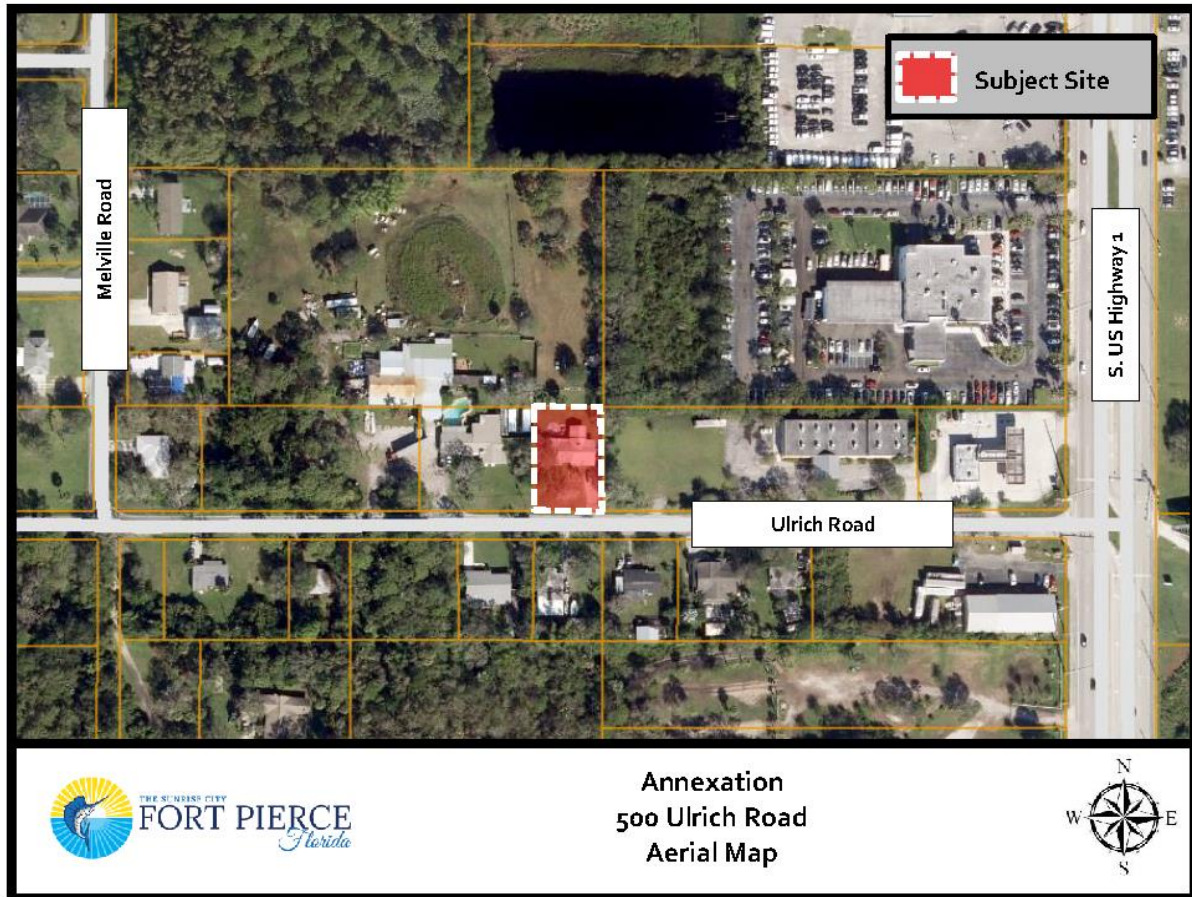
**Proposed Zoning:** C-3, General Commercial

**Proposed Future Land Use:** CG, General Commercial

<b>Surrounding Zoning:</b>	North	East	South	West
	CG (SLC)	C-3	RS-3 (SLC)	CG (SLC)
<b>Surrounding FLU:</b>	COM (SLC)	GC	RU (SLC)	COM (SLC)

**Staff Analysis:**

This is a request for a voluntary annexation of property (Parcel ID 3410-603-0064-000-5) located at 500 Ulrich Road in Fort Pierce, Florida.



The current St. Lucie County Zoning for 500 Ulrich Road is GC, General Commercial, with a St. Lucie County Future Land Use of COM, Commercial. To ensure consistency with Policy 1.11.5 of the City's Comprehensive Plan, the proposed Zoning designation will be C-3, General Commercial, and the proposed Future Land Use designation will be CG, General Commercial.

Staff has confirmed that the property is located within unincorporated St. Lucie County and is contiguous to the Fort Pierce City municipal boundary. The property is also within the Fort Pierce Utilities Authority (FPUA) service area. Moreover, there is a signed Annexation Agreement for this property from the FPUA which grants water service and/or sewer service outside the City limits of the City of Fort Pierce.

This proposed annexation is also consistent with F.S 171.044, whereas the property is contiguous to a municipality and reasonably compact; and the annexation will not result in the creation of an enclave.

The current taxable value of the property is approximately \$81,400. If the Application for Annexation is approved it would create a new source of ad-valorem tax revenue annually to the City of Fort Pierce, depending on the millage rate per year, which currently is 6.9000.

#### **Comprehensive Plan:**

Staff has reviewed the Comprehensive Plan and finds the proposed annexation is consistent with the following Objectives and Policies:

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Objective 1.11 of the Comprehensive Plan: "Annex properties within the Fort Pierce Utilities Authority Boundary in an orderly manner that promotes efficiency of public service provision and economic vitality of the City."

The property is within the FPUA service boundary. Policy, 1.11.1 of the City Comprehensive Plan: "The City shall evaluate proposed annexations within the urban service boundary based upon the following criteria:

1. The ability of the City to provide public services at a level equal to or better than that available from the current service providers;
2. The ability of the City to provide public services at the City's adopted levels of service;
3. Whether the annexation would eliminate an unincorporated island or could be expanded to eliminate an unincorporated island; and
4. Whether the annexation would eliminate an irregularity or irregularities in the City's boundaries, thereby improving service delivery"

The area where this annexation is taking place has an even mix of properties with-in St. Lucie County jurisdiction and with-in City of Fort Pierce jurisdiction. The annexation of this property would help to continue eliminating irregularities along the City's boundary in this area. The adoption of this property into the City also helps to provide efficient public services.

The City of Fort Pierce Zoning designation and Future Land Use designation shall remain consistent with the current County designation and the City's Comprehensive Plan. The Zoning Designation of C-3, General Commercial, and the Future Land Use designation of CG, General Commercial would be consistent with Policy 1.11.5.

Pursuant to the Future Land Use Element of the Comprehensive Plan, annexations are reviewed for fiscal impacts, the effect upon adopted level of service standards for public facilities, and the elimination of the municipal boundary irregularities to improve service delivery.

**Public Notification:**

In accordance with Policy Section 4.1.1 of the Joint Planning Agreement between the City of Fort Pierce and St. Lucie County, the City Planning Department has provided notice of this annexation by mail to the St. Lucie County Administrator's Office on May 4, 2019, no fewer than thirty (30) days prior to the first reading of this annexation by the City Commission

**Staff Recommendation:**

The request meets the above standards of the City's Comprehensive Plan, specifically Policy Section 1.11 regarding annexations. Therefore, Planning Staff recommends that the Planning Board forward the proposed annexation application along with a Zoning designation of C-3, General Commercial, and a Future Land Use designation of CG, General Commercial.

**Planning Board**

**6.c.**

Meeting Date: 05/14/2019

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Information

REQUESTED ACTION

Voluntary Annexation - (2420-444-0006-000-2) - 2995 South 25th Street

LOCATION

1.06 acres located at 2995 South 25th Street in Fort Pierce, Florida.

RESPONSIBLE STAFF

Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

RECOMMENDATION

Approval to forward to City Commission.

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Attachments

Staff Report

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**Form Review**

Form Started By: Rebeca Guerra  
Final Approval Date: 05/07/2019

Started On: 05/07/2019 06:55 PM



**TO:** Planning Board

**FROM:** Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director *RG*

**RE:** **Application for Annexation**  
**2995 South 25th Street**

**BOARD DATE:** May 14, 2019

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**STAFFREPORT**

**Property Owner:** Mansia Petroleum Inc.  
 2995 S. 25th Street  
 Fort Pierce, FL 34981

**Requested Action:** Approval of a Voluntary Application for Annexation for a parcel of land along with the Zoning designation of C-3, General Commercial, and a Future Land Use Designation of CG, General Commercial.

**Site Location:** 2995 South 25th Street, Fort Pierce, Florida.

**Parcel ID:** 2420-444-0006-000-2

**Parcel Size:** 1.06 acres

**Current Zoning:** GC, General Commercial (St. Lucie County)

**Current Future Land Use:** COM, Commercial (St. Lucie County)

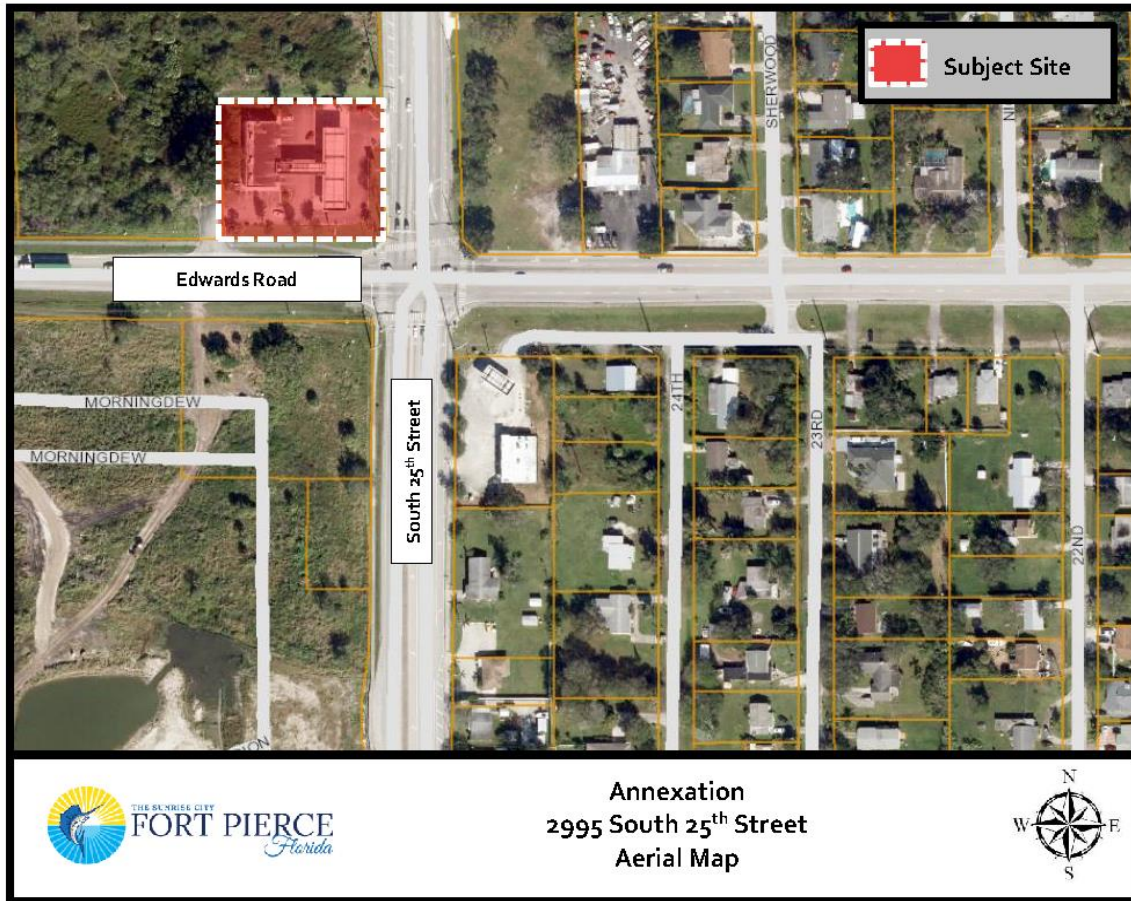
**Proposed Zoning:** C-3, General Commercial

**Proposed Future Land Use:** CG, General Commercial

<b>Surrounding Zoning:</b>	North	East	South	West
	CG (SLC)	C-3	PUD (SLC)	CG (SLC)
<b>Surrounding FLU:</b>	COM (SLC)	GC	PUD (SLC)	COM (SLC)

**Staff Analysis:**

This is a request for a voluntary annexation of property (Parcel ID 2420-444-0006-000-2) located at 2995 South 25th Street in Fort Pierce, Florida.



The current St. Lucie County Zoning for 2995 South 25th Street is GC, General Commercial, with a St. Lucie County Future Land Use of COM, Commercial. To ensure consistency with Policy 1.11.5 of the City's Comprehensive Plan, the proposed Zoning designation will be C-3, General Commercial, and the proposed Future Land Use designation will be CG, General Commercial.

Staff has confirmed that the property is located within unincorporated St. Lucie County and is contiguous to the Fort Pierce City municipal boundary. The property is also within the Fort Pierce Utilities Authority (FPUA) service area. Moreover, there is a signed Annexation Agreement for this property from the FPUA which grants water service and/or sewer service outside the City limits of the City of Fort Pierce.

This proposed annexation is also consistent with F.S 171.044, whereas the property is contiguous to a municipality and reasonably compact; and the annexation will not result in the creation of an enclave.

The current taxable value of the property is approximately \$934,495. If the Application for Annexation is approved it would create a new source of ad-valorem tax revenue annually to the City of Fort Pierce, depending on the millage rate per year, which currently is 6.9000.

### **Comprehensive Plan:**

Staff has reviewed the Comprehensive Plan and finds the proposed annexation is consistent with the following Objectives and Policies:

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Objective 1.11 of the Comprehensive Plan: "Annex properties within the Fort Pierce Utilities Authority Boundary in an orderly manner that promotes efficiency of public service provision and economic vitality of the City."

The property is within the FPUA service boundary. Policy, 1.11.1 of the City Comprehensive Plan: "The City shall evaluate proposed annexations within the urban service boundary based upon the following criteria:

1. The ability of the City to provide public services at a level equal to or better than that available from the current service providers;
2. The ability of the City to provide public services at the City's adopted levels of service;
3. Whether the annexation would eliminate an unincorporated island or could be expanded to eliminate an unincorporated island; and
4. Whether the annexation would eliminate an irregularity or irregularities in the City's boundaries, thereby improving service delivery"

The area where this annexation is taking place has an even mix of properties with-in St. Lucie County jurisdiction and with-in City of Fort Pierce jurisdiction. The annexation of this property would help to continue eliminating irregularities along the City's boundary in this area. The adoption of this property into the City also helps to provide efficient public services.

The City of Fort Pierce Zoning designation and Future Land Use designation shall remain consistent with the current County designation and the City's Comprehensive Plan. The Zoning Designation of C-3, General Commercial, and the Future Land Use designation of CG, General Commercial would be consistent with Policy 1.11.5.

Pursuant to the Future Land Use Element of the Comprehensive Plan, annexations are reviewed for fiscal impacts, the effect upon adopted level of service standards for public facilities, and the elimination of the municipal boundary irregularities to improve service delivery.

**Public Notification:**

In accordance with Policy Section 4.1.1 of the Joint Planning Agreement between the City of Fort Pierce and St. Lucie County, the City Planning Department has provided notice of this annexation by mail to the St. Lucie County Administrator's Office on May 4, 2019, no fewer than thirty (30) days prior to the first reading of this annexation by the City Commission

**Staff Recommendation:**

The request meets the above standards of the City's Comprehensive Plan, specifically Policy Section 1.11 regarding annexations. Therefore, Planning Staff recommends that the Planning Board forward the proposed annexation application along with a Zoning designation of C-3, General Commercial, and a Future Land Use designation of CG, General Commercial.

**Planning Board**

**6.d.**

Meeting Date: 05/14/2019

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Information

REQUESTED ACTION

(2) Voluntary Annexations - (2428-603-0002-000-5) 3076 South 25th Street -and-  
(2428-603-0005-000-6) 3092 South 25th Street

LOCATION

0.66 acres and 0.22 acres, respectively located at 3076 & 3092 South 25th Street in Fort Pierce, Florida.

RESPONSIBLE STAFF

Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

RECOMMENDATION

Approval to forward to City Commission.

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Attachments

Staff Report

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**Form Review**

Form Started By: Rebeca Guerra  
Final Approval Date: 05/07/2019

Started On: 05/07/2019 07:01 PM



**TO:** Planning Board

**FROM:** Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director *RG*

**RE:** **Applications for Annexation of Two (2) Parcels  
 3076 & 3092 South 25<sup>th</sup> Street**

**BOARD DATE:** May 14, 2019

**STAFF REPORT**

**Property Owner:** Connie Childs (and Trust)  
 3076 S. 25th Street  
 Fort Pierce, FL 34981

**Requested Action:** Approval of Voluntary Applications for Annexation of two (2) parcels of land along with the Zoning designations of C-1, Office Commercial, and Future Land Use Designations of OP, Office Professional for each parcel.

**Site Location:** 3076 & 3092 South 25th Street, in Fort Pierce, Florida.

**Parcel ID's:** 2428-603-0002-000-5 & 2428-603-0005-000-6

**Parcel Size:** 0.66 acres and 0.22 acres

**Current Zoning:** CO, Commercial Office (St. Lucie County)

**Current Future Land Use:** RU, Residential Urban (St. Lucie County)

**Proposed Zoning:** C-1, Office Commercial

**Proposed Future Land Use:** OP, Office Professional

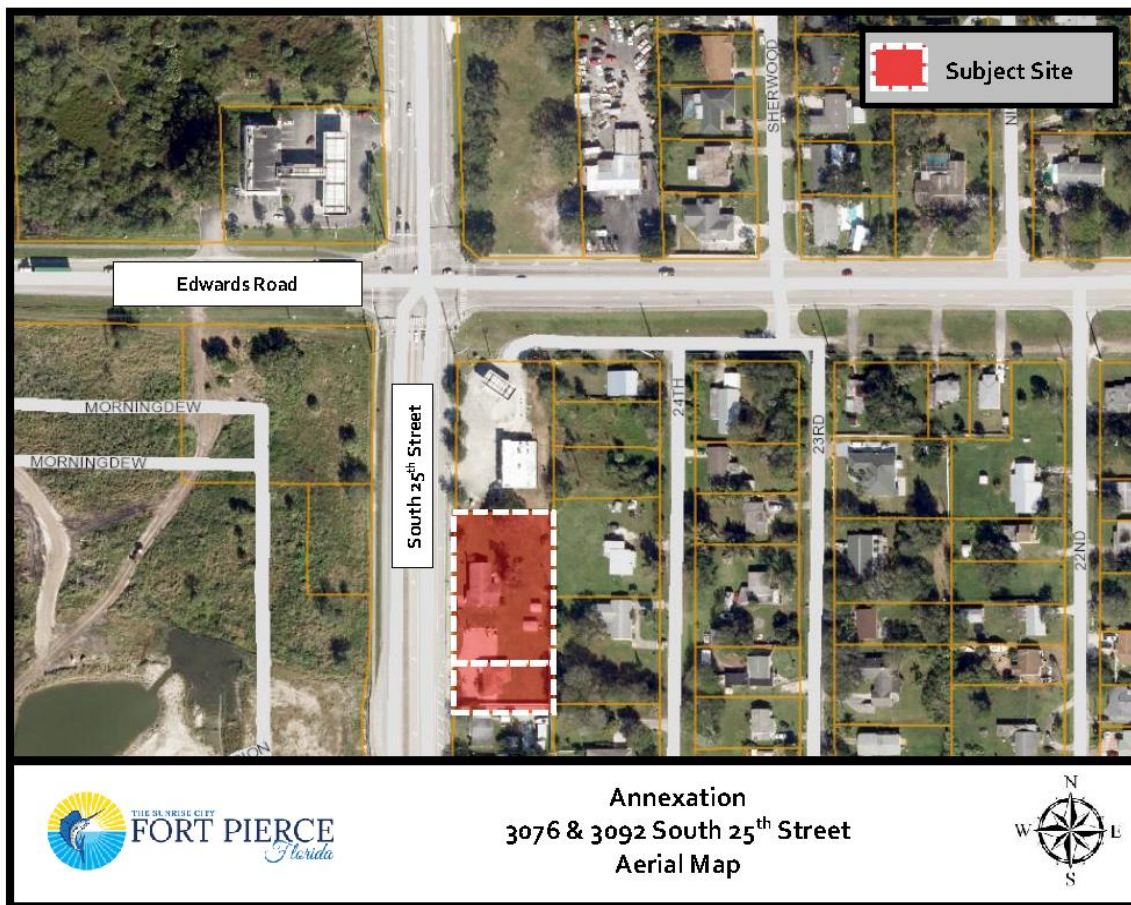
**Surrounding Zoning:**

North	East	South	West
C-3	RS-4 (SLC)	RS-4 (SLC)	PUD (SLC)
OP	RU (SLC)	RU (SLC)	RM (SLC)

**Surrounding FLU:**

**Staff Analysis:**

This is a request for a voluntary annexation of two (2) properties (Parcel ID's 2428-603-0002-000-5 & 2428-603-0005-000-6) located at 3076 & 3092 South 25th Street in Fort Pierce, Florida.



The current St. Lucie County Zoning for all of these parcels on South 25<sup>th</sup> Street is CO, Commercial Office, with a St. Lucie County Future Land Use of RU, Residential Urban. To ensure consistency with Policy 1.11.5 of the City's Comprehensive Plan, the proposed Zoning designation for all parcels will be C-1, Office Commercial, and the proposed Future Land Use designation for all parcels will be OP, Office Professional.

Staff has confirmed that the properties are located within unincorporated St. Lucie County and, if approved simultaneously, will become contiguous to the Fort Pierce City municipal boundary. The properties are also within the Fort Pierce Utilities Authority (FPUA) service area. Moreover, there are signed Annexation Agreements encompassing all of the properties from the FPUA which grant water service and/or sewer service outside the City limits of the City of Fort Pierce.

This proposed annexations are also consistent with F.S 171.044, whereas the properties will be contiguous to a municipality and reasonably compact; and the annexations will not result in the creation of any enclaves.

The current taxable value of each of the properties are approximately \$154,500 and \$86,800. If the Applications for Annexation are approved, it would create two (2) new sources of ad-valorem tax revenue annually to the City of Fort Pierce, depending on the millage rate per year, which currently is 6.9000.

#### **Comprehensive Plan:**

Staff has reviewed the Comprehensive Plan and finds the two (2) proposed annexations are consistent with the following Objectives and Policies:

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Objective 1.11 of the Comprehensive Plan: "Annex properties within the Fort Pierce Utilities Authority Boundary in an orderly manner that promotes efficiency of public service provision and economic vitality of the City."

The property is within the FPUA service boundary. Policy, 1.11.1 of the City Comprehensive Plan: "The City shall evaluate proposed annexations within the urban service boundary based upon the following criteria:

1. The ability of the City to provide public services at a level equal to or better than that available from the current service providers;
2. The ability of the City to provide public services at the City's adopted levels of service;
3. Whether the annexation would eliminate an unincorporated island or could be expanded to eliminate an unincorporated island; and
4. Whether the annexation would eliminate an irregularity or irregularities in the City's boundaries, thereby improving service delivery"

The area where these annexations are taking place has an even mix of properties with-in St. Lucie County jurisdiction and with-in City of Fort Pierce jurisdiction. The annexation of these properties would help to continue eliminating irregularities along the City's boundary in this area. Moreover, the adoption of these properties into the City also helps to provide efficient public services.

The City of Fort Pierce Zoning designation and Future Land Use designations shall remain consistent with the current County designation and the City's Comprehensive Plan. The Zoning Designations of C-1, Office Commercial, and the Future Land Use designations of OP, Office Professional would be consistent with Policy 1.11.5.

Pursuant to the Future Land Use Element of the Comprehensive Plan, annexations are reviewed for fiscal impacts, the effect upon adopted level of service standards for public facilities, and the elimination of the municipal boundary irregularities to improve service delivery.

**Public Notification:**

In accordance with Policy Section 4.1.1 of the Joint Planning Agreement between the City of Fort Pierce and St. Lucie County, the City Planning Department has provided notice of these annexations by mail to the St. Lucie County Administrator's Office on May 4, 2019, no fewer than thirty (30) days prior to the first reading of this annexation by the City Commission

**Staff Recommendation:**

The request meets the above standards of the City's Comprehensive Plan, specifically Policy Section 1.11 regarding annexations. Therefore, Planning Staff recommends that the Planning Board forward the proposed annexation application along with a Zoning designation of C-1, Office Commercial, and Future Land Use designations of OP, Office Professional for each of the parcels.

**Planning Board**

**6.e.**

Meeting Date: 05/14/2019

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Information

REQUESTED ACTION

(2) Voluntary Annexations - (2407-131-0002-000-2) -and- (2407-131-0001-000-5)  
- unaddressed parcels generally located on the north side of Orange Avenue between La Jean Drive and North 39th Street.

LOCATION

4.42 acres and 1.57 acres, generally located on the north side of Orange Avenue between La Jean Drive and North 39th Street in Fort Pierce, Florida.

RESPONSIBLE STAFF

Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

RECOMMENDATION

Approval to forward to City Commission.

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Attachments

Staff Report

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**Form Review**

Form Started By: Rebeca Guerra

Started On: 05/07/2019 07:05 PM

Final Approval Date: 05/07/2019



**TO:** Planning Board

**FROM:** Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director *RG*

**RE:** **Applications for Annexation of Two (2) Parcels**  
**Two (2) unaddressed parcels on Orange Avenue**

**BOARD DATE:** May 14, 2019

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**STAFFREPORT**

**Property Owner:** Orange Avenue Storage, LLC  
 116 Gulfstream Road  
 Palm Beach, FL 33480

**Requested Action:** Approval of Voluntary Applications for Annexation of two (2) parcels of land along with the Zoning designations of I-1, Light Industrial, and Future Land Use Designations of I, Industrial for each parcel.

**Site Location:** Two (2) unaddressed parcels generally located on the north side of Orange Avenue between La Jean Drive and North 39th Street, in Fort Pierce, Florida.

**Parcel ID's:** 2407-131-0002-000-2 & 2407-131-0001-000-5

**Parcel Size:** 4.42 acres and 1.57 acres

**Current Zoning:** IL, Light Industrial (St. Lucie County)

**Current Future Land Use:** I, Industrial (St. Lucie County)

**Proposed Zoning:** I-1, Light Industrial

**Proposed Future Land Use:** I, Industrial

**Surrounding Zoning:**

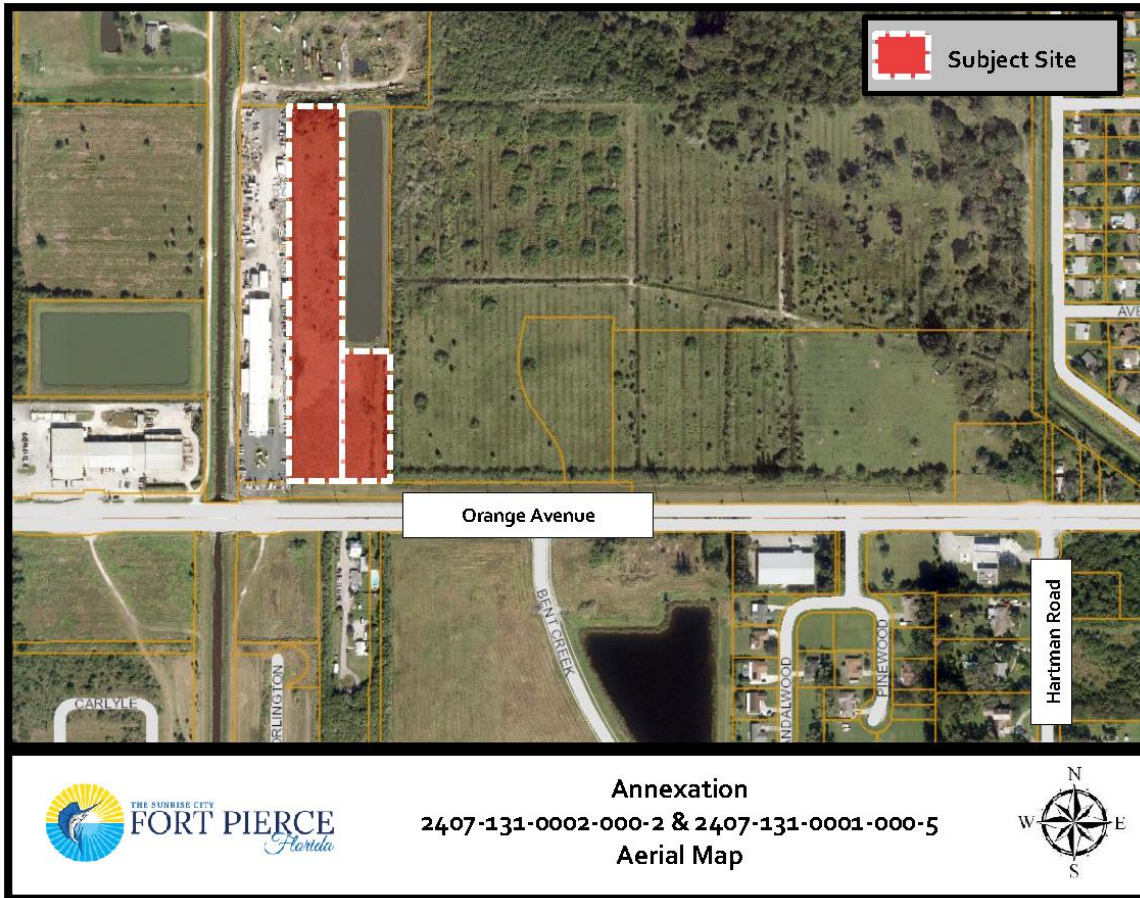
North	East	South	West
I-1	PUD (SLC)	CG (SLC), C-3	I-1

**Surrounding FLU:**

CI	RM & RH (SLC)	COM (SLC), CC	CI
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**Staff Analysis:**

This is a request for a voluntary annexation of two (2) properties (Parcel ID's 2407-131-0002-000-2 & 2407-131-0001-000-5) generally located on the north side of Orange Avenue between La Jean Drive and North 39th Street in Fort Pierce, Florida.



The current St. Lucie County Zoning for all of these parcels on Orange Avenue is IL, Light Industrial, with a St. Lucie County Future Land Use of I, Industrial. To ensure consistency with Policy 1.11.5 of the City's Comprehensive Plan, the proposed Zoning designation for all parcels will be I-1, Light Industrial, and the proposed Future Land Use designation for all parcels will be I, Industrial.

Staff has confirmed that the properties are located within unincorporated St. Lucie County and, if approved simultaneously, will become contiguous to the Fort Pierce City municipal boundary. The properties are also within the Fort Pierce Utilities Authority (FPUA) service area. Moreover, there are signed Annexation Agreements encompassing all of the properties from the FPUA which grant water service and/or sewer service outside the City limits of the City of Fort Pierce.

This proposed annexations are also consistent with F.S 171.044, whereas the properties will be contiguous to a municipality and reasonably compact; and the annexations will not result in the creation of any enclaves.

The current taxable value of each of the properties are approximately \$1,216 and \$432. If the Applications for Annexation are approved, it would create two (2) new sources of ad-valorem tax revenue annually to the City of Fort Pierce, depending on the millage rate per year, which currently is 6.9000.

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## **Comprehensive Plan:**

Staff has reviewed the Comprehensive Plan and finds the two (2) proposed annexations are consistent with the following Objectives and Policies:

Objective 1.11 of the Comprehensive Plan: "Annex properties within the Fort Pierce Utilities Authority Boundary in an orderly manner that promotes efficiency of public service provision and economic vitality of the City."

The property is within the FPUA service boundary. Policy, 1.11.1 of the City Comprehensive Plan: "The City shall evaluate proposed annexations within the urban service boundary based upon the following criteria:

1. The ability of the City to provide public services at a level equal to or better than that available from the current service providers;
2. The ability of the City to provide public services at the City's adopted levels of service;
3. Whether the annexation would eliminate an unincorporated island or could be expanded to eliminate an unincorporated island; and
4. Whether the annexation would eliminate an irregularity or irregularities in the City's boundaries, thereby improving service delivery"

The area where these annexations are taking place has an even mix of properties with-in St. Lucie County jurisdiction and with-in City of Fort Pierce jurisdiction. The annexation of these properties would help to continue eliminating irregularities along the City's boundary in this area. Moreover, the adoption of these properties into the City also helps to provide efficient public services.

The City of Fort Pierce Zoning designation and Future Land Use designations shall remain consistent with the current County designation and the City's Comprehensive Plan. The Zoning Designations of I-1, Light Industrial, and the Future Land Use designations of I, Industrial would be consistent with Policy 1.11.5.

Pursuant to the Future Land Use Element of the Comprehensive Plan, annexations are reviewed for fiscal impacts, the effect upon adopted level of service standards for public facilities, and the elimination of the municipal boundary irregularities to improve service delivery.

## **Public Notification:**

In accordance with Policy Section 4.1.1 of the Joint Planning Agreement between the City of Fort Pierce and St. Lucie County, the City Planning Department has provided notice of these annexations by mail to the St. Lucie County Administrator's Office on May 4, 2019, no fewer than thirty (30) days prior to the first reading of this annexation by the City Commission

## **Staff Recommendation:**

The request meets the above standards of the City's Comprehensive Plan, specifically Policy Section 1.11 regarding annexations. Therefore, Planning Staff recommends that the Planning Board forward the proposed annexation application along with the Zoning designations of I-1, Light Industrial, and Future Land Use designations of I, Industrial for each of the parcels.

**Planning Board**

**6.f.**

Meeting Date: 05/14/2019

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Information

REQUESTED ACTION

(4) Voluntary Annexations - (3403-805-0158-000-9) 160 Smallwood Avenue -and- (3403-805-0156-000-5) 302 Smallwood Avenue -and- (3403-433-0002-000-0) 367 Smallwood Avenue -and- (3403-805-0160-000-6) unaddressed parcel on Smallwood Avenue

LOCATION

0.28, 0.29 acres, 0.36 acres, and 0.44 acres, respectively located at 160, 302, & 367 Smallwood Avenue as well as an unaddressed parcel generally located on the north and south sides of Smallwood Avenue, east of the intersection of Smallwood Avenue and US Highway 1, all in Fort Pierce, Florida.

RESPONSIBLE STAFF

Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

RECOMMENDATION

Approval to forward to City Commission.

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Attachments

Staff Report

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**Form Review**

Form Started By: Rebeca Guerra  
Final Approval Date: 05/07/2019

Started On: 05/07/2019 07:13 PM



**TO:** Planning Board

**FROM:** Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director *RG*

**RE:** **Applications for Annexation of Four(4) Parcels**  
**160, 302, & 367 Smallwood Avenue and an unaddressed parcel on Smallwood Avenue**

**BOARD DATE:** May 14, 2019

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### STAFFREPORT

**Property Owners:** Florida Solar Products Inc.  
160 Smallwood Ave Fort Pierce  
Fort Pierce, FL 34982

Gassan Lawen  
59 Chauncey Avenue  
Etobicoke, ON M8Z 2Z2

Tommy J. Fry  
367 Smallwood Avenue  
Fort Pierce, FL 34982-7390

**Requested Action:** Approval of Voluntary Applications for Annexation of four (4) parcels of land along with the Zoning designations of C-3, General Commercial, and Future Land Use Designations of CG, General Commercial for each parcel.

**Site Location:** 160, 302, & 367 Smallwood Avenue and an unaddressed parcel on Smallwood Avenue, all in Fort Pierce, Florida.

**Parcel ID's:** 3403-805-0158-000-9, 3403-805-0156-000-5, 3403-433-0002-000-0, & 3403-805-0160-000-6

**Parcel Size:** 0.28, 0.29 acres, 0.36 acres, and 0.44 acres

**Current Zoning:** CG, General Commercial (St. Lucie County)

**Current Future Land Use:** COM, Commercial (St. Lucie County)

**Proposed Zoning:** C-3, General Commercial

**Proposed Future Land Use:** CG, General Commercial

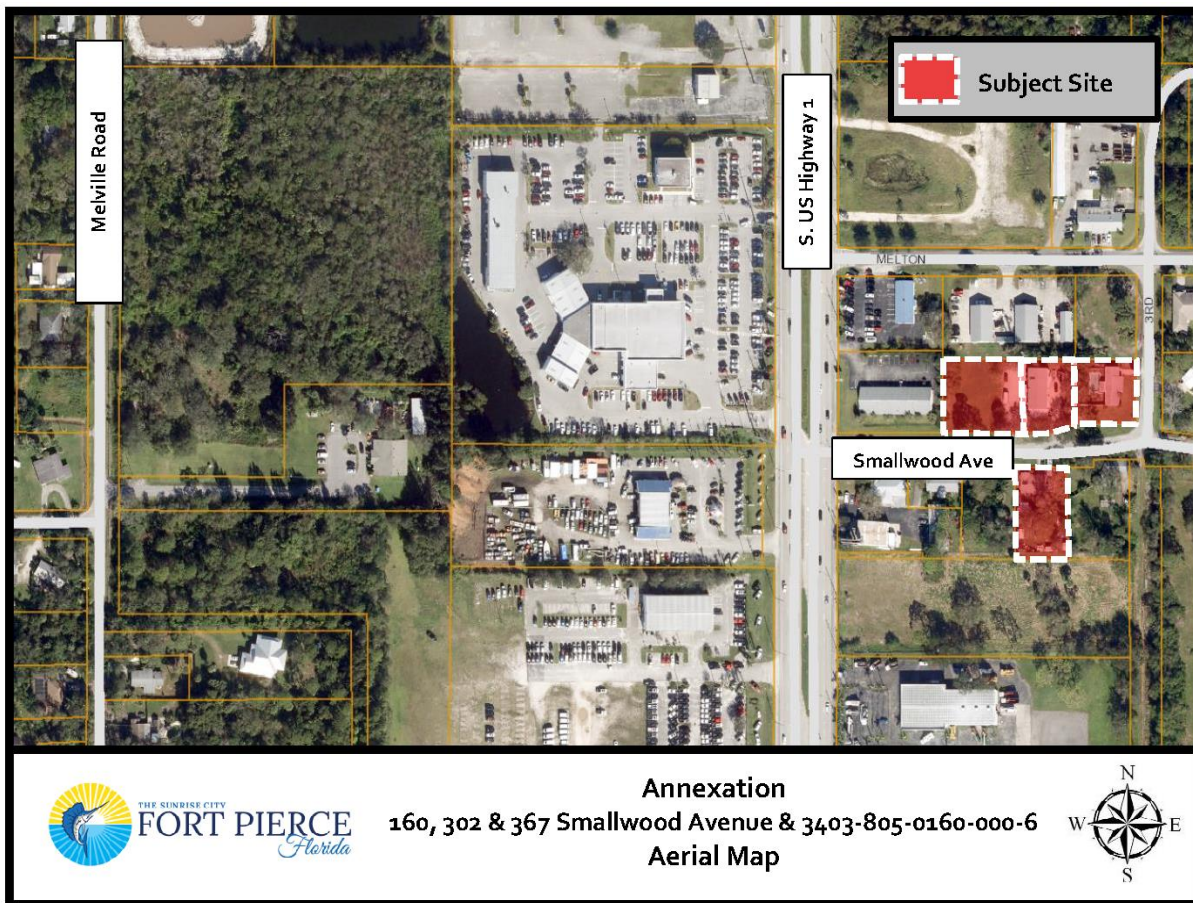
**Surrounding Zoning:**

North	East	South	West
CG(SLC)	RS-4 & CG (SLC)	CG(SLC), C-3	GC(SLC), C-3
COM (SLC)	RM & COM (SLC)	COM (SLC), GC	COM (SLC), GC

**Surrounding FLU:**

**Staff Analysis:**

This is a request for a voluntary annexation of four (4) properties (ParcelID's 3403-805-0158-000-9, 3403-805-0156-000-5, 3403-433-0002-000-0, & 3403-805-0160-000-6) generally located on the north and south sides of Smallwood Avenue, east of the intersection of Smallwood Avenue and US Highway 1 in FortPierce, Florida.



The current St. Lucie County Zoning for all of these parcels on Smallwood Avenue is GC, General Commercial, with a St. Lucie County Future Land Use of COM, Commercial. To ensure consistency with Policy 1.11.5 of the City's Comprehensive Plan, the proposed Zoning designation for all parcels will be C-3, General Commercial, and the proposed Future Land Use designation for all parcels will be CG, General Commercial.

Staff has confirmed that the properties are located within unincorporated St. Lucie County and, if approved simultaneously, will become contiguous to the Fort Pierce City municipal boundary. The properties are also within the Fort Pierce Utilities Authority (FPUA) service area. Moreover, there are signed Annexation Agreements encompassing all of the properties from the FPUA which grant water service and/or sewer service outside the City limits of the City of Fort Pierce.

This proposed annexations are also consistent with F.S 171.044, whereas the properties will be contiguous to a municipality and reasonably compact; and the annexations will not result in the creation of any enclaves.

The current taxable value of each of the properties are approximately \$105,600, \$69,345, \$36,171, and \$53,700. If the Applications for Annexation are approved, it would create four (4) new sources of ad-valorem tax revenue annually to the City of Fort Pierce, depending on the millage rate per year, which currently is 6.9000.

### **Comprehensive Plan:**

Staff has reviewed the Comprehensive Plan and finds the four (4) proposed annexations are consistent with the following Objectives and Policies:

Objective 1.11 of the Comprehensive Plan: "Annex properties within the Fort Pierce Utilities Authority Boundary in an orderly manner that promotes efficiency of public service provision and economic vitality of the City."

The property is within the FPUA service boundary. Policy, 1.11.1 of the City Comprehensive Plan: "The City shall evaluate proposed annexations within the urban service boundary based upon the following criteria:

1. The ability of the City to provide public services at a level equal to or better than that available from the current service providers;
2. The ability of the City to provide public services at the City's adopted levels of service;
3. Whether the annexation would eliminate an unincorporated island or could be expanded to eliminate an unincorporated island; and
4. Whether the annexation would eliminate an irregularity or irregularities in the City's boundaries, thereby improving service delivery"

The area where these annexations are taking place has an even mix of properties with-in St. Lucie County jurisdiction and with-in City of Fort Pierce jurisdiction. The annexation of these properties would help to continue eliminating irregularities along the City's boundary in this area. Moreover, the adoption of these properties into the City also helps to provide efficient public services. The City of Fort Pierce Zoning designation and Future Land Use designations shall remain consistent with the current County designation and the City's Comprehensive Plan. The Zoning Designation of C-3, General Commercial, and the Future Land Use designation of CG, General Commercial would be consistent with Policy 1.11.5. Pursuant to the Future Land Use Element of the Comprehensive Plan, annexations are reviewed for fiscal impacts, the effect upon adopted level of service standards for public facilities, and the elimination of the municipal boundary irregularities to improve service delivery.

### **Public Notification:**

In accordance with Policy Section 4.1.1 of the Joint Planning Agreement between the City of Fort Pierce and St. Lucie County, the City Planning Department has provided notice of these annexations by mail to the St. Lucie County Administrator's Office on May 4, 2019, no fewer than thirty (30) days prior to the first reading of this annexation by the City Commission

### **Staff Recommendation:**

The requests meet the above standards of the City's Comprehensive Plan, specifically Policy Section 1.11 regarding annexations. Therefore, Planning Staff recommends that the City Commission approve the proposed four (4) annexations along with the Zoning designations of C-3, General Commercial, and Future Land Use designations of CG, General Commercial for each of the parcels.

**Planning Board**

**6.g.**

Meeting Date: 05/14/2019

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Information

REQUESTED ACTION

Conditional Use with New Construction - Delpapa Residence - 1655 Thumb Point Drive

LOCATION

1655 Thumb Point Drive

RESPONSIBLE STAFF

Vennis Gilmore, Planning Analyst

RECOMMENDATION

The requested Conditional Use with New Construction is consistent with City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience and general welfare. Therefore, Staff recommends that the Planning Board forward a recommendation to the City Commission for **APPROVAL** of the requested Conditional Use with New Construction for the proposed single family residence with a height of up to 35 feet.

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Attachments

Staff Report  
Application  
Property Record Card  
Narrative  
Warranty Deed  
Survey  
Plat  
Location Map  
Aerial Map  
Zoning Map  
Site Plan  
Elevations  
Ground Floor Plan  
2nd Floor Plan  
TRC Comments

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**Form Review**


Form Started By: Vennis Gilmore  
Final Approval Date: 05/08/2019

Started On: 05/07/2019 11:33 AM



**TO:** Planning Board

**THROUGH:** Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director 

**FROM:** Vennis Gilmore, Planning Analyst 

**RE:** **Application for Conditional Use with New Construction  
 Delpapa Residence  
 1655 Thumb Point Drive**

**BOARD DATE:** May 14, 2019

**STAFF REPORT**

**Property Owner:** Roger Delpapa  
 10305 Jim Edwards Road  
 Haines City, FL 33844

**Representative:** Terrence J. Brisson  
 2106 Bella Vista Way  
 Port St. Lucie, FL 34952

**Representative's Request:** Approval of a Conditional Use with New Construction to construct a new three (3) story – 6,786 sq. ft. single-family home. The applicant is seeking a height extension to build up to 35 feet.

**Location(s):** 1655 Thumb Point Drive

**Parcel ID:** 2401-605-0035-000-8

**Current Zoning:** Single-Family Low Density Zone (R-1)

**Future Land Use:** Low Density Residential (RL)

**Surrounding Zoning:**

North	East	South	West
R-2	R-1	A-2/Indian River	R-1

**Utilities:** FPUA

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## **Staff Analysis:**

### ***Request***

In accordance with Sections 22-16, 22-24, and 22-76 of the City Code, the applicant is requesting the review and approval of a Conditional Use with New Construction to construct a new three story – 6,786 sq. ft. single-family home at 1655 Thumb Point Drive. The applicant is seeking a height extension to build up to 35 feet. The proposed three story single-family home will consist of 6,786 sq. ft. in gross floor area. The new residence will include three levels of livable space; on all three floors. The first floor will also include a two-car garage, storage, patio and swimming pool. Plans also include first floor and second floor balcony. The representative has submitted a preliminary floor plan layout with one Master Bedroom and one Bathroom, and is seeking a height extension to build up to 35 feet. The subject property is zoned Single-Family Low Density Residential Zone (R-1) with a Future Land Use (FLU) of Low Density Residential.

The property is located just southeast of the intersection of Malabar Avenue and Thumb Point Drive. The subject property is surrounded by single family residences to the north, east, west, and the Indian River to the south. The property features a driveway entrance from Thumb Point Drive.

### ***Zoning & Land Use***

The subject site is located within the Single-Family Low Density Residential Zone (R-1) district which is primarily intended to provide for areas of single-family dwellings with an average net density of less than four units per acre for conventional developments. Regulations for the district are designed to promote sound neighborhoods and accommodate compatible nonresidential uses. Water and sewer service should be available. The site has a FLU designation of Low Density Residential.

The Low Density Residential FLU designation is intended for parcels that are best suited for lower density residential uses. The predominant development typology will consist of single-family detached housing, but can also contain duplexes and multifamily residences. Limited commercial uses intended to serve the neighborhood shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools, and daycare facilities shall also be allowed. This land use category ranges in density from 1 to 6.5 dwelling units per acre. This category combines the previously allowed Residential Suburban (RS), Residential Urban (RU), and Low Density Residential (RI) categories.

The subject site is located in the South Beach Overlay District. The purpose of the South Beach Overlay District is to promote good planning and site design that produces quality development that is functional, an asset to the community and in keeping with the general character of South Hutchinson Island. By way of this overlay district, the City seeks to preserve, protect and enhance the unique barrier island environment through regulation of development and redevelopment of lots within the district. The standards allow for and promote design integration of the man-made improvements to the land with the natural elements of the land. All new development and changes to existing development in the district that require site plan or building

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permit approval are subject to the overlay district requirements in addition to other applicable regulations in this Code.

### **Conditional Use**

Per City Code Section 22-76, the purpose of the Conditional Use process is to allow, when desirable, uses that would not be appropriate generally or without restriction throughout the particular zoning district, but which, if controlled as to number, area, location or relation to the neighborhood, would not adversely affect the public health, safety, comfort, good order, appearance, convenience and the general welfare.

The authorization of a Conditional Use with New Construction to construct a new three story – 6,786 sq. ft. single-family home with a height extension to build up to 35 feet will provide an opportunity for consistency with the zoning district and land use designation as the use nor the height will adversely affect the public health, safety, comfort, good order, appearance, convenience, or the general welfare of the surrounding residential neighborhood. The Planning Board is encouraged to consider City Code Sections 22-16 – Designation of overlay districts and City Code Section 22-24 - Single-Family Low Density zone (R-1). City Code Sections 22-16 *Height* (b)(1) and 22-24 *Building Heights* (b)(4) states that no building shall exceed a height of twenty-eight (28) feet above grade, except that conditional uses with buildings that have a maximum height of thirty-five feet above grade may be approved.

### **Technical Review Committee**

All affected departments have reviewed the proposed Conditional Use with regards requirements of the City Code. Findings from the review by corresponding departments and the associated responses by the applicant are provided.

### **Staff Recommendation:**

The requested Conditional Use with New Construction is consistent with City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience and general welfare. Therefore, staff recommends **APPROVAL** of the requested Conditional Use with New Construction for the proposed single-family residence with a height of up to 35 feet.



THE SUNRISE CITY  
**FORT PIERCE**  
PLANNING DEPARTMENT

Florida

(Incorrect address) 4-4-19  
**DEVELOPMENT REVIEW**

Property address or Location 1665 Thumb Point Dr, Fort Pierce, FL 1655 Thumb Point Drive, Ft. Pierce, FL  
Parcel ID #(s) 2401-605-0035-00-8  
Project description New construction

Roger Delpapa  
Property Owner(s)  
10305 Jim Edwards Rd  
Street Address  
Haines City FL 33844  
City State Zip  
561-722-1881  
Phone Number  
frontdesk@southerntruss.com  
Email Address

Terrence J. Brisson  
Applicant/Representative, Title, Company  
2106 Bella Vista Way  
Street Address  
Port Saint Lucie FL 34952  
City State Zip  
772-828-0364  
Phone Number  
FLTrendhomes@gmail.com  
Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

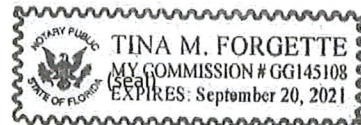
Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY

The foregoing instrument was acknowledged before me this 26 day of March, 2019, by

Roger Delpapa who is personally known to me or has produced

Tina M. Forgette as identification.  
Signature of Notary



**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_  
Intake Planner \_\_\_\_\_  
Planner Assigned \_\_\_\_\_  
Approved By \_\_\_\_\_ Date \_\_\_\_\_  
Comments \_\_\_\_\_

Intake Date Stamp

# DEVELOPMENT REVIEW

*De/papa*

## General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

## Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

## Site Information:

Non-Residential: Proposed Sq. Ft.: \_\_\_\_\_ Residential: Proposed Units: 1

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West

## Application Outlook



## Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application *Requested 3/26 9:20 AM*
- Warranty Deed *3/27 requested sign.*
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3) *Requested 3/26 9:42 AM*
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

### Property Identification

Site Address: THUMB POINT DR  
Parcel ID: 2401-605-0035-000-8  
Account #: 15217  
Map ID: 24/01E  
Use Type: 0000  
Zoning: R1  
City/County: Fort Pierce

### Ownership

Roger B Delpapa  
10305 Jim Edwards RD  
Haines City, FL 33844

### Legal Description

THUMB POINT BLK 1 LOT 35 (OR 3983-219 thru 223)

### Current Values

Just/Market Value: \$276,600  
Assessed Value: \$276,600  
Exemptions: \$0  
Taxable Value: \$276,600  
Taxes for this parcel: SLC Tax Collector's Office   
Download TRIM for this parcel: [Download PDF](#)



### Total Areas

Finished/Under Air (SF): 0  
Gross Sketched Area (SF): 0  
Land Size (acres): 0.25  
Land Size (SF): 11,074

### Sale History

Date:	Apr 6, 2017
Book/Page:	3983 / 0223
Sale Code:	0001
Deed:	WD
Grantor:	A G C Dev Corp
Price:	\$322,000
Date:	Mar 24, 2017
Book/Page:	3983 / 0221
Sale Code:	0111
Deed:	QC
Grantor:	Delpapa Roger B
Price:	\$100
Date:	Mar 22, 2017
Book/Page:	3983 / 0219
Sale Code:	0111
Deed:	QC
Grantor:	Delpapa Roger B

Price:	\$100
Date:	Dec 1, 1986
Book/Page:	0535 / 1921
Sale Code:	XX02
Deed:	CV
Grantor:	
Price:	\$103,700
Date:	Jul 1, 1973
Book/Page:	0217 / 1835
Sale Code:	XX00
Deed:	CV
Grantor:	
Price:	\$12,500

### Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

#### Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: 2014	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

#### Interior Data

Bedrooms: 0	Electric:	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors:
A/C %: 0%	Heated %: N/A%	Sprinkled %: 0%



Image  
or  
Sketch  
unavailable  
for display

### Special Features and Yard Items

### Current Year Values

#### Current Values Breakdown

Building:	\$0
Land:	\$276,600
Just/Market:	\$276,600


#### Current Year Exemption Value Breakdown

Ag Credit: \$0  
Save Our Homes or  
10% Cap: \$0  
Assessed: \$276,600  
Exemption(s): \$0  
Taxable: \$276,600

---

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	0.4	Fort Pierce Stormwater Charge	\$21.60

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

---

## Historical Values

## Permits

Notice: This does not necessarily represent all the permits for this property.  
Click the following link to check for additional permit data in Fort Pierce

---

This information is believed to be correct at this time but it is subject to change and is not warranted.  
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**FL TREND HOMES LLC.**

2106 BELLA VISTA WAY BLDG L  
PORT ST LUCIE FL 34952

(772) 828-0364 ■ [fltrendhomes@gmail.com](mailto:fltrendhomes@gmail.com) ■ CGC017586 since 1981

**Statement of Ownership & Project Narrative**

I, Roger B. Delpapa, am the rightful owner of the following vacant lot: Thumb Point Block 1 Lot 35. It is my intention to build a single-family residence.

The dwelling will be constructed as follows:

- 3 stories of livable space
  - 1<sup>st</sup> Floor: 240 SF
  - 2<sup>nd</sup> Floor: 2,210 SF
  - 3<sup>rd</sup> Floor: 1,036 SF
- 1 Garage and Storage (1<sup>st</sup> Floor): 1,970 SF
- Patio 1<sup>st</sup> Floor: 600 SF
- Balcony 2<sup>nd</sup> Floor: 600 SF
- Entry Balcony: 130 SF

**Total under roof: 6,786 SF**

Roger Delpapa  
\_\_\_\_\_  
Print Name

  
\_\_\_\_\_  
Signature

This Instrument Prepared by:  
Leonard J. Kleinman  
Vice-President  
Accurate Title Agency, Inc.  
1701 W. Hillsboro Blvd., #207  
Deerfield Beach, FL 33442  
Incident to the issuance of a Title Insurance Policy

Real Estate Account No. 2401-605-0035-0008

**WARRANTY DEED**

THIS INDENTURE, made this 6<sup>th</sup> day of April, 2017, BETWEEN

**AGC DEVELOPMENT CORPORATION, a Florida corporation,**

of 10 Fairway Dr., Suite 124, Deerfield Beach, FL 33441, **GRANTOR**, and

**ROGER B. DELPAPA,**

whose post office address is 30 Forest Hills Lane, Boca Raton, FL 33431, **GRANTEE**:

**WITNESSETH**, that said Grantor, for and in consideration of **THREE-HUNDRED TWENTY-TWO THOUSAND and 00/100 (\$322,000.00) DOLLARS**, in hand paid to Grantor, the receipt of which is hereby acknowledged, has granted, bargained and sold to the said Grantee, the Grantee's heirs and assigns forever, the following described land, situate, lying and being in St. Lucie County, Florida, to wit:

**Lot 35, Block 1, of THUMB POINT, according to the Plat thereof, as recorded in Plat Book 10, Page 79, of the Public Records of St. Lucie County, Florida.**

**THIS CONVEYANCE** is subject to the following and by accepting this Deed, Grantee does hereby agree to assume and abide by the following:

- 1. Taxes and assessments for the year 2017 and subsequent years;
- 2. Zoning, restrictions and prohibitions imposed by governmental authority;
- 3. Restrictions, easements or other matters appearing on the plat and common to the subdivision;

**AND** said Grantor does hereby fully warrant the title to said property, and will defend the same against the lawful claims of all persons whomsoever.

**WARRANTY DEED**

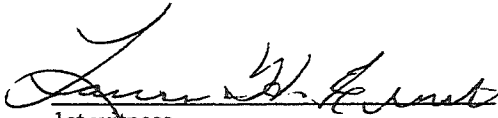
Real Estate Account No. 2401-605-0035-0008

Page 2

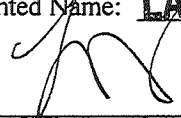
IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above-written.

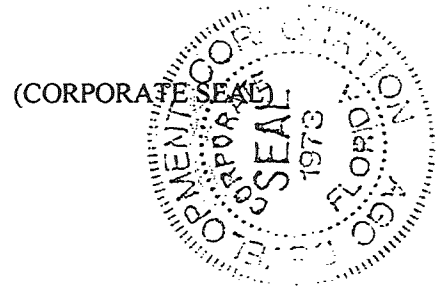
**SIGNED, SEALED AND DELIVERED  
IN OUR PRESENCE:**

**AGC DEVELOPMENT CORPORATION,  
a Florida corporation**

  
1st witness  
Printed Name: **LAURA H. ERNST**

By:   
**CHARLES RICHARD SHAMEL, JR.**  
President

  
2nd witness  
Printed Name: **LEONARD J. KLEINMAN**



STATE OF FLORIDA  
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 6<sup>th</sup> day of April, 2017 by **CHARLES RICHARD SHAMEL, JR., as President of AGC DEVELOPMENT CORPORATION, a Florida corporation**, who is personally known to me or who has produced \_\_\_\_\_ as identification.



Notary Public: **LEONARD J. KLEINMAN**  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

(SEAL)



**LEGAL DESCRIPTION:**

ALL OF LOT 35, BLOCK 1, THUMB POINT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 10, PAGE 79 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

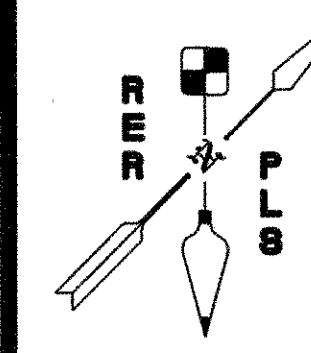
**BOUNDARY AND TOPOGRAPHIC SURVEY  
CONSTRUCTION LAYOUT SURVEY**

ABBREVIATIONS:

A/C = AIR CONDITIONER  
(C) = CALCULATED  
(C.F.T.) = CALCULATED FROM TRAVERSE  
(C) = CENTERLINE  
C.B.S. = CONCRETE BLOCK STRUCTURE  
E/P = EDGE OF PAVEMENT  
E.O.W. = EDGE OF WATER  
E.F.B. = ELECTRONIC FIELD BOOK  
EL = ELEVATION  
FRM = FLOOD INSURANCE RATE MAPS  
FND. = FOUND  
(M) = MEASURED  
N.G.V.D. OF 1929 = NATIONAL GEODETIC VERTICAL DATUM OF 1929.  
N.A.V.D. OF 1988 = NORTH AMERICAN VERTICAL DATUM OF 1988.

ABBREVIATIONS:

N.T.S. = NOT TO SCALE  
O/S = OFFSET  
P.C.P. = PERMANENT CONTROL POINT  
(P) = PLAT  
P.O.B. = POINT OF BEGINNING  
P.R.M. = PERMANENT REFERENCE MONUMENT  
(R) = RECORD  
P.C. = POINT OF CURVATURE  
P.I. = POINT OF INTERSECTION  
S/W = SIDEWALK  
T.O.S. = TOE OF SLOPE  
T.O.B. = TOP OF BANK



**ROLAND E. ROLLINS  
PROFESSIONAL LAND SURVEYOR**  
3221 SW CRUMPACKER STREET  
PORT ST. LUCIE, FLORIDA 34953  
772-873-4700

**BENCHMARK REFERENCE:**  
FOUND BRASS DISK IN CONCRETE STAMPED USGCSBM NO 3 1930 LOCATED IN FORT PIERCE ABOUT 0.25 MILE EAST ALONG STATE HIGHWAY A 1 A FROM THE JUNCTION OF U.S. HIGHWAY 1, ABOUT 130 YARDS NORTHWEST OF THE NORTHWEST CORNER OF THE HIGHWAY BRIDGE OVER THE INDIAN RIVER, SET ON THE TOP OF THE SOUTH END OF A CONCRETE BULKHEAD, NEAR THE WEST END OF A SHORT DOCKING SLIP. ELEVATION = 5.627 NORTH AMERICAN VERTICAL DATUM OF 1988.

ELEVATIONS BASED ON N.A.V.D. OF 1988 AND SHOWN THUS 1.0

**FLOOD ELEVATION INFORMATION**

MAP NUMBER	1211100183 J	DATE OF FIRM	FEB. 16, 2012
COMMUNITY NUMBER	120286	PANEL	0183
BASE FLOOD ELEVATION	6.0	SUFFIX	J
		FIRM ZONE	AE

ADDENDUM	FIELD BOOK	PAGE	DATE	BY	CHECKED
BOUNDARY SURVEY	E.F.B.		02/08/2017	R.E.R.	R.E.R.
TOPOGRAPHIC SURVEY	E.F.B.		02/08/2017	R.E.R.	R.E.R.
CONSTRUCTION LAYOUT SURVEY			02/07/2019	R.E.R.	R.E.R.

**LEGEND:**

- ⊙ = SET 5/8" IRON REBAR WITH CAP P.L.S. NUMBER 4945
- = SET MAG NAIL IN DISK P.L.S. NUMBER 4945 UNLESS OTHERWISE NOTED.
- ⊕ = MANHOLE (M.H.)
- ⊞ = CATCH BASIN (C.B.)
- ⊕ = FIRE HYDRANT (F.H.)
- ⊞ = WATER METER (W.M.)
- ⊞ = WOOD POWER POLE (WD. P.P.)
- ⊞ = CONCRETE POWER POLE (CONC. P.P.)
- ⊞ = ANCHOR AND GUY WIRE
- — — = OVERHEAD WIRES
- — — = NOT TO SCALE
- X — = FENCELINE

**NOTES:**

- 1) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, OWNERSHIP AND/OR RIGHT-OF-WAYS OF RECORD.
- 2) NO UNDERGROUND OR INTERIOR IMPROVEMENTS WERE LOCATED EXCEPT AS NOTED.
- 3) LEGAL DESCRIPTION AS SUPPLIED BY CLIENT.
- 4) BUILDING TIES ARE 90° OR RADIAL TO THE PROPERTY LINE.
- 5) ALL EASEMENTS SHOWN ARE PER RECORD PLAT UNLESS OTHERWISE NOTED.

PLAT DATE AND TIME: 02/07/2019 9:00 AM EST

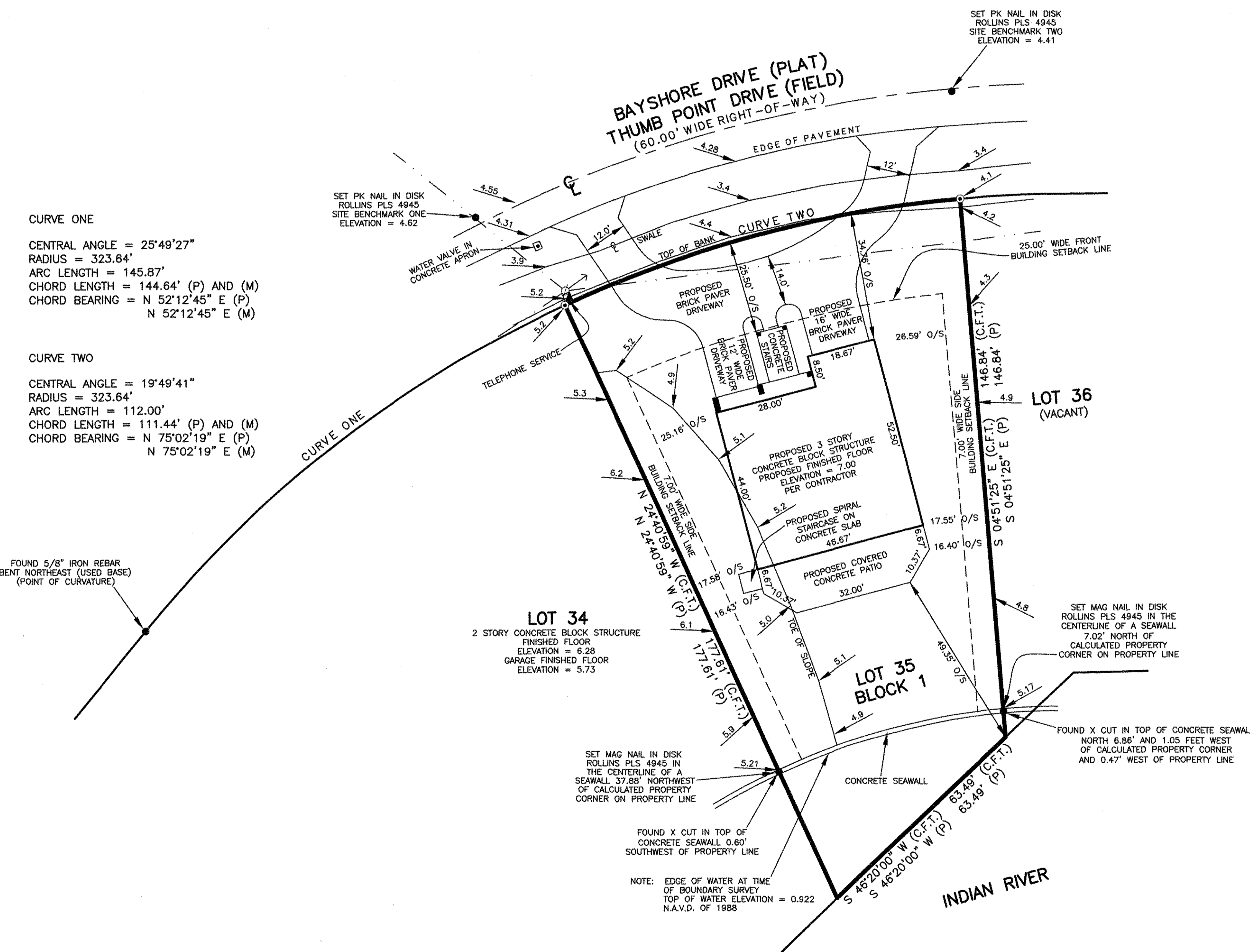
LOT SQUARE FOOTAGE: 0.316± ACRE

SCALE: 1" = 20'

DATE OF LAST FIELD WORK: 02/08/2017

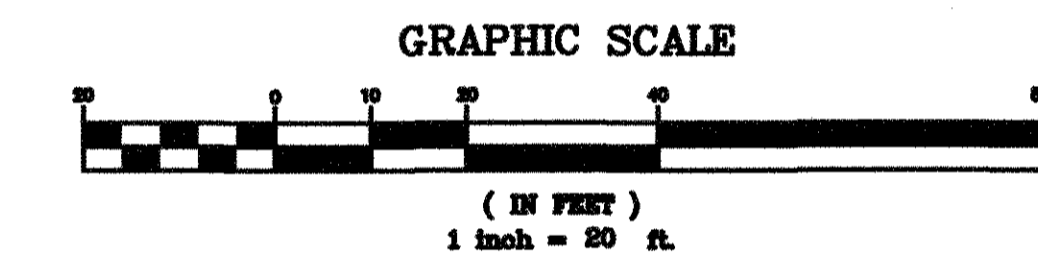
I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE FOR SURVEYS AS CONTAINED IN CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*Rollins* 2/18/2019  
ROLAND E. ROLLINS DATE  
PROFESSIONAL LAND SURVEYOR  
FLORIDA REGISTRATION NUMBER 4945  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.  
JOB NUMBER: RR170203REVCLS



**CURVE ONE**  
CENTRAL ANGLE = 25°49'27"  
RADIUS = 323.64'  
ARC LENGTH = 145.87'  
CHORD LENGTH = 144.64' (P) AND (M)  
CHORD BEARING = N 52°12'45" E (P)  
N 52°12'45" E (M)

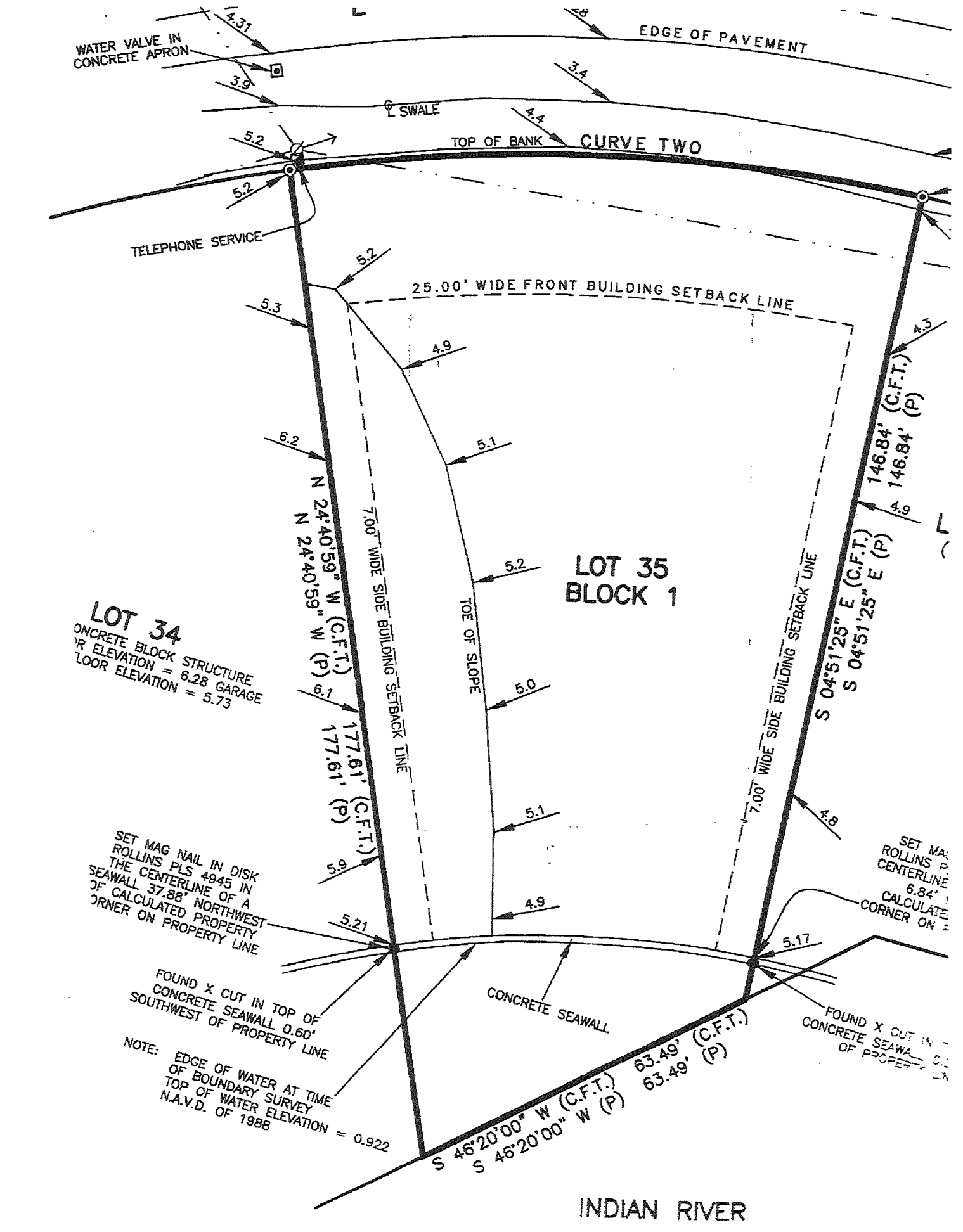
**CURVE TWO**  
CENTRAL ANGLE = 19°49'41"  
RADIUS = 323.64'  
ARC LENGTH = 112.00'  
CHORD LENGTH = 111.44' (P) AND (M)  
CHORD BEARING = N 75°02'19" E (P)  
N 75°02'19" E (M)



NOTE: THE BEARINGS ARE BASED ON THE CHORD OF THE NORTHWEST LINE OF LOT 35, BLOCK 1, THUMB POINT PER THE PLAT OF THUMB POINT (SEE LEGAL DESCRIPTION) AND THE SOUTHEAST RIGHT-OF-WAY LINE OF THUMB POINT DRIVE WHICH BEARS NORTH 75°02'19" EAST

**CERTIFICATIONS AS PROVIDED AND WORDED BY CLIENT  
CERTIFY TO:**

- 1) Old Republic National Title Ins. Co., 400 2nd Avenue South, Minneapolis, Minnesota 55401
- 2) Robert S. Kleinman, P.A., 1701 W Hillsboro Blvd., Suite 207, Deerfield Beach, FL 33442
- 3) Roger B. Delpapa, 30 Forest Hills Lane, Boca Raton, FL 33421
- 4) Hayskor, Walker, Schwerer, Dundas & McCain, P.A., 130 S. Indian River Dr., Suite 304, Fort Pierce, FL 34950
- 5) A-1 Financial Services, Inc., 440 South Federal Highway, Deerfield Beach, FL 33441



WATER VALVE IN CONCRETE APRON

EDGE OF PAVEMENT

SWALE

TOP OF BANK CURVE TWO

TELEPHONE SERVICE

25.00' WIDE FRONT BUILDING SETBACK LINE

7.00' WIDE SIDE BUILDING SETBACK LINE

7.00' WIDE SIDE BUILDING SETBACK LINE

LOT 35 BLOCK 1

TOE OF SLOPE

**LOT 34**  
 CONCRETE BLOCK STRUCTURE  
 1<sup>ST</sup> FLOOR ELEVATION = 6.28 GARAGE  
 2<sup>ND</sup> FLOOR ELEVATION = 5.73

SET MAG NAIL IN DISK  
 ROLLINS PLS 4945 IN  
 THE CENTERLINE OF A  
 SEAWALL 37.88' NORTHWEST  
 OF CALCULATED PROPERTY  
 CORNER ON PROPERTY LINE

SET MAG  
 ROLLINS PLS  
 CENTERLINE  
 6.84' N  
 CALCULATED  
 CORNER ON  
 PROPERTY LINE

FOUND X CUT IN TOP OF  
 CONCRETE SEAWALL 0.60'  
 SOUTHWEST OF PROPERTY LINE

CONCRETE SEAWALL

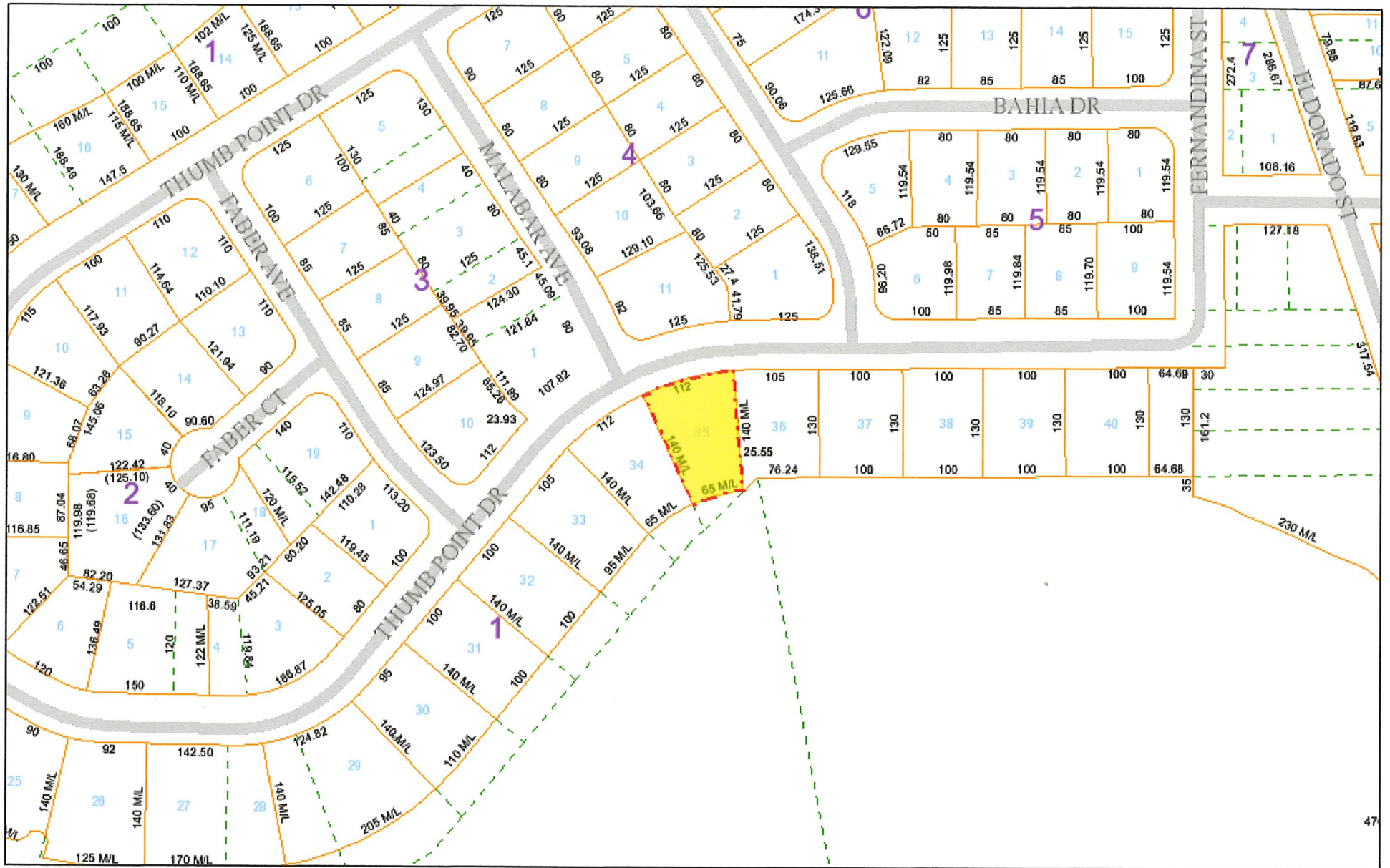
FOUND X CUT IN  
 CONCRETE SEAWALL  
 0.60'  
 SOUTHWEST OF PROPERTY LINE

NOTE: EDGE OF WATER AT TIME  
 OF BOUNDARY SURVEY  
 TOP OF WATER ELEVATION =  
 N.A.V.D. OF 1988 = 0.922

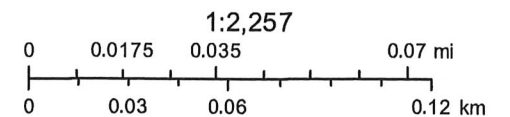
S 46°20'00" W (C.F.T.) 63.49' (P)  
 S 46°20'00" W (P) 63.49' (P)

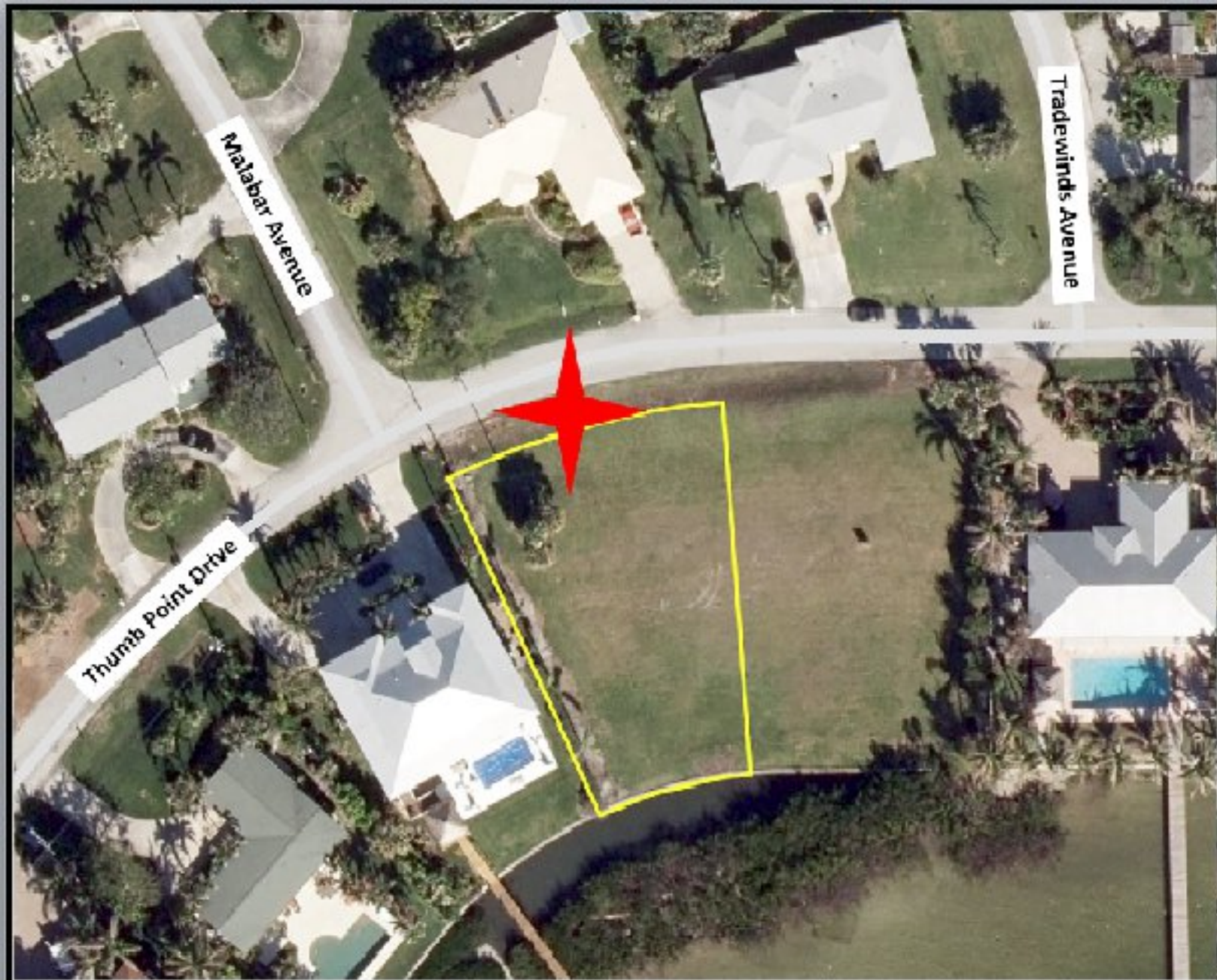
INDIAN RIVER

# Michelle Franklin, CFA - Saint Lucie County Property Appraiser



March 26, 2019





**Delpapa Residence**  
**1655 Thumb Point Drive**



THE SUNRISE CITY  
**FORT PIERCE**  
*Florida*

**Aerial Map**



**Delpapa Residence**  
**1655 Thumb Point Drive**  
**R-1, Single Family Low Density**

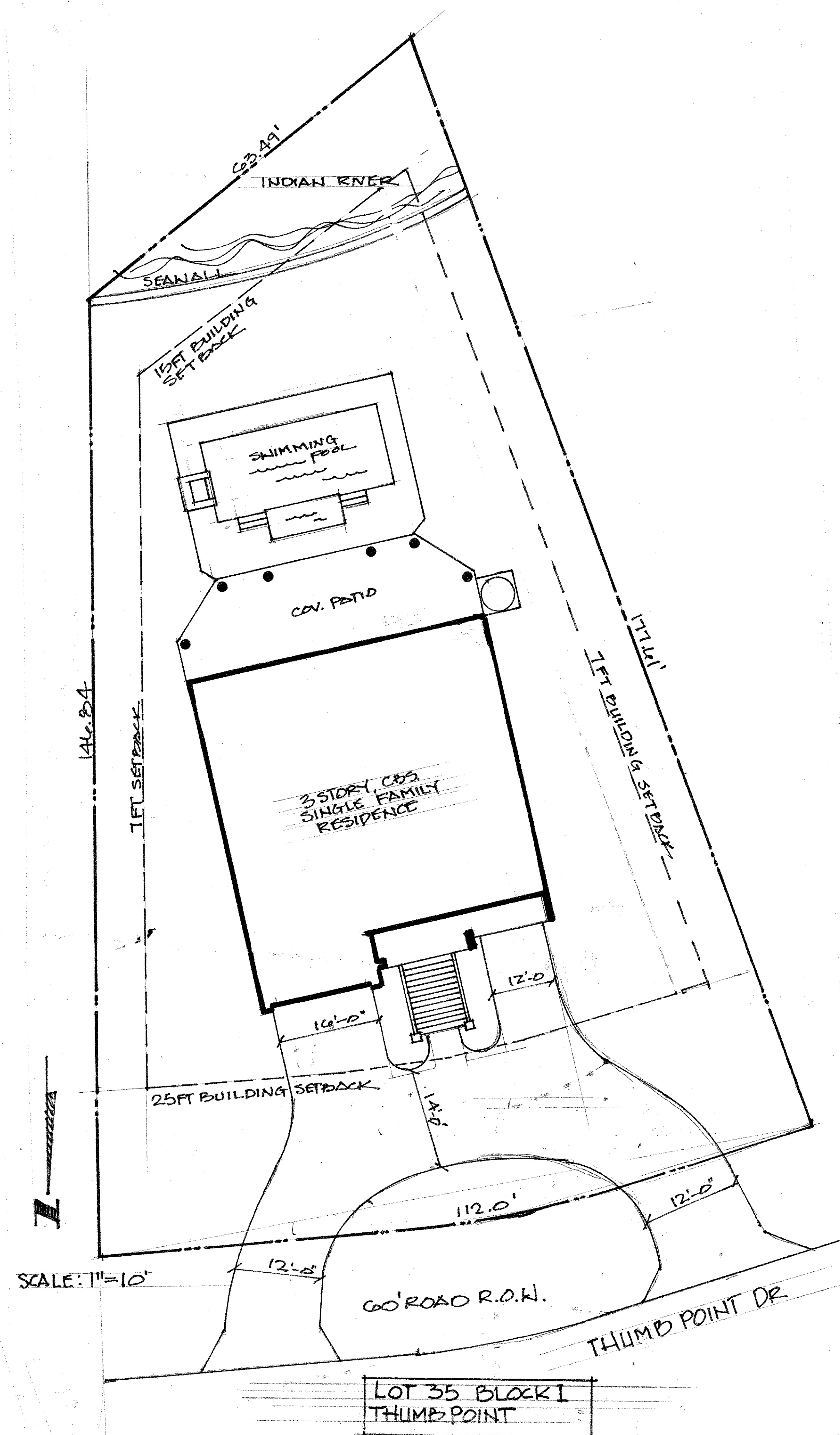


THE SUNRISE CITY  
**FORT PIERCE**  
*Florida*

**Zoning Map**



*New Residence*  
**Mr. Roger Delpapa**  
**LOT 35 BLOCK 1 THUMBPOINT**



**PRODUCT APPROVAL SUBMISSION FORM**  
 JOB NAME: ROGER DELPAPA: LOT 35 BLOCK 1 THUMBPOINT

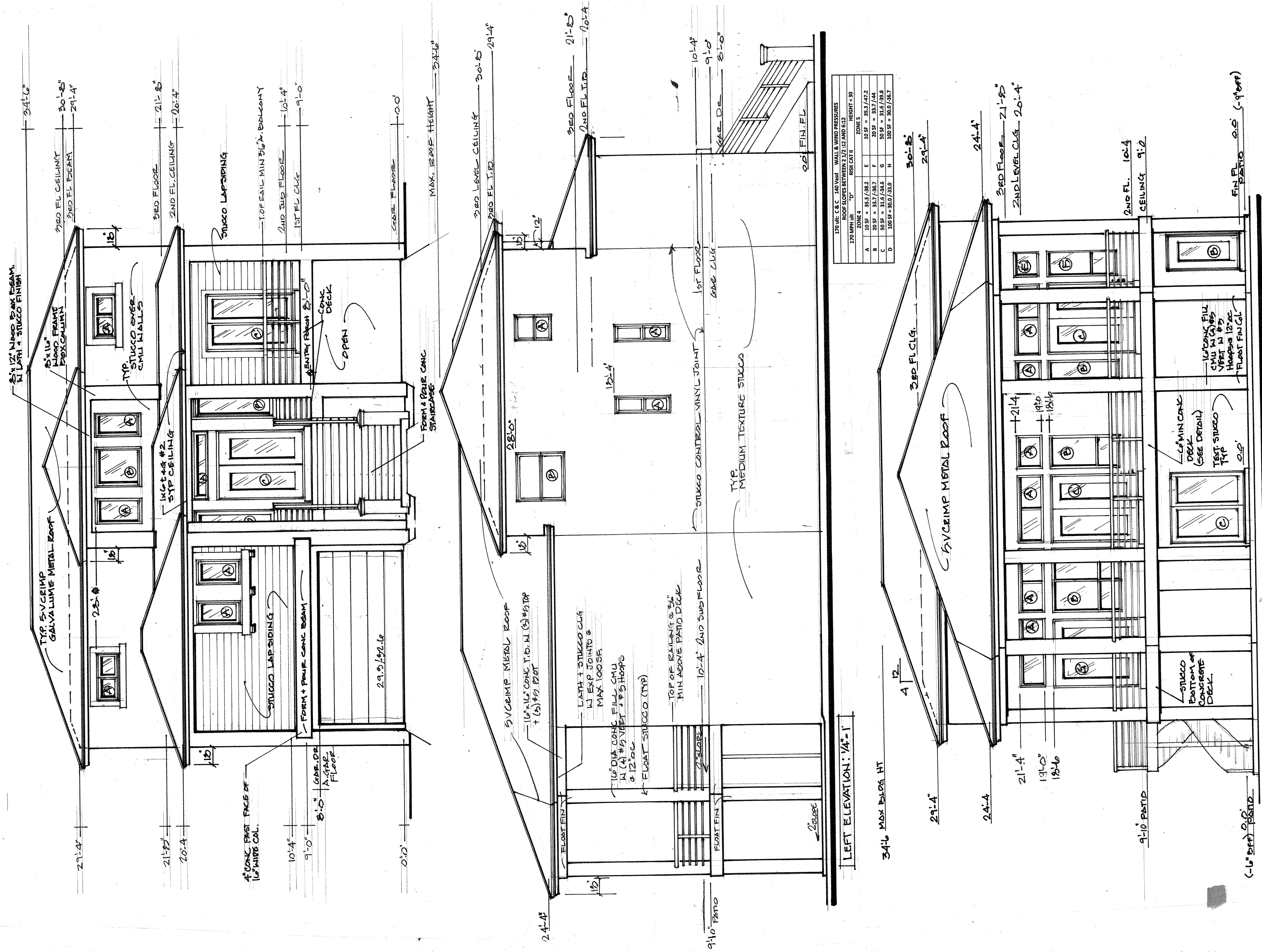
PRODUCT	DESCRIPTION	IMPACT RATED	MFG	SERIES	GLASS	PROD APPROVAL #	DESIGN PRESSURES	FIELD PRESSURES	FASTENERS	
<b>WINDOWS-</b>										
LESS THAN 10 SF	SINGLE HUNG	YES	PGT	SH 700 ALUMINUM	5/16" LAMI	NOA-17-0630.06	80/-80	35.3/-38.2	1/4" TAP CONS. MIN 1 3/4" EMBED INTO SOLID POUR CMU. FILL ALL HOLES.	
10 SF TO 20 SF	SINGLE HUNG	YES	PGT	SH 700 ALUMINUM	5/16" LAMI	NOA-17-0630.06	80/-80	33.7/-36.7	1/4" TAP CONS. MIN 1 3/4" EMBED INTO SOLID POUR CMU. FILL ALL HOLES.	
20 SF TO 50 SF	SINGLE HUNG	YES	PGT	SH 700 ALUMINUM	5/16" LAMI	NOA-17-0630.06	80/-80	31.6/-34.6	1/4" TAP CONS. MIN 1 3/4" EMBED INTO SOLID POUR CMU. FILL ALL HOLES.	
6'-0" x 6'-8" & 6'-0" x 8'-0"	DOOR W 3 1/4" SILL HEIGHT	YES	PGT	SGD 770	LAMINATED GLASS	NOA-17-0420.12	60/-50	31.6/-34.6	2 TRACKS. INSTALL (2) ROWS OF 1/4" TAP CONS. MIN EMBED 1 3/4" INTO SOLID POUR CMU.	
LESS THAN 20 SF	HORIZONTAL ROLLER	YES	PGT	HR-710	5/16" LAMI	NOA-17-0411.06	75/-75	33.7/-36.7	1/4" TAP CONS. MIN 1 3/4" EMBED INTO SOLID POUR CMU. FILL ALL HOLES.	
LESS THAN 20 SF	CASEMENT	YES	PGT	CA-740	5/16" LAMI	NOA-17-0614.14	70/-90	33.7/-36.7	1/4" TAP CONS. MIN 1 3/4" EMBED INTO SOLID POUR CMU. FILL ALL HOLES.	
LESS THAN 20 SF	FIXED GLASS	YES	PGT	FW-720	7/16" LAMINATED GLASS	NOA-17-0614.11	80/-80	33.7/-36.7	1/4" TAP CONS. MIN 1 3/4" EMBED INTO SOLID POUR CMU. FILL ALL HOLES.	
	1" x 2.75"		PGT	PET CLIPPED EXTRUDED ALM	NA	NOA-17-0630.01			MIN (4) - 1/4" TAP CONS PER CLIP W MIN 1 3/4" EMBED INTO SOLID POUR CMU.	
<b>MULLION</b>										
<b>EXTERIOR DOORS</b>										
1ST FLOOR; INTERIOR	2-8 X 6-8	IMPACT	THERMA TRU	SMOOTH STAR	OPAQUE	FL 5891.2	67/-67	33.7/-36.7	On 2 x 6 pt buck. Top & side jamb @ 12 x 2 3/4" wood screws at 14" oc, begin 6" from corners. (SEE DETAIL OF DOOR)	
REAR DOOR-1ST FLOOR	2-8 X 6-8	IMPACT	THERMA TRU	SMOOTH STAR	1 LITE - 1" GLASS	FL 7640.1	50/-50	33.7/-44	On 2 x 6 pt buck. Top & side jamb @ 12 x 2 3/4" wood screws at 14" oc, begin 6" from corners. (SEE DETAIL OF DOOR)	
ENTRY DOOR	6-0 X 8-0	IMPACT	THERMA TRU	SMOOTH STAR	JTE 1" GLA	FL 7630.4	50/-50	31.6/-34.6	On 2 x 6 pt buck. Top & side jamb @ 12 x 2 3/4" wood screws at 14" oc, begin 6" from corners. (SEE DETAIL OF DOOR FASTENERS)	
GREAT ROOM FRENCH DOORS	6'-0" x 8'-0"	IMPACT	THERMA TRU	SMOOTH STAR	1 LITE - GLASS	FL 7630.4	50/-50	31.6/-34.6	On 2 x 6 pt buck. Top & side jamb @ 12 x 2 3/4" wood screws at 14" oc, begin 6" from corners. (SEE DETAIL OF DOOR FASTENERS)	
<b>ROOFING</b>										
S-V CRIMP METAL GALVALUME METAL ROOF			METAL SALES MFG CORP.	26 GA GALVALUME		FL 14645.4			#9-16 or #10-14 Hex Head wood screws w soled washers. At 6" oc at panel ends and 12" oc in field. Min 3/8" penetration into 5/8" CDS sheathing.	
OVERHEAD GARAGE DOOR	14' x 8'	IMPACT	DAB GAR DR	HURRICANE MASTER SERIES	824/811	NA	FL 15371.6	40/-44	26.4/-29.4	ATTACH 2 X 6 PT VERTICLE SIDE JAMBS TO SOLID POUR CMU W 1/2" X 5" WEDGE ANCHORS W 2X2 SO WASHERS AT 24" OC. BEGIN AT 12" FROM ENDS. ANCHOR DR GUIDE RAILS TO 2 X 6 WITH MULTI ROW BOLTS 3/8" X 2 3/4". BEGIN 6" FROM ENDS THEN 10" OC.
BUILDING CODE: 2017 WIND ZONE: "D" ASCE: 2010 WIND SPEED: 170-3 SEC GUSTS; 136 MPH NOMINAL SHEATHING: NO IMPACT RESISTANT: YES PROJECT NAME: DELPAPA RESIDENCE ROOF LOAD: 35 PSF PROJECT ADDRESS: LOT 35 BLOCK 1 THUMBPOINT ROOF DEAD LOAD: 20 PSF ENGINEER OF RECORD: ROOF OVERHANG: 18"0" ROOF PITCH: 4:12 TYPE OF CONSTRUCTION: VB CLASSIFICATION:										

**Terry J. Brisson, llc**  
 DESIGN & DRAFTING SERVICES  
 1705 Popoise Ave  
 Ft. Pierce, Fl. 34949  
 (772) 828-0364 fitrendhomes@gmail.com

*New Residence*  
**MR. ROGER DELPAPA**  
 Lot 35 Block 1 Thumbpoint  
 Fort Pierce, Florida

**FL. TREND HOMES**  
 2106 BELLA VISTA WAY  
 PORT ST. LUCIE, FL 34952  
 (772) 828-0364  
 fitrendhomes@gmail.com  
 CGC 017586

DATE: **Dec 2018**  
 JOB: **18-754**



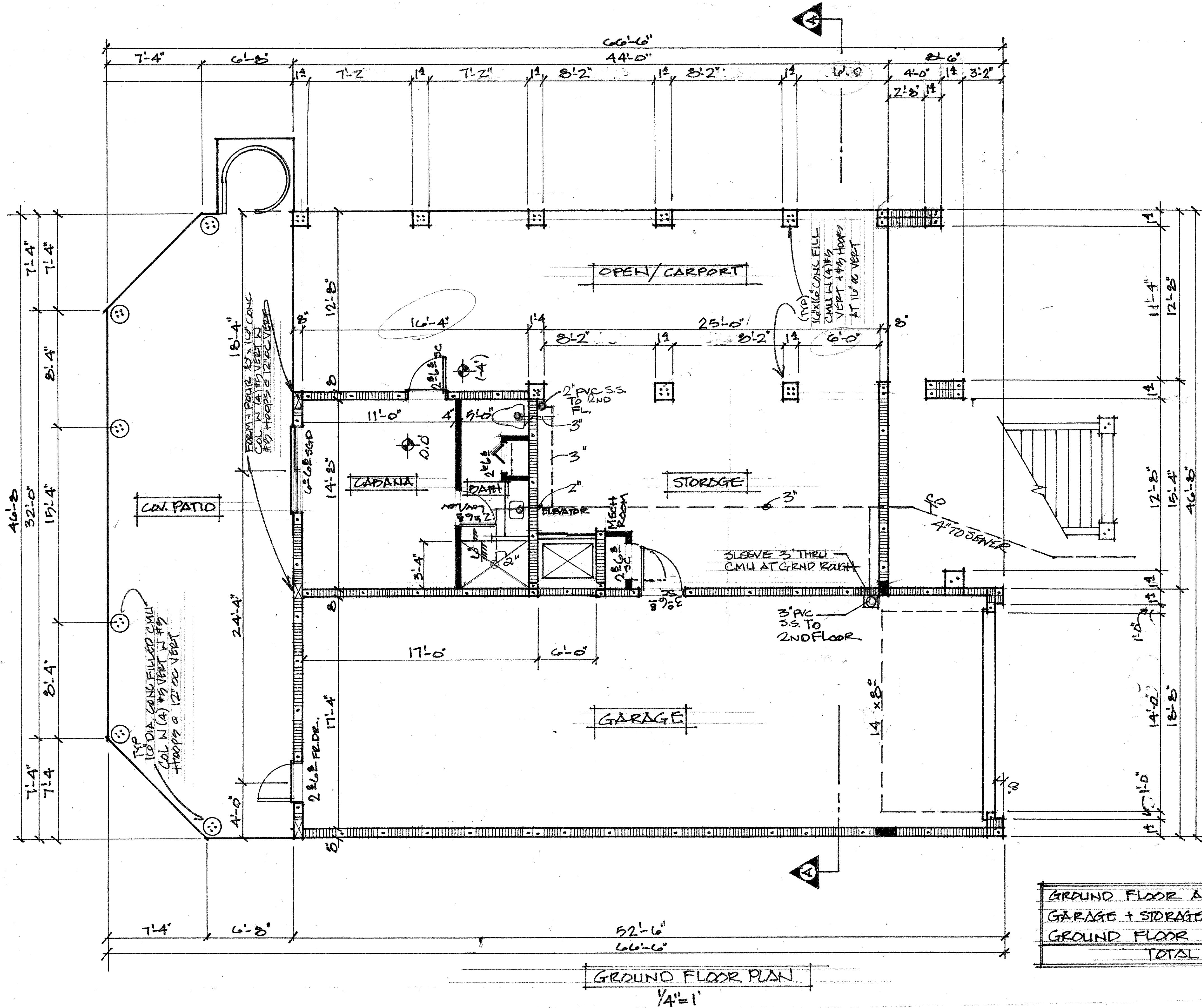
170 UIR: C & C - 340 VIBR. WALL & WIND PRESSURES			
ROOF SLOPES BETWEEN 2:12 AND 8:12 AND BUILDING HEIGHT < 30			
170 MPH WIND RISK CAT. I	10 SF	20 SF	50 SF
A	10 SF = 85.3/47.2	20 SF = 35.7/47.2	50 SF = 31.6/44.4
B	10 SF = 83.7/46.7	20 SF = 34.1/44.4	50 SF = 30.0/39.8
C	10 SF = 81.6/46.6	20 SF = 32.6/44.4	50 SF = 28.5/39.8
D	10 SF = 80.0/46.0	20 SF = 31.0/44.4	50 SF = 27.0/39.8

FL. TREND HOMES  
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 (772) 828-0364  
 fitrendhomes@gmail.com  
 CGC 01.7586

New Residence  
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 Fort Pierce, Florida

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 DESIGN & DRAFTING SERVICES  
 1705 Popoisse Ave  
 Ft. Pierce, Fl. 34949  
 (772) 828-0364 fitrendhomes@gmail.com

DATE: Dec 2018  
 18794



GROUND FLOOR A/C SPACE	240 SF
GARAGE + STORAGE	1,970 SF
GROUND FLOOR PATIO	600 SF
TOTAL GROUND FL	2,810 SF

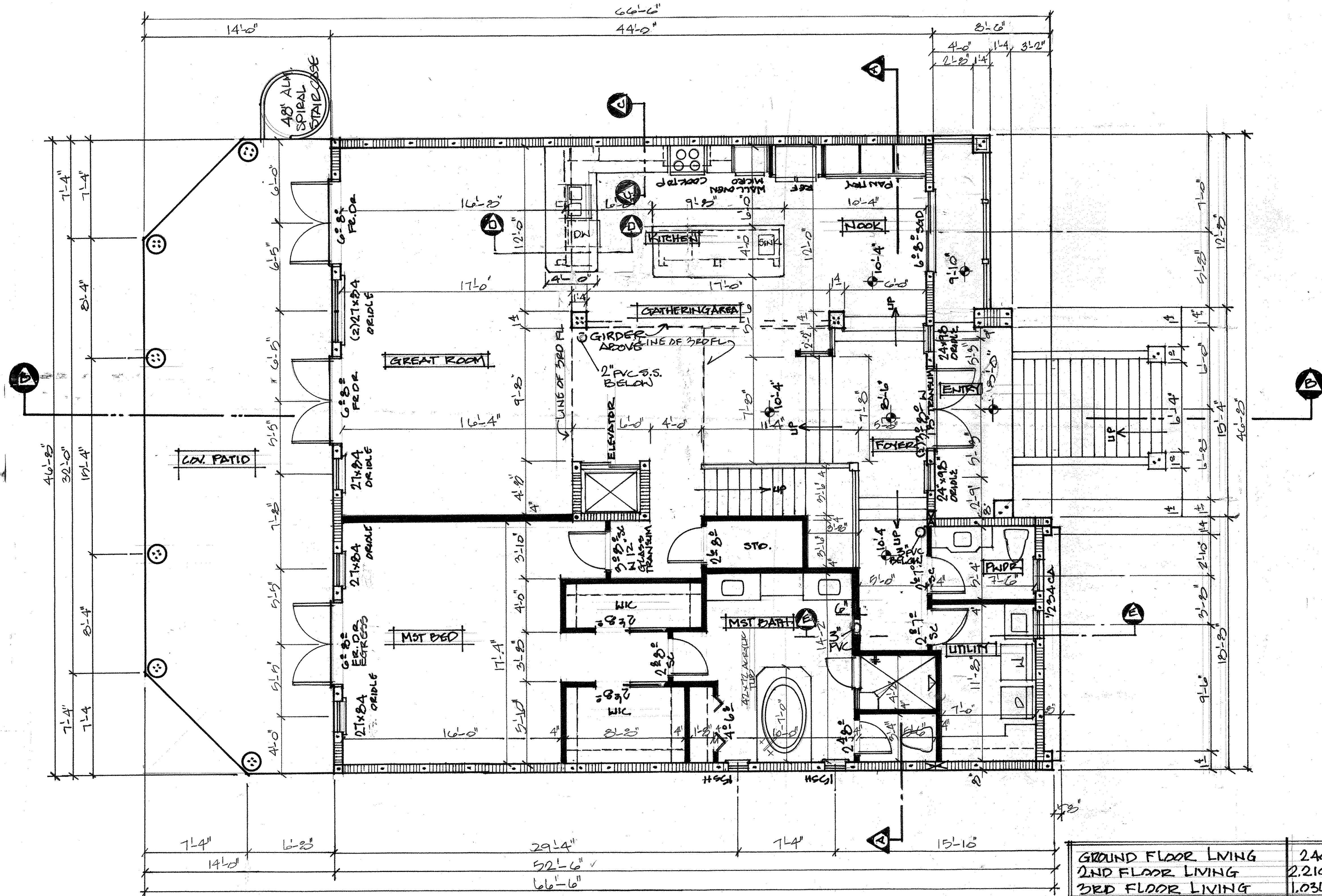
GROUND FLOOR PLAN  
1/4"=1'

FL. TREND HOMES  
2106 BELLA VISTA WAY  
PORT ST. LUCIE, FL. 34952  
(772) 828-0364  
fitrendhomes@gmail.com  
CGC 017586

DATE:  
DEC 2015  
JOB#:  
18-794

New Residence  
**MR. ROGER DELPAPA**  
Lot 35 Block 1 Thumbpoint  
Fort Pierce, Florida

**Terry J. Brisson, llc**  
DESIGN & DRAFTING SERVICES  
1705 Popoisse Ave  
Ft. Pierce, Fl. 34949  
(772) 828-0364 fitrendhomes@gmail.com



2ND FLOOR PLAN:  
1/4" = 1'

GROUND FLOOR LIVING	2405F
2ND FLOOR LIVING	2210SF
3RD FLOOR LIVING	1,036SF
TOTAL A/C SPACE	3,486SF
GARAGE/STORAGE	1,970SF
GROUND FLOOR PATIO	600SF
2ND FLOOR BALCONY	600SF
ENTRY BALCONY	130SF
TOTAL UNDER ROOF	6,786 SF

**Terry J. Brisson, llc**  
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 Ft. Pierce, Fl. 34949  
 (772) 828-0364 fitrendhomes@gmail.com

**New Residence**  
**MR. ROGER DELPAPA**  
 Lot 35 Block 1 Thumbpoint  
 Fort Pierce, Florida

**FL TREND HOMES**  
 2106 BELLA VISTA WAY  
 PORT ST. LUCIE, FL. 34952  
 (772) 828-0364  
 fitrendhomes@gmail.com  
 CGC 0417586

DATE:  
02c 2016  
 JOB#:  
18-79A



THE SUNRISE CITY  
**FORT PIERCE**  
POLICE DEPARTMENT  
"In Honor We Serve"

*Florida*

## Technical Review Committee meeting

April 18th, 2019

Case # 19-04000005

Conditional use with new construction

Delpapa residence, 1655 Thumbpoint Drive, Ft. Pierce

### Comments:

No comments.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



Fort Pierce Utilities Authority  
Water/Wastewater Engineering  
1701 South 37<sup>th</sup> Street  
Fort Pierce, FL 34947  
772.466.1600 x3473

---

## Technical Review Committee meeting

**April 18, 2019**

TECHNICAL REVIEW PROJECT # 19-04000005 (Conditional Use w/ New Construction)

Conditional Use – Delpapa Residence – approx. 1655 Thumb Point Drive

### **Comments**

FPUA W/WW Engineering: Approved

FPUA Electric & Gas Engineering: Approved - Point of service for electric will be at the NW corner of the property



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

[www.fpua.com](http://www.fpua.com)





**TO : Vennis Gilmore, Planning Analyst**

**FROM : John R. Andrews, P.E., City Engineer**

*JRA*

**RE : Delpapa Residence – 1655 Thumb Point Drive  
TRC No. 19-0400005**

RECEIVED

APR 17 2019

**DATE : April 17, 2019**

CITY OF FORT PIERCE  
PLANNING & ZONING

This is to advise you that we have completed the review of the following documents as received by this office on April 5, 2019:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Conditional Use                                       | <input type="checkbox"/> P/D Drawings  |
| <input type="checkbox"/> Test Reports & Related Documents                                 | <input type="checkbox"/> Certificate of Completion                               |
| <input type="checkbox"/> Record Drawings  | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies |  |

Based on our reviews and appropriate site final inspection, we

- |   |   |
|---|---|
| <input type="checkbox"/> Recommend                              | <input type="checkbox"/> Do Not Recommend |
| <input checked="" type="checkbox"/> Approval of Conditional Use | <input type="checkbox"/> Building Permit  |
|   | <input type="checkbox"/> C/O              |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- No comment



**BUILDING DEPARTMENT  
TECHNICAL REVIEW COMMITTEE (TRC)  
COMMENT FORM**

**RECEIVED**

APR 17 2019

**CITY OF FORT PIERCE  
PLANNING & ZONING**

Meeting Date: 4.18.19  
Property Address: 1655 Thumb Pt. Dr.  
Property Name: DelPapa Residence  
Project Name: CU - No New Construction  
Planner: Vennis Gilmore

*Please be advised that the project may trigger the requirements indicated below:*

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 6<sup>th</sup> Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
  - Accessible route
  - Handicapped parking spaces
  - Means of egress
- 7. Change of Use required
  - to include a signed and sealed Life Safety Plan
  - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

**Additional Comments/Requirements:**

Building Official's or Representative's Signature \_\_\_\_\_

Date: \_\_\_\_\_

4/17/19

Information

REQUESTED ACTION

Conditional Use - Robbins Dwelling Rental - 1014 S. 7th Street

LOCATION

1014 S. 7th Street

RESPONSIBLE STAFF

Vennis Gilmore, Planning Analyst

RECOMMENDATION

The proposed use presents the provision of limited transient lodging accommodations to the general public, representing a limited commercial use that is compatible with the surrounding neighborhood of this location, and is generally consistent with the City's Land Development Code and Comprehensive Plan with appropriate restrictions. Therefore, Staff recommends **APPROVAL** with the following five (5) conditions:

1. The property manager for the site shall be available at all times to resolve complaints or violations of city code. Said manager shall reside in St. Lucie County and shall be registered with the City of Fort Pierce.
2. Guide booklets (available from Code Enforcement) shall be provided for all renters regarding local rules and public service resources, to minimize conflicts.
3. The applicant shall file for and obtain St. Lucie County & City of Fort Pierce Business Tax Licenses within thirty (30) days of Conditional Use approval.
4. There shall be a limitation of no more than no two (2) vehicles on the site.
5. The City of Fort Pierce Business Tax License number shall be included on all advertising.

---

Attachments

Staff Report  
Application  
Property Record Card  
Legal Description  
Narrative  
Survey

Aerial Map  
Zoning Map  
Floor Plan  
Rental Agreement  
TRC Comments

---


## **Form Review**


Form Started By: Vennis Gilmore  
Final Approval Date: 05/08/2019

Started On: 05/07/2019 11:37 AM



**TO:** Planning Board

**THROUGH:** Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director 

**FROM:** Vennis Gilmore, Planning Analyst 

**RE:** **Application for Conditional Use**  
**Robbins Dwelling Rental**  
**1014 South 7<sup>th</sup> Street**

**BOARD DATE:** May 14, 2019

**STAFF REPORT**

**Owner/Applicant:** Michael Robbins  
 1014 South 7<sup>th</sup> Street  
 Fort Pierce, FL 34950

**Applicant's Request:** Approval of a Conditional Use to operate a Dwelling Rental, offering lodging for less than six months. The minimum rental period is identified as thirty-one (31) days.

**Location(s):** 1014 South 7<sup>th</sup> Street

**Parcel ID:** 2415-601-0254-000-0

**Current Zoning:** Single-Family Intermediate Density Zone (R-2)

**Future Land Use:** Low Density Residential (RL)

**Surrounding Zoning:**

North	East	South	West
R-2	R-2	R-2	R-2

**Utilities:** FPUA

**Staff Analysis:**

***Request***

In accordance with Sections 22-22 and 22-76 of the City Code, the applicant is requesting the review and approval of a Conditional Use to operate a Dwelling Rental at 1014 South 7<sup>th</sup> Street to offer lodging of less than six months with a minimum stay of thirty-one days to guests. The subject property contains a single-family residence with three bedrooms and two bathrooms. The subject single-family home has a standard residential home driveway, with parking for up to two vehicles.

The property is located at the northeast corner Wendell Road and South 7<sup>th</sup> Street. The subject site is surrounded by single-family homes to the north, west, and south, and to the east. The property is zoned Single-Family Intermediate Density Zone (R-2).

***Dwelling Rentals***

Pursuant to City Code Section 22-3. – Definitions - Generally, the rental of any dwelling unit for less than six months, is classified as a “Dwelling rental (dwelling unit),” and defined as follows: “One or more rooms connected together in a building, constituting a separate, independent housekeeping establishment, other than a motel/hotel, for purposes of rental on a daily, weekly or longer basis.”

The State of Florida provides further classification of a dwelling is rented for periods of less than one month, declaring the use a “Vacation Rental,” and defined such use as any unit that is also a transient public lodging establishment but that is not a timeshare project, which is rented to guests more than three times in a calendar year for periods of less than 31 days or 1 calendar month, whichever is less, or which is advertised or held out to the public as a place regularly rented to guests. A dwelling rental, as locally defined, is also a “Vacation Rental” if the duration of stays are less than thirty-one days. The rental of a dwelling for periods at a minimum of thirty-one days, but less than six months, is a “Dwelling Rental,” but not a “Vacation Rental.”

Table 1, below, presents general characteristics to clarify Dwelling Rentals, and the transitioning threshold for Vacation Rentals.

**Table 1 – Dwelling & Vacation Rental Definitions**

	<b>Dwelling Rental</b>	<b>Vacation Rental</b>
<b><i>Length of Stay</i></b>	Less than 6 months	30 days or less
<b><i>Lodging Type(s)</i></b>	Non-Transient (more than 30 days)	Transient Lodging
<b><i>State License Requirement</i></b>	If rented 30 days or less (Vacation Rental)	Division of Hotels & Restaurants – Vacation Rental License
<b><i>Public lodging establishment (ADA &amp; Misc. Regulations)</i></b>	If rented 30 days or less (Vacation Rental)	Public lodging establishment

---

### **Zoning & Land Use**

The subject site is located within the Single-Family Intermediate Density Zone (R-2) district which is designed mainly for areas of single-family dwellings with an average net density of less than five units per acre for conventional developments.

The Low Density Residential (RL) Future Land Use designation is intended for parcels that are best suited for lower density residential uses. The predominant development typology will consist of single-family detached housing, but can also contain duplexes and multifamily residences. Limited commercial uses intended to serve the neighborhood shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools, and daycare facilities shall also be allowed. This land use category ranges in density from 1 to 6.5 dwelling units per acre. This category combines the previously allowed Residential Suburban (RS), Residential Urban (RU), and Low Density Residential (RI) zoning categories.

### **Parking**

Pursuant to City Code Section 22-60 (d)b, Motels, hotels and resort hotels shall provide 1.6 spaces for each unit 500 square feet or larger. The subject single-family home features a standard single-family home driveway with parking for two vehicles.

### **Conditional Use**

The purpose of the Conditional Use process is to allow, when desirable, uses that would not be appropriate generally or without restriction throughout a particular zoning district, but which, if controlled as to number, area, location, or relation to the neighborhood, would not adversely affect the public health, safety, comfort, good order, appearance, convenience, and the general welfare.

The authorization of a Conditional Use to establish a dwelling rental for periods of less than six months, but greater than thirty-one days, would provide an opportunity for consistency with zoning district and land use designation as the use becomes non-transient, minimizing the commercial nature of the use and potential impacts to the surrounding residential neighborhood. The further limitation of other leading effects of the use may provide greater assimilation of the short-term rental within a single-family district.

### **Technical Review Committee**

All affected departments have reviewed the proposed Conditional Use with regards requirements of the City Code. Findings from the review by corresponding departments and the associated responses by the applicant are provided.

### **Staff Recommendation:**

The proposed use presents the provision of limited transient lodging accommodations to the general public, representing a limited commercial use that is compatible with the surrounding neighborhood of this location, and is generally consistent with the City's Land Development Code and Comprehensive Plan with appropriate restrictions. Therefore, Staff recommends **APPROVAL** with the following five (5) conditions:

- 
- 1) The property manager for the site shall be available at all times to resolve complaints or violations of city code. Said manager shall reside in St. Lucie County and shall be registered with the City of Fort Pierce.
  - 2) Guide booklets (available from Code Enforcement) shall be provided for all renters regarding local rules and public service resources, to minimize conflicts.
  - 3) The applicant shall file for and obtain St. Lucie County & City of Fort Pierce Business Tax Licenses within thirty (30) days of Conditional Use approval.
  - 4) There shall be a limitation of no more than no two (2) vehicles at the site.
  - 5) The City of Fort Pierce Business Tax License number shall be included on all advertising.



MAR 07 2019

Conditional Use - No New Construction CITY OF FORT PIERCE  
PLANNING & ZONING

Property address or Location 1014 South 7th Street Fort Pierce, FL 34950  
 Parcel ID #(s) 2415-601-0254-000-0  
 Project description Rent house min 30 Days

Michael Robbins  
 Property Owner(s)  
1014 South 7th Street  
 Street Address  
Fort Pierce FL 34950  
 City State Zip  
863-514 3979  
 Phone Number  
fishmanrob@hotmail.com  
 Email Address

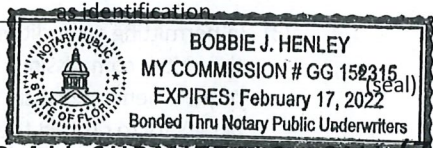
Patch Reep Title  
 Applicant/Representative, Title, Company  
9700 Reserve Boulevard  
 Street Address  
Port St. Lucie FL 34986  
 City State Zip  
772-293-0100 T  
 Phone Number  
www.patchreep.com  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.*

Michael Robbins  
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY Polk  
 The foregoing instrument was acknowledged before me this 14 day of February, 20 19, by  
Michael Robbins who is personally known to me or has produced

Bobbie Henley  
 Signature of Notary

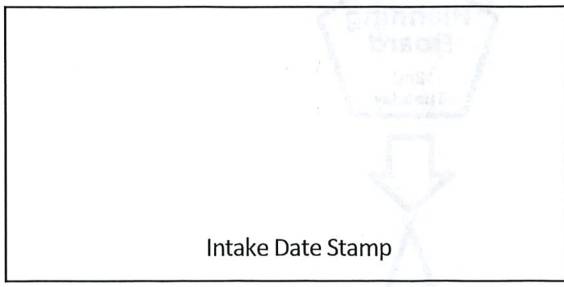


**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved By \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_





# CONDITIONAL USE: NO NEW CONSTRUCTION

Submit one original, seven (7) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- If no site improvements are required:
  - As-built survey
  - Floor plan of existing building(s)
- If parking and drainage improvements are required:
  - As-built survey;
  - Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage;
  - Lighting plan
- Complete, notarized application

### Application Type:

- Conditional Use: No new construction with no site improvements
- Conditional Use: No new construction with parking and drainage improvements

### Site Information:

Building Size \_\_\_\_\_ Parking Spaces: \_\_\_\_\_

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West

The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 22-75, shall be reviewed as a unit in accordance with the requirements of section 22-58 except that:

- (1) The city commission shall hold a public hearing in accordance with the provisions of section 22-143 prior to acting on the application for conditional use.
- (2) In the event the city planning board disapproved the application for conditional use or in case of a protest against said application signed by twenty (20) per cent of the owners within five hundred (500) feet of the area included in said application, such application shall not be approved except by a four-fifths vote by the city commission.
- (3) In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.

### Application Outlook



### Property Identification

Site Address: 1014 S 7th ST  
Parcel ID: 2415-601-0254-000-0  
Account #: 24676  
Map ID: 24/15N  
Use Type: 0100  
Zoning: R2  
City/County: Fort Pierce

### Ownership

Michael D Robbins  
309 S 5th S ST  
Dundee, FL 33838-4313

### Legal Description

PINEWOOD S/D BLK 17 LOT 20 AND NLY 1/2 OF LOT 21 (OR 4102-2715)

### Current Values

Just/Market Value: \$86,800  
Assessed Value: \$86,800  
Exemptions: \$0  
Taxable Value: \$86,800  
Taxes for this parcel: SLC Tax Collector's Office [📄](#)  
Download TRIM for this parcel: [Download PDF](#) [📄](#)



### Total Areas

Finished/Under Air (SF): 1,883  
Gross Sketched Area (SF): 1,923  
Land Size (acres): 0.26  
Land Size (SF): 11,250

### Sale History

Date:	Feb 28, 2018
Book/Page:	4102 / 2715
Sale Code:	0001
Deed:	WD
Grantor:	Camargo Jaime B
Price:	\$123,000
Date:	Sep 9, 2011
Book/Page:	3323 / 2610
Sale Code:	0001
Deed:	WD
Grantor:	Davis John R
Price:	\$51,500
Date:	Jul 13, 2006
Book/Page:	2653 / 2263
Sale Code:	XX01
Deed:	WD
Grantor:	Davis Harold E
Price:	\$100
Date:	Jan 1, 1900

Book/Page:  
 Sale Code:  
 Deed:  
 Grantor:  
 Price: \$0

**Building Information (1 of 1)**

Finished Area: 1,883 SF

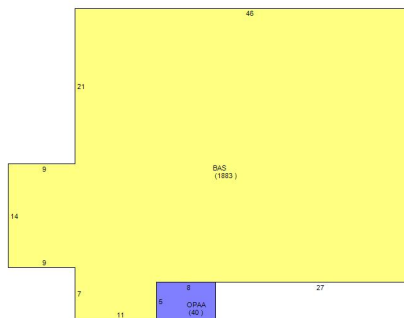
Gross Sketched Area: 1,923 SF

Exterior Data

View:	Roof Cover: Dim Shingle	Roof Structure: Gable
Building Type: HC-	Year Built: 1949	Frame:
Grade: C-	Effective Year: 1978	Primary Wall: CB Stucco
Story Height: 1 Story	No. Units: 1	Secondary Wall:

Interior Data

Bedrooms: 2	Electric: MINIMUM	Primary Int Wall:
Full Baths: 2	Heat Type: FredHotAir	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel: ELEC	Primary Floors: Tile-Ceramic
A/C %: 100%	Heated %: 100%	Sprinkled %: 0%



**Special Features and Yard Items**

Type:	UTILITY AVG
Quantity:	0
Units:	100
Year Built:	1999

**Current Year Values**

Current Values Breakdown


Current Year Exemption Value Breakdown

Building: \$70,100

Land: \$16,700  
 Just/Market: \$86,800  
 Ag Credit: \$0  
 Save Our Homes or 10% Cap: \$0  
 Assessed: \$86,800  
 Exemption(s): \$0  
 Taxable: \$86,800

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	1	Fort Pierce Stormwater Charge	\$54.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Permits

Number: R90000179R  
 Issue Date: Feb 1, 1990  
 Description: Roof  
 Amount: \$2,000  
 Fee: \$2,000

Number: RF20041320  
 Issue Date: Nov 2, 2004  
 Description: Roof  
 Amount: \$6,760  
 Fee: \$0

Number: MC2006106  
 Issue Date: May 16, 2006  
 Description: Air Conditioning Only  
 Amount: \$8,350  
 Fee: \$159

Number: DEM  
 Issue Date: Nov 17, 2006  
 Description: Demolition  
 Amount: \$0  
 Fee: \$130

Number: SH200683  
 Issue Date: Nov 15, 2006  
 Description: Shed  
 Amount: \$1,000  
 Fee: \$50

Number: BP17-0815  
 Issue Date: Mar 23, 2017  
 Description: Fence  
 Amount: \$1,900  
 Fee: \$0

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

---

This information is believed to be correct at this time but it is subject to change and is not warranted.  
© Copyright 2019 Saint Lucie County Property Appraiser. All rights reserved.

**LEGAL DESCRIPTION:**

ALL OF LOT 20 AND THE NORTHERLY HALF OF LOT 21, BLOCK 17, PINWOOD, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE(S) 24, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, THE SAID NORTHERLY HALF OF LOT 21 BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE LINE DIVIDING SAID LOT 20 AND 21 WITH THE EASTERLY HALF OF SOUTH SEVENTH STREET; RUN THENCE SOUTHWESTERLY ALONG SAID EASTERLY LINE OF SOUTH SEVENTH STREET A DISTANCE OF 30 FEET; THENCE RUN SOUTHEASTERLY PARALLEL WITH SAID LINE DIVIDING SAID LOTS 20 AND 21 A DISTANCE OF 125 FEET TO THE REAR LINE OF SAID LOT 21; THENCE RUN NORTHEASTERLY ALONG THE REAR LINE OF SAID LOT 21 AND A DISTANCE OF 30 FEET SAID LOT 20; THENCE RUN NORTHWESTERLY ALONG SAID LINE DIVIDING SAID LOTS 20 AND 21 TO THE POINT OF BEGINNING.

**PROPERTY ADDRESS:**

1014 SOUTH 7TH STREET  
FORT PIERCE, FL 34950

INVOICE NUMBER: 87558-SE

DATE OF FIELD WORK: 02/13/2018

**CERTIFIED TO**

PATCH REEF TITLE COMPANY, INC.  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
CENTERSTATE BANK, NATIONAL ASSOCIATION, ISAOA/ATIMA  
MICHAEL D. ROBBINS

FLOOD ZONE: X

FLOOD MAP: 12111C

PANEL: 0187

SUFFIX: J




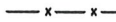
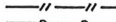
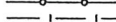


PANEL DATE: 02/16/2012

**GENERAL NOTES:**

1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2. IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM LANDTEC SURVEYING. LANDTEC SURVEYING ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
3. ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
4. GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
5. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
6. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ABOVE.
7. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
8. CORNERS SHOWN AS "SET" ARE IDENTIFIED WITH A CAP MARKED LS (LICENSED SURVEYOR) # 5639.

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS, AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

**LEGEND:**

- |                                |                                |  |
|--------------------------------|--------------------------------|--|
| A - DENOTES ARC LENGTH         | P - DENOTES PLAT               |  BOUNDARY LINE  |
| CA - DENOTES CENTRAL ANGLE     | PK - DENOTES PARKER KALON NAIL |  BUILDING LINE  |
| CATV - DENOTES CABLE T.V. BOX  | PH - DENOTES POOL HEATER       |  CENTERLINE     |
| CH - DENOTES CHORD DISTANCE    | PP - DENOTES POOL PUMP         |  EASEMENT LINE  |
| DE - DENOTES DRAINAGE EASEMENT | R - DENOTES RADIUS             |  METAL FENCE    |
| DN - DENOTES FOUND NAIL        | TR - DENOTES TELEPHONE RISER   |  WOODEN FENCE   |
| L - DENOTES LEGAL              | UE - DENOTES UTILITY EASEMENT  |  PVC FENCE      |
| M - DENOTES MEASURED           | UP - DENOTES UTILITY POLE      |  OVERHEAD CABLE |
| OHC - DENOTES OVERHEAD CABLE   | WM - DENOTES WATER METER       |  |



Digitally signed by Andrew Snyder  
DN: cn=Andrew Snyder,  
o=Landtec Surveying, Inc., ou,  
email=asnyder@landtecsurvey.com,  
m, c=US  
Date: 2018.02.13 17:42:13 -05'00'

SIGNATURE \_\_\_\_\_ DATE: 02/13/2018  
ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION No. 5639 (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)



My mailing address

Michael Robbins

PO BOX 615 Dundee FL 33838

My phone number 863-514-3979

Call anytime

LADY That Takes care of house

Leni Tamayo

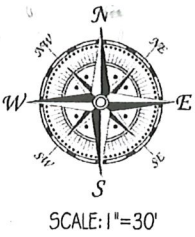
1341 Carlton Ct

Fort Pierce 34949

Phone Number 772-353-7545

I would like to rent 1014 7 ST S

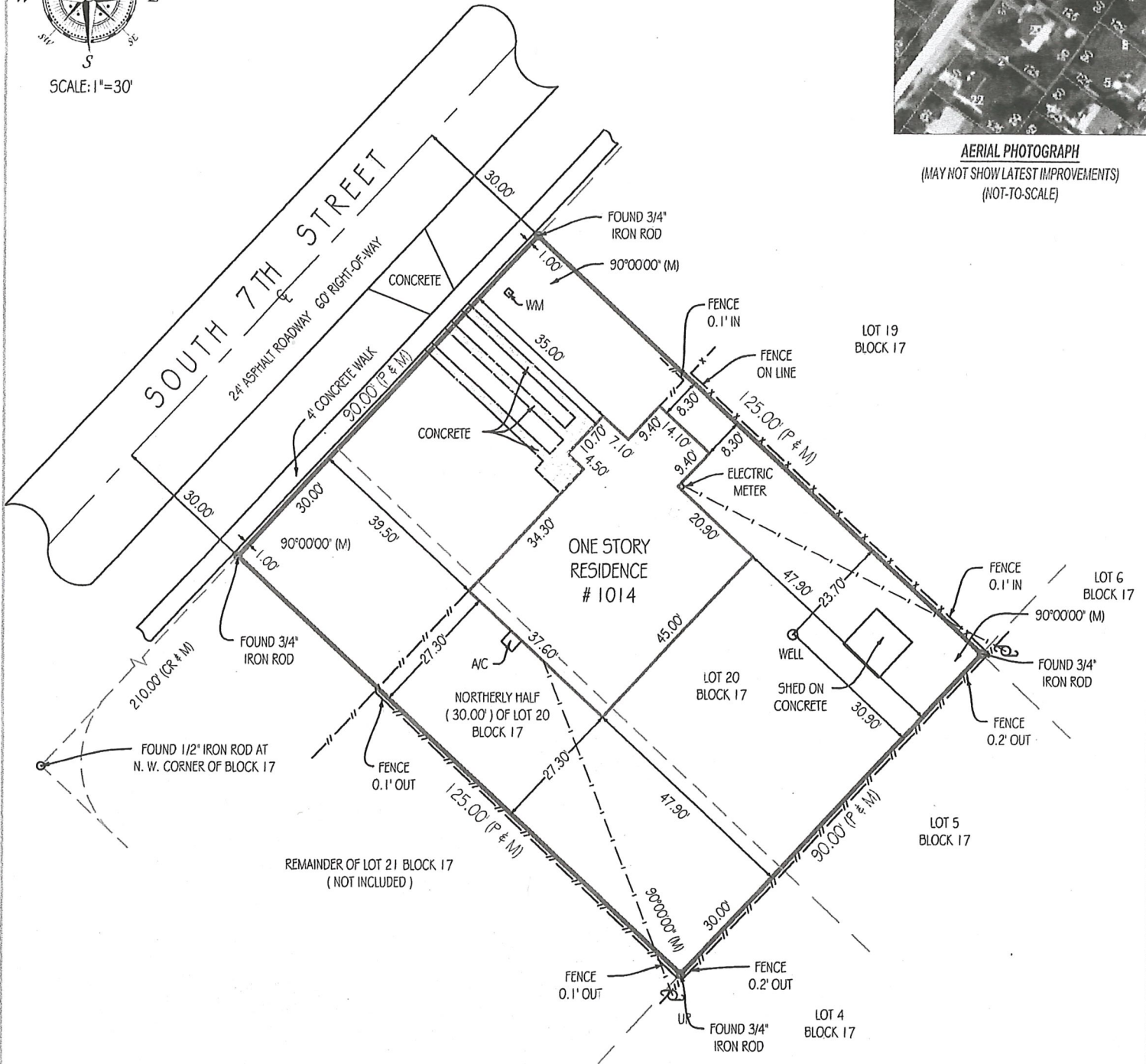
A minimum of ~~seven~~<sup>31</sup> <sup>MR</sup> days to ten years



**BEARING REFERENCE:**  
 NONE. RECORD INFORMATION RELIANT UPON ANGULAR DATA ONLY.  
 ALL ANGULAR DATA SHOWN HEREON REFERENCED THERETO.



**AERIAL PHOTOGRAPH**  
 (MAY NOT SHOW LATEST IMPROVEMENTS)  
 (NOT-TO-SCALE)



*Platted Easements, Notable or Adverse Conditions (unplatted easements also listed if provided by client):*  
 EVIDENCE OF A UTILITY EASEMENT ALONG WESTERLY PROPERTY LINE ( WATER METER )

This survey has been issued by the following Landtec Surveying office:  
 600 Fairway Drive - Ste. 101  
 Deerfield Beach, FL. 33441  
 Office: (561) 367-3587 Fax: (561) 465-3145  
 www.LandtecSurvey.com

PLEASE NOTE:  
 SUBJECT PROPERTY IS SERVICED BY PUBLIC UTILITIES.  
 NO APPROVAL FOR CONSTRUCTION HAS BEEN MADE BY THIS OFFICE.

Job Number : 87558-SE	Rev.:
Drawn By : B. ZAB	Rev.:
Date of Field Work : 02/13/2018	Rev.:

**LANDTEC**  
 SURVEYING  
 Proudly Serving Florida's Land Title & Real Estate Industries  
*... measurably better!*



**Robbins Dwelling Rental**

**1014 S. 7th Street**

**Aerial Map**



THE SUNRISE CITY  
**FORT PIERCE**  
*Florida*



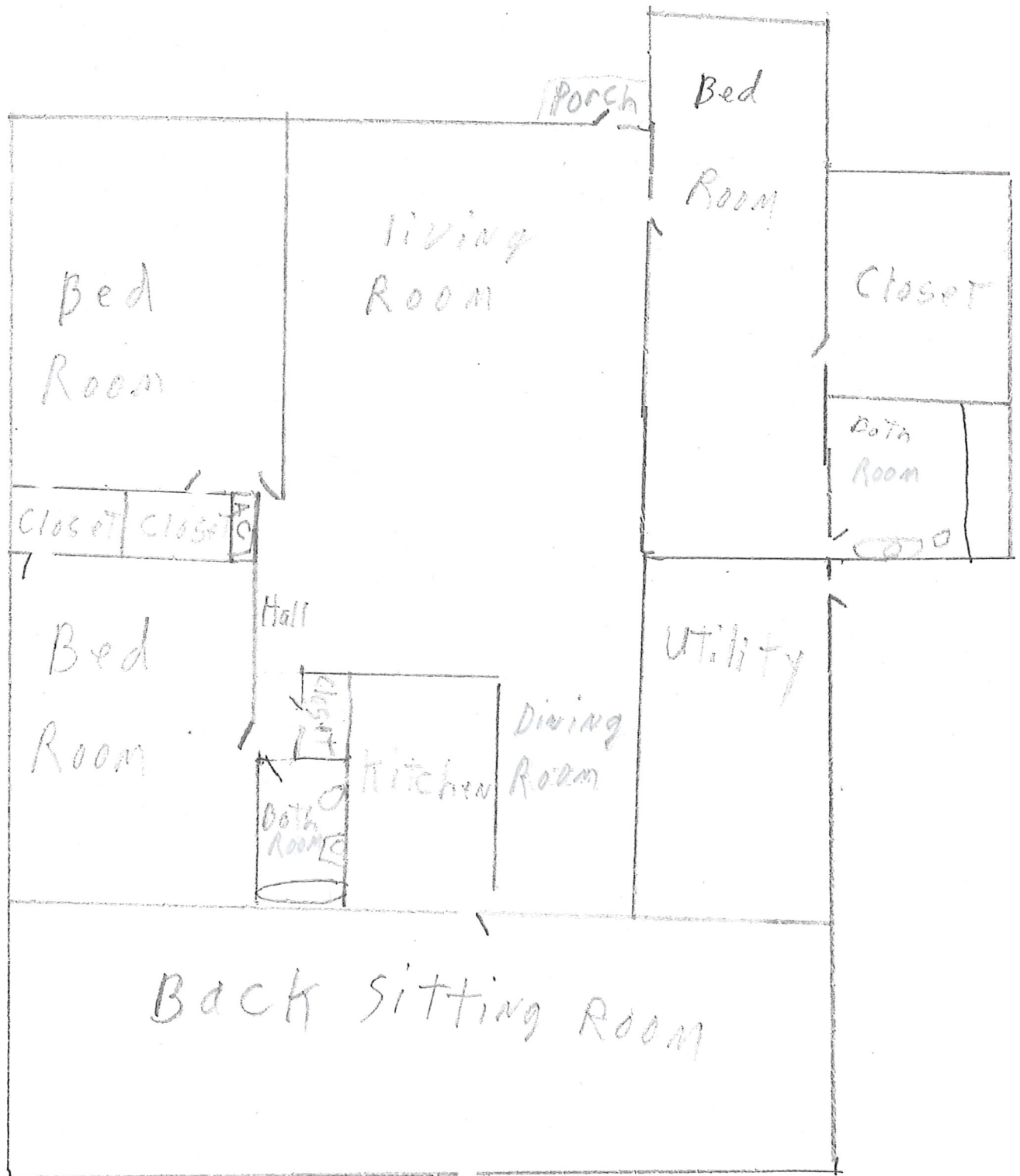
**Robbins Dwelling Rental**  
**1014 S. 7th Street**  
**R-2, Single Family Intermediate**  
**Zoning Map**



THE SUNRISE CITY  
**FORT PIERCE**  
*Florida*

10th 7th St South

FRONT



BACK

## RENTAL AGREEMENT

\_\_\_\_\_, owner as a consideration of the agreements of the tenant hereby rents the dwelling located at \_\_\_\_\_  
For the period beginning the \_\_\_\_\_ day of \_\_\_\_\_ and monthly thereafter until this agreement is terminated.

### TENANT HEREBY AGREES:

1. To pay as rental, the sum of \$ \_\_\_\_\_ per month, payable in advance from the first day of every month. This amount may be adjusted to compensate for the inflation or additional costs.
2. To pay a late charge of 10% of the rent amount each time rent is not received by 4:00 P.M. on the due date regardless of the cause, including dishonored checks. All returned checks will be subject to the cost and \$50.00. In the event a collection agency becomes necessary to collect any amounts due on this agreement, tenant agrees to pay said commission plus attorney fees.
3. To use property as \_\_\_\_\_ only.
4. **TENANT TO PAY ALL ATTORNEY AND COURT COSTS INCURRED BY THE OWNER IN ENFORCING THIS AGREEMENT.**
5. Tenant agrees not to assign or sublet any part of this property.
6. Owner may enter the property at any time to inspect, repair, show the property for sale or rent, or to insure compliance with this agreement.
7. This agreement may be terminated at any time by the owner giving fifteen days written notice to the renter. Owner may change any provisions of this agreement in a like manner.
8. Failure to pay rent by the due date at the address of \_\_\_\_\_ or any other violation of the provisions of this agreement shall result, at the option of the owner, in the termination of this agreement without notice. In the event, owner may enter the property, take possession and exclude tenants therefrom. Any personal property of the tenant may be removed and stored at the expense of the tenant.
9. Tenant agrees to pay for any damage caused by negligence on their part. This refers to the following. This is not all inclusive.
  - screens pushed out by children,
  - nail or screw holes in the walls or woodwork,
  - broken windows,
  - all maintenance on property & structure,
  - grass cut,
  - maintain parking area,
  - light bulbs,
  - air conditioning filter must be kept clean,
10. There are to be **NO PETS of any kind** on said property inside or outside the residence.
11. Landlord shall have the lien granted by law upon all furniture and other property of the tenant for the payment of their rent and any property damage.
12. Owner shall not be liable for any loss of property by fire or any other reason. Tenant agrees to carry insurance on their possessions and to make no claim on the landlord for any reason.
13. Tenant agrees to be responsible for the payment of all utilities including the removal of garbage and rubbish.
14. Tenant agrees to pay a charge of cost plus \$ 50.00 should it ever become necessary to deliver a notice to pay the rent or eviction notice.
15. Release of all deposits will be subject to the following conditions; however, landlord shall have the right to recover any excess cost for cleaning or damage above the deposit.
  - At least one <sup>MONTH</sup> of rental time has elapsed

- The entire dwelling is clean. This includes everything. There is not damage to the property other than normal wear and tear.
  - There are no unpaid charges including late charges and unpaid rent outstanding. All keys must also be returned.
  - All debris, rubbish and garbage are removed from the property and a forwarding address is left with the owner.
16. Tenant agrees to be responsible for lawn maintenance or pay a charge of \$50.00 plus cost for cutting the lawn.
  17. Tenant agrees to be responsible for pest control or pay a charge.
  18. Tenant agrees that any changes to the structure or the property must be approved by the owner prior to initiating changes. Any structure changes to building or property will become permanent fixture to the building or property, shall not be removed if tenant vacates property, and said change shall become property of the owner. If Tenant requests changes it must be in writing and is approved by the owner. Tenant is financially responsible for all costs of requested changes and will not be reimbursed by owner.
  19. No storage of any kind on the property.
  20. To use property as a living quarters only for \_\_\_\_\_ adults and \_\_\_\_\_ children.

CLAUSE FOR VISTORS:

There will be an additional cost for visitors after **two** days, \$100.00 per person per week. The first day there is a **pet of any kind**, in the residence; there will be a \$500.00 deposit plus \$500.00 per month pet fee. Yard dog; there will be a \$200.00 deposit plus \$100.00 per month pet fee.

*2/ no Loud noise after 9:00 PM*

\_\_\_\_\_  
 Tenant Signature                      Co-Tenant Signature              Co-Tenant Signature

\_\_\_\_\_  
 Tenant Printed Name                      Co-Tenant Printed Name              Co-Tenant Printed Name

Signed by the above parties this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
 Owners Signature

Accepted by Owner this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.



THE SUNRISE CITY  
**FORT PIERCE**  
ENGINEERING  
DEPARTMENT

*Florida*

**TO : Vennis Gilmore, Planning Analyst**

**FROM : John R. Andrews, P.E., City Engineer**

**RE : Robbins Dwelling Conditional Use – 1014 South 7<sup>th</sup> Street  
TRC No. 19-0400004**

**DATE : April 17, 2019**

This is to advise you that we have completed the review of the following documents as received by this office on April 5, 2019:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Conditional Use                                       | <input type="checkbox"/> P/D Drawings  |
| <input type="checkbox"/> Test Reports & Related Documents                                 | <input type="checkbox"/> Certificate of Completion                               |
| <input type="checkbox"/> Record Drawings  | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies |  |

Based on our reviews and appropriate site final inspection, we

- |   |   |                              |
|---|---|------------------------------|
| <input type="checkbox"/> Recommend                              | <input type="checkbox"/> Do Not Recommend |                              |
| <input checked="" type="checkbox"/> Approval of Conditional Use | <input type="checkbox"/> Building Permit  | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- No comment



THE SUNRISE CITY  
**FORT PIERCE**  
POLICE DEPARTMENT  
"In Honor We Serve"

*Florida*

## Technical Review Committee meeting

April 18th, 2019

Case # 19-04000004

Conditional use with no new construction

Robbins residence 1014 South 7<sup>th</sup> Street, Ft Pierce

### Comments:

No comments.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



Fort Pierce Utilities Authority  
Water/Wastewater Engineering  
1701 South 37<sup>th</sup> Street  
Fort Pierce, FL 34947  
772.466.1600 x3473

---

## Technical Review Committee meeting

**April 18, 2019**

TECHNICAL REVIEW PROJECT # 19-04000004 (Conditional Use w/ No New Construction)

Conditional Use – Robbins Dwelling Rental – 1014 South 7th Street

### **Comments**

FPUA W/WW Engineering: Approved, no comment

FPUA Electric & Gas Engineering: No comment



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

[www.fpu.com](http://www.fpu.com)





Michael Robbins  
1014 South 7<sup>th</sup> Street  
Fort Pierce, FL. 34950  
Re: **Conditional Use – Robbins Dwelling Rental – 1014 South 7<sup>th</sup> Street**

Dear Mr. Robbins,

The following are comments from the Planning Department's review of the application for a Conditional Use with No New Construction in the R-2, Single-Family Intermediate Density Residential Zone (**Please Provide a Written Response and any revisions to all responsible Departments by April 29th to be placed on the May 14th Planning Board Agenda**):

- 1) The maximum occupancy of the home ensures compliance with City Code Section 8.5-43. - Required space in dwelling units, based upon the size of each unit;**
- 2) Registration of the property manager accessible at all times, to resolve complaints or violations of City Code;**
- 3) Issuance of guide booklets (available from Code Enforcement) for renters regarding local rules and public service resources to minimize conflicts; and**
- 4) The applicant files for and obtains St. Lucie County & City of Fort Pierce Business Tax Licenses within thirty-one (31) days of Conditional Use approval.**
- 5) Limit no more than 2 vehicles.**
- 6) Include the City of Fort Pierce Business Tax property control number on all advertising.**

If deemed necessary, please provide a written response to each comment in order to expedite the review of any subsequent submittals. Please contact me should you have any questions regarding the project at (772) 467-3741 or by e-mail: [vgilmore@city-ftpierce.com](mailto:vgilmore@city-ftpierce.com).

Sincerely,

Vennis Gilmore  
Planning Analyst



THE SUNRISE CITY  
**FORT PIERCE**  
CODE ENFORCEMENT

*Florida*

**TO** : Vennis Gilmore, Planning Analyst

**FROM** : Peggy Arraiz, Code Compliance Manager

**SUBJECT** : TRC # 19-0400004 – Robbins Vacation Rental

**DATE** : April 9, 2019

Code Enforcement has the following comments:

1. It is recommended that Mr. Robbins consider including the following information in his rental application packet:
  - a. The packet should clearly identify who will be responsible for enforcement of the conditions imposed by the Conditional Use and who will be able to respond to any complaints or issues within a reasonable time.
  - b. Compliance with all local ordinances, including items like proper garbage can placement and noise violations.
  - c. Advise if pets are permitted and if so, compliance with our local pet ordinances.
  - d. The number of people permitted to stay at one time.
  - e. The number of vehicles permitted and where they are required to be parked.
2. The owner is advised that short term rentals of 31 days to 6 months are required to have a SLC tourism tax, a Florida Sales Tax account as well as a City of Fort Pierce Business Tax Receipt.
3. All ads on AirBNB must be removed until approval to conduct short term rentals is approved. Rentals may not be conducted without approval and without a business tax receipt. Violations of this requirement may result in a hearing before the Special Magistrate, a fine and possible suspension of all utilities to the property.



**BUILDING DEPARTMENT  
TECHNICAL REVIEW COMMITTEE (TRC)  
COMMENT FORM**

RECEIVED

APR 17 2019

CITY OF FORT PIERCE  
PLANNING & ZONING

Meeting Date: 4.18.19  
Property Address: 1014 S. 7<sup>th</sup> St.  
Property Name: Robbins Dwelling Unit  
Project Name: CU - No New Construction  
Planner: Vennis Gilmore

*Please be advised that the project may trigger the requirements indicated below:*

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 6<sup>th</sup> Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
  - Accessible route
  - Handicapped parking spaces
  - Means of egress
- 7. Change of Use required
  - to include a signed and sealed Life Safety Plan
  - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

**Additional Comments/Requirements:**

Building Official's or Representative's Signature

Date:

4/17/19

**Planning Board**

**6.i.**

Meeting Date: 05/14/2019

---

Information

REQUESTED ACTION

Development Review & Design Review - Wawa Fueling Station - 2101 S. US Highway 1

LOCATION

2101 S. US Hwy 1 (Fronting US 1 Between PNC Bank and Payless Shoes)

RESPONSIBLE STAFF

Brandon C. Creagan, LEED Green Associate, Planner

RECOMMENDATION

Approval with Conditions:

1. Before a Certificate of Occupancy is issued, a landscape bond shall be provided for all proposed landscaping pursuant to City Code 22-180.
  2. A revised Landscape Plan shall be submitted with the Building Permit which addresses the sixteen (16) trees that will be substituted with other types of vegetation.
- 

Attachments

Staff Report

Application & Supporting Documents

Aerial Map

Zoning Map

Future Land Use Map

TRC Comments

TRC Comment Response from Applicant

---

**Form Review**

Form Started By: Brandon Creagan

Started On: 05/07/2019 12:06 PM

Final Approval Date: 05/08/2019



**TO:** Planning Board

**THROUGH:** Rebeca Guerra, AICP, LEED-AP, CPD, Interim Planning Director *RG*

**FROM:** Brandon Creagan, LEED Green Associate, Planner *BCC*

**SUBJECT:** **Application for Site Plan and Design Review**  
**Wawa Fueling Station**  
**2101 South US Highway 1**

**BOARD DATE:** May 14, 2019

**STAFF REPORT**

**Owner:** Morris/Satnick Fort Pierce Associates, LLC  
350 Veterans Boulevard  
Rutherford, NJ 07070

**Representative:** R.J. Kennedy, P.E. (Engineering Design, & Construction, Inc.)  
10250 SW Village Parkway, Suite 201  
Port St. Lucie, FL 34987

**Applicant's Request:** Approval to Construct a 5,943 Square Foot Fueling Station

**Location:** 2101 S. US Highway 1

**Parcel ID:** 2415-342-0001-000-8

**Current Zoning:** General Commercial Zone (C-3)

**Future Land Use:** General Commercial (GC)

**Surrounding Zoning:**

North	East	South	West
C-3	C-3	C-3	C-3

**Site Size:** 1.61 Acres – Proposed Lease Area

**Utilities:** FPUA

## **Staff Analysis: Request**

In accordance with Sections 22-22, 22-31, 22-58, 22-59, and 22-73 of the City Code, the applicant is requesting the review and approval of a Site Plan and Design Review to construct a 5,943 square foot Fueling Station located at 2101 South US Highway 1. The site is in front of the former K-Mart and will be adjacent to US 1 between PNC Bank and Payless Shoes. There are no plans to create an outparcel for this development by the owners of the Plaza. The fueling station would represent the first phase of the redevelopment of this plaza. The proposed 5,943 square foot development will occupy space that is currently used for parking. The development, a Wawa fueling station, will be located within a leased area of the overall site.

## **Design Review**

The City's Design Review guidelines provide approaches to design situations that will contribute to the existing and developing character of the City. The intent of the City's design review process is not to stifle innovative architecture, but rather to assure respect for and reduce incompatible and adverse impacts on the visual experience throughout the City. This may be accomplished through respectful interpretation of vernacular building typologies and styles in proposed development. Proposed designs should take cues from traditional proportioning systems and be synonymous with a chosen style.

The fueling station's design presentation is intended to reflect the language and style associated with modern Florida vernacular architecture typified by clapboard siding, a pitched roof element, pastel colors, and front awnings. The design integrates a variety of landscaping to blend the fuel islands, store, and parking areas with the surrounding commercial corridor. The fuel island is presented with trademark "winged" gas canopy, sloping towards the right-of-way to expose the colored metal roof design. This fueling station will have the same design and look as the fueling station on 5575 Okeechobee Road.

## **Site & Landscaping Plan**

The proposed building is 5,943 square feet in size with sixteen fueling positions. There are thirty parking spaces that are required and the applicant is providing forty six parking spaces. Two handicap parking spaces are required and the applicant is providing three handicap spaces within the forty six parking spaces that they are providing. They will also be providing bicycle parking in accordance with City Code 22-60(f)(1)(a). The Lighting Plan provided with the plans is consistent with City Code Section 22-60(j)(1)(a), which stipulates that commercial projects shall have site lights that is a minimum average of two footcandles. The site plan does provide for pedestrian cross access from the sidewalk on US Highway 1 to the front door of the building.

The Landscape Plan provides for twenty four trees, but the plan denotes that per City Code 22-187, forty trees are required to be planted onsite. Notwithstanding the above, the site is currently a parking lot with no vegetation and the addition of trees and shrubs will benefit the overall property. However, the Landscape Plan still must account for the sixteen trees that would be required to make up the total of forty trees. As there is no room on site to add additional trees, the Planning Department has worked with the applicant to find a solution to replace the sixteen missing trees with other types of vegetation.

## **Traffic**

The traffic impact statement provided by the applicant has determined that there will be an increase of 1,144 new additional daily trips that will be generated by the proposed project. Of these trips, 92 PM peak hour trips and 96 AM peak hour trips will be dispersed onto the surrounding roadway network. The presented increase in daily trips has been stated to have no impact on the levels of service (LOS) within the project radius of the impact area.

## **Technical Review Committee**

All affected City Departments have reviewed the proposed Applications for Development Review & Design Review and have provided conditional approval based on compliance with requirements of City Code. The comments generated from the technical review, and any responses by the applicant, are provided for review.

## **Staff Recommendation**

The requested Applications for Development Review & Design Review meet the requirements of the City Code and are found to be consistent with the City's Comprehensive Plan. Therefore, Staff recommends **APPROVAL** of the requests with the following two (2) conditions.

1. Before a Certificate of Occupancy is issued, provide a landscape bond for all proposed landscaping pursuant to City Code 22-180.
2. A revised Landscape Plan shall be submitted with the Building Permit which addresses the sixteen (16) trees that will be substituted with other types of vegetation.



**DEVELOPMENT REVIEW**

Property address or Location 2111 S US HIGHWAY 1  
 Parcel ID #(s) 2415-342-0001-000-8  
 Project description Request for site plan approval for a proposed 5,943 sf Wawa Gas Station and Convenience Store with associated improvements.

Morris/Satnick Fort Pierce Associates, LLC  
**Property Owner(s)**  
 350 Veterans Blvd.  
 Street Address  
 Rutherford NJ 07070  
 City State Zip  
 (561) 865-9500  
 Phone Number  
 peter@peterfeldman.com  
 Email Address

R.J. Kennedy, P.E. / Authorized Agent / EDC, Inc.  
**Applicant/Representative, Title, Company**  
 10250 SW Village Parkway, Suite 201  
 Street Address  
 Port St. Lucie FL 34987  
 City State Zip  
 772-462-2455  
 Phone Number  
 rodkenedy@edc-inc.com / patriciasesta@edc-inc.com  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

*Peter Feldman* Sec. Vice-President

Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY Palm Beach  
 The foregoing instrument was acknowledged before me this 26<sup>th</sup> day of February, 2019, by  
PETER FELDMAN who is personally known to me or has produced  
FL DL HF435-6379-44-46350 exp. 12/23/19 as identification.

*[Signature]*

Signature of Notary



Amit Patel  
 Commission # GG094587  
 Expires: April 16, 2021  
 Bonded thru Aaron Notary

**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved By \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_

Intake Date Stamp



# DEVELOPMENT REVIEW

### General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input checked="" type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

Site Information:

Existing 80,836      N/A  
 Non-Residential: Proposed Sq. Ft.: Add. Proposed: 5,943 sf      Residential: Proposed Units: \_\_\_\_\_

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
Commercial	ROW / Commercial	Commercial	Commercial

### Application Outlook



### Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- ✓ Complete notarized application
- ✓ Warranty Deed
- ✓ SLC Property Record Card
- ✓ Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- ✓ General location map (see Section 22-58.d.2)
- ✓ Survey (see Section 22-58.d.3)
- ✓ Site Plan (see Section 22-58.d.4)
- ✓ Landscaping Plan (see Section 22-187)
- ✓ Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report Not applicable. Proposing redevelopment of existing site.
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- ✓ Lighting Plan (see Section 22-58.d.8)
- ✓ Design Review submittals (see Design Review application)
- Traffic Impact Report Not applicable. Proposing redevelopment of existing site.
- ✓ Concurrency Review submittals (see Concurrency Review application)



## Design Review

Property address or Location 2111 S US Highway 1  
 Parcel ID #(s) 2415-342-0001-000-8  
 Project Description Site Plan approval for a proposed 5,943 SF Wawa Gas Station and Convenience Store with associated improvements.

Morris/Satnick Fort Pierce, Associates, LLC  
 Property Owner(s)  
 350 Veterans Blvd.  
 Street Address  
 Rutherford NJ 07070  
 City State Zip  
 561-865-9500  
 Phone Number  
 peter@peterfeldman.com  
 Email Address

R.J. Kennedy, P.E. / Engineering Design & Construction, Inc.  
 Applicant/Representative, Title, Company  
 10250 SW Village Parkway, Suite 201  
 Street Address  
 Port St. Lucie FL 34987  
 City State Zip  
 772-462-2455  
 Phone Number  
 rodkenedy@edc-inc.com / patriciasesta@edc-inc.com  
 Email Address

**Property Owner(s) Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purpose of seeking approval for the application described herein.

*Peter Feldman Sec. Vice - President*

Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY PALM BEACH  
 The foregoing instrument was acknowledged before me this 26<sup>th</sup> day of February, 2019, by  
PETER FELDMAN who is personally known to me or has produced

FL DC # FL 125-679-44-463-00 exp. 12/31/19 as identification.

*Amit Patel*

Signature of Notary



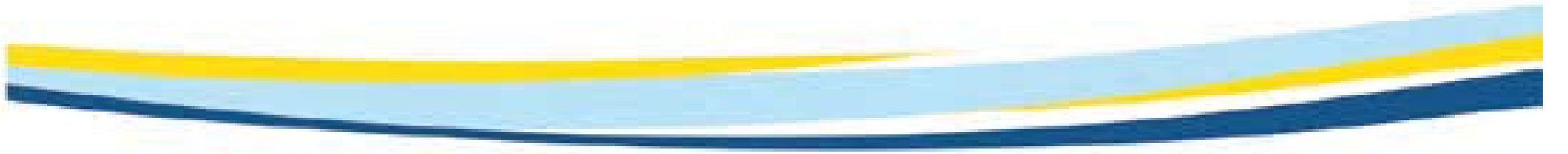
Amit Patel  
 Commission # GG094587  
 Expires: April 16, 2021  
 Bonded thru Aaron Notary

### TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_

Intake Date Stamp



## CAPACITY ANALYSIS

### I. Site Data:

	Existing Use	Future Land Use	Zoning
<b>North</b>	Commercial	General Commercial	General Commercial (C3)
<b>South</b>	Commercial	General Commercial	General Commercial (C3)
<b>East</b>	ROW / Commercial	General Commercial	General Commercial (C3)
<b>West</b>	Commercial	General Commercial	General Commercial (C3)

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
<b>Current</b>	General Commercial	C3	242,281 sf	9.27	
<b>**Proposed</b>	General Commercial	C3	242,281 sf	9.27	N/A

### II. Public Facilities Information:

<b>A. Potable Water:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 30,285 gpd
**Proposed Zoning/FLU	Total gallons per day 30,285 gpd
**Change in Demand	Total gallons per day *** No change ***

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 242,228 gpd
**Proposed Zoning/FLU	Total gallons per day 242,228 gpd
**Change in Demand	Total gallons per day ** No Change **

<b>C. Parks and Recreation (Residential Classifications Only):</b> Not Applicable - Commercial (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Not applicable - Commercial Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name		
City		
Distance		
Current Zoning/FLU Enrollment Demand		
**Proposed Zoning/FLU Enrollment Demand		
**Change in Demand		

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	242,281 sf Maxium Buildout x 0.05 = 12,114 cy
**Proposed Zoning/FLU	242,281 sf Maxium Buildout x 0.05 = 12,114 cy
*Change in Demand	** No Change **

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

<b>Impact</b>	The proposed project will be constructed within the footprint of an existing parking lot and will result in a net decrease of impervious surface. As such, stormwater discharge to existing facilities is anticipated to decrease.
---------------	--

**III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)**

<b>G. Transportation Analysis: Complete ITE Trip Generation Data Form</b>		
Most recent ITE Code for use; HCM Roadway Capacity		
	<b>AADT</b>	<b>AM/PM Peak Hour Trips</b>
<b>Demand Analysis</b>	Maximum	Maximum
<b>Current Zoning/FLU</b>	0	0
<b>**Proposed Zoning/FLU</b>	4,975	AM 416 / PM 401
<b>*Change in Demand</b>	Trips 1,144 (23% new)	Trips AM 96 / PM 92 (23% new)
<b>Impact to Capacity</b>	Mostly pass-by trips, ITE / FDOT State average assumes 77% (23% new). Sufficient level of service on roads.	

**IV. Project Description**

<b>PHASING</b>	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units: <i>N/A</i> Single Family: <i>N/A</i> Multifamily: <i>N/A</i>	
Non-residential (square footage): 80,836 existing, additional 5,943 sf proposed	
Mixed-use (describe use): <i>N/A</i>	
(If this is a single phase project, name it Phase I – Total)	

<b>RESIDENTIAL DATA</b>					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached	<i>N/A</i>				
Single-family, attached	<i>N/A</i>				
Multi-family	<i>N/A</i>				
Other (specify)	<i>N/A</i>				

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
Existing Vacant Commercial Building	I	80,836	9.27	Existing	Existing
Proposed Commercial Building (Wawa)	I	5,943 sf	9.27	September 2019	September 2020

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No
- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
If yes, what is the size of the structure(s) to be demolished or re-used? N/A
2. What is the current use of the structure to be demolished or re-used? N/A
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)
- C. Exemptions Requested: N/A

\*\* Complete section if requesting a change in zoning, future land use, or expanding

## David Baggett

---

**From:** Venetia Barnes <vbarnes@cityoffortpierce.com>  
**Sent:** Monday, April 29, 2019 4:43 PM  
**To:** David Baggett  
**Cc:** Rod Kennedy; Tracy Telle; Brandon Creagan; Kori Benton; Kearney, Scott; Peter Feldman  
**Subject:** RE: Wawa @ Gateway Plaza

David,

Thanks again for the information and clarifications. In follow-up of our phone call just now, I reviewed the information and debriefed with the City Engineer. We are going to recommend to Brandon that the project move forward at this time. Comment 1 can be addressed when submitting for building permit. A formal written notification will be issued tomorrow afternoon; the City Engineer is in meetings until then.

Please let me know if you need anything further.

Regards,  
Venetia

---

### Venetia Barnes | Stormwater Engineer Manager | City of Fort Pierce

Engineering Department  
Phone: 772.467.3783 Fax: 772.460.6847 100 North U.S. 1 Fort Pierce

[Website](#) | [Facebook](#) | [Survey](#)



---

**From:** Venetia Barnes  
**Sent:** Monday, April 29, 2019 9:15 AM  
**To:** 'David Baggett' <davidbaggett@edc-inc.com>  
**Cc:** Rod Kennedy <rodkenedy@edc-inc.com>; Tracy Telle <ttelle@city-ftpierce.com>; Brandon Creagan <bcreagan@city-ftpierce.com>; Kori Benton <bentonk@stlucieco.org>; Kearney, Scott <Scott.Kearney@wawa.com>; Peter Feldman <peter@peterfeldman.com>  
**Subject:** RE: Wawa @ Gateway Plaza

David,

Thanks for the information. I will review today.

Regards,  
Venetia

---

### Venetia Barnes | Stormwater Engineer Manager | City of Fort Pierce

Engineering Department  
Phone: 772.467.3783 Fax: 772.460.6847 100 North U.S. 1 Fort Pierce



---

**From:** David Baggett <[davidbaggett@edc-inc.com](mailto:davidbaggett@edc-inc.com)>  
**Sent:** Friday, April 26, 2019 5:30 PM  
**To:** Venetia Barnes <[vbarnes@cityoffortpierce.com](mailto:vbarnes@cityoffortpierce.com)>  
**Cc:** Rod Kennedy <[rodkenedy@edc-inc.com](mailto:rodkenedy@edc-inc.com)>; Tracy Telle <[ttelle@city-ftpierce.com](mailto:ttelle@city-ftpierce.com)>; Brandon Creagan <[bcreagan@city-ftpierce.com](mailto:bcreagan@city-ftpierce.com)>; Kori Benton <[bentonk@stlucieco.org](mailto:bentonk@stlucieco.org)>; Kearney, Scott <[Scott.Kearney@wawa.com](mailto:Scott.Kearney@wawa.com)>; Peter Feldman <[peter@peterfeldman.com](mailto:peter@peterfeldman.com)>  
**Subject:** RE: Wawa @ Gateway Plaza

[EXTERNAL EMAIL] Please report any suspicious attachments, links, or requests for sensitive information to IT immediately.

Venetia, per your request please see attached the updated site plan and capacity analysis for land use code 960 generation rates. I have updated using the SF based rates, however 960 can also be calc'd based on number of fueling stations. I have provided both rates attached but the site plan and capacity analysis reflect the greater amount of trips (SF based) for purposes of our coordination. If you'd prefer use to use the fueling stations I can revised.

Based on the revised calcs we are still below 100 new peak hr trips. I have also attached the most recent Level of Service report for US-1 and Virginia from Fall 2018. The 100 new trips per hour would not be anticipated to cause a substantial impact to the current volumes during the AM or PM peak when compared to the peak service capacity volumes.

Thank you for all of your assistance and look forward to catching up on Monday.

**David C. Baggett, P.E.**  
**Project Manager | Engineering Division**



**ENGINEERS** ♻️ **SURVEYORS** ♻️ **ENVIRONMENTAL**

10250 SW Village Parkway - Suite 201

Port Saint Lucie, Florida 34987

O: 772.462.2455

[DavidBaggett@EDC-Inc.com](mailto:DavidBaggett@EDC-Inc.com) | [www.EDC-Inc.com](http://www.EDC-Inc.com)

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---

**From:** David Baggett  
**Sent:** Friday, April 26, 2019 12:51 PM  
**To:** Venetia Barnes <[vbarnes@cityoffortpierce.com](mailto:vbarnes@cityoffortpierce.com)>  
**Cc:** Rod Kennedy <[rodkenedy@edc-inc.com](mailto:rodkenedy@edc-inc.com)>; Tracy Telle <[ttelle@city-ftpierce.com](mailto:ttelle@city-ftpierce.com)>; Brandon Creagan

# Super Convenience Market/Gas Station (960)

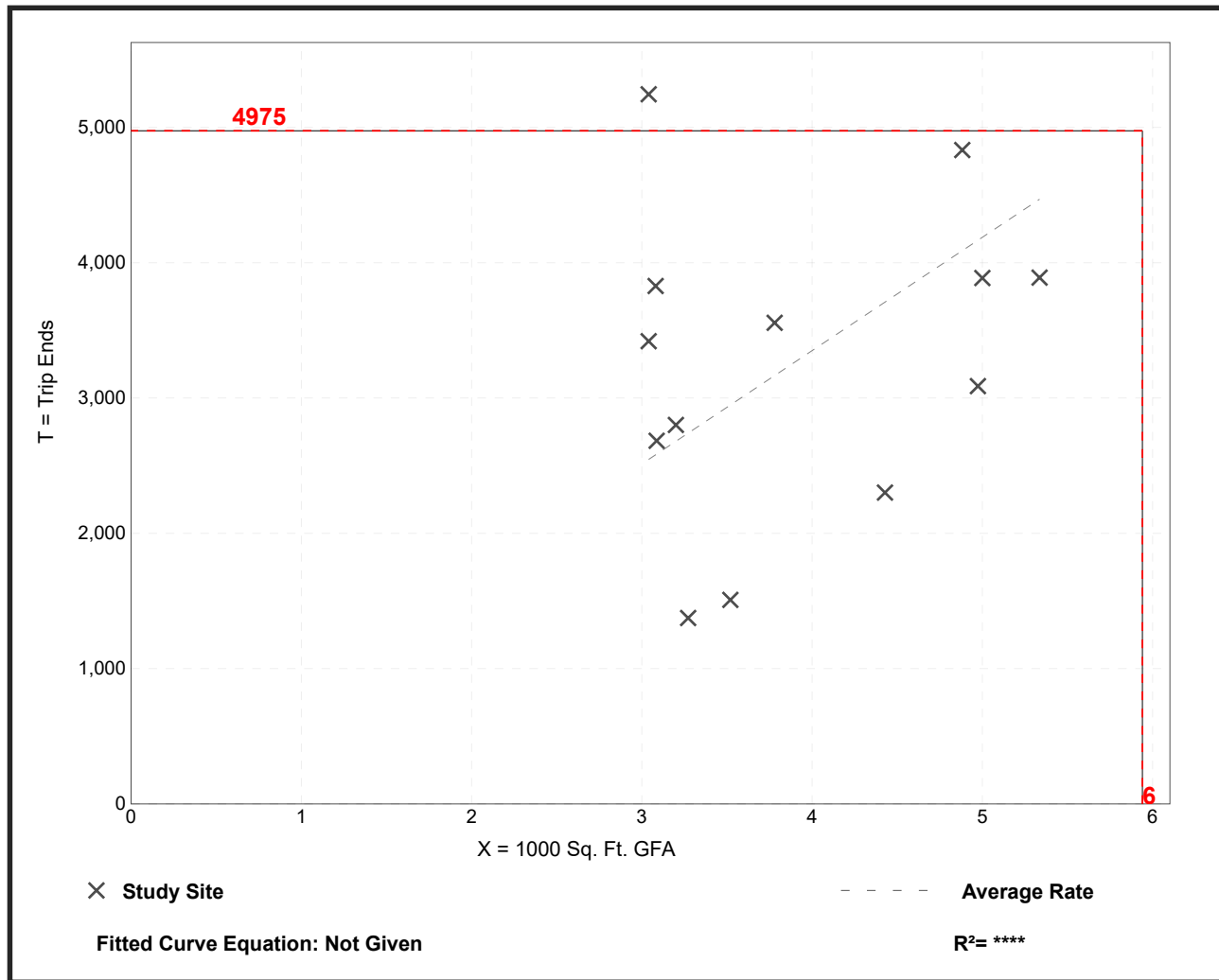
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 13  
Avg. 1000 Sq. Ft. GFA: 4  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
837.58	419.93 - 1725.33	334.67

## Data Plot and Equation



*Trip Generation Manual, 10th Edition* • Institute of Transportation Engineers

# Super Convenience Market/Gas Station (960)

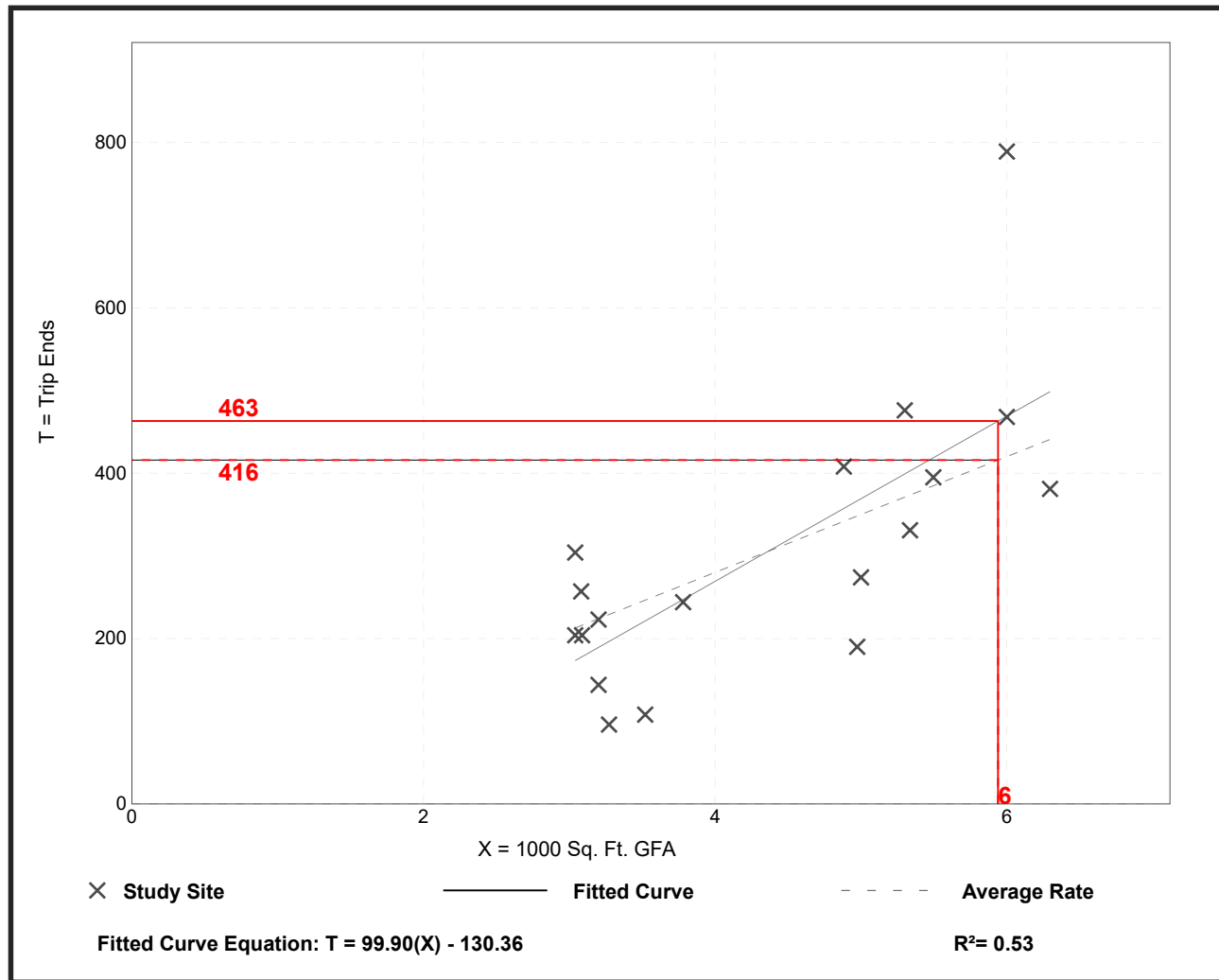
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**AM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 18  
 Avg. 1000 Sq. Ft. GFA: 4  
 Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
70.01	29.34 - 131.50	25.84

## Data Plot and Equation



*Trip Generation Manual, 10th Edition* • Institute of Transportation Engineers

# Super Convenience Market/Gas Station (960)

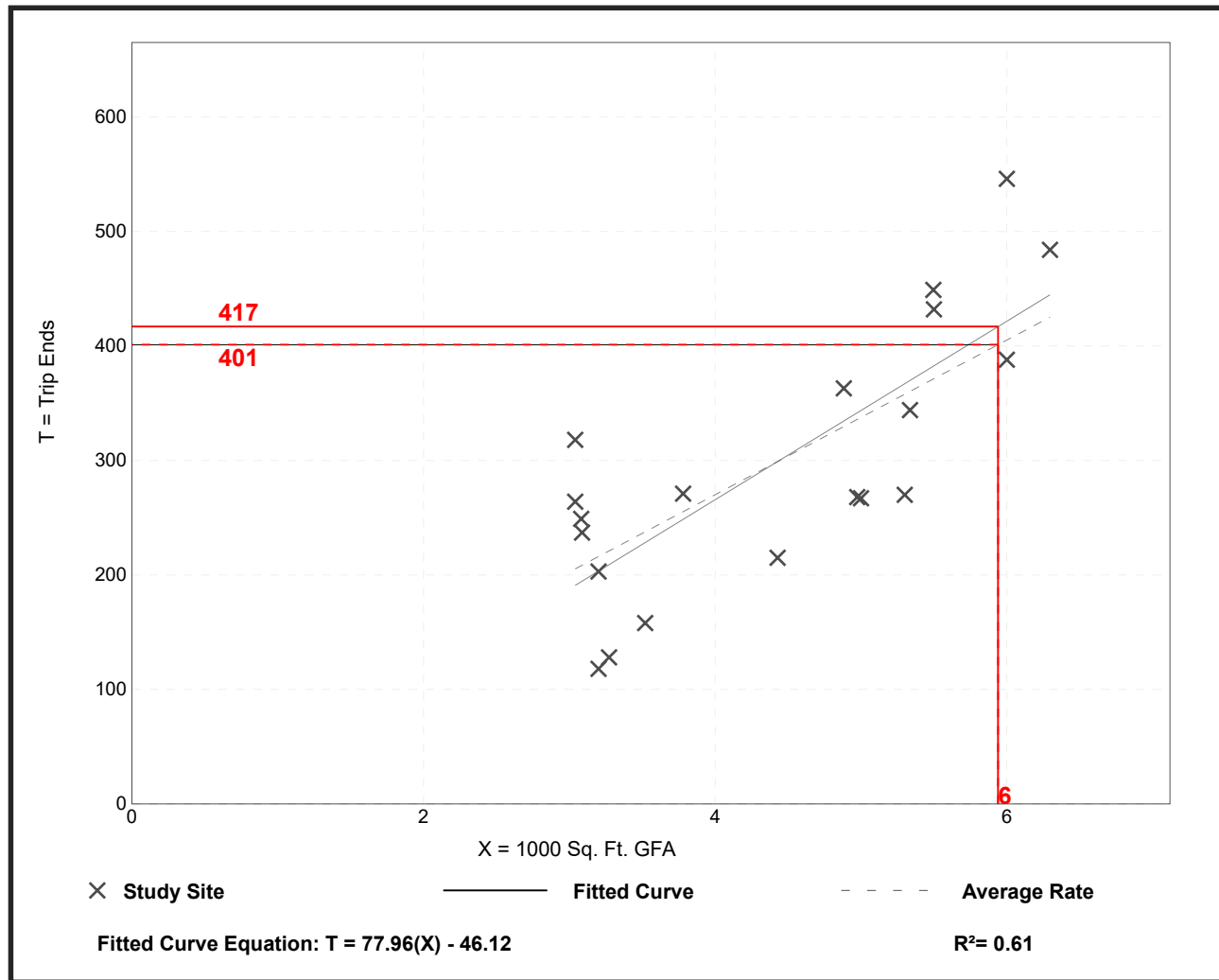
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**PM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 20  
 Avg. 1000 Sq. Ft. GFA: 4  
 Directional Distribution: 50% entering, 50% exiting

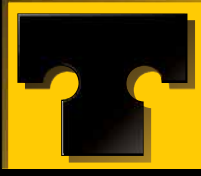
## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
67.53	36.88 - 104.61	17.12

## Data Plot and Equation



*Trip Generation Manual, 10th Edition* • Institute of Transportation Engineers

  
**THOMAS**  
SIGN & AWNING CO INC  
4590 118TH Avenue North  
Clearwater, Florida 33762  
800-526-3325



**Wawa**

**Wawa #5387 • U.S. 1 & Virginia Ave**

**Ft. Pierce, FL 34950**

**D. N. 78541 • PID: 83176 • February 18, 2019**



Jurisdiction: Ft. Pierce  
Zone: C3

**Location:**

Wawa #5387

U.S. 1 & Virginia Ave  
Ft. Pierce FL 34950

Code and information sheet

**Wall signage:**

**Sign code:**

1 wall sign located on main street wall face of building NTE 20% of the total wall face area fronting the main street  
Up to 50% of permitted sign area can be located on other wall faces.  
PERMITTED SIGN AREA: 22'4" X 107'1" = 2391.52 X 20% - 478.30 SF for all wall signs  
50% for all other elevations = 239.15 SF sign area  
1 rear wall entrance sign per tenant NTE 6 SF in area  
Calculate SF within 1 single continuous perimeter using squares, rectangles or other geometric figures enclosing the extreme limits of all elements.  
18" maximum projection from the wall

**Proposed signage:**

44" Channel letters w/goose logo Front (East) Elevation  
31" Channel letters w/goose logo Right (North) Elevation  
35" Channel letters w/goose logo Left (South) Elevation  
35" Channel letters w/goose logo Rear (West) Elevation

**Free Standing signage**

**Sign code:**

1 street frontage sign per lot w/60' or more of street frontage;  
NTE 1 SF for each 1 LF of main street lot frontage to a Maximum of 200 SF  
Structures on outparcel w/a single tenant having 60' of frontage or more shall be permitted a Separate ground sign subject to the restrictions above.  
County only 1 side of sign for total SF  
Calculate entire area within and enclosed by exterior perimeter of all cabinets in a single continuous geometric figure including decorative embellishments and border or roof treatments.  
Max height: 10' for sites less than 3 acres. Code does not stipulate how to calculate height.  
Setback: 5' from any public ROW line from leading edge of the sign (pad)  
Visibility Triangle: 10' for intersection of ROW and driveway edge  
Count only 1 side of the sign for sign area

**Proposed signage:**

1 Custom M50 Monument Sign @ 10' OAH

**Canopy signage**

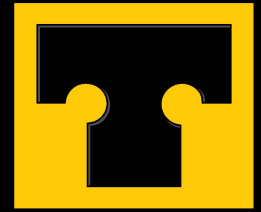
**Sign code:**

Code does not specify regarding gas canopies. Using available wall sign area from building.

**Proposed signage:**

1 Gas Canopy sign  
2 gas canopy spanners with copy  
16 Gas Pump Indicators





**THOMAS**

SIGN & AWNING CO INC

4590 118TH Avenue North  
Clearwater, Florida 33762

800-526-3325

www.thomassign.com

CLIENT

WAWA #5387

Design Number:  
78541

Installation Address:  
U.S. 1 & Virginia Ave  
Ft. Pierce, FL  
34950

Project Identity Number:  
83176

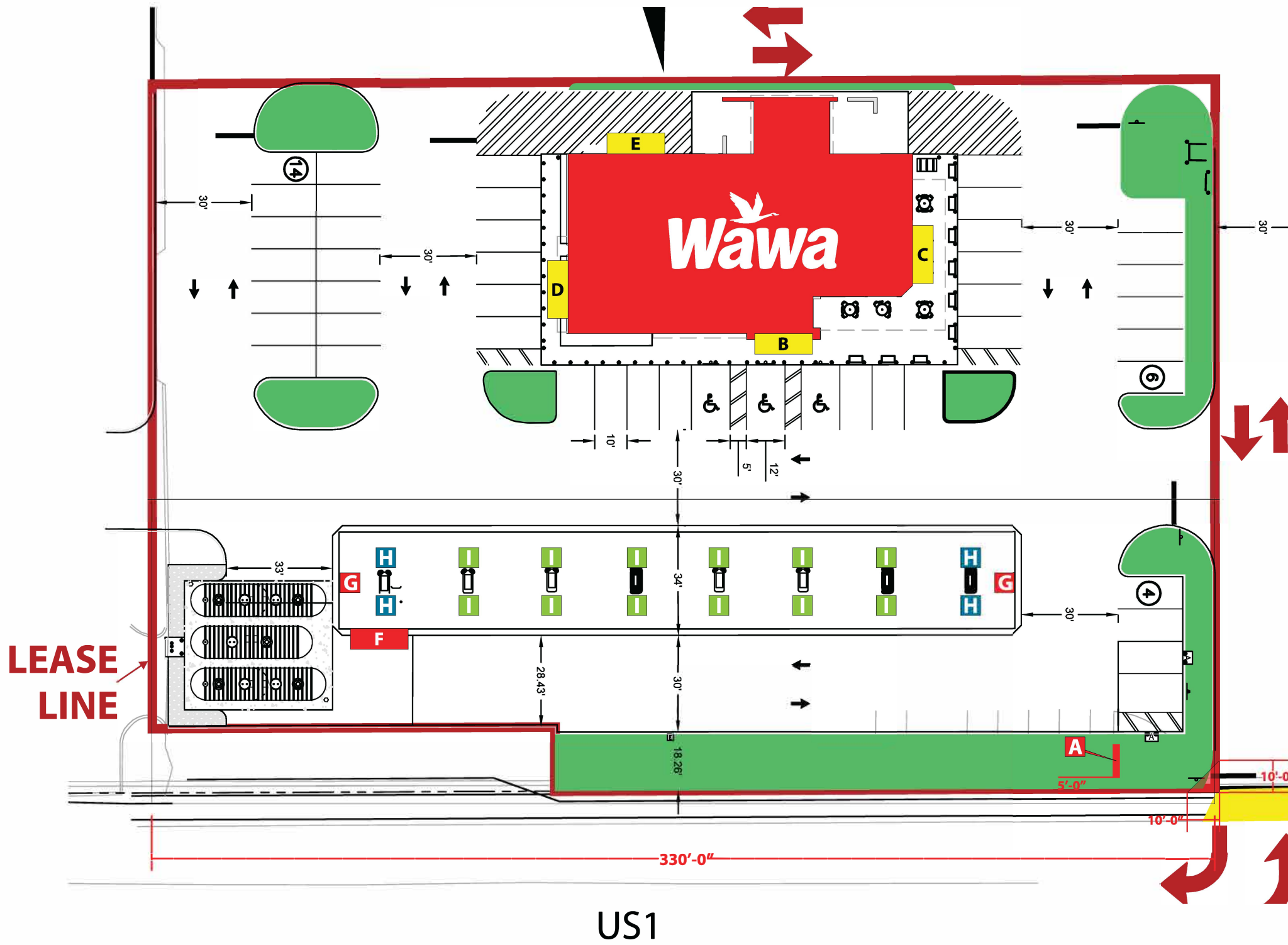
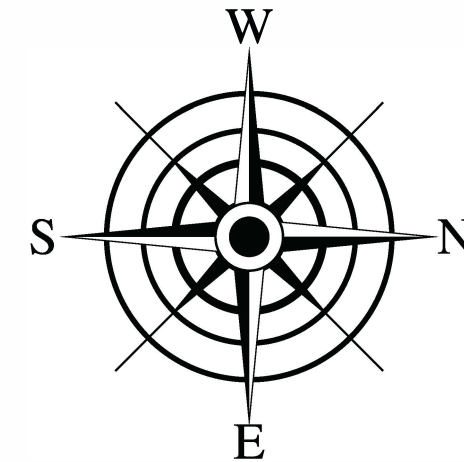
Sales Associate: Project Team:

TSA BB

Designer: Date:

MBV 02.18.19

Project Updates:  
X



LEGEND	
A)	CUSTOM M50 MONUMENT @ 10' OAH 65.91 SF
B)	44" CHANNEL LETTERS AND GOOSE LOGO (51.32 SF) FRONT (EAST) ELEVATION
C)	31" CHANNEL LETTERS AND GOOSE LOGO (25.87SF) RIGHT (NORTH) ELEVATION
D)	35" CHANNEL LETTERS AND GOOSE LOGO (33.13SF) LEFT (SOUTH) ELEVATION
E)	35" CHANNEL LETTERS AND GOOSE LOGO (33.13SF) REAR (WEST) ELEVATION
F)	GAS CANOPY SIGN (9.06 SF)
G)	CANOPY SPANNERS QTY: 2 (6.04 SF)
H)	PUMP INDICATORS 3+1+1 QTY: 4
I)	PUMP INDICATORS 3+1 QTY:12

Site Plan with signage location

SCALE: 1" = 450"



3M<sup>TM</sup> MCS<sup>TM</sup> Warranty

Approval:

Approved

DATE:

Approved as noted

DATE:

Revise & Re-Submit

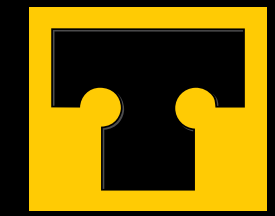
DATE:

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Page Sheet

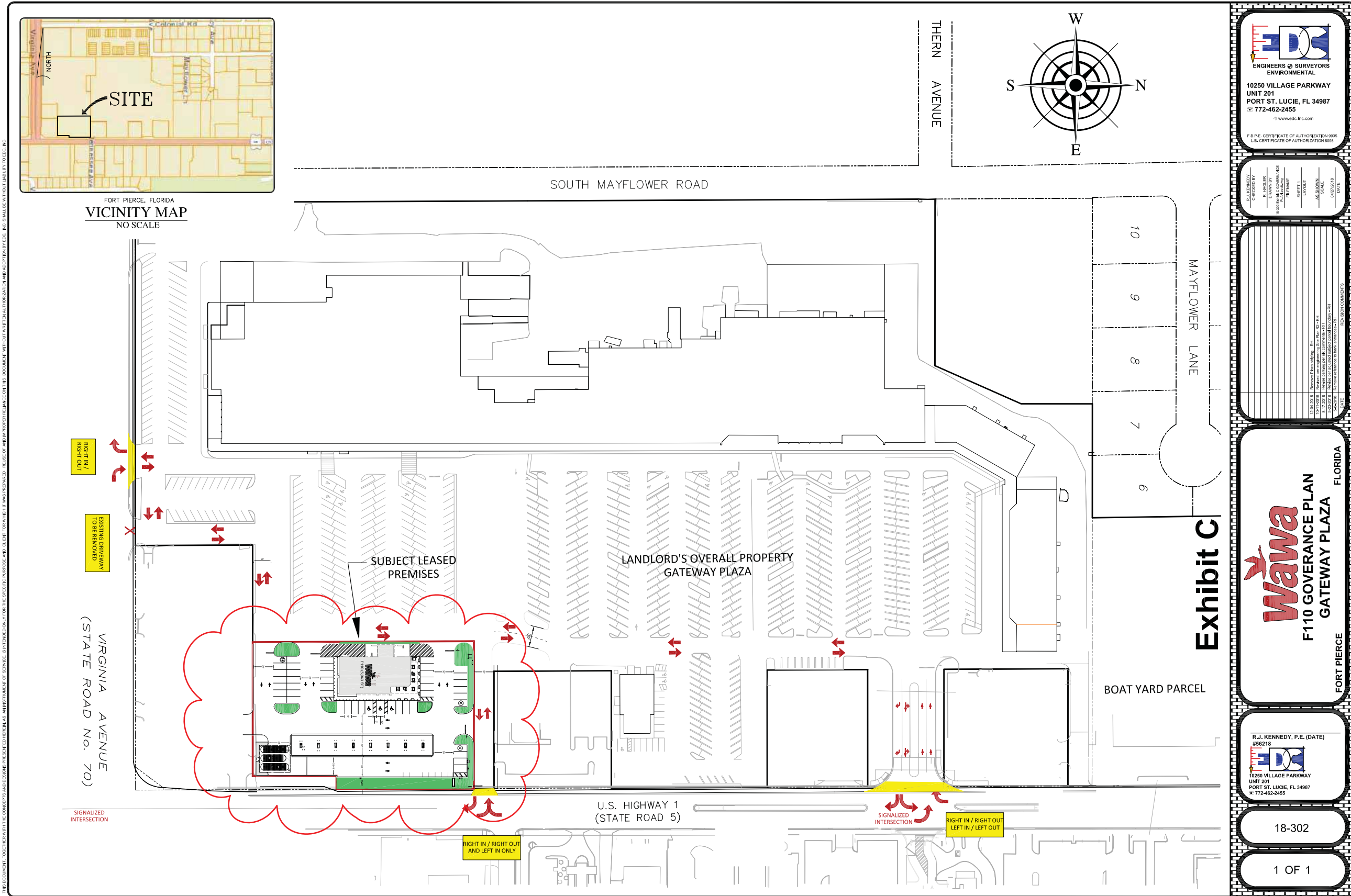
2 2 of 11

Local: 727-573-7757  
Fax: 727-573-0328



**THOMAS**  
SIGN & AWNING CO INC  
4590 118TH Avenue North  
Clearwater, Florida 33762  
**800-526-3325**  
www.thomassign.com

**CLIENT**  
**WAWA #5387**  
Design Number:  
78541  
Installation Address:  
U.S. 1 & Virginia Ave  
Ft. Pierce, FL  
34950  
Project Identity Number:  
83176  
**Sales Associate:** Project **Team:**  
TSA BB  
**Designer:** Date:  
MBV 02.18.19  
Project Updates:  
X



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**3M™ MCS™ Warranty**

**Approval:**

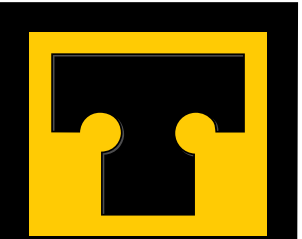
Approved  
DATE:

Approved as noted  
DATE:

Revise & Re-Submit  
DATE:

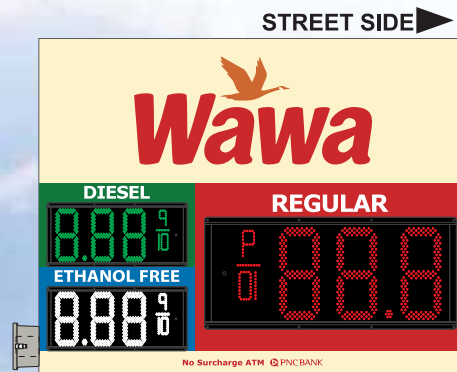
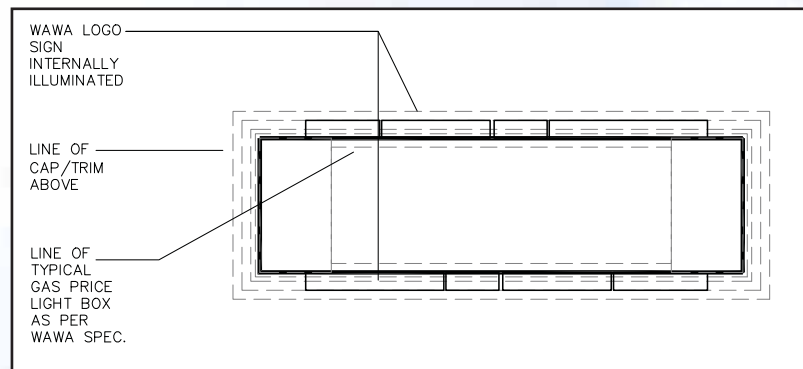
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**Page** **Sheet**  
**3** **3 of 11**  
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Fax: 727-573-0328



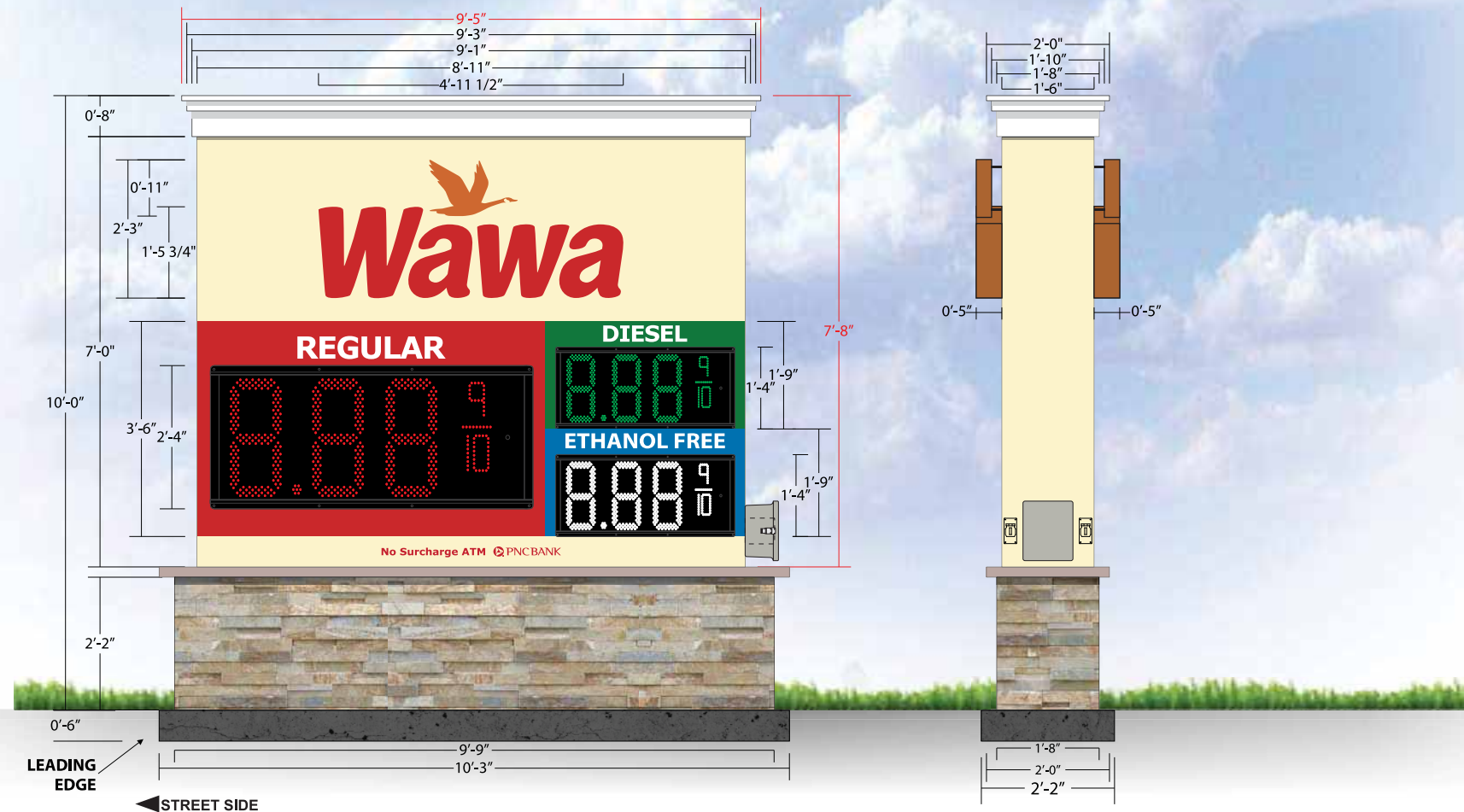
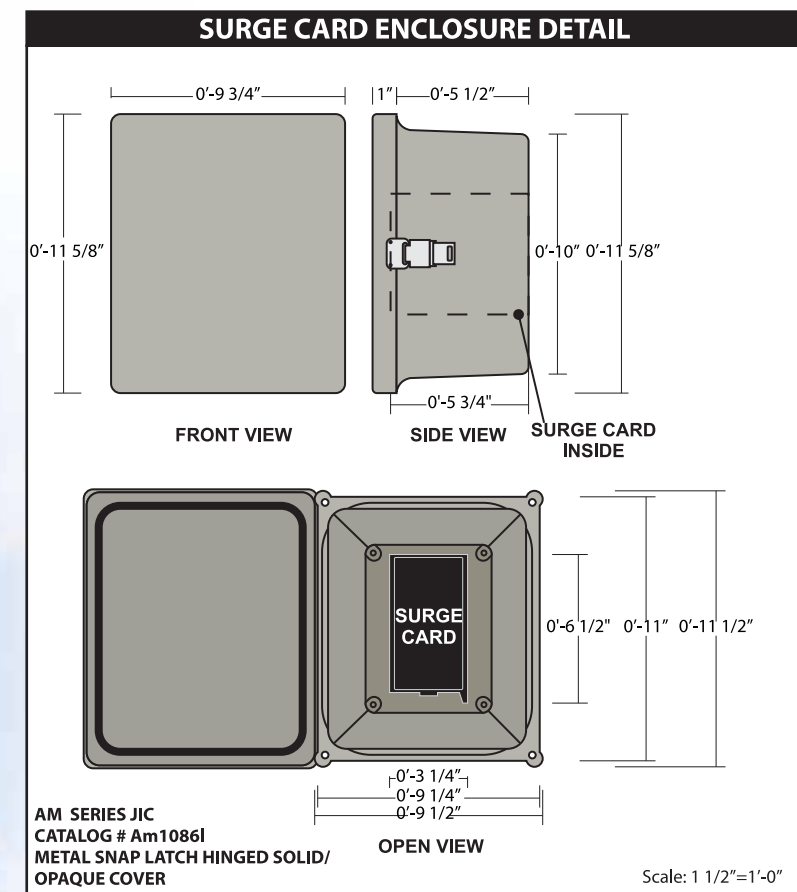
**THOMAS**  
SIGN & AWNING CO INC  
4590 118TH Avenue North  
Clearwater, Florida 33762  
**800-526-3325**  
www.thomassign.com

**CLIENT**  
**WAWA #5387**  
Design Number:  
78541  
Installation Address:  
U.S. 1 & Virginia Ave  
Ft. Pierce, FL  
34950  
Project Identity Number:  
83176  
**Sales Associate:** Project Team:  
TSA BB  
**Designer:** Date:  
MBV 02.18.19  
Project Updates:  
X



Side B

SCALE: 1/4" = 1'-0"



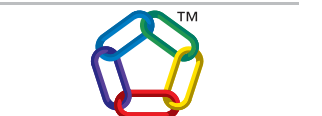
Color Reference

- RED JEWELITE
- 3M 7725-13 TOMATO RED (EMC BORDER & SURCHARGE NOTICE)
- 3M 7725-46 KELLY GREEN (EMC BORDER)
- 3M 7725-57 OLYMPIC BLUE (EMC BORDER)
- 3M 7725-10 WHITE (FUEL GRADES)
- #2783 RED FLAT ACRYLIC FACES (CHANNEL LETTERS)
- PAINT TO MATCH PMS 876C METALLIC COPPER WITH GLOSS FINISH (RETURNS)
- PAINT TO MATCH PMS 7401C WITH SATIN FINISH (PYLON STRUCTURE)
- WHITE PAINT WITH SATIN FINISH (DECORATIVE CAP AND TRIM)
- LIMESTONE CAP BY OTHERS
- STONE BASE BY OTHERS

SCALE: 3/8" = 1'-0"

**A** Custom M50 DF Monument Sign @ 10'-0" OAH

2'-4" x 5'-3" Gas Price Display, FL-3000-24-D  
1'-4" x 2'-11" Gas Price Display, FL-3000-12-DI  
7'-0" x 9'-5" = 65.91 Sq. Ft. Monument face  
**TOTAL: 65.91**



**Approval:**  
 Approved  
DATE:  
 Approved as noted  
DATE:  
 Revise & Re-Submit  
DATE:



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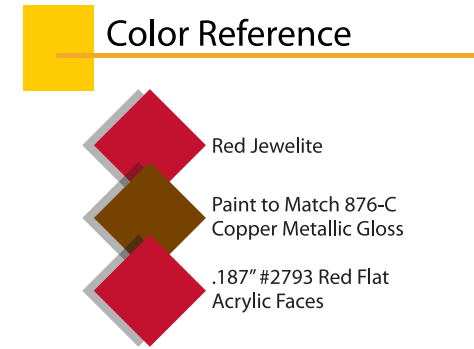
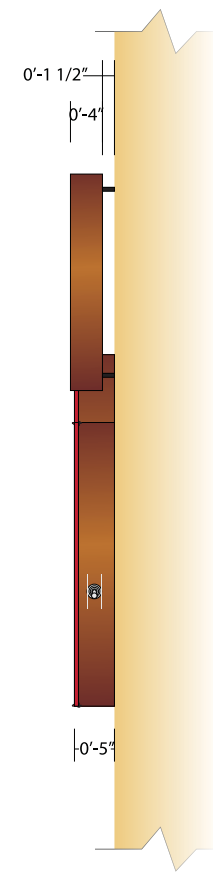
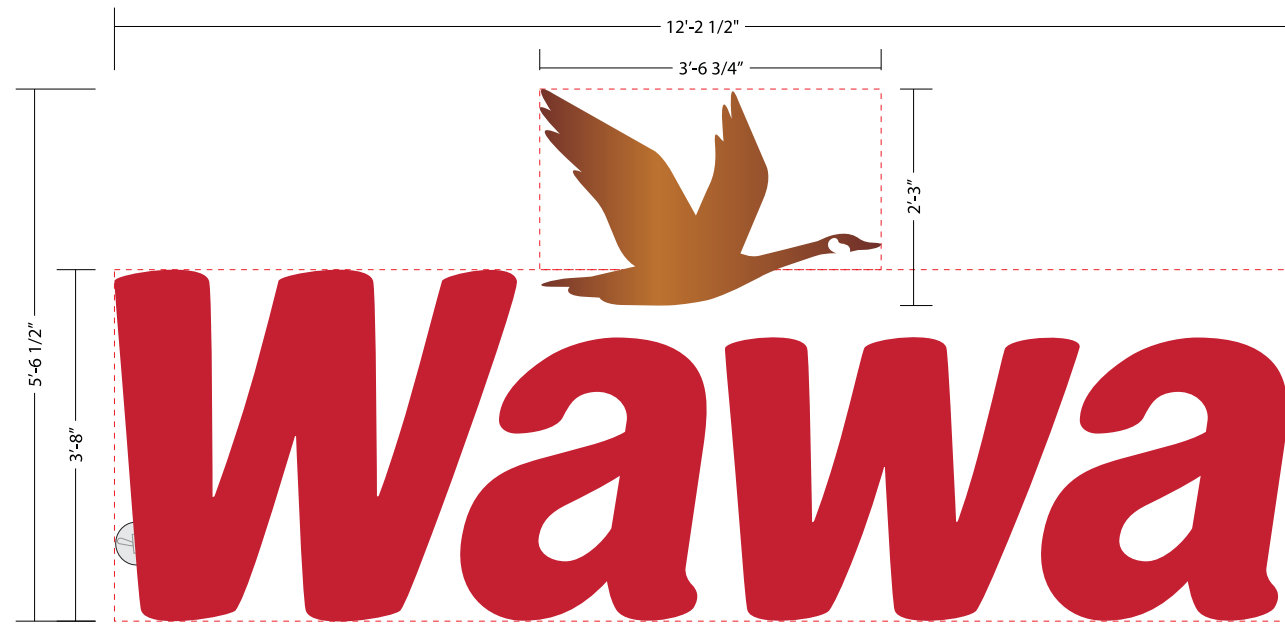
TSA BB

Designer: Date:

MBV 02.18.19

Project Updates:

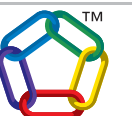
X



**B** 44" LED Channel Letters & Halo Lit Logo - Remote Transformers  
 3.56' X 1.875' = 6.67 SF  
 12.20' X 3.66' = 44.65 SF  
 TOTAL = 51.32 SF

SCALE: 1/2" = 1'-0"

**TOTAL SF ALLOWED**  
 22'-4" X 107'-1" = 2391.52 X 20% = 478.30 SF  
 50% = 239.15 SF



3M<sup>TM</sup> MCS<sup>TM</sup> Warranty

Approval:

Approved

DATE:

Approved as noted

DATE:

Revise & Re-Submit

DATE:

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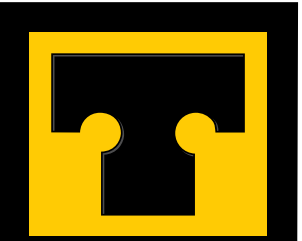
Page Sheet

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Fax: 727-573-0328

Proposed Condition - Front (East) Elevation

Scale: 3/32"=1'-0"

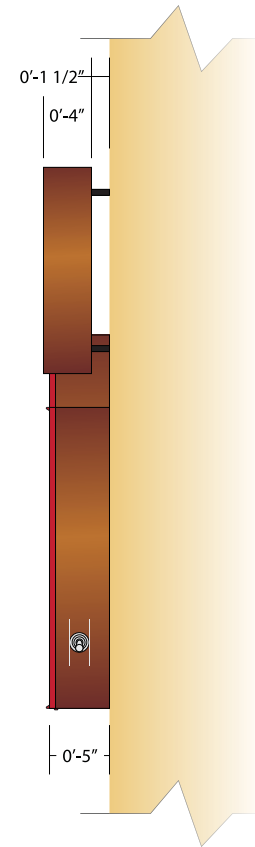
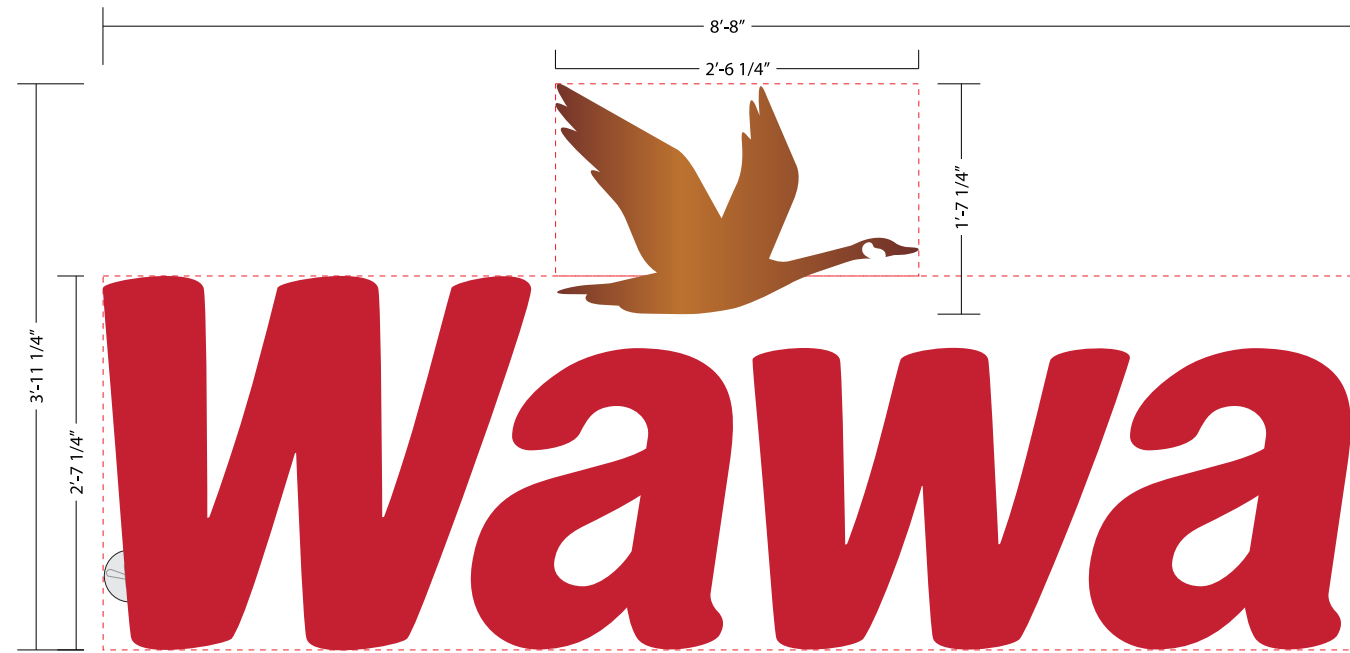


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**CLIENT**  
**WAWA #5387**  
Design Number:  
78541  
Installation Address:  
U.S. 1 & Virginia Ave  
Ft. Pierce, FL  
34950  
Project Identity Number:  
83176

<b>Sales Associate:</b>	<b>Project Team:</b>
TSA	BB
<b>Designer:</b>	<b>Date:</b>
MBV	02.18.19

Project Updates:  
X



**Color Reference**

- Red Jewelite
- Paint to Match 876-C Copper Metallic Gloss
- .187" #2793 Red Flat Acrylic Faces

**C** 31" LED Channel Letters & Halo Lit Logo - Remote Transformers  
 2.52' X 1.33' = 3.35 SF  
 8.66' X 2.60' = 22.52 SF  
 TOTAL = 25.87 SF

SCALE: 3/4" = 1'-0"



**Proposed Condition - Right (North) Elevation**

Scale: 3/32"=1'-0"



THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



3M™ MCS™ Warranty

**Approval:**

Approved  
DATE:

Approved as noted  
DATE:

Revise & Re-Submit  
DATE:

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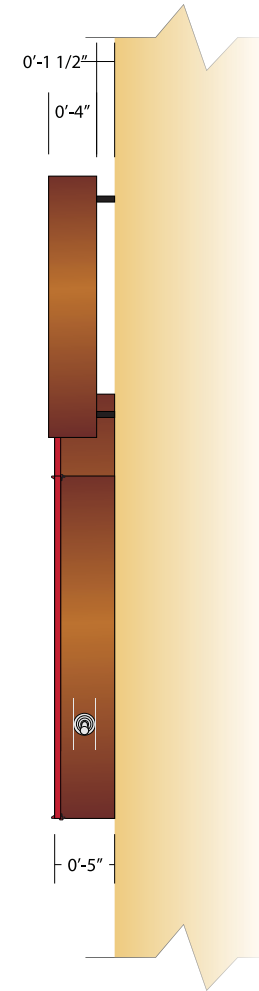
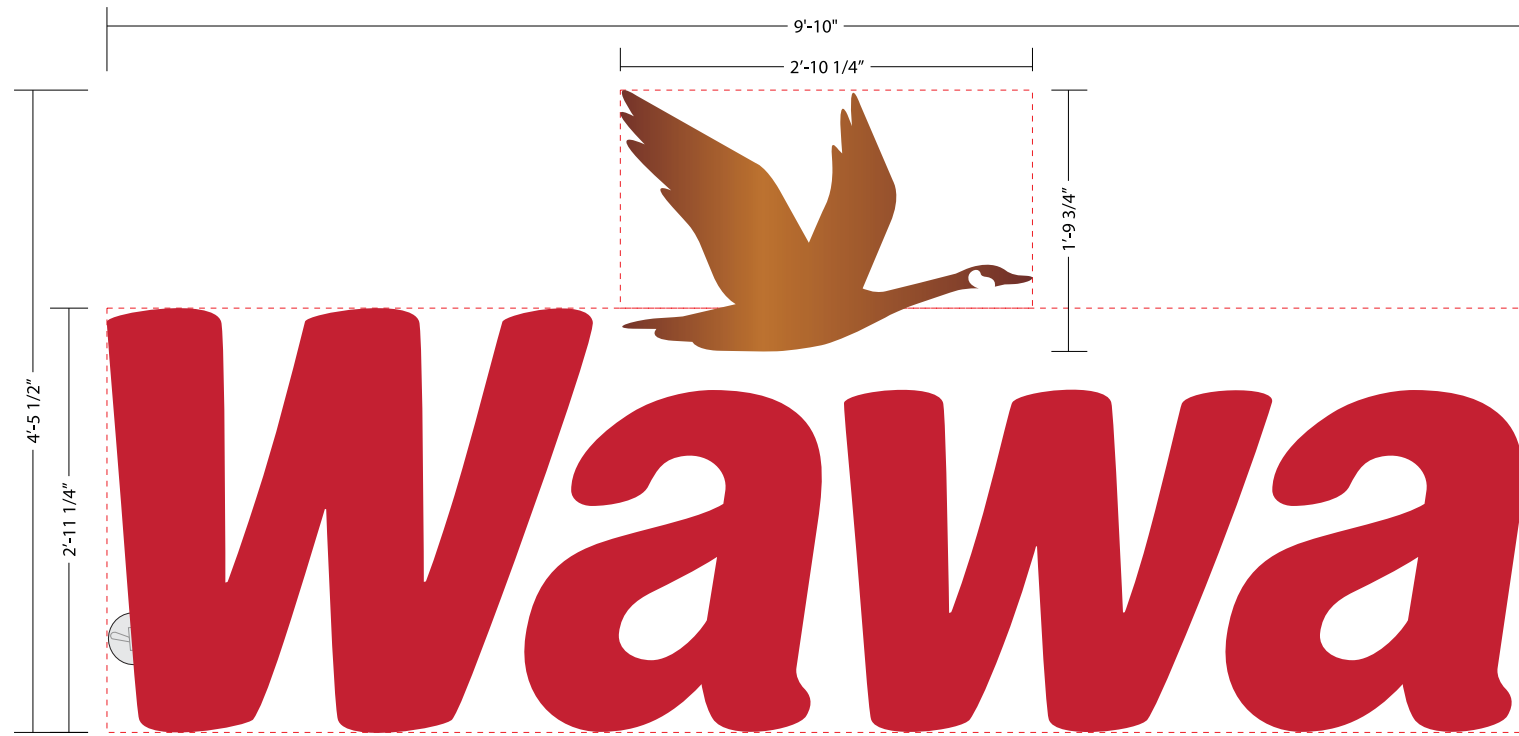
Sales Associate: Project Team:

TSA BB

Designer: Date:

MBV 02.18.19

Project Updates:  
X



**Color Reference**

- Red Jewelite
- Paint to Match 876-C Copper Metallic Gloss
- .187" #2793 Red Flat Acrylic Faces

**D** 35" LED Channel Letters & Halo Lit Logo - Remote Transformers

2.85' X 1.52' = 4.33 SF  
9.83' X 2.93' = 28.80 SF  
TOTAL = 33.13 SF

SCALE: 3/4" = 1'-0"

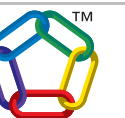


Proposed Condition - Left (South) Elevation

Scale: 3/32"=1'-0"



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Approval:

Approved

DATE:

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DATE:

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DATE:

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Clearwater, Florida 33762

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CLIENT

**WAWA #5387**

Design Number:

78541

Installation Address:

U.S. 1 & Virginia Ave

Ft. Pierce, FL

34950

Project Identity Number:

83176

Sales Associate: Project Team:

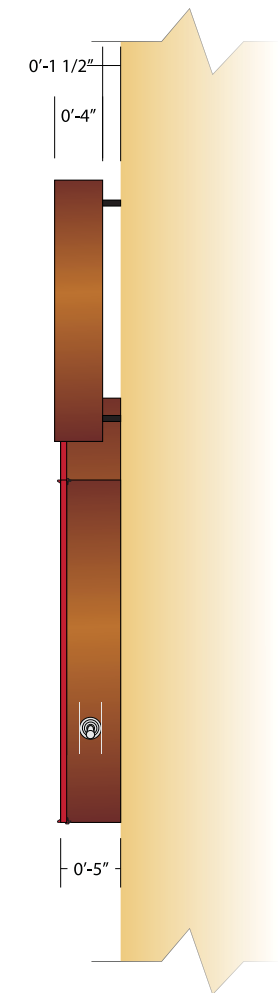
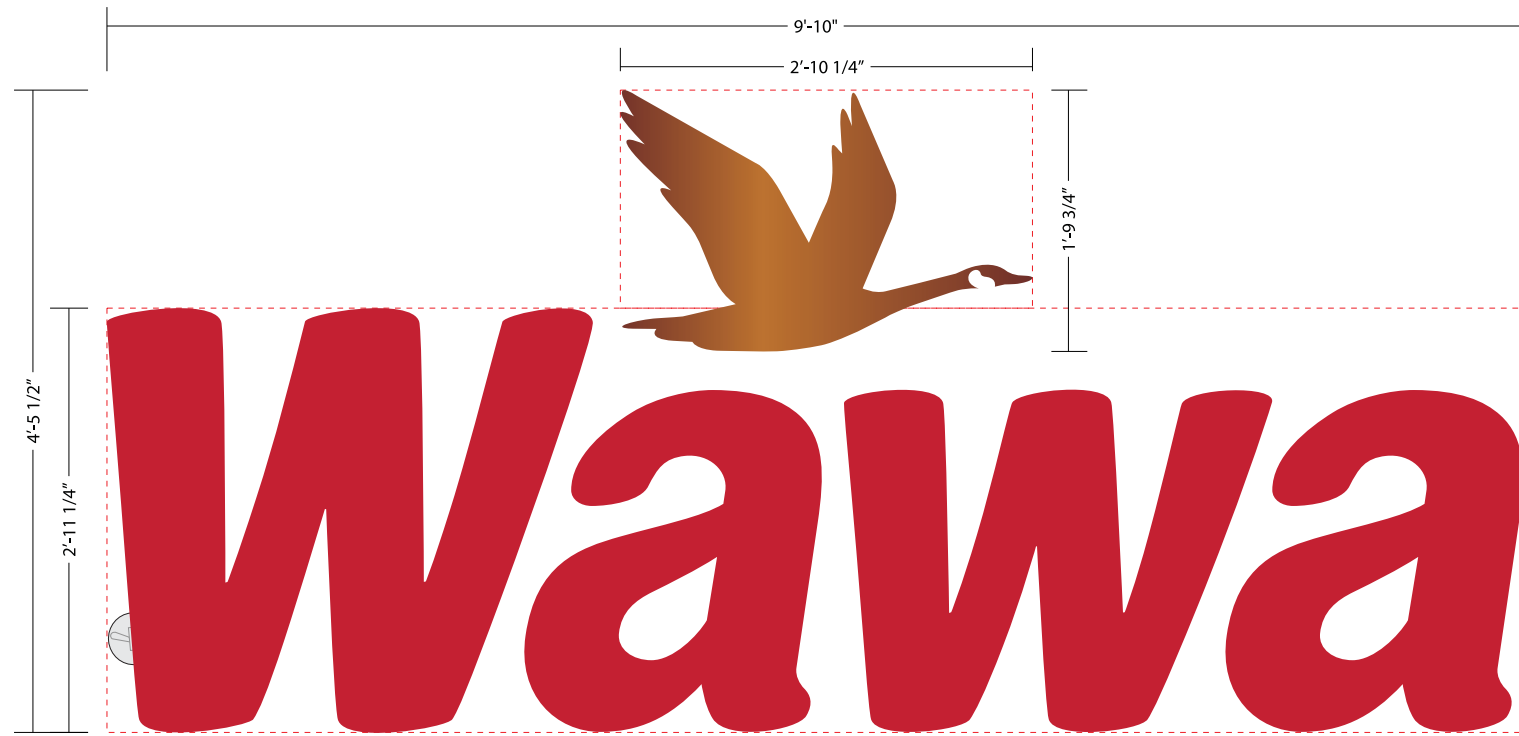
TSA BB

Designer: Date:

MBV 02.18.19

Project Updates:

X



**Color Reference**

- Red Jewelite
- Paint to Match 876-C Copper Metallic Gloss
- .187" #2793 Red Flat Acrylic Faces

**E** 35" LED Channel Letters & Halo Lit Logo - Remote Transformers  
 2.85' X 1.52' = 4.33 SF  
 9.83' X 2.93' = 28.80 SF  
 TOTAL = 33.13 SF  
 SCALE: 3/4" = 1'-0"



**Proposed Condition - Rear (West) Elevation**

Scale: 3/32"=1'-0"

**UL Underwriters Laboratories, Inc.**  
 LISTING E89514  
**ELECTRIC SIGN**  
 COMPLIES TO UL 48

THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



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**Approval:**

Approved

DATE: \_\_\_\_\_

Approved as noted

DATE: \_\_\_\_\_

Revise & Re-Submit

DATE: \_\_\_\_\_

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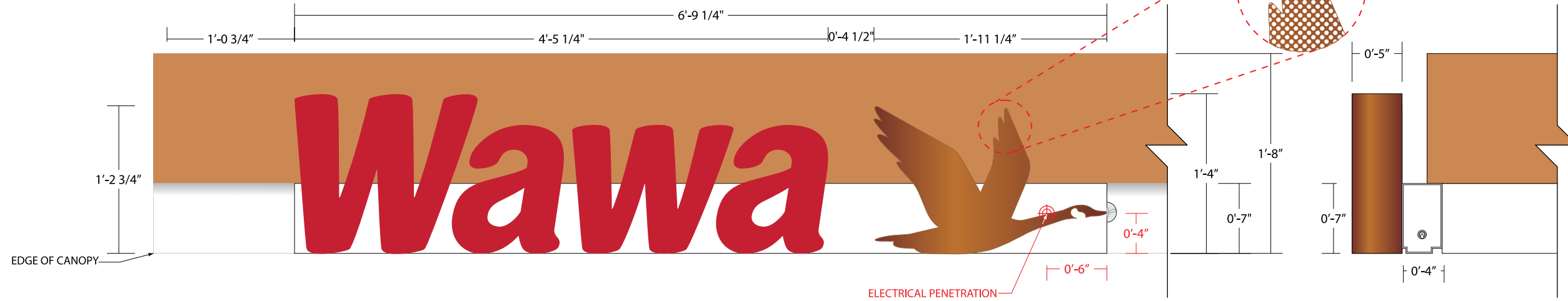
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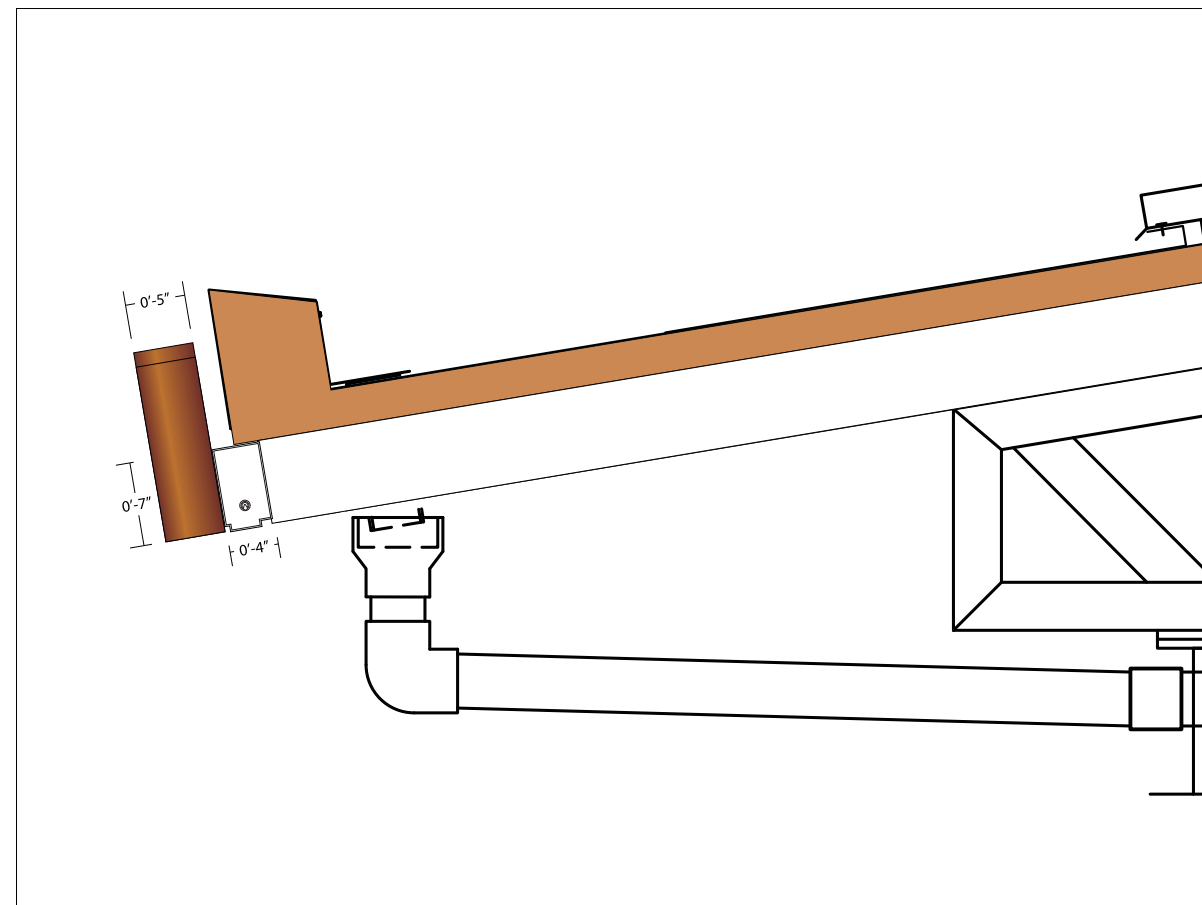
**CLIENT**  
**WAWA #5387**  
Design Number:  
78541  
Installation Address:  
U.S. 1 & Virginia Ave  
Ft. Pierce, FL  
34950  
Project Identity Number:  
83176  
**Sales Associate:** Project Team:  
TSA BB  
**Designer:** Date:  
MBV 02.18.19  
Project Updates:  
X



**F** 5" Deep Front Lit LED Illuminated Letters & Logo (on 4" x 7" Extruded Raceway) - **Left Side**

SCALE: 1" = 1'-0"  
SQ FT: 9.02'

**Color Reference**



**Self-Contained Flush Mount Canopy Sign (Side View)**

Scale: 3/4" = 1'-0"



**Approval:**  
 Approved  
DATE: \_\_\_\_\_  
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DATE: \_\_\_\_\_  
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WAWA #5387

Design Number:

78541

Installation Address:

U.S. 1 & Virginia Ave

Ft. Pierce, FL

34950

Project Identity Number:

83176

Sales Associate: Project Team:

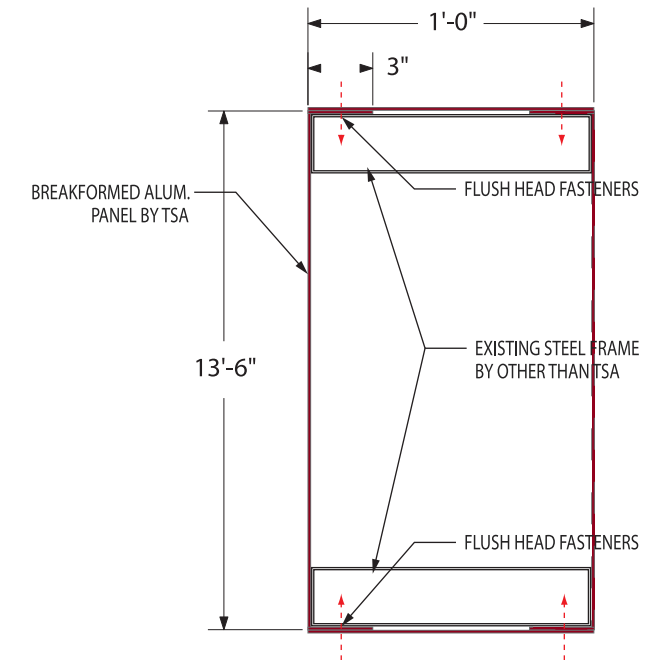
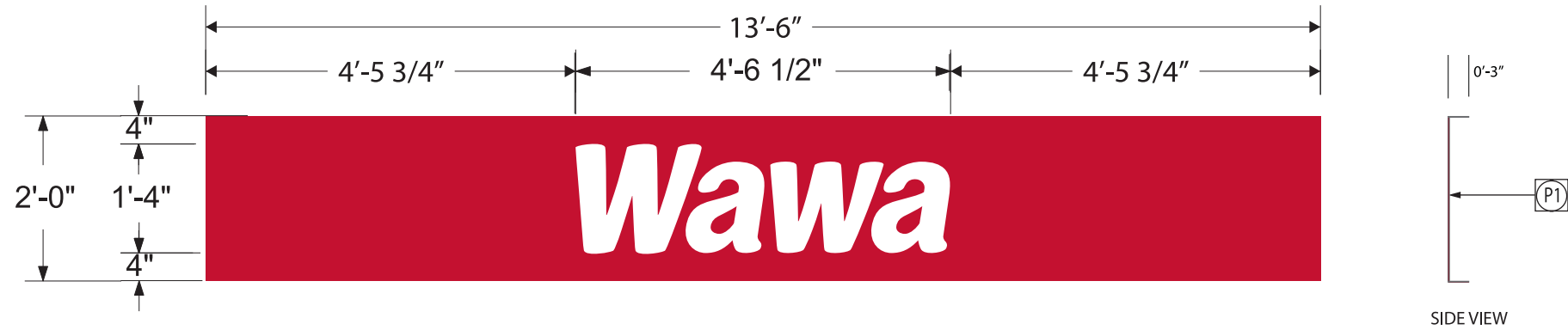
TSA BB

Designer: Date:

MBV 02.18.19

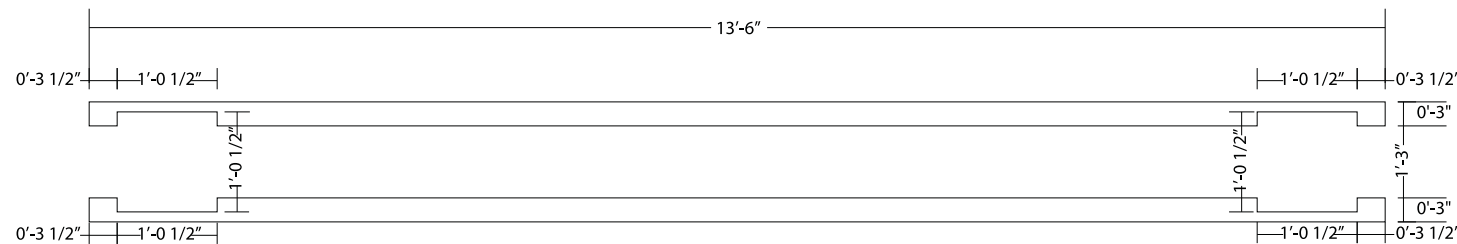
Project Updates:

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**G** S/F Brakeformed Alum. Gas Pump Canopy Spanner Panel - QTY: 2  
COPY AREA = 6.04 SF

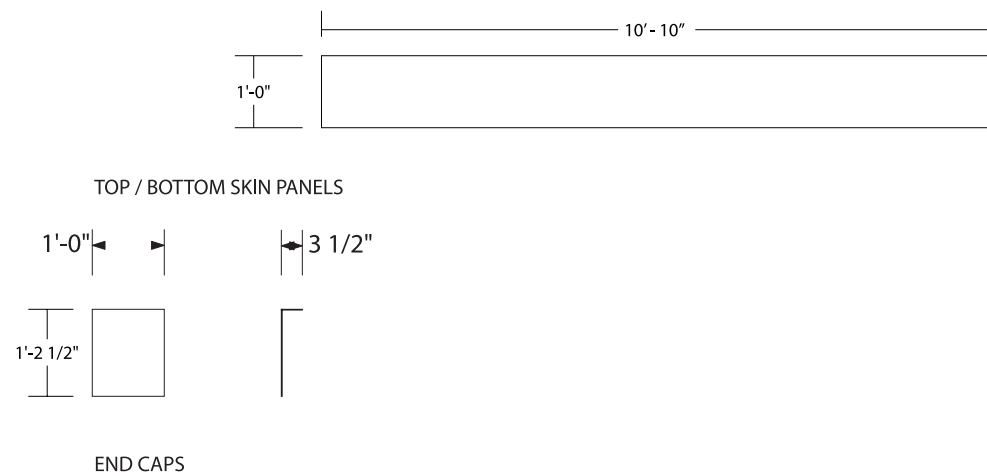
SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"

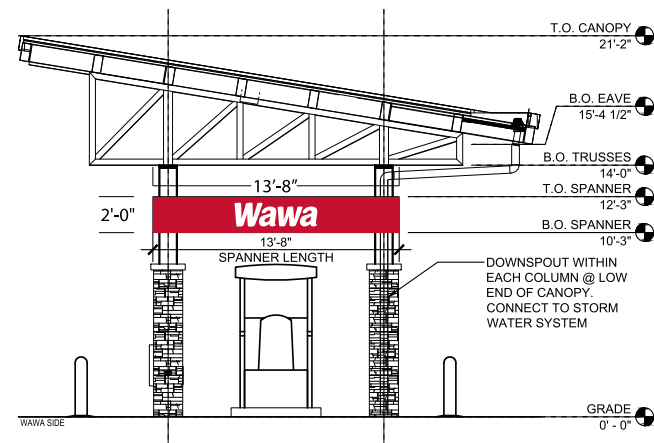
Top View - Section Detail

Panels to be secured top & bottom around periphery of panel to existing structure / frame every 16" c/c with #8 x 3/4" S.S. tek screws.

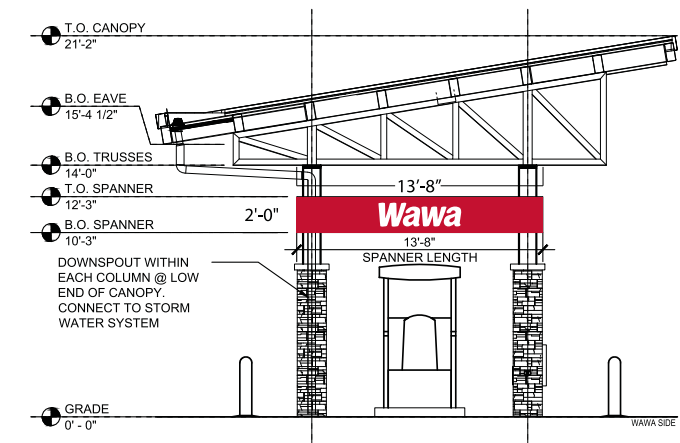


Top / Bottom Skin & Brakeformed End Caps

SCALE: 3/8" = 1'-0"



Pump Elevation View



SCALE: 3/32" = 1'-0"



3M<sup>TM</sup> MCS<sup>TM</sup> Warranty

Approval:

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WAWA #5387

Design Number:  
78541

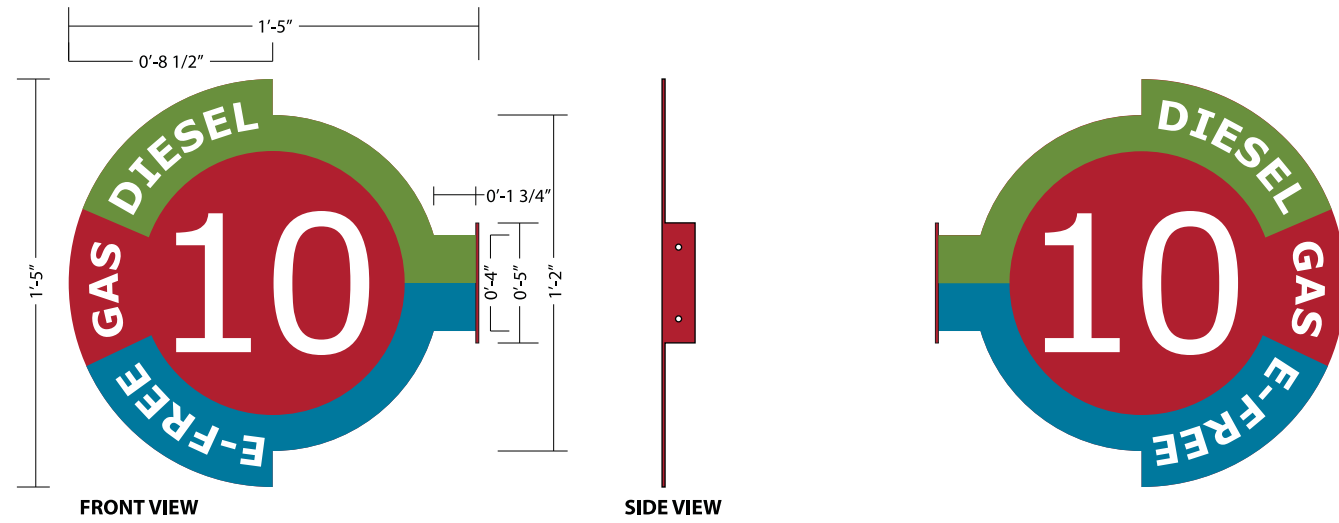
Installation Address:  
U.S. 1 & Virginia Ave  
Ft. Pierce, FL  
34950

Project Identity Number:  
83176

Sales Associate:	Project Team:
TSA	BB

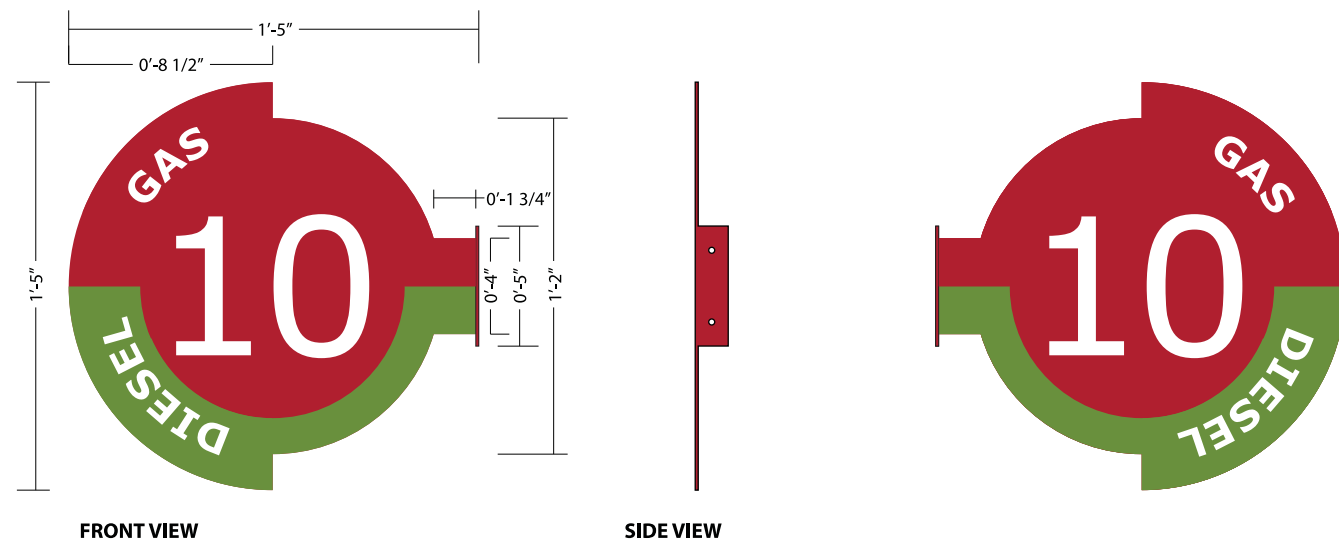
Designer:	Date:
MBV	02.18.19

Project Updates:
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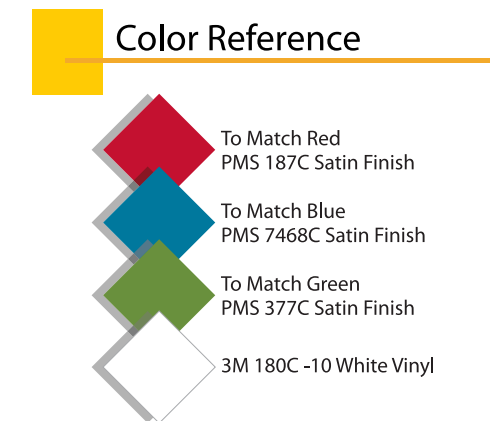
**H** Double Sided Pump Indicator Sign (3+1+1) - Qty. = 4  
Font Used: Verdana Regular

SCALE: 1-1/2" = 1'-0"



**I** Double Sided Pump Indicator Sign (3+1) - Qty. = 12  
Font Used: Verdana Regular

SCALE: 1-1/2" = 1'-0"



Color Reference

- To Match Red  
PMS 187C Satin Finish
- To Match Blue  
PMS 7468C Satin Finish
- To Match Green  
PMS 377C Satin Finish
- 3M 180C -10 White Vinyl



3M™ MCS™ Warranty

Approval:

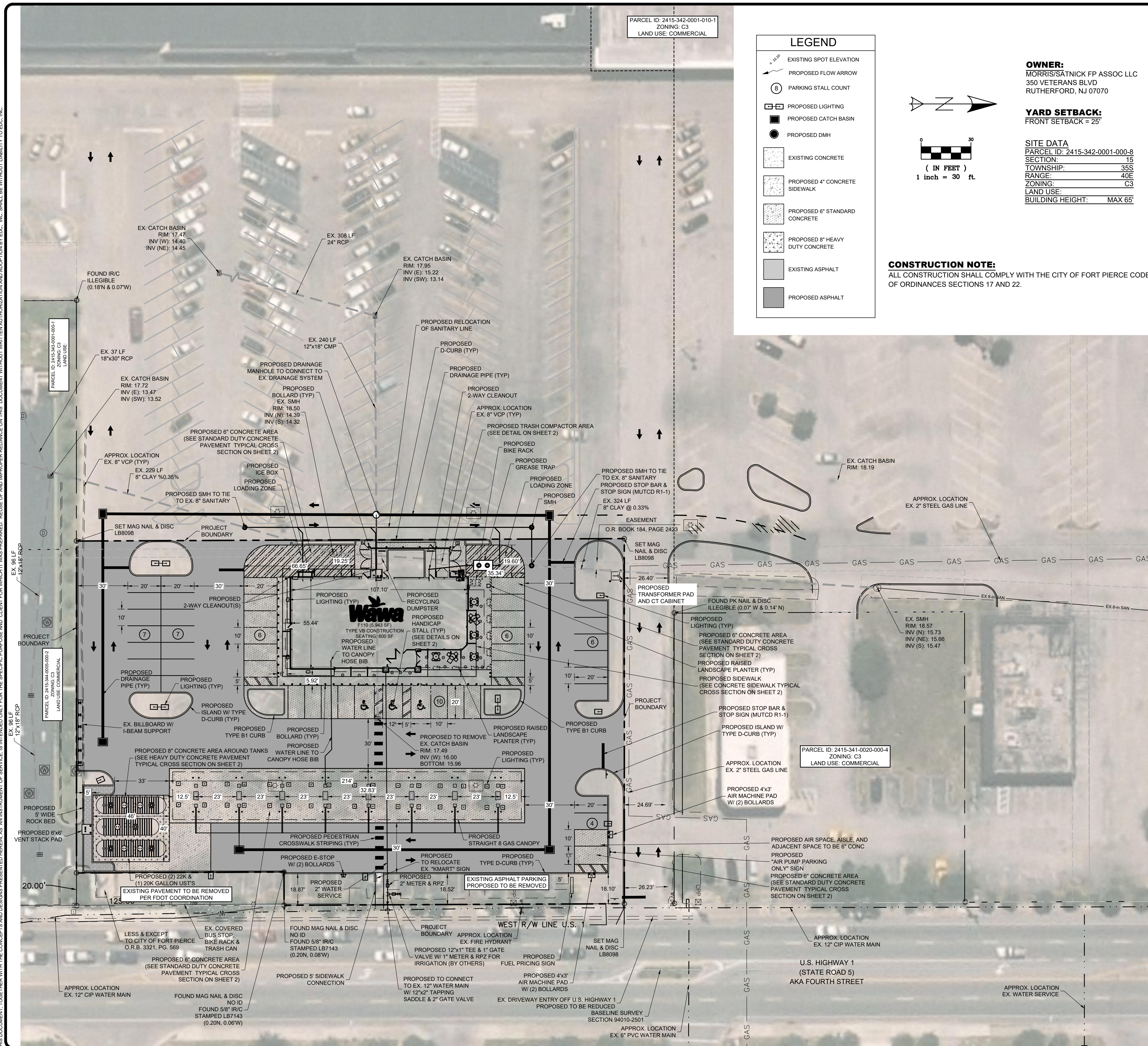
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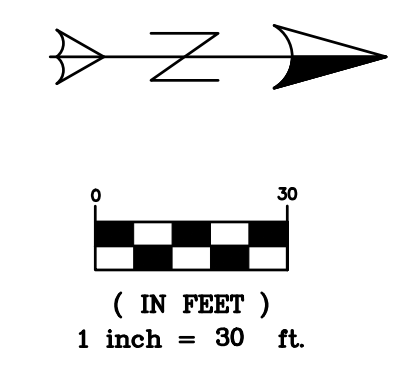
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PARCEL ID: 2415-342-001-010-1  
ZONING: C3  
LAND USE: COMMERCIAL

### LEGEND

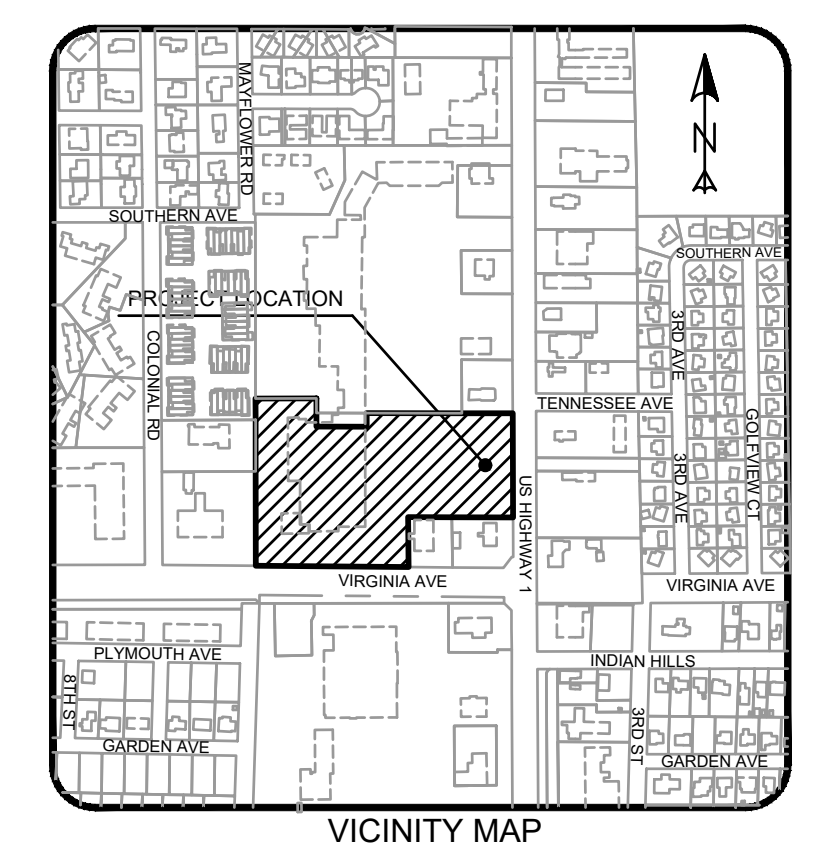
- EXISTING SPOT ELEVATION
- PROPOSED FLOW ARROW
- PARKING STALL COUNT
- PROPOSED LIGHTING
- PROPOSED CATCH BASIN
- PROPOSED DMH
- EXISTING CONCRETE
- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED 6" STANDARD CONCRETE
- PROPOSED 8" HEAVY DUTY CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT



**OWNER:**  
MORRIS/SATNICK FP ASSOC LLC  
350 VETERANS BLVD  
RUTHERFORD, NJ 07070

**YARD SETBACK:**  
FRONT SETBACK = 25'

**SITE DATA**  
PARCEL ID: 2415-342-001-000-8  
SECTION: 15  
TOWNSHIP: 35S  
RANGE: 40E  
ZONING: C3  
LAND USE:  
BUILDING HEIGHT: MAX 65'



**CONSTRUCTION NOTE:**  
ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF FORT PIERCE CODE OF ORDINANCES SECTIONS 17 AND 22.

**TOTAL PROJECT AREA:**  
PROJECT BOUNDARY AREA 70,099.36 S.F. 1.61 AC. 100.00%

**PROJECT AREA LAND USE TABLE:**

PROPOSED WAWA BUILDING	5,943 S.F.	0.14 AC.	8.48%
PROPOSED WAWA ASPHALT	32,983.05 S.F.	0.76 AC.	47.05%
PROPOSED WAWA CONCRETE	19,447.04 S.F.	0.44 AC.	27.74%
REMOVED EX. ASPHALT/CONCRETE	70,099.36 S.F.	1.61 AC.	100.00%

**PROJECT AREA IMPERVIOUS/PERVIOUS:**

TOTAL IMPERVIOUS	58,373.09 S.F.	1.34 AC.	83.27%
TOTAL PERVIOUS AREA	11,726.27 S.F.	0.27 AC.	16.73%

**PROJECT AREA PARKING INFORMATION:**

WAWA (5,943 SF @ 1 SPACE PER 200 SF)	30 STALLS
TOTAL PARKING REQUIRED	46 STALLS
TOTAL WAWA PARKING PROVIDED*	46 STALLS
REQUIRED HANDICAP	2 STALLS
PROVIDED HANDICAP	3 STALLS

\*NOTE: (2) SPACES ARE FOR AIR PUMP PARKING ONLY

**TRAFFIC STATEMENT:**  
THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE), TRIP GENERATION, 10TH EDITION, LAND USE CODE 960 WAS USED TO DETERMINE EXPECTED DAILY TRIP GENERATION RATES FOR THE PROPOSED PROJECT. PASSBY TRIPS ITE/FDOT STATE AVERAGE IS 77%. TOTAL GROSS SQUARE FEET FOR THE ENTIRE BUILDING AT BUILD-OUT (5,943 GSF) WAS USED TO OBTAIN THE FOLLOWING RESULT:

<b>WEEKDAY</b> - TOTAL AVG TRIPS = 4,975 TRIPS (NEW TRIPS = 1,144)
<b>WEEKDAY</b> - TOTAL AVG AM PEAK HOUR TRIPS = 416 TRIPS (NEW TRIPS = 96)
<b>WEEKDAY</b> - TOTAL AVG PM PEAK HOUR TRIPS = 401 TRIPS (NEW TRIPS = 92)

**WATER AND SEWER:**  
EXISTING WATER SERVICE AND SEWER SERVICE WILL BE UTILIZED TO SERVE THE PROPOSED BUILDING.

**DRAINAGE:**  
THE SURFACE WATER MANAGEMENT SYSTEM FOR THE PROJECT WILL COLLECT SITE RUNOFF IN A SERIES OF INLETS WHICH WILL ROUTE THE RUNOFF TO CONNECT TO AN EXISTING DRAINAGE SYSTEM.

**SOLID WASTE:**  
BASED ON THE INTENDED USE OF THE BUILDING, THIS PROJECT WILL UTILIZE A PROPOSED DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.

**HAZARDOUS WASTE:**  
ALL HAZARDOUS WASTES DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.

**FIRE PROTECTION:**  
EXISTING FIRE HYDRANTS ARE SHOWN ON THE PLAN VIEW.

**WELL FIELD PROTECTION:**  
THE SUBJECT PARCEL IS NOT LOCATED WITHIN 1000 FEET OF A PUBLIC WATER SUPPLY WELL.

**LIGHTING NOTES:**  
ALL LIGHTING, TO INCLUDE POLE HEIGHTS SHALL BE IN CONFORMANCE WITH THE CITY OF FORT PIERCE CODE OF ORDINANCES. SEE PHOTOMETRIC PLAN FOR LIGHTING BY OTHERS.

**LANDSCAPE:**  
LANDSCAPE TO BE PROVIDED BY OTHERS.

**ENVIRONMENTAL:**  
NO ENVIRONMENTAL ASSESSMENT WAS COMPLETED BECAUSE THIS IS AN EXISTING DEVELOPED SITE.

**ACCESSIBILITY AND ADA COMPLIANCE:**  
ALL SIDEWALKS AND RAMPS WILL MEET FDOT AND ADA REQUIREMENTS.

**SIGNS:**  
SIGNS WILL BE REVIEWED SEPARATELY.

**NOTE:**  
THE PROPERTY OWNER, CONTRACTOR, AND AUTHORIZED REPRESENTATIVES SHALL PROVIDE PICKUP, REMOVAL, AND DISPOSAL OF LITTER WITHIN THE PROJECT LIMITS AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREA FROM THE EDGE OF PAVEMENT TO THE PROPERTY LINE WITHIN THE CITY'S RIGHT-OF-WAY IN ACCORDANCE WITH CITY CODE, SECTION 41.08 (g).

**SURVEY NOTES:**  
ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88) AND ARE GIVEN IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.

10250 VILLAGE PARKWAY  
UNIT 201  
PORT ST. LUCIE, FL 34987  
772-462-2455  
www.edc-inc.com

DESIGNED BY	JLW
DRAWN BY	18,302 (18,302) (18,302)
FILE NAME	18,302 (18,302) (18,302)
SHEET NO.	18,302 (18,302) (18,302)
LAYOUT	18,302 (18,302) (18,302)
SCALE	18,302 (18,302) (18,302)
DATE	18,302 (18,302) (18,302)

DATE	18,302 (18,302) (18,302)
SCALE	18,302 (18,302) (18,302)
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SCALE	18,302 (18,302) (18,302)
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SCALE	18,302 (18,302) (18,302)

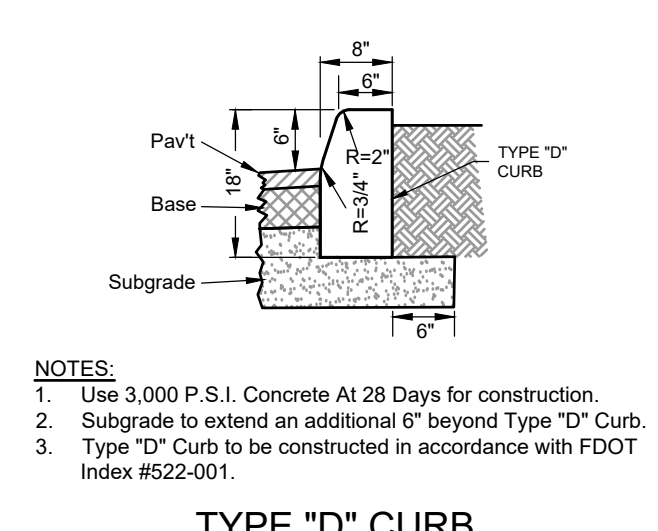
# WAWA - GATEWAY PLAZA MAJOR AMENDMENT MAJOR SITE PLAN

FLORIDA  
FORT PIERCE

DAVID C. BAGGETT, P.E. (DATE)  
#81375

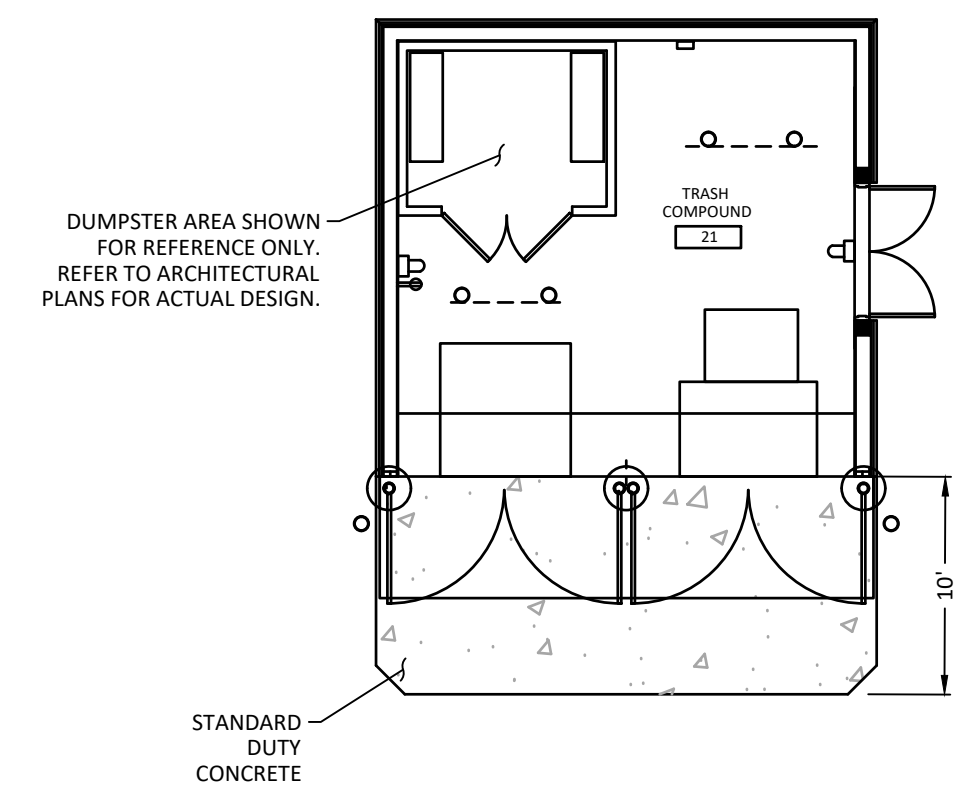
10250 SW VILLAGE PARKWAY - UNIT 201  
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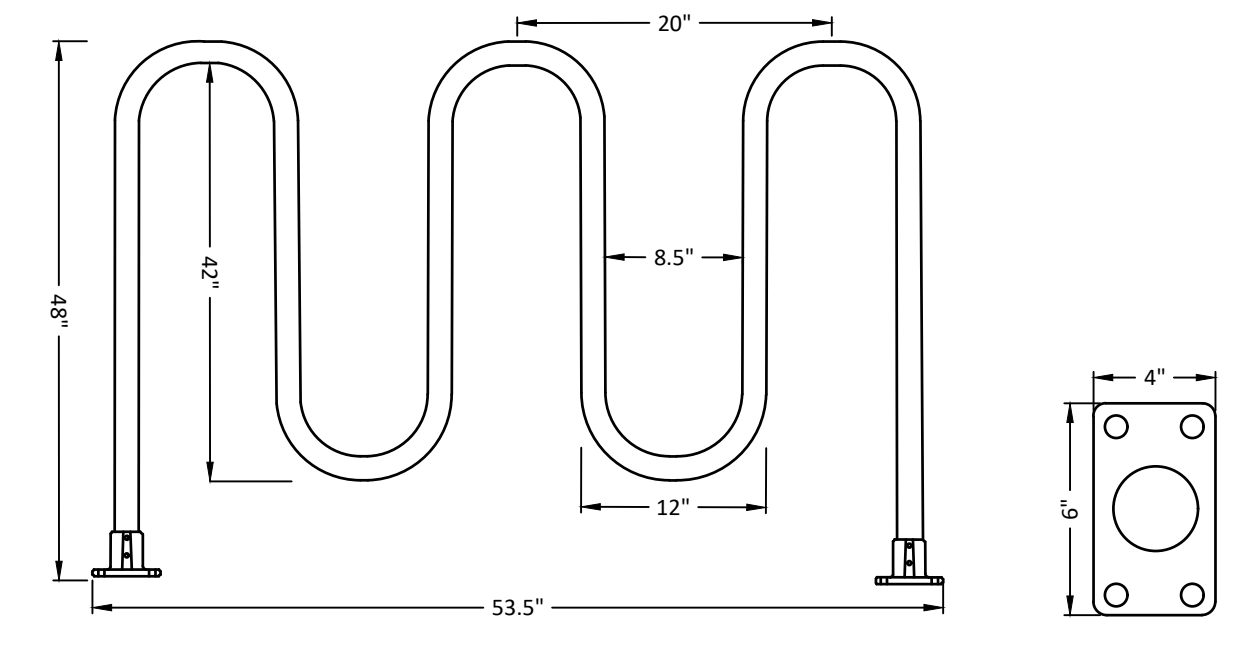


- NOTES:**
1. Use 3,000 P.S.I. Concrete At 28 Days for construction.
  2. Subgrade to extend an additional 6" beyond Type "D" Curb.
  3. Type "D" Curb to be constructed in accordance with FDOT Index #522-001.

**TYPE "D" CURB**  
NTS

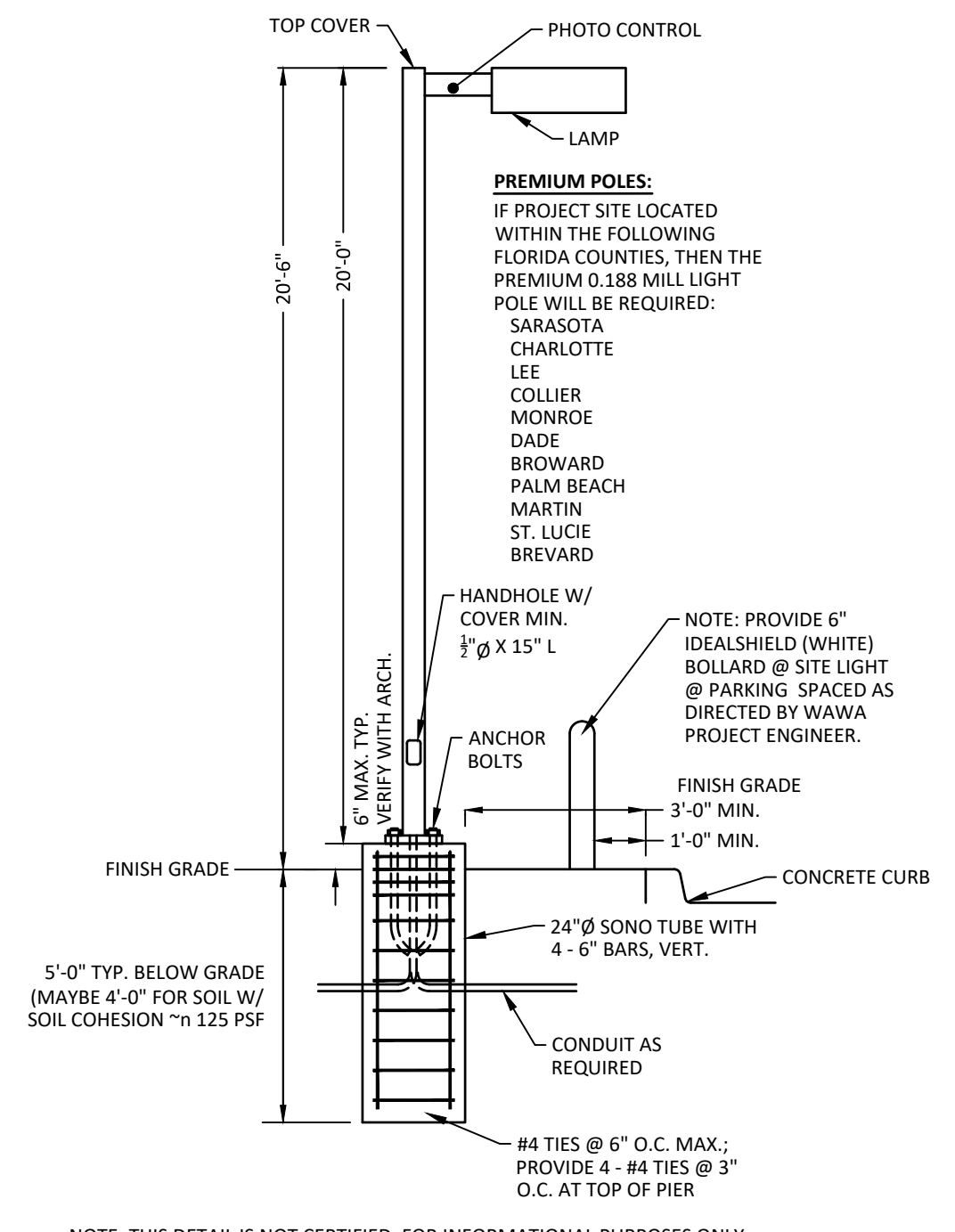


**DUMPSTER CONCRETE APRON**  
NTS

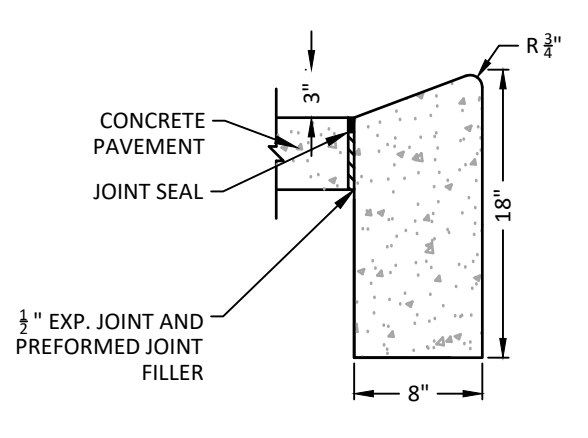


- MADE OF ROLLED ALUMINUM:** 1 1/2" SCHEDULE 40 ALUMINUM WITH 1 7/8" O.D.
- STANDARD LENGTHS:** 60" SECTION FITS UP TO 5 BIKES
- STANDARD HEIGHT:** 46"
- INSTALLATION OPTIONS:** SURFACE MOUNT
- FINISHING OPTIONS:** STANDARD CLEAR ANODIZED
- MANUFACTURED BY:** IDEAL SHIELD  
2525 CLARK ST  
DETROIT, MI 48209  
PHONE: 1-866-925-8659

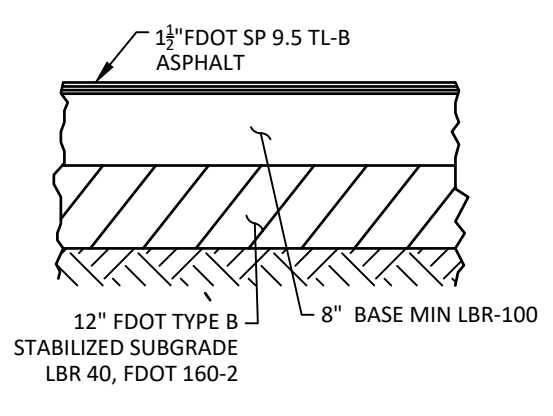
**STANDARD BICYCLE RACK DETAIL**  
NTS



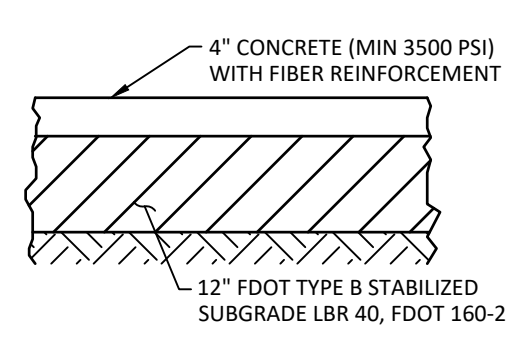
**LIGHT POLE WITH STANDARD ANCHORING DETAIL**  
NTS



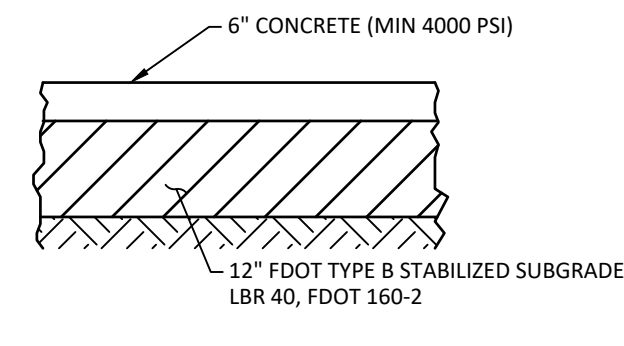
**WAWA TYPE B1 CURB**  
NTS



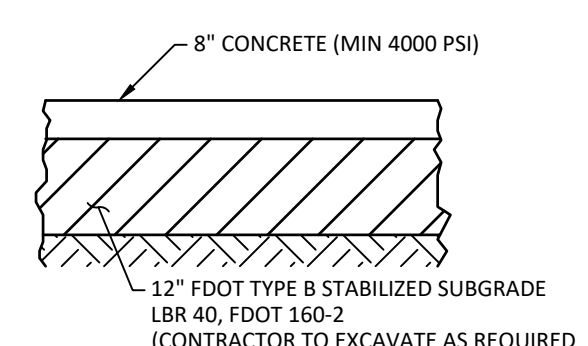
**STANDARD DUTY ASPHALT PAVEMENT TYPICAL CROSS SECTION**  
NTS



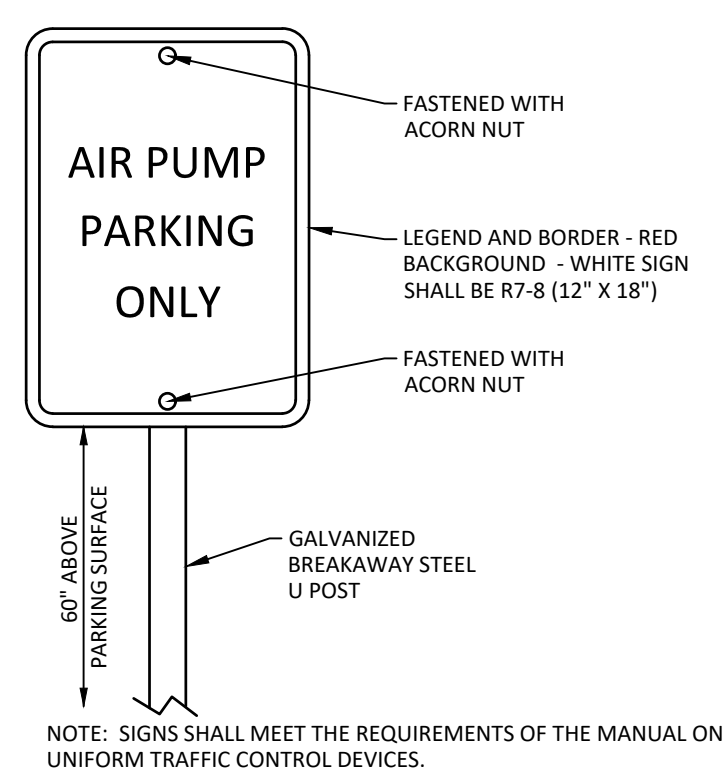
**CONCRETE SIDEWALK TYPICAL CROSS SECTION**  
NTS



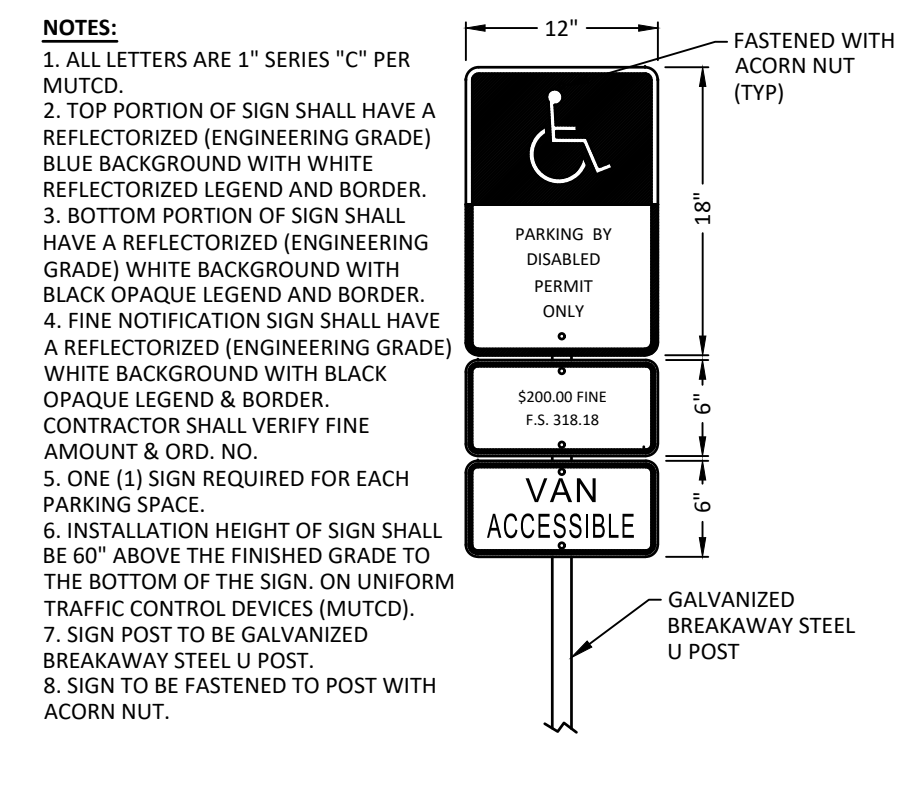
**STANDARD DUTY CONCRETE PAVEMENT TYPICAL CROSS SECTION**  
NTS



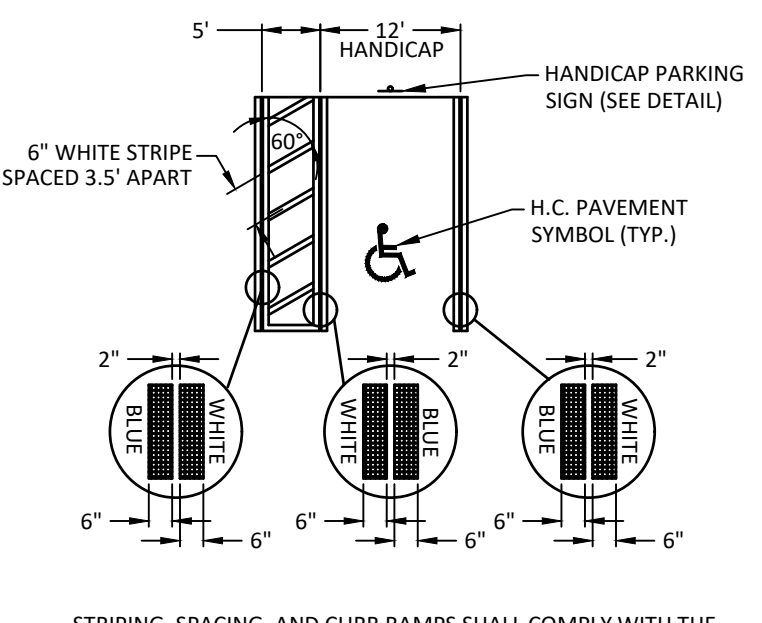
**HEAVY DUTY CONCRETE PAVEMENT TYPICAL CROSS SECTION**  
NTS



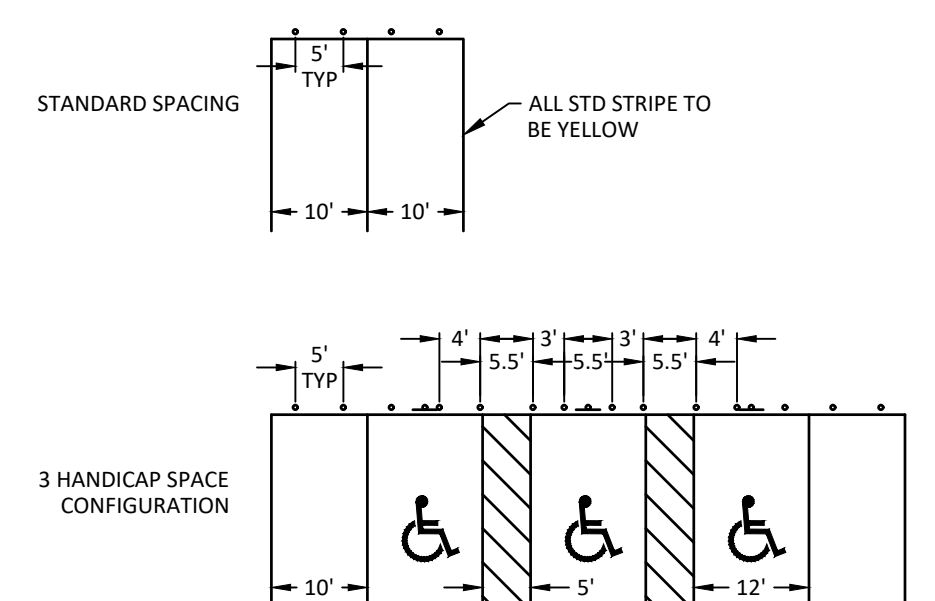
**AIR PARKING SIGN**  
NTS



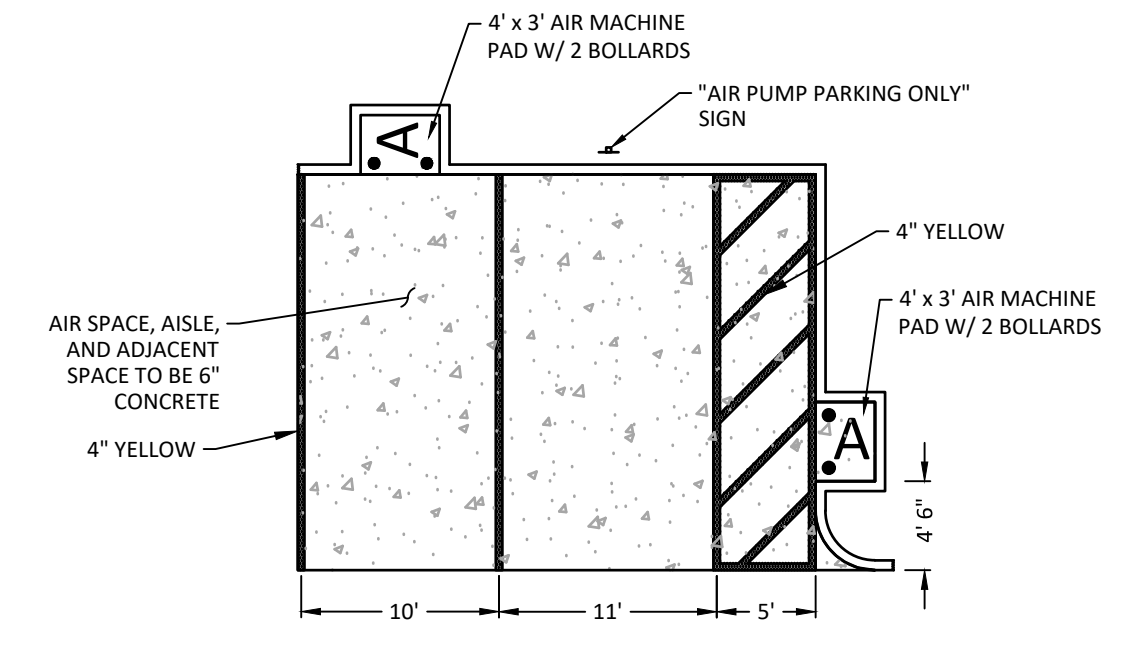
**HANDICAP PARKING SIGN**  
NTS



**HANDICAP STRIPING DETAIL**  
NTS



**BOLLARD SPACING/DIMENSION DETAIL**  
NTS



**AIR PARKING SPACE DETAIL**  
NTS

**EDC ENGINEERS & SURVEYORS ENVIRONMENTAL**

10250 VILLAGE PARKWAY  
UNIT 201  
PORT ST. LUCIE, FL 34987  
772-462-2455  
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F.B.P.E. CERTIFICATE OF AUTHORIZATION 89935  
L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY	JLW
DRAWN BY	FLB/MAE
18-302-18-302-18-302-18-302	Site Plan Details
DATE	20/09/19

REVISION	DATE	DESCRIPTION

**WAWA - GATEWAY PLAZA  
MAJOR AMENDMENT  
MAJOR SITE PLAN DETAILS**

FLORIDA  
FORT PIERCE

DAVID C. BAGGETT, P.E.(DATE)  
#81375

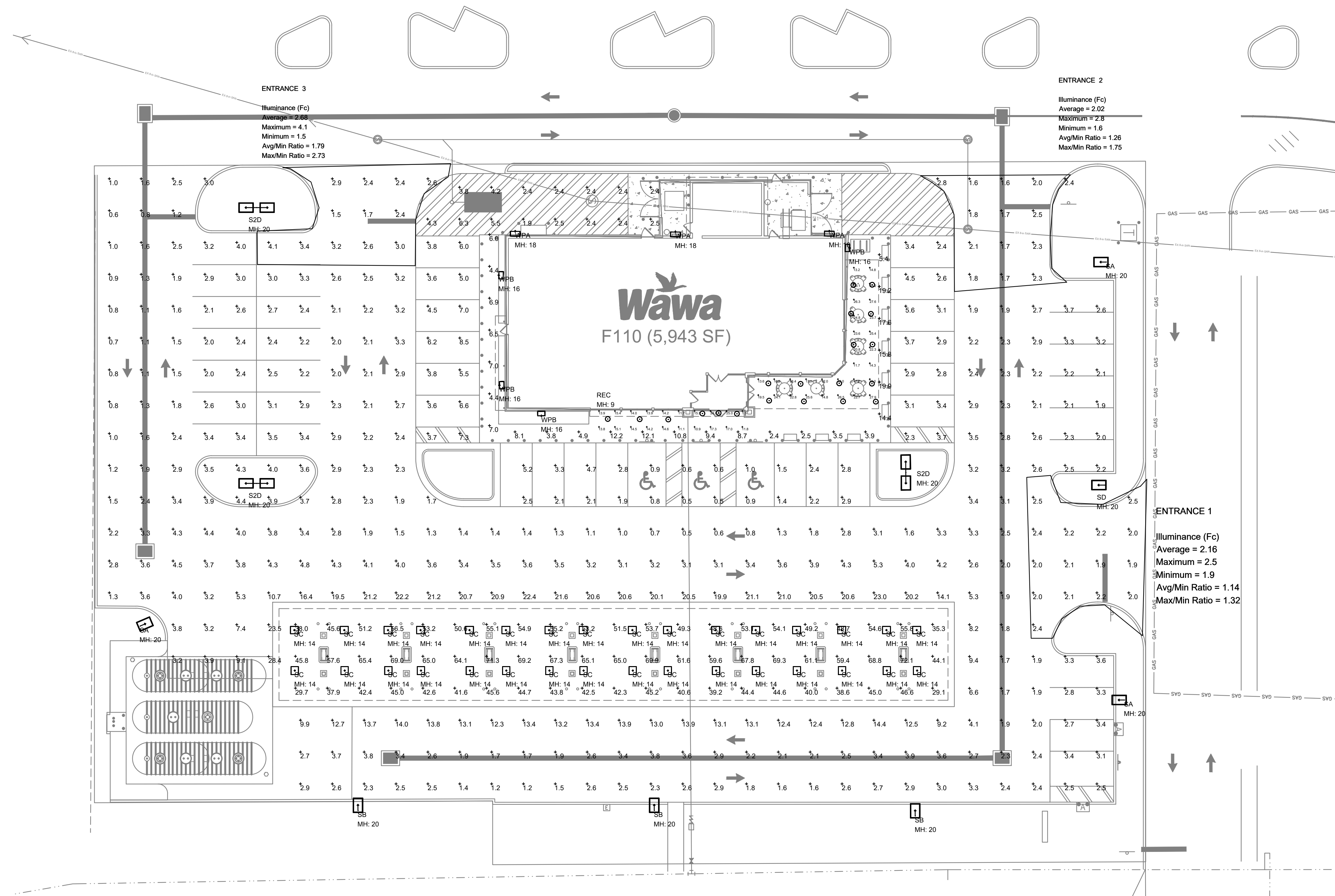
**EDC ENGINEERS & SURVEYORS ENVIRONMENTAL**

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PORT SAINT LUCIE, FL 34987  
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18-302

2 OF 2

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Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
SA	3	SA	SINGLE	N.A.	0.950	ARE-EDG-4MB-xx-06-E-UL-xx-525-xxxx-40K	102.72
SB	3	SB	SINGLE	N.A.	0.950	ARE-EDG-3MB-xx-06-E-UL-xx-525-xxxx-40K	102.45
SC	32	SC	SINGLE	N.A.	0.950	CAN-304-PS-xx-06-E-UL-700-40K or BXCP-A006-UD7 (700mA)	132.5
SD	1	SD	SINGLE	N.A.	0.950	ARE-EDG-5M-xx-06-E-UL-xx-525-xxxx-40K	101.12
WPA	3	WPA	SINGLE	N.A.	0.950	SEC-EDG-3M-xx-04-E-UL-700-40K or BXSEK304E-UD7 (700mA)	98
WPB	4	WPB	SINGLE	N.A.	0.950	SEC-EDG-4M-xx-06-E-UL-700-40K or BXSEK406E-UD7 (700mA)	132.1
S2D	3	S2D	BACK-BACK	N.A.	0.950	ARE-EDG-5M-xx-06-E-UL-xx-525-xxxx-40K	101.12
REC	20	REC	SINGLE	N.A.	0.950	KR6-20L-27K-120V	27.2

Label	CalcType	Units	Avg	Max	Min	Ratio Avg to Min	Ratio Max to Min
CANOPY	Illuminance	Fc	52.02	72.1	28.1	2.56	2.56
DELIVERY AREA	Illuminance	Fc	3.19	6.3	1.9	3.32	3.32
PARKING AREA AND INTERNAL DRIVE	Illuminance	Fc	4.33	28.4	0.5	8.66	56.80
SEATING AREA	Illuminance	Fc	18.02	27.9	1.3	13.86	21.46
SIDEWALK	Illuminance	Fc	8.67	19.9	2.4	3.61	8.29
ENTRANCE 2	Illuminance	Fc	2.02	2.8	1.6	1.76	1.75
ENTRANCE 3	Illuminance	Fc	2.68	4.1	1.5	1.79	2.73
ENTRANCE 1	Illuminance	Fc	2.16	2.5	1.9	1.14	1.32

**PHOTOMETRIC PLAN**  
 SCALE 1" = 20'-0"



**E&C Engineers**  
 Cert. of Auth # 26558  
 117 Moorings Drive  
 Lantana, FL 33462  
 Tel (561) 712-1149  
 email: ed@ecengineers.com  
 JOB # 19-3337

Eduardo (Ed) Samour, P.E.  
 Registered Electrical Engineer  
 P.E. # 41186  
 Date:

**EDC**  
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F.B.P.E. CERTIFICATE OF AUTHORIZATION #935  
 L.B. CERTIFICATE OF AUTHORIZATION #098

DESIGNED BY	JLW
DRAWN BY	19-3337-001-001
FILE NAME	PHM-1
LAYOUT	AS SHOWN
SCALE	DATE

4.30.19 BUILDING DEPT. COMMENTS 08/12/19 REVISION PARKING PER SIL COMMENTS 08/12/19 REVISION COMMENTS
---

WAWA - GATEWAY PLAZA  
 MAJOR AMENDMENT  
 MAJOR SITE PLAN  
 FORT PIERCE, FLORIDA

DAVID C. BAGGETT, P.E. (DATE)  
 #81375  

 10250 SW VILLAGE PARKWAY - UNIT 201  
 PORT SAINT LUCIE, FL 34987  
 772-462-2455



Seal:  
 SIGNATURE AND SEAL  
 Landscape Architect  
 Name: Jeffrey W. Smith, RLA  
 License #: LA0001635

Prepared, Reviewed & Submitted By:  
 Conceptual Design Group, Inc.  
 800 East Ocean Boulevard, Suite 1300  
 Stuart, Florida 34986  
 (772) 344-2340 LCC 20000188

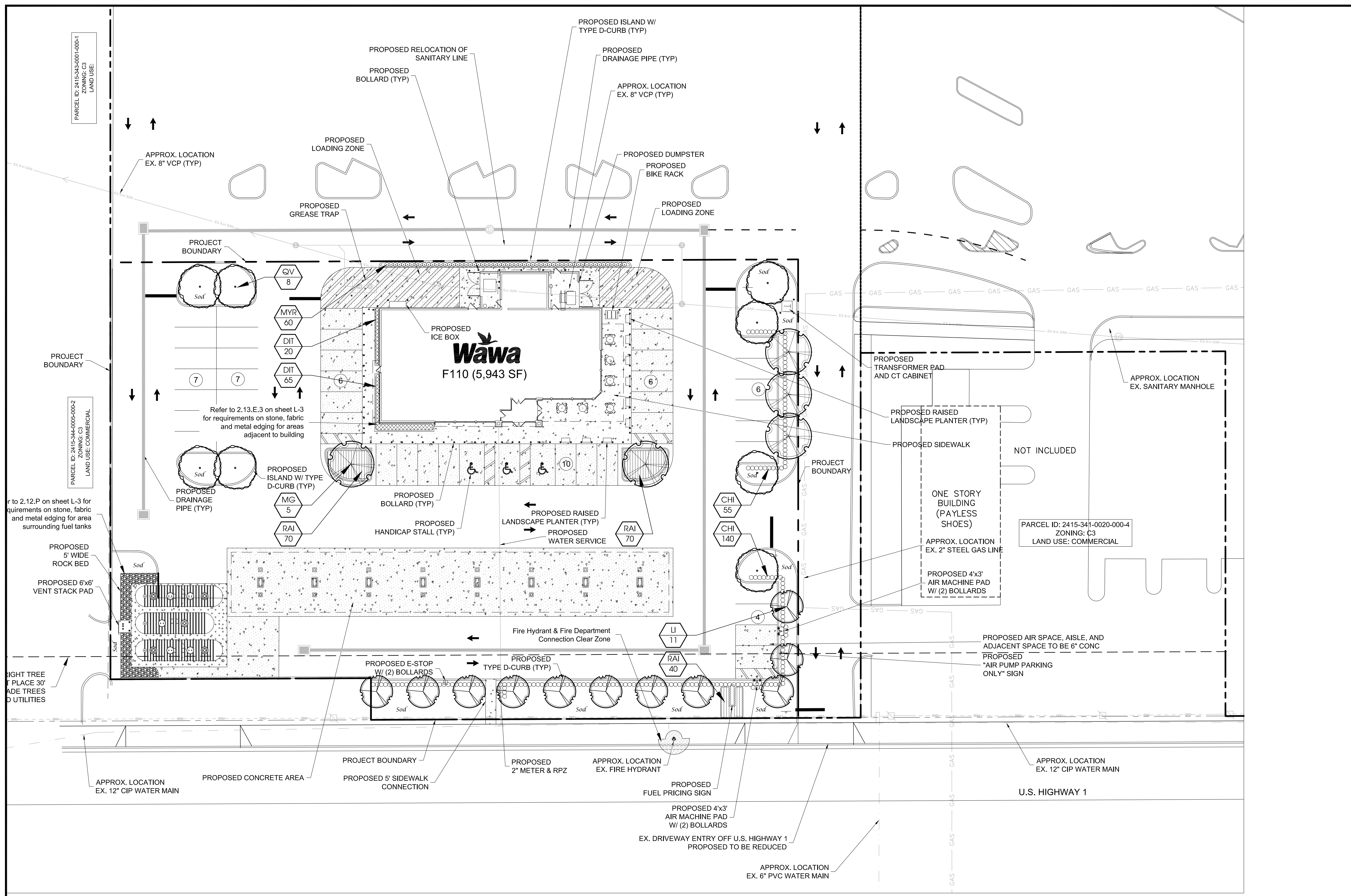
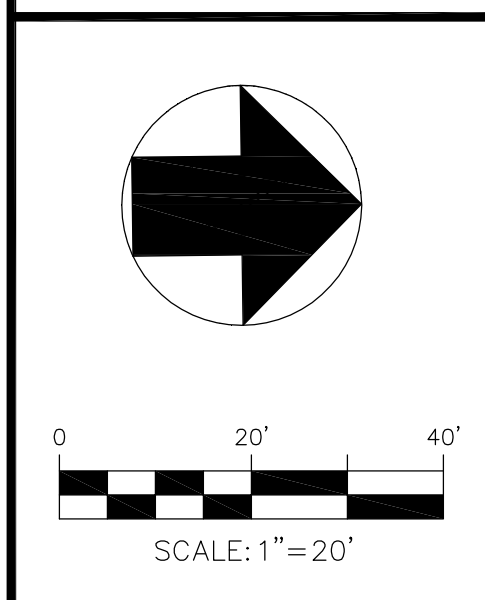
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**Wawa**  
 Gateway Plaza  
 City of Fort Pierce, Florida

DESIGNED: JWS  
 PROJECT: 19-0204  
 DATE: 3-5-2019  
 REVISIONS:

REVISIONS:

REVISIONS:



*Landscape Plan*

# General Notes

- No plant substitutions can be made without the City of Fort Pierce's approval.
  - All required landscape improvements must be inspected and approved by the City of Fort Pierce prior to the issuance of a Certificate of Occupancy.
  - Any existing landscaping, sod, or irrigation damaged or destroyed during the construction shall be replaced prior to the final inspection.
  - All prohibited, exotic and invasive species shall be removed from the entire site prior to issuance of certificate of occupancy.
  - Planting adjacent to fire hydrants is to have a minimum clear radius of 7.5' as required by the NFPA Uniform Fire Code Florida Edition 18.3.4.1 Hydrants. All fire hydrants and fire check valves shall have a minimum of 7.5' from the front and sides with 4' from the rear to all landscape material per the Florida Fire Prevention Code.
  - Contractor to include drainage testing for all trees and palms in bid. If drainage is inadequate, the Contractor shall notify the Owner and Landscape Architect in writing of poor drainage conditions and written direction will be provided to the Contractor of appropriate soil mixture specification to be used.
  - All fertilizers shall meet the City of Fort Pierce's and St. Lucie County's fertilizer ordinances.
  - All tree and plant material to be Florida No. 1 or better, as classified in "Grades and Standards for Nursery Plants", Part 1 and Part II, State of Florida, Dept. of Agriculture, Tallahassee. All plants not listed in "Grades and Standards for Nursery Plants" shall conform to a Florida No. 1 as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species.
  - Underlining or substitution of one species or cultivar for another species is a breach of contract and will be "Rejected" at the time of final landscape inspection unless approved by Landscape Architect.
  - Any and all conditions which the contractor feels will be detrimental to the success of the planting shall be brought to the owner or representative's attention.
  - The contractor shall verify the location of underground utilities prior to commencing work on any project area.
  - Cypress Mulch is NOT ACCEPTABLE.
  - All planting areas and sod to be irrigated to provide 100% coverage. Shop drawings to be submitted by the irrigation contractor for approval prior to installation.
  - Maintain positive drainage, no planting is to block drainage.
  - Drainage Testing
- Prior to planting of trees, palms, and specimen material, each planting pit shall be tested in the following manner to verify adequate drainage.
- Dig each planting pit to the minimum specified size.
  - Fill the planting pit with (12") twelve inches of water. If the water level in the planting pit drops (4") four or more inches within (4) four hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than (4") four inches within the (4) four hour period, then a drainage channel is required.
  - When a drainage channel is required, the drainage channel must extend down through the non porous soil and into porous soil. (See Drainage Testing Detail)
  - Discard all material removed from the drainage channel.
  - When backfilling the planting pit, add coarse gravel to the drainage channel. Also, care must be taken to keep the consistency of the soil mix the same throughout the planting pit.
- Refer to the Wawa Landscape Specification Book and the Wawa Irrigation Specification Book for Figures, Appendices and additional information.

# Plant List

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS
<b>CANOPY / ORNAMENTAL TREES</b>						
11	LI	LAGERSTROEMIA INDICA 'TONTON'	CREPE MYRTLE 'RED'	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
5	MG*	MAGNOLIA GRANDIFLORA	D D BLANCHARD MAGNOLIA	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 2.5' C.T. MIN.
8	QV*	QUERCUS VIRGINIANA	HIGH-RISE LIVE OAK	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
<b>SHRUBS / GROUNDCOVERS</b>						
195	CHI*	CHRYSOBALANUS ICACO	COCOPALM	#3, 2' x 2'	2' O.C.	FULL & THICK
85	DIT	DIANELLA TASMANICA	BLUEBERRY FLAX LILY	#3, 12" x 12"	18" O.C.	FULL & THICK
180	RAI	RAPHIOLEPIS INDICA	INDIAN HAWTHORNE	#3, 12" x 12"	2' O.C.	FULL & THICK
60	MYR*	MYRSANTHES FRAGRANS	SIMPSON STOPPER	#3, 2' x 2'	2' O.C.	FULL & THICK
SOD-1		PASPALUM NOTATUM	BAHA SOD			SEE SPECS
SOD		STENOTAPHRUM SECUNDATUS	ST. AUGUSTINE SOD			SEE SPECS

\* Florida Native  
NOTE: D.B.H. IS MEASURED 4.5' ABOVE GRADE

RAISED PLANTERS: Refer to the Wawa Landscape Specification Book and Wawa Irrigation Specification Book for planting requirements in raised planters adjacent to the outdoor seating areas.

# Landscape Data

Vehicular Use Area Landscaping Adjacent to R.O.W. (East Buffer) 205'  
Sec. 22-187(4)  
Trees Required = 10' Wide Landscape Strip with 1 Tree/300 s.f.  
205 ft. x 10' = 2,050 s.f. / 300 = 7 Trees  
Provided = 7 Trees

Shrubs Required = Continuous Hedge @ 2' o.c.  
205 ft. / 2' o.c. = 103 Shrubs  
Provided = 103 Shrubs

Interior Vehicular Use Area  
Sec. 22-187(7)  
Required = 1 s.f. of interior landscaping per 15 s.f. of vehicular use area  
Trees Required = 1 Tree/100 s.f. of interior landscape area

Existing Site V.U.A.  
Required = 70,099.36 s.f. / 15 s.f. = 4,673.29 s.f.  
Provided = 0 s.f.  
Trees Required = 4,673.29 s.f. / 100 s.f. = 47  
Trees Provided = 0

Proposed Site V.U.A.  
Required = 49,763.6 s.f. / 15 s.f. = 3,318.90 s.f.  
Provided = 4,204.00 s.f.  
Trees Required = 3,318.90 s.f. / 100 s.f. = 33  
Trees Provided = 17 (1 Tree / 200 s.f.)

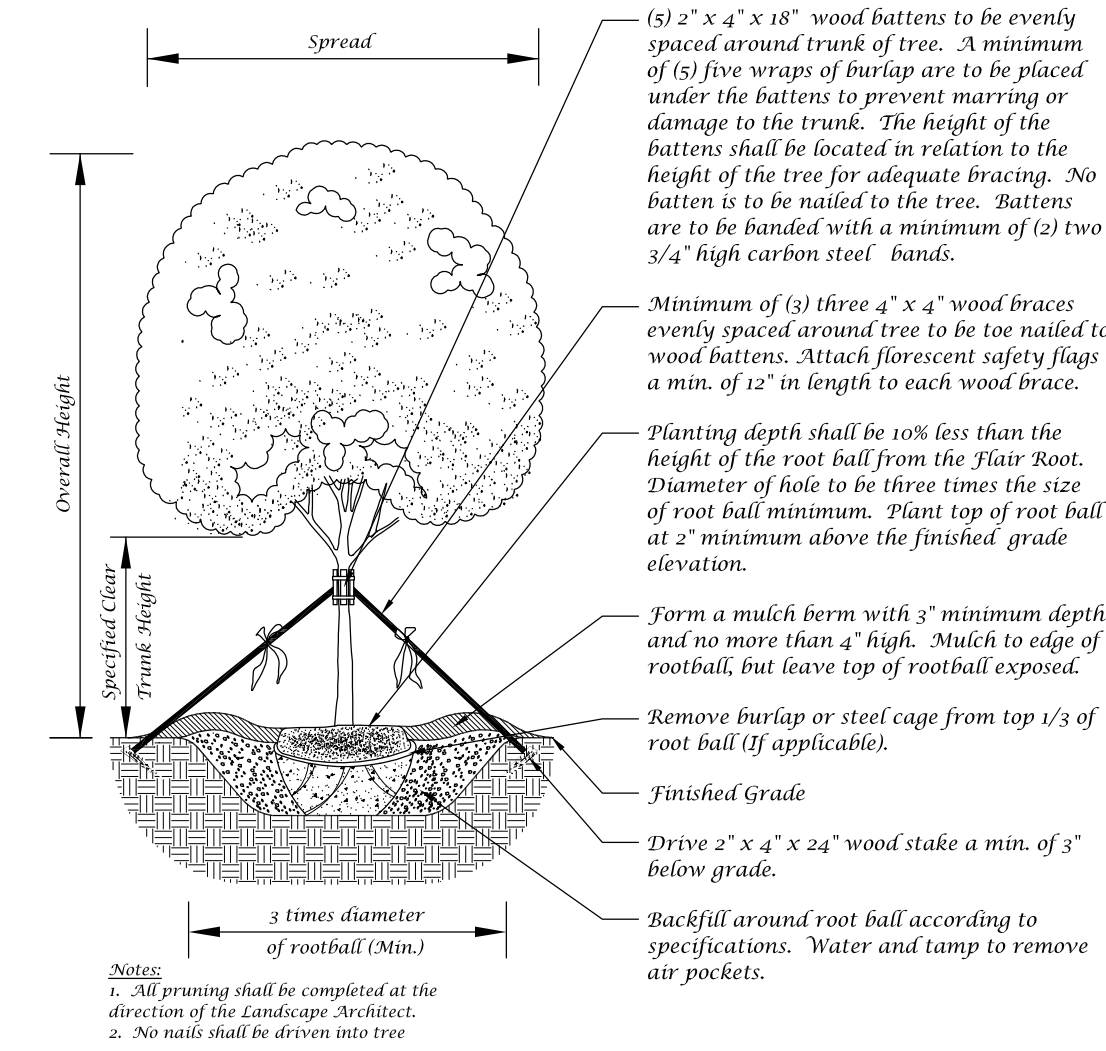
Maximum Use of Palm Trees  
Sec. 22-187(1)(c)  
Required = Fifty (50) percent of the required trees shall be species other than palm trees  
Total Trees Required = 40 Trees  
Maximum Palms Allowed = 20 (40 / 2 = 20)  
Total Palms Provided = 0 (0%)

Total Trees Required = 40 Trees  
Total Trees Provided = 24 Trees  
Total Native Trees Provided = 13 / 24 (54%)

Total Palms Required = 0  
Total Palms Provided = 0

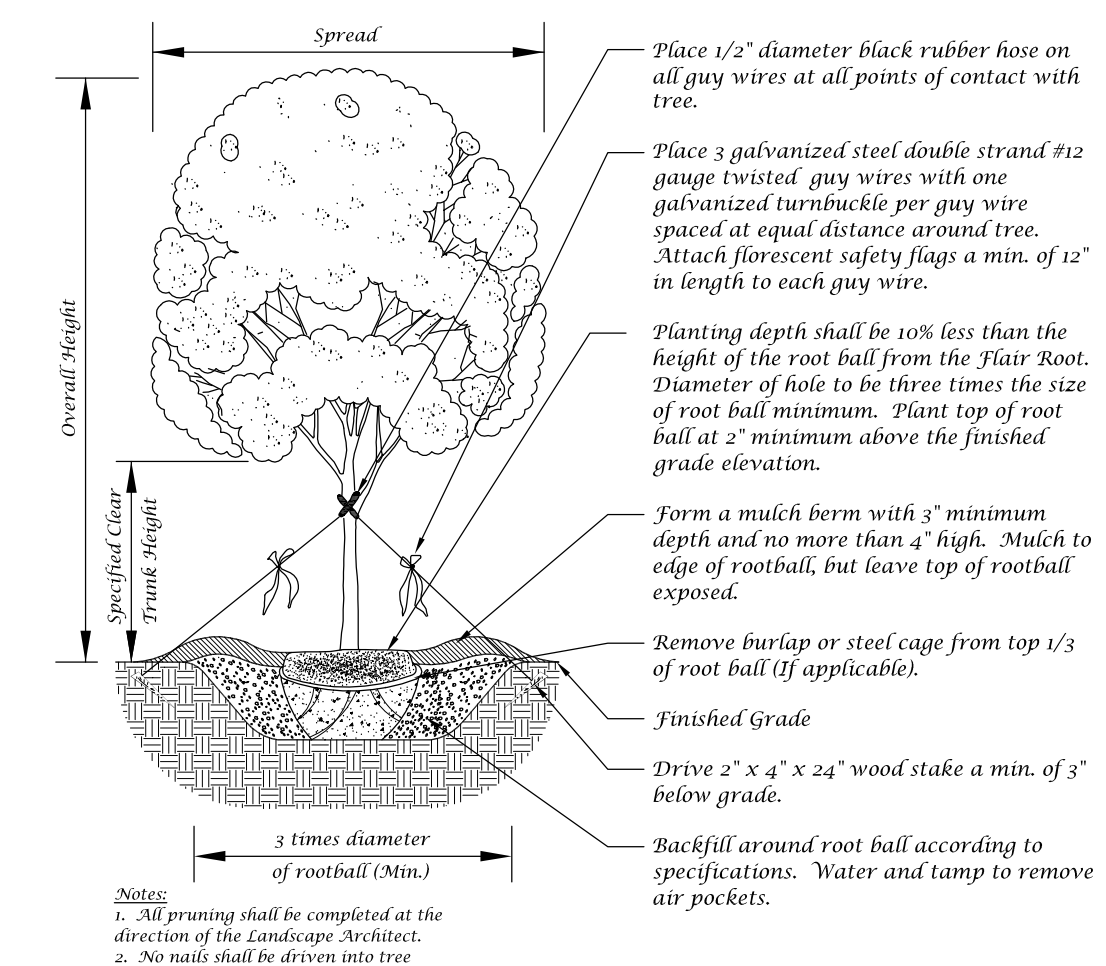
Total Shrubs Required = 103  
Total Native Shrubs Provided = 255 / 510 (50%)

# Landscape Details



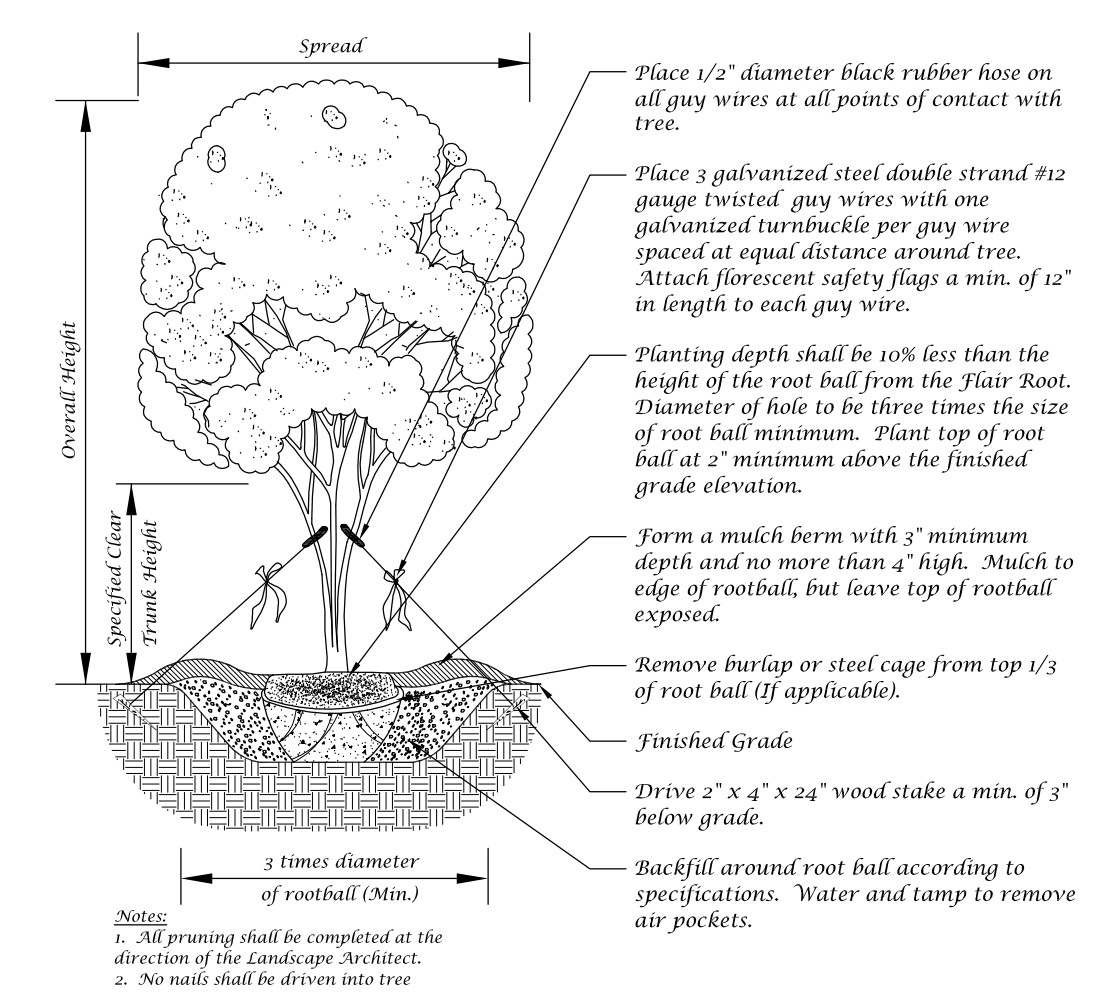
## Large Tree Planting Detail (5" Caliper or Greater)

Not to Scale



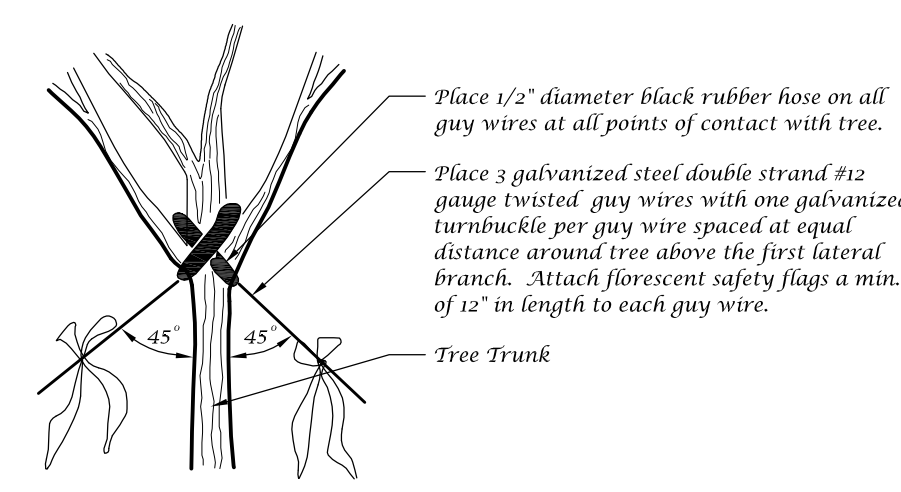
## Drainage Testing Detail

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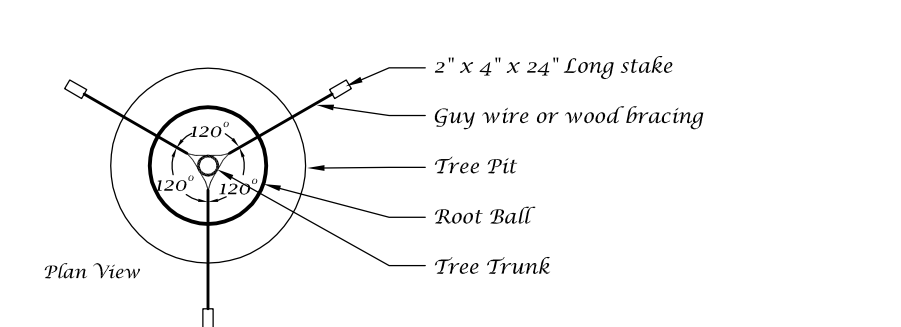
## Multi-Trunk Tree Planting Detail

Not to Scale



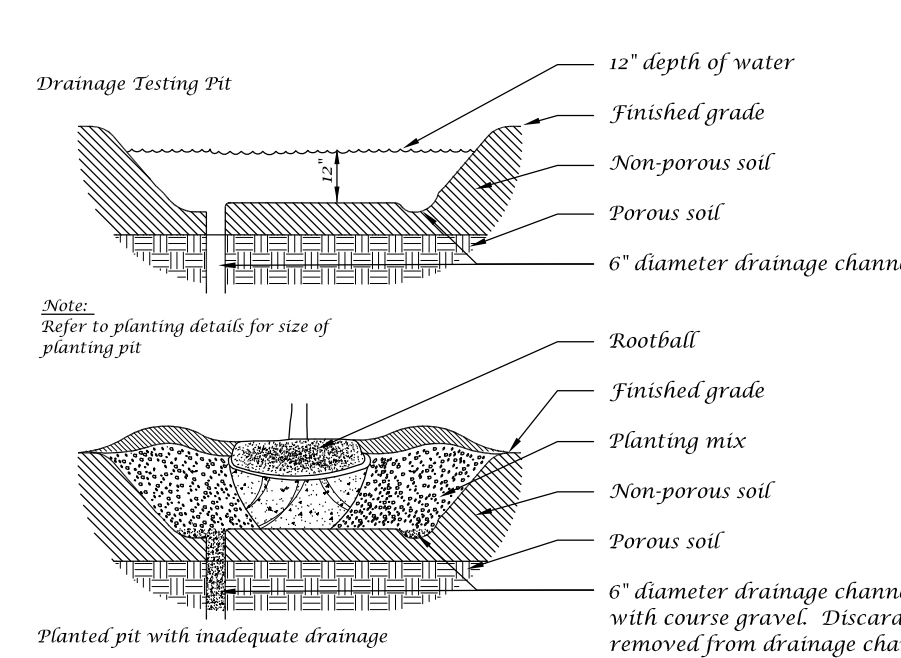
## Guy Wire Attachment Detail

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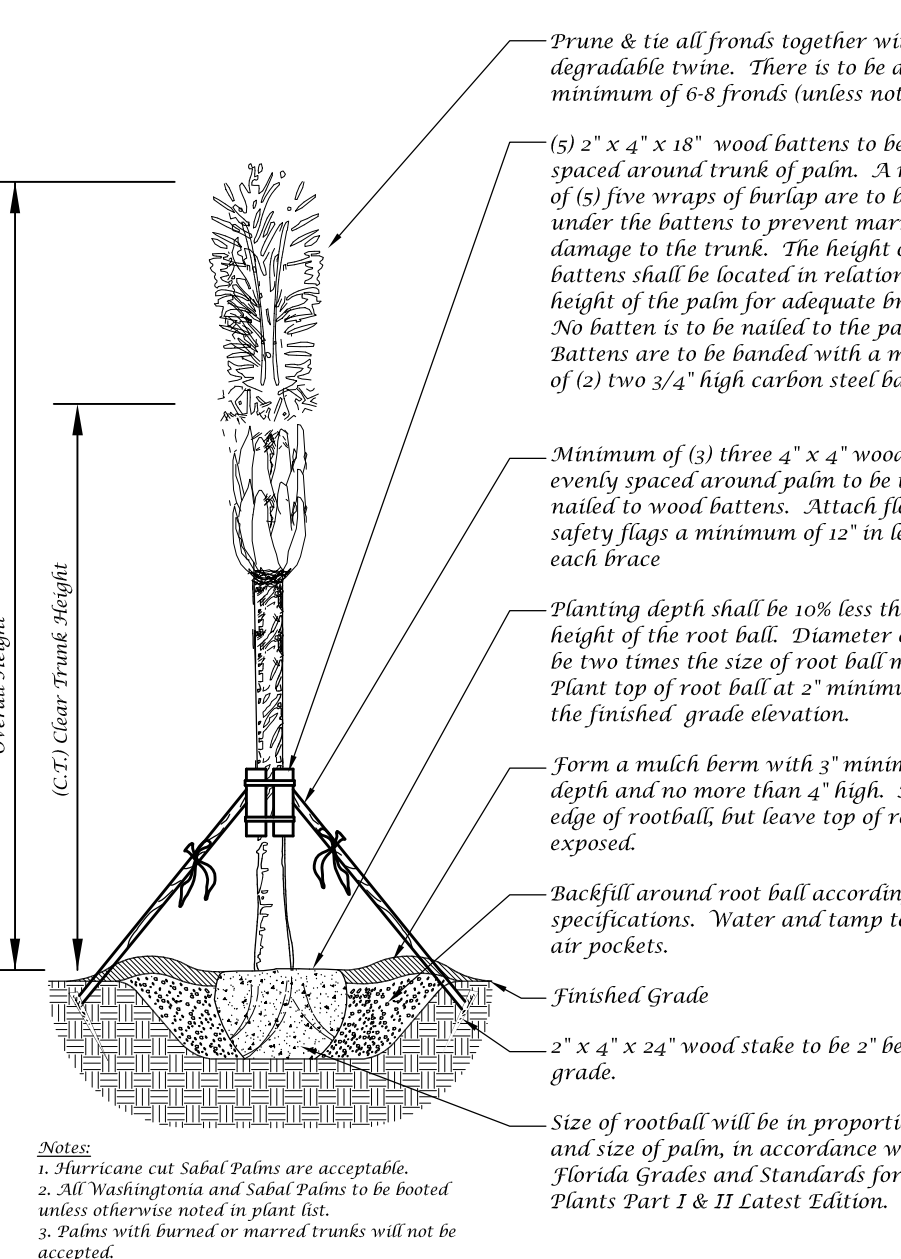
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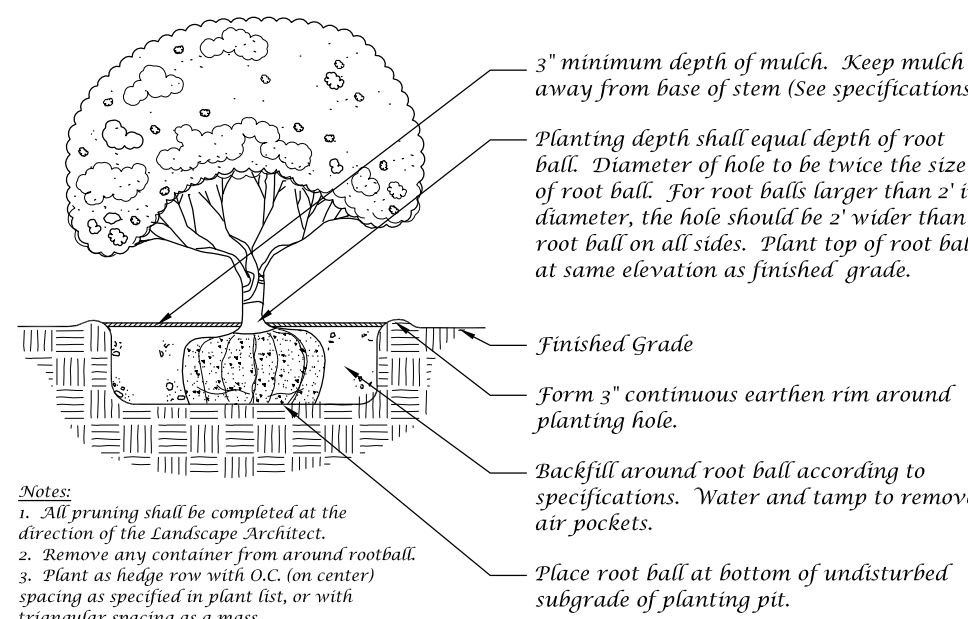
## Planting pit with inadequate drainage

Not to Scale



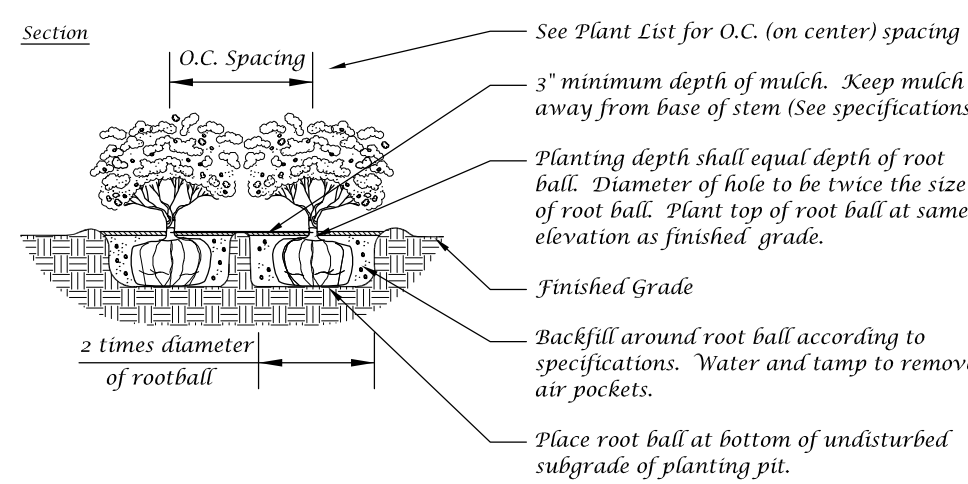
## Palm Planting Detail

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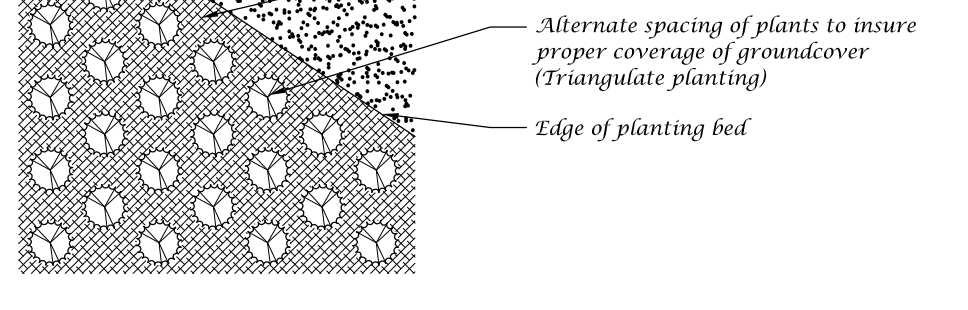
## Shrub Detail

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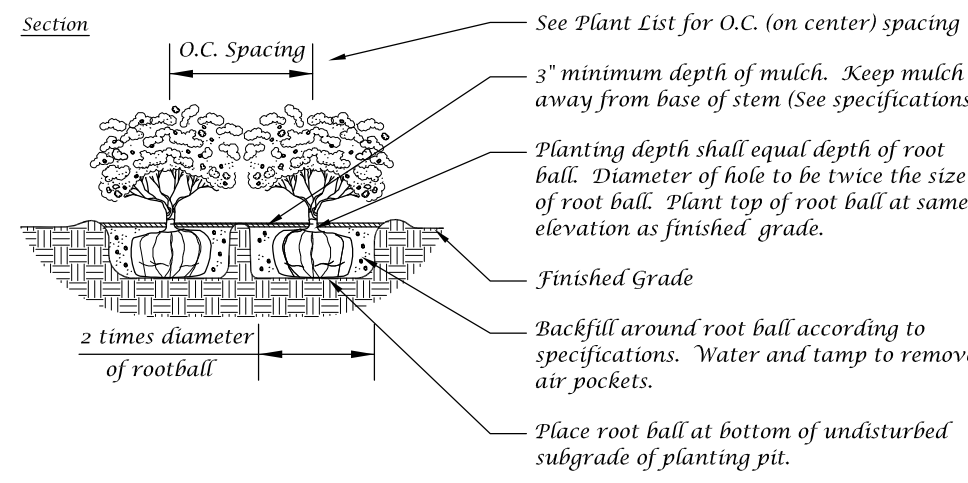
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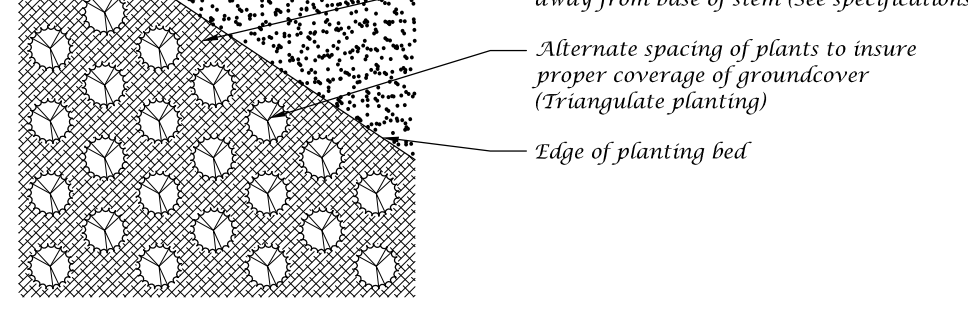
## Ground Cover Detail

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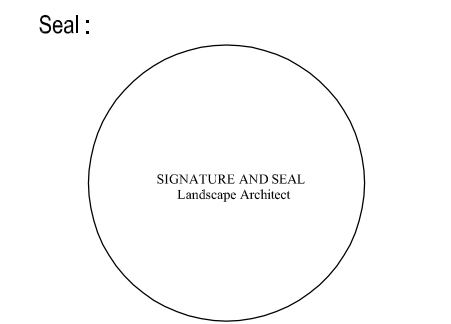
## Ground Cover Detail

Not to Scale



## Ground Cover Detail

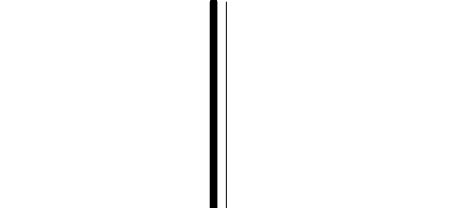
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Name: Jeffrey W. Smith, RLA  
License #: LA0001635

Prepared, Reviewed & Supervised By: Conventional Design Group, Inc. 300 East Ocean Boulevard, Suite 1100, Fort Pierce, Florida 34949 (772) 344-2340 Lic. 2900798

This drawing is the property of the Landscape Architect and shall not be used for any other project without the written consent of the Landscape Architect.



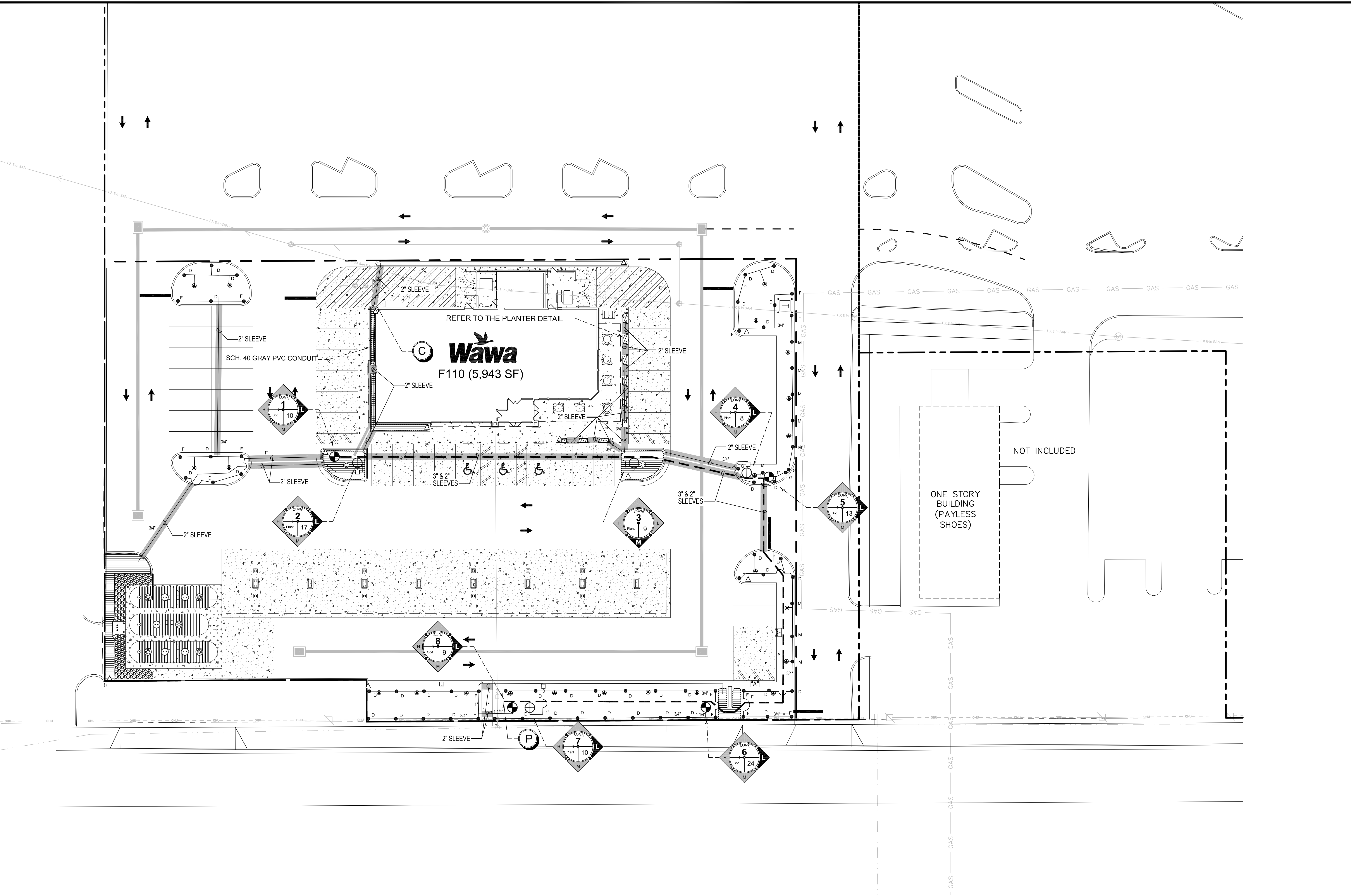
DESIGNED: JWS  
PROJECT: 19-0204  
DATE: 3-5-2019  
REVISIONS:

0 0' 0'  
NOT TO SCALE

**Wawa**  
Gateway Plaza  
City of Fort Pierce, Florida

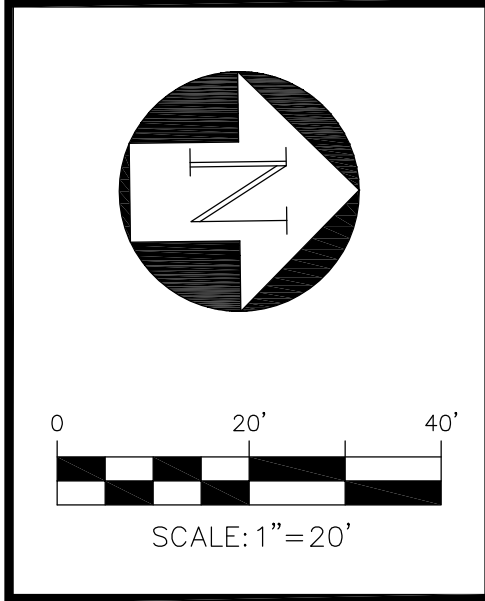
# General Notes, Plant List, Landscape Data & Landscape Details





**Wawa**  
 Gateway Plaza  
 City of Fort Pierce, Florida

DESIGNED: JWS  
 PROJECT: 19-0204  
 DATE: 4-24-2019  
 REVISIONS:

# Irrigation Plan

### GENERAL NOTES

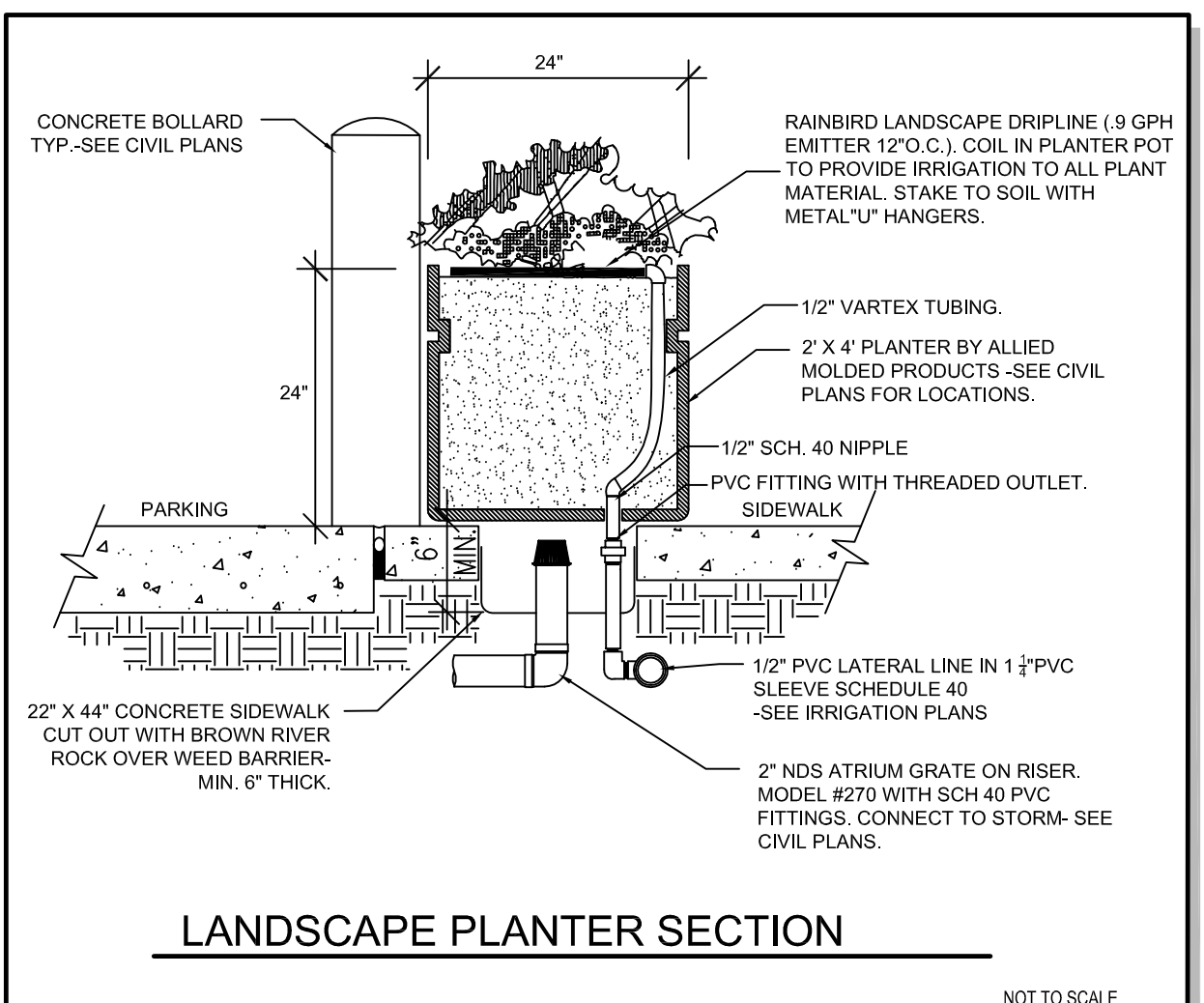
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS. HAND DIG AROUND ANY EXISTING TREES. DO NOT CUT ANY ROOTS OVER 2" IN DIAMETER.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTATORS AND SPRAYS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. DO NOT USE POLYETHYLENE PIPE. USE WELDON 737 WITH A PURPLE PRIMER OR RED HOT CHRISTY'S BLUE GLUE ON ALL CONNECTIONS.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES, WINDOWS AND BLDG. WALLS. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDINGS WINDOWS.
- ALL RISERS SHALL BE PAINTED BLACK OR A COLOR CHOSEN BY THE OWNER'S REPRESENTATIVE AND SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH STAINLESS STEEL CLAMPS. LEAVE THE BOTTOM 12" OF THE PIPE PURPLE ON RECLAIMED SYSTEMS.
- ALL CONTROL WIRE CONNECTIONS SHALL BE MADE IN VALVE BOXES USING 3M DBR-Y WIRE CONNECTORS AND SEALANT WITH WIRE NUTS.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING ALL IRRIGATION INSTALLATION. THE CONTRACTOR SHALL NEATLY MARK IN RED INK ON A WHITE BOND PAPER COPY OF THE IRRIGATION PLAN ANY INSTALLATION THAT DEVIATES FROM THE PLAN. THE AS-BUILT DRAWING SHALL ALSO LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. MEASUREMENTS SHALL BE MARKED ON THE PLAN EVEN WHEN THE EQUIPMENT IS INSTALLED IN THE EXACT LOCATION AS THE PLAN. PROVIDE THE OWNER A PDF OF THE AS-BUILT PLAN.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES. THE VALVE BOXES SHALL BE PURPLE WHEN USING RECLAIMED WATER.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS OR INSIDE A SCH. 40 SLEEVE.
- ALL HEADS SHALL BE INSTALLED A MINIMUM OF 24" FROM ANY WALL AND A MINIMUM OF 6" FROM ANY SIDEWALK, PATIO OR ROAD. (MINIMUM OF 2'-0" WHERE THERE ARE NO BUMPER STOPS) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. INSTALL THE 12" POP-UP HIGHER WHERE BLOCKED BY TALL SHRUBS.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY THEIR WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP OR AS OUTLINED IN THE WRITTEN SPECIFICATIONS.
- ELECTRICAL SERVICE TO LOCATION OF THE CONTROLLER, WELL OR PUMP SHALL BE PROVIDED TO A JUNCTION BOX OR DISCONNECT AT THE EQUIPMENT LOCATION BY THE ELECTRICAL CONTRACTOR OR BY OWNER WHEN IT IS NOT PART OF THE BID PACKAGE. CONFIRM THE LOCATION OF THE CONTROLLER WITH THE OWNER OR GENERAL CONTRACTOR BEFORE ANY INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN. ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER, SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOO IN THESE AREAS.
- 48 HOURS BEFORE DIGGING, CALL 1-800-432-4776 (SUNSHINE STATE ONE CALL CENTER)
- INSTALL THREE EXTRA CONTROL WIRES TO EACH TERMINATION OF THE MAIN. ALL CONTROL WIRES SHALL BE INSTALLED INSIDE OF SCH. 40 GRAY PVC CONDUIT WHERE THEY CANNOT BE UNDER THE MAN.

### DRIP TUBING NOTES

- INSTALL ALL DRIP TUBING AT GROUND LEVEL AFTER PLANT INSTALLATION. INSTALL NETAFIM TSL6 U SHAPED WIRE STABILIZERS A MIN. OF 4" O.C. TO HOLD THE LINES IN PLACE.
- KEEP ALL DRIP LINE CLEAN AT ALL TIMES BEFORE THE FINAL CONNECTION. ALL TUBE ENDS SHALL BE INTERCONNECTED TO ALL OTHER DRIP TUBES. DO NOT DEAD END TUBING. SINGLE ROWS SHALL HAVE AN END CAP AND NOT BENT OVER OR TAPED.
- AVOID SHARP BENDS IN THE TUBING. DO NOT BEND THE TUBING WITH LESS THAN A 12" RADIUS. THERE SHALL NOT BE ANY KINKS IN THE TUBING.
- ALL DRIP TUBING SHALL HAVE UNIFORM SPACING AND BURIAL DEPTH. THE PLAN DOES NOT ALWAYS REFLECT THE EXACT SPACING OR LAYOUT OF THE TUBING. LAYOUT THE TUBING DOWN THE LONGEST WIDTH WHEN POSSIBLE. ADAPT THE TUBING TO CURVED BEDS OR PLANTERS AS REQUIRED. ADJUST AND ADAPT THE TUBING FOR ALL TREES. REFER TO THE TREE DRIP RING DETAIL.
- INSTALL DRIP TUBING TO ALL AREAS THAT SHALL RECEIVE PLANT MATERIAL. SEE THE LANDSCAPE PLAN FOR THE EXACT LOCATIONS. THERE SHALL BE A MINIMUM OF TWO ROWS OF TUBING ON A SINGLE ROW OF PLANTS.
- SPACE TUBING AS NOTED ON THE PLAN. DO NOT SNAKE TUBING BACK AND FORTH EXCEPT WHERE SHOWN ON THE PLAN. ALWAYS INSTALL A HEADER PIPE UNLESS THE TOTAL GALLONAGE OF AN AREA IS 3 GPM OR LESS.
- REFER TO THE MANUFACTURERS DRIP INSTALLATION MANUAL FOR INSTALLATION INSTRUCTIONS. ALL FITTINGS SHALL BE THE SAME TYPE AND MANUFACTURER AS THE DRIP TUBING.
- ALWAYS FLUSH ALL LINES BEFORE FINAL CONNECTION.
- INSTALL A "SYSTEM ON" INDICATOR FLAG ON EVERY ZONE WHERE IT IS SEEN FROM THE CONTROL VALVE.
- INSTALL FLUSH VALVES WHERE SHOWN AT THE ENDS OF EACH RUN OF DRIP TUBING AND ONE FOR EVERY 15 GPM OF TUBING.
- CLEARLY AND NEATLY MARK THE TOP OF EACH VALVE BOX WITH THE TYPE OF EQUIPMENT THAT IT CONTAINS. (I.E. VALVE, FLUSH VALVE, ETC.)
- THE DRIP ZONE VALVE ASSEMBLY SHALL BE PLACED INSIDE AN ARMOR JUMBO VALVE BOX. THE VALVE SHALL BE INSTALLED AS PER THE DETAIL ON THE PLANS.
- THE DRIP TUBING SHALL HAVE EMITTERS EVERY 12" AND SHALL BE SPACED 12" APART IN GROUND COVER BEDS AND A MINIMUM OF TWO ROWS FOR EACH ROW OF SHRUBS WHEN THE SHRUBS ARE SPACED FARTHER THAN 2' ON CENTER.
- REFER TO THE ZONE CONTROL KIT DETAIL FOR FILTER SIZES.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HISHER WORK WITH THE LANDSCAPE CONTRACTOR.

### LEGEND

SYMBOL	DESCRIPTION
●	HUNTER PRS40 6" POP-UP SPRAY HEAD
—	CLASS 200 PVC DRIP HEADER PIPE-REFER TO DETAIL
○	NETAFIM DRIP BUBBLER TREE RING- REFER TO DRIP BUBBLER DETAIL
□	NETAFIM FLAG INDICATOR- REFER TO THE DETAIL
△	NETAFIM FLUSH VALVE
▨	NETAFIM TECHLINE CV 17MM DRIP TUBING- 1 GPH EMITTERS EVERY 12". PLACE ROWS 12" APART IN ALL GROUND COVER BEDS. INSTALL A DOUBLE ROW ON ALL HEDGE ROWS. REFER TO ALL NOTES AND DETAILS ON THIS SHEET.
▨	GROUND COVER
▨	HEDGE
---	CLASS 200 PVC MAINLINE-1 1/2"
---	CLASS 200 PVC LATERAL LINE- SIZE AS SHOWN UNTIL A SMALLER SIZE IS SHOWN. MINIMUM SIZE OF 3/4"
▨	SCH. 40 SLEEVE (MINIMUM OF 24" DEPTH AND 2 SIZES LARGER THAN THE PIPE SIZE OR AS LABELED ON THE PLAN) CUT AND PATCH THE EXISTING PAVEMENT WHERE REQUIRED.
⊕	HUNTER ICV ELECTRIC VALVE. SIZE AS SHOWN BELOW. INSTALL VALVE IN A 11"X17" VALVE BOX AND LID
⊕	0-25 GPM=1"
⊕	HUNTER ZONE CONTROL KIT- REFER TO THE DETAIL. PURPLE BOX AND LID.
⊕	CONTROLLER- HUNTER ICC-2. WHERE SHOWN ON THE PLAN, INSTALL WITH A HUNTER MINI-CLIK RAIN SENSOR. GROUND WITH A MINIMUM 8" COPPER CLAD ROD. SLEEVE TO AS REQUIRED.
⊕	POINT OF CONNECTION TO A 1" POTABLE IRRIGATION METER. REFER TO THE UTILITY PLAN FOR THE EXACT LOCATION AND DETAILS.



### ZONE CHART

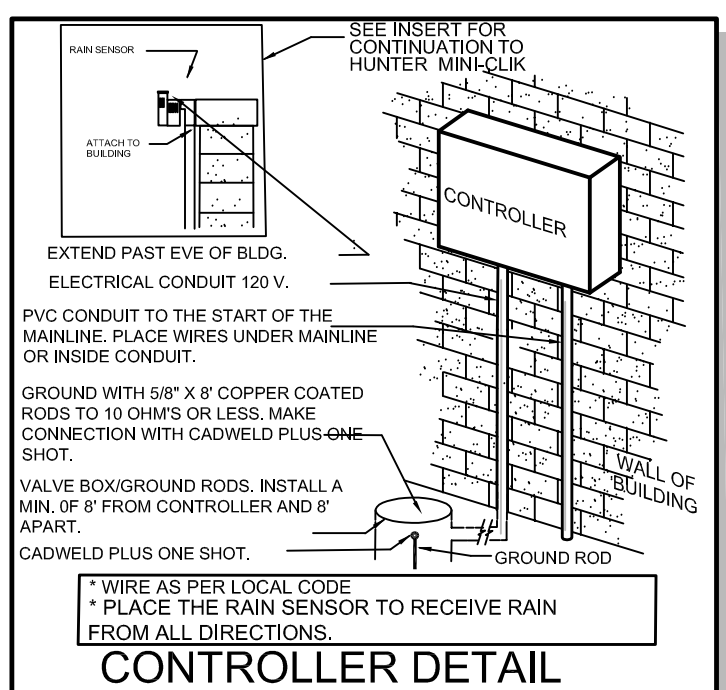
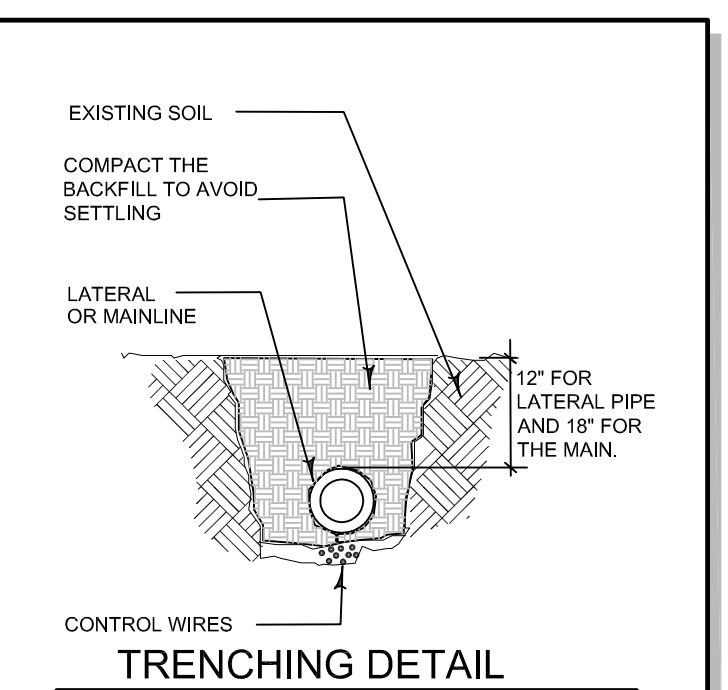
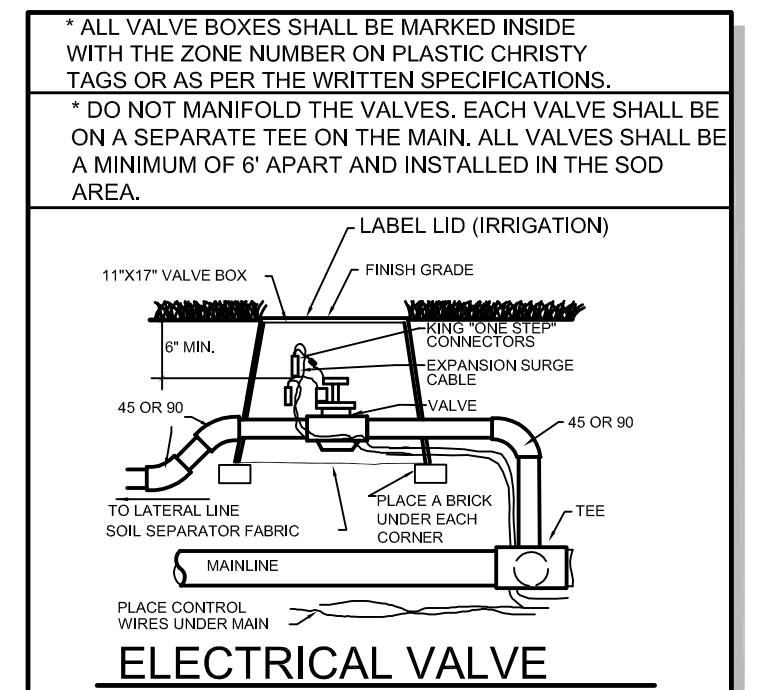
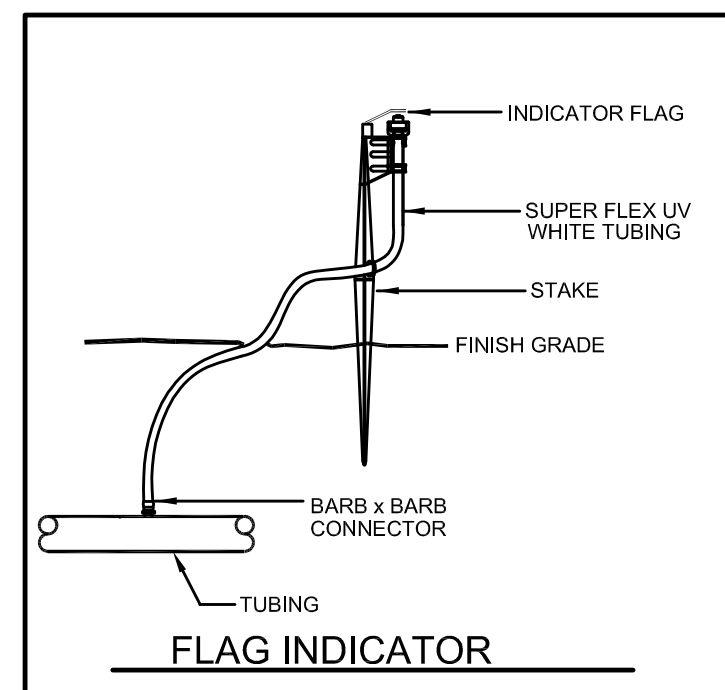
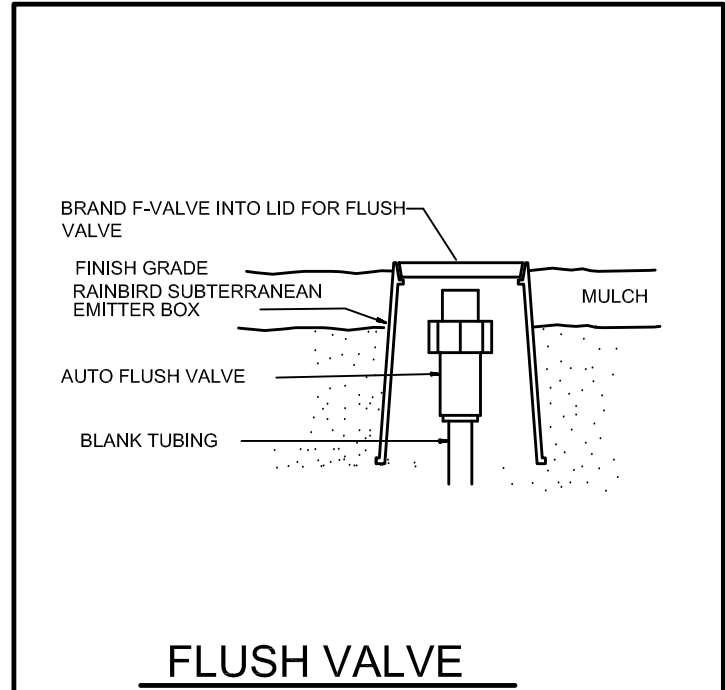
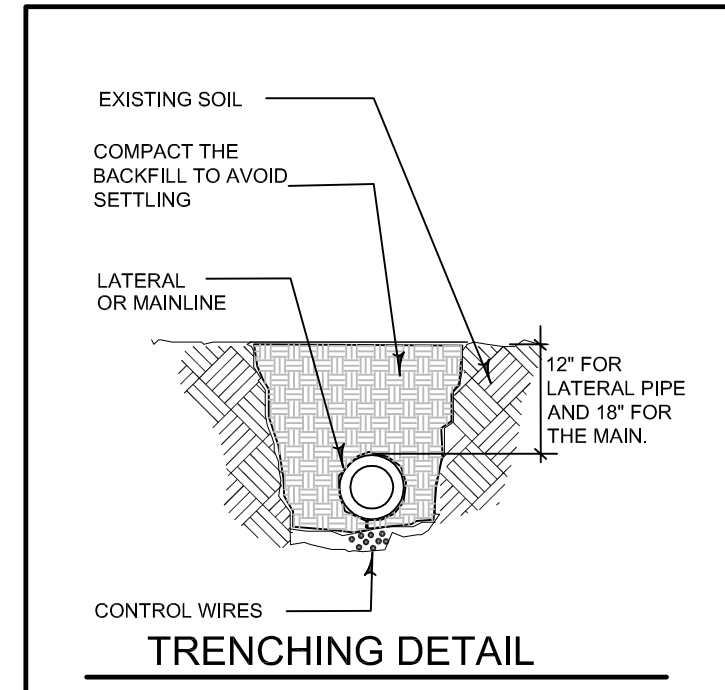
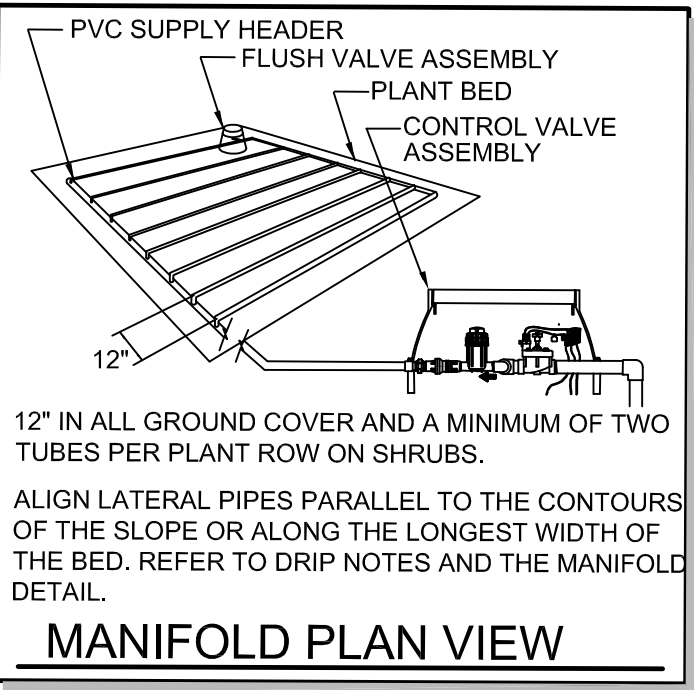
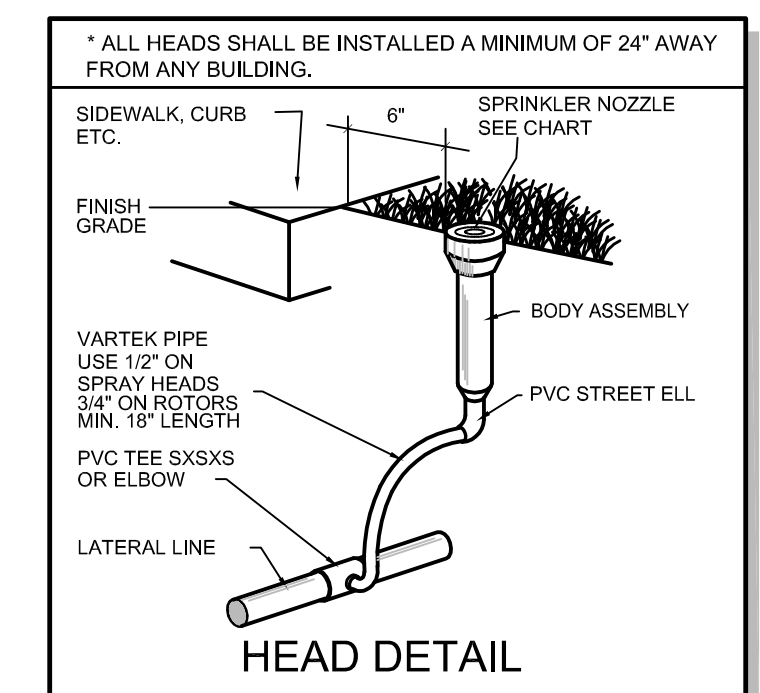
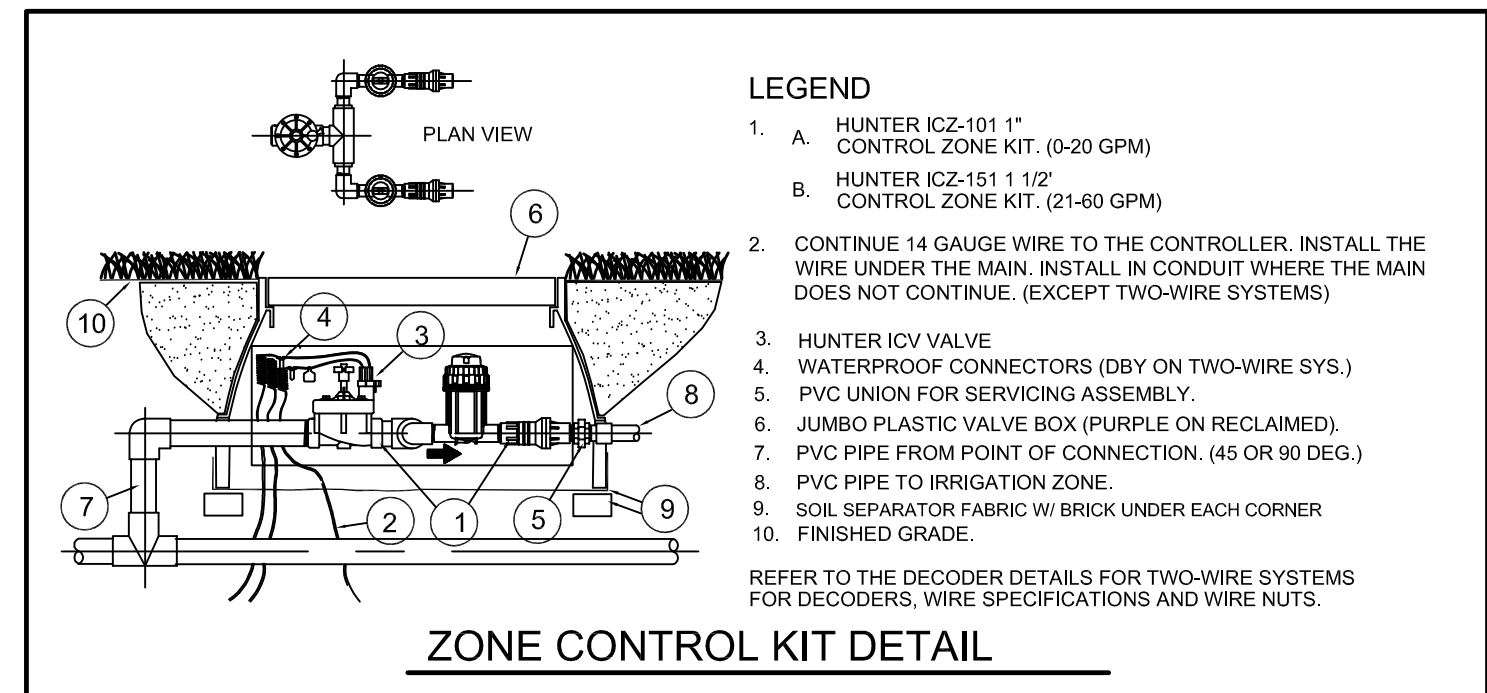
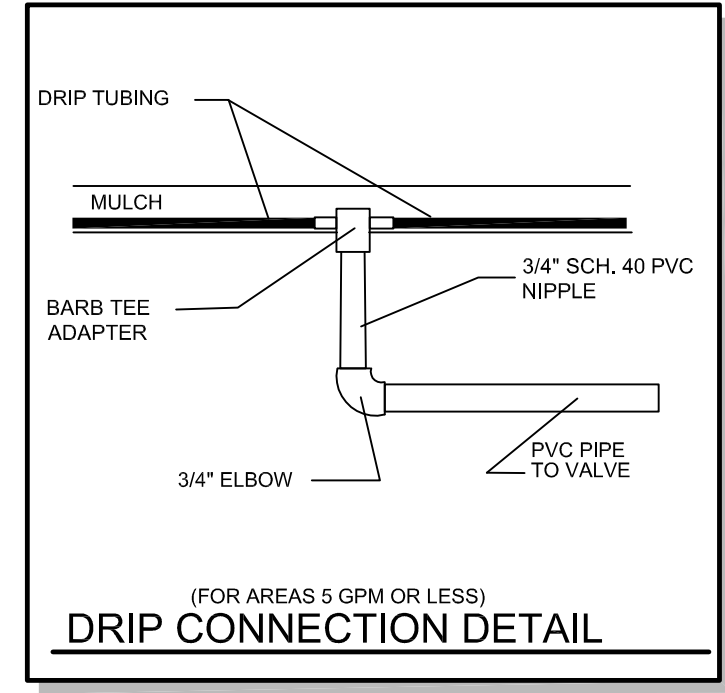
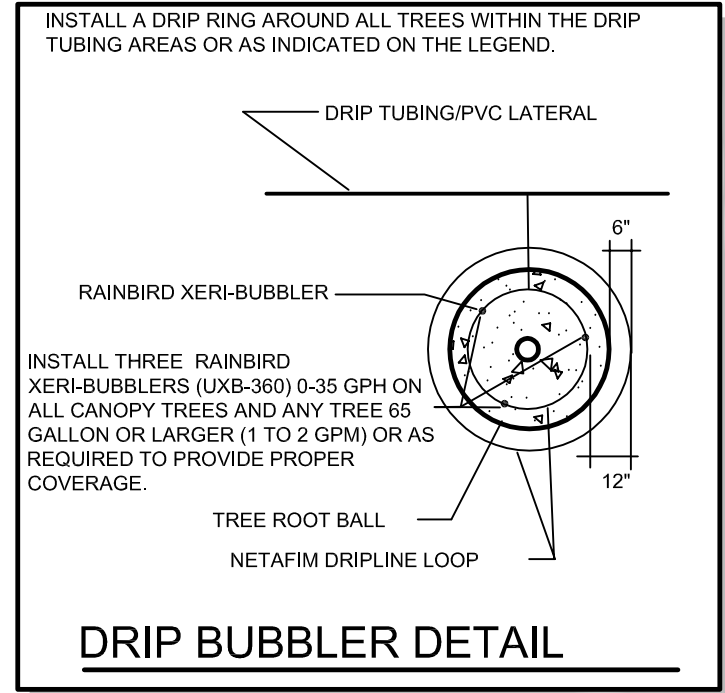
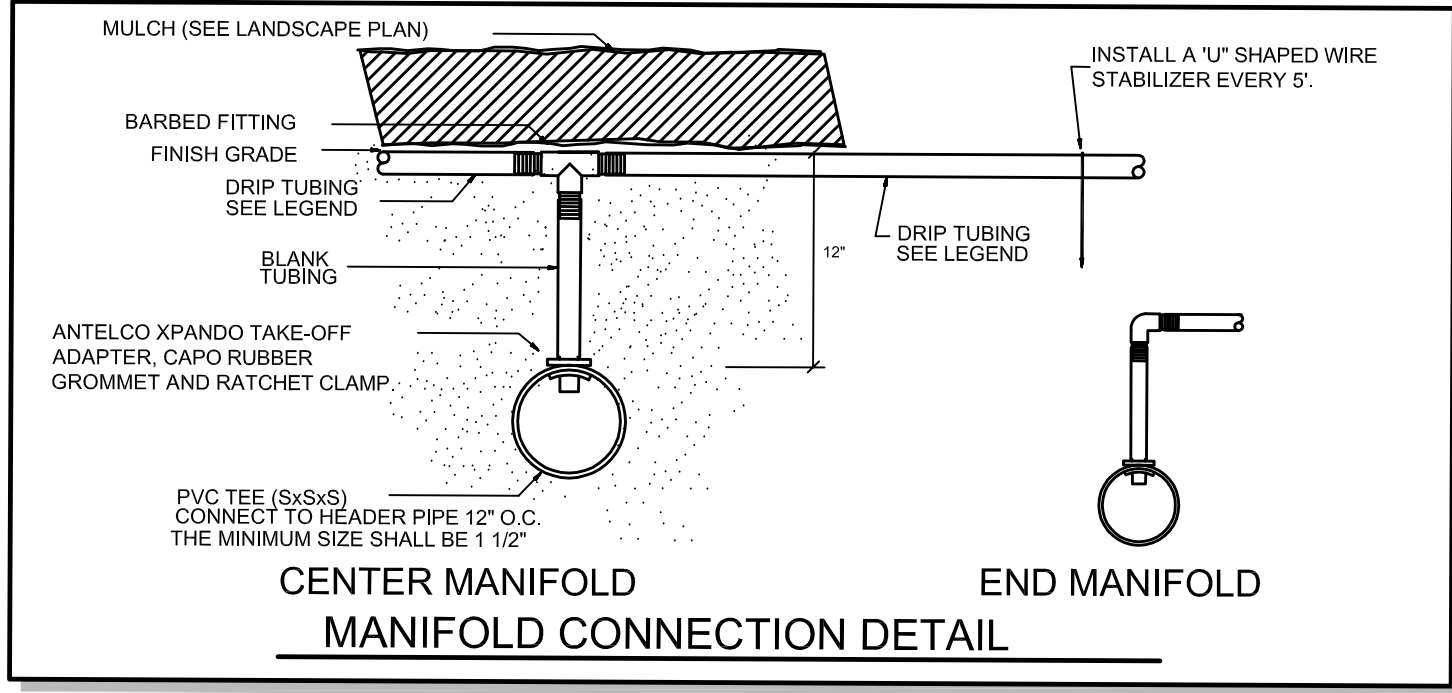
ZONE	PLANT (TYPE)	IRRIGATION (TYPE)	WATER (DEMAND)	PRECIP. (RATE) (IN. PER WEEK REQ.)	APPLIC. (GPM)	ZONE (MINUTES PER CYCLE)	TOTAL (GALLONS)	
1	SOD	Spray	LOW	0.75	0.5	10	200	
2	PLANT	Drip	LOW	1.5	0.5	17	170	
3	PLANT	Drip	MEDIUM	1.5	1.0	9	180	
4	PLANT	Drip	LOW	1.5	0.5	8	80	
5	SOD	Spray	LOW	0.75	0.5	13	260	
6	SOD	Spray	LOW	0.75	0.5	24	480	
7	PLANT	Drip	LOW	1.5	0.5	10	100	
8	SOD	Spray	LOW	0.75	0.5	9	20	
TOTAL GPM PER RUN CYCLE							100	130
TOTAL GPM PER WEEK (PEAK WEEKLY DEMAND)								3,300

THE RUN TIMES SHOWN FOR THE ZONE IS FOR ONE RUN CYCLE AND WILL PROVIDE HALF THE REQUIRED AMOUNT OF WATER NEEDED PER WEEK. TWO RUN CYCLES PER WEEK ARE REQUIRED TO PROVIDE THE TOTAL WEEKLY REQUIREMENT. ALL RUN TIMES SHALL BE SET TO FOLLOW THE CURRENT WATER MANAGEMENT DISTRICT REGULATIONS AND REDUCED TO ONLY ONE RUN TIME PER WEEK WHEN RESTRICTED BY DAYLIGHT SAVINGS TIME OR WATER RESTRICTIONS. THE ZONE CHART IS PROVIDED AS A GENERAL OUTLINE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO SET THE RUN TIMES BASED ON THE SPECIFIC SITE CONDITIONS AND PLANT REQUIREMENTS. THIS SHALL INCLUDE, BUT NOT LIMITED TO, SOIL TYPE, DRAINAGE, SLOPES, SUN EXPOSURE AND THE ESTABLISHMENT PERIOD. THE TOTAL GPM REQUIRED PER YEAR WILL BE LESS THAN THE PEAK DEMAND PER WEEK TIMES 52 WEEKS, BASED ON THE RUN TIMES BEING REDUCED BY SENSORS AND A REDUCED WATER DEMAND IN THE WINTER MONTHS.

### NOZZLE CHART

LETTER	SPEC.	COLOR	G.P.M. 40 PSI	DISTANCE	RADIUS	ZONE LABELS
A	MP2000	RED	1.47	19'	FULL 360	
B	MP CORNER	TURQUOISE	.45	14'	CORNER 105	
C	MP CORNER	TURQUOISE	.19	12'	CORNER 45	
D	MP2000	BLACK	.74	19'	HALF 180	
F	MP2000	BLACK	.40	19'	QUARTER 90	
G	MP END STRIP	IVORY COPPER	.22	5' X 15'	END STRIP	
H	RAIN. XPCN	BLACK	.23	4.5'	HALF PATTERN	
M	MP SIDE S	BROWN	.44	5' X 30'	SIDE STRIP	
S	MP815-90	GRAY	.49-.93	8'-16'	90-180	
V	MP3000	BLUE	.86	30'	QUARTER 90	
W	MP3000	BLUE	1.82	30'	HALF 180	
X	MP3000	YELLOW	2.73	30'	THREE QTR. 270	
Y	MP3000	GRAY	3.64	30'	FULL 360	
Z	MP2000	GREEN	1.10	19'	THREE QTR. 270	

THE NOZZLES LISTED SHOW THE TYPE OF MP ROTATOR NOZZLE THAT SHOULD BE USED. THE CONTRACTOR SHOULD INSTALL CORRECT NOZZLE IN EACH HEAD AS SHOWN BY THE LETTER BESIDE THE HEAD ON THE PLAN. DO NOT USE MP1000 SERIES NOZZLES. THE GPM, DISTANCE AND ANGLE ON THE NOZZLE CHART ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST ALL NOZZLES TO PROVIDE THE 100% COVERAGE, BUT LIMIT OVERTHROW ON TO BUILDINGS, WALLS, PAVEMENT, ETC. THE HEADS SHALL BE SPACED AS PER THE PLAN. SCALE THE PLAN FOR DISTANCE. DO NOT ASSUME THAT ALL HEADS ARE SPACED AS PER CONVENTIONAL SPRAY HEADS. THE PRECIPITATION RATE FOR THESE NOZZLES IS LESS THAN A CONVENTIONAL SPRAY NOZZLE. FOLLOW THE ZONE CHART FOR AN APPROXIMATE RUN TIME FOR EACH ZONE, BUT SET THE RUN TIME ON THE CONTROLLER BASED ON THE SPECIFIC SITE CONDITIONS. DO NOT SUBSTITUTE WITH STANDARD NOZZLES.

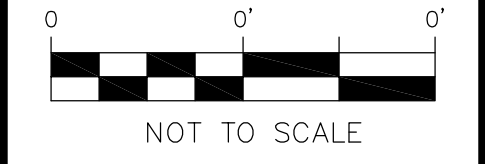


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DESIGNED: JWS  
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 REVISIONS:



## IRRIGATION SPECIFICATIONS

### 1.1.0 GENERAL

- A. THE GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS AND SPECIAL CONDITIONS APPLY TO THE WORK IN THIS SECTION.

### 1.01 DESCRIPTION

- A. SCOPE OF WORK: PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION AND SERVICES NECESSARY TO FURNISH AND INSTALL IRRIGATION SYSTEMS AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- B. CONTRACTOR SHALL SUBMIT JOB SCHEDULE FOR ALL AREAS OF THE WORK. COORDINATE WITH OWNER'S DATES OF OCCUPANCY.

### 1.02 QUALITY ASSURANCE & REQUIREMENTS

- A. PERMITS AND FEES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY AND ALL PERMITS AND ALL INSPECTIONS AS REQUIRED.
- B. MANUFACTURER'S DIRECTIONS: MANUFACTURER'S DIRECTIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURERS OF ARTICLES USED IN THIS CONTRACT FURNISH DIRECTIONS COVERING POINTS NOT SHOWN IN THE DRAWINGS AND SPECIFICATIONS.
- C. ORDINANCES AND REGULATION: ALL LOCAL, MUNICIPAL AND STATE LAWS, AND RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS, AND THEIR PROVISIONS SHALL BE CARRIED OUT
- D. SUPERINTENDENT:

1. THERE SHALL BE A SUPERINTENDENT SATISFACTORY TO THE OWNER'S REPRESENTATIVE
2. THE SUPERINTENDENT SHALL NOT BE CHANGED EXCEPT WITH THE CONSENT OF THE OWNER'S REPRESENTATIVE.
3. THE SUPERINTENDENT SHALL BE AUTHORIZED TO REPRESENT THE CONTRACTOR.

#### E. EXPLANATION OF DRAWINGS:

1. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK.
2. THE TERM LANDSCAPE ARCHITECT AS USED HEREIN SHALL REFER TO THE OWNERS AUTHORIZED REPRESENTATIVE, SPECIFICALLY MENTIONED IN THE SPECIFICATIONS.
3. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES AND DISCREPANCIES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN DESIGN.
4. WORK OF THIS SECTION WHICH IS ALLIED WITH THE WORK OF OTHER TRADES SHALL BE COORDINATED AS NECESSARY.

### 1.03 SUBMITTALS

#### A. MATERIALS LIST:

1. THE CONTRACTOR SHALL FURNISH THE ARTICLES, EQUIPMENT, MATERIALS OR PROCESSES SPECIFIED BY NAME IN THE DRAWINGS AND SPECIFICATIONS. NO SUBSTITUTION WILL BE ALLOWED WITHOUT PRIOR WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
  2. COMPLETE MATERIAL LIST SHALL BE SUBMITTED PRIOR TO PERFORMING ANY WORK. MATERIAL LIST SHALL INCLUDE THE MANUFACTURER, MODEL NUMBER AND SPECIFICATIONS. IF EQUIPMENT IS AS SPECIFIED, NO MANUFACTURER DESCRIPTIVE CATALOGS ARE NECESSARY.
  3. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT MAY BE REJECTED AND THE CONTRACTOR REQUIRED TO REMOVE SUCH MATERIALS FROM THE SITE AT THEIR OWN EXPENSE.
  4. APPROVAL OF ANY ITEM, ALTERNATE OR SUBSTITUTE INDICATES ONLY THAT THE PRODUCT OR PRODUCTS APPARENTLY MEET THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS ON THE BASIS OF THE INFORMATION SUBMITTED.
  5. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF THE LIABILITY UNDER THE GUARANTIES. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.
- B. RECORD AND AS-BUILT DRAWINGS:
1. THE CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE AND COMPLETE "AS-BUILT" RECORD SET OF BOND PRINTS WHICH SHALL BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE AND SPECIFICATIONS AND THE EXACT "AS-BUILT" LOCATIONS, SIZES SIZES AND KINDS OF EQUIPMENT.
  2. THESE DRAWINGS SHALL ALSO SERVE AS WORK PROGRESS SHEETS AND SHALL BE THE BASIS FOR MEASUREMENT AND PAYMENT FOR WORK COMPLETED. THESE DRAWINGS SHALL BE AVAILABLE AT ALL TIMES FOR REVIEWS AND SHALL BE KEPT IN A LOCATION DESIGNATED BY THE LANDSCAPE ARCHITECT.
  3. THE CONTRACTOR SHALL MAKE NEAT AND LEGIBLE NOTATIONS ON THE AS-BUILT PROGRESS SHEETS DAILY AS THE WORK PROCEEDS, SHOWING THE WORK AS ACTUALLY INSTALLED.
  4. BEFORE THE DATE OF PROVISIONAL ACCEPTANCE, THE CONTRACTOR SHALL PROVIDE A CLEAN AND LEGIBLE AS-BUILT DRAWING. THE DRAWING SHALL INDICATE THE LOCATION OF EQUIPMENT AS DESCRIBED BELOW. THE DRAWING SHALL BE RED INK MARKED ON A BOND COPY OR A PDF OF THIS DRAWING.
  5. THE CONTRACTOR SHALL DIMENSION FROM TWO PERMANENT POINTS OF REFERENCE, BUILDING CORNERS, SIDEWALK, OR ROAD INTERSECTIONS, MAINLINES (DIMENSION MAX. 100' ALONG ROUTING).
- A. CONTROL VALVES
- B. ROUTING OF CONTROL WIRING AND MAIN
- C. QUICK COUPLING VALVES WHEN SPECIFIED
- D. CONTROLLER, RAIN SENSOR AND SOIL MOISTURE SENSORS WHEN SPECIFIED.
- E. SLEEVES
- D. OTHER RELATED EQUIPMENT AS DIRECTED BY THE LANDSCAPE ARCHITECT

6. ON OR BEFORE THE DATE OF WORK REVIEW FOR PROVISIONAL ACCEPTANCE, THE CONTRACTOR SHALL DELIVER THE CORRECTED AND COMPLETED AS-BUILT AND PDF TO THE LANDSCAPE ARCHITECT. DELIVERY OF THE AS-BUILT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FINISHING ALL REQUIREMENTS.

#### C. CONTROLLER CHARTS:

1. THE CHART SHALL SHOW THE AREA CONTROLLED BY THE CONTROLLER AND SHALL BE THE MAXIMUM SIZE WHICH THE CONTROLLER DOOR WILL ALLOW.
2. THE CHART IS TO BE A REDUCED DRAWING OF THE ACTUAL AS-BUILT SYSTEM OF A MAXIMUM SIZE THAT WILL FIT INSIDE CONTROLLER HOUSING, DOUBLE SIDED IF REQUIRED FOR READABILITY.
3. THE CHART SHALL BE BLACK LINE PRINT AND A DIFFERENT COLOR SHALL BE USED TO INDICATE THE AREA OF COVERAGE FOR EACH STATION, USING PASTEL OR TRANSPARENT COLORS.
4. WHEN COMPLETED AND APPROVED, THE CHART SHALL BE HERMETICALLY SEALED BETWEEN TWO PIECES OF PLASTIC, EACH PIECE BEING MINIMUM 20 MILS.
5. THESE CHARTS SHALL BE COMPLETED AND APPROVED PRIOR TO FINAL ACCEPTANCE OF THE IRRIGATION SYSTEM.

### 1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. HANDLING OF PVC PIPE AND FITTINGS: THE CONTRACTOR IS CAUTIONED TO EXERCISE CARE IN HANDLING, LOADING, UNLOADING, AND STORING OF PVC PIPE AND FITTINGS.

### 2.01 MATERIALS

- A. GENERAL: USE ONLY NEW MATERIALS OF BRANDS AND TYPES NOTED ON DRAWINGS, SPECIFIED HEREIN, OR APPROVED EQUALS. NO USED EQUIPMENT SHALL BE INSTALLED.

### 2.02 PIPE & FITTINGS

- A. PRESSURE MAIN LINE PIPING AND FITTINGS: (PURPLE RECLAIMED TYPE ON RECLAIMED WATER SYSTEMS) SIZE 3 INCHES OR SMALLER SHALL BE PVC CLASS 200 SOLVENT WELD TYPE.
- B. PRESSURE MAIN LINE PIPING AND FITTINGS: (PURPLE RECLAIMED TYPE ON RECLAIMED WATER SYSTEMS) SIZE 2 1/2 INCHES AND SMALLER SHALL BE SCHEDULE PVC CLASS 200.
- C. NON-PRESSURE LINES: SHALL BE PVC CLASS 200, (PURPLE RECLAIMED TYPE ON RECLAIMED WATER SYSTEMS)

#### D. ALL PIPE AND FITTINGS SHALL CONFORM TO SPECIFIC REQUIREMENTS AS FOLLOWS:

1. PVC (SOLVENT WELD)
  - A. PIPE: MANUFACTURED FROM VIRGIN POLYVINYL CHLORIDE COMPOUND IN ACCORDANCE WITH ASTM D 1784 OR ASTM D 2241, CELL CLASSIFICATION 12454B, HYDROSTATIC DESIGN LESS THAN 2,000 PSI.
2. FITTINGS (SOLVENT WELD OR THREAD): STANDARD WEIGHT SCHEDULE 40, SIDE GATED, INJECTION MOLDED PVC COMPLYING WITH ASTM D 1784, CELL CLASSIFICATION 4B, INCLUDING THREADS WHEN REQUIRED.
3. PVC NIPPLES SHALL BE SCHEDULE 80 WITH MOLDED THREADS.
3. ALL PVC PIPE MUST BEAR THE FOLLOWING MARKINGS:
  - A. MANUFACTURER'S NAME.
  - B. NOMINAL PIPE SIZE.
  - C. SCHEDULE OR CLASS.
  - D. DATE OF EXTRUSION.
- 4) ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING AN 18" VARTEX PVC FLEX PIPE CONNECTION. POLYETHYLENE PIPE AND BARBED FITTINGS SHALL NOT BE USED. USE WELDON 737 WITH A PURPLE PRIMER OR RED HOT CHRISTY'S BLUE GLUE ON ALL CONNECTIONS.

### 2.03 ELECTRICAL (HIGH VOLTAGE)

- A. ALL HIGH VOLTAGE ELECTRICAL SERVICE REQUIRED FOR AUTOMATIC CONTROLLER AND OTHER EQUIPMENT NOTED ON THE DRAWING FOR IRRIGATION SYSTEM WILL BE PROVIDED IN THE ELECTRICAL PLANS OR COORDINATED WITH THE OWNER WHEN ELECTRICAL PLANS ARE NOT PART OF THE CONTRACT DOCUMENTS.

### 2.04 ELECTRICAL (LOW VOLTAGE)

- A. CONNECTIONS BETWEEN CONTROLLER AND REMOTE CONTROL VALVES SHALL BE MADE BY THE CONTRACTOR AS PART OF THESE PLANS.
- B. ALL CONNECTIONS SHALL BE WITH 3M DBY. DBYR CONNECTORS. ANY WIRE THAT CANNOT BE PLACED UNDER THE MAIN SHALL BE INSTALLED INSIDE SCH. 40 RIGID GRAY CONDUIT. SIZE AS REQUIRED. MULTISTRAND OR 18 GAUGE WIRE SHALL NOT BE USED.
- C. INSTALL THREE EXTRA CONTROL WIRES TO EACH TERMINATION OF THE MAIN. ALL CONTROL WIRES SHALL BE INSTALLED INSIDE OF SCH. 40 GRAY PVC CONDUIT WHERE THEY CANNOT BE UNDER THE MAIN.

## REFER TO THE LEGEND FOR THE EQUIPMENT SPECIFICATIONS

### 2.05 ELECTRICAL CONTROL VALVE

### 2.06 GATE VALVES

### 2.07 CONTROLLER

### 2.08 REMOTE CONTROL VALVES

### 2.09 ROTOR HEADS

### 2.10 SPRAY HEADS

### 2.11 VALVE BOXES

- A. VALVE BOXES SHALL BE FABRICATED FROM A DURABLE PLASTIC MATERIAL RESISTANT TO WEATHER, SUNLIGHT AND CHEMICAL ACTION OF SOILS.
- B. VALVE BOX EXTENSIONS SHALL BE BY THE SAME MANUFACTURER AS THE VALVE BOX.
- C. GATE VALVE BOXES SHALL BE ROUND PLASTIC BOXES.
- D. REMOTE CONTROL VALVE BOXES SHALL BE 11" X 17" RECTANGULAR PLASTIC BOXES. (PURPLE RECLAIMED TYPE ON RECLAIMED WATER SYSTEMS)

### 3.01 SITE CONDITIONS

- A. ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SIZES DIMENSIONS AND RECEIVE LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PROCEEDING WITH WORK UNDER THIS SECTION. ANY PIPE SHOWN OUTSIDE OF THE PROPERTY LINE IS SHOWN FOR CLARITY ONLY. ALL PIPE AND HEADS SHALL BE INSTALLED WITHIN THE PROPERTY LINE.
- B. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY HIS OPERATIONS OR NEGLECT. CHECK EXISTING UTILITIES DRAWINGS FOR EXISTING UTILITY LOCATIONS. 48 HOURS BEFORE DIGGING, CALL 1-800-432-4770 (SUNSHINE STATE ONE CALL CENTER)

- C. COORDINATE INSTALLATION OF SPRINKLER IRRIGATION MATERIALS INCLUDING PIPE. SO THERE WILL BE NO INTERFERENCE WITH UTILITIES OR OTHER CONSTRUCTION OR DIFFICULTY IN PLANTING TREES, SHRUBS AND GROUND COVERS.

- D. THE CONTRACTOR SHALL CAREFULLY CHECK ALL GRADES TO SATISFY HIMSELF THAT HE MAY SAFELY PROCEED BEFORE STARTING WORK ON THE SPRINKLER IRRIGATION SYSTEM.

- E. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THEIR WORK WITH THE LANDSCAPE CONTRACTOR. ALL HEAD LAYOUT SHALL MATCH THE PLAN AND THE INSTALLED PLANT BEDS.

### 3.02 PREPARATION

#### A. WATER SUPPLY:

1. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO WATER SUPPLY POINTS OF CONNECTION AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE WELL, UNLESS OTHERWISE NOTED ON WELL SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE GPM AND WATER PRESSURE FROM THE METER OR WELL IS A MINIMUM OF 60 PSI. THE CONTRACTOR SHALL NOT INSTALL ANY IRRIGATION BEFORE THIS IS CONFIRMED IN THE FIELD.
2. CONNECTIONS SHALL BE MADE AT APPROXIMATE LOCATIONS AS SHOWN ON THE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS. REFER TO THE UTILITIES PLAN FOR THE EXACT LOCATION AND DETAILS.

#### B. OBSERVATION SCHEDULE:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT IN ADVANCE FOR THE FOLLOWING OBSERVATION MEETINGS.
  - A. PRESSURE SUPPLY LINE INSTALLATION AND TESTING - 48 HOURS.
  - B. COVERAGE TEST AND PROVISIONAL OBSERVATION FOR APPROVAL - 48 HOURS.
2. WHEN OBSERVATIONS HAVE BEEN CONDUCTED BY OTHER THAN THE LANDSCAPE ARCHITECT, SHOW EVIDENCE IN WRITING OF WHEN AND BY WHOM THESE OBSERVATIONS WERE MADE.
3. NO SITE OBSERVATIONS WILL COMMENCE WITHOUT AS-BUILT DRAWINGS.

#### C. FINAL OBSERVATION

1. THE CONTRACTOR SHALL OPERATE EACH SYSTEM IN ITS ENTIRETY FOR THE LANDSCAPE ARCHITECT AT TIME OF FINAL OBSERVATION. ANY ITEMS DEEMED NOT ACCEPTABLE BY THE LANDSCAPE ARCHITECT, OR NOT IN COMPLIANCE WITH THESE SPECIFICATIONS AND DRAWINGS, SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.

#### D. PHYSICAL LAYOUT:

1. ALL PIPING OR EQUIPMENT SHOWN DIAGRAMMATICALLY ON DRAWINGS OUTSIDE PLANTING AREAS SHALL BE INSTALLED INSIDE PLANTING AREA WHENEVER POSSIBLE. COORDINATE LOCATIONS WITH THE LANDSCAPE CONTRACTOR. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO MOVE HEADS AS REQUIRED TO MATCH THE PLANT BEDS.
2. ALL LAYOUT SHALL BE AS PER THE PLANS.

### 3.03 INSTALLATION

#### A. GENERAL:

1. LINE CLEARANCE: ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF 18 INCHES FROM EACH OTHER AND FROM LINES OF OTHER TRADES. REFER TO THE RECLAIMED WATER REQUIREMENTS AND FOLLOW LOCAL CODE.
2. A FINE GRANULAR MATERIAL BACK FILL WILL BE INITIALLY PLACED ON ALL LINES. NO FOREIGN MATTER LARGER THAN 1/2 INCH IN SIZE WILL BE PERMITTED.
3. HAND DIG WITHIN THE DRILIPE OF EXISTING TREES. DO NOT CUT ANY ROOTS 2' OR LARGER.

#### B. TRENCHING:

1. TRENCHES LOCATED UNDER AREAS WHERE PAVING, ASPHALTIC CONCRETE OR CONCRETE WILL BE INSTALLED SHALL BE BACK FILLED AND COMPACTED.
2. PIPING UNDER EXISTING WALKS IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ANY CUTTING OR BREAKING OF SIDEWALKS AND/OR CONCRETE NECESSARY SHALL BE PERFORMED BY THE CONTRACTOR AND PAVING REPLACED AS A PART OF THE CONTRACT COST. THE CONTRACTOR CAN JET OR WASH THE PIPES UNDER PAVEMENT THAT IS 5' WIDE OR LESS.
3. COORDINATE INSTALLATION OF PIPING AND WIRES UNDER PAVED AREAS.

- C. IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTINGS, OR OTHER CONSTRUCTION ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS WITHOUT COST TO THE OWNER.

1. EXCAVATE TRENCHES TO REQUIRED DEPTHS AS INDICATED ON THE LEGEND. FOLLOW APPROVED LAYOUT FOR EACH SYSTEM.
2. TRENCH BOTTOM SHALL BE FLAT TO ENSURE PIPING IS SUPPORTED CONTINUOUSLY ON AN EVEN GRADE.
3. WHERE LINES OCCUR UNDER PAVED AREAS, CONSIDER DIMENSION TO BE BELOW THE SUBGRADE.
4. PROVIDE MINIMUM COVERAGE AS FOLLOWS UNLESS OTHERWISE SHOWN IN THE LEGEND:

- B. NON-PRESSURE LINES: 12 INCHES.  
C. CONTROL WIRE: 18 INCHES.  
C. BACKFILLING:  
D. TRENCHING AND BACKFILL UNDER PAVING:

#### D. ASSEMBLIES:

1. ROUTING OF SPRINKLER IRRIGATION LINES AS INDICATED ON THE DRAWINGS IS DIAGRAMMATIC. INSTALL LINES (AND VARIOUS ASSEMBLIES) IN SUCH A MANNER AS TO CONFORM WITH THE DETAILS PER PLANS.
2. INSTALL NO MULTIPLE ASSEMBLIES IN PLASTIC LINES. PROVIDE EACH ASSEMBLY WITH ITS OWN OUTLET.
3. PVC PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE INSTALLATION.

#### E. ELECTRICAL SUPPLY:

1. LOW VOLTAGE WIRING SHALL BE PLACED IN THE SAME DITCH AND ALONG SIDE OF MAIN LINES UNLESS OTHERWISE APPROVED.
2. WHEN MORE THAN ONE WIRE IS PLACED IN A TRENCH, TAPE WIRES TO EACH OTHER AT MAXIMUM 12 FEET ON CENTER.
3. PROVIDE A 12 INCH EXPANSION LOOP AT EACH CONNECTION AND DIRECTIONAL CHANGE.
4. USE A CONTINUOUS WIRE BETWEEN CONTROLLER AND REMOTE CONTROL VALVES.

#### F. FLUSHING OF SYSTEM:

1. AFTER ALL NEW SPRINKLER PIPE LINES AND RISERS ARE IN PLACE AND CONNECTED, ALL NECESSARY DIVERSION WORK HAS BEEN COMPLETED AND PRIOR TO INSTALLATION OF SPRINKLER HEADS, THE CONTROL VALVES AND FULL HEAD OF WATER TO FLUSH OUT THE SYSTEM.
2. SPRINKLER HEADS SHALL BE INSTALLED ONLY AFTER FLUSHING OF THE SYSTEM HAS BEEN ACCOMPLISHED TO THE COMPLETE SATISFACTION OF THE LANDSCAPE ARCHITECT.

#### G. SPRINKLER HEADS:

1. INSTALL THE SPRINKLER HEADS AS DESIGNATED ON THE DRAWINGS AND IN ACCORDANCE WITH THEIR RESPECTIVE DETAILS.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN. ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER, SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOD IN THESE AREAS.
3. INSTALL THE CONTROL VALVES AS PER THE DETAIL.
4. ALL BOXES SHALL BE PERMANENTLY MARKED ON TOP, DESIGNATING TYPE OF EQUIPMENT INSTALLED THEREIN STENCILED IN 2" HIGH BLACK LETTERS/NUMBERS USING AVERO BLACK NO. 206M PAINT OR APPROVED EQUAL.
4. ALL HEADS SHALL BE INSTALLED A MINIMUM OF 24" FROM ANY WALL AND A MINIMUM OF 6" FROM ANY SIDEWALK, PATIO OR ROAD. (MINIMUM OF 2'-0" WHERE THERE ARE NO BUMPER STOPS) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. INSTALL THE 12" POP-UP HIGHER WHERE BLOCKED BY TALL SHRUBS.
5. ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES, WINDOWS AND BLDG. WALLS. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDING WINDOWS.
- 6) ALL RISERS SHALL BE PAINTED BLACK OR A COLOR CHOSEN BY THE OWNER'S REPRESENTATIVE AND SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH STAINLESS STEEL CLAMPS. LEAVE THE BOTTOM 12" OF THE PIPE PURPLE ON RECLAIMED SYSTEMS IF REQUIRED BY CODE. CONFIRM RISERS CAN BE INSTALLED BEFORE ANY INSTALLATION. NO NOT INSTALL ANY RISERS WHEN RESTRICTED BY CODE OR AS NOTED ON THE PLANS.

### 3.04 TEMPORARY REPAIRS

- A. THE OWNER RESERVES THE RIGHT TO MAKE TEMPORARY REPAIRS AS NECESSARY TO KEEP THE SPRINKLER SYSTEM EQUIPMENT IN OPERATING CONDITION. THE EXERCISE OF THIS RIGHT BY THE OWNER SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES UNDER THE CONTRACT.

### 3.05 FIELD QUALITY CONTROL

#### A. ADJUSTMENT OF THE SYSTEM:

#### B. TESTING OF IRRIGATION SYSTEM:

1. TEST ALL PRESSURE LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR 2 HOURS AND PROVE WATERTIGHT.
2. TESTING OF PRESSURE MAIN LINES SHALL OCCUR PRIOR TO INSTALLATION OF ELECTRIC CONTROL VALVES, QUICK COUPLERS OR ANY OTHER EQUIPMENT THAT MIGHT PREVENT A PROPER TEST FROM BEING PERFORMED.
3. ALL PIPING UNDER PAVED AREAS SHALL BE TESTED UNDER HYDROSTATIC PRESSURE OF 150 PSI, AND PROVED WATERTIGHT, PRIOR TO PAVING IN PLANTING AREA AT STATIC PRESSURE.
4. SUSTAIN PRESSURE IN LINES FOR NOT LESS THAN 2 HOURS. IF LEAKS DEVELOP, REPLACE JOINTS AND REPEAT TEST UNTIL ENTIRE SYSTEM IS PROVEN WATERTIGHT.
5. ALL HYDROSTATIC TESTS SHALL BE MADE ONLY IN THE PRESENCE OF THE LANDSCAPE ARCHITECT, OR OTHER DULY AUTHORIZED REPRESENTATIVE OF THE OWNER. NO PIPE SHALL BE COMPLETELY BACK FILLED UNTIL INSPECTED, TESTED AND APPROVED IN WRITING.
6. FURNISH NECESSARY FORCE PUMP AND ALL OTHER TEST EQUIPMENT.
7. WHEN THE IRRIGATION SYSTEM IS COMPLETED, PERFORM A COVERAGE TEST IN THE PRESENCE OF THE LANDSCAPE ARCHITECT, TO DETERMINE IF THE WATER COVERAGE FOR PLANTING AREAS IS COMPLETE AND ADEQUATE.
8. UPON COMPLETION OF EACH PHASE OF WORK, ENTIRE SYSTEM SHALL BE TESTED AND ADJUSTED TO MEET SITE REQUIREMENTS.

### 3.06 MAINTENANCE

- A. THE ENTIRE SPRINKLER IRRIGATION SYSTEM SHALL BE UNDER FULL AUTOMATIC OPERATION FOR A PERIOD OF SEVEN DAYS PRIOR TO ANY INSPECTIONS.
- B. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO WAIVE OR SHORTEN THE OPERATION PERIOD.

### 3.07 CLEANUP

- A. CLEANUP SHALL BE PERFORMED AS EACH PORTION OF THE WORK PROGRESSES. TRASH AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE. ALL WALKS AND PAVING SHALL BE SWEEPED OR WASHED DOWN, AND ANY DAMAGE SUSTAINED TO THE WORK OF OTHERS SHALL BE REPAIRED.

Seal:



Name: Jeffrey W. Smith, RLA

License #: LA0001635

Prepared, Reviewed & Supervised By:  
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discrepancies herebetween to the  
landscape architect.

DESIGNED: JWS

PROJECT: 19-0204

DATE: 4-24-2019

REVISIONS:

SCALE: 1" = 0'

# BOUNDARY SURVEY

## GATEWAY PLAZA

### DESCRIPTION

Parcel 1:  
Commencing at the intersection of the West right-of-way of South Fourth Street (U.S. Highway #1) and the South line of the Southeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, in the City of Fort Pierce, St. Lucie County, Florida, run North 0°03'34" East, along the West right-of-way of South Fourth Street 305 feet to the Point of Beginning of the land herein described:

From the said Point of Beginning, continue North 0°03'34" East along the West line of South Fourth Street, 360 feet; thence North 89°42'26" West, parallel to the South line of said Section 15, 501.9 feet to a point; thence South 0°03'34" West, 50 feet to a point; thence North 89°42'26" West, 175 feet to a point; thence North 0°03'34" East, 100 feet to a point; thence North 89°42'26" West 200 feet to a point; thence South 0°03'34" West, 585 feet to a point; thence South 89°42'26" East, 511.9 feet to a point; thence North 0°03'34" East, 175 feet to a point; thence South 89°42'26" East, 365 feet to the Point of Beginning.

LESS AND EXCEPT PARCEL IN WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 3321, PAGE 569, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY #1) AND THE SOUTH LINE OF THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4, OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA AND RUN NORTH 0°03'34" EAST ALONG THE SAID WEST RIGHT OF WAY LINE OF SOUTH FOURTH STREET, A DISTANCE OF 305.00 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 0°03'34" EAST, ALONG THE SAID WEST RIGHT OF WAY LINE OF SOUTH FOURTH STREET (80 FOOT WIDE RIGHT OF WAY) A DISTANCE OF 125.00 FEET; THENCE LEAVING SAID WEST RIGHT OF WAY LINE RUN NORTH 89°42'26" WEST PARALLEL TO THE SAID SOUTH LINE OF THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4, OF SECTION 15, A DISTANCE OF 20.00 FEET; THENCE RUN SOUTH 0°03'34" WEST, ALONG A LINE 20.00 FEET WEST AS MEASURED PERPENDICULARLY TO AND BEING PARALLEL WITH SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 125.00 FEET; THENCE RUN SOUTH 89°42'26" EAST, PARALLEL TO THE SAID SOUTH LINE OF THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4, OF SECTION 15, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING SAID LANDS CONTAINING 2,500 SQUARE FEET OR 0.06 ACRES, MORE OR LESS.

PARCEL 2:

That part of the East 390 feet of the South 200 feet of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, which lies West of U.S. Highway No. 1, except the East 7 feet thereof.  
The North 100 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, except the East 7 feet thereof, lying West of U.S. Highway No. 1, except the following:

Beginning at a point 200 feet North of a monument 25 feet East of the Southwest corner of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, thence run East 480 feet along the South line of the above described property thence run North 100 feet, thence run West 480 feet, thence run South 100 feet to the Point of Beginning.  
That part of the South 200 feet of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, which lies between that part of the East 390 feet of the South 200 feet of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, which lies West of U.S. Highway No. 1, except the East 7 feet thereof, on the East and that part beginning at a monument 25 feet East of the Southwest corner of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, thence run East 480 feet along the South line of the above described property, thence run North 200 feet, thence run West 480 feet, thence run South 200 feet to the Point of Beginning, on the West.

ALL OF THE ABOVE DESCRIBED PROPERTY IS ALSO TOGETHER, DESCRIBED AS FOLLOWS:

Being that part of the North 300 feet of the South 535 feet of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, lying West of U.S. Highway No. 1, (being an 80 foot right-of-way) less a West portion known as Mayflower Terrace, according to the Plat thereof recorded in Plat Book 13, Page 15, of the public records of St. Lucie County, Florida; all of said lands situate, lying and being in St. Lucie County, Florida.

ALSO DESCRIBED AS:

That certain parcel of land in the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, which lies West of U.S. Highway No. 1, situate in the City of Ft. Pierce, St. Lucie County, State of Florida, and being more particularly described as follows:  
Beginning at a 5/8 inch capped rebar "LB 4286" found on the Southeast corner of property now of formerly Dorothy Ann Carnes LLC, recorded in Deed Book 1218, page 2930, and the Westerly right-of-way line of U.S. Highway No. 1, 80 feet wide; thence along the Westerly right-of-way line of U.S. Highway No. 1, South 0°01'14" East, a distance of 300.00 feet to a ? inch iron pipe found on the Northeast corner of property now or formerly Morris/Satnick FP Assoc. LLC, recorded in Deed Book 2446, page 712; thence along the Northerly line of said Morris/Satnick FP Assoc. LLC property, North 89°41'58" West, a distance of 400 feet to a concrete monument found on the Southeast corner of property now or formerly Eduardo F. Perez, recorded in Deed Book 2675, page 2981; thence along the Easterly line of said Perez and property now or formerly Joseph & Hsui Leung, recorded in Deed Book 2214, page 2872, North 0°11'14" West, a distance of 300.00 feet to a capped rebar set on the Southwest corner of said Dorothy Ann Carnes LLC property, thence along the Southerly line of said Dorothy Ann Carnes LLC property, South 89°41'58" West, a distance of 400.00 feet to the Point of Beginning.

Parcel 3:

The East 876.9 feet of the South 1/2 of the SW 1/4, lying West of U.S. #1 Highway, Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, LESS: Begin at the intersection of the North right of way of Virginia Avenue and the West right of way of U.S. #1 Highway, North 710 feet; West 175 feet; South 175 feet; West 326.9 feet; South 50 feet; West 175 feet; North 100 feet; West 200 feet; South 585 feet; East 876.9 feet to the point of beginning. ALSO LESS: Southerly 130 feet for road and canal right of way. ALSO LESS: North 150 feet of the South 1222.46 feet of the East 175 feet.

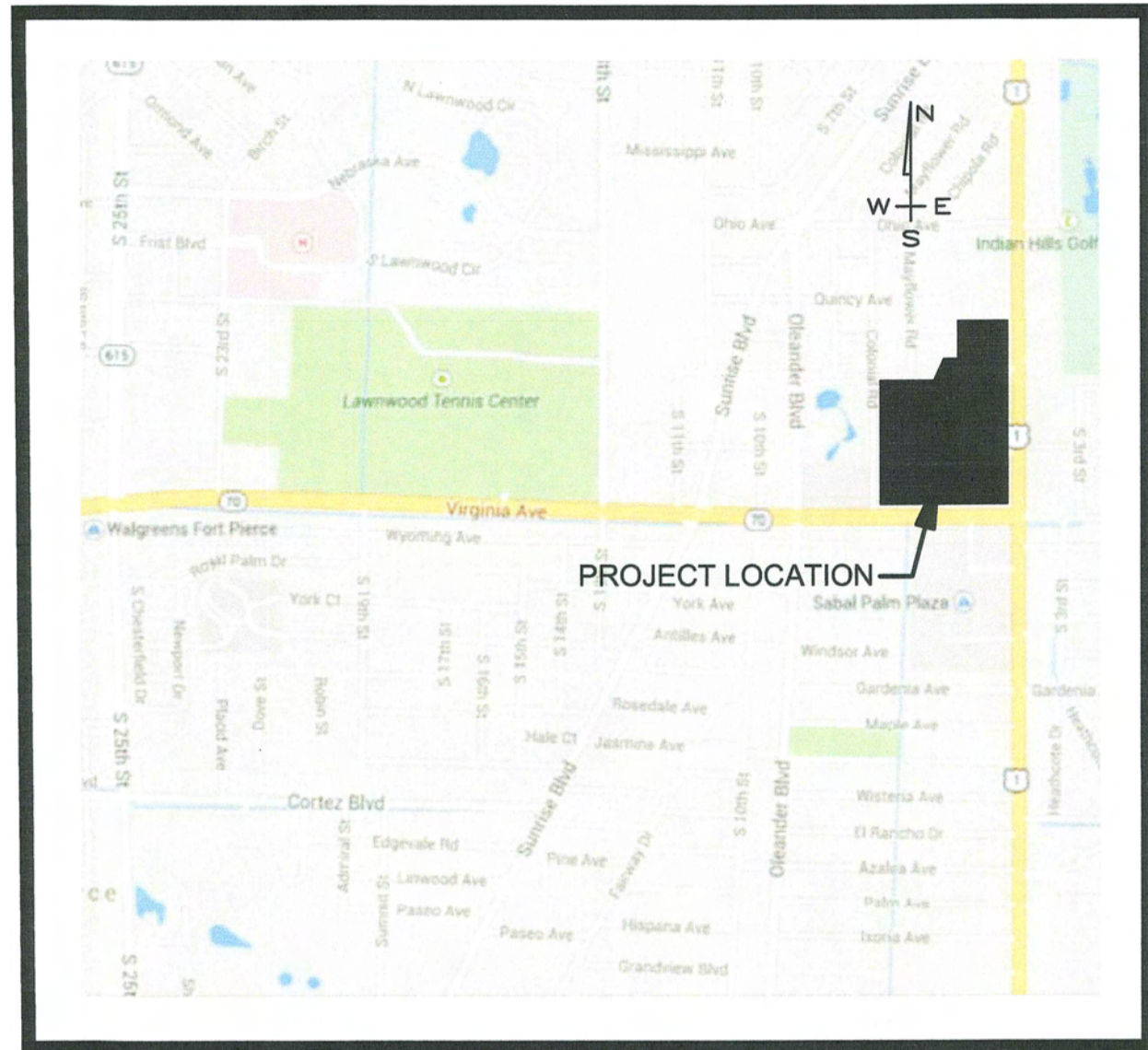
AND

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and the South line of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East in the City of Fort Pierce, St. Lucie County, Florida, run North 0°03'34" East along that right-of-way of South Fourth Street, 1323.18 feet to the North line of the South 1/2 of the Southwest 1/4 of said Section 15, and the POINT OF BEGINNING; thence continue North 0°03'34" East, 335 feet; thence run North 89°39'26" West, 566.9 feet; thence run South 01°10'39" West, 186.33 feet; thence run South 24°58'42" West, 136.59 feet to the North line of the South 1/2 of the Southwest 1/4; thence run South 89°39'26" East 626.80 feet to the POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THE FOLLOWING PARCEL:

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and of the South line of the Southeast 1/4 of the Southwest 1/4 of Section 15, Township 35 South, Range 40 East, in the City of Fort Pierce, St. Lucie County, Florida, run North 0°03'34" East along the West right-of-way line of South Fourth Street, 1336.18 feet to the POINT OF BEGINNING; thence run North 89°39'26" West, 175 feet; thence run North 0°03'34" East, 185 feet; thence run South 89°39'26" East, 175 feet; thence South 0°03'34" West, 185 feet to the POINT OF BEGINNING.

LESS AND EXCEPT PARCELS CONVEYED BY Warranty Deed to William D. Carlton, in Official Records Book 207, page 592; by Warranty Deed to E.J. Roschman, in Official Records Book 199, page 481; by Quit Claim Deed to James F. Grimes and Susan Grimes, his wife, in Official Records Book 517, page 1232; and by Warranty Deed to Walgreen Co., an Illinois corporation, in Official Records Book 452, page 2789, all of the Public Records of St. Lucie County, Florida.



**LOCATION MAP**  
(NOT TO SCALE)  
FORT PIERCE, FLORIDA

### NOTES

- 1) REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF ENGINEERING DESIGN CONSTRUCTION, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- 2) DESCRIPTION SHOWN HEREON PROVIDED BY THE CLIENT AND/OR THEIR AGENT AND DEEDS PULLED FROM THE CLERK OF THE COURT BASED ON THE PROPERTY APPRAISER'S WEB SITE, FOR THE ADDRESS PROVIDED BY THE CLIENT. THE FOLLOWING DEEDS WERE REVIEWED BUT NOT ALL WERE INCORPORATED; OFFICIAL RECORDS BOOKS AND PAGES 941/837, 2125/1177, 2446/712, 3250/1153, AND 3321/569. IN ADDITION, SOME OF THE DESCRIPTION IS FROM A SURVEY PREPARED BY OPH SURVEYORS FOR THE MORRIS COMPANIES WITH LATEST REVISION ON 02/03/2006. MATTERS OF RECORD SHOWN IN EXCEPTIONS TABLE PERTAIN ONLY TO PARCELS FROM CHICAGO TITLE INSURANCE COMPANY POLICY FILE NO. 42190005J, DATED 01/16/2019. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, ABANDONMENT'S, DEED RESTRICTIONS, OR MURPHY ACT DEEDS.
- 3) UNDERGROUND UTILITIES, UTILITY SERVICES, FOUNDATIONS AND IMPROVEMENTS WERE NOT LOCATED AS PART OF THIS SURVEY.
- 4) OVERALL PROPERTIES CONTAIN 27.068 ACRES, MORE OR LESS.
- 5) THE LAST DATE OF FIELD WORK WAS 2/16/2018.
- 6) REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
- 7) THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST IS ASSUMED TO BEAR SOUTH 89°59'14" WEST AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
- 8) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
- 9) THE OWNERSHIP OF PERIMETER FENCES, WALLS, HEDGES AND LANDSCAPING SHOWN HEREON ARE NOT KNOWN AND ARE NOT LISTED AS ENCROACHMENTS. THEIR RELATIVE LOCATION IS SHOWN IN RELATION TO THE BOUNDARY LINES SHOWN.
- 10) SECTION LINES AND MONUMENTATION SHOWN HEREON AND USED TO DETERMINE PROPERTY BOUNDARIES ARE BASED ON PREVIOUS SURVEYS AND HISTORICAL SECTIONAL INFORMATION. SOME MONUMENTATION MAY HAVE BEEN DESTROYED, SINCE THE ORIGINAL DELINEATION OR RESOLUTION, OF THE SECTIONAL SURVEY.
- 11) THE SURVEY MAP SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.

### REFERENCE MATERIAL

1) FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP FOR STATE ROAD NO. 5, SECTION NO. 94010-2518.

### DESCRIPTION

(PARCELS FROM CHICAGO TITLE INSURANCE COMPANY POLICY FILE NO. 42190005J, DATED 01/16/2019.)

PARCEL 1:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY OF SOUTH FOURTH STREET (U.S. HIGHWAY #1) AND THE SOUTH LINE OF THE SE 1/4 OF THE SW 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 0°03'34" EAST, ALONG THE WEST RIGHT-OF-WAY OF SOUTH FOURTH STREET 305 FEET TO THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; FROM THE SAID POINT OF BEGINNING, CONTINUE NORTH 0°03'34" EAST ALONG THE WEST LINE OF SOUTH FOURTH STREET, 360 FEET; THENCE NORTH 89°42'26" WEST, PARALLEL TO THE SOUTH LINE OF SAID SECTION 15, 501.9 FEET TO A POINT; THENCE SOUTH 0°03'34" WEST, 50 FEET TO A POINT; THENCE NORTH 89°42'26" WEST, 175 FEET TO A POINT; THENCE NORTH 0°03'34" EAST, 100 FEET TO A POINT; THENCE NORTH 89°42'26" WEST 200 FEET TO A POINT; THENCE SOUTH 0°03'34" WEST, 585 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST, 511.9 FEET TO A POINT; THENCE NORTH 0°03'34" EAST, 175 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST, 365 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF FORT PIERCE, BY WARRANTY DEED RECORDED SEPTEMBER 1, 2011 IN OFFICIAL RECORDS BOOK 3321, PAGE 569, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 2:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY #1) AND OF THE SOUTH LINE OF THE SE-1/4 OF THE SW-1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 0°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET, 366 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°42'26" WEST, 175 FEET; THENCE RUN NORTH 0°03'34" EAST, 185 FEET; THENCE RUN SOUTH 89°39'26" EAST, 175 FEET; THENCE RUN SOUTH 0°03'34" WEST, 185 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY WARRANTY DEED RECORDED MARCH 26, 2014 IN OFFICIAL RECORDS BOOK 3615, PAGE 2318, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 3:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) AND OF THE SOUTH LINE OF THE SE-1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 0°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET, 1336.18 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°39'26" WEST, 175 FEET; THENCE RUN NORTH 0°03'34" EAST, 185 FEET; THENCE RUN SOUTH 89°39'26" EAST, 175 FEET; THENCE RUN SOUTH 0°03'34" WEST, 185 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY WARRANTY DEED RECORDED MARCH 26, 2014 IN OFFICIAL RECORDS BOOK 3615, PAGE 2318, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

CHICAGO TITLE INSURANCE COMPANY COMMITMENT FILE NO. 4219000295		SCHEDULE B-II EXCEPTIONS	
ITEM No.	DESCRIPTION	PLOTTED	REMARKS
1	Defects, liens, encumbrances, adverse claims or other matters	NO	Not a survey matter
2	Taxes and assessments for the year 2019 and subsequent years, which are not yet due and payable.	NO	Not a survey matter.
3	Standard Exceptions:	NO	No adverse claims noted. Encroachments, if any are reflected on the survey graphics
4	Governmental liens	NO	Not a survey matter
5	Easements set out in DB 81, Pg 163	NO	Blanket easement to American Telephone which affects property as successors in title. Not plottable
	Easements set out in DB 206, Pg 143	NO	Blanket easement to American Telephone which affects subject property as successors in title. Not plottable
	Subordination of utility interest in ORB 4112, Pg 2966	YES	Not a portion of the subject property.
6	Rerodation of non-exclusive easement set out in ORB 174, Pg 884	YES	Affects subject property as shown on survey.
7	Easements set out in ORB 175, Pg 2498	NO	Affects subject property relative to parking & ingress/egress. Not plottable.
8	Lease in ORB 175, Pg 2525	NO	Retail unit lease between Winn Dixie and property owner (1969). Not a survey matter.
	Lease in ORB 365, Pg 1719	NO	Retail unit lease between Winn Dixie and property owner (1981). Not a survey matter.
	Lease in ORB 718, Pg 2408	NO	Amendment to ORB 365-1719. Not a survey matter.
	Lease in ORB 2709, Pg 1296	NO	Lease transferred to successor tenant. Not a survey matter.
	Management Agreement in ORB 2709, Pg 1317	NO	Not a survey matter
	Memorandum of Lease in ORB 1366, Pg 340	NO	Not a survey matter
9	Easement set out in ORB 177, Pg 136	NO	Blanket easement to City of Fort Pierce which affects subject property as successors in title. Not plottable
10	Non-exclusive utility easement set out in ORB 174, Pg 884	YES	Not a portion of subject property as shown on survey.
11	Easement in agreement ORB 184, Pg 2415	YES	Affects subject property as shown on survey.
	Easement in agreement ORB 184, Pg 2423	YES	Affects subject property as shown on survey. Further defines legal for ORB 184, Pg 2415
12	Easement set out in ORB 192, Pg 365	YES	Affects subject property as shown on survey.
13	Easement set out in ORB 192, Pg 368	YES	Affects subject property as shown on survey.
14	Agreement in ORB 207, Pg 594	NO	Affects subject property. Reciprocal easement allowing cross access & cross drainage through shopping center. No easements to plot.
15	Agreement in ORB 215, Pg 2573	NO	Easement allowing sanitary sewer to run through property. Not plottable
16	Lease in ORB 259, Pg 1889	NO	Retail unit lease terminated 1991. Not a survey matter.
	Amendment in ORB 259, Pg 1895	NO	Amendment to retail unit lease terminated 1991. Not a survey matter.
	Radification in ORB 265, Pg 1781	NO	Radification to retail unit lease terminated 1991. Not a survey matter.
17	Easement set out in ORB 381, Pg 423	YES	Does not affect subject property as shown on survey.
18	Reciprocal Agreement in ORB 412, Pg 1612	NO	Easements for utilities and certain rights affecting subject Parcels 2 and 3. No easements to plot.
19	Easement set out in ORB 422, Pg 1347	YES	Does not affect subject property as shown on survey.
20	Restrictions and covenants in deed recorded in ORB 452, Pg 2789	NO	Restrictions affecting Parcel 3 terminated by ORB 2735, Pg 1822. Not plottable
21	Easement set out in ORB 748, Pg 1224	YES	Does not affect subject property as shown on survey.
22	Lease in ORB 1305, Pg 1543	NO	Retail unit lease. Not a survey Matter
23	Easement set out in ORB 1695, Pg 894	YES	Utility easement affecting Parcel 3 as shown on survey.
24	Easement set out in ORB 2221, Pg 1466	YES	Does not affect subject property as shown on survey.
25	Cross easement agreement ORB 2735, Pg 1822	NO	Blanket easement for vehicle and pedestrian traffic affecting Parcel 3. Non-plottable. Also terminates restrictions in Item 20.
	Quit Claim Deed ORB 3615, Pg 2374	NO	Additional FDOT Right-of-Way. Does not affect subject property.
26	Memorandum of Lease in ORB 2895, Pg 923	NO	Property lease over Parcel 3. Not a survey matter
27	Agreement of Restrictions in ORB 2978, Pg 813	NO	Agreement and restrictions affecting Parcel 3. Non-plottable.
28	Rights of occupying tenants	NO	Not a survey matter

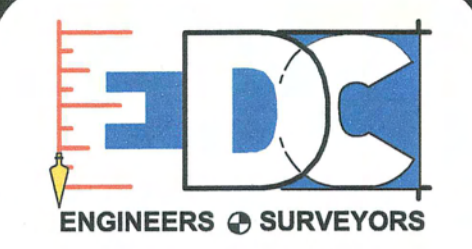
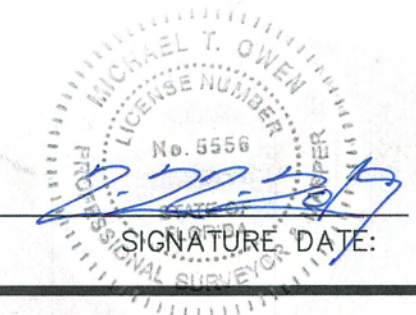
USER NOTE: references to parcels or subject property made in this table pertain only to the property's insured by this policy

### CERTIFIED TO:

1. THE MORRIS COMPANIES, ITS SUCCESSORS AND OR ASSIGNS AS THEIR INTEREST MAY APPEAR.
2. CHICAGO TITLE INSURANCE COMPANY.
3. SAUL EWING ARNSTEIN & LEHR LLP.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING AND MAPPING CHAPTER 5J17-050, FLORIDA ADMINISTRATIVE CODE.

*Michael T. Owen*  
MICHAEL T. OWEN PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION #5556



10250 SW VILLAGE PARKWAY, SUITE 201  
PORT SAINT LUCIE, FL 34987  
772-462-2455

www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9885  
L.B. CERTIFICATE OF AUTHORIZATION 9698

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DESIGNED BY	
DRAWN BY	
FILE NAME	
SCALE	
LAYOUT	
AS SHOWN	
DATE	

2-16-2019	UPDATE PER CHICAGO TITLE INSURANCE CO. POLICY FILE NO. 4219000295 / DAN
1-24-2017	UPDATE BOUNDARY SURVEY BY GEOMETRIC SERVICES, INC. OCTOBER 2014

BOUNDARY SURVEY  
GATEWAY PLAZA  
FOR  
THE MORRIS COMPANIES  
FORT PIERCE  
FLORIDA



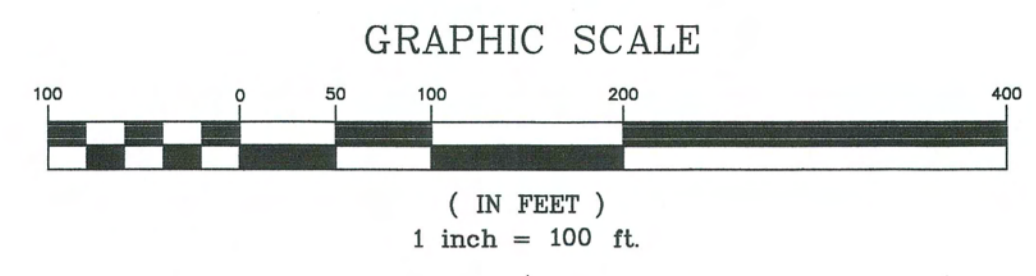
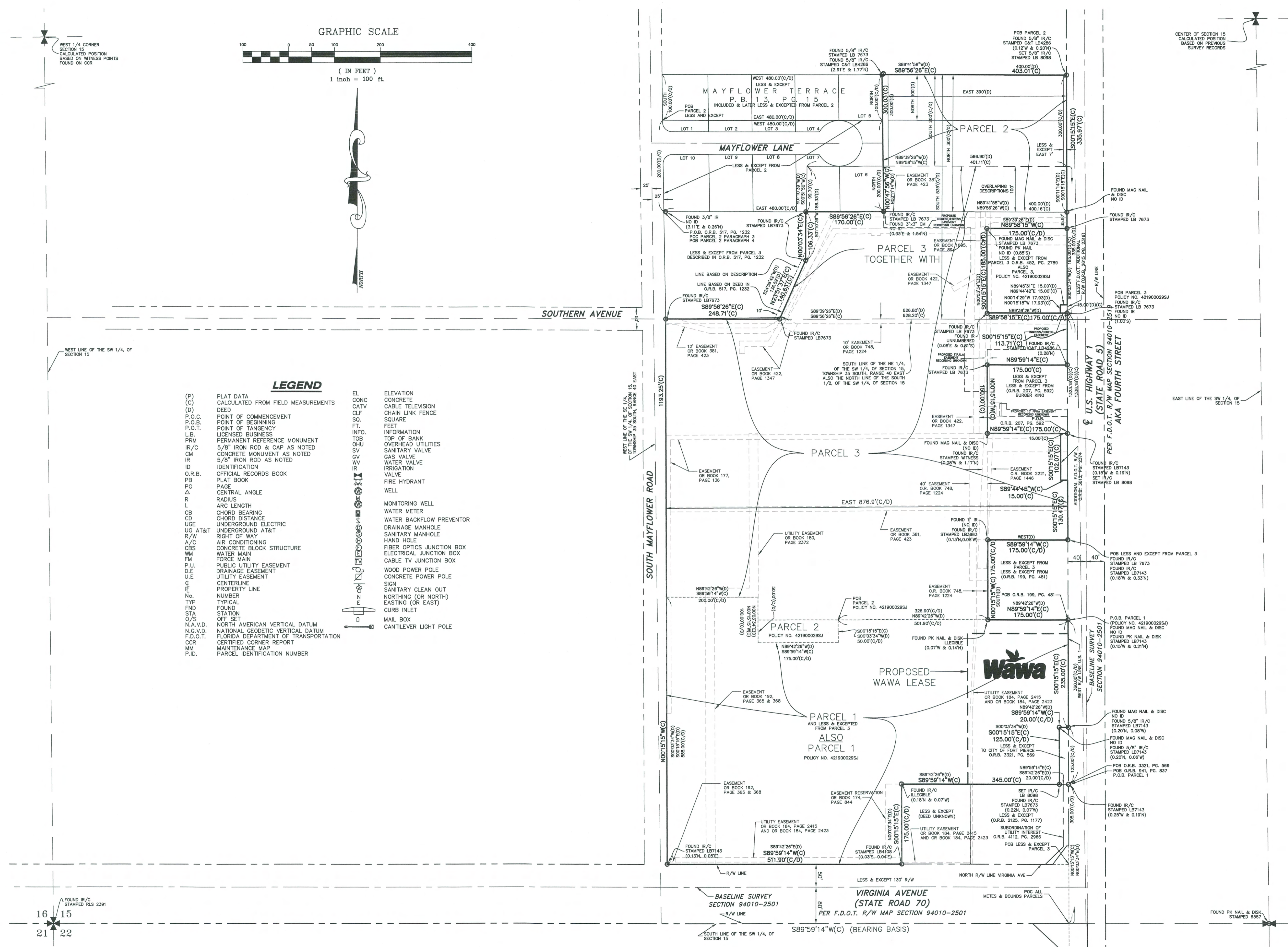
10250 SW VILLAGE PARKWAY, SUITE 201  
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18-302

1 OF 5

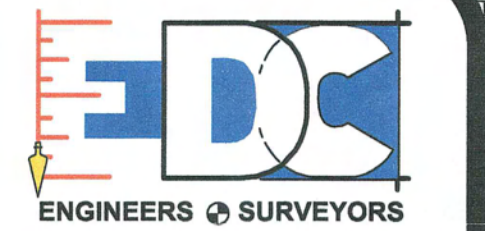
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**LEGEND**

- |          |                                      |       |                           |
|----------|--------------------------------------|-------|---------------------------|
| (P)      | PLAT DATA FROM FIELD MEASUREMENTS    | EL    | ELEVATION                 |
| (C)      | CALCULATED POSITION                  | CONC  | CONCRETE                  |
| (D)      | DEED                                 | CATV  | CABLE TELEVISION          |
| P.O.C.   | POINT OF COMMENCEMENT                | CLF   | CHAIN LINK FENCE          |
| P.O.B.   | POINT OF BEGINNING                   | FT.   | FEET                      |
| P.O.T.   | POINT OF TANGENCY                    | INFO. | INFORMATION               |
| L.B.     | LICENSED BUSINESS                    | TOB   | TOP OF BANK               |
| PRM      | PERMANENT REFERENCE MONUMENT         | OHU   | OVERHEAD UTILITIES        |
| IR/C     | 5/8" IRON ROD & CAP AS NOTED         | SV    | SANITARY VALVE            |
| CM       | CONCRETE MONUMENT AS NOTED           | GV    | GAS VALVE                 |
| IR       | 5/8" IRON ROD AS NOTED               | WV    | WATER VALVE               |
| ID       | IDENTIFICATION                       | IR    | IRRIGATION                |
| O.R.B.   | OFFICIAL RECORDS BOOK                | VALV  | VALVE                     |
| PS       | PLAT BOOK                            | FHYD  | FIRE HYDRANT              |
| PG       | PAGE                                 | WELL  | WELL                      |
| Δ        | CENTRAL ANGLE                        |       |                           |
| R        | RADIUS                               | MW    | MONITORING WELL           |
| L        | ARC LENGTH                           | WM    | WATER METER               |
| CB       | CHORD BEARING                        | WB    | WATER BACKFLOW PREVENTOR  |
| CD       | CHORD DISTANCE                       | DM    | DRAINAGE MANHOLE          |
| UE       | UNDERGROUND ELECTRIC                 | SH    | SANITARY MANHOLE          |
| UG AT&T  | UNDERGROUND AT&T                     | HH    | HAND HOLE                 |
| R/W      | RIGHT OF WAY                         | FJ    | FIBER OPTICS JUNCTION BOX |
| A/C      | AIR CONDITIONING                     | EJ    | ELECTRICAL JUNCTION BOX   |
| CBS      | CONCRETE BLOCK STRUCTURE             | CJ    | CABLE TV JUNCTION BOX     |
| FM       | FORCE MAIN                           | WPP   | WOOD POWER POLE           |
| P.U.     | PUBLIC UTILITY EASEMENT              | CP    | CONCRETE POWER POLE       |
| D.E.     | DRAINAGE EASEMENT                    | S     | SIGN                      |
| U.E.     | UTILITY EASEMENT                     | SC    | SANITARY CLEAN OUT        |
| C        | CENTERLINE                           | N     | NORTHING (OR NORTH)       |
| PL       | PROPERTY LINE                        | E     | EASTING (OR EAST)         |
| No.      | NUMBER                               | C     | CURB INLET                |
| TYP      | TYPICAL                              | M     | MAIL BOX                  |
| FND      | FOUND                                | CLP   | CANTILEVER LIGHT POLE     |
| STA      | STATION                              |       |                           |
| O/S      | OFF SET                              |       |                           |
| N.A.V.D. | NORTH AMERICAN VERTICAL DATUM        |       |                           |
| N.G.V.D. | NATIONAL GEODETIC VERTICAL DATUM     |       |                           |
| F.D.O.T. | FLORIDA DEPARTMENT OF TRANSPORTATION |       |                           |
| CCR      | CERTIFIED CORNER REPORT              |       |                           |
| MM       | MAINTENANCE MAP                      |       |                           |
| P.I.D.   | PARCEL IDENTIFICATION NUMBER         |       |                           |



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L.B. CERTIFICATE OF AUTHORIZATION 8098

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AS BUILT	DATE
SCALE	DATE
DATE	DATE

2-16-2019	UPDATE PER CHICAGO TITLE INSURANCE CO. POLICY FILE NO. 4219000295J - 1041	DATE
2-24-2017	UPDATE BOUNDARY SURVEY BY GEOMATIC SERVICES, INC. OCTOBER 2014	DATE
	REVISION COMMENTS	DATE

**BOUNDARY SURVEY  
GATEWAY PLAZA**

FOR  
**THE MORRIS COMPANIES**

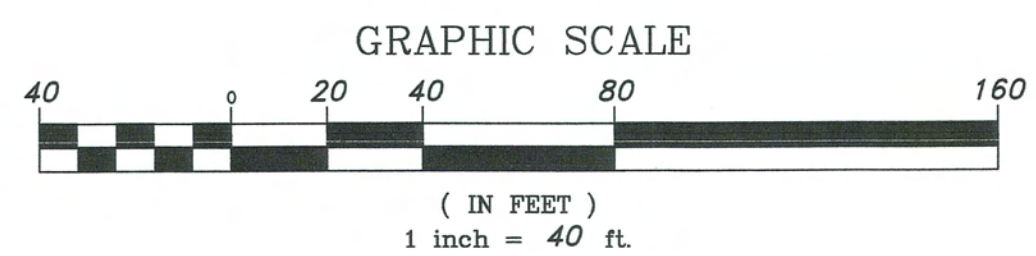
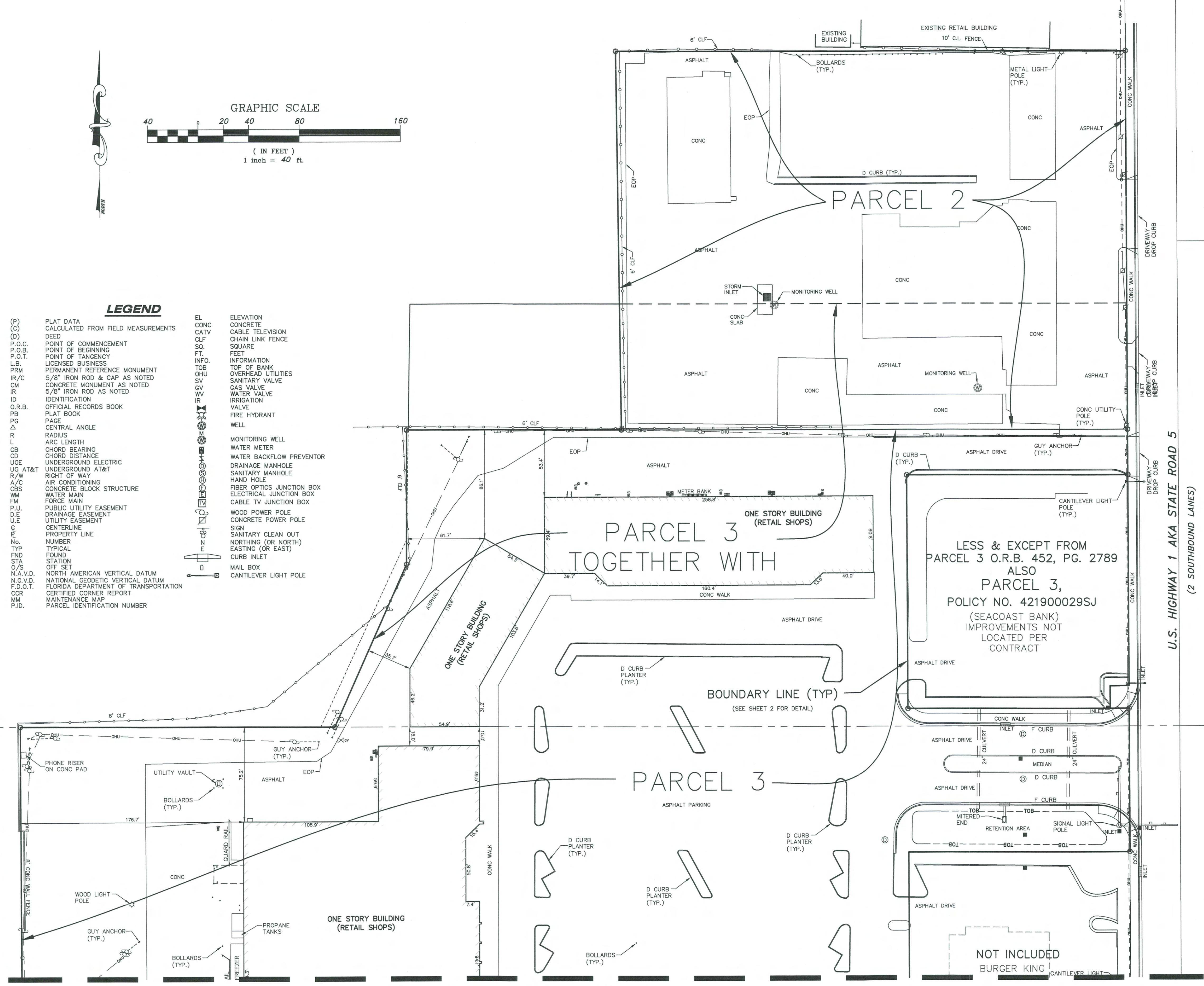
**FORT PIERCE**

FLORIDA



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**LEGEND**

- |          |                                      |       |                           |
|----------|--------------------------------------|-------|---------------------------|
| (P)      | PLAT DATA                            | EL    | ELEVATION                 |
| (C)      | CALCULATED FROM FIELD MEASUREMENTS   | CONC  | CONCRETE                  |
| (D)      | DEED                                 | CATV  | CABLE TELEVISION          |
| P.O.C.   | POINT OF COMMENCEMENT                | CLF   | CHAIN LINK FENCE          |
| P.O.B.   | POINT OF BEGINNING                   | SQ.   | SQUARE                    |
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| Δ        | CENTRAL ANGLE                        | W     | WELL                      |
| R        | RADIUS                               | MW    | MONITORING WELL           |
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| P.U.     | PUBLIC UTILITY EASEMENT              | S     | SIGN                      |
| D.E.     | DRAINAGE EASEMENT                    | SC    | SANITARY CLEAN OUT        |
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| CL       | CENTERLINE                           | E     | EASTING (OR EAST)         |
| PL       | PROPERTY LINE                        | CI    | CURB INLET                |
| No.      | NUMBER                               | MB    | MAIL BOX                  |
| TYP      | TYPICAL                              | CLP   | CANTILEVER LIGHT POLE     |
| FND      | FOUND                                |       |                           |
| STA      | STATION                              |       |                           |
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| N.A.V.D. | NORTH AMERICAN VERTICAL DATUM        |       |                           |
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| F.D.O.T. | FLORIDA DEPARTMENT OF TRANSPORTATION |       |                           |
| CCR      | CERTIFIED CORNER REPORT              |       |                           |
| MM       | MAINTENANCE MAP                      |       |                           |
| P.I.D.   | PARCEL IDENTIFICATION NUMBER         |       |                           |



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FILE NAME	DATE
LAYOUT	DATE
AS BUILT	DATE
SCALE	DATE
DATE	DATE

2-18-2019	UPDATE PER CHICAGO TITLE INSURANCE CO. POLICY FILE NO. 421900029SJ-RAN
1-24-2017	UPDATE BOUNDARY SURVEY BY GEOMATIC SERVICES, INC. OCTOBER 2014
	REVISION COMMENTS
	DATE

**BOUNDARY SURVEY**  
**GATEWAY PLAZA**  
  
FOR  
**THE MORRIS COMPANIES**  
  
FLORIDA  
**FORT PIERCE**

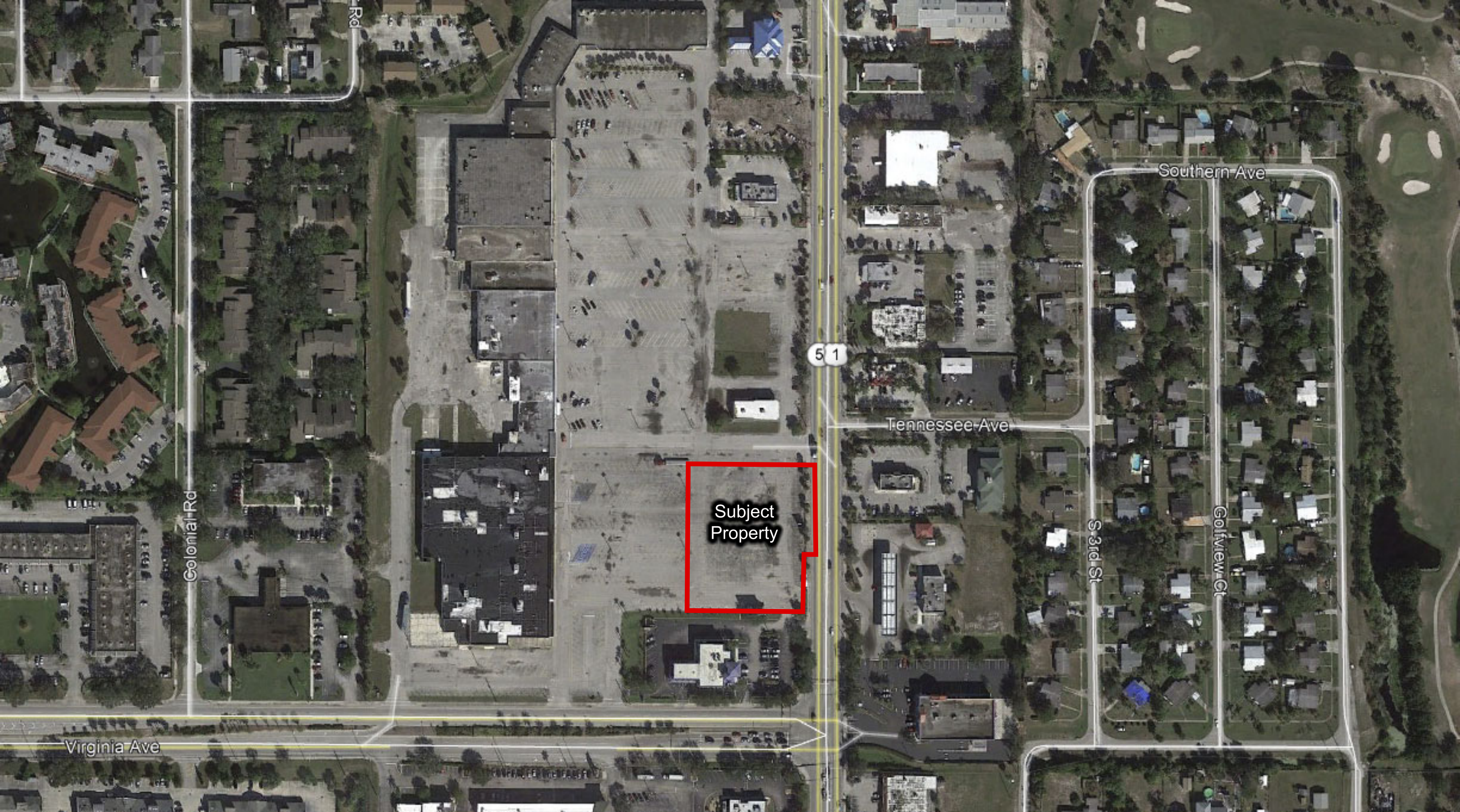


10250 SW VILLAGE PARKWAY, SUITE 201  
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18-302  
3 OF 5







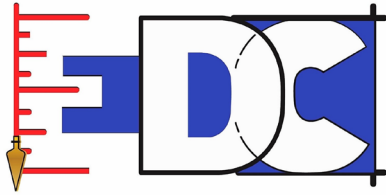
Subject Property

# Wawa - Gateway Plaza

Fort Pierce, Florida

Location Map





ENGINEERS SURVEYORS ENVIRONMENTAL

---

**PROJECT NARRATIVE & COVER LETTER**  
**WAWA – GATEWAY PLAZA**  
Development Review, Design Review & Concurrency

February 28, 2019

**REQUEST**

On behalf of the Petitioner, Engineering Design & Construction, Inc. is requesting development, design and concurrency approval for a project known as Gateway Wawa. The parcel is located at 2111 SW US Highway 1 in Fort Pierce, Florida. The applicant is proposing the construction of 5,943-square foot gas station and convenience store with associated infrastructure. The parcel can be identified as Parcel ID # 2415-342-0001-000-8 and is approximately 1.61 acres total. A pre-application meeting to discuss this project was held with the development team and the City of Fort Pierce on February 20, 2019.

**SITE CHARACTERISTICS & PROJECT HISTORY**

The property is located at 2111 SW US Highway 1 in Fort Pierce, Florida and consists of approximately 1.61 acres and is currently undeveloped. The petitioner requesting approval of a 5,943-square-foot gas station and convenience store with associated infrastructure.

The subject property has a current Future Land Use designation of General Commercial (GC) with an underlying Zoning designation of General Commercial (C3). The service provider for Water and wastewater services to serve this facility is FPUA.

To the north of the subject property lies a developed parcel operating as a Payless Shoe Store. This parcel has a Future Land Use designation of General Commercial (GC) and an underlying Zoning category of General Commercial (C3).

To the west of the subject is a developed commercial shopping center that is currently vacant. The future land use designation of this property is General Commercial (CG) with an underlying Zoning designation of General Commercial (C3)

South of the subject property is a developed parcel operating as a Harbor Federal Bank. This commercial parcel has a Future Land Use designation of General Commercial (GC) with an underlying Zoning designation of General Commercial (C3)

East of the subject parcel is the Right-of-Way of US Highway 1 followed by developed commercial properties. The parcels located east of the Right-of-Way have a Future Land Use designation of General Commercial (GC) and are located in the General Commercial Zoning designation.

**SITE PLAN  
DEVELOPMENT REVIEW**

Section 22.58 of the City of Fort Pierce Code of Ordinances outlines the requirements for development review. The attached material includes the necessary items required for review and approval.

**DESIGN REVIEW**

Section 22.59 of the City of Fort Pierce Code of Ordinances outlines the requirements for design review. The attached material includes necessary items required for review and approval.

***Based on the above justification and attached information, the Petitioner respectfully requests approval of this request.***

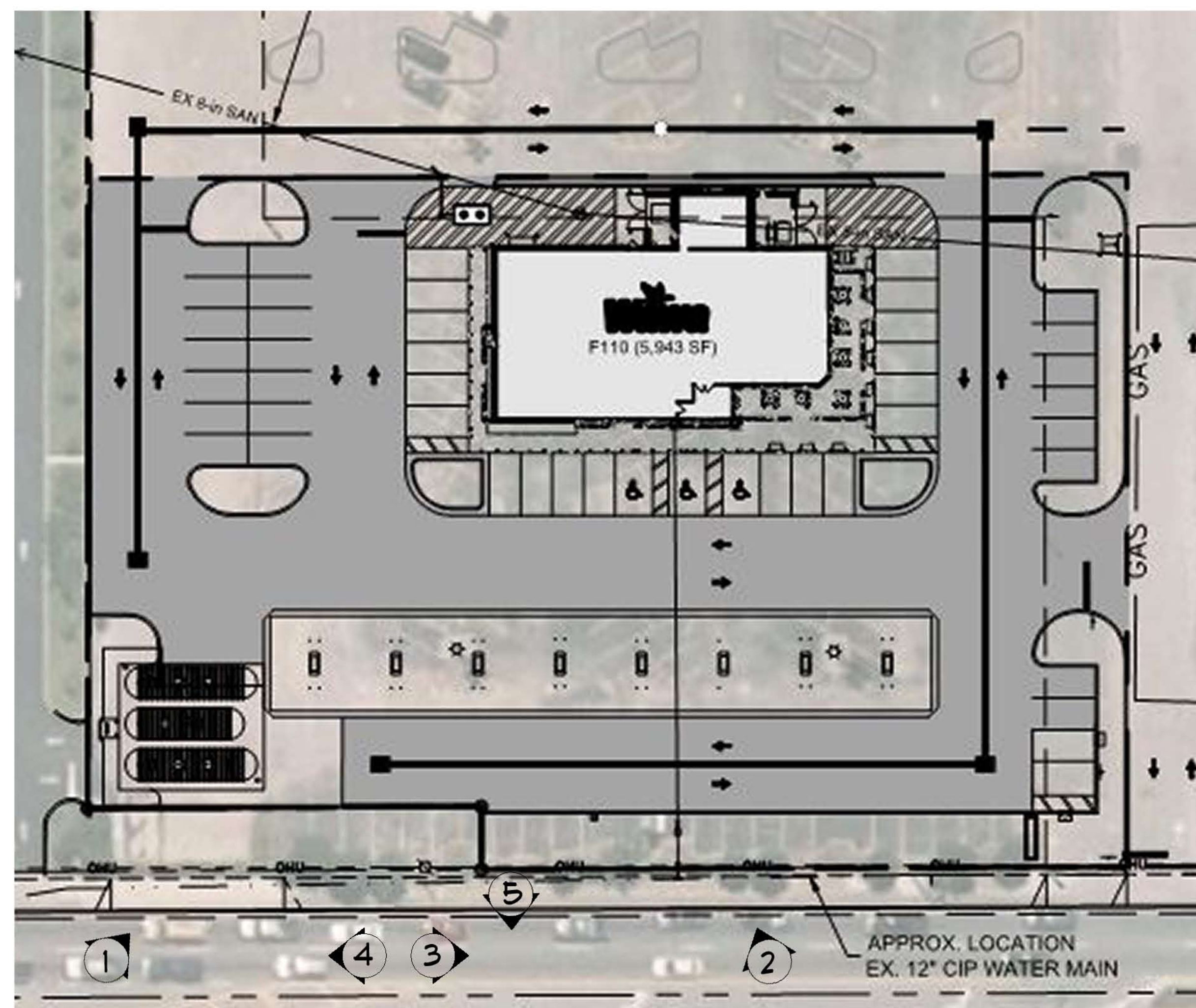
S:\EDC-2018\18-302 - Gateway Plaza - WAWA\ENGINEERING\Documents\Submittal Documents\Justification Statement\2019-02-28\_Gateway\_Wawa\_Dev\_Review\_Justification\_Statement\_18-302.doc.docx

## BUILDING DESIGN NARRATIVE

THE PROPOSED WAWA STORE, ALONG WITH ITS UNIQUE ARCHITECTURAL GAS CANOPY AND PLEASANT, WELL-MAINTAINED LANDSCAPING, WILL TRULY ENHANCE THE APPEARANCE OF THE EXISTING SHOPPING CENTER BEHIND IT, AS WELL AS THE SURROUNDING AREA. THIS ATTRACTIVE STORE WILL LIKELY INSPIRE MORE HIGH-QUALITY DESIGN IN THE AREA AS TIME GOES ON. NEARBY NEIGHBORHOOD RESIDENTS, AS WELL AS NEIGHBORING BUSINESS OWNERS, ARE CERTAIN TO BE PROUD OF THIS BEAUTIFUL, FLORIDA VERNACULAR BUILDING AND THE WARM, INVITING FEELING IT INVOKES WITHIN OTHERWISE UTILITARIAN SURROUNDINGS. WITH ITS CLAPBOARD SIDING AND WHITE TRIM, LIGHT-TONED STONE WAINSCOTING AND SOARING, LIGHT-FILLED CUSTOMER SPACE, THIS INSPIRING ENHANCEMENT NEAR THE INTERSECTION OF US 1 & VIRGINIA AVE. WILL SURELY BRIGHTEN AND UPLIFT THE IMAGE OF THIS AREA FOR PASSING VEHICLE OCCUPANTS, PEDESTRIANS, AND POTENTIAL CUSTOMERS. WAWA'S PROGRAM OF METICULOUS ONGOING MAINTENANCE TO ITS FACILITIES ENSURES THAT ITS BEAUTIFUL, WELL-DESIGNED BUILDINGS REMAIN A GLOWING EXAMPLE OF CARE, CUSTOMER SERVICE AND QUALITY THAT WAWA BRINGS WHEREVER IT GOES.



FRONT (EAST) ELEVATION (US 1)



① PARCEL VIEW



② PARCEL VIEW



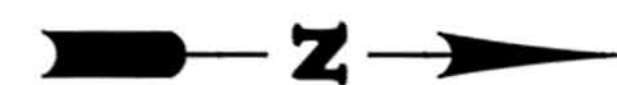
③ VIEW FACING NORTH



④ VIEW FACING SOUTH



⑤ VIEW ACROSS US 1



### Property Identification

Site Address: 2111 S US HIGHWAY 1  
Parcel ID: 2415-342-0001-000-8  
Account #: 24495  
Map ID: 24/15S  
Use Type: 1600  
Zoning: C3  
City/County: Fort Pierce

### Ownership

Morris/Satnick FP Assoc LLC  
350 Veterans Blvd  
Rutherford, NJ 07070

### Legal Description

15 35 40 FROM INT W R/W LI US #1 AND S LI OF SE 1/4 OF SW 1/4 OF SEC 15 RUN N 00 03 34 E ALG W R/W LI 435FT FOR POB,TH CONT N 235 FT,TH N 89DEG 42 MIN 26 SEC W // TO S LI OF SEC 501.9 FT,TH S 0 DEG 03 MIN 34 SEC W 50 FT,TH N 89 DEG 42 MIN 26 SEC W 175 FT,TH N 0 DEG 03 MIN 34 SEC E 100 FT,TH N 89 DEG 42 MIN 26 SEC W 200 FT,THS 0 DEG 03 MIN 34 SEC W 585 FT TO PT ON N R/W VA AV,TH S 89 DEG 42 MIN 26 SEC E ALG R/W 511.9 FT,TH N 0 DEG 03 MIN 34 SEC E 175 FT,TH S 89 DEG 42 MIN 26 SECE 345 FT TH N 00 03 34 E 125 FT,TH N 89 42 26 E 20 FT TO POB (9.27 AC) (OR 2446-712, 718)

### Current Values

Just/Market Value: \$1,674,700  
Assessed Value: \$1,674,700  
Exemptions: \$0  
Taxable Value: \$1,674,700  
Taxes for this parcel: SLC Tax Collector's Office [📄](#)  
Download TRIM for this parcel: [Download PDF 📄](#)



### Total Areas

Finished/Under Air (SF): 80,936  
Gross Sketched Area (SF): 91,168  
Land Size (acres): 9.27  
Land Size (SF): 404,013

### Sale History

Date:	Dec 19, 2005
Book/Page:	2446 / 0712
Sale Code:	XX02
Deed:	SP
Grantor:	Morris/Satnick FP Assoc LLC
Price:	\$10,960,000
Date:	Jan 10, 1995
Book/Page:	0941 / 0837
Sale Code:	XX01
Deed:	WD
Grantor:	Elstein Daniel
Price:	\$1,300,000
Date:	Dec 15, 1992
Book/Page:	0821 / 2273
Sale Code:	XX01
Deed:	QC
Grantor:	DR DANIEL ELSTEIN MD P C

Price: \$100  
Date: Jan 10, 1992  
Book/Page: 0772 / 2756  
Sale Code: XX01  
Deed: CT  
Grantor: PIERCE MART ASSOCIATES LTD  
Price: \$600,000

Date: Jan 1, 1900  
Book/Page: 0195 / 1753  
Sale Code: XX01  
Deed: WD  
Grantor:  
Price: \$0

### Building Information (1 of 1)

Finished Area: 80,936 SF

Gross Sketched Area: 91,168 SF

#### Exterior Data

View:  
Building Type: NSCT  
Grade: Y\_D  
Story Height: 1 Story

Roof Cover: Tar & Gravel  
Year Built: 1971  
Effective Year: 1950  
No. Units: 1

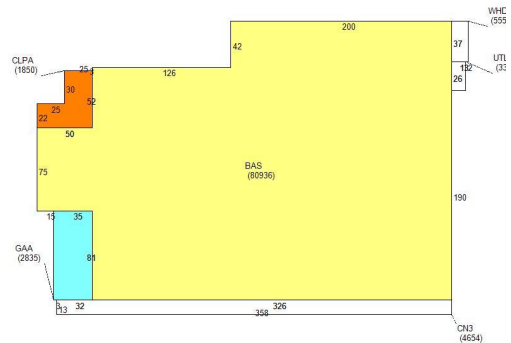
Roof Structure: BarJst/Rigid  
Frame:  
Primary Wall: Brk/Masonry  
Secondary Wall: 8in Brick

#### Interior Data

Bedrooms: 0  
Full Baths: 0  
Half Baths: 0  
A/C %: 90%

Electric: MAXIMUM  
Heat Type: FredHotAir  
Heat Fuel: ELEC  
Heated %: 90%

Primary Int Wall:  
Avg Hgt/Floor: 0  
Primary Floors: Vinyl Tiles  
Sprinkled %: 100%



### Special Features and Yard Items

Type: MEZZANINE  
Quantity: 1  
Units: 13697  
Year Built: 1945

Type: CHAINLINK 10  
Quantity: 1  
Units: 240  
Year Built: 1945

Type: CHAINLINK 8'  
Quantity: 1  
Units: 258  
Year Built: 1945

Type: ASP1 HIGH  
Quantity: 1  
Units: 255640  
Year Built: 1945

Type: TRIPLE LIGHT  
Quantity: 1  
Units: 2  
Year Built: 1971

Type: QUAD LIGHT  
Quantity: 1  
Units: 7  
Year Built: 1999

### Current Year Values


#### Current Values Breakdown

Building: \$38,400  
Land: \$1,636,300  
Just/Market: \$1,674,700  
Ag Credit: \$0  
Save Our Homes or 10% Cap: \$0  
Assessed: \$1,674,700  
Exemption(s): \$0  
Taxable: \$1,674,700

#### Current Year Exemption Value Breakdown

#### Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	169.89999	Fort Pierce Stormwater Charge	\$9,174.60

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

### Historical Values

#### Permits

Number: 200481  
Issue Date: Dec 7, 2004  
Description: Property Off '04 Fire List St Lucie Co Fire Dept  
Amount: \$10,000  
Fee: \$0

Number:	F00-00045
Issue Date:	Feb 4, 2000
Description:	Alterations/Remodeling
Amount:	\$20,000
Fee:	\$0
Number:	F01-000752
Issue Date:	Jun 5, 2001
Description:	Heat and Air Conditioning
Amount:	\$0
Fee:	\$0
Number:	F01-000888
Issue Date:	Jun 27, 2001
Description:	Heat and Air Conditioning
Amount:	\$12,000
Fee:	\$0
Number:	F92-000907
Issue Date:	Jul 27, 1992
Description:	Alterations/Remodeling
Amount:	\$4,000
Fee:	\$4,000
Number:	F94-000686
Issue Date:	May 27, 1994
Description:	Roof
Amount:	\$1,500
Fee:	\$1,500
Number:	F95-001202
Issue Date:	Nov 1, 1995
Description:	Alterations/Remodeling
Amount:	\$15,000
Fee:	\$15,000
Number:	F96-000225
Issue Date:	Mar 8, 1996
Description:	Demolition
Amount:	\$100
Fee:	\$100
Number:	F96-000908
Issue Date:	Aug 12, 1996
Description:	Heat and Air Conditioning
Amount:	\$54,000
Fee:	\$54,000
Number:	F96-000814
Issue Date:	Aug 5, 1997
Description:	Alterations/Remodeling
Amount:	\$15,000
Fee:	\$15,000
Number:	F96-000821
Issue Date:	Aug 12, 1997
Description:	Alterations/Remodeling
Amount:	\$35,000
Fee:	\$35,000
Number:	F97-001370
Issue Date:	Dec 23, 1997
Description:	Additions to existing construction
Amount:	\$3,200

Fee:	\$3,200
Number:	F98-000092
Issue Date:	Jan 23, 1998
Description:	Heat and Air Conditioning
Amount:	\$0
Fee:	\$0
Number:	F98-000148
Issue Date:	Mar 17, 1998
Description:	Alterations/Remodeling
Amount:	\$10,000
Fee:	\$10,000
Number:	F99-000744
Issue Date:	Jun 7, 1999
Description:	Alterations/Remodeling
Amount:	\$20,000
Fee:	\$20,000
Number:	CA2002-3
Issue Date:	Aug 27, 2002
Description:	Alterations/Remodeling
Amount:	\$0
Fee:	\$325
Number:	PV2002-3
Issue Date:	Sep 17, 2002
Description:	Paving
Amount:	\$5,000
Fee:	\$175
Number:	MC2002-139
Issue Date:	Jan 6, 2003
Description:	Alterations/Remodeling
Amount:	\$13,600
Fee:	\$261
Number:	MC2004326
Issue Date:	Oct 28, 2004
Description:	Air Conditioning Only
Amount:	\$4,800
Fee:	\$75
Number:	RF20041059
Issue Date:	Oct 27, 2004
Description:	Roof
Amount:	\$450,000
Fee:	\$0
Number:	PV20046
Issue Date:	Aug 12, 2004
Description:	Paving
Amount:	\$30,000
Fee:	\$475
Number:	CR200484
Issue Date:	Nov 17, 2004
Description:	Alterations/Remodeling
Amount:	\$200,000
Fee:	\$2,125
Number:	RF20041059
Issue Date:	Nov 3, 2004

Description:	Roof
Amount:	\$450,000
Fee:	\$0
Number:	IC20066
Issue Date:	Oct 13, 2006
Description:	Alterations/Remodeling
Amount:	\$15,000
Fee:	\$237
Number:	MC20074
Issue Date:	Jan 16, 2007
Description:	Air Conditioning Only
Amount:	\$64,064
Fee:	\$825
Number:	0700000958
Issue Date:	Aug 13, 2007
Description:	Storm Shutters
Amount:	\$15,400
Fee:	\$164
Number:	0700001719
Issue Date:	Dec 27, 2007
Description:	Roof
Amount:	\$7,800
Fee:	\$153
Number:	BP09-2191
Issue Date:	Dec 7, 2009
Description:	Paving
Amount:	\$6,900
Fee:	\$75
Number:	BP09-2083
Issue Date:	Nov 12, 2009
Description:	Alterations/Remodeling
Amount:	\$7,000
Fee:	\$250
Number:	BP10-0483
Issue Date:	Apr 7, 2010
Description:	Alterations/Remodeling
Amount:	\$125,000
Fee:	\$1,300
Number:	BP10-0303
Issue Date:	Jun 24, 2010
Description:	Paving
Amount:	\$7,500
Fee:	\$75
Number:	BP13-1617
Issue Date:	Apr 23, 2013
Description:	Electric
Amount:	\$20,000
Fee:	\$299
Number:	BP16-1200
Issue Date:	May 23, 2016
Description:	Additions to existing construction
Amount:	\$190,002
Fee:	\$0

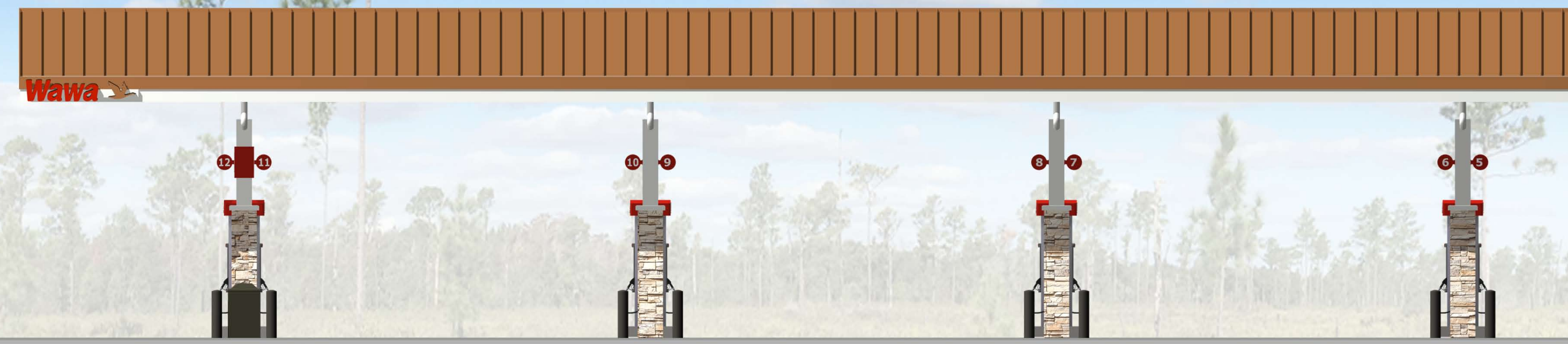
Notice: This does not necessarily represent all the permits for this property.  
Click the following link to check for additional permit data in Fort Pierce

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This information is believed to be correct at this time but it is subject to change and is not warranted.  
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CANOPY END ELEVATION



CANOPY SIDE ELEVATION



CANOPY PERSPECTIVE VIEW

The Wawa fuel canopy is a registered service mark in the U.S. Patent and Trademark Office. The fuel canopy, as well as Wawa's brand names, slogans, logos, service marks, and other trademarks of Wawa's goods, services, and promotions belong exclusively to Wawa, Inc. and/or, Wild Goose Holding Co., Inc. and are protected from copying and simulation under national and international trademark and copyright laws and treaties throughout the world.



# WAWA GAS CANOPY - FL STRAIGHT 8 - STORE #5381

US 1 & Virginia Ave., Ft. Pierce, FL • C&P Project #2180370 • 02-20-2019



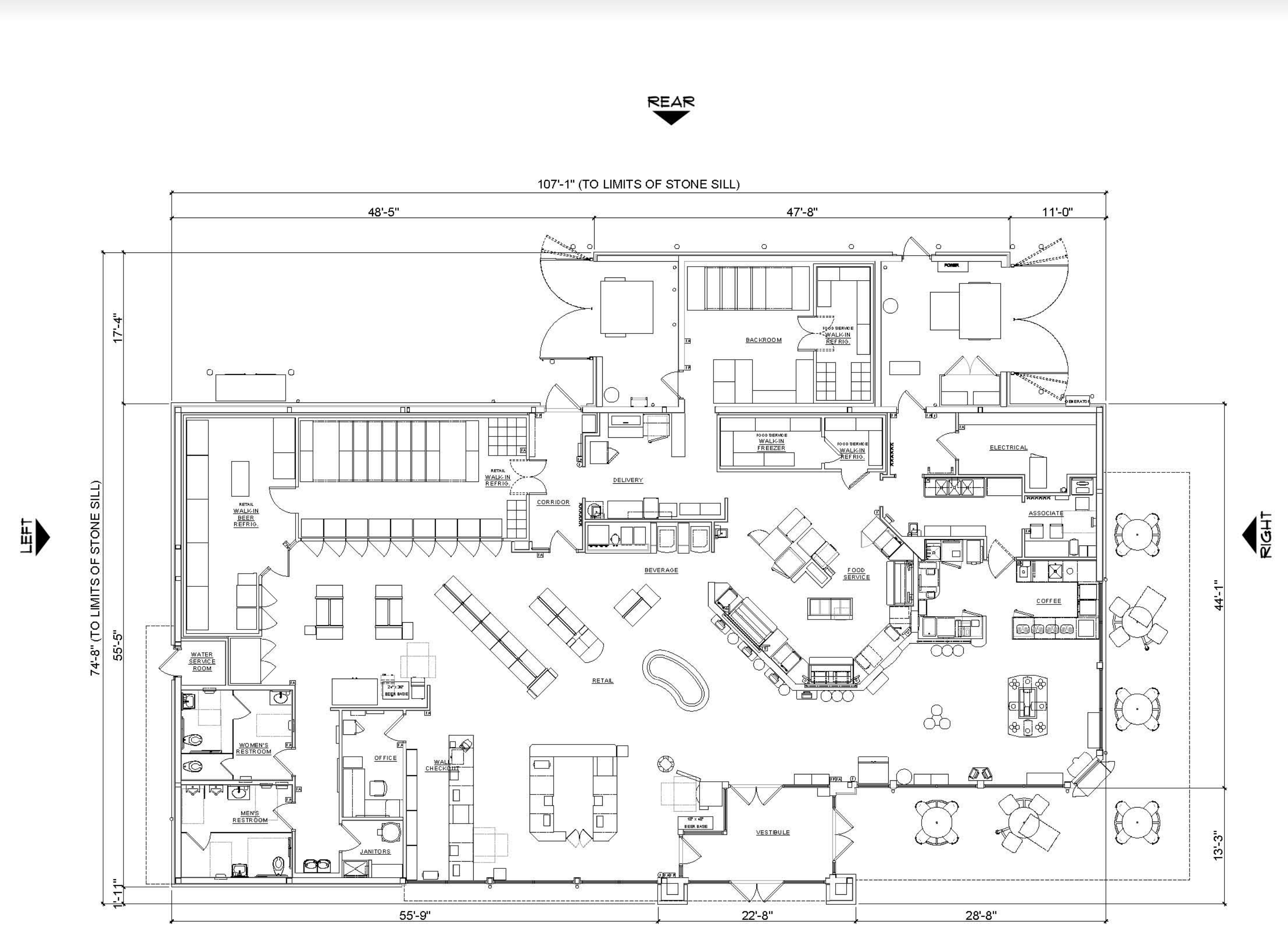
RIGHT (NORTH) ELEVATION



FRONT (EAST) ELEVATION (US 1)



REAR (WEST) ELEVATION



FLOOR PLAN

Metal Door Benjamin Moore White Diamond BM 2121-60	Metal Overhang Atlas #17 Brite Red
Trim James Hardie Arctic White JH10-20	Stucco Senery Meringue #3085
Fiber Cement Siding James Hardie Woodland Cream	Ice Storage Benjamin Moore Natural Wicker OC - 1
Metal Roof Atlas International Coppertone # 23	Exterior Stone Cultured Stone Southwest Blend



LEFT (SOUTH) ELEVATION (VIRGINIA AVE.)

NOTE:  
SIGNAGE IS SHOWN FOR REFERENCE ONLY  
SEPARATE PERMIT REQUIRED

This instrument prepared by:  
Michael E. Parry, Esq.  
Kimco Realty Corporation  
3333 New Hyde Park Road  
New Hyde Park, NY 11042

~~Record and Return to:~~  
Bart Mellits, Esq.  
Ballard Spahr Andrews & Ingersoll  
1735 Market Street, 51<sup>st</sup> Floor  
Philadelphia PA 19103

[For Recorder's Use Only]

**SPECIAL WARRANTY DEED**

**THIS INDENTURE** is made as of this 19<sup>th</sup> day of ~~November~~ December, 2005, between **KIMCO UNIVERSITY COMPANY, LTD.**, a Florida limited partnership ("Grantor") whose address is 3333 New Hyde Park Road, New Hyde Park, New York 11042, and **MORRIS/SATNICK FORT PIERCE ASSOCIATES, LLC**, a Delaware limited liability company ("Grantee"), whose address is 350 Veterans Boulevard, Rutherford, New Jersey 07070.

WITNESSETH, Grantor for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration to it in hand paid by Grantee, the receipt of which is hereby acknowledged, has granted, bargained and sold to Grantee, Grantee's, successors and assigns, forever, that certain property lying and being in St. Lucie County, Florida, more particularly described on Exhibit "A" attached hereto and made a part hereof.

Subject only to those matters set forth on Exhibit "B" attached hereto and made a part hereof.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same unto Grantee in fee simple.

Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

RETURN TO: 0-050757-L (MP)  
LandAmerica - Commercial Services  
1001 N. Lake Destiny Road Ste 250  
Maitland, FL 32751



**EXHIBIT A**

**ALL THAT CERTAIN PARCEL OF LAND** located in the City of Fort Pierce, St. Lucie County, Florida, as shown on an ALTA/ACSM Land Title Survey prepared for The Morris Companies by CPH Engineers/Surveyors dated October 6, 2005, as last revised December 7, 2005, more fully bounded and described as follows:

Parcel 3:

The East 876.9 feet of the South  $\frac{1}{2}$  of the SW  $\frac{1}{4}$ , lying West of U.S. No.1 Highway, Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, LESS: Begin at the intersection of the North right-of-way of Virginia Avenue and the West right-of-way of U.S. No.1 Highway, North 710 feet; West 175 feet; South 175 feet; West 326.9 feet; South 50 feet; West 175 feet; North 100 feet; West 200 feet; South 585 feet; East 876.9 feet to the Point of Beginning. ALSO LESS: Southerly 130 feet for road and canal right-of-way. ALSO LESS: North 150 feet of the South 1222.46 feet of the East 175 feet.

AND

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and the South line of the Southwest  $\frac{1}{4}$  of Section 15, Township 35 South, Range 40 East in the City of Fort Pierce, St. Lucie County, Florida, run North  $00^{\circ}03'34''$  East along that right-of-way of South Fourth Street, 1323.18 feet to the North line of the South  $\frac{1}{2}$  of the Southwest  $\frac{1}{4}$  of said Section 15, and the POINT OF BEGINNING; thence continue North  $00^{\circ}03'34''$  East, 335 feet; thence run North  $89^{\circ}39'26''$  West, 566.9 feet; thence run South  $01^{\circ}10'39''$  West, 186.33 feet; thence run South  $24^{\circ}58'42''$  West, 136.59 feet to the North line of the South  $\frac{1}{2}$  of the Southwest  $\frac{1}{4}$ ; thence run South  $89^{\circ}39'26''$  East 626.80 feet to the POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THE FOLLOWING PARCEL:

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and of the South line of the Southeast  $\frac{1}{4}$  of the Southwest  $\frac{1}{4}$  of Section 15, Township 35 South, Range 40 East, in the City of Fort Pierce, St. Lucie County, Florida, run North  $00^{\circ}03'34''$  East along the West right-of-way line of South Fourth Street, 1336.18 feet to the POINT OF BEGINNING; thence run North  $89^{\circ}39'26''$  West, 175 feet; thence run North  $00^{\circ}03'34''$  East, 185 feet; thence run South  $89^{\circ}39'26''$  East, 175 feet; thence South  $00^{\circ}03'34''$  West, 185 feet to the POINT OF BEGINNING.

LESS AND EXCEPT PARCELS CONVEYED by Warranty Deed to William D. Carlton, in Official Records Book 207, page 592; by Warranty Deed to E.J. Roschman, in Official Records Book 199, page 481; by Quit Claim Deed to James F. Grimes and Susan Grimes, his wife, in Official Records Book 517, page 1232; and by Warranty Deed to Walgreen Co., an Illinois corporation, in Official Records Book 452, page 2789, all of the Public Records of St. Lucie County, Florida.

**EXHIBIT "B"**

Subject to the Following Exceptions

**EXHIBIT B**

Easement to American Telephone and Telegraph Company, recorded in Deed Book 81, page 163 as defined and limited by document recorded in Deed Book 206, page 143.

Reservations of non-exclusive easement as set forth in deed recorded November 6, 1968 in Official Records Book 174, page 884 for the purposes described in said instrument.

Agreements, Restrictions, Easements and Encumbrances created by the "Easement Agreement" set forth hereinafter between KIMCO FORT PIERCE, INC., and Albert W. Johnson and Howard L. Gibson, doing business as Fort Pierce Investments, contained in and attached to Warranty Deed and Easement Agreement dated February 13, 1969, filed February 18, 1969, and recorded in Official Records Book 175, page 2498.

Agreement among KIMCO FORT PIERCE, INC., a Florida corporation, Standard Oil Company, a division of Chevron Oil Company, a California corporation, First Federal Savings and Loan Association of Fort Pierce, a corporation existing under the laws of the United States of America, and Fort Pierce Investments, a Florida limited partnership, dated February 24, 1970, filed May 26, 1970, and recorded in Official Records Book 184, page 2415 and Official Records Book 184, page 2423.

Easement from Albert W. Johnson, General Partner doing business as Fort Pierce Investments and Margaret Hayes Johnson, his wife, to the City of Fort Pierce, a Municipal corporation of the State of Florida, recorded April 30, 1971 in Official Records Book 192, page 365 and Official Records Book 192, page 368.

Lease by and between Equity Associates, Ltd., a Limited Partnership and S.S. Kresge Company, a Michigan corporation as evidenced by Memorandum of Lease dated March 12, 1976 and recorded November 4, 1976 in Official Records Book 259, page 1889 and First Amendment to Lease dated August 30, 1976 and recorded November 4, 1976 in Official Records Book 259, page 1895 and Ratification thereof dated January 10, 1977 and recorded March 24, 1977 in Official Records Book 265, page 1781.

Short Form Lease by and between Kimco University Co., Ltd., a Florida limited partnership and Family Dollar Stores of Florida, Inc., a Florida corporation, recorded in Official Records Book 1305, page 1543.

Easement Agreement by and between Kimco University Company, Ltd., a Florida limited partnership and Kimco Ft. Pierce 147, Inc., a Florida corporation and Fast Food Enterprises #2, a Florida general partnership, recorded in Official Records Book 2221, page 1466.

Short Form Lease by and between Kimco Ft. Pierce, Inc. and Winn-Dixie Stores, Inc. as recorded in Official Records Book 365, page 1719; Second Amendment to Short Form Lease as recorded in Official Records Book 718, page 2408 and Memorandum of Lease by and between

Winn-Dixie Stores, Inc. and CIBC National Bank as recorded in Official Records Book 1366, page 340.

Utility Easement in favor of the City of Fort Pierce as recorded in Official Records Book 177, page 136.

Easement in favor of City of Ft. Pierce as recorded in Official Records Book 180, page 2372.

Agreement by and between Kimco Ft. Pierce Inc. and William D. Carlton as recorded in Official Records Book 207, page 594.

Agreement by and between Kimco Ft. Pierce Inc. and William D. Carlton as recorded in Official Records Book 215, page 2573.

Easement in favor of Fort Pierce Utilities Authority of the City of Fort Pierce as recorded in Official Records Book 381, page 423.

Reciprocal Agreement by and between Kimco University Company, Ltd. and The Kimco Corporation as recorded in Official Records Book 412, page 1612.

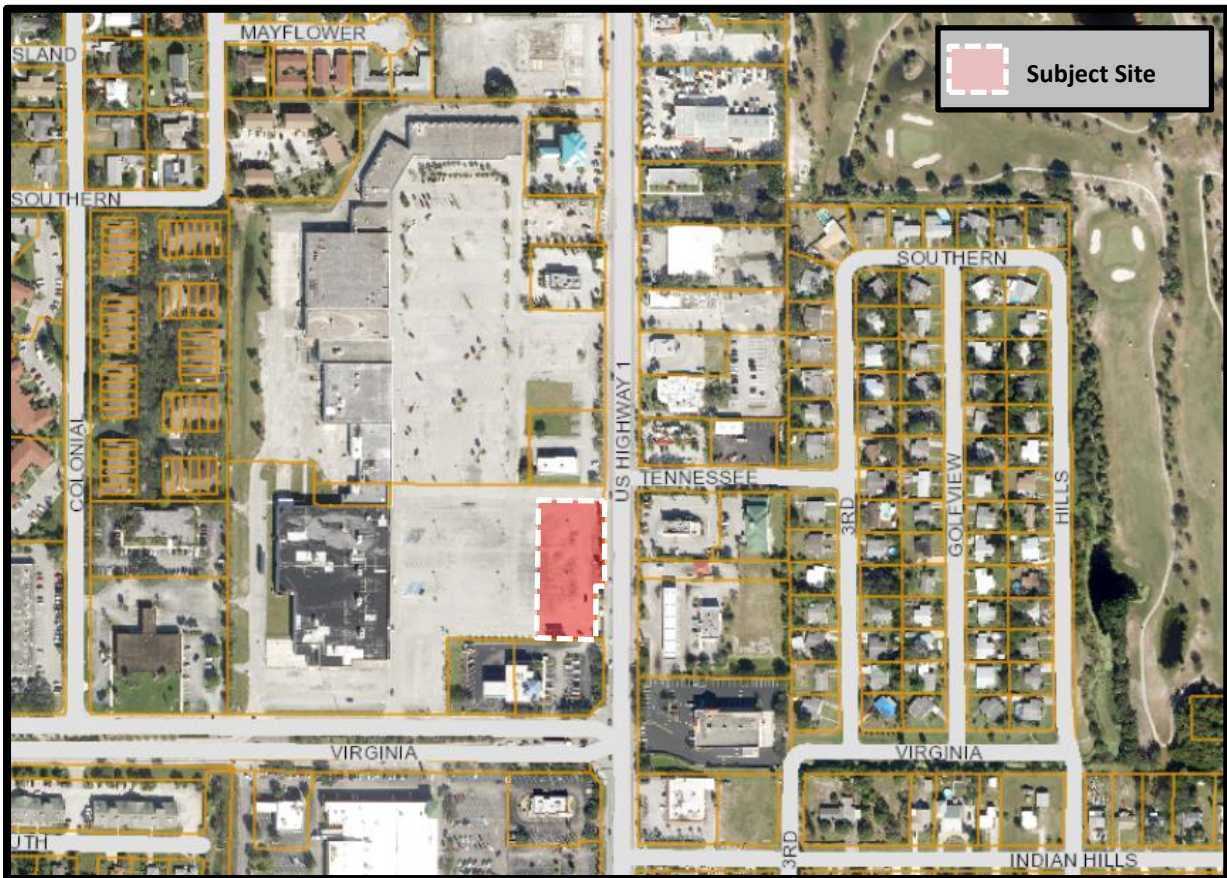
Easement in favor of Fort Pierce Utilities Authority of the City of Fort Pierce as recorded in Official Records Book 422, page 1347.

Storm Sewer Easement between Kimco University Company, Ltd. and Walgreen Co. as recorded in Official Records Book 452, page 2795.

Sanitary Sewer Agreement between Kimco University Company, Ltd. and Walgreen Co. as recorded in Official Records Book 452, page 2802.

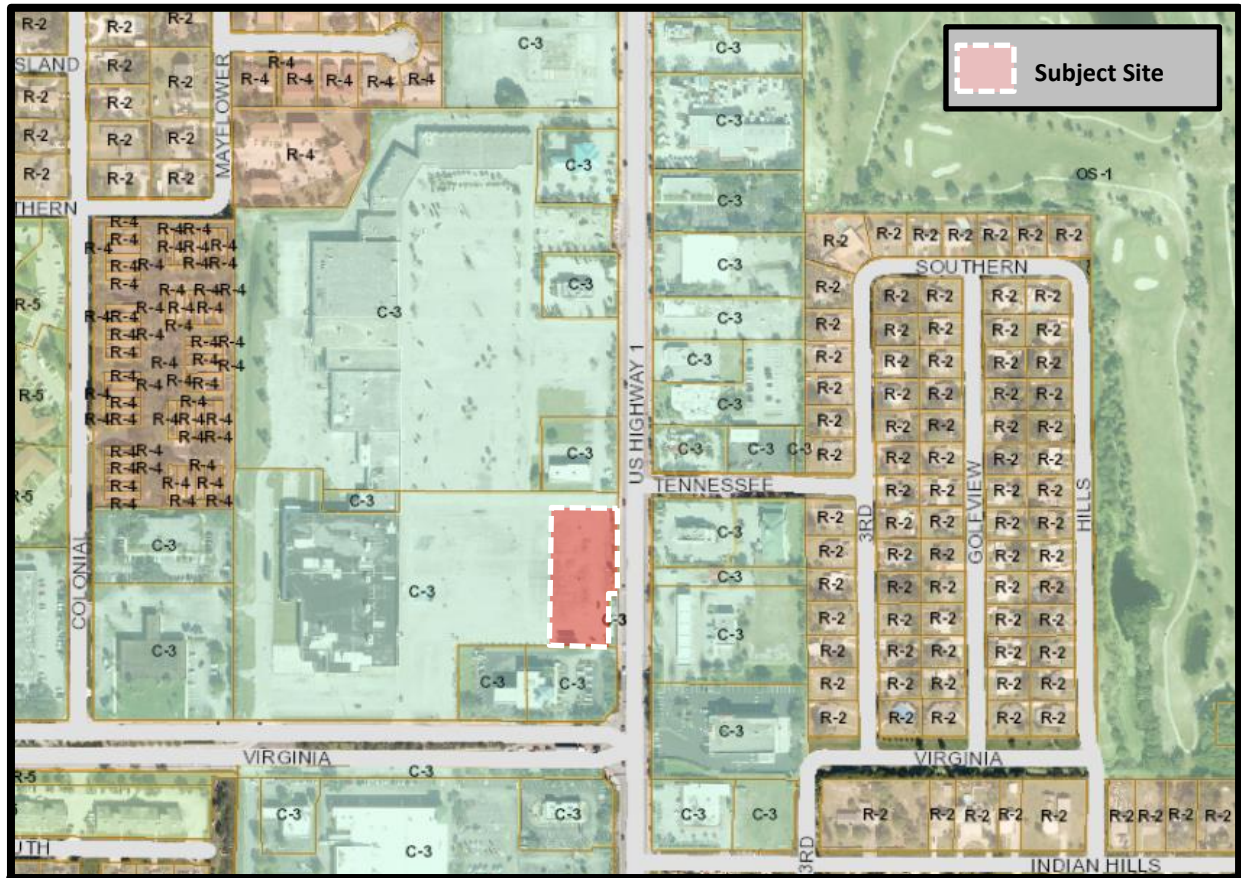
Declaration of Easements and Covenants by Kimco University Company, Ltd. and Walgreen Co. as recorded in Official Records Book 452, page 2808.

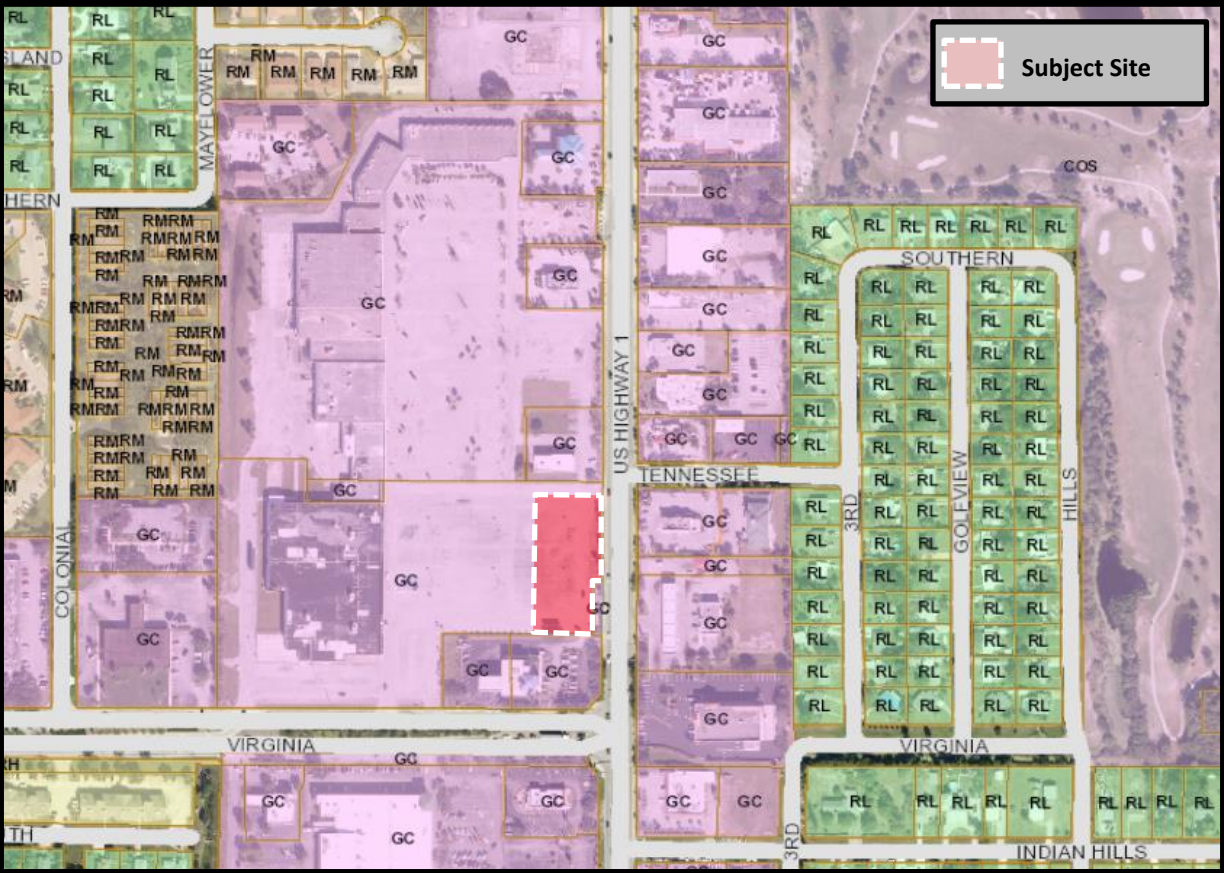
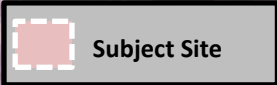
Easement Agreement by and between Kimco University Co. Ltd. and Volume Shoe Corporation as recorded in Official Records Book 748, page 1224.



 Subject Site







**Development Review**  
**2111 S. US Highway 1**  
**Future Land Use Map**





April 17, 2019

R.J. Kennedy, P.E. (Engineering, Design, & Construction Inc.)  
10250 SW Village Parkway, Suite 201  
Port St. Lucie, FL 34987

**SUBJECT: Gateway Plaza Wawa – 2111 S. US Highway 1**  
**TECHNICAL REVIEW PROJECT: # 19-07000002**  
**DEVELOPMENT & DESIGN REVIEW**

**Comments:**

1. All parking areas must be lit to a minimum average of 2 footcandles pursuant to City Code 22-60 (j)(1)(a). Please adjust the lighting plan to reflect this.
2. An irrigation plan will be required at the time of Building Permit pursuant to City Code 22-178(c).
3. The sidewalk along US Highway 1 must be connected with the sidewalk that leads to the front entrance. This can be achieved through additional sidewalks and or painted crosswalks across the site.

Please provide a written response to all TRC comments and provide submittal (10 hard copies/1 digital copy) of all materials by April 30, 2019 to advance to the Planning Board. The presented review is specific to the proposed facility. Please contact me should you have any questions regarding the project at (772) 467-3742 or by e-mail: [bcreagan@city-ftpierce.com](mailto:bcreagan@city-ftpierce.com).

Sincerely,

Brandon Creagan, LEED Green Associate  
Planner



THE SUNRISE CITY  
**FORT PIERCE**  
ENGINEERING  
DEPARTMENT  
*Florida*

**To : Brandon Creagan, Planner**

**FROM : John R. Andrews, P.E., City Engineer**

**RE : WaWa Design Review – 2111 S. US Highway 1  
TRC No. 19-07000002**

**DATE : April 30, 2019**

This is to advise you that we have completed the review of the following documents as received by this office on April 29, 2019:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Revised Site Plan                                     | <input type="checkbox"/> P/D Drawings  |
| <input checked="" type="checkbox"/> Traffic Impact Analysis & Related Documents           | <input type="checkbox"/> Certificate of Completion                               |
| <input type="checkbox"/> Record Drawings  | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies |  |

Based on our reviews and appropriate site final inspection, we

- |   |   |                              |
|---|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend             | <input type="checkbox"/> Do Not Recommend |                              |
| <input checked="" type="checkbox"/> Approval of Site Plan | <input type="checkbox"/> Building Permit  | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for Site Plan comments to be addressed at time of Building Permit Application

BRANDON CREAGAN, PLANNER  
WAWA – 2111 S. US HIGHWAY 1  
APRIL 29, 2019  
PAGE TWO

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ENGINEERING COMMENTS:

1. Provide a note on the plans that all construction shall comply with the City of Fort Pierce Code of Ordinances Sections 17 and 22.

JRA/VB/vb



THE SUNRISE CITY  
**FORT PIERCE**  
ENGINEERING  
DEPARTMENT

Florida

**TO : Brandon Creagan, Planner**

**FROM : John R. Andrews, P.E., City Engineer**

**RE : WaWa Design Review – 2111 S. US Highway 1  
TRC No. 19-0700002**

**DATE : April 17, 2019**

This is to advise you that we have completed the review of the following documents as received by this office on April 5, 2019:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Site Plan   | <input type="checkbox"/> P/D Drawings  |
| <input type="checkbox"/> Test Reports & Related Documents                                 | <input type="checkbox"/> Certificate of Completion                               |
| <input type="checkbox"/> Record Drawings  | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies |  |

Based on our reviews and appropriate site final inspection, we

- |  |  |                              |
|--|--|------------------------------|
| <input type="checkbox"/> Recommend             | <input checked="" type="checkbox"/> Do Not Recommend |                              |
| <input type="checkbox"/> Approval of Site Plan | <input type="checkbox"/> Building Permit             | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

See attached for engineering comments

BRANDON CREAGAN, PLANNER  
WAWA – 2111 S. US HIGHWAY 1  
APRIL 17, 2019  
PAGE TWO

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ENGINEERING COMMENTS:

1. Provide a note on the plans that all construction shall comply with the City of Fort Pierce Code of Ordinances Sections 17 and 22.
2. Provide a traffic study in accordance with the City of Fort Pierce Code of Ordinances Section 22-217(f) for a large scale development.

JRA/VB/vb



**BUILDING DEPARTMENT  
TECHNICAL REVIEW COMMITTEE (TRC)  
COMMENT FORM**

Meeting Date: 4.18.19  
Property Address: 2111 US Hwy. 1  
Property Name:  
Project Name: Wawa  
Planner: Brandon Creagan

*Please be advised that the project may trigger the requirements indicated below:*

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 6<sup>th</sup> Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
  - Accessible route
  - Handicapped parking spaces
  - Means of egress
- 7. Change of Use required
  - to include a signed and sealed Life Safety Plan
  - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

**Additional Comments/Requirements:**

Building Official's or Representative's Signature \_\_\_\_\_

Date: \_\_\_\_\_

4/17/19



THE SUNRISE CITY  
**FORT PIERCE**  
POLICE DEPARTMENT  
"In Honor We Serve"

*Florida*

## Technical Review Committee meeting

April 18th, 2019

Case # 19-07000002

Development and design review

Wawa, 2111 South US-1, Ft Pierce

### Comments:

Does the door that leads out to the north dumpster area have a window in it (like the south rear exit door adjacent to the dumpster)? (If yes, then please disregard this comment).

I shall also presume that the door that leads from the outside to the north dumpster area will feature a locking mechanism (if yes, disregard this comment).

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



Fort Pierce Utilities Authority  
Water/Wastewater Engineering  
1701 South 37<sup>th</sup> Street  
Fort Pierce, FL 34947  
772.466.1600 x3473

## Technical Review Committee meeting

**April 18, 2019**

TECHNICAL REVIEW PROJECT # 19-07000002

Development & Design Review – Wawa – 2111 S. US Highway 1

### **Comments**

FPUA W/WW Engineering: Water and sewer services are available to serve this property. Please submit 3 complete sets of utility construction plan with applicable FPUA details along with a completed commercial service application to Water and Wastewater Engineering for review, at 1701 S 37th Street Fort Pierce Florida. For more information please contact us at 772 466 1600 ext. 3474

FPUA Electric & Gas Engineering: Both electric and gas service is available to the site. Utility easement will be require for the propose FPUA facilities. Please provide AutoCad drawings, electrical plans and gas drawings (if gas service is required). Approved.  
Please contact the following FPUA staff as it relate to the services:

Electric: Michael Chidgey  
Engineering Tech I  
1701 S. 37<sup>th</sup> Street, Fort Pierce, FL 34947  
[mchidgey@fpua.com](mailto:mchidgey@fpua.com)  
Office: (772) 466-1600 ext. 6459

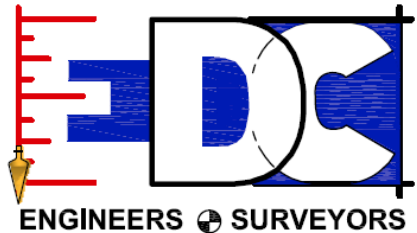
Gas: Billy Dupre  
Business Development Representative – Gas Operations  
1701 S. 37<sup>th</sup> Street, Fort Pierce, FL 34947  
[bdupre@fpua.com](mailto:bdupre@fpua.com)  
Office: (772) 466-1600 ext. 4705



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April 30, 2019

Via: *Electronic and Hand Delivery*

Brandon Creagan  
City of Fort Pierce  
100 North US 1  
Fort Pierce, FL 34950

**Re: Gateway Plaza Wawa – 2111 S. US Highway 1  
Technical Review Project # 19-0700002  
Development & Design Review – Response to Comments**

Dear Brandon:

On behalf of our client, please find the attached response to comments received on April 17, 2019 for a project known as Gateway Plaza Wawa Design & Development Review. Each comment is identified below followed by a response in ***bold italics***.

#### **PLANNING COMMENTS**

1. All parking areas must be lit to a minimum average of 2 foot-candles pursuant to City Code 22-60 (j)(1)(a). Please adjust the lighting plan to reflect this.

***RESPONSE: Please see attached revised photometric plans.***

2. An irrigation plan will be required at the time of Building Permit pursuant to City Code 22-178(c).

***RESPONSE: Please see attached the irrigation plans.***

3. The sidewalk along US Highway 1 must be connected with the sidewalk that leads to the front entrance. This can be achieved through additional sidewalks and or painted crosswalk across the site.

***RESPONSE: Please see revised site plan which includes sidewalk connection and cross-walk striping.***

#### **ENGINEERING COMMENTS**

1. Provide a note on the plans that all construction shall comply with the City of Fort Pierce Code of Ordinances Section 17 and 22.

***RESPONSE: Please see revised plans. This note has been added.***

2. Provide a traffic study in accordance with the City of Fort Pierce Code of Ordinances Section 22-217(f) for a large scale development.

***RESPONSE: During the response period of these comments EDC coordinated directly with Fort Peirce Engineering Department, Planning, St. Lucie County, and the Florida Department of Transportation. Revised traffic calculations for ITE land use code 960 have been provided on the updated site plan and capacity analysis. Please see enclosed approval notice from the Engineering Department regarding this item.***

#### **FORT PIERCE POLICE DEPARTMENT COMMENTS**

1. Does the door that leads out to the north dumpster area have a window in it (like the south rear exit door adjacent to the dumpster)? (If yes, then please disregard comment).

**RESPONSE:** *Per architect coordination the door that leads out to the north dumpster has a window in it. It has 4" x 25" laminated glass.*

2. I shall also presume that the door that leads from the outside to the north dumpster area will feature a locking mechanism (if yes, disregard this comment).

**RESPONSE:** *Per architect coordination the door that leads from the outside to the north dumpster area has a locking mechanism.*

## FPUA COMMENTS

1. FPUA W/WW Engineering: Water and sewer services are available to serve this property. Please submit 3 complete sets of utility construction plans with applicable FPUA details along with a completed commercial service application to Water and Wastewater Engineering for review at 1701 S. 37<sup>th</sup> Street, Fort Pierce, FL. For more information, please contact us at 772-466-1600 x 3474.

**RESPONSE:** *Acknowledged. Submittal of materials to FPUA will be delivered under separate cover.*

2. FPUA Electric & Gas Engineering: Both electric and gas service is available to the site. Utility easements will be required for the proposed FPUA facilities. Please provide AutoCad drawings, electrical plans and gas drawings (if gas service is required).  
Approved.

**RESPONSE:** *Acknowledged. Submittal of materials to FPUA will be delivered under separate cover.*

We feel the attached adequately addresses staff comments and respectfully request the approval of this project. If you have any questions regarding this application, the attached documents, or the project, please contact our office.

Respectfully,  
**ENGINEERING DESIGN & CONSTRUCTION, INC.**



David Baggett, P.E.  
Project Engineer

cc: Scott Kearney - Wawa

Z:\EDC-2018\18-302 - Gateway Plaza - WAWA\ENGINEERING\Documents\Submittal Documents\Comment Response Letter\2019-04-30\_B\_Creagan\_Wawa\_Dev\_Review\_Rps2Cmts\_18-302.doc

**Planning Board**

**6.j.**

Meeting Date: 05/14/2019

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Information

REQUESTED ACTION

Discussion regarding Short Term Rentals

LOCATION

N/A

RESPONSIBLE STAFF

Rebeca A. Guerra, AICP, LEED-AP, CPD, Interim Planning Director

RECOMMENDATION

N/A

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**Form Review**

Form Started By: Rebeca Guerra

Started On: 05/07/2019 07:22 PM

Final Approval Date: 05/08/2019