



CITY OF FORT PIERCE  
DEVELOPMENT REVIEW PACKAGE

835 SEAWAY DRIVE/ TBD

May 21, 2019

Submitted by:



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## A. PD AMENDMENT PACKAGE

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## **A.1. AMENDMENT NARRATIVE**



**Atkins**  
 7175 Murrell Road  
 Melbourne, FL 32940-7999  
 Tel: +1 321 242 4942  
 atkinglobal.com  
[snclavalin.com](http://snclavalin.com)

**TO:** City of Fort Piece Planning Department  
 Att: Rebecca Grohall, AICP, Planning Director  
 100 North U.S. Highway 1  
 Fort Pierce, FL 34950

**FROM:** Jeffrey Lucas – Atkins N.A  
 Authorized Representative

**SUBJECT:** **Application for Development Review (Major PD Amendment)  
 Cumberland Farms @ Harbour Isles  
 835 Seaway Drive / TBD**

**DATE:** April 29, 2019

**AMENDMENT NARRATIVE**

**Owner(s)/Applicant(s):** Harbour Isle Development Commercial, LLC  
 835 Seaway Drive  
 Fort Pierce, FL 34949

**Representative:** Atkins, NA  
 Jeffrey Lucas  
 7175 Murrell Road  
 Melbourne, FL 34940

**Requested Action:** Approval with Conditions to allow for a Major Amendment to the Planned Development Plan for Harbour Isle Concerning Property Located at 835 Seaway Drive / TBD

**Location:** 835 Seaway Drive / TBD

**Parcel IDs:** 2402-501-0001-010-8

**Zoning:** PD, Planned Development

**Future Land Use:** HIMU, Hutchinson Island Mixed Use

**Surrounding Zoning:**

North	East	South	West
OS1	PD	PD	PD

**Land Use:** 1.50 acres

### **Amendment Request:**

In accordance with Section, 22-40 of the City Code, Cumberland Farms, Inc. is requesting the review and approval of a Development Review (Major Amendment) to the previously approved PD as follows:

1. Revise the previously approved site plan for property that is located at 835 Seaway Drive. The proposal is to construct a 5,625 square foot convenience store with fuel sales and associated infrastructure.
2. Revise the previously approved 15,000 square foot commercial allocation by  $\pm 1,675$  square feet to allow for a Cumberland Farms to be developed on a portion of the original parent parcel that received Commission approval on August 5, 2004. This development will effectively provide for “infill” development of this original parent parcel that received Commission approval of a retail building on January 11, 2019. the second infill parcel of the parent parcel to increase the remaining allotted commercial building square footage from 3,950 square feet to 5,625 square feet.
3. Revise the previously permitted uses to allow convenience stores with fuel sales.

### **Background Information:**

On August 5, 2004, the City Commission granted approval for the Planned Development know as Harbour Isle at Hutchinson Island. This PD consisted of both residential and commercial components. The commercial aspects of the project were located along Seaway drive. A 15,000 square foot retail use was approved for a single parcel as a part of this 2004 Commission approval. On January 11, 2019, the City Commission approved an 11,050 square foot retail development on a portion of this parent parcel that was subdivided into two parcels. This request seeks to development the remaining acreage with a Cumberland Farms that will require a 1,675 square foot commercial allocation increase and permission to have fuel sales.

### **Site Plan Review:**

Cumberland Farms, Inc. is requesting review and approval of a Major Amendment to the Harbour Isle Planned Development for the commercial component of the development that is located at 835 Seaway Drive. As noted above, the previously approved site plan had a commercial building of 15,000 square feet. The parent parcel with the previously approved commercial component has been legally split into two parcels of 1.5 acres and 1.54 acres. The approved site plan of the Planned Development has been revised. The 1.54-acre parcel has been granted a Major Amendment approval by the City Commission on January 11, 2019 for an  $\pm 11,050$  square feet commercial building. Cumberland Farms, Inc. is proposing a 5,625 square feet commercial building on the remaining infill parcel. The combined buildings square footage has exceeded the previously approved the 15,000 square feet commercial building by 1,675 square feet.

There are proposed to be two driveways on the property along Seaway Drive. One driveway will be egress (right-out only) only and the second driveway will be a shared driveway with the adjacent commercial development and will be both ingress and egress. The egress for the second driveway will be a left-out and a right-out. There will be no driveway that connects to the interior of the Harbour Isle development, instead there will be a pedestrian path with a secure electronic gate that only the Harbour Isle residents will be able to access.

The proposed building size would require twenty-nine (29) parking spaces with two (2) of those spaces being designated as handicap spaces. The proposed development is providing thirty (30) parking spaces with two (2) of these spaces designated as handicap. Five (5) bicycle stalls will also be provided onsite.

The Lighting Plan provided will have minimal light spill onto both Seaway Drive and on the property line that is shared with the residential component of Harbour Isle. The lighting in the parking area was designed to be in compliance with City Code 22-60 (j)(1)(a) that required a minimum average of two (2) foot-candles in the parking area.

The Landscape Plan proposes the following vegetation:

TYPE	COMMON NAME	QUANTITY
<b>TREES</b>		
	Live Oak	3
	Sabal Palm	14
	Mahogany	6
<b>SHRUBS/GROUNDCOVERS</b>		
	Perennial Peanut	295
	Red Tip cocoplum	138
	Wax Jasmine (Shrub)	78
	Podocarpus	21
<b>TURF</b>		
	St. Augustine Floratam	1,265 SY

The Landscape Plan was designed to be in compliance with the requirements of City Code 22-187, General Landscaping requirements. A fully automatic irrigation system will be installed and will provide 100% coverage in winds up to 15 miles per hour.

**Development Review**

Section 22.58 of the City of Fort Pierce Code of Ordinances outlines the requirements for development review. The attached material includes the necessary items required for review and approval.

**Design Review**

Section 22.59 of the City of Fort Pierce Code of Ordinances outlines the requirements for design review. The attached material includes necessary items required for review and approval.

**Based on the above justification and attached information, the Petitioner respectfully requests approval of these requests.**

## **A.2. COMPLETE NOTARIZED APPLICATION**



**DEVELOPMENT REVIEW**

Property address or Location 835 Seaway Dr / TBD., Fort Pierce, FL 34949  
 Parcel ID #(s) 2402-501-0001-010-8  
 Project description 5,625 SF 1-story convenience store with outdoor seating and 6 fueling pumps

Harbour Isle Dev Commercial, LLC  
**Property Owner(s)**  
825 Seaway Drive  
**Street Address**  
Fort Pierce FL 34949  
**City State Zip**  
(561)-623-8801  
**Phone Number**  
cmason@masondc.com  
**Email Address**

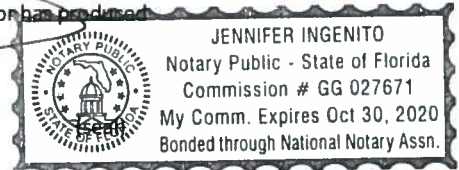
Laura Sherman, Assistant Secretary, Cumberland Farms Inc.  
**Applicant/Representative, Title, Company**  
165 Flanders Rd.  
**Street Address**  
Westborough MA 01581  
**City State Zip**  
(508) 270-1400  
**Phone Number**  
lsherman@cumberlandfarms.com  
**Email Address**

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

*Mason*  
 Property Owner(s) Signature(s)

**Representative**  
**Jeffrey Lucas - ATKINS**  
**7175 Murrell Road**  
**Melbourne, FL 32940**  
**321-242-4942**  
**jeffrey.lucas@atkinglobal.com**

STATE OF FLORIDA -- COUNTY  
 The foregoing instrument was acknowledged before me this 12<sup>th</sup> day of June, 2019, by  
CRAIG R. MASON  
 who is personally known to me or has produced  
 as identification.



*[Signature]*  
 Signature of Notary

**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved By \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Intake Date Stamp



# DEVELOPMENT REVIEW

### General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

### Choose Application Type:

Application Type		
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input checked="" type="checkbox"/> Major Amendment
<input type="checkbox"/> Conceptual Development Plan	<input type="checkbox"/> Minor Amendment	

### Site Information:

5,625

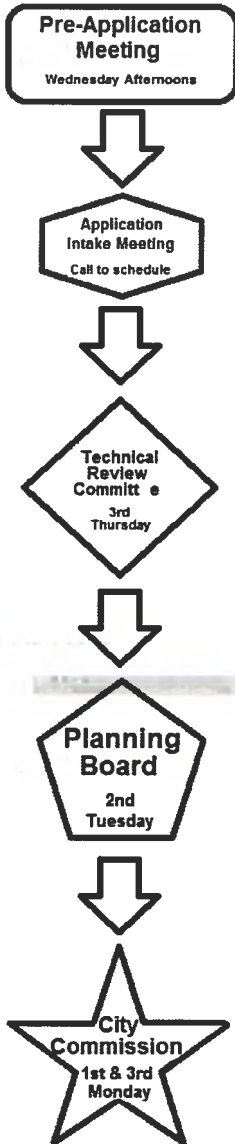
Non-Residential: Proposed Sq. Ft.:

Residential: Proposed Units:

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
RM	HIMU	HIMU	RM

### Application Outlook



### Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-S8.d.2)
- Survey (see Section 22-S8.d.3)
- Site Plan (see Section 22-S8.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-S8.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-S8.d.7)
- Lighting Plan (see Section 22-S8.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

### **A.3. WARRANTY DEED**

Prepared by and Return to:  
Louisa Martinez, an employee of  
First International Title, Inc.  
107 North 2nd Street  
Fort Pierce, FL 34950  
Our File No. 127661-41

## **WARRANTY DEED**

**THIS INDENTURE** is made on 18th day of September, 2018, between  
**Harbour Isle Development Commercial LLC a Florida limited liability company**, having a  
business address at: 9315 Dole Circle, Windermere, FL 34786, ("Grantor"), and  
**Harbour Isle Plaza, LLC, a Florida limited liability company**, having a mailing address of: PO Box  
3316, Jupiter, FL 33469, ("Grantee"):

(Which terms "Grantor" and "Grantee shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

**WITNESSETH**, that the said Grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt and sufficiency of which is hereby acknowledged hereby grants, bargains, sells, remises, releases, conveys and confirms unto said "Grantee" all that certain land, situated, lying and being in the County of **St. Lucie, Florida**, to-wit:

That portion of Tract D-1, Second Replat of Harbour Isle at Hutchinson Island, according to the plat thereof, as recorded in Plat Book 46, Page(s) 9 and 10, of the Public Records of St. Lucie County, Florida, lying East of the following described line:

Commence at the Northwest corner of said Tract D-1; thence North 64°50'00" East, along the North line of said Tract D-1 (the North line of said Tract D-1 is assumed to bear North 64°50'00" East and all other bearings are relative thereto), a distance of 244.91 feet to the beginning of a curve concave to the South having a radius of 666.78 feet and a central angle of 1°01'21"; thence Easterly, along the arc of said curve, a distance of 11.90 feet to the Point of Beginning of the hereinafter described line; thence South 25°10'00" East, a distance of 274.36 feet to a point on the South line of said Tract D-1 and the Point of Terminus.

Parcel Identification Number: **2402-501-0001-010/8 and 2402-501-0001-020-1**

**Subject**, however, to all reservations, covenants, conditions, restrictions and easements of record and all applicable zoning ordinances and/or restrictions or requirements imposed by governmental authorities, if any.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the

Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to **December 31, 2017.**

**In Witness Whereof,** Grantor has signed and sealed these presents on the date first above written.

Harbour Isle Development Commercial, LLC a Florida limited liability company

M. Simpson, Pres  
R. Mason Simpson, President

**Signed, sealed and delivered in our presence:**

Tracy Sawicki  
Witness Signature  
Print Name: TRACY SAWICKI

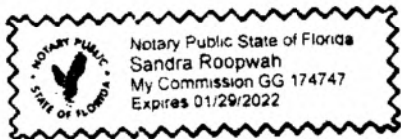
Estrellita Vazquez  
Witness Signature  
Print Name: ESTRELLITA VAZQUEZ

State of Florida  
County of Orange

**The Foregoing Instrument Was Acknowledged** before me on September 19, 2018, by R. Mason Simpson, as President of **Harbour Isle Development Commercial LLC a Florida limited liability company**, who is/are personally known to me or who has/have produced a valid driver's license as identification.

Sandra Roodwah  
Notary Public  
Sandra Roodwah  
(Printed Name)

My Commission expires: \_\_\_\_\_



## **A.4. SLC PROPERTY RECORD CARD**

### Property Identification

Site Address: TBD  
Parcel ID: 2402-501-0001-010-8  
Account #: 183453  
Map ID: 24/02N  
Use Type: 1000  
Zoning: PUD  
City/County: Fort Pierce

### Ownership

Harbour Isle Plaza LLC  
PO Box 3316  
Jupiter, FL 33469

### Legal Description

SECOND REPLAT OF HARBOUR ISLE AT HUTCHINSON ISLAND (PB 46-9) THAT PART OF TRACT D-1 MPDAF: FROM NW COR OF TRACT D-1, TH N 64 50 00 E ALG N LI OF TRACT 244.91 FT TO CURVE CONC S, R OF 666.78 FT, TH ELY ALG ARC 11.90 FT TO POB; TH CONT ALG ARC 388.84 FT TO NE COR OF TRACT, TH S 29 41 35 W 34.91 FT, TH N 78 52 58 W 13.84 FT, TH S 12 27 34 W 6.64 FT, TH N 76 43 04 W 4.75 FT, TH S 56 32 17 W 20.34 FT, TH S 08 07 52 W 4.31 FT, TH N 78 03 59 W 6.65 FT, TH S 11 13 25 W 71.62 FT TO CURVE CONC W, R OF 90 FT, TH SLY ALG ARC 17.17 FT, TH S 22 09 18 W 23.61 FT TO E LI OF TRACT, TH S 29 41 35 W 72.18 FT, TH S 60 12 16 W 160.08 FT TO POB (1.504 AC - 65,532 SF) (OR 2377-203)



### Current Values

Just/Market Value: \$891,200  
Assessed Value: \$891,200  
Exemptions: \$0  
Taxable Value: \$891,200

### Total Areas

Finished/Under Air (SF): 0  
Gross Sketched Area (SF): 0  
Land Size (acres): 1.5  
Land Size (SF): 65,532

**Property taxes are subject to change upon change of ownership.**

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)   
Download TRIM for this parcel: [Download PDF](#)

### Sale History

Date:	Sep 19, 2018
Book/Page:	4185 / 1536
Sale Code:	0205
Deed:	WD
Grantor:	Harbour Isle Dev Comm LLC
Price:	\$562,000
Date:	Sep 28, 2005
Book/Page:	2377 / 0203
Sale Code:	XX03
Deed:	SP
Grantor:	Owen Jr Jack B

Price:

\$900,000

### Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

#### Exterior Data

View:

Roof Cover:

Roof Structure:

Building Type:

Year Built: N/A

Frame:

Grade:

Effective Year: 2014

Primary Wall:

Story Height:

No. Units: 0

Secondary Wall:

#### Interior Data

Bedrooms: 0

Electric:

Primary Int Wall:

Full Baths: 0

Heat Type:

Avg Hgt/Floor: 0

Half Baths: 0

Heat Fuel:

Primary Floors:

A/C %: 0%

Heated %: N/A%

Sprinkled %: 0%



Image  
or  
Sketch  
unavailable  
for display

### Special Features and Yard Items

### Current Year Values

#### Current Values Breakdown

Building:	\$0
Land:	\$891,200
Just/Market:	\$891,200
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$891,200
Exemption(s):	\$0
Taxable:	\$891,200

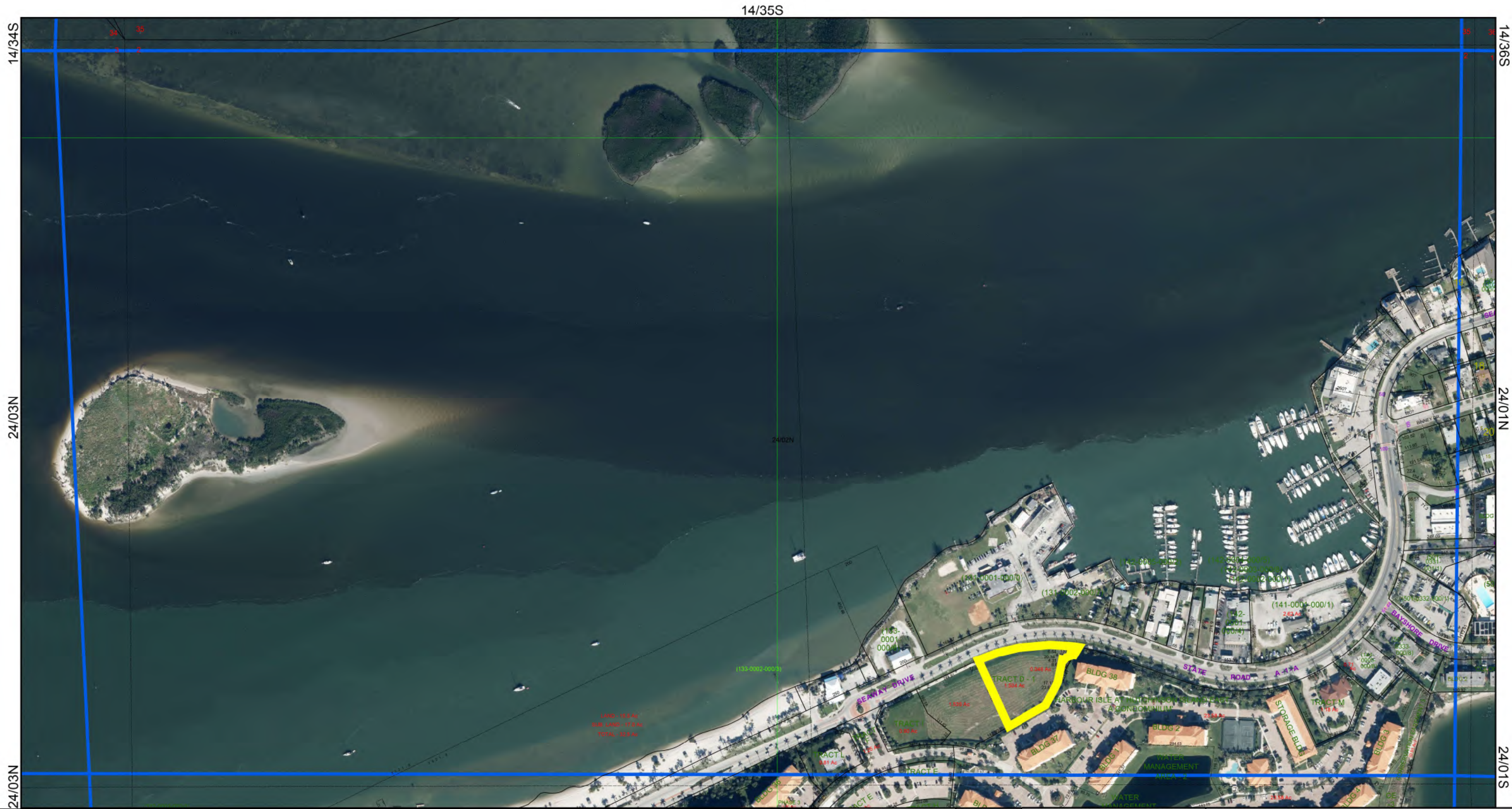
#### Current Year Exemption Value Breakdown

#### Current Year Special Assessment Breakdown

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office ☐.

### Historical Values

### Permits



Map Last Updated: 3/9/2019

PREPARED FOR  
**Michelle Franklin, CFA**  
 SAINT LUCIE COUNTY PROPERTY APPRAISER



**ASSESSMENT MAP**  
 THIS MAP HAS BEEN PREPARED FOR THE SAINT LUCIE COUNTY PROPERTY APPRAISER'S PURPOSES ONLY AND DOES NOT NECESSARILY REFLECT AN ACTUAL SURVEY. THE SAINT LUCIE COUNTY PROPERTY APPRAISER DOES NOT ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS CONTAINED HEREON.

**SAINT LUCIE COUNTY, FLORIDA**

SECTION	<b>02</b>	SHEET NUMBER
TOWNSHIP	<b>35</b>	<b>24/02N</b>
RANGE	<b>40</b>	

**A.5. STATEMENTS OF OWNERSHIP & CONTROL OF PROPOSED DEVELOPMENT**

## MEMORANDUM

**To:** City of Fort Pierce Planning Department  
Attn: Rebecca Grohall, Planning Director  
100 North U.S. Highway 1  
Fort Pierce, FL 34950

**From:** Jeffrey Lucas – Atkins Global, N.A.  
As Authorized Agent

**Re:** Statement of Ownership & Control of Proposed Development  
Proposed Cumberland Farms Convenience Store at 835 Seaway, Fort Pierce, FL

**Date:** February 19, 2019

### SUBJECT PROPERTY

The subject property consists of a vacant parcel of 3.04 acres on the west side of Harbor Isle at Hutchinson's Island Community. The 3.04 acre property was legally split into two parcels, one of approximately 1.5 acres and the other approximately 1.54 acres. The proposed development will be on the northeast +/- 1.50 acres of vacant, well grassed land lying within the jurisdiction of the City of Ft. Pierce, Florida at 801 Seaway Dr.

The property is currently owned by **Harbor Isle Plaza, LLC. Cumberland Farms, Inc.** has entered an Agreement for Sale and Purchase of Real Property with **Harbor Isle Plaza, LLC** on September 4, 2018. Upon the completion of sale, Cumberland Farms, Inc will own and control the proposed development.

### PROJECT DESCRIPTION

The northeast parcel is intended to be occupied a Cumberland Farms convenience store. The proposed development includes a single-story building of 5,625 sf with of outdoor seating and 6 dispensing pumps with 12 fueling positions. The development will be equipped with underground storage tanks, canopy, outdoor seating, air tower, and dumpster enclosure.



March 11, 2019

**AUTHORIZATION**

Project Name: Cumberland Farms  
Project Location: 801 Seaway Drive, Fort Pierce, FL

To Whom It May Concern:

Atkins North America, Inc. is the authorized agent for Cumberland Farms, Inc. to handle all site-related permit applications for the Cumberland Farms development project located at 801 Seaway Drive, Fort Pierce, Florida.

Cumberland Farms, Inc.

A handwritten signature in blue ink, appearing to read "Laura S. Sherman".

Laura S. Sherman  
Senior Corporate Counsel & Assistant Secretary

COMMONWEALTH OF MASSACHUSETTS  
WORCESTER COUNTY

Subscribed and sworn to before me this 11th day of March 2019 by Laura S. Sherman, Senior Corporate Counsel & Assistant Secretary of Cumberland Farms, Inc., who is personally known to me.



A handwritten signature in blue ink, appearing to read "Pamela A. Sinnett".

Notary Public:

My Commission Expires: 1/31/2025

## **A.6. GENERAL LOCATION MAP**

PLOT DATE: Feb 19, 2019 - 8:59am  
 FILE NAME: A:\PROJECTS\100062844 - CF - 801Seaway (Ft. Pierce)\10 CAD\10 - EXHIBIT\EXHIBIT-LOCATION MAP.dwg



# ATKINS

CORPORATE OFFICE:  
 4030 W. BOY SCOUT BOULEVARD  
 TAMPA, FLORIDA 33607  
 FBPR CERTIFICATE OF  
 AUTHORIZATION NO.24

LOCAL OFFICE:  
 7175 MURRELL ROAD  
 MELBOURNE, FL 32940  
 TEL. 321.242.4942  
 FAX. 321.242.6101  
 www.atkinglobal.com

## LOCATION MAP EXHIBIT

Job nos. 100062844		Refer to Sheet No.	
Sketch Date 02/19/2019		Add./ Rev.	RFI N/A
Scale 1" = 300'			
Dr JWS	Ck JAL		

## **A.7. DEVELOPMENT PLANS (SEE SECTION D)**

## **B. CONCURRENCY REVIEW SUBMITTAL**

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# CAPACITY ANALYSIS

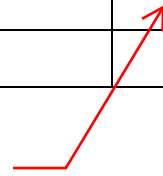
## I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

## II. Public Facilities Information:

Noted Total is for overall acreage of Harbour Cay Retail + Cumberland Farms



A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 1,875.00
**Proposed Zoning/FLU	Total gallons per day 703 gpd
**Change in Demand	Total gallons per day reduction of 1172 gpd

703 gpd

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot <b>563 gpd</b>
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 1,500
**Proposed Zoning/FLU	Total gallons per day 563 gpd
**Change in Demand	Total gallons per day decrease of 937 gpd

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name		
City		
Distance		
Current Zoning/FLU Enrollment Demand		
**Proposed Zoning/FLU Enrollment Demand		
**Change in Demand		

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	15,000 sf at 0.05 cy/sf = 750 cy
**Proposed Zoning/FLU	5625 sf x 0.05 = 281.25 cy
*Change in Demand	of decrease 469 cy

<b>F. Stormwater:</b> Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)
--

<b>Impact</b>	
---------------	--

**III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)**

<b>G. Transportation Analysis: Complete ITE Trip Generation Data Form</b>		
Most recent ITE Code for use; HCM Roadway Capacity		
	<b>AADT</b>	<b>AM/PM Peak Hour Trips</b>
<b>Demand Analysis</b>	Maximum	Maximum
<b>Current Zoning/FLU</b>	566	AM Entry: 9, AM Exit:5, PM Entry: 27, PM Exit: 30
<b>**Proposed Zoning/FLU</b>	2766	AM Entry: 62, AM Exit: 63; PM Entry: 46, PM Exit: 48
<b>*Change in Demand</b>	Trips 2,200 (increases)	Trips 53/58/19/18 (increases)
<b>Impact to Capacity</b>	Trip generation will increase based on the combined development on the of the divided parcels.	

**IV. Project Description**

<b>PHASING</b>	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units:	Single Family: Multifamily:
Non-residential (square footage):	
Mixed-use (describe use):	
(If this is a single phase project, name it Phase I – Total)	

<b>RESIDENTIAL DATA</b>					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

<b>NON-RESIDENTIAL DATA</b>					
<b>Type(s) specify</b>	<b>Phase</b>	<b>Square footage</b>	<b>Acres</b>	<b>Expecting beginning date</b>	<b>Expected completion date</b>

A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No

- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
 If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_
2. What is the current use of the structure to be demolished or re-used? \_\_\_\_\_
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
 If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

\*\* Complete section if requesting a change in zoning, future land use, or expanding

**C. DESIGN REVIEW SUBMITTAL PACKET**

---



## Design Review

Property address or Location 835 Seaway Dr. / TBD, Fort Pierce, FL 34949  
 Parcel ID #(s) 2402-501-0001-010-8  
 Project Description 5,625sf 1-story convenience store with outdoor seating and 6 fueling pumps

Harbour Isle Dev Commercial, LLC  
 Property Owner(s)  
825 Seaway Drive  
 Street Address  
Fort Pierce FL 34949  
 City State Zip  
(561) 623-8801  
 Phone Number  
cmason@masondc.com  
 Email Address

Laura Sherman, Assistant Secretary, Cumberland Farms Inc.  
 Applicant/Representative, Title, Company  
165 Flanders Rd.  
 Street Address  
Westborough MA 01581  
 City State Zip  
(508) 270-1400  
 Phone Number  
lsherman@cumberlandfarms.com (Applicant contracting to purchase)  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.*

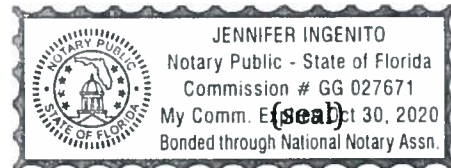
Property Owner(s) Signature(s)

Representative  
 Jeffrey Lucas - ATKINS  
 7175 Murrell Road  
 Melbourne, FL 32940  
 321-242-4942  
 jeffrey.lucas@atkinglobal.com

STATE OF FLORIDA -- COUNTY  
 The foregoing instrument was acknowledged before me this 12 day of Mar, 2015 by

CRAG R. MASON who is personally known to me or has produced  
 as identification.

Signature of Notary



### TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_

Intake Date Stamp

# **Design Review Application Checklist**

## **(City Code of Ordinances 22-59)**

### Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

### Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

## **C.1. DESIGN INTENT NARRATIVE**

Cumberland Farms – Ft. Pierce  
801 Seaway Drive, Fort. Pierce, FL

---

## MEMORANDUM

---

**To:** City of Fort Pierce Planning Department  
Attn: Rebecca Grohall, Planning Director  
100 North U.S. Highway 1  
Fort Pierce, FL 34950

**From:** Jeffrey Lucas – Atkins Global, N.A.  
As Authorized Agent

**Re:** Design Intent Narrative  
Proposed Cumberland Farms Convenience Store at 835 Seaway, Fort Pierce, FL

**Date:** February 19, 2019

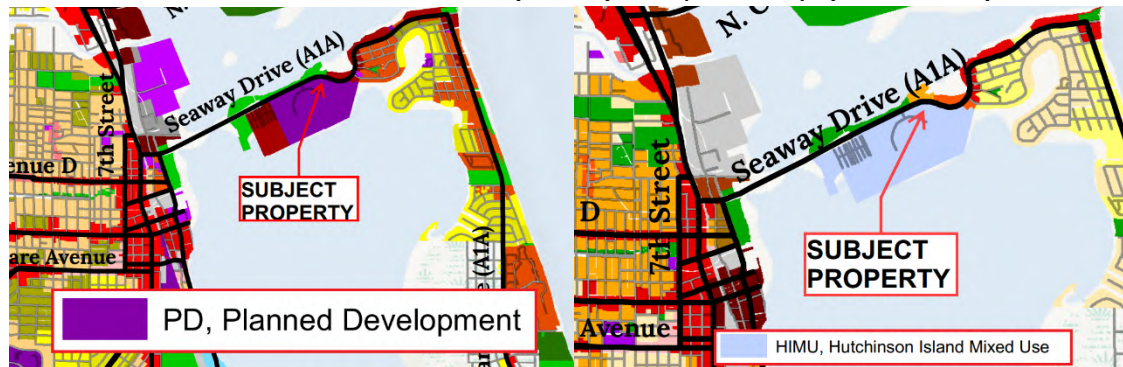
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### **SUBJECT PROPERTY**

The subject property consists of a vacant parcel of 3.09 acres on the west side of Harbor Isle at Hutchinson's Island Community. It is intended to legally split into two parcels, one of approximately 1.5 acres and the other approximately 1.6 acres. The proposed development will be on the northeast +/- 1.50 acres of vacant, well grassed land lying within the jurisdiction of the City of Ft. Pierce, Florida at 801 Seaway Dr.

The site has no significant vegetation and in fact was created by depositing dredged fill from the intracoastal waterway. There also is no significant topography, wetlands or buffers. The subject property is currently undeveloped and vacant grassed land. The Fort Pierce US army Coastguard facility, vacant property and a residential building are located across Seaway drive adjoining the subject property to the north. A vacant property adjoins the subject property to the west, past which are roadways and residential buildings of Harbor Isles. Parking lots and residential buildings of Harbor Isles surround the subject property to the south. A vacant property adjoins the subject property to the east, past which are residential buildings of Harbor Isles. A hedge and a metal railing bound the property to the south with a few trees.

Current zoning and future land use (FLU) for the site is Planned Development (PD) and Hutchinson Island Mixed Use (HIMU), respectively (see below).



**PROJECT DESCRIPTION**

The northeast parcel is intended to be occupied a Cumberland Farms convenience store. The proposed development includes a single-story building of 5,625 sf with 300 sf of outdoor seating and 6 dispensing pumps with 12 fueling positions. The development will be equipped with underground storage tanks, canopy, outdoor seating, air tower, and dumpster enclosure.

Refer to PD Amendment for additional

**PROPOSED ACCESS**

The development has proposed to provide two driveways along Seaway Drive. One shared full access driveway with the southern parcel and a right turn only exit driveway on the north end. Additional internal circulation accesses will be provided with the parcel on the south.

**SUMMARY**

The proposed Cumberland Farms development fits perfectly with the local environment. It draws on neighboring architecture and provides a safe and clean place for the community to shop.

## **C.2. CONTEXT PHOTOGRAPHS**







### **C.3. ARCHITECTURAL PRECEDENT**

## Photos of surrounding uses and styles



















## **C.4. PHOTOGRAPHS OF EXISTING STRUCTURES**







## **C.5. TRAFFIC IMPACT REPORT**

# *TRAFFIC IMPACT ANALYSIS*

## Harbor Cay Fort Pierce, FL

*Prepared for:*  
Mason Development & Construction  
Jupiter, Florida

*Prepared by:*

  
Engineering & Planning, Inc.  
1172 SW 30<sup>th</sup> Street, Suite 500  
Palm City, FL 34990  
(772) 286-8030



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SHAUN G. MACKENZIE, P.E. ON THE DATE ADJACENT TO THIS SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
MACKENZIE ENGINEERING AND PLANNING, INC.  
1172 SW 30<sup>th</sup> STREET, SUITE 500  
PALM CITY, FL 34990  
CERTIFICATE OF AUTHORIZATION 29013  
SHAUN G. MACKENZIE, P.E. NO. 61751

Digitally  
signed by  
Shaun G  
MacKenzie  
Date:  
2019.05.20  
11:46:56  
-04'00'

174001  
April 2019  
© MacKenzie Engineering and Planning, Inc.  
CA 29013

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Shaun G. MacKenzie P.E.  
PE Number 61751

## **EXECUTIVE SUMMARY**

MacKenzie Engineering and Planning, Inc. (MEP) was retained to prepare a traffic study update for the development of property on the south side of Seaway Drive east of the Harbor Isle roundabout, Fort Pierce, FL (Parcel ID: 2402-501-0001-000-5). The applicant proposes a 3,250 SF of high-turnover restaurant, 4,745 SF apparel store, 1,040 SF gift shop, 1,495 SF liquor store, and 5,625 SF of convenience store with 12 vehicle fueling positions.

The project has a prior approval through Ft. Pierce and a pre-approval through FDOT for 1 right-in, 1 right-out, and one full access driveway to Seaway Drive along with a full access driveway to Harbor Isle. The project proposes to remove the Harbor Isle access. The project will provide cross-access to the undeveloped parcel to the west.

The site proposes a 2020 buildout. The project's net new trips compared to the prior use approval is a decrease of 969 daily, 66 AM peak hour, and 84 PM peak hour trips.

The proposed project is expected to generate the following net external trips:

- 1,128 daily, 72 AM peak hour (39 in/33 out), and 81 PM peak hour (42 in/39 out)

The proposed project is expected to generate the following cumulative driveway trips:

- 3,918 daily, 268 AM peak hour (139 in/129 out), and 277 PM peak hour (143 in/134 out)

The driveways are projected to operate acceptably without ingress turn lanes. The project will provide left and right-turn egress lanes from the project.

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## ***LIST OF EXHIBITS***

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Exhibit 2. AM Peak Hour Project Trips
Exhibit 3. AM Peak Hour Roadway Analysis
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Exhibit 5. PM Peak Hour Roadway Analysis
Exhibit 6. Harbor Cay Driveway Volumes
Exhibit 7. Adjacent Parcel Trip Generation
Exhibit 8. Adjacent Parcel Driveway Volumes
Exhibit 9. Total Projected Driveway Volumes
Intersection Development Sheet – Seaway Drive @ Driveway

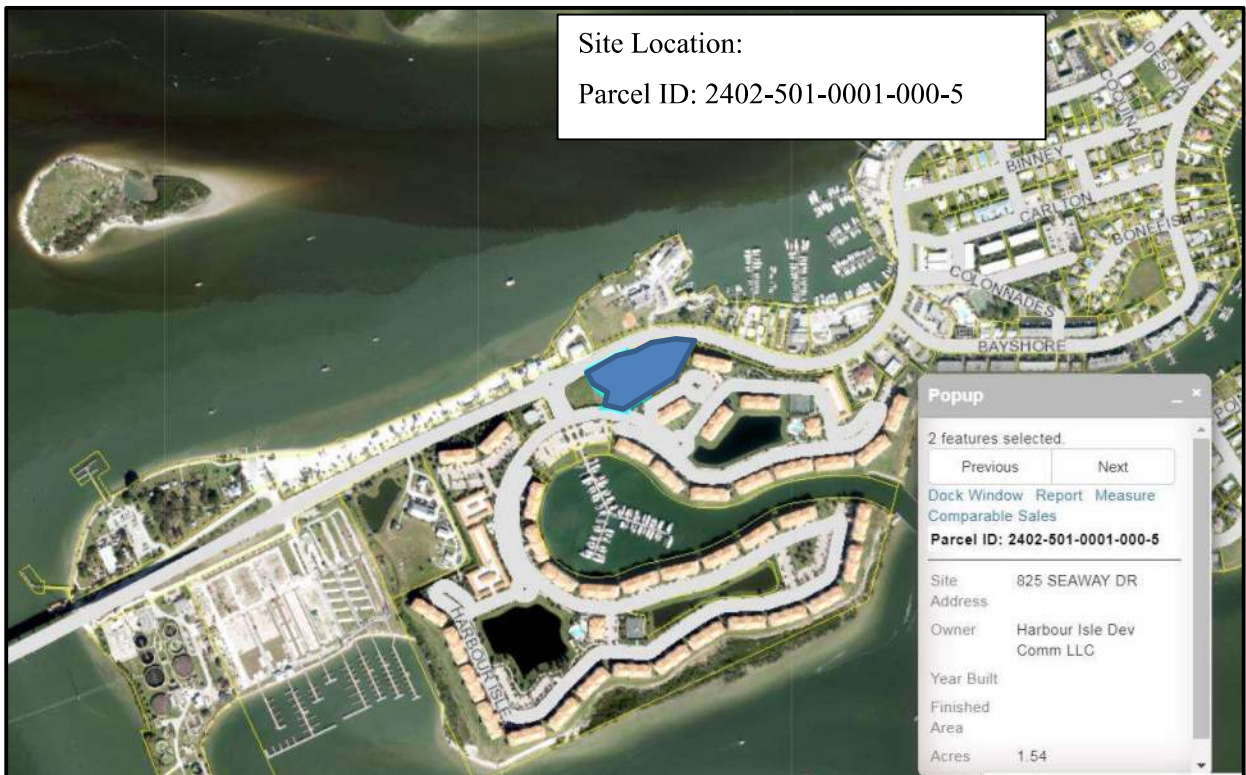
## **INTRODUCTION**

MacKenzie Engineering and Planning, Inc. (MEP) was retained to prepare a traffic study update for the development of property on the south side of Seaway Drive east of the Harbor Isle roundabout, Fort Pierce, FL (Parcel ID: 2402-501-0001-000-5). The applicant proposes a 3,250 SF of high turnover restaurant, 4,745 SF apparel store, 1,040 SF gift shop, 1,495 SF liquor store, and 5,625 SF of convenience store with 12 vehicle fueling positions.

The project has a prior approval through Ft. Pierce and a pre-approval through FDOT for 1 right-in, 1 right-out, and one full access driveway to Seaway Drive along with a full access driveway to Harbor Isle. The project proposes to remove the Harbor Isle access. The purpose of this report is to assess the ability of the driveway and roadways surrounding the project accommodate the projected change in traffic.

The concept plan is shown in Appendix A.

**Figure 1. Site Location**



## **INVENTORY AND PLANNING DATA**

The traffic data used in this analysis were obtained from FDOT.  
Atkins & EDC provided site information.

## **PROJECT TRAFFIC**

### Use

The following changes are proposed:

Table 1. Proposed Changes

Use	Approved	Proposed	Change (P – A)
Medical Office	8,600 SF	-	-8,600 SF
Shopping Center	4,000 SF	0 SF	+4,000 SF
Restaurant	7,050 SF	3,250 SF	-3,800 SF
Apparel Store	-	4,745 SF	+4,745 SF
Gift Shop	-	1,040 SF	+1,040 SF
Liquor Store	-	1,495 SF	+1,495 SF
Convenience Store with Fuel Pumps			
Convenience Store	5,618 SF	5,625 SF	7 SF
Fueling Positions	12 F.P.	12 F.P.	0 F.P.

### Traffic Generation

Daily and peak hour rates and equations contained in the Institute of Transportation Engineers' (ITE) report, Trip Generation (10th Edition) were applied to the following uses:

- Restaurant – ITE Land Use 932 – High-Turnover Sit-Down Restaurant
- Beachwear – ITE Land Use 876 – Apparel Store
- Gift Shop – ITE Land Use 876 – Apparel Store
- Liquor Store – ITE Land Use 899 – Liquor Store

The report uses FDOT's Trip Generation Recommendations Report (October 2014) for Convenience Market with Gas Pumps. The FDOT PM peak hour Gasoline plus convenience store equation was also applied to the AM peak hour because FDOT did not publish AM Peak Hour equations.

The proposed project is expected to generate the following net external trips:

- 1,128 daily, 72 AM peak hour (39 in/33 out), and 81 PM peak hour (42 in/39 out)

The proposed project is expected to generate the following cumulative driveway trips:

- 3,918 daily, 268 AM peak hour (139 in/129 out), and 277 PM peak hour (143 in/134 out)

### *Internal Capture*

AM and PM peak hour internal capture is conservatively estimated at 1.8 and 4.8 percent, respectively. This is a conservation rate given the potential interaction between the uses on the site.

### *Pass-by Trip Capture*

MEP utilized the available pass-by rate capture rates published within the ITE's report, *Trip Generation (10<sup>th</sup> Edition)*. Apparel Store and Liquor Store do not have published pass-by rates, therefore a 34 percent pass-by rate was applied based the average shopping center rate (ITE Land Use 820). The report uses the pass-by capture rate published within FDOT's Trip Generation Recommendations Report (October 2014) for Convenience Market with Gas Pumps as show in Table 2.

Table 2. Trip Generation

Land Use	Intensity		Daily Trips	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
<b>Proposed Site Traffic</b>									
High Turnover Sit-Down Rest	3.250	1000 SF	365	32	18	14	32	20	12
Apparel Store	5.785	1000 SF	384	6	5	1	24	12	12
Conv. Mrkt w/ Gas Pumps	5.625 ksf + 12 f.p.		3,361	235	118	117	235	118	117
Liquor Store	1.495	1000 SF	152	1	1	0	26	13	13
Subtotal			4,110	273	141	132	291	150	141
<b>Internal Capture</b>									
	AM	PM	DAILY						
High Turnover Sit-Down Rest	6.3%	12.5%	12.5%	46	2	1	1	4	2
Apparel Store	0.0%	8.3%	8.3%	32	0	0	0	2	1
Conv. Mrkt w/ Gas Pumps	1.3%	3.4%	3.4%	114	3	1	2	8	4
Liquor Store	0.0%	7.7%	7.7%	12	0	0	0	2	1
Subtotal	1.8%	4.8%	4.7%	192	5	2	3	14	7
<b>Pass-By Traffic</b>									
High Turnover Sit-Down Rest	43.0%		137	13	7	6	12	8	4
Apparel Store	34.0%		120	2	2	0	7	4	3
Conv. Mrkt w/ Gas Pumps	78.0%		2,533	181	91	90	177	89	88
Liquor Store	34.0%		48	0	0	0	8	4	4
Subtotal			2,790	196	100	96	196	101	95
<b>NET PROPOSED TRIPS</b>			<b>1,128</b>	<b>72</b>	<b>39</b>	<b>33</b>	<b>81</b>	<b>42</b>	<b>39</b>
<b>Total Proposed Driveway Volumes</b>			<b>3,918</b>	<b>268</b>	<b>139</b>	<b>129</b>	<b>277</b>	<b>143</b>	<b>134</b>
<b>NET EXTERNAL TRIPS (FOR THE PURPOSES OF CONCURRENCY)</b>			<b>1,128</b>	<b>72</b>	<b>39</b>	<b>33</b>	<b>81</b>	<b>42</b>	<b>39</b>
<b>NET CHANGE IN DRIVEWAY VOLUMES</b>			<b>3,918</b>	<b>268</b>	<b>139</b>	<b>129</b>	<b>277</b>	<b>143</b>	<b>134</b>
Note: Trip generation was calculated using the following data:									
Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour		Equation
					in/out	Rate	in/out	Equation	
High Turnover Sit-Down Rest	932	1000 SF	112.18	43%	55/45	9.94	62/38	9.77	
Apparel Store	876	1000 SF	66.4	34%	80/20	1.00	51/49	4.12	
Conv. Mrkt w/ Gas Pumps	FDOT	1000 SF & Pumps	14.3 x PM Trips	78%	50/50	used PM information	50/50	12.3 x Fuel Pumps + 15.5 x 1,000 SF Conv. Store	
Liquor Store	899	1000 SF	101.49	34%	51/49	0.51	50/50	17.12	

## Area of Impact

The proposed changes on the site, reductions in intensity and use of the more accurate ITE 10<sup>th</sup> Edition and FDOT equations resulted in a significant reduction in net external and driveway trips. The most recent traffic study was performed by O'Rourke Engineering & Planning and is dated August 10, 2018. The summary of trips is shown below in Tables 3 and 4.

Table 3. Net External Trip Generation

Traffic Study	Daily Trips	AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out
O'Rourke	2,097	138	80	58	165	83	82
MEP	1,128	72	39	33	81	42	39
Change	-969	-66	-41	-25	-84	-41	-43

Table 4. Driveway Trip Generation

Traffic Study	Daily Trips	AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out
O'Rourke	4,699	309	166	143	357	178	179
MEP	3,918	268	139	129	277	143	134
Change	-781	-41	-27	-14	-80	-35	-45

The reduction in net external trips is attributed to the FDOT's studies of convenience stores with gasoline pumps which demonstrates approximately 78 percent of the traffic is related to traffic passing by the site. The study also eliminated the medical office use from the site and applied the anticipated actual uses (apparel store, gift shop, and liquor store) rather than the general shopping center trip generation.

## **TRAFFIC DISTRIBUTION**

Consistent with the prior approved traffic study, the overall distribution is summarized by general directions and is depicted below:

WEST	-	70 percent
EAST	-	30 percent

## **TRAFFIC ASSIGNMENT**

The distributed external trips for the project were assigned to the roadway network within the radius of influence based on the distribution and are consistent with the O'Rourke August 10, 2018 traffic study. The traffic assignment is illustrated in Figure 2.

## **PROJECTED GROWTH**

Projected growth is estimated using the historical growth in the area. The study uses a 3.4 percent annual growth rate as shown in Table 5 based the weighted average of growth on Seaway Drive and Ocean Drive.

Table 5. Growth Rate Calculation

ROAD	FROM	TO	Station	LANES	2014	2015	2016	2017	2018	GROWTH RATE
Seaway Drive	ICWW	Harbour Isle	940115	2	12,900	15,100	14,800	14,800	16,600	4.28%
Ocean Drive	Seaway Dr	Jaycee Park	945016	2	7,800	8,000	8,800	8,100	8,400	1.55%

Average Weighted Growth Rate	<b>3.4%</b>
------------------------------	-------------

## **BACKGROUND TRAFFIC**

Background traffic identifies how the study area's transportation system is forecast to operate in the buildout year. This includes traffic growth that is associated with the general (historic) growth in the area and the growth due the development of unbuilt portions of approved major developments.

**Figure 2. Traffic Assignment**



## ***ASSURED AND PROGRAMMED CONSTRUCTION***

A review was conducted of the Five-Year Plans of FDOT. No capacity enhancements are identified in the area.

## ***ROADWAY ANALYSIS***

### ***Adopted Level of Service***

Seaway Drive (SR A1A) has an adopted level of service of D based on the City's comprehensive plan. Seaway Drive is 4-lanes west of Causeway Cove Marina. Seaway Driveway is uninterrupted flow segment from Causeway Cove Marina to Harbour Isle Drive and transitions from 4-lanes to 2-lanes. East of Harbour Isle Drive, Seaway Drive is 2-lanes. The corresponding vehicular roadway capacities for Seaway Drive are 1,300, 1,190 and 750 peak hour peak direction vehicles, respectively, obtained from FDOT's 2013 Quality/Level of Service Manual.

### *Total Peak Hour*

Roadway analysis was performed on Seaway Drive from Indian River Drive to Ocean Drive. The project related traffic and total traffic for the AM and PM peak hours for one-way peak hour conditions are shown in Exhibits 2 through 5. As shown in Exhibits 3 and 5, Seaway is projected to operate acceptably at project buildout in the AM and PM peak hours, respectively.

## ***DRIVEWAYS***

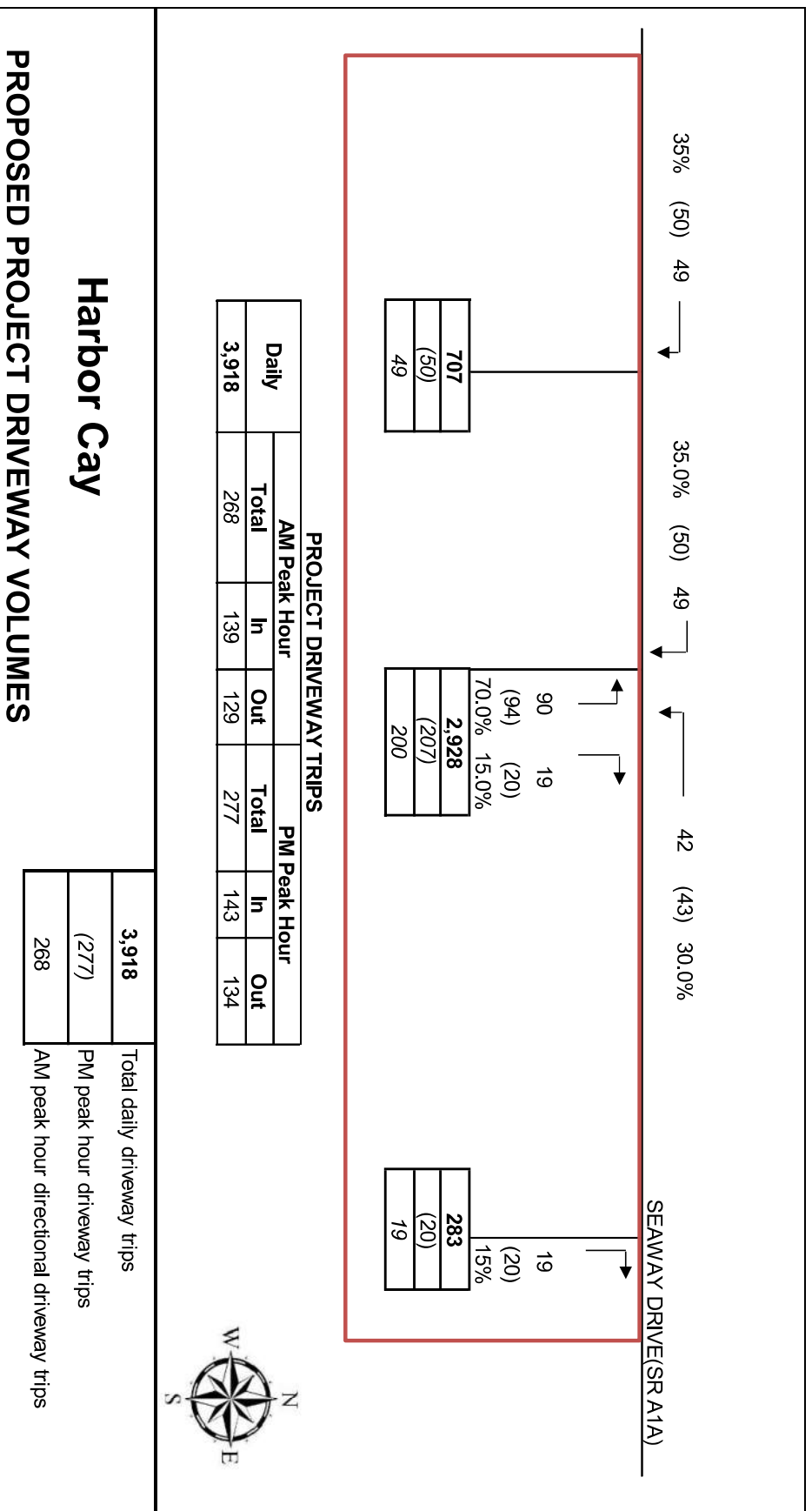
The Project site proposes three points of access onto Seaway Drive (SR A1A). The access is as follows:

- Seaway Drive west access – right-in only
- Seaway Drive central access – full access
- Seaway Drive east access – right-out only

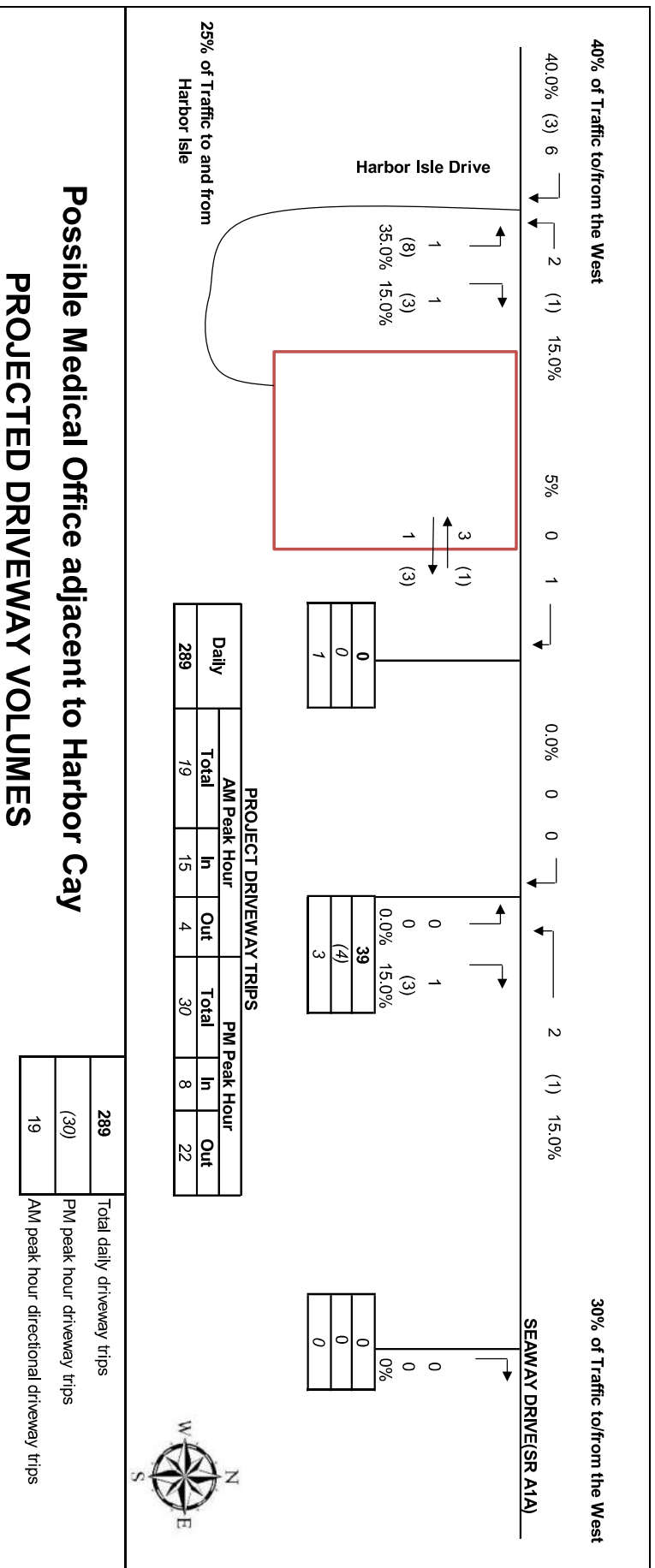
In addition, the project will provide cross-access to an undeveloped parcel to the west. The parcel was previously analyzed as an 8,000 SF medical office. This analysis will continue to analyze the project as an 8,000 SF medical office in order to provide a conservative analysis. Trip generation is provided in Exhibit 6 in the Appendix and the traffic assignment is consistent with the proposed project.

The Harbor Cay project, Undeveloped Western Parcel, and Total driveway trips are shown in Figures 3, 4, and 5, respectively.

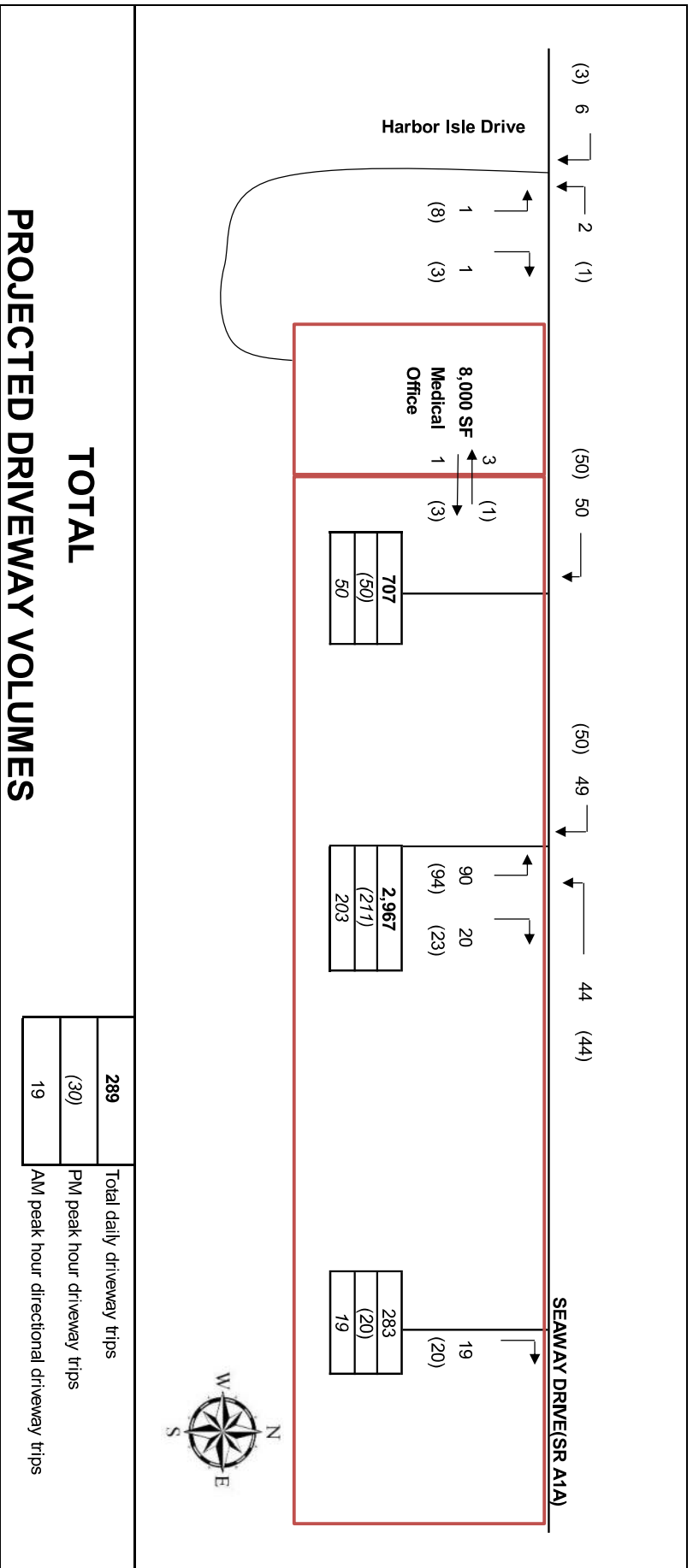
**Figure 3. Projected Harbor Cay Driveway Volumes**



**Figure 4. Undeveloped Western Property Driveway Volumes**



**Figure 5. Total Projected Driveway Volumes**



## Driveway Dimensions

The driveway volumes and dimensions are shown in Table 6.

Table 6. Driveway Volumes

	Western Driveway	Central Driveway	Eastern Driveway
Volume (vph)			
Total	50	211	20
Inbound	50	94	0
Outbound	0	117	20
Reservoir (feet) In/out	15'	15'/28'	18.8'
Reservoir (from travel lane) (feet)	40.5'	46.5'	49.1'
Return Radius (feet)	37'	35'	25'
Ingress Left-Turn Vol (veh/hour)	-	44	-
Ingress Right-Turn Vol (veh/hour)	50	50	-

## Turn Lanes

### **Right-Turn Lane**

The right-turn volumes into the project at both entrances are less than 80 vehicles per hour. The speed limit on Seaway Drive is 35 miles per hour. Therefore, right-turn lanes into the project are not warranted.

### **Left-Turn Lane**

The peak hour left-turn volume is projected to conservatively be 49 vehicles. This is nine vehicles fewer than the previously approved project which was approved with no turn lanes. Seaway Drive is a 35 mile per hour facility. The only left-turn lane on the two-lane section of Seaway Drive is at Bayshore Drive. The driveway is projected to operate acceptably without a turn-lane. Seaway Drive was reconstructed less than 10-years ago with the intent of creating a low speed, pedestrian and bicycle friendly environment. Further, the study's trip generation does not consider the potential pedestrians and bicyclists that will patronize the site due to the proximity of nearby residential uses. This will reduce vehicular trips into the site.

Based on the character of the road, a left-turn lane into the project is not recommended.

## *Access Management*

The existing site has FDOT approved driveway permits for the existing driveways. The site was approved for a more trips than proposed and proposes to maintain its approved access except for the elimination of the Harbour Isle access.

## **CONCLUSION**

MacKenzie Engineering and Planning, Inc. (MEP) was retained to prepare a traffic study update for the development of property on the south side of Seaway Drive east of the Harbor Isle roundabout, Fort Pierce, FL (Parcel ID: 2402-501-0001-000-5). The applicant proposes a 3,250 SF of high-turnover restaurant, 4,745 SF apparel store, 1,040 SF gift shop, 1,495 SF liquor store, and 5,625 SF of convenience store with 12 vehicle fueling positions.

The project has a prior approval through Ft. Pierce and a pre-approval through FDOT for 1 right-in, 1 right-out, and one full access driveway to Seaway Drive along with a full access driveway to Harbor Isle. The project proposes to remove the Harbor Isle access.

The site proposes a 2020 buildout. The project's net new trips compared to the prior use approval is a decrease of 969 daily, 66 AM peak hour, and 84 PM peak hour trips.

The proposed project is expected to generate the following net external trips:

- 1,128 daily, 72 AM peak hour (39 in/33 out), and 81 PM peak hour (42 in/39 out)

The proposed project is expected to generate the following cumulative driveway trips:

- 3,918 daily, 268 AM peak hour (139 in/129 out), and 277 PM peak hour (143 in/134 out)

The driveways are projected to operate acceptably without ingress turn lanes. The project will provide left and right-turn egress lanes from the project.

## ***APPENDICES***

**EXHIBIT 1  
Harbor Cay  
Trip Generation**

Land Use	Intensity		Daily Trips	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
<b>Proposed Site Traffic</b>									
High Turnover Sit-Down Rest	3.250	1000 SF	365	32	18	14	32	20	12
Apparel Store	5.785	1000 SF	384	6	5	1	24	12	12
Conv. Mrkt w/ Gas Pumps	5.625 ksf + 12 f.p.		3,361	235	118	117	235	118	117
Liquor Store	1.495	1000 SF	152	1	1	0	26	13	13
Subtotal			4,110	273	141	132	291	150	141
<b>Internal Capture</b>									
	AM	PM	DAILY						
High Turnover Sit-Down Rest	6.3%	12.5%	12.5%	46	2	1	1	4	2
Apparel Store	0.0%	8.3%	8.3%	32	0	0	0	2	1
Conv. Mrkt w/ Gas Pumps	1.3%	3.4%	3.4%	114	3	1	2	8	4
Liquor Store	0.0%	7.7%	7.7%	12	0	0	0	2	1
Subtotal	1.8%	4.8%	4.7%	192	5	2	3	14	7
<b>Pass-By Traffic</b>									
High Turnover Sit-Down Rest	43.0%		137	13	7	6	12	8	4
Apparel Store	34.0%		120	2	2	0	7	4	3
Conv. Mrkt w/ Gas Pumps	78.0%		2,533	181	91	90	177	89	88
Liquor Store	34.0%		48	0	0	0	8	4	4
Subtotal			2,790	196	100	96	196	101	95
<b>NET PROPOSED TRIPS</b>			<b>1,128</b>	<b>72</b>	<b>39</b>	<b>33</b>	<b>81</b>	<b>42</b>	<b>39</b>
<b>Total Proposed Driveway Volumes</b>			<b>3,918</b>	<b>268</b>	<b>139</b>	<b>129</b>	<b>277</b>	<b>143</b>	<b>134</b>
<b>NET EXTERNAL TRIPS (FOR THE PURPOSES OF CONCURRENCY)</b>			<b>1,128</b>	<b>72</b>	<b>39</b>	<b>33</b>	<b>81</b>	<b>42</b>	<b>39</b>
<b>NET CHANGE IN DRIVEWAY VOLUMES</b>			<b>3,918</b>	<b>268</b>	<b>139</b>	<b>129</b>	<b>277</b>	<b>143</b>	<b>134</b>

Note: Trip generation was calculated using the following data:

Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour	
					in/out	Rate	in/out	Equation
High Turnover Sit-Down Rest	932	1000 SF	112.18	43%	55/45	9.94	62/38	9.77
Apparel Store	876	1000 SF	66.4	34%	80/20	1.00	51/49	4.12
Conv. Mrkt w/ Gas Pumps	FDOT	1000 SF & Pumps	14.3 x PM Trips	78%	50/50	used PM information	50/50	12.3 x Fuel Pumps + 15.5 x 1,000 SF Conv. Store
Liquor Store	899	1000 SF	101.49	34%	51/49	0.51	50/50	17.12

**EXHIBIT 2 - AM PEAK HOUR**  
**Harbor Cay**  
**AM PEAK HOUR PROJECT TRIPS**

Roadway From	To	Class	Capacity		Percent Project Assignment	AM Peak Hour Project Trips		
			Number Of Lanes	LOS 'D' Capacity		NB/EB	SB/WB	
<b>Seaway Drive</b>								
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	45%	18	15	
Causeway Cove Marina	Harbour Isle Drive	2	2L Unit	1,190	45%	18	15	
Harbour Isle Drive	Project	2	2L	750	70%	27	23	
Project	Bayshore Drive	2	2L	750	30%	10	12	
Bayshore Drive	Ocean Drive	2	2L	750	25%	10	10	

**EXHIBIT 3 - AM PEAK HOUR  
Harbor Cay  
ROADWAY ANALYSIS**

Roadway From	To	Class	Committed		AM Peak Hour Project Trips		2018 AM PHPD Volume		Growth Rate	Growth from		2020 Background Peak Hour Volume		2020 Total Peak Hour Volume		Meets Standard ?		
			Number Of Lanes	LOS 'D' Capacity	NB/EB	SB/WB	NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB
<b>Seaway Drive</b>																		
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	18	15	472	647	3.36%	32	44	504	691	522	706	Yes	Yes	
Causeway Cove Marina	Harbour Isle Drive	2	2L Unint	1,190	18	15	472	647	3.36%	32	44	504	691	522	706	Yes	Yes	
Harbour Isle Drive Project	Project Baysshore Drive	2	2L	750	27	23	408	439	3.36%	28	30	436	468	463	491	Yes	Yes	
Baysshore Drive	Ocean Drive	2	2L	750	10	12	408	439	3.36%	28	30	436	468	446	480	Yes	Yes	
		2	2L	750	8	8	344	230	3.36%	24	16	368	246	376	254	Yes	Yes	

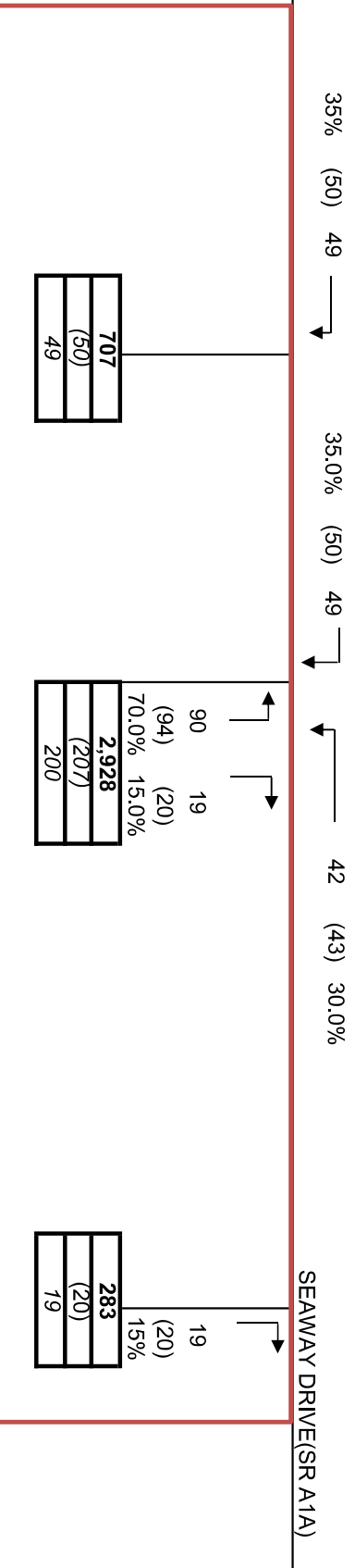
**EXHIBIT 4 - PM PEAK HOUR**  
**Harbor Cay**  
**PM PEAK HOUR PROJECT TRIPS**

Roadway From	To	Class	Capacity		Percent Project Assign	Project Trips		
			Number Of Lanes	LOS 'D' Capacity		NB/EB	SB/WB	
<b>Seaway Drive</b>								
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	45%	19	18	
Causeway Cove Marina	Harbour Isle Drive	2	2L Urinit	1,190	45%	19	18	
Harbour Isle Drive Project	Project Baysshore Drive	2	2L	750	70%	29	27	
Project Baysshore Drive	Baysshore Drive Ocean Drive	2	2L	750	30%	12	13	
		2	2L	750	25%	11	11	

**EXHIBIT 5 - PM PEAK HOUR**  
**Harbor Cay**  
**ROADWAY ANALYSIS**

Roadway From	To	Class	Committed		2018 PM		Growth Rate	Growth from		2020 Background		2020 Total Pk		Meets Standard ?			
			Number Of Lanes	LOS 'D' Capacity	NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB		NB/EB	SB/WB	
<b>Seaway Drive</b>																	
Indian River Drive	Causeway Cove Marina	2	4LU	1,300	19	18	718	852	3.36%	49	58	767	910	786	928	Yes	Yes
Causeway Cove Marina	Harbour Isle Drive	2	2L Unit	1,190	19	18	718	852	3.36%	49	58	767	910	786	928	Yes	Yes
Harbour Isle Drive	Project Baysshore Drive	2	2L	750	29	27	550	657	3.36%	38	45	588	702	617	729	Yes	Yes
Project Baysshore Drive	Ocean Drive	2	2L	750	12	13	550	657	3.36%	38	45	588	702	600	715	Yes	Yes
Baysshore Drive	Ocean Drive	2	2L	750	11	11	382	462	3.36%	26	32	459	494	470	505	Yes	Yes

# EXHIBIT 6



## PROJECT DRIVEWAY TRIPS

Daily	AM Peak Hour			PM Peak Hour		
	Total	In	Out	Total	In	Out
3,918	268	139	129	277	143	134



## Harbor Cay

### PROPOSED PROJECT DRIVEWAY VOLUMES

3,918	Total daily driveway trips
(277)	PM peak hour driveway trips
268	AM peak hour directional driveway trips

**EXHIBIT 7**  
**Possible Medical Office adjacent to Harbor Cay**  
**Trip Generation**

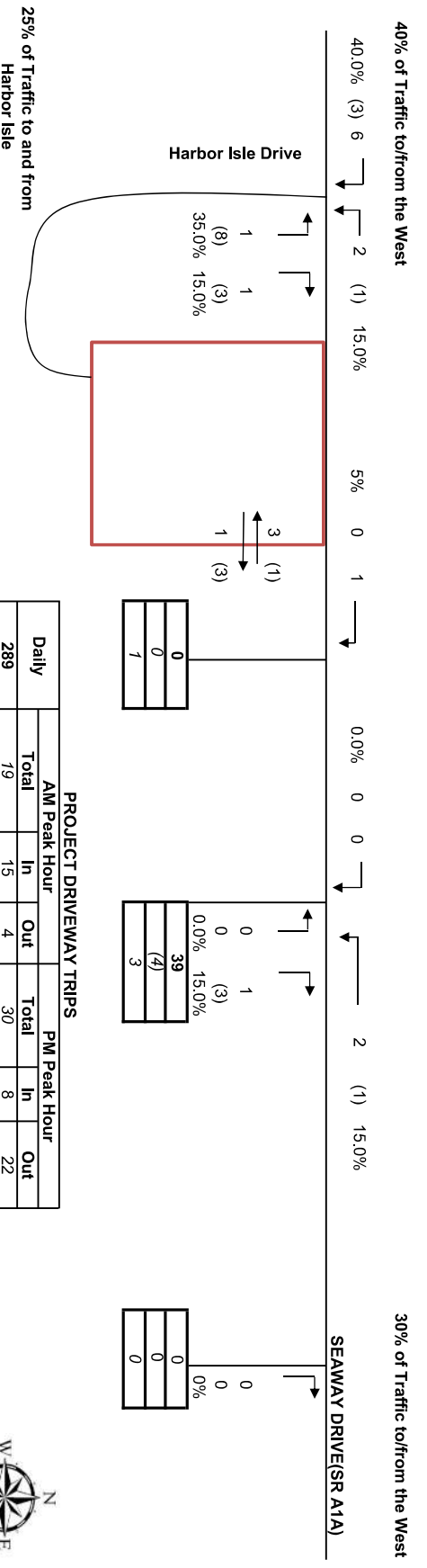
Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
<b>Proposed Site Traffic</b> Medical Office	8.000      1000 SF	289	19	15	4	30	8	22

Note: Trip generation was calculated using the following data:

Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour	
					in/out	Rate	in/out	Equation
Medical Office	720	1000 SF	36.13	0%	79/21	2.39	28/72	$\ln(T) = 0.90 \ln(X) + 1.53$

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**EXHIBIT 8**



**PROJECT DRIVEWAY TRIPS**

Daily	AM Peak Hour			PM Peak Hour		
	Total	In	Out	Total	In	Out
289	19	15	4	30	8	22

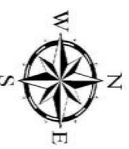
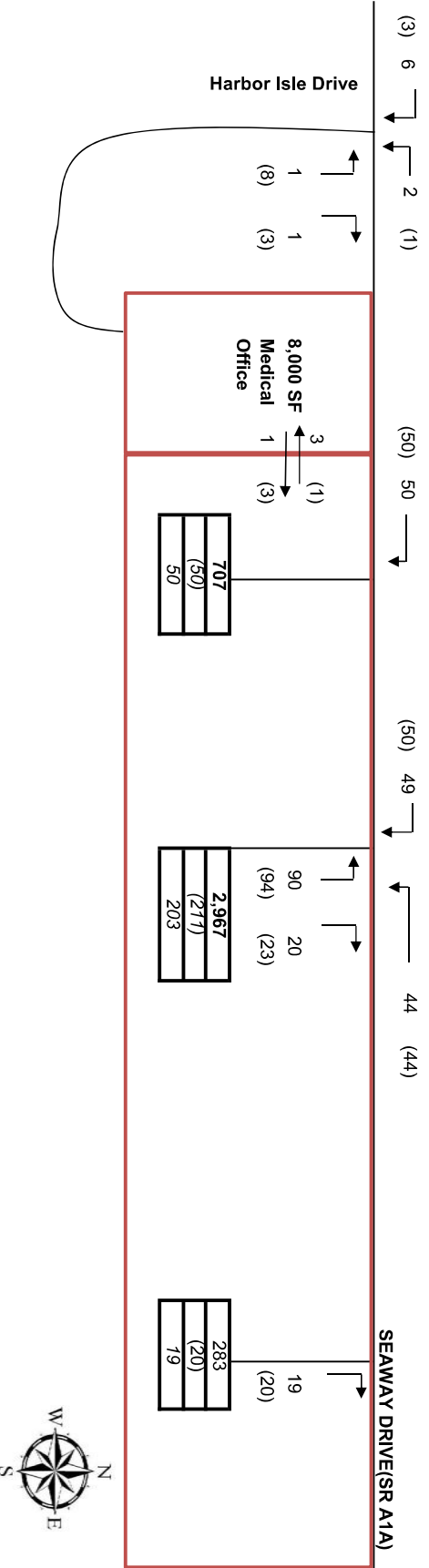


**Possible Medical Office adjacent to Harbor Cay**

**PROJECTED DRIVEWAY VOLUMES**

289	Total daily driveway trips
(30)	PM peak hour driveway trips
19	AM peak hour directional driveway trips

**EXHIBIT 9**



**TOTAL**

**PROJECTED DRIVEWAY VOLUMES**

<b>289</b>	Total daily driveway trips
(30)	PM peak hour driveway trips
19	AM peak hour directional driveway trips

# INTERSECTION ANALYSIS SHEET

## Harbor Cay

### Seaway Drive @ Central Driveway

<b>AM Peak Hour</b>												
Intersection Volume Development												
	Eastbound			Westbound			Northbound			Southbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
2020 Peak Season Volume		436			468							
Project Assign	<i>0%</i>	<i>0%</i>	<i>35%</i>	<i>30%</i>	<i>0%</i>	<i>0%</i>	<i>70%</i>	<i>0%</i>	<i>15%</i>	<i>0%</i>	<i>0%</i>	<i>0%</i>
Direction	<i>in</i>	<i>in</i>	<i>in</i>	<i>in</i>	<i>out</i>	<i>out</i>	<i>out</i>	<i>in</i>	<i>out</i>	<i>in</i>	<i>in</i>	<i>in</i>
Total Project Volume	0	0	49	42	0	0	90	0	19	0	0	0
<b>Total Volume</b>	<b>0</b>	<b>436</b>	<b>49</b>	<b>42</b>	<b>468</b>	<b>0</b>	<b>90</b>	<b>0</b>	<b>19</b>	<b>0</b>	<b>0</b>	<b>0</b>

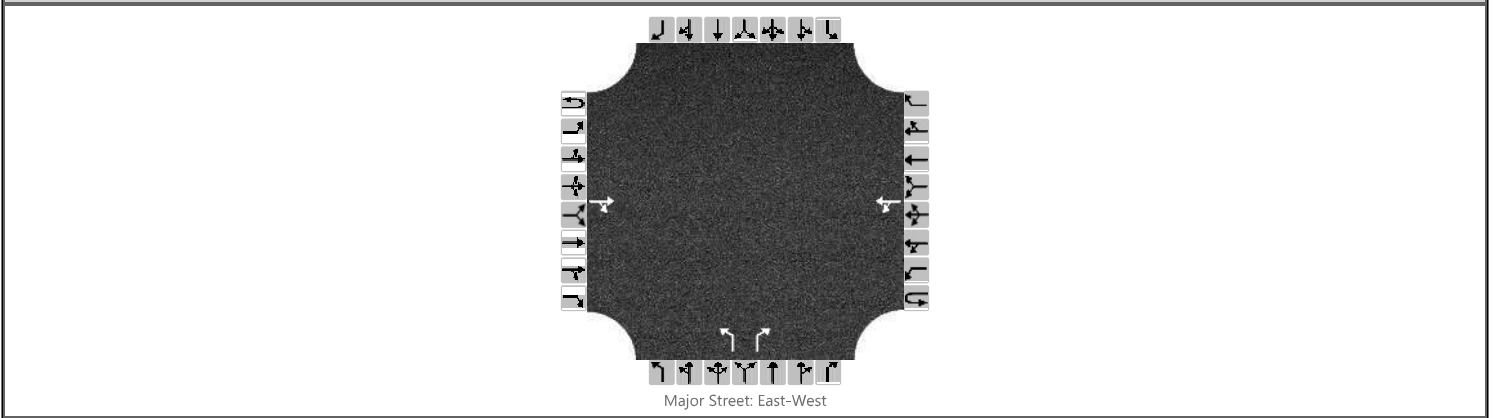
<b>PM Peak Hour</b>												
Intersection Volume Development												
	Eastbound			Westbound			Northbound			Southbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
2020 Peak Season Volume	0	588	0	0	702	0	0	0	0	0	0	0
Project Assign	<i>0%</i>	<i>0%</i>	<i>35%</i>	<i>30%</i>	<i>0%</i>	<i>0%</i>	<i>70%</i>	<i>0%</i>	<i>15%</i>	<i>0%</i>	<i>0%</i>	<i>0%</i>
Direction	<i>in</i>	<i>in</i>	<i>in</i>	<i>in</i>	<i>out</i>	<i>out</i>	<i>out</i>	<i>in</i>	<i>out</i>	<i>in</i>	<i>in</i>	<i>in</i>
Total Project Volume	0	0	50	43	0	0	94	0	20	0	0	0
<b>Total Volume</b>	<b>0</b>	<b>588</b>	<b>50</b>	<b>43</b>	<b>702</b>	<b>0</b>	<b>94</b>	<b>0</b>	<b>20</b>	<b>0</b>	<b>0</b>	<b>0</b>

\\win-6g6svlq19ph\shared drive\data\jobs - share drive\174 - mason development\001 - harbor cay\traffic\[harbor cay 04-24-19.xlsx]seaway & driveway 4/25/2019 15:44

# HCS7 Two-Way Stop-Control Report

General Information		Site Information	
Analyst	MEP	Intersection	Harbor Cay Driveway & A1A
Agency/Co.		Jurisdiction	FDOT
Date Performed	4/19/2019	East/West Street	Seaway Drive (A1A)
Analysis Year	2020	North/South Street	Harbor Cay
Time Analyzed	AM Peak Hour	Peak Hour Factor	0.95
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	Harbor Cay		

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		1	0	1		0	0	0
Configuration				TR		LT				L		R				
Volume, V (veh/h)			436	49		44	468			90		20				
Percent Heavy Vehicles (%)						3				3		3				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

## Critical and Follow-up Headways

Base Critical Headway (sec)						4.1					7.1		6.2			
Critical Headway (sec)						4.13					6.43		6.23			
Base Follow-Up Headway (sec)						2.2					3.5		3.3			
Follow-Up Headway (sec)						2.23					3.53		3.33			

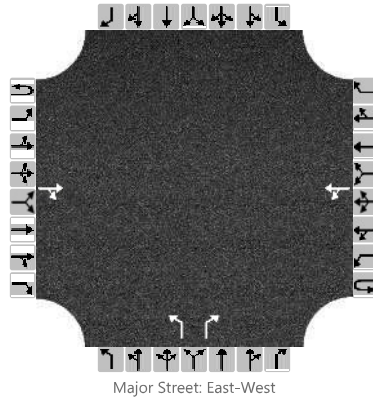
## Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						46					95		21			
Capacity, c (veh/h)						1048					233		580			
v/c Ratio						0.04					0.41		0.04			
95% Queue Length, Q <sub>95</sub> (veh)						0.1					1.9		0.1			
Control Delay (s/veh)						8.6					30.7		11.4			
Level of Service, LOS						A					D		B			
Approach Delay (s/veh)					1.2				27.2							
Approach LOS									D							

# HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	MEP			Intersection	Harbor Cay Driveway & A1A		
Agency/Co.				Jurisdiction	FDOT		
Date Performed	4/19/2019			East/West Street	Seaway Drive (A1A)		
Analysis Year	2020			North/South Street	Harbor Cay		
Time Analyzed	PM Peak Hour			Peak Hour Factor	0.95		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Harbor Cay						

## Lanes



## Vehicle Volumes and Adjustments


Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		1	0	1		0	0	0
Configuration				TR		LT				L		R				
Volume, V (veh/h)			588	50		44	702			94		23				
Percent Heavy Vehicles (%)						3				3		3				
Proportion Time Blocked																
Percent Grade (%)									0							
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

## Critical and Follow-up Headways

Base Critical Headway (sec)						4.1				7.1		6.2				
Critical Headway (sec)						4.13				6.43		6.23				
Base Follow-Up Headway (sec)						2.2				3.5		3.3				
Follow-Up Headway (sec)						2.23				3.53		3.33				

## Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						46				99		24				
Capacity, c (veh/h)						913				131		470				
v/c Ratio						0.05				0.75		0.05				
95% Queue Length, Q <sub>95</sub> (veh)						0.2				4.4		0.2				
Control Delay (s/veh)						9.2				88.3		13.1				
Level of Service, LOS						A				F		B				
Approach Delay (s/veh)					1.3				73.6							
Approach LOS									F							



GRAPHIC SCALE IN FEET  
FULL SIZE: 1" = 20'  
HALF SIZE: 1" = 40'

**LEGEND AND ABBREVIATIONS**

PROP. CONCRETE PAVEMENT MARKER  
PROP. CONCRETE SIDEWALK & PADS  
EXISTING PROPERTY/ROW LINE  
PROPOSED LANDSCAPE BUFFER  
PROPOSED BUILDING SETBACK

FLORIDA REG. NO. 71621

JEFFREY LUCAS, P.E.

DATE

SIGNATURE

**CONCEPT PLAN**

SO

ATKINS

CORPORATE OFFICE:  
4050 W. BOY SCOUT BLVD  
TAMPA, FLORIDA 33607  
LOCAL OFFICE:  
10000 W. BOY SCOUT BLVD  
MELBOURNE, FL 32940  
TEL. 321.242.4942  
FAX. 321.242.6101  
www.atkinsglobal.com

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**Cumberland Farms Inc.**  
CUMBERLAND FARMS INC.  
MELBOURNE, FL 32909

835 SEAWAY DR  
FT. PIERCE, FL 34949

Project Title

Scale: ARCH D  
Designed: JML  
Drawn: JML  
Checked: JML  
Authorized: JML

Date: \_\_\_\_\_  
Date: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision: \_\_\_\_\_

**CFG04.0**

**GENERAL STATEMENT**

THE PROPOSED DEVELOPMENT INCLUDES THE CONSTRUCTION OF A NEW 5,625 SF CUMBERLAND FARMS SINGLE-STORY CONVENIENCE STORE WITH OUTDOOR SEATING AND 6 DISPENSING PUMPS (WITH 12 FUELING POSITIONS) ON VACANT PROPERTY. THE PROPOSED SITE IS EQUIPPED WITH UNDERGROUND STORAGE TANKS, CANOPY, OUTDOOR SEATING, AIR TOWER (AIR COMPRESSOR), AND DUMPSTER ENCLOSURE.

**PROPERTY DATA**

OWNER: CUMBERLAND FARMS INC.  
165 FLANDERS RD, WESTBOROUGH, MA 01581

APPLICANT: CUMBERLAND FARMS, INC.  
165 FLANDERS RD, WESTBOROUGH, MA 01581

PROJECT ENGINEER: JEFF LUCAS, P.E., ATKINS, N.A.  
7175 MURRELL RD, MELBOURNE, FL 32940

SITE ADDRESS: 835 SEAWAY DR, FT. PIERCE, FL 34949

PARCEL: 2402-501-0001-010-8

JURISDICTION: PD  
ZONING DISTRICT: PLANNED DEVELOPMENT  
FEMA FIRM PANEL: PROPERTY IS LOCATED WITHIN FLOOD ZONE DESIGNATION X, PANEL NO. 12111C01831, DATED 02/16/2012

OVERALL SITE AREA: 1.50 AC

PROPOSED USE: 5,625 SF CONVENIENCE STORE  
6 PUMPS (12 FUELING POSITIONS)  
GAS DISPENSING UNDER CANOPY

ACCESSORY USES: AIR TOWER  
(3) WATER HOSES

PROP. HOURS OF OPERATION: 24 HOURS

CONSTRUCTION SCHEDULE: 140 DAYS DURATION (APPROXIMATE)

**LAND DATA:**

ON-SITE IMPERVIOUS AREA:

- BUILDING: 0.13 AC (8.7%)
- PAVEMENT, SIDEWALKS & CURBING: 1.06 AC (70.6%)
- PERVIOUS AREA: 0.31 AC (20.7%)
- TOTAL: 1.50 AC (100%)

**PARKING CALCULATIONS:**

CONVENIENCE STORE: REQUIRED: 5,625 SF / 200 SFI = 28 SPACES  
TOTAL REQUIRED = 28 SPACES

PROVIDED: 30 SPACES @ 9.5' X 18' DIMENSION / 29 (PARALLEL)

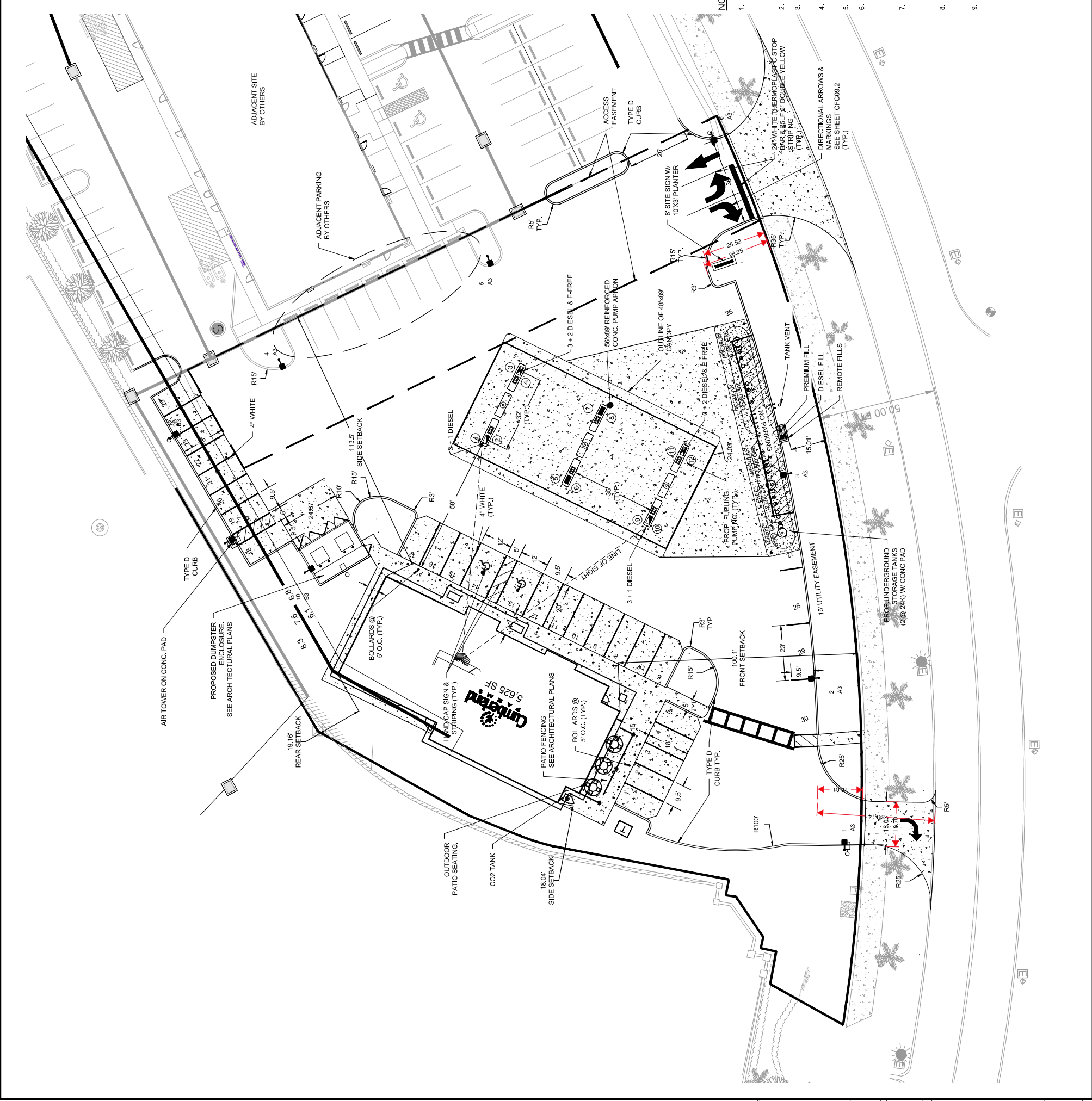
ADA ACCESSIBLE SPACES: REQUIRED: 2 SPACES PROVIDED: 2 SPACES

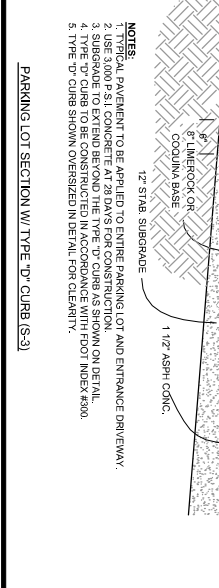
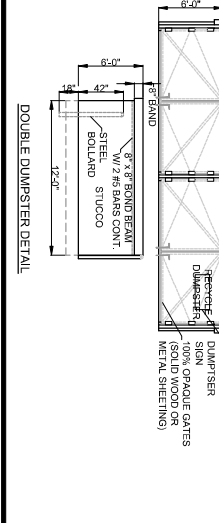
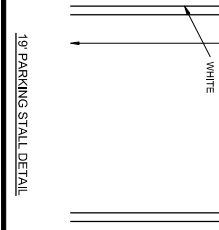
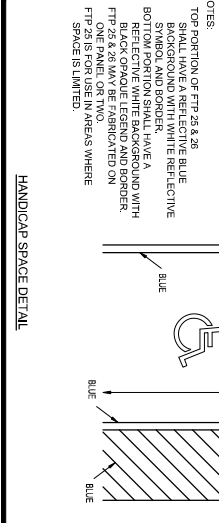
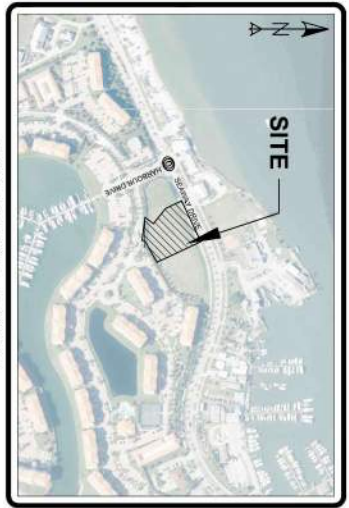
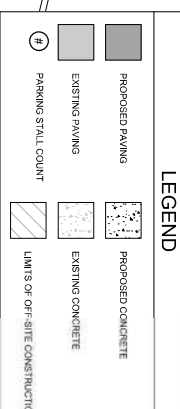
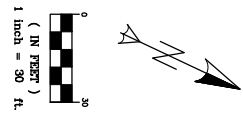
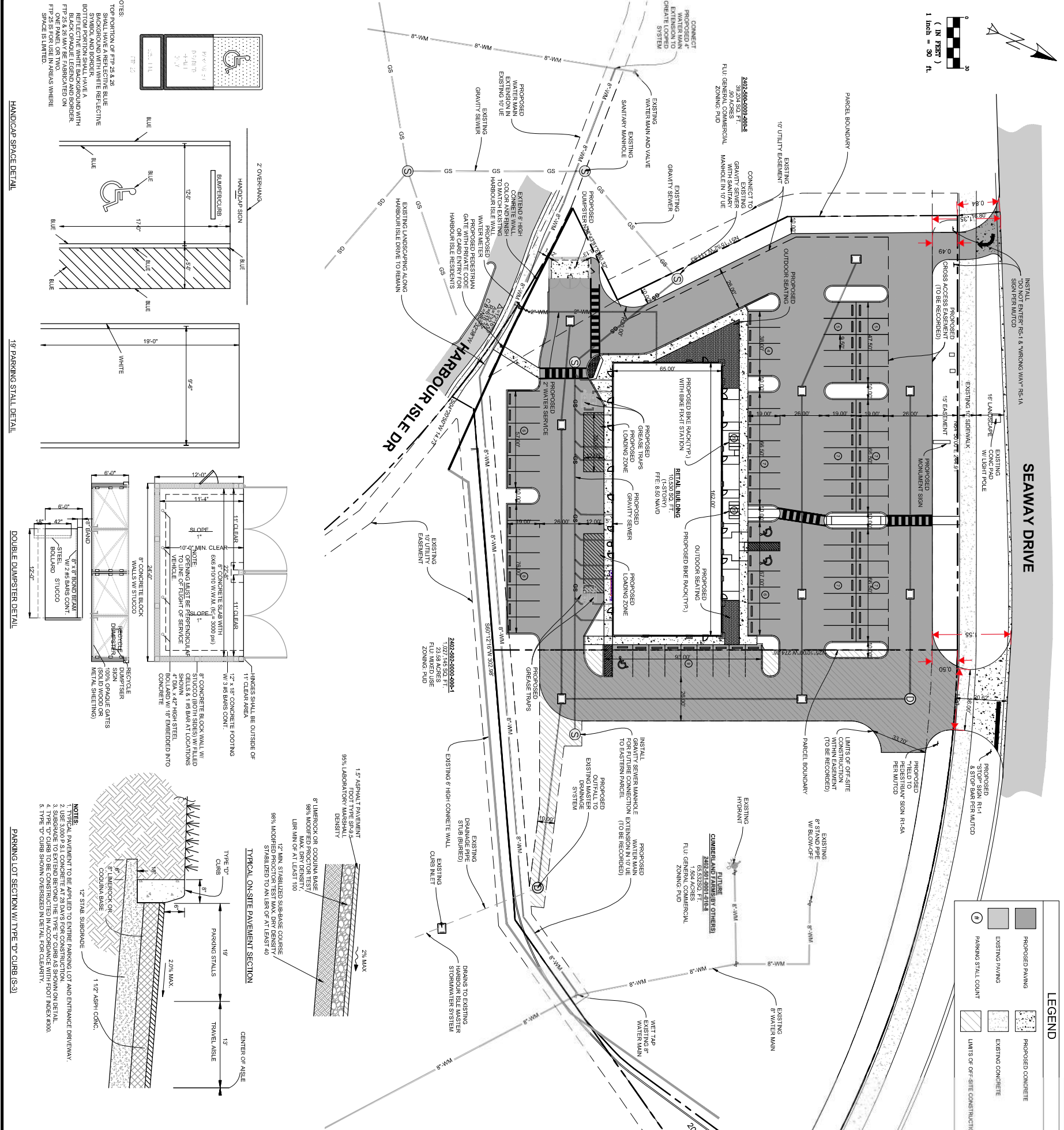
**DEVELOPMENT PARAMETERS**

	MINIMUM	PROVIDED
BUILDING SETBACKS:		
FRONT (NORTH):	± 100'	± 100'
SIDE INTERIOR (WEST AND EAST):	± 18'	± 18'
REAR (SOUTH):	± 15'	± 15'
LANDSCAPE BUFFERS:		
ALL SIDES (LESS ABUTTING):	10'	10'
PROP. BLDG. HEIGHT:	± 33'-1" (PEAK)	± 33'-9 1/2" (AVG)
CANOPY CLEARANCE:	14'	± 14'-4" (DECK HEIGHT)

**NOTES:**

- PROPOSED CANOPY, FUEL DISPENSERS, UNDERGROUND STORAGE TANK, OUTDOOR SEATING, AIR TOWER, DUMPSTER ENCLOSURE AND CONVENIENCE STORE DESIGN AND PROVISIONS SHALL BE CROSS REFERENCED TO THE ARCHITECTURAL AND/OR TANK & PUMP PLANS RESPECTIVELY FOR INSTALLATION ASPECTS.
- FOR ADDITIONAL SIGNING AND PAVEMENT MARKING NOTES, SEE GENERAL NOTES SHEET.
- ALL PARKING SPACES, INCLUDING HANDICAPPED PARKING SPACES, SHALL BE STRIPED IN WHITE THERMOPLASTIC PAINT, AND BE IN ACCORDANCE WITH MOST CURRENT FDOT SPECIFICATIONS.
- LIGHT POLES ARE DEPICTED FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO LIGHTING PLANS FOR EXACT LOCATIONS AND CONSTRUCTION.
- ALL CURB RAMPS (CRA, B, ETC.), SHOWN ON THESE PLANS SHALL BE PER FDOT INDEX #622-402.
- THE SURFACE WHICH IS TO BE PAINTED SHALL BE CLEANED, BY COMPRESSED AIR OR OTHER EFFECTIVE MEANS, IMMEDIATELY BEFORE THE START OF PAINTING, AND SHALL BE CLEAN AND DRY WHEN THE PAINT IS APPLIED. ANY VEGETATION OR SOIL SHALL BE REMOVED FROM THE PAVEMENT BEFORE STRIPING IS BEGUN.
- COMPACT FILL AREAS, INCLUDING CUT AREAS UNDER THE SIDEWALK THAT HAVE BEEN EXCAVATED MORE THAN 6 INCHES BELOW THE BOTTOM OF SIDEWALK, TO A MINIMUM OF 98% OF AASHTO T99 DENSITY. THE AREA TO BE COMPACTED IS DEFINED AS THAT AREA DIRECTLY UNDER THE SIDEWALK AND 1 FOOT BEYOND EACH SIDE OF THE SIDEWALK WHEN RIGHT-OF-WAY ALLOWS.
- A MINIMUM OF 4 FEET FROM THE STOP BAR TO THE PEDESTRIAN CROSSING, PER MUTCD SECTION 3B.16, IS REQUIRED AT ALL DRIVEWAYS WITH CROSS WALKS AND STOP BARS. ALL CROSSWALKS SHALL BE A MINIMUM OF 6 FEET OR 2 FEET WIDER THE SIDEWALK BETWEEN THE (2) 12 INCH PARALLEL STRIPES.
- DRIVEWAY PERMITTING BY ADJACENT DEVELOPER





**NOTES:**  
 1. TOP PORTION OF FRT 25 & 26 SHALL HAVE A REFLECTIVE BLUE SYMBOL AND BOTTOM WHITE REFLECTIVE  
 2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH ONE PANEL OR TWO.  
 3. FRT 25 & 26 MAY BE FABRICATED ON  
 4. FRT SPACE IS LIMITED

**HANDICAP SPACE DETAIL**  
 5'0" x 8'0" CLEARANCE  
 5'0" x 5'0" CLEARANCE  
 1'0" CLEARANCE  
 1'0" CLEARANCE

**15' PARKING STALL DETAIL**  
 15'0" CLEARANCE  
 10'0" CLEARANCE  
 5'0" CLEARANCE

**DOUBLE DUMPSTER DETAIL**  
 12'0" x 12'0" CONCRETE PAD  
 12'0" CURB  
 6'0" x 4'0" DUMPSTERS  
 1'0" CLEARANCE

**TYPICAL ON-SITE PAVEMENT SECTION**  
 1.5" ASPHALT PAVEMENT  
 6" CONCRETE OR COQUINA BASE  
 12" MIN. STABILIZED SUB-BASE COURSE  
 2% MAX. SLOPE

<p><b>LEGAL DESCRIPTION</b>                  THAT PORTION OF TRACT D-1 OF SECOND BEAR OF HARBOUR ISLE AT HARTSHORN ISLAND, FORT PIERCE, FLORIDA, AS RECORDED IN PLAT BOOK 46 PAGE 69 AND 10 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LYING WEST OF THE FOLLOWING DESCRIBED LINE: THE NORTHWEST CORNER OF SAID TRACT D-1, THENCE NORTH 64°50'00" EAST ALONG THE NORTH LINE OF SAID TRACT D-1 THE NORTH LINE OF SAID TRACT D-1 IS ASSUMED TO BEAR NORTH 64°50'00" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO, A DISTANCE OF 244.9 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 107.21', THENCE SOUTH 27°10'00" EAST, A DISTANCE OF 274.36 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT D-1 AND THE POINT OF TERMINUS, CONTAINING IN ALL 66,877 SQUARE FEET OR 1.54 ACRES, MORE OR LESS.</p>	
<p><b>SITE DATA</b>                  FUTURE LAND USE: <b>COMMERCIAL MIXED USE (CMU)</b>                  GROSS SITE AREA: 66,877 S.F. (1.54 AC.)</p>	<p><b>PROJECT NAME:</b> HARBOUR ISLES SHOPS                  OWNER/DEVELOPER: FORT PIERCE, FLORIDA, 3488</p>
<p><b>BUILDING DATA</b>                  GROSS SQUARE FOOTAGE: 11,060 S.F.</p>	<p><b>REPAIRING CALCULATIONS</b>                  PROPOSED PARKING SPACES (11,060 S.F. / 1,992 S.F. SP) = 56 SPACES                  REQUIRED HANDICAP SPACES (INCLUDED) = 3 SPACES                  REQUIRED BICYCLE PARKING (1 PER 10 PROVIDED SPACES) = 9.2 STALLS</p>
<p><b>PROPOSED PARKING</b>                  PROVIDED PARKING SPACES (INCLUDED) = 73 SPACES                  PROVIDED BICYCLE STALLS = 10 STALLS                  NOTE: REQUIRED PARKING RATE PER HARBOUR ISLE PUD FOR RETAIL USE.</p>	<p><b>PROJECT STATEMENT</b>                  THIS PROJECT IS BASED UPON A SURVEY THAT WAS PROVIDED BY WALLACE SURVEYING CORP. THIS SITE IS BASED UPON A SURVEY THAT WAS PROVIDED BY WALLACE SURVEYING CORP.</p>
<p><b>DATE:</b> 11/26/2018                  CONVERSION TO NAD 83: 1.175'</p>	<p><b>WATER AND SEWER:</b>                  WATER AND SEWER SERVICE TO THE BUILDING WILL BE PROVIDED BY EXISTING FORT PIERCE UTILITIES. ALL POINTS OF SERVICE ARE SHOWN ON THIS PLAN. THIS PLAN IS FOR PRELIMINARY ENGINEERING AND PURPOSES ONLY. ALL FINAL UTILITIES AND SIZES TO BE INCLUDED ON CONSTRUCTION LEVEL PLANS.</p>
<p><b>HAZARDOUS WASTE:</b>                  ALL HAZARDOUS OR TOXIC MATERIALS GENERALLY OR USED OR STORED ON-SITE SHALL BE DISPOSED OF AT AN APPROVED HAZARDOUS WASTE AND LOCAL RECYCLING FACILITY. HAZARDOUS WASTE IS NOT PERMITTED ON-SITE.</p>	<p><b>DRAINAGE STATEMENT:</b>                  THE PROJECT IS LOCATED WITHIN THE HARBOUR ISLE MASTER STORMWATER SYSTEM (S/WMD) BPP. THE PROJECT IS LOCATED WITHIN THE HARBOUR ISLE MASTER STORMWATER SYSTEM (S/WMD) BPP. THE PROJECT IS LOCATED WITHIN THE HARBOUR ISLE MASTER STORMWATER SYSTEM (S/WMD) BPP. THE PROJECT IS LOCATED WITHIN THE HARBOUR ISLE MASTER STORMWATER SYSTEM (S/WMD) BPP.</p>
<p><b>SOLID WASTE:</b>                  THIS PROJECT WILL UTILIZE A DOUBLE DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS. THE PROJECT WILL UTILIZE A DOUBLE DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS. THE PROJECT WILL UTILIZE A DOUBLE DUMPSTER AREA FOR SOLID WASTE AND RECYCLABLE ITEMS.</p>	<p><b>PER PROTECTION:</b>                  ALL UTILITIES SHALL BE SHOWN, IF REQUIRED, BY THE FORT PIERCE BUILDING CORP. A SPRINKLER SYSTEM FOR THE PROTECTION WILL BE INSTALLED AND AN FDC WILL BE LOCATED ON LESS THAN 10 FEET FROM THE BUILDING. EMERGENCY ACCESS FOR FIRE DISTRICT VEHICLES WILL BE PROVIDED.</p>
<p><b>DATE:</b> 11/26/2018                  CONVERSION TO NAD 83: 1.175'</p>	<p><b>DATE:</b> 11/26/2018                  CONVERSION TO NAD 83: 1.175'</p>

**DESIGNED BY:** DCB  
**DRAWN BY:** J.E.  
**FILE NAME:** 18-303 harbour cay.dwg  
**SITE PLAN (2)**  
**LAYOUT**  
**AS SHOWN**  
**SCALE**  
**DATE:** 26NOV2018

**B.P.E. CERTIFICATE OF AUTHORIZATION 0699**  
**E.B. CERTIFICATE OF AUTHORIZATION 0699**

**ENGINEERS & SURVEYORS ENVIRONMENTAL**

**10250 VILLAGE PARKWAY**  
**SUITE 201**  
**FORT ST. LUCIE, FL 34987**  
**772-462-2455**  
[www.edc-inc.com](http://www.edc-inc.com)

**HARBOUR CAY**

**SITE PLAN**

**FORT PIERCE**      **FLORIDA**

12/26/2018 ADDED EXISTING PROPOSED CONCRETE WALL, GATE & BIKE/FK-T STATION  
 11/26/2018 FORT PIERCE COMMENTS ADDRESSSED (10/14/2018)  
 DATE:      REVISION COMMENTS:



COUNTY : 94  
 STATION : 0115  
 DESCRIPTION : SR A1A/S - E END OF S BRIDGE  
 START DATE : 02/06/2018  
 START TIME : 0000

TIME	DIRECTION : E				TOTAL	DIRECTION : W				COMBINED TOTAL	
	1ST	2ND	3RD	4TH		1ST	2ND	3RD	4TH		
0000	16	4	17	9	46	4	10	9	11	34	80
0100	6	7	1	5	19	10	4	5	8	27	46
0200	3	3	4	5	15	8	3	7	7	25	40
0300	5	4	3	5	17	3	2	3	4	12	29
0400	6	10	13	18	47	7	10	9	8	34	81
0500	35	41	45	45	166	10	12	26	33	81	247
0600	60	65	58	67	250	43	55	69	82	249	499
0700	61	93	82	109	345	102	139	149	154	544	889
0800	114	104	112	115	445	137	131	155	178	601	1046
0900	112	115	130	154	511	161	153	146	157	617	1128
1000	131	134	144	151	560	171	167	159	151	638	1198
1100	176	219	191	183	769	171	151	162	166	650	1419
1200	232	237	205	242	916	169	150	192	177	688	1604
1300	243	254	167	222	886	191	156	199	202	748	1634
1400	200	207	194	199	800	236	185	186	187	794	1594
1500	173	221	196	216	806	188	173	175	222	758	1564
1600	177	184	174	183	718	255	216	213	168	852	1570
1700	220	193	186	232	831	164	180	176	148	668	1499
1800	163	143	136	142	584	165	158	117	104	544	1128
1900	123	112	82	86	403	102	78	66	46	292	695
2000	76	94	58	58	286	58	54	42	43	197	483
2100	62	54	58	47	221	35	31	50	35	151	372
2200	45	45	25	18	133	37	22	24	18	101	234
2300	22	14	12	13	61	20	13	19	16	68	129
24-HOUR TOTALS:					9835					9373	19208

PM Peak  
 Eastbound = 718  
 Westbound = 852

PEAK VOLUME INFORMATION					
DIRECTION : E			DIRECTION : W		
HOURLY	VOLUME	HOURLY	VOLUME	HOURLY	VOLUME
A.M.	472	830	647	845	1110
P.M.	944	1545	906	1230	1660
DAILY	944	1545	906	1230	1660

COUNTY: 94  
 STATION: 5016  
 DESCRIPTION: SR A1A/S - S OF SEAWAY DR (COUNTY 5016)  
 START DATE: 02/20/2018  
 START TIME: 1100

TIME	DIRECTION: N				TOTAL	DIRECTION: S				COMBINED TOTAL		
	1ST	2ND	3RD	4TH		1ST	2ND	3RD	4TH			
0000	0	7	3	1	11	6	6	3	1	16	27	
0100	3	2	2	2	9	1	0	2	6	9	18	
0200	3	0	3	1	7	3	0	4	1	8	15	
0300	2	4	2	3	11	2	1	4	3	10	21	
0400	5	3	10	4	22	4	6	14	17	41	63	
0500	2	13	8	15	38	37	39	63	58	197	235	
0600	24	26	40	42	132	60	49	69	41	199	331	
0700	58	77	84	77	296	52	49	46	51	198	494	
0800	74	82	92	79	327	42	42	46	64	194	521	
0900	91	71	88	68	318	50	58	58	71	237	555	
1000	106	79	101	93	379	56	78	76	83	293	672	
1100	76	96	103	88	363	60	91	106	89	346	709	
1200	76	76	89	101	342	103	100	97	102	402	744	
1300	96	96	96	98	386	107	93	111	99	410	796	
1400	100	102	82	88	372	93	102	113	105	413	785	
1500	122	113	117	98	450	97	113	101	104	415	865	
1600	105	101	93	114	413	95	85	106	90	376	789	
1700	148	107	89	94	438	106	80	80	81	347	785	
1800	86	110	62	50	308	100	66	65	46	277	585	
1900	47	41	27	22	137	59	68	46	39	212	349	
2000	22	27	24	10	83	49	36	30	44	159	242	
2100	23	12	13	16	64	33	35	22	17	107	171	
2200	11	11	11	11	44	22	20	13	13	68	112	
2300	6	5	6	4	21	9	7	0	10	26	47	
24-HOUR TOTALS:					4971						4960	9931

PEAK VOLUME INFORMATION

DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M. 815	344	845	230	845	559
P.M. 1630	462	1430	428	1500	865
DAILY 1630	462	1430	428	1500	865

TRUCK PERCENTAGE 7.44

15.52

11.48

CLASSIFICATION SUMMARY DATABASE

DIR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
N	82	3804	663	16	296	33	2	18	4	0	1	0	1	0	52	370	4971
S	79	3303	752	20	666	30	13	28	8	1	1	1	2	0	770	4960	

Volume in front of project determined by averaging volume west of Harbour Isles and volume at North End of Ocean Drive

Eastbound  
 AM = (472 + 344) / 2 = 408

PM = (718 + 382) / 2 = 550

Westbound  
 AM = (647 + 230) / 2 = 439  
 PM = (852 + 462) / 2 = 657

PM Peak = 106+90+106+80 = 382



# Florida Department of Transportation

RICK SCOTT  
GOVERNOR

3400 West Commercial Boulevard  
Fort Lauderdale, FL 33309

MIKE DEW  
SECRETARY

August 25, 2017

THIS PRE-APPLICATION LETTER IS VALID UNTIL – August 25, 2018  
THIS LETTER IS NOT A PERMIT APPROVAL

Douglas G. Winter  
Doug Winter Companies, Inc.  
4047 Okeechobee Blvd. # 222  
West Palm Beach, FL 33409

Dear Douglas G. Winter:

RE: **August 25, 2017** - Pre-application Meeting for **Category D Driveway**  
St. Lucie County - City of Fort Pierce, Urban; SR A1A; Sec. # 94050; MP: 16.600;  
Access Class - 06; Posted Speed - 35 mph; SIS - N;

**Request:**

- Driveway 1: Joint-use right-in/right-out driveway along SR A1A located approximately 200 feet east of Harbour Isle Drive.
- Driveway 2: Right-in/right-out driveway along SR A1A located approximately 295 feet east Driveway 1.

**SITE SPECIFIC INFORMATION**

Project Name & Address: **Harbour Island Shoppes - SR A1A/Seaway Dr and Harbour Isle**  
Applicant/Property Owner: **Harbour Isle Invests LLC(FLLC)**  
Parcel Size: **3.1 Acres** Development Size: **13,000 S.F. Retail & 5,500 S.F. Restaurant**

**WE APPROVE YOUR REQUEST**

This decision is based on your presentation of the facts, site plan and survey - please see the **conditions** and **comments** below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

**Conditions:**

- A minimum driveway length of 25 feet, as measured from the ultimate right-of-way line to the first conflict point shall be provided. If a gate is installed a minimum driveway length of 100 feet is required.
- A recorded cross access agreement with the adjacent parcel to the west shall be provided at the time of permit.

**Comments:**

- Drainage mitigation is required for any impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). A Storm Water Pollution Prevention Plan must be submitted with the application for more than one acre of "disturbed area" as defined by the Florida Department of Environmental Protection (FDEP).
- The applicant shall donate the right-of-way to the Department if right-of-way dedication is required to implement the improvements.
- All driveways not approved in this letter must be fully removed and the area restored.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway system and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department's personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. **Note, this letter does not guarantee permit approval.** The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://gis.dot.state.fl.us/OneStopPermitting>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact Geysa Sosa, P.E. at the District Permits Office with any questions regarding permits – Tel. # 954-777-4377, or e-mail [geysa.sosa@dot.state.fl.us](mailto:geysa.sosa@dot.state.fl.us).

Sincerely,

Dalila Fernandez, P.E.  
District Access Management Manager

cc: Nesa Y. Harden

File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2017-08-25\5. 94050 MP 16.600 SR A1A\_Habour Islands Shoppes\94050 MP 16.600 SR A1A\_Habour Islands Shoppes.docx

# Apparel Store (876)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

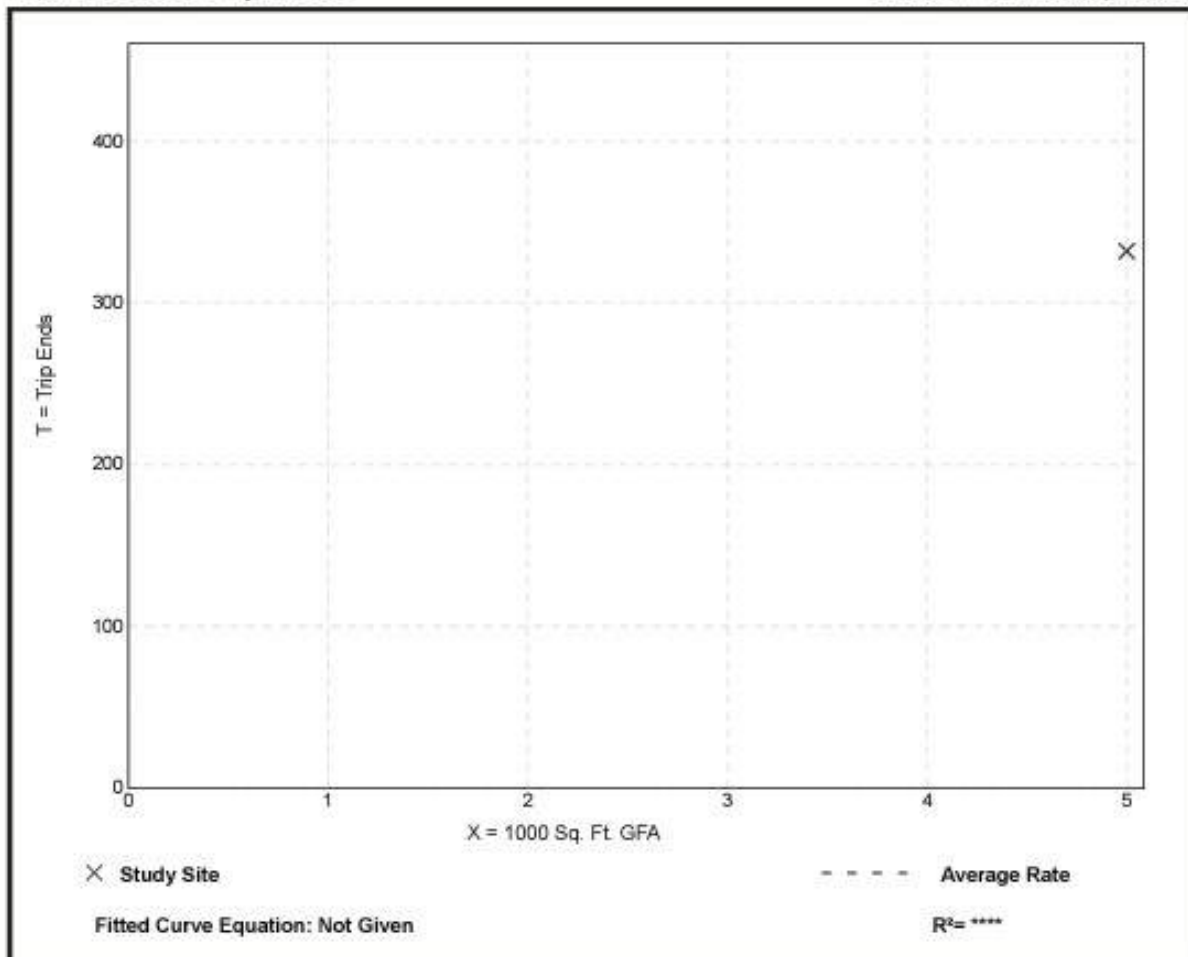
Setting/Location: General Urban/Suburban  
Number of Studies: 1  
1000 Sq. Ft. GFA: 5  
Directional Distribution: 50% entering, 50% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
66.40	66.40 - 66.40	*

### Data Plot and Equation

*Caution – Small Sample Size*



## Apparel Store (876)

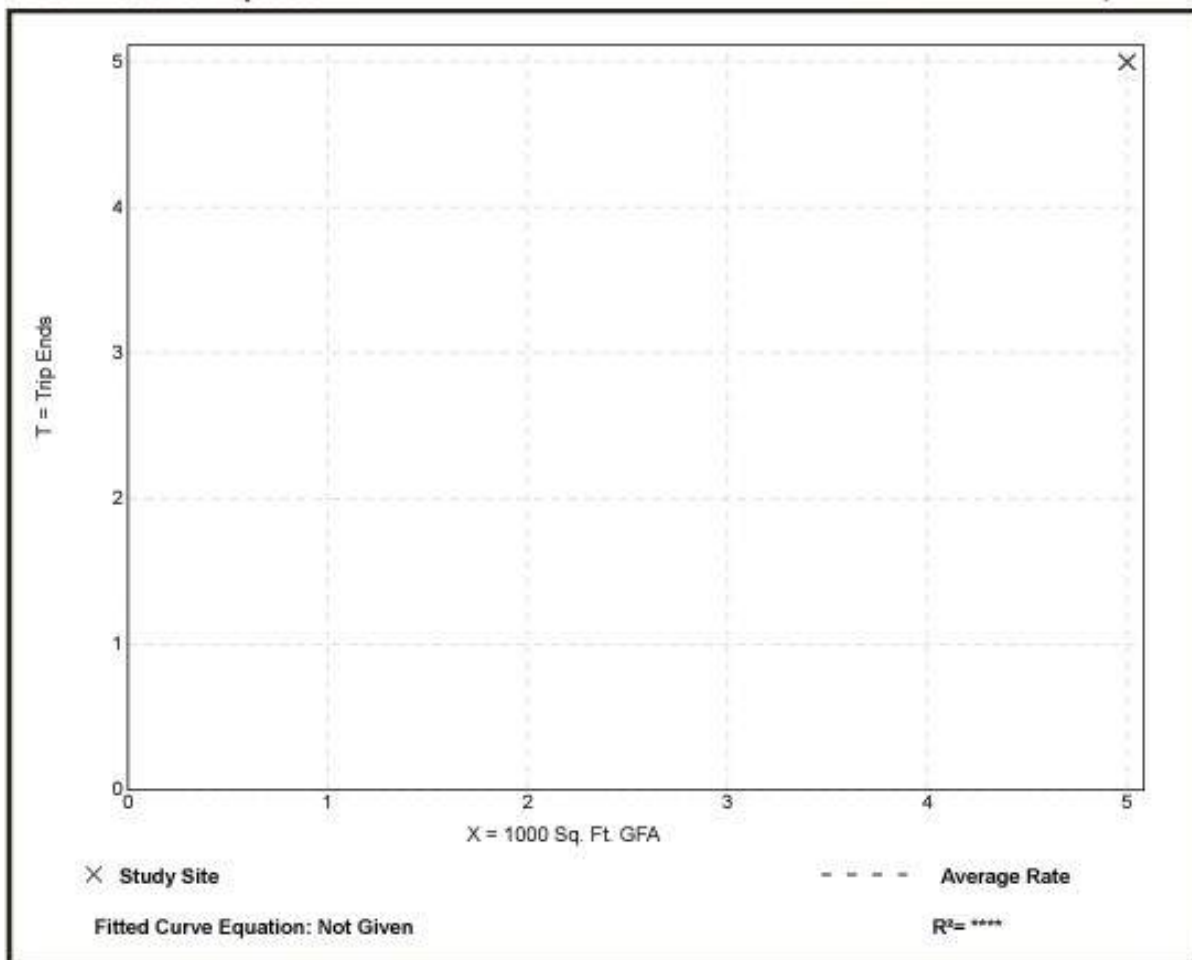
**Vehicle Trip Ends vs:** 1000 Sq. Ft. GFA  
**On a:** Weekday,  
 Peak Hour of Adjacent Street Traffic,  
 One Hour Between 7 and 9 a.m.  
**Setting/Location:** General Urban/Suburban  
 Number of Studies: 1  
 1000 Sq. Ft. GFA: 5  
 Directional Distribution: 80% entering, 20% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.00	1.00 - 1.00	*

### Data Plot and Equation

*Caution – Small Sample Size*



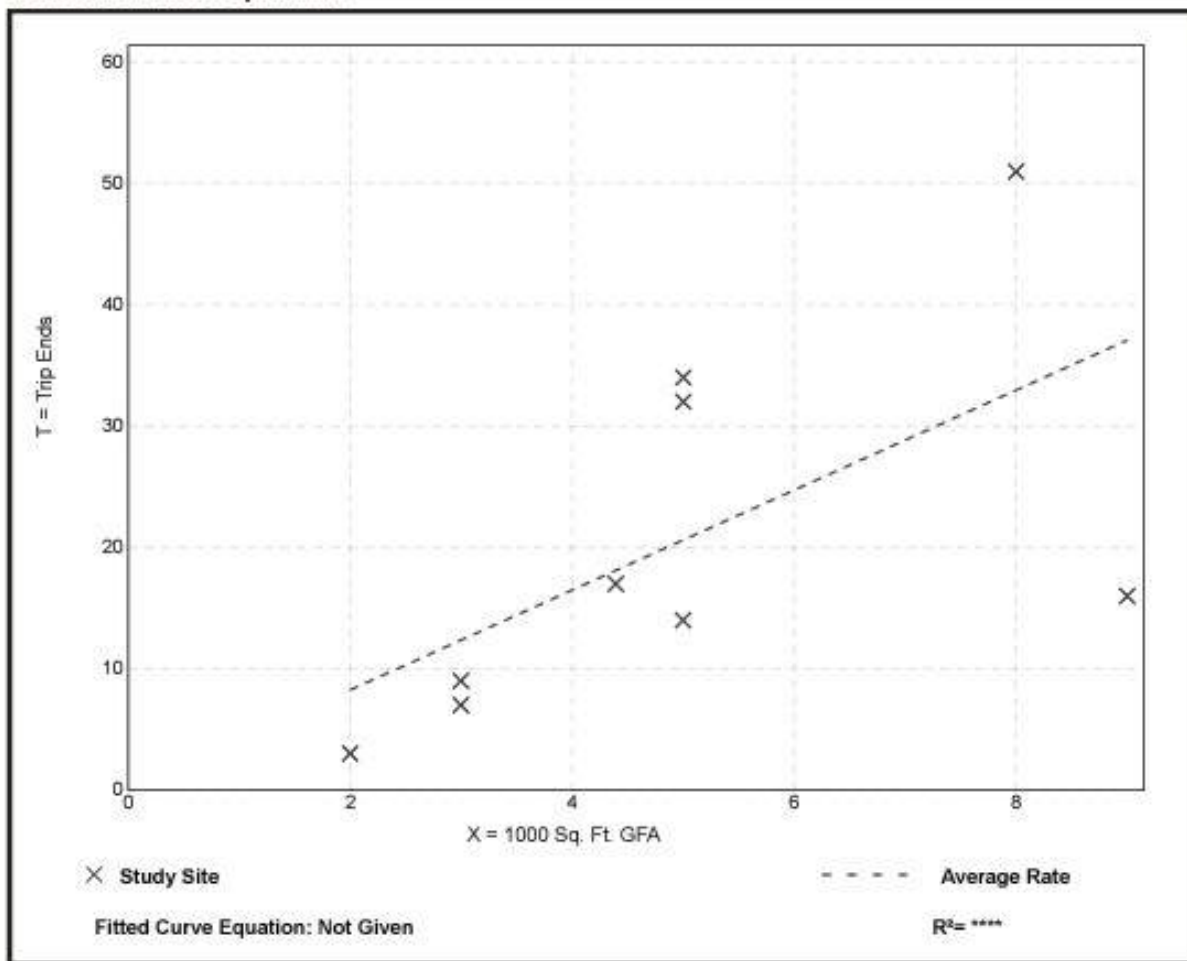
## Apparel Store (876)

**Vehicle Trip Ends vs:** 1000 Sq. Ft. GFA  
**On a:** Weekday,  
 Peak Hour of Adjacent Street Traffic,  
 One Hour Between 4 and 6 p.m.  
**Setting/Location:** General Urban/Suburban  
 Number of Studies: 9  
 1000 Sq. Ft. GFA: 5  
 Directional Distribution: 51% entering, 49% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
4.12	1.50 - 6.80	2.18

### Data Plot and Equation



## Land Use: 899 Liquor Store

### Description

A liquor store specializes in the sale of prepackaged alcoholic beverages intended to be consumed off the store's premises.

### Additional Data

Time-of-day distribution data for this land use are presented in Appendix A. For the one general urban/suburban site with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 11:30 a.m. and 12:30 p.m. and 5:00 and 6:00 p.m., respectively.

The sites were surveyed in the 1990s and the 2010s in Alberta (CAN) and Minnesota.

### Source Numbers

870, 973

# Liquor Store (899)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

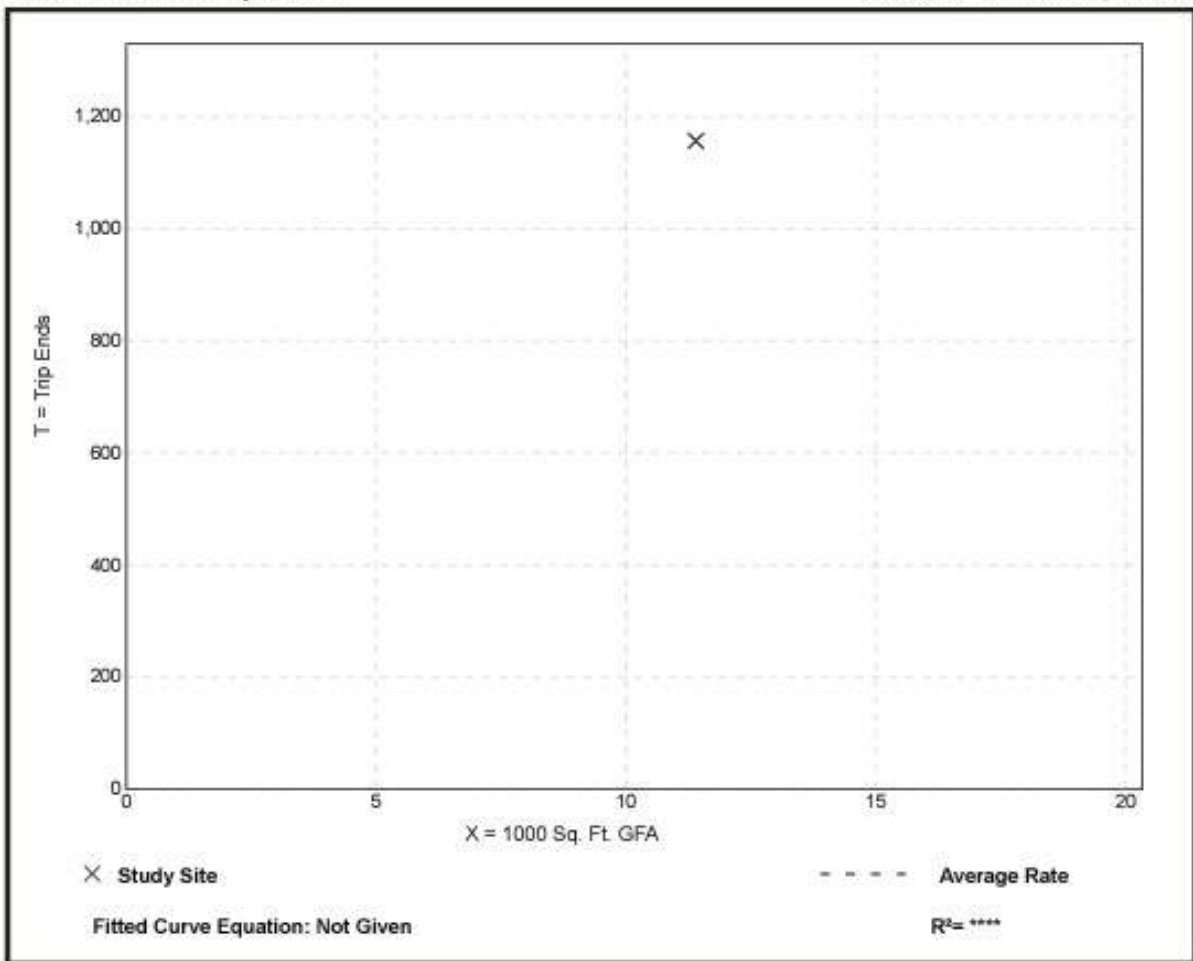
Setting/Location: General Urban/Suburban  
Number of Studies: 1  
1000 Sq. Ft. GFA: 11  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
101.49	101.49 - 101.49	*

## Data Plot and Equation

*Caution – Small Sample Size*



# AM PEAK HOUR TRIP GEN NOT AVAILABLE – USE ½ PERCENT OF DAILY TRIP GENERATION BASED ON 24-HOUR DATA

Land Use	881 Pharmacy/Drugstore with Drive-Through Window						882 Marijuana Dispensary				890 Furniture Store		899 Liquor Store	
	General Urban/Suburban						General Urban/Suburban				General Urban/Suburban		General Urban/Suburban	
Setting	General Urban/Suburban						General Urban/Suburban				General Urban/Suburban		General Urban/Suburban	
Time Period	Weekday		Saturday		Sunday		Weekday		Saturday		Weekday		Weekday	
Trip Type	Vehicle		Vehicle		Vehicle		Vehicle		Vehicle		Vehicle		Vehicle	
# Data Sites	6		2		1		4		4		7		1	
	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	AM	PM
12:00	0.3	8.5	0.7	9.3	0.0	11.1	0.0	9.0	0.0	10.8	0.0	9.2	0.0	4.1
12:15	0.3	8.2	0.8	9.1	0.0	10.8	0.0	8.7	0.0	10.4	0.0	9.0	0.0	4.1
12:30	0.3	7.7	0.8	8.7	0.0	10.8	0.0	8.6	0.0	9.9	0.0	8.4	0.0	3.6
12:45	0.2	7.8	0.7	8.7	0.0	12.1	0.0	8.1	0.0	9.8	0.0	8.2	0.0	4.4
1:00	0.2	8.3	0.8	8.5	0.0	10.8	0.0	8.1	0.0	9.0	0.0	8.5	0.2	4.8
1:15	0.1	8.4	0.7	9.4	0.0	11.3	0.0	8.3	0.0	8.8	0.0	9.0	0.2	5.1
1:30	0.1	8.8	0.6	9.9	0.0	11.3	0.0	8.7	0.0	9.1	0.0	8.7	0.2	5.6
1:45	0.1	8.8	0.6	10.0	0.0	10.8	0.0	9.2	0.0	9.4	0.0	9.2	0.2	6.5
2:00	0.1	8.3	0.5	10.0	0.0	11.1	0.0	8.9	0.0	10.4	0.0	8.0	0.0	7.3
2:15	0.1	8.3	0.2	9.3	0.0	12.1	0.0	9.2	0.0	10.6	0.0	6.8	0.0	9.7
2:30	0.0	8.2	0.2	8.7	0.0	12.6	0.0	9.2	0.0	10.7	0.0	7.3	0.0	10.3
2:45	0.1	8.2	0.1	9.5	0.0	13.4	0.0	9.4	0.0	10.7	0.0	7.0	0.0	10.1
3:00	0.1	8.3	0.1	10.1	0.0	13.7	0.0	9.7	0.0	10.4	0.0	8.4	0.0	9.8
3:15	0.1	8.6	0.1	10.6	0.0	12.6	0.0	9.8	0.0	10.4	0.0	11.4	0.0	9.3
3:30	0.1	9.0	0.1	10.3	0.0	11.4	0.0	10.3	0.0	10.4	0.0	11.8	0.0	10.2
3:45	0.1	9.4	0.1	9.4	0.0	10.4	0.0	10.7	0.0	10.5	0.0	12.5	0.0	11.5
4:00	0.1	9.3	0.1	8.2	0.0	9.3	0.0	11.4	0.0	10.1	0.0	13.3	0.0	11.9
4:15	0.2	9.0	0.1	7.1	0.0	9.0	0.0	12.1	0.0	10.8	0.0	13.5	0.0	13.4
4:30	0.2	9.3	0.1	7.3	0.0	8.5	0.1	12.2	0.0	11.7	0.0	13.8	0.0	14.6
4:45	0.2	9.2	0.2	6.9	0.0	6.0	0.1	12.6	0.0	11.9	0.0	12.3	0.0	16.3
5:00	0.3	9.4	0.3	6.5	0.0	6.4	0.1	12.4	0.0	12.6	0.0	9.9	0.0	17.5
5:15	0.4	9.2	0.4	6.8	0.0	5.9	0.1	12.7	0.0	12.6	0.0	6.5	0.0	16.4
5:30	0.4	8.0	0.5	6.6	0.0	5.5	0.2	14.0	0.0	11.7	0.0	4.1	0.2	15.6
5:45	0.5	7.0	0.6	6.6	0.0	5.2	0.2	14.2	0.0	11.3	0.0	2.9	0.3	13.1
6:00	0.7	6.1	0.8	6.7	0.0	3.8	0.3	13.6	0.1	10.1	0.0	3.4	0.3	11.5
6:15	1.1	5.4	0.9	5.9	0.0	2.6	0.3	10.4	0.3	7.3	0.2	2.9	0.5	9.7
6:30	1.5	5.7	1.1	5.2	0.0	2.0	0.3	6.7	0.4	5.1	0.2	3.1	0.5	9.2
6:45	2.0	5.8	1.5	4.5	0.3	2.8	0.5	3.1	0.4	2.8	0.3	2.7	0.3	9.2
7:00	2.7	5.6	1.8	4.1	0.5	2.1	0.8	0.9	0.5	1.0	1.0	1.2	0.4	10.0
7:15	3.1	5.3	2.1	4.2	0.8	2.1	1.5	0.7	0.9	0.8	2.7	0.9	0.3	10.3
7:30	3.4	4.8	2.5	4.1	2.1	2.6	2.3	0.3	1.2	0.4	4.8	0.7	0.3	9.3
7:45	3.4	4.3	2.7	3.9	2.4	1.8	3.0	0.3	1.4	0.3	6.5	0.5	0.4	8.9
8:00	3.3	4.2	3.3	3.5	2.4	2.1	3.9	0.2	1.8	0.4	7.8	0.2	0.5	8.5
8:15	3.2	4.3	3.6	2.8	3.8	2.4	3.9	0.2	2.1	0.4	7.7	0.0	0.9	7.7
8:30	3.5	4.1	4.0	2.8	3.1	1.5	4.2	0.1	2.3	0.4	7.7	0.0	1.2	6.8
8:45	3.8	4.1	4.0	2.7	3.6	1.6	4.4	0.1	3.1	0.2	8.4	0.0	1.7	5.9
9:00	4.4	3.8	4.2	2.5	6.4	1.1	4.8	0.0	4.3	0.2	9.2	0.0	2.3	4.4
9:15	4.8	3.4	4.4	2.6	6.9	0.7	6.1	0.0	5.1	0.0	9.9	0.0	2.4	2.8
9:30	5.1	2.9	5.0	2.3	8.2	0.7	7.0	0.0	6.7	0.0	10.1	0.0	2.6	1.9
9:45	5.6	2.4	5.7	2.3	9.3	0.2	7.5	0.0	8.6	0.0	10.6	0.0	2.6	1.0
10:00	5.7	2.0	5.9	2.5	10.0	0.2	7.8	0.0	9.8	0.0	8.7	0.0	2.8	0.3
10:15	6.6	1.5	7.0	2.2	9.3	0.0	7.5	0.0	10.4	0.0	10.2	0.0	3.1	0.3
10:30	6.9	1.2	7.2	2.1	10.1	0.0	7.4	0.1	10.0	0.0	10.8	0.0	3.2	0.0
10:45	7.2	0.8	7.8	2.0	9.8	0.0	7.6	0.1	8.8	0.0	9.4	0.0	3.3	0.0
11:00	7.9	0.5	8.0	1.8	9.1	0.0	8.0	0.0	8.8	0.0	11.1	0.0	3.3	0.0
11:15	8.0	0.4	8.0	1.6	10.0	0.0	8.4	0.0	9.2	0.0	9.2	0.0	3.8	0.0
11:30	8.5	0.3	8.6	1.4	9.8	0.0	8.3	0.0	10.0	0.0	8.7	0.0	4.5	0.0
11:45	8.8	0.3	8.7	1.0	10.3	0.0	8.9	0.0	10.6	0.0	9.6	0.0	4.2	0.0

Percent of Daily Traffic During the 60-Minute Period Beginning at Displayed Time

# Liquor Store (899)

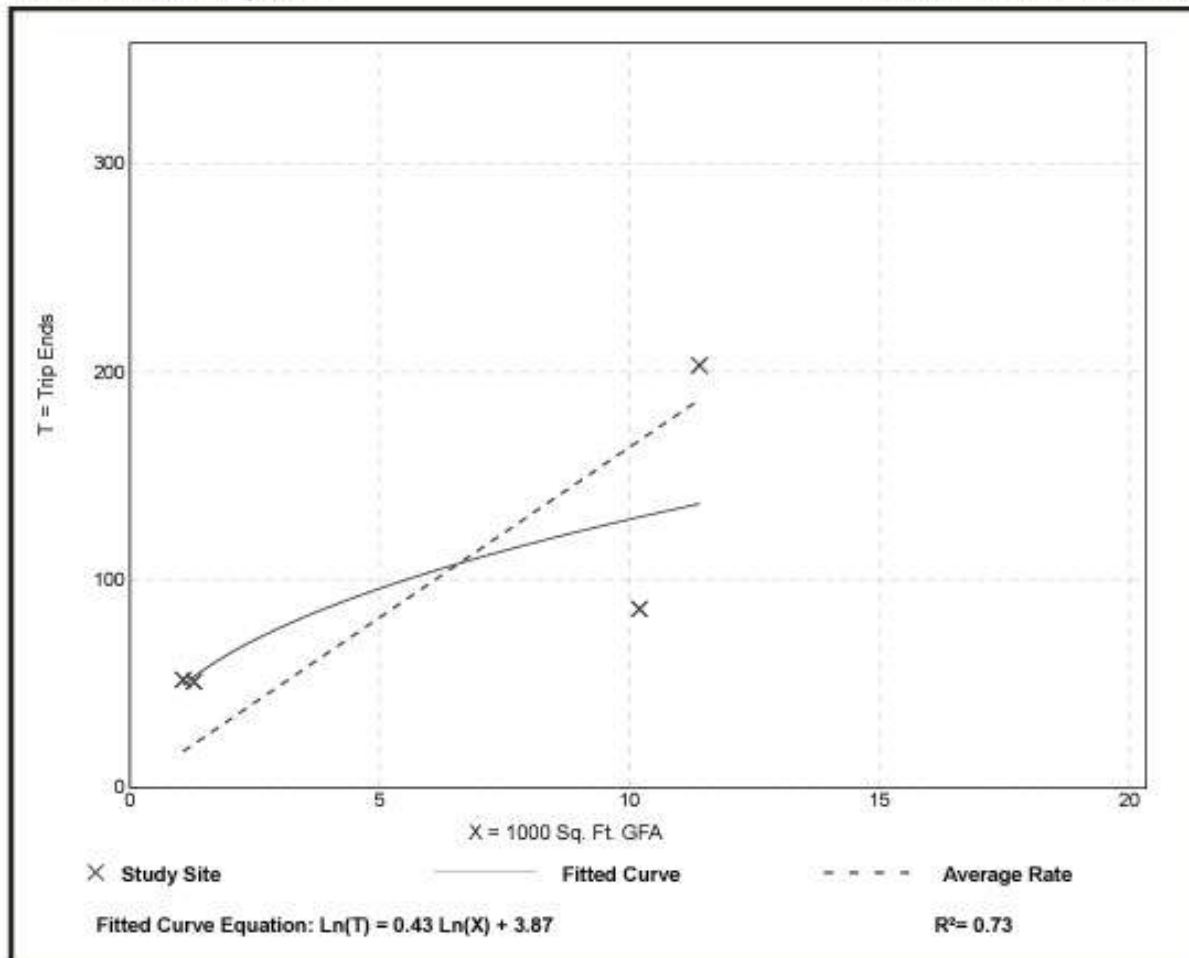
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 4  
 1000 Sq. Ft. GFA: 6  
 Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
16.37	8.43 - 48.60	11.76

## Data Plot and Equation

*Caution – Small Sample Size*



## **C.6. DEVELOPMENT PLANS (SEE SECTION D)**

## **D. DEVELOPMENT PLANS**

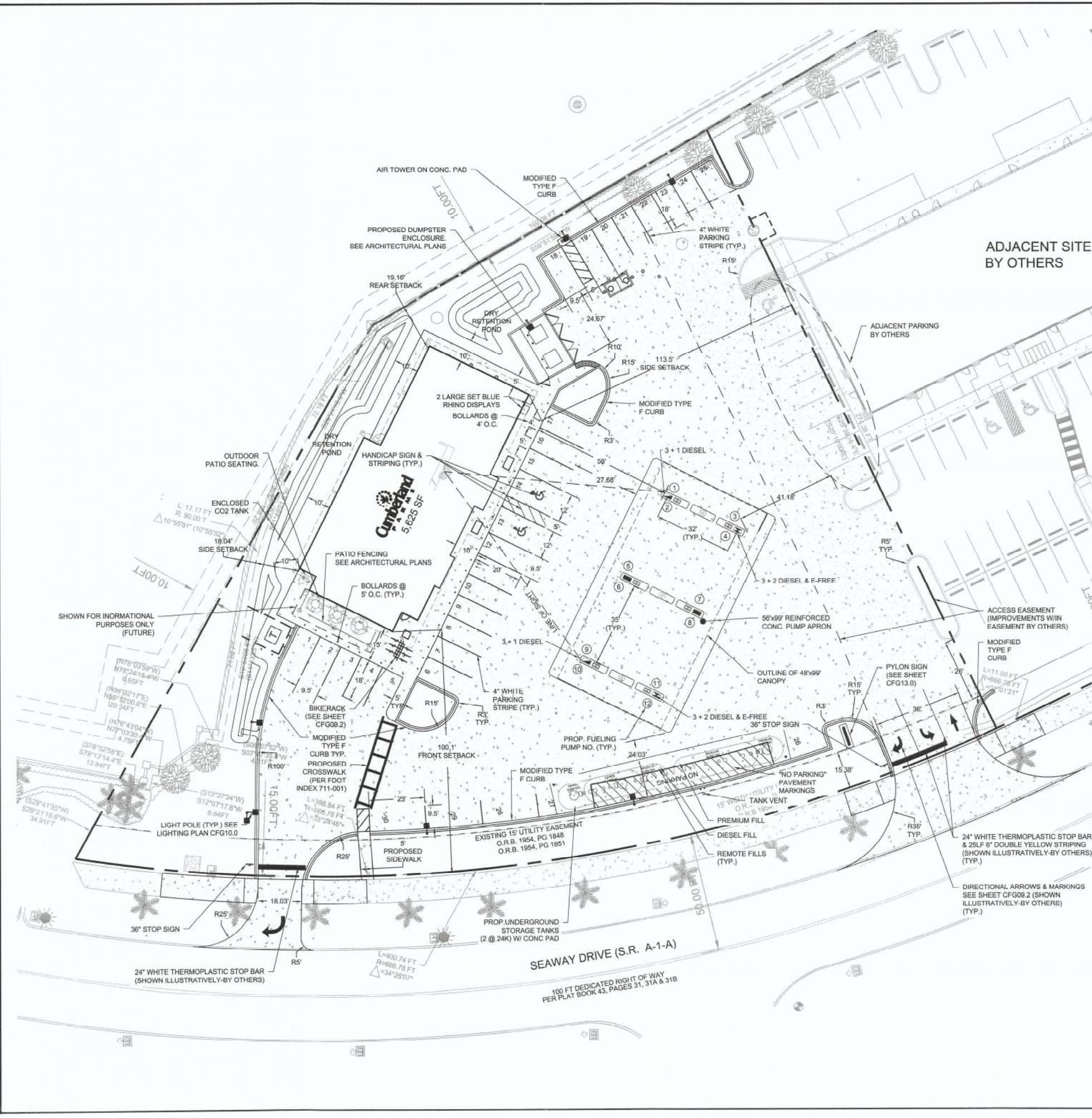
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- D.1. SURVEY**
- D.2. DEMOLITION PLAN**
- D.3. SITE PLAN**
- D.4. STORM DRAINAGE PLAN**
- D.5. LANDSCAPE MITIGATION (DISPOSITION) PLAN**
- D.6. LANDSCAPE PLAN**
- D.7. PHOTOMETRIC PLAN**
- D.8. PHOTOMETRIC DETAILS**
- D.9. AUTOTURN ANALYSIS**
- D.10. EXTERIOR ELEVATIONS**
- D.11. SECURITY CAMERA EXHIBIT**
- D.12. SIGN RENDERINGS**





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 0 1/2 1 2 3 4  
 inches



**GENERAL STATEMENT**

THE PROPOSED DEVELOPMENT INCLUDES THE CONSTRUCTION OF A NEW 5,625 SF CUMBERLAND FARMS SINGLE-STORY CONVENIENCE STORE WITH OUTDOOR SEATING AND 6 DISPENSING PUMPS (WITH 12 FUELING POSITIONS) ON VACANT PROPERTY. THE PROPOSED SITE IS EQUIPPED WITH UNDERGROUND STORAGE TANKS, CANOPY, OUTDOOR SEATING, AIR TOWER, AND DUMPSTER ENCLOSURE.

**LEGAL DESCRIPTION:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ST. LUCIE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:  
 TRACT "D-1" OF THE SECOND REPLAT OF HARBOUR ISLE, RECORDED IN PLAT BOOK 46, PAGE 10, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING DESCRIBED LAND:

LEGAL DESCRIPTION:  
 THAT PORTION OF TRACT D-1, OF SECOND REPLAT OF HARBOUR ISLE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 10, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LYING EAST OF THE FOLLOWING DESCRIBED LINE: COMMENCE AT THE NORTHWEST CORNER OF SAID TRACT D-1  
 THENCE NORTH 64°50'00" EAST, ALONG THE NORTH LINE OF SAID TRACT D-1 (THE NORTH LINE OF SAID TRACT D-1 IS ASSUMED TO BEAR NORTH 64°50'00" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO), A DISTANCE OF 244.91 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 698.78 FEET AND A CENTRAL ANGLE OF 1°01'21" THENCE EASTERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 11.90 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED LINE; THENCE SOUTH 25°10'00" EAST, A DISTANCE OF 274.36 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT D-1 AND THE POINT OF TERMINUS.

AND LESS AND EXCEPT

COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT D-1; THENCE SOUTH 20°41'35" WEST, ALONG THE EAST LINE OF SAID TRACT D-1 (THE EAST LINE OF SAID TRACT D-1 IS ASSUMED TO BEAR SOUTH 20°41'35" WEST AND ALL OTHER BEARINGS ARE RELATIVE THERETO), A DISTANCE OF 34.91 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE NORTH 78°52'58" WEST, DEPARTING SAID EAST LINE, A DISTANCE OF 13.84 FEET TO A POINT; THENCE SOUTH 12°27'34" WEST, A DISTANCE OF 6.84 FEET TO A POINT; THENCE NORTH 76°43'04" WEST, A DISTANCE OF 4.75 FEET TO A POINT; THENCE SOUTH 56°32'17" WEST, A DISTANCE OF 23.34 FEET TO A POINT; THENCE SOUTH 68°07'53" WEST, A DISTANCE OF 4.31 FEET TO A POINT; THENCE NORTH 78°03'59" WEST, A DISTANCE OF 6.85 FEET TO A POINT; THENCE SOUTH 11°13'29" WEST, A DISTANCE OF 71.62 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 80.05 FEET AND A CENTRAL ANGLE OF 10°55'02" THENCE SOUTHERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 17.17 FEET TO A POINT; THENCE SOUTH 22°09'18" WEST, A DISTANCE OF 23.81 FEET TO A POINT ON SAID EAST LINE; THENCE NORTH 28°41'35" EAST, ALONG SAID EAST LINE, A DISTANCE OF 144.32 FEET TO THE POINT OF BEGINNING.

**PROPERTY DATA**

**OWNER (CONTRACTING TO PURCHASE):** CUMBERLAND FARMS INC. 165 FLANDERS RD, WESTBOROUGH, MA 01501

**APPLICANT:** CUMBERLAND FARMS, INC. 165 FLANDERS RD, WESTBOROUGH, MA 01501

**PROJECT ENGINEER:** JEFF LUCAS, P.E. - ATKINS, N.A. 7175 MURRELL RD, MELBOURNE, FL 32940

**SITE ADDRESS:** 835 SEAWAY DR, FORT PIERCE, FL 34949

**PARCEL:** 2402-501-0001-010-8  
**OVERALL SITE AREA:** 1.50 AC  
**JURISDICTION:** FORT PIERCE  
**ZONING DISTRICT:** PD  
**FLU:** HIMU

**FEMA FIRM PANEL:** PROPERTY IS LOCATED WITHIN FLOOD ZONE DESIGNATION X, PANEL NO. 12111C0183J, DATED 02/16/2012

**PROPOSED USE:** 5,625 SF CONVENIENCE STORE  
 6 PUMPS (12 FUELING POSITIONS)  
 GAS DISPENSING UNDER CANOPY

**PROP. HOURS OF OPERATION:** 24 HOURS

**CONSTRUCTION SCHEDULE:** 140 DAYS DURATION (APPROXIMATE)

**LAND DATA:**

ON-SITE IMPERVIOUS AREA:		
• BUILDING	0.13 AC	(8.7%)
• PAVEMENT, SIDEWALKS & CURBING	0.81 AC	(53.8%)
PERVIOUS AREA:	0.56 AC	(37.5%)
TOTAL	1.50 AC	(100%)

**PARKING CALCULATIONS:**

**CONVENIENCE STORE:** REQUIRED: (5,625 SF / 200 SF) = 29 SPACES  
 TOTAL REQUIRED = 29 SPACES

PROVIDED: 25 SPACES @ 90' - 9.5' X 18'  
 AND 5 PARALLEL SPACES @ 9.5' X 23'  
 FOR A TOTAL OF 30 PROVIDED SPACES

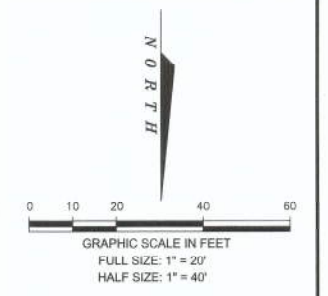
**ADA ACCESSIBLE SPACES:** REQUIRED: 2 SPACES PROVIDED: 2 SPACES

**DEVELOPMENT PARAMETERS**

<b>BUILDING SETBACKS:</b>		
FRONT (NORTH):	± 100'	
SIDE INTERIOR (WEST AND EAST):	± 18'	
REAR (SOUTH):	± 19'	
<b>LANDSCAPE BUFFERS:</b>	ALL SIDES (LESS ABUTTING):	PROVIDED AS SHOWN ON LANDSCAPE PLAN
<b>PROP. BLDG HEIGHT:</b>	PROP. BLDG. - NO EXISTING BLDG 30' (AVG)	± 33'-1" (PEAK) ± 23'-9" (AVG)
<b>CANOPY CLEARANCE:</b>	14'	± 14'-4" (DECK UNDERSIDE HEIGHT)

**NOTES:**

1. PROPOSED CANOPY, FUEL DISPENSERS, UNDERGROUND STORAGE TANK, OUTDOOR SEATING, AIR TOWER, DUMPSTER ENCLOSURE AND CONVENIENCE STORE DESIGN AND PROVISIONS SHALL BE CROSS REFERENCED TO THE ARCHITECTURAL AND/OR TANK & PUMP PLANS RESPECTIVELY FOR INSTALLATION ASPECTS.
2. FOR ADDITIONAL SIGNING AND PAVEMENT MARKING NOTES, SEE GENERAL NOTES SHEET.
3. ALL PARKING SPACES, INCLUDING HANDICAPPED PARKING SPACES, SHALL BE STRIPED IN WHITE THERMOPLASTIC PAINT, AND BE IN ACCORDANCE WITH MOST CURRENT FDOT SPECIFICATIONS.
4. LIGHT POLES ARE DEPICTED FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO LIGHTING PLANS FOR EXACT LOCATIONS AND CONSTRUCTION.
5. ALL CURB RAMPS (CR-A, B, ETC.) SHOWN ON THESE PLANS SHALL BE PER FDOT INDEX #522-002.
6. THE SURFACE WHICH IS TO BE PAINTED SHALL BE CLEANED, BY COMPRESSED AIR OR OTHER EFFECTIVE MEANS, IMMEDIATELY BEFORE THE START OF PAINTING, AND SHALL BE CLEAN AND DRY WHEN THE PAINT IS APPLIED. ANY VEGETATION OR SOIL SHALL BE REMOVED FROM THE PAVEMENT BEFORE STRIPING IS BEGUN.
7. A MINIMUM OF 4 FEET FROM THE STOP BAR TO THE PEDESTRIAN CROSSING, PER MUTCD SECTION 3B.16, IS REQUIRED AT ALL DRIVEWAYS WITH CROSS WALKS AND STOP BARS. ALL CROSS WALKS SHALL BE A MINIMUM OF 6 FEET OR 2 FEET WIDER THE SIDEWALK BETWEEN THE (2) 12 INCH PARALLEL STRIPES.
8. DRIVEWAY PERMITTING BY ADJACENT DEVELOPER



**LEGEND AND ABBREVIATIONS**

PROP.	PROPOSED
RPM	REFLECTIVE PAVEMENT MARKER
TYP.	TYPICAL
SQ. FT.	SQUARE FEET
ROW	RIGHT OF WAY
PGD	PAVING, GRADING AND DRAINAGE
CONC.	CONCRETE
C&G	CURB & GUTTER
[Symbol]	PROPOSED CONCRETE SIDEWALK & PADS
[Symbol]	EXISTING PROPERTY/ROW LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	TRANSFORMER PAD
[Symbol]	EXISTING TREE TO REMAIN

JEFFREY LUCAS, P.E.  
 FLORIDA REG. NO. 71621

DATE: 7-22-15

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Rev.	Date	Description	By	Ch	App

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 MELBOURNE, FL 32940  
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CORPORATE OFFICE:  
 4030 W. BOY SCOUT BLVD  
 TAMPA, FLORIDA 33607  
 FBPR CERTIFICATE OF AUTHORIZATION NO. 24  
 www.atkinsglobal.com

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**Cumberland FARMS**

CUMBERLAND FARMS INC.  
 165 FLANDERS ROAD  
 WESTBOROUGH, MA 01581

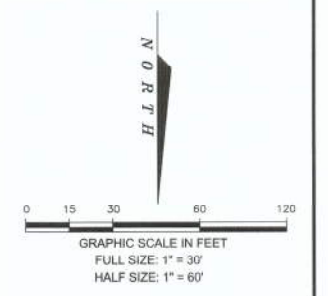
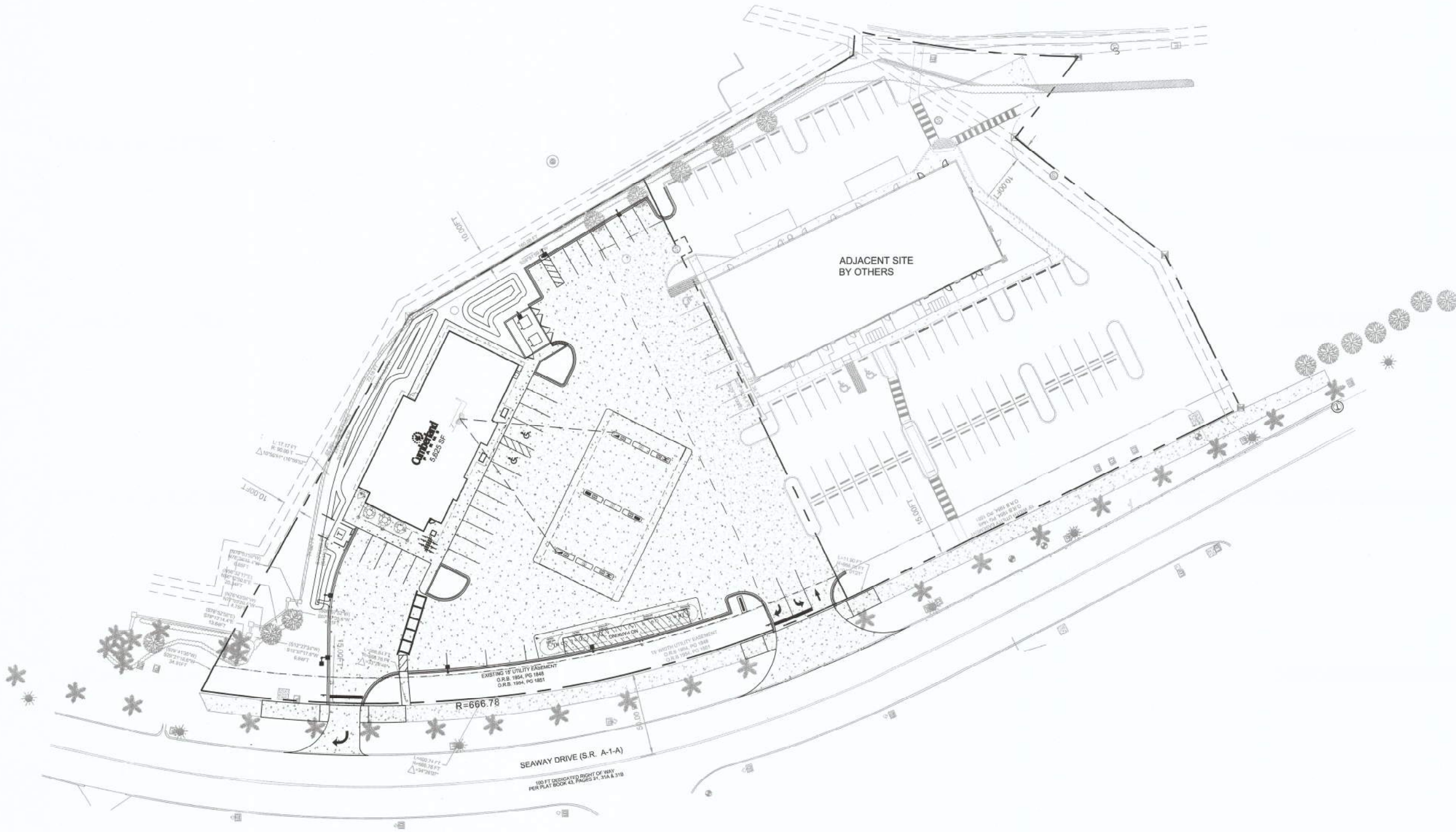
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**835 SEAWAY DR  
 FT. PIERCE, FL 34949**

**SITE PLAN**

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Original Size	JAL	DF		
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Inches

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**LEGEND AND ABBREVIATIONS**

PROP.	PROPOSED
RPM	REFLECTIVE PAVEMENT MARKER
TYP.	TYPICAL
SQ. FT.	SQUARE FEET
ROW	RIGHT OF WAY
PGD	PAVING, GRADING AND DRAINAGE
CONC.	CONCRETE
C&G	CURB & GUTTER
	PROPOSED CONCRETE SIDEWALK & PADS
	EXISTING PROPERTY ROW LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	TRANSFORMER PAD
	EXISTING TREE TO REMAIN

JEFFREY LUCAS, P.E.  
FLORIDA REG. NO. 71621

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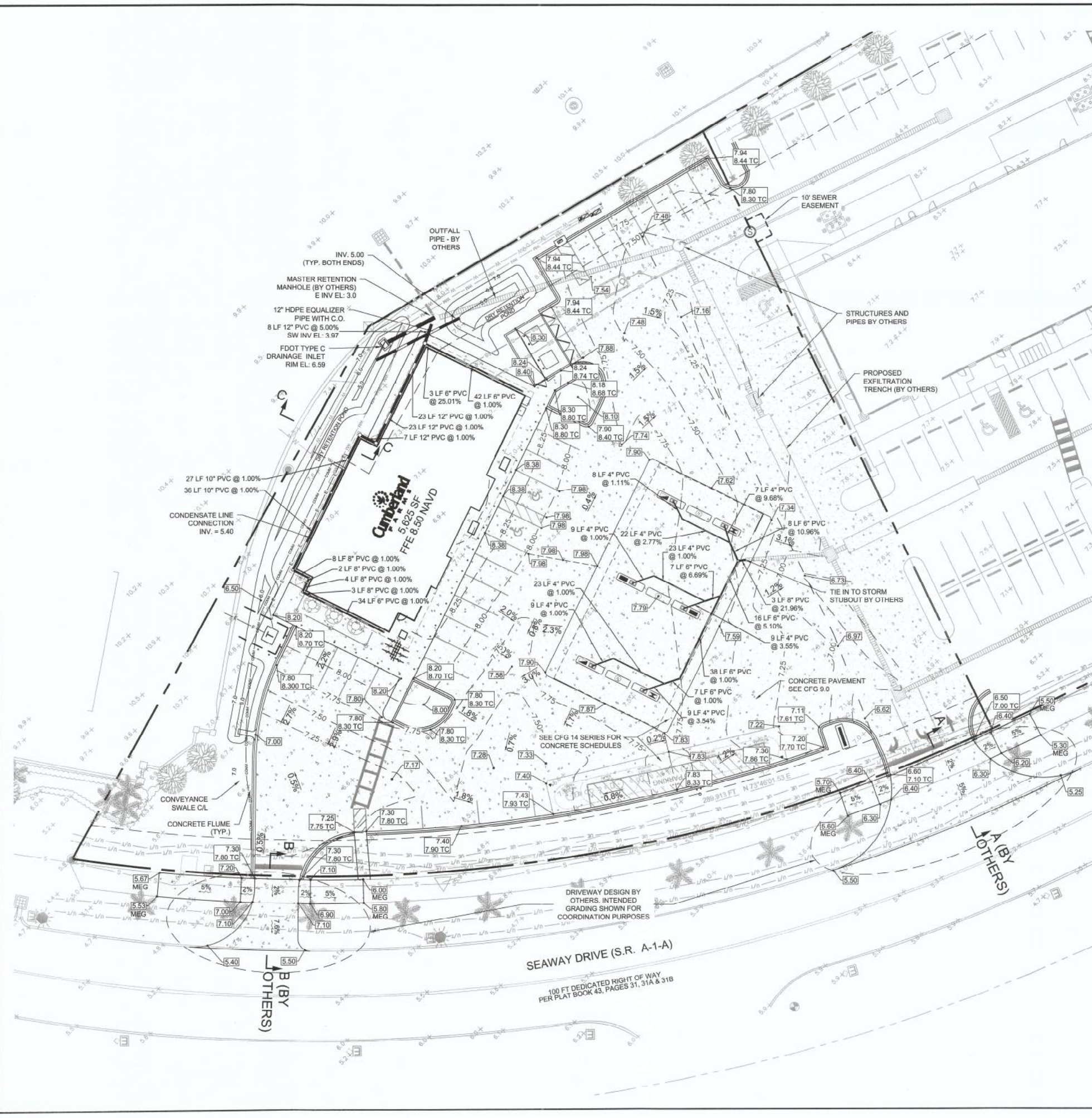
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**835 SEAWAY DR  
 FT. PIERCE, FL 34949**

Drawing Title:  
**OVERALL SITE PLAN**

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	JAL	DF		
Original Date	Date	Date	Date	Date
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Drawing Number				Revision
CFG04.1				

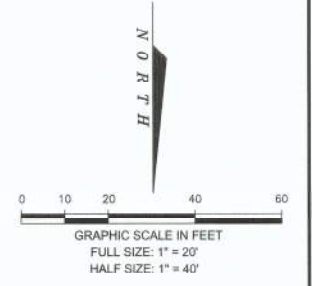
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**LEGEND**

- FLOW PATTERN
- DRAINAGE STRUCTURES
- PROPOSED ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONCRETE PAVEMENT
- PROPOSED DRAINAGE PIPE
- EXISTING DRAINAGE PIPE
- EXISTING PROPERTY/ROW LINE
- PROPOSED GRADE BREAK
- SPREADER SWALE CENTERLINE
- PROPOSED EASEMENT
- DRAINAGE PIPE (BY OTHERS)
- DRAINAGE STRUCTURES (BY OTHERS)



- ABBREVIATIONS:**
- TYP. - TYPICAL
  - HP - HIGH POINT
  - E/P - EDGE OF PAYMENT
  - T/C - TOP OF CURB
  - T/S - TOP OF SIDEWALK
  - T/W - TOP OF WALL
  - S/W - SIDEWALK
  - REQ. - REQUIRED
  - MEG - MATCH EXISTING GRADE
  - C.O. - CLEAN OUT
  - DS - DOWNSPOUT
  - P/L - PROPERTY LINE
  - TBD - TO BE DETERMINED
  - INT - INTERPOLATED
  - EOR - ENGINEER OF RECORD
  - YD - YARD DRAIN
  - EX. - EXISTING

**NOTES:**

1. CIVIL SITE WORK (GRADING, PAVING, CONCRETE INSTALLATION, DRAINAGE) SHALL BE CROSS REFERENCED TO ARCHITECTURAL PLANS. OVERLAPPING INFORMATION PROVIDED HEREIN IS SUBJECT TO INTERDISCIPLINE COORDINATION. CONTRACTOR TO COORDINATE ACCORDINGLY.
2. CONTRACTOR TO PERFORM PRE-CONSTRUCTION SURVEY TO VERIFY GRADING TIE-IN OF SURFACE AND UNDERGROUND ELEMENTS WITHIN AND DIRECTLY ADJACENT TO THE ACCESS EASEMENT.
3. REINFORCED CONCRETE PIPE SHALL BE CLASS III OR GREATER WITHIN CITY AND/OR FDOT ROW.
4. DOWNSPOUT COLLECTION SYSTEM (BOXES, BACKWATER VALVES, ECT) PER PLUMBING PLANS (SHOWN FOR ILLUSTRATIVE PURPOSES ONLY).
5. REFER TO STRUCTURAL/ARCHITECTURAL PLANS FOR CONSTRUCTION & EXPANSION JOINT DETAILS WHERE SIDEWALKS ABUT BUILDINGS.
6. CONCRETE JOINT (EXPANSION, CONTROL, ETC.) LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL SUPPLY ENGINEER WITH JOINTING PLAN AT TIME OF CONSTRUCTION FOR APPROVAL.
7. CONTRACTOR TO FIELD VERIFY PIPE COVER AND CLEARANCES DURING CONSTRUCTION AND NOTIFY ENGINEER PRIOR TO TRENCH CLOSURE WHEN MINIMUM REQUIREMENT CANNOT BE ACHIEVED. CONCRETE ENCASEMENT MAY BE NECESSARY.
8. FLOOR DRAIN LEADERS ARE LOCATED TO THE BEST EXTENT PRACTICAL. EXACT LOCATION MAY VARY AND/OR REQUIRE FIELD VERIFICATION. EXACT SIZES TO BE VERIFIED WITH PLUMBING PLANS.
9. ALL CLEANOUTS RIMS/COLLARS TO MATCH FINAL GRADE ACCORDINGLY.
10. CONTRACTOR TO COORDINATE CONSIDERATION FOR LANDSCAPE IMPROVEMENTS (TOP SOIL, MULCH, VEGETATION, ETC.) WHEN ESTABLISHING ROUGH AND FINAL GRADES.
11. MATCH EXISTING GRADES AT SITE PERIMETER UNLESS SHOWN OTHERWISE.
12. ALL STREET & STORMWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF FT. PIERCE.
13. COMPACT FILL AREAS, INCLUDING CUT AREAS UNDER THE SIDEWALK THAT HAVE BEEN EXCAVATED MORE THAN 6 INCHES BELOW THE BOTTOM OF SIDEWALK, TO A MINIMUM OF 95% OF AASHTO T99 DENSITY. THE AREA TO BE COMPACTED IS DEFINED AS THAT AREA DIRECTLY UNDER THE SIDEWALK AND 1 FOOT BEYOND EACH SIDE OF THE SIDEWALK WHEN RIGHT-OF-WAY ALLOWS.

**RETENTION AREA CONSTRUCTION NOTES:**

1. NATURAL GRADE AT POND BOTTOMS/SLOPE AREAS TO BE STRIPPED, CLEARED, AND GRUBBED OF ORGANIC AND PARENT SOIL CONTAINING FINES TO A DEPTH OF 12-18 INCHES, THEN DEEP RAKED.
2. ROUGH GRADE AND EXCAVATE. CONTRACTOR SHALL USE LIGHT CONSTRUCTION EQUIPMENT, AS PRACTICAL, TO AVOID UNDUE COMPACTION OF SAND.
3. AFTER DRAINAGE AREA CONTRIBUTING TO POND HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND POND BOTTOM SHOULD BE CONSTRUCTED TO FINAL DESIGN SPECIFICATIONS.
4. DEEP RAKE POND BOTTOM.
5. SOD POND BOTTOM WITH SAND GROWN SOD, NOT MUCK GROWN.
6. CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERCOLATION TESTS WITHIN THE RETENTION AREA(S). A MINIMUM OF TWO TESTS SHALL BE PROVIDED AND SUPPLIED TO THE EOR PRIOR TO FINAL ACCEPTANCE. IF PERCOLATION RATES TESTED FAIL TO MEET DESIGN TOLERANCES, OVER-EXCAVATION AND SELECT BACKFILL SHALL BE REQUIRED.

JEFFREY LUCAS, P.E.  
FLORIDA REG. NO. 71621

DATE: 5-22-15  
SIGNATURE: [Signature]

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FBPR CERTIFICATE OF AUTHORIZATION NO.24  
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**Cumberland Farms**

CUMBERLAND FARMS INC.  
165 FLANDERS ROAD  
WESTBOROUGH, MA 01581

Project Title:  
**835 SEAWAY DR  
FT. PIERCE, FL 34949**

Drawing Title:  
**PAVING, GRADING AND  
DRAINAGE**

Scale	Design	Drawn	Checked	Authorized
Original Size	Date	Date	Date	Date
ARCH D				
Drawing Number	CFG05.0			Revision







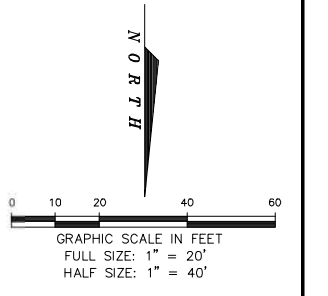




0 1/4 1 2 4  
Inches

USER: FARR400  
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**red leonard associates**  
1340 Kemper Meadow Dr. | Cincinnati, OH 45240 | 513-574-9500  
www.redleonard.com



NOTE:  
- EXCEPT FOR TYPE "AR1" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.  
- TYPE "AR1" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.

LUMINAIRE LOCATION SUMMARY			LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.	LUM NO.	LABEL	MTG. HT.
1	A3	15	29	C3	14
2	A3	15	30	C3	14
3	A3	15	31	C3	14
4	A2	15	32	S	12
5	AR1	8	33	S	12
6	AR1	8	34	S	12
7	AR1	8	35	S	12
8	AX	15	36	S	12
9	AX	15	37	S	12
10	AX1	15	38	S	12
11	B3	15	39	S	12
12	B3	15	40	S	12
13	B3	15	41	S	12
14	C3	14	42	S	12
15	C3	14	43	S	12
16	C3	14	44	S	12
17	C3	14	45	S	12
18	C3	14	46	S	12
19	C3	14	47	S	15.5
20	C3	14	48	S	16.945
21	C3	14	49	S	16.945
22	C3	14	50	S	12
23	C3	14	51	S	16.945
24	C3	14	52	S	12
25	C3	14	53	S	15.5
26	C3	14	54	S	12
27	C3	14	55	S	12
28	C3	14	56	S	12
			57	S	12

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	39.38	60	20	1.97	3.00
PAVED AREA	3.00	16.4	0.2	15.00	82.00
UNDEFIND AREA	0.95	29.2	0.0	N.A.	N.A.

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
[Symbol]	1	A2	2 @ 90 DEGREES	10705	1,000	1,000	1,000	B3-U0-G3	132.5	265	CREE, INC.	ARE-EDG-3M-DA-06-E-UL-WH-700-57K
[Symbol]	3	A3	SINGLE	7896	1,010	1,000	1,010	B1-U0-G2	134	402	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-WH-700-57K
[Symbol]	3	AR1	SINGLE	5325	1,010	1,000	1,010	B1-U0-G2	92	276	CREE, INC.	ARE-EDR-3MB-R5-04-E-UL-BK-700-57K
[Symbol]	2	AX	SINGLE	7896	1,010	1,000	1,010	B1-U0-G2	134	268	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-WH-700-57K (FURNISHED AND INSTALLED BY OTHERS)
[Symbol]	1	AX1	2 @ 90 DEGREES_1	7896	1,010	1,000	1,010	B1-U0-G2	134	268	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-WH-700-57K (FURNISHED AND INSTALLED BY OTHERS)
[Symbol]	3	B3	SINGLE	8480	1,010	1,000	1,010	B1-U0-G2	134	402	CREE INC.	ARE-EDG-4MB-DA-06-E-UL-WH-700-57K
[Symbol]	18	C3	SINGLE	21340	1,010	0.670	0.877	B4-U0-G1	138	2484	Cree Inc	CAN-228-SL-RM-09-E-UL-WH-700-57K (SWITCH SETTING 3)
[Symbol]	26	S	SINGLE	2483	1,010	1,000	1,010	B2-U0-G0	37.4	972.4	Cree Inc	KR6-30L-40K-120V-10V + KR6T-SSGC-WF

REV.	BY	DATE	DESCRIPTION
R1	TAS	2/20/19	UPDATED SITE PLAN
R2	TAS	4/3/19	REVISED FIXTURE TYPES AND ADDED ONE LIGHT POLE
R3	TAS	5/21/19	RELOCATED POLES AT ENTRANCES

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PROJECT NAME:  
**CUMBERLAND FARMS FT. PIERCE**

DRAWING NUMBER:  
**RL-5964-S1-R3**

SCALE: LAYOUT BY: TKS  
DATE: 2/12/19

DWG SIZE: D

PEDRO TREVIN  
P.E. No. 15309

DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

Rev. Date Description By C/K JH PH

Drawing Status: **FOR INFORMATION** Suitability: **SO**

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Client: **Cumberland Farms**  
CUMBERLAND FARMS INC. 165 CLANCY ROAD MESCUNOCC, VA 01881

Project Title: **835 SEAWAY DR FT. PIERCE, FL 34949**

Drawing Title: **PHOTOMETRIC PLAN**

Scale	Designed	Drawn	Checked	Authorized
Original Size	JAL	DF		
ARCH D	Date	Date	Date	Date

Drawing Number: **CFG10.0** Revision: \_\_\_\_\_

0 1 2 3 4  
Inches

# AREA

PRODUCT INFORMATION

SYMBOL:	QTY:	LABEL:
	4	A3

SYMBOL:	QTY:	LABEL:
	3	AX

SYMBOL:	QTY:	LABEL:
	3	B3

SYMBOL:	QTY:	LABEL:
	3	B3

SYMBOL:	QTY:	LABEL:
	3	B3

### Cree Edge™ Series

LED Area Flood Luminaires

**Product Description**  
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes heat and maximizes performance. The rugged cast aluminum housing minimizes heat and maximizes performance. The rugged cast aluminum housing minimizes heat and maximizes performance.

**Performance Summary**  
Patented Non-Dim™ Product Technology  
Made in the U.S.A. of U.S. and imported parts  
CEC Marked to UL  
UL-Approved for 3000, 3500K and 4000K  
LED Lifetime: 50,000 hours (at 70°C ambient temperature)

**Accessories**  
Non-Dim™ Technology  
Emergency Back-Up Battery

**Ordering Information**  
Cree Edge™ Series LED Area Flood Luminaires

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
ARE-EDG-3MB-DA-06-E-ULWH-700-57K	3000K	DA	3000	60°	White	7000	3000	3000	3000

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
ARE-EDG-3MB-DA-06-E-ULWH-700-57K	3000K	DA	3000	60°	White	7000	3000	3000	3000

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**Ordering Information**  
Cree Edge™ Series LED Area Flood Luminaires

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
ARE-EDG-3MB-DA-06-E-ULWH-700-57K	3000K	DA	3000	60°	White	7000	3000	3000	3000

# AREA

PRODUCT INFORMATION

SYMBOL:	QTY:	LABEL:
	3	AR1

SYMBOL:	QTY:	LABEL:
	3	AR1

SYMBOL:	QTY:	LABEL:
	3	AR1

SYMBOL:	QTY:	LABEL:
	3	AR1

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LED Lifetime: 50,000 hours (at 70°C ambient temperature)

**Accessories**  
Non-Dim™ Technology  
Emergency Back-Up Battery

**Ordering Information**  
Cree Edge™ Series LED Area Flood Luminaires

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
ARE-EDR-3MB-R5-04-E-UL-BK-700-57K	3000K	R5	3000	60°	White	7000	3000	3000	3000

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
ARE-EDR-3MB-R5-04-E-UL-BK-700-57K	3000K	R5	3000	60°	White	7000	3000	3000	3000

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**Accessories**  
Non-Dim™ Technology  
Emergency Back-Up Battery

**Ordering Information**  
Cree Edge™ Series LED Area Flood Luminaires

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
ARE-EDR-3MB-R5-04-E-UL-BK-700-57K	3000K	R5	3000	60°	White	7000	3000	3000	3000

# CANOPY

PRODUCT INFORMATION

SYMBOL:	QTY:	LABEL:
	18	C3

SYMBOL:	QTY:	LABEL:
	18	C3

SYMBOL:	QTY:	LABEL:
	18	C3

SYMBOL:	QTY:	LABEL:
	18	C3

### 228 Series™

LED Recessed Canopy Luminaires

**Product Description**  
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes heat and maximizes performance. The rugged cast aluminum housing minimizes heat and maximizes performance.

**Performance Summary**  
Patented Non-Dim™ Product Technology  
Made in the U.S.A. of U.S. and imported parts  
CEC Marked to UL  
UL-Approved for 3000, 3500K and 4000K  
LED Lifetime: 50,000 hours (at 70°C ambient temperature)

**Accessories**  
Non-Dim™ Technology  
Emergency Back-Up Battery

**Ordering Information**  
Cree Edge™ Series LED Area Flood Luminaires

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
CAN-228-SL-RM-09-E-UL-WH-700-57K	3000K	RM	3000	60°	White	7000	3000	3000	3000

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
CAN-228-SL-RM-09-E-UL-WH-700-57K	3000K	RM	3000	60°	White	7000	3000	3000	3000

### 228 Series™

LED Recessed Canopy Luminaires

**Product Description**  
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes heat and maximizes performance. The rugged cast aluminum housing minimizes heat and maximizes performance.

**Performance Summary**  
Patented Non-Dim™ Product Technology  
Made in the U.S.A. of U.S. and imported parts  
CEC Marked to UL  
UL-Approved for 3000, 3500K and 4000K  
LED Lifetime: 50,000 hours (at 70°C ambient temperature)

**Accessories**  
Non-Dim™ Technology  
Emergency Back-Up Battery

**Ordering Information**  
Cree Edge™ Series LED Area Flood Luminaires

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
CAN-228-SL-RM-09-E-UL-WH-700-57K	3000K	RM	3000	60°	White	7000	3000	3000	3000

# SOFFIT

PRODUCT INFORMATION

SYMBOL:	QTY:	LABEL:
	26	S

SYMBOL:	QTY:	LABEL:
	26	S

SYMBOL:	QTY:	LABEL:
	26	S

SYMBOL:	QTY:	LABEL:
	26	S

### KR Series

LED Recessed Downlight - Round

**Product Description**  
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes heat and maximizes performance. The rugged cast aluminum housing minimizes heat and maximizes performance.

**Performance Summary**  
Patented Non-Dim™ Product Technology  
Made in the U.S.A. of U.S. and imported parts  
CEC Marked to UL  
UL-Approved for 3000, 3500K and 4000K  
LED Lifetime: 50,000 hours (at 70°C ambient temperature)

**Accessories**  
Non-Dim™ Technology  
Emergency Back-Up Battery

**Ordering Information**  
Cree Edge™ Series LED Area Flood Luminaires

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
KR6-30L-40K-120V-10V + KR6T-SSGC-WF	3000K	Down	4000	60°	White	120V	10V	3000	3000

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
KR6-30L-40K-120V-10V + KR6T-SSGC-WF	3000K	Down	4000	60°	White	120V	10V	3000	3000

### KR Series

LED Recessed Downlight - Round

**Product Description**  
The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes heat and maximizes performance. The rugged cast aluminum housing minimizes heat and maximizes performance.

**Performance Summary**  
Patented Non-Dim™ Product Technology  
Made in the U.S.A. of U.S. and imported parts  
CEC Marked to UL  
UL-Approved for 3000, 3500K and 4000K  
LED Lifetime: 50,000 hours (at 70°C ambient temperature)

**Accessories**  
Non-Dim™ Technology  
Emergency Back-Up Battery

**Ordering Information**  
Cree Edge™ Series LED Area Flood Luminaires

Product	Light	Mounting	LED Count (L70)	Beam	Color	Temp	Input	Output	Notes
KR6-30L-40K-120V-10V + KR6T-SSGC-WF	3000K	Down	4000	60°	White	120V	10V	3000	3000

User: FAR400  
\\tomb1000\civ\PROJECTS\100062844 - CF - B01Seaway (Fl. Pierce)\10\_CAD\_CFG\10.0 - PHOTOMETRIC PLAN.dwg

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RL-5964-S1-R2

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Rev.	Date	Description	By	Chk	App

Drawing Status	SO
FOR INFORMATION	

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 FBPR CERTIFICATE OF AUTHORIZATION NO.24  
 www.atkinsglobal.com

Client: **Cumberland Farms**  
 CUMBERLAND FARMS INC.  
 105 CLAYTON ROAD  
 WESTBOROUGH, MA 01581

Project Title: **835 SEAWAY DR FT. PIERCE, FL 34949**

Drawing Title: **SITE LIGHTING PLAN DETAILS**

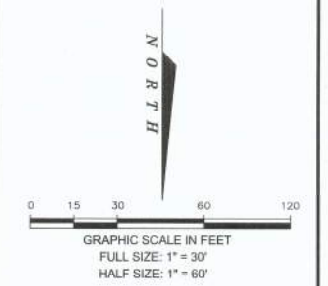
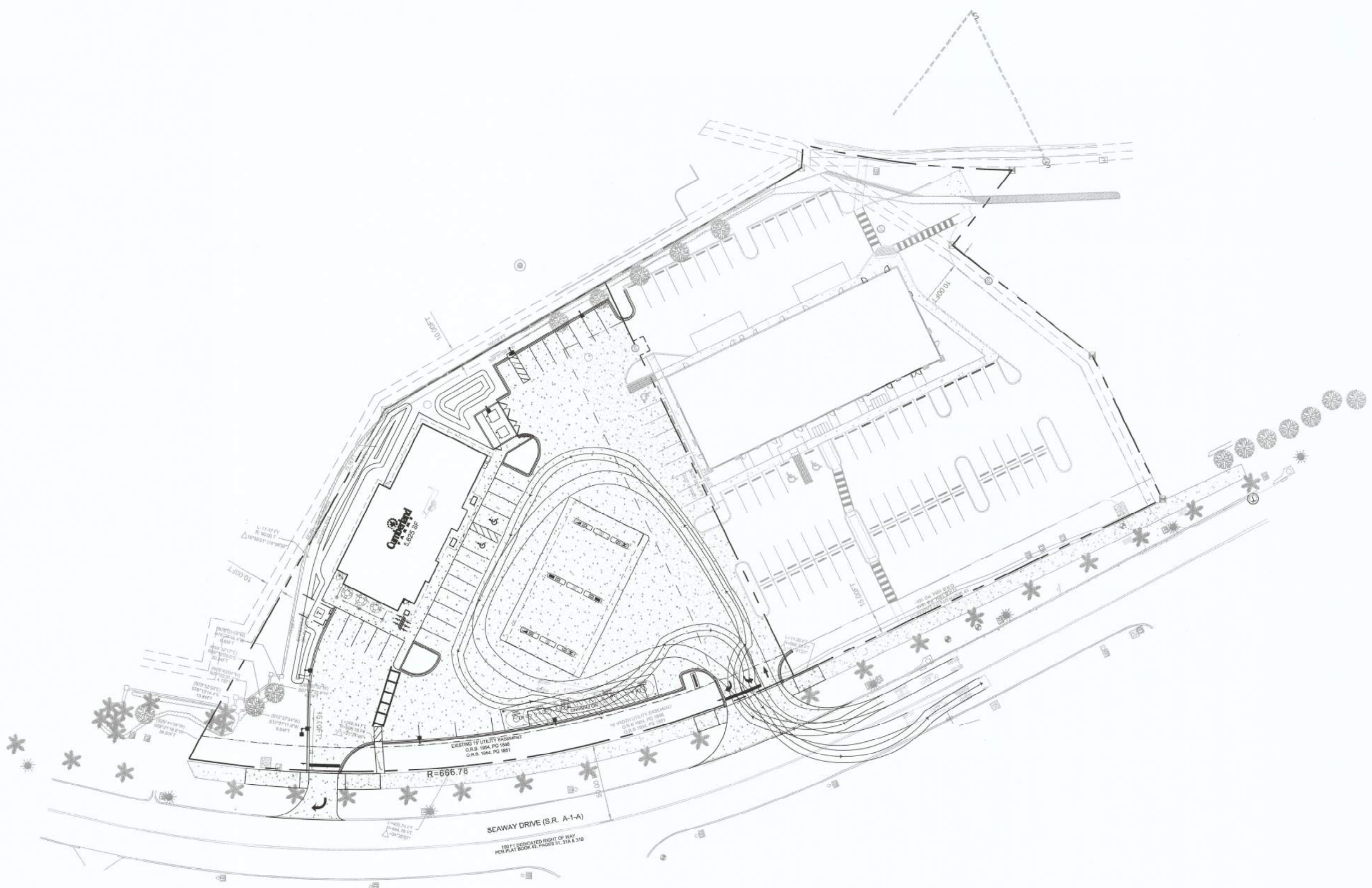
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	JAL	DF		

Original File	Date	Date	Date	Date
ARCH.D				

Drawing Number: **CFG10.1** Revision:

Inches  
0 1/4 1/2 1 1 1/2 2

User: FN84400  
\\tumba10001\civ\PROJECTS\PROJECTS\00062844 - CF - 801\Seaway (Ft. Pierce)\10 CAD\CFG16.0 - SITE PLAN.dwg



**LEGEND AND ABBREVIATIONS**

PROP.	PROPOSED
RPM	REFLECTIVE PAVEMENT MARKER
TYP.	TYPICAL
SQ. FT.	SQUARE FEET
ROW	RIGHT OF WAY
PGD	PAVING, GRADING AND DRAINAGE
CONC.	CONCRETE
C&G	CURB & GUTTER

PROPOSED CONCRETE SIDEWALK & PADS  
 EXISTING PROPERTY/ROW LINE  
 EXISTING EASEMENT  
 PROPOSED EASEMENT  
 TRANSFORMER PAD  
 EXISTING TREE TO REMAIN

JEFFREY LUCAS, P.E.  
FLORIDA REG. NO. 71021

5-22-19  
DATE

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Rev.	Date	Description	By	CS	AS

Drawing Status: **FOR INFORMATION**      Submittal: **SO**

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 www.atkinsglobal.com

Client:  
  
 CUMBERLAND FARMS INC.  
 165 FLANDERS ROAD  
 MELBOURNE, FL 32901

Project Title:  
 835 SEAWAY DR  
 FT. PIERCE, FL 34949

Drawing Title:  
**TURNING MOVEMENT PLAN**

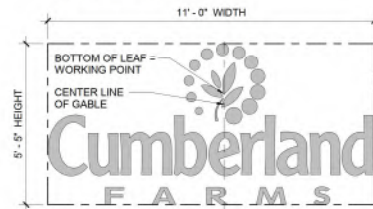
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Original Size	JAL	DF		
ARCH D	Date	Date	Date	Date

Drawing Number: **CFG16.0**

**WALL SIGNAGE SPECIFICATION**

CUSTOM FABRICATED INTERNALLY ILLUMINATED SIGN THAT IS SUPPLIED BY OWNER AND IS INSTALLED BY SIGN VENDOR.

SIGN AREA = 37.6 SF



**EXTERIOR FINISH SCHEDULE**

MARK	DESCRIP.	MANUF.	MODEL	COLOR	NOTES
CS-1	CULTURED STONE	BORAL	COUNTRY LEDGESTONE	ECHO RIDGE	INSTALL DRYSTACK ONLY
FB-1	FIBERGLASS COLUMN SHROUD	PACIFIC COLUMNS	-	WHITE	16'x9' ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH.
MT-1	METAL STANDING SEAM ROOF	-	-	PREFIN. B.D.	-
GU-1	ALUMINUM GUTTER SYSTEM	ATAS	.032	WHITE	PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MANUF. INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D. PROVIDE SUPPORT STIFFENERS AT 12" MIN. O.C. GUTTER SHALL BE SEAMLESS & 6" MIN.
SW-1	SYNTHETIC WOOD TRIM	CERTAINTED	-	WHITE	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. G.C. TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
SW-2	SYNTHETIC WOOD TRIM	CERTAINTED	-	GREEN	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. G.C. TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
FC-1	FIBER CEMENT SIDING	JAMES HARDIE	HARDIEPLANK	PREFIN. TBD	6" EXPOSURE. CEDARMILL FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.
FC-2	FIBER CEMENT SHINGLES	JAMES HARDIE	HARDIESHINGLE	PREFIN. TBD	5" EXPOSURE. STRAIGHT EDGE PANEL. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.



3 FRONT SIDE PERSPECTIVE - SD



2 LEFT SIDE ELEVATION - SD  
3/16" = 1'-0"



1 FRONT ELEVATION - SD  
3/16" = 1'-0"



**HARRISON FRENCH & ASSOCIATES, L.T.D.**  
1 508.528.0770  
31 Hayward Street  
Franklin, Massachusetts 02038  
www.hfa-ar.com

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Store # TBD  
VSH # TBD  
Oracle # FL8719  
801 Seaway  
Fl. Pierce, FL 34949  
JOB NUMBER: 41118-0220

**ISSUE BLOCK**

90% CDs	08/30/18

CHECKED BY: Checker  
DRAWN BY: Author

**EXTERIOR ELEVATIONS**

SHEET: **A-200**

18/02019 10:30 AM  
C:\Users\hfr\Documents\2019\Proj\Projects\18-0220\_AREDA\17\Plan\_Sheet\_A-1E.dwg  
C:\Users\hfr\Documents\2019\Proj\Projects\18-0220\_AREDA\17\Plan\_Sheet\_A-1E.dwg

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Store # TBD  
VSH # TBD  
Oracle # FL8719  
801 Seaway  
Fl. Pierce, FL 34949  
JOB NUMBER: 41-18-0220

ISSUE BLOCK

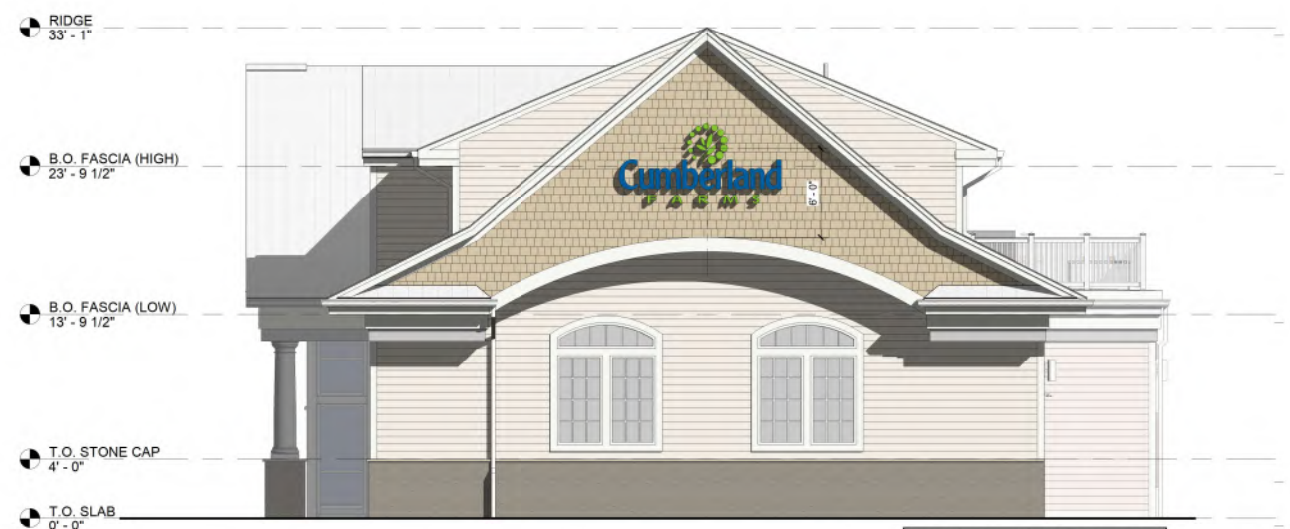
NO.	DATE	DESCRIPTION

CHECKED BY: Checker  
DRAWN BY: Author

EXTERIOR ELEVATIONS

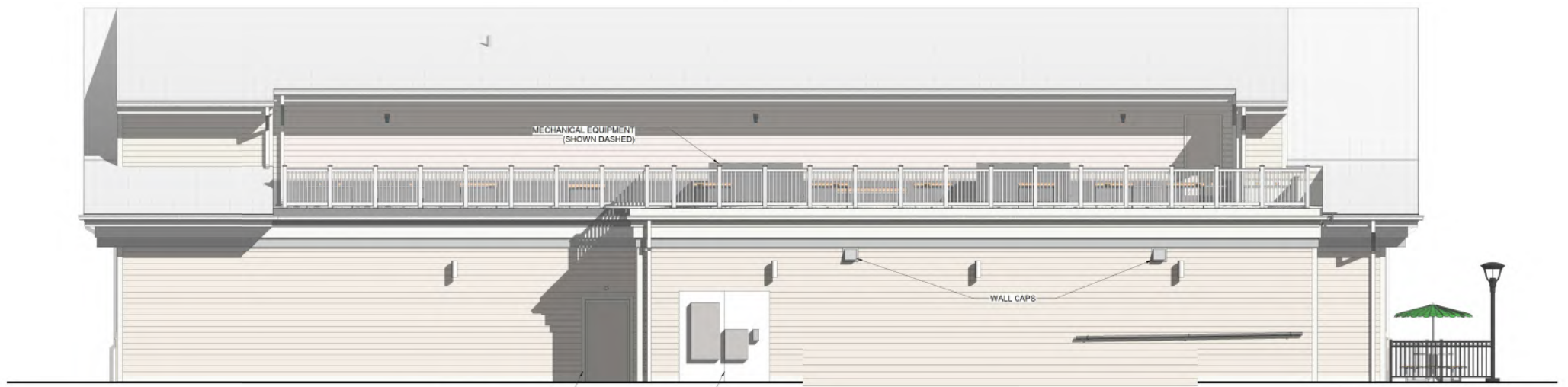


3 REAR SIDE PERSPECTIVE - SD



2 RIGHT SIDE ELEVATION - SD  
3/16" = 1'-0"

SEE FRONT ELEVATION FOR TYPICAL NOTES



1 REAR ELEVATION - SD  
3/16" = 1'-0"

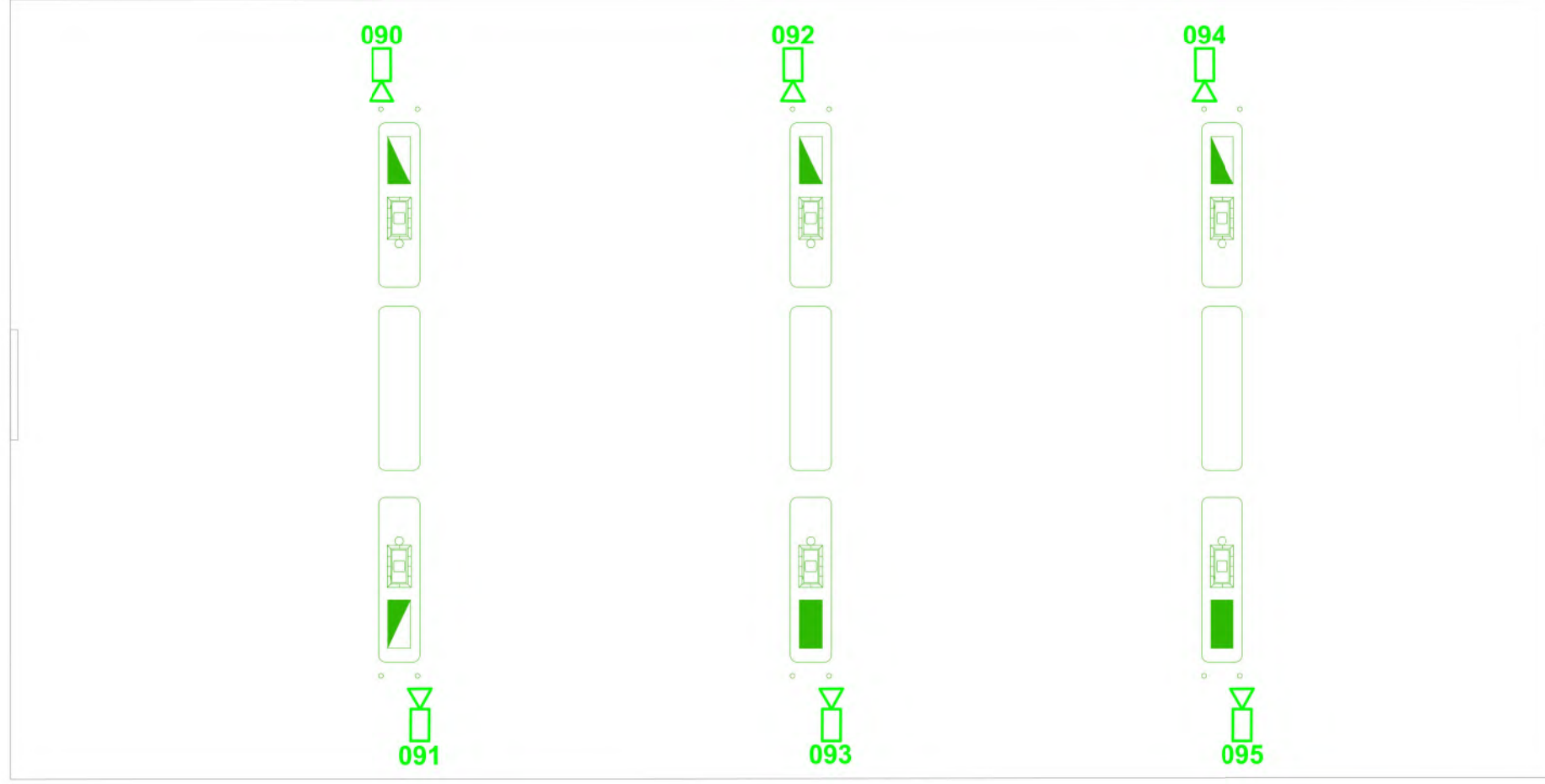
SEE FRONT ELEVATION FOR TYPICAL NOTES

8/20/2019 10:24:47 AM  
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 2019-08-20 10:24:47 AM



### SECURITY LEGEND

 EXTERIOR BULLET CAM



### REVISIONS

NO.	DATE	BY	REVISION

### ECI SYSTEMS

68 STILES ROAD, UNIT C  
 SALEM, NH 03079  
 (603) 639-2086 • www.eciintegrated.com

CAMERA LAYOUT - GAS PUMPS

PROJECT: CUMBERLAND FARMS STORE  
 CLIENT: CUMBERLAND FARMS FORT PIERCE, FL

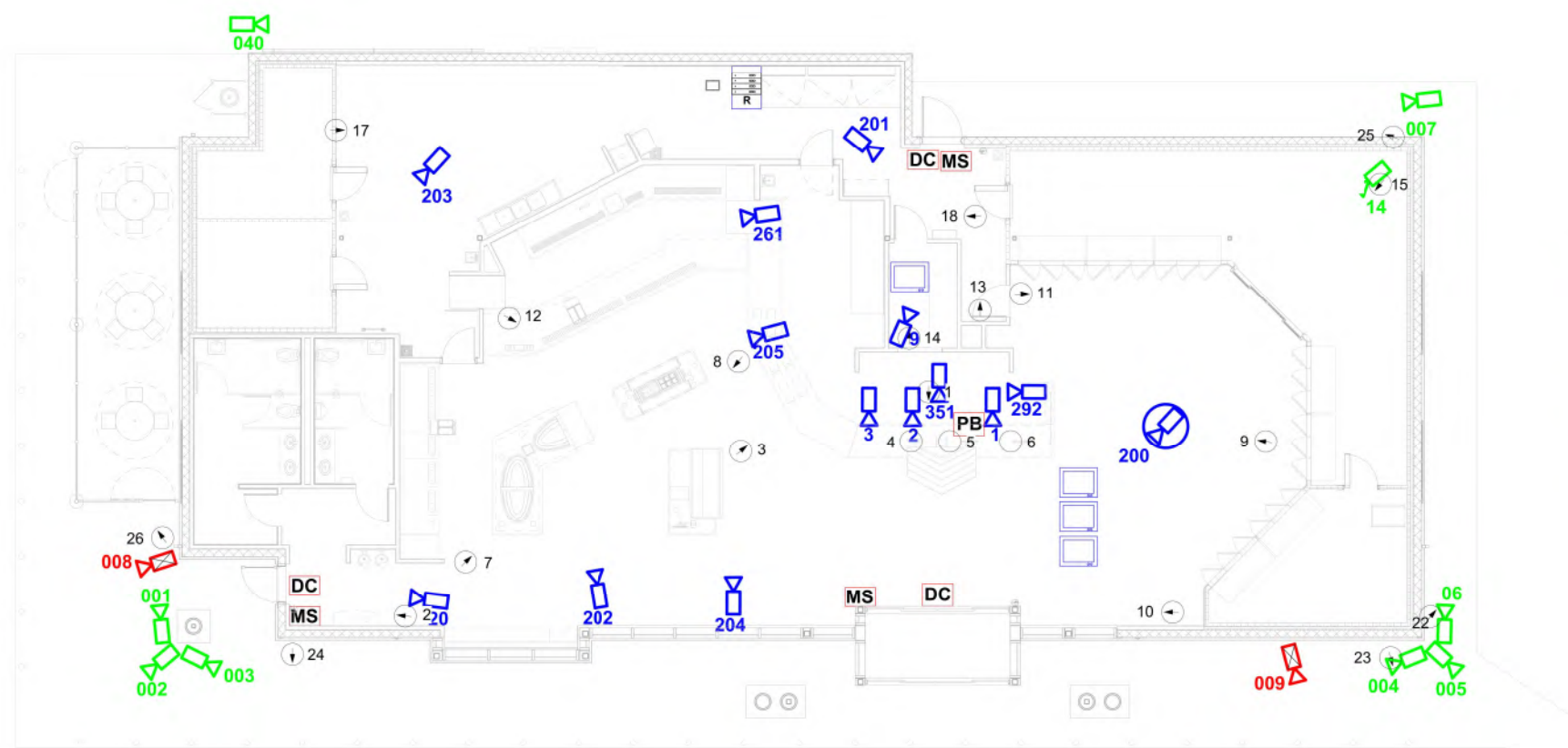
TITLE: DRAWN BY: DB  
 CHECKED BY: JC

JOB NO.  
 DWG. NO.

# SEC02

SCALE: N.T.S.

DATE: 4/3/2019



### SECURITY NOTES

SPOT MONITOR IS TO CONTAIN THE FOLLOWING VIEWS:

- BEER CAVE
- SIDE DOOR/RESTROOMS
- ENERGY DRINK DOOR
- CANDY

### SECURITY LEGEND

- EXTERIOR MULTI-SENSOR DOME
- EXTERIOR 2MP DOME
- INTERIOR 360 DOME
- INTERIOR FIXED DOME
- DC DOOR CONTACT
- MS MOTION SENSOR
- NETWORK RACK AND NVR LOCATION
- SECURITY MONITOR
- EXTERIOR 22MM LICENSE PLATE CAMERA

### REVISIONS

NO.	DATE	BY	REVISION

### ECI SYSTEMS

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 SALEM, NH 03079  
 (603) 639-2086 • www.eciintegrated.com

CAMERA LAYOUT - STORE

CUMBERLAND FARMS STORE  
 CUMBERLAND FARMS  
 FORT PIERCE, FL

JOB NO.  
 DWG. NO

**SEC01**

DRAWN BY: DB  
 CHECKED BY: JC  
 SCALE: N.T.S.  
 DATE: 4/23/2019



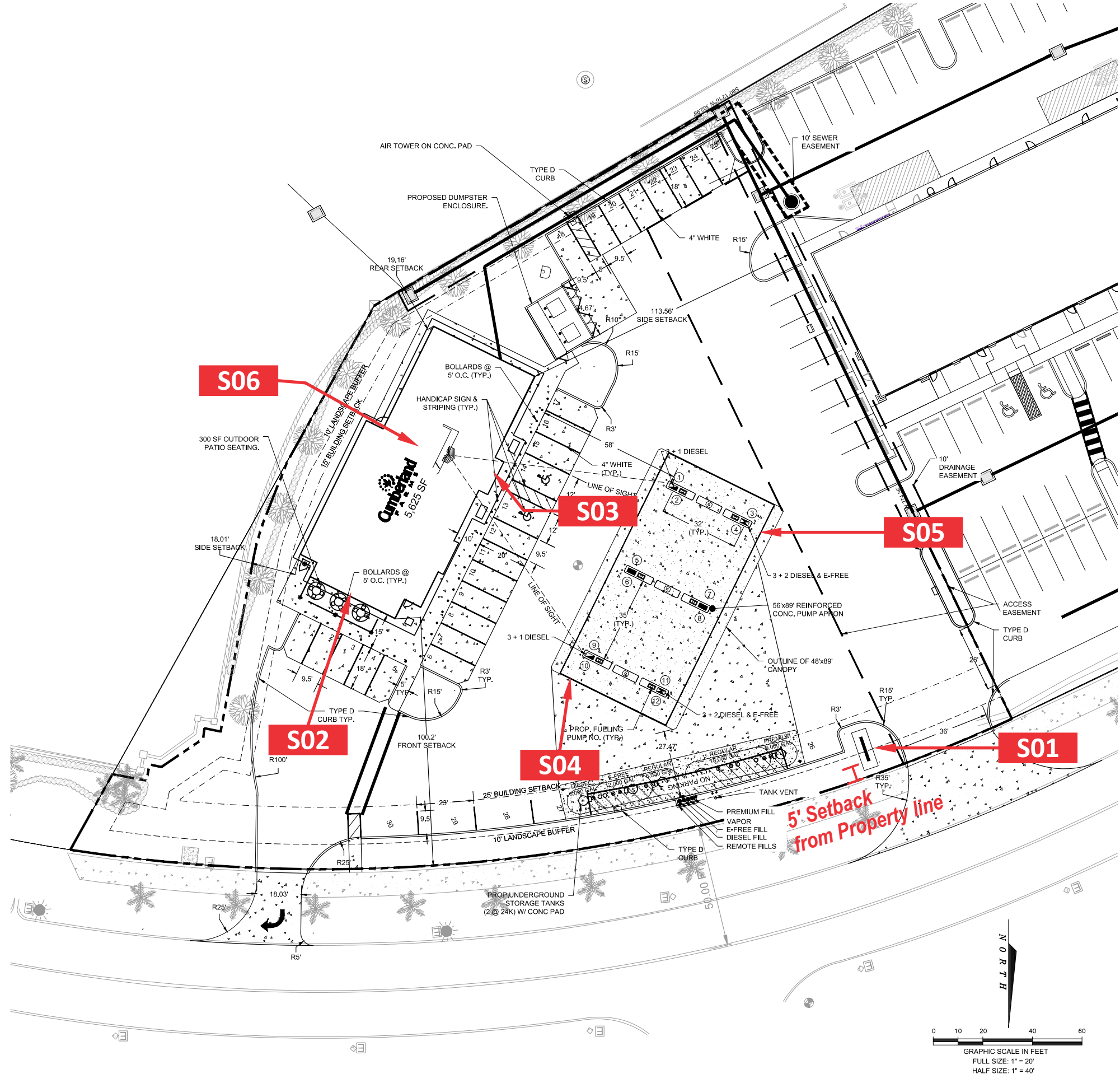
Location #835  
801 Seaway Dr  
Fort Pierce, FL

SO #99677  
Created: 03.07.2019  
Revised: 04.25.2019



National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
[www.atlasbtw.com](http://www.atlasbtw.com)

Site Plan



Revisions:	
...	...
...	...
...	...
...	...
...	...
...	...

SP

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-SP



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 www.atlasbtw.com

# Pylon | Custom 10'

Continued on next page

## Action:

- Manufacture and Install new pylon as shown.
- Customer to provide LED pricer units.



## Material & Color:

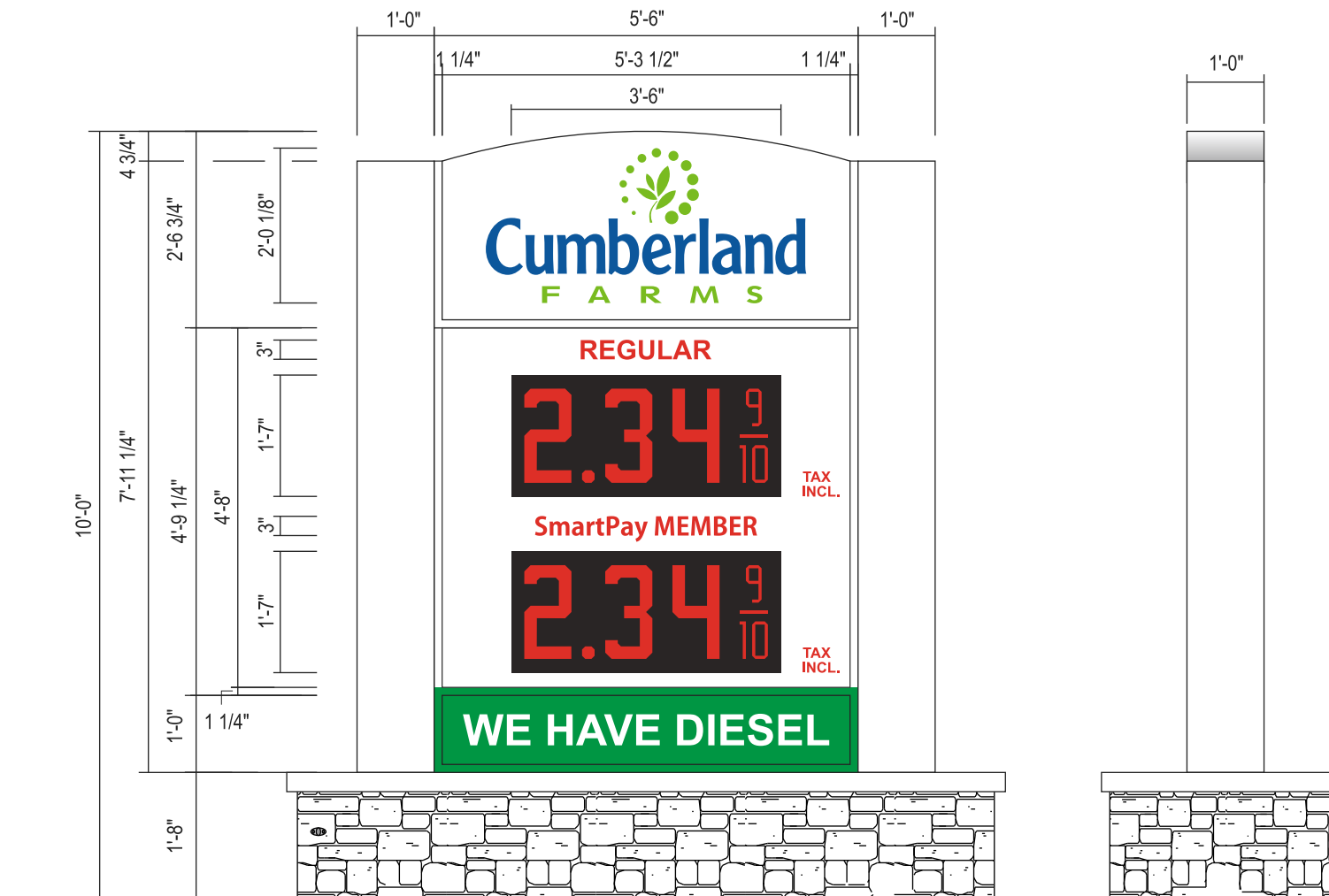
**C1** Pantone Color: 301C  
 Opaque Vinyl: 3M Vivid Blue 180C-17  
 Translucent Vinyl: 3M Bristol Blue 3630-97

**C2** Pantone Color: 376C  
 Opaque Vinyl: 3M Apple Green 180C-198  
 Translucent Vinyl: 3M Brilliant Green 3630-106  
 Green ACM: Alcoa Reynobond Duragloss 3000 Outrageous Green

**C3** Paint Color: Cumberland Farms White  
 matches Alcoa Shell White (300G B-10, .1g B-44)

**C4** Pantone Color: 186C  
 Opaque Vinyl: 3M Geranium Red 180C-63  
 Translucent Vinyl: 3M Cardinal Red 3630-53

**C5** Opaque Vinyl: 3M Bright Green 186  
 Translucent Vinyl: 3M Vivid Green 3630-156



Code: NTE 10' OAH  
 Setback requirement: 5' from property line.  
 Proposed: 45.7 Sq Ft



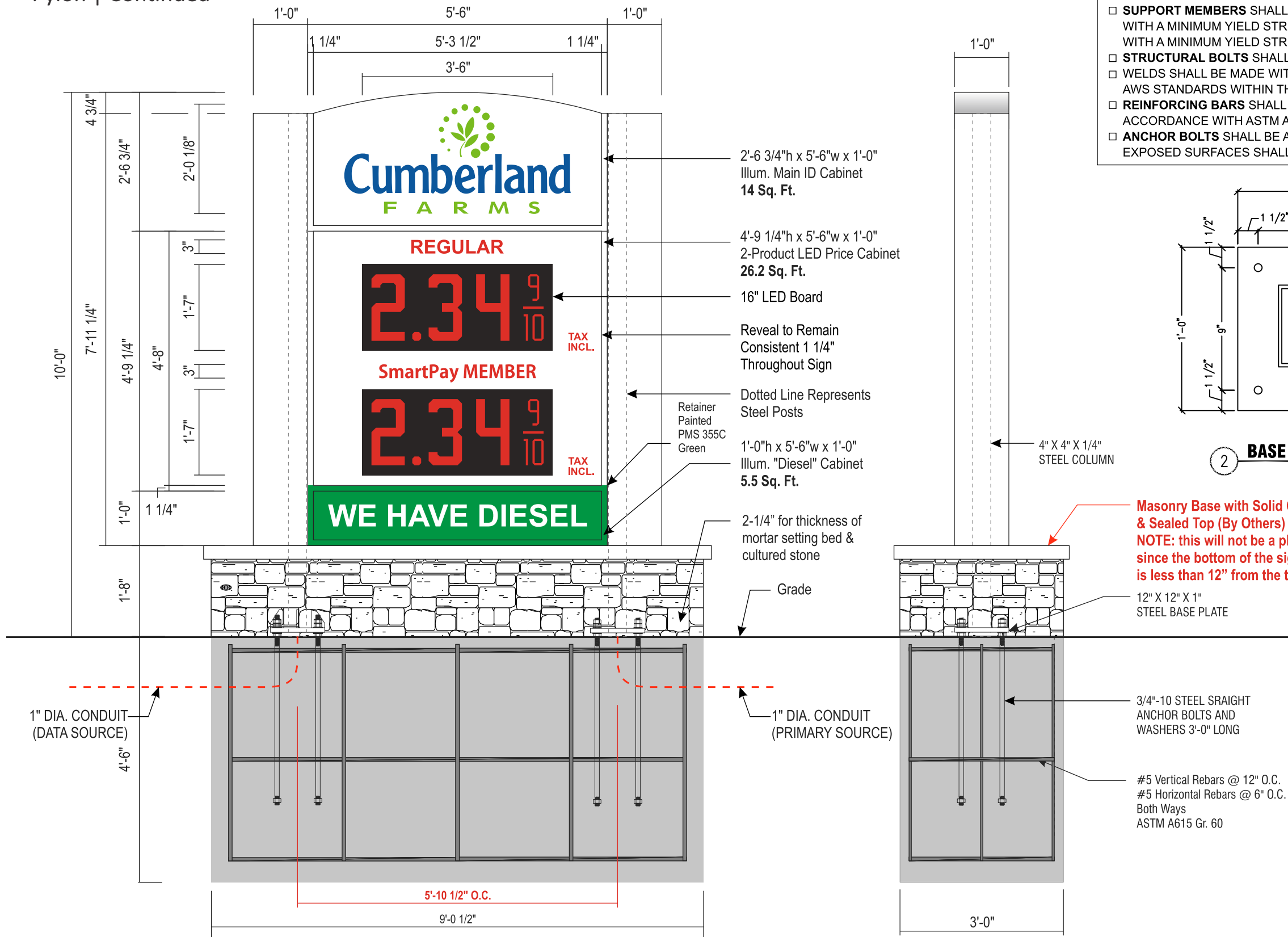
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 800.772.7932  
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Revisions:	
Revised pylon 04.08.2019 TLD	...
Revised to 10' Tall pylon per code 04.25.2019	...
...	...
...	...
...	...

**S1.0**

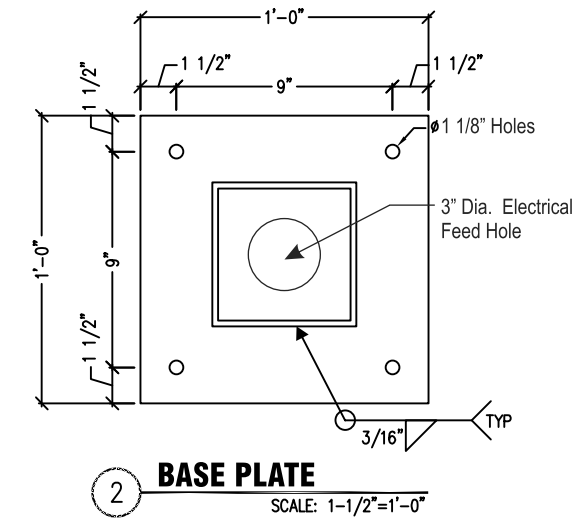
PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S1.0

Pylon | Continued



**STRUCTURAL STEEL SPECIFICATIONS:**

- **SUPPORT MEMBERS** SHALL BE FREE FROM DEFECTS. TUBE SHALL MEET ASTM A500 GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46000 PSI. PIPE SHALL MEET ASTM A53 GRADE B, WITH A MINIMUM YIELD STRENGTH OF 35000 PSI. PLATE AND ANGLE SHALL MEET ASTM A36.
- **STRUCTURAL BOLTS** SHALL BE ZINC COATED A325 UNLESS OTHERWISE NOTED.
- **WELDS** SHALL BE MADE WITH E70XX ELECTRODES BY PERSONS QUALIFIED IN ACCORDANCE WITH AWS STANDARDS WITHIN THE PAST TWO YEARS.
- **REINFORCING BARS** SHALL CONFORM TO ASTM A615 GRADE 60 WITH DEFORMATIONS IN ACCORDANCE WITH ASTM A-305. WELDING OF REINFORCING BARS IS PROHIBITED.
- **ANCHOR BOLTS** SHALL BE ASTM F1554-07 GRADE 55 ROUND STOCK. EXPOSED SURFACES SHALL BE GALVANIZED OR HAVE BITUMINOUS COATING TO PREVENT CORROSION.



AREA/WEIGHT	
SIGN SQUARE FOOTAGE	80 SQ. FT.
ESTIMATED SIGN WEIGHT	840 LBS.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.

SIGN BASED ON DESIGN LOADS: 2014 FLORIDA BUILDING CODE, SECTION 16 WIND LOAD. RISK CATEGORY II. EXPOSURE C. ASCE 7-10, 150 mph. SOIL RESISTANCE 150 psf/ft

**FOUNDATION NOTE:**  
3000 PSI CONCRETE @ 28 DAYS  
2000 PSF SOIL BEARING  
150 PSF/FT SOIL LATERAL BEARING  
UNDISTURBED SOIL

ELECTRICAL			
AMPS:	7	AMPS	
V.A.:	120	VOLTS	WATTS: 840
CIRCUITS:	2-20 amp CIRCUIT		

NOTE: EMU TO HAVE A DEDICATED 20 AMP CIRCUIT



**D.F. ILLUMINATED PYLON - 45.7 SQ. FT.**

QTY: 1

SCALE: 1/2"=1'-0"



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Revisions:	
Revised pylon 04.08.2019 TLD	...
Revised to 10' Tall pylon per code 04.25.2019	...
...	...
...	...
...	...

**S1.1**

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S1.1

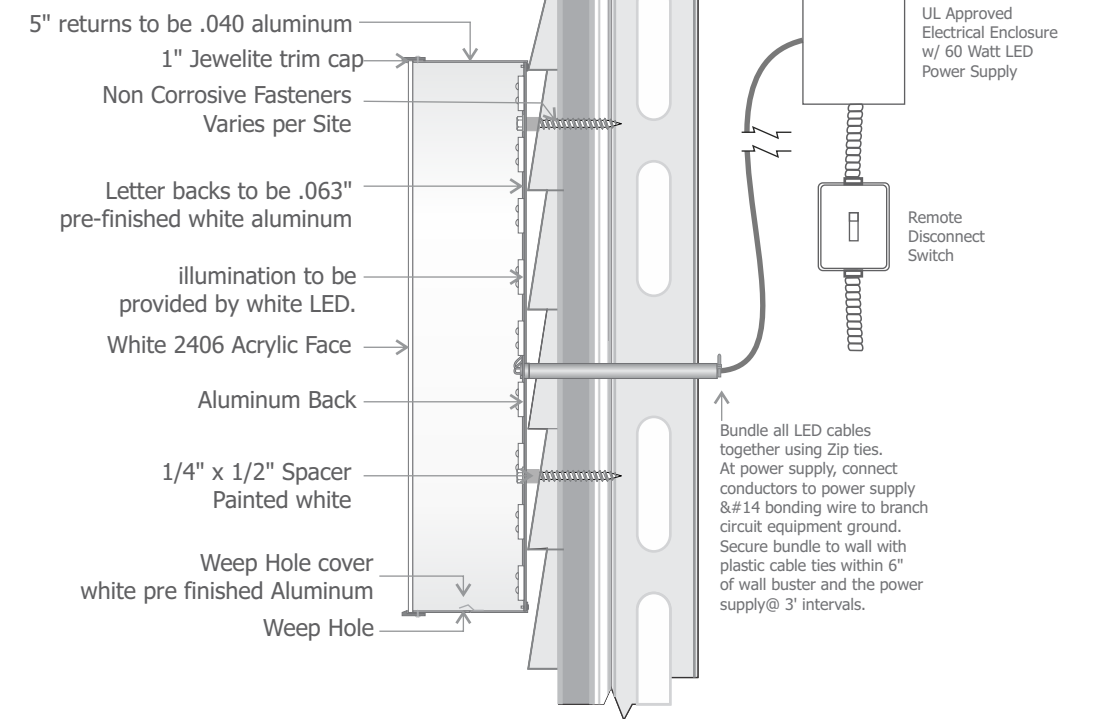
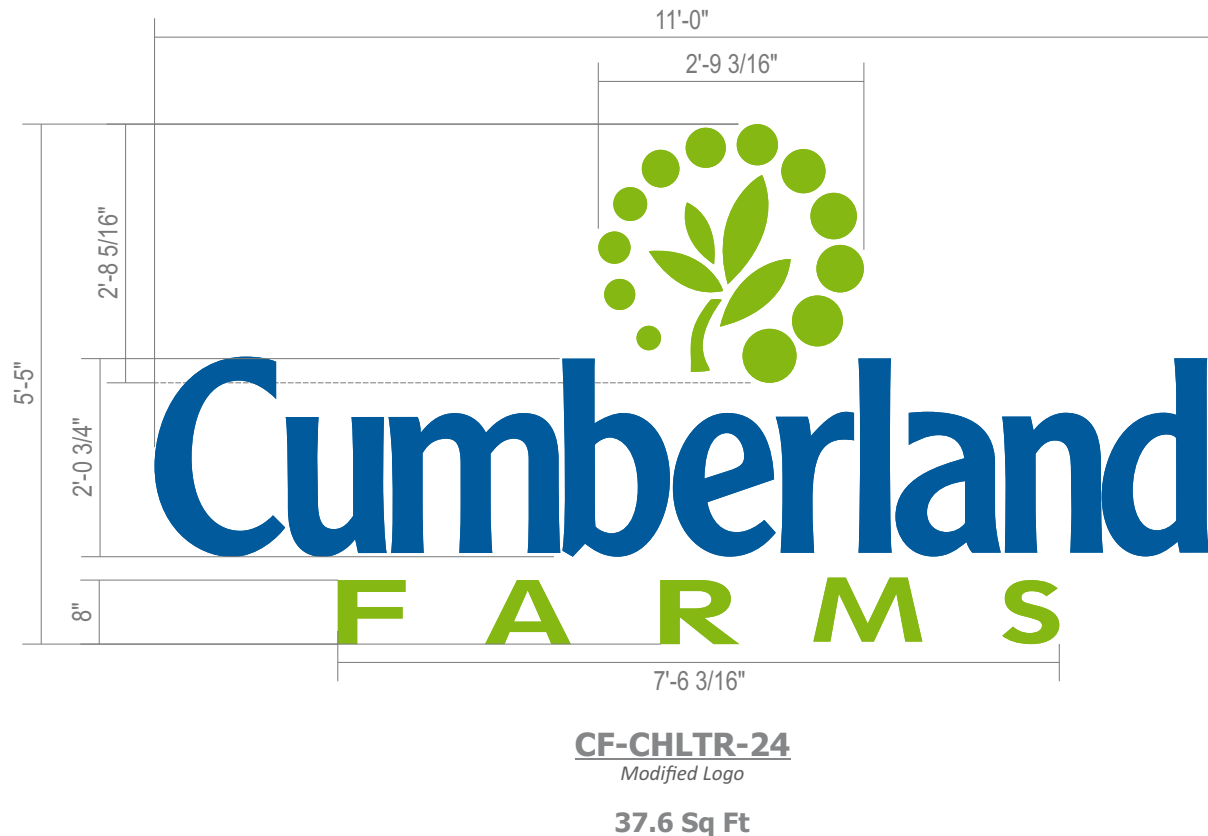
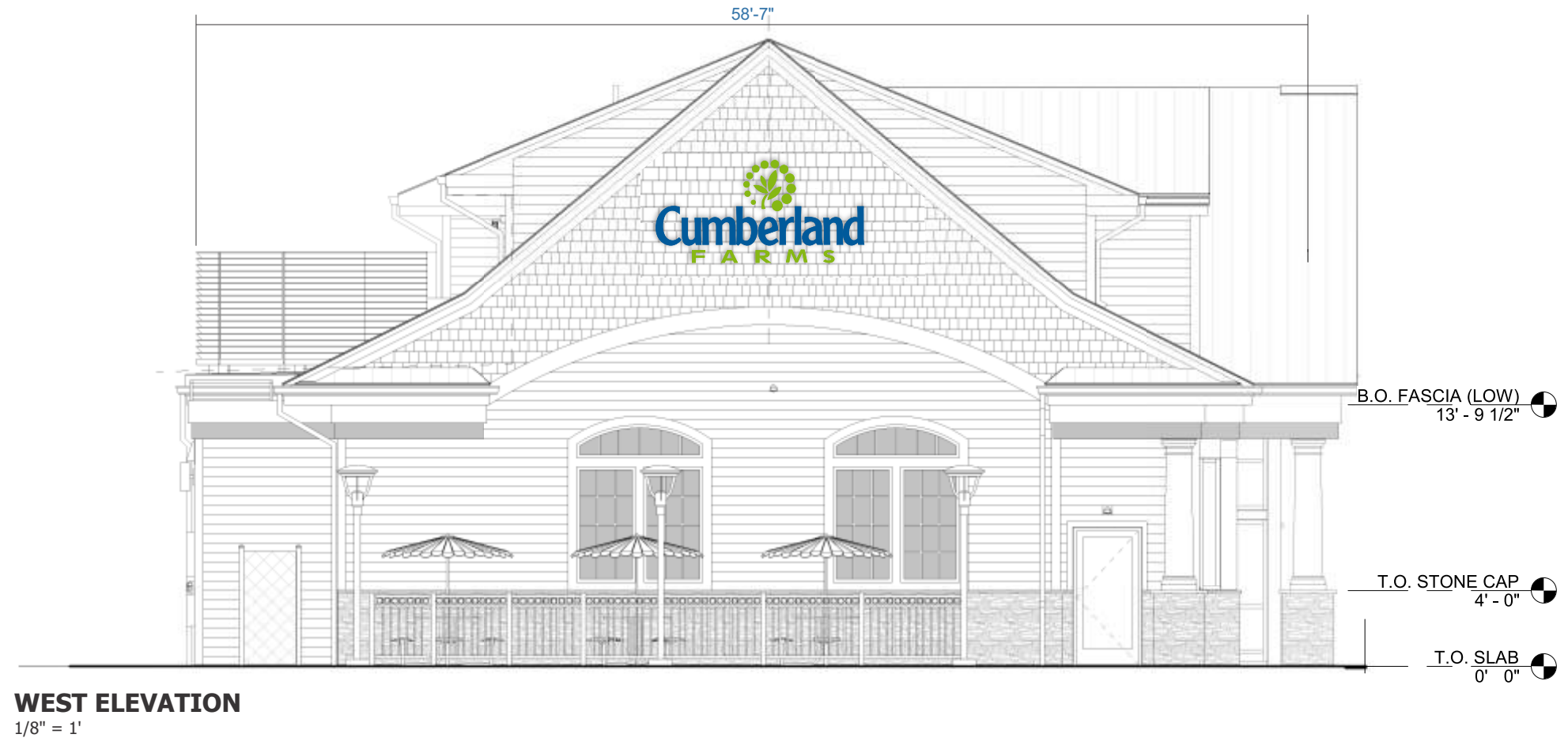
# Channel Letters | Remote (West Elevation)

## Action:

- Install new letterset as shown.
- Channel letters to be mounted to clapboard siding with non corrosive hardware and standoffs.
- All holes and seams to be sealed and caulked.

## Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Returns - Painted to match PMS 301C
- Returns = Painted to match PMS 376C
- Trim Cap - Blue Jewelite
- Trim Cap = Green Jewelite
- Faces - 2406 White Acrylic
- Illumination - White LED



Scale 1:30



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### Revisions:

Revised letterset 03.26.2019 TLD	...
...	...
...	...
...	...
...	...

S02

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S02

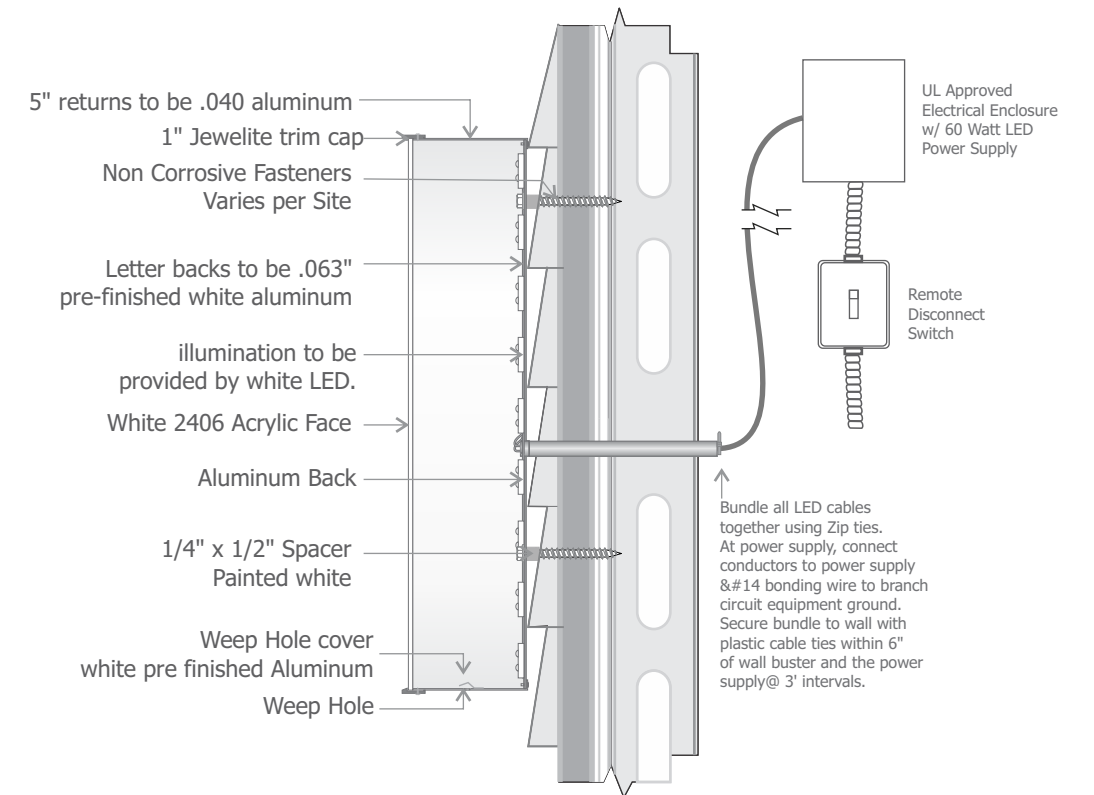
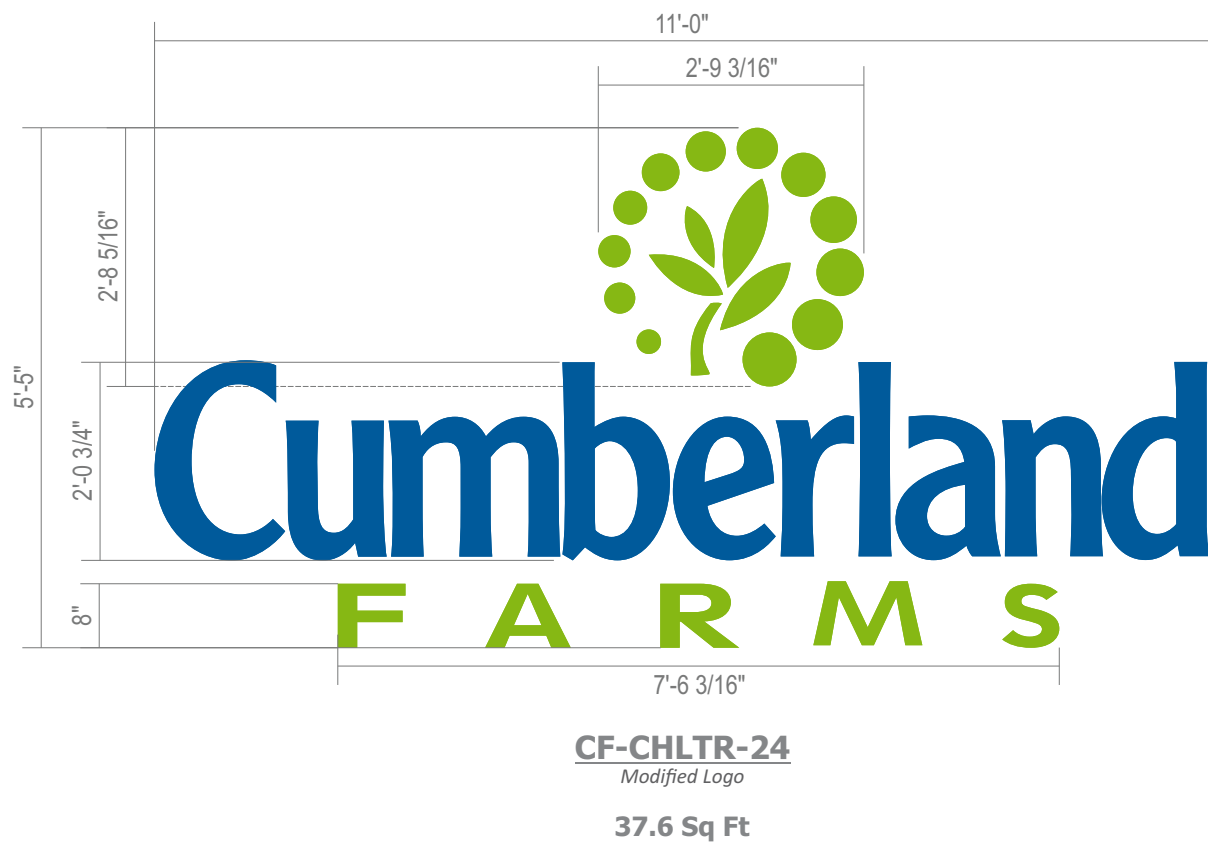
# Channel Letters | Remote

## Action:

- Install new letterset as shown.
- Channel letters to be mounted to clapboard siding with non corrosive hardware and standoffs.
- All holes and seams to be sealed and caulked.

## Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Returns - Painted to match PMS 301C
- Returns = Painted to match PMS 376C
- Trim Cap - Blue Jewelite
- Trim Cap = Green Jewelite
- Faces - 2406 White Acrylic
- Illumination - White LED



Scale 1:30



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### Revisions:

Added 03.14.2019 TLD	...
Revised letterset 03.26.2019 TLD	...
Revised per code 04.25.2019 TLD	...
...	...
...	...

S03

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S03

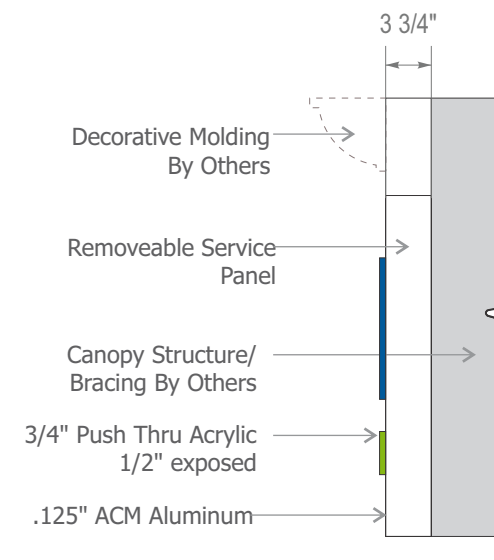
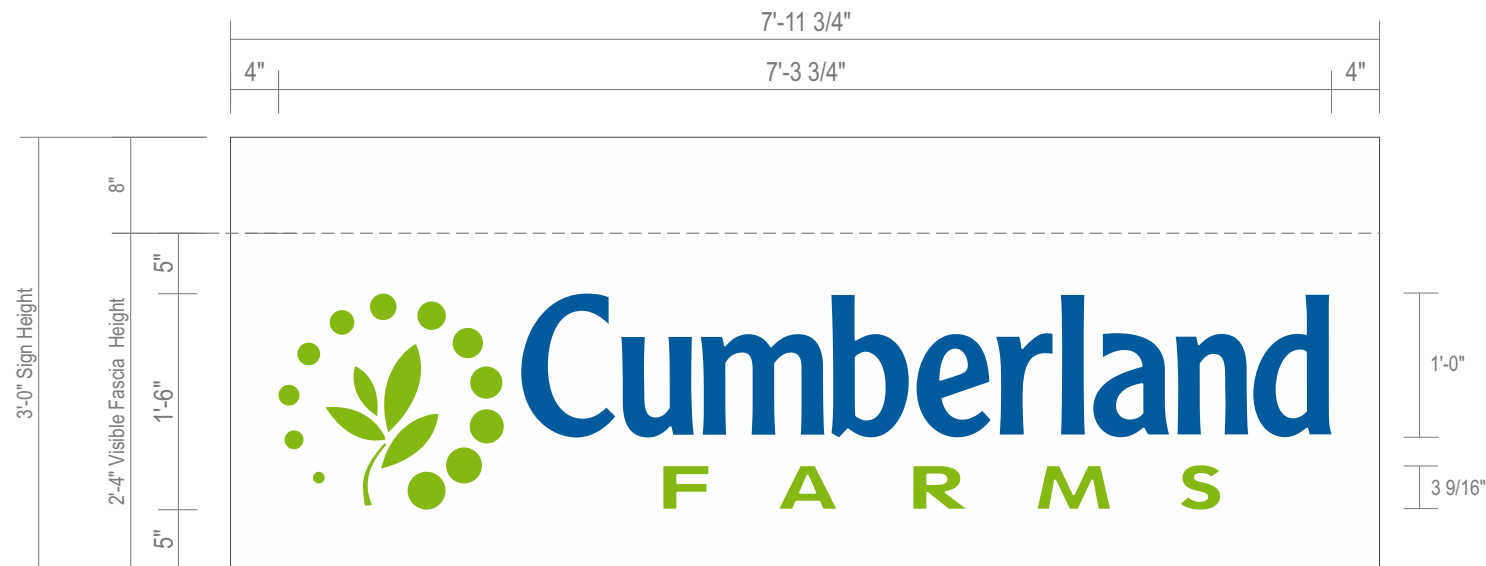
# Illuminated Canopy Sign | Left

## Action:

- Install new internally illuminated canopy sign.
- Canopy sign to be ACM aluminum with routed push through faces. Mounted to canopy with non corrosive fasteners.

## Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Push Thru Faces - Clear Acrylic
- Aluminum - Painted Alcoa-Shell White
- Illumination - White LED



**CF-CAN-18-LED-LH**  
11.0 Sq Ft



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Revisions:	
Revised placement 03.26.2019 TLD	...
...	...
...	...
...	...
...	...

S04

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S04

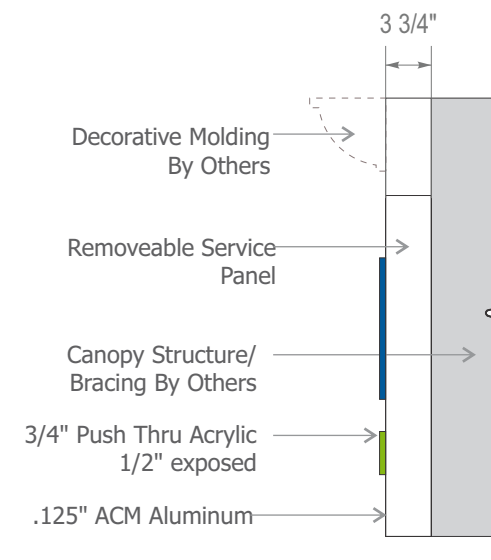
# Illuminated Canopy Sign | Right

**Action:**

- Install new internally illuminated canopy sign.
- Canopy sign to be ACM aluminum with routed push through faces. Mounted to canopy with non corrosive fasteners.

**Material & Color:**

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Push Thru Faces - Clear Acrylic
- Aluminum - Painted Alcoa-Shell White
- Illumination - White LED



**CF-CAN-18-LED-RH**  
11.0 Sq Ft



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Revisions:	
Added 03.14.2019 TLD	...
...	...
...	...
...	...
...	...

S05

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S05

# Interior Low Profile Face Lit Letters | Remote (Interior Elevation)

## Action:

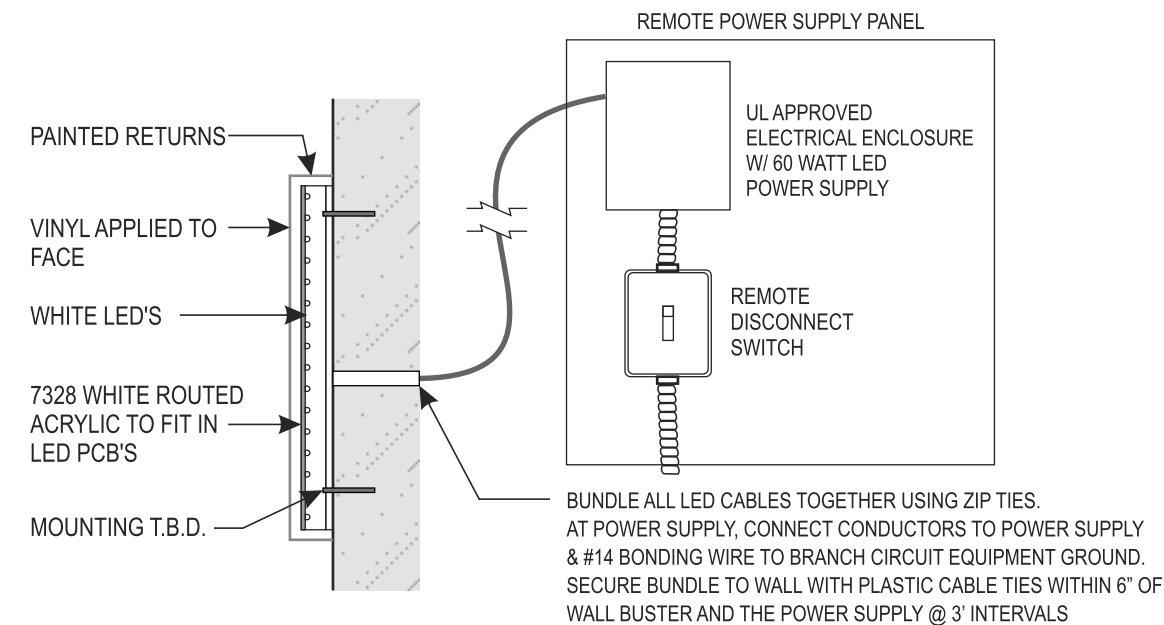
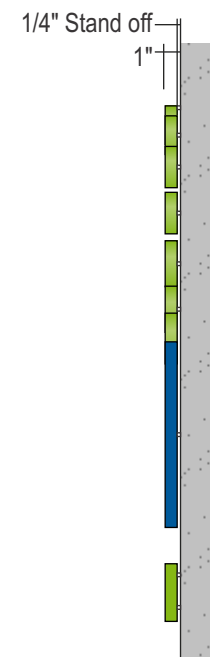
- Install new letterset as shown.
- Letterset to be 1" deep clear acrylic with 1/2" pocket routed out for LEDs.
- Vinyl applied to face of letters. Returns to be painted to match specs below. Letter backs to have .040" aluminum applied to back. Letterset to be stud mounted to wall with 1/4" spacers.

## Material & Color:

- Vinyl - 3M 3630-97 Bristol Blue
- Vinyl - 3M 3630-106 Brilliant Green
- Returns - Painted to match PMS 301C
- Returns = Painted to match PMS 376C
- Clear Acrylic
- Illumination - White LED



**CF-LPLTR-24**  
Modified Logo



Revisions:	
Added 03.14.2019 TLD	...
...	...
...	...
...	...
...	...

PM: M.G	Address: 801 Seaway Dr.
Drawn By: TLD	City State: Fort Pierce, FL
Date: 03/06/2019	Drawing Number: 99677-S06



