



Application for Zoning Atlas Map Amendment

Application submission shall include the following:

- **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a ½ mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- *** Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other _____

1. Property Address/Location: east of Selvitz Road
2. Property Tax ID(s): 2432-1230001-000-8
3. Total Acreage: 52
4. Existing Future Land Use Designation: Heavy Industrial
5. Existing Zoning Classification: SLC - HeavyIndustrial
6. Proposed Zoning Classification: City of Ft. Pierce - Planned Development
7. Other applications being submitted concurrent with this application, if any: N/A

- 8. Describe the existing uses, improvements and structures on the amendment lands: Vacant

- 9. Are there any identified or possible historical structures on the amendment lands? No

- 10. The reason for making this request: Rezoning to a Planned Development to allow a recycling facility

11. CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Industrial	Industrial - Heavy	I-3
South	Industrial	Industrial - Heavy	I-3
East	residential and school	RL	PD School
West	Industrial	Industrial - Light	IL

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	HI	SLC- IH	N/A	52	
Proposed	same	PD	Phase 1 - 1,800 s.f. office Phase 2 - 15,491 s.f. office/warehouse	52	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6 = persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot x 1800 s.f. = 180 gpd
Demand Analysis	Maximum 52 acres x 43560 Sf/acre x 0.125 gpd/sf x 1.5 FAR = 424,710 gpd
Current Zoning	Total gallons per day 52 acres x 43560 Sf/acre x 0.125 gpd/sf x 1.5 FAR = 4, 248 gpd
Proposed Zoning	Total gallons per day 52 acres x 43560 Sf/acre x 0.125 gpd/sf x 1.5 FAR = 4,248 gpd
Change in Demand	Total gallons per day 0 gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person x 1800 s.f. = 180 gpd (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum 52 acres x 43560 Sf/acre x 0.1 gpd/sf x 1.5 FAR = 339,768 gpd
Current Zoning	Total gallons per day 52 acres x 43560 Sf/acre x 0.1 gpd/sf x 1.5 FAR = 3,398 gpd
Proposed Zoning	Total gallons per day 52 acres x 43560 Sf/acre x 0.1 gpd/sf x 1.5 FAR = 3,398 gpd
Change in Demand	Total gallons per day 0 gallons/day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Not Applicable				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning Enrollment Demand		
Proposed Zoning Enrollment Demand		
Change in Demand		

E. Solid Waste: 2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units	
Demand Analysis	Maximum 52 acres x 43560 sf/acre x 1.5 FAR x .02 ppsf/yr =67,954 ppy
Current Zoning	52 acres x 43560 sf/acre x 1.5 FAR x .02 ppsf/yr =67,954 ppy
Proposed Zoning	52 acres x 43560 sf/acre x 1.5 FAR x .02 ppsf/yr =67,954 ppy
Change in Demand	0 ppy - actual demand will be negative as site is expected to recycle 50,000 tons per year

F. Stormwater:
Water quality will be improved with the addition of fully compliant stormwater management system which will use dry pretreatment for stormwater runoff.

Impact	Presently the site discharges with no control structure to the St. Lucie River. The proposed system will retain the first 0.75" from storm events which reduces the volume discharged on at least 88% of all events.
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III. Transportation Analysis

G. Traffic		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning	351	103/112
Proposed Zoning	351	103/112
Change in Demand	Trips 0	Trips 0
Impact to Capacity	No Change	

12. Name of Owner(s): D.S.E. Holdings Inc.
 Mailing Address: 1483 Kinetic Road
 City West Palm Beach State FL Zip 33403
 Phone # 561-842-0001
 E-mail: steve@dseakins.com

13. Name of Applicant: Same
 Mailing Address: _____
 City _____ State _____ Zip _____
 Phone # _____ Fax # _____
 E-mail: _____

14. Name of Representative: Emily O'Mahoney and Gentile Glas Holloway O'Mahoney & Associates, Inc.
 Mailing Address: 1907 Commerce Lane Suite 101
 City Jupiter State FL Zip 33458
 Phone # 561-575-9557 Fax # 561-575-5260
 E-mail: emily@2gho.com/pat@2gho.com

15. Applicant Acknowledgements (Owner's signature must be notarized)

I certify that: (Check One)

I (we) do hereby certify that I (we) own in fee simple the above referenced described property for which a change in Zoning Classification is requested.

I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

Applicant's Signature

Date

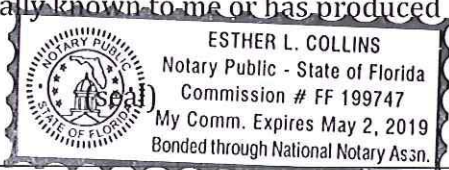
1481 Kinetic Road, Lake Park FL 33403
 Address State Zip
 561-842-0001 561-842-0009 steve@dseakins.com
 Phone Fax E-mail Address

16. Property Owners Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

D.,S.E. Holdings, Inc. 561-842-0001
 Property Owner's Name (Please Print) Phone
 1481 Kinetic Road, Lake Park Florida 33403
 Address State Zip
Steven Eakins, Jr.
 Property Owner's Signature 11/29/2018
 Date

STATE OF FLORIDA)
 ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this 29th day of November, 2018, by D. Steven Eakins, Jr. who is personally known to me or has produced Esther L. Collins as identified by Esther L. Collins
 Signature of Notary



OFFICE USE:

DATE RECEIVED: _____ Signed: _____

File Number: _____ Check No: _____ Receipt No: _____

TRC Review: _____ Planning Board Review: _____ City Commission: _____

Ordinance No: _____ Date Approved: _____



DEVELOPMENT REVIEW

Property address or Location Selvitz Road
Parcel ID #(s) 2432-123-0001-000-8
Project description Rezoning to PD for a recycling facility

D.S.E. Holdings, Inc./Douglas S. Eakins, President
Property Owner(s)
1483 Kinetic Road
Street Address
West Palm Beach FL 33403
City State Zip
561-575-9557
Phone Number
emily@2gho.com
Email Address

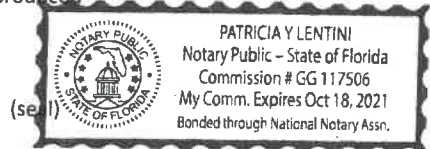
Emily O'Mahoney/2GHO.com
Applicant/Representative, Title, Company
1907 Commerce Lane Suite 101
Street Address
Jupiter FL 33458
City State Zip
561-575-9557
Phone Number
emily@2gho.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

[Signature]
Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY PALM BEACH
The foregoing instrument was acknowledged before me this 26 day of April, 2019, by Douglas S. Eakins who is personally known to me or has produced _____ as identification.

[Signature]
Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date November 14, 2018 Fees _____ Control # _____ B. Permit # _____
Intake Planner _____
Planner Assigned _____
Approved By _____ Date _____
Comments _____

Intake Date Stamp



**Fort Pierce Industrial Aggregate Recycling Facility
Planned Development
Justification Statement**
Original Submittal: November 30, 2018
Revised as Planned Development Application: April 30, 2019
Resubmittal: May 31, 2019

On behalf of the owner and applicant, D.S.E. Holdings, Inc., Gentile Glas Holloway O'Mahoney & Associates, Inc. is submitting an application for Zoning Atlas Map Amendment from St. Lucie County Heavy Industrial Zoning to City of Fort Pierce as a Planned Development District (PDD) for the purpose of a mixed industrial/commercial use allowing a Recycling facility with a contractor's storage yard. Additional permitted uses include a two story - 15,491 square foot office/warehouse (3,589 s.f. office and 11,902 s.f. of warehouse space). The subject site is 52 acres of land and is located east of Selvitz Road in the City of Ft. Pierce Florida.

Based on Section 22-40 (c).1.e, of the Planned Development Code, when applying for a Planned Development code exceptions are allow for developments. The applicant is proposing code amendments, named PD requirements, for the proposed development as it relates to the height of fences, height of outdoor storage and landscape code for both the north and south sides which are industrial uses and the northeast and east side with residential and institutional uses, along with the west side with an access easement/paved roadway.

The purpose of applying for a Planned Development District (PDD) will allow this unique use to be provided; and

- Reduces screening and changes trees from 1 tree per 200 square feet to 1 tree per 30 linear feet as the current codes are onerous and unnecessary for like to like heavy industrial uses;
- the Planned Development (PD) requirements will go above code to screen the site and buffer sound to make a good neighbor for the residential development and school, heavily vegetating a much deeper buffer on an earth berm 10' high for a total (there are 2 times the number of trees) of 15' height of non-vegetative screen/buffer and 40' minimum mature vegetative buffer;
- The Planned Development (PD) requirements will allow increased height of outdoor storage to 30' in clean organized piles which will provide for a sound barrier to the surrounding properties.

Please see the attached letter with the requested code exceptions that are part of this application.

UPDATE: Since the initial submittal on November 30, 2018, there have been several things that have happened which has resulted in changes to the site plan as resubmitted.

1. On January 22, 2019, the Applicant held a public meeting inviting property owners within a 500' radius of the site.
 - a. Approximately 50 people attended

- i. School Board/School staff – represented by Ft. Pierce Central Principal Todd Smith and Executive Director of Growth Management Marty Sanders plus 4 others.
 - ii. River Oaks homeowners – represented by HOA President John Cherveney
 - iii. Palm Gardens (further than 500' from the site) – represented by HOA President Jay Stewart.
 - b. The general consensus of the attendees was that the pre-cast facility to the south of the subject property is a nuisance. Their feelings towards that facility colored how they looked at the proposal of the Applicant.
 - c. Concerns voiced included air quality (dust), noise and water quality.
 - d. The Applicant presented that they had had no complaints against their West Palm Beach facility, by either residents or controlling agencies.
2. Keeping stakeholder concerns in mind, the Applicant redesigned the site to place the recycling processing facility as far west as possible and reduced the footprint. There is no recycling closer than 500 feet to the adjacent Residential and Institutional Uses.
 3. Based on meeting with the City, the applicant is amending the application to Zoning Atlas Map amendment to allow a Planned Development.
 4. Additional use of Office and Warehouse has been added to the most eastern area, closest to the stakeholders. This places non-conditional type uses on the site in an area that then becomes a buffer for the recycling facility.
 5. The Applicant, his Engineer and Attorney met with Marty Sanders, representing the School Board on February 25, 2019. A copy of the email from Mr. Sanders is included with his notes from the site visit after reviewing the revised plan.
 6. On March 12, 2019, Mr. Sanders and Rebeca Guerra, Assistant Planning Director (now Interim Director) visited the D.S.E. Holdings West Palm Beach Facility to observe the process. A copy of the email from Mr. Sanders is included with his notes from the site visit (same email referenced above).
 7. The March 27, 2019 meeting with staff resulted in a redirection of the Conditional Use Application and possible variances, to a request by the Applicant to a Zoning Atlas Amendment to a Planned Development.

Site History:

The subject site was annexed into the City limits in 2004 via Ordinance K-310, which annexed a collection of properties generally located between Selvitz Road and 25th Street. The subject property, in a group of seven parcels, was annexed as it was identified as being contiguous to the municipal boundary, and corresponding FPUA annexation agreements were on file with the City. Based on conversation with the City of Fort Pierce staff, the subject site was annexed into the City of Fort Pierce and received a Future Land Use Designation of HI – Heavy Industrial Land Use, however, the zoning remained under the County designation as LI – Heavy Industrial Zoning. The surrounding properties listed below were approved as follows:

Fort Pierce Central High School was approved in 2008;
River Oaks at Ten Mile Creek was approved in 2007; and
Palm Lake Gardens was approved in 2004.

Currently, both the property to the north and to the south (all part of the original group) have been rezoned into the City’s I3 – Industrial designation in 2017. The south property has been approved to operate as a precast concrete manufacturing facility.

Applicant & Use:

D.S.E. Holdings has a long, successful history of providing benefit to communities and to the environment. The company has been recognized and applauded as a premiere recycler for its work in reducing materials to be landfilled. Leftover or retired materials in the form of concrete and asphalt are recycled into concrete aggregate of different sizes which will be used in new concrete applications by others. This is a private company doing a public service. Their primary facility in West Palm Beach, located at 550 Benoist Farms Road in West Palm Beach, has been in operation since 1990. During that time they have recycled 13 million tons of concrete. In Palm Beach County, they are second only to SWA. D.S.E. Holdings has other operations at 800 Railroad Avenue in Lake Park and 500 Rinker Way in Lake Worth, indicating their wealth of experience.

Recycling of leftover or retired concrete and asphalt keeps these materials out of our landfills while lessening use of raw resources which leads to a more sustainable community. Adding such a facility in Ft. Pierce REDUCES the trip length for heavy trucks to deliver rubble or pick up aggregate, therefore reducing the carbon footprint when compared to using other facilities far afield. *There is a small facility that does many things, including some concrete recycling, which is around the corner at 4880 Glades Cut-Off Road (East Coast Recycling).*

SETBACKS: The Applicant is dedicated to being a good neighbor and has such a reputation at their other facilities. It is important to **visually** block operations from the adjacent townhome owners to the north and the high school to the west by providing a generous setback for the facility, far exceeding code. With the modified Planned Development Site Plan, the operation has been pushed back west, into the site and further away from residential and institutional uses.

Table 1

Setbacks	Facility Limits*	PDD Requirement
River Oaks Property Line	489 Feet	+ 489 Feet
River Oaks Building Line	850 Feet	
High School Property Line	1,157 Feet	1,157 to 1,173 Feet
High School Classrooms	2000 Feet	

- Includes the drive aisle

By the nature of the facility, an aggregate recycling facility is an outdoor storage facility for unprocessed and processed material. This operation accepts and stores large amounts unused or retired concrete (large rubble coming off demolition of buildings and roadways) and sometimes asphalt. They then process the material into different sized aggregate by crushing. The addition of the office/warehouse and the storage yards for equipment and supplies will act as a buffer to the residential/school areas to the east and northeast.

Surrounding Zoning and Land Use:

Table 2

	North	South	East	West
Land Use	Industrial	Industrial	RL	Industrial
Zoning	I-3	I-3	PD & R2/School	IL

Site:

The site is currently vacant agriculture land as evident by the drainage ditches crossing the property. These drainage ditches will be filled as part of the proposed use. The environmental report indicates that this land was in agriculture for over 25 years. Per the report, 'The primary vegetative cover is comprised of common non-native pasture grasses, ruderal weeds, and sparse native and non-native vegetation. Field reconnaissance conducted in November 2018 indicated that there are no wetlands or native upland habitats present on the subject property.'

DRAINAGE: Please see the Drainage Statement from Jonathan T. Ricketts, Inc. Generally, the site will drain north and south to perimeter swales. These swales will drain to a retention lake on the east side of the property.

ENTRY: The entry to this site is via an easement road from Selvitz Road running east/west. It is a shared easement with the property to the south of the subject property. The access easement continues north/south across the subject property with the agreement that the property to the south would bring water and sewer through this easement which will then serve both properties.

ADJACENT LAND:

- Property to the west is developed as industrial with no landscape buffers. A canal runs within the subject property long this property line.
- The eastern portion of the north side is a townhouse development under a homeowner association called River Oaks at Three Mile Creek. There is a preserve buffer ranging from 100 to 350 feet between the subject property and improvements in the residential community. This preserve consists of large Laurel Oaks and Sabal Palms with various understory vegetation. With the re-configured site, the aggregate recycling activity is further away. See Table 1 for distances.
- The property to the east is the Ft. Pierce Central High School. Recreation fields abuts the subject property. With the re-configured site, see Table 1 for distances.
- The property to the south is a recently approved built and operational precast concrete manufacturing facility on a piece of land of similar size to the subject property. There is no landscape buffer to the north (subject property's south) as no buffer was required, at the time, adjacent to agriculture.

Function & Use:

Ft. Pierce Industrial Aggregate Recycling Facility is a recycling facility for unused and retired concrete and asphalt materials with a well-defined process and set of procedures. Part of the project, future Phase 2, will be an office warehouse building serving as the headquarters for D.S.E. Holdings, similar to their Lake Park Facility.

Bringing Waste to the Site:

1. Trucks with concrete debris arrive at the gatehouse, commonly called the ticket booth, to check in, pay, and get directed where to dump.
2. They travel on the paved road to the Unprocessed Material Area on the east side of the property and dump in pile as directed by the ticket booth.
3. Trucks then depart on the two-way roadway back towards the gatehouse and exit.

Collecting Recycled Material:

1. Trucks buying recycled material enter through the gatehouse, pay, get ticket and are directed where to go.
2. They travel along the unpaved road to the Finish Material Storage Area on the West side of the property as directed by the ticket booth and are loaded by a Wheel Loader.
3. Trucks then depart on the roadway back towards the gatehouse and exit

Process:

1. The processing occurs in the area labeled 'Processing' in the middle of the property (see Image A below).
2. Materials are taken from the Unprocessed Materials Storage Area to the Processing Area for processing.
3. Once the material is processed, it is then stacked in the Finish Material Storage Area.

Operations:

STOCK PILES | OUTDOOR STORAGE

While the code allows outdoor storage and stock piling, it is typically a condition of approval, recommended by staff, that there be no outdoor storage on industrial projects.

Sec. 22-67 (e)(5) *Commercial and industrial buffers.* Outside storage of materials for commercial and industrial uses shall be screened

We respectfully request that this condition not be placed on the PDD. The whole concept of aggregate recycling is a large-scale outdoor operation which includes outdoor stockpiling of unprocessed material delivered by large trucks and processed material to be picked up by large trucks. The entire operation is outdoors baring a small office. In addition, we are proposing an area for outdoor storage yards as a complimentary use for equipment and construction materials. The operation is organized and clean, not unsightly. As mentioned in other parts of the Statement, the recycling facility has moved further west allowing for a much greater buffer distance with some use by right in between the property line on the east / northeast and the aggregate recycling facility.

DUST CONTROL PLAN

Dust control is an everyday on-going process for recycler which is mandated through licensing by the Florida Department of Environmental Protection via the Health Department. The operators of this facility have a nearly a 30 year record of successfully operating aggregate recycling facilities without a dust problem. A watering truck will be on-site to keep all of the operating areas

moistened which prevents dust from occurring. The specialized recycling equipment used to convert the larger pieces of concrete into aggregate also uses water to prevent the creation of dust on the site. All of the operators of the key equipment needed for the recycling operation are trained in monitoring keys factors that prevent dust from occurring.

Please see the DEP Operating Permit for the West Palm Beach facility attached.

HOURS OF OPERATION

The maximum working hours for the facility will be 7 AM to 7 PM Monday through Saturday, with a typical week consisting of concrete recycling and processing occurring on Monday through Thursday 7 AM to 7 PM. One day during the week, typically Friday will be used for maintenance and repairs on the equipment. On weeks where rain prevents recycling during some portion of the week, Saturdays may be used for either recycling or maintenance.

Employees:

The gatehouse/ticket booth is manned by one employee during operating hours. The office modular building will be used by a site manager and office assistant for site coordination and dispatch. The processing equipment requires one person to run. Between 1 and 4 equipment operators will operate onsite equipment (Wheel Loaders, Track Excavators, Water Truck and Off Road Trucks).



IMAGE A

Wheel front end loader placing material into the crusher. Crushed material exits onto conveyer belts to send the material to the appropriate pile.



25 acre D.S.E Holdings facility in West Palm Beach.

The following is a list of the areas on the PDD Development Plan:

- Finished material storage area – approximately 10.74 acres
- Unprocessed materials area – approximately 8.65 acres;
- Processing area – approximately 1.48 acres;
- Equipment storage area – approximately 6.15 acres; and
- Phase 2 office/warehouse area – approximately 3.69 acres.

Landscape Buffers:

SIZE & LOCATION: The landscape buffers for this property are required to be 10' wide and run the perimeter on all sides per code. With this PDD application, the following buffers are proposed for the District:

- Buffer A (north and south) 10' wide
- Buffer B (east and northeast) 33' or 42' wide - Enhanced
- Buffer C (west) 10' wide*

*On the west side, the buffer has been placed on the east side of the road access easement.

SECURITY:

- Buffer A (north and south) 8' chain link fence on property line
- Buffer B (east and northeast) 8' chain link fence with a 95% sight obscuring wind screen on 10' high berm 33' or 42' inside the property line.
- Buffer C (west) 12' chain link fence with sight obscuring wind screen on 3' berm set 10' inside the access easement.

LANDSCAPE MATERIAL:

The landscape material is all native plant material planted in a casual, natural pattern. To avoid a monoculture in the plant material, various types of trees have been specified minimally to meet the PD requirements. The understory shrubs have been planted in a staggered meandering pattern 5-foot on-center which will allow them to reach a healthy thick plant in the 6-10' height range.

- Buffer A (north and south) 1 tree per 30 linear feet.
- Buffer B (east and northeast) 12' tall trees 1 per 30 linear feet, plus 6' tall trees at 1 per 15 linear feet, plus shrubs at 1 per 2 linear feet.
- Buffer C (west) 1 tree per 30 linear feet.

Please Note: The proposed 95% opaqueness screening that we have indicated is a heavy-duty commercial grade screening with a 5-year guarantee and 8 to 10-year life expectancy. The material that gets to 98% or 100% opaqueness has a life span of 3 to 5 years and appears to be designed for temporary construction installations. The plant material on this buffer has been planted to provide full screening from top of berm to 20-30' in the air which will greatly exceed 5% opaque missing.

Conclusion:

On behalf of the applicant, Gentile Glas Holloway O'Mahoney & Associates, Inc. respectfully request approval of the Rezoning and Conditional Use request. The Project Team at Gentile Glas Holloway O'Mahoney & Associates, Inc. are Emily O'Mahoney, Dylan Roden and Pat Lentini.

Fort Pierce Industrial Aggregate Recycling Facility
Original Submittal: November 30, 2018, Revised April 30, 2019
Resubmittal: May 31, 2019
Page 9

Attachments:

- Revised Planned Development District (PDD) Code Language;
- Response Letter to May 16, 2019 TRC comments;
- Revised Justification Statement;
- Proposed PDD Development Plan and Landscape plans including cross sections;
- Revised Drainage Statement and Engineering Plans;
- Revised Survey.



May 31, 2019

Mr. Brandon C. Creagan, MCRP,
LEED Green Associate/Planner
City of Fort Pierce Planning Department
100 North U.S.1 Fort Pierce, FL 34950

**RE: FORT PIERCE INDUSTRIAL AGGREGATE RECYCLING FACILITY -
PROPOSED PLANNED DEVELOPMENT CODE EXCEPTIONS**

Dear Mr. Creagan:

Pursuant to Section 22-40 (c).1.e., please find below a list of the current code reference and proposed Planned Development (PD) criteria for the proposed Fort Pierce Industrial Aggregate Recycling Facility Planned Development District (PDD):

It is our goal to amend the City's Heavy Industrial (I-3) Zoning District, Section 22-67 for fencing and wall; and Section 22-187 for landscaping to the follow regulations for the Fort Pierce Aggregate Recycling Planned Development (PD):

Please note: the Current zoning on the property is St. Lucie County IH, Heavy Industrial, if we were not doing a PD application we would be requesting a City Heavy Industrial Use (I-3) as the compatible use.

- a) *Purpose:* The Fort Pierce Aggregate Recycling Planned Development District (PDD) classification is intended as a guide for the future development of the property located on Selvitz Road, Fort Pierce, Florida (Parcel ID 2432-123-0001-000-8). Allowable uses within this District include all Heavy Industrial (I-3) uses permitted (as of date of this approval) plus aggregate recycling center.
- b) *Basic use standards:* Property Development standards for Fort Pierce Aggregate Recycling Planned Development District must meet the following requirements of the I-3 District and PDD.
 1. *Lot size.*
 - a. The minimum lot width shall be one hundred (100) feet;
 - b. The minimum lot depth shall be one hundred (100) feet;
 2. *Yards:* The minimum yard depth for portions of the property abutting a public right-of-way or nonindustrial district will be fifteen (15) feet. Additionally:
 - a. Rear Setback/incompatible uses Twenty Five (25) feet;
 - b. Side Setback (north/south): Ten (10) feet;

- c. Recycling Facility Setbacks:
 - 1. Compatible Uses: Ten (10) feet;
 - 2. Access Easement: Fifteen (15) feet;
 - 3. Non-Compatible Uses: Per line on site plan (480) feet.

c) *Other applicable use standards.*

- 1. Minor Site Plan review shall be required for uses which have buildings with less than 3,999 square feet of floor area; Major Site Plan review shall be required for uses which have buildings with more than 4,000 square feet of floor area.
- 2. Accessory buildings shall comply with all yard, lot coverage and building height requirements.
- 3. Every lot shall abut a street other than an alley for at least fifty (50) feet.
- 4. Signage requirements will comply with the standards located in Chapter 15 of the Lan Development Regulations of the City of Fort Pierce.
- 5. Outdoor storage of recycling materials at a maximum height of thirty (30) feet;
- 6. Fence and Landscape requirements are indicated below.
 - a. North & South buffers – perimeter fencing landscape buffers adjacent to the same Future Land Use as follows:
 - 1. Eight (8) foot chain link fence on property line;
 - 2. Ten (10) foot wide landscape buffer;
 - 3. Trees thirty (30) feet on center;
 - 4. No shrubs or opaque screening.
 - 5. Irrigation of trees only through establishment or a minimum of a year.
 - b. East/Northeast buffers – perimeter fencing and landscape buffers adjacent to residential or institutional land use and zoning as follows:
 - 1. Thirty-three (33) or forty-two (42) foot wide landscape buffer;
 - 2. Eight (8) foot chain link fence with a 95% opaque screen;
 - 3. Ten (10) foot berm with a 3:1 slope (thirty-three (33) linear feet minimum) for an elevation of twenty-two (22) feet;
 - 4. Twelve (12) foot tall trees thirty (30) feet on center; plus
 - 5. Six (6) foot tall trees fifteen (15) feet on center;
 - 6. Shrubs – one (1) every two (2) linear feet to create a continuous shrub mass;
 - 7. Two (2) foot side swale at property line; and
 - 8. One (1) foot wide flat area at top prior to the eight (8) foot chain link fence attached with 95% opaque screen.
 - 9. Permanent 100% irrigation.
 - c. West buffer – perimeter fencing and landscape buffers adjacent to east side of access easement as follows:
 - 1. Ten (10) foot wide landscape buffer;

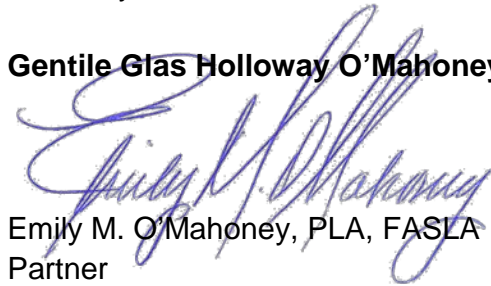
2. Twelve (12) foot chain link fence with 95% opaque screen at 10 foot setback, on top of three (3) foot berm with a 3:1 slope for fifteen (15) feet of screening;
 3. Trees thirty (30) feet on center;
 4. Continuous shrub mass;
 5. Permanent 100% irrigation.
7. PDD Pervious area requirements – The minimum pervious area requirement is the area of the PDD required landscape buffers.

d) *Parking and Loading standards* will comply with the City's Code Section 22-60.

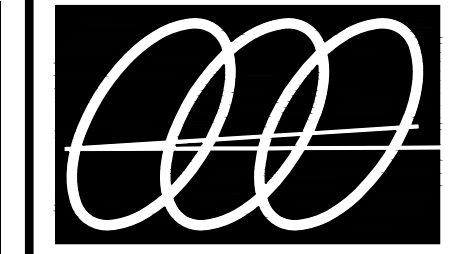
Should you have any questions regarding the above, please feel free to contact me at 561-575-9557 or email at Emily@2gho.com

Sincerely,

Gentile Glas Holloway O'Mahoney & Associates, Inc.



Emily M. O'Mahoney, PLA, FASLA
Partner



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Planned Development Site Plan
Ft. Pierce Industrial Aggregate Recycling Facility
 D.S. Eakins Construction Corp., Ft. Pierce, Florida

Designed: EOM
 Drawn: EOM/PLR
 Approved: GGG/EOM/MTM
 Date: 11/30/18
 Job no: 17-1207
 Revisions: 4/30/19
 5/31/19

8231

LC 0000111
 Sheet Title:

Planned Development Site Plan

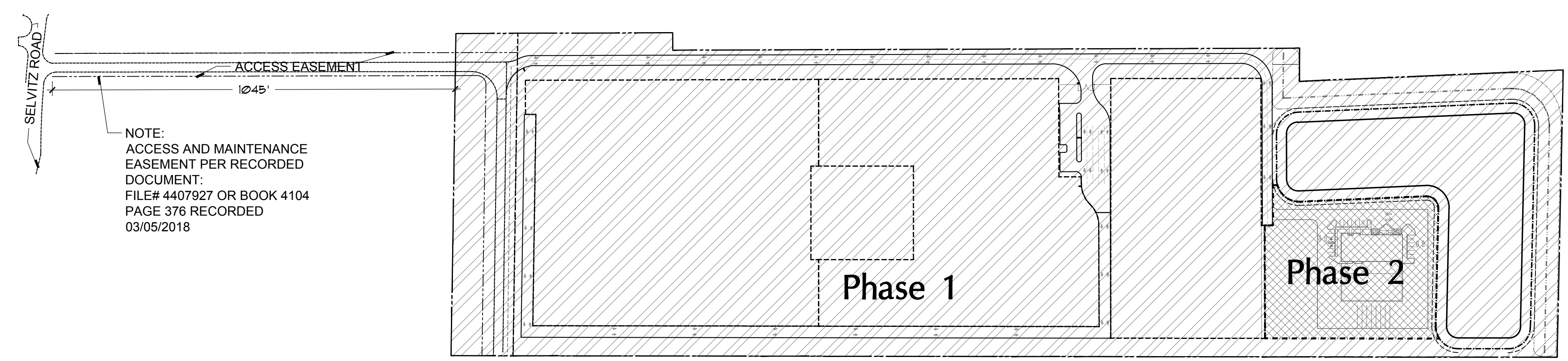
Scale: 1"=100'

Sheet No.

PDSP-1

17-1207

Ft. Pierce Industrial Aggregate Recycling Facility			
Site Data		5/31/2019	
Description			
Gross Site Area	52.00 Acres		
Road Easement	1.56 Acres		
Net Site Area	50.44 Acres		
Application Name	Ft. Pierce Industrial Aggregate Recycling Facility Planned Dev. 2432-123-0001-00078		
Property Control Number	Industrial		
Existing Land Use Designation:	St. Lucie County - IH - Heavy Industrial District		
Existing Zoning District:	City of Fort Pierce - PD Planned Development District		
Proposed Zoning District:	Vacant		
Existing Use:	Recycling Center, Warehouse, Office		
Proposed Uses:			
		Phase 1	Phase 2
Office:	1,800 s.f.	1,800 s.f.	3,589 s.f.
Warehouse:	- s.f.	- s.f.	11,902 s.f.
Gatehouse:	1,800 s.f.	- s.f.	- s.f.
Property Development Regulations			
Floor Area Ratio	PDD Required 1.5 Max.	Phase 1 0.0008	Phase 2 0.0068
Building Height	50' Max.	1 Floor	2 Floor
Building Setbacks			
Front (West) Access Easement	15' Max.	1,411'	2,146'
Rear (East & Northeast)	25' Max.	547'	403'
Side (North)	10' Max.	112'	400'
Side (South)	10' Max.	524'	144'
Recycling Facility Setbacks			
West Access Easement	15' Max.	21'	-
North	15' Max.	21'	-
South	10' Max.	48'	-
East & North East	500' Max.	500'	-
Pervious Area	5% Min.	-	-
Parking Requirements			
Recycling Facility	PDD Required -	Phase 1 2 Spaces	Phase 2 - Spaces
Office	1 Space Per 200 s.f.	6 Spaces	12 Spaces
Gatehouse	-	1 Space	1 Space
Warehouse	1 Space Per 600 s.f.	- Spaces	20 Spaces
	Total Provided	9 Spaces	32 Spaces
	Total Provided	15 Spaces	32 Spaces
Handicap Spaces			
Under 5,000 s.f.	0 Space	- Space	- Space
Each Additional 30,000 s.f.	1 Space	1 Space	1 Space

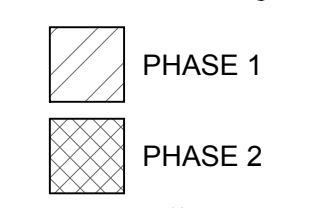


NOTE:
 ACCESS AND MAINTENANCE
 EASEMENT PER RECORDED
 DOCUMENT:
 FILE# 4407927 OR BOOK 4104
 PAGE 376 RECORDED
 03/05/2018

Phase 1

Phase 2

Phasing Legend



Planned Development Phasing

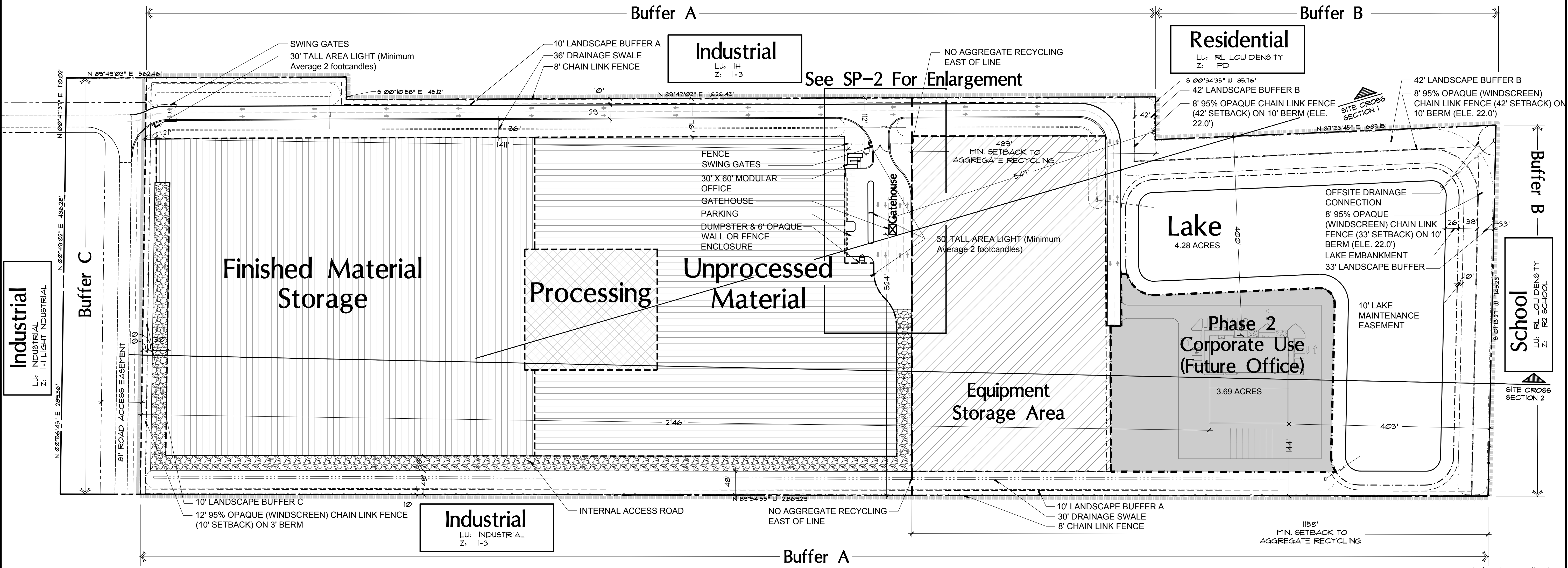
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Fencing Windscreen
 N.T.S.

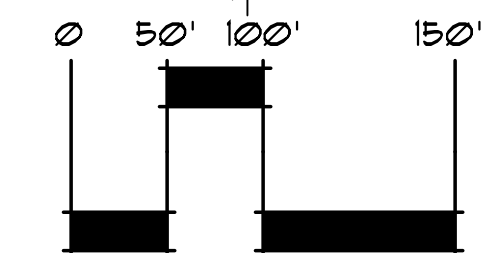
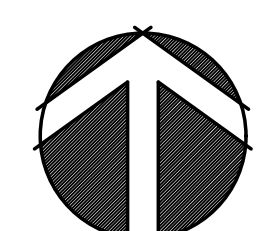
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LANDSCAPE BUFFERS (SEE LP SERIES OF PLANS FOR DETAILS)
 BUFFER A -
 BUFFER B -
 BUFFER C -

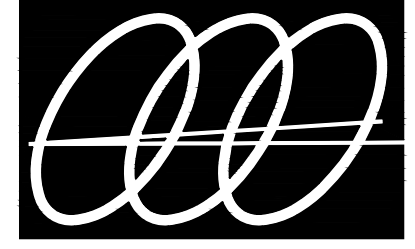


Planned Development Site Plan

Scale: 1"=100'



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Planned Development Site Plan Enlargement
Ft. Pierce Industrial Aggregate Recycling Facility
D.S. Eakins Construction Corp., Ft. Pierce, Florida

Designed: EOM/AJ
Drawn: DLR/EOM/AJ
Approved: GGG/EOM/MTH
Date: 11/30/18
Job no: 17-1207
Revisions: 4/30/19
5/31/19

Seal

LC 0000111

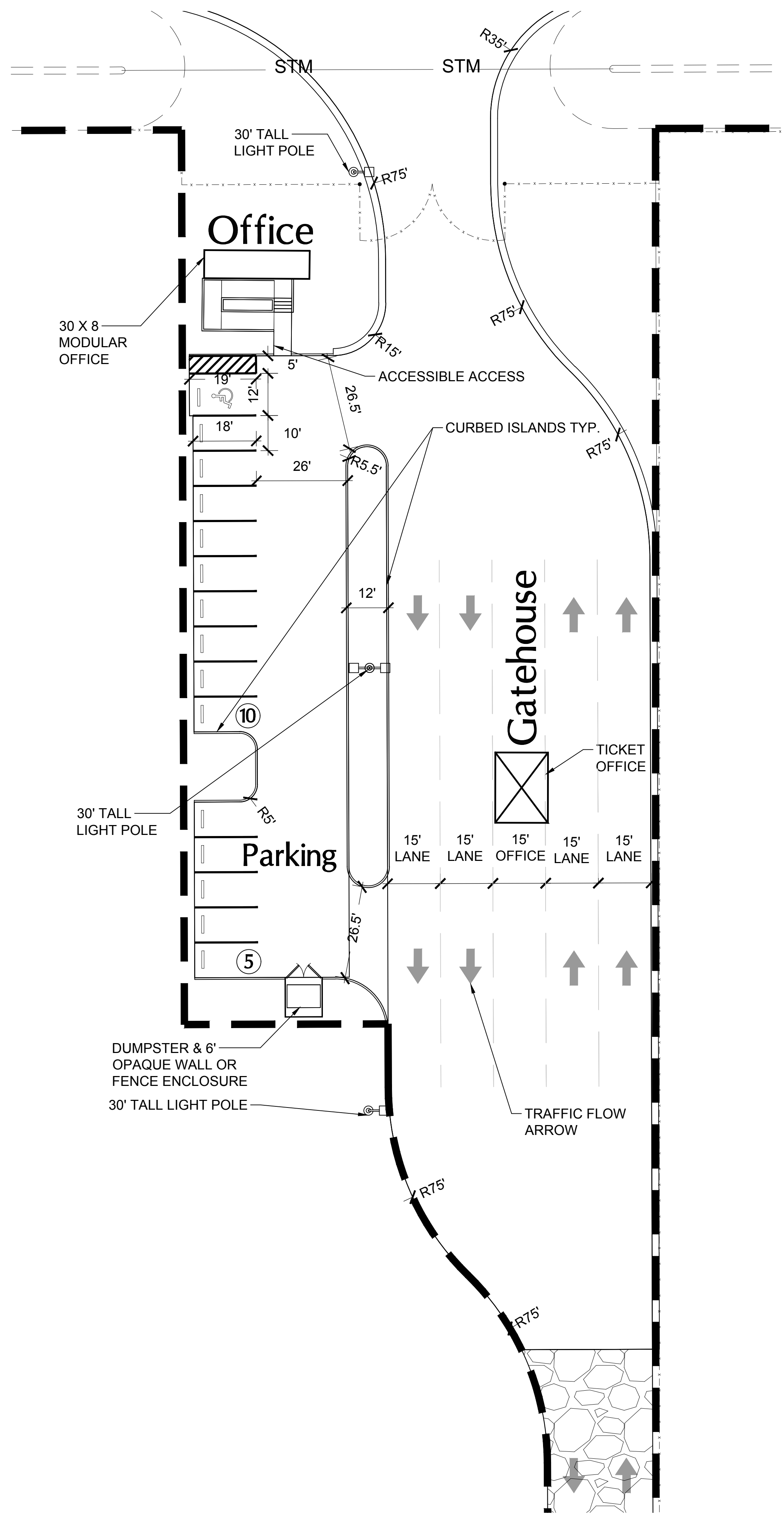
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Site Plan**

Scale: 1"=20'

Sheet No.

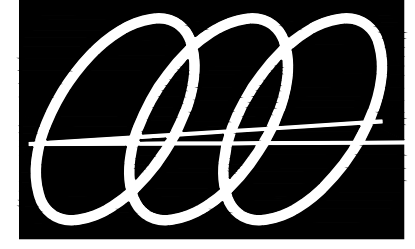
PDSP-2

17-1207



Parking & Gatehouse Enlargement

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Planned Development Site Cross Sections
Ft. Pierce Industrial Aggregate Recycling Facility
D.S. Eakins Construction Corp., Ft. Pierce, Florida

Designed: _____ EOM
Drawn: _____ DLR/EOM
Approved: _____ GGG/EOM/MIH
Date: 4/30/19
Job no. 17-1207
Revisions: 5/31/19

Sea1

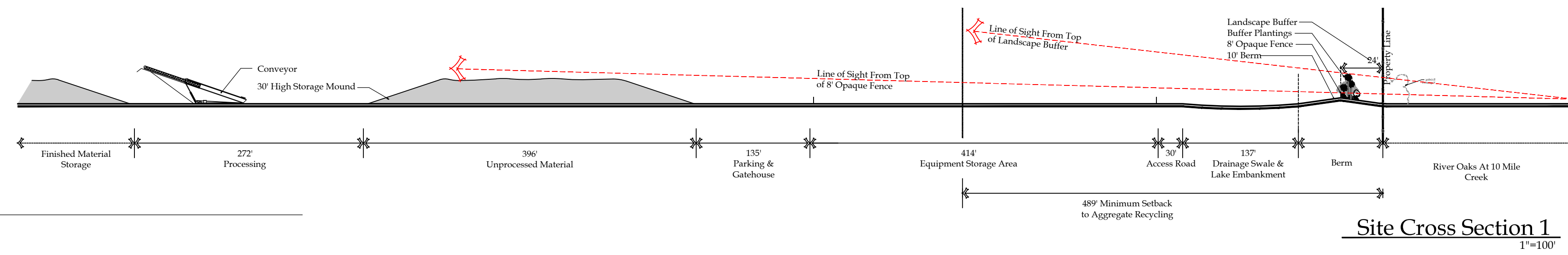
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**Planned
Development
Site Cross
Sections**

Scale: As Noted

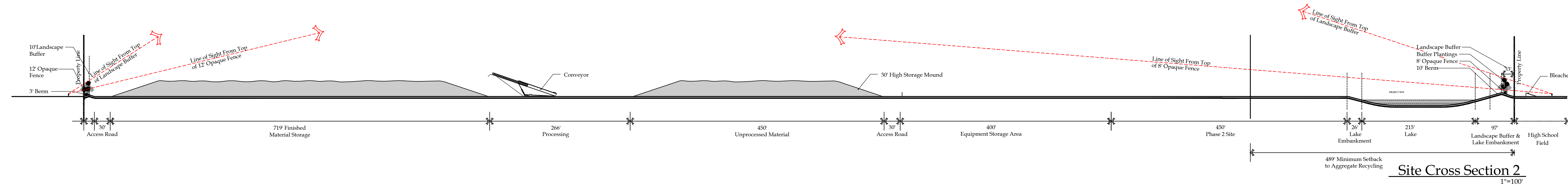
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PDSP-3

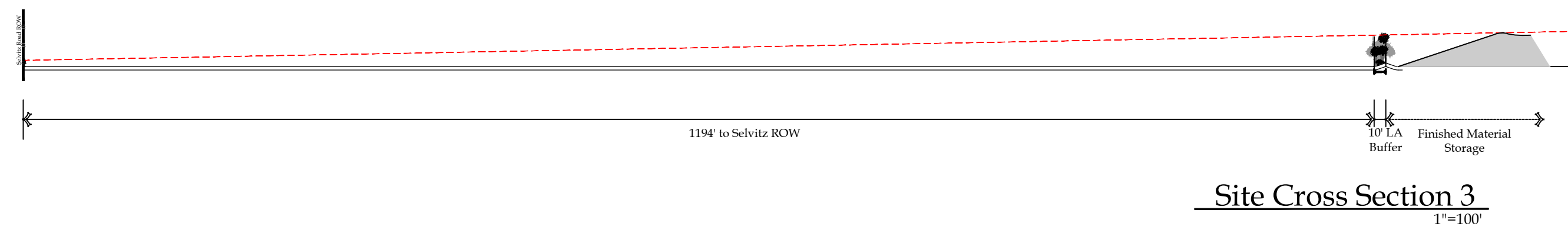
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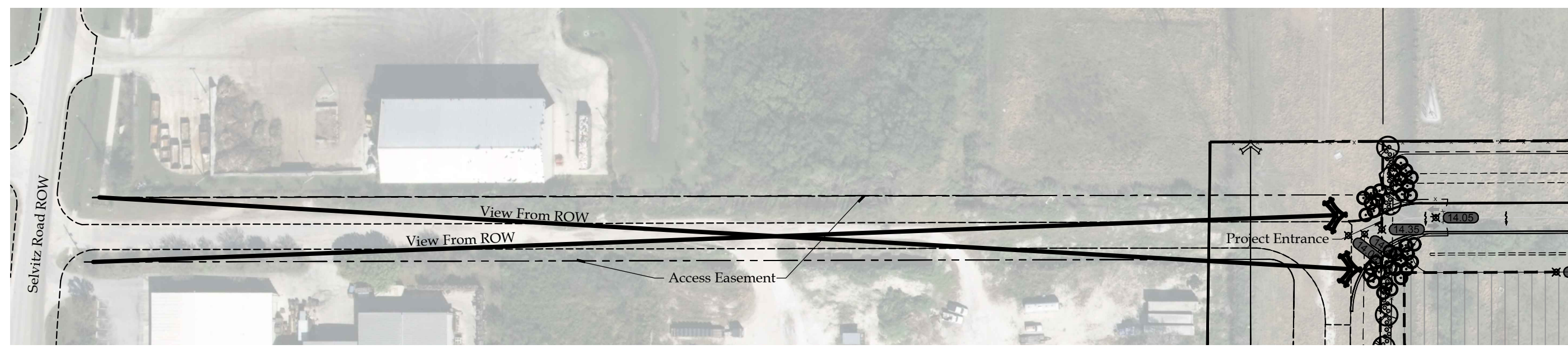
Site Cross Section 1
1"=100'



Site Cross Section 2
1"=100'



Site Cross Section 3
1"=100'



Plan View for Cross Section 3
1"=100'

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Landscape Tabular

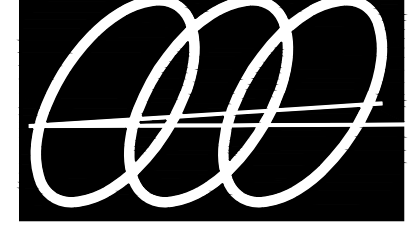
BUFFER LANDSCAPE See Plan For Calculations			Planned Development Landscape Standards			Required	Provided
North Buffer	I-3 Residential	10' Buffer	24' Buffer 15' Solid Screen	1 Tree/30 LF	69 Trees	69 Trees	
				1 Tree/30 LF	26 Trees	26 Trees	
				2 (6') Trees/30 LF	52 Trees	52 Trees	
East Buffer	Medium Density Residential Ft. Pierce Community High School Retention Pond	24' Buffer 15' Solid Screen		1 Tree/30 LF	26 Trees	26 Trees	
				2 (6') Trees/30 LF	52 Trees	52 Trees	
South Buffer	I-3	10' Buffer		1 Tree/30 LF	90 Trees	90 Trees	
West Buffer (Easement)	I-3	10' Buffer 15' Solid Screen		1 Tree/30 LF	26 Trees	26 Trees	
INTERIOR LANDSCAPE							
Vehicular Use Area - Paved	Area 7,571 SF	Calculation 1 SF/30 SF	Landscape 252 SF	Trees 1 Tree/100 SF =	3 Trees	3 Trees	
Parking Islands					1 Tree	1 Tree	
Interior Trees					-	11 Trees	
TOTAL TREES					345 Trees	356 Trees	

Legend

LANDSCAPE BUFFERS (SEE LP SERIES OF PLANS FOR DETAILS)
 BUFFER A -
 BUFFER B -
 BUFFER C -

Notes:

- ALL INTERNAL PLANTING AREAS, BUFFERS B & C, SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.
- BUFFER A TREES SHALL RECEIVE IRRIGATION THROUGH ESTABLISHMENT OR FOR A MINIMUM OF 1 YEAR



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Overall Landscape Plan
Ft. Pierce Industrial Aggregate Recycling Facility
 D.S. Eakins Construction Corp., Ft. Pierce, Florida

Designed: EOM
 Drawn: EOM/DLR
 Approved: GGG/EOM/MTM
 Date: 11/30/18
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 5/31/19

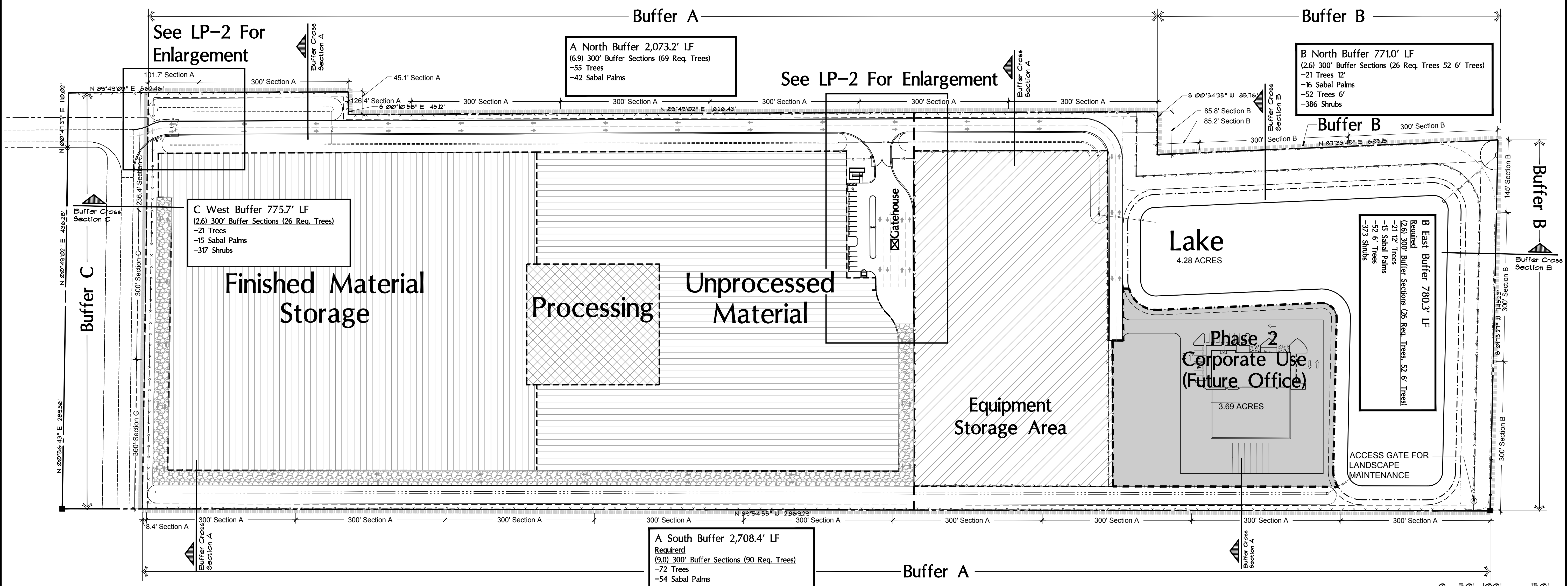
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Sheet Title:
Overall Landscape Plan

Scale: 1"=100'

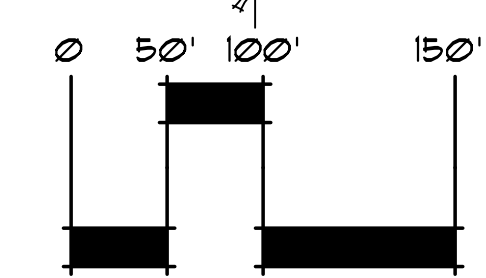
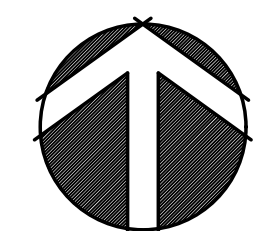
Sheet No.
LP-1

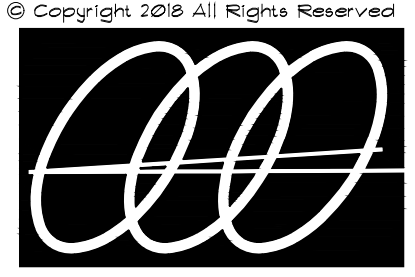
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Overall Landscape Plan

Scale: 1"=100'





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Landscape Development Plan Enlargement
Ft. Pierce Industrial Aggregate Recycling Facility
 D.S. Eakins Construction Corp., Ft. Pierce, Florida

Designed: _____ EOM
 Drawn: _____ DLR/EOM
 Approved: _____ GGG/EOM/MTM
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 Job no: _____ 17-1207
 Revisions: _____ 4/30/19
 _____ 5/31/19

Scale: _____

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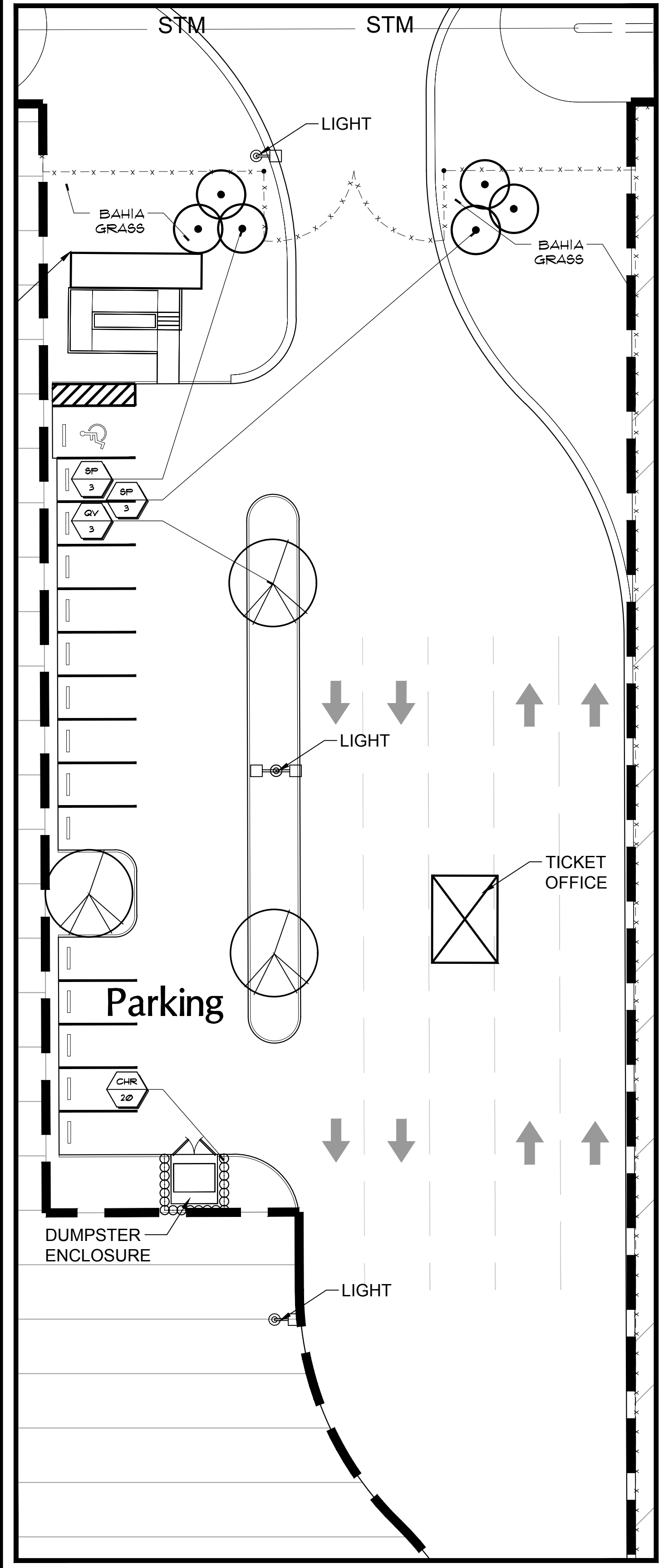
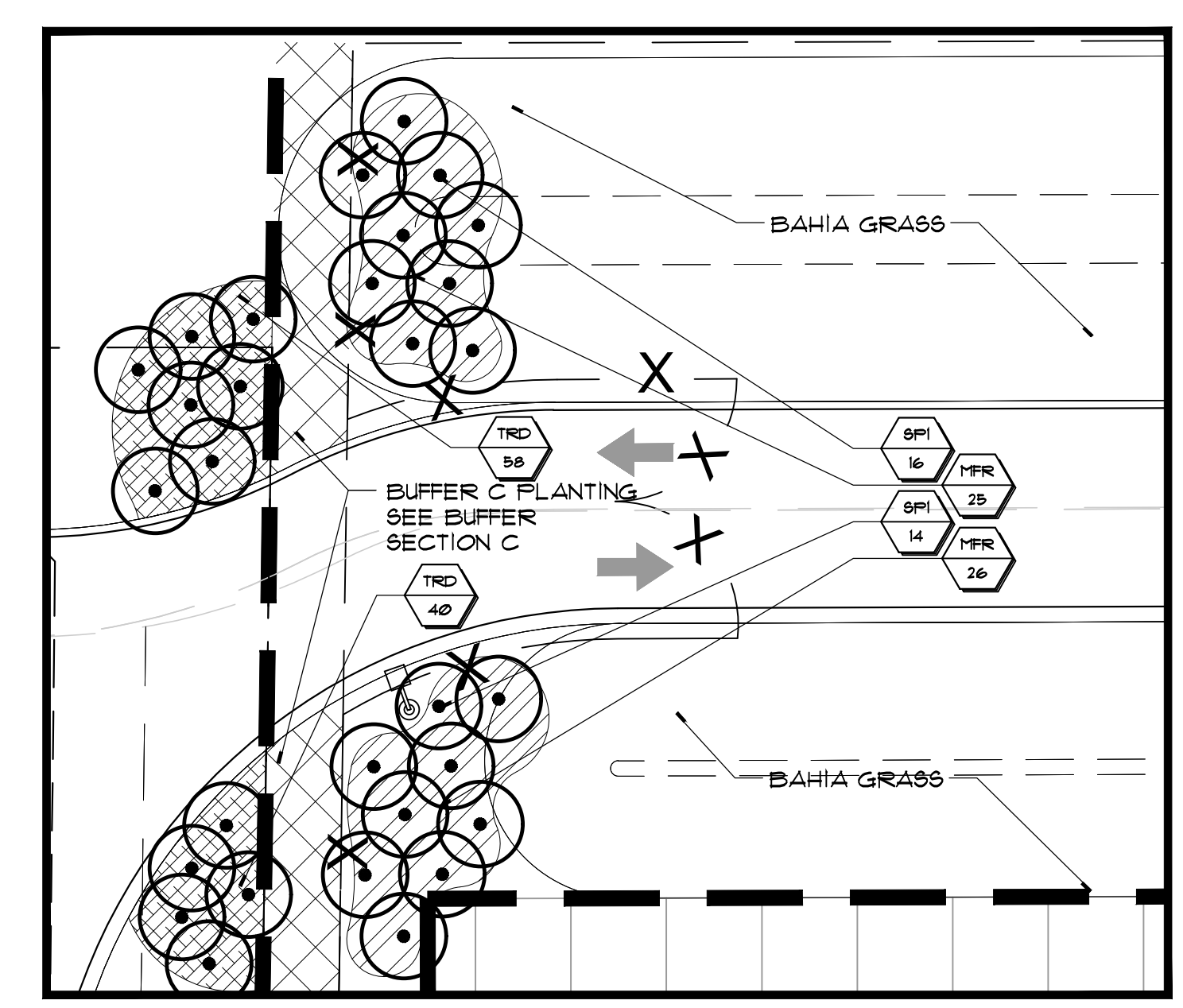
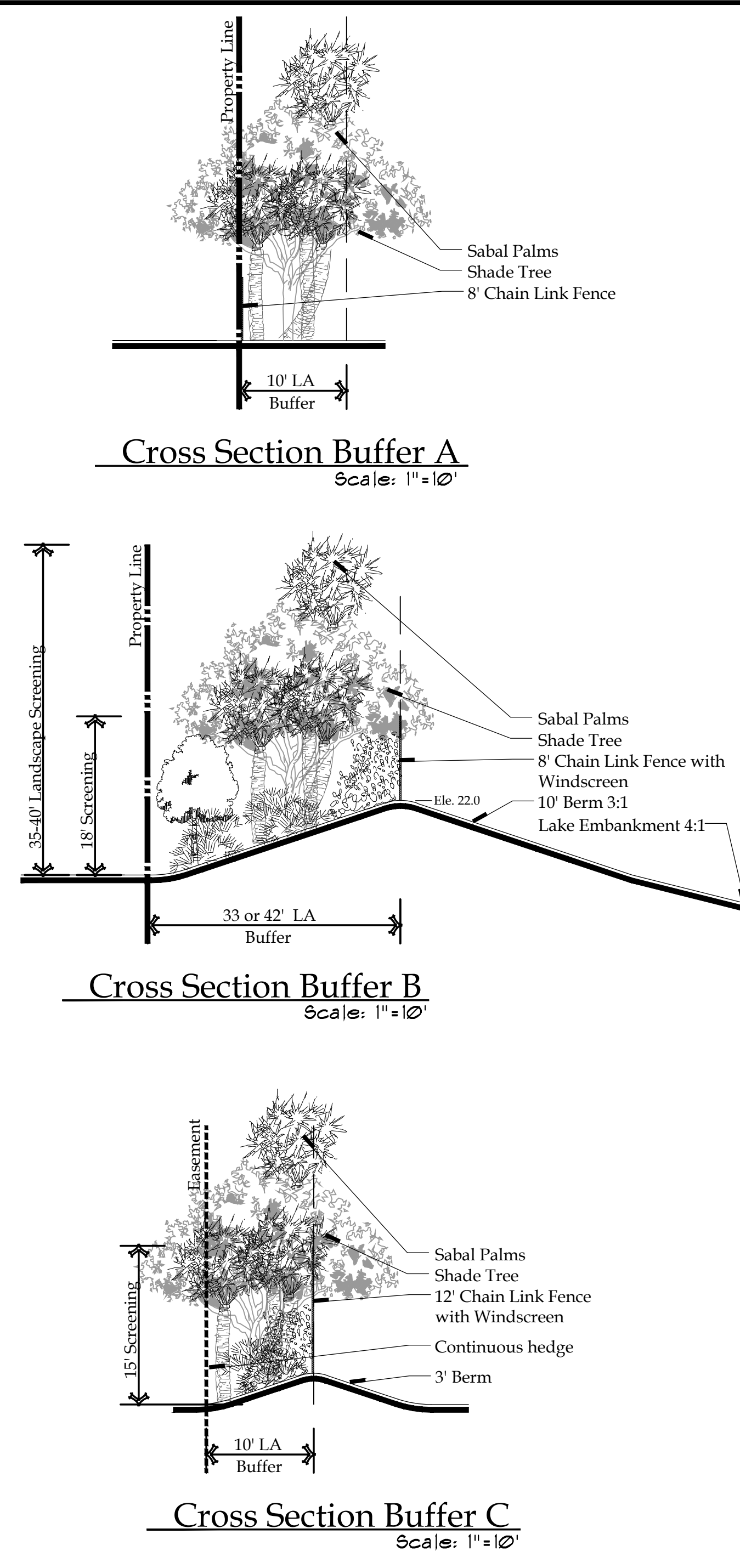
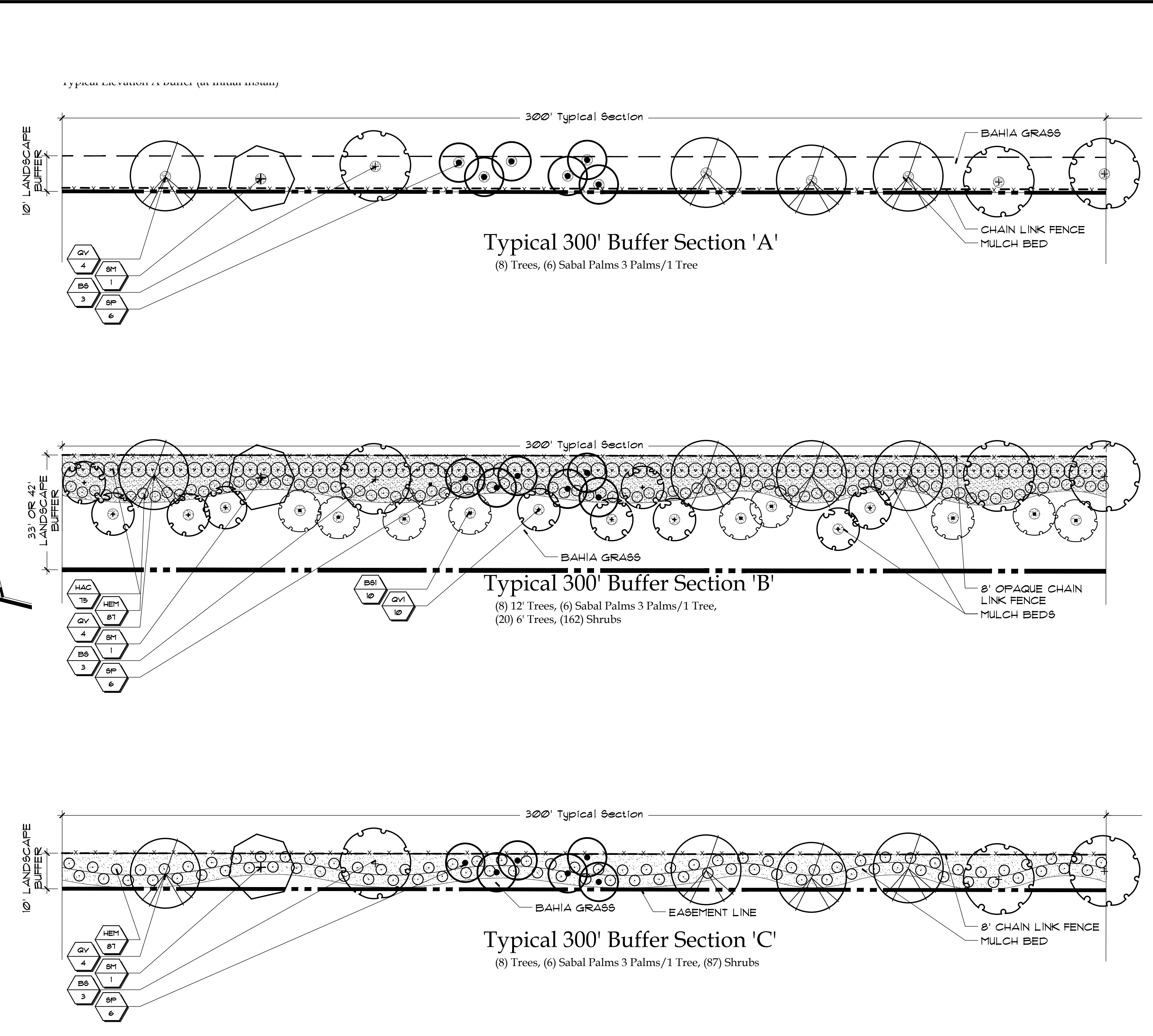
**Landscape
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Plan**

Scale: AS NOTED

Sheet No.

LP-2

17-1207



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Overall Plant List

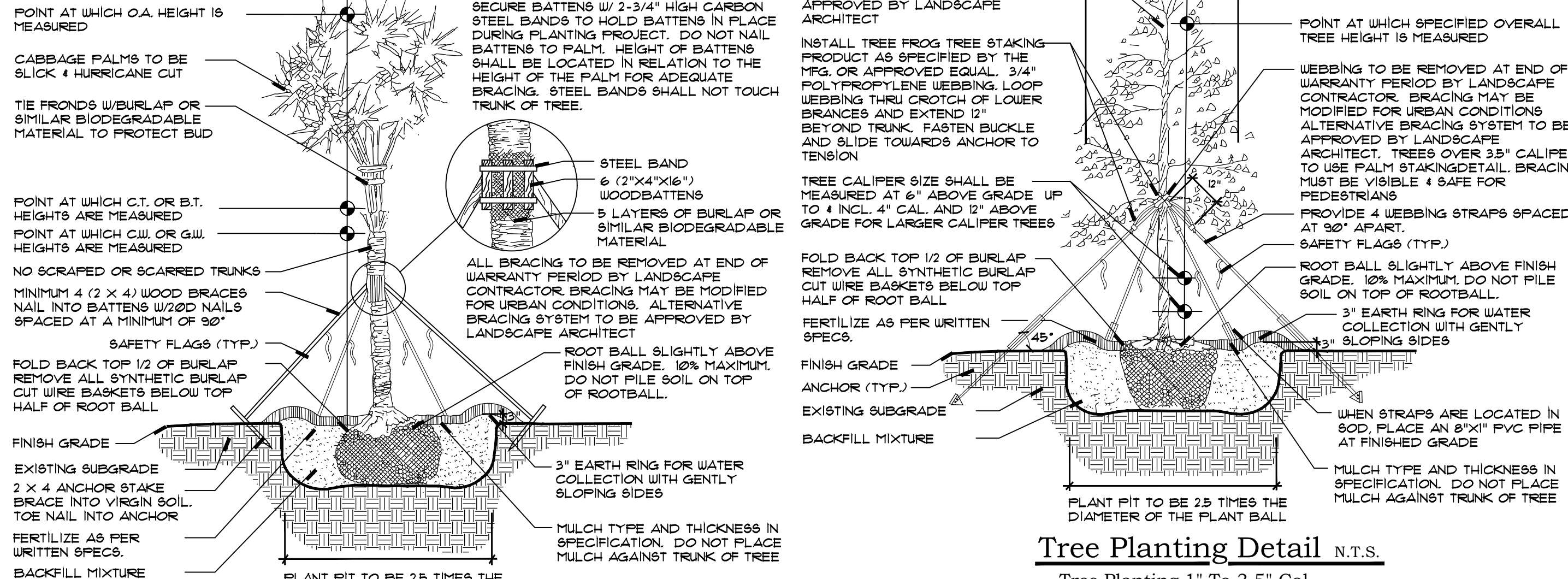
KEY	NORTH BUFFER	EAST BUFFER	SOUTH BUFFER	WEST BUFFER	INTERIOR	TOTAL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	SPACING	D.T.	NATIVE	REMARKS	
BS	20	8	8	27	8	71	BURSERA SIMARUBA	GUMBO LIMBO	12'	5'	2.5"	A.S.	V	Y	4' CLEAR TRUNK - SINGLE LEADER	
BS1	-	26	26	-	-	52	BURSERA SIMARUBA	GUMBO LIMBO	6'	3'	-	A.S.	V	Y	SINGLE LEADER	
QV	28	10	10	36	10	97	QUERCUS VIRGINIANA	LIVE OAK	12'	5'	2.5"	A.S.	V	Y	4' CLEAR TRUNK - SINGLE LEADER	
QV1	-	26	26	-	-	52	QUERCUS VIRGINIANA	LIVE OAK	6'	3'	-	A.S.	V	Y	SINGLE LEADER	
SM	7	3	3	9	3	25	SWIETENIA MAHAGONI	MAHOGANY	12'	5'	2.5"	A.S.	V	Y	4' CLEAR TRUNK - SINGLE LEADER	
PALMS																
KEY	NORTH BUFFER	EAST BUFFER	SOUTH BUFFER	WEST BUFFER	INTERIOR	TOTAL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	SPACING	D.T.	NATIVE	REMARKS	
SP	42	15	15	54	15	6	147	SABAL PALMETTO	CABBAGE PALMETTO	12-24'	C.T.	24" MIN.	A.S.	V	Y	1/3 CURVED - HURRICANE CUT - SLICK TRUNKS; STAGGER HEIGHTS
SP1	-	-	-	-	-	30	30	SABAL PALMETTO	CABBAGE PALMETTO	12-24'	C.T.	24" MIN.	A.S.	V	Y	1/3 STRAIGHT 12-18' C.T.; 1/3 CURVED SLICK 14-24' C.T.; 1/3 "S" CURVE COLLECTED 24-32' C.T.; STAGGER HEIGHTS
SHRUBS																
KEY	NORTH BUFFER	EAST BUFFER	SOUTH BUFFER	WEST BUFFER	INTERIOR	TOTAL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL.	SPACING	D.T.	NATIVE	REMARKS	
CHR	-	-	-	-	-	20	20	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM	30"	18"	-	2' O.C.	V	Y	FULL TO BASE
HAC	195	195	-	-	-	390	390	HAMELIA PATENS 'COMPACTA'	DWARF FIREBUSH	3'	3'	-	4' O.C.	V	Y	FULL TO BASE
HEM	226	226	-	-	-	678	678	HEDGE MIX	HEDGE MIX 5 SPECIES	24"	18"	-	3.5' O.C.	V	Y	FULL TO BASE - TO BE PLANTED IN GROUPS OF 3-9
MFR	-	-	-	-	-	51	51	MYRCIANTHES FRAGRANS	SIMPSON'S STOPPER	5'	3'	-	5' O.C.	V	Y	FULL TO BASE
TRD	-	-	-	-	-	56	56	TRIPSACMUM DACTYLOIDES	FAKAHATHEE GRASS	30"	30"	-	3' O.C.	V	Y	FULL CLUMP

ABBREVIATIONS:
 D.T.: DROUGHT TOLERANCE, V= VERY, M= MODERATE, L= LOW
 NATIVE: Y= YES, N= NO
 G.W.=GREY WOOD, C.T.= CLEAR TRUNK, O.A.=OVERALL, A.S.= AS SPECIFIED, O.C.=ON CENTER

Specifications - Exterior Plants

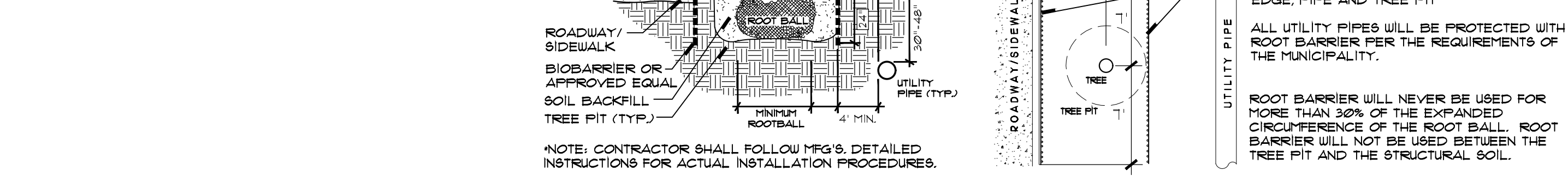
- 1.4: QUALITY ASSURANCE:**
 SOIL ANALYSIS SHALL BE CONDUCTED BY THE LANDSCAPE CONTACTOR PRIOR TO APPLICATION OF ANY SOIL AMENDMENTS, FERTILIZERS AND BACKFILL MIXTURES. THE LANDSCAPE CONTACTOR SHALL USE A QUALIFIED SOIL TESTING LABORATORY.
 THE RESULT OF THE SOIL TESTS SHALL BE SUBMITTED TO THE OWNER AND LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO THE APPLICATION OF SAID MATERIALS. ADJUSTMENTS TO THE SOIL AMENDMENTS MAY BE MADE UPON CONSULTATION WITH THE OWNER AND THE LANDSCAPE ARCHITECT.
- 1.5: DELIVERY, STORAGE AND HANDLING:**
 PRUNING OF TREES SHALL BE DONE ON SITE AFTER PLANTING FOR DAMAGED LIMBS OR AS DIRECTED TO IMPROVE OVERALL PLANT APPEARANCE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. PRUNING METHODS SHALL FOLLOW STANDARD HORTICULTURAL PRACTICES USING APPROPRIATE TOOLS. LOPPING, SHEARING OR TOPPING OF PLANT MATERIAL WILL BE GROUNDS FOR REJECTION. DAMAGED, SCARRED, FRAID, SPLIT OR SKINNED BRANCHES, LIMBS OR ROOTS TO BE PRUNED BACK TO LIVE WOOD. THE CENTRAL LEADER OR BUD SHALL BE LEFT INTACT UNLESS SEVERELY DAMAGED.
 PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE, THIN OUT STRUCTURE AND REMOVE NOT MORE THAN 15% OF BRANCHES.
- 1.6: WARRANTY:**
 WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEATH AND UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLIGENCE BY OWNER, DAMAGE BY OTHERS AND UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. REPLACEMENTS SHALL BE MADE WITH COMPATIBLE SIZE AND QUALITY OF MATERIAL AT A TIME REQUESTED OR ACCEPTABLE BY THE OWNER OR LANDSCAPE ARCHITECT. PLANT MATERIAL REJECTED DURING THE COURSE OF CONSTRUCTION SHALL BE REMOVED WITHIN FIVE (5) WORKING DAYS AND REPLACED BEFORE THE FINAL INSPECTION FOR COMPLETION WILL BE SCHEDULED. WARRANTY ON REPLACEMENT PLANTS SHALL BE 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE REPLACEMENTS. ANY DAMAGE TO LANDSCAPE, SODDED OR SEEDED AREAS DURING REPLACEMENT OF PLANT MATERIAL SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR.
- 1.7: MAINTENANCE SERVICE:**
 MAINTENANCE AND GENERAL CLEAN UP SHALL BE PERFORMED DAILY. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, REMOVAL OF LITTER, MOWING, PRUNING, RESETTLE SETTLED PLANTS, REMOVING, REPAIRING OR REPLACING STAKES AND GUYS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GROWTH AND HEALTHY PLANT MATERIAL. MAINTENANCE SHALL BEGIN AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE FOR NINETY (90) DAYS FROM THE DATE OF FINAL ACCEPTANCE.
- 1.8: QUANTITIES, LOCATION AND SUBSTITUTIONS:**
 THE QUANTITIES OF PLANT MATERIALS SHOWN ON PLANS SHALL TAKE PRECEDENCE OVER THE PLANT QUANTITIES ON THE PLANT LIST. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE NUMBER AND LOCATIONS OF THE DESIGNATED TYPES AND SPECIES OF PLANTS TO BE USED AT ANY OF THE LOCATIONS SHOWN. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE PLANT MATERIAL. NO SUBSTITUTION OF PLANT MATERIAL TYPES, SPECIFICATIONS OR SIZES WILL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO NOT ACCEPT PLANT MATERIAL THAT DOES NOT, IN THE OPINION OF THE OWNER AND/OR LANDSCAPE ARCHITECT, MEET THE SPECIFICATIONS HEREIN.
- 2.1: PLANT MATERIAL:**
 PROVIDE SIZES AND SPECIFICATIONS OF PLANTS AS SHOWN ON PLANS OR LISTED ON PLANT LIST. ALL TREES, PALMS, SHRUBS, GROUND COVERS AND OTHER PLANTS SHALL CONFORM TO THE STANDARD OF FLORIDA NO. 1 OR BETTER AS GIVEN IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS BY FLORIDA DEPARTMENT OF AGRICULTURE, PART I AND II. PLANT MATERIAL SHALL ALSO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (ANSI) BULLETIN Z 60.1 - 1990 AND AS REVISED.
 SPECIMEN PLANTS SHALL BE FLORIDA FANCY OR BETTER AND SHALL CONFORM TO THE LITERATURE STANDARDS LISTED ABOVE.
- 2.4: TOP SOIL:**
 TOPSOIL SHALL BE FRIABLE FERTILE SOIL WITH REPRESENTATIVE CHARACTERISTICS OF AREA SOILS. IT SHOULD BE FREE OF HEAVY CLAY, SILT, STONE, EXCESS LIME, SHELL ROCK, PLANT ROOTS, WEEDS, DEBRIS OR OTHER FOREIGN MATTER. IT SHALL NOT CONTAIN NOXIOUS PLANT GROWTH (SUCH AS BERMUDA, TORPEDO OR NUT GRASS). IT SHALL TEST BETWEEN THE PH RANGE OF 5.0 TO 7.0 UNLESS OTHERWISE SPECIFIED AND CONTAIN NO TOXIC RESIDUE OR SUBSTANCES THAT WOULD ENDANGER PLANT GROWTH. IF TOPSOIL IS NOT AVAILABLE ON SITE, IT SHALL BE IMPORTED FROM LOCAL SOURCES WITH SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH NOT LESS THAN 4".
- 2.5: INORGANIC SOIL AMENDMENTS:**
 SAND SHALL BE CLEAN, SALT-FREE AND CONTAINING NO EXTRANEUS MATTER.
 MYCORRHIZAL AMENDMENT SHALL BE DIIHARD™ TRANPLANT AS MANUFACTURED BY HORTICULTURAL ALLIANCE OR EQUAL TO WITH THE FOLLOWING INGREDIENTS:
 ENDOMYCORRHIZAL FUNGI
 BENEFCIAL BACTERIA
 HUMIC ACID
 SOLUBLE SEA KELP
 AMINO ACIDS
 HORTA-SORB WATER MANAGEMENT GEL
 TRICHODERMA
 YUCCA PLANT EXTRACTS
 VITAMIN B COMPLEX
- 2.6: ORGANIC SOIL AMENDMENTS:**
 PEAT HUMUS SHALL BE DECOMPOSED PEAT WITH NO IDENTIFIABLE FIBERS OR IF AVAILABLE, MUCK MAY BE SUBSTITUTED AND SHALL BE FREE FROM STONES, EXCESSIVE PLANT ROOTS, DEBRIS OR OTHER FOREIGN MATTER. MUCK SHALL NOT BE OVERLY SATURATED WITH WATER.
- 2.7: FERTILIZATION:**
 PROVIDE FERTILIZER UNIFORM IN COMPOSITION, DRY, AND IN A FREE FLOWING CONDITION FOR APPLICATION BY SUITABLE EQUIPMENT, AND DELIVER IN UNOPENED BAGS OR CONTAINERS, EACH FULLY LABELED.
 FERTILIZE TREES, SHRUBS AND GROUND COVERS WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING. DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE:
 5.00 LBS. OR 14.5 CUPS / 1 PALMS
 3.00 LBS. OR 8.70 CUPS / 12-18" MATERIAL
 2.00 LBS. OR 5.80 CUPS / 8-12" MATERIAL
 0.69 LBS OR 2.00 CUPS / 6-8" MATERIAL
 0.19 LBS OR 1/2 CUP / 3 GAL. MATERIAL
 0.10 LBS. OR 1/4 CUP / 1 GAL. MATERIAL
- 2.8: MULCHES:**
 MULCH TO BE APPLIED TO ALL PLANTING BEDS, 3" THICK MIN.
 PINE STRAW MULCH SHALL BE APPLIED ONLY TO THOSE AREAS AS INDICATED ON THE PLAN. APPLY 6" FLUFFED, 2-3" THICK AFTER COMPACTION.
- 2.10: PLANTING SOIL MIX:**
 BACKFILL MIXTURE: 1/2 PARENT SOIL, 1/2 MIXTURE (1/3 SAND, 1/3 TOPSOIL, 1/3 PEAT HUMUS).
- 3.1: PLANTING BED ESTABLISHMENT:**
 PREPARATION: PRIOR TO THE INSTALLATION OF PLANTS, THE SITE SHALL BE FREE OF WEEDS, GRASS, SOD, DEBRIS, ROCKS OR OTHER MATERIAL MAKING THE SITE UNPLANTABLE. FOR FINAL ACCEPTANCE ALL PLANTED AREAS SHALL BE WEED FREE.
 FINISH GRADING: THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND GRADING OF TOPSOIL, IF NECESSARY, WITH THE GENERAL CONTRACTOR, TO INSURE THE SITE IS AT FINISH GRADE PRIOR TO INSTALLING PLANTS.
- 3.2: PLANTING TREES:**
 LAYOUT PLANTS ACCORDING TO LANDSCAPE PLANS. IF A CONFLICT ARISES AS TO THE LOCATION, SPACING OR OTHER CONFLICT, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
 EXCAVATE PIT TO TWO AND ONE-HALF (2 1/2) TIMES THE DIAMETER OF TREE BALL AND NOT LESS THAN 6" DEEPER. COMPACT A LAYER OF BACKFILL MIXTURE IN PIT TO LOCATE COLLAR OF PLANT PROPERLY IN A SLIGHTLY DISHED FINISH GRADE. BACKFILL AROUND BALL WITH BACKFILL MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. WATERING THOROUGHLY AS LAYERS ARE PLACED. BUILD 3" HIGH BERM OF SOIL BEYOND EDGE OF EXCAVATION. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST.
 GUY AND STAKE TREES, LESS THAN 3.5" IN CALIPER, IN FOUR DIRECTIONS WITH "ARBORBRACE" NYLON TREE GUYING KIT WITH HARDENED NYLON ANCHOR AND 3/4" 800 LB. POLYPROP UV WEBBING, MODEL (ATG-R) OR APPROVED EQUAL. STAKE TREES IMMEDIATELY AFTER PLANTING. FOR MULTI-TRUNK PLANT MATERIAL, ATTACH GUYS TO FOUR (4) LARGEST LIMBS. CARE MUST BE TAKEN NOT TO MAKE GUYS TOO TIGHT. FOR TREES 3.5" IN CALIPER AND OVER, TREES MUST BE STAKED WITH WOOD 2X4 METHOD. FOLLOW PALM STAKING DETAIL FOR REQUIREMENTS. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ELIMINATE GUYING OR STAKING. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE GUYING OR STAKING. THE LANDSCAPE CONTRACTOR SHALL REMOVE BRACING IN ONE YEAR.
- 3.3: PLANTING SHRUBS:**
 EXCAVATE PITS OR TRENCH TWO (2) TIMES DIAMETER OF BALLS OR CONTAINERS, AND 3" DEEPER THAN REQUIRED FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF BACKFILL MIXTURE IN BOTTOM BEFORE PLACING PLANTS. CONTAINER GROWN MATERIALS SHALL BE PLANTED WITH 48 HOURS AFTER DELIVERY TO SITE. PLACE PLANT IN PIT AND BACKFILL AROUND PLANTS WITH BACKFILL MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. WATER THOROUGHLY AS LAYERS ARE PLACED. FORM A 3" HIGH BERM OF SOIL BEYOND THE EDGES OF EXCAVATION. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST.
- 3.4: PLANTING GROUNDCOVERS:**
 LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED, AND SPREAD BACKFILL MIXTURE.
 SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW FOR SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS, AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST. LIFTING PLANT FOLIAGE ABOVE MULCH. MULCH SHALL BE SPREAD BEFORE PLANTING PLANTS IN POTS LESS THAN 1 GALLON SIZE (4", LINERS, ETC.).

Details

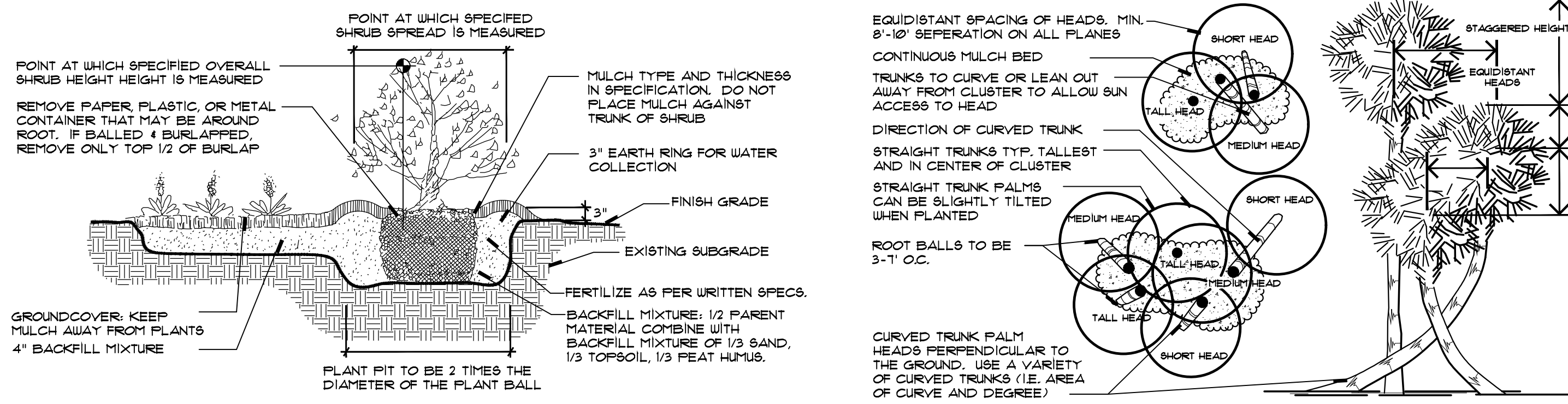


Tree Planting Detail N.T.S.
 Tree Planting 1" To 3.5" Cal.

Palm Planting Detail N.T.S.
 Tree Planting Over 3.5" Cal.



Tree Root Barrier Section N.T.S. and **Tree Root Barrier Plan N.T.S.**



Shrub & Ground Cover Planting Detail N.T.S. and **Typical Cabbage Palm Layout N.T.S.**

Specifications - Lawns and Grasses

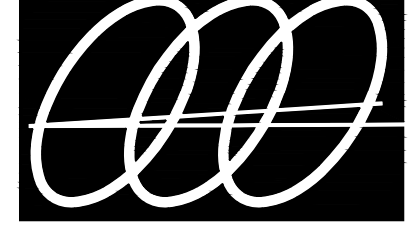
- 2.1: PRODUCTS:**
 SOD SHALL MEET AMERICAN SOD PRODUCES ASSOCIATION STANDARDS FOR NURSERY GROWN SOD FOR THICKNESS OF CUT, PAD SIZE, STRENGTH OF SECTIONS, MOISTURE CONTENT AND THATCH. SOD SHALL BE GUARANTEED TO BE UNIFORM IN COLOR, LEAF TEXTURE, AND SHOOT DENSITY AND FREE OF WEEDS, DISEASE, FUNGUS, INSECTS OR OTHER IMPERFECTIONS AND SUFFICIENTLY KNITTED TO SUSTAIN GROWTH. SOD SHALL BE MOWED FOR FINAL ACCEPTANCE.
- 2.3: FERTILIZER:**
 FERTILIZE TURF AREAS WITH TYPE 1 FERTILIZER, COMPLYING WITH THE STATE FERTILIZER LAWS. THE FERTILIZER SHALL BE CHEMICALLY DESIGNATED WITH 12-8-8. PROVIDE AT LEAST 50% OF THE PHOSPHORIC ACID FROM NORMAL SUPER PHOSPHATE OR AN EQUIVALENT SOURCE PROVIDING A MINIMUM OF TWO UNITS OF SULFUR. THE AMOUNTS OF SULFUR AND ALL OTHER CHEMICAL SHALL BE INDICATED ON THE QUANTITATIVE ANALYSIS CARD ATTACHED TO THE UNOPENED BAG.
- 3.1: LAWN PREPARATION:**
 LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL PROVIDED ON SITE OR IMPORTED TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.
 FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.
- 3.2: SODDING:**
 SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.
 LAY SOD STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORN SIFTED SOIL MIX INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR TAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.
- Landscape Certification**
 LANDSCAPE CERTIFICATION: THE LANDSCAPE ARCHITECT SHALL PROVIDE FINAL CERTIFICATION TO THE OWNER AND MUNICIPALITY THAT PLANTS ARE INSTALLED PER THE DESIGN PLAN, DETAILS AND SPECIFICATIONS. ANY CHANGES TO THE PLAN WILL NEED TO HAVE THE LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION. CONFORMITY TO FLORIDA GRADE #1 IN THE ROOT BALL REQUIRES THE LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO INSTALLATION AT THE SITE. IT IS THE RESPONSIBILITY OF THE OWNER/GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR FOR ORGANIZING INSPECTIONS OF PLANT MATERIAL PRIOR TO INSTALLATION.

General Notes:

- SOD:** TO BE BAHIA GRASS EITHER SOD OR SEED
 ALL INTERNAL PLANTING AREAS, BUFFERS B & C, SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.
 BUFFER A TREES SHALL RECEIVE IRRIGATION THROUGH ESTABLISHMENT OR FOR A MINIMUM OF 1 YEAR
 ALL CONSTRUCTION DEBRIS & HARDPAN TO BE REMOVED FROM PLANTING BEDS TO A DEPTH OF 30"
- UTILITIES:**
 ABOVE AND BELOW GROUND UTILITIES SHALL BE VERIFIED AND LOCATED BY THE LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK IN THE PROJECT AREA. IF UTILITY PLANS ARE AVAILABLE, THE CONTRACTOR SHALL EXAMINE THEM AND BRING ANY AND ALL CONFLICTS TO THE ATTENTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT. WHEN WORKING IN AN AREA WHERE KNOWN UTILITIES EXIST, UTILITY LOCATIONS MAY NEED TO BE STAKED BY A SURVEYOR OR THE UTILITY COMPANIES. THE CONTRACTOR HAS THE OPTION TO CONTACT 811 TO SCHEDULE LOCATION OF THE UTILITIES WHICH SUBSCRIBE TO THEIR SERVICE.



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Gentle Glas Holloway O'Mahoney & Associates, Inc.
 Landscape Architects
 Planners
 Environmental Consultants

1907 Commerce Lane
 Suite 101
 Jupiter, Florida 33458
 561-575-9571
 561-575-5260 FAX
 www.2GHO.com

Landscape Development Specifications & Details
Ft. Pierce Industrial Aggregate Recycling Facility
 D.S. Eakins Construction Corp., Ft. Pierce, Florida

Designed: EOM
 Drawn: DLR/EOM
 Approved: GGG/EOM/MTB
 Date: 11/30/18
 Job no: 17-1207
 Revisions: 4/30/19
 5/31/19

Sheet Title:
Landscape Specifications & Details
 Scale: N.T.S.
 Sheet No.
LP-3

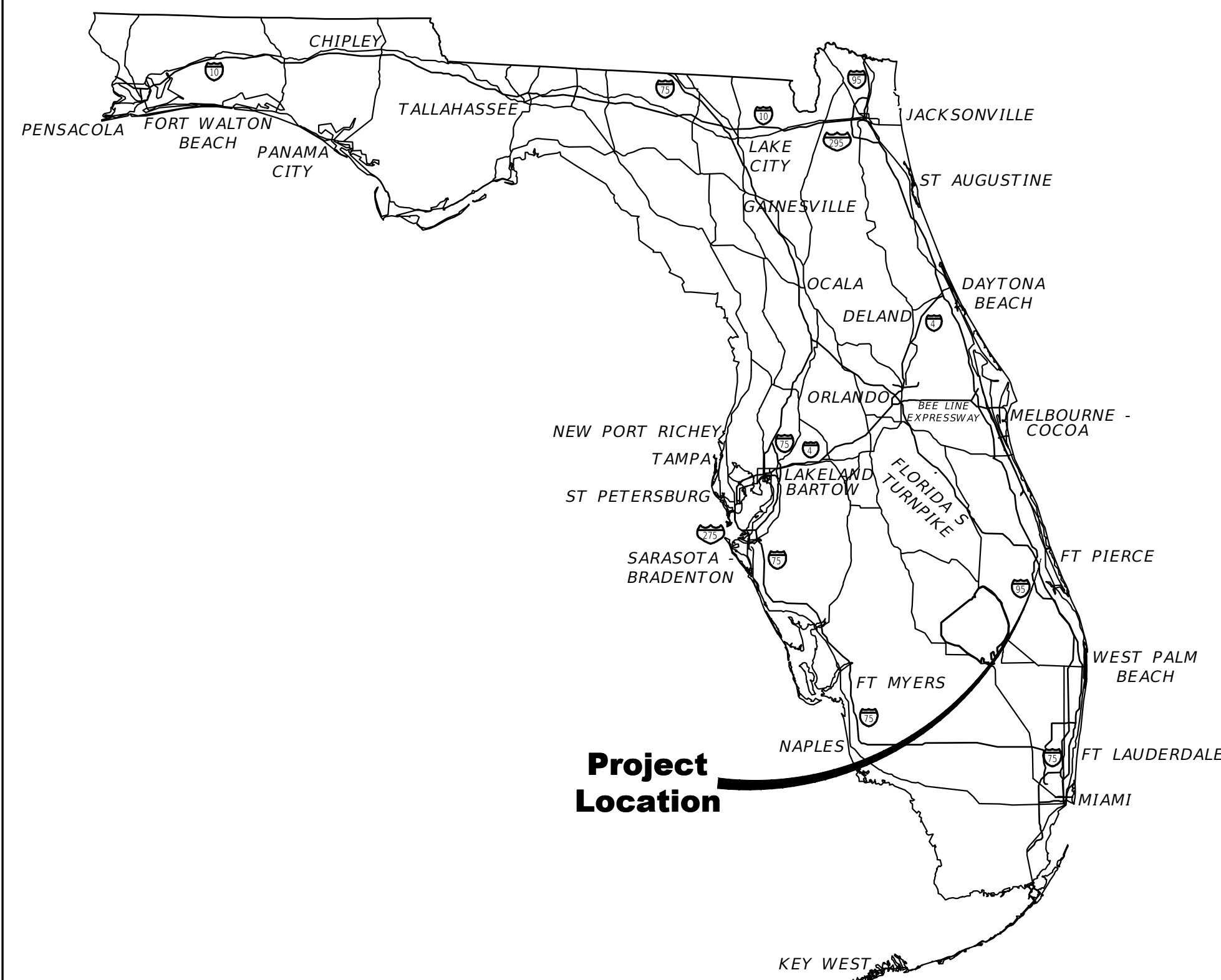
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PROPOSED FACILITY FOR



D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY SELVITZ ROAD, FORT PIERCE IN ST. LUCIE COUNTY, FLORIDA



LOCATION SKETCH
not to scale



VICINITY MAP
SECTION 29, TOWNSHIP 35S, RANGE 40E
NOT TO SCALE

INDEX OF SHEETS	
Sheet Number	Sheet Title
C1.1	COVER SHEET
C2.1	EROSION CONTROL & DEMOLITION PLAN
C3.1	MASTER DRAINAGE PLAN
C4.1	SELVITZ ROAD EXISTING TURN LANE
C4.2	PAVING GRADING & DRAINAGE PLAN
C4.3	PAVING GRADING & DRAINAGE PLAN
C4.4	PAVING GRADING & DRAINAGE PLAN
C5.1	POTABLE WATER & SANITARY SEWER PLAN
C5.2	POTABLE WATER & SANITARY SEWER PLAN
C5.3	POTABLE WATER & SANITARY SEWER PLAN
C6.1	SECTIONS
C7.1	PAVING GRADING & DRAINAGE DETAILS
C8.1	WATER & WASTEWATER DETAILS

PROJECT INFORMATION

DEVELOPER: DS Eakins Construction
1481 Kinetic Rd, West Palm Beach,
FL 33403
Tel. (561) 842-0001

SURVEY PREPARED BY: MAXWELL GEOSPATIAL, INC.
565 39th Court SW
Vero Beach, FL 32968
Tel. (772) 925-1060
Date 02/12/2019

PLANNER: Gentile Glas Holloway O'Mahoney & Associates
1907 Commerce Lane, Suite 101
Jupiter, Florida 33458
Tel. (561) 575-9557

AERIAL : Bing: 2018

PROJECT ADDRESS : 3798 Selvitz Road, Fort
Pierce, FL 34981

NOTES:

1. ELEVATIONS SHOWN HEREON ARE SHOWN IN FEET AND DECIMAL PARTS THERE OF AND ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

Always call 811 two full business days before you dig



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Consulting Engineers • Construction Managers

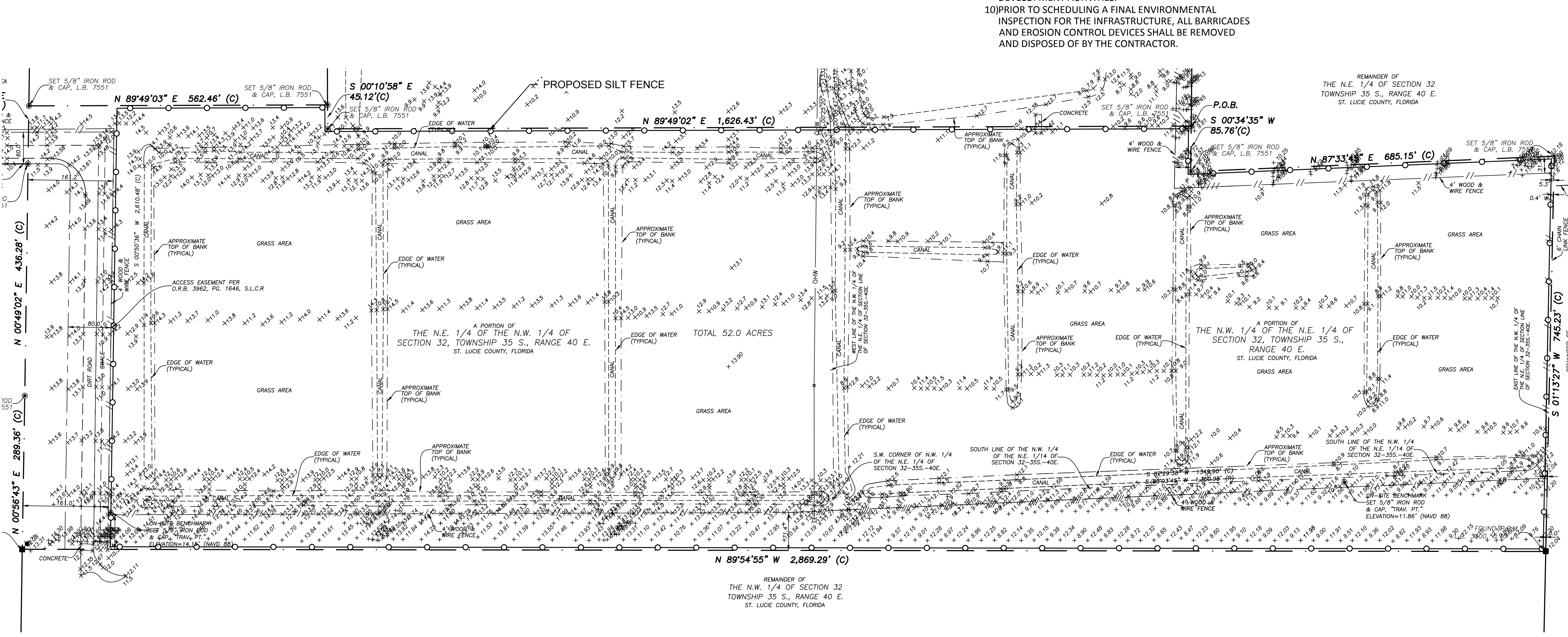
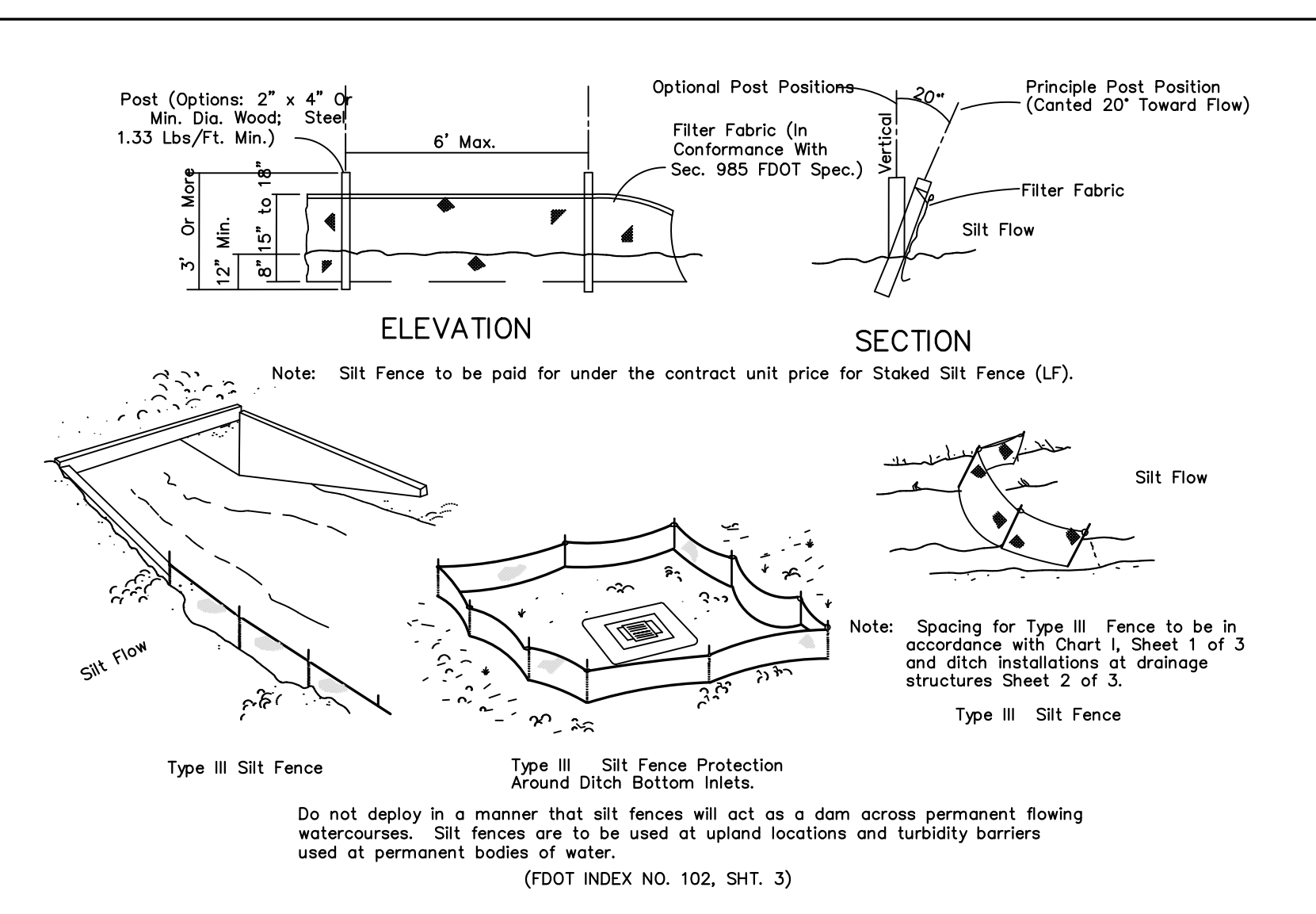
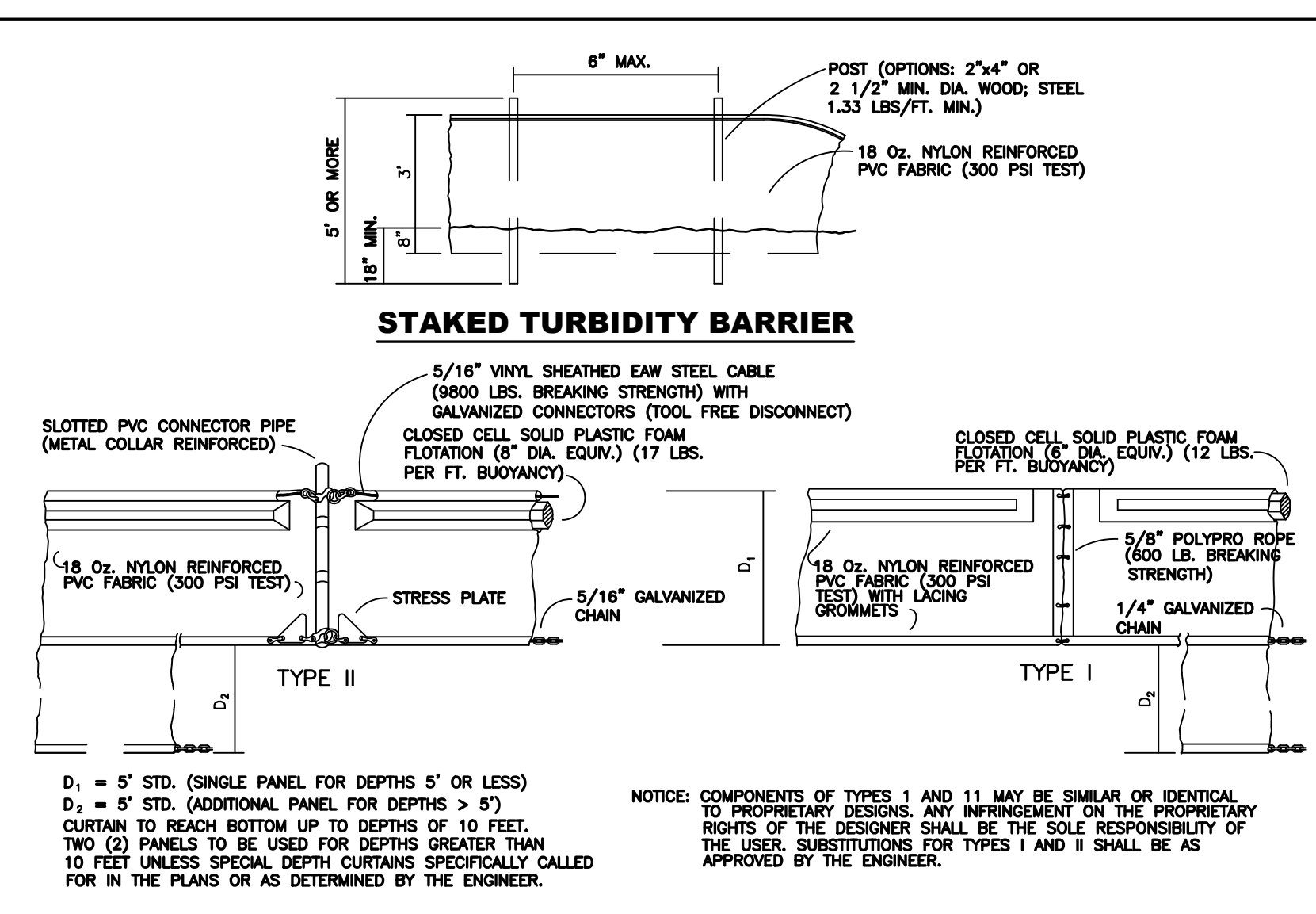
3450 Northlake Boulevard - Suite 200
Palm Beach Gardens, Florida 33403
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Toll - Free: (877) 630-6777
Fax: (561) 625-2770
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NOTE: PLANS MAY BE PRINTED IN DIFFERENT PAGE SIZES - ALWAYS CONFIRM SCALE USING SCALE BAR.

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LEGEND

- EXISTING FENCE
- PROPERTY LINE / ROW LINE
- - - - - EXISTING EDGE OF WATER
- - - - - EXISTING APPROX. TOP OF BANK
- - - - - EXISTING EASEMENTS
- - - - - EXISTING OVERHEAD UTILITIES
- SILT FENCE
- OHW
- EXISTING GRADES
- PROPOSED GRADES
- FM PROPOSED FORCE MAIN
- WS PROPOSED WATER SERVICE
- PROPOSED LANDSCAPE BUFFER
- PROPOSED FENCE

SCALE IN FEET: 0, 100', 200', 300'

PROJ. NO.: 1808
 DRAWN BY: RC
 SHEET: **C2.1**

REV. No.	DATE	DESCRIPTION

- NOTES**
- PIPES SHOWN TO BE REMOVED WITHIN THE INTERIOR OF THE SILT FENCE AREA ARE TYPICAL - CONTRACTOR TO REMOVE ALL INTERIOR PIPES.
 - ALL ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - AREAS WITHIN SILT FENCE SHALL BE CLEARED.
 - DISTURBED AREAS SHALL BE SODDED AFTER GRADING IS COMPLETE.
 - CLEARED AREAS NOT GRADED WITHIN 10 DAYS SHALL BE SEEDED TO ESTABLISH TEMPORARY STABILIZATION.
 - PROPERTY CORNERS SHALL BE LOCATED BY A LICENSED LAND SURVEYOR AND CLEARLY MARKED IN THE FIELD PRIOR TO THE ENGINEERING DEPARTMENTS PRE-CONSTRUCTION MEETING FOR SITE DEVELOPMENT.
 - AUTHORIZATION TO INSTALL EROSION CONTROL DEVICES AND PRESERVE BARRICADES WILL BE GRANTED AT THE PRE-CONSTRUCTION MEETING. THE AUTHORIZATION SHALL BE POSTED ON THE SITE, IN THE PERMIT BOX, ITS LOCATION SHOWN ON THIS PAGE.
 - NO ADDITIONAL LAND CLEARING SHALL COMMENCE UNTIL A SATISFACTORY INSPECTION OF THE REQUIRED EROSION CONTROL BARRICADES HAS BEEN OBTAINED.
 - ALL CONSTRUCTION BARRICADES AND SILT FENCES WILL REMAIN IN PLACE AND BE MONITORED FOR COMPLIANCE BY THE PERMIT HOLDER DURING THE PERMITTED DEVELOPMENT ACTIVITIES.
 - PRIOR TO SCHEDULING A FINAL ENVIRONMENTAL INSPECTION FOR THE INFRASTRUCTURE, ALL BARRICADES AND EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.

SEAL

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 JONATHAN T. RICKETS

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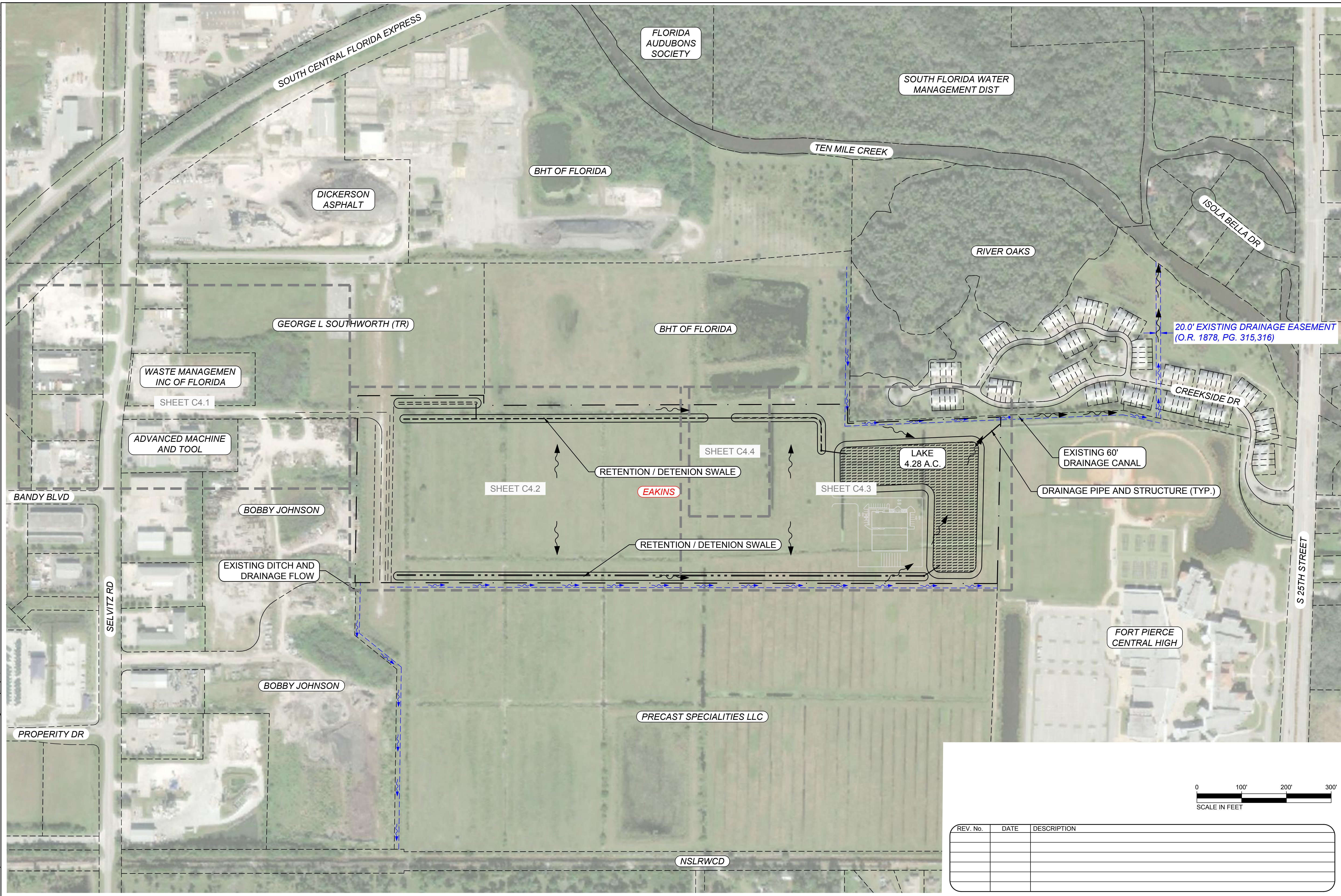
PROPOSED FACILITY FOR
D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
 SELVITZ ROAD, FORT PIERCE
 ST. LUCIE COUNTY, FLORIDA

EROSION CONTROL & DEMOLITION PLAN

LAT 27°23'35.64"N
 LONG 80°21'32.61"W

PROJ. NO.: 1808
 DRAWN BY: RC
 SHEET: **C2.1**

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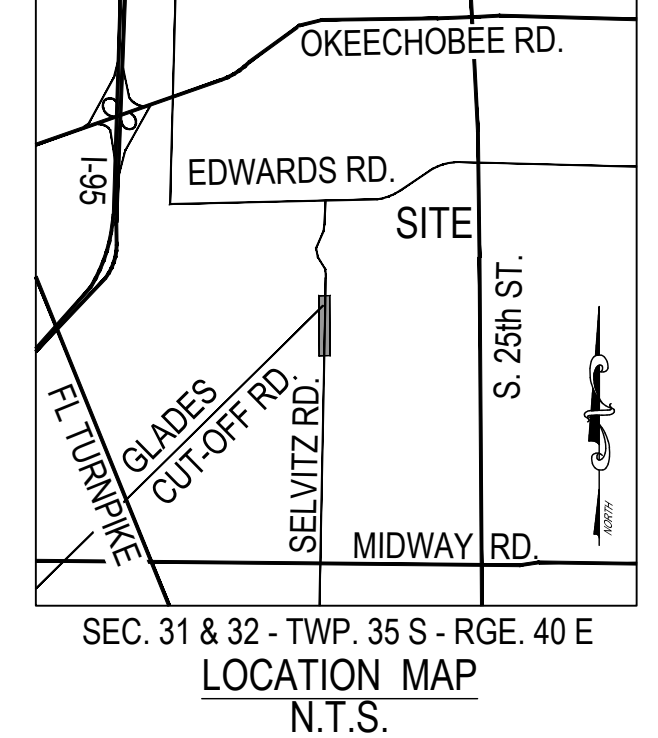
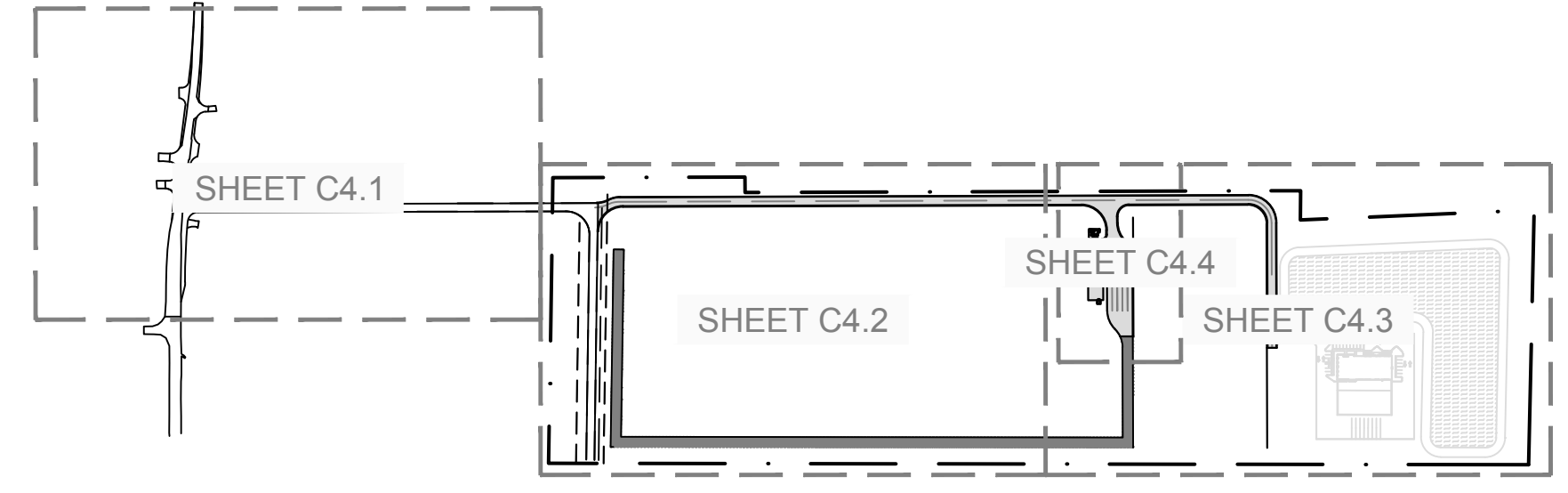
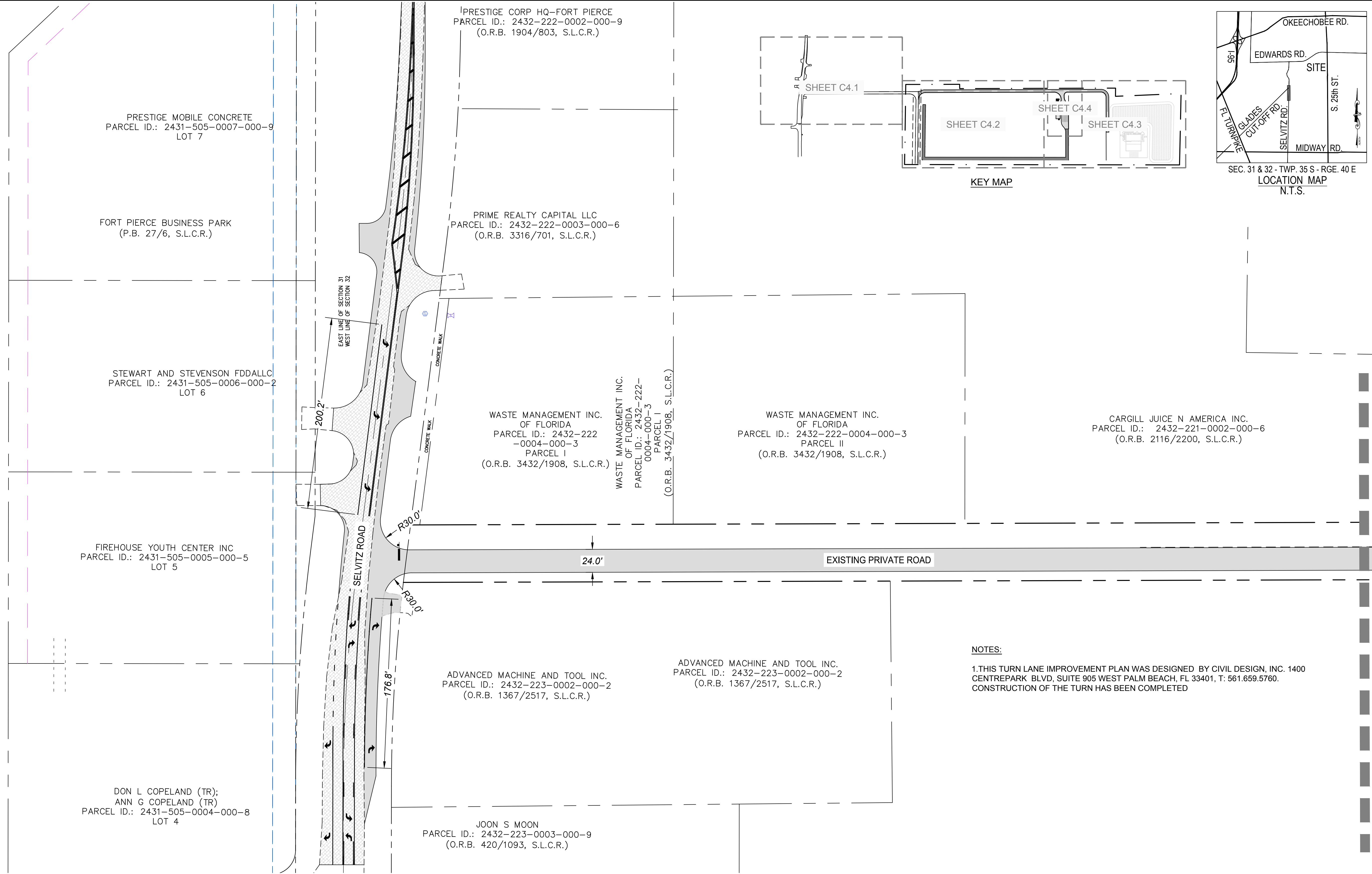
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 LON 80°21'32.61"W
 ST. LUCIE COUNTY, FLORIDA

PROPOSED FACILITY FOR
D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
 SELVITZ ROAD, FORT PIERCE

MASTER DRAINAGE PLAN

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C3.1

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NOTES:
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MATCH LINE - See Sheet C4.2

PROPOSED FACILITY FOR
D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
SELVITZ ROAD, FORT PIERCE
ST. LUCIE COUNTY, FLORIDA

LAT 27°23'35.64"N
LON 80°21'32.61"W

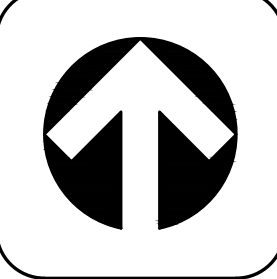
SELVITZ ROAD EXISTING TURN LANE

PROJ. NO.: 1808
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SHEET:
C4.1

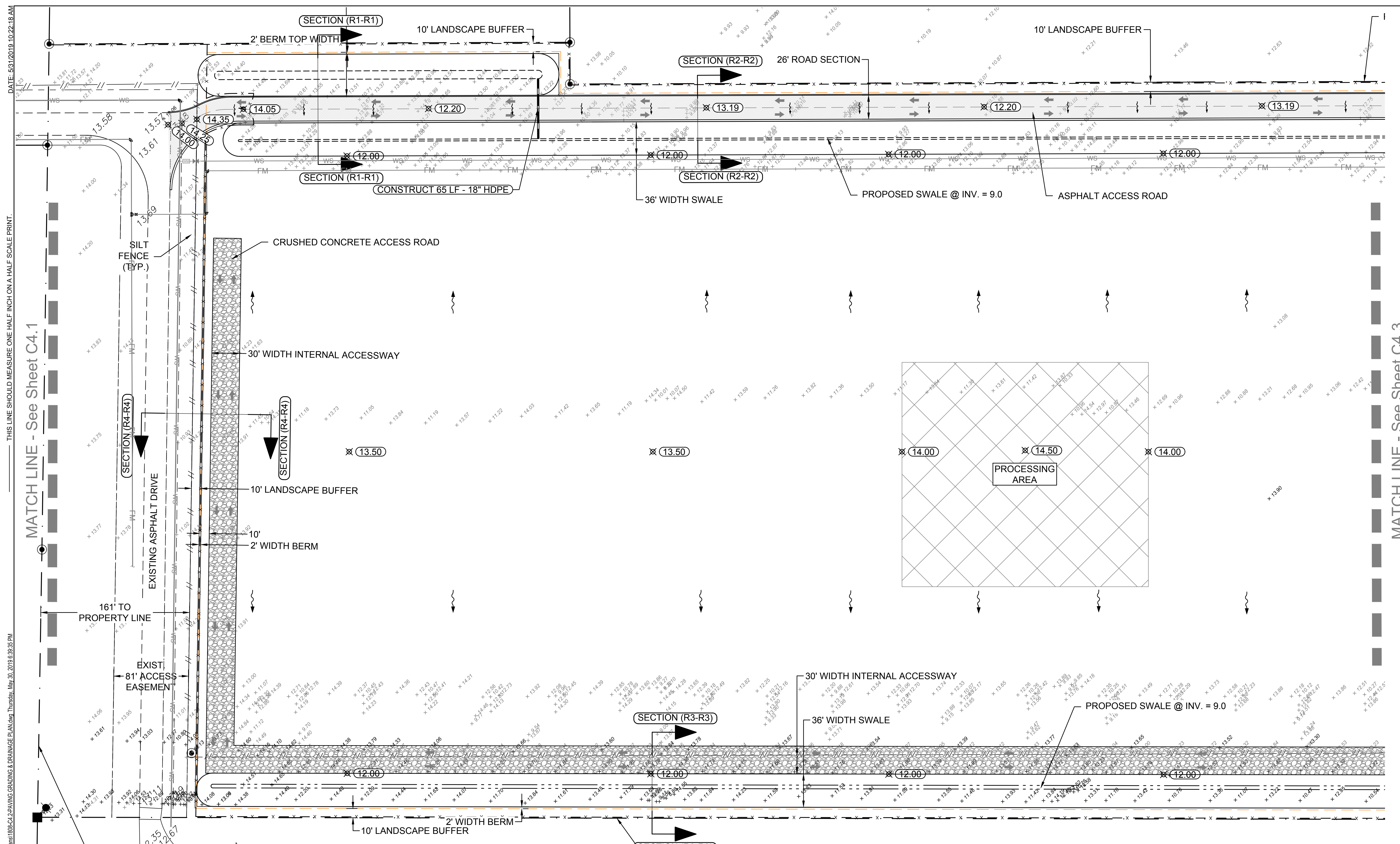
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JONATHAN T. RICKETS

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- - - - - EXISTING EDGE OF WATER
- - - - - EXISTING APPROX. TOP OF BANK
- - - - - EXISTING EASEMENTS
- - - - - SILT FENCE
- - - - - EXISTING OVERHEAD UTILITIES
- EXISTING GRADES
- PROPOSED GRADES
- PROPOSED FORCE MAIN
- PROPOSED WATER SERVICE
- PROPOSED LANDSCAPE BUFFER
- PROPOSED FENCE

Scale: 0 50' 100' 150'

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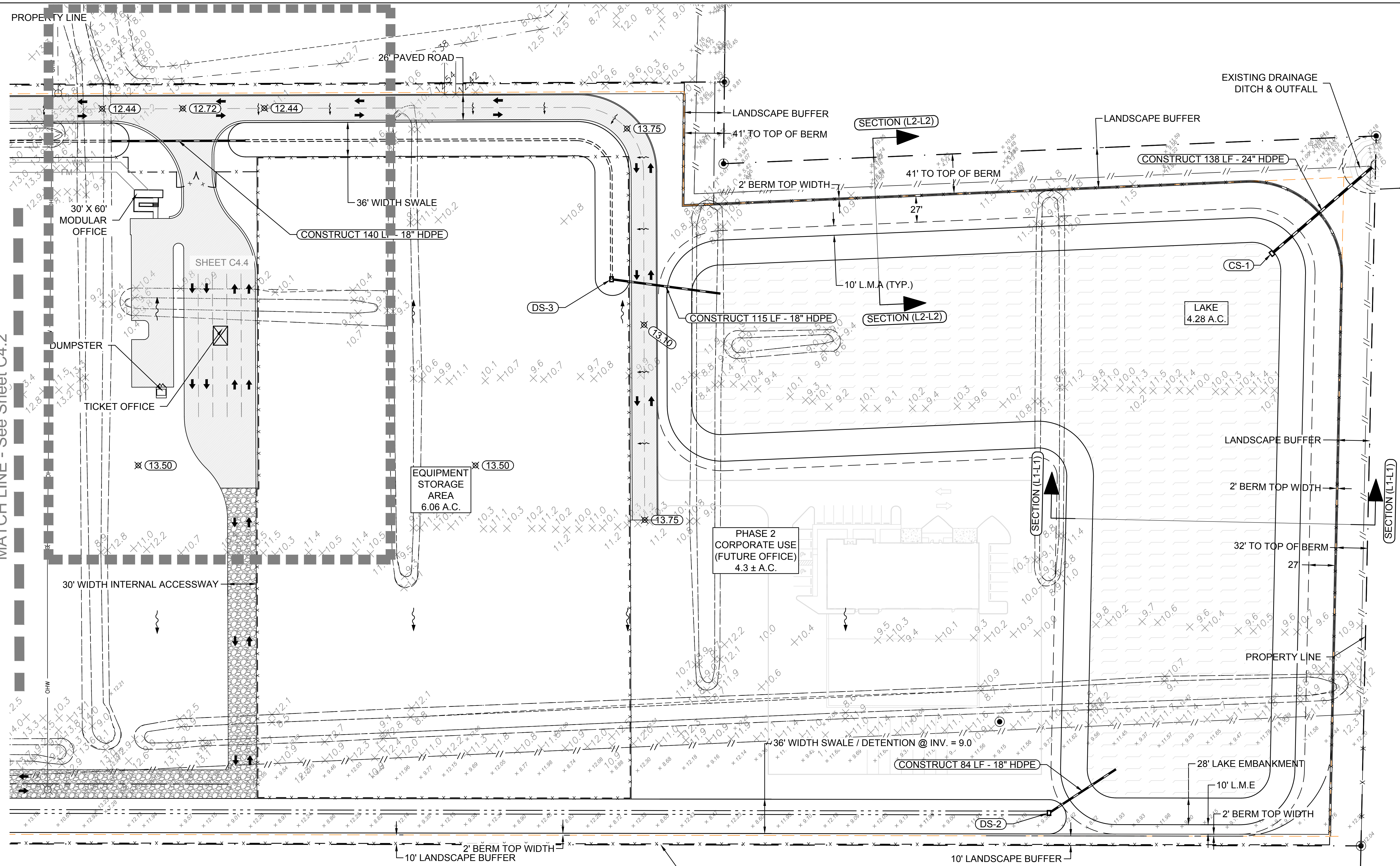
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PROPOSED FACILITY FOR
 D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
 SELVITZ ROAD, FORT PIERCE
 ST. LUCIE COUNTY, FLORIDA

PROJ. NO.: 1808
 DRAWN BY: RC
 SHEET:
C4.2

DATE: 03/12/2019 10:22:43 AM
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 THIS LINE SHOULD MEASURE ONE HALF INCH ON A HALF SCALE PRINT.
 MATCH LINE - See Sheet C4.2



LEGEND

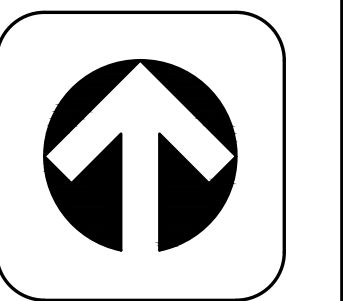
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- — — — — EXISTING FENCE
- — — — — EXISTING EDGE OF WATER
- — — — — EXISTING APPROX. TOP OF BANK
- — — — — EXISTING EASEMENTS
- — — — — EXISTING OVERHEAD UTILITIES
- — — — — SILT FENCE
- — — — — EXISTING GRADES
- — — — — PROPOSED GRADES
- — — — — PROPOSED FORCE MAIN
- — — — — PROPOSED WATER SERVICE
- — — — — PROPOSED LANDSCAPE BUFFER
- — — — — PROPOSED FENCE



REV. No.	DATE	DESCRIPTION

SEAL
 05/31/19
 F.L.P.E. No. 38799
 JONATHAN T. RICKETS

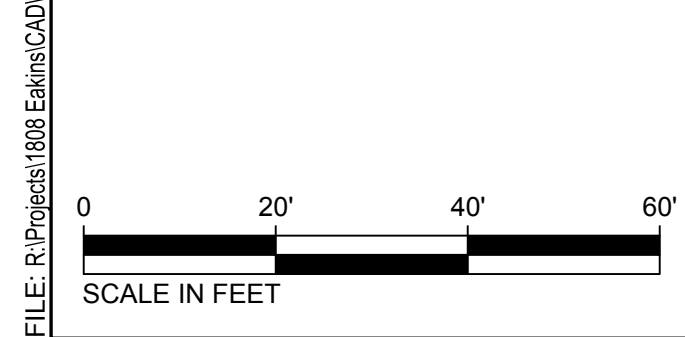
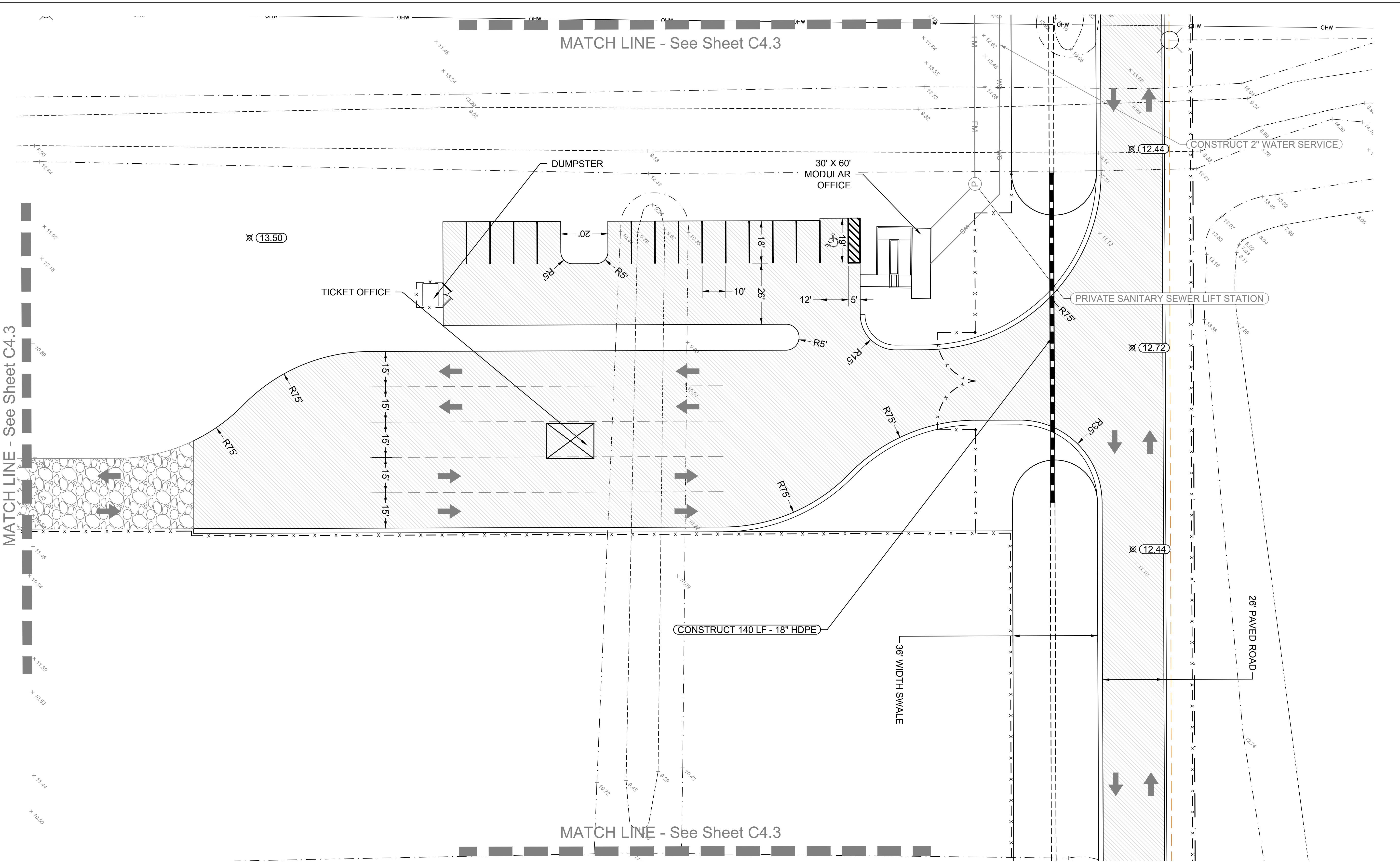
3450 Northlake Boulevard, Suite 200
 Palm Beach Gardens, Florida 33403
 Phone: (561) 630-6700
 Toll - Free: (877) 630-6777
 Fax: (561) 625-2770
 FL Certificate of Authorization: 6173
 NC Certificate of Authorization: C-2761
JTR
 Jonathan T. Ricketts, Inc.
 LANDSCAPE ARCHITECTS & ENGINEERS



PROPOSED FACILITY FOR
D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
 SELVITZ ROAD, FORT PIERCE
 ST. LUCIE COUNTY, FLORIDA
PAVING GRADING & DRAINAGE PLAN
 LAT 27°23'35.64"N
 LON 80°21'32.61"W

PROJ. NO.: 1808
 DRAWN BY: RC
 SHEET:
C4.3

DATE: 03/20/19 10:23:08 AM
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 MATCH LINE - See Sheet C4.3



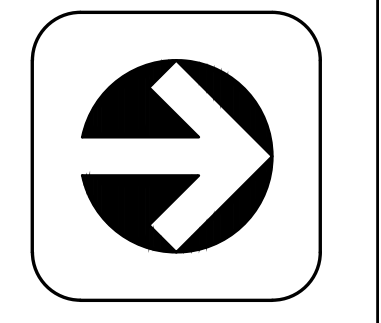
LEGEND

— — — — —	PROPERTY LINE / ROW LINE	— — — — —	EXISTING FENCE	— — — — —	EXISTING GRADES
— · — · — · —	PROPERTY LINE / ROW LINE	- - - - -	EXISTING EDGE OF WATER	— — — — —	PROPOSED GRADES
— · — · — · —	PROPERTY LINE / ROW LINE	- - - - -	EXISTING APPROX. TOP OF BANK	— — — — —	PROPOSED FORCE MAIN
— · — · — · —	PROPERTY LINE / ROW LINE	- - - - -	EXISTING EASEMENTS	— — — — —	PROPOSED WATER SERVICE
— · — · — · —	PROPERTY LINE / ROW LINE	- - - - -	EXISTING OVERHEAD UTILITIES	— — — — —	PROPOSED LANDSCAPE BUFFER
— · — · — · —	PROPERTY LINE / ROW LINE	- - - - -	EXISTING OVERHEAD UTILITIES	— — — — —	PROPOSED FENCE

REV. No.	DATE	DESCRIPTION

SEAL
 05/31/19
 Jonathan T. Ricketts
 F.L.P.E. No. 38789
 NC Certificate of Authorization: C-2761

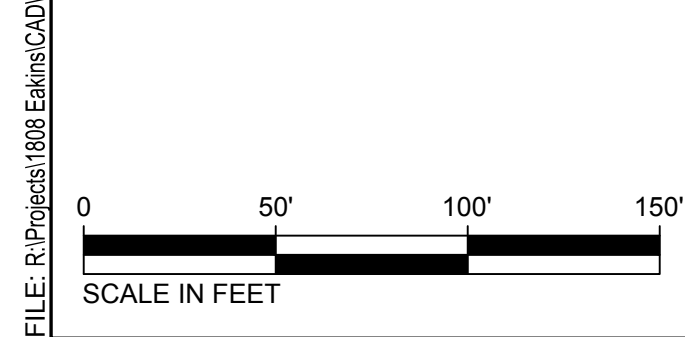
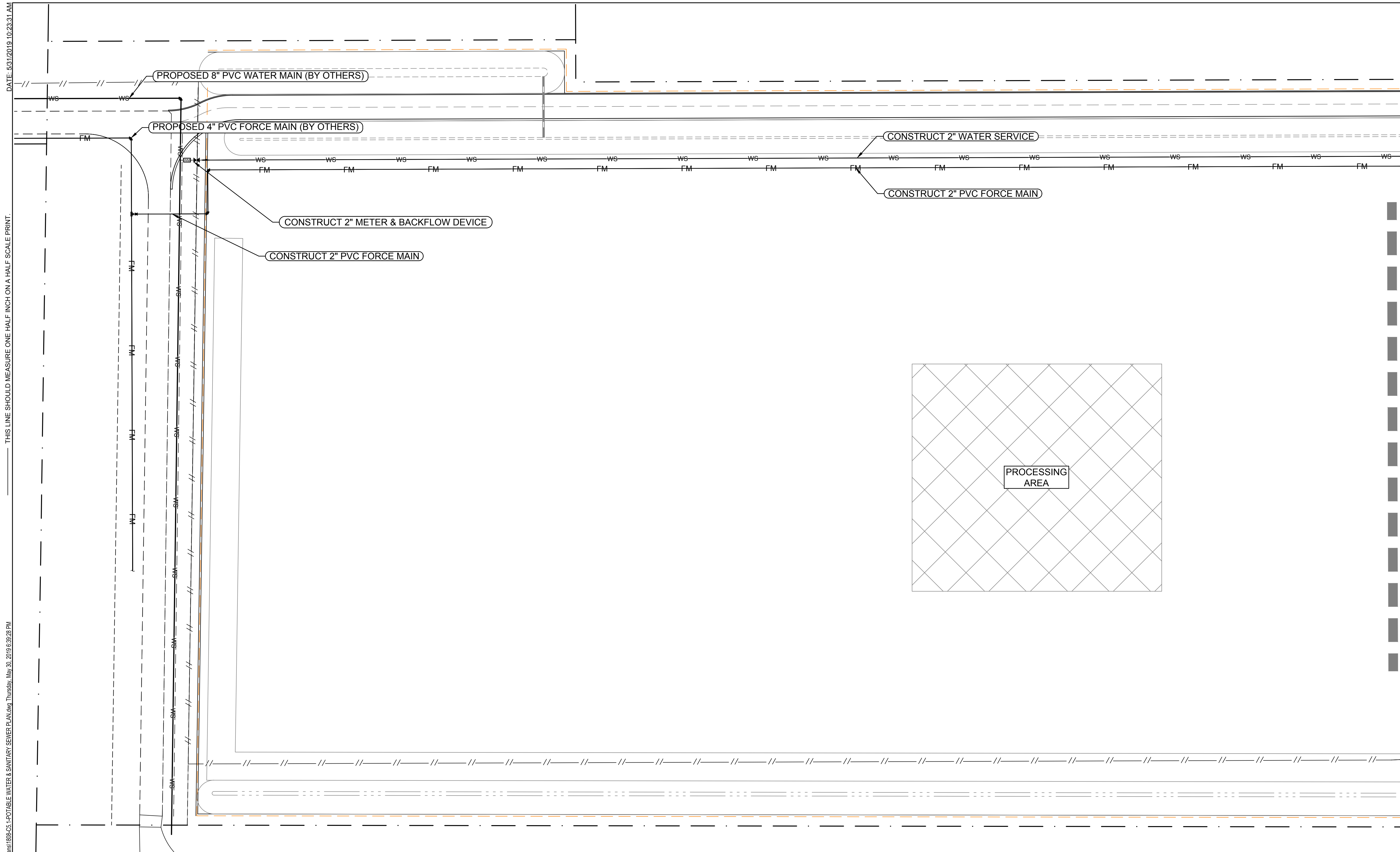
3450 Northlake Boulevard, Suite 200
 Palm Beach Gardens, Florida 33403
 Phone: (561) 630-6700
 Toll-Free: (877) 630-6777
 Fax: (561) 625-2770
JTR
 Jonathan T. Ricketts, Inc.
 A PROFESSIONAL ENGINEERING FIRM



PROPOSED FACILITY FOR
D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
 SELVITZ ROAD, FORT PIERCE
 ST. LUCIE COUNTY, FLORIDA
 LAT 27°23'35.64"N
 LON 80°21'32.61"W
PAVING GRADING & DRAINAGE PLAN

PROJ. NO.: 1808
 DRAWN BY: RC
 SHEET:
C4.4

FILE: R:\Projects\1808\Drawings\CAD\Plans\1808-C5 - POTABLE WATER & SANITARY SEWER PLAN.dwg, Thursday, May 30, 2019 6:39:28 PM DATE: 5/31/2019 10:23:31 AM THIS LINE SHOULD MEASURE ONE HALF INCH ON A HALF SCALE PRINT.



LEGEND

— — — — —	EXISTING FENCE	— — — — —	EXISTING GRADES
— — — — —	PROPERTY LINE / ROW LINE	— — — — —	PROPOSED GRADES
— — — — —	EXISTING EDGE OF WATER	— — — — —	PROPOSED FORCE MAIN
— — — — —	EXISTING APPROX. TOP OF BANK	— — — — —	PROPOSED WATER SERVICE
— — — — —	EXISTING EASEMENTS	— — — — —	PROPOSED LANDSCAPE BUFFER
— — — — —	EXISTING OVERHEAD UTILITIES	— — — — —	PROPOSED FENCE
— — — — —	EXISTING OVERHEAD UTILITIES	— — — — —	

REV. No.	DATE	DESCRIPTION

MATCH LINE - See Sheet C5.2

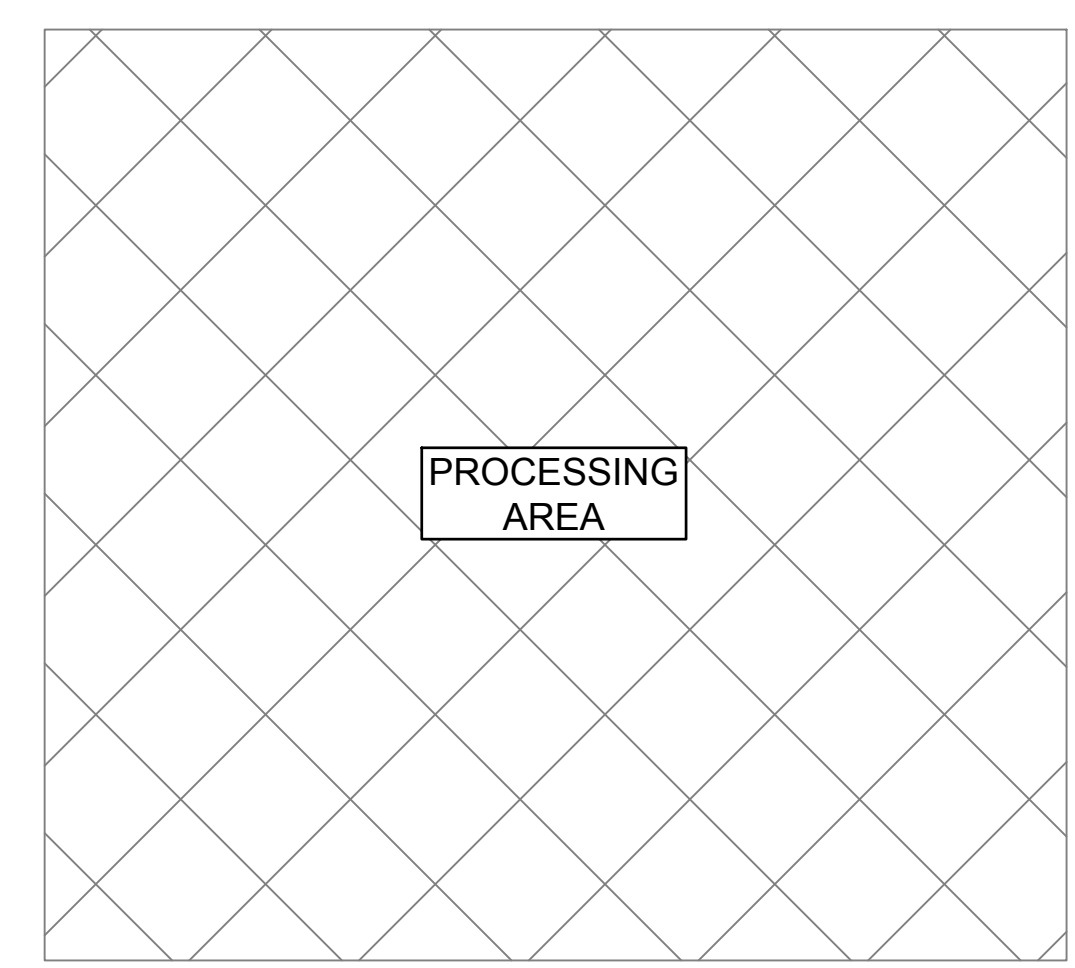
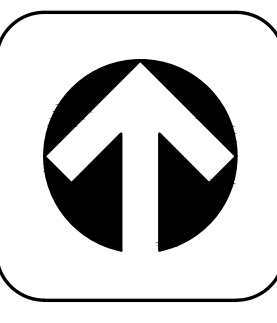
PROPOSED FACILITY FOR
D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
 SELVITZ ROAD, FORT PIERCE
 ST. LUCIE COUNTY, FLORIDA

PROJ. NO.: 1808
 DRAWN BY: RC
 SHEET:
C5.1

SEAL
 05/31/19
 FL P.E. No. 38799
 JONATHAN T. RICKETS

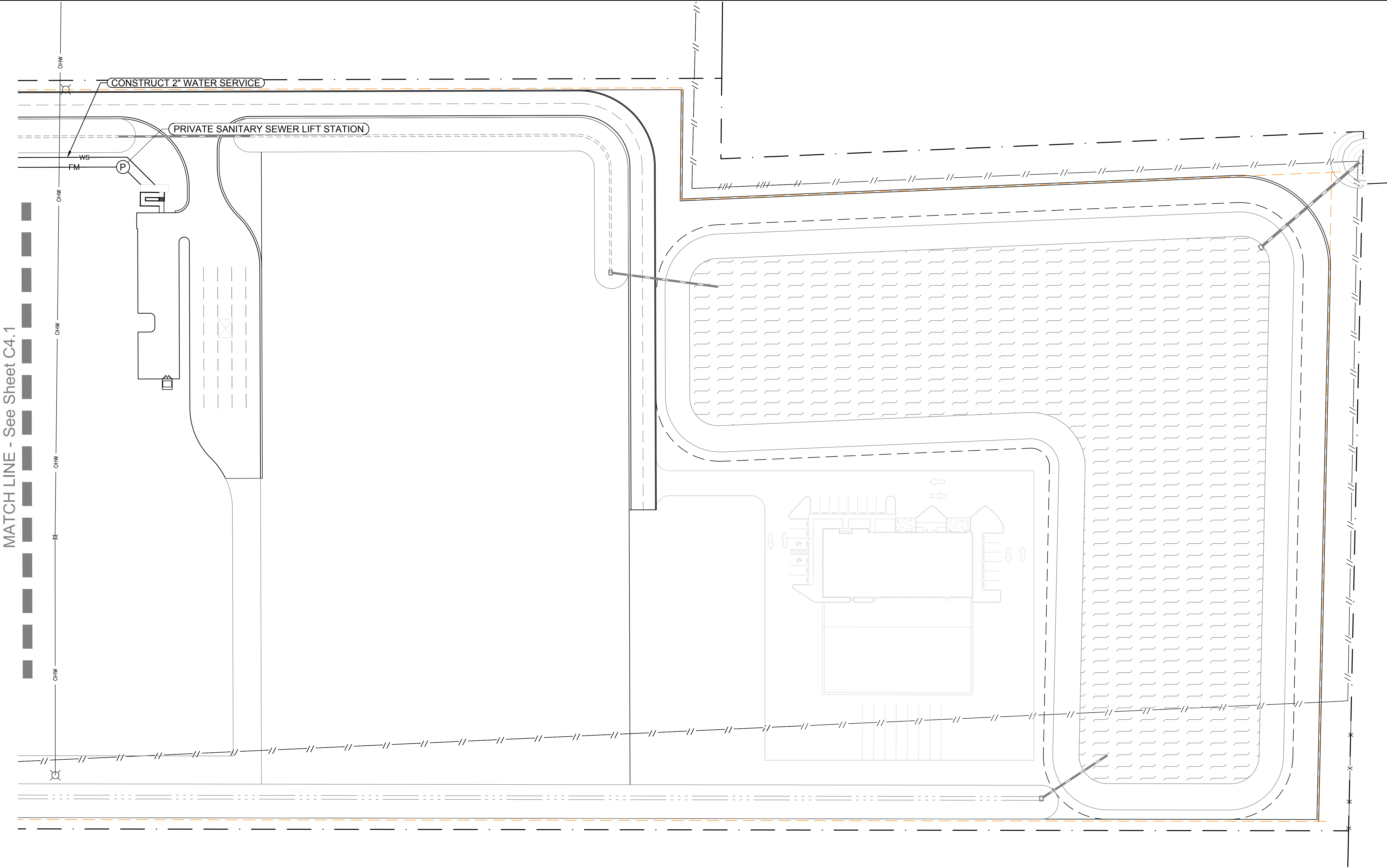
3450 Northlake Boulevard, Suite 200
 Palm Beach Gardens, Florida 33403
 Phone: (561) 630-6700
 Toll - Free: (877) 630-6777
 Fax: (561) 625-2770
 FL Certificate of Authorization: 6173
 NC Certificate of Authorization: C-2761

JTR
 Jonathan T. Ricketts, Inc.
 ENGINEERS, ARCHITECTS & PLANNERS



FILE: R:\Projects\1808 Eakins\CAD\Plans\1808-C5-POTABLE WATER & SANITARY SEWER PLAN.dwg, Thursday, May 30, 2019 6:39:24 PM DATE: 5/31/2019 10:23:55 AM

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MATCH LINE - See Sheet C4.1



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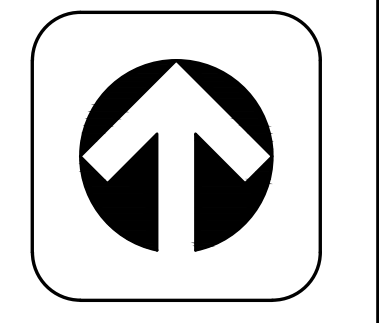
- — — — — PROPERTY LINE / ROW LINE
- — — — — EXISTING FENCE
- — — — — EXISTING EDGE OF WATER
- — — — — EXISTING APPROX. TOP OF BANK
- — — — — EXISTING EASEMENTS
- — — — — EXISTING OVERHEAD UTILITIES
- — — — — SILT FENCE
- — — — — PROPOSED GRADES
- — — — — PROPOSED FORCE MAIN
- — — — — PROPOSED WATER SERVICE
- — — — — PROPOSED LANDSCAPE BUFFER
- — — — — PROPOSED FENCE

X10.1
12.00

REV. No.	DATE	DESCRIPTION

PROJ. NO.: 1808
DRAWN BY: RC
SHEET:
C5.2

PROPOSED FACILITY FOR
D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
SELVITZ ROAD, FORT PIERCE
ST. LUCIE COUNTY, FLORIDA
LAT 27°23'35.64"N
LON 80°21'32.61"W



JTR
Jonathan T. Ricketts, Inc.
3450 Northlake Boulevard, Suite 200
Palm Beach Gardens, Florida 33403
Phone: (561) 630-6700
Toll - Free: (877) 630-6777
Fax: (561) 625-2770
FL Certificate of Authorization: 6173
NC Certificate of Authorization: C-2761

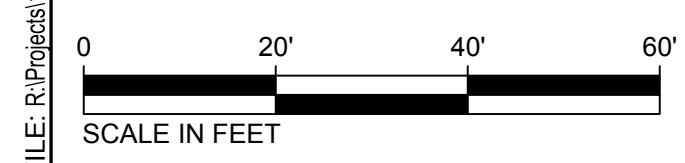
SEAL
05/31/19
JONATHAN T. RICKETTS

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MATCH LINE - See Sheet C5.2

MATCH LINE - See Sheet C5.2

MATCH LINE - See Sheet C5.2



LEGEND

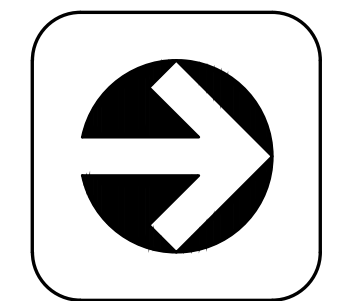
- — — — — PROPERTY LINE / ROW LINE
- — — — — EXISTING FENCE
- — — — — EXISTING EDGE OF WATER
- — — — — EXISTING APPROX. TOP OF BANK
- — — — — EXISTING EASEMENTS
- — — — — EXISTING OVERHEAD UTILITIES
- — ○ — ○ — SILT FENCE
- — — — — EXISTING GRADES
- — — — — PROPOSED GRADES
- — — — — PROPOSED FORCE MAIN
- — — — — PROPOSED WATER SERVICE
- — — — — PROPOSED LANDSCAPE BUFFER
- — — — — PROPOSED FENCE

REV. No.	DATE	DESCRIPTION



SEAL
05/31/19
FL P.E. No. 38789
JONATHAN T. RICKETS

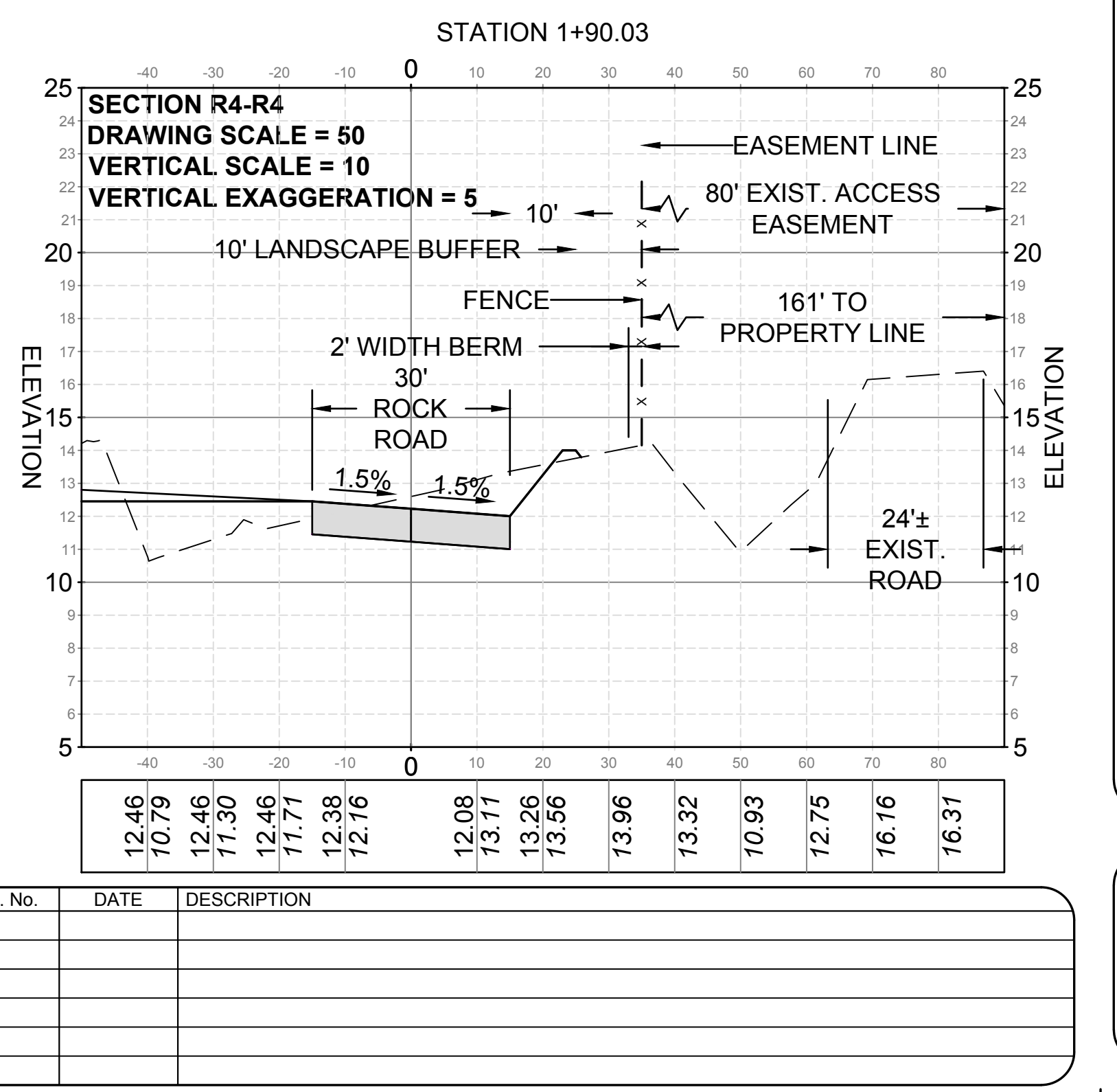
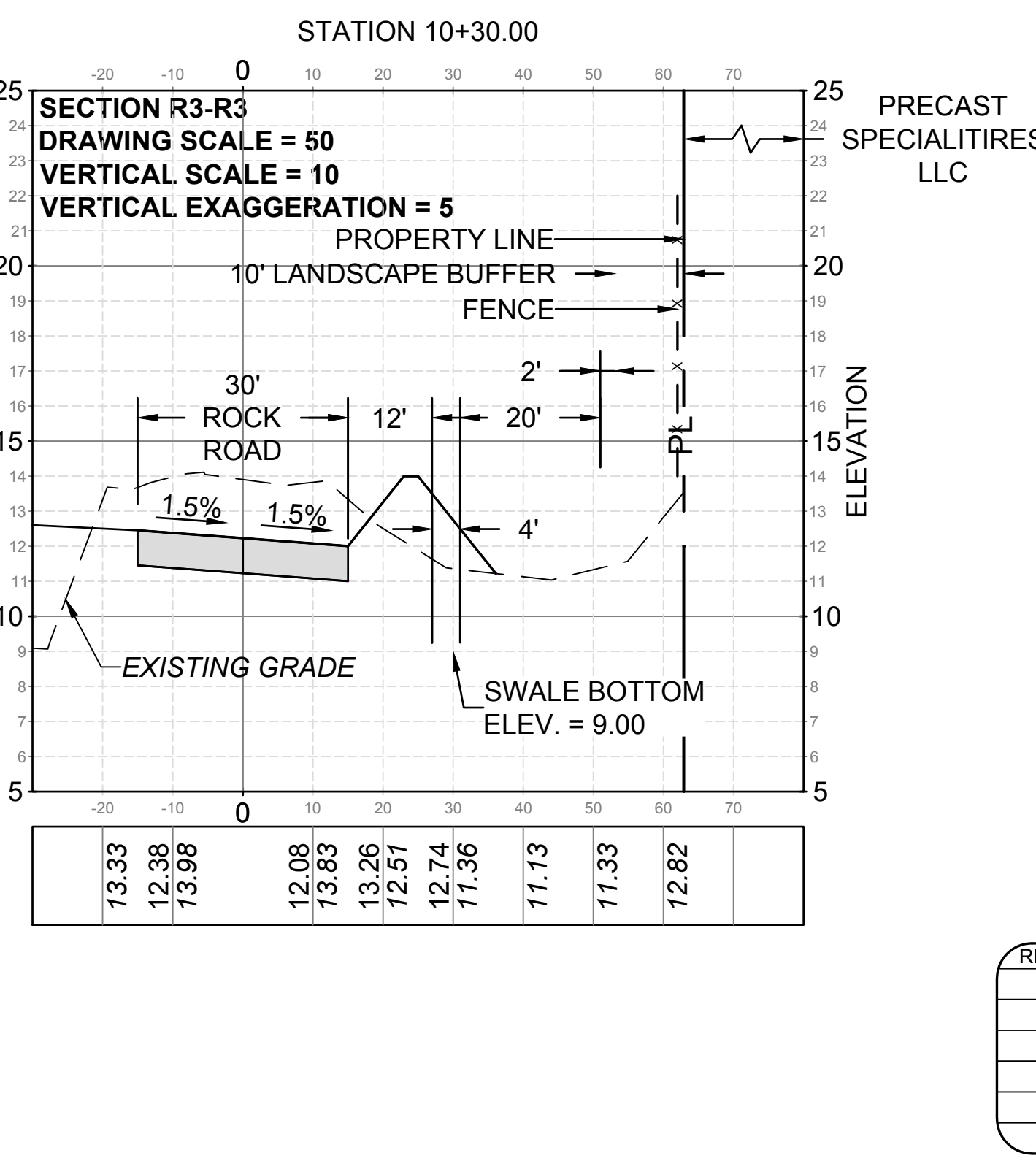
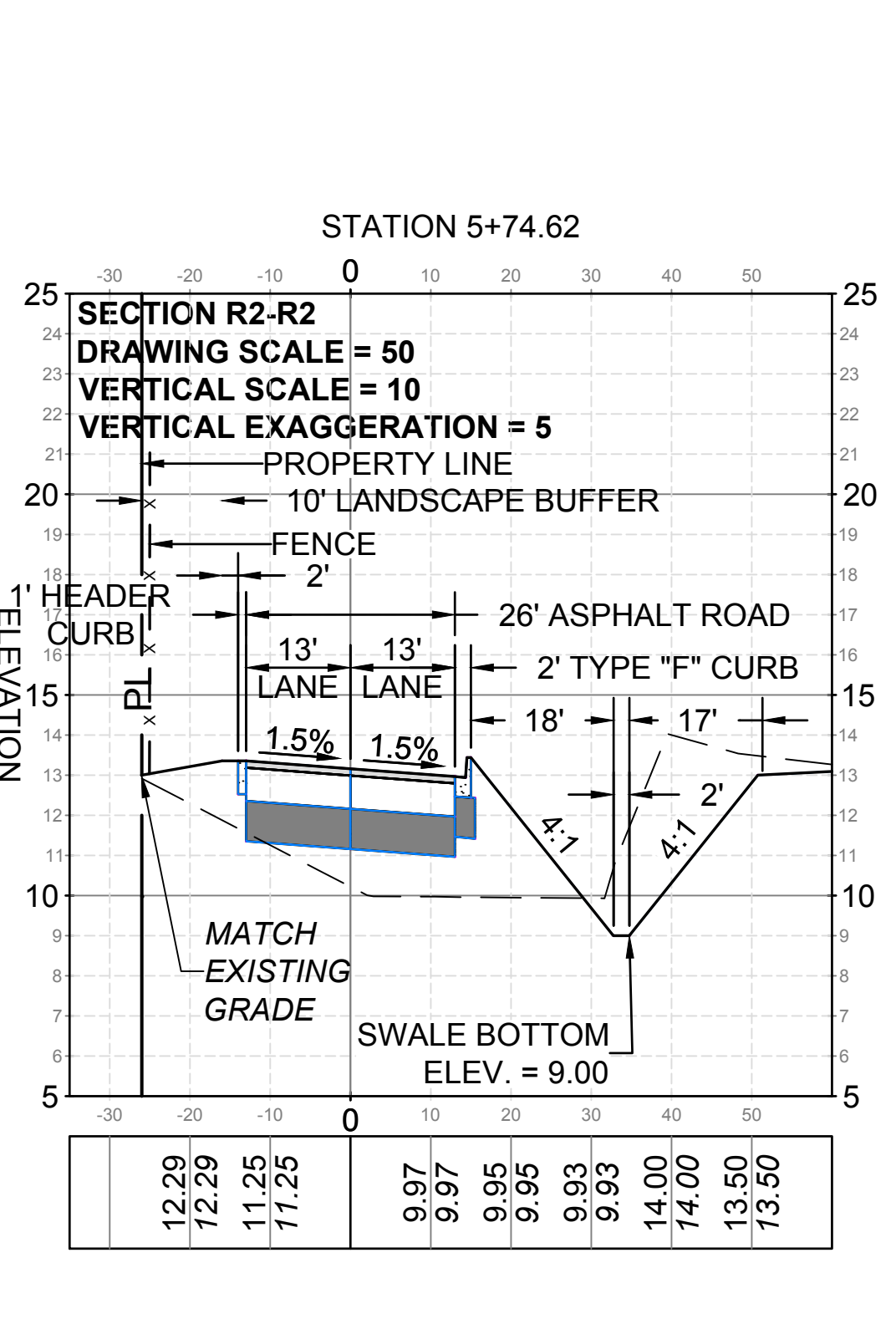
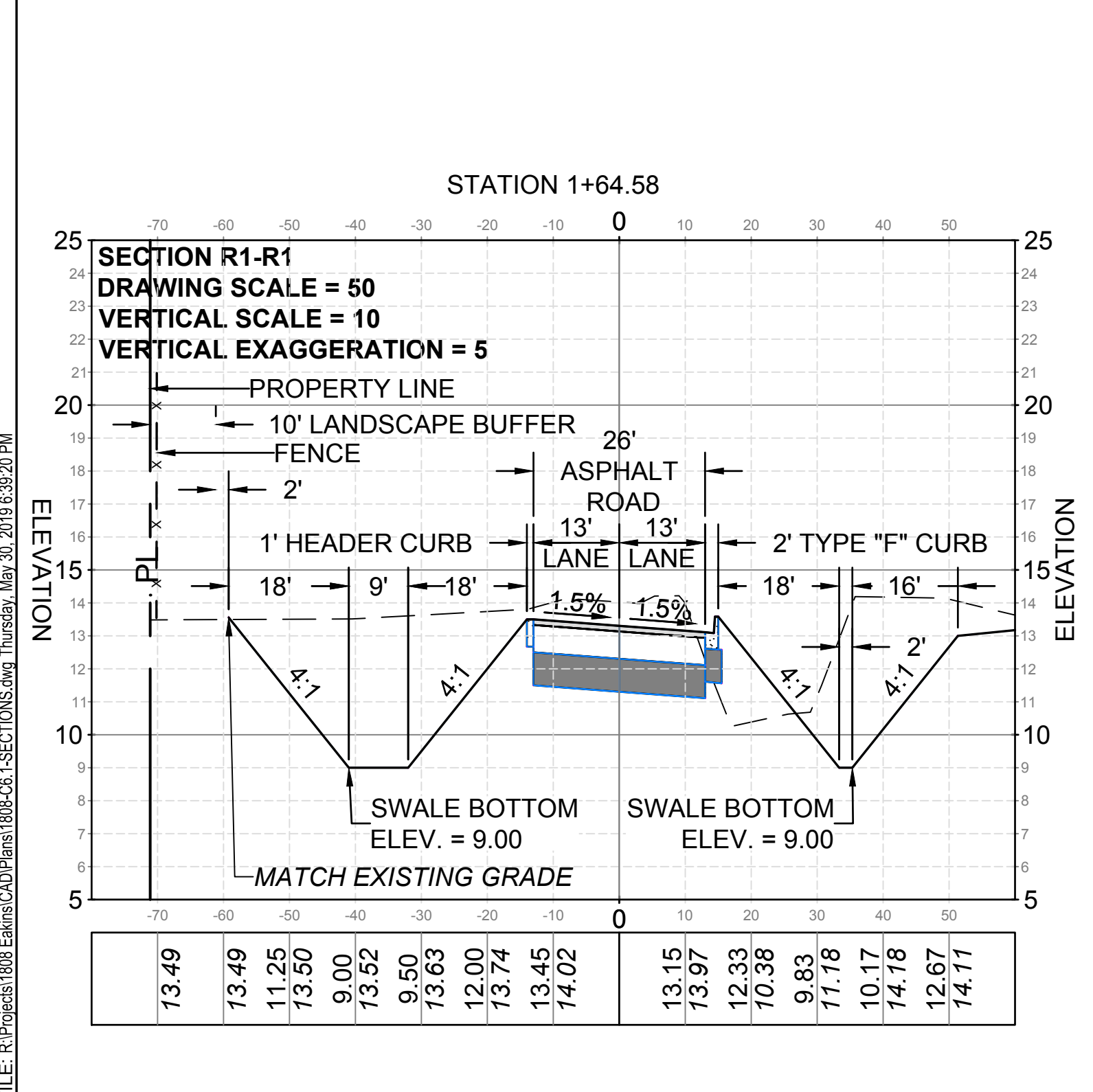
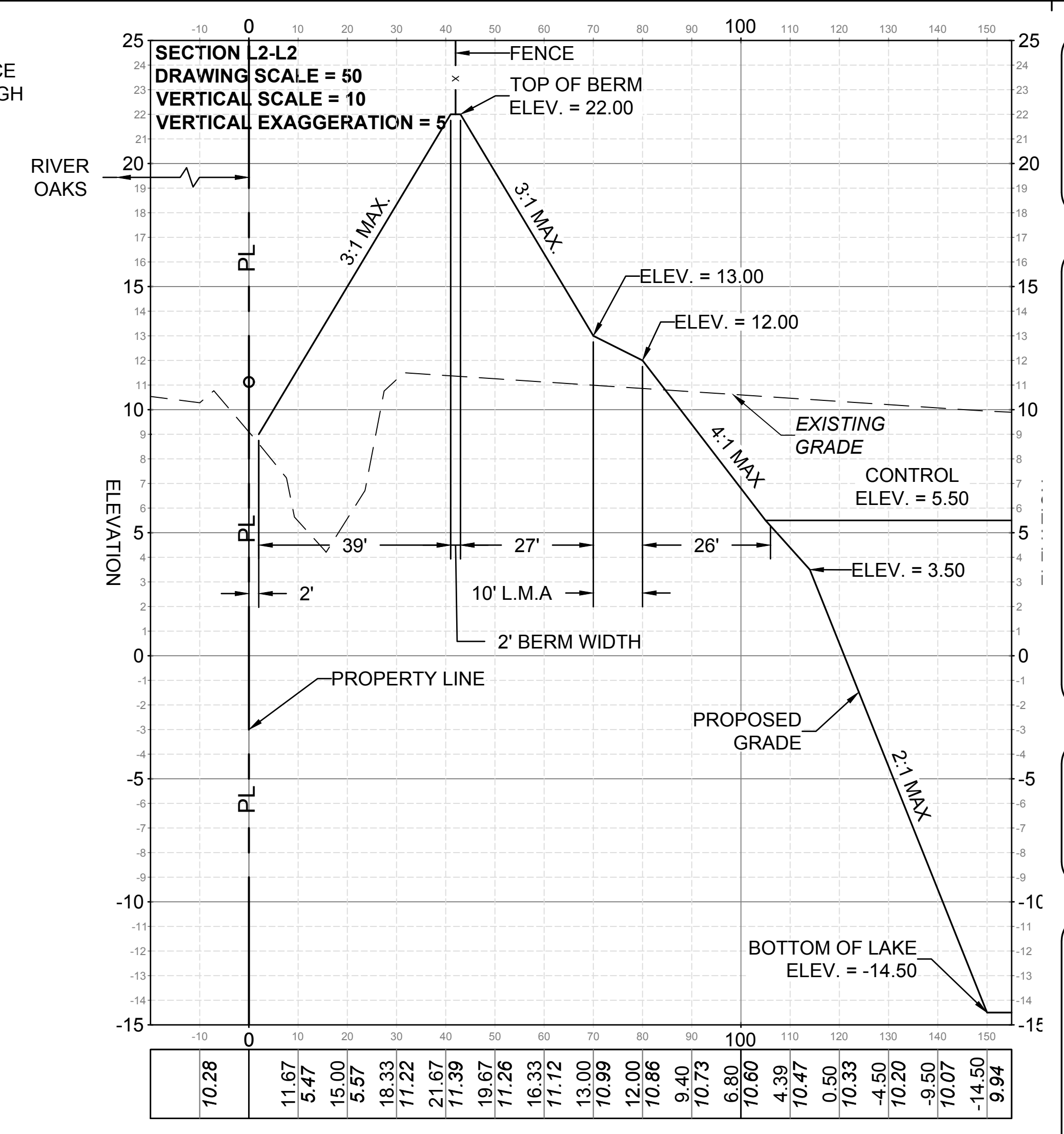
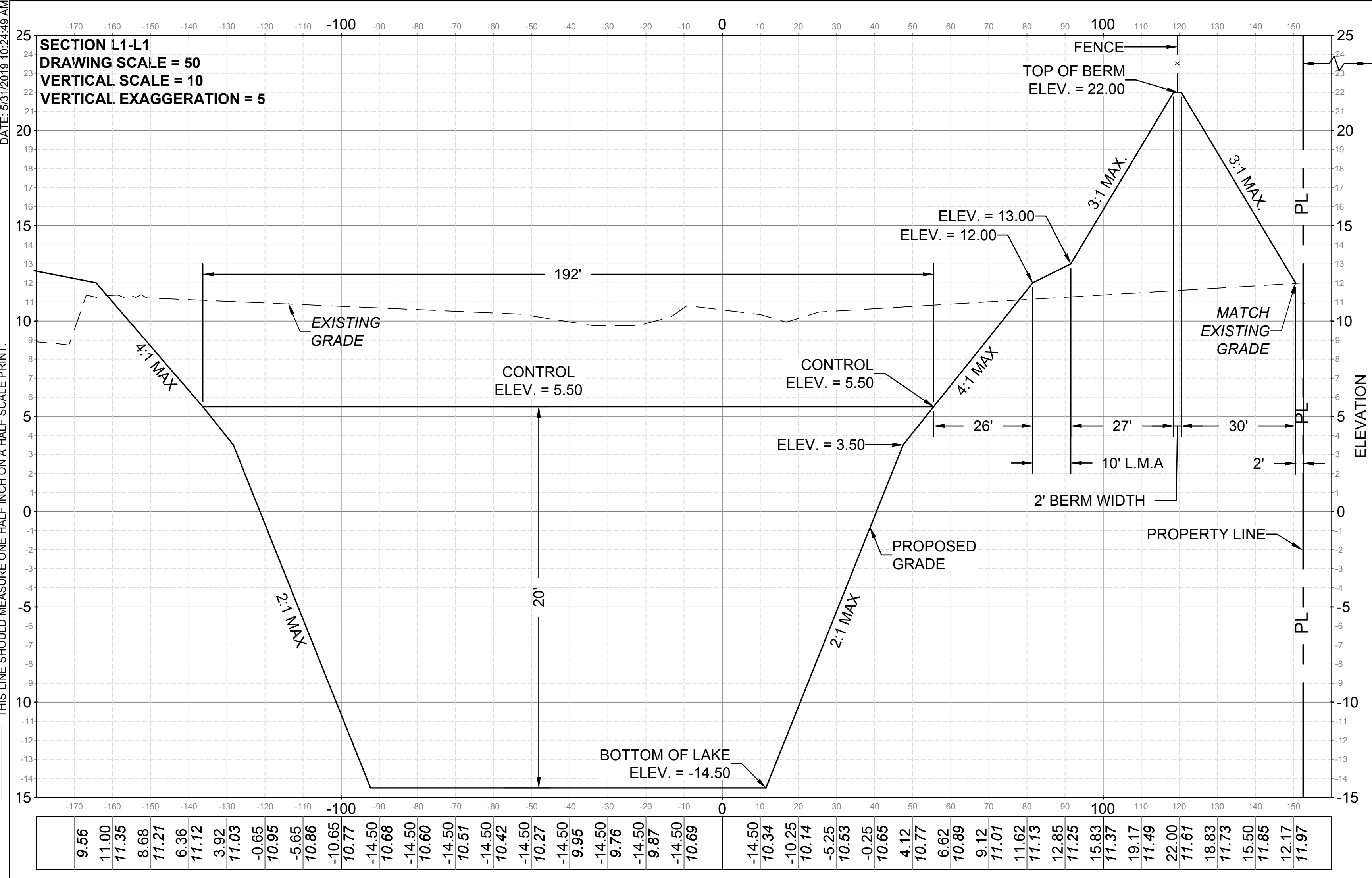
JTR
Jonathan T. Ricketts, Inc.
3450 Northlake Boulevard, Suite 200
Palm Beach Gardens, Florida 33403
Phone: (561) 630-6700
Toll-Free: (877) 630-6777
Fax: (561) 625-2770
FL Certificate of Authorization: 6173
NC Certificate of Authorization: C-2761



PROPOSED FACILITY FOR
D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
SELVITZ ROAD, FORT PIERCE
ST. LUCIE COUNTY, FLORIDA
LAT 27°23'35.64"N
LON 80°21'32.61"W
POTABLE WATER & SANITARY SEWER PLAN

PROJ. NO.: 1808
DRAWN BY: RC
SHEET:
C5.3

DATE: 5/31/2019 10:24:49 AM
THIS LINE SHOULD MEASURE ONE HALF INCH ON A HALF SCALE PRINT.
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REV. No.	DATE	DESCRIPTION

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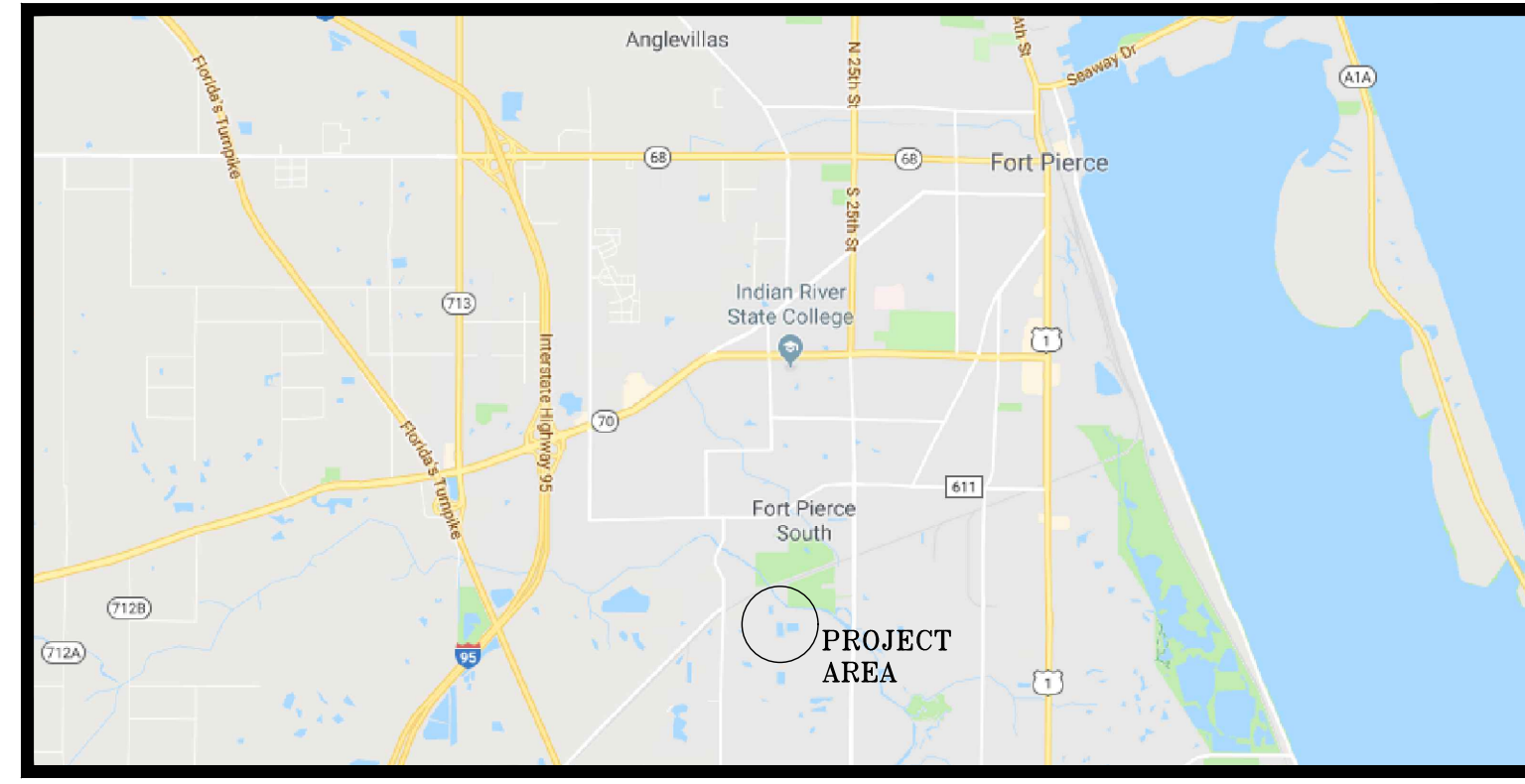
05/31/19
FL P.E. No. 38799
JONATHAN T. RICKETS

3450 Northlake Boulevard, Suite 200
Palm Beach Gardens, Florida 33403
Phone: (561) 630-6700
Toll-Free: (877) 630-6777
Fax: (561) 625-2770
FL Certificate of Authorization: 6173
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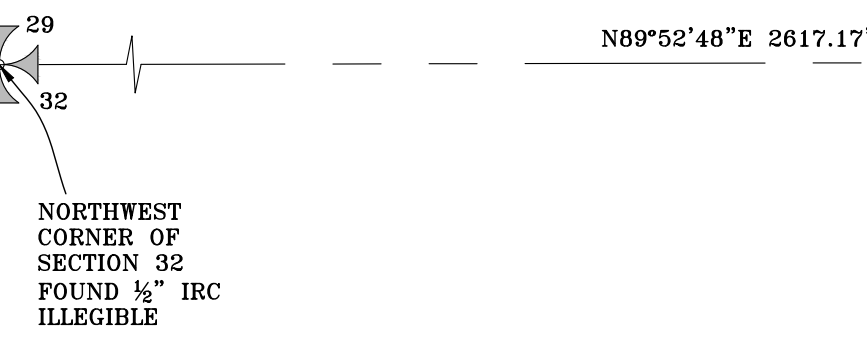
JTR
Jonathan T. Ricketts, Inc.
Professional Engineer/Professional Surveyor

LAT 27°23'35.64"N
LON 80°21'32.61"W
PROPOSED FACILITY FOR
D.S.E. HOLDINGS AGGREGATE RECYCLING FACILITY
SELVITZ ROAD, FORT PIERCE
ST. LUCIE COUNTY, FLORIDA

PROJ. NO.: 1808
DRAWN BY: RC
SHEET:
C6.1

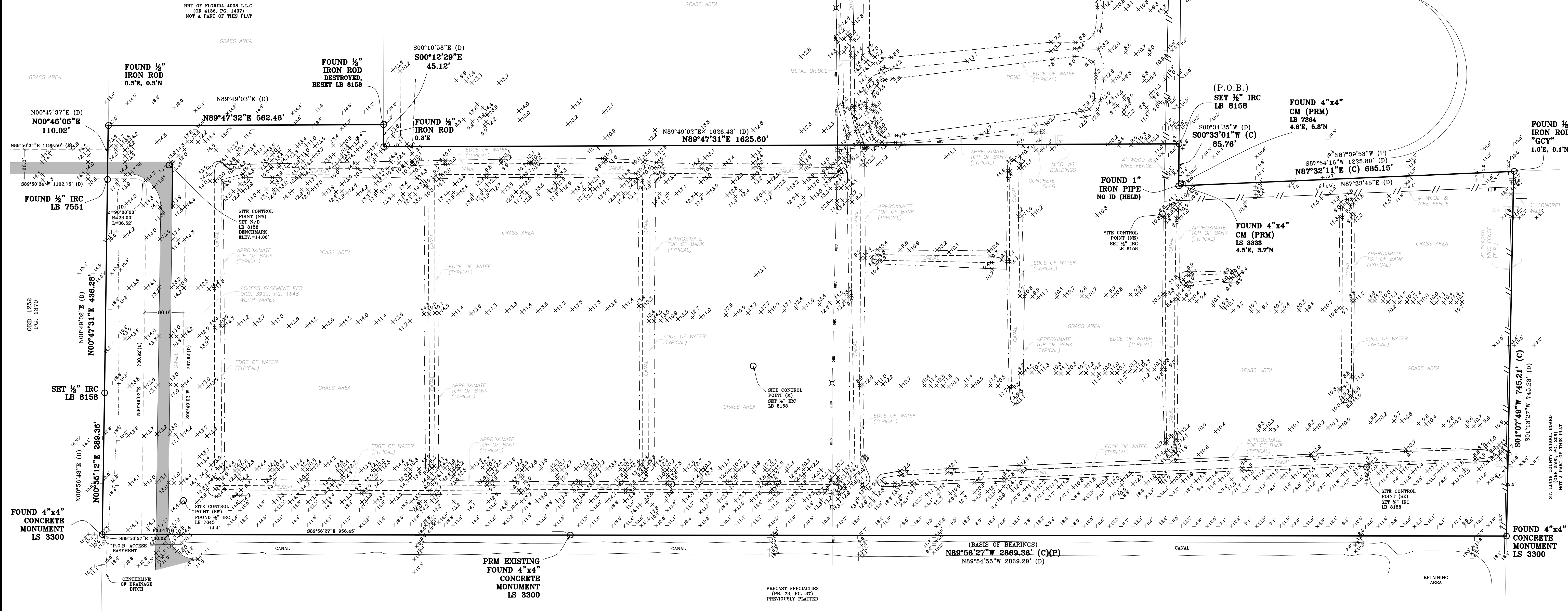


SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: A PORTION OF THE NORTHWEST 1/4 & THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST



BHT OF FLORIDA 4008 L.L.C.
(OR 4131, PG. 1087)
NOT A PART OF THIS PLAT

BHT OF FLORIDA 4008 L.L.C.
(OR 4136, PG. 1437)
NOT A PART OF THIS PLAT



CERTIFICATION
THIS MAP REPRESENTS AN ACTUAL ON THE GROUND SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION. THIS MAP AND SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS MAP AND SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE AS CODIFIED IN CHAPTER 472, FLORIDA STATUTES, AND IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

P. CHAD MAXWELL, FLORIDA REGISTRATION #7070
PROFESSIONAL SURVEYOR AND MAPPER

SIGNATURE DATE

- NOTES**
1. THE EXPECTED USE OF THIS SURVEY AND MAP IS COMMERCIAL.
 2. THIS DOCUMENT IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 3. ANY REVISIONS MADE TO THIS DOCUMENT OR ASSOCIATED REPORTS WITHOUT THE WRITTEN CONSENT OF THE UNDERSIGNED WILL VOID THE SEAL WHICH HAS BEEN PLACED HEREON.
 4. NO ABSTRACT WAS MADE BY THE UNDERSIGNED TO VERIFY ACTUAL LEGAL OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER BURDENS ON THE SUBJECT PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT OR THEIR REPRESENTATIVE. DESCRIPTION SHOWN HEREON IS BASED ON INFORMATION PROVIDED AND RECORDED IN OFFICIAL RECORDS BOOK 4101, PAGE 373, ST. LUCIE COUNTY, FLORIDA.
 5. SUBJECT PROPERTY CONTAINS 52.0 ACRES, MORE OR LESS (2,264,730.46 SQUARE FEET).
 6. THE LAST DATE OF FIELD WORK WAS MAY 25, 2019.
 7. REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
 8. THE SOUTH LINE OF THE SUBJECT PARCEL IS ASSUMED TO BEAR N89°56'27"W; ALL OTHER BEARINGS SHOWN ARE RELATIVE THERE TO.
 9. UNDERGROUND UTILITIES, UTILITY SERVICES, FOUNDATIONS AND IMPROVEMENTS WERE NOT LOCATED AS A PART OF THIS SURVEY. IMPROVEMENTS, OTHER THAN THOSE SHOWN HEREON, WERE NOT LOCATED AS PART OF THIS SURVEY.
 11. IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION, OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
 12. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X", BASED ON FLOOD INSURANCE RATE MAP NO. 12111C0168 J, DATED FEBRUARY 16, 2012.
 13. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) AND ARE RELATIVE TO BENCHMARK. THE PRIMARY BENCHMARK IS ST. LUCIE COUNTY BENCHMARK "FRANK", ELEVATION = 15.63'.
 14. USED REFERENCE: BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY EXACTA COMMERCIAL SURVEYORS, INC., DATED 2/26/2018, AS PROVIDED BY CLIENT.

SYMBOLOLOGY

	CENTERLINE
	TELEPHONE UTILITY
	ELECTRIC BOX
	VALVE
	SANITARY MANHOLE
	CONCRETE
	CABLE TV JUNCTION BOX
	AREA LIGHTING
	WATER METER
	6" WOOD FENCE
	ASPHALT
	DIET ROAD
	OVERHEAD UTILITY
	WELL

ABBREVIATIONS

(C)	CALCULATED	NAVD	NORTH AMERICAN VERTICAL DATUM
(D)	DEED DATA	NGVD	NATIONAL GEODETIC VERTICAL DATUM
(M)	MEASURED	NR	NON RADIAL
(P)	PLAT DATA	NR	OFFICIAL RECORDS BOOK
CHLB	CHORD BEARING	P.U.E.	PRIVATE UTILITY EASEMENT
CILD	CHORD DISTANCE	PC	POINT OF CURVATURE
CM	CONCRETE MONUMENT	PG	PAGE
Δ	DELTA ANGLE	PI	POINT OF INTERSECTION
D.E.	DRAINAGE EASEMENT	PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING	POB	POINT OF BEGINNING
FFE	FINISHED FLOOR ELEVATION	POC	POINT OF COMMENCEMENT
IRC	IRON ROD & CAP	POT	POINT OF TERMINUS
L	ARC LENGTH	PRM	PERMANENT REFERENCE MONUMENT
L.E.	LANDSCAPE EASEMENT	PT	POINT OF TANGENCY
LB	LICENSED BUSINESS	R	RADIUS
N/D	NAIL AND DISK	R/W	RIGHT OF WAY

DATUM INFORMATION

ALL MEASUREMENTS SHOWN HEREON ARE IN ACCORDANCE WITH THE FOLLOWING DATUM, PROJECTION AND UNITS:

NORTH AMERICAN DATUM OF 1983 (2011 EPOCH)
NORTH AMERICAN VERTICAL DATUM OF 1988
FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE
U.S. SURVEY FEET

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF THE NW 1/4 OF THE NE 1/4 AND A PORTION OF THE NE 1/4 OF THE NW 1/4 OF SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NW CORNER OF THE NE 1/4 OF SAID SECTION 32; THENCE NORTH 89°18'27" EAST, ALONG THE NORTH LINE OF THE NW 1/4 OF SAID SECTION 32; A DISTANCE OF 690.53 FEET; THENCE SOUTH 00°34'35" WEST, A DISTANCE OF 683.26 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00°34'35" WEST, A DISTANCE OF 85.76 FEET; THENCE NORTH 87°33'45" EAST A DISTANCE OF 685.15 FEET; THENCE SOUTH 01°13'27" WEST, A DISTANCE OF 785.15 FEET; THENCE NORTH 89°54'55" WEST, A DISTANCE OF 2869.29 FEET; THENCE NORTH 00°46'43" EAST, A DISTANCE OF 289.26 FEET; THENCE NORTH 00°49'02" EAST, A DISTANCE OF 436.28 FEET; THENCE NORTH 00°47'37" EAST, A DISTANCE OF 110.02 FEET; THENCE NORTH 89°49'03" EAST, A DISTANCE OF 562.46 FEET; THENCE SOUTH 00°10'58" EAST, A DISTANCE OF 45.12 FEET; THENCE NORTH 89°49'02" EAST, A DISTANCE OF 1625.60 FEET TO THE POINT OF BEGINNING.

GRAPHIC SCALE

100 0 50 100 200 400
(IN FEET)
1 inch = 100ft.

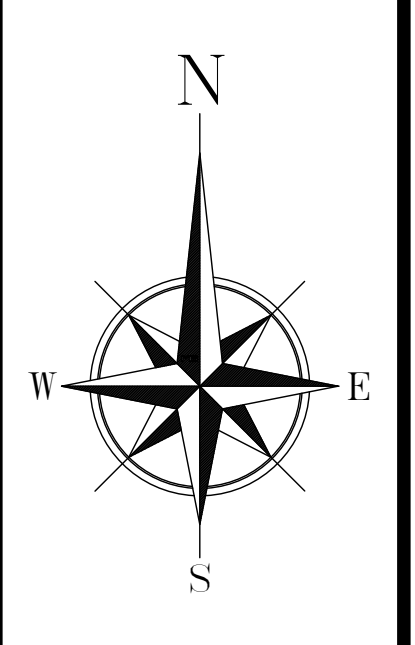
ADD TOPOGRAPHIC DATA, ETC.

5/30/2019

BOUNDARY & TOPOGRAPHIC SURVEY FOR:
D.S.E. HOLDINGS, INC.
AT 3788 SEVENTH ROAD
ST. LUCIE COUNTY PARCEL ID: 2385-123-0001-009-9

SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST
FORT PIERCE, FLORIDA, ST. LUCIE COUNTY

DATE 4/26/2019 CREATED BY PCM
SCALE 1" = 100' CHECKED BY PCM
FILENAME 10000 EAKINS PP.DWG



MAXWELL GEOSPATIAL, INC.
565 39th Court SW, Vero Beach, FL 32968
web: maxwellgeospatial.com, email: chad@maxwellgeospatial.com
P: (772) 925-1060, M: (577) 356-2643
Certificate of Authorization #LB158



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

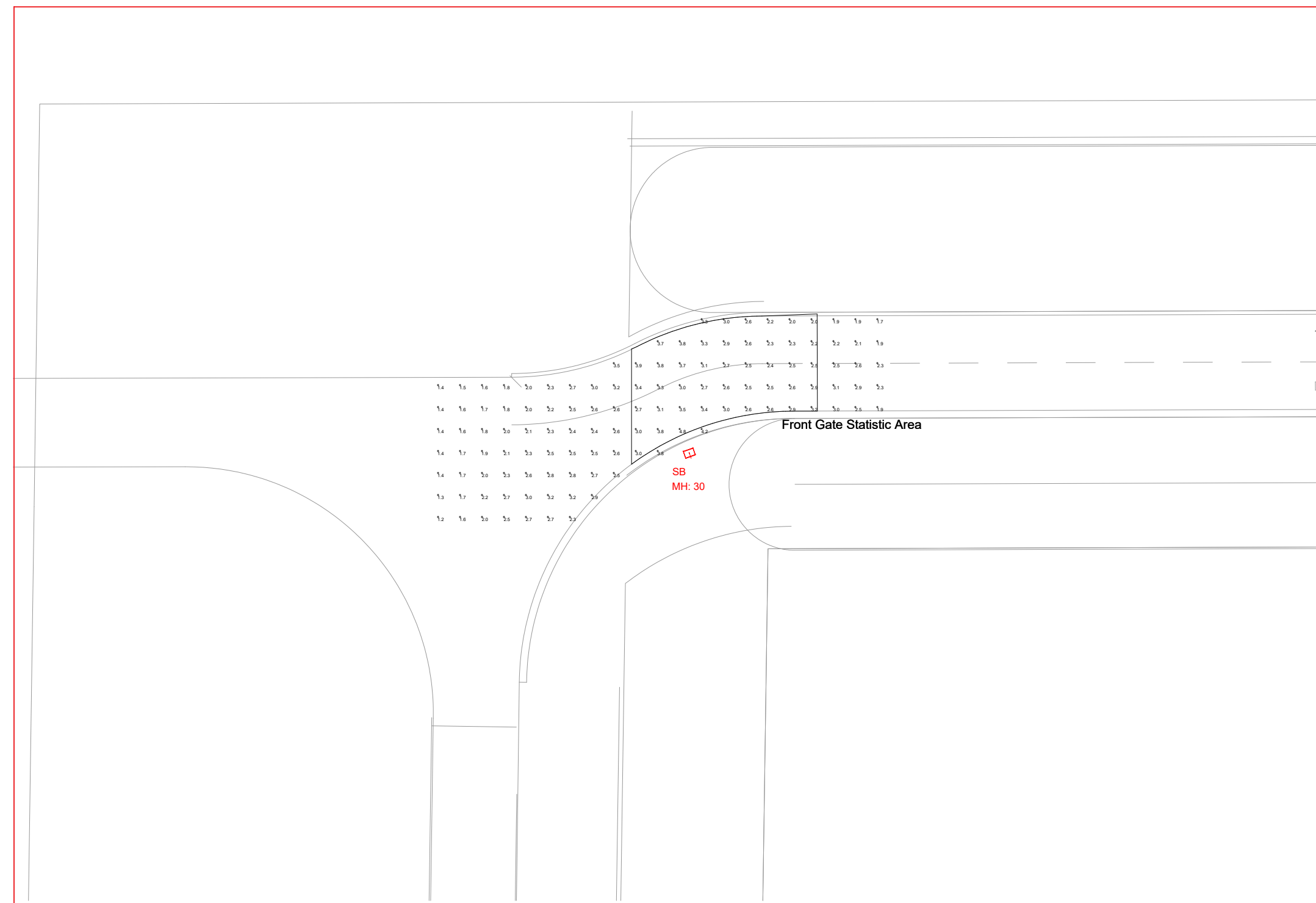
NOTES:

2	REVISION	04/23/19
1	PHOTOMETRIC STUDY	03/27/19
No.	Revision/Issue	Date

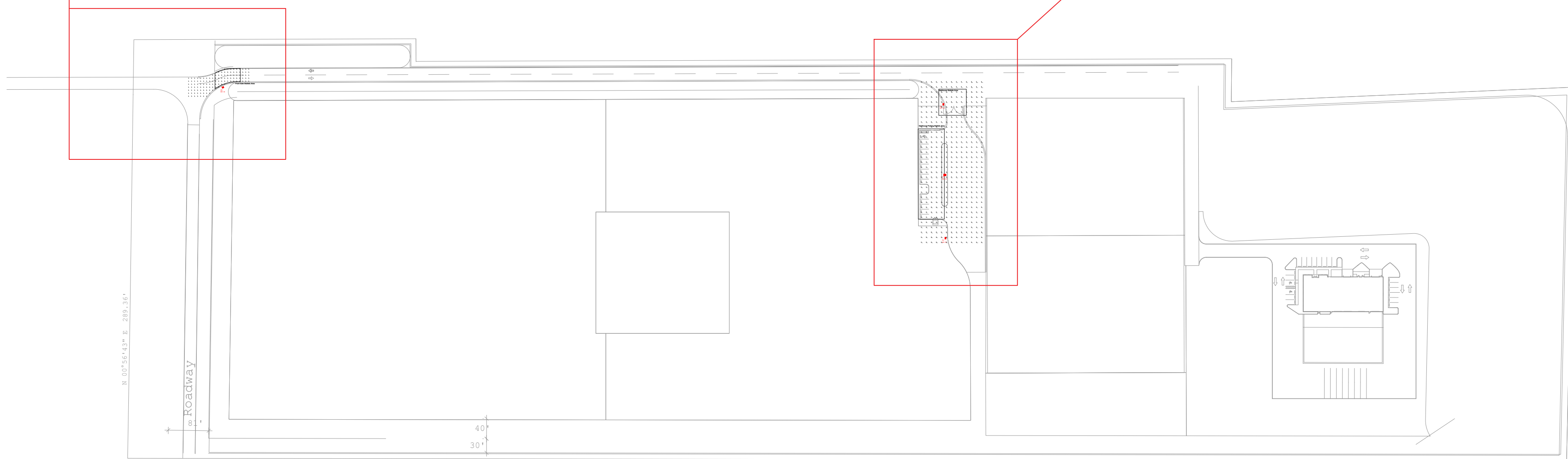
LIGHTING DYNAMICS, INC.
 7835 West Commercial Blvd.
 Tamarac, FL 33351
 (954) 944-0286
www.lightingdynamics.com

Project Name and Address
FT. PIERCE INDUSTRIAL
SITE LIGHTING
 Lighting Study: Site Revision
 Ft. Pierce, FL
 FILE P:\PROJECTS\2018\NOV
 CLIENT 2GHO

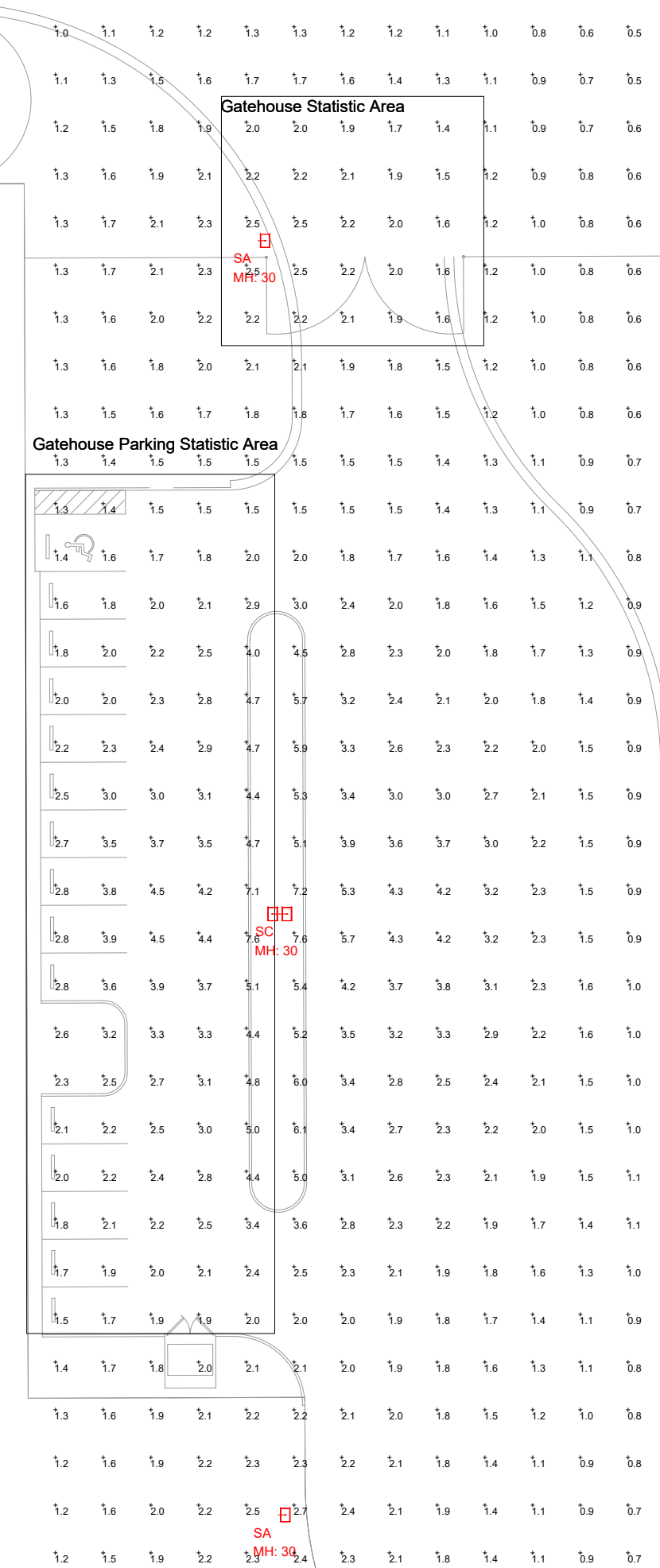
Project Ft. Pierce Industrial Site
 Date 04/23/19
 Scale 1/32" = 1'-0"
 Sheet **L1**
 DRAWN BY SR / RH



FRONT GATE
1/32"=1'-0"



GATEHOUSE & PARKING AREA
1/32"=1'-0"



FT PIERCE INDUSTRIAL									
LIGHTING FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MFR	CATALOG NUMBER	VOLTS	LAMPS	WATTS	MOUNTING	DIMMING (if Req)	NOTES
SA	LED SITE HEAD	McGRAW-EDISON	GLEON-AF-06-LED-E1-5WQ-FINISH/ MA1036-XX	UNV	LED	333W	30' CONCRETE POLE	N/A	NOTE 1
SB	LED SITE HEAD	McGRAW-EDISON	GLEON-AF-06-LED-E1-T4W-FINISH/ MA1036-XX	UNV	LED	333W	30' CONCRETE POLE	N/A	NOTE 1
SC	BACK-TO-BACK LED SITE HEAD	McGRAW-EDISON	2 x GLEON-AF-06-LED-E1-T4W-FINISH/ MA1037-XX	UNV	LED	666W	30' CONCRETE POLE	N/A	NOTE 1

FIXTURE SCHEDULE NOTES

NOTE 1: MOUNTED ON USI CONCRETE POLE 30' AFG # USI40TIII-11696

FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT RYAN HUFF @ LIGHTING DYNAMICS- 772-285-7189

Photometrics Calculation Software Generated Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
SA	2	SA	SINGLE	37499	0.900	333	GLEON-AF-06-LED-E1-5WQ
SB	1	SB	SINGLE	35352	0.900	333	GLEON-AF-06-LED-E1-T4W
SC	1	SC	BACK-BACK	35352	0.900	333	GLEON-AF-06-LED-E1-T4W

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Front Gate	Illuminance	Fc	2.53	4.8	1.2	2.11	4.00
Parking Area	Illuminance	Fc	2.12	7.6	0.5	4.24	15.20
Front Gate Statistic Area	Illuminance	Fc	2.93	4.8	2.0	1.47	2.40
Gatehouse Parking Statistic Area	Illuminance	Fc	2.86	7.6	1.3	2.20	5.85
Gatehouse Statistic Area	Illuminance	Fc	2.02	2.5	1.4	1.44	1.79

Prepared By and Return To:
Steven K. Platzek, Esq.
Graner Platzek & Allison, P.A.
720 East Palmetto Park Road
Boca Raton, Florida 33432

ACCESS AND MAINTENANCE AGREEMENT

This Access and Maintenance Agreement ("Agreement") entered into on this 2nd day of March, 2018, by and between BHT of Florida 4008, LLC, a Florida limited liability company (hereinafter "BHT"), with an address of 5081 SW 48th Street, Suite 103, Davie, FL 33314 and D.S.E. Holdings, Inc., a Florida corporation (hereinafter "Eakins"), with an address of 1481 Kinetic Road, West Palm Beach, FL 33403.

RECITALS

- A. BHT owns a parcel of real property identified and set forth on Exhibit "A" ("Parcel A").
- B. On this date, Eakins acquired from BHT a certain parcel of real property identified and set forth on Exhibit "B" ("Parcel B").
- C. Parcel B is located adjacent to Parcel A.
- D. A private road (hereinafter the "Roadway") was constructed on portions of Parcel A which is identified and set forth on Exhibit "C" ("Easement Parcel").
- E. Part or all of the Easement Parcel is subject to those easements granted in the Easement Agreement dated October 25, 2004, and recorded December 15, 2004, in Official Record Book 2116, Page 2209, Public Records of Saint Lucie County, Florida; and the Access and Easement Agreement dated January 27, 2017, and recorded February 10, 2017, in Official Record Book 3962, Page 1646, Public Records of Saint Lucie County, Florida (collectively the "Existing Easements").
- F. As part of the sale of Parcel B to Eakins, BHT agreed to provide for access and maintenance to Eakins over the Easement Parcel.

NOW, THEREFORE, in consideration of the mutual promises, terms, and conditions herein, and other good and valuable consideration, the sufficiency and receipt of which are hereby acknowledged, BHT and Eakins agree as follows:

1. **RECITALS**. The above recitals are hereby ratified, adopted and incorporated herein.

2. **DECLARATION OF EASEMENTS.** BHT hereby grants to Eakins, his successors and assigns or its officers, directors, members, guests, employees, agents, contractors, subcontractors, vendors, customers and invitees, a perpetual but non-exclusive easement for pedestrian and vehicular traffic and the installation of utilities over and across the Easement Parcel to and from Parcel B.

3. **MAINTENANCE/REPAIR.** BHT shall have a perpetual obligation to maintain and repair the Easement Parcel. Notwithstanding the foregoing, BHT and Eakins agree that the cost and expense of any maintenance and repair of any portion of the Easement Area shall be shared proportionately by BHT and Eakins based on acreage. Should a party fail or refuse to perform any needed material maintenance or repairs within fifteen (15) days after the other party delivers written notice of the need for such maintenance or repairs, or if such maintenance or repairs are of a nature that they cannot be completed within such fifteen (15) day period and thereafter pursue such maintenance or repairs to completion, then Eakins have the right, but not the obligation, to perform such maintenance and repairs and it shall be entitled to recover the costs of such maintenance and repairs from the other party, together with interest thereon from the date advanced until paid in full at the rate of eighteen percent (18.00%) per annum.

Notwithstanding the foregoing, nothing herein shall affect or diminish the repair, maintenance and other obligations of the grantees and the grantees' successors and assigns under any existing easements, including, but not limited to the Easement Agreement dated October 25, 2004, and recorded December 15, 2004, in Official Record Book 2116, Page 2209, Public Records of Saint Lucie County, Florida; and the Access and Easement Agreement dated January 27, 2017, and recorded February 10, 2017, in Official Record Book 3962, Page 1646, Public Records of Saint Lucie County, Florida.

4. **NON-EXCLUSIVE GRANT.** Notwithstanding the grant of easement contained herein, such easement shall be non-exclusive and BHT retains all rights to utilize the Easement Parcel and grant additional easements as long as such use and easements do not impede, prohibit, deter, or any in way interfere with Eakins' use of the easement herein. If BHT grants additional parties similar ingress/egress rights over the Easement Parcel, the parties agree that such future grantees shall be legally bound to share in the maintenance and repair of access improvements such that all parties shall equally share in the costs thereof.

5. **AGREEMENT RUNS WITH THE LAND.** All terms and conditions of this Easement Agreement and all rights and burdens hereby created shall run with the lands to which they refer, and all rights granted hereunder shall be appurtenant to the interests of the parties hereto and the lands benefitted thereby. This Easement Agreement shall be binding upon and inure to the benefit of the parties and their respective successors, assigns, heirs and personal representatives.

6. **ACCESS AVAILABILITY.** Neither BHT or Eakins nor any subsequent owner of any portion of the Easement Parcel granted herein shall construct, maintain or permit any

improvement or condition on any portion of the Easement Parcel which would impede pedestrian or vehicular traffic over, across or upon the easement granted herein.

7. **ATTORNEY'S FEES.** In connection with any litigation, including appellate proceedings, arising out of this Easement Agreement, the prevailing party shall be entitled to recover reasonable attorney's fees and costs from the non-prevailing party.

8. **RECORDATION OF AGREEMENT.** This Easement Agreement shall be recorded in the Public Records of St. Lucie County, Florida.

signatures appear on the following pages

IN WITNESS WHEREOF, the parties have executed this Agreement effective as of the date first written above.

Kristin Albrecht
Printed Name: Kristin Albrecht

Steven Platzer
Printed Name: Steven Platzer

BHT OF FLORIDA 4008 LLC,
a Florida limited liability company,

By: BHT Manager, LLC,
a Florida limited liability company,
Its Manager

Ariel Edry
Name: Ariel Edry
Title: Manager

STATE OF FLORIDA)
COUNTY OF PAUM BEACH) ss

THE FOREGOING INSTRUMENT was acknowledged before me this 20th day of February, 2018, by Ariel Edry, as Manager of BHT Manager, LLC, the Manager of **BHT OF FLORIDA 4008 LLC**, who is personally known to me or who has produced FL D/L as identification and who did take an oath.



Kristin Albrecht
NOTARY PUBLIC, State of Florida

(Seal)

WITNESSES:

[Signature]
Elle [unclear]
[Signature]
Christopher Kammerer

D.S.E. Holdings, Inc., a Florida corporation

[Signature]
By: D. Steven Eakins, Jr.

STATE OF FLORIDA)

COUNTY OF Palm Beach) ss)

THE FOREGOING INSTRUMENT was acknowledged before me this 1st day of March, 2018, by D. Steven Eakins, Jr. who is personally known to me or who has produced _____ as identification and who did take an oath.

[Signature]
NOTARY PUBLIC, State of Florida
Commission # PC 130225
Expires June 10, 2018
Bonded This Day For the Sum of \$10,000.00

(Seal)

EXHIBIT "A" - PARCEL A

The land referred to herein below is situated in the County of St. Lucie, State of Florida, and is described as follows:

Being a parcel of land lying in Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida, said parcel being more particularly described as follows:

Commence at the Northwest corner of said Section 32; thence North 89 degrees 50'34" East along the North line of said Section 32, a distance of 343.65 feet to the Point of Beginning; thence continue North 89 degrees 50'34" East along said North line, a distance of 604.07 feet; thence South 00 degrees 47'49" West, a distance of 460.07 feet; thence North 89 degrees 52'58" East, a distance of 170.02 feet; thence South 00 degrees 47'37" West, a distance of 234.76 feet; thence South 89 degrees 50'34" West, parallel with, as measured at right angles to the North line of said Section 32, a distance of 1045.29 feet to the Easterly right-of-way line of Selvitz Road, said point being the beginning of a non-tangent curve, concave to the East having a radius of 1859.86 feet, the chord of which bears North 07 degrees 18'48" East; thence Northerly along the arc of said curve through a central angle of 00 degrees 35' 09", a distance of 19.02 feet; thence North 07 degrees 36'23" East, a distance of 41.51 feet; thence departing said Easterly right-of-way line North 89 degrees 50'34" East, parallel with, as measured at right angles to the North line of said Section 32, a distance of 576.52 feet; thence North 00 degrees 03'48" East, a distance of 235.93 feet; thence South 89 degrees 50'34" West, parallel with, as measured at right angles to the North line of said Section 32, a distance of 304.33 feet; thence North 00 degrees 04'06" East, a distance of 398.93 feet to the Point of Beginning.

AND

Being a parcel of land lying in Sections 29 and 32, Township 35 South, Range 40 East, St. Lucie County, Florida, and being more particularly described as follows:

Beginning at the Northwest corner of the Northeast 1/4 of Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida, recorded in Chancery No. 680-E, dated April 25, 1938; thence run South 89°36'15" East (assumed datum), a distance of 77.86 feet to the South 1/4 corner of Section 29, Township 35 South, Range 40 East, St. Lucie County, Florida; thence run North 00°54'36" East, along the North-South 1/4 Section line, a distance of 527.49 feet, more or less, to the South shore of Ten Mile Creek; thence run Southeasterly, meandering the said South shore, to a point on the West line of a tract to Adams Ranch, Inc., as in Official Records Book 328, at Page 1222, of the public records of St. Lucie County, Florida; thence run South 01°09'02" West, a distance of 1185.88 feet, more or less, to a concrete monument; thence run North 88°07'52" East, a distance of 682.40 feet, to the East line of the Northwest 1/4 of the Northeast 1/4 of said Section 32, by said Chancery No. 680-E; thence run South 01°49'35" West, a distance of 594.97 feet, to an iron pipe in concrete at the Southeast corner of the said Northwest

1/4 of the Northeast 1/4 by said Chancery No. 680-E; thence run South 88°03'45" West, along the South line of said Northwest 1/4 of the Northeast 1/4 by said Chancery No. 680-E, a distance of 1350.98 feet, to the Southwest corner of the said Northwest 1/4 of the Northeast 1/4, by said Chancery 680-E; thence run North 00°25'20" East, along the West line of said Northwest 1/4 of the Northeast 1/4, by said Chancery No. 680-E, a distance of 1332.57 feet, to the POINT OF BEGINNING; all lying and being in Sections 29 and 32, Township 35 South, Range 40 East, St. Lucie County, Florida.

AND

The Northeast 1/4 of the Northwest 1/4 of Section 32, Township 35 South, Range 40 East, lying and being in St. Lucie County, Florida.

AND

The East 230.00 feet of the Northwest 1/4 of the Northwest 1/4 of Section 32, Township 35 South, Range 40 East, and the West 170.00 feet of the East 400.00 feet of the North 460.00 feet of the Northwest 1/4 of the Northwest 1/4 of Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida.

EXHIBIT "B" - PARCEL B

The land referred to herein below is situated in the County of St. Lucie, State of Florida, and is described as follows:

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF THE NW 1/4 OF THE NE 1/4 AND A PORTION OF THE NE 1/4 OF THE NW 1/4 OF SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NW CORNER OF THE NE 1/4 OF SAID SECTION 32;

THENCE NORTH 85°18'27" EAST, ALONG THE NORTH LINE OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 32, A DISTANCE OF 690.53 FEET;

THENCE SOUTH 00°34'35" WEST, A DISTANCE OF 683.26 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE SOUTH 00°34'35" WEST, A DISTANCE OF 85.76 FEET;

THENCE NORTH 87°33'45" EAST, A DISTANCE OF 685.15 FEET;

THENCE SOUTH 01°13'27" WEST, A DISTANCE OF 745.23 FEET;

THENCE NORTH 89°54'55" WEST, A DISTANCE OF 2,869.29 FEET;

THENCE NORTH 00°56'43" EAST, A DISTANCE OF 289.36 FEET;

THENCE NORTH 00°49'02" EAST, A DISTANCE OF 436.28 FEET;

THENCE NORTH 00°47'37" EAST, A DISTANCE OF 110.02 FEET;

THENCE NORTH 89°49'03" EAST, A DISTANCE OF 562.46 FEET;

THENCE SOUTH 00°10'58" EAST, A DISTANCE OF 45.12 FEET;

THENCE NORTH 89°49'02" EAST, A DISTANCE OF 1,626.43 FEET TO THE POINT OF BEGINNING

Said lands situate, lying and being in St. Lucie County, Florida.

TOGETHER WITH an access easement as set forth in Access Easement from BHT of Florida 4008, LLC, a Florida limited liability company, to D.S.E. Holdings, Inc., a Florida corporation, recorded in Official Records Book _____, Page _____, of the public records of St. Lucie County, Florida.

EXHIBIT "C" - EASEMENT PARCEL

A parcel of land lying in Section 32, Township 35 South, Range 40 East, City of Fort Pierce, St. Lucie, County, Florida, described as follows:

COMMENCE at the Southwest corner of the Northwest 1/4 of said Section 32; thence N00°03'46"E, along the West line of said NW 1/4, a distance of 53.50 feet; thence S89°56'27"E, departing said West line, a distance of 50.00 feet to the East right-of-way line of Selvitz Road and the North right-of-way line of North St. Lucie River Water Control District (NSLRWCD) Canal No. 101; thence continue S89°56'27"E, along said North right-of-way line of NSLRWCD Canal No. 101, a distance of 1223.12 feet to the West line of the Official Records Book 1814, Page 1541, of the Public Records of St. Lucie County, Florida; thence N00°49'02"E, departing said North right-of-way line of NSLRWCD Canal No. 101 and running along the West line of the said Official Records Book 1814, Page 1541, a distance of 801.18 feet; thence N51°03'36"W, 241.52 feet; thence N00°49'02"E, 235.44 feet; thence S89°56'27"E, along the North line of the said Official Records Book 1814, Page 1541, a distance of 80.01 feet to the POINT OF BEGINNING (the preceding four courses and distances being along the Northerly and Westerly limits of the proposed PRECAST SPECIALTIES Plat); thence N00°49'02"E, departing the North line of the said Official Records Book 1814, Page 1541 and being 80.00 feet East of and parallel to the East line of the Official Records Book 1252, Page 1370, of the Public Records of St. Lucie County, Florida, a distance of 703.92 feet, to the beginning of a curve concave to the Southwest having a radius of 23.00 feet; thence Northwesterly 36.52 feet along said curve through a central angle of 90°58'28"; thence S89°50'34"W, being along the North line of the said Official Records Book 1252, Page 1370, a distance of 1102.75 feet to the East right-of-way line of Selvitz Road and to the beginning of a curve concave to the Southeast having a radius of 1,859.86 feet; thence Northeasterly 19.31 feet along said curve through a central angle of 00°35'41" and having a radial bearing of S83°22'04"E; thence N07°13'38"E, continuing along the East right-of-way line of Selvitz Road, a distance of 41.18 feet; thence N89°50'34"E, leaving the East right-of-way line of Selvitz Road and being 60.00 feet North of and parallel to the North line of the said Official Records Book 1252, Page 1370, a distance of 1199.50 feet; thence S00°49'02"W, being 160.00 feet East of and parallel to the East line of the said Official Records Book 1252, Page 1370, a distance of 787.62 feet to the North line of the said Official Records Book 1814, Page 1541; thence N89°56'27"W, along the North line of the said Official Records Book 1814, Page 1541, a distance of 80.01 feet to the POINT OF BEGINNING (the preceding course and distance being along the Northerly limits of the proposed PRECAST SPECIALTIES Plat).

DRAINAGE STATEMENT

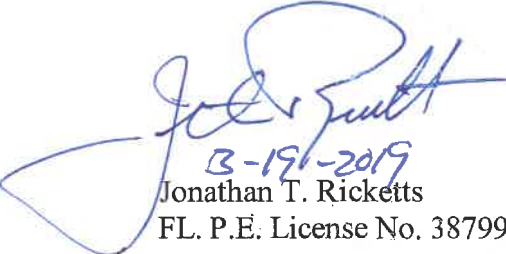
**Prepared for
DSE Holdings Ft. Pierce
Aggregate Recycling Facility
Selvitz Road
St. Lucie County , FL
Section 11, Township 43 South, Range 41 East**

DSE Holdings Aggregate Recycling is a proposed project to be operated on a portion of the former Cargill property located east of Selvitz Road and west of South 25th Street. The property was previously used by Cargill as both a citrus nursery and processing facility.

The Cargill facility operated the plant under South Florida Water Management District's Permit No. 56-00334-S, issued in March in 1980. The staff report contained in the permit documents that the "applicant has operated a citrus processing plant at its present location for a number of years". The site has several documented outfall routes including due north directly into Ten Mile Creek, to the east and then through a pump station and later a gravity connection to Ten Mile Creek and to the south to the North St. Lucie River Water Control District's Canal 101.

The proposed DSE Holdings Aggregate Recycling facility is located on the middle and eastern portions of the existing permitted project and has a historical drainage connection to the east and then north to the St. Lucie River. The proposed facility will have a modern and substantial water management system. The water quality element of the system will provide 150% of the standard treatment required by rule. This will greatly improve the drainage water quality which leaves the site. The majority of the water quality treatment will be in dry detention/retention swales which will be located on the north and south boundaries of the site. A lake on the east end of the property will be constructed to detain the drainage during large rainfall events and a control structure will be used to limit the site's discharges to less than the historic rates.

The project will be designed to meet or exceed all the requirements from the City of Fort Pierce, the North St. Lucie River Water Control District, the South Florida Water Management District and the Environmental Protection Agency's National Pollution Discharge Elimination System (NDPES).



13-191-2019
Jonathan T. Ricketts
FL. P.E. License No. 38799
FL. CA. License No. 6173

D.S. EAKINS CONSTRUCTION CORPORATION

Dust Mitigation Plan

For

Ft. Pierce Industrial Aggregate Recycling Facility

OVERVIEW

DS Eakins (the company) proposes to build a recycling facility at Selvitz Road in Ft. Pierce, FL. The total operating area is approximately 32 acres. The site will include the following areas:

- Unprocessed Material Area (11.4 ac.) this where offsite hardened concrete will be dumped and stored.
- Finish Material Storage Area (14.4 ac.) this where finished processed aggregate will be stored.
- Processing Area (1.5 ac.) this is where the crushing, screening and segregating of material will commence.

OPERATIONS

Dump trucks will enter the facility and dump hardened concrete from demolition projects onto the Unprocessed Material Area. The hardened concrete will then be taken to the Processing Area for crushing and screening. The finished product will then be stockpiled within the Finish Material Storage Area. Customers will enter one of the User Areas where the loading of finished product will take place.

FUGITIVE DUST EMISSIONS POTENTIAL

There are several best management practices that can eliminate or significantly reduce fugitive emissions. These include the use of spraying the work areas of the site to prevent any dust from being generated and the use of spray bars within the processing equipment to keep any dust created within the confines of the equipment. All of these methods are proposed to be used.

AIR GENERAL PERMIT

The company has applied for and received an Air General Permit for the processing at this site. This permit is issued by the Florida Department of Environmental Protection.. The permit contains conditions that must be met to reduce emissions both visible and fugitive. One of the conditions states that the crusher must conduct an EPA Method 9 Visible Emissions Test on an annual basis. The process equipment had such a test on October 8, 2018 and was found to be "in compliance". The permit also states what measures must be taken to reduce or eliminate visible and/or fugitive emissions. The site does propose dust control methods during the plants operation.

DUST EMISSIONS REDUCTION ENHANCEMENTS

DS Eakins is committed to be a good neighbor and has put several enhancements to reduce dust emissions. These enhancements include both mechanical as well as operation plans that all employees, vendors and customers must adhere to.

MECHANICAL ENHANCEMENTS

- **Vegetation Buffers** – The site will be surrounded by trees and scrubs along the outer boundaries. This vegetation will be maintained and watered to ensure the survival of the plantings. The primary job of the vegetation is to provide a wind break to prevent dust from becoming airborne. The vegetation will also help in reducing sound as well as provide a visible barrier that can enhance the ascetic appeal of the facility.
- Most of the site will be surrounded by a dirt mound to prevent stormwater from leaving the facility. All stormwater is detained onsite. The site elevations are such that stormwater will migrate to the stormwater lake that is located at the east side of the property. The lake is approximately 5 acres in size.
- While most of the site will be open graded base there will be paved roadways that will be maintained and cleaned on a regular basis to prevent dust both onsite and traveling offsite at the entrance and exit of the facility
- A water truck will be onsite to periodically wet roadways and work areas to prevent dust from becoming airborne.
- Speed limits signs will be posted at roadways to enforce a 15 mph limit for all vehicles. Drivers failing to adhere to the speed limit may be banned from the facility.
- The crushing and screening machinery are equipped with spray bars to reduce dust when processing material.
- All roadways will be cleaned periodically to remove residual material to prevent dust becoming airborne.

OPERATIONAL ENHANCEMENTS

- Speed limits will be strictly enforced.
- During extreme dry conditions and high winds, operations will either cease or change until conditions become more favorable.
-
- The company will install TV cameras around the facility to best manage conditions and operations to prevent the accumulation of dust and debris.
- Employees will be trained on Best Management Practices and are expected to use the BMPs to reduce the amount of dust.

In conclusion, as mentioned earlier the company is committed to operating in such a way as to be a leader in dust control as well as recycling. They have operated 3 other facilities in Palm Beach County and have done so while successfully meeting the conditions for their air permits.



D.S. EAKINS
CONSTRUCTION CORPORATION



Operational Photos



Trucks Entering Site @ Ticket Booth

(Picking up ticket to get loaded or instructed where to unload)

**POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009**



D.S. EAKINS

CONSTRUCTION CORPORATION



Operational Photos



Mixer Trucks Unloading Excess Concrete @ Specified Area

**POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009**



D.S. EAKINS
CONSTRUCTION CORPORATION



Operational Photos



DSE truck unloading material picked up from mixer cleanout @ concrete plants

**POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009**



D.S. EAKINS
CONSTRUCTION CORPORATION



Operational Photos



Contractor unloading of concrete from project into stockpile

**POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009**



D.S. EAKINS
CONSTRUCTION CORPORATION



Operational Photos



Track Excavator processing large concrete and concrete with rebar

**POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009**



D.S. EAKINS
CONSTRUCTION CORPORATION



Operational Photos



Wheel Loader feeding screen to remove dirt from concrete

**POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009**



D.S. EAKINS
CONSTRUCTION CORPORATION



Operational Photos



Wheel Loader Feeding Processing Plant

**POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009**



D.S. EAKINS
CONSTRUCTION CORPORATION



Operational Photos



Plant processing concrete

**POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009**



D.S. EAKINS
CONSTRUCTION CORPORATION



Operational Photos



Additional Material Processing to Make Multiple Materials

(No. 4 Stone, No. 57 Stone, No. 89 Stone & Screenings)

POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009



D.S. EAKINS
CONSTRUCTION CORPORATION



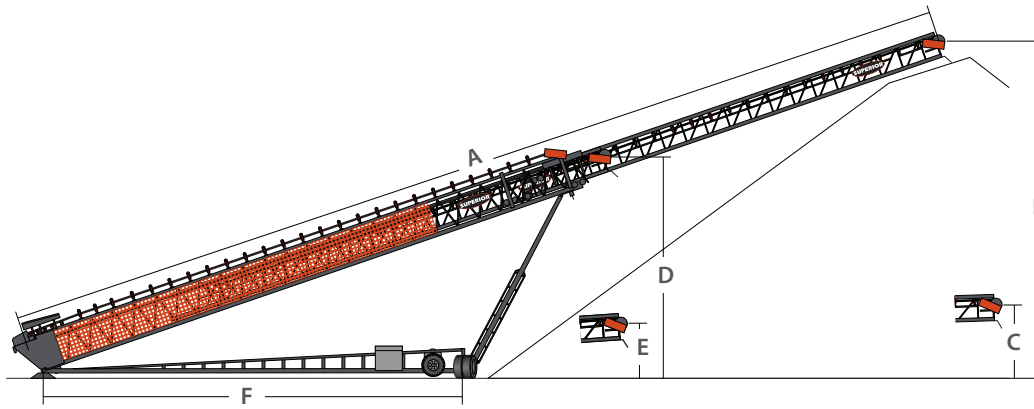
Operational Photos



Wheel Loader loading Dump Trucks with a finished product

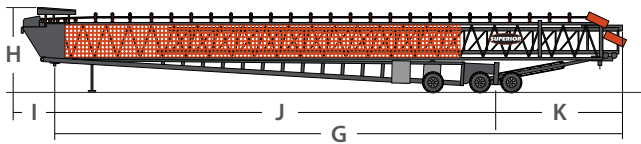
POST OFFICE BOX 530185 LAKE PARK, FLORIDA 33403
PHONE: (561) 842-0010 FAX: (561)842-0009

TSSA SPECIFICATIONS



XTP SWING AXLE (TSSA) SPECIFICATIONS

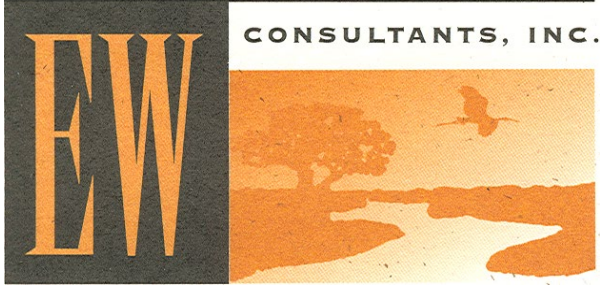
OPERATING DIMENSIONS	130'	150'	170'	190'
(A) Conveyor Length (m)	130'-0" (39.6)	150'-0" (45.7)	170'-0" (51.8)	190'-0" (57.9)
(B) Highest Extended Discharge Height (m)	44'-4" (13.5)	52'-6" (16.0)	61'-0" (18.5)	67'-8" (20.5)
(C) Lowest Extended Discharge Height (m)	14'-2" (6.0)	15'-10" (6.0)	14'-11" (4.5)	16'-1" (5.0)
(D) Highest Retracted Discharge Height (m)	26'-5" (8.0)	31'-3" (9.5)	38'-6" (11.0)	38'-7" (11.0)
(E) Lowest Retracted Discharge Height (m)	9'-7" (2.9)	10'-9" (3.2)	10'-8" (3.2)	10'-9" (3.2)
(F) Anchor Pivot to Center of Axle (m)	48'-6" (14.5)	56'-4" (17.0)	73'-10" (22.5)	73'-10" (22.5)



XTP SWING AXLE (TSSA) SPECIFICATIONS

TRAVEL DIMENSIONS	130'	150'	170'	190'
(G) Travel Length - Kingpin to Rear (m)	69'-9" (21.2)	80'-0" (24.3)	100'-0" (30.5)	100'-1" (30.5)
(H) Travel Height (m)	12'-7" (3.8)	13'-9" (4.2)	13'-9" (4.2)	14'-0" (4.2)
Travel Width (m)	11'-11" (3.6)	11'-11" (3.6)	11'-11" (3.6)	11'-11" (3.6)
(I) Kingpin to End of Tow Eye (m)	5'-10" (1.7)	5'-11" (1.8)	5'-11" (1.8)	5'-11" (1.8)
(J) Kingpin to Axle (m)	52'-3" (15.9)	59'-9" (18.2)	77'-3" (23.5)	77'-3" (23.5)
(K) Axle to Head Pulley (m)	17'-5" (5.3)	20'-4" (6.1)	22'-10" (6.9)	22'-10" (6.9)
Weight at Axle - 36" Belt Width (kg)	37,500 (17,000)	38,000 (17,235)	46,000 (20,865)	47,000 (21,318)
Weight at Kingpin - 36" Belt Width (kg)	13,600 (6,168)	18,550 (8,414)	20,865 (9,464)	22,500 (10,205)

EW Consultants, Inc.
Natural Resource Management, Wetland, and Environmental Permitting Services



EAKINS SELVITZ ROAD PROPERTY

Environmental Assessment

Prepared For:
DSE Holdings, Inc.

Prepared By:
EW Consultants, Inc.

November 2018

INTRODUCTION

This Environmental Assessment documents and summarizes natural resource features present on a 52 +/- acre property referred to as the Eakins Selvitz Road Property. The subject site is located east of Selvitz Road, west of South 25th Street, north of Devine Road, and south of Edwards Road. The site is bordered to the north by improved pasture and residential development, to the east by Ft. Pierce Central High School, to the south by a concrete precast plant, and to the west by a mixed use commercial/industrial center. The site falls within Section 32, Township 35 south, Range 40 east within the city of Ft. Pierce, St. Lucie County, Florida. A Location Map (Figure 1), USGS Quad Map (Figure 2), and Aerial Photo (Figure 3) depicting the parcel boundaries and the immediate surrounding area are provided in the Appendix.

The site is undeveloped, comprised of lands previously converted to citrus groves, which are no longer in operation, and has since been converted to improved pasture. A chronological review of historical aerial imagery indicates that the property has been in agricultural use for more than 25 years. The pattern of ditches and furrows as well as an area previously used as a reservoir for drainage and irrigation remain in place on the site. The primary vegetative cover is comprised of common non-native pasture grasses, ruderal weeds, and sparse native and non-native vegetation. Field reconnaissance conducted in November 2018 indicated that there are no wetlands or native upland habitats present on the subject property.

SOILS

A Custom Soil Resource Report for the subject property is provided in the Appendix. This report, prepared by the United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) provides complete descriptions of all soil types within the subject property along with acreage summaries and soil descriptions.

VEGETATIVE COMMUNITIES

The following is a summary of the land cover types and vegetative communities found on the subject site. Land cover and vegetative community classifications are mapped based on the Florida Land Use, Cover and Forms Classification System (FLUCFCS) developed by the Florida Department of Transportation. Field reconnaissance and aerial imagery interpretation were employed in the mapping of the vegetative communities on the subject property. The vegetative community descriptions include discussions of potential wildlife habitat provided by the various resources present in those communities. Detailed observations and occurrences of wildlife are discussed in subsequent sections.

There were four different FLUCFCS classifications observed on the site which are described below. A land cover map of the observed vegetative community types is included as Figure 4 in the Appendix of this report. The land cover types observed on the property are described as follows:

211 – Improved Pasture –

This is the predominant land cover type on the property. Vegetation assemblages within this land cover type consist of short, herbaceous grasses and ruderal weeds with dominant species including bahia grass, smut grass, cogon grass, guinea grass, dog fennel, ragweed, shrubby false button weed, and Caesar weed. Scattered taller vegetation occurs mostly along the edges of the ditches and consists of Brazilian pepper, earleaf acacia, and cabbage palms which were observed most commonly as seedlings.

510 – Ditches –

A system of man-made linear surface waters built for the purpose of controlling the drainage and irrigation extends throughout the property. The ditches are approximately 10 to 15 feet wide and are generally un-vegetated with the exception of invasive nuisance and exotic species including cattails, Cuban bulrush, and Peruvian primrose willow, as well as scattered Carolina willow and patches of floating duckweed.

740 – Disturbed –

A portion of land extending along the western property boundary is classified as disturbed lands due to the absence of native habitat or alternative land use and dominance of exotic and invasive species. Vegetation includes Brazilian pepper, guinea grass, beggar ticks, castor bean, ragweed, jack-in-the-bush, and sandspur grass.

814 – Roads –

A portion of an access road and associated swale extends along the western portion of the property.

WILDLIFE

Observations for wildlife presence and signs of utilization were made during the November, 2018 field survey. Several common avian species were observed within the property and several others are likely to occur on a foraging or migratory basis. The following avian species were observed during site reconnaissance of the property: great blue heron, great egret, mourning dove, northern cardinal, boat tailed grackle, and northern mockingbird.

Signs of utilization by mammals were observed during the site reconnaissance including raccoons, marsh rabbits, feral hogs, and coyotes.

There were no gopher tortoises or potentially occupied gopher tortoise burrows found on the site. The land use, lack of natural habitat, and network of ditches on site makes the presence of this species unlikely.

Reptile observations include black racers, southern leopard frogs, and anoles.

Listed Species Inventory and Evaluation –

The survey methodologies used for determining the status of state and/or federally listed wildlife species occurrence on the site followed generally accepted protocols as specified in state and Federal guidance documents. The geographic range of the property and its associated habitats, vegetative cover types, and natural or disturbed status were the primary considerations in assessing potential occurrence of listed species.

Pedestrian and vehicular surveys were employed to assess the relative quality and wildlife utilization of the property. In addition, the protected species evaluations and survey methodologies have been, and will continue to be, addressed on a species-specific basis in accordance with Florida Fish and Wildlife Conservation Commission (FWCC) and U.S. Fish and Wildlife Service (USFWS) protocols and techniques relative to the species under consideration.

The state and/or federally listed wildlife species with potential to occur on the subject site are summarized in the following table. Likelihood of occurrence has been indicated based on species-specific evaluations and best professional judgment and noted as either observed during site review or likelihood of occurrence as high, medium, or low.

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Common Name	Scientific Name	Preferred Habitat	Occurrence*	Listed Status**
				State/Federal
American alligator	<i>Alligator mississippiensis</i>	Wetland and aquatic habitat	M	FT/SA
Bald Eagle	<i>Haliaeetus leucocephalus</i>	Nest in tall trees (usually pine) near coasts, rivers, lakes and wetlands	L	No longer listed Nest trees protected
Florida Burrowing Owl	<i>Athene cunicularia</i>	Sandhills, ruderal communities, dry prairies	M	ST/-
Eastern indigo snake	<i>Drymarchon corais couperi</i>	A diversity of upland/low land habitat	L	FT
Florida Sandhill Crane	<i>Grus canadensis pratensis</i>	Breed in emergent palustrine wetlands; forage in pastures/prairies	L	ST/-
Sherman's fox squirrel	<i>Sciurus niger shermanii</i>	Pine flatwoods, mixed oak forest	L	SSC/-
Gopher tortoise	<i>Gopherus polyphemus</i>	Sandhills, xeric oak scrub, sand pine scrub, scrubby flatwoods; agricultural lands	L	ST/-
Audubon's crested caracara	<i>Polyborus plancus audbonii</i>	Nest in cabbage palms, dry prairie and pastures	M	FT
Little Blue Heron	<i>Egretta caerulea</i>	Breeding: marshes, swamps, ponds, estuaries, rivers; nest in shrubs and small trees	M	ST/-
Red-cockaded Woodpecker	<i>Picoides borealis</i>	Mature pine woodlands	L	FE
Roseate Spoonbill	<i>Ajaia ajaja</i>	Breeding: marshes, swamps, ponds, estuaries, rivers; nest in shrubs and small trees	L	ST/-
Reddish egret	<i>Egretta rufescens</i>	Breeding: marshes, swamps, ponds, estuaries, rivers; nest in shrubs and small trees	M	ST/-
Southeast American Kestrel	<i>Falco sparverius paulus</i>	Sandhill and open rangeland nest in cavities of dead trees and	M	ST/-

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Common Name	Scientific Name	Preferred Habitat	Occurrence*	Listed Status**
		abandoned woodpecker nests		
Tricolored Heron	<i>Egretta tricolor</i>	Breeding: marshes, swamps, ponds, nest in shrubs and small trees	M	ST/-
Wood Stork	<i>Mycteria americana</i>	Estuarine or freshwater wetlands; nest in tops of trees in cypress or mangrove swamps	M	FT

¹ Observed transient

² Observed nesting and/or resident

³ Observed utilization

*O= Observed; H= High probability; M= Medium probability; L= Low probability; **USFWS; 50 CFR 17.11-12; FFWCC: Chapter 68A-27.002-004 F.A.C.; FE = Federal Endangered; FT = Federal Threatened; FT/SA = Federal Threatened due to similarity of appearance; SSC = Species of Special Concern; ST = State Threatened;

The preferred nesting habitat for Florida sandhill cranes is native freshwater marsh habitat, which does not occur on the property. Although there is potential for sandhill cranes to frequent the site for foraging or in a transient nature, it is highly unlikely that sandhill cranes would nest on the site.

Bald eagles, while no longer listed, remain protected under the Bald and Golden Eagle Protection Act. No bald eagles were observed on site likely due to the absence of large open waterbodies for foraging and lack of mature pine trees for nesting. According to the FFWCC database the closest documented bald eagle nest is located approximately 1.5 miles northwest of the subject property.

The subject site is within the consultation area of the Audubon’s crested caracara. Although the preferred habitat for crested caracara includes prairies with scattered cabbage palms, most cabbage palms found on the site are immature and too short to be suitable for caracara nesting. Use of the site by caracara for foraging and the potential of caracara nesting in the areas surrounding the site warrants further evaluation. No crested caracara were observed during the initial site review.

The wood stork is an endangered species that is considered likely to forage on site. The property does not provide suitable nesting habitat due to the absence of natural forested wetlands. The site is, however, within the 18.6-mile core forage area of wood stork rookeries as per USFWS, thus forage maintenance measures will be taken to support this species.

There is potential for several species of wading birds that are listed as State Threatened to utilize the site for foraging opportunities. These species include the little blue heron, reddish egret, roseate spoonbill, and tri-colored heron. Their occurrence would likely be limited to transient foraging as no evidence of nesting or habitat conducive to nesting was observed on the site.

The absence of pine flatwoods on the property and the current land use of the property does not provide habitat for gopher tortoises and associated commensal species. The gopher tortoise is listed as a threatened species by the FFWCC. Any gopher tortoises that may occur on the site in proposed development areas will be relocated to avoid impacts from development activity. As survey results are only valid for 90 days, a follow-up survey will be required prior to any land development activity.

A listed reptile species that was not observed but has some potential to occur on the site is the threatened eastern indigo snake. The eastern indigo snake ranges widely over a diversity of upland and wetland habitats, and is known to occur in the region. Nevertheless, the absence of xeric habitats or of a significant gopher tortoise population on site is such that indigo snakes are less likely to occur on the subject property. Standardized and specific construction awareness and notification procedures will be implemented for the protection of this species during site development.


WETLANDS

This preliminary evaluation did not identify any areas that would be considered jurisdictional wetlands under State or Federal criteria. However, final regulatory decisions as to the presence or absence of jurisdictional wetlands is determined by the relevant state (South Florida Water Management District) and Federal (US Army Corps of Engineers) agencies. The existing ditches on the site will be considered “other surface waters” in accordance with South Florida Water Management District rules and will be considered “non-wetland waters of the U.S.” by the U.S. Army Corps of Engineers.

APPENDIX



LEGEND

 - SITE (52.0+/- AC)

0 2,000 Feet



**EAKINS - FORT PIERCE
LOCATION MAP**

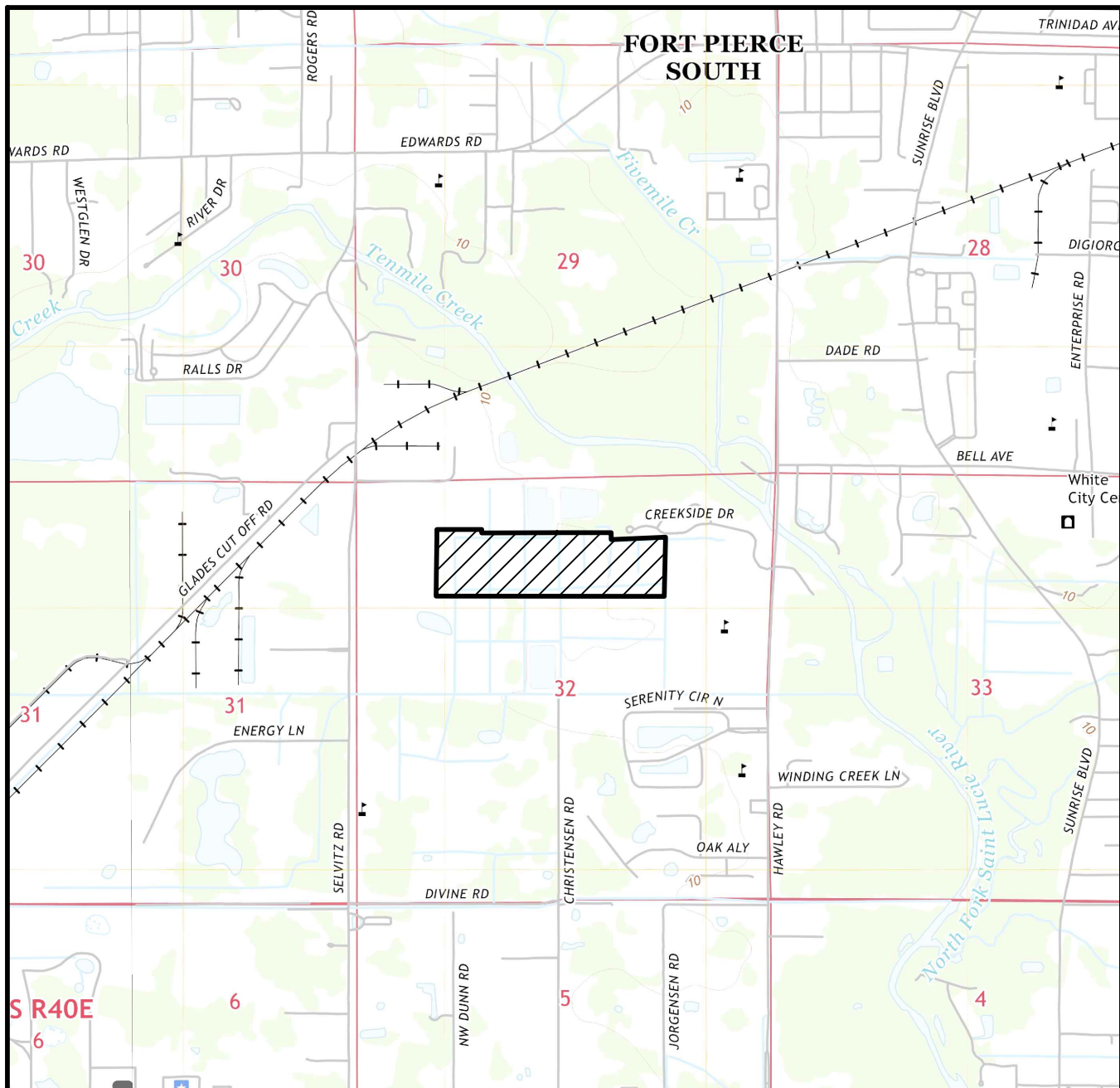


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NOV 2018

FIGURE

1



USGS QUAD MAP "FORT PIERCE", SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 RAST, CITY OF FORT PIERCE, ST LUCIE COUNTY, FLORIDA, LATITUDE 27°23'36" LONGITUDE -80°21'32"

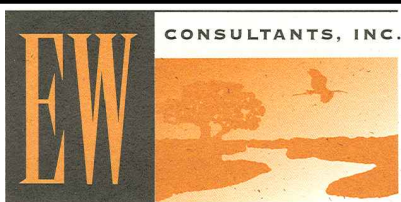
LEGEND

 - SITE (52.0± AC)



**EAKINS - FORT PIERCE
QUAD**

EAKINS - FT.PIERCE_recover_recover.dwg QUAD



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FIGURE
2

SELVITZ RD



FDOT AERIAL DATED 2018



EAKINS - FORT PIERCE AERIAL



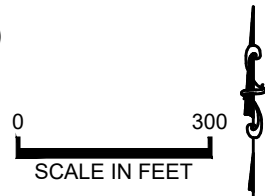
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 FIGURE
3



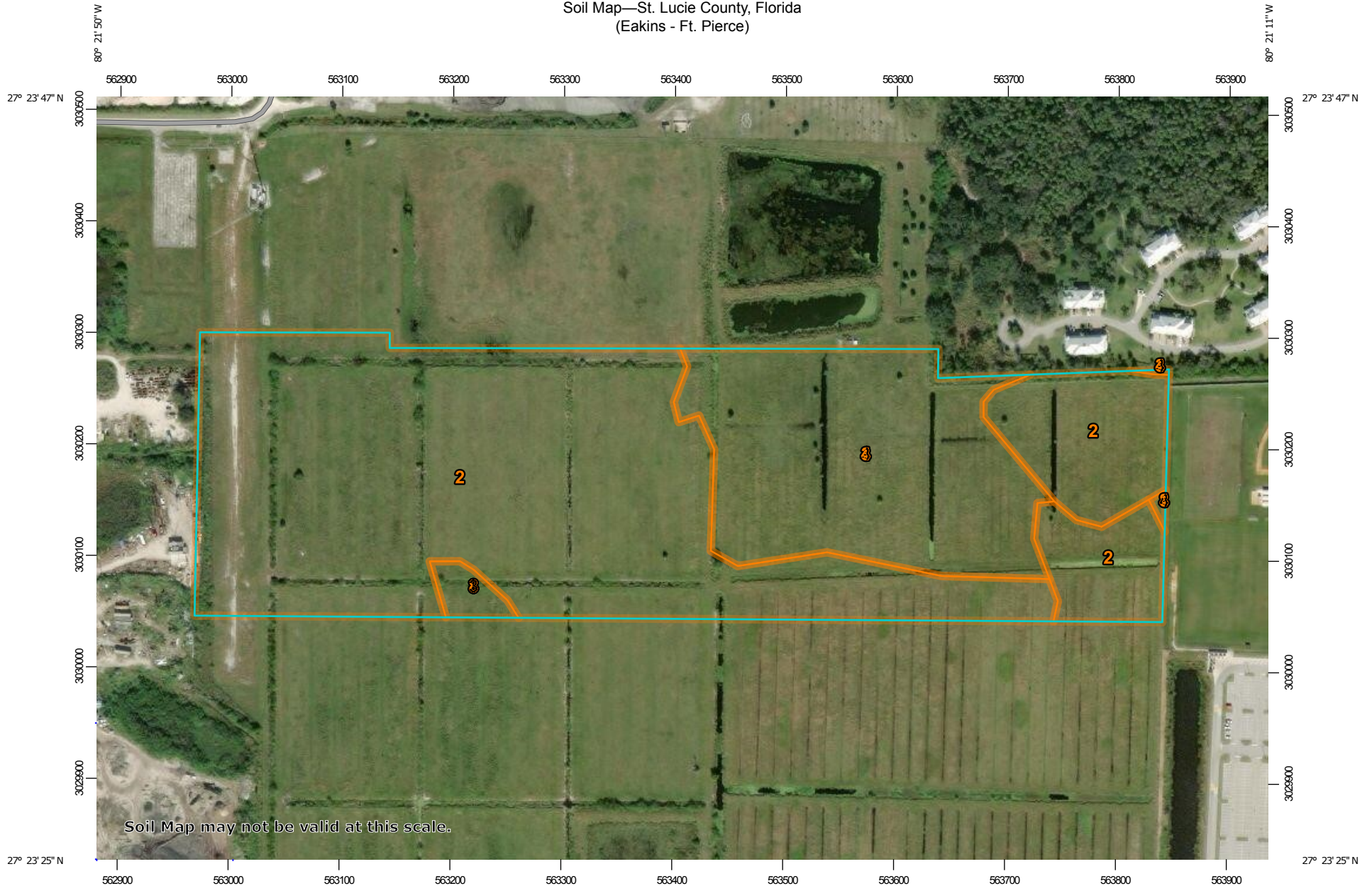
FDOT AERIAL DATED 2018

- LEGEND**
 211 - IMPROVED PASTURES (45.5± AC)
 510 - DITCHES (3.6± AC)
 740 - DISTURBED LANDS (1.6± AC)
 814 - ROADS (1.3± AC)
TOTAL SITE (52.0± AC)

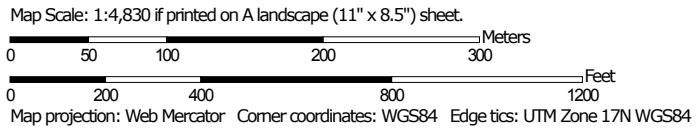


EAKINS - FORT PIERCE FLUCFCS		NOV 2018
	CONSULTANTS, INC.	EW CONSULTANTS, INC.
	<small>1000 SE MONTEREY COMMONS BLVD., SUITE 208 STUART, FL 34996</small>	<small>1000 SE MONTEREY COMMONS BLVD., SUITE 208 STUART, FL 34996</small>
	<small>772-287-8771 FAX 772-287-2988 WWW.EWCONSULTANTS.COM</small>	<small>772-287-8771 FAX 772-287-2988 WWW.EWCONSULTANTS.COM</small>
		FIGURE 4

Soil Map—St. Lucie County, Florida
(Eakins - Ft. Pierce)




Soil Map may not be valid at this scale.





MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida

Survey Area Data: Version 11, Sep 17, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Dec 15, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2	Ankona and Farnton sands	35.2	67.8%
26	Oldsmar sand, depressional	2.6	4.9%
38	Riviera fine sand, 0 to 2 percent slopes	0.6	1.2%
43	Susanna and Wauchula sands	13.5	26.0%
48	Wabasso sand, 0 to 2 percent slopes	0.1	0.1%
Totals for Area of Interest		52.0	100.0%

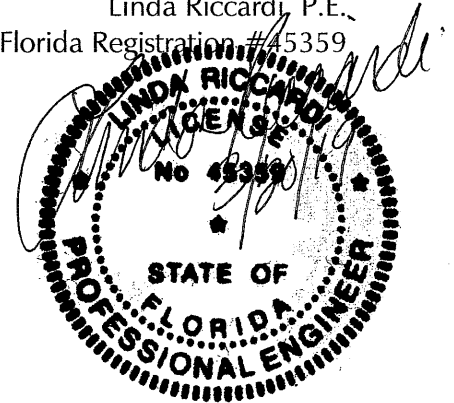
**FT. PIERCE AGGREGATE RECYCLING FACILITY
TRAFFIC IMPACT ANALYSIS**

Prepared for

D.S. EAKINS CONSTRUCTION CORP.

**PINDER TROUTMAN CONSULTING, INC.
Certificate of Authorization Number: 7989
2005 Vista Parkway, Suite 111
West Palm Beach, FL 33411
(561) 296-9698**

Linda Riccardi, P.E.,
Florida Registration #45359



**#PTC18-090
November 26, 2018
Revised March 20, 2019**

FT. PIERCE AGGREGATE RECYCLING FACILITY

TRAFFIC IMPACT ANALYSIS

Introduction

Pinder Troutman Consulting, Inc. (PTC) has been retained to conduct a traffic impact analysis for a proposed aggregate recycling facility project located in the City of Ft. Pierce. It is proposed to develop a 52 acre aggregate recycling facility. The purpose of this study is to examine the traffic impacts of the proposed development on the surrounding roadway network and to determine compliance with Chapter V – Adequate Public Facilities, of the St. Lucie County Land Development Code.

Site Data

The site is located on the east side of Selvitz Road, south of Glades Cut-Off Road, as shown on Exhibit 1. Proposed access to the site is via one driveway connection to Selvitz Road. The site operations involve trucks delivering excess or unused concrete, fill and asphalt materials to the site. The recycling plant will process the materials and store the products onsite. Trucks will enter the site to collect the processed aggregate materials and remove them from the site to use as a source of construction materials. The recycling plant will have up to nine employees. The site also includes 5 acres of outdoor storage yards for contractor storage and a 15,491 SF warehouse. Issues related to driveway location, turn lanes and geometrics would be addressed during final design. Any reference to intersection geometrics is conceptual in nature and subject to final design and approval by others. A buildout year of 2022 is proposed.

Existing Traffic Conditions

The latest available daily and peak hour traffic volumes and adopted level of service volumes for the surrounding roadway network were used. The source of the traffic count data for the links is the St. Lucie Transportation Planning Organization (TPO) which is provided in Appendix B. The source of the historic traffic data utilized in growth rate analyses is the TPO "Traffic Counts and Level of Service Report, Fall 2017", which is also provided in Appendix B.

Roadway Improvements

The Transportation Improvement Program from the St. Lucie TPO was reviewed to determine if any roadways within the study area are scheduled to be improved. Midway Road from 25th Street to US 1 is currently under construction for widening to four lanes.

Trip Generation

The Institute of Transportation Engineers (ITE), Trip Generation, 10th Edition was reviewed to determine an appropriate trip generation rate for the warehouse use and the proposed recycling facility. The warehouse trip generation rate was obtained from the ITE Trip Generation, 10th Edition. Since there was no ITE Trip Generation, 10th Edition rate available for a recycling facility, a traffic count at an existing concrete recycling facility owned by the applicant was conducted in October-November 2018. The existing facility is located on Benoist Farms Road, south of Belvedere Road, in Palm Beach County. The proposed recycling facility is expected to operate at the same capacities and vehicular volumes as the existing facility, in terms of truck traffic. Future hours of operation of the recycling facility and site characteristics have been provided by the applicant in Appendix A. The truck count data is provided in Exhibit 2A and in Appendix A. Exhibit 2B provides the daily, AM and PM peak hour trip generation data for the proposed development. Based on the net external daily trip generation of 384 and the St. Lucie County TPO standards, a one-half mile Radius of Area of Influence was utilized.

Trip Distribution and Assignment

A directional distribution was developed based on a review of land use patterns, approved traffic studies in the area and existing travel patterns. The project traffic distribution is shown on Exhibit 3A. Exhibits 3B and 3C show the assignment of AM and PM peak hour project traffic on the surrounding roadway network, as well as the project's impact percentage (% of peak hour directional service volume) to determine project significance. Project traffic is considered to be significant on the directly accessed Major Road where Project traffic consumes one percent or more of the directional capacity, and on any other Major Road within one-half mile where Project traffic consumes five percent or more of the directional capacity.

Committed Trips

Committed development traffic from projects located within the one-half mile radius must be included in the projection of future traffic volumes. Information on committed projects was obtained from St. Lucie County. The City of Fort Pierce also provided information on approved projects within the one-half mile radius. Committed development data from the following projects are included in Appendix C:

Ft. Pierce Precast Concrete Plant	Redhawk Rebar Manufacturing	Becker Parcel
-----------------------------------	-----------------------------	---------------

Historic Growth

Historic growth trends must be analyzed in the projection of future background traffic volumes. Historic growth data for a three-year period is shown on Exhibit 4A for the surrounding roadway links. Exhibit 4B provides a nine-year growth comparison for use in the intersection analyses to coincide with the intersection count year for Midway Road and Selvitz Road. The average of the three-year historical growth rates for the legs of the intersection was used in the intersection analyses to account for background growth to year 2022.

Intersection Analysis

Intersection capacity analyses are required for the major intersections within a significantly impacted roadway segment. The intersections of Midway Road with Selvitz Road and Edwards Road with Selvitz Road were analyzed using Highway Capacity Manual procedures. Recent turning movement counts for the intersection of Midway Road with Selvitz Road were unavailable, and the intersection was recently under construction. Therefore, the latest available counts were used and are included in Appendix D. Projected background traffic was calculated based on a combination of nine-year and three-year growth rates for the intersection of Midway Road and Selvitz Road. A peak hour turning movement count dated August 24, 2016 was adjusted to peak season and used for the intersection of Edwards Road and Selvitz Road. The average of the three-year historical growth rate for each leg of the intersection was utilized for projected background traffic for the intersection of Edwards Road and Selvitz Road. The traffic counts, volume development sheets, signal timing, and capacity analyses for the intersections are provided in Appendix D. The signal timing for both of the

intersections was optimized based on projected turning movements. The results are summarized on Exhibit 5. Both intersections are projected to operate at the adopted level of service standards.

Roadway Link Capacity Analysis

Exhibit 6 provides future peak hour traffic projections for the significantly impacted roadway links. The total traffic consists of existing traffic plus the highest of historic growth or Committed Development and 1% growth, whichever is greatest, plus Project traffic. The roadway links are projected to operate at the adopted peak hour level of service standards.

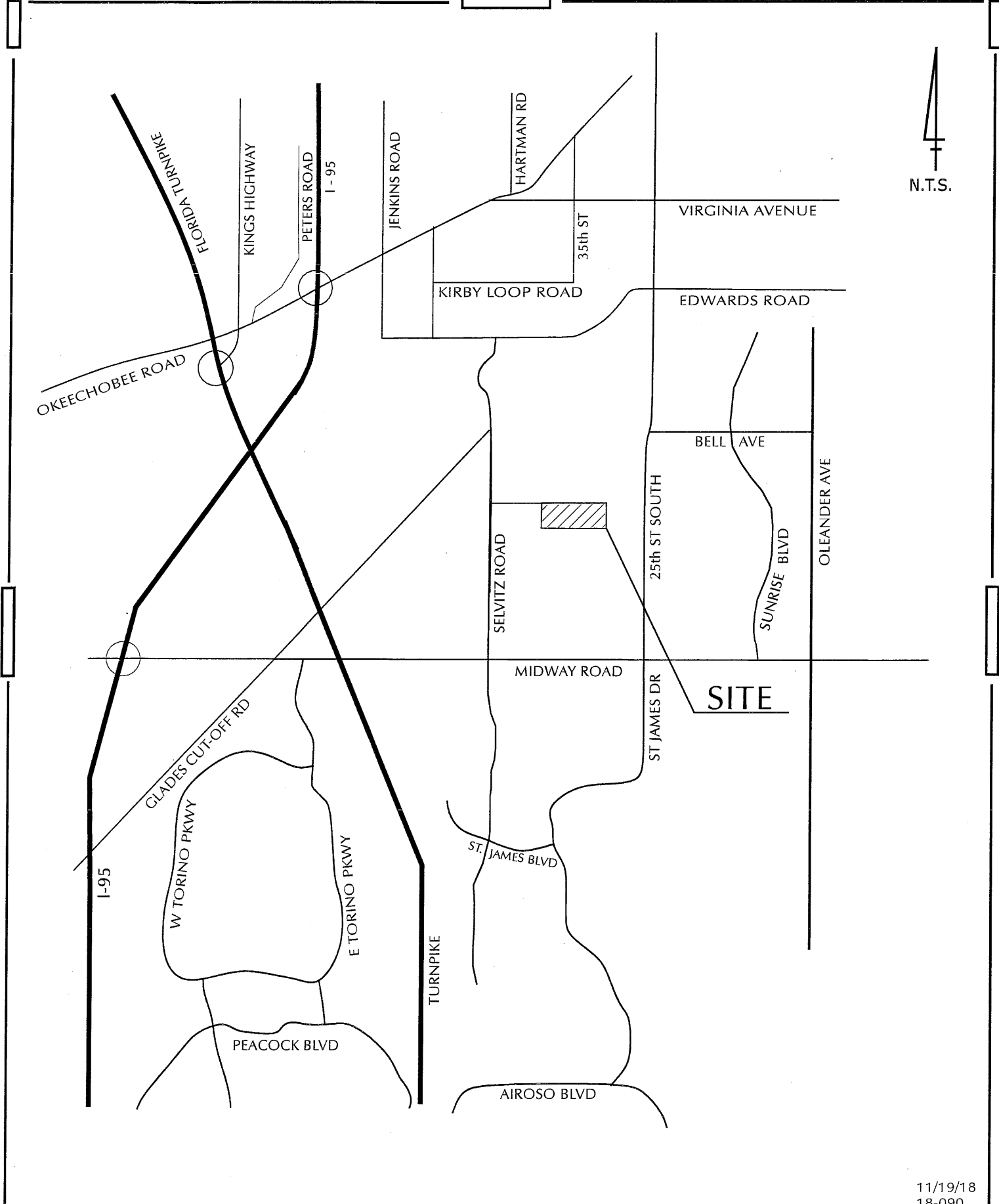
Driveway Volumes

Driveway volumes are shown on Exhibit 7. Full access to the site is provided by the existing driveway on Selvitz Road. Projected peak hour turning movements are also provided on Exhibit 7 for the existing Ft Pierce Precast Concrete Plant which utilizes the same driveway on Selvitz Road. There is an existing right and turn lane at the existing driveway. No additional turn lanes are required.

Conclusions

This analysis shows that roadway links and intersections surrounding the site are projected to operate at the adopted level of service standards with the proposed development. Therefore, the project is in conformance with the requirement of Chapter V – Adequate Public Facilities, of the St. Lucie County Land Development Code.

EXHIBITS



**FT PIERCE
RECYCLING**

**EXHIBIT 1
PROJECT LOCATION**

11/19/18
18-090
PTC

**Exhibit 2A
Ft. Pierce Aggregate Recycling Facility
Truck Count Summary (1)**

DS Eakins Aggregate Recycling Facility in West Palm Beach, Florida

Day / Date	AM PEAK HOUR			PM PEAK HOUR		
	6:30am - 7:30am			3:45pm - 4:45pm		
	Entering	Exiting	Total	Entering	Exiting	Total
Friday, 10/12/18	11	11	22	13	13	26
Monday, 10/15/18	5	5	10	10	10	20
Tuesday, 10/16/18	5	5	10	10	10	20
Wednesday, 10/17/18	12	12	24	7	7	14
Thursday, 10/18/18	11	11	22	8	8	16
Friday, 10/19/18	14	14	28	5	5	10
Average	10	10		9	9	

(1) Information provided by D.S. Eakins Construction Corporation based on Truck Count onsite.
Refer to Appendix A.

**Exhibit 2B
Ft. Pierce Aggregate Recycling Facility
Trip Generation**

DAILY

Land Use	ITE Code (3)	Land Use Intensity	Trip Generation Rate	Total Trips
Trucks with Aggregate Material (1)	IND	80 Trucks	2 /Truck	160
Employees (2)	IND	9 Employees	2 /Employee	18
Deliveries	IND	2 Deliveries	2 /Delivery	4
Contractor's Outdoor Storage	PBC	5.0 Acres	35 /Acre	175
Warehouse (5)	150	15,491 SF	1.74 /1,000 SF	27
TOTALS				384

AM PEAK HOUR

Land Use	ITE Code (3)	Land Use Intensity	Trip Generation Rate	Total Trips	
				In	Out
Trucks with Aggregate Material (1)	IND	10 Trucks	2 /Truck	10	10
Employees (2)	IND	9 Employees	1 /Employee	9	-
Deliveries	IND	2 Deliveries	2 /Delivery	2	2
Contractor's Outdoor Storage	PBC	5.0 Acres	5.6% of Daily (55/45) (4)	5	5
Warehouse (5)	150	15,491 SF	0.17 /1,000 SF (77/23)	2	1
TOTALS				28	18

PM PEAK HOUR

Land Use	ITE Code (3)	Land Use Intensity	Trip Generation Rate	Total Trips	
				In	Out
Trucks with Aggregate Material (1)	IND	9 Trucks	2 /Truck	9	9
Employees (2)	IND	9 Employees	1 /Employee	-	9
Deliveries	IND	- Deliveries	2 /Delivery	-	-
Contractor's Outdoor Storage	PBC	5.0 Acres	10.4% of Daily (50/50) (4)	9	9
Warehouse (5)	150	15,491 SF	0.19 /1,000 SF (27/73)	1	2
TOTALS				19	29

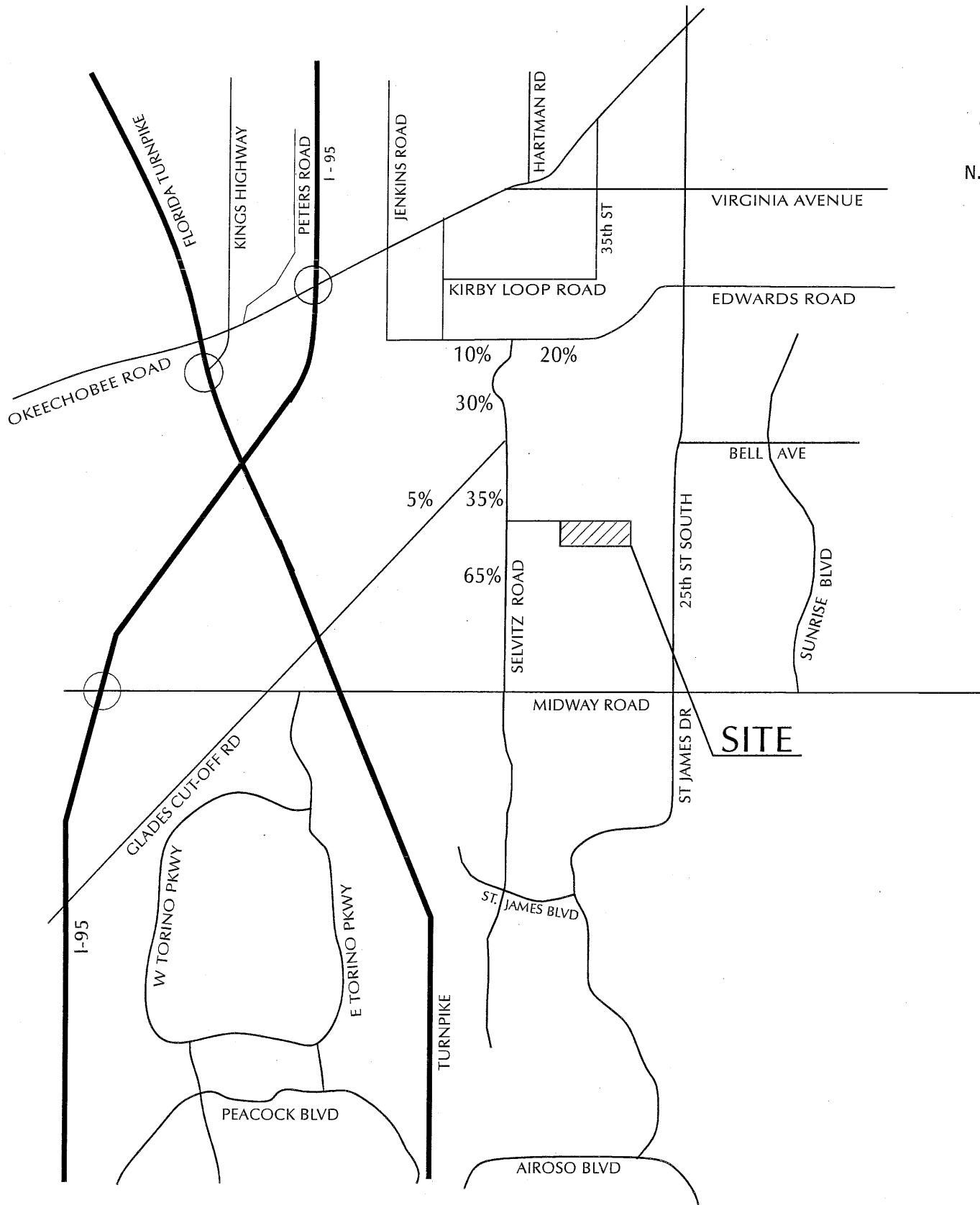
(1) Based on the average count data at the West Palm Beach Concrete Recycling Facility per D.S. Eakins Construction Co. Refer to Exhibit 2A.

(2) Assumes nine full time employees entering at 6:30am and leaving at 5:30 pm (Monday - Friday) per D.S. Eakins Construction Co.

(3) IND indicates Independent Study for similar Recycling Plant. Refer to Appendix A. PBC indicates Palm Beach County approved Trip Gen. rate.

(4) Source: ITE, Trip Generation, 9th Edition peak hour to daily ratio for Self Storage facility.

(5) Source: ITE, Trip Generation, 10th Edition, peak hour of adjacent street traffic.



FT PIERCE
RECYCLING

EXHIBIT 3A
PROJECT TRAFFIC DISTRIBUTION

11/19/18
18-090
PTC

**Exhibit 3B
Ft. Pierce Aggregate Recycling Facility
Project Traffic Assignment**

AM Peak

Roadway	Link	Existing Lanes	Road Class	Dir	Project Traffic			Total Project Impact	Service Volume (1)	Significant Impact? (Yes/No)
					28	In	Out			
					% Dist	Trips	Trips			
Selvitz Rd	Glades Cut Off Rd to Edwards Rd	2L	II	NB	30%	5	5	0.74%	675	No
				SB	30%	8	8	1.19%	675	No
Selvitz Rd	Site to Glades Cut-Off Rd (2)	2L	I	NB	35%	6	6	0.76%	790	No
				SB	35%	10	10	1.27%	790	YES
Glades Cut-Off Rd	Midway Rd to Site (2)	2L	I	NB	65%	18	18	2.28%	790	YES
				SB	65%	12	12	1.52%	790	YES
Glades Cut-Off Rd	Jenkins Rd to Selvitz Rd	2L	I	EB	5%	1	1	0.13%	790	No
				WB	5%	1	1	0.13%	790	No

(1) Based on 2012 FDOT Quality/Level of Service Handbook Tables for a Non-State Signalized Roadway.

(2) First accessed roadway link.

**Exhibit 3C
Ft. Pierce Aggregate Recycling Facility
Project Traffic Assignment**

PM Peak

Roadway	Link	Existing Lanes	Road Class	Dir	Project Traffic				Total Project Impact	Service Volume (1)	Significant Impact? (Yes/No)
					19	In	Out	Trips			
					29	% Dist	% Dist				
Selvitz Rd	Glades Cut Off Rd to Edwards Rd	2L	II	NB	30%	9	6	1.33%	675	No	
	Site to Glades Cut-Off Rd (2)	2L	I	SB	30%	10	7	0.89%	675	No	
Glades Cut-Off Rd	Midway Rd to Site (2)	2L	I	NB	35%	12	19	1.27%	790	YES	
	Jenkins Rd to Selvitz Rd	2L	I	SB	35%	12	1	0.89%	790	No	
Glades Cut-Off Rd	Jenkins Rd to Selvitz Rd	2L	I	NB	65%	19	1	1.52%	790	YES	
				SB	65%	1	1	2.41%	790	YES	
Glades Cut-Off Rd	Jenkins Rd to Selvitz Rd	2L	I	EB	5%	1	1	0.13%	790	No	
				WB	5%	1	1	0.13%	790	No	

(1) Based on 2012 FDOT Quality/Level of Service Handbook Tables for a Non-State Signalized Roadway.

(2) First accessed roadway link.

Exhibit 4A
Ft. Pierce Aggregate Recycling Facility
Historic Growth - Three Year

Roadway	Link	AADT Traffic Volumes ⁽¹⁾		Growth Rate
		2014	2017	
Edwards Rd	McNeil Rd to Selvitz Rd	9,000	10,500	5.27% /Year
	Selvitz Rd to 25th St	11,500	14,500	8.03% /Year
Selvitz Rd	Glades Cut-Off Rd to Edwards Rd	12,500	13,000	1.32% /Year
	Midway Rd to Glades Cut-Off Rd (2)	7,800	11,000	12.14% /Year (2)
Midway Road	West of Selvitz Rd to Selvitz Rd	19,000	20,500	2.57% /Year
	Selvitz Rd to Christensen Rd	17,000	17,500	0.97% /Year

(1) Count data from St. Lucie County. See Appendix B.

(2) Not used due to abnormally high growth rate.

**Exhibit 4B
Ft. Pierce Aggregate Recycling Facility
Historic Growth (2008 to 2017)**

Roadway	Link	AADT Traffic Volumes ⁽¹⁾		Growth Rate
		2008	2017	
Edwards Rd	McNeil Rd to Selvitz Rd	9,725	10,500	0.86% /Year
	Selvitz Rd to 25th St	13,195	14,500	1.05% /Year
Selvitz Rd	Glades Cut-Off Rd to Edwards Rd	N/A	13,000	NA /Year
	Midway Rd to Glades Cut-Off Rd	N/A	11,000	NA /Year
Midway Road	West of Selvitz Rd to Selvitz Rd	18,508	20,500	1.14% /Year
	Selvitz Rd to Christensen Rd	17,892	17,500	-0.25% /Year
Glades Cut-Off Road	Jenkins Rd to Selvitz Rd	5,920	6,176	0.47% /Year
Areawide		65,240	69,176	0.65% /Year

(1) Count data from St. Lucie County. See Appendix B.
N/A: Not Available.

Exhibit 5
Ft. Pierce Aggregate Recycling Facility
Intersection Analysis (1)

Intersection	2022 AM Peak Hour		2022 PM Peak Hour	
	Inters. Delay (sec)	LOS	Inters. Delay (sec)	LOS
Midway Rd / Selvitz Road	41.1	D	40.1	D
Edwards Road / Selvitz Road	42.2	D	43.1	D

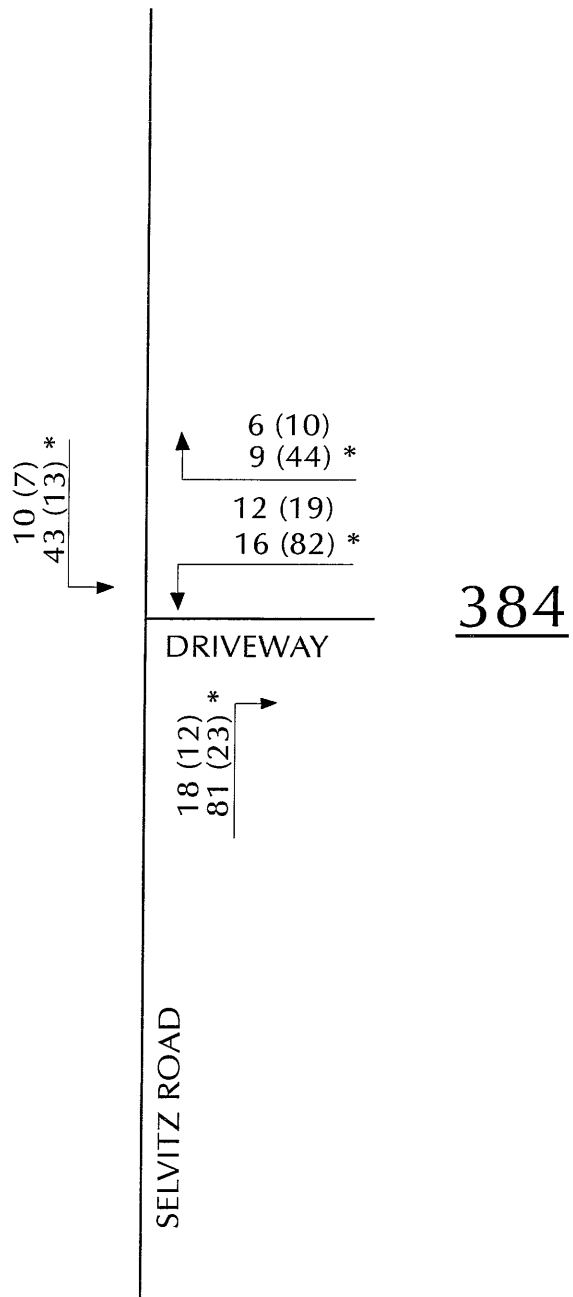
(1) See Appendix D for intersection capacity analyses.

Exhibit 6
Ft. Pierce Aggregate Recycling Facility
Link Analysis

Roadway	Link	Lanes	Dir	AM PEAK HOUR										Meets Std?
				Existing (2017) ⁽¹⁾	Committed Dev. Analysis ⁽²⁾		Growth (2022)		Total Bkgd. ⁽³⁾	Project	Total (2022)	Service Volume (4)		
					Projects	Growth	Total	Volume					%/Year	
Selvitz Road	Site to Glades Cut-Off Road	2L	SB	657	69	33	102	44	1.32%	759	10	769	790	Yes
	Midway Rd to Site	2L	NB	449	61	23	84	30	1.32%	533	18	552	790	Yes
			SB	657	38	33	71	44	1.32%	728	12	740	790	Yes

Roadway	Link	Lanes	Dir	PM PEAK HOUR										Meets Std?
				Existing (2017) ⁽¹⁾	Committed Dev. Analysis ⁽²⁾		Growth (2022)		Total Bkgd. ⁽³⁾	Project	Total (2022)	Service Volume (4)		
					Projects	Growth	Total	Volume					%/Year	
Selvitz Road	Site to Glades Cut-Off Road	2L	NB	318	67	16	83	22	1.32%	401	10	412	790	Yes
	Midway Rd to Site	2L	NB	318	47	16	63	22	1.32%	381	12	394	790	Yes
			SB	661	68	34	102	45	1.32%	762	19	781	790	Yes

⁽¹⁾ Count data from St. Lucie County adjusted to peak season using 1.01 seasonal factor on Count sheet. See Appendix B.
⁽²⁾ Committed development data provided in Appendix C.
⁽³⁾ Background traffic includes Existing plus the highest of Committed Development and 1% growth or historic growth.
⁽⁴⁾ Based on 2012 FDOT Quality/Level of Service Handbook Tables for a Class I non-State signalized roadway.



LEGEND

5 - AM Peak Hour
(26) - PM Peak Hour
506 - ADT

* INDICATES PROJECTED TURNING MOVEMENTS FROM FT PIERCE PRECAST CONCRETE PLANT.

3/19/19
18-090

FT PIERCE
RECYCLING FACILITY

EXHIBIT 7
PROJECT DRIVEWAY VOLUMES



APPENDIX A

APPENDIX B
ALTERNATIVE STUDY NETWORK IDENTIFICATION
METHODOLOGY

Area of Influence Based

- a. The area to be studied will be based on the New External Trip Generation of the proposed development. The table below shall determine the development's area of influence.

New External Daily Trip Generation	Radius of Area of Influence
0 - 200	Only segments directly accessed by the proposed development
201 - 500	0.5 miles *
501 - 1,000	1.0 miles
1,001 - 5,000	2.0 miles
5,001 - 10,000	3.0 miles
10,001 - 20,000	4.0 miles
Over 20,000	5.0 miles

- b. The radius of influence shall be measured from each connection of the project to the Major Road Network.
- c. All major signalized and unsignalized intersections on the roadway segments within the area of influence shall be studied.
- d. If the study radius ends between intersections identified in c above, the study area shall extend to the next major intersection.

Linda Riccardi

To: lriccardi@pindertroutman.com
Subject: FW: Ft Pierce Concrete Recycling Plant Traffic
Attachments: Benoist Traffic Study.pdf

From: Steve Eakins [mailto:steve@dseakins.com]
Sent: Thursday, November 15, 2018 3:06 PM
To: Linda Riccardi
Cc: 'Jonathan Ricketts'
Subject: RE: Ft Pierce Concrete Recycling Plant Traffic

Linda,

We will have 9 employees and they will work from 6:30am to 5:00pm Monday through Friday

Per the attached study we conduct at our Benoist farms facility we will have the below Counts (6 day Average) of Customer traffic:

Monday through Friday between 6:30am & 7:30am: 20 Trips (10 In & 10 Out) Per day Average

Monday through Friday between 3:45pm & 4:45pm: 18 Trips (9 In & 9 Out) Per day Average

The average customers (trucks) arrive and leave within 15 to 20 min

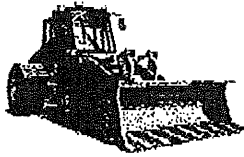
Please let me know if you have any questions or need anything else.

Thanks,

Steven Eakins
Vice President



1481 Kinetic Road
Lake Park, Florida 33403
Phone: (561) 842-0010
Fax: (561) 842-0009
Cell: (561) 346-1549
Steve@dseakins.com



D.S. EAKINS

CONSTRUCTION CORPORATION



POST OFFICE BOX 530185
LAKE PARK, FLORIDA 33403
(561) 842-0010

Fax Transmittal Cover Sheet

To: KAY / CRICKET

Fax No. _____

Total No. of Pages: 2

From: PAUL

Date: 9-23-18

RE: _____

Truck Count (Steven)

For Week

6:30 - 7:30 A.M.

3:45 - 4:45 P.M.

	A.M.	P.M.
10/12 Fri	11	13

Sat.

10/15 Mon.	5	10
------------	---	----

10/16 Tues	5	10
------------	---	----

10/17 Wed.	12	7
------------	----	---

10/18 Thurs.	11	8
--------------	----	---

10/19 Fri	14	5
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Linda Riccardi

From: Steve Eakins [steve@dseakins.com]
Sent: Tuesday, November 20, 2018 12:40 PM
To: Linda Riccardi
Cc: 'jricketts@jtrinc.com'
Subject: RE: Ft Pierce Concrete Recycling Plant Traffic

Good afternoon Linda,

Sounds good.

Hours of operation are from 6:30am to 5:30 pm M-F & 6:30am to Noon Saturday

In a 24 Hour period M-F, we average 40 loads of material in for processing and 40 Loads of Materials out to customers. This is based on a 15,000 CY monthly volume that we sell, which has to be hauled in as well. (80 Trips in and 80 trips out for 160 trips total per day)

Please let me know if you need anything else.

Thanks,

Steven Eakins
Vice President



1481 Kinetic Road
Lake Park, Florida 33403
Phone: (561) 842-0010
Fax: (561) 842-0009
Cell: (561) 346-1549
Steve@dseakins.com

APPENDIX B

48 Hour Traffic Volume Summary

St. Lucie TPO

Count Station: 703

Location: SELVITZ RD 0.23 MILES NORTH OF MIDWAY RD

Summary Begin Date: November 15, 2017

Hour Ending	Day 1		Day 2	
	North	South	North	South
01:00	14	30	11	24
02:00	3	10	6	16
03:00	3	14	4	11
04:00	17	29	14	25
05:00	34	68	52	77
06:00	149	191	139	174
07:00	321	507	338	554
08:00	485	711	405	588
09:00	298	465	301	450
10:00	233	351	232	381
11:00	222	364	182	314
12:00	220	392	238	386
13:00	220	367	234	353
14:00	197	391	234	402
15:00	297	460	241	434
16:00	305	599	325	664
17:00	325	668	302	640
18:00	231	495	246	490
19:00	158	304	126	262
20:00	79	162	68	168
21:00	65	132	52	99
22:00	34	84	51	91
23:00	29	60	31	73
24:00	11	34	20	33
Totals:	3,950	6,888	3,852	6,709

Hour Ending	Average		
	North	South	Total
01:00	12	27	39
02:00	4	13	17
03:00	3	12	15
04:00	15	27	42
05:00	43	72	115
06:00	144	182	326
07:00	330	531	861
08:00	445	650	1,095
09:00	300	458	758
10:00	233	366	599
11:00	202	339	541
12:00	229	389	618
13:00	227	360	587
14:00	216	397	613
15:00	269	447	716
16:00	315	632	947
17:00	314	654	968
18:00	239	493	732
19:00	142	283	425
20:00	73	165	238
21:00	58	115	173
22:00	42	87	129
23:00	30	66	96
24:00	15	33	48
Totals:	3,900	6,798	10,698

Day 1: Wednesday, November 15, 2017

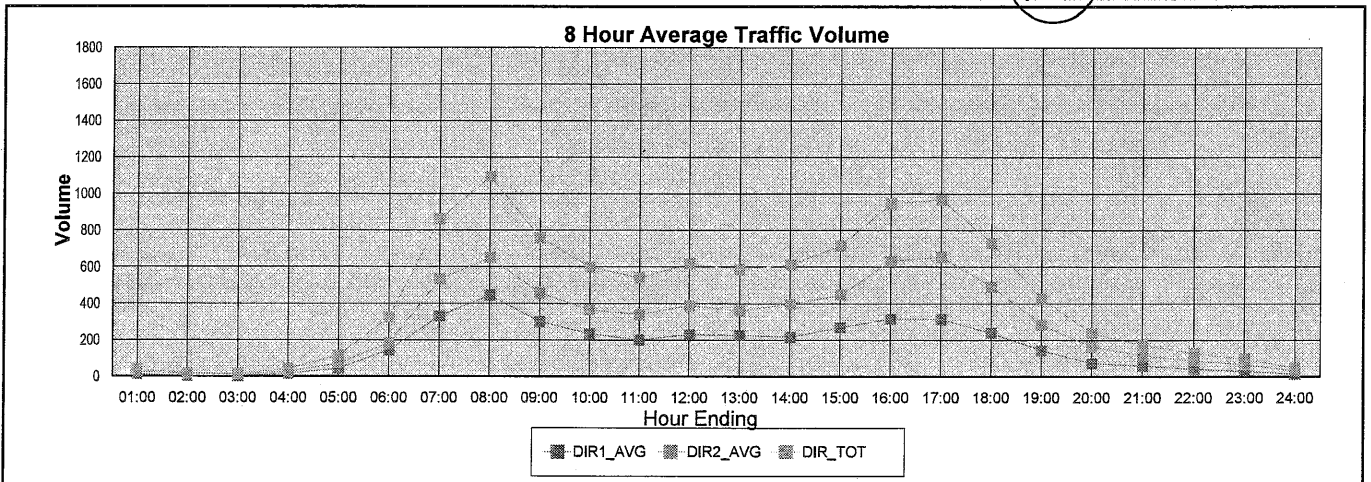
Day 2: Thursday, November 16, 2017

11/15/17 - 11/16/17	Wednesday	Thursday	Average
AM P:D:	0.110	0.100	0.107
AM DFac:	0.59	0.61	0.60
AM Pk Hr Begins:	0700	0630	n/a
PM P:D:	0.090	0.100	0.094
PM DFac:	0.66	0.66	0.66
PM Pk Hr Begins:	1530	1515	n/a

AM Peak Hr Peak Season Vol	1,227
PM Peak Hr Peak Season Vol	1,081

P:D	MOCF	K100
0.107	0.94	0.113

ADT	SF	AADT
10,698	1.01	11,000



**COUNTS USED TO DEVELOP
HISTORICAL GROWTH RATES**



Spring 2008 Traffic Count Analysis

Rowway Name	Location	Rowway Classification	No Ln	Count Date	2008 ADT	2008 ADT LOS ¹	AM Pk Time	AM Pkhr Vol	2008 AM Pkhr LOS ²	PM Peak Time	PM Pkhr Vol	2008 PM Pkhr LOS ²
13th Street North	N. of Georgia Ave	State Two-Way Arterial - Interrupted Flow Class I	2	3/5/2008	6,139	C	1130-1230	410	C	1645-1745	484	C
13th Street North	N. of Virginia Ave	State Two-Way Arterial - Interrupted Flow Class I	2	3/5/2008	7,224	C	1145-1245	479	C	1700-1800	658	C
13th Street North	N. of Delaware Ave	State Two-Way Arterial - Interrupted Flow Class I	2	3/5/2008	5,666	C	845-945	379	B	1600-1700	504	C
13th Street South	N. of Ave D	Major City/County Road	2	2/25/2008	4,243	C	800-900	294	C	1630-1730	369	C
13th Street South	N. of Orange Ave	Major City/County Road	2	2/20/2008	4,622	C	745-845	355	C	1615-1715	406	C
25th Street North	S. of St Lucie Blvd	State Two-Way Arterial - Interrupted Flow Class I	4	6/17/2008	8,040	B	730-830	579	B	1615-1715	718	B
25th Street North	N. of Juanita Ave	State Two-Way Arterial - Interrupted Flow Class I	4	6/18/2008	8,329	B	1145-1245	555	B	1630-1730	783	B
25th Street North	N. of Edwards Rd	State Two-Way Arterial - Interrupted Flow Class I	4	7/1/2008	19,382	B	715-815	1549	B	1630-1730	1746	B
25th Street South	N. of Virginia Ave	State Two-Way Arterial - Interrupted Flow Class I	4	6/24/2008	21,821	B	730-830	1602	B	1630-1730	1877	B
25th Street South	S. of Virginia Ave	State Two-Way Arterial - Interrupted Flow Class I	4	3/5/2008	20,241	B	730-830	1702	B	1615-1715	1790	B
25th Street South	S. of Midway Rd West	State Two-Way Arterial - Interrupted Flow Class I	4	5/14/2008	16,415	B	730-830	1609	B	1645-1745	1634	B
7th Street South	S. of Delaware Ave	Major City/County Road	2	3/2/2008	1,834	C	1130-1230	142	C	1615-1715	211	C
7th Street South	S. of Georgia Ave	Major City/County Road	2	3/2/2008	1,113	C	1115-1215	98	C	1600-1700	119	C
Airosa Blvd	N. of Prima Vista Blvd	State Two-Way Arterial - Interrupted Flow Class I	4	4/16/2008	12,624	B	730-830	1271	B	1700-1800	1188	B
Airosa Blvd	N. of West Virginia Ave	State Two-Way Arterial - Interrupted Flow Class I	4	4/14/2008	16,489	B	715-815	1524	B	1700-1800	1481	B
Airosa Blvd	N. of Floresta Dr	State Two-Way Arterial - Interrupted Flow Class I	4	4/14/2008	20,420	B	730-830	2090	B	1700-1800	1954	B
Airosa Blvd	N. of Port St. Lucie Blvd	State Two-Way Arterial - Interrupted Flow Class I	4	4/16/2008	16,489	B	715-815	1535	B	1700-1800	1398	B
Angle Rd	N. of Orange Ave	State Two-Way Arterial - Interrupted Flow Class I	2	2/20/2008	9,325	C	730-830	902	C	1600-1700	936	C
Avenue D	E. of 7th St	Major City/County Road	2	2/27/2008	3,726	C	1100-1200	311	C	1545-1645	313	C
Avenue D	E. of 13th St	Major City/County Road	2	2/27/2008	5,981	C	1130-1230	426	C	1630-1730	474	C
Avenue D	E. of 17th St	Major City/County Road	2	2/27/2008	6,313	C	1115-1215	432	C	1630-1730	525	C
Avenue D	E. of 25th St	Major City/County Road	2	2/27/2008	6,724	C	1115-1215	436	C	1700-1800	535	C
Avenue D	W. of 25th St	State Two-Way Arterial - Interrupted Flow Class I	2	2/27/2008	4,287	C	730-830	315	B	1700-1800	363	B
Bayshore Blvd	N. of Prima Vista Blvd	State Two-Way Arterial - Interrupted Flow Class I	4	4/16/2008	15,354	B	745-845	1179	B	1700-1800	1299	B
Bayshore Blvd	N. of West Virginia Dr	State Two-Way Arterial - Interrupted Flow Class I	4	4/16/2008	23,574	B	730-830	1772	B	1645-1745	1935	B
Bayshore Blvd	N. of Port St Lucie Blvd	State Two-Way Arterial - Interrupted Flow Class I	4	5/7/2008	24,747	B	730-830	1985	B	1700-1800	2268	B
Becker Rd	E. of Port St Lucie Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	5/12/2008	7,852	C	630-730	807	C	1715-1815	802	C
Bell Ave	E. of Sunrise Blvd	Other County Road	2	3/26/2008	3,047	C	715-815	384	C	1630-1730	311	C
Bell Ave	W. of Sunrise Blvd	Other County Road	2	3/24/2008	2,646	C	745-845	283	C	1645-1745	254	C
California Blvd	S. of St Lucie West Blvd	Major City/County Road	2	4/30/2008	15,924	F	730-830	1291	D	1645-1745	1398	E
California Blvd	N. of St Lucie West Blvd	Major City/County Road	2	4/30/2008	7,139	C	715-815	568	C	1730-1830	662	C
Cashmere Blvd	N. of St Lucie West Blvd	Major City/County Road	2	4/30/2008	9,810	D	700-800	956	D	1700-1800	843	C
Cashmere Blvd	S. of St Lucie West Blvd	Major City/County Road	2	4/30/2008	14,390	D	800-900	1032	D	1715-1815	1308	D
Citrus Ave	E. of US 1 South	State Two-Way Arterial - Interrupted Flow Class I	2	6/24/2008	5,607	C	1145-1245	523	C	1230-1330	575	C
Darwin Rd	N. of Becker Rd	State Two-Way Arterial - Interrupted Flow Class I	2	5/12/2008	4,869	C	745-845	384	B	1700-1800	549	C
Del Rio Blvd	N. of Port St Lucie Blvd	Major City/County Road	2	5/7/2008	11,822	D	715-815	918	D	1700-1800	981	D
Delaware Ave	W. of 25th St South	Major City/County Road	4	3/5/2008	6,504	C	700-800	621	C	1645-1745	642	C
East Torino Pkwy	S. of Midway Rd	Major City/County Road	2	5/14/2008	9,716	D	700-800	1003	D	1645-1745	988	D
Edwards Rd	W. of 25th St South	State Two-Way Arterial - Interrupted Flow Class I	2	4/9/2008	13,195	C	715-815	1051	C	1630-1630	1200	C
Edwards Rd	W. of Selwitz Rd	State Two-Way Arterial - Interrupted Flow Class I	2	4/9/2008	9,725	C	715-815	775	C	1630-1730	888	C



Spring 2008 Traffic Count Analysis

Rowway Name	Location	Rowway Classification	No Ln	Count Date	2008 ADT	2008 ADT LOS ¹	AM Pk Time	AM Pkhr Vol	AM LOS ²	PM Peak Time	PM Pkhr Vol	PM LOS ²
Edwards Rd	W. of Sunrise Blvd	State Two-Way Arterial - Interrupted Flow Class I	4	4/9/2008	17,719	B	730-830	1559	B	1630-1730	1542	B
Edwards Rd	W. of US 1	State Two-Way Arterial - Interrupted Flow Class I	4	4/9/2008	9,003	B	730-830	730	B	1645-1745	810	B
Edwards Rd	W. of Oleander Ave	State Two-Way Arterial - Interrupted Flow Class I	4	4/9/2008	14,242	B	730-830	1130	B	1630-1730	1274	B
Emerson Ave	N. of Indrio Rd	State Two-Way Arterial - Uninterrupted Flow	2	2/20/2008	5,586	B	700-800	495	B	1645-1745	592	B
Farmer's Market Rd	W. of US 1 South	Other County Road	2	3/26/2008	2,314	C	1130-1230	212	C	1645-1745	208	C
Floresta Dr	S. of Prima Vista Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	4/23/2008	13,458	C	730-830	1090	C	1700-1800	1211	C
Floresta Dr	W. of Airosa Blvd	Major City/County Road	2	4/23/2008	3,575	C	830-930	459	C	1515-1615	357	C
Floresta Dr	N. of Port St Lucie Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	4/23/2008	17,493	F	730-830	1396	D	1700-1800	1570	E
Floresta Dr	S. of Port St Lucie Blvd	Major City/County Road	2	4/23/2008	11,930	D	730-830	1001	D	1700-1800	1130	D
Floresta Dr	E. of Airosa Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	5/7/2008	10,004	C	815-915	824	C	1700-1800	970	C
Fort Pierce Blvd	W. of West Seminole Rd	State Two-Way Arterial - Interrupted Flow Class I	2	2/20/2008	2,642	B	700-800	254	B	1630-1730	253	B
Gattlin Blvd	E. of I-95	State Two-Way Arterial - Interrupted Flow Class I	6	8/6/2008	38,506	B	715-815	2745	B	1715-1815	3354	B
Georgia Ave	W. of US 1 South	Major City/County Road	2	3/6/2008	2,336	C	1145-1245	205	C	1645-1745	245	C
Georgia Ave	W. of 7th St South	Major City/County Road	2	3/5/2008	2,449	C	1115-1215	176	C	1700-1800	228	C
Georgia Ave	W. of 13th St South	Major City/County Road	2	3/5/2008	5,219	C	1115-1215	359	C	1630-1730	492	C
Gilson Rd	N. of Martin County Line	Major City/County Road	2	5/14/2008	11,484	D	715-815	983	D	1645-1745	1209	D
Glades Cut-Off Rd	W. of Selvitz Rd	Major City/County Road	2	2/25/2008	5,920	C	630-730	501	C	1615-1715	582	C
Glades Cut-Off Rd	N. of Midway Rd West	Major City/County Road	2	2/27/2008	4,703	C	615-715	434	C	1615-1715	443	C
Glades Cut-Off Rd	N. of Reserve Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	3/19/2008	3,738	B	630-730	441	C	1515-1615	391	B
Glades Cut-Off Rd	S. of Reserve Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	3/19/2008	2,799	B	630-730	393	B	1515-1615	324	B
Glades Cut-Off Rd	S. of Midway Rd West	State Two-Way Arterial - Interrupted Flow Class I	2	3/19/2008	2,605	B	630-730	272	B	1530-1630	259	B
Green River Pkwy	S. of Walton Rd	Major City/County Road	2	4/9/2008	2,498	C	715-815	200	C	1645-1745	290	C
Header Canal Rd	S. of Orange Ave	Major City/County Road	2	2/27/2008	408	C	715-815	43	C	1700-1800	48.8	C
Indian River Dr	N. of Midway Rd East	Major City/County Road	2	3/25/2008	4,352	C	730-830	458	C	1645-1745	533	C
Indian River Dr	N. of Walton Rd	Major City/County Road	2	3/26/2008	5,416	C	730-830	534	C	1645-1745	630	C
Indian River Dr	N. of Martin County Line	Major City/County Road	2	3/26/2008	7,467	C	715-815	580	C	1630-1730	762	C
Indian River Dr	N. of Savannah Rd	Major City/County Road	2	3/25/2008	4,720	C	730-830	422	C	1630-1730	547	C
Indian River Dr	N. of Citrus Ave	State Two-Way Arterial - Interrupted Flow Class I	2	7/8/2008	5,333	C	730-831	410	C	1645-1745	535	C
Indian River Dr	N. of Orange Ave	State Two-Way Arterial - Interrupted Flow Class I	2	7/8/2008	5,102	C	1145-1245	375	B	1630-1730	506	C
Indian River Dr	S. of A1A/Bridge	State Two-Way Arterial - Interrupted Flow Class I	2	6/24/2008	5,351	C	1145-1246	375	B	1600-1700	460	C
Indrio Rd	E. of Kings Hwy	State Two-Way Arterial - Interrupted Flow Class I	2	2/19/2008	6,277	C	715-815	575	C	1645-1745	578	C
Indrio Rd	E. of I-95	State Two-Way Arterial - Interrupted Flow Class I	2	7/2/2008	8,836	C	645-745	775	C	1630-1730	735	C
Indrio Rd	W. of I-95	State Two-Way Arterial - Interrupted Flow Class I	2	6/25/2008	2,413	B	1100-1200	295	B	1230-1330	269	B
Indrio Rd	W. of Kings Hwy	State Two-Way Arterial - Interrupted Flow Class I	2	6/17/2008	9,280	C	0715-0815	663	C	1630-1730	805	C
Jenkins Rd South	N. of Okeechobee Rd	Major City/County Road	2	2/28/2008	10,292	D	715-815	818	C	1645-1745	942	D
Jenkins Rd South	S. of Okeechobee Rd	State Two-Way Arterial - Interrupted Flow Class I	2	2/28/2008	7,478	C	730-830	632	C	1630-1730	641	C
Johnston Rd	N. of Indrio Rd	Major City/County Road	2	2/20/2008	6,665	C	715-815	643	C	1645-1745	669	C
Juanita Ave	W. of US 1 North	Major City/County Road	2	2/21/2008	3,765	C	1145-1245	274	C	1645-1745	322	C
Juanita Ave	E. of 25th St	Major City/County Road	2	2/19/2008	3,917	C	715-815	269	C	1700-1800	343	C
Juanita Ave	W. of 25th St	Major City/County Road	2	2/21/2008	6,378	C	730-830	398	C	1715-1815	567	C



Spring 2008 Traffic Count Analysis

Rowway Name	Location	Rowway Classification	No Ln	Count Date	2008 ADT	2008 ADT LOS ¹	AM Pk Time	AM Pk Vol	2008 AM Pkhr LOS ²	PM Peak Time	PM Pkhr Vol	2008 PM Pkhr LOS ²
Keen Rd	S. of St Lucie Blvd	Major City/County Road	2	2/21/2008	2,950	C	715-815	318	C	1630-1730	336	C
Kings Hwy North	S. of Indrio Rd	State Two-Way Arterial - Interrupted Flow Class I	2	6/17/2008	13,377	C	700-800	1028	C	1630-1730	1181	C
Kings Hwy North	N. of Orange Ave	State Two-Way Arterial - Interrupted Flow Class I	2	6/24/2008	14,265	D	715-815	1195	C	1645-1745	1253	C
Kings Hwy North	SW of US 1 North	State Two-Way Arterial - Interrupted Flow Class I	2	6/17/2008	8,268	C	1145-1245	605	C	1630-1730	859	C
Kings Hwy North	N. of Indrio Rd	State Two-Way Arterial - Interrupted Flow Class I	2	6/17/2008	12,430	C	715-815	894	C	1645-1745	1059	C
Kings Hwy North	N. of St Lucie Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	6/17/2008	12,101	C	715-815	915	C	1630-1730	1001	C
Kings Hwy North	S. of St Lucie Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	2/20/2008	13,165	C	715-815	324	B	1630-1730	342	B
Kings Hwy South	S. of Orange Ave	State Two-Way Arterial - Interrupted Flow Class I	2	6/24/2008	10,261	C	715-815	761	C	1700-1800	798	C
Kings Hwy South	N. of Okeechobee Rd	State Two-Way Arterial - Interrupted Flow Class I	2	6/18/2008	7,277	C	730-830	558	C	1700-1800	550	C
Lennard Rd	S. of Walton Rd	Major City/County Road	4	5/7/2008	5,488	C	630-730	428	C	1715-1815	502	C
Lennard Rd	N. of Port St Lucie Blvd	Major City/County Road	4	4/16/2008	16,945	C	730-830	1293	C	1700-1800	1486	C
Maniposa Ave	E. of Lennard Rd	Major City/County Road	4	4/16/2008	7,892	C	730-830	1013	D	1745-1845	750	C
Maniposa Ave	W. of Lennard Rd	Major City/County Road	4	4/14/2008	10,605	C	730-830	812	C	1645-1745	1064	C
Midport Rd	W. of US 1 South	Major City/County Road	4	4/14/2008	11,580	C	715-815	977	C	1630-1730	1067	C
Midway Rd East	W. of Indian River Dr	State Two-Way Arterial - Interrupted Flow Class I	2	3/26/2008	4,146	B	730-830	353	B	1700-1800	470	C
Midway Rd West	W. of Sunrise Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	3/10/2008	19,756	F	730-830	1643	D	1645-1745	1730	F
Midway Rd West	W. of Selvitz Rd	State Two-Way Arterial - Interrupted Flow Class I	2	3/10/2008	18,508	F	715-815	1488	F	1545-1645	1576	E
Midway Rd West	W. of Oleander Ave	State Two-Way Arterial - Interrupted Flow Class I	2	3/26/2008	17,892	F	730-830	1513	D	1615-1715	1498	D
Midway Rd West	W. of I-95	State Two-Way Arterial - Uninterrupted Flow	2	8/6/2008	3,948	B	645-745	357	B	1615-1716	340	B
Midway Rd West	W. of East Torino Blvd	State Two-Way Arterial - Interrupted Flow Class I	4	3/12/2008	18,943	B	715-815	2000	B	1630-1730	1572	B
Morningside Blvd	N. of Port St Lucie Blvd	Major City/County Road	2	5/7/2008	5,337	C	745-845	885	D	1430-1530	743	C
Morningside Blvd	E. of Westmoreland Blvd	Major City/County Road	2	5/5/2008	4,104	C	830-930	417	C	1600-1700	486	C
Morningside Blvd	W. of Florida's Turnpike	State Two-Way Arterial - Interrupted Flow Class I	2	5/5/2008	2,543	B	800-900	210	B	1630-1730	227	B
Okeechobee Rd	W. of Florida's Turnpike	State Two-Way Arterial - Interrupted Flow Class I	4	8/5/2008	8,266	B	715-815	611	B	1630-1730	624	B
Okeechobee Rd	E. of I-95	State Two-Way Arterial - Uninterrupted Flow	4	6/18/2008	30,671	C	715-815	2574	B	1645-1745	2390	B
Okeechobee Rd	W. of Header Canal Rd	State Two-Way Arterial - Uninterrupted Flow	2	7/9/2008	6,635	B	645-745	494	B	1645-1745	662	B
Okeechobee Rd	W. of I-95	State Two-Way Arterial - Interrupted Flow Class I	4	7/9/2008	29,460	C	1145-1245	2045	B	1645-1745	2092	B
Okeechobee Rd	W. of Virginia Ave	State Two-Way Arterial - Interrupted Flow Class I	6	7/8/2008	32,794	B	1145-1245	2327	B	1630-1730	2830	B
Old Dixie Hwy	N. St. Lucie Blvd	State Two-Way Arterial - Interrupted Flow Class I	2	2/21/2008	1,563	B	730-830	145	B	1630-1730	174	B
Oleander Ave	S. of Farmers Market Rd	State Two-Way Arterial - Interrupted Flow Class I	2	3/12/2008	11,599	C	730-830	1454	D	1645-1745	1071	C
Oleander Ave	S. of Midway Rd West	Major City/County Road	2	3/12/2008	8,278	C	730-830	810	C	1700-1800	833	C
Oleander Ave	N. of Kitterman Rd	Major City/County Road	2	3/12/2008	6,894	C	730-830	614	C	1645-1745	677	C
Oleander Ave	S. of Edwards Rd	State Two-Way Arterial - Interrupted Flow Class I	2	3/12/2008	13,883	D	745-845	987	C	1645-1745	1240	C
Oleander Ave	N. of Virginia Ave	State Two-Way Arterial - Interrupted Flow Class I	2	3/12/2008	4,835	C	1115-1215	330	B	1630-1730	483	C
Oleander Ave	S. of Virginia Ave	State Two-Way Arterial - Interrupted Flow Class I	2	3/12/2008	11,737	C	1130-1230	729	C	1630-1730	1049	C
Orange Ave	W. of Shinn Rd	State Two-Way Arterial - Uninterrupted Flow	2	2/27/2008	4,201	B	645-745	451	B	1700-1800	388	B
Orange Ave	W. of 13th St	State Two-Way Arterial - Interrupted Flow Class II	4	7/2/2008	12,914	C	1145-1245	1052	C	1615-1715	1154	C
Orange Ave	W. of 25th St	State Two-Way Arterial - Interrupted Flow Class II	4	6/24/2008	17,066	C	730-830	1203	C	1630-1730	1429	C
Orange Ave	W. of US 1 North	State Two-Way Arterial - Interrupted Flow Class II	2	6/24/2008	7,514	C	1130-1230	604	C	1615-1715	618	C
Orange Ave	E. of US 1 North	State Two-Way Arterial - Interrupted Flow Class II	2	7/8/2008	7,514	C	1115-1215	294	B	1300-1400	322	B

Traffic Counts and Level of Service Report Fall 2014

Roadway Name	Location	AADT	PK Hr Service Capacity	AM Pk Hr Pk Dir		PM Pk Hr Pk Dir				
				Volume	LOS	Volume	LOS	V/C	V/C	
PORT ST LUCIE BLVD	FLORIDA'S TURNPIKE to BAYSHORE BLVD	48,065	3,170	3,214	F	2,917	C	1.014	C	0.944
PORT ST LUCIE BLVD	BAYSHORE BLVD to AIROSO BLVD	47,160	3,020	2,981	D	2,953	D	0.987	D	0.978
PORT ST LUCIE BLVD	AIROSO BLVD to FLORESTA DR	48,285	3,020	2,972	D	2,605	C	0.984	C	0.886
PORT ST LUCIE BLVD	FLORESTA DR to VETERANS MEMORIAL PKWY	63,123	3,020	4,523	F	3,374	F	1.498	F	1.117
PORT ST LUCIE BLVD	VETERANS MEMORIAL PKWY to MORNINGSIDE BLVD	42,168	3,020	2,538	C	2,252	C	0.863	C	0.766
PORT ST LUCIE BLVD	MORNINGSIDE BLVD to US 1	40,985	3,170	3,112	D	1,941	C	0.982	C	0.628
PRIMA VISTA BLVD	BAYSHORE BLVD to AIROSO BLVD	19,000	2,100	868	C	858	C	0.432	C	0.427
PRIMA VISTA BLVD	AIROSO BLVD to FLORESTA DR	24,500	2,100	1,252	C	1,220	C	0.623	C	0.607
PRIMA VISTA BLVD	FLORESTA DR to NARANJA AVE	37,000	2,100	2,426	F	2,302	F	1.155	F	1.096
PRIMA VISTA BLVD	NARANJA AVE to RIO MAR DR	37,000	2,000	2,426	F	2,302	F	1.213	F	1.151
PRIMA VISTA BLVD	RIO MAR DR to US 1	24,500	2,100	1,317	C	1,102	C	0.655	C	0.548
PRIMA VISTA BLVD	US 1 to LENNARD RD	3,800	1,710	257	C	232	C	0.334	C	0.301
RANGE LINE RD	MARTIN C.L. to BECKER RD	1,388	810	113	B	116	B	0.377	B	0.387
RANGE LINE RD	BECKER RD to 2 MI S OF GLADES CUT-OFF RD	1,388	810	113	B	116	B	0.377	B	0.387
RANGE LINE RD	2 MI S OF GLADES CUT-OFF RD to GLADES CUT-OF...	1,388	810	113	B	116	B	0.377	B	0.387
RIO MAR DR	PRIMA VISTA BLVD to BEACH AVE	5,494	710	335	C	380	D	0.957	D	0.535
RIO MAR DR	BEACH AVE to US 1	5,494	790	335	C	380	C	0.859	C	0.974
ROSSER BLVD	APRICOT RD to GATLIN BLVD	7,900	920	0	B	0	B	0.000	B	0.000
ROSSER BLVD	PAAR DR to APRICOT RD	7,900	800	0	B	0	B	0.000	B	0.000
SAVONA BLVD	BECKER RD to PAAR DR	6,008	790	604	D	526	D	0.765	D	0.666
SAVONA BLVD	PAAR DR to GATLIN BLVD	6,008	710	604	D	526	D	0.851	D	0.741
SAVONA BLVD	GATLIN BLVD to CALIFORNIA BLVD	13,500	790	740	D	744	D	0.937	D	0.942
SAVAGE BLVD	GATLIN BLVD to GALIANO RD	3,903	920	234	C	255	C	0.269	C	0.293
SAVANNAH RD	US 1 to INDIAN RIVER DR	2,317	510	169	C	160	C	0.676	C	0.640
SELVITZ RD	BAYSHORE BLVD to ST JAMES BLVD	7,400	710	0	B	0	B	0.000	B	0.000
SELVITZ RD	ST JAMES BLVD to MIDWAY RD	7,400	710	0	B	0	B	0.000	B	0.000
SELVITZ RD	MIDWAY RD to GLADES CUT-OFF RD	7,800	660	471	C	508	C	0.760	C	0.819
SELVITZ RD	GLADES CUT-OFF RD to EDWARDS RD	12,500	790	799	E	684	D	0.951	D	0.866
SHINN RD	MIDWAY RD to OKEECHOBEE RD	600	540	47	C	44	C	0.098	C	0.092

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Roadway Name	Location	AADT	PK Hr Service Capacity	AM PK Hr PK Dir		PM PK Hr PK Dir			
				Volume	LOS	Volume	LOS	V/C	V/C
DELAWARE AVE	HARTMAN RD to 33RD ST	1,367	560	294	D	207	C	0.525	0.739
DELAWARE AVE	33RD ST to 25TH ST	3,700	1,710	272	C	277	C	0.353	0.360
DELAWARE AVE	25TH ST to OKEECHOBEE RD	4,600	1,220	0	B	0	B	0.000	0.000
DELAWARE AVE	OKEECHOBEE RD to 13TH ST	9,267	790	476	D	507	D	0.603	0.642
DELAWARE AVE	13TH ST to 10TH ST	7,600	710	424	D	403	D	0.597	0.568
DELAWARE AVE	10TH ST to 7TH ST	7,600	560	424	D	403	D	0.757	0.720
DELAWARE AVE	7TH ST to US 1	7,600	710	425	D	408	D	0.599	0.575
EAST TORINO PKWY	CASHMERE BLVD to TORINO PKWY	6,600	830	455	C	380	C	0.583	0.487
EAST TORINO PKWY	TORINO PKWY to MIDWAY RD	11,000	840	720	C	710	C	0.911	0.899
EASY ST	US 1 to BUCHANAN DR	10,397	710	869	F	683	D	1.143	0.962
EASY ST	BUCHANAN DR to YUCCA DR	10,397	510	869	F	683	F	1.609	1.265
EDWARDS RD	JENKINS RD to MCNEIL RD	9,000	590	485	C	469	C	0.866	0.838
EDWARDS RD	MCNEIL RD to SELVITZ RD	9,000	660	485	C	469	C	0.782	0.756
EDWARDS RD	SELVITZ RD to 25TH ST	11,500	840	690	C	694	C	0.873	0.878
EDWARDS RD	25TH ST to SUNRISE BLVD	17,039	1,630	901	D	884	D	0.553	0.542
EDWARDS RD	SUNRISE BLVD to OLEANDER AVE	14,634	1,630	718	C	700	C	0.984	0.959
EDWARDS RD	OLEANDER AVE to US 1	8,848	1,630	448	C	460	C	0.614	0.630
FARMER'S MARKET RD	OLEANDER AVE to US 1	1,943	710	113	C	116	C	0.323	0.331
FLORESTA DR	OAKLYN ST to PORT ST LUCIE BLVD	11,500	920	789	C	715	C	0.907	0.822
FLORESTA DR	THORNHILL DR to CROSSTOWN PKWY	16,500	840	1,209	F	1,029	F	1.439	1.225
FLORESTA DR	PORT ST LUCIE BLVD to THORNHILL DR	16,500	840	1,209	F	1,029	F	1.439	1.225
FLORESTA DR	CROSSTOWN PKWY to PRIMA VISTA BLVD	11,500	920	813	C	703	C	0.934	0.808
FLORESTA DR	PRIMA VISTA BLVD to AIROSO BLVD	9,100	920	512	C	571	C	0.589	0.656
FLORESTA DR	SELVITZ RD to BAYSHORE BLVD	4,057	590	349	C	300	C	0.623	0.536
FLORESTA DR	AIROSO BLVD to SELVITZ RD	4,057	840	349	C	300	C	0.442	0.380
FT PIERCE BLVD	INDRIO RD to EMERSON AVE	3,041	510	224	C	196	C	0.896	0.784
GARDENIA AVE	OLEANDER AVE to US 1	2,600	710	195	C	184	C	0.557	0.526
GATLIN BLVD	W OF I-95 to E OF I-95	39,000	3,170	2,935	C	2,392	C	0.950	0.774
GATLIN BLVD	E OF I-95 to SAVAGE BLVD	39,000	3,170	2,935	C	2,392	C	0.950	0.774

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**Traffic Counts and Level of Service Report
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Roadway Name	Location	AADT	Pk Hr Service Capacity	AM Pk Hr Pk Dir		PM Pk Hr Pk Dir				
				Volume	LOS	Volume	LOS	V/C	V/C	
MIDWAY RD	SHINN RD to MCCARTY RD	4,802	590	277	C	352	C	0.495	C	0.629
MIDWAY RD	MCCARTY RD to I-95	4,802	660	277	C	352	C	0.447	C	0.568
MIDWAY RD	I-95 to GLADES CUT-OFF RD	15,369	2,100	854	C	947	C	0.425	C	0.471
MIDWAY RD	GLADES CUT-OFF RD to EAST TORINO PKWY	16,000	2,100	983	C	954	C	0.489	C	0.475
MIDWAY RD	W OF SELVITZ RD to SELVITZ RD	19,000	920	950	F	985	F	1.033	F	1.071
MIDWAY RD	SELVITZ RD to CHRISTENSEN RD	17,000	920	899	D	891	D	0.977	D	0.968
MIDWAY RD	CHRISTENSEN RD to 25TH ST	17,000	790	899	F	891	F	1.070	F	1.061
MIDWAY RD	25TH ST to SUNRISE BLVD	18,500	790	992	F	1,010	F	1.181	F	1.202
MIDWAY RD	SUNRISE BLVD to OLEANDER AVE	18,500	790	992	F	1,010	F	1.181	F	1.202
MIDWAY RD	OLEANDER AVE to US 1	16,500	790	853	F	862	F	1.015	F	1.026
MIDWAY RD	US 1 to WALLACE ST	3,600	790	279	C	308	C	0.715	C	0.790
MIDWAY RD	WALLACE ST to WEATHERBEE RD	3,600	920	279	C	308	C	0.321	C	0.354
MIDWAY RD	WEATHERBEE RD to INDIAN RIVER DR	3,600	590	279	C	308	C	0.498	C	0.550
MORNINGSIDE BLVD	WESTMORELAND BLVD to PORT ST LUCIE BLVD	2,300	920	127	C	135	C	0.146	C	0.155
MORNINGSIDE BLVD	PORT ST LUCIE BLVD to LYNNGATE DR	4,970	880	429	C	415	C	0.517	C	0.500
NEBRASKA AVE	25TH ST to 13TH ST	3,800	1,710	260	C	201	C	0.338	C	0.261
OAKRIDGE DR	MOUNTWELL ST to OAKLYN ST	4,100	660	244	C	215	C	0.394	C	0.347
OHIO AVE	SUNRISE BLVD to COLONIAL RD	3,400	510	209	C	225	C	0.836	C	0.900
OHIO AVE	COLONIAL RD to US 1	3,400	710	209	C	225	C	0.597	C	0.643
OKEECHOBEE RD	OKEECHOBEE C.L. to BLUEFIELD RD	4,900	1,010	250	B	248	B	0.248	B	0.246
OKEECHOBEE RD	BLUEFIELD RD to CARLTON RD	4,900	1,270	250	B	248	B	0.197	B	0.195
OKEECHOBEE RD	CARLTON RD to SNEED RD	6,208	1,340	331	B	323	B	0.247	B	0.241
OKEECHOBEE RD	IDEAL HOLDING RD to HEADER CANAL RD	6,208	1,340	331	B	323	B	0.247	B	0.241
OKEECHOBEE RD	SNEED RD to IDEAL HOLDING RD	6,208	1,340	331	B	323	B	0.247	B	0.241
OKEECHOBEE RD	HEADER CANAL RD to MIDWAY RD	6,208	1,740	331	B	323	B	0.190	B	0.186
OKEECHOBEE RD	MIDWAY RD to SHINN RD	6,208	1,740	331	B	323	B	0.190	B	0.186
OKEECHOBEE RD	SHINN RD to MCCARTY RD	4,303	1,810	0	B	0	B	0.000	B	0.000
OKEECHOBEE RD	MCCARTY RD to FLORIDA'S TURNPIKE	5,933	1,810	297	B	307	B	0.164	B	0.170
OKEECHOBEE RD	FLORIDA'S TURNPIKE to KINGS HWY	5,933	2,010	297	C	307	C	0.148	C	0.153

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**Traffic Counts and Level of Service Report
Fall 2017**

Roadway Name	Location	STATION ID	AADT	Last Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
EAST TORINO PKWY	TORINO PKWY to MIDWAY RD	237	13,000	2017	880	889	F	1.010	844	D	0.959
EASY ST	US 1 to BUCHANAN DR	106	9,176	2016	750	825	F	1.031	636	D	0.848
EASY ST	BUCHANAN DR to YUCCA DR	106	9,176	2016	540	825	F	1.422	636	F	1.097
EDWARDS RD	JENKINS RD to MCNEIL RD	174	10,500	2017	630	545	C	0.908	549	C	0.915
EDWARDS RD	MCNEIL RD to SELVITZ RD	174	10,500	2017	700	545	C	0.826	549	C	0.832
EDWARDS RD	SELVITZ RD to 25TH ST	110	14,500	2017	880	770	C	0.928	781	C	0.941
EDWARDS RD	25TH ST to SUNRISE BLVD	108	16,135	2015	1,630	885	D	0.543	1,220	D	0.748
EDWARDS RD	SUNRISE BLVD to OLEANDER AVE	502	14,943	2015	1,630	748	D	0.459	730	C	10
EDWARDS RD	OLEANDER AVE to US 1	173	8,955	2015	1,630	433	C	0.593	432	C	0.592
FARMER'S MARKET RD	OLEANDER AVE to US 1	112	1,784	2015	750	116	C	0.314	102	C	0.276
FLORESTA DR	OAKLYN ST to PORT ST LUCIE BLVD	317	12,500	2017	920	841	C	0.967	660	C	0.759
FLORESTA DR	THORNHILL DR to CROSSTOWN PKWY	315	17,000	2017	880	1,274	F	1.448	1,052	F	1.195
FLORESTA DR	PORT ST LUCIE BLVD to THORNHILL DR	315	17,000	2017	880	1,274	F	1.448	1,052	F	1.195
FLORESTA DR	CROSSTOWN PKWY to PRIMA VISTA BLVD	109	12,000	2017	920	773	C	0.889	682	C	0.784
FLORESTA DR	PRIMA VISTA BLVD to AIROSO BLVD	107	9,700	2017	920	520	C	0.598	548	C	0.630
FLORESTA DR	SELVITZ RD to BAYSHORE BLVD	313	4,070	2015	630	327	C	0.545	317	C	0.528
FLORESTA DR	AIROSO BLVD to SELVITZ RD	313	4,070	2015	880	327	C	0.394	317	C	0.382
FT PIERCE BLVD	INDRIO RD to EMERSON AVE	226	3,527	2015	540	270	C	10	213	C	0.789
GARDENIA AVE	OLEANDER AVE to US 1	666	2,700	2017	750	180	C	0.486	192	C	0.519
GATLIN BLVD	W OF I-95 to E OF I-95	945075	39,345	2015	3,170	-	-	-	-	-	-
GATLIN BLVD	E OF I-95 to SAVAGE BLVD	945075	39,345	2015	3,170	-	-	-	-	-	-
GATLIN BLVD	SAVAGE BLVD to ROSSER BLVD	945075	39,345	2015	3,170	-	-	-	-	-	-
GATLIN BLVD	ROSSER BLVD to SAVONA BLVD	945075	39,345	2015	3,170	-	-	-	-	-	-
GATLIN BLVD	SAVONA BLVD to PORT ST LUCIE BLVD	945075	39,345	2015	3,170	-	-	-	-	-	-
GEORGIA AVE	25TH ST to OKEECHOBEE RD	667	4,667	2016	600	287	C	0.957	295	C	0.983

* Note: A six digit number in the "STATION ID" column identifies segment counted by FDOT

* Volumes shown were adjusted using FDOT Seasonal Factors

* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

* Volumes, LOS and V/C values with "-" designation are associated with FDOT Count Stations and will need to have current FDOT volume data supplied before values can be generated properly.



Traffic Counts and Level of Service Report
Fall 2017

Roadway Name	Location	STATION ID	AADT	Last Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
GEORGIA AVE	OKEECHOBEE RD to 17TH ST	667	4,667	2016	750	287	C	0.776	295	C	0.797
GEORGIA AVE	17TH ST to 13TH ST	508	4,640	2015	600	244	C	0.813	243	C	0.810
GEORGIA AVE	13TH ST to 7TH ST	506	1,958	2015	600	128	C	0.427	136	C	0.453
GEORGIA AVE	7TH ST to US 1	504	1,894	2015	600	137	C	0.457	127	C	0.423
GILSON RD	MARTIN C.L. to BECKER RD	111	10,500	2017	710	939	F	1.236	981	F	1.291
GILSON RD	BECKER RD to LAKERIDGE DR	111	10,500	2017	540	939	F	1.619	981	F	1.691
GLADES CUT-OFF RD	RANGE LINE RD to RESERVE BLVD	668	2,600	2017	1,070	184	B	0.484	231	B	0.608
GLADES CUT-OFF RD	RESERVE BLVD to COMMERCE CENTER DR	119	3,485	2016	1,070	322	B	0.847	322	B	0.847
GLADES CUT-OFF RD	CARLTON RD to RANGE LINE RD	668	2,600	2017	390	184	B	0.836	231	C	0.592
GLADES CUT-OFF RD	COMMERCE CENTER DR to MIDWAY RD	940279	2,611	2015	920	-	-	-	-	-	-
GLADES CUT-OFF RD	MIDWAY RD to JENKINS RD	115	9,100	2017	790	562	D	0.711	545	D	0.690
GLADES CUT-OFF RD	JENKINS RD to SELVITZ RD	113	6,176	2016	830	392	C	0.503	377	C	0.483
GRAHAM RD	KINGS HWY to JENKINS RD	669	3,400	2017	630	233	C	0.388	221	C	0.368
GREEN RIVER PKWY	MARTIN C.L. to CHARLESTON DR	319	4,339	2015	1,070	327	B	0.861	327	B	0.861
GREEN RIVER PKWY	CHARLESTON DR to MELALEUCA BLVD	319	4,339	2015	1,070	327	B	0.861	327	B	0.861
GREEN RIVER PKWY	MELALEUCA BLVD to WALTON RD	319	4,339	2015	1,070	327	B	0.861	327	B	0.861
HARTMAN RD	OKEECHOBEE RD to PETERSON RD	670	5,400	2017	750	357	C	0.965	328	C	0.886
HARTMAN RD	PETERSON RD to DELAWARE AVE	670	5,400	2017	540	357	D	0.661	328	D	0.607
HARTMAN RD	DELAWARE AVE to ORANGE AVE	670	5,400	2017	790	357	C	0.915	328	C	0.841
HEADER CANAL RD	OKEECHOBEE RD to ORANGE AVE	121	483	2015	670	28	B	0.127	28	B	0.127
HILLMOOR DR	US 1 to LENNARD RD	671	7,487	2016	790	426	D	0.539	365	C	0.936
I-95	GATLIN BLVD to ST LUCIE WEST BLVD	941901	74,692	2015	4,580	-	-	-	-	-	-
I-95	ST LUCIE WEST BLVD to MIDWAY RD	941904	58,368	2015	4,580	-	-	-	-	-	-
I-95	MIDWAY RD to OKEECHOBEE RD	941902	70,109	2015	4,580	-	-	-	-	-	-
I-95	OKEECHOBEE RD to ORANGE AVE	941903	45,500	2009	7,320	-	-	-	-	-	-

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* Volumes, LOS and V/C values with "-" designation are associated with FDOT Count Stations and will need to have current FDOT volume data supplied before values can be generated properly.

Traffic Counts and Level of Service Report
Fall 2017

Roadway Name	Location	STATION ID	AADT	Last Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
MCNEIL RD	OKEECHOBEE RD to KIRBY LOOP RD	682	9,100	2017	790	480	D	0.608	499	D	0.632
MCNEIL RD	KIRBY LOOP RD to EDWARDS RD	682	9,100	2017	540	480	D	0.889	499	D	0.924
MCCARTY RD	WILLIAMS RD to MIDWAY RD	680	350	2017	540	30	C	0.111	32	C	0.119
MCCARTY RD	MIDWAY RD to OKEECHOBEE RD	681	300	2015	540	29	C	0.107	22	C	0.081
MELALEUCA BLVD	LENNARD RD to GREEN RIVER PKWY	683	10,500	2017	920	684	C	0.786	630	C	0.724
MIDWAY RD	EAST TORINO PKWY to MILNER DR	134	20,500	2017	880	1,084	F	1.232	1,085	F	1.233
MIDWAY RD	MILNER DR to W OF SELVITZ RD	134	20,500	2017	790	1,084	F	1.372	1,085	F	1.373
MIDWAY RD	OKEECHOBEE RD to SHINN RD	940732	4,742	2015	760	-	-	-	-	-	-
MIDWAY RD	SHINN RD to MCCARTY RD	940732	4,742	2015	630	-	-	-	-	-	-
MIDWAY RD	MCCARTY RD to I-95	940732	4,742	2015	700	-	-	-	-	-	-
MIDWAY RD	I-95 to GLADES CUT-OFF RD	945140	16,293	2015	2,100	-	-	-	-	-	-
MIDWAY RD	GLADES CUT-OFF RD to EAST TORINO PKWY	228	18,000	2017	2,100	1,105	C	0.550	1,037	C	0.516
MIDWAY RD	W OF SELVITZ RD to SELVITZ RD	134	20,500	2017	920	1,084	F	1.178	1,085	F	1.179
MIDWAY RD	SELVITZ RD to CHRISTENSEN RD	132	17,500	2017	920	912	D	0.991	896	D	0.974
MIDWAY RD	CHRISTENSEN RD to 25TH ST	132	17,500	2017	790	912	F	1.086	896	F	1.067
MIDWAY RD	25TH ST to SUNRISE BLVD	130	18,663	2016	790	1,018	F	1.212	935	F	1.113
MIDWAY RD	SUNRISE BLVD to OLEANDER AVE	130	18,663	2016	790	1,018	F	1.212	935	F	1.113
MIDWAY RD	OLEANDER AVE to US 1	242	15,533	2016	790	820	E	0.976	811	E	0.965
MIDWAY RD	US 1 to WALLACE ST	940023	3,600	2015	790	-	-	-	-	-	-
MIDWAY RD	WALLACE ST to WEATHERBEE RD	940023	3,600	2015	920	-	-	-	-	-	-
MIDWAY RD	WEATHERBEE RD to INDIAN RIVER DR	940023	3,600	2015	630	-	-	-	-	-	-
MORNINGSIDE BLVD	WESTMORELAND BLVD to PORT ST LUCIE BLVD	333	2,700	2017	920	162	C	0.186	155	C	0.178
MORNINGSIDE BLVD	PORT ST LUCIE BLVD to LYNNGATE DR	331	4,637	2016	880	315	C	0.380	303	C	0.365
NEBRASKA AVE	25TH ST to 13TH ST	684	3,900	2017	1,710	242	C	0.314	204	C	0.265
OAKRIDGE DR	MOUNTWELL ST to OAKLYN ST	621	6,900	2016	700	368	C	0.558	321	C	0.486

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Traffic Counts and Level of Service Report Fall 2017

Roadway Name	Location	STATION ID	AADT	Last Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir		PM Pk Hr Pk Dir	
						Volume	LOS	V/C	Volume
PORT ST LUCIE BLVD	MORNINGSIDE BLVD to US 1	945072	39,062	2015	3,170	-	-	-	-
PRIMA VISTA BLVD	BAYSHORE BLVD to AIROSO BLVD	314	25,000	2017	2,100	1,138	C	0.566	C
PRIMA VISTA BLVD	AIROSO BLVD to FLORESTA DR	150	26,500	2017	2,100	1,220	C	0.607	C
PRIMA VISTA BLVD	FLORESTA DR to NARANJA AVE	148	39,000	2017	2,100	2,308	F	1.099	F
PRIMA VISTA BLVD	NARANJA AVE to RIO MAR DR	148	39,000	2017	2,000	2,308	F	1.154	F
PRIMA VISTA BLVD	RIO MAR DR to US 1	146	26,500	2017	2,100	1,213	C	0.603	C
PRIMA VISTA BLVD	US 1 to LENNARD RD	699	8,600	2017	1,710	522	C	0.678	C
RANGE LINE RD	MARTIN C.L. to BECKER RD	145	1,396	2015	1,080	111	B	0.271	B
RANGE LINE RD	BECKER RD to 2 MI S OF GLADES CUT-OFF RD	145	1,396	2015	1,080	111	B	0.271	B
RANGE LINE RD	2 MI S OF GLADES CUT-OFF RD to GLADES CUT-OFF...	145	1,396	2015	1,080	111	B	0.271	B
RIO MAR DR	PRIMA VISTA BLVD to BEACH AVE	147	5,649	2016	750	288	C	0.778	C
RIO MAR DR	BEACH AVE to US 1	147	5,649	2016	790	288	C	0.738	C
ROSSER BLVD	APRICOT RD to GATLIN BLVD	948510	4,790	2015	920	-	-	-	-
ROSSER BLVD	PAAR DR to APRICOT RD	948510	4,790	2015	1,070	-	-	-	-
SAVONA BLVD	BECKER RD to PAAR DR	236	8,000	2017	790	775	D	0.981	D
SAVONA BLVD	PAAR DR to GATLIN BLVD	236	8,000	2017	750	775	E	0.969	D
SAVONA BLVD	GATLIN BLVD to CALIFORNIA BLVD	702	13,000	2017	790	707	D	0.895	D
SAVAGE BLVD	GATLIN BLVD to GALLIANO RD	168	3,403	2015	920	233	C	0.268	C
SAVANNAH RD	US 1 to INDIAN RIVER DR	514	2,202	2015	540	136	C	0.504	C
SELVITZ RD	BAYSHORE BLVD to ST JAMES BLVD	948501	7,440	2015	750	-	-	-	-
SELVITZ RD	ST JAMES BLVD to MIDWAY RD	948501	7,440	2015	750	-	-	-	-
SELVITZ RD	MIDWAY RD to GLADES CUT-OFF RD	703	11,000	2017	700	807	F	1.153	F
SELVITZ RD	GLADES CUT-OFF RD to EDWARDS RD	704	13,000	2017	790	761	D	0.963	D
SHINN RD	MIDWAY RD to OKEECHOBEE RD	705	750	2017	580	49	C	0.096	C
SHINN RD	OKEECHOBEE RD to ORANGE AVE	149	731	2015	1,080	52	B	0.127	B

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APPENDIX C

**Ft Pierce Aggregate Recycling Facility
Committed Development Traffic (1)**

Roadway	Link	Dir	AM PEAK HOUR						Total
			Precast Concrete (2)		Becker Parcel (3)		Redhawk Rebar		
			In/Out:	Distr.	In/Out:	Distr.	In/Out:	Distr.	
			74	15	25	73	21	10	
Selvitz Road	Site to Glades Cut-Off Road	NB	35%	5	35%	9	80%	8	22
		SB	35%	26	35%	26	80%	17	69
	Midway Rd to Site	NB	65%	48	35%	9	20%	4	61
		SB	65%	10	35%	26	20%	2	38

Roadway	Link	Dir	PM PEAK HOUR						Total
			Precast Concrete (2)		Becker Parcel (3)		Redhawk Rebar		
			In/Out:	Distr.	In/Out:	Distr.	In/Out:	Distr.	
			22	76	83	48	16	14	
Selvitz Road	Site to Glades Cut-Off Road	NB	35%	26	35%	29	80%	12	67
		SB	35%	8	35%	17	80%	12	37
	Midway Rd to Site	NB	65%	14	35%	29	20%	4	47
		SB	65%	49	35%	17	20%	2	68

(1) Based on information provided from St. Lucie County Planning Department and City of Ft Pierce on approved and unbuilt projects.
(2) Based on the approved Ft.Pierce Precast Concrete Plant Traffic Study by PTC, dated August 30, 2016.
(3) Based on 131 Single family homes approved and not built for the Becker Parcel.

PC TRAFFIC STUDY DATED 8/31/18

**Exhibit 2
Ft Pierce Precast Concrete Plant
Trip Generation**

DAILY

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	Total Trips
General Heavy Industrial	120	75 Acre	6.75 /Acre	506
TOTALS				506

AM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	Total Trips	
				In	Out
General Heavy Industrial	120	75 Acre	1.98 /Acre (83/17)	124	25
TOTALS				124	25

PM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	Total Trips	
				In	Out
General Heavy Industrial	120	75 Acre	2.16 /Acre (22/78)	36	126
TOTALS				36	126

(1) Source: Palm Beach County and Institute of Transportation Engineers (ITE), Trip Generation, 9th Edition. Used peak hour in/out percentages from General Light Industrial, ITE Code 110.



43 (13)

9 (44)
16 (82)

506

DRIVEWAY

81 (23)

SELVITZ ROAD

LEGEND

- 5 - AM Peak Hour
- (26) - PM Peak Hour
- 506 - ADT

8/25/16
16-071

FT PIERCE PRECAST
CONCRETE PLANT

EXHIBIT 7
PROJECT DRIVEWAY VOLUMES



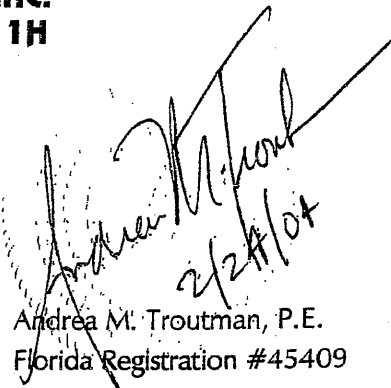
**BECKER PARCEL
TRAFFIC IMPACT ANALYSIS**

Prepared for

LBFH, INC.

Prepared by

**PINDER TROUTMAN CONSULTING, INC.
2324 South Congress Avenue, Suite 1H
West Palm Beach, FL 33406
(561) 434-1644**


2/24/04
Andrea M. Troutman, P.E.
Florida Registration #45409

**#PTC04-035
February 24, 2004**

Committed Projects Trip Generation

DAILY

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	Total Trips
Becker Parcel	210	131 DUs	9.52 /DU	1,247

AM Peak Hour

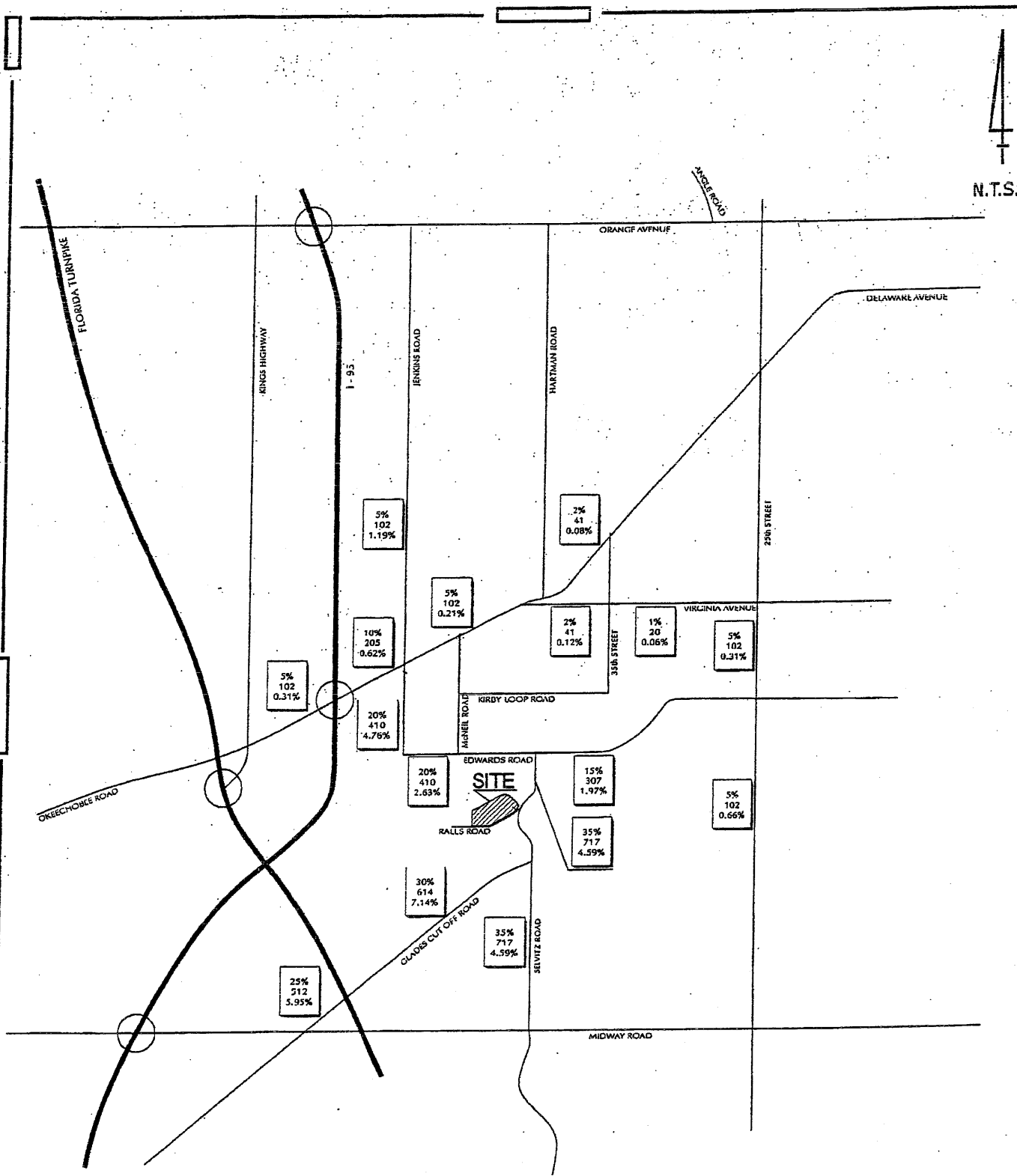
Land Use	ITE Code	Intensity	Trip Generation Rate (1)	Total Trips		
				In	Out	Total
Becker Parcel	210	131 DUs	0.75 /DU (25/75)	25	73	98

PM Peak Hour

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	Total Trips		
				In	Out	Total
Becker Parcel	210	131 DUs	1.00 /DU (63/37)	83	48	131

(1) Source: Institute of Transportation Engineers (ITE), Trip Generation, 9th Edition.

N.T.S.



LEGEND
 15% - PROJECT DISTRIBUTION
 307 - DAILY PROJECT TRAFFIC
 1.97% - % OF DAILY SERVICE VOLUME

02/19/04
04-035

BECKER PARCEL

EXHIBIT 4
PROJECT TRAFFIC ASSIGNMENT

PTC



TRAFFIC IMPACT STATEMENT

REDHAWK REBAR MANUFACTURING FACILITY FORT PIERCE

Prepared By:

Culpepper and Terpening, Inc.
2980 S. 25th Street, Fort Pierce, FL
Authorization # 4286

Introduction:

Redhawk Rebar (Redhawk) is proposing to construct a new 40,000 square-foot, manufacturing facility on a 1.3 acre parcel of land, located west of CR 611B/Selvitz Road, approximately 1 mile south of CR 611/Edwards Road and 1.2 miles north of Midway Road in St. Lucie County, Florida. This facility will be constructed in two (2) phases, each approximately 20,000 square feet in area. Phase 1 construction is projected to begin in late 2018, and Phase two is projected to begin no sooner than 2021.

The particular property under Site Plan review is referenced as Lot 8 of the Ft. Pierce Business Park PNRD Subdivision, and was the subject of a previous Site Plan approval granted by St. Lucie County in 1990 for the commercial/industrial project referred to as Ft. Pierce Business Park, Lot 8 & 9. That particular project, included the adjoining Lot 9 of this subdivision, where the first 27,200 square feet of the project was constructed. Under St. Lucie County development guidelines, since a principal portion of this previously approved site plan was completed, the balance of the site plan project (the Ft. Pierce Business Park, Lot 8 & 9) and its associated impacts are considered to be 'vested' for future permitting purpose. The previously approved building on Lot 8 (totaling 32,000 sf) was never built.

This traffic statement addresses the net change in anticipated trip impacts to be generated by the operation of the Redhawk facility, after buildout, onto the local area transportation network.

Trip Generation:

Trip generation rates for the Redhawk facility are based on the ITE (Institute of Transportation Engineers) Trip Generation Manual (10th Edition), using the land use code #140, Manufacturing Use. Applying the rates under this heading to the proposed Redhawk site results in a project impact summary as follows:

TRIP RATES/ PER 1,000 SQ FEET (BY PHASE)

	<u>TRIP RATE/1,000 SF</u>		<u>ADT</u>	<u>AM PEAK HR</u>	<u>PM PEAK HR</u>
RATE/ SQ FT	3.82	PH 1	20,000		
AM PEAK	0.79		20,000	15.8	
PM PEAK	0.75		20,000		15.0
RATE/ SQ FT	2.13	PH 2	20,000		
AM PEAK	0.39		20,000	15.8	
PM PEAK	0.4		20,000		15.0
			152.8	31.6	30.0



Based on the application of these trip rates, the Average Daily Trip (ADT) generation for this particular land use category, at buildout, results in an estimated 152.8 trip impacts onto the local area network. Noting that the subject site has already received a prior site plan approval from St. Lucie County (1990) for development of up to 32,000 square feet of industrial/commercial uses, and as an existing approved development project, the trip impacts from this property are presumably already factored as part of the existing plus committed (E+C) impacts onto the area network, it may be concluded that there are no 'new impacts' from the *first phase and approximately half of the second phase of* development on this location onto the area network. In the case of the second phase of the proposed, since 12,000 square feet can be seen as being 'vested', only 6,000 square feet needs to be addressed.

Applying these same rates as shown in the above Trip Generation Table, the projected impacts from this remaining 6,000 square feet onto the local area network are estimated to be:

TRIP RATES/ PER 1,000 SQ FEET (Net New Area)

	<u>TRIP RATE/1,000 SF</u>			<u>ADT</u>	<u>AM PEAK HR</u>	<u>PM PEAK HR</u>
RATE/ SQ FT	2.13	PH 2	6,000	22.92		
AM PEAK	0.39		6,000		4.7	
PM PEAK	0.4		6,000			4.5
				22.92	4.7	4.5

Background Traffic:

Existing background traffic within the radius of impact from the project site includes CR 611/Edwards Road; CR 611B/Selvitz Road; CR 709/Glades Cutoff Road and CR 712/West Midway Road.

The existing traffic volumes provided in the Fall 2017 St. Lucie County TPO Traffic Counts and Level of Service (LOS) Report show that CR 611B/Selvitz Road has an AADT of 11,000 from CR 712/W. Midway Road to CR 611/Edwards Road. In addition, the PM peak hour directional volume of this roadway north of CR 712/W. Midway Road is 883, and south of CR 611/Edwards Road is 764.

CR 611/Edwards Road has an AADT of 10,500 west of CR 611B/Selvitz Road and 14,500 to the east. The PM peak hour directional volume west of CR 611B/Selvitz Road is 549 and east to SR 615/South 25th Street is 781.

CR 709/Glades Cutoff Road has an AADT of 9,100 from CR 712/Midway Road to Jenkins Road and 6,176 from Jenkins Road to CR 611B/Selvitz Road. The PM peak hour directional volume north of CR 712/W. Midway Road is 545 and south of CR 611B/Selvitz Road is 377.

CR 712/W. Midway Road has an AADT of 20,500 west of CR 611B/Selvitz Road and 17,500 to the east. The PM peak hour directional volume west of CR 611B/Selvitz Road is 1,085 and east to CR 615/South 25th Street is 896.

Trip Distribution:

It is conservatively estimated that the project distribution of trips on CR 611B/Selvitz Road are such that approximately 80% of the overall trips will come from the north and 20% from the south. The distribution is based upon the assumption that the majority of employees and deliveries will be from the Fort Pierce

APPENDIX D

SHORT REPORT												
General Information						Site Information						
Analyst	PTC					Intersection	Midway Rd & Selvitz Rd					
Agency or Co.	#18-090					Area Type	All other areas					
Date Performed	3/19/19					Jurisdiction	SLC					
Time Period	AM Peak Hour					Analysis Year	2022 Optimized Timing					
Volume and Timing Input												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Number of Lanes	2	2	1	1	2	0	2	2	0	1	2	0
Lane Group	L	T	R	L	TR		L	TR		L	TR	
Volume (vph)	114	657	94	60	547	87	168	317	69	72	107	138
% Heavy Vehicles	5	5	5	5	5	5	5	5	5	5	5	5
PHF	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Pretimed/Actuated (P/A)	A	A	A	A	A	A	A	A	A	A	A	A
Startup Lost Time	2.0	2.0	2.0	2.0	2.0		2.0	2.0		2.0	2.0	
Extension of Effective Green	2.0	2.0	2.0	2.0	2.0		2.0	2.0		2.0	2.0	
Arrival Type	3	3	3	3	3		3	3		3	3	
Unit Extension	3.0	3.0	3.0	3.0	3.0		3.0	3.0		3.0	3.0	
Ped/Bike/RTOR Volume	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width	12.0	12.0	12.0	12.0	12.0		12.0	12.0		12.0	12.0	
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N
Parking/Hour												
Bus Stops/Hour	0	0	0	0	0		0	0		0	0	
Minimum Pedestrian Time		3.2			3.2			3.2			3.2	
Phasing	Excl. Left	Thru & RT	03		04		Excl. Left	Thru & RT	07		08	
Timing	G = 16.0	G = 40.0	G =		G =		G = 18.0	G = 30.0	G =		G =	
	Y = 6	Y = 6	Y =		Y =		Y = 6	Y = 6	Y =		Y =	
Duration of Analysis (hrs) = 0.25						Cycle Length C = 128.0						
Lane Group Capacity, Control Delay, and LOS Determination												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Adjusted Flow Rate	120	692	99	63	668		177	407		76	258	
Lane Group Capacity	417	1077	769	215	1054		469	786		242	739	
v/c Ratio	0.29	0.64	0.13	0.29	0.63		0.38	0.52		0.31	0.35	
Green Ratio	0.13	0.31	0.50	0.13	0.31		0.14	0.23		0.14	0.23	
Uniform Delay d ₁	50.8	37.8	17.1	50.9	37.7		49.9	42.7		49.4	40.9	
Delay Factor k	0.11	0.22	0.11	0.11	0.21		0.11	0.12		0.11	0.11	
Incremental Delay d ₂	0.4	1.3	0.1	0.8	1.3		0.5	0.6		0.7	0.3	
PF Factor	1.000	1.000	1.000	1.000	1.000		1.000	1.000		1.000	1.000	
Control Delay	51.2	39.2	17.2	51.6	39.0		50.4	43.3		50.2	41.1	
Lane Group LOS	D	D	B	D	D		D	D		D	D	
Approach Delay	38.4			40.1			45.5			43.2		
Approach LOS	D			D			D			D		
Intersection Delay	41.1			Intersection LOS						D		

SHORT REPORT												
General Information						Site Information						
Analyst <i>PTC</i> Agency or Co. <i>#18-090</i> Date Performed <i>3/19/19</i> Time Period <i>PM Peak Hour</i>						Intersection <i>Midway Rd & Selvitz Rd</i> Area Type <i>All other areas</i> Jurisdiction <i>SLC</i> Analysis Year <i>2022 Optimized timing</i>						
Volume and Timing Input												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Number of Lanes	2	2	1	1	2	0	2	2	0	1	2	0
Lane Group	L	T	R	L	TR		L	TR		L	TR	
Volume (vph)	134	619	218	86	581	43	96	123	45	80	315	132
% Heavy Vehicles	5	5	5	5	5	5	5	5	5	5	5	5
PHF	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Pretimed/Actuated (P/A)	A	A	A	A	A	A	A	A	A	A	A	A
Startup Lost Time	2.0	2.0	2.0	2.0	2.0		2.0	2.0		2.0	2.0	
Extension of Effective Green	2.0	2.0	2.0	2.0	2.0		2.0	2.0		2.0	2.0	
Arrival Type	3	3	3	3	3		3	3		3	3	
Unit Extension	3.0	3.0	3.0	3.0	3.0		3.0	3.0		3.0	3.0	
Ped/Bike/RTOR Volume	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width	12.0	12.0	12.0	12.0	12.0		12.0	12.0		12.0	12.0	
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N
Parking/Hour												
Bus Stops/Hour	0	0	0	0	0		0	0		0	0	
Minimum Pedestrian Time		3.2			3.2			3.2			3.2	
Phasing	Excl. Left	Thru & RT	03		04		Excl. Left	Thru & RT	07		08	
Timing	G = 16.0	G = 40.0	G =	G =	G = 18.0	G = 30.0	G =	G =				
	Y = 6	Y = 6	Y =	Y =	Y = 6	Y = 6	Y =	Y =				
Duration of Analysis (hrs) = 0.25						Cycle Length C = 128.0						
Lane Group Capacity, Control Delay, and LOS Determination												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Adjusted Flow Rate	141	652	229	91	657		101	176		84	471	
Lane Group Capacity	417	1077	769	215	1066		469	775		242	772	
v/c Ratio	0.34	0.61	0.30	0.42	0.62		0.22	0.23		0.35	0.61	
Green Ratio	0.13	0.31	0.50	0.13	0.31		0.14	0.23		0.14	0.23	
Uniform Delay d ₁	51.2	37.3	18.8	51.7	37.5		48.7	39.6		49.7	43.8	
Delay Factor k	0.11	0.19	0.11	0.11	0.20		0.11	0.11		0.11	0.20	
Incremental Delay d ₂	0.5	1.0	0.2	1.3	1.1		0.2	0.2		0.9	1.4	
PF Factor	1.000	1.000	1.000	1.000	1.000		1.000	1.000		1.000	1.000	
Control Delay	51.6	38.3	19.0	53.1	38.5		49.0	39.8		50.6	45.2	
Lane Group LOS	D	D	B	D	D		D	D		D	D	
Approach Delay	35.8			40.3			43.1			46.0		
Approach LOS	D			D			D			D		
Intersection Delay	40.1			Intersection LOS						D		

INTERSECTION ANALYSIS SHEET

Ft Pierce Aggregate Recycling Facility

Midway Rd & Selvitz Rd

Growth 2017 - 2022 1.62%
 Growth 2008 - 2017: 0.65%
 Peak Season = 1.13
 Buildout Year = 2022

AM Peak Hour												
Intersection Volume Development												
	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume (9/18/08)	129	244	53	53	82	100	78	506	73	46	421	64
Peak Season Volume	146	276	60	60	93	113	88	572	82	52	476	72
Growth 2008 - 2017	9	17	4	4	6	7	5	34	5	3	29	4
Growth 2017 - 2022	13	24	5	5	8	10	8	51	7	5	42	6
Total Growth	22	41	9	9	14	17	13	85	12	8	71	10
% Project Traffic	0%	2%	0%	18%	2%	45%	45%	0%	0%	0%	0%	18%
Direction	in	in	in	out	out	out	in	in	in	out	out	in
Project Traffic	0	1	0	3	0	8	13	0	0	0	0	5
Total	168	317	69	72	107	138	114	657	94	60	547	87

PM Peak Hour												
Intersection Volume Development												
	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume (9/18/08)	74	95	35	57	243	92	96	477	168	66	448	31
Peak Season Volume	84	107	40	64	275	104	108	539	190	75	506	35
Growth 2008 - 2017	5	6	2	4	16	6	7	32	11	4	30	2
Growth 2017 - 2022	7	9	3	6	24	9	10	48	17	7	45	3
Total Growth	12	15	5	10	40	15	17	80	28	11	75	5
% Project Traffic	0%	2%	0%	18%	2%	45%	45%	0%	0%	0%	0%	18%
Direction	in	in	in	out	out	out	in	in	in	out	out	in
Project Traffic	0	0	0	5	1	13	9	0	0	0	0	3
Total	96	123	45	80	315	132	134	619	218	86	581	43

MIDWAY ROAD & SELVITZ ROAD
 PORT ST LUCIE, FLORIDA
 COUNTED BY: MAXIE ESPINOSA
 SIGNALIZED

TRAFFIC SURVEY SPECIALISTS, INC.
 624 GARDENIA TERRACE
 DELRAY BEACH, FLORIDA 33444
 (561) 272-3255 FAX (561) 272-4381

Site Code : 00080161
 Start Date: 09/18/08
 File I.D. : MIDWSELV
 Page : 1

ALL VEHICLES

Date	SELVITZ ROAD From North				MIDWAY ROAD From East				SELVITZ ROAD From South				MIDWAY ROAD From West				Total
	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	
09/18/08																	
07:00	0	6	17	20	0	8	65	11	0	26	39	10	0	17	85	11	315
07:15	0	10	18	16	0	7	91	14	0	34	63	11	0	26	97	17	404
07:30	0	13	18	24	0	12	98	12	0	23	68	18	0	28	145	19	478
07:45	0	21	12	28	0	14	132	29	0	37	70	11	0	26	156	15	551
Hr Total	0	50	65	88	0	41	386	66	0	120	240	50	0	97	483	62	1748
08:00	0	9	30	30	0	10	77	10	0	38	52	16	0	18	105	21	416
08:15	0	10	22	18	0	10	114	13	0	31	54	8	0	6	100	18	404
08:30	0	8	19	18	0	2	103	8	0	25	36	14	0	24	102	16	375
08:45	0	16	24	10	0	5	93	10	0	23	43	6	0	21	78	24	353
Hr Total	0	43	95	76	0	27	387	41	0	117	185	44	0	69	385	79	1548
* BREAK *																	
16:00	0	8	44	25	0	16	108	9	0	24	22	11	0	18	129	45	459
16:15	0	15	47	14	0	12	115	12	0	25	34	8	0	21	117	36	456
16:30	1	16	67	28	0	13	102	7	0	18	19	8	0	22	120	37	458
16:45	0	13	54	20	0	16	92	8	0	16	25	11	0	24	109	39	427
Hr Total	1	52	212	87	0	57	417	36	0	83	100	38	0	85	475	157	1800
17:00	0	18	48	18	0	15	132	8	0	21	22	5	0	28	139	57	511
17:15	0	9	74	26	0	22	122	8	0	19	29	11	0	22	109	35	486
17:30	0	10	42	29	0	24	120	9	0	11	30	16	0	8	97	43	439
17:45	0	10	40	20	0	26	116	6	0	16	27	9	0	17	99	20	406
Hr Total	0	47	204	93	0	87	490	31	0	67	108	41	0	75	444	155	1842
TOTAL	1	192	576	344	0	212	1680	174	0	387	633	173	0	326	1787	453	6938

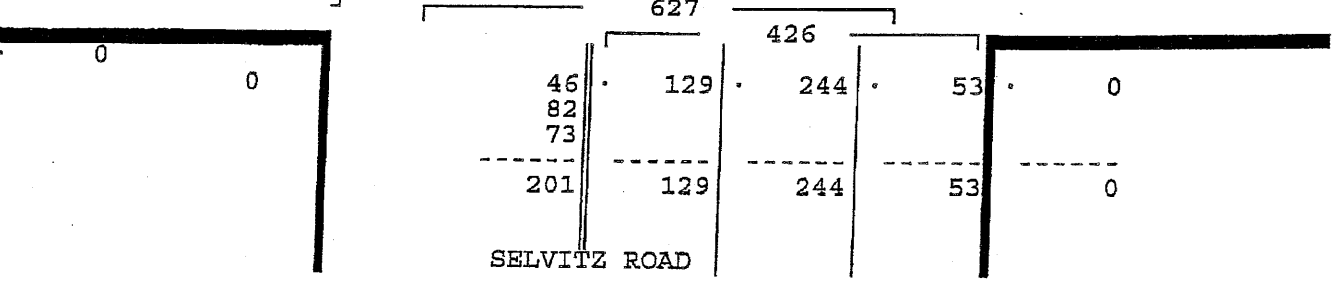
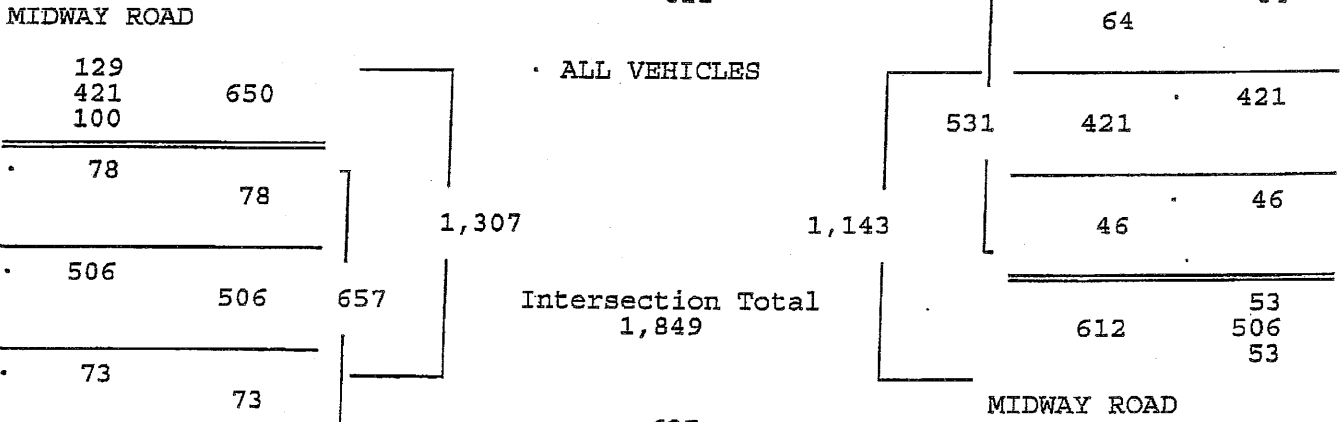
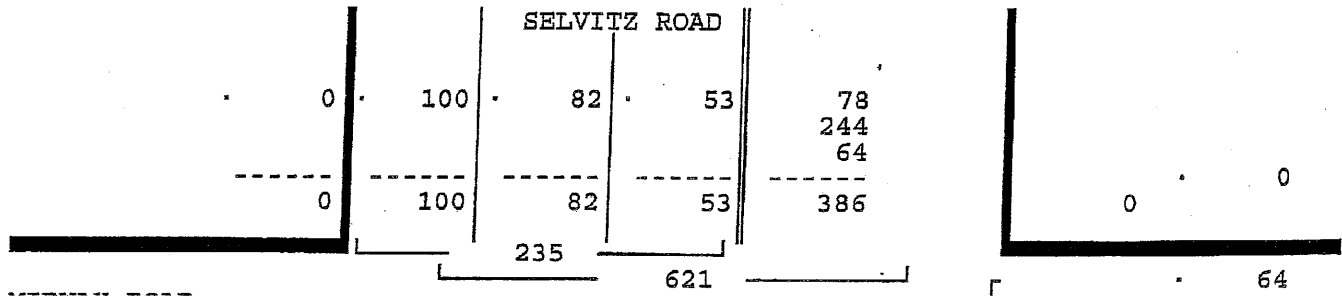
MIDWAY ROAD & SELVITZ ROAD
 PORT ST LUCIE, FLORIDA
 COUNTED BY: MAXIE ESPINOSA
 SIGNALIZED

TRAFFIC SURVEY SPECIALISTS, INC.
 624 GARDENIA TERRACE
 DELRAY BEACH, FLORIDA 33444
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Site Code : 00080161
 Start Date: 09/18/08
 File I.D. : MIDWSELV
 Page : 2

ALL VEHICLES

SELVITZ ROAD From North				MIDWAY ROAD From East				SELVITZ ROAD From South				MIDWAY ROAD From West				Total
UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	
Date 09/18/08																
Peak Hour Analysis By Entire Intersection for the Period: 07:00 to 09:00 on 09/18/08																
Peak start 07:30				07:30				07:30				07:30				
Volume	0	53	82	100	0	46	421	64	0	129	244	53	0	78	506	73
Percent	0%	23%	35%	43%	0%	9%	79%	12%	0%	30%	57%	12%	0%	12%	77%	11%
Pk total	235			531	426			657	657			657				
Highest	08:00			07:45	07:45			07:45	07:45			07:45				
Volume	0	9	30	30	0	14	132	29	0	37	70	11	0	26	156	15
Hi total	69			175	118			197	197			197				
PHF	.85			.76	.90			.83	.83			.83				



ALL VEHICLES

Intersection Total
1,849

MIDWAY ROAD

SELVITZ ROAD

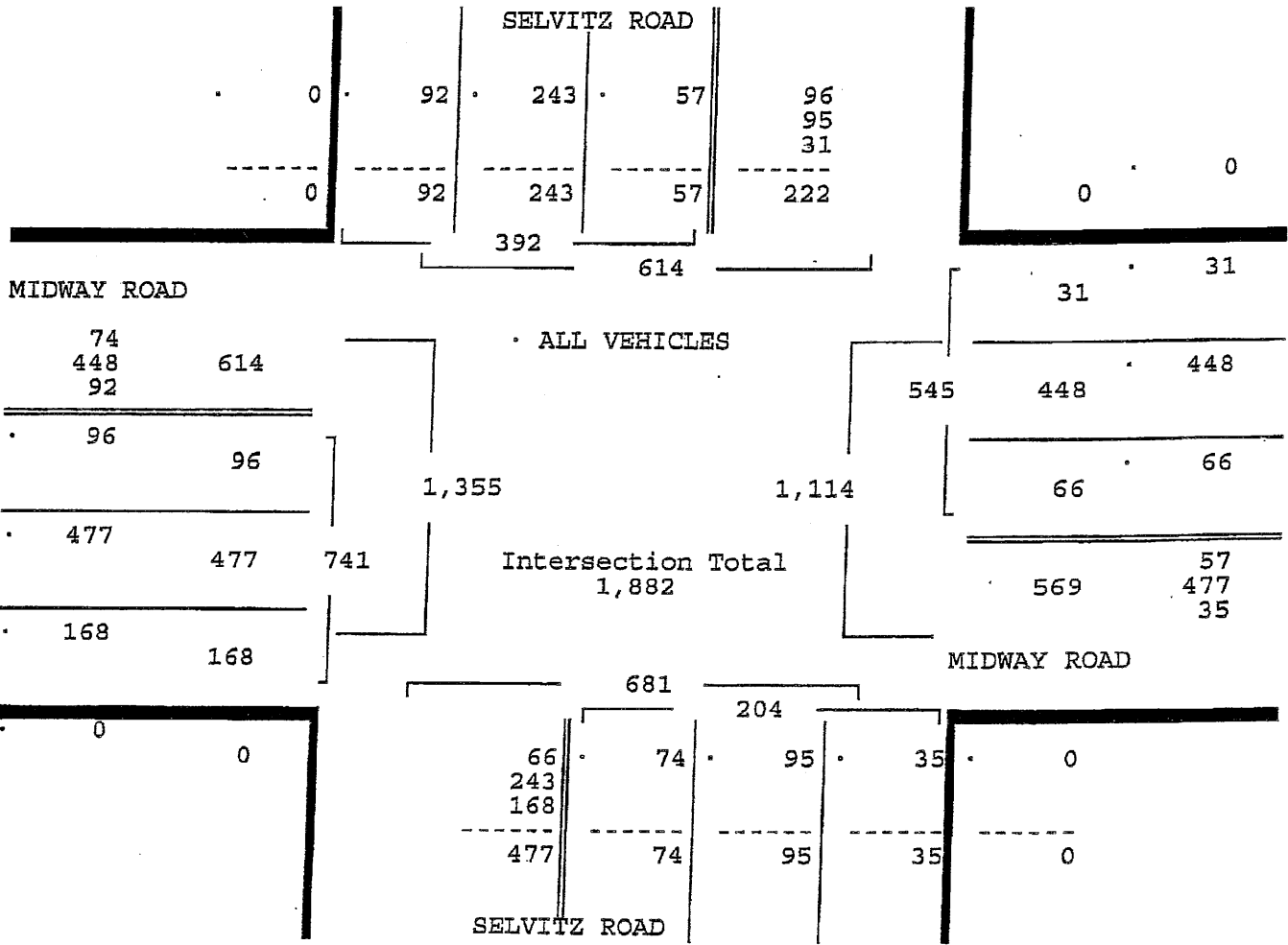
MIDWAY ROAD & SELVITZ ROAD
 PORT ST LUCIE, FLORIDA
 COUNTED BY: MAXIE ESPINOSA
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 Page : 3

ALL VEHICLES

Date	SELVITZ ROAD From North				MIDWAY ROAD From East				SELVITZ ROAD From South				MIDWAY ROAD From West				Total
	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	
09/18/08																	
Peak Hour Analysis By Entire Intersection for the Period: 16:00 to 18:00 on 09/18/08																	
Peak start	16:30				16:30				16:30				16:30				
Volume	1	56	243	92	0	66	448	31	0	74	95	35	0	96	477	168	
Percent	0%	14%	62%	23%	0%	12%	82%	6%	0%	36%	47%	17%	0%	13%	64%	23%	
Pk total	392				545				204				741				
Highest	16:30				17:00				17:15				17:00				
Volume	1	16	67	28	0	15	132	8	0	19	29	11	0	24	139	57	
Hl total	112				155				59				224				
PHF	.88				.88				.86				.83				



2008 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 9401 CEN.-W OF US1 TO I95

MOCF: 0.94

WEEK	DATES	SF	PSCF
1	01/01/2008 - 01/05/2008	0.99	1.06
2	01/06/2008 - 01/12/2008	0.98	1.05
3	01/13/2008 - 01/19/2008	0.97	1.04
* 4	01/20/2008 - 01/26/2008	0.96	1.03
* 5	01/27/2008 - 02/02/2008	0.94	1.00
* 6	02/03/2008 - 02/09/2008	0.93	0.99
* 7	02/10/2008 - 02/16/2008	0.91	0.97
* 8	02/17/2008 - 02/23/2008	0.92	0.98
* 9	02/24/2008 - 03/01/2008	0.92	0.98
*10	03/02/2008 - 03/08/2008	0.92	0.98
*11	03/09/2008 - 03/15/2008	0.93	0.99
*12	03/16/2008 - 03/22/2008	0.93	0.99
*13	03/23/2008 - 03/29/2008	0.94	1.00
*14	03/30/2008 - 04/05/2008	0.95	1.02
*15	04/06/2008 - 04/12/2008	0.95	1.02
*16	04/13/2008 - 04/19/2008	0.96	1.03
17	04/20/2008 - 04/26/2008	0.97	1.04
18	04/27/2008 - 05/03/2008	0.98	1.05
19	05/04/2008 - 05/10/2008	0.99	1.06
20	05/11/2008 - 05/17/2008	1.00	1.07
21	05/18/2008 - 05/24/2008	1.00	1.07
22	05/25/2008 - 05/31/2008	1.01	1.08
23	06/01/2008 - 06/07/2008	1.02	1.09
24	06/08/2008 - 06/14/2008	1.02	1.09
25	06/15/2008 - 06/21/2008	1.03	1.10
26	06/22/2008 - 06/28/2008	1.04	1.11
27	06/29/2008 - 07/05/2008	1.06	1.13
28	07/06/2008 - 07/12/2008	1.07	1.14
29	07/13/2008 - 07/19/2008	1.09	1.17
30	07/20/2008 - 07/26/2008	1.08	1.15
31	07/27/2008 - 08/02/2008	1.08	1.15
32	08/03/2008 - 08/09/2008	1.08	1.15
33	08/10/2008 - 08/16/2008	1.08	1.15
34	08/17/2008 - 08/23/2008	1.08	1.15
35	08/24/2008 - 08/30/2008	1.07	1.14
36	08/31/2008 - 09/06/2008	1.07	1.14
37	09/07/2008 - 09/13/2008	1.06	1.13
38	09/14/2008 - 09/20/2008	1.06	1.13
39	09/21/2008 - 09/27/2008	1.05	1.12
40	09/28/2008 - 10/04/2008	1.04	1.11
41	10/05/2008 - 10/11/2008	1.03	1.10
42	10/12/2008 - 10/18/2008	1.02	1.09
43	10/19/2008 - 10/25/2008	1.01	1.08
44	10/26/2008 - 11/01/2008	1.01	1.08
45	11/02/2008 - 11/08/2008	1.00	1.07
46	11/09/2008 - 11/15/2008	1.00	1.07
47	11/16/2008 - 11/22/2008	1.00	1.07
48	11/23/2008 - 11/29/2008	1.00	1.07
49	11/30/2008 - 12/06/2008	0.99	1.06
50	12/07/2008 - 12/13/2008	0.99	1.06
51	12/14/2008 - 12/20/2008	0.99	1.06
52	12/21/2008 - 12/27/2008	0.98	1.05
53	12/28/2008 - 12/31/2008	0.97	1.04



* PEAK SEASON

26-FEB-2009 15:01:38

830UPD [1,0,0,1]

4_9401_PKSEASON.TXT

St. Lucie County



MOVING TRAFFIC FORWARD

00026 - MIDWAY RD @ SELVITZ RD - Econolite Type - Cobalt

Controller Timing Plan (MM) 2-1

Plan 1 - ""

Phase	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Direction	N-L	S-T	E-L	W-T	S-L	N-T	W-L	E-T	N	N	N	N	N	N	N	N
Min Green	10	10	12	10	10	10	10	10	5	5	5	5	5	5	5	5
Bk Min Green	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
CS Min Green	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Delay Green	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Walk	0	7	0	7	0	7	0	7	0	10	0	10	0	10	0	10
Walk2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Walk Max	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Ped Clear	0	24	0	26	0	26	0	29	0	16	0	16	0	16	0	16
Ped Clear 2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Ped Clear Max	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Ped CO	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Vehicle Ext	5.0	3.0	5.0	5.0	5.0	3.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Vehicle Ext 2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Max1	14	60	22	24	13	60	16	24	35	35	35	35	35	35	35	35
Max2	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
Max3	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
DYM Max	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Dym Step	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Yellow	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0
Red Clear	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
Red Max	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Red Revert	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Act B4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sec/Act	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Max Int	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Time B4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Cars Wt	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
STPTDuc	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
TTReduc	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Min Gap	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

SHORT REPORT												
General Information						Site Information						
Analyst <i>PTC</i> Agency or Co. <i>#18-090</i> Date Performed <i>3/19/19</i> Time Period <i>AM Peak Hour</i>						Intersection <i>Edwards Rd & Selvitz Rd</i> Area Type <i>All other areas</i> Jurisdiction <i>SLC</i> Analysis Year <i>2022 - Proposed Timing</i>						
Volume and Timing Input												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Number of Lanes		1	0	1	1		1		1			
Lane Group		TR		L	T		L		R			
Volume (vph)		327	271	307	426		486		476			
% Heavy Vehicles		5	5	5	5		5		5			
PHF		0.95	0.95	0.95	0.95		0.95		0.95			
Pretimed/Actuated (P/A)		A	A	A	A		A		A			
Startup Lost Time		2.0		2.0	2.0		2.0		2.0			
Extension of Effective Green		2.0		2.0	2.0		2.0		2.0			
Arrival Type		3		3	3		3		3			
Unit Extension		3.0		3.0	3.0		3.0		3.0			
Ped/Bike/RTOR Volume	0	0	0	0	0		0	0	60	0	0	
Lane Width		12.0		12.0	12.0		12.0		12.0			
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N
Parking/Hour												
Bus Stops/Hour		0		0	0		0		0			
Minimum Pedestrian Time		3.2			3.2			3.2			3.2	
Phasing	WB Only	EW Perm	03	04	NB Only	06	07	08				
Timing	G = 13.0	G = 42.0	G =	G =	G = 35.0	G =	G =	G =				
	Y = 5	Y = 5	Y =	Y =	Y = 6	Y =	Y =	Y =				
Duration of Analysis (hrs) = 0.25						Cycle Length C = 106.0						
Lane Group Capacity, Control Delay, and LOS Determination												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Adjusted Flow Rate		629		323	448		512		438			
Lane Group Capacity		673		358	1025		568		508			
v/c Ratio		0.93		0.90	0.44		0.90		0.86			
Green Ratio		0.40		0.57	0.57		0.33		0.33			
Uniform Delay d ₁		30.7		18.1	13.3		33.9		33.2			
Delay Factor k		0.45		0.42	0.11		0.42		0.39			
Incremental Delay d ₂		20.3		25.1	0.3		17.6		14.2			
PF Factor		1.000		1.000	1.000		1.000		1.000			
Control Delay		51.0		43.2	13.6		51.4		47.4			
Lane Group LOS		D		D	B		D		D			
Approach Delay		51.0		26.0			49.6					
Approach LOS		D		C			D					
Intersection Delay		42.2		Intersection LOS							D	

SHORT REPORT													
General Information						Site Information							
Analyst <i>PTC</i> Agency or Co. <i>#18-090</i> Date Performed <i>3/19/19</i> Time Period <i>PM Peak Hour</i>						Intersection <i>Edward Rd & Selvitz Rd</i> Area Type <i>All other areas</i> Jurisdiction <i>SLC</i> Analysis Year <i>2022 Proposed Timing</i>							
Volume and Timing Input													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Number of Lanes		1	0	1	1		1		1				
Lane Group		TR		L	T		L		R				
Volume (vph)		451	377	350	446		334		411				
% Heavy Vehicles		5	5	5	5		5		5				
PHF		0.95	0.95	0.95	0.95		0.95		0.95				
Pretimed/Actuated (P/A)		A	A	A	A		A		A				
Startup Lost Time		2.0		2.0	2.0		2.0		2.0				
Extension of Effective Green		2.0		2.0	2.0		2.0		2.0				
Arrival Type		3		3	3		3		3				
Unit Extension		3.0		3.0	3.0		3.0		3.0				
Ped/Bike/RTOR Volume	0	0	0	0	0		0	0	60	0	0		
Lane Width		12.0		12.0	12.0		12.0		12.0				
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N	
Parking/Hour													
Bus Stops/Hour		0		0	0		0		0				
Minimum Pedestrian Time		3.2			3.2				3.2			3.2	
Phasing	WB Only	EW Perm	03	04	NB Only	06	07	08					
Timing	G = 12.0	G = 55.0	G =	G =	G = 23.0	G =	G =	G =					
	Y = 5	Y = 5	Y =	Y =	Y = 6	Y =	Y =	Y =					
Duration of Analysis (hrs) = 0.25						Cycle Length C = 106.0							
Lane Group Capacity, Control Delay, and LOS Determination													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Adjusted Flow Rate		872		368	469		352		369				
Lane Group Capacity		881		386	1229		373		595				
v/c Ratio		0.99		0.95	0.38		0.94		0.62				
Green Ratio		0.52		0.68	0.68		0.22		0.39				
Uniform Delay d ₁		25.2		17.4	7.4		40.9		26.2				
Delay Factor k		0.49		0.46	0.11		0.46		0.20				
Incremental Delay d ₂		27.7		33.8	0.2		32.4		2.0				
PF Factor		1.000		1.000	1.000		1.000		1.000				
Control Delay		52.9		51.2	7.6		73.2		28.2				
Lane Group LOS		D		D	A		E		C				
Approach Delay		52.9			26.7			50.2					
Approach LOS		D			C			D					
Intersection Delay		43.1			Intersection LOS						D		

SHORT REPORT													
General Information						Site Information							
Analyst PTC Agency or Co. #18-090 Date Performed 3/19/19 Time Period AM Peak Hour						Intersection Edwards Rd & Selvitz Rd Area Type All other areas Jurisdiction SLC Analysis Year 2022 Existing Timing							
Volume and Timing Input													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Number of Lanes		1	0	1	1		1		1				
Lane Group		TR		L	T		L		R				
Volume (vph)		327	271	307	426		486		476				
% Heavy Vehicles		5	5	5	5		5		5				
PHF		0.95	0.95	0.95	0.95		0.95		0.95				
Pretimed/Actuated (P/A)		A	A	A	A		A		A				
Startup Lost Time		2.0		2.0	2.0		2.0		2.0				
Extension of Effective Green		2.0		2.0	2.0		2.0		2.0				
Arrival Type		3		3	3		3		3				
Unit Extension		3.0		3.0	3.0		3.0		3.0				
Ped/Bike/RTOR Volume	0	0	0	0	0		0	0	60	0	0		
Lane Width		12.0		12.0	12.0		12.0		12.0				
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N	
Parking/Hour													
Bus Stops/Hour		0		0	0		0		0				
Minimum Pedestrian Time		3.2			3.2				3.2			3.2	
Phasing	WB Only	EW Perm	03	04	NB Only	06	07	08					
Timing	G = 15.0	G = 35.0	G =	G =	G = 40.0	G =	G =	G =					
	Y = 5	Y = 5	Y =	Y =	Y = 6	Y =	Y =	Y =					
Duration of Analysis (hrs) = 0.25						Cycle Length C = 106.0							
Lane Group Capacity, Control Delay, and LOS Determination													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Adjusted Flow Rate		629		323	448		512		438				
Lane Group Capacity		561		317	939		649		580				
v/c Ratio		1.12		1.02	0.48		0.79		0.76				
Green Ratio		0.33		0.52	0.52		0.38		0.38				
Uniform Delay d ₁		35.5		30.7	16.3		29.3		28.7				
Delay Factor k		0.50		0.50	0.11		0.34		0.31				
Incremental Delay d ₂		75.9		55.5	0.4		6.5		5.6				
PF Factor		1.000		1.000	1.000		1.000		1.000				
Control Delay		111.4		86.2	16.7		35.8		34.4				
Lane Group LOS		F		F	B		D		C				
Approach Delay		111.4			45.8			35.1					
Approach LOS		F			D			D					
Intersection Delay		59.0			Intersection LOS						E		

SHORT REPORT													
General Information						Site Information							
Analyst <i>PTC</i> Agency or Co. <i>#18-090</i> Date Performed <i>3/19/19</i> Time Period <i>PM Peak Hour</i>						Intersection <i>Edward Rd & Selvitz Rd</i> Area Type <i>All other areas</i> Jurisdiction <i>SLC</i> Analysis Year <i>2022 Existing Timing</i>							
Volume and Timing Input													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Number of Lanes		1	0	1	1		1		1				
Lane Group		TR		L	T		L		R				
Volume (vph)		451	377	350	446		334		411				
% Heavy Vehicles		5	5	5	5		5		5				
PHF		0.95	0.95	0.95	0.95		0.95		0.95				
Pretimed/Actuated (P/A)		A	A	A	A		A		A				
Startup Lost Time		2.0		2.0	2.0		2.0		2.0				
Extension of Effective Green		2.0		2.0	2.0		2.0		2.0				
Arrival Type		3		3	3		3		3				
Unit Extension		3.0		3.0	3.0		3.0		3.0				
Ped/Bike/RTOR Volume	0	0	0	0	0		0	0	60	0	0		
Lane Width		12.0		12.0	12.0		12.0		12.0				
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N	
Parking/Hour													
Bus Stops/Hour		0		0	0		0		0				
Minimum Pedestrian Time		3.2			3.2			3.2			3.2		
Phasing	WB Only	EW Perm	03	04	NB Only	06	07	08					
Timing	G = 15.0	G = 35.0	G =	G =	G = 40.0	G =	G =	G =					
	Y = 5	Y = 5	Y =	Y =	Y = 6	Y =	Y =	Y =					
Duration of Analysis (hrs) = 0.25						Cycle Length C = 106.0							
Lane Group Capacity, Control Delay, and LOS Determination													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Adjusted Flow Rate		872		368	469		352		369				
Lane Group Capacity		561		311	939		649		580				
v/c Ratio		1.55		1.18	0.50		0.54		0.64				
Green Ratio		0.33		0.52	0.52		0.38		0.38				
Uniform Delay d ₁		35.5		22.0	16.6		25.8		27.0				
Delay Factor k		0.50		0.50	0.11		0.14		0.22				
Incremental Delay d ₂		258.2		110.4	0.4		0.9		2.3				
PF Factor		1.000		1.000	1.000		1.000		1.000				
Control Delay		293.7		132.4	17.0		26.8		29.4				
Lane Group LOS		F		F	B		C		C				
Approach Delay		293.7			67.7			28.1					
Approach LOS		F			E			C					
Intersection Delay		137.0			Intersection LOS						F		

INTERSECTION ANALYSIS SHEET Ft Pierce Aggregate Recycling Facility

Edwards Rd & Selvitz Rd

Growth 4.87%

Peak Season = 1.12

Buildout Year = 2022

Years = 6

AM Peak Hour												
Intersection Volume Development												
	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume (8/24/16)	325	0	317	0	0	0	0	220	180	202	286	0
Peak Season Volume	364	0	355	0	0	0	0	246	202	226	320	0
Growth 2016 - 2022	120	0	117	0	0	0	0	81	67	75	106	0
Total Growth	120	0	117	0	0	0	0	81	67	75	106	0
% Project Traffic	10%	0%	20%	0%	0%	0%	0%	0%	10%	20%	0%	0%
Direction	out	in	out	out	in	out	in	in	in	in	out	in
Project Traffic	2	0	4	0	0	0	0	0	3	6	0	0
Total	486	0	476	0	0	0	0	327	271	307	426	0

PM Peak Hour												
Intersection Volume Development												
	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume (8/24/16)	222	0	272	0	0	0	0	303	252	232	299	0
Peak Season Volume	249	0	305	0	0	0	0	339	282	260	335	0
Growth 2016 - 2022	82	0	101	0	0	0	0	112	93	86	111	0
Total Growth	82	0	101	0	0	0	0	112	93	86	111	0
% Project Traffic	10%	0%	20%	0%	0%	0%	0%	0%	10%	20%	0%	0%
Direction	out	in	out	out	in	out	in	in	in	in	out	in
Project Traffic	3	0	6	0	0	0	0	0	2	4	0	0
Total	334	0	411	0	0	0	0	451	377	350	446	0

TRAFFIC SURVEY SPECIALISTS, INC.

EDWARDS ROAD & SELVITZ ROAD
 FORT PIERCE, FLORIDA
 COUNTED BY: JOHN FLOOD
 SIGNALIZED

85 SE 4TH AVENUE, UNIT 109
 DELRAY BEACH, FLORIDA
 PHONE (561)272-3255

Site Code : 00160174
 Start Date: 08/24/16
 File I.D. : EDWASELV
 Page : 1

ALL VEHICLES

Date	From North				EDWARDS ROAD From East				SELVITZ ROAD From South				EDWARDS ROAD From West				Total
	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	
08/24/16																	
07:00	0	0	0	0	0	63	60	0	0	36	0	50	0	0	63	43	315
07:15	0	0	0	0	0	55	67	0	0	77	0	73	0	0	52	33	357
07:30	0	0	0	0	0	62	80	0	0	58	0	66	0	0	64	54	384
07:45	0	0	0	0	0	57	72	0	0	99	0	92	0	0	47	47	414
Hr Total	0	0	0	0	0	237	279	0	0	270	0	281	0	0	226	177	1470
08:00	0	0	0	0	0	28	67	0	0	91	0	86	0	0	57	46	375
08:15	0	0	0	0	0	52	67	0	0	67	0	65	0	0	51	38	340
08:30	0	0	0	0	0	38	64	0	0	54	0	48	0	0	46	30	280
08:45	0	0	0	0	0	32	49	0	0	53	0	39	0	0	71	36	280
Hr Total	0	0	0	0	0	150	247	0	0	265	0	238	0	0	225	150	1275
* BREAK *																	
16:00	0	0	0	0	0	51	65	0	0	66	0	71	0	0	80	55	388
16:15	0	0	0	0	0	61	79	0	0	50	0	70	0	0	83	56	399
16:30	0	0	0	0	0	60	69	0	0	53	0	67	0	0	71	73	393
16:45	0	0	0	0	0	51	84	0	0	53	0	67	0	0	70	67	392
Hr Total	0	0	0	0	0	223	297	0	0	222	0	275	0	0	304	251	1572
17:00	0	0	0	0	0	60	67	0	0	66	0	68	0	0	79	56	396
17:15	0	0	0	0	0	60	72	0	0	47	0	64	0	0	80	76	399
17:30	0	0	0	0	0	50	84	0	0	50	0	73	0	0	63	53	373
17:45	0	0	0	0	0	39	67	0	0	52	0	57	0	0	57	49	321
Hr Total	0	0	0	0	0	209	290	0	0	215	0	262	0	0	279	234	1489
TOTAL	0	0	0	0	0	819	1113	0	0	972	0	1056	0	0	1034	812	5806

TRAFFIC SURVEY SPECIALISTS, INC.

85 SE 4TH AVENUE, UNIT 109

DELRAY BEACH, FLORIDA

PHONE (561)272-3255

Site Code : 00160174

Start Date: 08/24/16

File I.D. : EDWASELV

Page : 2

EDWARDS ROAD & SELVITZ ROAD
 FORT PIERCE, FLORIDA
 COUNTED BY: JOHN FLOOD
 SIGNALIZED

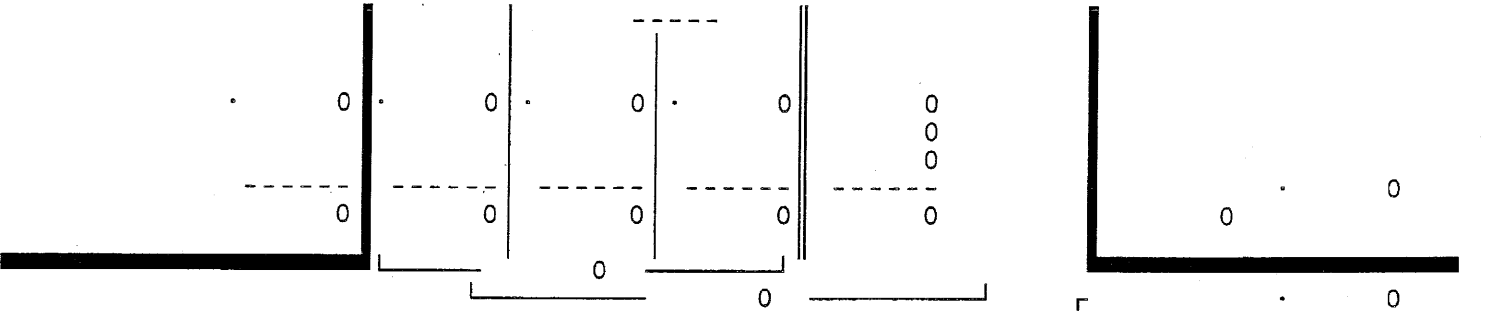
ALL VEHICLES

----- From North	EDWARDS ROAD From East				SELVITZ ROAD From South				EDWARDS ROAD From West				Total
	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	

Date 08/24/16

Peak Hour Analysis By Entire Intersection for the Period: 07:00 to 09:00 on 08/24/16

Peak start 07:15	07:15				07:15				07:15							
Volume	0	0	0	0	202	286	0	0	325	0	317	0	0	220	180	
Percent	0%	0%	0%	0%	0%	41%	59%	0%	0%	51%	0%	49%	0%	0%	55%	45%
Pk total	0				488				642				400			
Highest	07:00				07:30				07:45				07:30			
Volume	0	0	0	0	0	62	80	0	0	99	0	92	0	0	64	54
Hi total	0				142				191				118			
PHF	.0				.86				.84				.85			



EDWARDS ROAD

325	
286	611
0	
<hr/>	
0	0
<hr/>	
220	220
<hr/>	
180	180
<hr/>	
0	0

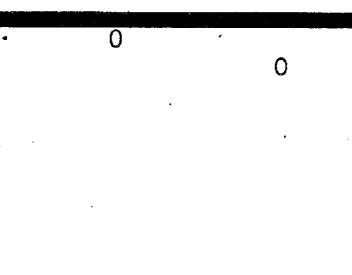
ALL VEHICLES

1,011 1,025

Intersection Total
1,530

0	0
488	286
<hr/>	
202	202
<hr/>	
537	220
<hr/>	
	317

EDWARDS ROAD



1,024		642	
202	325	0	317
0			
180			
<hr/>		<hr/>	
382	325	0	317

SELVITZ ROAD

TRAFFIC SURVEY SPECIALISTS, INC.

85 SE 4TH AVENUE, UNIT 109

DELRAY BEACH, FLORIDA

PHONE (561)272-3255

Site Code : 00160174

Start Date: 08/24/16

File I.D. : EDWASELV

Page : 3

EDWARDS ROAD & SELVITZ ROAD

FORT PIERCE, FLORIDA

COUNTED BY: JOHN FLOOD

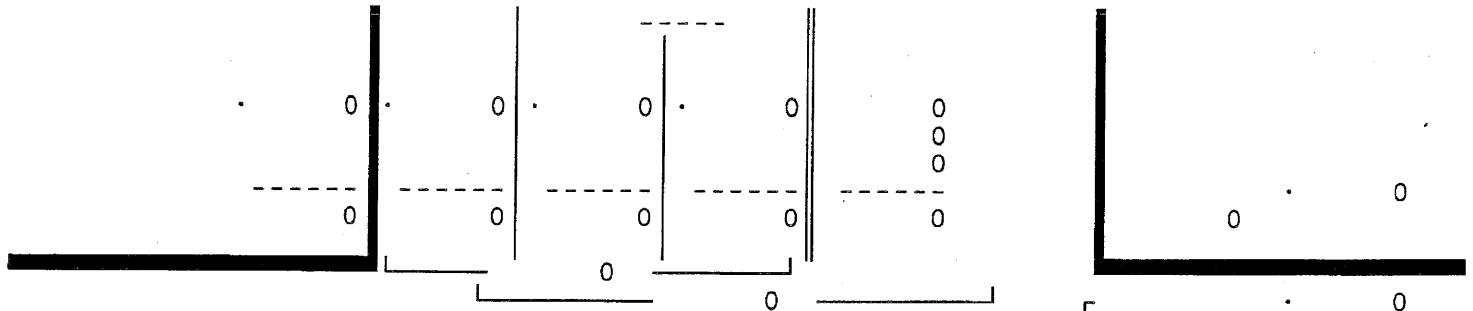
SIGNALIZED

ALL VEHICLES

Date 08/24/16	EDWARDS ROAD From North				EDWARDS ROAD From East				SELVITZ ROAD From South				EDWARDS ROAD From West				Total
	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	UTurn	Left	Thru	Right	

Peak Hour Analysis By Entire Intersection for the Period: 16:00 to 18:00 on 08/24/16

Peak start 16:15	16:15				16:15				16:15							
Volume	0	0	0	0	0	232	299	0	0	222	0	272	0	0	303	252
Percent	0%	0%	0%	0%	0%	44%	56%	0%	0%	45%	0%	55%	0%	0%	55%	45%
Pk total	0				531				494				555			
Highest	07:00				16:15				17:00				16:30			
Volume	0	0	0	0	0	61	79	0	0	66	0	68	0	0	71	73
Hi total	0				140				134				144			
PHF	.0				.95				.92				.96			



EDWARDS ROAD

222	
299	521
0	
<hr/>	
0	0
<hr/>	
303	303
<hr/>	
252	252
<hr/>	
0	0

ALL VEHICLES

1,076

1,106

Intersection Total
1,580

531

299

299

232

232

575

0

303

272

EDWARDS ROAD

978

494

0	0
<hr/>	
232	222
0	
252	
<hr/>	
484	222
<hr/>	

SELVITZ ROAD

232

222

0

272

0

252

484

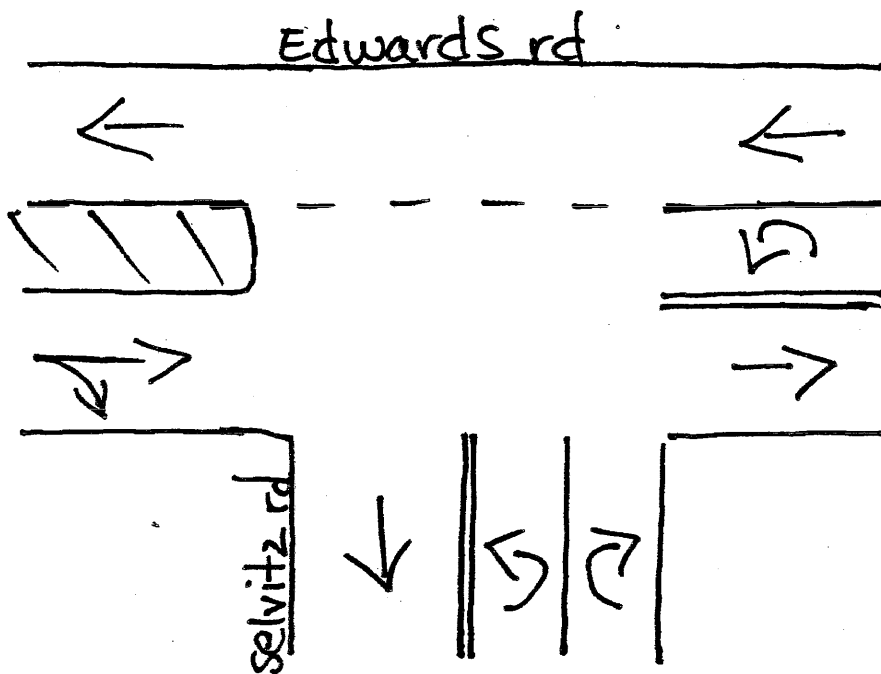
222

0

272

0

North ↑



Fort Pierce, Florida
August 25, 2016
drawn by: Luis Palomino
signalized

ST. LUCIE

2017 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
CATEGORY: 9401 CEN.-W OF US1 TO I95

MOCF: 0.95
PSCF

WEEK	DATES	SF	PSCF
1	01/01/2017 - 01/07/2017	0.99	1.04
2	01/08/2017 - 01/14/2017	0.98	1.03
3	01/15/2017 - 01/21/2017	0.97	1.02
* 4	01/22/2017 - 01/28/2017	0.96	1.01
* 5	01/29/2017 - 02/04/2017	0.96	1.01
* 6	02/05/2017 - 02/11/2017	0.95	1.00
* 7	02/12/2017 - 02/18/2017	0.94	0.99
* 8	02/19/2017 - 02/25/2017	0.94	0.99
* 9	02/26/2017 - 03/04/2017	0.94	0.99
*10	03/05/2017 - 03/11/2017	0.93	0.98
*11	03/12/2017 - 03/18/2017	0.93	0.98
*12	03/19/2017 - 03/25/2017	0.94	0.99
*13	03/26/2017 - 04/01/2017	0.95	1.00
*14	04/02/2017 - 04/08/2017	0.95	1.00
*15	04/09/2017 - 04/15/2017	0.96	1.01
*16	04/16/2017 - 04/22/2017	0.97	1.02
17	04/23/2017 - 04/29/2017	0.98	1.03
18	04/30/2017 - 05/06/2017	0.99	1.04
19	05/07/2017 - 05/13/2017	1.00	1.05
20	05/14/2017 - 05/20/2017	1.01	1.06
21	05/21/2017 - 05/27/2017	1.02	1.07
22	05/28/2017 - 06/03/2017	1.03	1.08
23	06/04/2017 - 06/10/2017	1.04	1.09
24	06/11/2017 - 06/17/2017	1.05	1.11
25	06/18/2017 - 06/24/2017	1.06	1.12
26	06/25/2017 - 07/01/2017	1.06	1.12
27	07/02/2017 - 07/08/2017	1.07	1.13
28	07/09/2017 - 07/15/2017	1.07	1.13
29	07/16/2017 - 07/22/2017	1.07	1.13
30	07/23/2017 - 07/29/2017	1.06	1.12
31	07/30/2017 - 08/05/2017	1.06	1.12
32	08/06/2017 - 08/12/2017	1.05	1.11
33	08/13/2017 - 08/19/2017	1.05	1.11
34	08/20/2017 - 08/26/2017	1.06	1.12
35	08/27/2017 - 09/02/2017	1.07	1.13
36	09/03/2017 - 09/09/2017	1.07	1.13
37	09/10/2017 - 09/16/2017	1.08	1.14
38	09/17/2017 - 09/23/2017	1.07	1.13
39	09/24/2017 - 09/30/2017	1.06	1.12
40	10/01/2017 - 10/07/2017	1.04	1.09
41	10/08/2017 - 10/14/2017	1.03	1.08
42	10/15/2017 - 10/21/2017	1.02	1.07
43	10/22/2017 - 10/28/2017	1.02	1.07
44	10/29/2017 - 11/04/2017	1.01	1.06
45	11/05/2017 - 11/11/2017	1.01	1.06
46	11/12/2017 - 11/18/2017	1.00	1.05
47	11/19/2017 - 11/25/2017	1.00	1.05
48	11/26/2017 - 12/02/2017	1.00	1.05
49	12/03/2017 - 12/09/2017	0.99	1.04
50	12/10/2017 - 12/16/2017	0.99	1.04
51	12/17/2017 - 12/23/2017	0.98	1.03
52	12/24/2017 - 12/30/2017	0.98	1.03
53	12/31/2017 - 12/31/2017	0.97	1.02

* PEAK SEASON

