



DEVELOPMENT REVIEW

Property address or Location TBD Reynolds Drive, Fort Pierce, FL
 Parcel ID #(s) TBD (currently 2324-341-0002-0003 subject to subdivision plat)
 Project description Proposed construction of a 4-story, 95 room hotel with pertinent improvements.

Fort Pierce Hotel LLC
 Property Owner(s)
 1500 SE 5th Ave.
 Street Address
 Dania Beach, Florida 33004
 City State Zip
 954-874-1800
 Phone Number
 danpatel61@gmail.com
 Email Address

Atlantic Civil Engineering, Inc
 Applicant/Representative, Title, Company
 2552 Peters Road Suite D
 Street Address
 Fort Pierce FL 34945
 City State Zip
 772-398-1520
 Phone Number
 gatorr@msn.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

STATE OF FLORIDA -- St. Lucie COUNTY

The foregoing instrument was acknowledged before me this 22 day of May, 2019 by Dilip Patel who is personally known to me or has produced

Signature of Notary

as identification.

 Notary Public State of Florida
 April B Williams
 My Commission GG 170546
 Expires 04/20/2022 (seal)

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Intake Date Stamp



DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type	
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.
<input type="checkbox"/> Conceptual Development Plan	<input type="checkbox"/> Major Amendment
	<input type="checkbox"/> Minor Amendment

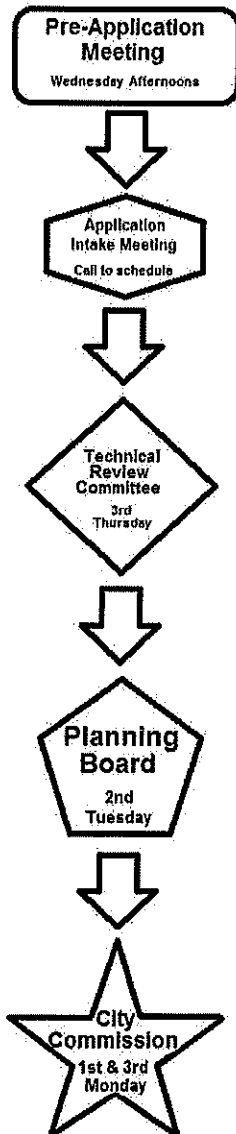
Site Information:

Non-Residential: Proposed Sq. Ft.: _____ Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



Design Review

Property address or Location 1990 Reynolds Drive, Fort Pierce

Parcel ID #(s) 2324-341-0002-0003

Project Description 95 Room, 4-Story Hotel

Fort Pierce Hotel, LLC

Property Owner(s)

1500 SE 5th Avenue

Street Address

Dania Beach FL 33304

City State Zip

954-874-1800

Phone Number

danpatel61@gmail.com

Email Address

Atlantic Civil Engineering

Applicant/Representative, Title, Company

2552 Peters Road, Suite D

Street Address

Fort Pierce FL 34945

City State Zip

772-398-1520

Phone Number

gatorrr@msn.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY

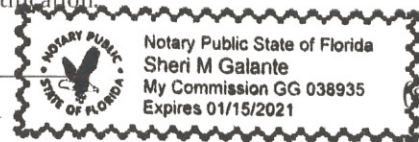
The foregoing instrument was acknowledged before me this 28 day of June, 2019, by

Dan Patel

who is personally known to me or has produced

as identification.

Signature of Notary



(seal)

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____

Intake Planner _____

Planner Assigned _____

Approved _____ Date _____

Comments _____

Intake Date Stamp



CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Hotel	GC	C3
South	Hotel	GC	C3
East	Hotel	GC	C3
West	Steak & Shake Restaurant	GC	C3

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	GC	C3	0	1.99	X
**Proposed	GC	C3	14,238 1st Floor	1.99	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) TOTAL= 95 ROOMS ROOM Other: 0.125 gallons per day per square foot OTHER : ONSITE POOL = 300 GPD
Demand Analysis	Maximum
Current Zoning/FLU	9800 Total gallons per day
**Proposed Zoning/FLU	9800 Total gallons per day
**Change in Demand	0 Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6 = persons x 100 gpd = demand) TOTAL= 95 ROOMS ROOM Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	9500 Total gallons per day
**Proposed Zoning/FLU	9500 Total gallons per day
**Change in Demand	0 Total gallons per day

C. Parks and Recreation (Residential Classifications Only): N/A (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): N/A Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU Enrollment Demand		
**Proposed Zoning/FLU Enrollment Demand		
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units) N/A	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
~~Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm. Pre vs. Post Runoff (Storm sewers to convey 5-year 1-day storm event; Canals to convey 3-year 1-day storm event).~~

The proposed site will outfall into an existing SFWMD permitted storm water management system (Permit # 56-00541-S). The system was designed to accommodate the subject site and includes a water quality component.

Impact	
--------	--

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity Code 310		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum 646	Maximum 42/45
Current Zoning/FLU		
**Proposed Zoning/FLU		
*Change in Demand	646 Trips	42/45 Trips
Impact to Capacity	SEE TRAFFIC IMPACT REPORT	

IV. Project Description

PHASING	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units:	Single Family: Multifamily:
Non-residential (square footage): 1st Floor = 14,238 S.F. GROSS = 58,083 S.F.	
Mixed-use (describe use):	
(If this is a single phase project, name it Phase I – Total)	

RESIDENTIAL DATA N/A					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
4 STORY 95 ROOM HOTEL	I (TOTAL)	14,238	1.99	10/2019	10/2020
		(1st Floor)	(Site)		

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding



**ATLANTIC
CIVIL ENGINEERING**

2552 PETERS RD, SUITE D,
FORT PIERCE, FL 34945
P: 772.398.1520 F: 772.398.1521
E: GATORRR@MSN.COM
CONSULTING ENGINEERS

STATEMENTS OF OWNERSHIP

Parcel ID No.: 2324-341-0002-000-3 currently (subject to subdivision plat)

Address: TBD Reynolds Drive, Fort Pierce, FL 34945

.. Current: 6505 Metal Drive, Fort Pierce, FL 34945

Current Ownership: Premier Hospitality Inc.

Future Ownership: Ft. Pierce Hotel, LLC (same ownership group)

INTENDED USE

Proposed construction of a 4-Story, 95 Room Hotel with all pertinent improvements.

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 6505 Metal DR
 Sec/Town/Range: 24/35S/39E
 Map ID: 23/24S
 Zoning: C3

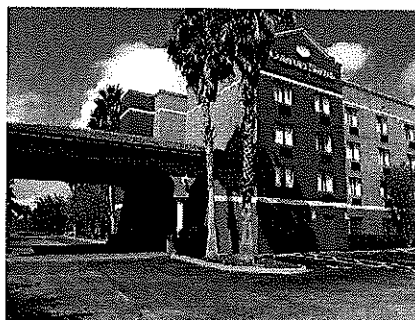
Parcel ID: 2324-341-0002-000-3
 Account #: 14289
 Use Type: 3900
 Jurisdiction: Fort Pierce

Ownership

Premier Hospitality Inc
 1500 SE 5th Ave
 Dania Beach, FL 33004

Legal Description

24 35 39 BEG AT SE COR OF SW 1/4 OF SEC RUN N 00 05 12 W ALG
 1/4 SEC LI 168.04 FT, TH N 89 49 22 W 287.11 FT, TH N 00 05 12 E 208.62
 FT, TH N 89 49 22 E 287.05 FT TO POB; TH N 00 05 12 E 497.84 FT, TH N
 88 56 21 W 273.73 FT, TH S 00 12 28 E 64.74 FT, TH S 49 13 32 W 16.63
 FT, TH S 00 05 12 E 135 FT, TH S 89 54 18 W 377 FT, TH S 00 05 42 E
 289.63 FT, TH S 88 52 33 E 663.65 FT TO POB (5.28 AC) (OR 1816-1730)



Current Values

Just/Market Value: \$3,126,300
 Assessed Value: \$2,881,055
 Exemptions: \$0
 Taxable Value: \$2,881,055

Total Areas

Finished/Under Air (SF): 41,084
 Gross Sketched Area (SF): 44,538
 Land Size (acres): 5.28
 Land Size (SF): 229,997

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#) [E]
 Download TRIM for this parcel: [Download PDF](#) [R]

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Oct 3, 2003	1816 / 1730	XX00	WD	South Florida Real Estate and	\$718,800
Mar 10, 1992	0780 / 1554	XX02	WD	WHARF PROP OF KEY WEST INC	\$7,200,000
Mar 10, 1992	0770 / 2227	XX02	WD	CHOBBE LTD	\$100
Sep 1, 1984	0444 / 0935	XX00	CV		\$925,000
Dec 1, 1975	0249 / 0326	XX00	CV		\$400,000

Building Information (1 of 1)

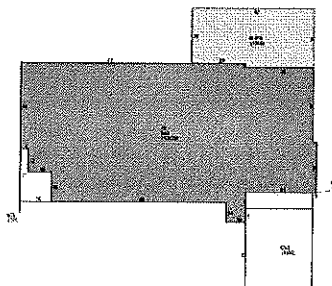
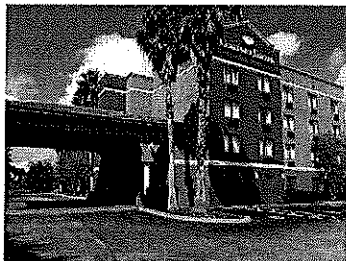
Finished Area: 41,084 SF
 Gross Sketched Area: 44,538 SF

Exterior Data

View:	Roof Cover: Roll Comp	Roof Structure: Bards/Rigid
Building Type: HTL1	Year Built: 2004	Frame:
Grade: Y_C	Effective Year: 2004	Primary Wall: CB Stucco
Story Height: 4 Story	No. Units: 68	Secondary Wall:

Interior Data

Bedrooms: 0	Electric: MAXIMUM	Primary Int Wall:
Full Baths: 0	Heat Type: FrcdHotAir	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel: ELEC	Primary Floors: Carpet
A/C %: 100%	Heated %: 100%	Sprinkled %: 100%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
4S	3 FULL STORIES OVER BASE (TOTAL 4 FLOORS)	10203	30609	464

BAS	BASE AREA	10475	10475	548
CN3	CANOPY	1360	0	148
NVPD	Pool Deck for Sketch Only (Valued in SFYI)	1806	0	184
UTL	UTILITY ROOM	288	0	86

Special Features and Yard Items

Type	Qty	Units	Year Blt
ELEVATOR	1	5000	2004
WRGHT IRON 5	1	124	2004
ASP2 LOW	1	34603	2004
SPA-HOT TUB	1	25	2004
CEMENT CURB	1	1044	2004
POOL DK-GOOD	1	1327	2004
CEMENT CURB	1	528	2004
COM POOL AVG	1	578	2004
SINGLE LIGHT	1	10	2004

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
	Amount	Tax Year	Grant Year	Code	Description	Amount
Building:	\$2,206,300					
Land:	\$920,000					
Just/Market:	\$3,126,300					
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$245,245					
Assessed:	\$2,881,055					
Exemption(s):	\$0					
Taxable:	\$2,881,055					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2006	0041	47.4	Fort Pierce Stormwater Charge	\$3,270.60
2013	0054	5.28	North St. Lucie Water Management District	\$92.40

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office (8).

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2018	\$3,126,300	\$2,881,055	\$0	\$2,881,055
2017	\$2,757,100	\$2,619,141	\$0	\$2,619,141
2016	\$2,735,400	\$2,381,038	\$0	\$2,381,038

Permits

Number	Issue Date	Description	Amount	Fee
F00-000023	Jun 8, 2001	Roof	\$2,400	\$0
F94-1120	Sep 16, 1994	Roof	\$13,368	\$13,368
FD200317	Oct 22, 2003	Foundation	\$45,000	\$150
CM200329	Feb 18, 2004	Commercial New Construction	\$1,915,000	\$187,803
FS20041	Apr 13, 2004	Sprinkler System	\$34,000	\$515
CR200475	Sep 29, 2004	Alterations/Remodeling	\$85,000	\$0
RF2004338	Sep 16, 2004	Roof	\$90,000	\$0
RF2004578	Oct 7, 2004	Roof	\$41,300	\$0
POOL200415	Aug 17, 2004	Pool	\$20,000	\$575
CR200486	Nov 2, 2004	Alterations/Remodeling	\$5,000	\$175
FD200418	Jan 20, 2005	Foundation	\$245,000	\$150
CM200431	Apr 19, 2004	Commercial New Construction	\$3,297,908	\$175,170
SW20054	May 12, 2005	Unknown	\$0	\$150
FA20052	Jul 28, 2005	Unknown	\$30,000	\$375
MC2005330	Jul 8, 2005	Air Conditioning Only	\$1,574	\$75
POOL200524	Oct 6, 2005	Pool	\$27,900	\$504
FD200515	Oct 28, 2005	Foundation	\$125,000	\$150
FS20064	Jul 26, 2006	Sprinkler System	\$28,500	\$360
POOL20066	Jul 14, 2006	Pool	\$35,000	\$575
FA20062	Nov 1, 2006	Unknown	\$21,000	\$210
BP09-0484	May 5, 2009	Alterations/Remodeling	\$6,175	\$137
BP04-7967	Jul 23, 2010	Alterations/Remodeling	\$20,000	\$275
BP10-0579	Apr 12, 2010	Alterations/Remodeling	\$15,500	\$155
BP10-0790	Apr 14, 2010	Alterations/Remodeling	\$2,500	\$75
BP10-0838	Apr 23, 2010	Alterations/Remodeling	\$800	\$150
BP10-0530	Mar 23, 2010	Alterations/Remodeling	\$5,000	\$150
BP14-2425	Oct 8, 2014	Paving	\$5,000	\$80

Notice: This does not necessarily represent all the permits for this property. Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty. © Copyright 2019 Saint Lucie County Property Appraiser. All rights reserved.

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
File Number: 2285288 OR BOOK 1816 PAGE 1730
Recorded: 10/08/03 13:30

THIS INSTRUMENT PREPARED BY * Doc Assump: \$ 0.00
RECORD AND RETURN TO: * Doc Tax : \$ 5,031.60
* Int Tax : \$ 0.00

Craig J. Mandell, Esq.
Moskowitz, Mandell, Salim & Simowitz, P.A.
800 Corporate Drive, Suite 510
Ft. Lauderdale, FL 33334

Folio No. 2324-341-0002-000/3

WARRANTY DEED

THIS INDENTURE, made this 3 day of October, 2003, by and between SOUTH FLORIDA REAL ESTATE & MANAGEMENT CORP., a Florida corporation, ("Grantor") whose address is 100 Market Street, Bldg. 1, Portsmouth, NH 03801 and PREMIER HOSPITALITY, INC., a Florida corporation ("Grantee"), whose address is 1500 SE 5th Avenue, Dania Beach, FL 33004.

WITNESSETH: Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration, to them in hand paid by Grantee, the receipt of which is hereby acknowledged, have granted, bargained and sold to Grantee, and the heirs and assigns of Grantee, forever, the following described real property located in St. Lucie County, Florida, to-wit:

See Exhibit "A" attached hereto and made a part hereof.

together with all of the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

This conveyance is subject to the following:

1. Comprehensive land use plans, zoning restrictions, prohibitions and other requirements imposed by governmental authority;
2. Restrictions and matters appearing on the plat or otherwise common to the subdivision;
3. Oil, gas and mineral rights of record without right of entry;
4. Unplatted public utility easements of record;
5. Taxes for the year 2003 and subsequent years.

OR BOOK 1816 PAGE 1732

EXHIBIT "A"

LEGAL DESCRIPTION

A Parcel of land lying and being in Section 24, Township 35 South, Range 39 East, as recorded in Official Records Book 780, Page 1554 of the Public Records of St. Lucie County, Florida more particularly described as follows:

Begin at the Southeast corner of the Southwest 1/4 of said Section 24; thence run North 00° 05' 12" West along the East line of the Southwest 1/4 of said Section 24 for a distance of 879.50 feet; thence North 88° 56' 21" West for a distance of 273.73 feet; thence South 00° 12' 28" East for a distance of 64.74 feet; thence South 49° 13' 32" West for a distance of 16.63 feet; thence South 00° 05' 12" East for a distance of 135.00 feet; thence South 89° 54' 18" West for a distance of 377.00 feet; thence South 00° 05' 42" East for a distance of 660.33 feet to a point on the South line of the Southwest 1/4 of said Section 24; thence South 88° 52' 33" East along said South line for a distance of 661.60 feet (663.20 feet measured) to the Point of Beginning.

April 30, 2019

VIA E-MAIL

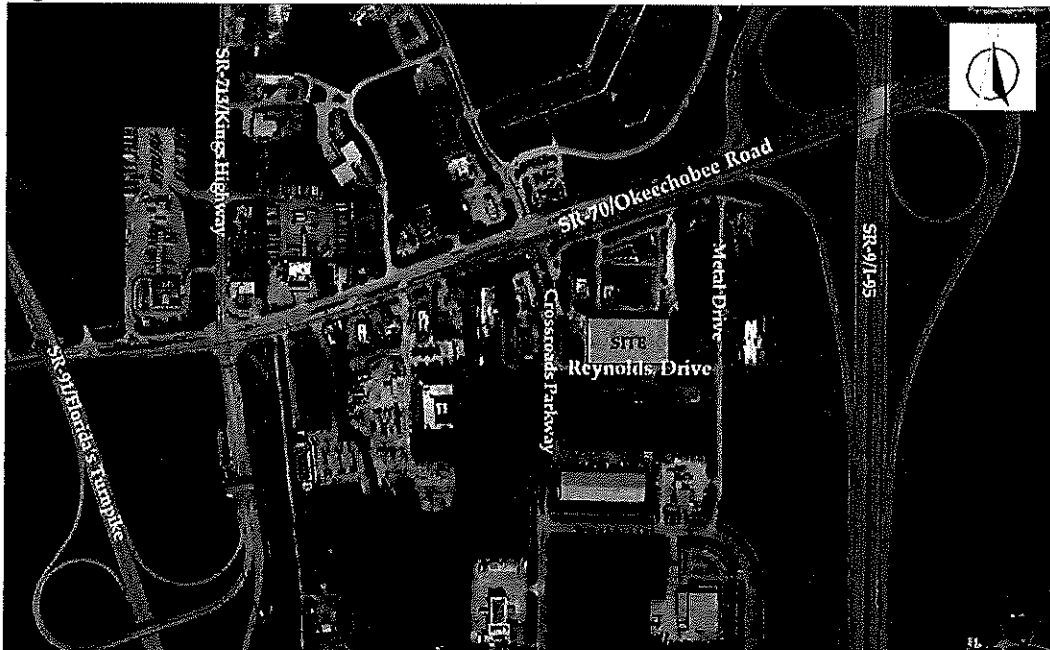
Dan Patel
DP Hotels, LLC
1500 SE 5th Ave
Dania Beach, FL 33312

RE: Home2 Suites Fort Pierce Traffic Analysis
McMahon Project No. N19276.01

Dear Mr. Patel:

McMahon Associates, Inc. (McMahon) has completed a traffic analysis associated with the development of a site located east of Crossroads Parkway and north of Reynolds Drive, in the City of Fort Pierce. The site is currently vacant land. The proposed development, with an anticipated buildout year of 2021, will include a 95-room hotel. **Figure 1** graphically depicts the site location. The proposed site plan is attached in Appendix A.

Figure 1 – Site Location



Trip Generation Analysis

Using trip generation information obtained from the Institute of Transportation Engineers (ITE), *Trip Generation Manual*, 10th Edition, trip generation estimates were developed for the proposed development. Excerpts from ITE are attached in **Appendix B**. Results of the analysis, summarized in **Table 1**, indicate that the proposed development is expected to generate 646 daily trips, 42 AM peak hour trips, and 45 PM peak hour trips.

Table 1 – Trip Generation Analysis

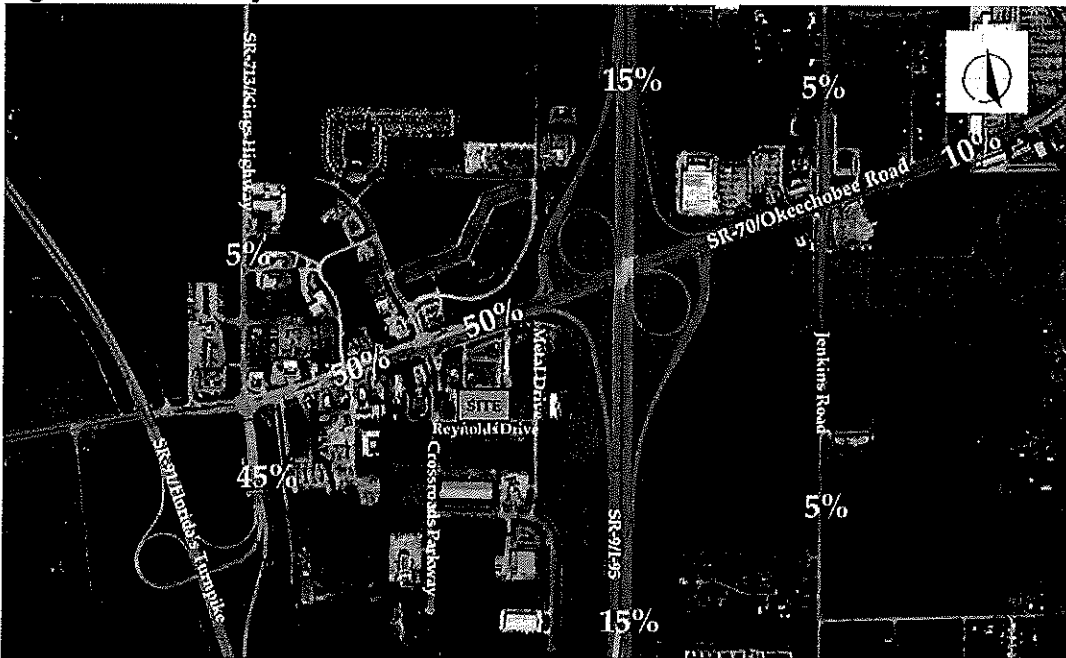
LAND USE	ITE CODE	INTENSITY	TRIP GENERATION RATE ⁽¹⁾	IN	OUT	TOTAL TRIPS		
						IN	OUT	TOTAL
Daily								
Hotel	310	95 ROOMS	T= 11.29 (X)- 426.97	50%	50%	323	323	646
AM Peak Hour								
Hotel	310	95 ROOMS	T= 0.50 (X)- 5.34	59%	41%	25	17	42
PM Peak Hour								
Hotel	310	95 ROOMS	T= 0.75 (X)- 26.02	51%	49%	23	22	45

(1) Source: Institute of Transportation Engineers' Trip Generation Manual, 10th Edition.

Project Distribution and Assignment

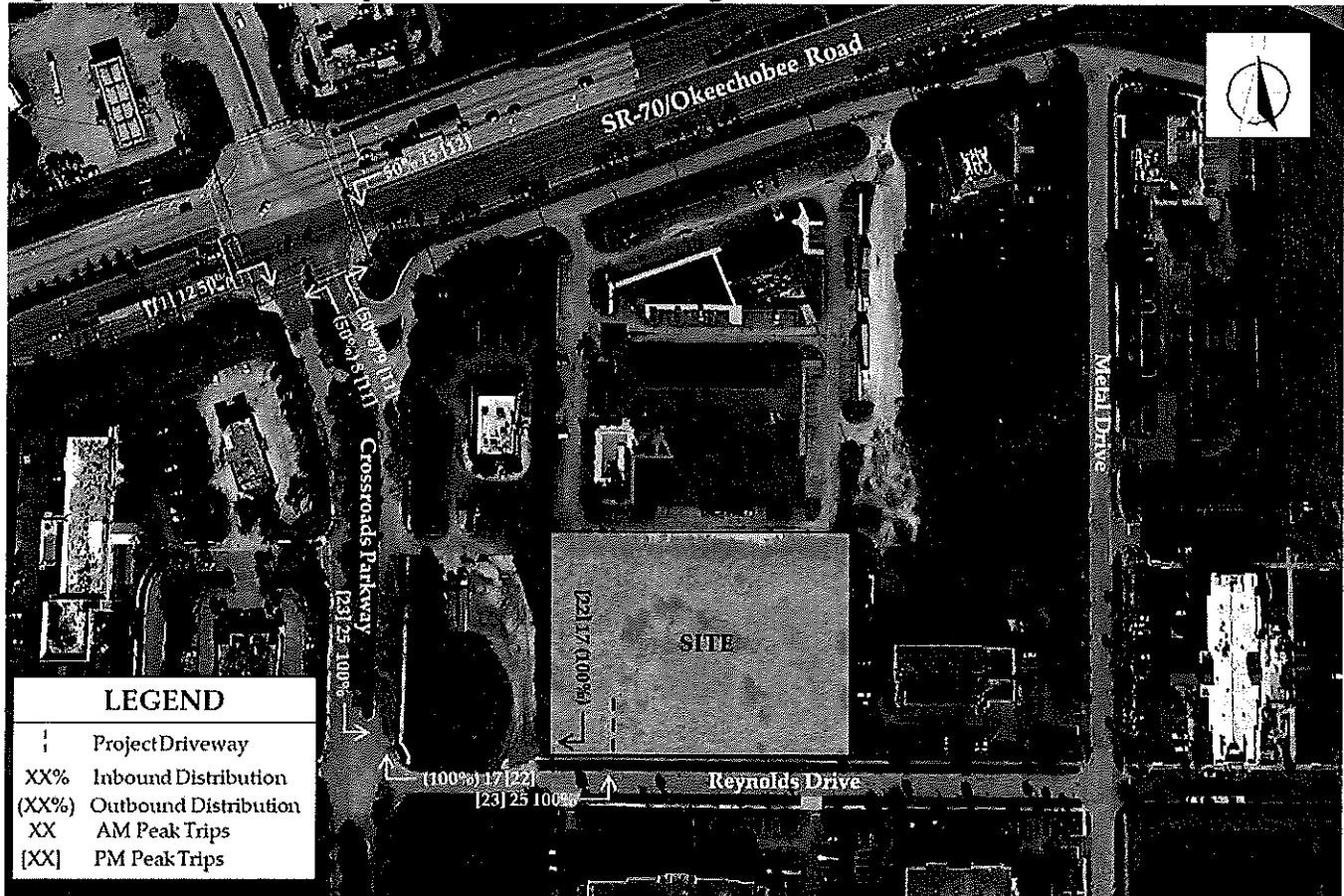
The assignment of trips onto the surrounding roadway network was based on a review of travel volumes and characteristics for the roadways located near the project site. SR-9/I-95 is located just east of the project site, and SR-91/Florida's Turnpike is located just west of the project site. Per the City Code Section 22-217, the proposed development is a Minimal Scale and has a 1.0-mile radius of impact based on Table A. The link project distribution is graphically depicted on **Figure 2**.

Figure 2 – Link Project Distribution



The project distribution and assignment for the intersections surrounding the project site are graphically shown on Figure 3.

Figure 3 – Intersection Project Distribution and Assignment



Roadway Link Capacity Analysis

Roadway capacity analysis was performed for the roadway segments within the 1.0-mile radius of impact. Roadway, Location, Station ID, Peak Hour, Peak Direction Service Capacity and 2017 Peak Hour, Peak Direction Volume for AM and PM peak hours were based on the St. Lucie Transportation Planning Organization (TPO) *Traffic Counts and Level of Service Report Fall 2018*, excerpts of which are attached in **Appendix C**. Per City Code Section 22-217, a five-year horizon of Year 2024 was utilized for the analysis. The background growth rate of two (2) percent was based on a review of historical traffic counts obtained from FDOT for Stations 94-0106, 94-0748, and 94-0029, excerpts of which are included in **Appendix D**. The average of the 5-year growth (minimum 0.5 percent) and the 10-year growth was used for the analysis. The AM and PM project trips were based on the highest peak direction for each peak hour.

Results of the analysis, summarized in **Table 2**, indicate that all roadway segments are expected to operate at an acceptable level of service. Given the minor increase in trips from the proposed development, the project is not expected to have a significant impact on the adjacent roadway network.

Table 2 – Roadway Capacity Analysis Summary

AM PEAK HOUR

ROADWAY	LOCATION	STATION ID	PEAK HOUR, PEAK DIR SERVICE CAPACITY	2017 PEAK HOUR, PEAK DIR VOLUME	BACKGROUND (2024) CONDITIONS		TOTAL (2024) CONDITIONS				
					CGR%	BACK VOLUME	DIST %	PEAK DIR PROJECT TRIPS	TOTAL VOLUME	V/C	ACCEPTABLE LOS?
Okeechobee Road	Kings Highway to Crossroads Parkway	940748	4,170	1,090	2.00%	1,252	50%	12	1,264	0.30	YES
	Crossroads Parkway to I-95	940106	4,170	1,137	2.00%	1,306	50%	13	1,319	0.32	YES
	I-95 to Jenkins Road	940029	4,240	1,810	2.00%	2,079	20%	5	2,084	0.49	YES
	Jenkins Road to McNeil Road	940029	4,040	1,810	2.00%	2,079	10%	2	2,082	0.52	YES
Kings Highway	Okeechobee Road to Crossroads Parkway	940757	830	453	2.00%	520	5%	1	522	0.63	YES
	Crossroads Parkway to Graham Road	940757	660	453	2.00%	520	5%	1	522	0.79	YES
Jenkins Road	Edwards Road to Okeechobee Road	133	880	529	2.00%	608	5%	1	609	0.69	YES
	Okeechobee Road to Graham Road	131	920	604	2.00%	694	5%	1	695	0.76	YES

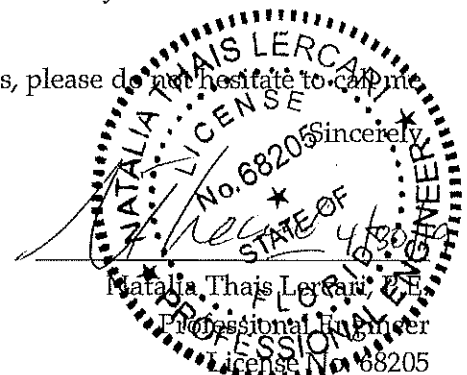
PM PEAK HOUR

ROADWAY	LOCATION	STATION ID	PEAK HOUR, PEAK DIR SERVICE CAPACITY	2017 PEAK HOUR, PEAK DIR VOLUME	BACKGROUND (2024) CONDITIONS		TOTAL (2024) CONDITIONS				
					CGR%	BACK VOLUME	DIST %	PEAK DIR PROJECT TRIPS	TOTAL VOLUME	V/C	ACCEPTABLE LOS?
Okeechobee Road	Kings Highway to Crossroads Parkway	940748	4,170	1,102	2.00%	1,266	50%	11	1,277	0.31	YES
	Crossroads Parkway to I-95	940106	4,170	1,164	2.00%	1,337	50%	12	1,350	0.32	YES
	I-95 to Jenkins Road	940029	4,240	1,542	2.00%	1,771	20%	5	1,776	0.42	YES
	Jenkins Road to McNeil Road	940029	4,040	1,542	2.00%	1,771	10%	2	1,774	0.44	YES
Kings Highway	Okeechobee Road to Crossroads Parkway	940757	830	516	2.00%	593	5%	1	594	0.72	YES
	Crossroads Parkway to Graham Road	940757	660	516	2.00%	593	5%	1	594	0.90	YES
Jenkins Road	Edwards Road to Okeechobee Road	133	880	568	2.00%	652	5%	1	654	0.74	YES
	Okeechobee Road to Graham Road	131	920	606	2.00%	696	5%	1	697	0.76	YES

Conclusion

Given the low number of peak hour trips anticipated from the proposed Home2 Suites, the project will not have a significant impact on the adjacent roadway network. All roadway segments within the radius of impact are expected to operate at an acceptable level of service for the five-year horizon of Year 2024.

Should you have any questions or comments regarding these findings, please do not hesitate to call me.



Natalia Thais Lercari, P.E.
 Professional Engineer
 License No. 68205
 State of Florida, Board of Professional Engineers
 Certificate of Authorization No. 4908

NTL/cec - Attachment

APPENDIX A

SITE PLAN

Project Tabulations:

Jurisdiction: City of Fort Pierce, Florida
 1990 Reynolds Drive

Zoning: C3 (hotel is an approved use)
 Height limit: 65'

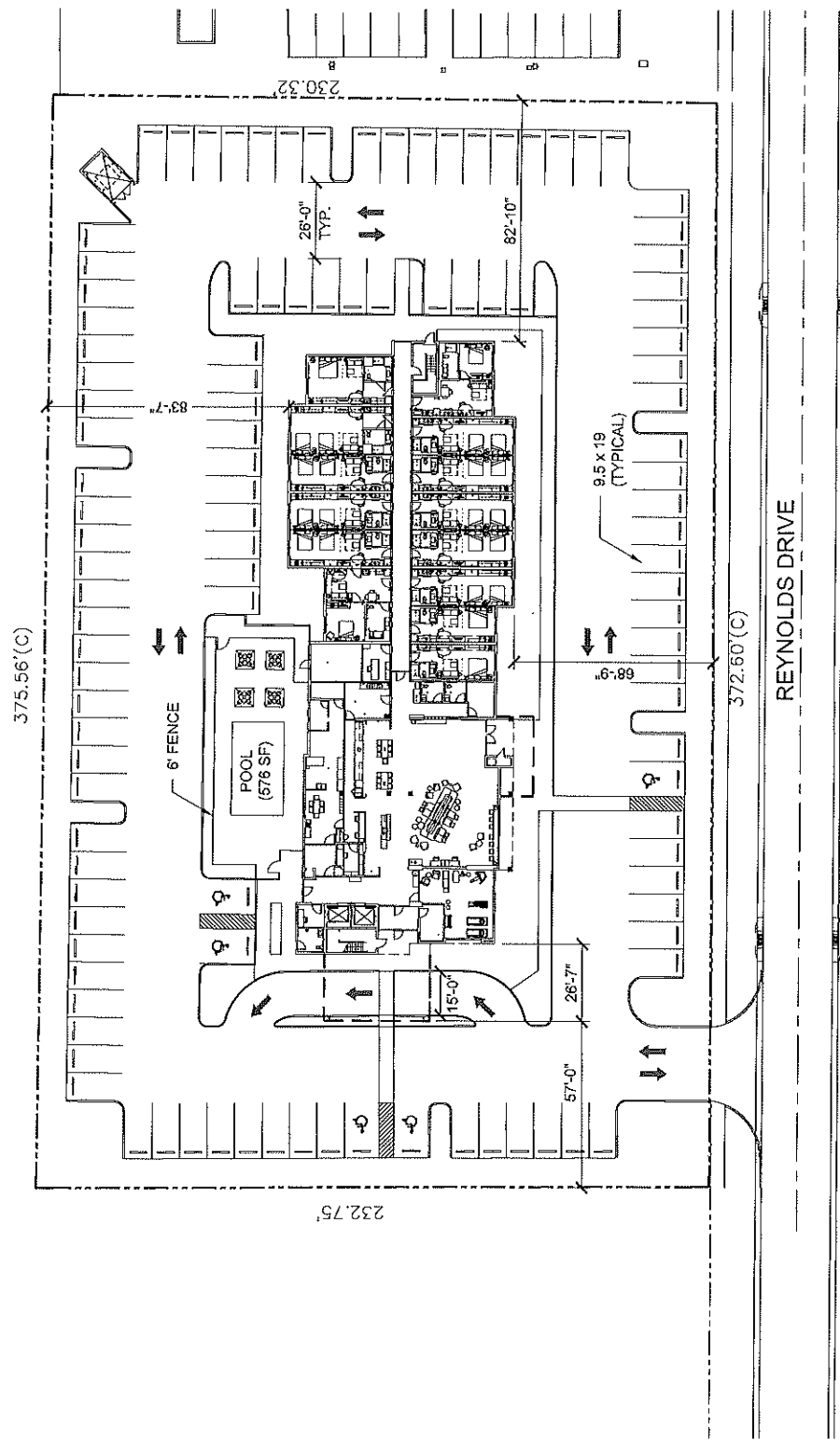
Setbacks: Street: 25'
 Balance: 15'

Site: Building: Footprint: 14,238 SF (17%)
 Maximum 60%

FAR: 55,668 SF (.64)
 1st FL: 14,238 SF
 2nd FL: 14,615 SF
 3rd FL: 14,615 SF
 4th FL: 14,615 SF
 Maximum: 1.0

Hotel: 4 stories (45' plus parapet)
 100 rooms: Q Suite: 9
 K Suite: 30
 QQ Room: 48
 1 BR: 8

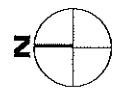
Parking: Required: 95 @ 1:1
 Provided: 111



SITE PLAN

HOME2 SUITES (95 ROOMS/4-STORY)

Fort Pierce, Florida
 April 04, 2019
 Project No. 18-09



Scale: 1"=40'-0"

APPENDIX B

TRIP GENERATION INFORMATION

Hotel (310)

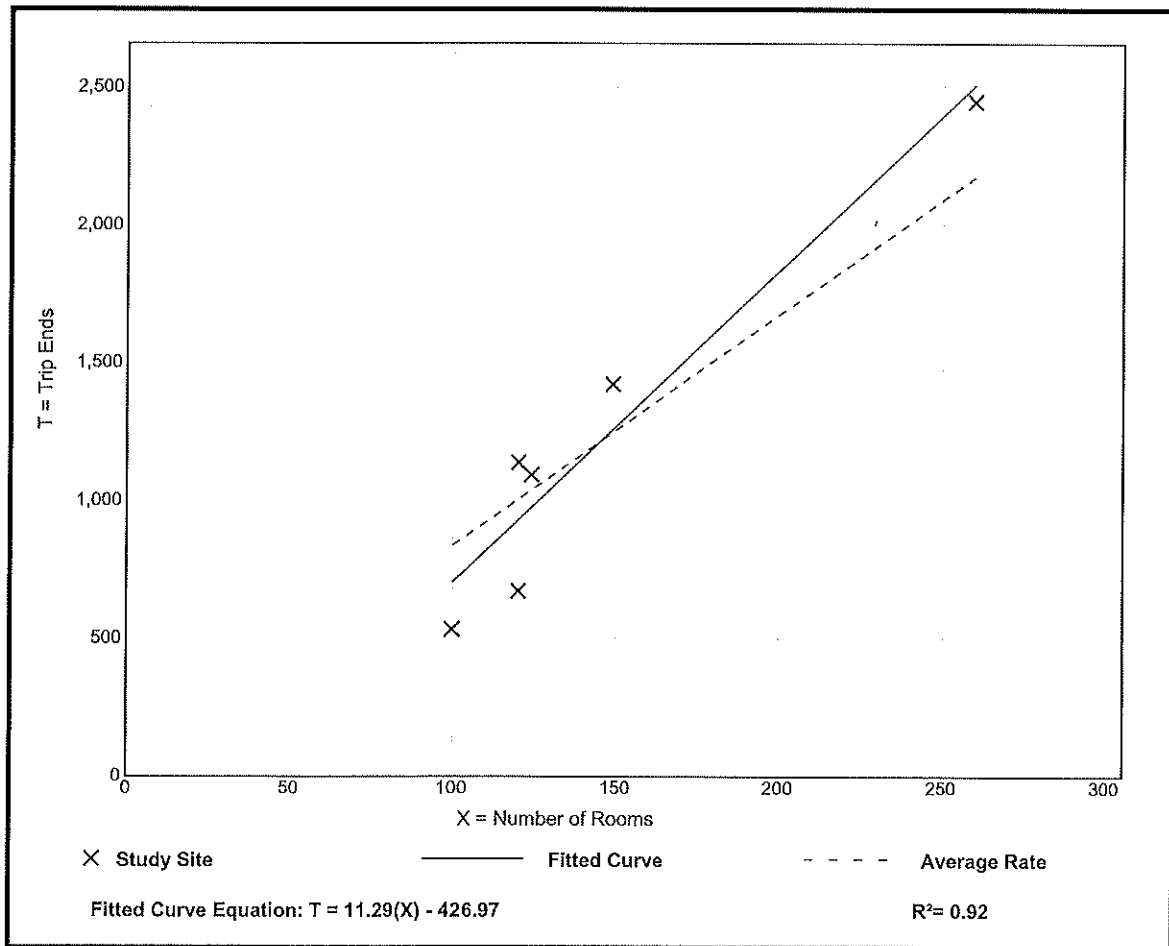
Vehicle Trip Ends vs: Rooms
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 6
Avg. Num. of Rooms: 146
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
8.36	5.31 - 9.53	1.86

Data Plot and Equation



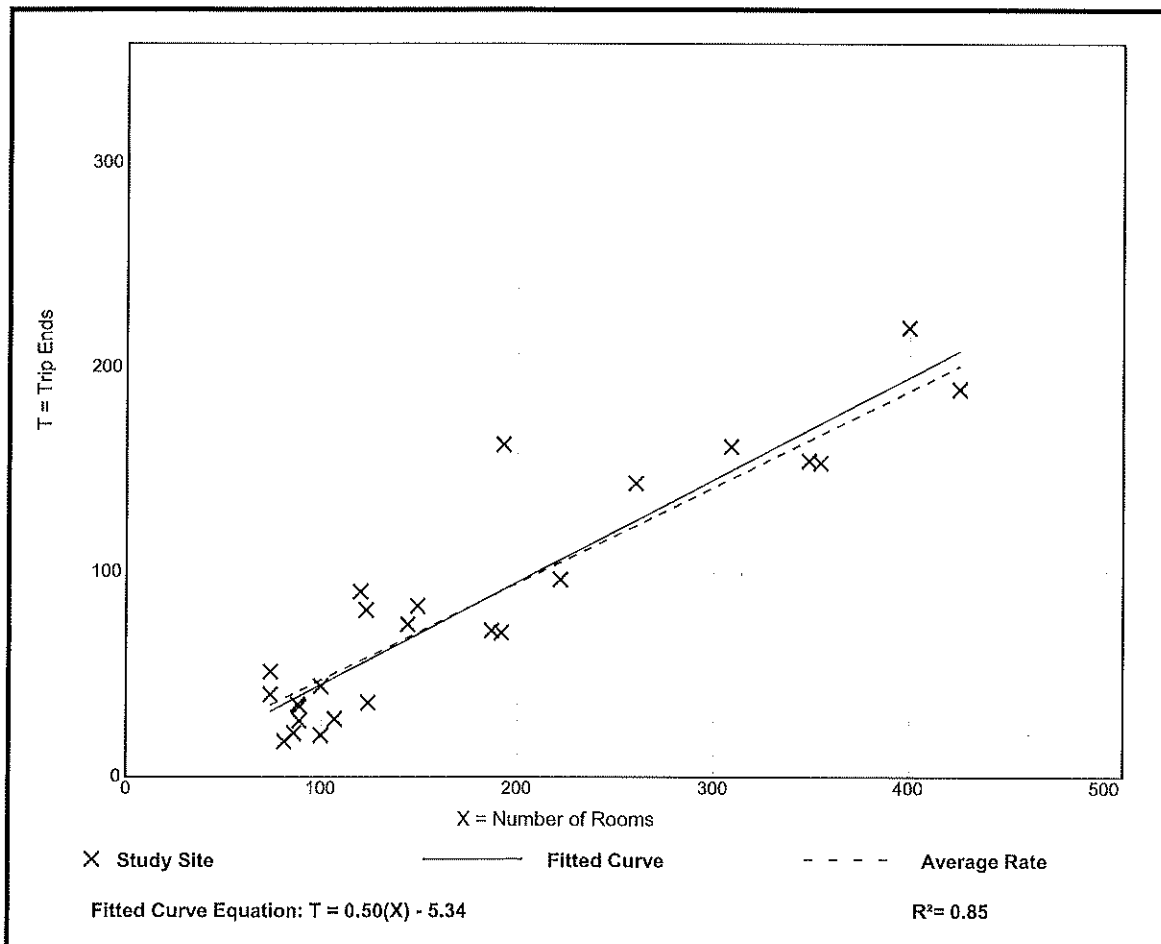
Hotel (310)

Vehicle Trip Ends vs: Rooms
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 25
 Avg. Num. of Rooms: 178
 Directional Distribution: 59% entering, 41% exiting

Vehicle Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
0.47	0.20 - 0.84	0.14

Data Plot and Equation



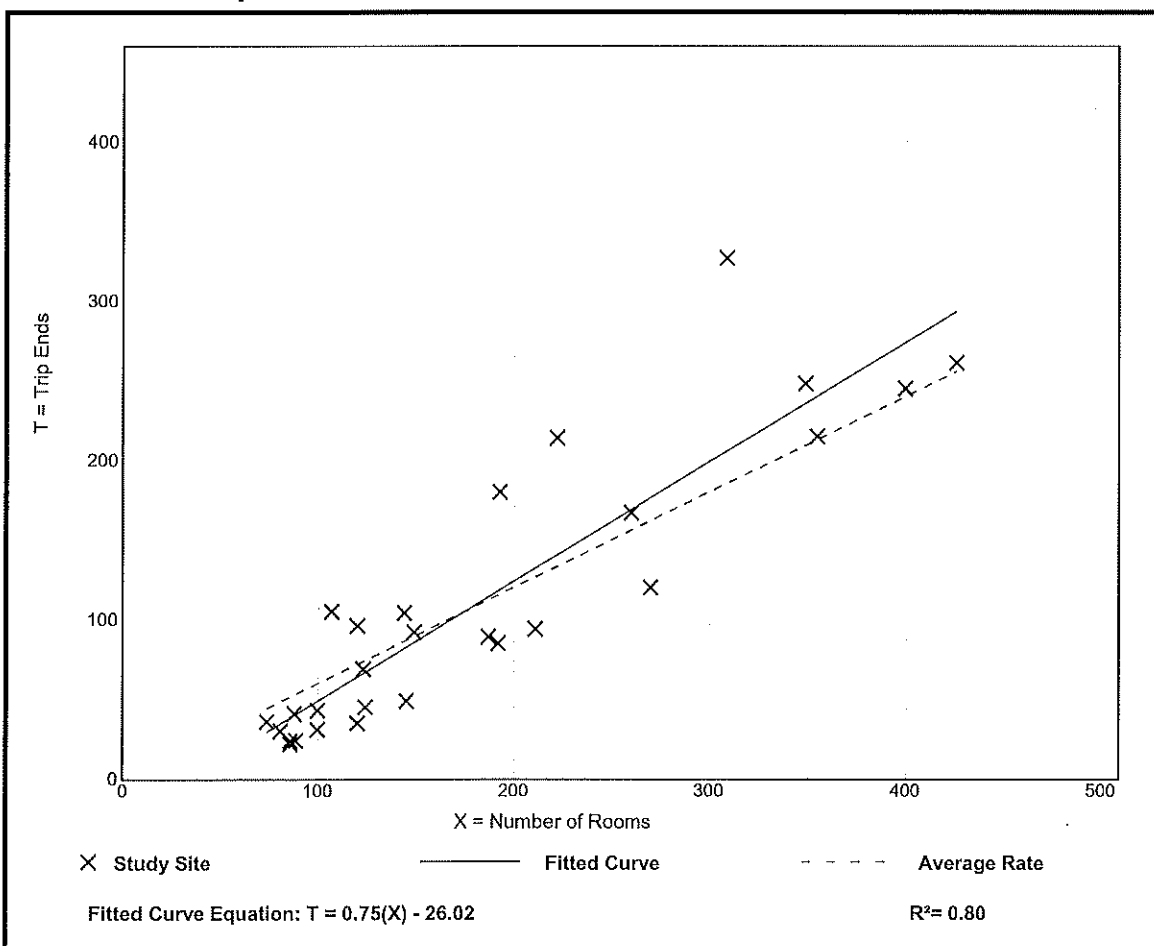
Hotel (310)

Vehicle Trip Ends vs: Rooms
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 28
 Avg. Num. of Rooms: 183
 Directional Distribution: 51% entering, 49% exiting

Vehicle Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
0.60	0.26 - 1.06	0.22

Data Plot and Equation



APPENDIX C

ST. LUCIE TPO TRAFFIC COUNTS

Traffic Counts and Level of Service Report Fall 2018

Roadway Name	Location	STATION ID	AADT	Last Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
INDRIO RD	SLASH PINE TRL to US 1	114	5,509	2016	920	356	C	0.409	341	C	0.392
INDRIO RD	US 1 to OLD DIXIE HWY	672	933	2016	750	65	C	0.176	88	C	0.238
JENNINGS RD	US 1 to LENNARD RD	673	4,567	2016	2,100	302	C	0.150	246	C	0.122
JENKINS RD	EDWARDS RD to OKEECHOBEE RD	133	10,500	2019	880	529	C	0.637	568	C	0.684
JENKINS RD	OKEECHOBEE RD to GRAHAM RD	131	10,120	2017	920	604	C	0.694	606	C	0.697
JENKINS RD	GRAHAM RD to PETERSON RD	131	10,120	2017	630	604	D	0.959	606	D	0.962
JENKINS RD	PETERSON RD to ORANGE AVE	131	10,120	2017	920	604	C	0.694	606	C	0.697
JOHNSTON RD	ANGLE RD to L20	674	2,500	2016	1,070	170	B	0.447	164	B	0.432
JOHNSTON RD	L20 to INDRIO RD	675	2,133	2017	1,070	135	B	0.355	132	B	0.347
JOHNSTON RD	INDRIO RD to INDIAN RIVER C.L	135	7,435	2016	1,070	449	C	0.591	449	C	0.591
JUANITA AVE	53RD ST to 25TH ST	122	2,688	2017	750	173	C	0.468	158	C	0.427
JUANITA AVE	25TH ST to US 1	120	3,415	2017	750	191	C	0.516	187	C	0.505
KEEN RD	ANGLE RD to ST LUCIE BLVD	129	3,100	2019	630	187	C	0.312	218	C	0.363
KINGS HWY	OKEECHOBEE RD to CROSSROADS PKWY	940757	12,800	2017	830	453	C	0.546	516	C	0.622
KINGS HWY	CROSSROADS PKWY to GRAHAM RD	940757	12,800	2017	660	453	C	0.686	516	C	0.782
KINGS HWY	GRAHAM RD to PICOS RD	940076	9,500	2017	660	341	C	0.517	428	C	0.648
KINGS HWY	PICOS RD to ORANGE AVE	940076	9,500	2017	830	341	C	0.411	428	C	0.516
KINGS HWY	ORANGE AVE to ANGLE RD	940077	18,400	2017	870	734	C	0.844	810	C	0.931
KINGS HWY	ANGLE RD to ST LUCIE BLVD	940751	12,900	2017	830	550	C	0.663	582	C	0.701
KINGS HWY	ST LUCIE BLVD to INDRIO RD	940006	15,300	2017	830	749	C	0.902	793	C	0.955
KITTERMAN RD	OLEANDER AVE to US 1	124	3,400	2018	750	223	C	0.603	203	C	0.549
KITTERMAN RD	US 1 to LENNARD EXT	678	2,267	2017	750	129	C	0.349	131	C	0.354
KIRBY LOOP RD	EDWARDS RD to 35TH ST	677	4,347	2016	630	287	C	0.478	352	C	0.587
LENNARD RD	US 1 to MELALEUCA BLVD	325	19,524	2017	1,710	1,128	D	0.660	1,082	D	0.633
LENNARD RD	MELALEUCA BLVD to JENNINGS RD	325	19,524	2017	1,630	1,128	D	0.692	1,082	D	0.664

* Note: A six digit number in the "STATION ID" column identifies segment counted by FDOT
 * Volumes shown were adjusted using FDOT Seasonal Factors
 * AADT = Annual Average Daily Traffic (volumes for both directions where applicable)
 * Counts with an ID format of 6 digits have data extracted from FDOT count stations. AADT was extracted from the FDOT AADT Report and peak hour data was extracted from the station synopsis report. Peak hour data is raw data from the report with no additional factors applied.

Traffic Counts and Level of Service Report Fall 2018

Roadway Name	Location	STATION ID	AADT	Last Count Year	PK Hr Service Capacity	AM PK Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
MORNINGSIDE BLVD	WESTMORELAND BLVD to PORT ST LUCIE BLVD	333	2,730	2017	920	164	C	0.189	157	C	0.180
MORNINGSIDE BLVD	PORT ST LUCIE BLVD to LYNNGATE DR	331	4,620	2016	880	314	C	0.378	301	C	0.363
NEBRASKA AVE	25TH ST to 13TH ST	684	3,800	2017	1,710	236	C	0.306	199	C	0.258
OAKRIDGE DR	MOUNTWELL ST to OAKLYN ST	621	7,217	2016	700	385	C	0.583	336	C	0.509
OHIO AVE	SUNRISE BLVD to COLONIAL RD	685	4,100	2017	540	243	C	0.900	237	C	0.878
OHIO AVE	COLONIAL RD to US 1	685	4,100	2017	750	243	C	0.657	237	C	0.641
OKEECHOBEE RD	OKEECHOBEE C.L. to BLUEFIELD RD	687	10,000	2019	1,010	485	B	0.480	486	B	0.481
OKEECHOBEE RD	BLUEFIELD RD to CARLTON RD	687	10,000	2019	1,270	485	B	0.382	486	B	0.383
OKEECHOBEE RD	CARLTON RD to SNEED RD	940039	6,800	2017	1,340	178	B	0.133	203	B	0.151
OKEECHOBEE RD	IDEAL HOLDING RD to HEADER CANAL RD	940039	6,800	2017	1,340	178	B	0.133	203	B	0.151
OKEECHOBEE RD	SNEED RD to IDEAL HOLDING RD	940039	6,800	2017	1,340	178	B	0.133	203	B	0.151
OKEECHOBEE RD	HEADER CANAL RD to MIDWAY RD	940039	6,800	2017	1,740	178	B	0.102	203	B	0.117
OKEECHOBEE RD	MIDWAY RD to SHINN RD	940039	6,800	2017	1,740	178	B	0.102	203	B	0.117
OKEECHOBEE RD	SHINN RD to MCCARTY RD	940195	5,451	2017	1,810	No Data	No Data	No Data	No Data	No Data	No Data
OKEECHOBEE RD	MCCARTY RD to FLORIDA'S TURNPIKE	940025	11,600	2017	1,810	417	B	0.230	502	B	0.277
OKEECHOBEE RD	FLORIDA'S TURNPIKE to KINGS HWY	940025	11,600	2017	2,010	417	C	0.207	502	C	0.250
OKEECHOBEE RD	KINGS HWY to CROSSROADS PKWY	940748	29,500	2017	4,170	1,090	C	0.261	1,102	C	0.264
OKEECHOBEE RD	CROSSROADS PKWY to I-95	940106	33,000	2017	4,170	1,137	C	0.273	1,164	C	0.279
OKEECHOBEE RD	I-95 to JENKINS RD	940029	34,500	2017	4,240	1,810	C	0.434	1,542	C	0.370
OKEECHOBEE RD	JENKINS RD to MCNEIL RD	940029	34,500	2017	4,040	1,810	C	0.456	1,542	C	0.388
OKEECHOBEE RD	MCNEIL RD to VIRGINIA AVE	940742	31,500	2017	3,170	1,365	C	0.442	1,551	C	0.502
OKEECHOBEE RD	VIRGINIA AVE to HARTMAN RD	688	11,500	2016	2,100	631	C	0.314	631	C	0.314
OKEECHOBEE RD	HARTMAN RD to 35TH ST	688	11,500	2016	1,630	631	C	0.864	631	C	0.864
OKEECHOBEE RD	35TH ST to 25TH ST	689	13,083	2016	1,630	724	C	0.992	727	C	0.996
OKEECHOBEE RD	25TH ST to GEORGIA AVE	690	12,083	2016	1,630	719	C	0.985	674	C	0.923

* Note: A six digit number in the "STATION ID" column identifies segment counted by FDOT
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 * AADT = Annual Average Daily Traffic (volumes for both directions where applicable)
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APPENDIX D

FDOT HISTORICAL AADT INFORMATION

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2018 HISTORICAL AADT REPORT

COUNTY: 94 - ST. LUCIE

SITE: 0106 - SR 70/OKEECHOBEE RD - W OF SR 9\I-95 (INCLUDE EB TO NB & SB I-95 RAMPS)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2018	27000 C	E 14000	W 13000	9.00	55.20	4.70
2017	33000 C	E 17000	W 16000	9.00	56.20	18.80
2016	30000 C	E 16500	W 13500	9.00	57.10	29.30
2015	25500 C	E 13000	W 12500	9.00	56.30	8.80
2014	23000 F	E 12000	W 11000	9.00	54.70	21.60
2013	23000 C	E 12000	W 11000	9.00	57.20	21.60
2012	17100 C	E 8400	W 8700	9.00	57.00	18.40
2011	20200 C	E 10500	W 9700	9.00	56.50	18.40
2010	25000 C	E 12500	W 12500	11.51	57.07	18.40
2009	16600 C	E 8400	W 8200	11.11	58.68	5.00
2008	34000 C	E 17500	W 16500	11.51	54.38	19.30
2007	33000 C	E 16500	W 16500	11.51	58.16	22.30
2006	30500 C	E 15500	W 15000	10.78	56.96	22.30
2005	31000 C	E 15500	W 15500	11.10	56.60	20.70
2004	28500 C	E 14000	W 14500	11.10	60.50	20.70
2003	27500 C	E 14000	W 13500	11.00	58.20	20.70

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2018 HISTORICAL AADT REPORT

COUNTY: 94 - ST. LUCIE

SITE: 0748 - SR 70/OKBECHEBEE RD - E OF SR 713/KINGS HWY (COUNTY 742)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2018	23500 C	E 13000	W 10500	9.00	55.20	21.70
2017	29500 C	E 15500	W 14000	9.00	56.20	21.20
2016	20500 C	E 11000	W 9500	9.00	57.10	19.60
2015	21100 C	E 11500	W 9600	9.00	56.30	18.60
2014	20400 C	E 9900	W 10500	9.00	54.70	17.60
2013	20000 C	E 11000	W 9000	9.00	57.20	18.30
2012	23000 F	E 10000	W 13000	9.00	57.00	17.40
2011	24000 C	E 10500	W 13500	9.00	56.50	17.40
2010	21500 C	E 11000	W 10500	11.51	57.07	21.50
2009	25000 C	E 13000	W 12000	11.11	58.68	24.10
2008	25000 C	E 13500	W 11500	11.51	54.38	22.90
2007	24000 C	E 12500	W 11500	11.51	58.16	27.10
2006	26500 C	E 13500	W 13000	10.78	56.96	22.30
2005	29000 C	E 15000	W 14000	11.10	56.60	17.90
2004	25500 C	E 12500	W 13000	11.10	60.50	17.90
2003	26000 C	E 13500	W 12500	11.00	58.20	17.90

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

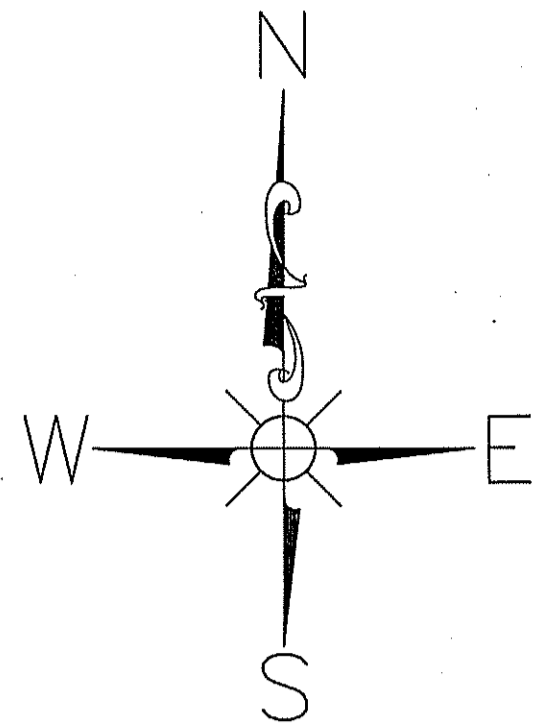
FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2018 HISTORICAL AADT REPORT

COUNTY: 94 - ST. LUCIE

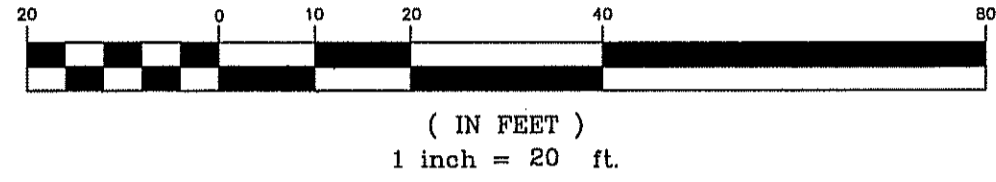
SITE: 0029 - SR 70 / OKEECHOBEE RD - E OF SR 9/I-95 (COUNTY 29)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR	
2018	31000	C	E 15000	W 16000	9.00	51.30	4.70
2017	34500	C	E 17500	W 17000	9.00	50.90	12.30
2016	28500	F	E 14000	W 14500	9.00	50.90	12.30
2015	28500	C	E 14000	W 14500	9.00	51.00	12.30
2014	25500	F	E 14000	W 11500	9.00	50.80	4.90
2013	25500	C	E 14000	W 11500	9.00	50.80	4.90
2012	28000	C	E 14000	W 14000	9.00	56.80	4.90
2011	30500	C	E 15500	W 15000	9.00	57.20	10.90
2010	30500	C	E 15500	W 15000	10.32	55.40	10.90
2009	26500	C	E 13000	W 13500	10.27	57.35	10.90
2008	29500	C	E 15500	W 14000	10.45	58.06	6.70
2007	33000	C	E 17000	W 16000	10.31	58.74	5.20
2006	31000	C	E 16000	W 15000	10.73	65.89	16.00
2005	26500	C	E 13500	W 13000	10.80	60.70	16.00
2004	28000	C	E 14000	W 14000	10.30	57.70	16.00
2003	27500	C	E 14000	W 13500	10.20	59.60	4.90

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES



GRAPHIC SCALE



LEGEND

- △ = CENTRAL ANGLE
- R = CURVE RADIUS
- L = CURVE LENGTH
- (C) = CALCULATED
- (P) = PLAT
- POC = POINT OF COMMENCEMENT
- POB = POINT OF BEGINNING
- FND = FOUND
- OST = OPEN SPACE TRACT
- FFE = FINISH FLOOR ELEVATION
- FPL = FLORIDA POWER AND LIGHT
- OHU = OVERHEAD UTILITIES
- PKD = PK NAIL AND DISK
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- LB = LICENSED BUSINESS
- P.B. = PLAT BOOK
- TYP = TYPICAL
- R/W = RIGHT-OF-WAY
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PRIVATE UTILITY EASEMENT
- ⊙ = SANITARY MANHOLE
- HDCP = HANDICAP
- ALUM = ALUMINUM FRAME
- CBS = CONCRETE BLOCK STRUCTURE
- SF = SQUARE FEET
- ⊕ = HANDICAP PARKING SPACE
- ⊗ = IRRIGATION CONTROL VALVE
- ⊙ = SANITARY CLEAN OUT
- ⊙ = ELECTRIC MANHOLE
- TELE = APPROXIMATE LOCATION UNDERGROUND TELECOMMUNICATIONS
- ⊙ = EXISTING HARDWOOD TREE (W/ SIZE IN INCHES)
- ⊙ = EXISTING PALM TREE (W/ SIZE IN INCHES)
- ⊙ = ELECTRIC SERVICE BOX
- ⊙ = FOUND IRC LB 7056
- ⊙ = FLAG POLE
- ⊙ = LAMP POST
- ⊙ = BELL SOUTH SERVICE TOWER
- ⊙ = WOOD POWER POLE
- ⊙ = GUY WIRE
- CONC = CONCRETE
- L.M.E. = LAKE MANAGEMENT EASEMENT
- D.U.E. = DRAINAGE AND UTILITY EASEMENT
- ⊙ = FIRE HYDRANT
- TOB = TOP OF BANK
- ORB = OFFICIAL RECORD BOOK
- PG = PAGE
- T-X = ELECTRIC TRANSFORMER
- AC = ACRES
- ⊙ = BACKFLOW PREVENTER
- x- = 6" WOOD FENCE
- o- = 5" ALUMINUM FENCE
- d- = 3" PVC PICKET FENCE
- ⊙ = CORRUGATED METAL PIPE
- IR = #5 IRON ROD
- IRC = #5 IRON ROD AND CAP
- ⊙ = CATCH BASIN
- ⊙ = DRAINAGE MANHOLE
- ⊙ = WATER VALVE
- ⊙ = GAS VALVE
- SAN- = APPROXIMATE LOCATION SANITARY SEWER

DESCRIPTION

A PARCEL OF LAND LYING IN SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 24; THENCE RUN NORTH 00°05'12" WEST ALONG SAID EAST LINE OF THE SOUTHWEST 1/4 OF SECTION 24 FOR A DISTANCE OF 441.21 FEET TO THE NORTH RIGHT-OF-WAY LINE OF REYNOLDS DRIVE; THENCE NORTH 89°49'22" WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE OF REYNOLDS DRIVE, A DISTANCE OF 291.14 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL: THENCE CONTINUE NORTH 89°49'22" WEST, A DISTANCE OF 372.60 FEET; THENCE NORTH 00°05'12" WEST, A DISTANCE OF 232.75 FEET; THENCE NORTH 89°54'18" EAST, A DISTANCE OF 375.56 FEET; THENCE SOUTH 00°05'12" EAST, A DISTANCE OF 230.32 FEET TO THE POINT OF BEGINNING.

SAID LAND CONTAINS 1.99 ACRES, MORE OR LESS

SURVEY NOTES

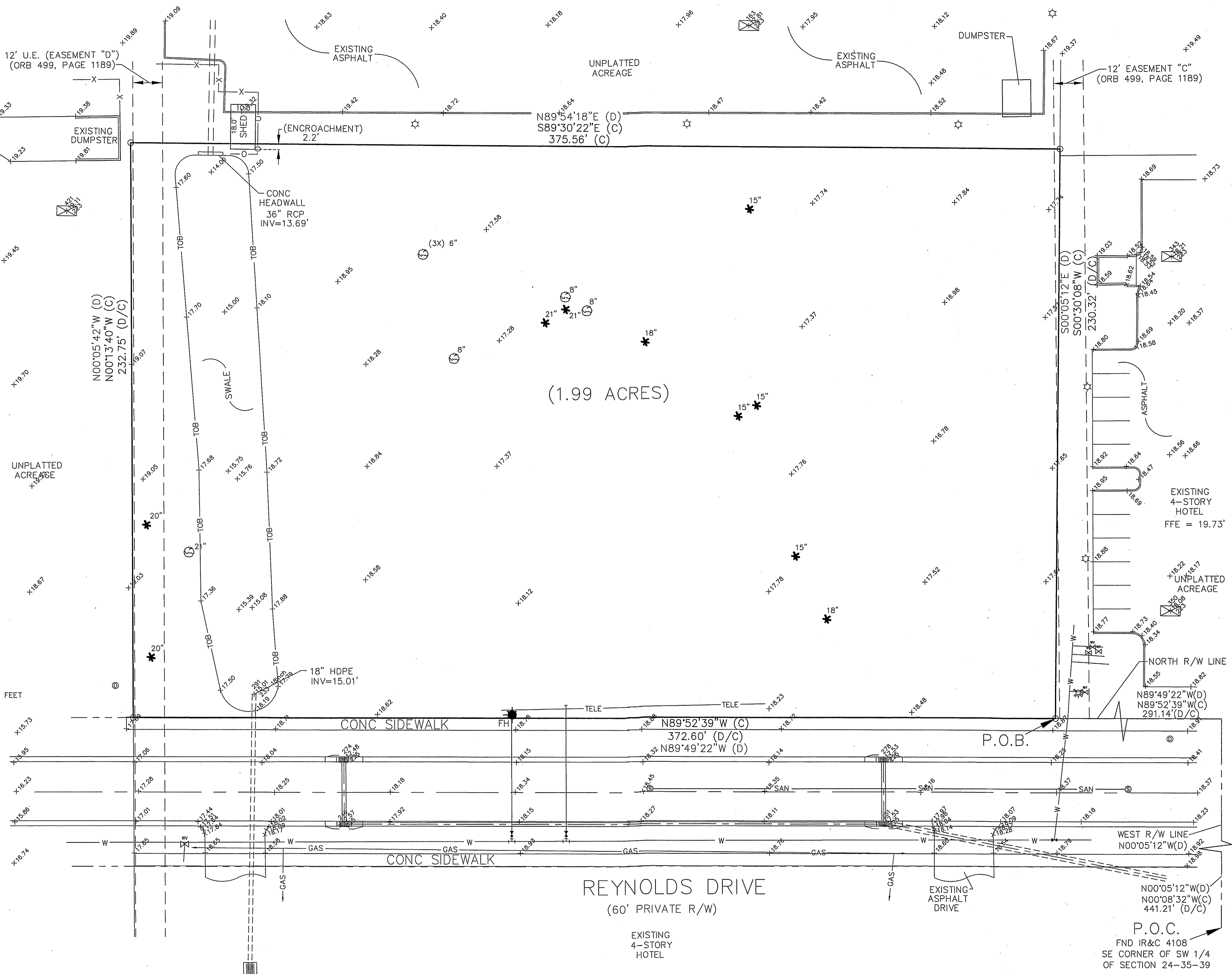
1. THIS SURVEY IS NOT VALID WITHOUT A SIGNATURE AND ORIGINAL EMBOSSED SEAL OF A FLORIDA PROFESSIONAL LAND SURVEYOR.
2. DESCRIPTION PROVIDED BY CLIENT AND/OR THEIR AGENT.
3. THE LAST DATE OF FIELD WORK WAS MAY 9, 2019 (TREES/SKETCH).
4. BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF METAL DRIVE BEARING NORTH 00°05'12" WEST, AS MONUMENTED. ALL BEARINGS ARE RELATIVE THERETO.
5. CHICAGO TITLE INSURANCE COMPANY COMMITMENT 7441471, DATED 01/14/2019 WAS REVIEWED AND INCORPORATED INTO THIS SURVEY. THE ONLY EXCEPTIONS PERTAINING TO THE SUBJECT PROPERTY, AND THAT IS SURVEY-RELATED, FROM SCHEDULE B-II WAS ITEM 8, WHICH IS REFLECTED AND REFERENCED ON THIS SURVEY.
6. PROPERTY LIES IN FLOOD ZONE X, PER MAP 12111C0170 F.
7. UNDERGROUND IMPROVEMENTS AND FOUNDATIONS WERE NOT LOCATED AS PART OF THIS SURVEY.
8. THE SUBJECT PROPERTY IS CURRENTLY VACANT.
9. ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.

CERTIFIED TO:

FORT PIERCE HOTEL, LLC

BY: RICHARD C. LAVENTURE
FLORIDA PROFESSIONAL LAND SURVEYOR # 5209

DATE



BOUNDARY, TOPOGRAPHIC & TREE SURVEY
PREPARED FOR
FORT PIERCE HOTEL, LLC

- REVISIONS -		BY	DATE
ADD TREES		JOE M	5/09/19
ADD TOPO		JOE M	6/12/19

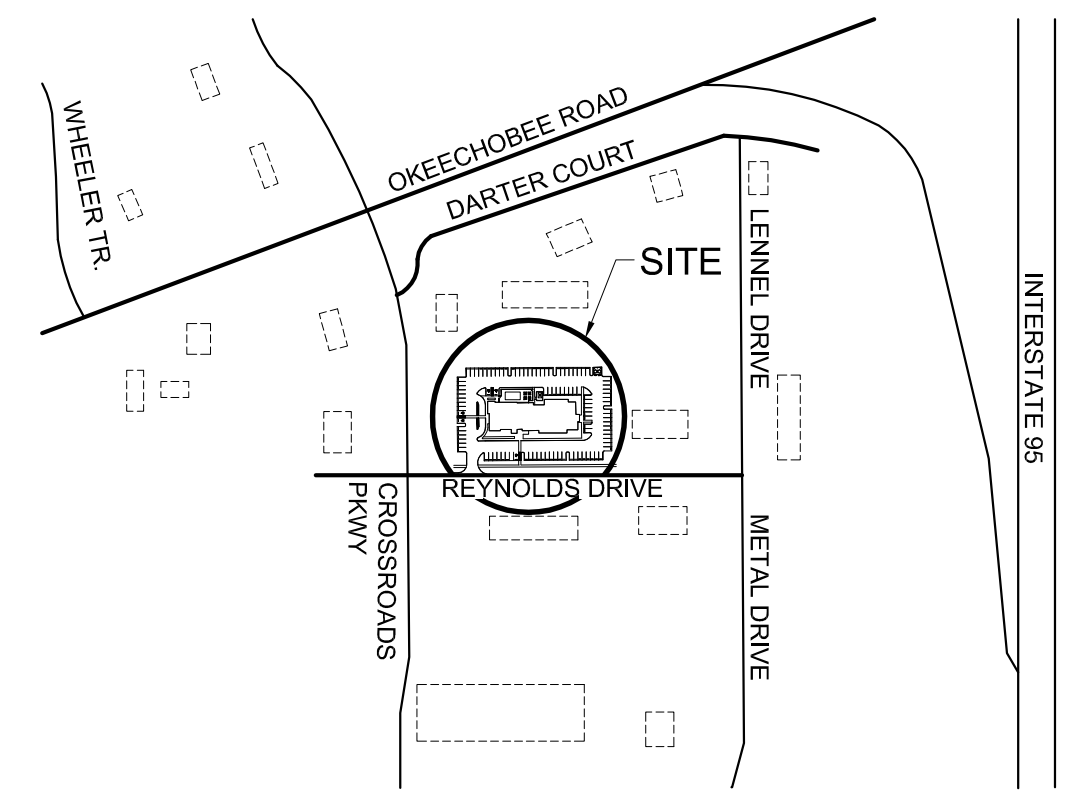
FILE REF.	FIELD BK/PG	BY	DATE
19.0530-1-3-2	XX-XX/XX	JPH	5/01/19
		RCL	4/30/19
		JOE M	4/30/19
		RCL	5/3/19

LAVENTURE & ASSOCIATES, INC.
PROFESSIONAL SURVEYING AND MAPPING
2552 PETERS ROAD SUITE D
FORT PIERCE, FLORIDA 34945
(772) 398-6430 Phone (772) 398-6426 Fax

DATE: 8-14-19
SCALE: 1"=20'
JOB No. 19.0530-1-3-2
SHEET 1 OF 1

A Site Plan Approval for: Home2 Suites by Hilton

1990 Reynolds Drive
Fort Pierce, FL 34945



LOCATION PLAN
NOT TO SCALE

anderson
architecture, inc.

399 CAMINO GARDENS BLVD.
SUITE 202
BOCA RATON, FLORIDA 33432
V: 561.362.0220
www.andersonarchitecture.com

consultant:

PROJECT TEAM:

ARCHITECTURE:
ANDERSON ARCHITECTURE, INC.

399 CAMINO GARDENS BLVD. SUITE 202
BOCA RATON, FLORIDA 33432
CONTACT: SUZANNE STUBBS
PHONE: 561.362.0220
E-MAIL: SUZANNE@ANDERSONARCHITECTURE.COM

CIVIL:
ATLANTIC CIVIL ENGINEERING, INC.

2552 PETERS ROAD, SUITE D
FORT PIERCE, FL 34945
CONTACT: RICHARD LAVENTURE
PHONE: 772.398.1520
E-MAIL: GATORRRR@MSN.COM

LANDSCAPE:
SUSAN HALL LANDSCAPE ARCHITECTURE, INC.

4425 CROOKED MILE ROAD
MERRITT ISLAND, FL 32952
CONTACT: MEGAN MAGWIRE
PHONE: 321.449.0790
E-MAIL: MEGAN@HALL-LA.COM

ELECTRICAL:
THOMPSON AND YOUNGROSS ENGINEERING CONSULTANTS

902 CLINT MOORE ROAD, STE 142
DELRAY BEACH, FLORIDA 33487
CONTACT: ARTUR AMARAL
PHONE: 561.274.0200
E-MAIL: ARTUR@TECFLA.COM

REQUIRED ACCESSIBLE ROOMS:

TOTAL ROOMS: 95

REQUIREMENTS FOR GUEST ROOMS WITH MOBILITY FEATURES:
(2017 FBC - ACCESSIBILITY TABLE 224.2)

MIN. REQ. W/ ROLL-IN SHOWERS: 1
MIN. REQ. W/OUT ROLL-IN SHOWERS: 4
TOTAL REQUIRED: 5
TOTAL PROVIDED: 5*

REQUIREMENTS FOR GUEST ROOMS WITH COMMUNICATION FEATURES:
(2017 FBC - ACCESSIBILITY TABLE 224.4)

MIN. REQ. W/ COMM. FEATURES: 9
PROVIDED: 9*

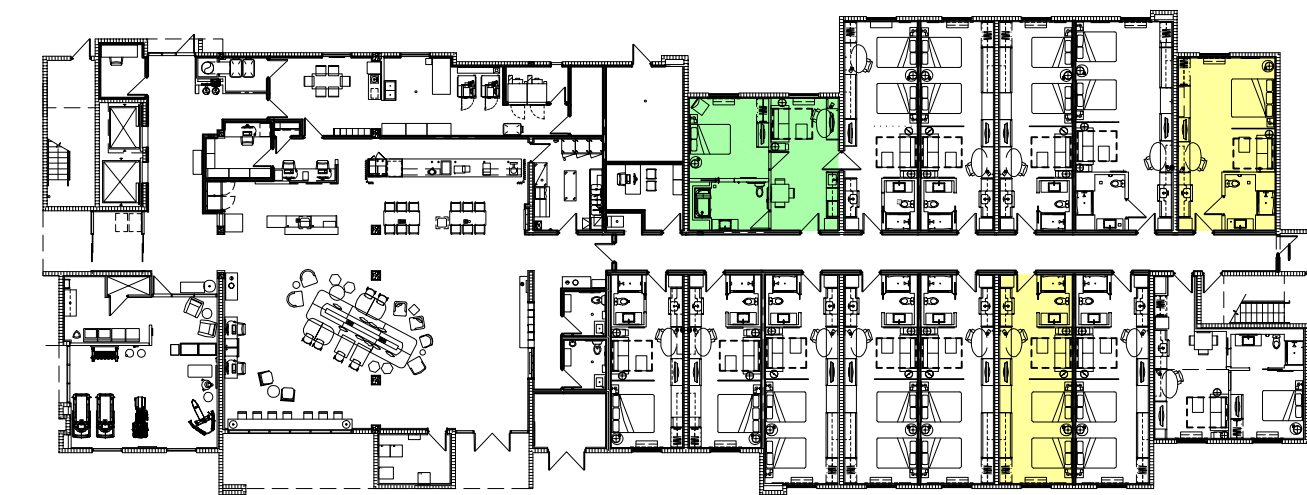
*2017 FBC - ACCESSIBILITY TABLE 224.5 STATES AT LEAST ONE GUEST ROOM REQUIRED TO PROVIDE MOBILITY FEATURES COMPLYING WITH 806.2 SHALL ALSO PROVIDE COMMUNICATION FEATURES COMPLYING WITH 806.3.

ADA ROOM TYPE DISPERSION DIAGRAM

- ADA MOBILITY ROOM (WITHOUT ROLL-IN SHOWER)(4 GUESTROOMS)
- ADA MOBILITY & COMMUNICATION ROOM WITH ROLL-IN SHOWER(1 GUESTROOM)
- COMMUNICATION ROOM(8 GUESTROOMS)

ROOM TYPE DISTRIBUTION												
	KING	ACCESSIBLE KING	ACCESSIBLE KING	DOUBLE QUEEN	ACCESSIBLE DOUBLE QUEEN	ACCESSIBLE DOUBLE QUEEN	QUEEN ONE BEDROOM	ACCESSIBLE QUEEN ONE BEDROOM	ACCESSIBLE QUEEN ONE BEDROOM	QUEEN	ACCESSIBLE QUEEN	TOTAL
		COMMUNICAT ION ROOM (FBC 224.4)	MOBILITY WITHOUT ROLL-IN SHOWER (FBC 224.2)		COMMUNICATIO N ROOM (FBC 224.4)	MOBILITY WITHOUT ROLL-IN SHOWER (FBC 224.2)		MOBILITY ROLL-IN SHOWER AND COMMUNICATION ROOM (FBC 224.2)	MOBILITY WITHOUT ROLL-IN SHOWER (FBC 224.2)		COMMUNICATI ON ROOM (FBC 224.4)	
FIRST FLOOR	2	1	0	8	1	0	1	1	0	0	0	14
SECOND FLOOR	9	0	0	11	1	1	2	0	0	2	1	27
THIRD FLOOR	8	0	1	12	1	0	1	0	1	2	1	27
FOURTH FLOOR	8	1	0	12	0	1	2	0	0	2	1	27
TOTALS	27	2	1	43	3	2	6	1	1	6	3	95

NOTES:



FIRST FLOOR PLAN

1/32"=1'-0"



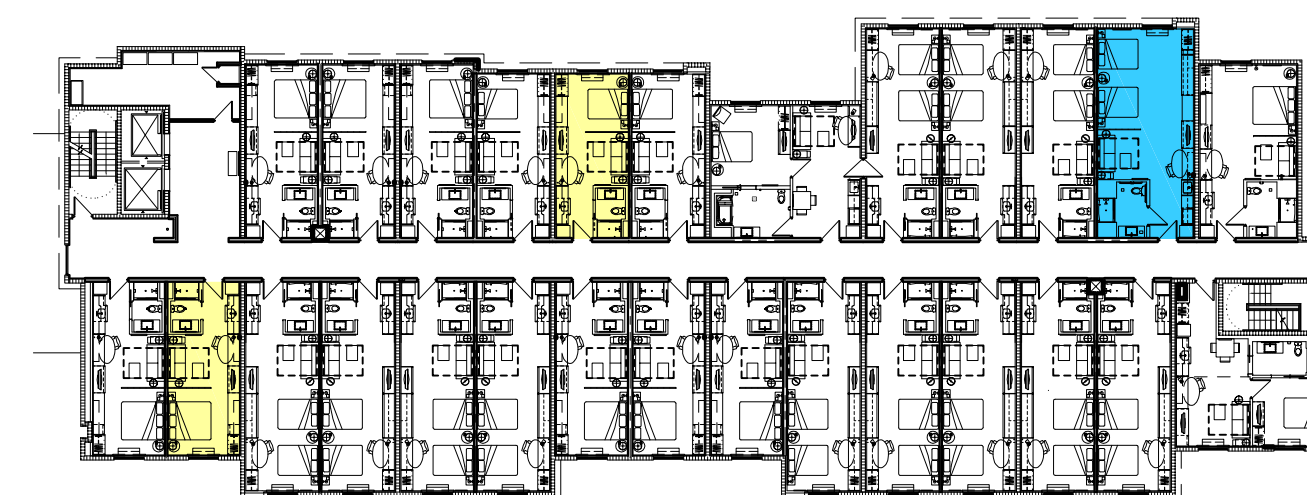
SECOND FLOOR PLAN

1/32"=1'-0"



THIRD FLOOR PLAN

1/32"=1'-0"



FOURTH FLOOR PLAN

1/32"=1'-0"

SHEET INDEX :

ARCHITECTURAL:

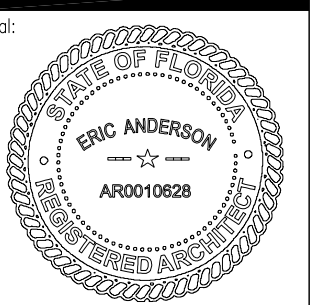
- CS COVER SHEET
- A010 SITE PLAN AND DETAILS
- A121 FIRST FLOOR PLAN
- A122 SECOND FLOOR PLAN
- A123 THIRD FLOOR PLAN
- A124 FOURTH FLOOR PLAN
- A141 ROOF PLAN
- A201 EXTERIOR ELEVATIONS
- A202 EXTERIOR ELEVATIONS

LANDSCAPE

- L-1 EXISTING VEGETATION PLAN
- L-2 SITE LANDSCAPE PLAN
- L-3 LANDSCAPE SPECIFICATIONS
- IR-1 SITE IRRIGATION PLAN
- IR-2 IRRIGATION SPECIFICATIONS

ELECTRICAL:

- ES-0.1 SITE PLAN SPECS AND DETAILS
- ES-1.1 SITE PLAN PHOTOMETRIC STATISTICS



A Site Plan Approval for:
Home2 Suites by Hilton
1990 Reynolds Drive
Fort Pierce, FL

revision:
date:
commission: 18-109
principal: ERIC ANDERSON
project manager: SS

file name: 8109-A-000-CS
date: 06-26-19
title: COVER SHEET

CS

of: 9 A

AA C001997

SITE DATA:

ZONING: GENERAL COMMERCIAL - C3

FAR: .67

BUILDING SETBACKS: EAST: 79'-7" (25'-0" REQUIRED)
SOUTH: 70'-11"
WEST: 80'-0"
NORTH: 81'-8"

PROPOSED HEIGHT OF STRUCTURE: TOP OF ROOF: 44 FT.
UPPER PARAPET: 50 FT.
TOP OF 'BEACON' STRUCTURE: 56 FT. 6 IN.

MAXIMUM PERMITTED HEIGHT: HEIGHT LIMITATION: 65 FT.

SITE TABULATIONS:

SITE AREA		
SITE BOUNDARY:	86,613 S.F.	1.98 ACRES
GROUND FLOOR AREA:		
	14,238 S.F.	16.4%
PARKING / PAVED AREA:		
PARKING DECK:	45,034 S.F.	
TOTAL SIDEWALK AREA:	1,528 S.F.	
	3,958 S.F.	
LANDSCAPED SPACE:		
	20,340 S.F.	23.5%

BUILDING AREAS (FOOTPRINT):

PROPOSED HOTEL:

FIRST FLOOR:	14,238 SF	14 ROOMS
SECOND FLOOR:	14,615 SF	27 ROOMS
THIRD FLOOR:	14,615 SF	27 ROOMS
FOURTH FLOOR:	14,615 SF	27 ROOMS
TOTAL	58,083 SF	95 ROOMS

PARKING CALCULATIONS:

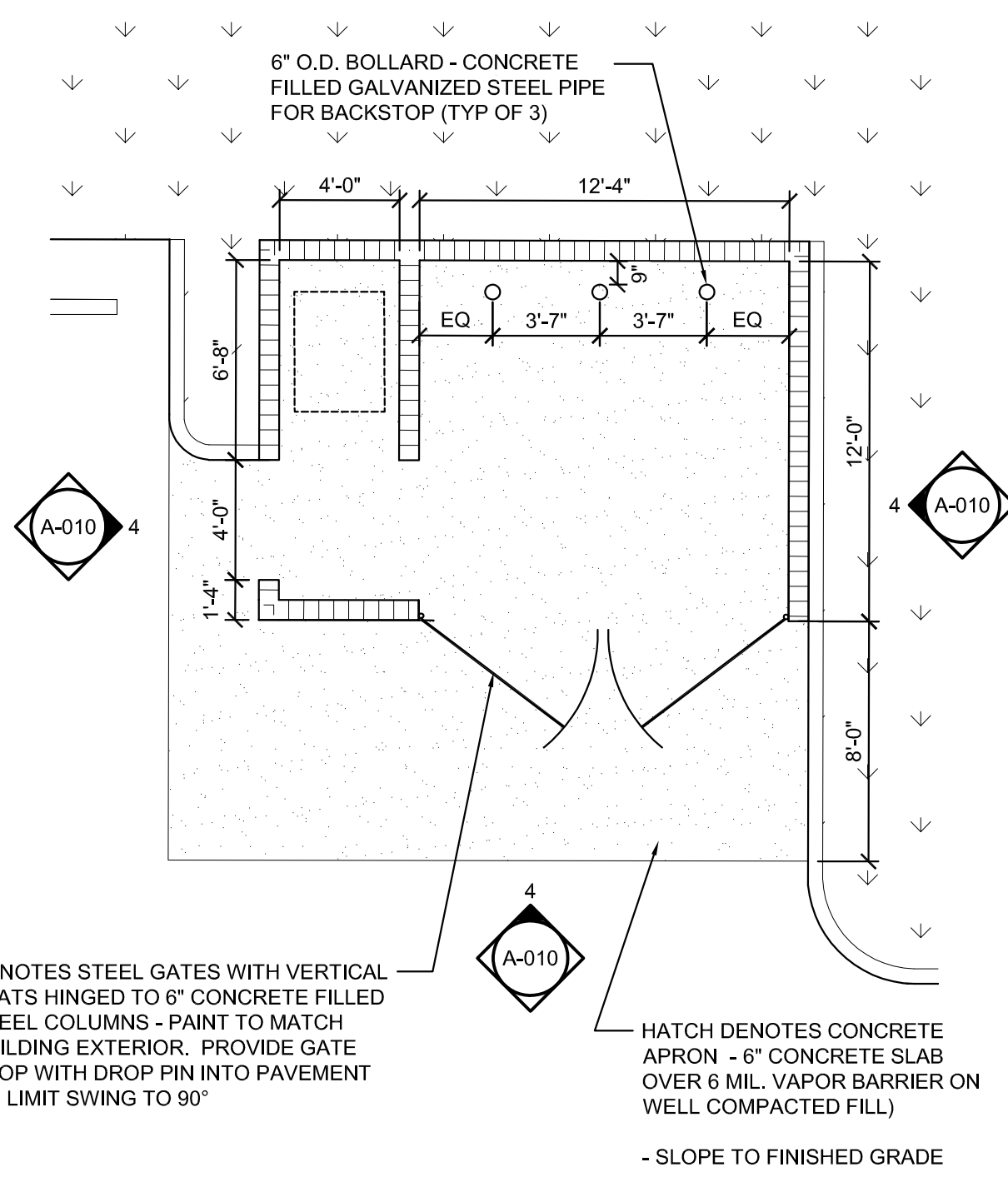
REQUIRED PARKING:
HOTELS/MOTELS (100%)

RATIO:	ROOMS:	NO. OF SPACES:
1.1 SPACES / RENTABLE ROOM	95	105 SPACES
TOTAL REQUIRED:		105 SPACES

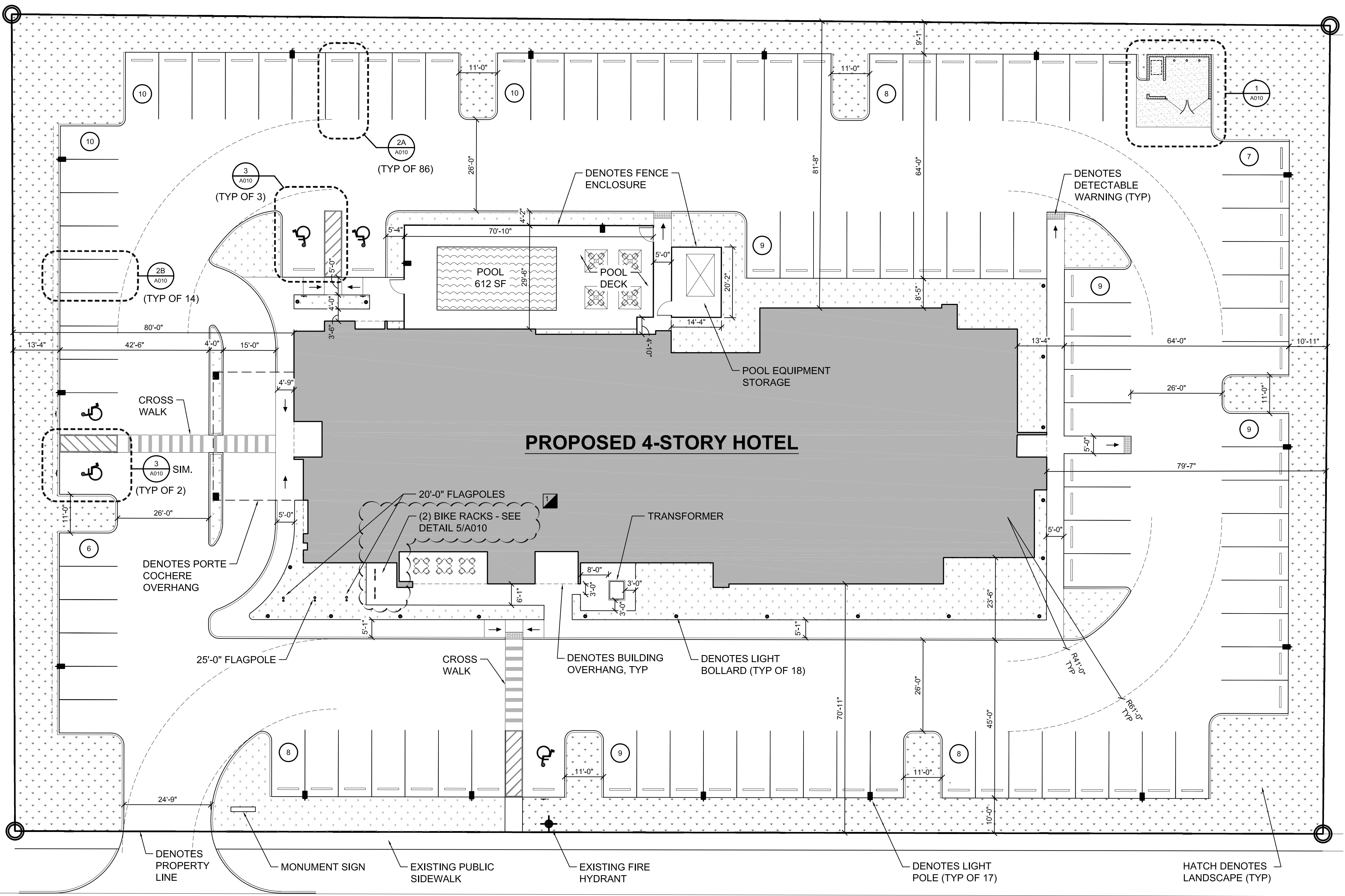
PROVIDED PARKING:

STANDARD SPACES:	ACCESSIBLE SPACES:	TOTAL PROVIDED:
100 SPACES	5 SPACES	105 SPACES

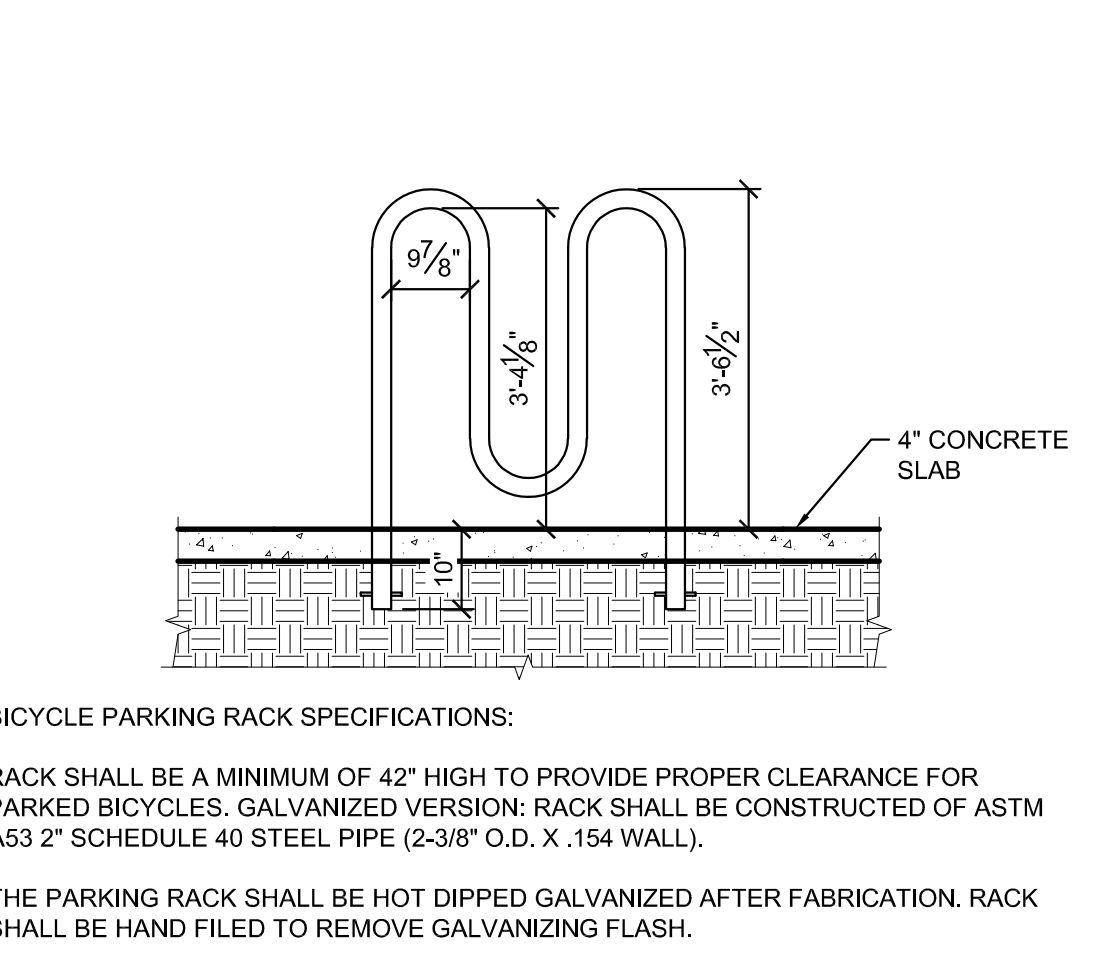
BICYCLE PARKING:
TOTAL REQUIRED: 1/10 OF TOTAL REQUIRED PARKING SPACES = 10.5
TOTAL PROVIDED: 12 BICYCLES



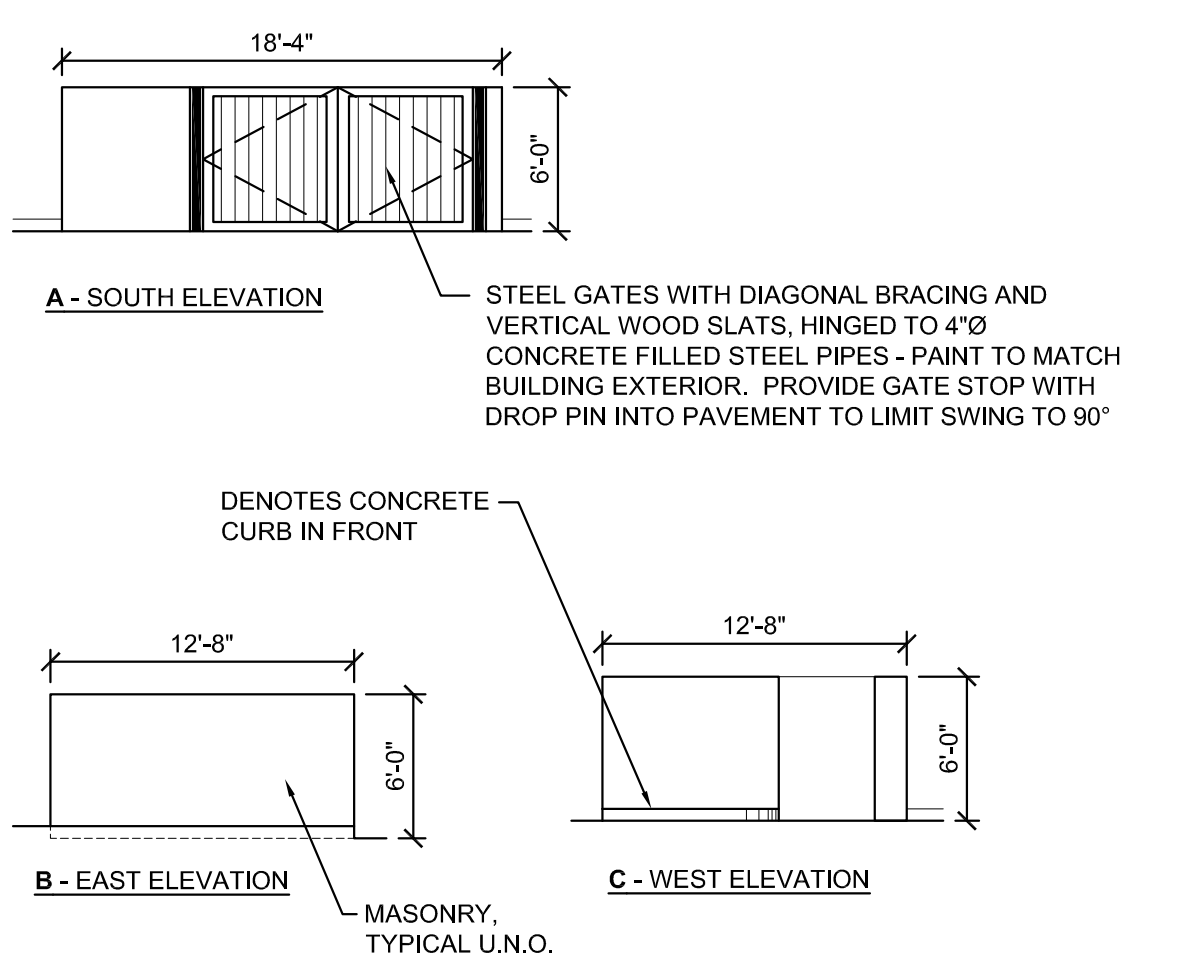
DUMPSTER STORAGE DETAIL
1
3/16" = 1'-0"



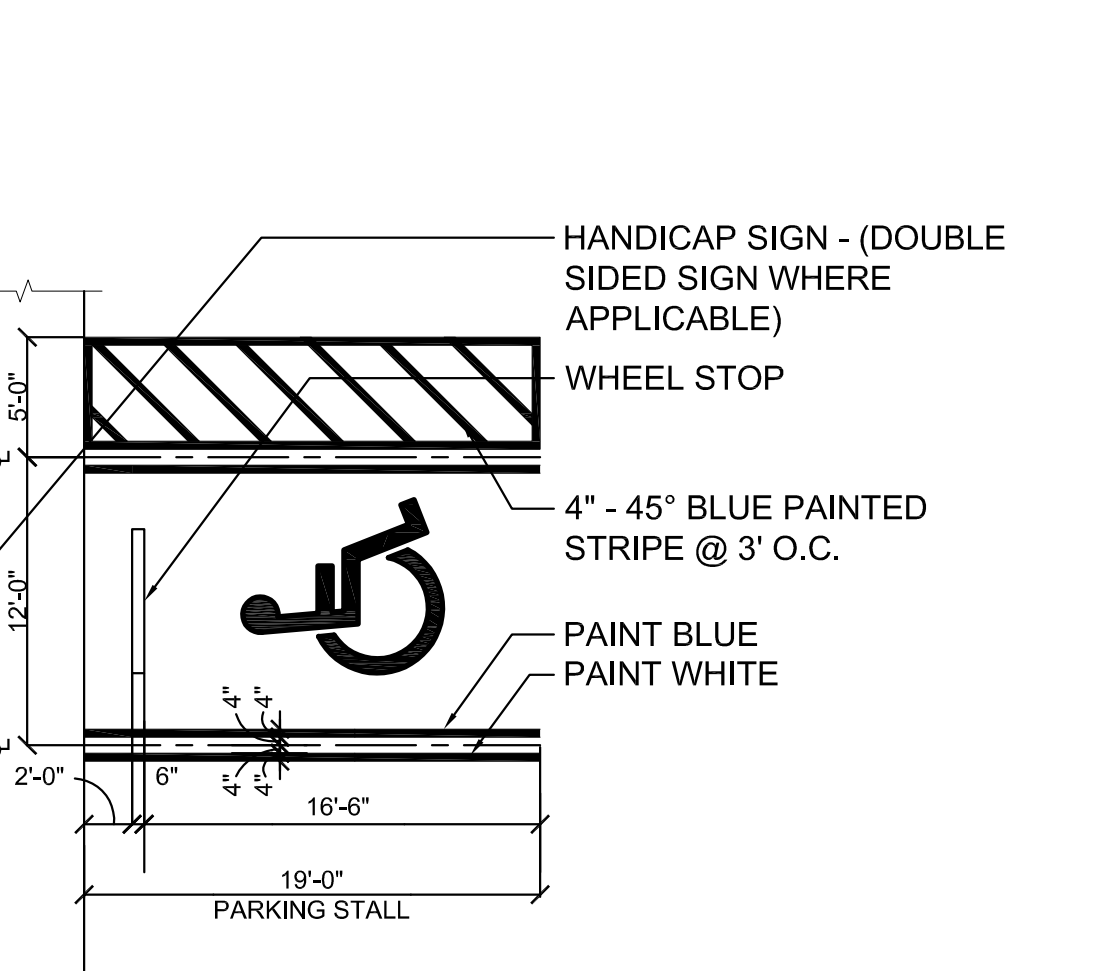
SITE PLAN
1/16" = 1'-0"



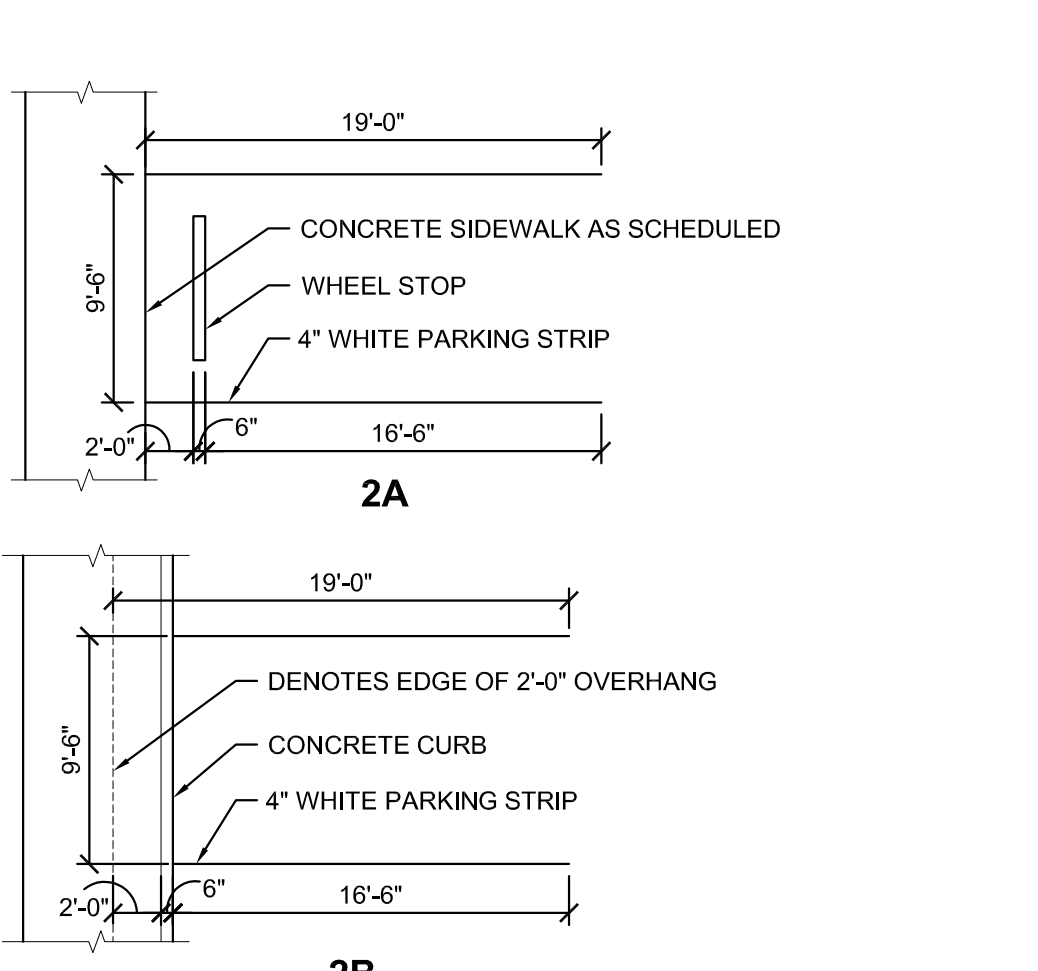
TYPICAL BIKE RACK FOR 6
5
1/2" = 1'-0"



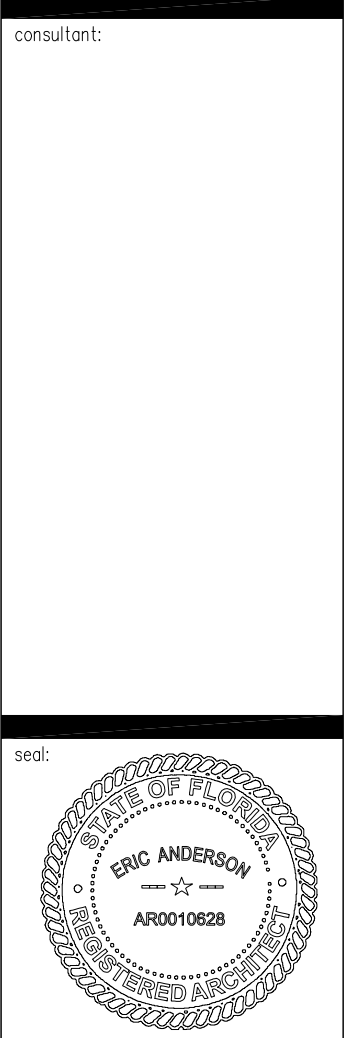
DUMPSTER ELEVATIONS
4
1/8" = 1'-0"



TYPICAL HANDICAP PARKING
3
1/8" = 1'-0"

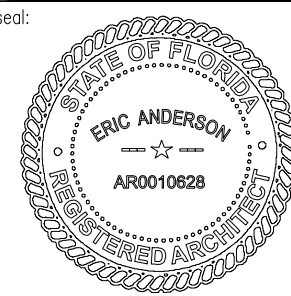


TYPICAL PARKING
2
1/8" = 1'-0"

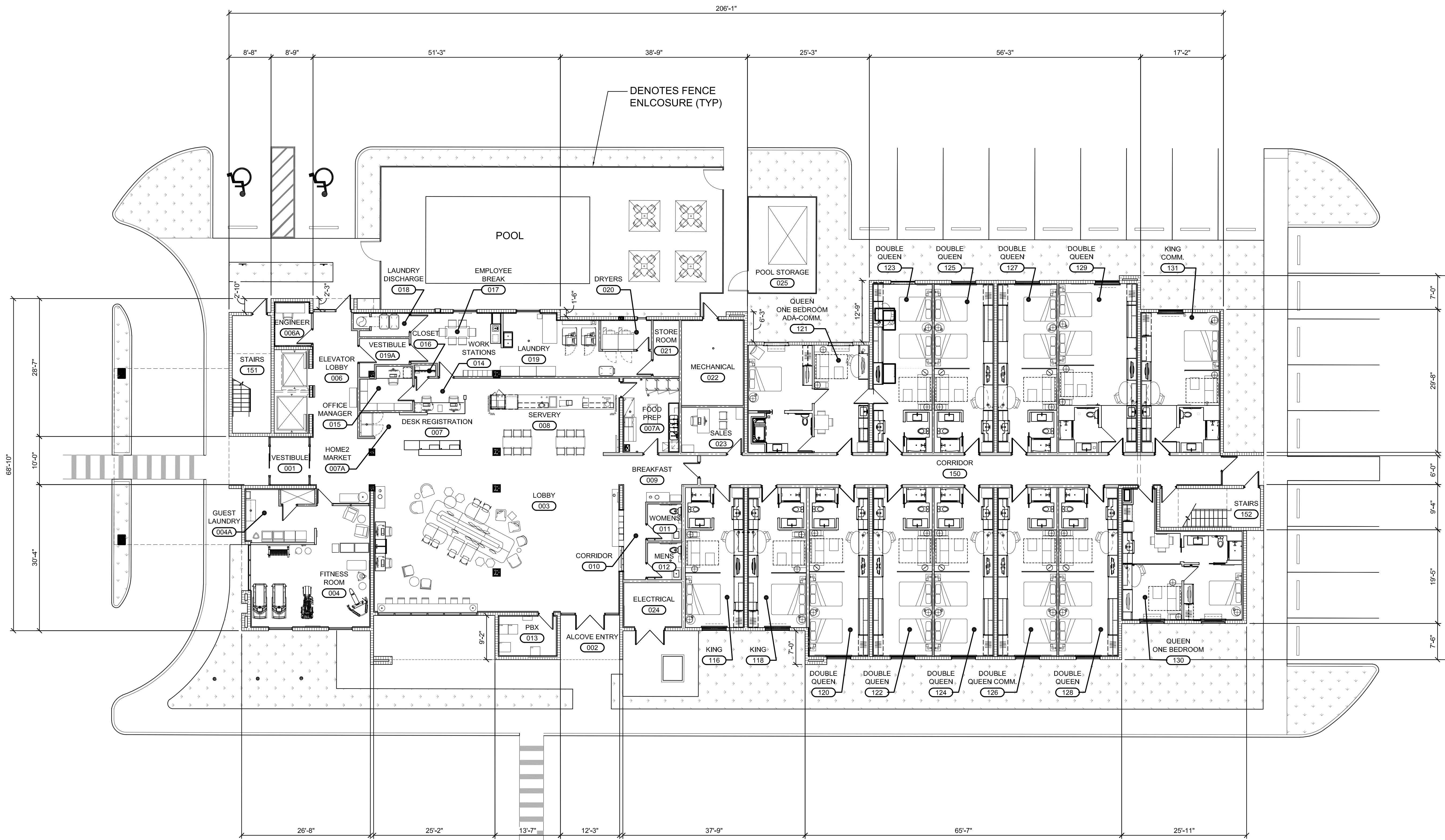


A Site Plan Approval for:
Home2 Suites by Hilton
1890 Reynolds Drive
Fort Pierce, FL

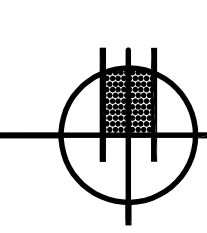
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date:	07-25-19
commissioner:	18-109
principal:	ERIC ANDERSON
project manager:	SS
file name:	8079-A-010-SPD
date:	06-26-19
title:	SITE PLAN AND DETAILS
sheet:	010
of:	9 A

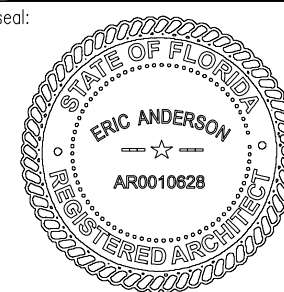


A Site Plan Approval for:
Home2 Suites by Hilton
1990 Reynolds Drive
Fort Pierce, FL

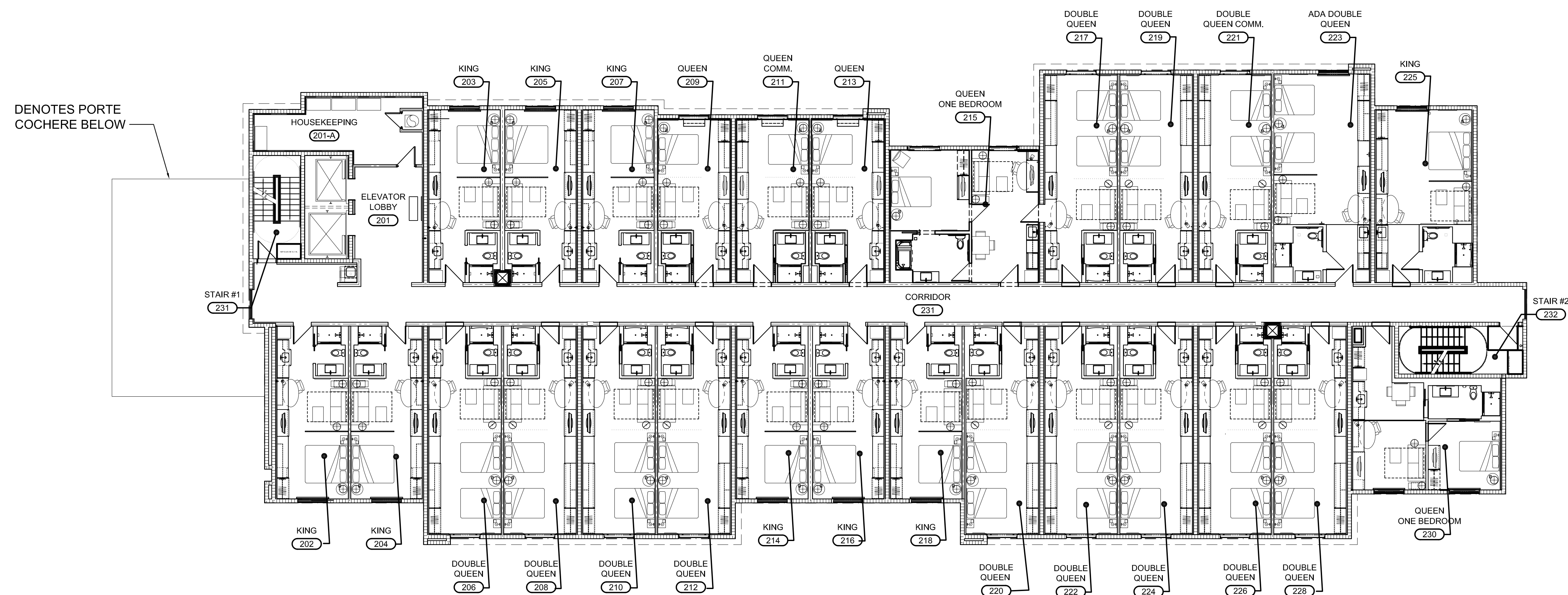


FIRST FLOOR PLAN
3/32" = 1'-0"

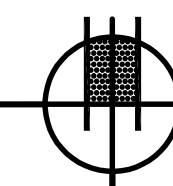




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Home2 Suites by Hilton
1990 Reynolds Drive
Fort Pierce, FL



SECOND FLOOR PLAN
3/32" = 1'-0"



revision:

date:

commission: 18-109
principal: ERIC ANDERSON
project manager: SS

file name: 8109-A-122-FP2
date: 06-26-19
title:

SECOND FLOOR PLAN

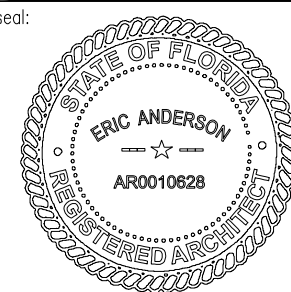
122

of 9 A

AA C001997

consultant:

seal:



A Site Plan Approval for:
Home2 Suites by Hilton
1990 Reynolds Drive
Fort Pierce, FL

revision:

date:

commission: 18-109
principal: ERIC ANDERSON
project manager: SS

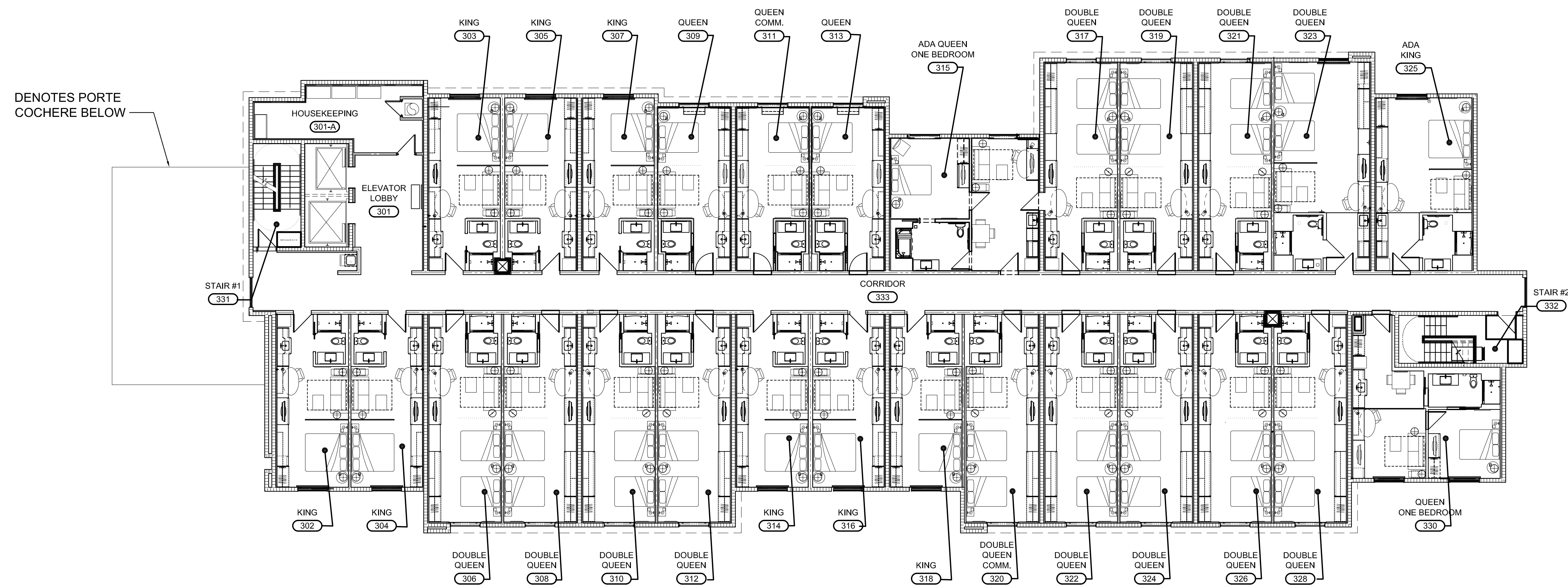
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date: 06-26-19
title:

THIRD FLOOR PLAN

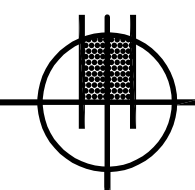
123

of 9 A

AA C001997

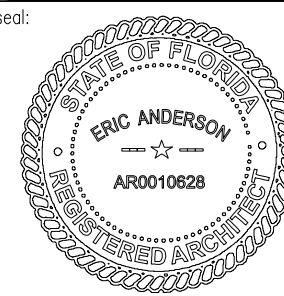


THIRD FLOOR PLAN
3/32" = 1'-0"



consultant:

seal:



A Site Plan Approval for:
Home2 Suites by Hilton
1990 Reynolds Drive
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revision:

date:

commission: 18-109
principal: ERIC ANDERSON
project manager: SS

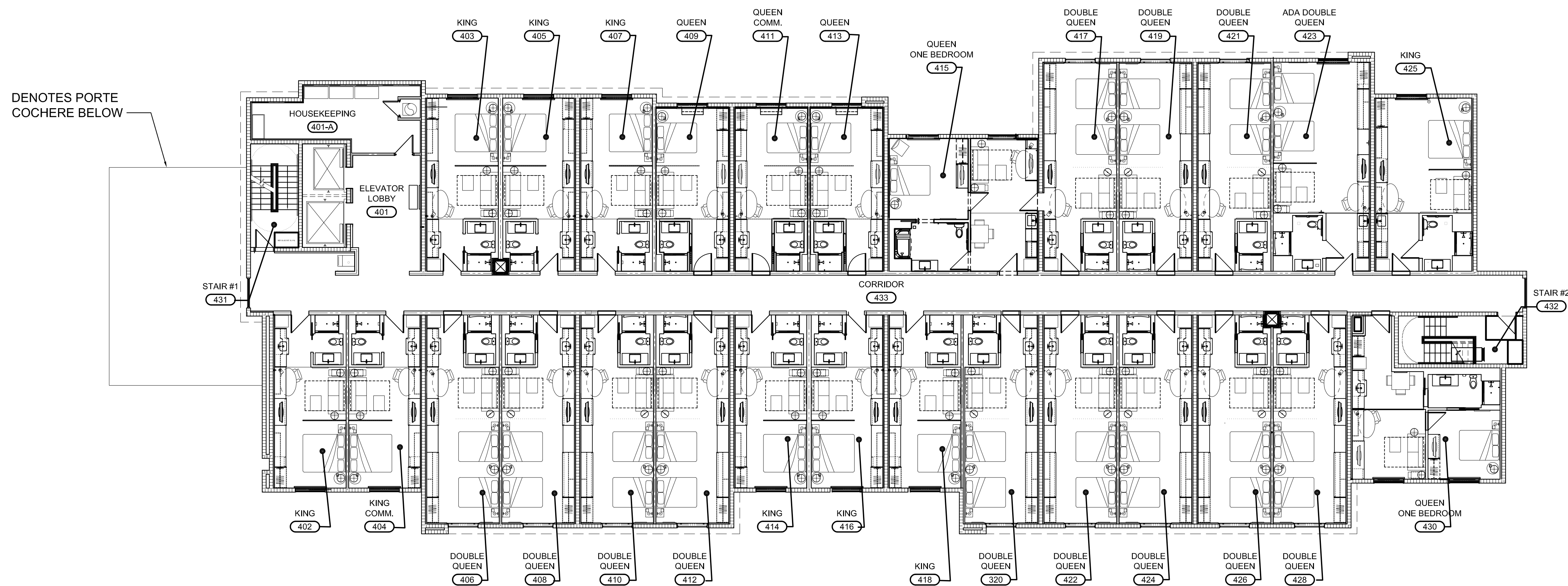
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date: 06-26-19
title:

FOURTH FLOOR PLAN

124

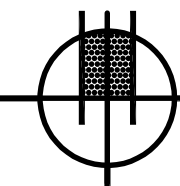
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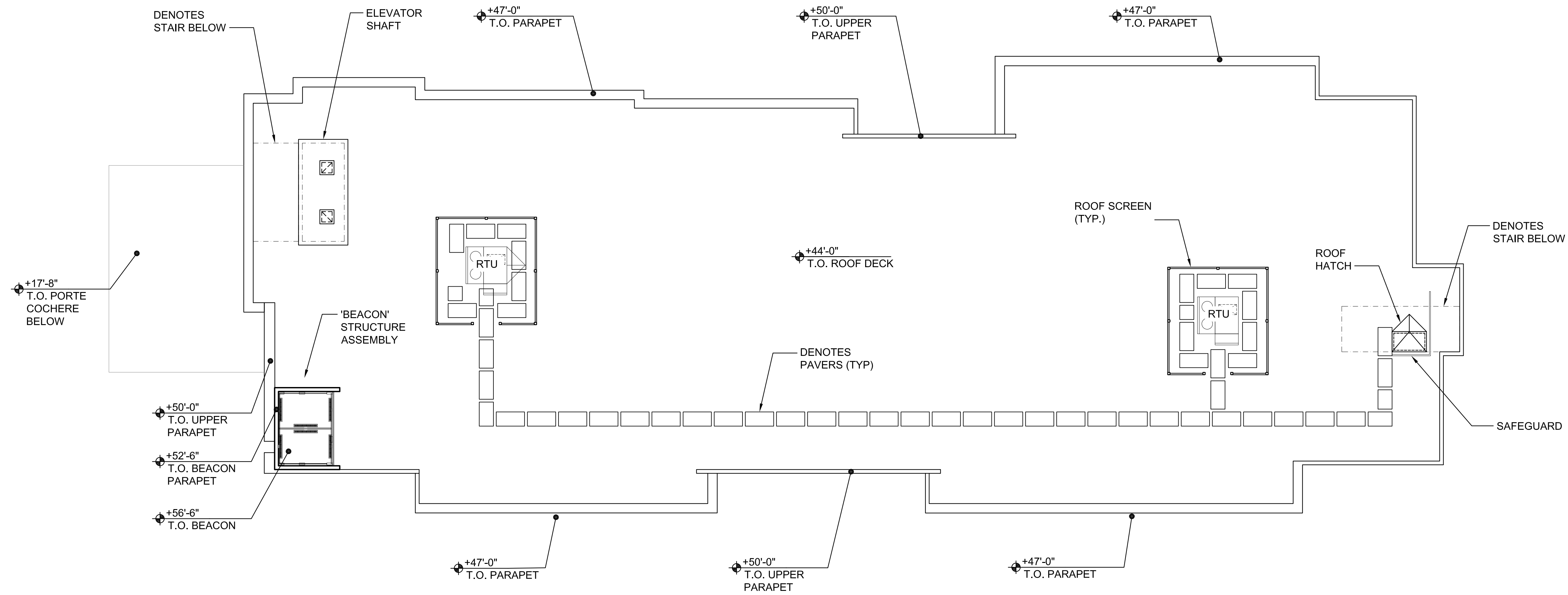
AA C001997



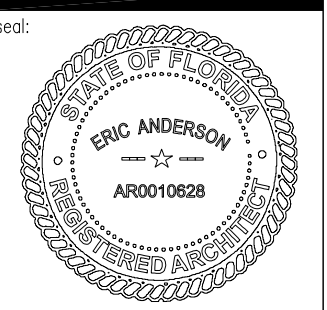
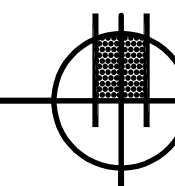
FOURTH FLOOR PLAN

3/32" = 1'-0"





ROOF PLAN
3/32" = 1'-0"



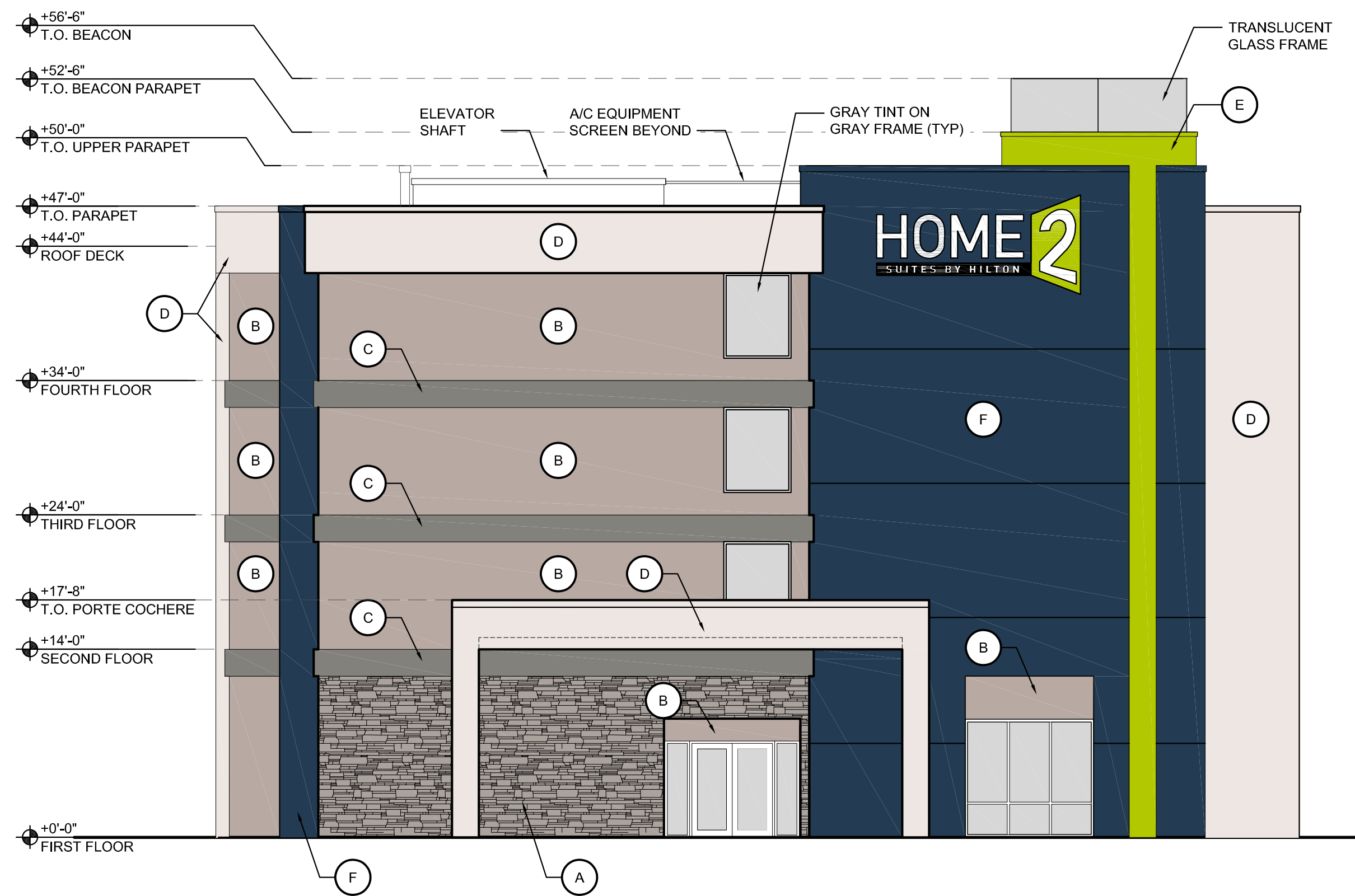
A Site Plan Approval for:
Home2 Suites by Hilton
1990 Reynolds Drive
Fort Pierce, FL

revision:	
date:	

commission: 18-109
principal: ERIC ANDERSON
project manager: SS

file name: 8109-A-141-RP1
date: 06-26-19
title: ROOF PLAN

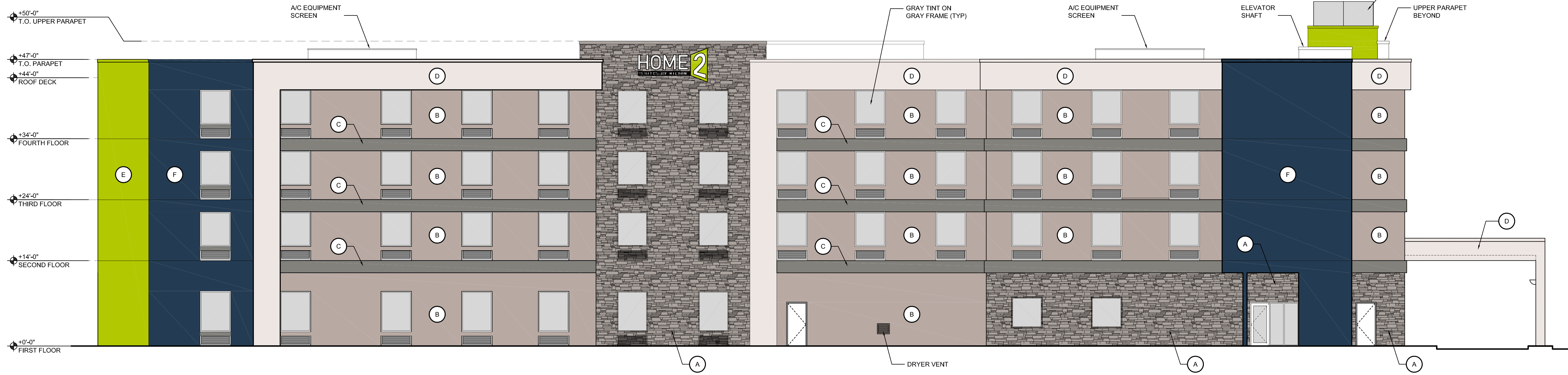
141



WEST ELEVATION

1/8" = 1'-0"

A
A201



NORTH ELEVATION

1/8" = 1'-0"

B
A201

ELEVATION SYMBOL LEGEND:

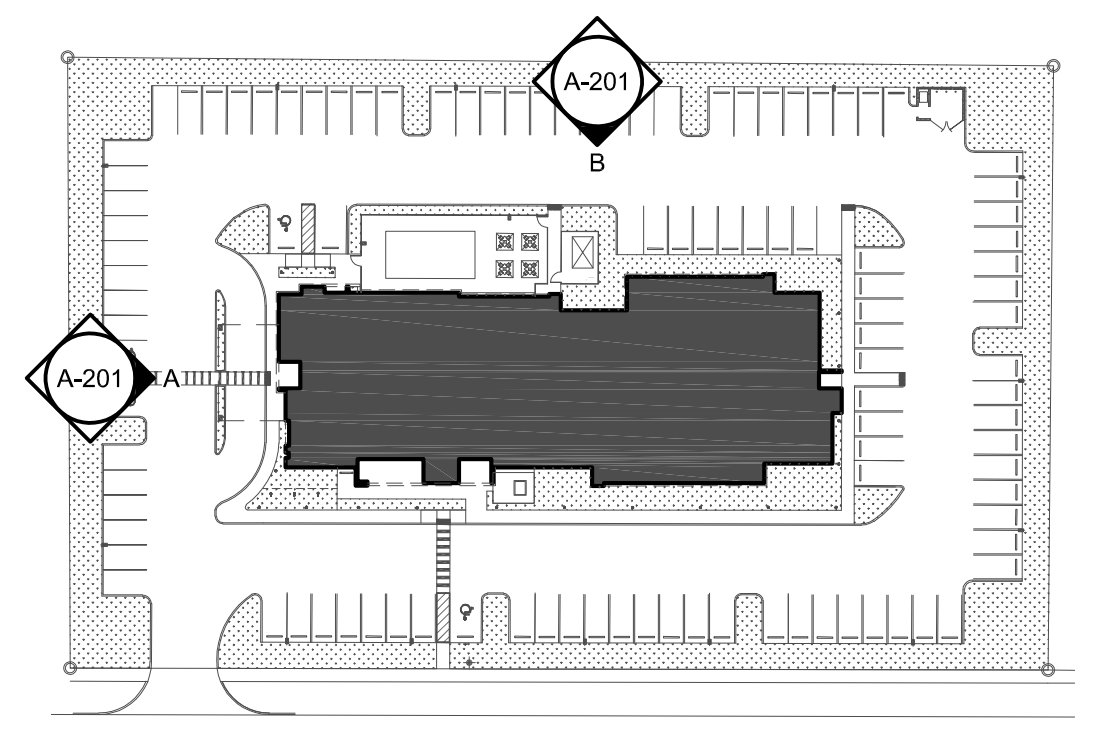
- (A) APPLIED STONE, CORONADO - HONEY LEDGE - COLOR: HURON (PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL)
- (B) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" SILVER FOX - 2108-50
- (C) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" AMHERST GRAY - HC-167
- (D) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" WHITE WATER
- (E) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" BRIGHT LIME - 2025-10
- (F) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" TWILIGHT 2058-10

anderson
architecture, inc.

399 CAMINO GARDENS BLVD.
SUITE 202
BOCA RATON, FLORIDA 33432
V: 561.382.0220
www.andersonarchitecture.com

consultant:

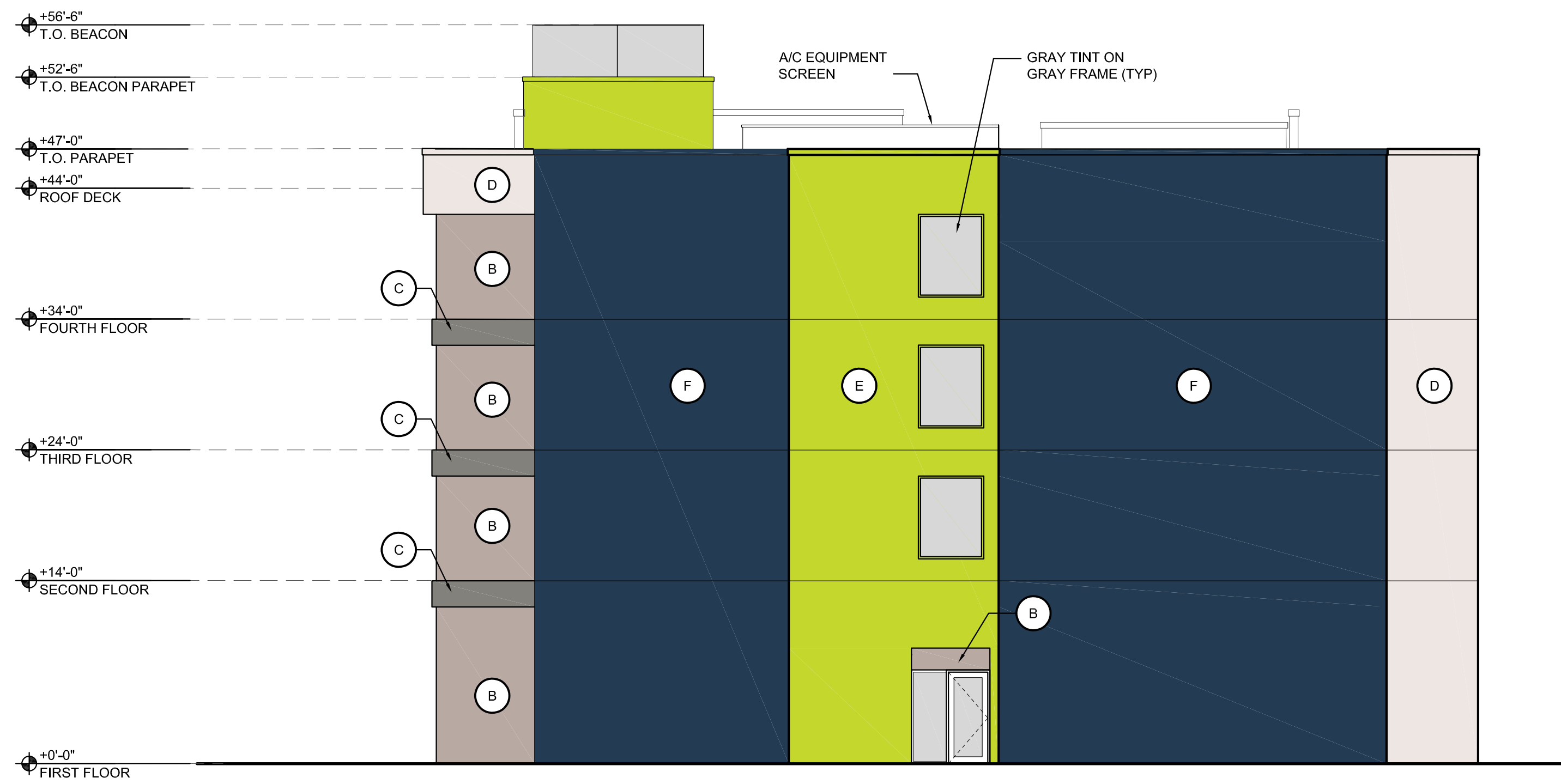
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Fort Pierce, FL



KEY PLAN

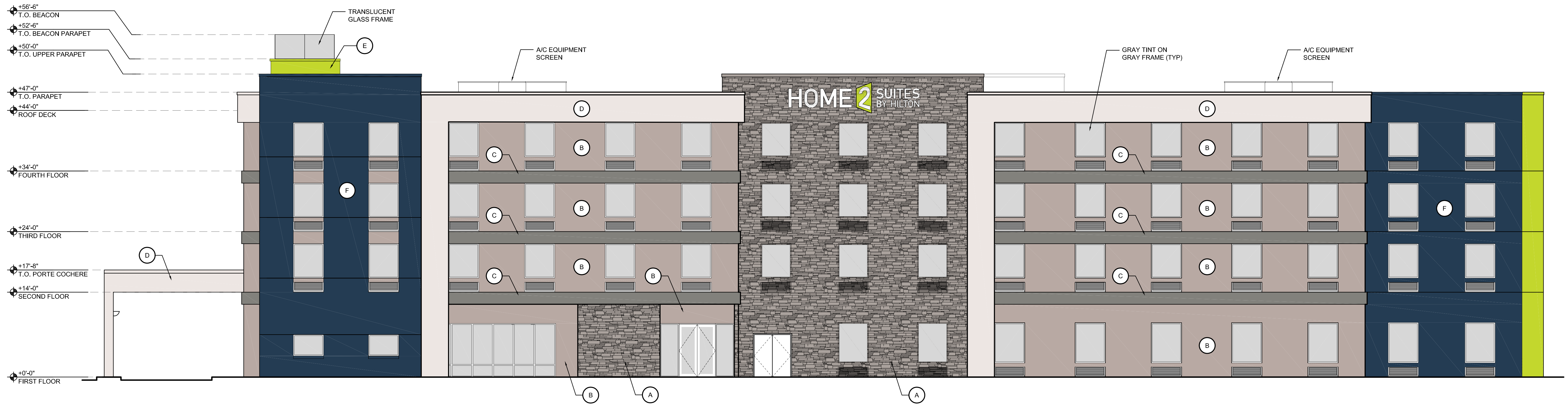
NOT TO SCALE

revision:	
date:	
commissioner:	18-109
principal:	ERIC ANDERSON
project manager:	SS
file name:	8109-A-201-EE
date:	06-26-19
title:	EXTERIOR ELEVATIONS
201	
of:	9 A



EAST ELEVATION
1/8" = 1'-0"

A
A202

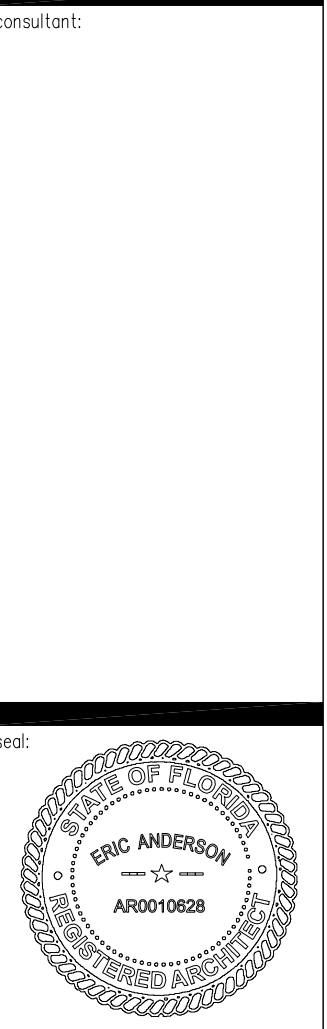


SOUTH ELEVATION
1/8" = 1'-0"

B
A202

ELEVATION SYMBOL LEGEND:

- (A) APPLIED STONE, CORONADO - HONEY LEDGE - COLOR: HURON (PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL)
- (B) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" SILVER FOX - 2108-50
- (C) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" AMHERST GRAY - HC-167
- (D) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" WHITE WATER
- (E) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" BRIGHT LIME - 2025-10
- (F) STUCCO, LIGHT SKIP TROWEL FINISH - "BENJAMIN MOORE" TWILIGHT 2058-10



revision:	date:

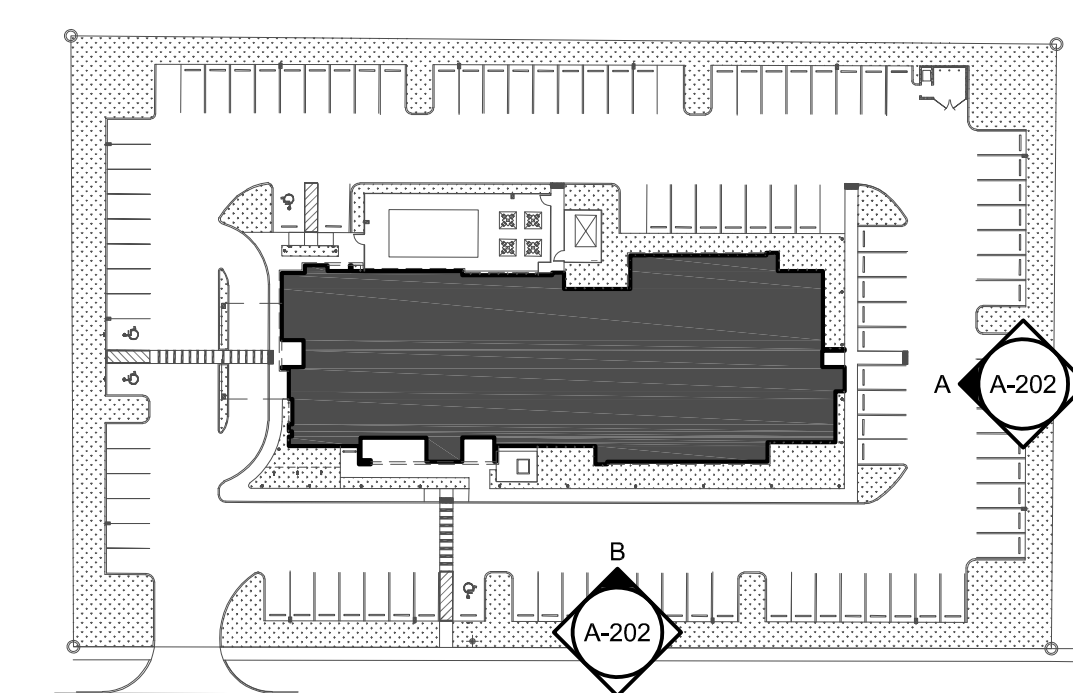
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principal: ERIC ANDERSON
project manager: SS

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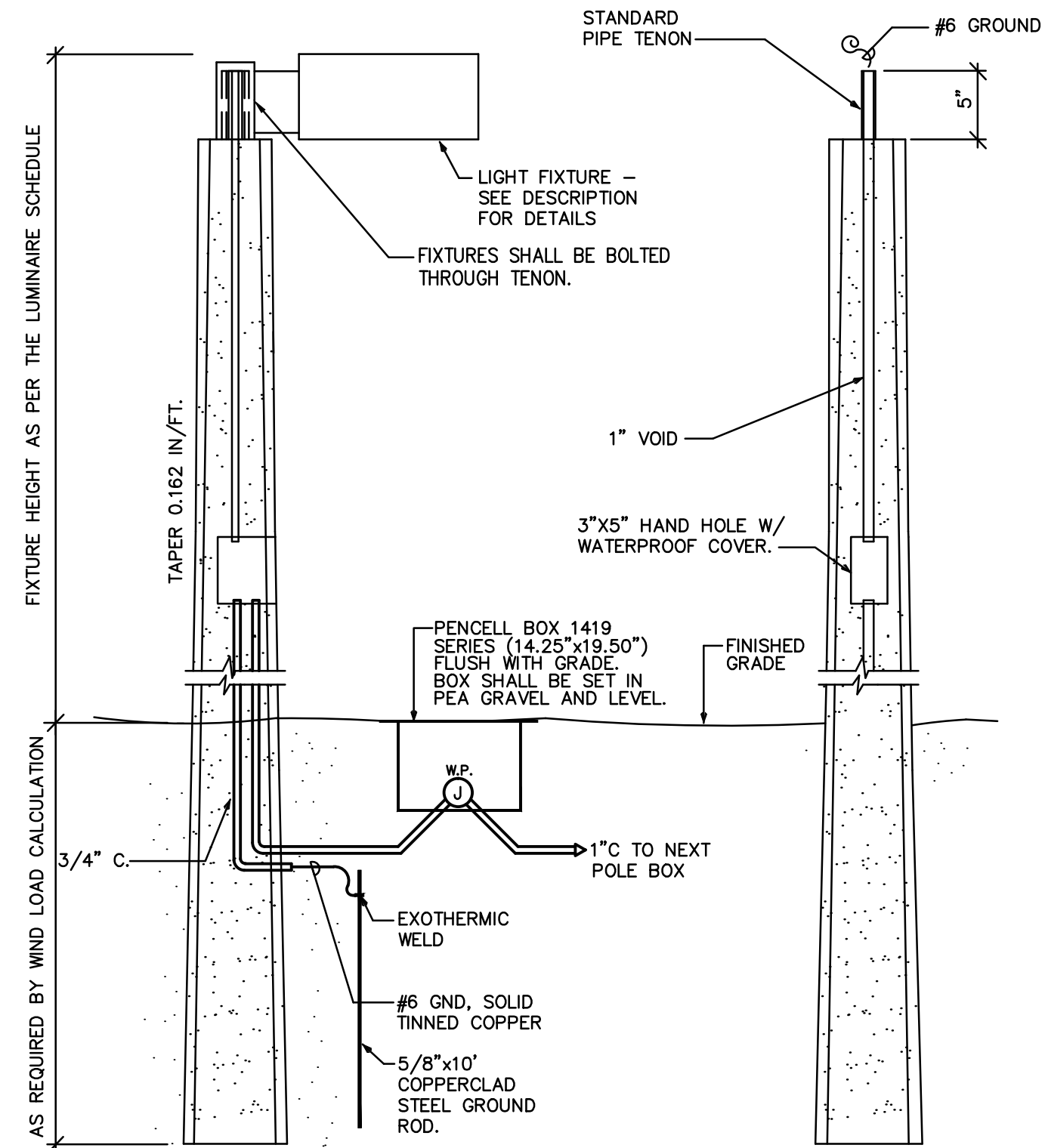
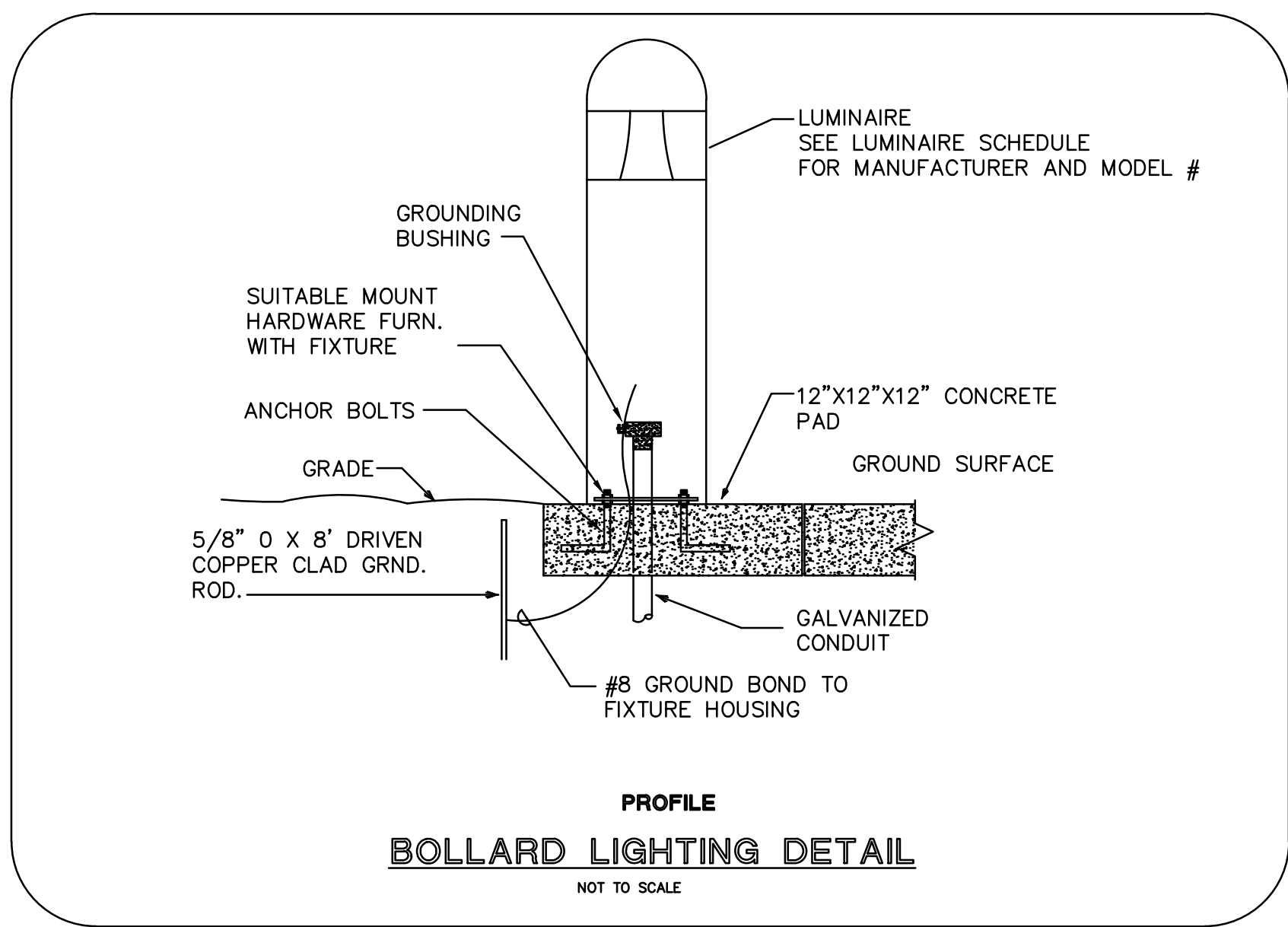
EXTERIOR ELEVATIONS

202

of: 9 | A



KEY PLAN
NOT TO SCALE



- NOTES:**
- POLE LOCATION - SET BACK CENTER-LINE OF POLE SHALL BE 42 INCHES FROM THE CENTER-LINE OF PARKING STANDARD WHERE POSSIBLE. LOCATION OF ALL POLES MUST BE COORDINATED WITH ALL TRADES TO INSURE NO INTERFERENCES.
 - POLE SUPPLIER SHALL CERTIFY THAT POLE AND FIXTURE(S) MEETS WIND LOAD CRITERIA PER LOCAL CODES. SHALL PROVIDE SIGNED & SEALED CALCULATIONS BY A STATE REGISTERED ENGINEER
 - THE PHOTOMETRICS SHOWN ARE BASED ON LIGHT FIXTURES INDICATED ON LUMINAIRE SCHEDULE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIXTURES INDICATED. IF THE CONTRACTOR SUBSTITUTES FIXTURES, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POINT-BY-POINT CALCULATIONS FOR FIXTURES BEING SUBMITTED FOR APPROVAL.

CONCRETE DIRECT BURIAL POLE DETAIL
N.T.S.

VIPER L STRIKE BEACON

Model: SA,SA1,SC

PRODUCT IMAGE(S)

DETAILS

8 DIMENSIONS

MOUNTING OPTI ONES

CERTIFICATIONS

BEACON

BEACON

Model: PE142 (LED)

DETAILS

STYLE OPTIONS

ORDERING

dmf **DRD2**

Recessed LED Downlight
General New Construction
4", 5", 6" Aperture

PRODUCT SPECIFICATIONS

Frame-in Kit

Light Engine

Trim

WARRANTY: 5 year limited warranty.

1

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVES & PARKING	Illuminance	Fc	3.34	6.2	1.1	3.04	5.64
POOL	Illuminance	Fc	6.24	8.0	4.1	1.52	1.95
PORTE COCHIERE	Illuminance	Fc	12.25	14.6	8.2	1.49	1.78
PROPERTY LINE - LEFT	Illuminance	Fc	0.23	0.5	0.0	N.A.	N.A.
PROPERTY LINE - LOWER	Illuminance	Fc	0.27	0.5	0.0	N.A.	N.A.
PROPERTY LINE - RIGHT	Illuminance	Fc	0.16	0.5	0.0	N.A.	N.A.
PROPERTY LINE - UPPER	Illuminance	Fc	0.17	0.4	0.0	N.A.	N.A.

NOTE:

THIS DRAWING MEETS THE FOLLOWING REQUIREMENTS CONFIRMING THAT THE MINIMUM AVERAGE FOOTCANDLE IN ALL PARKING LOT AREAS ARE A "MINIMUM" AVERAGE OF 2 FOOTCANDLES. ALSO PROVIDED ON THIS SHEET "ES-0.1" IS A TABLE PROVIDING THE MAXIMUM AND MINIMUM LIGHTING NUMBERS AS WELL AS THE NUMBERS FOR SPILLOVER ONTO ALL ADJACENT PROPERTIES.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
☐	17	SA	SINGLE	N.A.	0.900	BEACON VP-L-64L-135-4K7-4-BC-SWP-SETAVPL POLE MTD - 20' A.G.	177.46
⊕	15	SB	SINGLE	N.A.	0.900	DMF DRDHNIC6-DRD2M10940-DRD2TR6SWH RECESSED IN PORYTE COCHIERE	13.5
⊙	18	SC	SINGLE	N.A.	0.900	BEACON PB142/42/AC/24L-55/4K/UMV/DMT/XX(COLOR)	24.2

1

NOTE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

anderson architecture, inc.

399 CAMINO GARDENS BLVD, SUITE 202
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V. 561.362.0220
www.andersonarchitecture.com

consultant:

TYECC PLUMBING ELECTRICAL

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902 CLINT MOORE RD, # 142
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E-MAIL: TYECC@TECLFLA.COM
TEL: 561-274-0200
FAX: 561-274-0222

ANDREW J. YOUNG
LICENSED PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 5758

A Site Plan Approval for:
Home2 Suites by Hilton

1900 Reynolds Drive
Fort Pierce, FL

revisions:

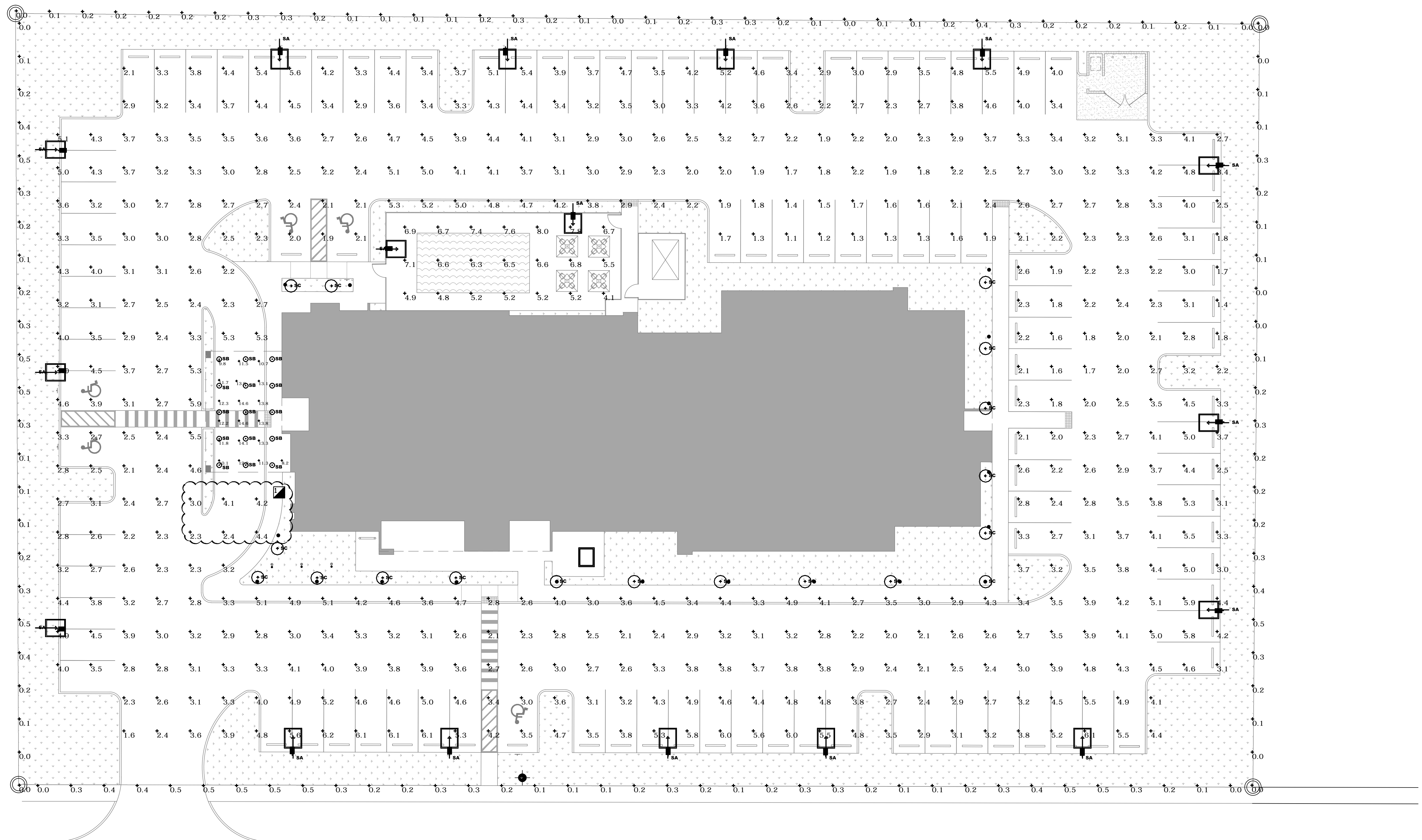
date	description
07-25-14	TRE COMMENTS

commission: 18-109
principal: AA/AJY
project manager: AA

TYECC Job #: 19051
date: 06.26.19
title: SITE PLAN SPECS & DETAILS

ES-0.1

2 **ES**



ENLARGED SITE PLAN-PHOTOMETRICS

1/16" = 1'-0"

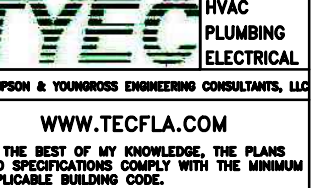
NOTE

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399 CAMINO GARDENS BLVD., SUITE 202
BOCA RATON, FLORIDA 33432
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consultant:

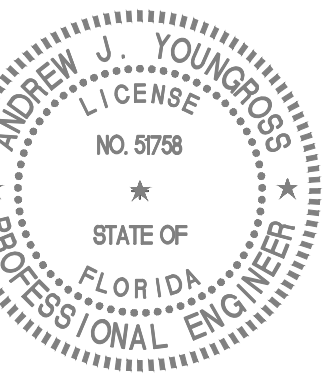


TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE HIGHEST APPLICABLE REGULATORY CODE.

CERTIFICATE OF AUTHORIZATION
NO. 25098

902 CLINT MOORE RD., # 142
BOCA RATON, FL 33487
E-MAIL: TYEC@TYECFLA.COM
TEL: 561-274-0200
FAX: 561-274-0222

SEAL:



A Site Plan Approval for:
Home2 Suites by Hilton

1900 Reynolds Drive
Fort Pierce, FL

revision:	TYEC COMMENTS
date:	07-25-19

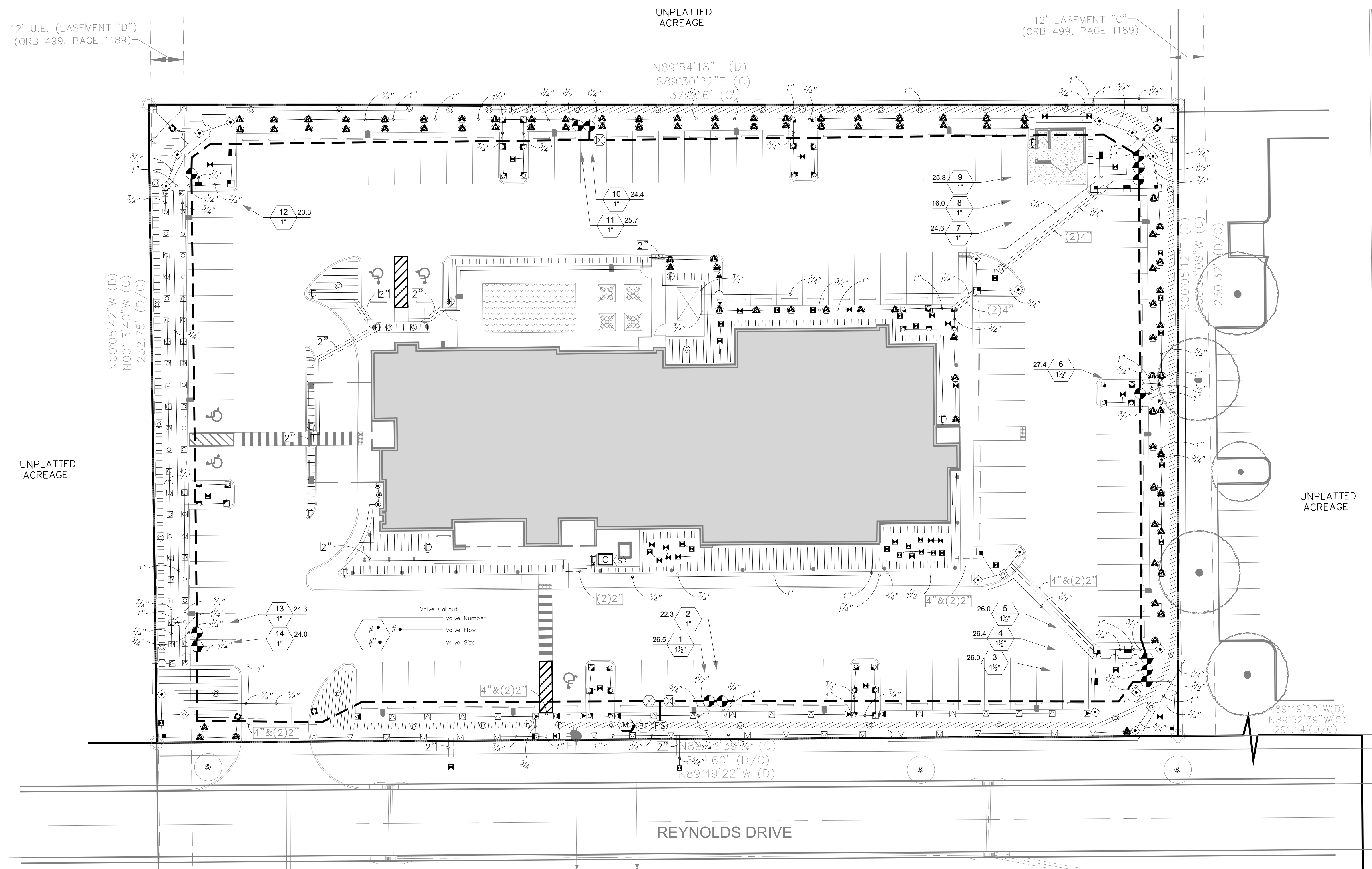
commission:	18-109
principal:	AA/AJY
project manager:	AA
TYEC JOB #:	19051
date:	06.26.19

title: SITE PLAN
PHOTOMETRIC
STATISTICS

ES-1.1

of:	2	ES
-----	---	----

HILTON HOME 2 SUITES
 REYNOLDS DRIVE
 FORT PIERCE, FL



12' U.E. (EASEMENT "D")
 (ORB 499, PAGE 1189)

12' EASEMENT "C"
 (ORB 499, PAGE 1189)

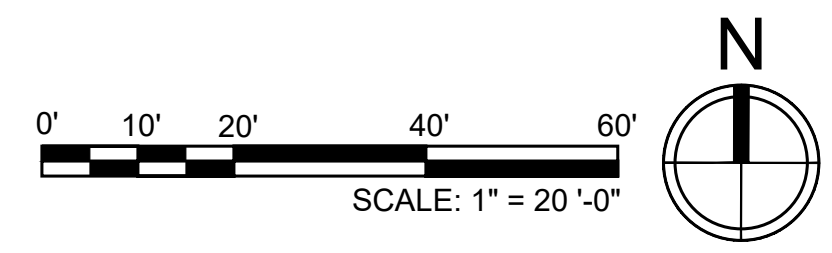
UNPLATTED
 ACREAGE

UNPLATTED
 ACREAGE

REYNOLDS DRIVE

Valve Callout
 Valve Number
 Valve Flow
 Valve Size

N89°49'22"W (D)
 N89°52'39"W (C)
 291.14' (D/C)



SHEET TITLE	
SITE IRRIGATION PLAN	
DATE	07.26.19
DESIGN	S.H.
DRAWN	M.M.
SCALE	1" = 20' - 0"
REVISIONS	
SEAL	
SHEET	IR-1
OF	2

IRRIGATION LEGEND

SYMBOL	MANUFACTURER / MODEL	QTY	ARC	PSI	GPM	RADIUS
☐	Rain Bird RD-06-S-P30 15 Strip Series	6	LCS	30	0.49	4'x15'
☐	Rain Bird RD-06-S-P30 15 Strip Series	6	RCS	30	0.49	4'x15'
☐	Rain Bird RD-06-S-P30 15 Strip Series	38	SST	30	1.21	4'x30'
☐	Rain Bird RD-06-S-P30 8 Series MPR	42	180	30	0.52	8'
☐	Rain Bird RD-06-S-P30 8 Series MPR	5	90	30	0.26	8'
☐	Rain Bird RD-06-S-P30 10 Series MPR	14	180	30	0.79	10'
☐	Rain Bird RD-06-S-P30 10 Series MPR	26	90	30	0.39	10'
☐	Rain Bird RD-06-S-P30 12 Series MPR	2	90	30	0.65	12'
☐	Rain Bird RD-06-S-P30 15 Series MPR	6	180	30	1.85	15'
☐	Rain Bird RD-06-S-P30 15 Series MPR	8	90	30	0.92	15'
☐	Rain Bird RD-06-S-P30 VAN Series	3	Adj	30		6'
☐	Rain Bird RD-06-S-P30 HE-VAN Series	4	Adj	30		10'
☐	Rain Bird RD-06-S-P30 HE-VAN Series	4	Adj	30		12'
☐	Rain Bird RD-06-S-P30 HE-VAN Series	16	Adj	30		15'
☐	Rain Bird RD-06-S-P30 with Hunter 5' strip spray	13	LCS	30	0.65	5'x15'
☐	Rain Bird RD-06-S-P30 with Hunter 5' strip spray	15	RCS	30	0.65	5'x15'
☐	Rain Bird RD-06-S-P30 with Hunter 5' strip spray	57	SST	30	1.30	5'x30'
☐	Two Rain Bird 1401 bubbler	54x2	360	30	2x.25	3'

SYMBOL	MANUFACTURER / MODEL / DESCRIPTION	QTY
☉	Rain Bird RD-12 with GPH Irrigation Products GDFN	15
☐	Two Rain Bird PC-10 Single Outlet	35x2
☐	Area to Receive Dripline Rain Bird XFD-09-12 XFD On-Surface Pressure Compensating Landscape Dripline. 0.9GPH emitters at 12.0" O.C. Dripline laterals spaced at 16.0" apart, with emitters offset for triangular pattern. Install dripline on both sides of plant material.	5,500 s.f.

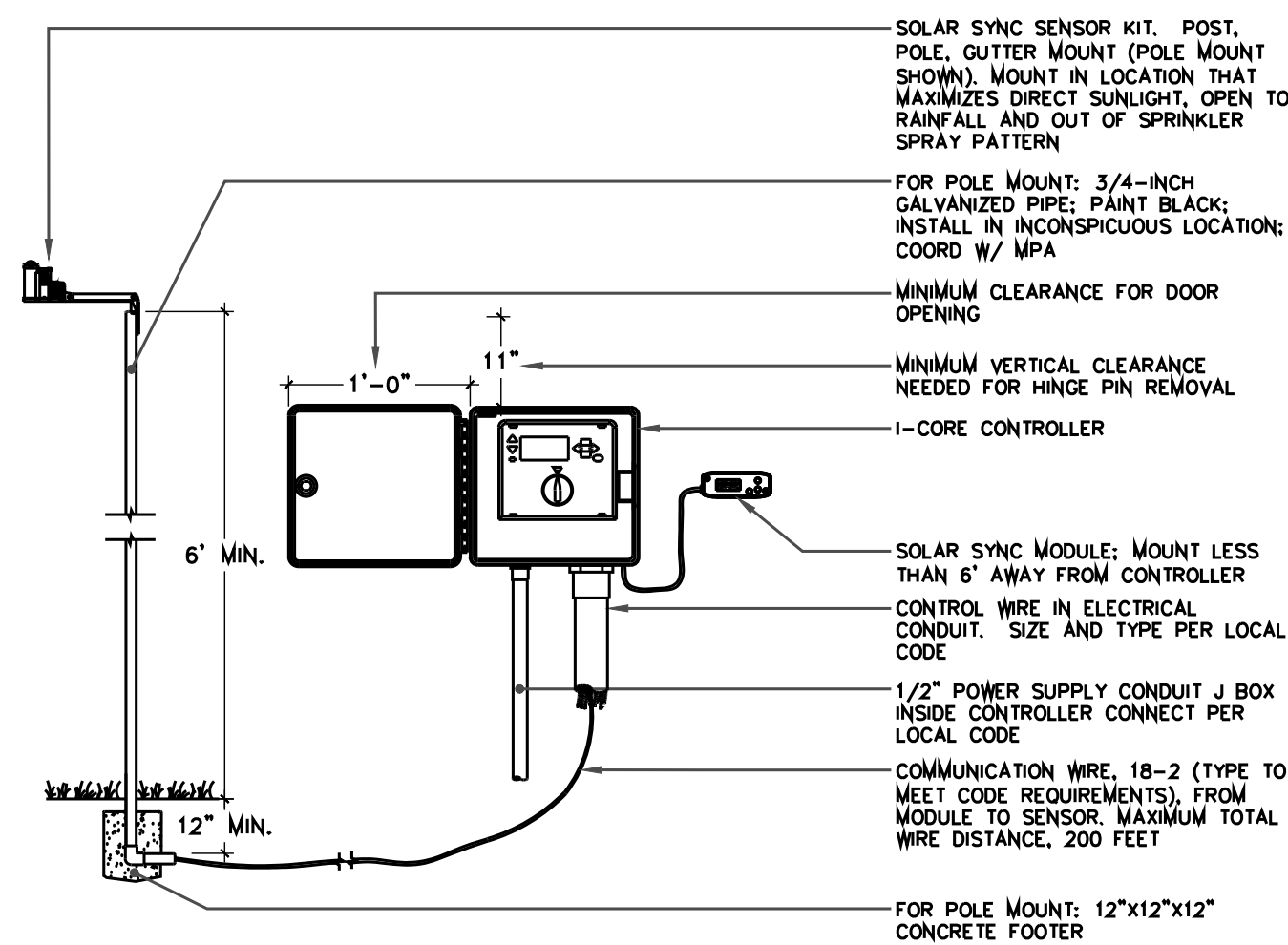
SYMBOL	MANUFACTURER / MODEL / DESCRIPTION	QTY
☐	Rain Bird PGA-PRS-D in a 12" Valve Box. Install a 1-1/2" PVC ball valve and Rain Bird LCRBY-150S filter in a Jumbo Valve Box prior to each group of valves.	4
☐	Rain Bird PGA in a 12" Valve Box. Install a 1-1/2" PVC ball valve in a 12" Valve Box prior to each group of valves.	10
☐	Nibco T-113 2" isolation valve in a 12" Valve Box	3
☐	Wilkins 975XL 2" Backflow Preventer	1
☐	Hunter IC-1600-PL 16 Station Controller	1
☐	Hunter Solar Sync Weather Sensor	1
☐	Rain Bird 150PGA master valve and Hunter HC-150-FLOW flow meter in separate 12" Valve Boxes.	1
☐	Water Meter 1" (by others)	1
---	Irrigation Lateral Line: PVC Class 160	4,500 l.f.
---	Irrigation Mainline: PVC 2" Class 200	1,200 l.f.
---	Pipe Sleeve: PVC Schedule 40	

IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFF

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	GPM
1	Rain Bird PGA	Turf Spray	1.58 in/h	26.5
2	Rain Bird PGA	Turf Spray	1.58 in/h	22.3
3	Rain Bird PGA	Area for Dripline	1.16 in/h	26.0
4	Rain Bird PGA	Turf Spray	1.58 in/h	26.4
5	Rain Bird PGA	Area for Dripline	1.16 in/h	26.0
6	Rain Bird PGA	Turf Spray	1.58 in/h	27.4
7	Rain Bird PGA	Turf Spray	1.58 in/h	24.6
8	Rain Bird PGA	Area for Dripline	1.16 in/h	16.0
9	Rain Bird PGA	Turf Spray	1.58 in/h	25.8
10	Rain Bird PGA	Turf Spray	1.58 in/h	24.4
11	Rain Bird PGA	Turf Spray	1.58 in/h	25.7
12	Rain Bird PGA	Turf Spray	1.58 in/h	23.3
13	Rain Bird PGA	Turf Spray	1.58 in/h	24.3
14	Rain Bird PGA	Area for Dripline	1.16 in/h	24.0

AVERAGE GALLONS PER WEEK: 6,963

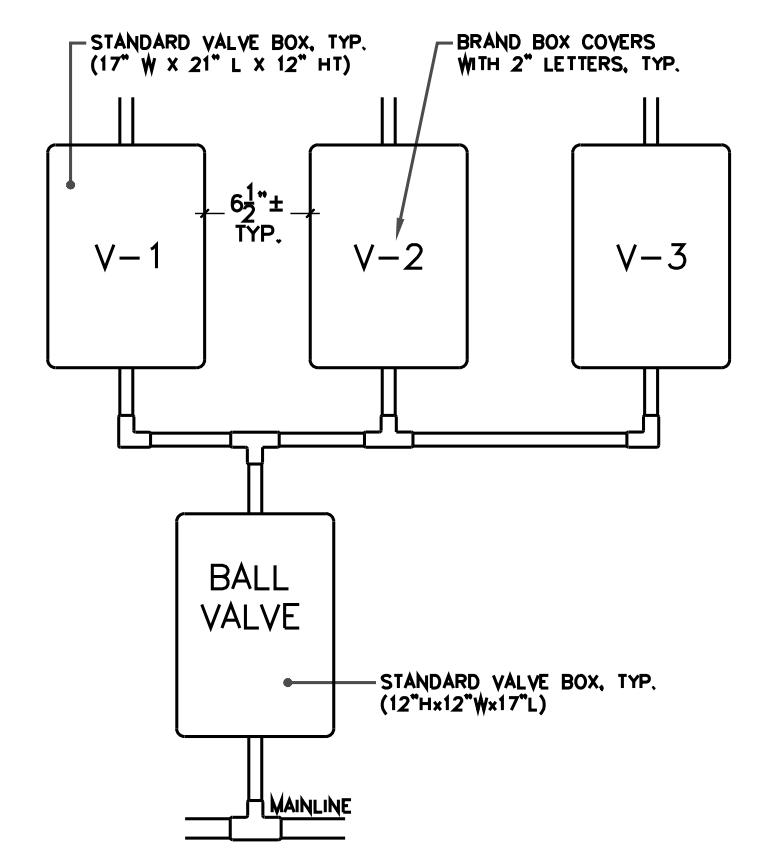


NOTE
54 STATION MODEL CONTROLLER. MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD WIRED BY A LICENSED ELECTRICIAN.

CONTROLLER DETAIL

SCALE: NTS

NOTES:
VALVE GROUPINGS SHALL NOT HAVE MORE THAN 3 VALVE BOXES AND 1 GATE VALVE BOX.
PLASTIC TAGS SHALL BE AFFIXED TO EACH VALVE WITH THE ZONE NUMBER AND ZONE TYPE (TURF, SHRUB, ETC.) PREPRINTED OR LABELED WITH INDELIBLE INK.

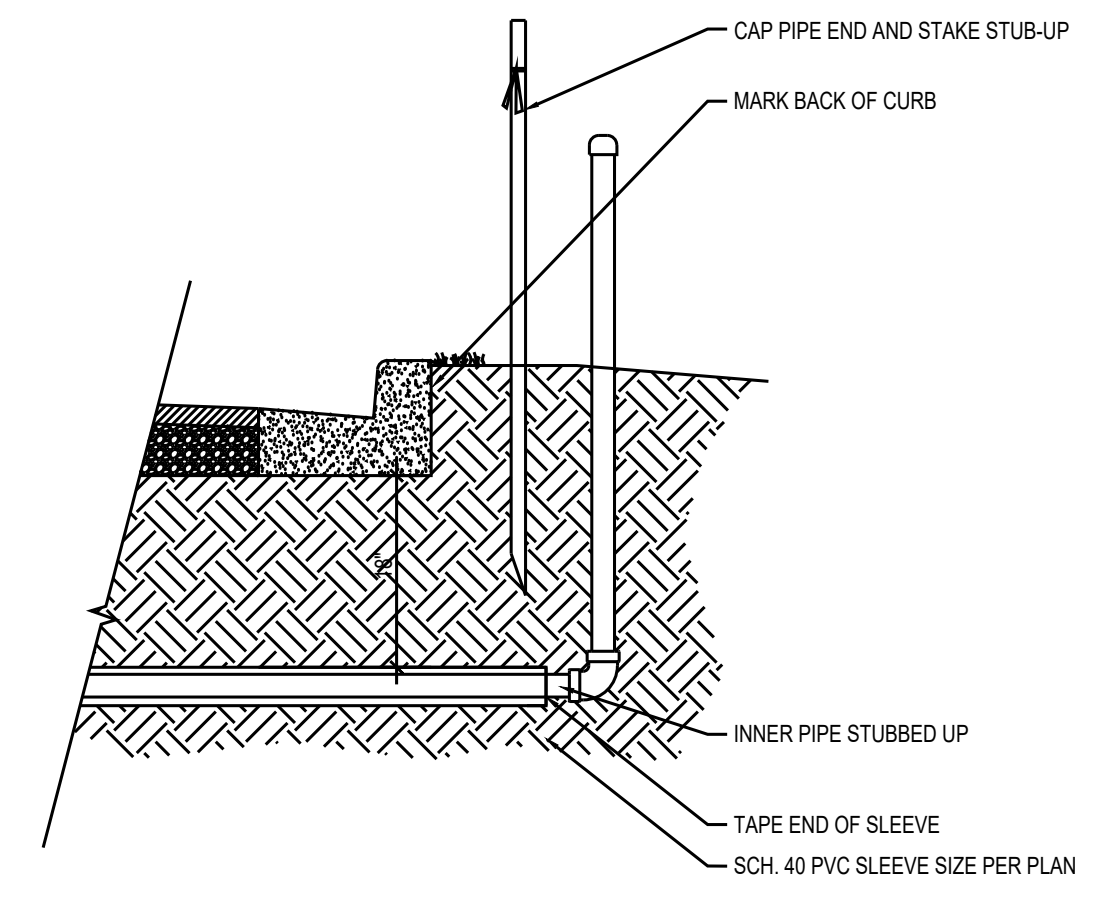


VALVE BOX DETAIL

SCALE: NTS

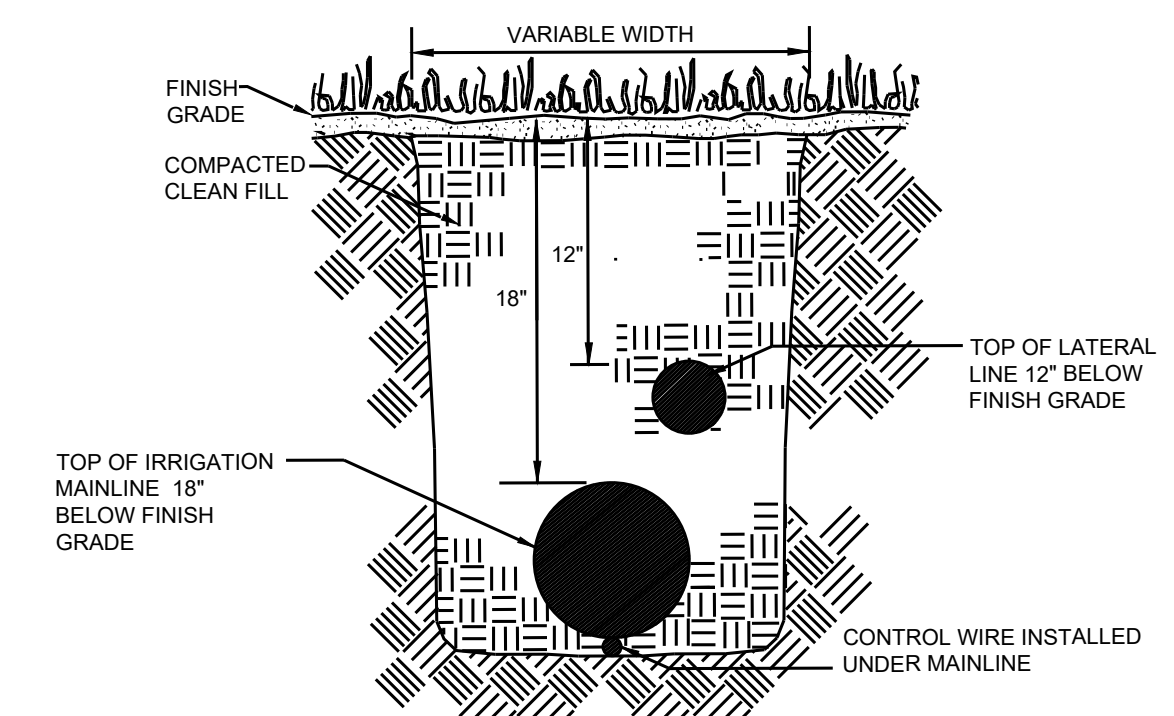
IRRIGATION NOTES

- THE PLANS AND DRAWINGS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. SOME COMPONENTS MAY BE SHOWN OUTSIDE THE WORK AREA FOR CLARITY. THE WORK SHALL BE EXECUTED IN A MANNER TO AVOID CONFLICTS WITH UTILITIES AND OTHER ELEMENTS OF CONSTRUCTION, INCLUDING LANDSCAPE MATERIALS. ALL DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY ASPECT OF THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS AND DRAWINGS, WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES EXIST THAT MIGHT NOT HAVE BEEN KNOWN DURING THE DESIGN OF THE IRRIGATION SYSTEM. IN THE EVENT THAT NOTIFICATION OF THE CONFLICT IS NOT APPROVED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS, IRRIGATION SYSTEM SPECIFICATIONS AND ALL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH ALL PREVAILING LOCAL CODES, ORDINANCES, AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, INCLUDING UTILITY LOCATIONS, BEFORE INSTALLATION OF THE IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THE PLANS - CONTRACTOR TO VERIFY. COORDINATE ALL IRRIGATION SYSTEM CONSTRUCTION WITH EXISTING AND NEW PLANTINGS TO AVOID CONFLICT OR INTERFERENCE WITH LOCATION OF PIPING, SLEEVING, CABLES, AND SERVICE UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION WITH ALL OTHER CONSTRUCTION ON SITE, ESPECIALLY LANDSCAPE INSTALLATION. IRRIGATION SYSTEM SHALL BE RELOCATED AT NO ADDITIONAL COST FOR ANY CONFLICT WITH LANDSCAPE INSTALLATION OR ANY OTHER SITE CONSTRUCTION OR EXISTING CONDITIONS. ALL COMPONENTS THAT ARE NOT CONTAINED WITHIN THE SPECIFIC AREAS SHOWN OR CALLED OUT ON THE DRAWINGS WILL NOT BE ACCEPTED. ALL PIPING AND OTHER COMPONENTS ARE TO REMAIN WITHIN THE PROPERTY OF THE OWNER.
- WHERE EXISTING OR NEW TREES, LIGHT STANDARDS, SIGNS, ELECTRONIC CONTROLLERS AND/OR OTHER OBJECTS ARE AN OBSTRUCTION TO AN IRRIGATION SPRINKLER'S PATTERN, THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN PROPER COVERAGE OF AN IRRIGATION SPRINKLER'S PATTERN. THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN THE PROPER COVERAGE WITHOUT DAMAGING THE OBSTRUCTION. OWNER'S REPRESENTATIVE SHALL DETERMINE WHETHER AN OBSTRUCTION OCCURS OR NOT.
- COMPONENT SPACINGS ARE MAXIMUM. DO NOT EXCEED SPACINGS SHOWN OR NOTED ON THE PLANS. COMPONENT SPACINGS MAY BE ADJUSTED TO ACCOMMODATE CHANGES IN TERRAIN AND PLANTING LAYOUT AS LONG AS THE MODIFIED SPACINGS DO NOT EXCEED THE SPACINGS SHOWN IN THE PLANS. UNLESS SHOWN OTHERWISE, CONTRACTOR SHALL PROVIDE 100% COVERAGE.
- ALL MATERIALS AND EQUIPMENT SHOWN SHALL BE NEW AND INSTALLED AS DETAILED ON THE PLANS. IF THE DRAWINGS DO NOT THOROUGHLY DESCRIBE THE TECHNIQUES TO BE USED, THE INSTALLER SHALL FOLLOW THE INSTALLATION METHODS AND INSTRUCTIONS RECOMMENDED BY THEIR MANUFACTURER.
- THE LOCATION OF THE IRRIGATION MAINLINE SHALL BE IDENTIFIED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
- IRRIGATION CONTRACTOR SHALL ADJUST ALL SPRINKLERS, CONTROLLER AND OTHER DEVICES TO OBTAIN SPECIFIED OPERATING PARAMETERS, INCLUDING COVERAGE, OPERATING PRESSURE, FLOW RATES AND OPERATION TIME, AS INDICATED ON THE DRAWINGS AND IN THE IRRIGATION SYSTEM SPECIFICATIONS.
- CONTRACTOR TO PROVIDE INSTALLATION SHOP DRAWINGS AND MANUFACTURER PRODUCT INFORMATION FOR ALL IRRIGATION COMPONENTS. ALL INSTALLATIONS SHALL BE AS RECOMMENDED BY MANUFACTURERS. THE QUANTITIES SHOWN IN THE LEGENDS AND SYMBOL SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS.
- ALL TRENCHES SHALL BE BACKFILLED WITH CLEAN, DEBRIS-FREE MATERIALS. CLEAN SAND SHALL BE USED FOR BEDDING MATERIAL IF PARENT SOIL CANNOT BE ADEQUATELY RID OF ROCK AND OTHER EXTRANEIOUS DEBRIS. FILLING PIPE SHALL BE PROHIBITED.
- ALL SOLVENT WELDING SHALL BE PRECEDED BY PRIMING OF THE FITTINGS AND PIPE AS RECOMMENDED BY THE MANUFACTURER.
- IRRIGATION CONTROL WIRE TO BE 14 GAUGE SINGLE STRAND UL LISTED DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE WITH 3M-DBY WIRE CONNECTORS.
- LOCATE ALL VALVES IN PLANTING BEDS OR MULCHED AREAS WITH A MINIMUM OFFSET OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT.
- ALL IRRIGATION LINES UNDER PAVEMENT SHALL BE INSTALLED WITHIN SCH 40 PVC SLEEVES AS NOTED. IRRIGATION COMMUNICATION CABLE SHALL HAVE IT'S OWN SEPARATE SLEEVE.
- ALL UNSIZED PIPE SHALL BE 3/4".
- IRRIGATION LATERAL LINES TO BE BURIED AT A DEPTH OF 12" UNLESS NOTED OTHERWISE.
- IRRIGATION MAINLINES TO BE BURIED AT A DEPTH OF 18" UNLESS NOTED OTHERWISE.
- ALL COMPONENTS INSTALLED BY THE IRRIGATION CONTRACTOR, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE EXACT LOCATION AND DEPTH BELOW FINISH GRADE OF ALL COMPONENTS SHALL BE NOTED ON THE "AS-BUILT" DRAWINGS.



SLEEVING ROUGH-IN DETAIL

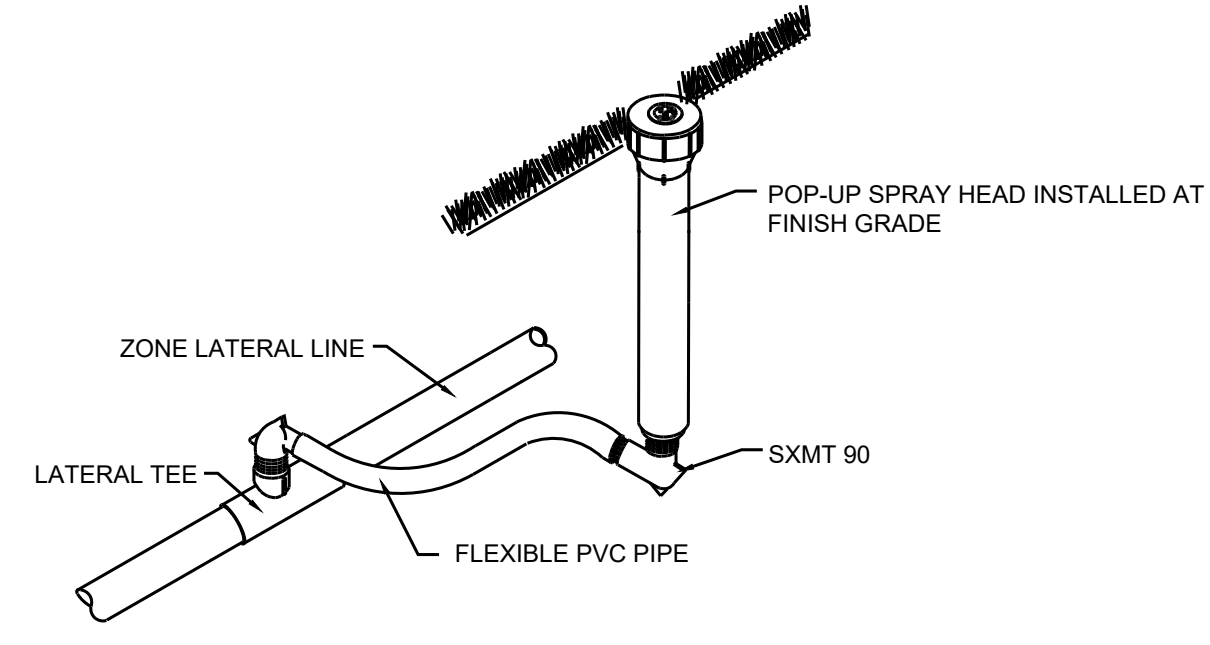
SCALE: NTS



NOTES:
1. DEPTH MEASUREMENTS ARE TO BE DONE FROM FINISH GRADE TO TOP OF PIPE.
2. PROVIDE A 6" MINIMUM VERTICAL SEPARATION BETWEEN MAINLINES AND LATERAL LINES.
3. ALL TRENCHES SHALL BE BACKFILLED WITH CLEAN SOIL FREE OF DEBRIS & NOXIOUS WEEDS. TRENCHES SHALL BE COMPACTED TO A 90% STANDARD PROCTOR DENSITY, ASTM D698-78.

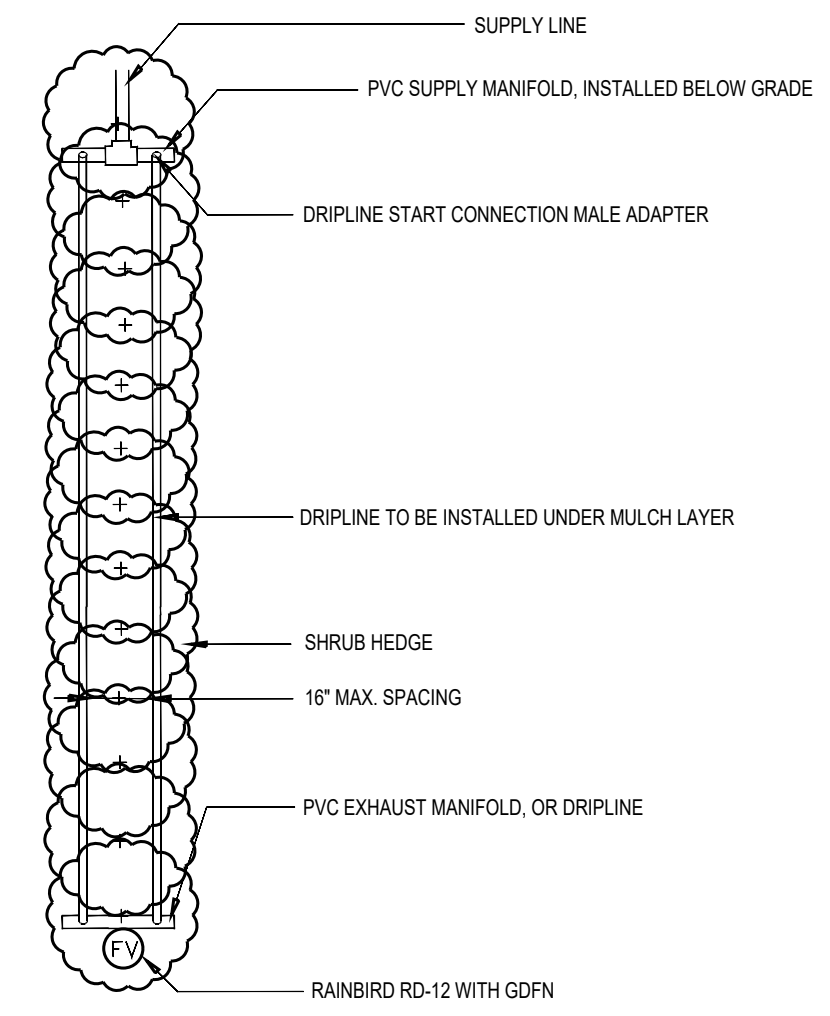
TRENCHING DETAIL

SCALE: NTS



SPRAY HEAD INSTALLATION DETAIL

SCALE: NTS



DRIPLINE LAYOUT

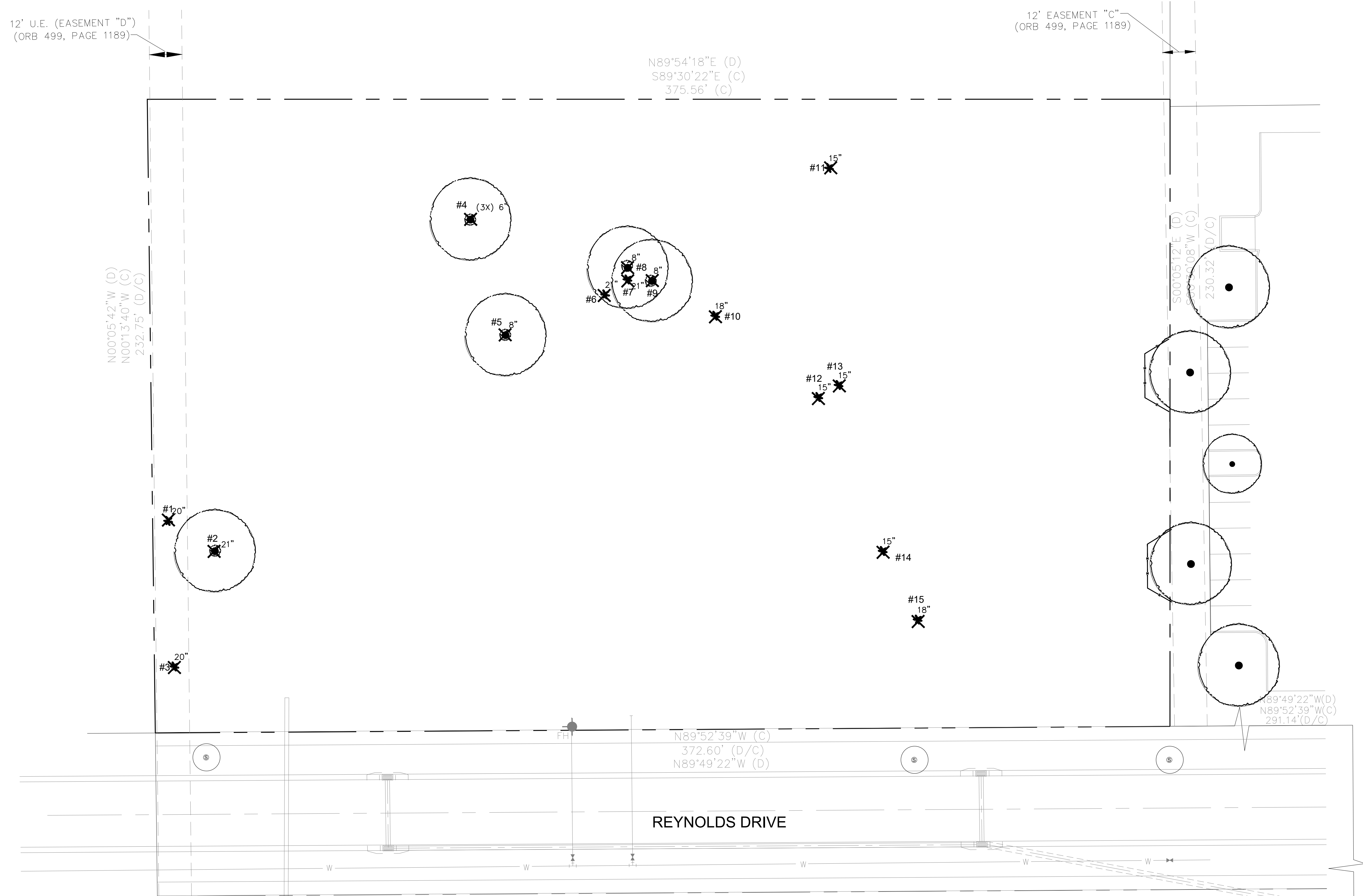
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Susan Hall, ASLA
LANDSCAPE ARCHITECTURE
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MERRITT ISLAND, FL 32952
PHONE: (321) 449-0790
FAX: (321) 449-1225
www.hall-la.com

HILTON HOME 2 SUITES
REYNOLDS DRIVE
FORT PIERCE, FL

SHEET TITLE	
IRRIGATION SPECIFICATIONS	
DATE	07.26.19
DESIGN	S.H.
DRAWN	M.M.
SCALE	1" = 20' - 0"
REVISIONS	
SEAL	
IR-2	2
SHEET	OF

HILTON HOME 2 SUITES
 REYNOLDS DRIVE
 FORT PIERCE, FL



SHEET TITLE
 EXISTING
 VEGETATION
 PLAN

DATE
 07.26.19

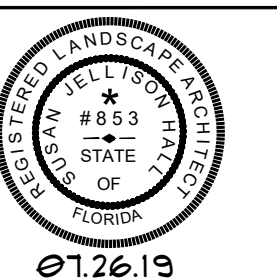
DESIGN
 S.H.

DRAWN
 M.M.

SCALE
 1" = 20' - 0"

REVISIONS

SEAL

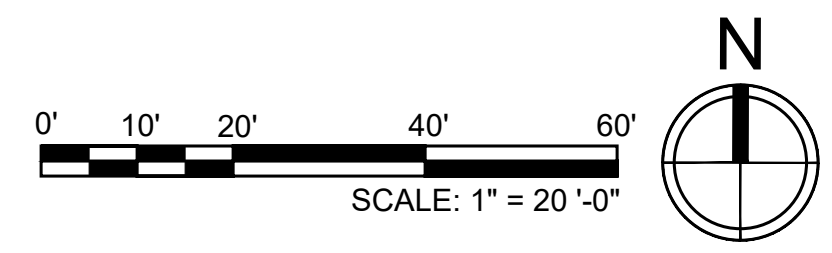


L-1

3

EXISTING TREE LEGEND	
	EXISTING HARDWOOD TREE ON ADJACENT PROPERTY; PROTECT CRITICAL ROOT ZONE FROM COMPACTION DURING CONSTRUCTION.
	EXISTING HARDWOOD TREE TO BE REMOVED
	EXISTING PALM TO BE REMOVED
	EXISTING PALM TO REMAIN
	TREE PROTECTION FENCING; REFER TO TREE PROTECTION DETAIL, SHEET L-3

EXISTING VEGETATION					
TREE #	TYPE	DBH IN INCHES	STATUS	REMARKS	MITIGATION
1	Cabbage Palm (<i>Sabal Palmetto</i>)	20"	Remove	less than 10' clear trunk height	
2	Laurel Oak (<i>Quercus laurifolia</i>)	21"	Remove	Mitigate	21"
3	Cabbage Palm (<i>Sabal Palmetto</i>)	20"	Remove	less than 10' clear trunk height	
4	Laurel Oak (<i>Quercus laurifolia</i>)	6.65"	Remove	Mitigate	18"
5	Earleaf Acacia (<i>Acacia auriculiformis</i>)	8"	Remove	invasive non-native	
6	Cabbage Palm (<i>Sabal Palmetto</i>)	21"	Remove	less than 10' clear trunk height	
7	Cabbage Palm (<i>Sabal Palmetto</i>)	21"	Remove	Mitigate	1
8	Laurel Oak (<i>Quercus laurifolia</i>)	8"	Remove	less than 14" DBH	
9	Earleaf Acacia (<i>Acacia auriculiformis</i>)	8"	Remove	invasive non-native	
10	Cabbage Palm (<i>Sabal Palmetto</i>)	18"	Remove	Mitigate	1
11	Cabbage Palm (<i>Sabal Palmetto</i>)	15"	Remove	Mitigate	1
12	Cabbage Palm (<i>Sabal Palmetto</i>)	15"	Remove	Mitigate	1
13	Cabbage Palm (<i>Sabal Palmetto</i>)	15"	Remove	Mitigate	1
14	Cabbage Palm (<i>Sabal Palmetto</i>)	15"	Remove	Mitigate	1
15	Cabbage Palm (<i>Sabal Palmetto</i>)	18"	Remove	Mitigate	1
				Total Mitigation Inches Required:	39"
				Total Mitigation Palms Required:	7 palms



LANDSCAPE SPECIFICATIONS:

1.00 GENERAL

1.01 The Contractor is reminded that the General Conditions and / or Special Conditions of this contract govern the work of this section of the Specifications whether attached hereto or not. Subcontractors undertaking to perform work under this Section shall be made fully aware of these documents and of their responsibilities and obligations thereunder. In the event of any discrepancies between the drawings and specifications and the following 'Scope of Work', the latter shall prevail.

2.00 SCOPE OF WORK

2.01 The work of this Section shall include all labor, materials, equipment, appliances, and accessories necessary for the complete performance of all excavation, grading, planting and backfill work in accordance with these Specifications and the Contract Drawing. Without restricting the generality of the foregoing, the items listed below and similar items shown on the Contract Drawings shall constitute the work of this Section:
 A. Finish grading and final site preparation of all areas to be landscaped.
 B. Furnishing and incorporating fertilizer and other soil amendments.
 C. Furnishing plant materials and grass materials and installing same.
 D. Furnishing and placing 'Planting Mixture' and other miscellaneous items to complete the work.
 E. Replacement of unsatisfactory plant material.
 F. Clean-up.

3.00 SITE PREPARATION

3.01 The Contractor shall provide finish grading and final preparation of all areas to be landscaped to within 2" of finish grade. This will require raking and pulverizing of all areas in order to crumble dirt, clogs and / or debris. The Landscape Contractor shall be responsible for finish grading, which is the top 2" of the site.

4.00 MATERIALS

4.01 Plant materials shall be furnished by the Landscape Contractor and as indicated on the plans. All plant materials shall meet or exceed the following standards.

- A. Plant species and sizes shall conform with plant list. Nomenclature shall conform to Standardized plant names, in accordance with the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- B. All plants shall be nursery grown or as stipulated herein and shall comply with all required inspections, grading standards and plant regulations as set forth in the Florida Department of Agriculture 'Grades and Standards for Nursery Plants', including revisions. Ensure that plant materials are shipped with tags stating the botanical and common name of the plant.
- C. The minimum grade for all trees, palms, shrubs, and groundcovers shall be Florida No. 1 and shall meet or exceed the size and quality standards of the American Association of Nursery Stock, sponsored by the American Association of Nurserymen, latest addition, unless otherwise indicated and all plants shall be sound, healthy and vigorous, well-branched and densely foliated when in leaf. They shall have healthy, well developed root systems and shall be free of disease and insect pests, eggs or larvae. Florida Fancy material shall be provided where plant list specifies 'specimen'.
- D. The determining measurements for trees shall be the height and spread, and shall be measured from the top of the plant to the root crown, not to include the immediate terminal growth. Their width shall be measured across the normal spread of the branches. Both measurements shall be made with the plants in their normal position.
- E. Plants larger in size than those specified may be used with approval of the Landscape Architect at no additional cost to the Owner. If the use of the larger plants is approved, the ball of earth or spread of roots shall be increased proportionately.
- F. Container grown plants the same quality as balled and burlapped plants may be substituted in lieu thereof. Plants grown in containers shall be delivered and remain in the containers in a shady location until planted. Plants in containers shall be watered prior to transportation and shall be kept moist until planted. The container must be removed prior to planting, with care as not to injure the roots.
- G. Grass materials shall consist of the following:
 - 1. Sod: Solid sod shall be as indicated on the drawings. Sod must be strongly rooted and free of pernicious weeds. Mow to a height not to exceed 1 1/2" before lifting. Lifts shall have a uniform thickness of 1 inch to 1 1/2 inches. Sod containing nutgrass, lippia water sedge, dollar weed, or other common turfweed species (if applicable), will not be accepted.

2. Sodding installation:

- a) Sodding shall be done as soon as practical following finish grading. The day before sod installation, the contractor shall rake 50# Milorganite per 1000 sf of area to receive sod. Ground shall be leveled with the back of a rake and sod laid with joints closely butted so that no voids are visible, keeping surface of sod flush with the adjoining seeded areas and or pavements. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Hand tamp to ensure contact with subgrade, and water thoroughly with a fine spray immediately after laying.
- b) After sod is in place, it shall be top dressed with sufficient sharp, clean 60% sand/40% muck soil mix to fill all voids remaining and thoroughly watered to wash the top dressing into the sodded surface.
- c) All sod areas shall then be rolled using a vibrating #1500 sod roller if deemed necessary by the Landscape Architect, following installation.
- d) It is the Landscape Contractor's responsibility to keep new sod properly watered until completion of the contract. All watering shall meet specifications according to 'Grades and Standards' Section 983.

H. Substitutions in plant species or size will be made only with prior written permission of the Landscape Architect.

I. If, in the opinion of the Landscape Architect, materials and/or work do not conform with the plans and specifications, it may be rejected and upon rejection, must be removed immediately from the site by the Contractor and replaced.

J. The Contractor shall be responsible for the certification and inspection of plant material that may be required by local, state, or federal authorities and shall bear the cost of the same, if any.

4.02 Materials used to install the job shall meet or exceed the following standards:

- A. Planting mix to be used for planting shall be: 1/3 coarse sand, 1/3 Florida peat, 1/3 well rotted pine chips or compost. 70% sand / 30% muck shall be used in planters or areas with poor drainage.
- B. Fertilizers: Fertilizer shall be delivered mixed as specified in standard bags, sealed, and showing weight by analysis and name of manufacturer. Fertilizer shall be stored in weatherproof storage and in such a manner that its effectiveness will not be impaired.
- C. Mulch: Mulch shall be 'Coco Brown' mulch from Florida Mulch or approved equal.
- D. Water: All water required for the execution of the work shall be supplied at the site by the Owner.

5.00 INSTALLATION

5.01 The Planting operations used to install the job shall meet or exceed the following standards:

- A. Excavation of Plant Pits: Plant pit excavations shall be roughly cylindrical in shape, with their side approximately vertical. Pit shall be excavated so that bottom of pit is same depth as root ball. Plants shall be centered in the hole, with the trunk location as shown in the plans. Holes for balled and burlapped plants shall be large enough to allow 12" minimum (depending on root ball size) of back fill around the sides of the root ball, and 12" of back fill beneath the root ball. In all cases the diameter of the plant hole shall be twice the diameter of the root ball. Where excess material has been excavated from the plant hole, the excavated material may be used to backfill to the proper level. Mix existing excavated material in 50% / 50% ratio with new planting soil mix. The Contractor, in excavation for plantings shall take care not to damage underground utilities or other sub-surface obstructions, and shall be held liable for their repair, if damaged.
- B. Setting Plants: All trees shall be set so, that when settled, the top of the root ball will be flush with the surrounding area of the finish grade or slightly above finish grade. Each plant shall be planted in planting soil mix in the center of the pit. Shrubs shall be set flush with the surrounding finish grade of the planting area. The back fill shall be made with prepared planting in mixture as specified herein and shall be firmly rodded and watered, so that no air-pockets remain. The quantity of water applied immediately upon planting shall be sufficient to thoroughly moisten all of the backfilled earth. Plants shall be kept in a moistened condition the duration of the planting.
- C. Staking and Guying: All trees shall be staked or guyed as shown in the details and according to the following specifications.
 - 1. Use wide plastic, rubber or other flexible strapping materials to support the tree to stakes or ground anchors that will give as the tree moves in any direction up to 30 degrees. Use strapping material 'Arbor Tie' by Deep Root (800) 458-7668 dark green color, or approved equal. Do not use rope or wire through a hose. Use guy chords, hose or any other thin bracing or anchorage material which has a minimum 12" [300 mm] length of high visibility flagging tape secured to guys, midway between the tree and stakes for safety.

- 2. Stake trees larger than 1" [25 mm] diameter and smaller than 2" [50 mm] diameter with a 2" by 2" [50 by 50 mm] stake, set at least 2' [0.6 m] in ground and extending to the crown of the plant. Firmly fasten the plant to the stake with flexible strapping materials as noted above.
- 3. TREES OF 2 TO 3 1/2" [50 MM TO 90 MM] CALIPER: Stake all trees, other than palm trees, larger than 2" [50 mm] caliper and smaller than 3 1/2" [90 mm] caliper with two 2" by 4" [50 by 100 mm] stakes, 8' [2.4 m] long, set 2' [0.6 m] in the ground. Place the tree midway between the stakes and hold it firmly in place by flexible strapping materials as noted above.
- 4. LARGE TREES: Guy all trees, other than palm trees, larger than 3 1/2" [90 mm] caliper, from at least three points, with flexible strapping materials as noted above. Anchor flexible strapping to 2" by 4" by 24" [50 by 100 by 600 mm] stakes, driven into the ground such that the top of the stake is at least 3" [75 mm] below the finished ground.
- 5. SPECIAL REQUIREMENTS FOR PALM TREES: Brace palms which are to be staked with three 2" by 4" [50 by 100 mm] wood braces, toe-nailed to cleats which are securely banded at two points to the palm, at a point one third the height of the trunk. Pad the trunk with five layers of bubble wrap under the cleats. Place braces approximately 120 degrees apart and secure them underground by 2" by 4" by 12" [50 by 100 by 300 mm] stake pads. Paint wood flat dark green exterior paint, two coats.
- 6. TREE PROTECTION AND ROOT BARRIERS: Install tree barriers when called for in the Contract Documents or by the Landscape Architect to protect existing trees from damage during project construction. Place barricades at the drip line of the tree foliage or as far from the base of the tree trunk as possible. Barricades shall be able to withstand bumps by heavy equipment and trucks. Maintain barricades in good condition. When called for in the Contract Documents, install root barriers or fabrics in accordance with the details shown.

D. Pruning: All broken or damaged roots or branches shall be cut smoothly and the tops of all trees shall be pruned in a manner complying with standard horticultural practice. At the time pruning is completed, all remaining wood shall be alive.

E. Mulching: Within one week after planting, mulch material shall be uniformly applied to a minimum loose thickness of 3 inches, over the entire area of the backfilled hole or bed. The mulch shall be maintained continuously in place until the time of final inspection, and must be a minimum of 3 inches thick to be accepted. Mulch shall not be placed against stems or trunks.

F. Fertilizing: Feeding of all trees and specimen shrubs shall be done with a slow release granular 12-6-8 with complete minors turf and ornamental fertilizer, as per manufacturer's instructions. Contractor shall submit and label to the Landscape Architect for approval prior to application.

6.00 MAINTENANCE

6.01 Maintenance and hand watering of all trees, shrubs and groundcover by the Landscape Contractor shall terminate upon final acceptance of such work, but shall not discharge the Landscape Contractor from his responsibility to honor the guarantee period. Maintenance prior to final acceptance shall include the removal of all dead or dying twigs and branches, the weeding, watering and normal pruning of plant material.

7.00 GUARANTEE

7.01 The Landscape Contractor shall guarantee and maintain all new field grown trees and all field grown palms for a period of one year. All containerized trees, shrubs, and groundcovers for a period of 180 days, and all sod for a period of 90 days. The Landscape Contractor shall replace at the direction of the Landscape Architect all trees, shrubs, or groundcovers deemed by the Landscape Architect to be unacceptable, due to death or damage; acts of God, Owner negligence and vandalism excepted. The guarantee period shall begin upon substantial completion of the job, as determined by the landscape architect.

7.02 New material used to replace material unacceptable to the Landscape Architect, shall be guaranteed for similar period from date of installation.

8.00 FINAL INSPECTION AND ACCEPTANCE

8.01 The Landscape Contractor shall advise the Landscape Architect in writing at the end of the guarantee period that the project is ready for final inspection. Only upon notification to the Landscape Architect by the Landscape Contractor in writing and subsequent inspection attended by the Landscape Contractor shall the requirements of the guarantee be met.

9.00 CLEAN-UP

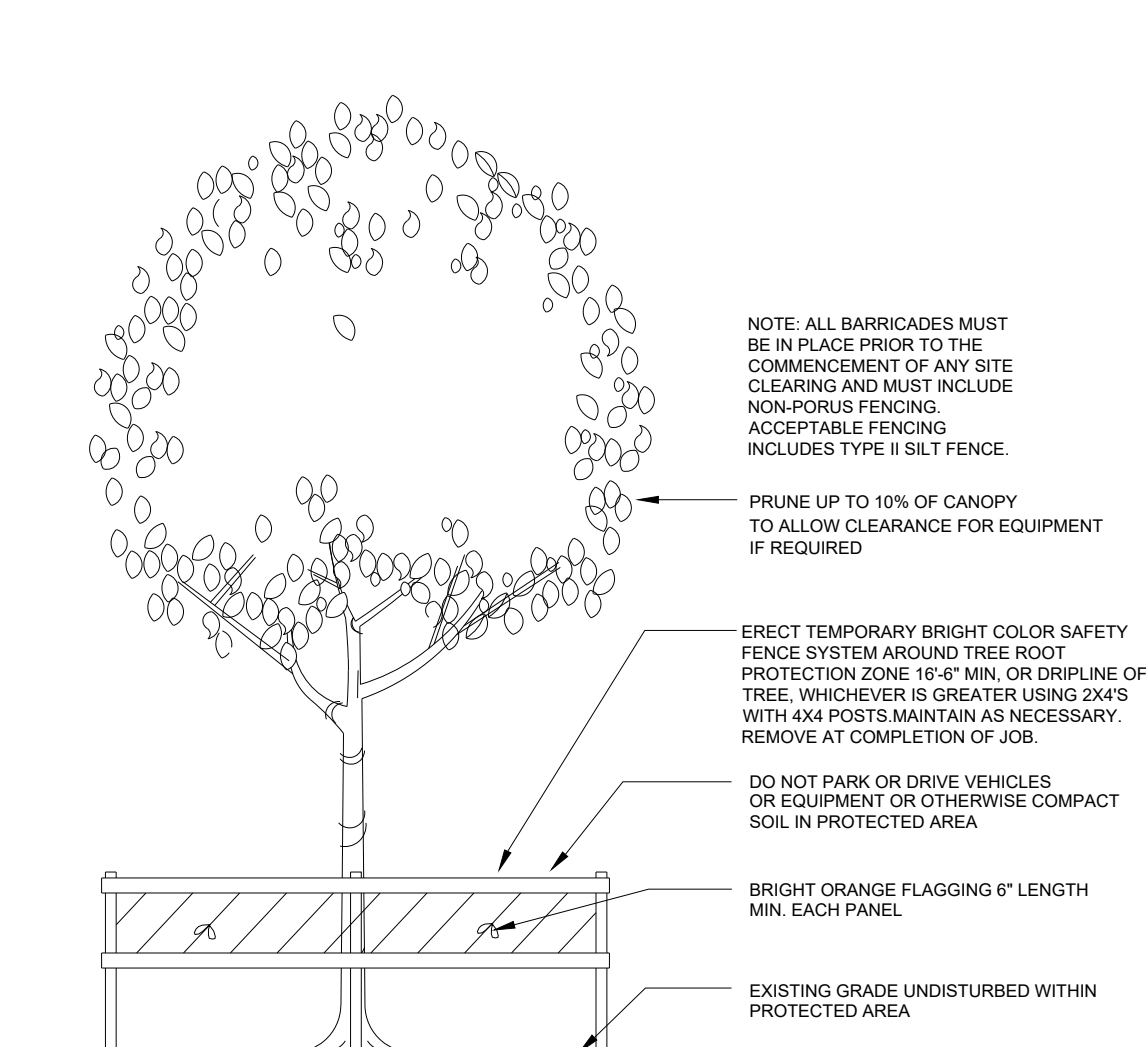
9.01 Upon completion of all work under this section, the Landscape Contractor shall clear the site of all debris, superfluous material and all equipment to the satisfaction of the Landscape Architect

9.02 End

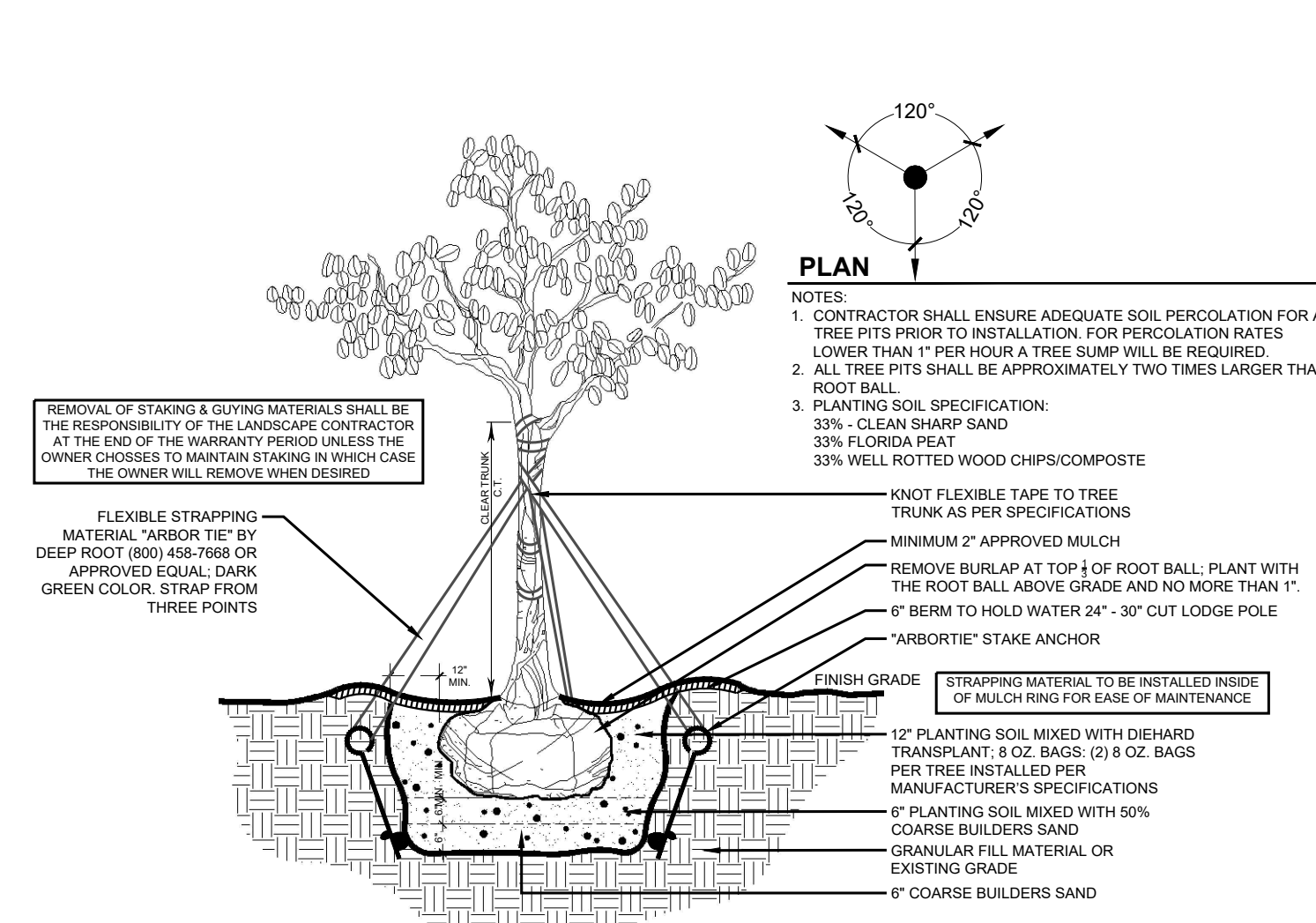
ABBREVIATIONS	
CAL	- CALIPER
BR	- BARE ROOT
CONC	- CONCRETE
C.T.	- CLEAR TRUNK
CY	- CUBIC YARD
EA	- EACH
EX	- EXISTING
FFE	- FINISHED FLOOR ELEVATION
FG	- FIELD GROWN
FM	- FORCE MAIN
FTB	- FULL TO BASE
G	- GALLON
GAL	- GALLON
GW	- GREY WOOD
HT	- HEIGHT
LF	- LINEAR FOOT
MT	- MULTI TRUNK
OC	- ON CENTER
OA	- OVERALL HEIGHT
PLTG	- PLANTING
SF	- SQUARE FEET
SPD	- SPREAD
TOB	- TOP OF BANK
TYP.	- TYPICAL

Susan Hall, ASLA
 LANDSCAPE ARCHITECTURE
 LC26000357
 4425 CROOKED MILE RD.
 MERRITT ISLAND, FL 32952
 PHONE: (321) 449-0790
 FAX: (321) 449-1225
 www.hall-la.com

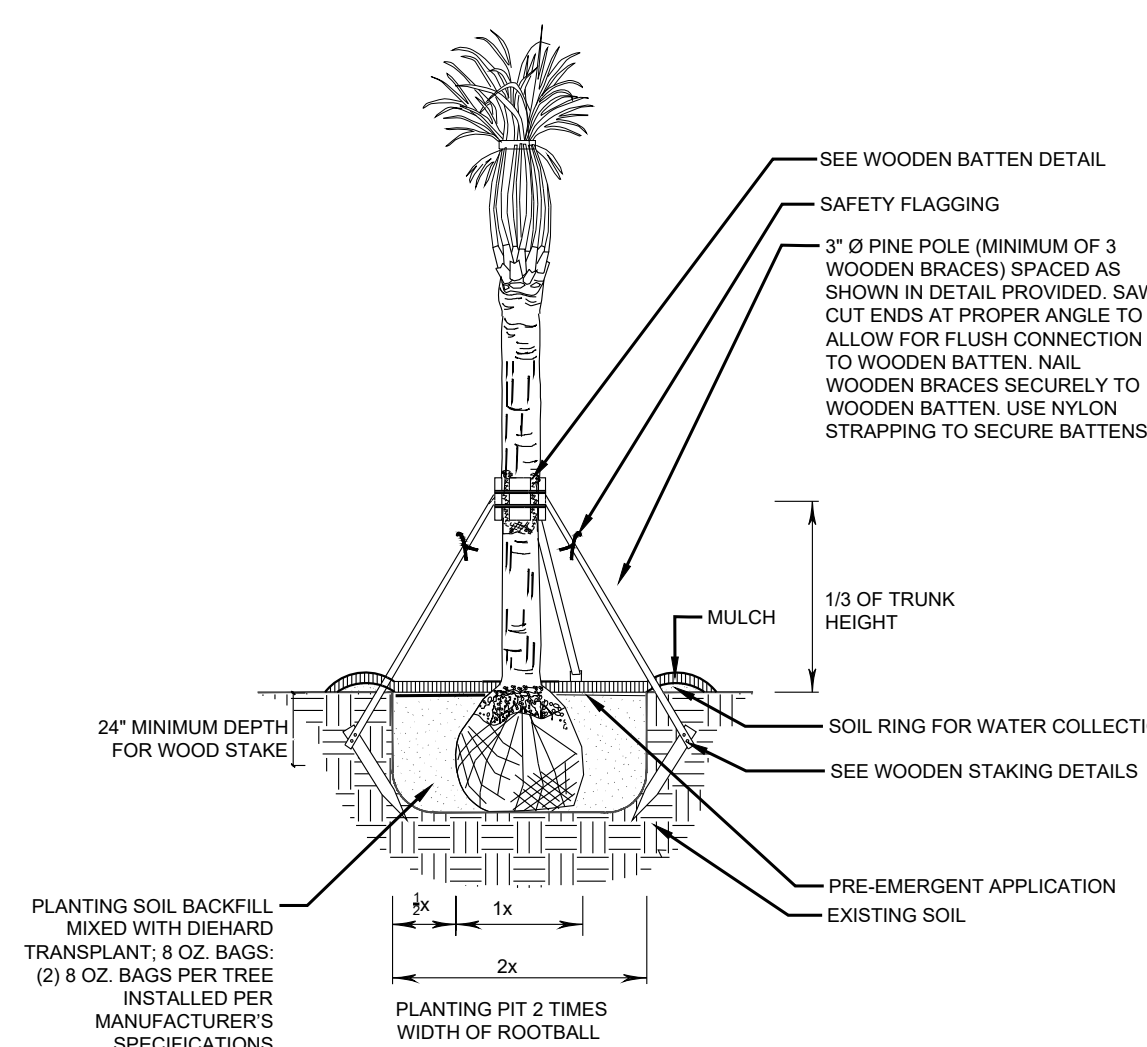
HILTON HOME 2 SUITES
 REYNOLDS DRIVE
 FORT PIERCE, FL



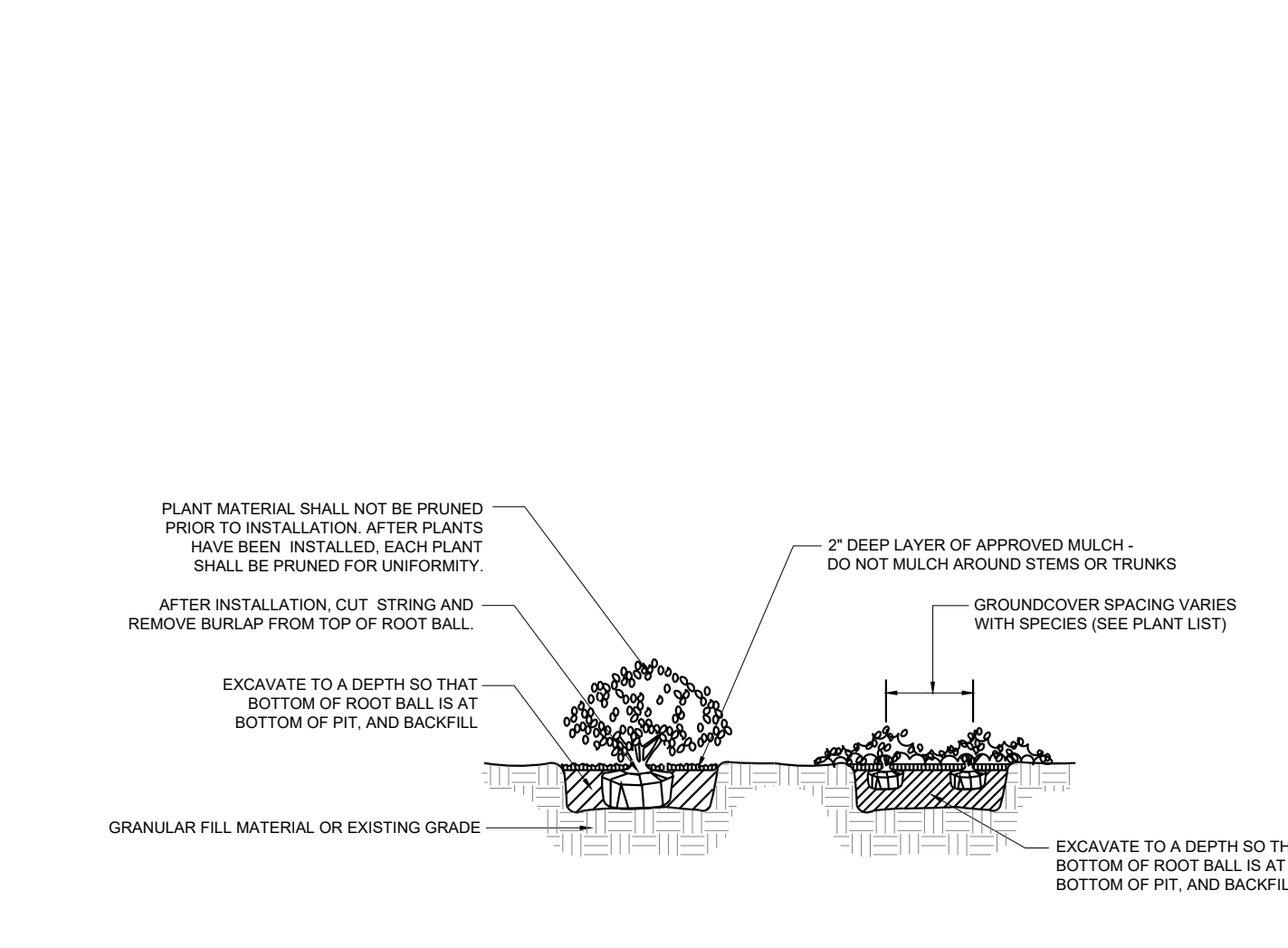
TREE PROTECTION DETAIL
 SCALE: NOT TO SCALE



TREE PLANTING & GUYING DETAIL
 SCALE: N.T.S.



PALM PLANTING DETAIL
 N.T.S.



SHRUB & GROUNDCOVER PLANTING DETAIL
 N.T.S.

SHEET TITLE
LANDSCAPE SPECIFICATIONS

DATE
 07.26.19

DESIGN
 S.H.

DRAWN
 M.M.

SCALE
 AS SHOWN

REVISIONS

SEAL

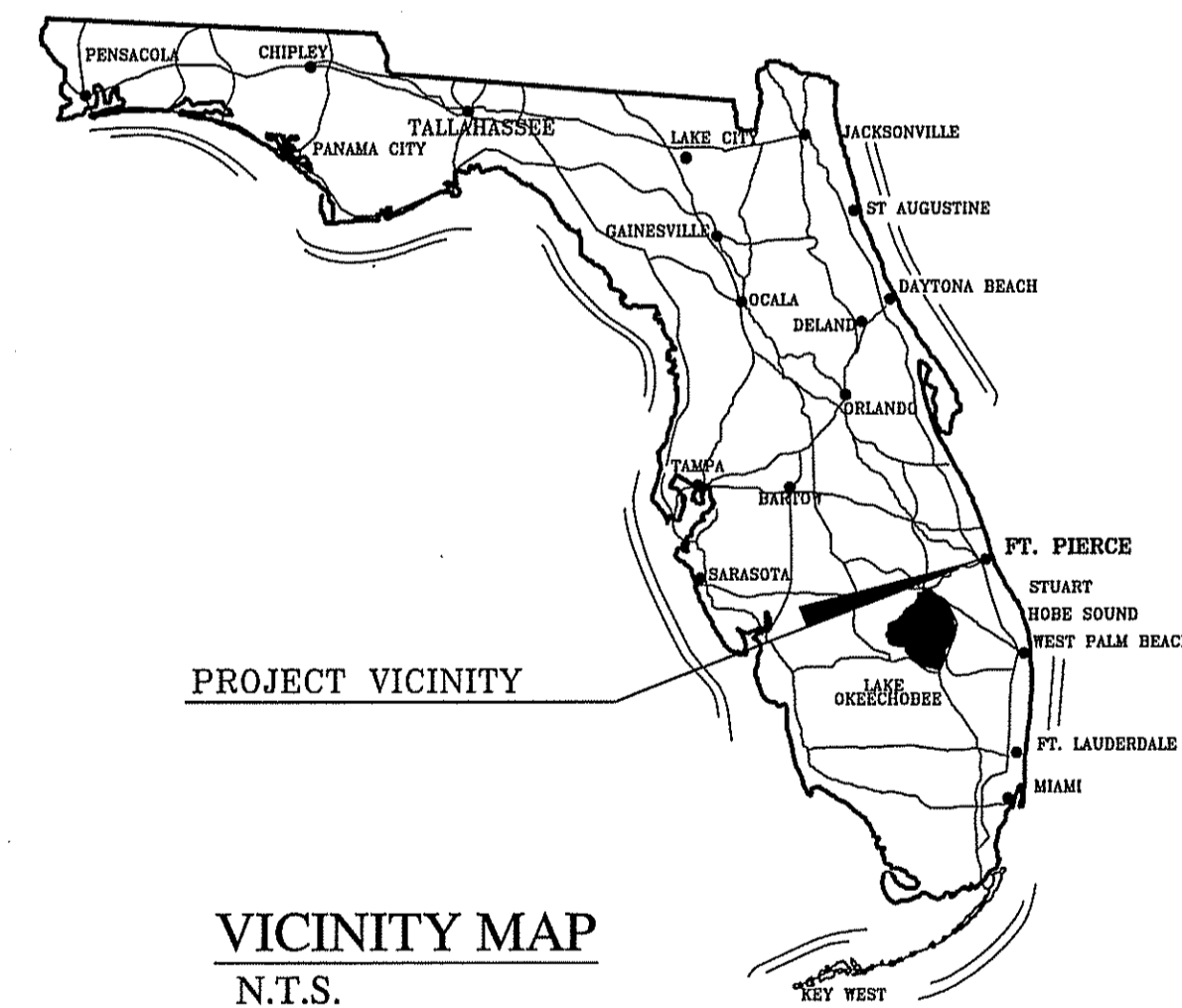
L-3 OF 3

CONSTRUCTION PLANS

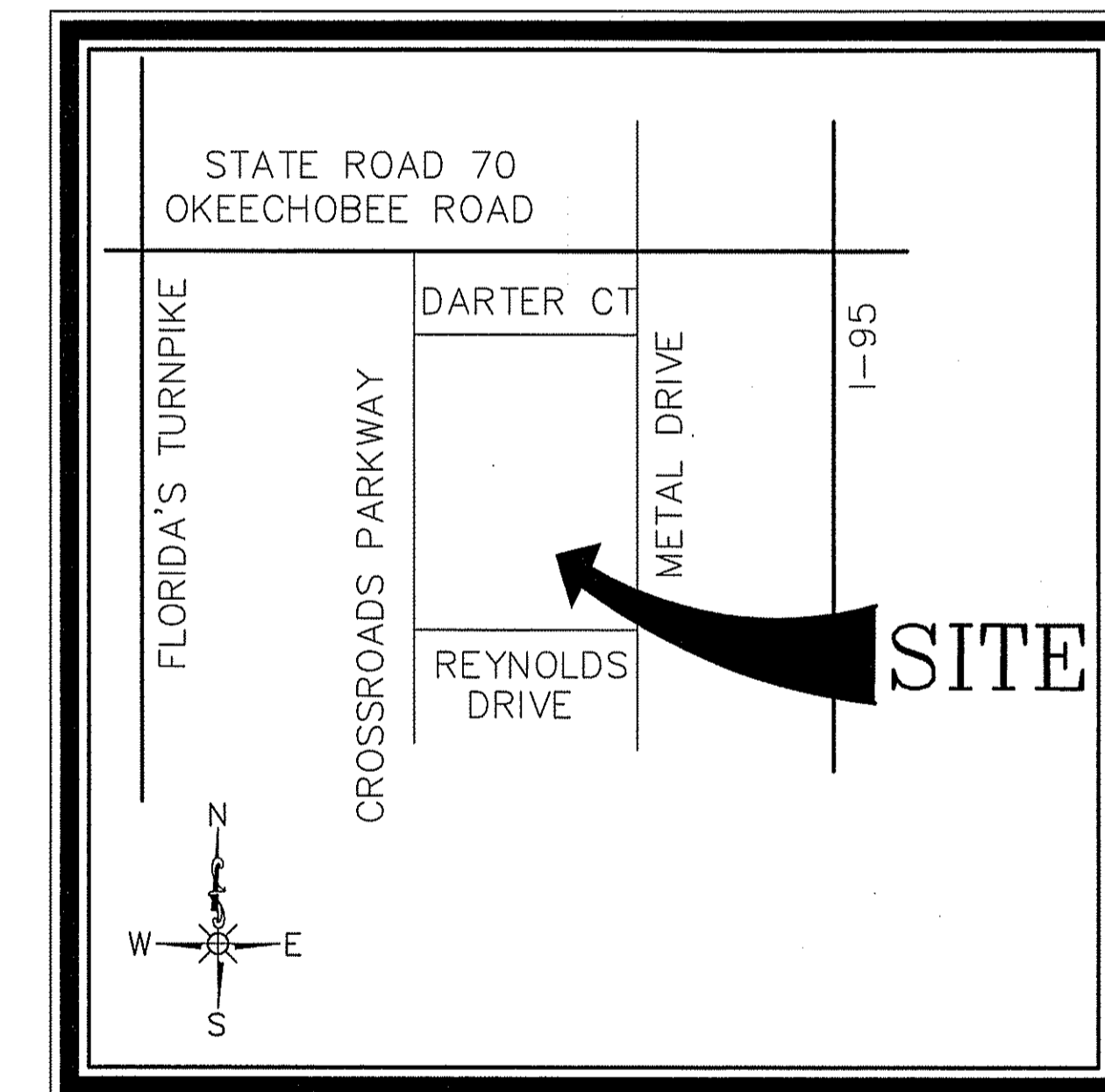
PREPARED FOR

FORT PIERCE HOTEL, LLC PROPOSED HOME 2 SUITES HOTEL

ST. LUCIE COUNTY, FLORIDA
SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST



INDEX TO SHEETS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	PAVING, GRADING & DRAINAGE PLAN
4	UTILITY PLAN
5	PAVING, GRADING & DRAINAGE DETAILS
6	WATER & SEWER DETAILS
7	EROSION CONTROL SHEET
8	GENERAL NOTES



LOCATION MAP

N.T.S.

DESCRIPTION

A PARCEL OF LAND LYING IN SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHWEST ¼ OF SAID SECTION 24; THENCE RUN NORTH 00°05'12" WEST ALONG SAID EAST LINE OF THE SOUTHWEST ¼ OF SECTION 24 FOR A DISTANCE OF 441.21 FEET TO THE NORTH RIGHT-OF-WAY LINE OF REYNOLDS DRIVE; THENCE NORTH 89°49'22" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE OF REYNOLDS DRIVE, A DISTANCE OF 291.14 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL:

THENCE CONTINUE NORTH 89°49'22" WEST, A DISTANCE OF 372.60 FEET; THENCE NORTH 00°05'42" WEST, A DISTANCE OF 232.75 FEET; THENCE NORTH 89°54'18" EAST, A DISTANCE OF 375.56 FEET; THENCE SOUTH 00°05'12" EAST, A DISTANCE OF 230.32 FEET TO THE POINT OF BEGINNING.

SAID LANDS CONTAINS 1.99 ACRES, MORE OR LESS.

CONSTRUCTION NOTES:

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF FORT PIERCE CODE OF ORDINANCES, SECTIONS 17 AND 22.



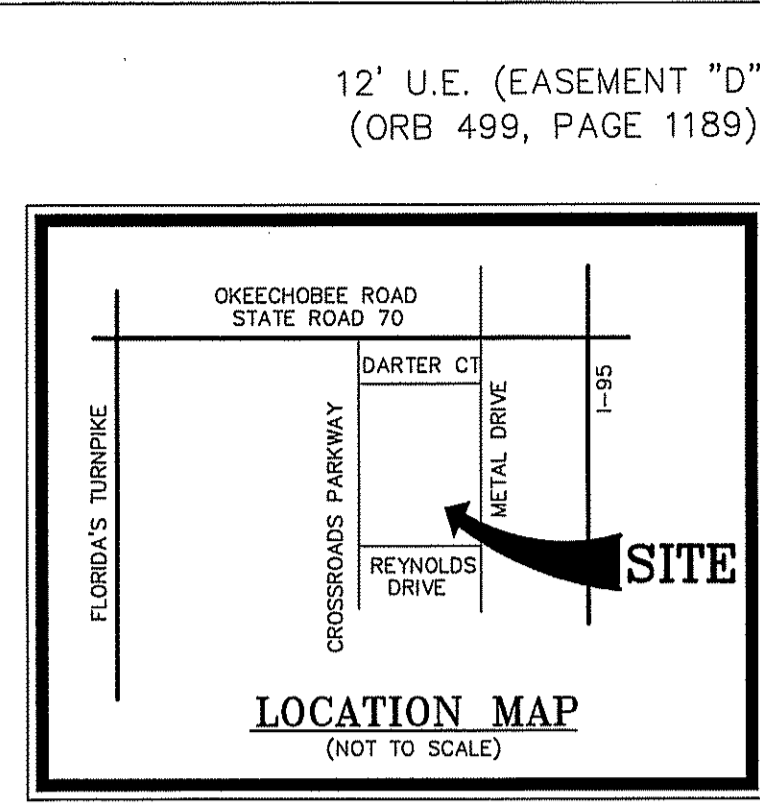
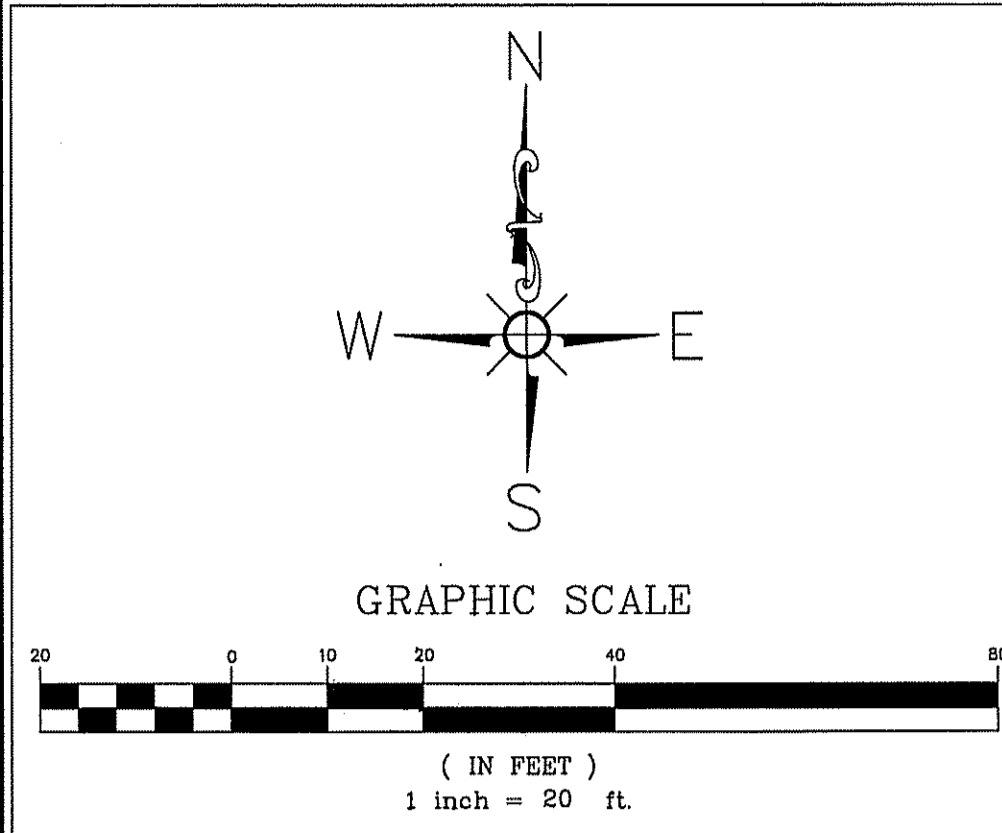
PREPARED BY
ATLANTIC CIVIL ENGINEERING, INC.
CONSULTING ENGINEERS

2552 PETERS ROAD • SUITE D • FORT PIERCE, FLORIDA 34945 • (772) 398-1520 PHONE • (772) 398-1521 FAX

State of Florida Board of Professional Engineers Authorization No. 32020

REVISION 1 ADD CONSTRUCTION NOTES 8/2/19

RICHARD M. LADYKO		FL P.E. No. 34288		DATE	
JOB No. 2019-0117				SHEET 1 of 8	



TRAFFIC STATEMENT
 ITE LAND USE (10TH EDITION) HOTEL (310) (X = # OF ROOMS; 100% OCCUPANCY)

DAILY TRIP GENERATION	T = 11.29 (X)-426.97 = 646 TRIPS
AM PEAK TRIP GENERATION	T = 0.50 (X)-5.34 = 42 TRIPS (25/IN AND 17/OUT)
PM PEAK TRIP GENERATION	T = 0.75 (X)+26.02 = 45 TRIPS (23/IN AND 22/OUT)

BUILDING SETBACKS

DIRECTION	MINIMUM SETBACK
FRONT	25.0'
SIDE	15.0'
REAR	15.0'

OWNER: AANJALI, LLC
 EXISTING ZONING: C3
 LAND USE: GC
 12' EASEMENT "C"
 (ORB 499, PAGE 1189)

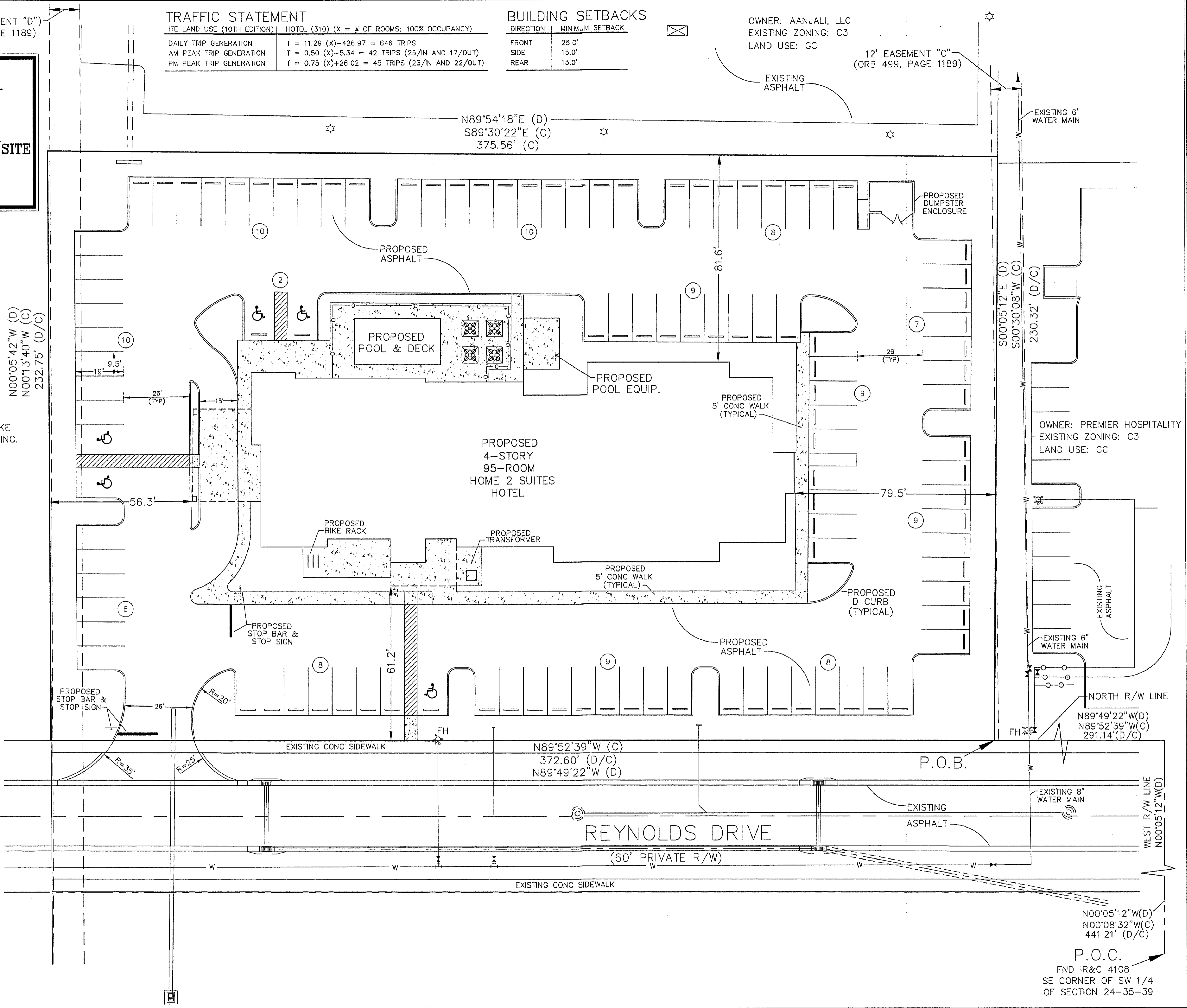
PROPOSED SITE DATA

COMPONENT	ACRES	SQ. FT.	% OF SITE
PROPOSED BUILDING	0.33	14,238	16.4
PROPOSED DUMPSTER, PAVING & WALKS	1.18	51,532	59.5
TOTAL IMPERVIOUS	1.51	65,770	75.9
OPEN SPACE	0.48	20,840	24.1
TOTAL SITE AREA	1.99	86,610	100.0

GENERAL NOTES

- PROJECT NAME: HOME 2 SUITES
- LOCATION: SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST FORT PIERCE, FLORIDA
- OWNER: PREMIER HOSPITALITY, INC. 1500 S.E. 5TH AVENUE DANIA BEACH, FLORIDA 33304
- APPLICANT: FORT PIERCE HOTEL, LLC 1500 S.E. 5TH AVENUE DANIA BEACH, FLORIDA 33304
- ENGINEER: ATLANTIC CIVIL ENGINEERING, INC. 2552 PETERS ROAD SUITE D FORT PIERCE, FLORIDA 34945 PHONE: (772) 398-1520
- SURVEYOR: LAVENTURE & ASSOCIATES, INC. 2552 PETERS ROAD SUITE D FORT PIERCE, FLORIDA 34945 PHONE: (772) 398-6430
- DESCRIPTION: A PARCEL OF LAND LYING IN SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 24; THENCE RUN NORTH 00°05'12" WEST ALONG SAID EAST LINE OF THE SOUTHWEST 1/4 OF SECTION 24 FOR A DISTANCE OF 441.21 FEET TO THE NORTH RIGHT-OF-WAY LINE OF REYNOLDS DRIVE; THENCE NORTH 89°49'22" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE OF REYNOLDS DRIVE, A DISTANCE OF 291.14 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL:
 THENCE CONTINUE NORTH 89°49'22" WEST, A DISTANCE OF 372.60 FEET; THENCE NORTH 00°05'42" WEST, A DISTANCE OF 232.75 FEET; THENCE NORTH 89°54'18" EAST, A DISTANCE OF 375.56 FEET; THENCE SOUTH 00°05'12" EAST, A DISTANCE OF 230.32 FEET TO THE POINT OF BEGINNING.
 P.O.B. FND IR&C 4108 SE CORNER OF SW 1/4 OF SECTION 24-35-39
- PARCEL ID NO: 2324-341-0002-0003 (SUBJECT TO CHANGE BASED ON PENDING PLAT)
- TYPE OF PROJECT: 4-STORY, 95-ROOM HOTEL
- PROJECT SIZE: 86,610 SQ. FT. (1.99 ACRES) GROSS AREA
- BUILDING SIZE: 14,238 SQ. FT. (0.33 ACRES) (1ST FLOOR FOOTPRINT)
- FUTURE LAND USE: C3 (COMMERCIAL)
- EXISTING ZONING: GC (COMMERCIAL - GENERAL)
- FLOOD ZONE: ZONE X
- PARKING: REQUIRED 105 SPACES (1.1 SPACE/ROOM) PROVIDED 105 SPACES (INCLUDES 5 HANDICAPPED SPACES)
- DEVELOPMENT SCHEDULE: BEGIN CONSTRUCTION: OCTOBER, 2019 CONSTRUCTION TO BE COMPLETED: 365 DAYS
- UTILITY SERVICE: WATER SERVICE FORT PIERCE UTILITIES AUTHORITY SEWER SERVICE FORT PIERCE UTILITIES AUTHORITY
- SITE DRAINAGE: STORMWATER MANAGEMENT WILL CONSIST OF AN ON-SITE STORMWATER MANAGEMENT SYSTEM WITH A PROPOSED OUTFALL TO THE EXISTING, PERMITTED STORMWATER MANAGEMENT TRACT SOUTH OF THE SUBJECT SITE. DESIGN SHALL MEET CITY OF FORT PIERCE AND SOUTH FLORIDA WATER MANAGEMENT DISTRICT CRITERIA.

OWNER: STEAK & SHAKE OPERATIONS, INC.
 EXISTING ZONING: C3
 LAND USE: GC



OWNER: PREMIER HOSPITALITY
 EXISTING ZONING: C3
 LAND USE: GC

SITE PLAN
HOME 2 SUITES

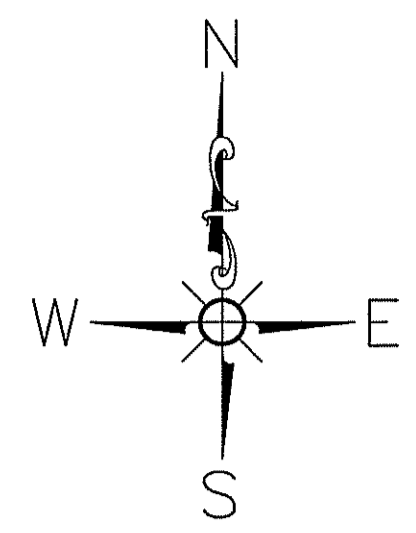
- REVISIONS -

NO.	DESCRIPTION	BY	DATE

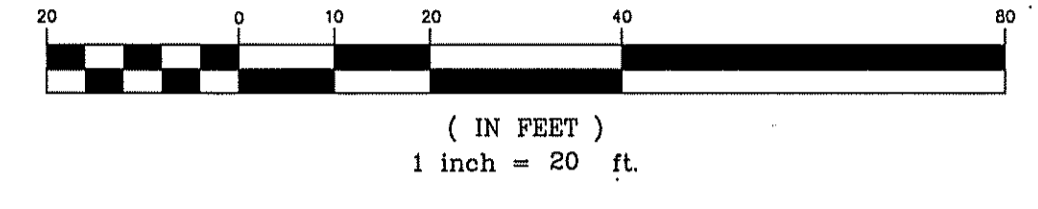
DATE	BY
5/31/19	JOE M.
5/30/19	RCL
6/04/19	RCL
6/07/19	QA/GC
6/07/19	RML

ATLANTIC CIVIL ENGINEERING, INC.
CONSULTING ENGINEERS
 2552 PETERS ROAD SUITE D
 FORT PIERCE, FLORIDA 34945
 (772) 398-1520 PHONE (772) 398-1521 FAX
 CERTIFICATE OF AUTHORIZATION #32020

DATE: 6/07/19	JOB No. 2019-0117
HORIZ SCALE: 1"=20'	SHEET 2 OF 8
VERT SCALE: N/A	
RICHARD M. LADYKO FL P.E. No. 34288 DATE	



GRAPHIC SCALE



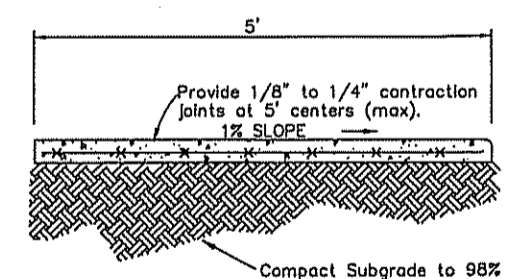
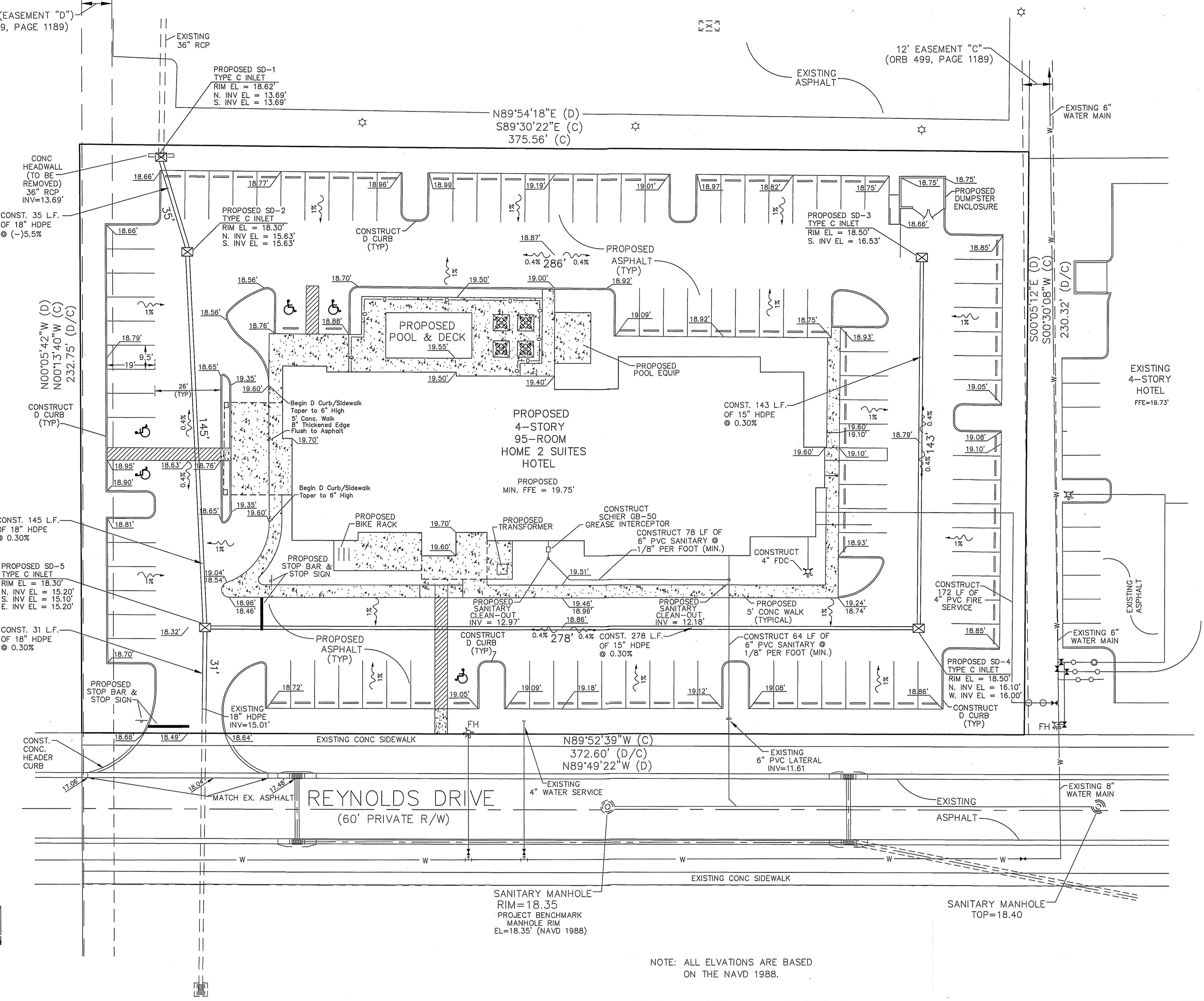
STORMWATER MANAGEMENT CRITERIA SUMMARY (1988 NAVD)

CONTROL ELEVATION	12.53' (NAVD 1988; PER SFWMD PERMIT 56-00541-S)
MINIMUM ROAD CROWN EL.	17.07' (NAVD 1988)
MINIMUM FINISHED FLOOR EL.	18.57' (NAVD 1988)
100 YR. - 1 DAY STORM	
100 YR. 3 DAY, 0 DISCHARGE	

17.2' EXISTING ELEVATIONS
18.20' PROPOSED ELEVATIONS

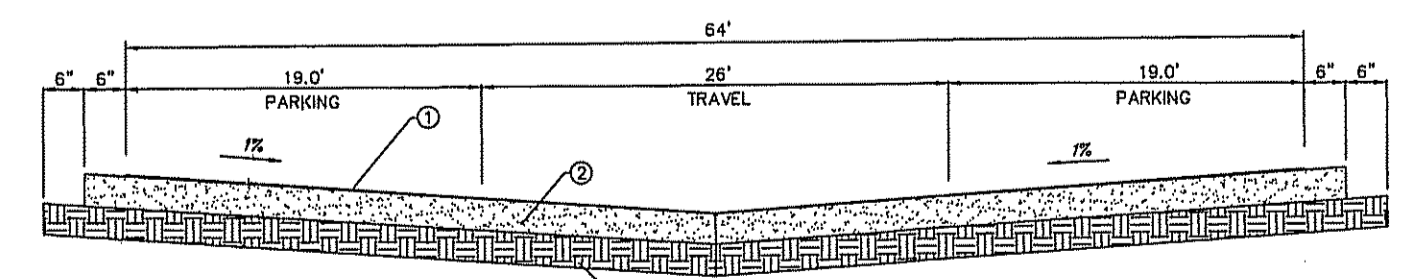
12' U.E. (EASEMENT "D")
(ORB 499, PAGE 1189)

12' EASEMENT "C"
(ORB 499, PAGE 1189)



NOTES:
1. Use 3,000 P.S.I. Concrete At 28 Days for sidewalk construction.

4\"/>



- ① 1-1/2" FDOT SUPERPAVE SP-12.5
- ② 8" STABILIZED LIMEROCK BASE (LBR 100 (MIN)**)
- ③ 12" STABILIZED SUBGRADE (LBR 40 (MIN)**)
- ** CONTRACTED TO 98% OF MAX. DRY DENSITY AS PER AASHTO T-180

INVERTED CROWN TYPICAL PAVEMENT SECTION
N.T.S.

NOTE: ALL ELEVATIONS ARE BASED ON THE NAVD 1988.

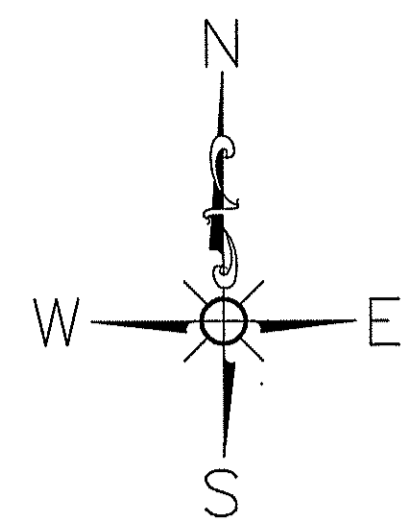
PAVING, GRADING & DRAINAGE PLAN
HOME 2 SUITES

- REVISIONS -		BY	DATE

	BY	DATE
DRAWN	JOE M	5/31/19
DESIGNED	RCL	5/30/19
CHECKED	RCL	6/04/19
QA/QC	RML	6/7/19
SURVEY REF.	DRAWING NAME	
19.0530-1-3-2	2017-0109-PGD	

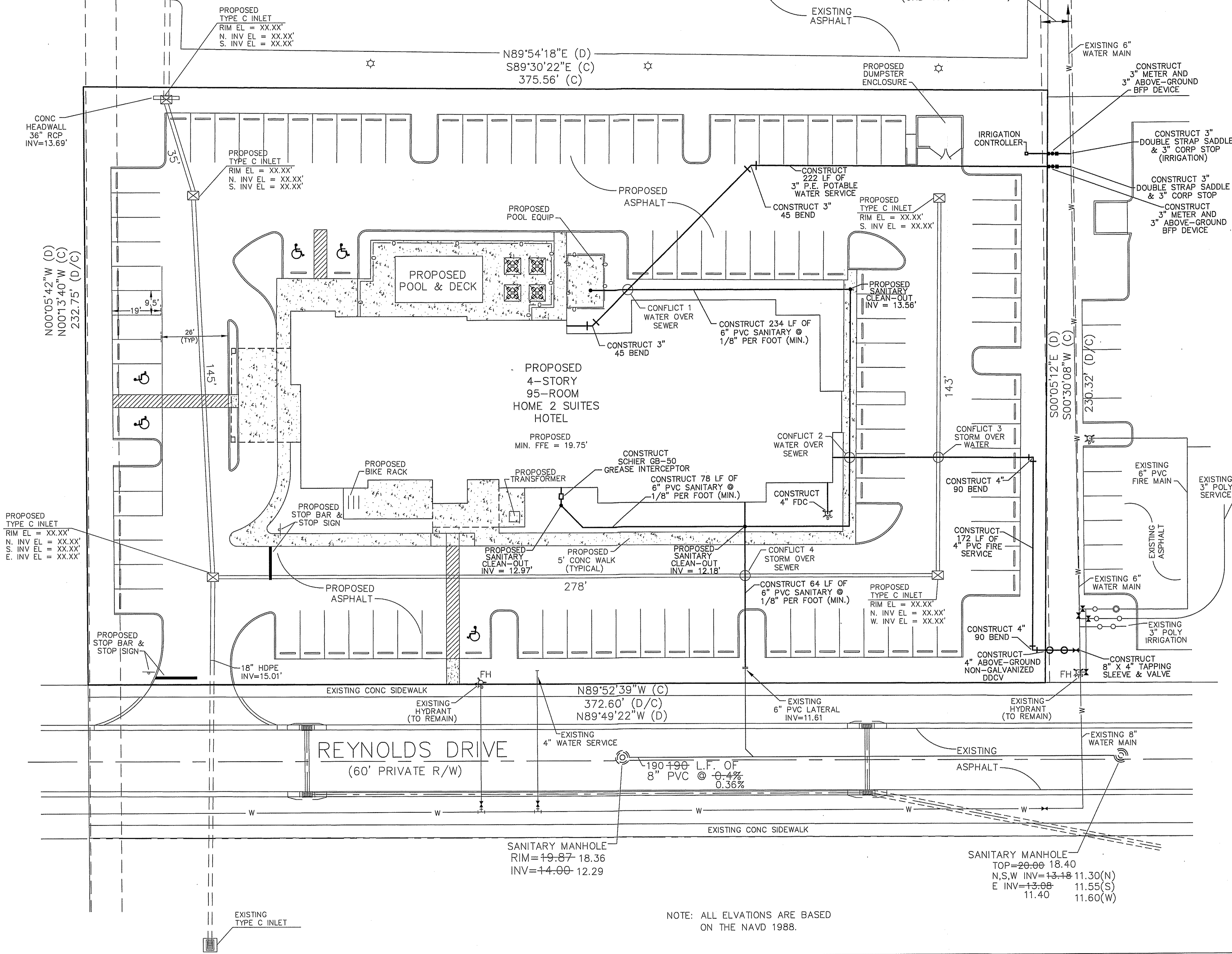
ATLANTIC CIVIL ENGINEERING, INC.
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(772) 398-1520 PHONE (772) 398-1521 FAX
CERTIFICATE OF AUTHORIZATION #32020

DATE: 6/17/19	JOB No. 2019-0117
HORIZ SCALE: 1"=20'	SHEET 3 OF 8
VERT SCALE: N/A	
RICHARD M. LADYKO FL. P.E. No. 34288 DATE	



12' U.E. (EASEMENT "D")
(ORB 499, PAGE 1189)

12' EASEMENT "C"
(ORB 499, PAGE 1189)



NOTE: ALL ELEVATIONS ARE BASED ON THE NAVD 1988.

UTILITY PLAN

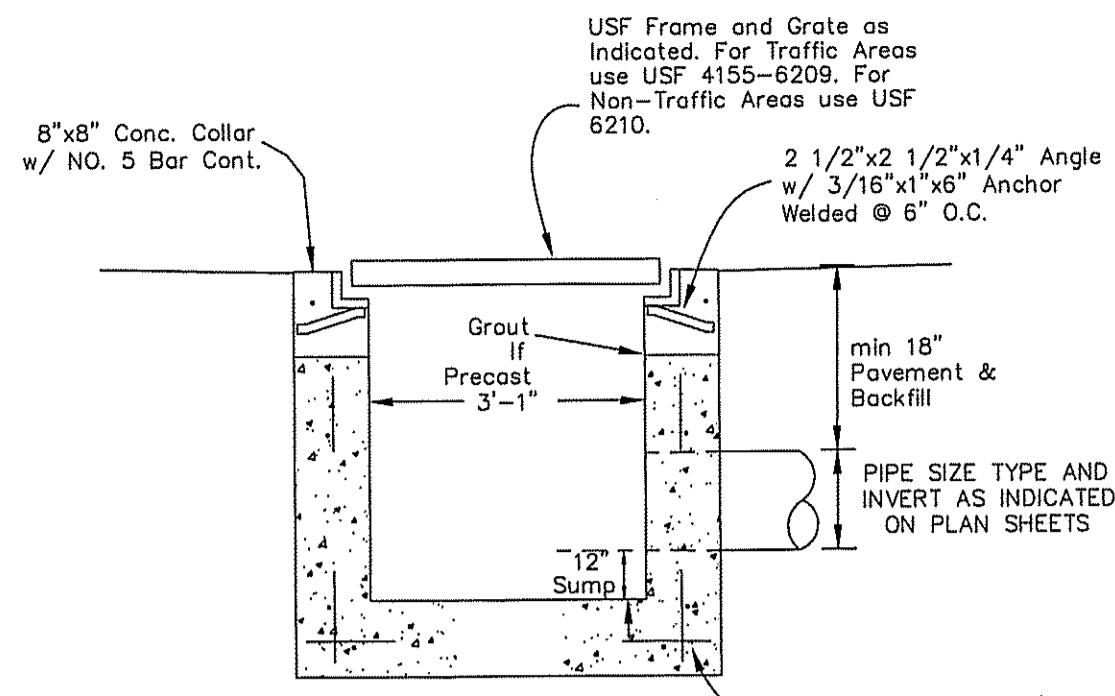
HOME 2 SUITES

- REVISIONS -

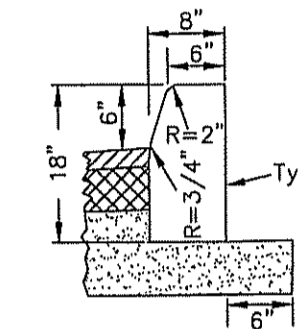
BY	DATE	BY	DATE
DESIGNED	RCL	5/30/19	
CHECKED	RCL	6/04/19	
QA/QC	RML	6/7/19	

ATLANTIC CIVIL ENGINEERING, INC.
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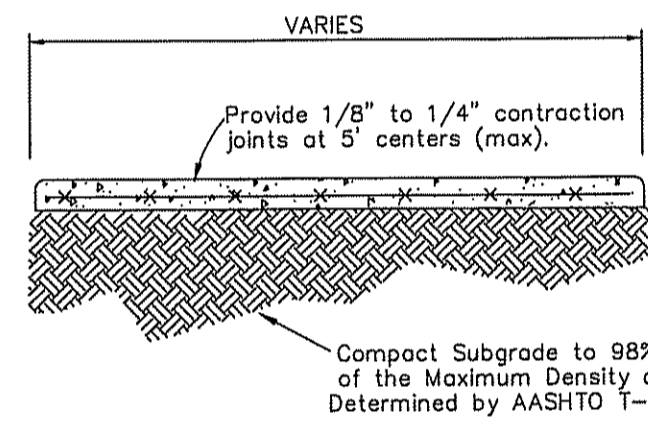
DATE: 6/07/19	JOB No. 2019-0117
HORIZ SCALE: 1"=20'	SHEET 4 OF 8
VERT SCALE: N/A	
RICHARD M. LADYKO FL P.E. No. 34288 DATE	



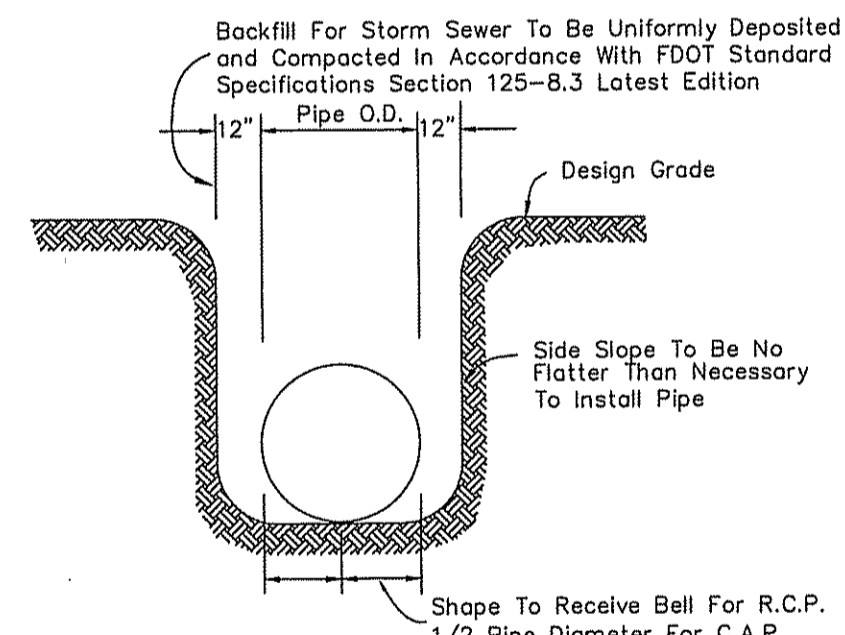
NOTES:
1. Construct Type "C" Inlet per FDOT Index #232.
TYPICAL TYPE "C" INLET



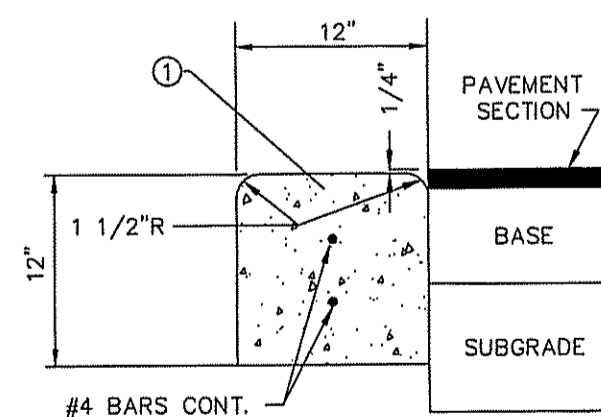
NOTES:
1. Use 3,000 P.S.I. concrete at 28 days for construction.
2. Subgrade to extend an additional 6" beyond Type "D" Curb.
3. Type "D" Curb to be constructed in accordance with FDOT Index #300.
TYPE "D" CURB



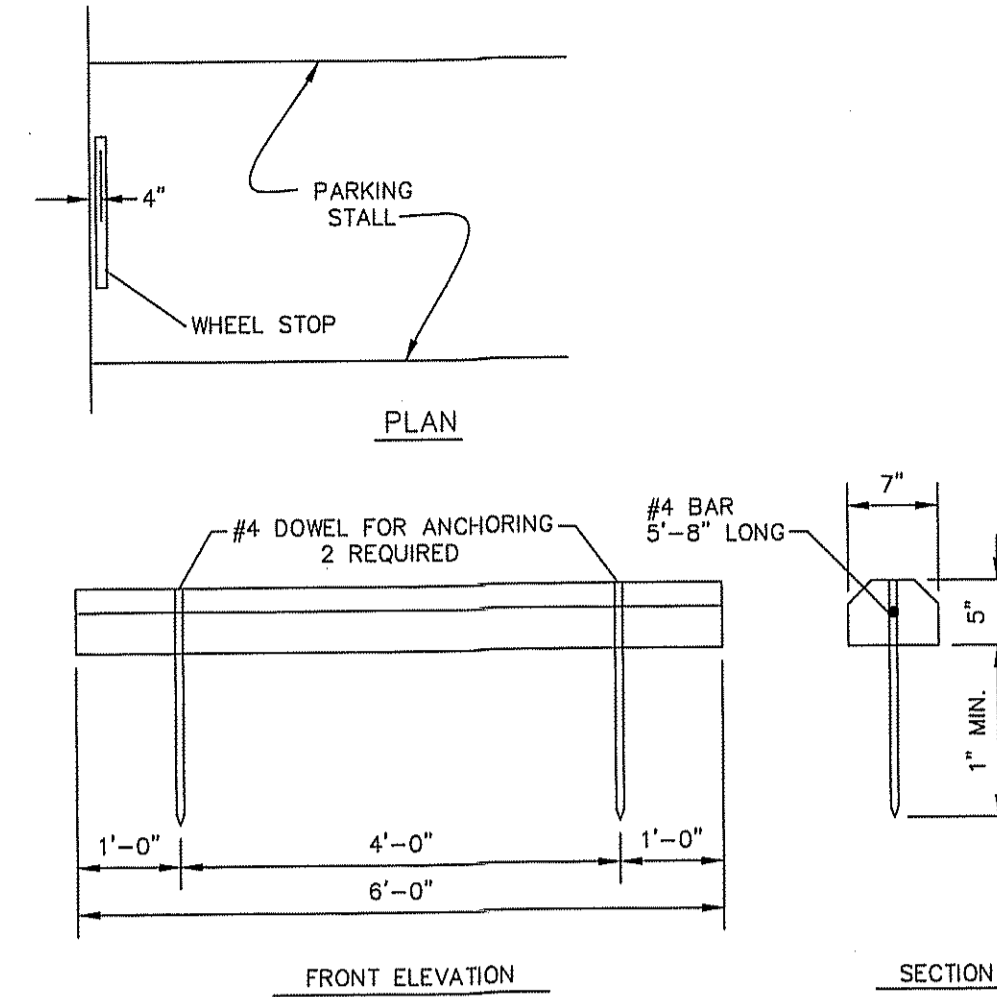
NOTES:
1. Use 3,000 P.S.I. Concrete At 28 Days for sidewalk construction.
4" THICK SIDEWALK DETAIL
△ CONSTRUCT SIDEWALKS PER FDOT INDEX 310 PER LATEST FDOT DESIGN STANDARDS



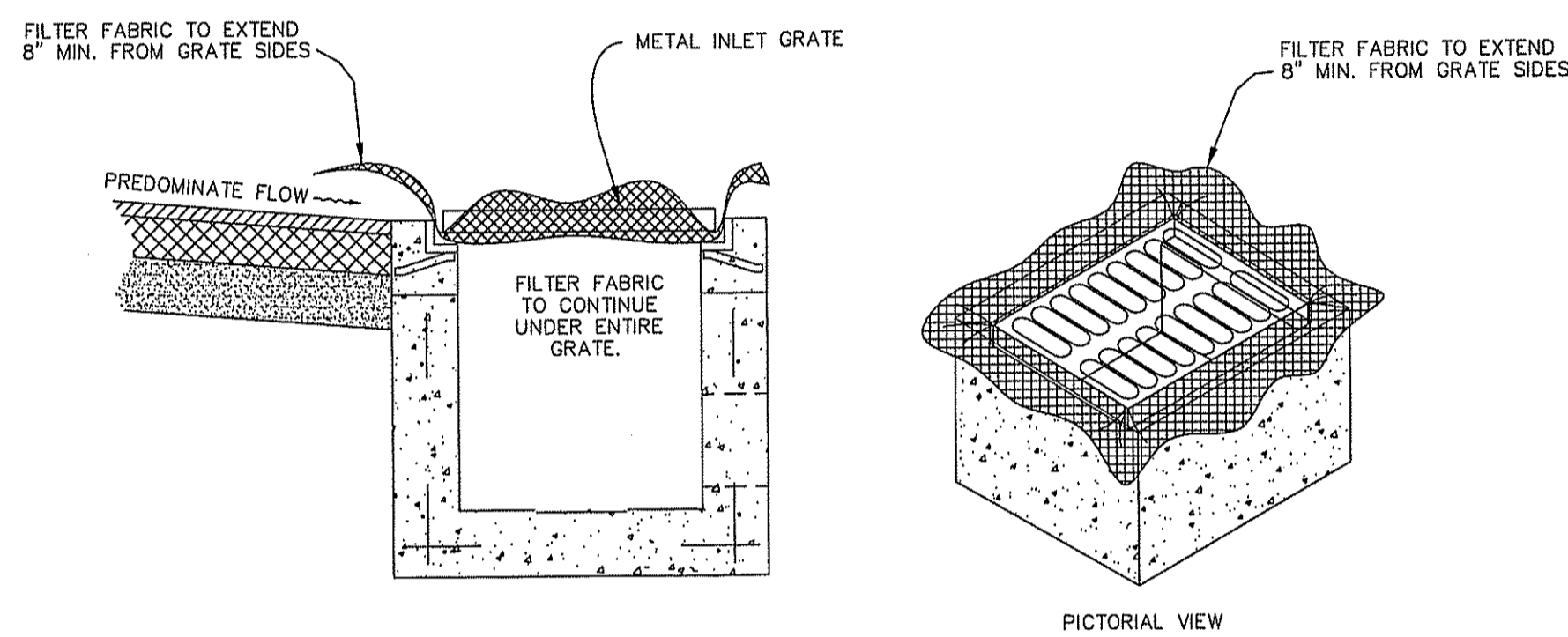
STORM PIPE BEDDING DETAIL



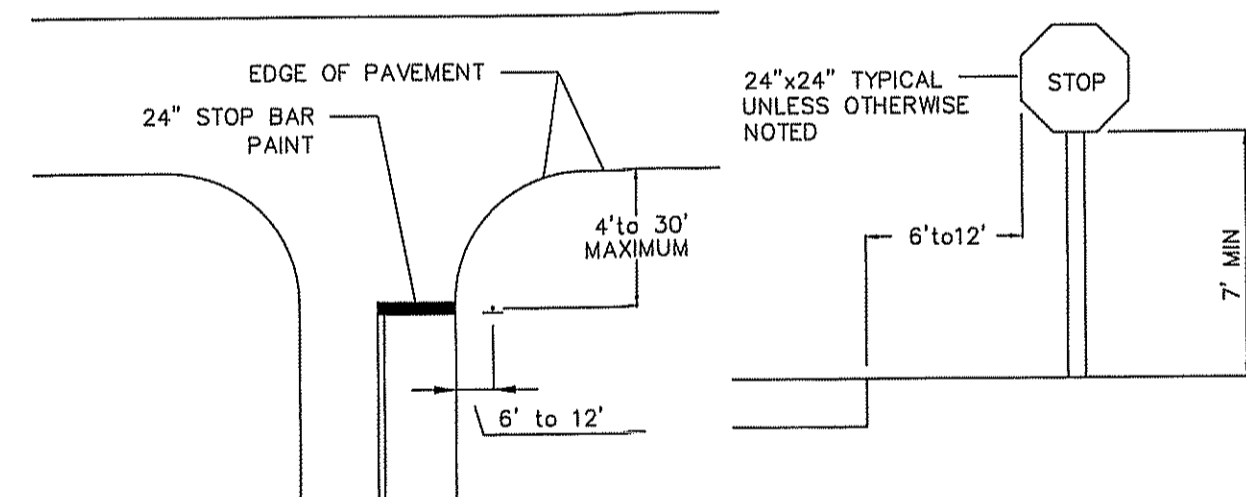
NOTE: ALL CURBS TO BE SAWCUT @ 5' INTERVALS.
12" HEADER CURB ① CONSTRUCT W/ 3,000 PSI (MIN.) CONCRETE AT 28 DAYS



PRECAST CONCRETE WHEEL STOP



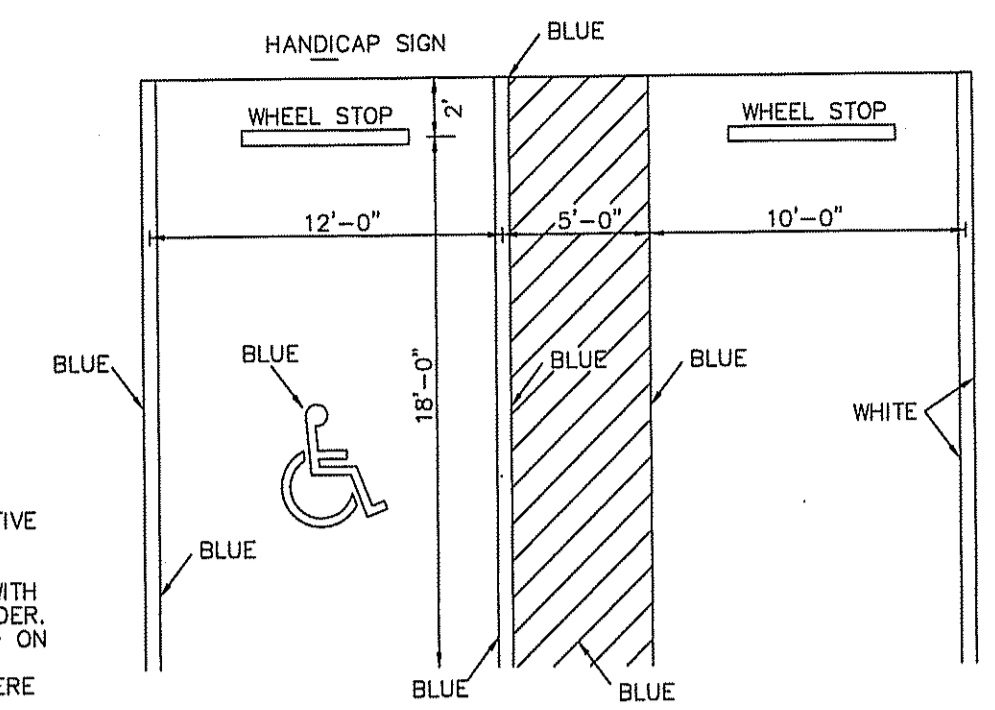
GENERAL NOTES
1. THIS INLET IS DESIGNED WITH FILTER FABRIC PROTRUDING 8" FROM SIDES FOR GRIPPING WHEN SEDIMENT NEEDS TO BE CLEARED AFTER FINAL CONSTRUCTION.
2. FILTER FABRIC TO BE INSTALLED AND TRIMMED BEFORE GRATE IS INSET.
FILTER FABRIC DETAIL



TYPICAL STOP SIGN LOCATION DETAIL

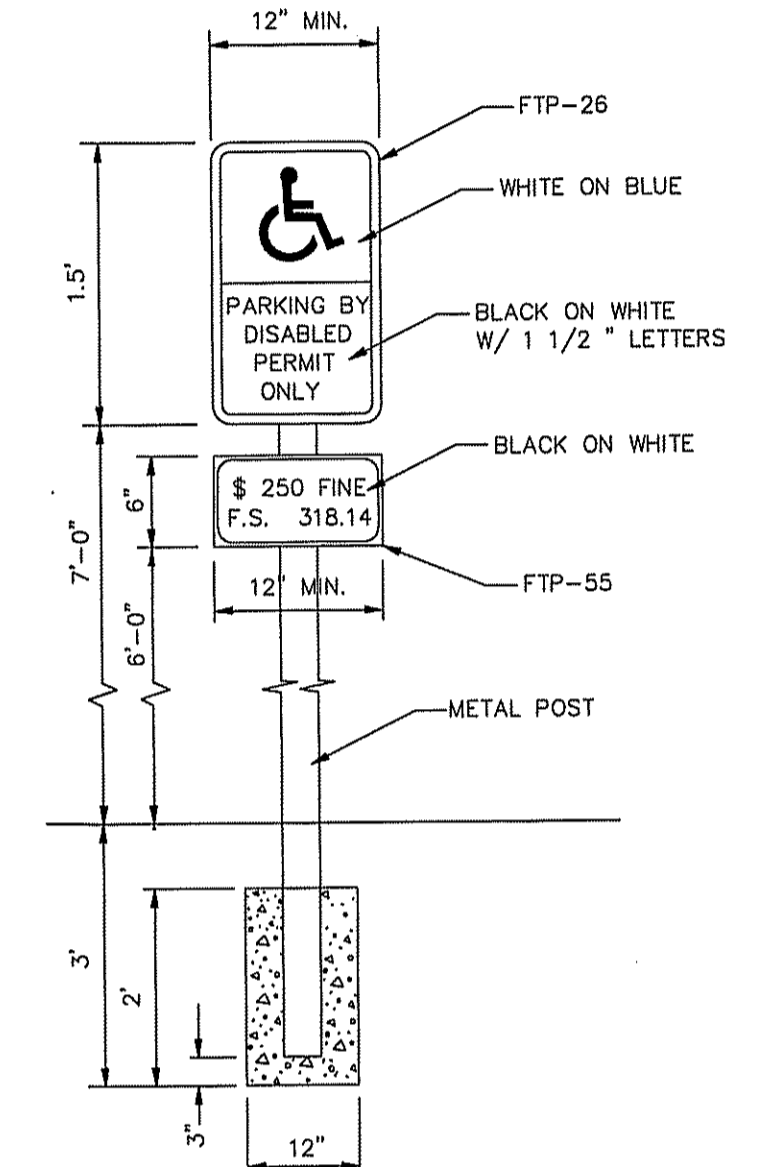


NOTES:
1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. FTP 25 IS FOR USE IN AREAS WHERE SPACE IS LIMITED.

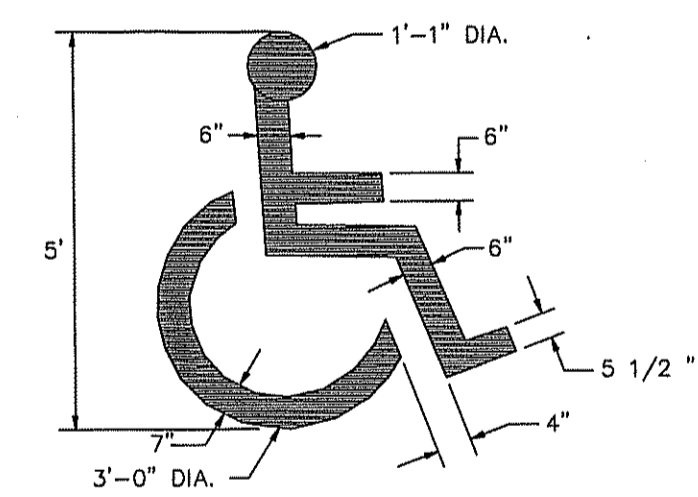


HANDICAP SPACE DETAIL

STRIPING & SIGNAGE PER FDOT INDEX 17346 AND 17355 PER LATEST FDOT DESIGN STANDARDS



HANDICAP PARKING SIGN



SYMBOL SHALL BE PAINTED WITH WHITE PAINT AND TO THE DIMENSIONS SHOWN
HANDICAP SYMBOL PAINT DETAIL

STRIPING & SIGNAGE PER FDOT INDEX 17346 AND 17355 PER LATEST FDOT DESIGN STANDARDS

PAVING, GRADING, AND DRAINAGE
DETAILS
HOME 2 SUITES

- REVISIONS -

BY DATE

BY	DATE
DRAWN: JOE M.	5/31/19
DESIGNED: RCL	5/30/19
CHECKED: RCL	6/04/19
QA/QC: RML	6/07/19
SURVEY REF: 19.0530-1-3-2	DRAWING NAME: 2019-0117-PGD-DETAILS



ATLANTIC CIVIL ENGINEERING, INC.
CONSULTING ENGINEERS
2552 PETERS ROAD SUITE D
FORT PIERCE, FLORIDA 34945
(772) 398-1520 PHONE (772) 398-1521 FAX
CERTIFICATE OF AUTHORIZATION #32020

DATE: 6/07/19
HORIZ SCALE: 1"=40'
VERT SCALE: N/A

JOB No. 2019-0117
SHEET 5 OF 8

RICHARD M. LADYKO, P.E. #34288 DATE

**FORT PIERCE UTILITIES AUTHORITY
WATER DISTRIBUTION NOTES**

- ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
- WATER MAINS WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC) SHALL CONFORM TO AWWA C-900 OR C-905, PRESSURE CLASS 150, DR (11). WATER MAINS WHERE SPECIFIED AS POLYETHYLENE (PE) SHALL CONFORM TO AWWA C-901 OR C-906, STANDARD CODE DESIGNATION F3408, PIPE CLASS 200, DIMENSION RATIO (DR) 17 FOR DIRECT BURY, (DR) 11 FOR 2 INCH AND SMALLER PIPELINES.
- WATER MAIN, WHERE SPECIFIED AS DUCTILE IRON PIPE, SHALL CONFORM TO ANSI/AWWA C151/A21.51 AND SHALL BE PRESSURE CLASS 250 (MINIMUM).
- POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR OR WHITE IN COLOR WITH BLUE STRIPES. THE USE OF IDENTIFICATION TAPE ATTACHED TO THE TOP OF THE PIPE MAY BE USED IN LIEU OF MARKING ON THE PIPE. ALSO DIP PIPE SHALL REQUIRE THE USE OF IDENTIFICATION TAPE AND THIN WIRE.
- FITTINGS SHALL BE DUCTILE IRON CONFORMING TO ANSI/AWWA C-110/A21.10, CLASS 250 MIN. CEMENT LINED AND FACTORY COATED.
- GATE VALVES SHALL BE MUELLER RESILIENT SEAT, KENNY-SEAL, AMERICAN OR APPROVED EQUAL. VALVES SHALL CONFORM TO AWWA C-509.
- WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY/COUNTY/FOOT IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES. THE COMPACTION REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
- NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE FPUA ENGINEER AND CITY/COUNTY/FOOT ENGINEER.
- THE CONTRACTOR SHALL NOTIFY FPUA ENGINEERING AND CITY/COUNTY/FOOT ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, FPUA, AND CITY/COUNTY/FOOT ENGINEER SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND APPROVED BY THE CITY ENGINEER.
- MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND CITY/COUNTY/FOOT ENGINEERING. PIPES WITH COVER LESS THAN 30 INCHES SHALL BE CONSTRUCTED OF DUCTILE IRON OR IN PVC CASING.
- EXISTING AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS.
- DISTURBED UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR.
- WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AWWA C-651 FOR DISINFECTION.

WATER DISTRIBUTION		G-1 NOTES	
DATE: 05/14/2019	REVISION: 1	DATE: 05/14/2019	REVISION: 1
DESIGNED BY: J.M.	CHECKED BY: R.C.L.	DESIGNED BY: J.M.	CHECKED BY: R.C.L.
APPROVED BY: J.M.	DATE: 05/14/2019	APPROVED BY: J.M.	DATE: 05/14/2019

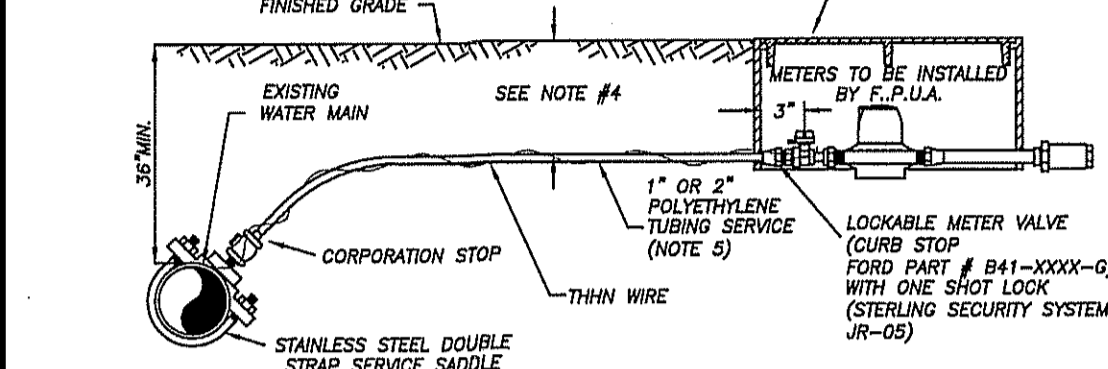
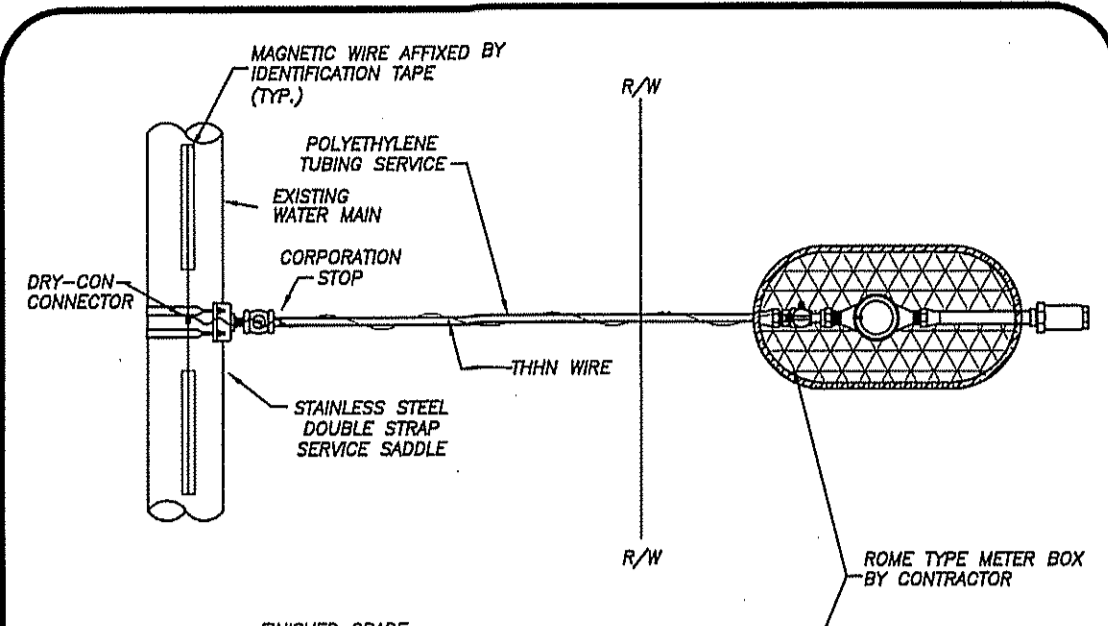
**FORT PIERCE UTILITIES AUTHORITY
WATER DISTRIBUTION NOTES
CONTINUED**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING UTILITIES AND DRAINAGE.
- THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER INCLUDING LOCATIONS OF VALVES, FITTINGS, SERVICE CONNECTIONS, BLOWOFFS, AIR RELEASE VALVES, AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT, AS REQUIRED BY THE UTILITIES ENGINEER.
- THE CONTRACTOR SHALL TAP EXISTING LINES UNDER THE SUPERVISION OF THE FORT PIERCE UTILITIES AUTHORITY ONLY AFTER TESTING AND DISINFECTION HAS BEEN COMPLETED AND APPROVED ON THE TAPPING VALVE AND SLEEVE.
- WATER MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN WIRE STRAPPED (BLUE IN COLOR) AND IDENTIFICATION TAPE WITH "WATER" MARKED ON TAPE, PERMANENTLY ATTACHED TO THE TOP OF THE WATER MAIN IN ACCORDANCE WITH THE FORT PIERCE UTILITIES AUTHORITY SPECIFICATIONS.
- SERVICE TAPS SHALL BE PLACED APPROXIMATELY TEN FEET AWAY FROM GATE VALVES, AS SHOWN, FOR TESTING. FOLLOWING TESTING AND STERILIZATION OF WATER LINE, CONTRACTOR SHALL PLACE A BRASS PLUG IN CORPORATION STOPS AND CURB STOPS SHALL BE REMOVED FROM TESTING LOCATIONS.
- MECHANICAL RESTRAINTS TO BE USED ON ALL FITTINGS AND PLACED IN ACCORDANCE WITH MANUFACTURER'S OR ENGINEER'S RECOMMENDATIONS (WHICHEVER IS MORE STRINGENT) AND FPUA REQUIREMENTS.
- ALL MAINS SHALL BE TESTED AT A MINIMUM OF 150 PSI. TESTING METHODS SHALL CONFORM TO AWWA C-800, - 2 HR MINIMUM TEST.

L = SD(P) 1/2
148,000
L = LEAKAGE IN OPH
S = LENGTH OF PIPE IN FEET
D = PIPE DIAMETER IN INCHES
P = TESTING PRESSURE IN PSI

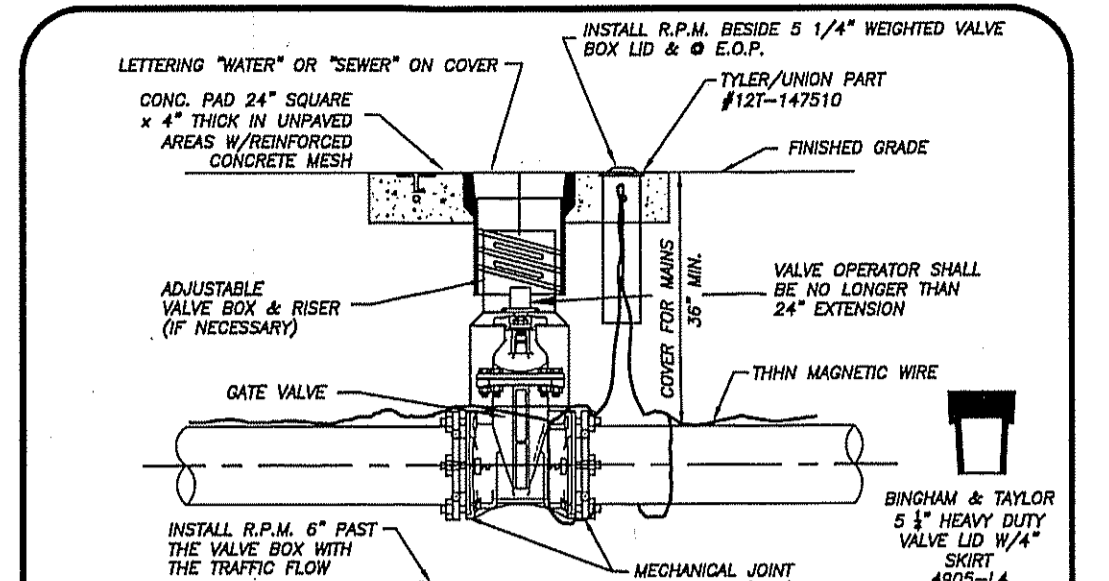
- PRIOR TO ANY TESTING, ALL MAINS 6" IN DIA. AND LARGER SHALL HAVE A SWAB PASSED THRU THE ENTIRE LENGTH OF THE LINE. NOTES SWAB SHOULD BE PLACED IN THE JOINT OF NEW LINE. END OF MAIN SHOULD BE "TURNED UP" AT 45% AND EXTENDED SO THAT SWABBING AND A FULL BORE TUSH CAN BE ACCOMPLISHED. BLOW-OFF ASSY CAN THEN BE PLACED WHERE LINES BRANCH, SWABS WILL BE PLACED IN BRANCH LINES AND SEQUENTIALLY SWABBED AND FLUSHED.
- A MINIMUM SIX FEET AND PREFERABLY TEN FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES. 6 INCHES MINIMUM VERTICAL SEPARATION IF WATER MAIN IS OVER WASTEWATER AND 12 INCHES IF WATER MAIN IS UNDER SHALL BE MAINTAINED BETWEEN WATER MAIN AND ANY WASTEWATER LINES. THE DISTANCE SHALL BE MAINTAINED OUTSIDE OF THE WATER MAIN AND THE WATER MAIN PIPE JOINTS ARE EQUIVALENT FROM THE POINT OF CROSSING. THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- WHERE A WATER MAIN IS TO BE INSTALLED BELOW A STORM DRAIN PIPE, A MINIMUM OF 6 INCHES OF VERTICAL CLEARANCE BETWEEN PIPES SHALL BE CONSTRUCTED OR DIP AT THE CROSSING, AND SHALL BE MECHANICALLY RESTRAINED WITHIN 20 FEET OF THE CROSSING.
- CONTRACTOR SHALL COMPLY WITH FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

WATER DISTRIBUTION		G-1 NOTES	
DATE: 05/14/2019	REVISION: 1	DATE: 05/14/2019	REVISION: 1
DESIGNED BY: J.M.	CHECKED BY: R.C.L.	DESIGNED BY: J.M.	CHECKED BY: R.C.L.
APPROVED BY: J.M.	DATE: 05/14/2019	APPROVED BY: J.M.	DATE: 05/14/2019



- NOTES:**
- BLUE 10 GAUGE THIN WIRE SHALL BE ATTACHED TO THE SERVICE LINE.
 - WHERE SERVICES UNDER PAVEMENT ARE REQUIRED, THE POLYETHYLENE TUBING SHALL BE INSTALLED WITHIN SCHEDULE 40 PVC CASING PIPE.
 - 1" & 3/4" METER SIZES SHALL REQUIRE A LOCKABLE METER VALVE (CURB STOP).
 - MINIMUM COVER IN UNPAVED AREAS SHALL BE 30", IN PAVED AREAS OR PLANNED ROADWAYS OR SIMILAR MIN. COVER SHALL BE 30".
 - FOR 2" COMMERCIAL SERVICE INSTALLATIONS, FPUA WILL INSTALL ABOVE GROUND METER PER DETAIL W-2.

TYPICAL SINGLE WATER SERVICE CONNECTION		W-2	
DATE: 05/14/2019	REVISION: 1	DATE: 05/14/2019	REVISION: 1
DESIGNED BY: J.M.	CHECKED BY: R.C.L.	DESIGNED BY: J.M.	CHECKED BY: R.C.L.
APPROVED BY: J.M.	DATE: 05/14/2019	APPROVED BY: J.M.	DATE: 05/14/2019



- NOTES:**
- BLUE REFLECTIVE PAVEMENT MARKER (RPM) FOR WATER VALVES AND GREEN RPM FOR WASTEWATER VALVES PAVEMENT EDGE.
 - FOR WATER AND WASTEWATER VALVES INSTALLED IN PAVED AREAS, EXAMINE CONCRETE PAD AND ENCASE THE MAGNETIC WIRE IN 1/2" PVC INSIDE THE VALVE BOX SEVEN INCHES BELOW GRADE.
 - DIP MAY BE USED AS RISERS ONLY IF A VALVE BOX IS NOT MANUFACTURED FOR THAT DEPTH. NO PVC RISERS SHALL BE USED IN ANY CIRCUMSTANCES.

TYPICAL GATE VALVE & VALVE BOX DETAIL		M-6	
DATE: 05/14/2019	REVISION: 1	DATE: 05/14/2019	REVISION: 1
DESIGNED BY: J.M.	CHECKED BY: R.C.L.	DESIGNED BY: J.M.	CHECKED BY: R.C.L.
APPROVED BY: J.M.	DATE: 05/14/2019	APPROVED BY: J.M.	DATE: 05/14/2019

WATER DISTRIBUTION NOTES (1)

FORT PIERCE UTILITIES AUTHORITY WASTEWATER CONSTRUCTION NOTES

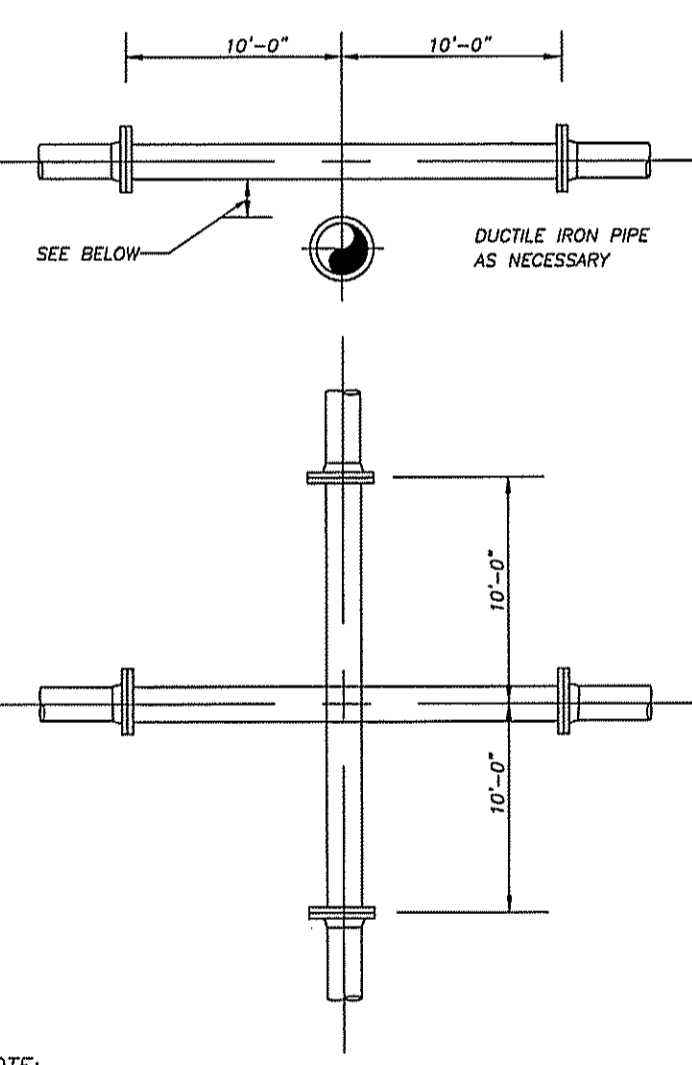
- ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
- GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) 20-36 OR WHITE OR WHITE IN COLOR. GRAVITY SEWER MAIN SHALL HAVE LOCATOR TAPE WITH "SEWER" MARKED ON TAPE AND SHALL CONFORM TO AWWA C-900.
- THE MANHOLE BASE SHALL BE SET ON A FIRM, DRY AND STABLE OR COMPACTED BASE FOUNDATION. IF NECESSARY, THE CONTRACTOR SHALL UTILIZE ROCK TO PROVIDE A FIRM AND SUITABLE MANHOLE BASE FOUNDATION.
- WASTEWATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY/COUNTY/FOOT IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES. THE COMPACTION REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
- A 1% MINIMUM SLOPE SHALL BE MAINTAINED ON ALL SANITARY SERVICE LATERALS.
- THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER CONSISTING OF PIPE SIZES, LOCATION OF SERVICES, TIE PIPES, DIAMETER OF SERVICES, LOCATION OF ANY FITTINGS, FINAL TIE AND INVERT ELEVATIONS OF ALL MAINS AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT.
- MAINTAIN SIX FEET AND PREFERABLY 10 FEET HORIZONTAL DISTANCE BETWEEN WATER MAINS AND SEWER MAINS AS A MINIMUM.
- WASTEWATER FORCE MAINS, WASTEWATER COLLECTION LINES, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE SHALL BE PROVIDED WHENEVER POSSIBLE. WHERE THE VERTICAL SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE WASTEWATER PIPE JOINTS AND THE WATER PIPE JOINTS ARE EQUIVALENT FROM THE POINT OF CROSSING. THE WASTEWATER PIPE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, AND FPUA/CITY/COUNTY/FOOT SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF FPUA/CITY/COUNTY/FOOT ENGINEER.
- TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- CONTRACTOR SHALL NOTIFY FORT PIERCE UTILITIES AUTHORITY 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- WASTEWATER FORCE MAIN SHALL BE POLYVINYL CHLORIDE CONFORMING TO AWWA C-900, AND SHALL BE CLASS 150, DR-18.
- WASTEWATER FORCE MAIN SHALL BE GREEN IN COLOR.
- FITTINGS SHALL BE DUCTILE IRON, CONFORMING TO ANSI/AWWA C-110/A21.10, CLASS 250 MIN. AND INTERIOR EPOXY COATED.
- WASTEWATER FORCE MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN WIRE (GREEN IN COLOR) PERMANENTLY ATTACHED TO THE TOP OF THE FORCE MAIN WITH LOCATOR TAPE MARKED "SEWER" ON TAPE IN ACCORDANCE WITH FPUA SPECIFICATIONS.
- MINIMUM COVER SHALL BE 36 INCHES. PIPES WITH COVER LESS THAN 30 INCHES SHALL REQUIRE PRIOR APPROVAL OF THE UTILITIES ENGINEER AND SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE.
- EACH SERVICE LATERAL WILL BE MARKED WITH A LOCATOR BALL AS MANUFACTURED BY IN CORPORATION, OR APPROVED EQUAL AS REQUIRED BY FPUA ENGINEER.
- ALL MANHOLES SHALL HAVE SEWER RAIN GUARDS INSTALLED AS REQUIRED BY FPUA ENGINEER.
- THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

WASTEWATER CONSTRUCTION NOTES		G-2 CONSTRUCTION NOTES	
DATE: 05/14/2019	REVISION: 1	DATE: 05/14/2019	REVISION: 1
DESIGNED BY: J.M.	CHECKED BY: R.C.L.	DESIGNED BY: J.M.	CHECKED BY: R.C.L.
APPROVED BY: J.M.	DATE: 05/14/2019	APPROVED BY: J.M.	DATE: 05/14/2019

STANDARD SEPARATION STATEMENT FOR WATER / SEWER CONFLICTS

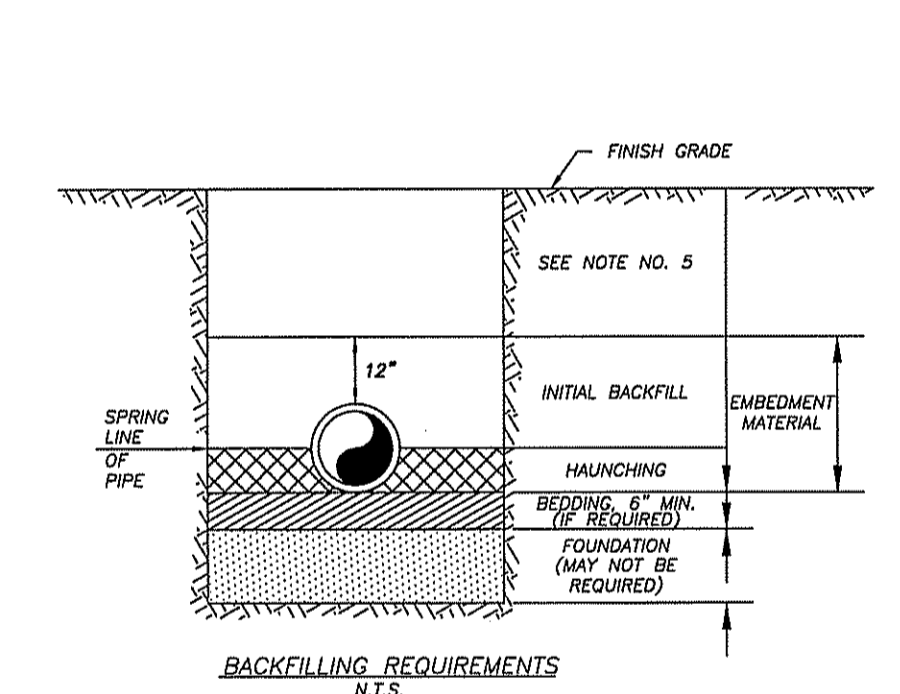
- SANITARY SEWER, FORCE MAINS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS AND STORM SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 6 INCHES, PREFERABLY 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHEN ABOVE, AND AT LEAST 12 INCHES OF SEPARATION WHEN THE WATER MAIN IS BELOW.
- WHERE SANITARY SEWER, FORCE MAINS, STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 6 INCHES VERTICAL SEPARATION, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) CENTERED ON THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWERS). SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.
- ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN PIPE JOINTS ARE EQUIVALENT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING). AT SUCH CROSSINGS PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-110, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-110, F.A.C.
- WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 6 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWERS) AND NEW PIPES SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
- A MINIMUM 3-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ALL TYPE OF STORM SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN "ON-SITE" SEWAGE TREATMENT AND DISPOSAL SYSTEM" AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- A MINIMUM 6-FOOT, AND PREFERABLY 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND WATER MAINS SHALL BE REDUCED TO 3 FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10-FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 6 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWERS) WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL DIP SHALL BE PRESSURE CLASS 250 MIN. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN ENGINEER.

STANDARD SEPARATION STATEMENT FOR WATER/SEWER CONFLICT		G-3 WATER/SEWER CONFLICT	
DATE: 05/14/2019	REVISION: 1	DATE: 05/14/2019	REVISION: 1
DESIGNED BY: J.M.	CHECKED BY: R.C.L.	DESIGNED BY: J.M.	CHECKED BY: R.C.L.
APPROVED BY: J.M.	DATE: 05/14/2019	APPROVED BY: J.M.	DATE: 05/14/2019



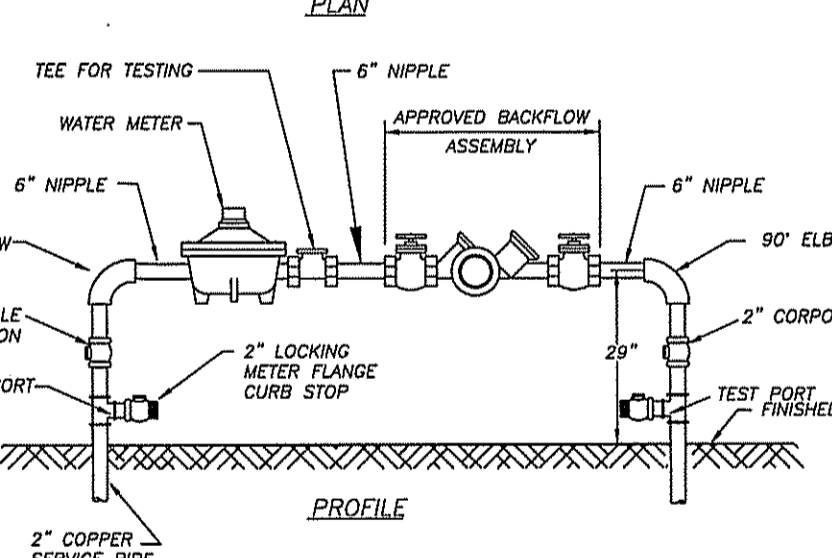
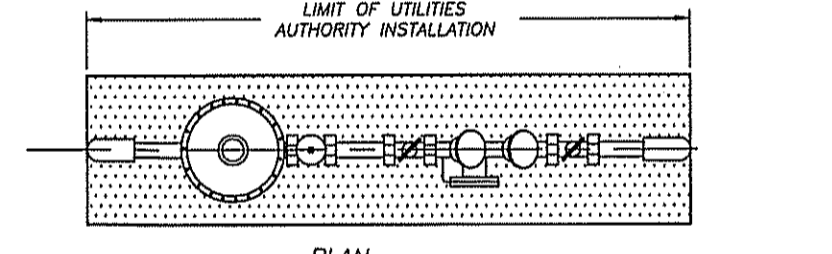
NOTE:
PLEASE REFER TO FORT PIERCE UTILITIES STANDARD SEPARATION STATEMENT FOR WATER / SEWER CONFLICTS.

UTILITY CROSSING DETAIL		M-5	
DATE: 05/14/2019	REVISION: 1	DATE: 05/14/2019	REVISION: 1
DESIGNED BY: J.M.	CHECKED BY: R.C.L.	DESIGNED BY: J.M.	CHECKED BY: R.C.L.
APPROVED BY: J.M.	DATE: 05/14/2019	APPROVED BY: J.M.	DATE: 05/14/2019



- NOTES:**
- IN CERTAIN SOIL CONDITIONS A FOUNDATION MAY BE REQUIRED.
 - BEDDING IS REQUIRED PRIMARILY TO BRING THE TRENCH BOTTOM UP TO GRADE. BEDDING MATERIALS SHALL PROVIDE A UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE.
 - HAUNCHING MATERIAL SHALL BE HAND PLACED TO THE SPRINGLINE OF THE PIPE. MATERIAL SHALL BE CONSOLIDATED UNDER THE PIPE AND HAND TAMPED TO PROVIDE ADEQUATE SIDE SUPPORT.
 - INITIAL BACKFILL MATERIAL SHALL BE HAND PLACED TO 12" ABOVE THE TOP OF PIPE. THE SOIL SHALL BE COMPACTED TO 100% MAX. DENSITY (ASTM T-99).
 - BACKFILL SHALL BE COMPACTED TO 100% OF MAX. DENSITY AS PER AASHTO T-99, TO A POINT 30" BELOW PROPOSED PROFILE GRADE OR EXISTING GRADE. THE FINAL 30" OF BACKFILL SHALL BE COMPACTED TO 98% OF MAX. DENSITY AS PER AASHTO T-100.
 - DENSITY TEST SHALL BE PERFORMED AT AREAS DETERMINED BY THE UTILITIES ENGINEER OR PERMIT AGENCY HAVING JURISDICTION, AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL TRENCH SAFETY REGULATIONS.

BACKFILLING REQUIREMENTS		M-2	
DATE: 05/14/2019	REVISION: 1	DATE: 05/14/2019	REVISION: 1
DESIGNED BY: J.M.	CHECKED BY: R.C.L.	DESIGNED BY: J.M.	CHECKED BY: R.C.L.
APPROVED BY: J.M.	DATE: 05/14/2019	APPROVED BY: J.M.	DATE: 05/14/2019



- NOTES:**
- LANDSCAPING REQUIRED PER CITY OF FORT PIERCE OR ST. LUCIE COUNTY ORDINANCE. NO PLANTS OR TREES WITHIN 18" AROUND METER OR BACKFLOW. NO SOLDER JOINTS.
 - ASSEMBLY TO BE 20" FROM FINISH GRADE TO CENTERLINE OF THE FLANGED 90° BEND.

WATER METER/BACKFLOW PREVENTER ASSEMBLY DOMESTIC SERVICE (COMMERCIAL)		W-8	
DATE: 05/14/2019	REVISION: 1	DATE: 05/14/2019	REVISION: 1
DESIGNED BY: J.M.	CHECKED BY: R.C.L.	DESIGNED BY: J.M.	CHECKED BY: R.C.L.
APPROVED BY: J.M.	DATE: 05/14/2019	APPROVED BY: J.M.	DATE: 05/14/2019

**WATER AND SEWER DETAILS
HOME 2 SUITES**

- REVISIONS -		BY	DATE

DRAWN	JOE M	5/31/19
DESIGNED	R.C.L.	5/30/19
CHECKED	R.C.L.	6/04/19
QA/QC	R.M.L.	6/07/19
SURVEY REF.	DRAWING NAME	
19.0530-1-3-2	2019-0117-WS-DETAILS	

ATLANTIC CIVIL ENGINEERING, INC.
CONSULTING ENGINEERS
2552 PETERS ROAD SUITE D
FORT PIERCE, FLORIDA 34945
(772) 398-1520 PHONE (772) 398-1521 FAX
CERTIFICATE OF AUTHORIZATION #32020

DATE: 6/07/19	JOB No. 2019-0117
HORIZ SCALE: 1"=40'	SHEET 6 OF 8
VERT SCALE: N/A	
RICHARD M. LADYKO, P.E. #34288	DATE

SUPPLEMENTARY CONDITIONS

PERMITS AND LICENSES: CONSTRUCTION PERMITS FOR CERTAIN ELEMENTS OF THE PROJECT WORK HAVE BEEN OBTAINED OR APPLIED FOR BY THE OWNER...

CONTRACT ISSUES

GENERAL CONDITIONS: UNLESS OTHERWISE STATED IN THESE SUPPLEMENTARY CONDITIONS, THE PROVISIONS OF THE "STANDARD GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT," REFERENCED ABOVE, SHALL BE USED TO COVER ALL ISSUES ADDRESSED IN THOSE GENERAL CONDITIONS FOR THIS PROJECT.

OWNER-ENGINEER RELATIONSHIP: ANY AGREEMENT BETWEEN OWNER AND ENGINEER SHALL NOT BE CONSTRUED TO PROVIDE ANY OBLIGATION FROM THE ENGINEER TO ANY THIRD PARTIES INCLUDING, BUT NOT LIMITED TO, ANY CONTRACTORS (GENERAL OR SUB), NOR TO ANY SUCCESSORS IN TITLE TO THE OWNER...

PARTIAL PAYMENTS: PARTIAL PAYMENTS SHALL BE CALCULATED FROM QUANTITIES OF WORK IN PLACE. THESE PAYMENTS SHALL BE BASED ON THE AGREEMENT UNIT PRICES AND WILL BE MADE ON OR ABOUT THE 15TH OF EACH MONTH FOR THE PREVIOUS MONTH'S PROGRESS...

THE DRAWINGS

ERRORS OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS: PRIOR TO INITIATION OF THE WORK, THE CONTRACTOR SHALL CHECK DIMENSIONS, GRADES, ELEVATIONS AND THE SUMMARY OF ESTIMATED QUANTITIES SHOWN ON THE DRAWINGS TO ASSURE HIMSELF THAT THEY ARE CORRECT AND THAT THE WORK CAN BE ACCOMPLISHED AS INTENDED...

SOIL AND SUBSOIL CONDITIONS: IT IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR TO:

- 1. PLACE HIS OWN INTERPRETATION ON ANY AND ALL SOIL AND SUBSOIL DATA PORTRAYED ON THE DRAWINGS OR AVAILABLE INFORMATION.
2. PERFORM HIS OWN SOIL AND SUBSOIL INVESTIGATION TO DETERMINE THE NATURE, CHARACTER, LOCATION AND EXTENT OF ALL SOIL AND SUBSOIL CONDITIONS THAT MAY AFFECT HIS WORK...
3. INCLUDE IN HIS CONTRACT PRICE CONSIDERATION FOR ALL WORK NECESSARY TO ASSURE THAT THE SOIL AND SUBSOIL CONDITIONS WILL MEET THE REQUIREMENTS OF THE SPECIFICATIONS AND THE APPLICABLE REGULATIONS OF THE APPLICABLE MUNICIPALITY.

THE WORK

PRE-CONSTRUCTION CONFERENCE: IMMEDIATELY AFTER THE AGREEMENT HAS BEEN AWARDED, THE ENGINEER SHALL CALL A PRE-CONSTRUCTION CONFERENCE TO BE HELD WITHIN FIFTEEN (15) CALENDAR DAYS AFTER THE AWARD AND PRIOR TO INITIATION OF THE WORK AT A PLACE DESIGNATED TO HIM...

COMMENCEMENT AND COMPLETION OF THE WORK: THE CONTRACTOR SHALL COMMENCE WORK UNDER THE AGREEMENT WITHIN TEN (10) CALENDAR DAYS AFTER THE DATE OF RECEIPT BY HIM OF THE NOTICE TO PROCEED AND SHALL BE READY FOR USE NOT LATER THAN THE DATE INDICATED IN THE AGREEMENT...

ESTIMATED QUANTITIES: THE QUANTITIES ESTIMATED FOR VARIOUS ITEMS OF WORK ARE ONLY ESTIMATES AND MAY NOT REFLECT ALL THE ITEMS OF WORK OR THE FINAL QUANTITIES NEEDED TO COMPLETE THE PROJECT...

HORIZONTAL AND VERTICAL CONTROL: THE CONTRACTOR SHALL CONSTRUCT THE REQUIRED IMPROVEMENTS IN THE LOCATIONS SHOWN ON THE DRAWINGS, AND SHALL USE AS HORIZONTAL CONTROL POINTS THE EXISTING PROPERTY CORNERS AS SHOWN ON THE PLANS...

COORDINATION OF WORK WITH OTHERS: THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OR IMPROVEMENTS OF OTHERS WITH REGARD TO NEW CONSTRUCTION OR FOR THE NEED OF THE REMOVAL, RELOCATION OR ALTERATION OF EXISTING FACILITIES...

TEMPORARY UTILITIES: ALL ARRANGEMENTS AND COSTS FOR TEMPORARY POWER, WATER AND WASTEWATER FACILITIES DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

OBSERVING THE WORK: THE PROGRESS AND QUALITY OF THE WORK WILL BE OBSERVED BY THE OWNER'S ENGINEER OR ENGINEER'S APPOINTED EMPLOYEE. NO OBSERVER IS AUTHORIZED TO CHANGE ANY PROVISIONS OF THE SPECIFICATIONS WITHOUT WRITTEN AUTHORIZATION OF THE OWNER'S ENGINEER...

THE CONTRACTOR SHALL GIVE THE ENGINEER A MINIMUM OF 24 HOURS NOTICE PRIOR TO REQUIRED INSPECTIONS, AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY TEST AND INSPECT THE COMPLETED WORK.

IN ADDITION TO THE REQUIREMENTS PREVIOUSLY REFERENCED, THE FOLLOWING MINIMUM CONSTRUCTION CONTROL CHECKPOINTS SHALL BE ADHERED TO, AND THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR OBSERVATION:

- 1. PRIOR TO ANY DEVIATION FROM THE DRAWINGS.
2. PRIOR TO ANY BACK FILLING TRENCHES CONTAINING HYDRAULIC CONDUITS, SO THE JOINTING MAY BE INSPECTED.
3. PRIOR TO TESTING OF ALL HYDRAULIC CONDUITS.
4. PRIOR TO PLACEMENT OF ROADWAY BASE MATERIAL, CONCRETE OR ASPHALTIC CONCRETE.
5. UPON COMPLETION OF CONSTRUCTION FOR FINAL INSPECTION WITH THE CONTRACTOR OR HIS REPRESENTATIVE.

TESTING: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE INDEPENDENT TESTING LABORATORY THE TESTING AND RETESTING NECESSARY TO ASSURE THE WORK HAS BEEN PERFORMED TO STRICT COMPLIANCE WITH THE SPECIFICATIONS...

EXISTING UTILITIES AND STRUCTURES: EXISTING UTILITIES, STRUCTURES AND FACILITIES SHOWN ON THE DRAWINGS WERE LOCATED AS ACCURATELY AS POSSIBLE FROM THE RECORDS EXAMINED. NO GUARANTEE IS MADE THAT ALL EXISTING FACILITIES ARE SHOWN OR THAT THOSE SHOWN ARE ENTIRELY ACCURATE...

RESTORATION OF DAMAGED STRUCTURES OR UTILITIES: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR, REBUILD OR RESTORE TO ITS FORMER CONDITION ANY AND ALL PORTIONS OF EXISTING UTILITIES, STRUCTURES, EQUIPMENT, APPURTENANCES OR FACILITIES, OTHER THAN THOSE TO BE PAID FOR UNDER THIS CONTRACT...

FINAL CLEANUP: UPON COMPLETION OF THE WORK BUT BEFORE FINAL PAYMENT WILL BE MADE, THE CONTRACTOR SHALL CLEAR AND REMOVE FROM THE PROJECT AREA, ALL FALSE WORK, EQUIPMENT, SURPLUS AND DISCARD MATERIALS, RUBBISH AND TEMPORARY STRUCTURES WHICH RESULT FROM THE WORK UNDER THIS AGREEMENT...

RECORD DRAWINGS: AFTER COMPLETION OF THE CONTRACT WORK, BUT PRIOR TO SUBMITTAL OF THE REQUEST FOR FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE ALL INFORMATION AND LABOR NEEDED FOR PREPARATION OF FINAL RECORD DRAWINGS FOR SUBMITTAL TO THE OWNER OF THE COMPLETED IMPROVEMENTS...

THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION, SO THAT THE ENGINEER'S REPRESENTATIVE IS PRESENT AND CAN CONFIRM THE RECORD INFORMATION AS FOLLOWS:

THE FINAL LOCATION, BY REFERENCE TO AT LEAST TWO COMPLETED VISIBLE IMPROVEMENTS OR OTHER PERMANENT POINTS, OF ALL PAVING, DRAINAGE, WATER DISTRIBUTION SYSTEM AND WASTEWATER COLLECTION SYSTEM ELEMENTS, AND SHALL INCLUDE ELEVATIONS OF PERTINENT POINTS IN THE PAVEMENT AND DRAINAGE IMPROVEMENTS...

DRAWINGS SHALL INCLUDE:

- A. ANY CHANGES OR VERIFICATIONS SET MARKED
B. MARK OUT ALL "PROPOSED" OR "CONSTRUCTS"
C. CHANGES TO LOCATIONS OF PIPE, VALVES, FITTINGS OR MANHOLES, ETC.
D. DRAW IN A DETAIL BOX OF ANY SUBSTANTIAL CHANGES
E. MARK LOCATIONS AND FORCE OF ALL LATERALS FROM THE DOWNSTREAM MANHOLE
F. MARK ALL BSP'S ON PLANS

GUARANTEE: ALL MATERIALS AND THE INSTALLATION THEREOF WHICH ARE FURNISHED AND INSTALLED BY THE CONTRACTOR, UNDER THE TERMS OF THE AGREEMENT, SHALL BE GUARANTEED BY THE CONTRACTOR AGAINST DEFECTIVE WORKMANSHIP, MECHANICAL AND PHYSICAL DEFECTS, LEAKAGE, BREAKAGE, AND OTHER DAMAGES AND FAILURE UNDER NORMAL CONDITIONS...

ALL MATERIALS AND INSTALLATIONS PROVING TO BE DEFECTIVE WITHIN THE SPECIFIED PERIOD OF GUARANTEE SHALL BE REPLACED, WITHOUT COST TO THE OWNER, BY THE CONTRACTOR, THE PERIOD OF GUARANTEE OF EACH SUCH REPLACEMENT SHALL BE FROM AND AFTER THE DATE OF INSTALLATION THEREOF.

MATERIALS, CONSTRUCTION METHODS, TESTING AND TOLERANCES FOR ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS, IN THE EVENT OF A CONFLICT, THE MORE STRINGENT PROVISION SHALL APPLY.

1. MOBILIZATION: THE WORK SPECIFIED IN THIS SECTION CONSISTS OF THE PREPARATORY WORK AND OPERATIONS IN MOBILIZING FOR BEGINNING WORK ON THE PROJECT, INCLUDING, BUT NOT LIMITED TO, THOSE OPERATIONS NECESSARY FOR THE MOVEMENT OF PERSONNEL, EQUIPMENT, SUPPLIES AND INCIDENTALS TO THE PROJECT SITE...

2. CONSTRUCTION SURVEYING: THE CONTRACTOR SHALL CONSTRUCT THE REQUIRED IMPROVEMENTS AT THE LOCATIONS SHOWN ON THE PLANS, AS OUTLINED IN THE SUPPLEMENTARY CONDITIONS. THE OWNER SHALL PROVIDE BASIC REFERENCE POINTS FOR HORIZONTAL CONTROL AND BENCHMARKS IN THE VICINITY OF WORK...

3. CLEARING AND GRUBBING: CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE LIMITS OF CONSTRUCTION AS SHOWN ON THE PLANS, INCLUDING BUT NOT LIMITED TO, THE AREAS OF NEW SIDEWALKS, SWALES, POND, ROADWAY AND PARKING PAVEMENT, AND BUILDING AREA IN ACCORDANCE WITH SECTION 110, FDOT SPECIFICATION...

ALL MATERIAL SHALL BE REMOVED FROM THE SITE OF THE PROJECT, AND SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, REGIONAL, STATE, AND FEDERAL LAWS, REGULATIONS, AND ORDINANCES.

4. EARTHWORK AND GRADING: SHALL BE PERFORMED AS REQUIRED TO ATTAIN THE FINAL GRADES, TYPICAL SECTIONS AND ELEVATIONS, AND TO ACCOMPLISH THE OBJECTIVES SHOWN ON THE PLANS FOR THE AREAS TO BE PAVED, SOOLED, OR LANDSCAPED...

ANY PLASTIC OR ORGANIC MATERIAL WITHIN 36" OF THE FINISHED GRADE OF THE AREA TO BE PAVED SHALL BE REMOVED AND REPLACED WITH A-3 MATERIAL. EMBANKMENT WORK SHALL BE PERFORMED IN ACCORDANCE WITH FDOT SPECIFICATIONS.

ALL CLEAN EXCESS MATERIAL SUITABLE FOR FILL RESULTING FROM THE EXCAVATION SHALL BE INCORPORATED INTO THE PROPOSED WORK, OR SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED ON THE OWNERS PROPERTY AT THE ONSITE LOCATION DESIGNATED BY THE OWNER...

5. DRAINAGE IMPROVEMENTS: THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE THE PROJECT WORK FOR THE DRAINAGE IMPROVEMENTS AT THE LOCATION, SIZE AND TYPE SHOWN ON THE PLANS FOR THE FOLLOWING ITEMS...

BACKFILL AND COMPACTION OF TRENCHING FOR CULVERT INSTALLATION UNDER THIS SECTION SHALL BE IN ACCORDANCE WITH SECTION 25-8.3, FDOT SPECIFICATIONS. DENSITY TESTS SHALL BE PROVIDED AT THE FOLLOWING VERTICAL LOCATIONS:

- ONE TEST* AT ONE FOOT ABOVE PIPE AND
ONE TEST* AT ONE FOOT BELOW SUBGRADE OR FINISH GRADE.
* = DENSITY OF AT LEAST 98 % OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180

THE MINIMUM NUMBER OF HORIZONTAL TEST LOCATIONS IS TWO PER CULVERT INSTALLATION, ONE PER 100 LINEAR FEET OF PIPE AND/OR ONE PER 20 FEET OF PAVEMENT CROSSING WHICHEVER IS GREATER. ADDITIONAL TESTS MAY BE REQUIRED AT MORE FREQUENT INTERVALS IF DEEMED NECESSARY.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INDEPENDENT TESTING LABORATORY AND THE TESTING AND RETESTING NECESSARY TO ASSURE THAT THE WORK HAS BEEN PERFORMED IN STRICT COMPLIANCE WITH THESE ACTIONS...

A. STORM SEWER PIPE: CONSTRUCTION METHODS FOR DRAINAGE CULVERTS SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 125 AND 430, FDOT SPECIFICATIONS.

REINFORCED CONCRETE PIPE (RCP): MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 941, FDOT SPECIFICATIONS FOR STANDARD CONCRETE PIPE AND SECTION 942, FDOT SPECIFICATIONS FOR GASKETS.

B. STORM INLETS: THE MATERIALS AND CONSTRUCTION METHODS FOR STORM INLETS AND GRATES SHALL CONFORM TO SECTION 425, FDOT SPECIFICATIONS.

TYPE "C" AND "E" INLETS SHALL BE PER FDOT INDEX NO. 232. INLETS AND PAVED AREAS SHALL HAVE STEEL GRATES SUITABLE FOR HEAVY TRAFFIC AND BICYCLES. CAST IRON TRAFFIC GRATES IN ALL OTHER AREAS.

C. CONCRETE CURBING: THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE CONCRETE CURBING IN THE LOCATIONS SHOWN ON THE PLANS. ALL CURBING SHALL BE CONSTRUCTED PER FDOT INDEX NO. 300, MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO SECTION 520, FDOT SPECIFICATIONS...

6. PAVEMENT IMPROVEMENTS: THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE ITEMS OF WORK FOR PAVING IMPROVEMENTS UNDER THIS SECTION AT THE LOCATIONS AND TO THE EXTENT SHOWN ON THE PLANS. PAVEMENT RESTORATION SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS, AND IN ACCORDANCE WITH THESE SPECIFICATIONS, FDOT, AND COUNTY SPECIFICATIONS.

A. STABILIZED SUBGRADE SHALL HAVE A MINIMUM LBR RATIO OF 40, AND MINIMUM DENSITIES SHALL BE 98% OF MAXIMUM AS DETERMINED BY THE AASHTO T-180 METHOD
C. MATERIALS AND CONSTRUCTION METHODS SHALL BE FURNISHED BY THE CONTRACTOR, AND CONFORM TO SECTION 160, FDOT SPECIFICATIONS FOR TYPE C

7. CONCRETE NOTES: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE INDEPENDENT TESTING LABORATORY DESIGNATED BY THE OWNER, THE TESTING AND RETESTING NECESSARY TO ASSURE THE WORK HAS BEEN PERFORMED TO STRICT COMPLIANCE WITH THE SPECIFICATIONS...

Table with 4 columns: ITEM, BEARING VALUE, FLORIDA SOIL DENSITY, THICKNESS. Rows include SUBGRADE CONCRETE with values 500, 500, 100, 200.

*=MAXIMUM SPACING SHOWN IN FEET. ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 12 INCHES INSIDE THE FIRST EDGE, TO THE CENTER, TO A POINT 12 INCHES INSIDE THE RIGHT EDGE OF THE ITEM TESTED.

ADDITIONAL TESTS MAY BE REQUIRED FOR THE DRIVEWAY CONSTRUCTION OR AT MORE FREQUENT INTERVALS AS DEEMED NECESSARY BY THE ENGINEER.

8. PAVEMENT MARKINGS: THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR REQUIRED TO COMPLETE THE PROJECT WORK IN THIS SECTION. MATERIALS AND CONSTRUCTION METHODS FOR APPLYING PAINTED TRAFFIC STRIPES AND MARKINGS, COMPLETE WITH REFLECTIVE GLASS SPHERES, SHALL CONFORM TO THE REQUIREMENTS OF SECTION 710, FDOT SPECIFICATIONS...

9. SIGNAGE: THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NEEDED, INCLUDING ALL SUPPORTING ELEMENTS, TO INSTALL SIGNS AT THE LOCATIONS SHOWN ON THE PLANS, MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO SECTION 700, FDOT SPECIFICATIONS...

10. EROSION CONTROL: THE CONTRACTOR SHALL TAKE SUFFICIENT PRECAUTIONS TO PREVENT WATER POLLUTION WITH AQUATIC WEEDS, FUELS, OILS, BITUMINOUS, CALCIUM CHLORIDE OR OTHER HARMFUL MATERIALS. ALSO, HE SHALL CONDUCT AND SCHEDULE HIS OPERATIONS SO AS TO AVOID POLLUTION OR SILTATION OF WATER BODIES OR TO INTERFERE WITH INDIGENOUS WILDLIFE...

DUE TO UNANTICIPATED CONDITIONS, THE ENGINEER MAY DIRECT THE USE OF CONTROL FEATURES OR METHODS OTHER THAN THOSE INCLUDED IN THE ORIGINAL CONTRACT. IN SUCH EVENT THIS ADDITIONAL WORK WILL BE PAID FOR AS UNFORESEEABLE WORK.

ARGENTINE BAHIA SOIL SHALL BE PROVIDED AS SHOWN ON THE PLANS, INCLUDING BUT NOT LIMITED TO, ALL DISTURBED AREAS. MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE REQUIREMENTS FOUND IN LANDSCAPE ARCHITECT'S SPECIFICATIONS.

11. POLLUTION CONTROL: WATER POLLUTION AND TURBIDITY CONTROL SHALL BE REQUIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL REGULATION STANDARDS, LOCAL REGULATIONS AND SECTION 104, FDOT REQUIREMENTS INCLUDING BUT NOT LIMITED TO ONE OR MORE OF THE FOLLOWING OPTIONS: HEETPLE OR EARTH COVER/DAM, HAY BALES, SEDIMENT BASIN, SILT FENCE OR TURBIDITY BARRIER...

WATER DISTRIBUTION NOTES

- 1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE LOCAL UTILITIES AUTHORITY.
2. WATER MAIN WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC) SHALL CONFORM TO AWWA C-900 OR C-905, PRESSURE CLASS 150, DR (18). WATER MAIN WHERE SPECIFIED AS POLYETHYLENE (PE) SHALL CONFORM TO AWWA C-901 OR C-906, STANDARD CODE DESIGNATION PE3408, PIPE CLASS 200, DIMENSION RATIO (DR) 9.
3. WATER MAIN, WHERE SPECIFIED AS DUCTILE IRON PIPE, SHALL CONFORM TO ANSI A-21.51 OR AWWA C-151, AND SHALL BE PRESSURE CLASS 250 (MINIMUM).
4. POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR OR WHITE IN COLOR. THE USE OF IDENTIFICATION TAPE ATTACHED TO THE TOP OF THE PIPE MAY BE USED IN LIEU OF MARKING ON THE PIPE...
5. FITTINGS SHALL BE CAST OR DUCTILE IRON, CONFORMING TO AWWA C-110 AND ANSI A21.11, CLASS 250 MINIMUM, CEMENT LINED, AND SEAL COATED.
6. GATE VALVES SHALL BE MUELLER RESILIENT SEAT, KENNY KEND-SEAL, AMERICAN, CLOW, OR APPROVED EQUAL. VALVES SHALL CONFORM TO AWWA C-509.
7. WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH LOCAL UTILITY DESIGN AND CONSTRUCTION STANDARDS...
8. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE UTILITY ENGINEER AND CITY/COUNTY/FDOT ENGINEER.
9. THE CONTRACTOR SHALL NOTIFY UTILITY ENGINEERING AND CITY/COUNTY/FDOT ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
10. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, UTILITY AND CITY/COUNTY/FDOT ENGINEER SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. TRAFFIC CONTROL, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND APPROVED BY THE COUNTY ENGINEER.
12. MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND CITY/COUNTY/FDOT ENGINEER. PIPES WITH COVER LESS THAN 30 INCHES SHALL BE CONSTRUCTED OF DUCTILE IRON OR IN PVC CASING.
13. DISTURBED AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS.
14. EXISTING UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR. ANY RETEST REQUIRED DUE TO FAILURE TO MEET THE MINIMUM REQUIREMENTS ABOVE SHALL BE PERFORMED AT THE EXPENSE OF THE CONTRACTOR.
15. WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AWWA C-651 FOR DISINFECTION.

WATER DISTRIBUTION NOTES CONTINUED

- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING UTILITIES AND DRAINAGE.
17. THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER INCLUDING LOCATIONS OF VALVES, FITTINGS, SERVICE CONNECTIONS, BLOWOFFS, AIR RELEASE VALVES, AS REQUIRED BY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT...
18. THE CONTRACTOR SHALL TAP EXISTING LINES UNDER THE SUPERVISION OF THE UTILITIES PROVIDER ONLY AFTER TESTING AND DISINFECTION HAS BEEN COMPLETED AND APPROVED ON THE TAPPING VALVE AND SLEEVE.
19. WATER MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN MULTI STRANDED WIRE (BLUE IN COLOR) AND IDENTIFICATION TAPE WITH "WATER" MARKED ON TAPE...
20. SERVICE TAPS SHALL BE PLACED APPROXIMATELY TEN FEET AWAY FROM GATE VALVES, AS SHOWN, FOR TESTING, FOLLOWING TESTING AND STERILIZATION OF WATER LINE, CONTRACTOR SHALL PLACE A BRASS PLUG IN CORPORATION STOPS AND CORP STOPS SHALL BE REMOVED FROM TESTING LOCATIONS.
21. MECHANICAL RESTRAINTS TO BE USED ON ALL FITTINGS AND PLACED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LOCAL UTILITY REQUIREMENTS.
22. ALL MAINS SHALL BE TESTED AT A MINIMUM OF 150 PSI. TESTING METHODS SHALL CONFORM TO AWWA C-600. - 2 HR MINIMUM TEST
L= S(D)/1/2
L= 133,200
L= LEAKAGE IN GPH
S= LENGTH OF PIPE IN FEET
D= PIPE DIAMETER IN INCHES
P= TESTING PRESSURE IN PSI
23. PRIOR TO ANY TESTING, ALL MAINS 6" IN DIA. AND LARGER SHALL HAVE A LINE SIZE SWAB PASSED THRU THE ENTIRE LENGTH OF THE LINE...
24. A MINIMUM SIX FEET AND PREFERABLY TEN FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES...
25. WHERE A WATER MAIN IS TO BE INSTALLED BELOW A STORM DRAIN PIPE, A MINIMUM OF 6 INCHES OF VERTICAL CLEARANCE BETWEEN PIPES SHALL BE MAINTAINED...
26. CONTRACTOR SHALL COMPLY WITH FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

WASTEWATER CONSTRUCTION NOTES

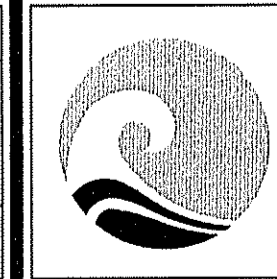
- 1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE LOCAL UTILITIES AUTHORITY.
2. GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE SDR-35, GREEN OR WHITE IN COLOR. GRAVITY SEWER MAIN SHALL HAVE LOCATOR TAPE WITH "SEWER" MARKED ON TAPE...
3. THE MANHOLE BASE SHALL BE SET ON A FIRM, DRY AND STABLE OR COMPACTED BASE FOUNDATION. IF NECESSARY, THE CONTRACTOR SHALL UTILIZE ROCK TO PROVIDE A FIRM AND SUITABLE MANHOLE BASE FOUNDATION.
4. WASTEWATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH LOCAL UTILITY DESIGN AND CONSTRUCTION STANDARDS...
5. A 1% MINIMUM SLOPE SHALL BE MAINTAINED ON ALL SANITARY SERVICE LATERALS.
6. THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER CONSISTING OF PIPE SIZES, LOCATION OF SERVICE TEE WYES, DIAMETER OF SERVICES, LOCATION OF ANY FITTINGS, FINAL RIM AND INVERT ELEVATION OF ALL MANHOLES AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT.
7. MAINTAIN SIX FEET AND PREFERABLY 10 FEET HORIZONTAL DISTANCE BETWEEN WATER MAINS AND SEWER MAINS AS A MINIMUM.
8. WASTEWATER FORCE MAINS, WASTEWATER COLLECTION LINES, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE...
9. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, UTILITY AND CITY/COUNTY/FDOT ENGINEER SHALL BE MANDATORY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
10. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL FROM UTILITY/CITY/COUNTY/FDOT ENGINEER.
11. TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
12. CONTRACTOR SHALL NOTIFY THE LOCAL UTILITIES AUTHORITY 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
13. WASTEWATER FORCE MAIN SHALL BE POLYVINYL CHLORIDE CONFORMING TO AWWA C-900, AND SHALL BE CLASS 150, DR-18.
14. WASTEWATER FORCE MAIN SHALL BE GREEN IN COLOR OR WHITE IN COLOR. WASTEWATER FORCE MAIN SHALL HAVE THIN WIRE & LOCATOR TAPE WITH "SEWER" MARKED ON TAPE OF THE PIPE.
15. FITTINGS SHALL BE CAST OR DUCTILE IRON, CONFORMING TO AWWA C-110 AND ANSI A21.11, CLASS 250 MINIMUM, INTERIOR POLY-LINED, AND SEAL COATED.
16. WASTEWATER FORCE MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN WIRE (GREEN IN COLOR) PERMANENTLY ATTACHED TO THE TOP OF THE FORCE MAIN WITH LOCATOR TAPE MARKED "SEWER" ON TAPE...
17. MINIMUM COVER SHALL BE 36 INCHES, PIPES WITH COVER LESS THAN 30 INCHES SHALL REQUIRE PRIOR APPROVAL OF THE UTILITIES ENGINEER AND SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE.
18. EACH-SERVICE LATERAL WILL BE MARKED WITH A LOCATOR BALL AS MANUFACTURED BY SW CORPORATION...
19. ALL MANHOLES SHALL HAVE SEWER RAIN GUARDS INSTALLED AS REQUIRED BY UTILITY ENGINEER.
20. THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

CALL TOLL-FREE 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC. UNDERGROUND UTILITIES NOTIFICATION CENTER

GENERAL NOTES HOME 2 SUITES

Table with 2 columns: REVISIONS, BY, DATE. Contains a list of revisions for the drawing.

Table with 2 columns: BY, DATE. Lists the drawing team members and their dates.



ATLANTIC CIVIL ENGINEERING, INC. CONSULTING ENGINEERS 2552 PETERS ROAD SUITE D FORT PIERCE, FLORIDA 34945 (772) 398-1520 PHONE (772) 398-1521 FAX

DATE: 6/07/19 JOB No. 2019-0117 HORIZ SCALE: 1"=40' SHEET 8 OF 8 VERT SCALE: N/A RICHARD M. LADYKO, P.E. #34288 DATE