



DEVELOPMENT REVIEW

Property address or Location 1814 SURFSIDE DRIVE, FT. PIERCE, FL
 Parcel ID #(s) 2412-501-0124-000/4
 Project description NEW SINGLE FAMILY HOME (PAST CULL + ~~RETRACT~~)

Property Owner(s)
SURFSIDE EQUITIES, LLC
 Street Address
2835 O DONNELL ST. #100
 City State Zip
BALTIMORE MD 21224
 Phone Number
HOME@SOUTHFLORIDA51PS.COM
 Email Address

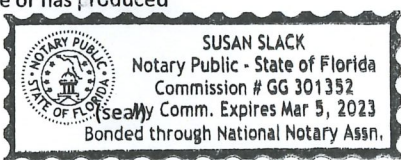
Applicant/Representative, Title, Company
Braden & Braden
 Street Address
417 COCONUT AVE
 City State Zip
STUART FL 34996
 Phone Number
bradenzip@comcast.net
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Thomas [Signature]
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY Martin
 The foregoing instrument was acknowledged before me this 15 day of June, 2019, by
Jesse Thomas Darling III who is personally known to me or has produced
MD drivers license as identification.

[Signature]
 Signature of Notary

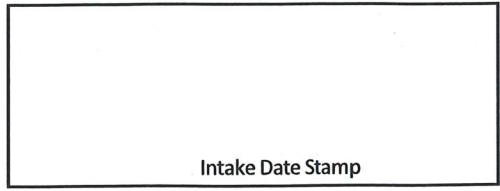


INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non Contributing None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____





DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type		
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment
<input type="checkbox"/> Conceptual Development Plan	<input type="checkbox"/> Minor Amendment	

Site Information:

Non-Residential: Proposed Sq. Ft.: _____

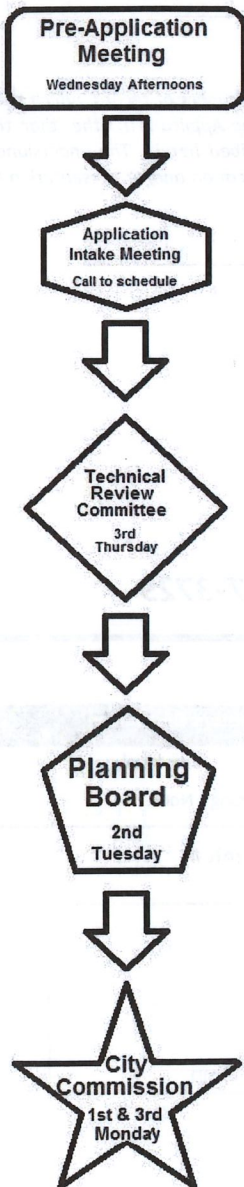
Residential: Proposed Units: 1

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

3907 sq. ft.

North	South	East	West

Application Outlook



Bradley

Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2) ✓
- Survey (see Section 22-58.d.3) ✓
- Site Plan (see Section 22-58.d.4) ✓
- Landscaping Plan (see Section 22-187) ✓
- Storm Drainage Plan (see Section 22-58.d.6) ✓
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8) ✓
- Design Review submittals (see Design Review application)
- ~~Traffic Impact Report~~
- Concurrency Review submittals (see Concurrency Review application)



Design Review

Property address or Location 1814 Surfside Dr. Ft. PIERCE, FL
 Parcel ID #(s) 2412-501-0124-0014
 Project Description NEW SINGLE FAMILY RESIDENCE

SURFSIDE EQUITIES LLC
 Property Owner(s)
28350 O'DONNELL ST. #100
 Street Address
Baltimore MD 21221
 City State Zip
(410) 982-1170
 Phone Number
tom@SouthFloridaSips.com
 Email Address

DON BRADEN / BRADEN & BRADEN A.I.A.
 Applicant/Representative, Title, Company
417 SE COCONUT AVE
 Street Address
STUART FL 34996
 City State Zip
(772) 281-8258
 Phone Number
bradenaiac@comcast.net
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Thomas Dowling III
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- FL COUNTY Monroe
 The foregoing instrument was acknowledged before me this 18 day of July, 2019, by
Jesse Thomas Dowling III who is personally known to me or has produced
Driver License as identification.

Eric Lee Freundlich
 Signature of Notary



ERIC LEE FREUNDLICH
 Commission # GG 208819
 Expires April 18, 2022
 Bonded and Budget Notary Services

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____
 Intake Planner _____
 Planner Assigned _____
 Approved _____ Date _____
 Comments _____

Intake Date Stamp



BRADEN & BRADEN, A. I. A., P. A.

Architects & Planners

417 COCONUT AVENUE, STUART, FLORIDA 34996
TELEPHONE: (772) 287-8258 FAX (772) 287-8283
#AAC-000032

August 28, 2019

**City of Fort Pierce Board of Commissioners and the
City of Fort Pierce Planning Department**

**RE Developmental Review (Conditional Use)
1814 Surfside Dr.
Technical Review Project #19-0400011**

To whom it may concern,

We are presenting you with the following on behalf of Surfside Equities LLC with full support of Thomas Dowling the President. The proposed project is a single family residence consisting of one single story residence. This residence is located east of the Coastal Construction line and is seeking a conditional use permit to allow for construction of that residence since the current coastal construction line is west of Surfside Drive making the lot otherwise unbuildable.

In regards to aesthetics, the proposed residence shall be elevated on columns to achieve compliance with the required minimum flood zone height as well as pilings and grade beams for its foundation as it is on the beach. The proposed residence has a similar style of Architecture to the neighborhood by its building shape, its proposed height, its scale as well as general roof shape as shown in the accompanying images. It also uses typical stucco finish with a metal roof consistent with other residences on this street. If you have any questions feel free to call me at 772-287-8258.

Sincerely,



**Daniel R. Braden AIA
Braden & Braden AIA PA**



BRADEN & BRADEN, A. I. A., P. A.

Architects & Planners

417 COCONUT AVENUE, STUART, FLORIDA 34996
TELEPHONE: (772) 287-8258 FAX (772) 287-8283
#AAC-000032

August 28, 2019

**City of Fort Pierce Board of Commissioners and the
City of Fort Pierce Planning Department**

**RE Developmental Review (Conditional Use)
1814 Surfside Dr.
Technical Review Project #19-0400011**

To whom it may concern,

The following revisions have made based on the TRC boards comments:

- The driveway dimensions have been revised and shown on sheet 1 in response to engineering's comments.

If you have any questions feel free to call me at 772-287-8258.

Sincerely,

**Chris Urban
Project Manager
Braden & Braden AIA PA**

Property Control Number: 2412-501-0124-000-4

WARRANTY DEED

THIS WARRANTY DEED made this 8 day of December, 2018.

STEVEN PETER ABRAHAMSON, a single person

whose post office address is: 16042 East Tombstone Ave, Fountain Hills, AZ 85268

hereafter called the Grantor, to

SURFSIDE EQUITIES, LLC, a Florida Limited Liability Company

whose post office address is: 2835 O'Donnell Street, Suite 1001, Baltimore, MD 21224

hereafter called the Grantee,

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals and the successors and assigns of corporation).

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN (\$10.00) DOLLARS and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in St. Lucie County, Florida, to wit:

Lot 4, Block 11, of SURFSIDE UNIT ONE, according to the plat thereof, as recorded in Plat Book 10, Page 17, of the Public Records of St. Lucie County, Florida.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

Subject to conditions, reservations, restrictions and easements of record, provided that this instrument shall not re-impose same.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey the land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful

claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2018.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
WITNESS - SIGNATURE
PRINT: Karen Brown

[Signature]
STEVEN PETER ABRAHAMSON

[Signature]
WITNESS - SIGNATURE
PRINT: Angela Garza

STATE OF ARIZONA

COUNTY OF MARICOPA

THE FOREGOING INSTRUMENT was acknowledged before me this 18th day of December, 2018 by STEVEN PETER ABRAHAMSON who is personally known to me or who has produced _____ as identification and who did/did not take an oath.

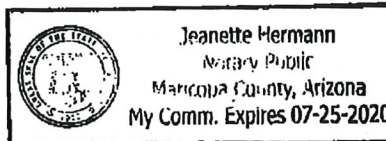
NOTARY:

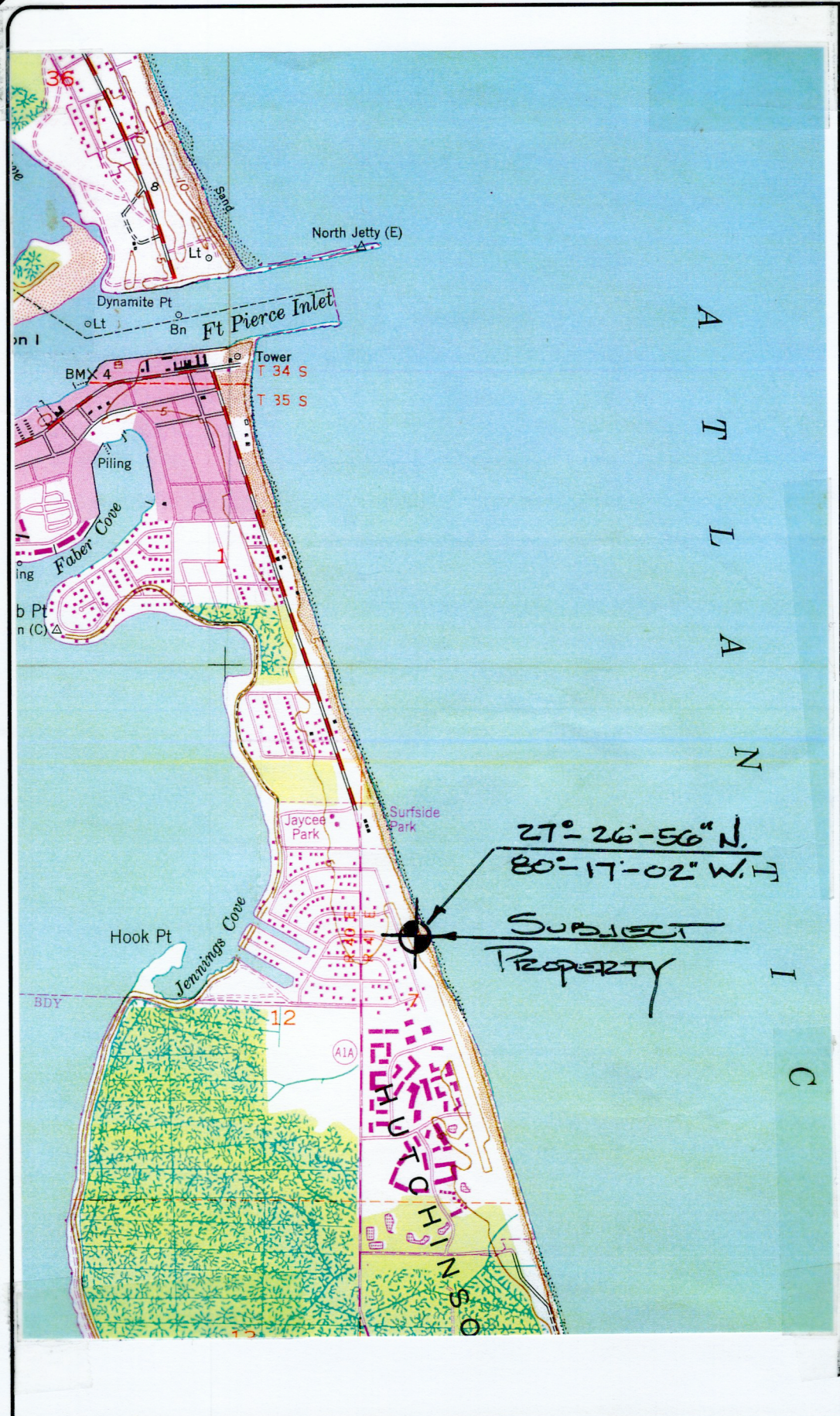
SIGNATURE: [Signature]
PRINT: JEANNETTE HERMANN

MY COMMISSION EXPIRES:

7-25-2020

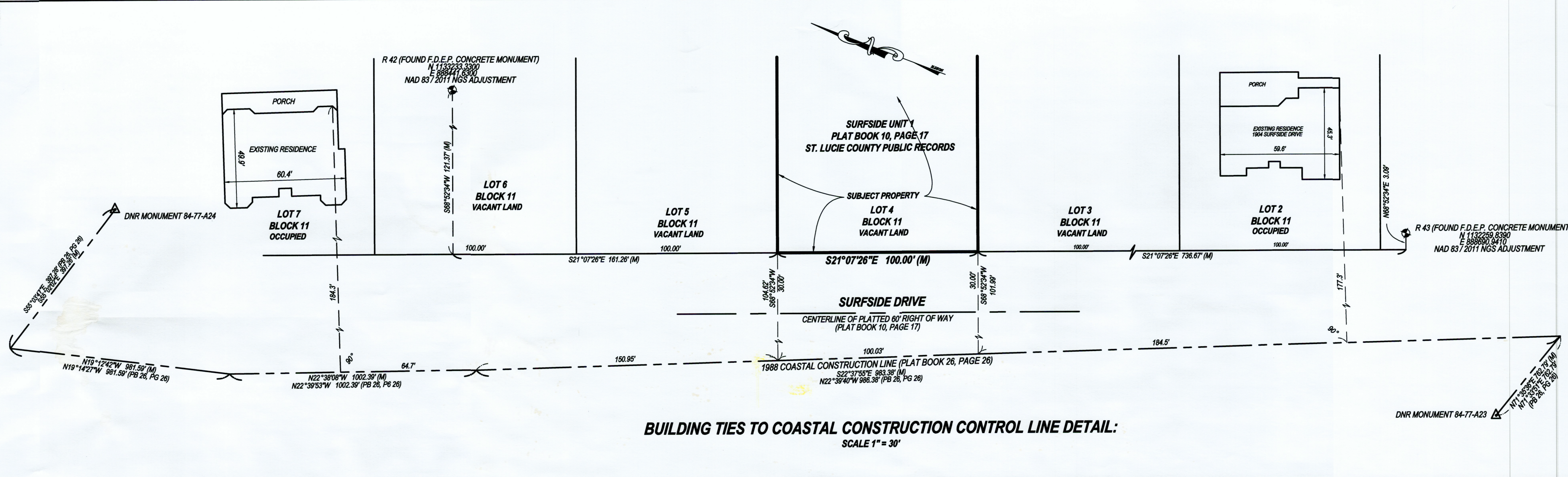
Prepared by and return to:
Garry M. Glickman, Esquire
Glickman, Witters and Marell, P.A.
1601 Forum Place Ste. 1101
West Palm Beach, Florida 33401



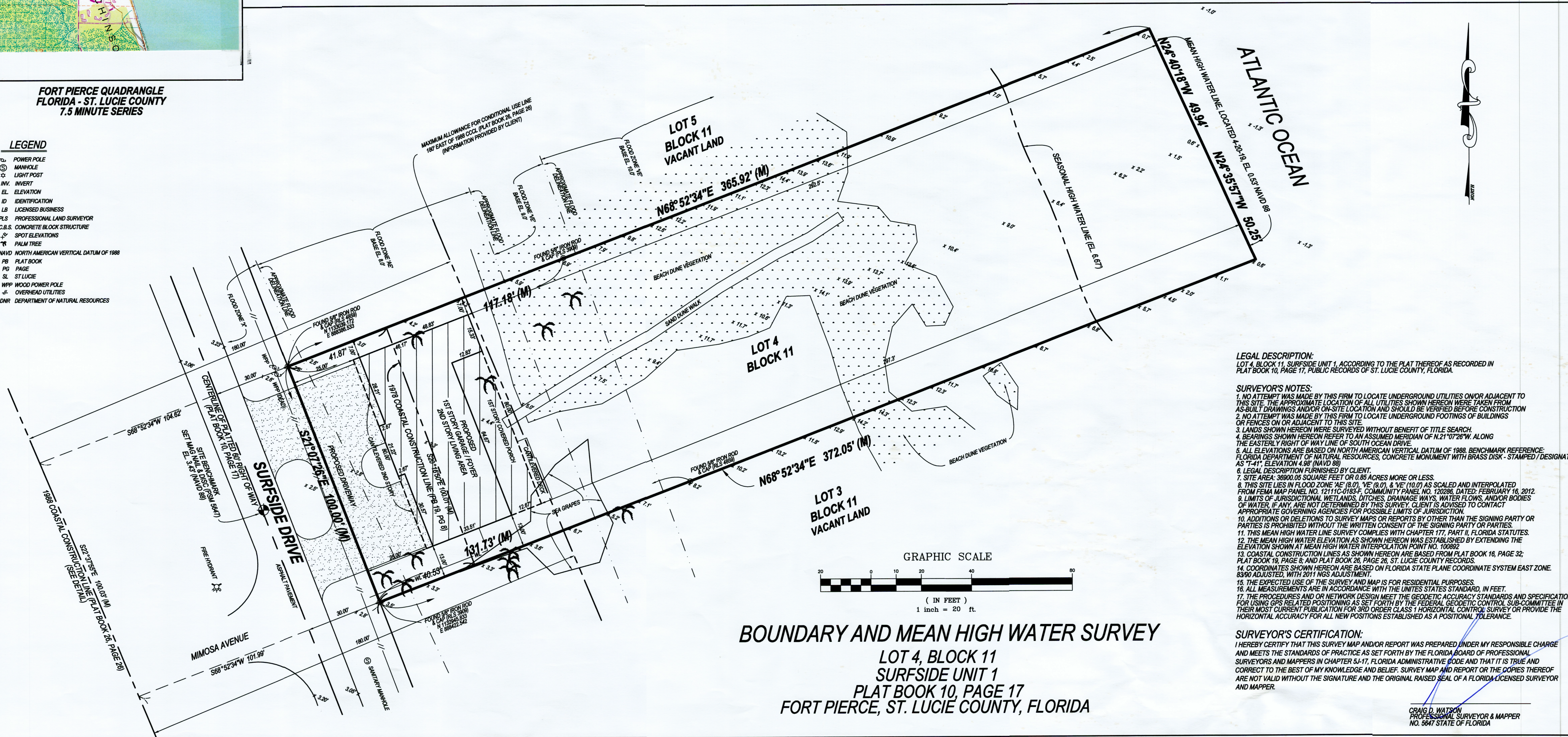


FORT PIERCE QUADRANGLE
FLORIDA - ST. LUCIE COUNTY
7.5 MINUTE SERIES

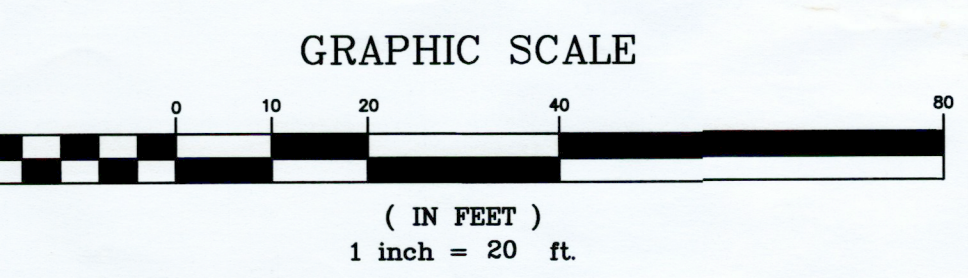
- LEGEND**
- ⊕ POWER POLE
 - MANHOLE
 - ⊙ LIGHT POST
 - INV. INVERT
 - E. ELEVATION
 - ID IDENTIFICATION
 - LB LICENSED BUSINESS
 - PLS PROFESSIONAL LAND SURVEYOR
 - C.B.S. CONCRETE BLOCK STRUCTURE
 - ⊙ SPOT ELEVATIONS
 - ☐ PALM TREE
 - NAVD NORTH AMERICAN VERTICAL DATUM OF 1988
 - PB PLAT BOOK
 - PG PAGE
 - SL ST LUCIE
 - WPP WOOD POWER POLE
 - ⊕ OVERHEAD UTILITIES
 - DNR DEPARTMENT OF NATURAL RESOURCES



BUILDING TIES TO COASTAL CONSTRUCTION CONTROL LINE DETAIL:
SCALE 1" = 30'



BOUNDARY AND MEAN HIGH WATER SURVEY
LOT 4, BLOCK 11
SURFSIDE UNIT 1
PLAT BOOK 10, PAGE 17
FORT PIERCE, ST. LUCIE COUNTY, FLORIDA



LEGAL DESCRIPTION:
LOT 4, BLOCK 11, SURFSIDE UNIT 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 10, PAGE 17, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
- LANDS SHOWN HEREON WERE SURVEYED WITHOUT BENEFIT OF TITLE SEARCH.
- BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N 21° 07' 26" W, ALONG THE EASTERLY RIGHT OF WAY LINE OF SOUTH OCEAN DRIVE.
- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BENCHMARK REFERENCE: FLORIDA DEPARTMENT OF NATURAL RESOURCES, CONCRETE MONUMENT WITH BRASS DISK - STAMPED / DESIGNATED AS 7-11, ELEVATION 4.38' (NAVD 88).
- LEGAL DESCRIPTION FURNISHED BY CLIENT.
- SITE AREA: 39800.05 SQUARE FEET OR 0.85 ACRES MORE OR LESS.
- THIS SITE LIES IN FLOOD ZONE AE (18.0'), 1E (19.0'), & VE (10.0') AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12111C-0183-E, COMMUNITY PANEL NO. 120286, DATED, FEBRUARY 16, 2012.
- LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE COVERING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS MEAN HIGH WATER LINE SURVEY COMPLIES WITH CHAPTER 177, PART II, FLORIDA STATUTES.
- THE MEAN HIGH WATER ELEVATION AS SHOWN HEREON WAS ESTABLISHED BY EXTENDING THE ELEVATION SHOWN AT MEAN HIGH WATER INTERPOLATION POINT NO. 100892.
- COASTAL CONSTRUCTION LINES AS SHOWN HEREON ARE BASED FROM PLAT BOOK 16, PAGE 32; PLAT BOOK 19, PAGE 8; AND PLAT BOOK 28, PAGE 26, ST. LUCIE COUNTY RECORDS.
- COORDINATES SHOWN HEREON ARE BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM EAST ZONE, 8390 ADJUSTED, WITH 2011 NGS ADJUSTMENT.
- THE EXPECTED USE OF THE SURVEY AND MAP IS FOR RESIDENTIAL PURPOSES.
- ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, IN FEET.
- THE PROCEDURES AND OR NETWORK DESIGN MEET THE GEODETIC ACCURACY STANDARDS AND SPECIFICATIONS FOR USING GPS RELATED POSITIONING AS SET FORTH BY THE FEDERAL GEODETIC CONTROL SUB-COMMITTEE IN THEIR MOST CURRENT PUBLICATION FOR 3RD ORDER CLASS 1 HORIZONTAL CONTROL SURVEY OR PROVIDE THE HORIZONTAL ACCURACY FOR ALL NEW POSITIONS ESTABLISHED AS A POSITIONAL TOLERANCE.

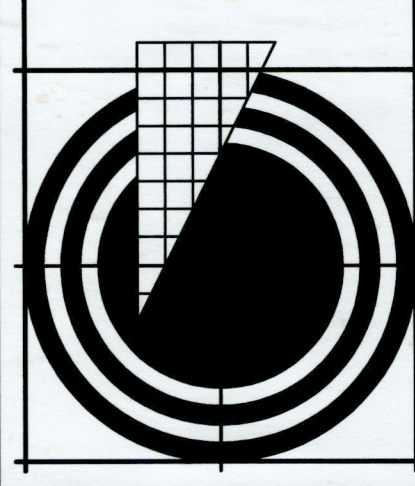
SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY THAT THIS SURVEY MAP AND/OR REPORT WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 55-17, FLORIDA ADMINISTRATIVE CODE AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

CRAIG D. WATSON
PROFESSIONAL SURVEYOR & MAPPER
NO. 5847 STATE OF FLORIDA

DATE	REVISIONS	DWG. CHK.	DATE	REVISIONS	DPK.	CDW.
7-23-19	SITE PLAN					

PREPARED FOR:
SURFSIDE EQUITIES, LLC
1814 SURFSIDE DRIVE
FORT PIERCE, FLORIDA

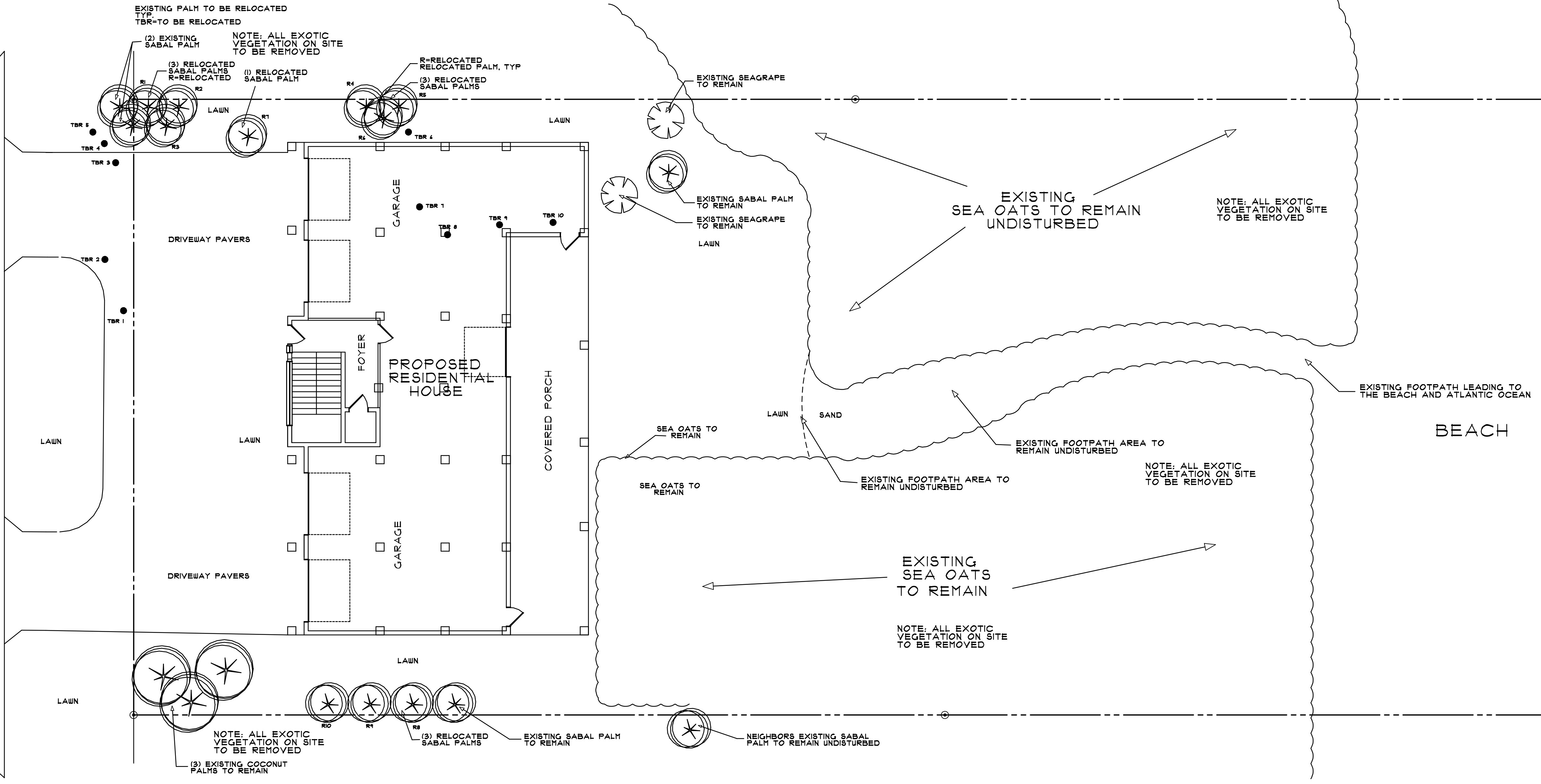
WATSON | KILLANE
SURVEYING AND MAPPING, INC.
2240 NE DIXIE HIGHWAY - JENSEN BEACH, FLORIDA 34957
PHONE 772-334-0868 - EMAIL: WATSONKILLANE@GMAIL.COM
LICENSED BUSINESS NO. 8241



JOB NUMBER: 19-161
FIELD DATE: 4-20-19
CHECKED BY: CDW
DRAWN BY: DPK
SCALE: 1" = 20'
SHEET 1 OF 1

SURFSIDE DRIVE

MIMOSA AVENUE



LANDSCAPE PLAN

TBR = TO BE REMOVED

Scale 1:10

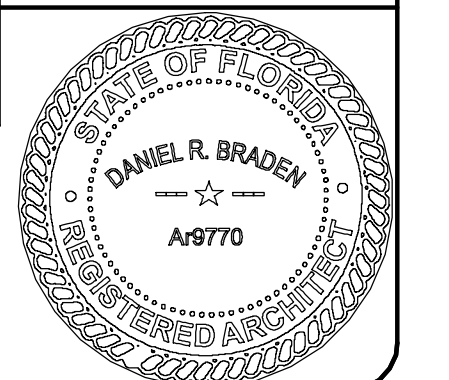
Revisions :
1-19-19

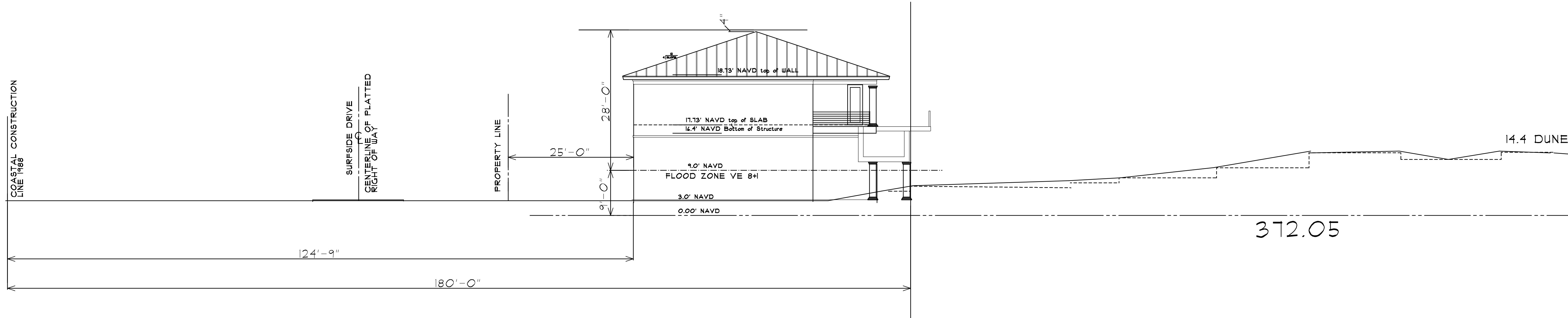
Date Drawn: 6-7-19
Drawn by: R.D.C.
Checked by: D.R.B.

Plan For: SURFSIDE EQUITIES LLC

Braden & Braden
ARCHITECTS - PLANNERS
 411 S.E. COCONUT AVENUE
 Tel : (772) 281-8258
 Fax : (772) 281-8283
 Website: www.bradenarchitects.com
 Stuart, FL 34994 #AAC000032

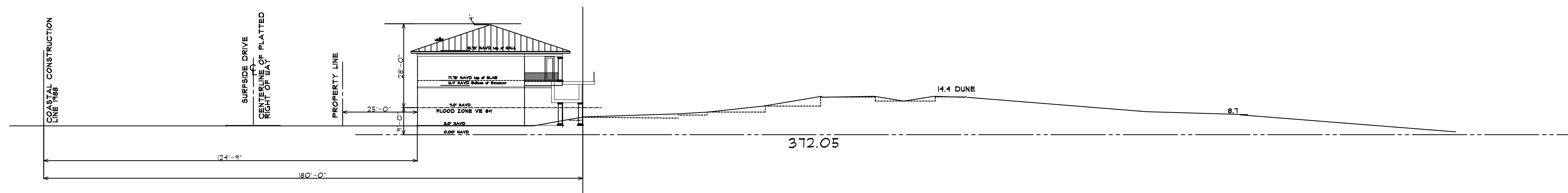
SHEET NO:
 2
 OF
 JOB NUMBER:
 19-80





HOUSE PORTION OF SITE SECTION LARGER SCALE

SCALE 1:10" = 1'-0"



TOTAL SITE SECTION

SCALE 1:20" = 1'-0"

Date Drawn: 6-1-19
 Revisions: 1-19-19
 Drawn by: R.D.C.
 Checked by: D.R.B.

Plan For:
 SURFSIDE EQUITIES LLC

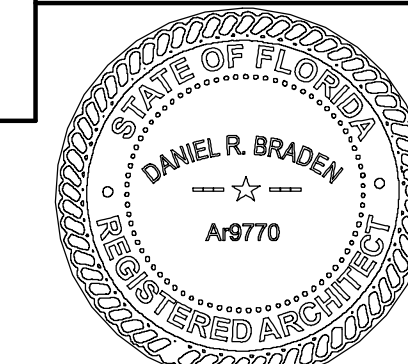
Braden & Braden
 ARCHITECTS - PLANNERS
 411 S.E. COCONUT AVENUE
 Tel : (772) 281-8258
 Fax : (772) 281-8283
 Website: www.bradenarchitects.com
 Stuart, FL 34996 #AAC000032

SHEET NO:

3
 OF

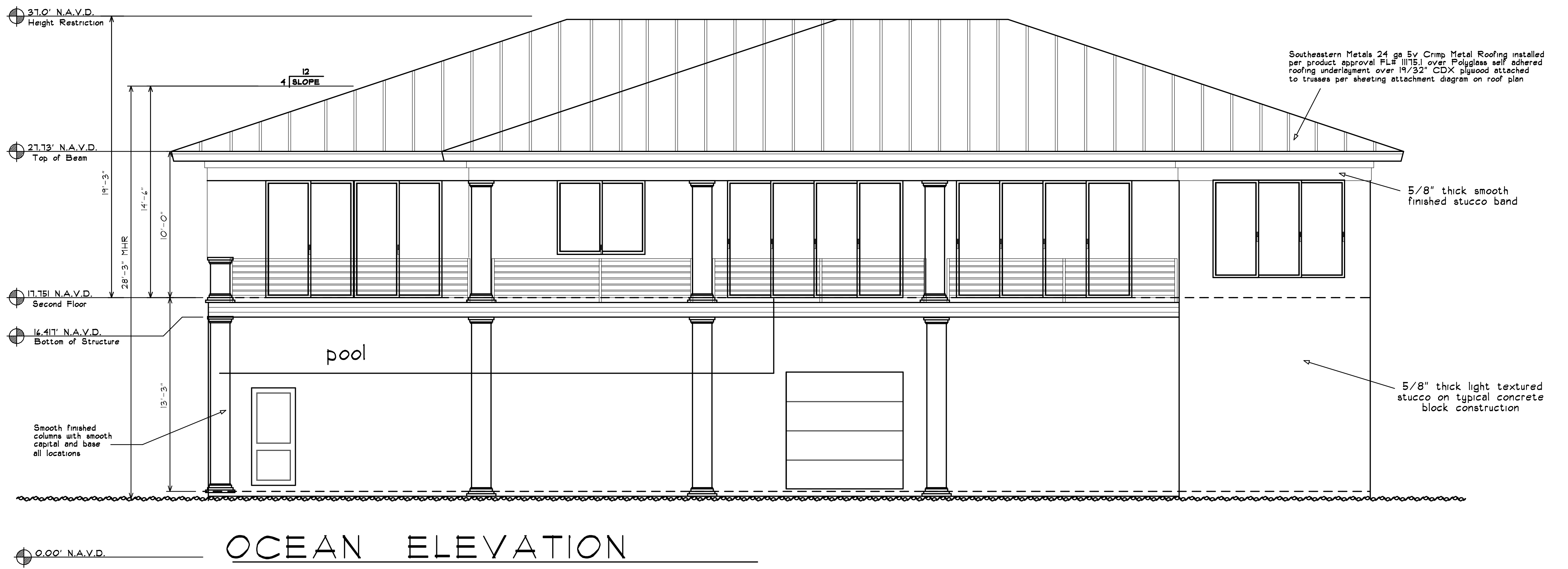
JOB NUMBER:

19-80





STREET ELEVATION



OCEAN ELEVATION

ALL GLASS IN EXTERIOR WINDOWS AND DOORS WILL HAVE A VISIBLE LIGHT TRANSMITTANCE VALUE OF 45% OR LESS

Revisions :

Date Drawn: 1-11-19

Drawn by: D.R.B.

Checked by: D.R.B.

Residence For:

SURFSIDE EQUITIES LLC

Address: 1814 SURFSIDE DRIVE, FT. PIERCE, FL.

Braden & Braden AIA, PA

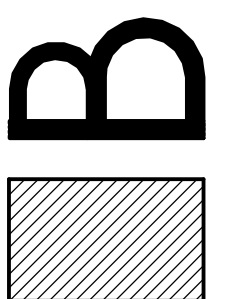
ARCHITECTS - PLANNERS

417 S.E. COCONUT AVENUE

Tel : (112) 281-6258

Fax : (112) 281-6283

Website: www.bradenarchitects.com



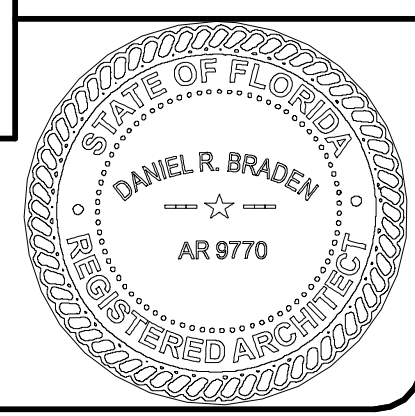
SHEET NO:

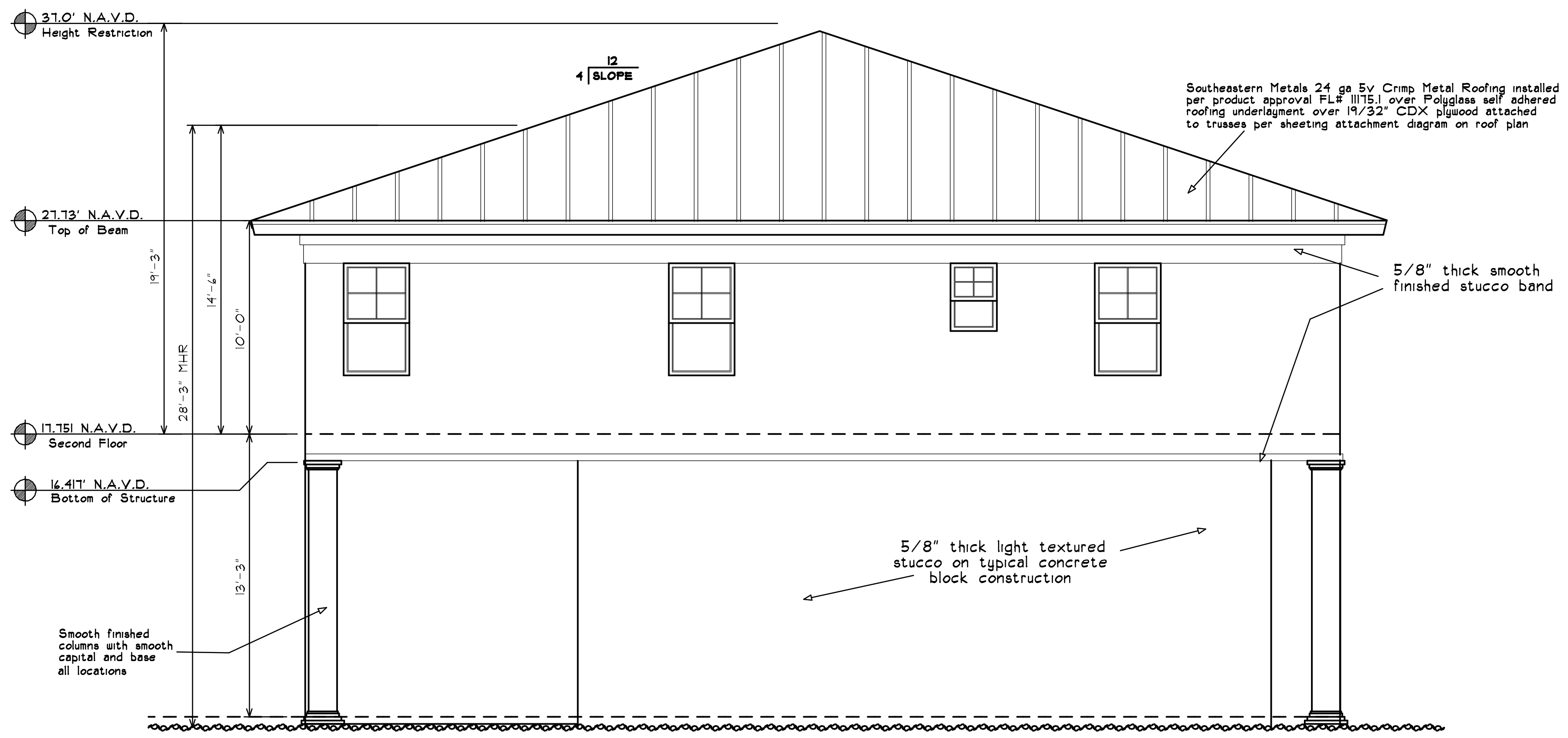
4

OF

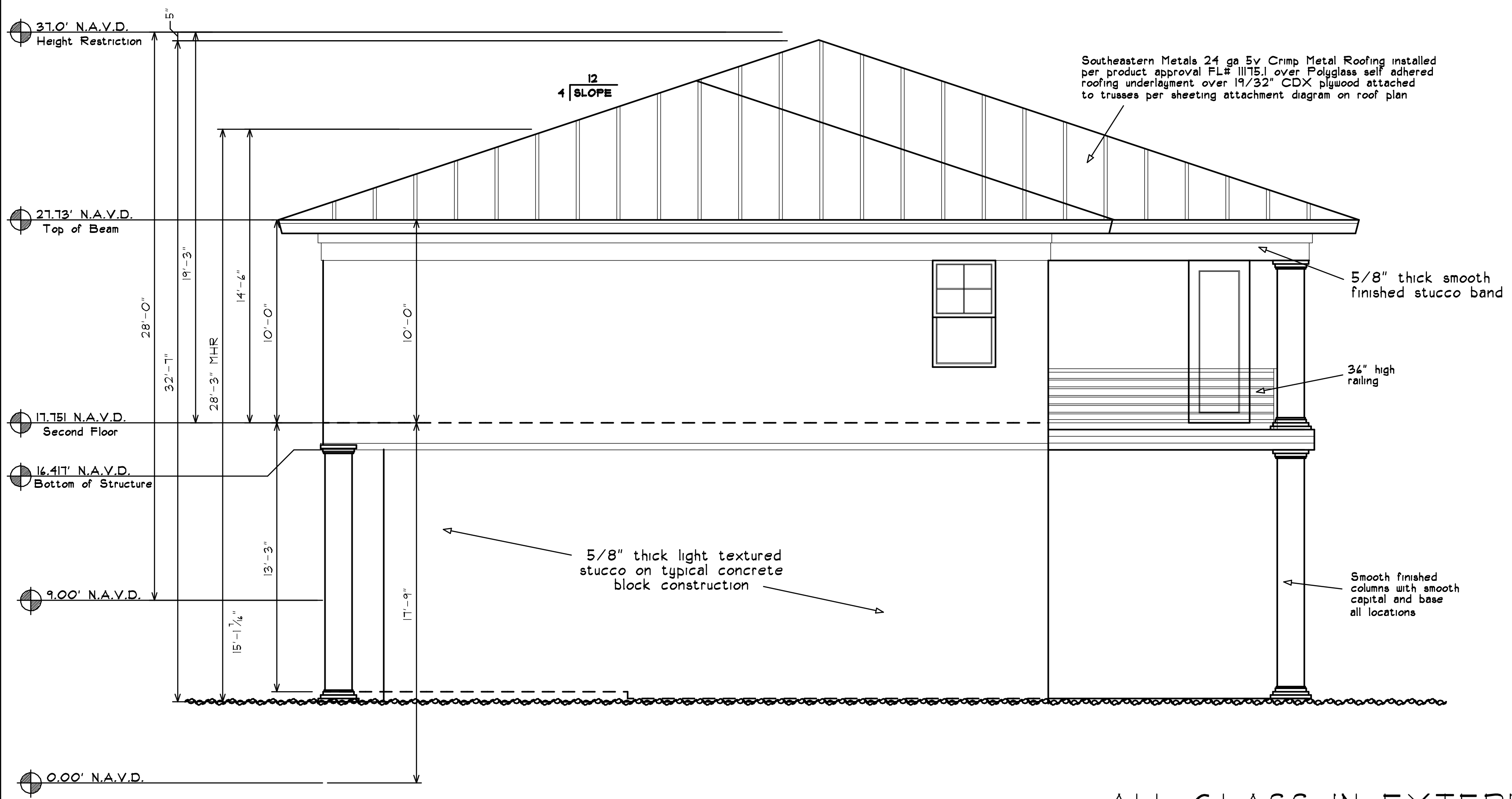
JOB NUMBER:

19-80





ALL GLASS IN EXTERIOR WINDOWS AND DOORS
WILL HAVE A VISIBLE LIGHT TRANSMITTANCE VALUE
OF 45% OR LESS

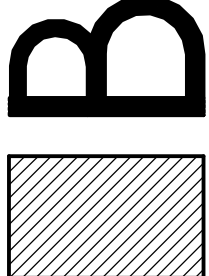


ALL GLASS IN EXTERIOR WINDOWS AND DOORS
WILL HAVE A VISIBLE LIGHT TRANSMITTANCE VALUE
OF 45% OR LESS

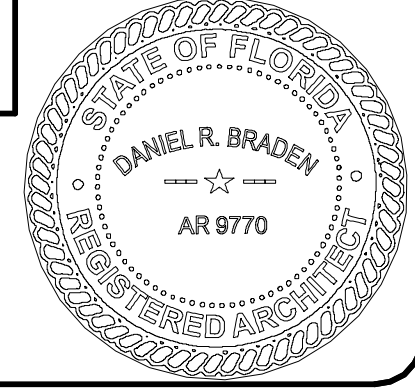
Revisions :
Date Drawn: 1-11-19
Drawn by: D.R.B.
Checked by: D.R.B.

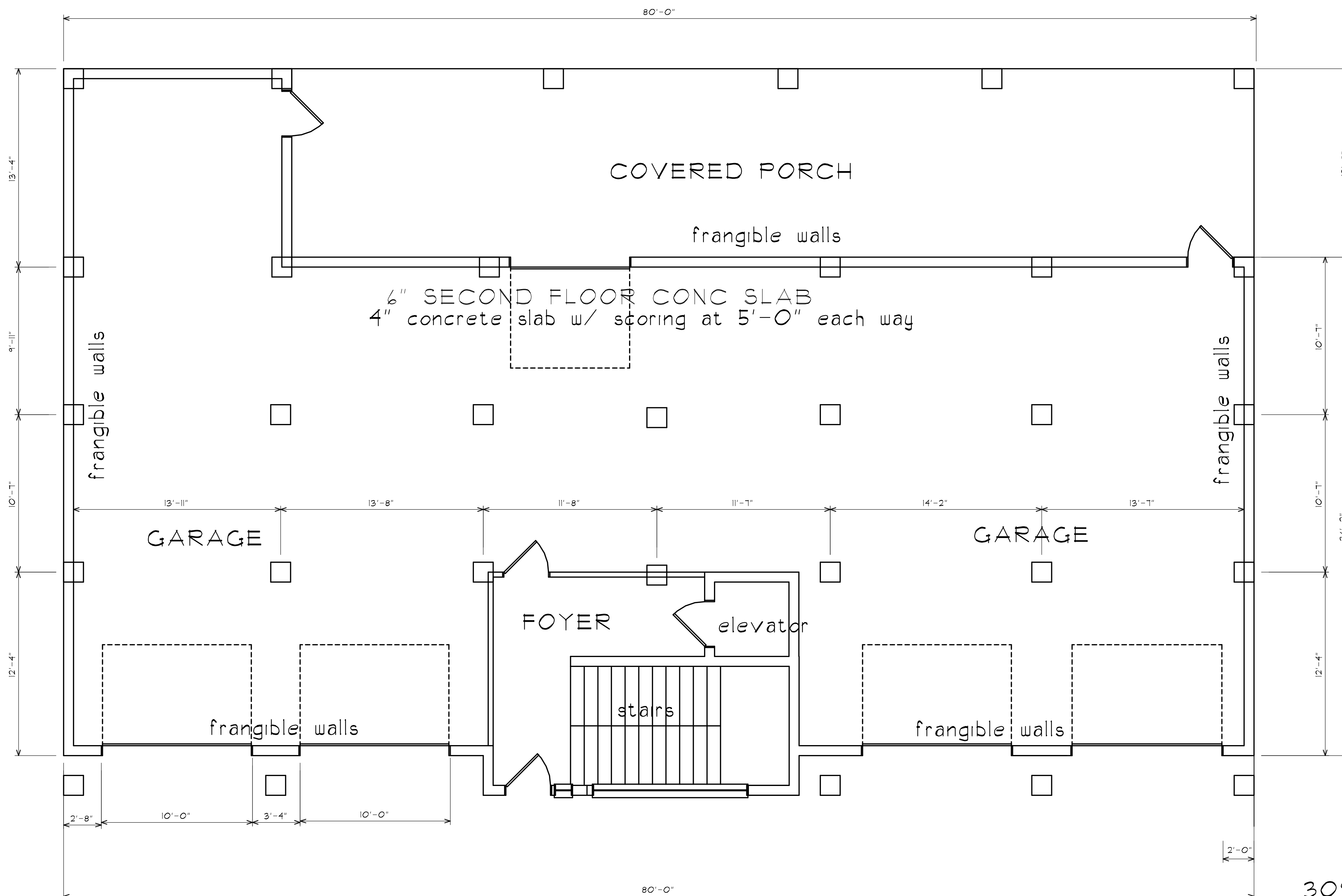
Residence For:
SURFSIDE EQUITIES LLC
Address: 1814 SURFSIDE DRIVE, FT. PIERCE, FL.

Braden & Braden AIA, PA
ARCHITECTS - PLANNERS
417 S.E. COCONUT AVENUE
Tel : (112) 281-6258
Fax : (112) 281-6283
Website: www.bradenarchitects.com
Stuart, FL 34996 #AAC000032



SHEET NO:
5
OF
JOB NUMBER:
19-80





FLOOR PLAN

TYPICAL NOTES:

1. Contractor to verify ALL notes and dimensions prior to proceeding with work.
2. Contractor to STRICTLY enforce ALL OSHA Requirements.
3. ALL Lumber to be used as Beam, Rafters, etc... to have a minimum 1,400 P.S.I. fiber stress.
4. No dissimilar metals to touch.
5. ALL Concrete used for slabs shall be 2500 PSI concrete, and ALL Concrete used for vertical filled cells, continuous, tie beams etc.. to shall be 3,000 P.S.I. concrete and/or 4,000 P.S.I. grout mix
6. Drywall at ceilings shall be leveled and attached to bottom chord of trusses with screws.
7. ALL wood in contact with concrete shall be pressure treated.
8. ALL wall dimensions are nominal and not finished wall or stud dimensions.
9. ALL plumbing fixtures to be low flow.
10. Contractor to Provide Pan & Drain at water heater in accordance with the Florida Plumbing Code current edition.
11. Contractor to Provide a 2'-8" wide door at one bathroom for handicap accessibility requirements.
12. Lowest finished floor to be set by Governing Building Department surveyor to set in field.
13. Separation between residence and garage shall be per FBC R309.1 and R309.2
14. Door between garage and residence shall be 1-3/8" solid wood - 20 min. fire rated

SCALE 1/4" = 1'-0"

3097 garage
800 sf patio

Revisions :

Date Drawn: 1-11-19
Drawn by: D.R.B.
Checked by: D.R.B.

Residence For:

SURFSIDE EQUITIES LLC

Address: 1814 SURFSIDE DRIVE, FT. PIERCE, FL.

Braden & Braden AIA, P.A.

ARCHITECTS - PLANNERS
417 S.E. COCONUT AVENUE
Tel : (772) 281-8258
Fax : (772) 281-8289
Website: www.bradenarchitects.com

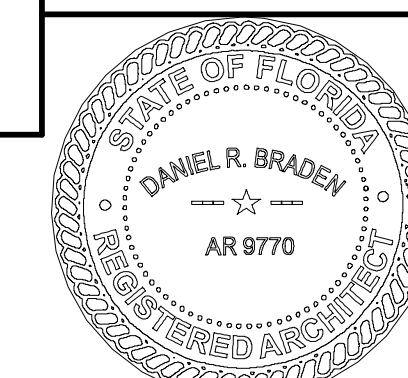


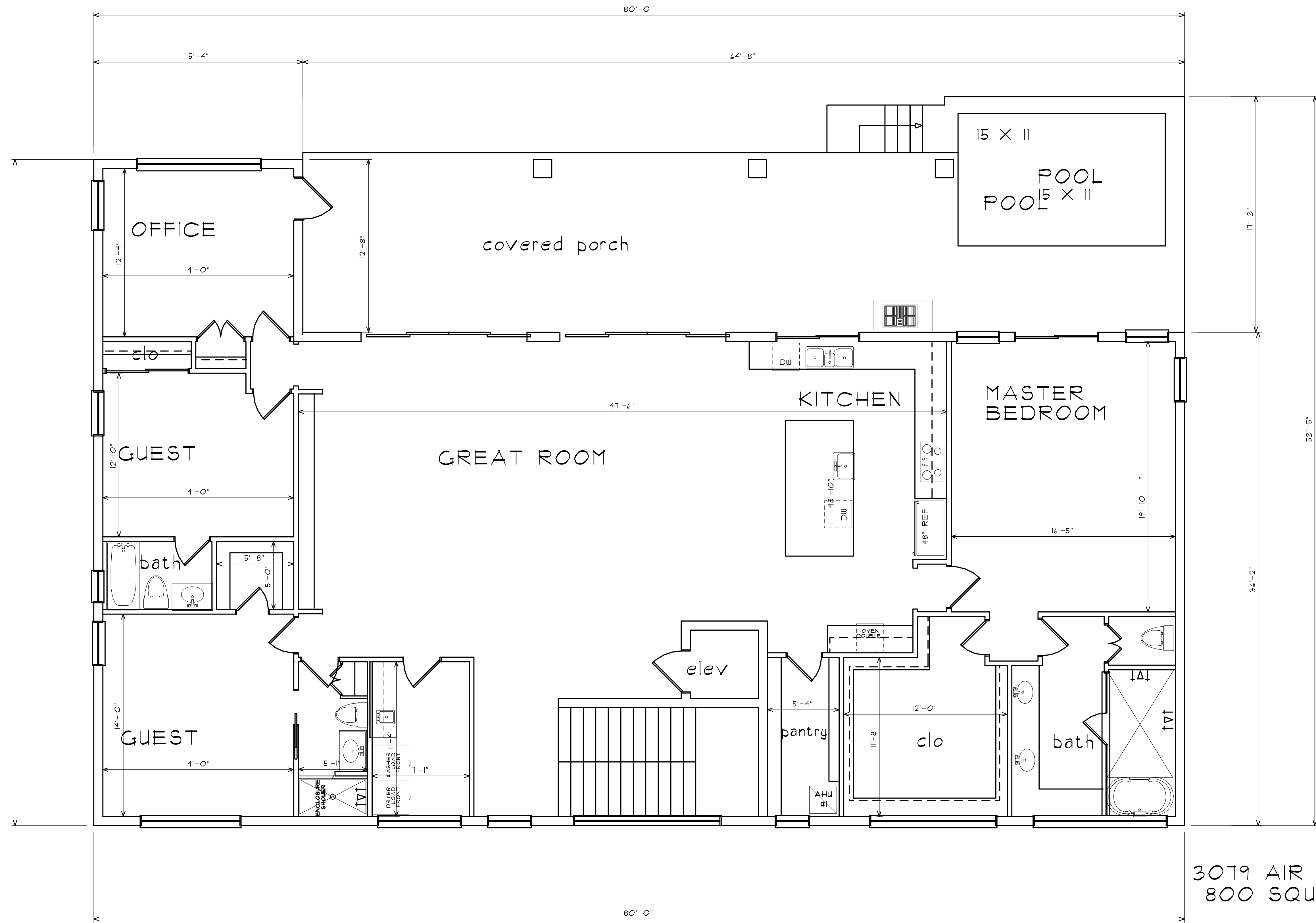
SHEET NO:

6
OF

JOB NUMBER:

19-80





3079 AIR CONDITIONED SPACE
800 SQUARE FT PATIO +/-

FLOOR PLAN

TYPICAL NOTES:

1. Contractor to verify ALL notes and dimensions prior to proceeding with work.
2. Contractor to STRICTLY enforce ALL OSHA Requirements.
3. ALL Lumber to be used as Beam, Rafters, etc... to have a minimum 1,400 P.S.I. fiber stress.
4. No dissimilar metals to touch.
5. ALL Concrete used for slabs shall be 2500 PSI concrete, and ALL Concrete used for vertical filled cells, continuous, tie beams etc.. to shall be 3,000 P.S.I. concrete and/or 4,000 P.S.I. grout mix
6. Drywall at ceilings shall be leveled and attached to bottom chord of trusses with screws.
7. ALL wood in contact with concrete shall be pressure treated.
8. ALL wall dimensions are nominal and not finished wall or stud dimensions.
9. ALL plumbing fixtures to be low flow.
10. Contractor to Provide Pan & Drain at water heater in accordance with the Florida Plumbing Code current edition.
11. Contractor to Provide a 2'-8" wide door at one bathroom for handicap accessibility requirements.
12. Lowest finished floor to be set by Governing Building Department surveyor to set in field.
13. Separation between residence and garage shall be per FBC R309.1 and R309.2
14. Door between garage and residence shall be 1-3/8" solid wood - 20 min. fire rated

SCALE 1/4" = 1'-0"

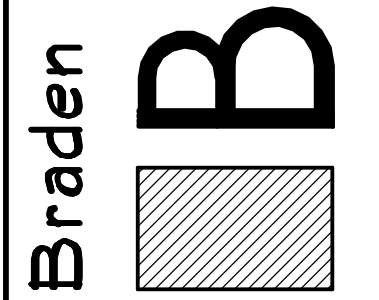
ALL GLASS IN EXTERIOR WINDOWS AND DOORS
WILL HAVE A VISIBLE LIGHT TRANSMITTANCE VALUE
OF 45% OR LESS

Revisions :

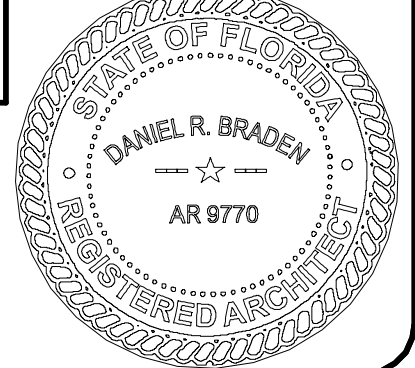
Date Drawn: 1-11-19
Drawn by: D.R.B.
Checked by: D.R.B.

Residence For:
SURFSIDE EQUITIES LLC

Braden & Braden AIA, P.A.
ARCHITECTS - PLANNERS
417 S.E. COCONUT AVENUE
Tel : (772) 281-8258
Fax : (772) 281-8289
Website: www.bradenarchitects.com
Stuart, FL 34996 #AAC000032

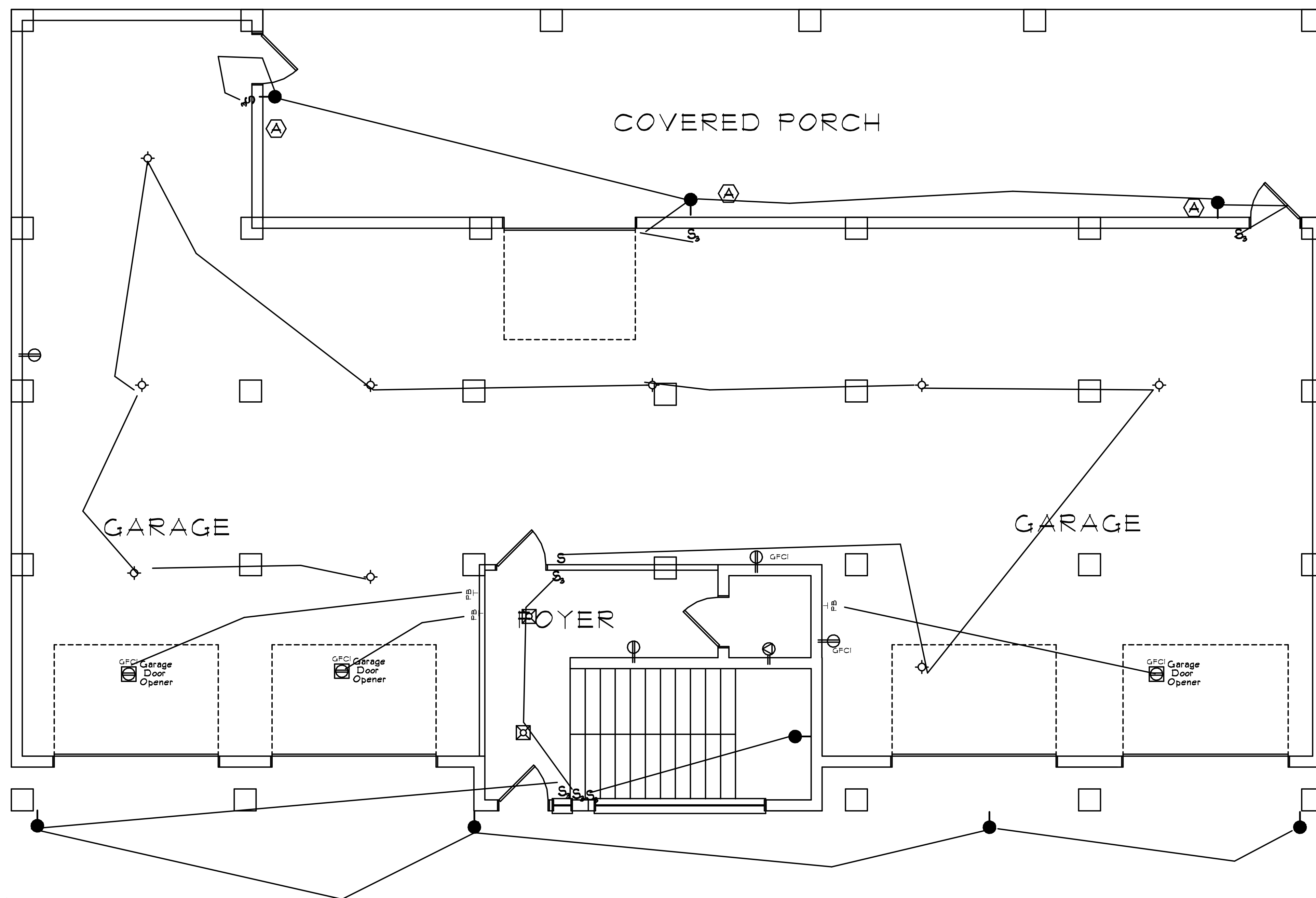


SHEET NO:
1
OF
JOB NUMBER:
19-80



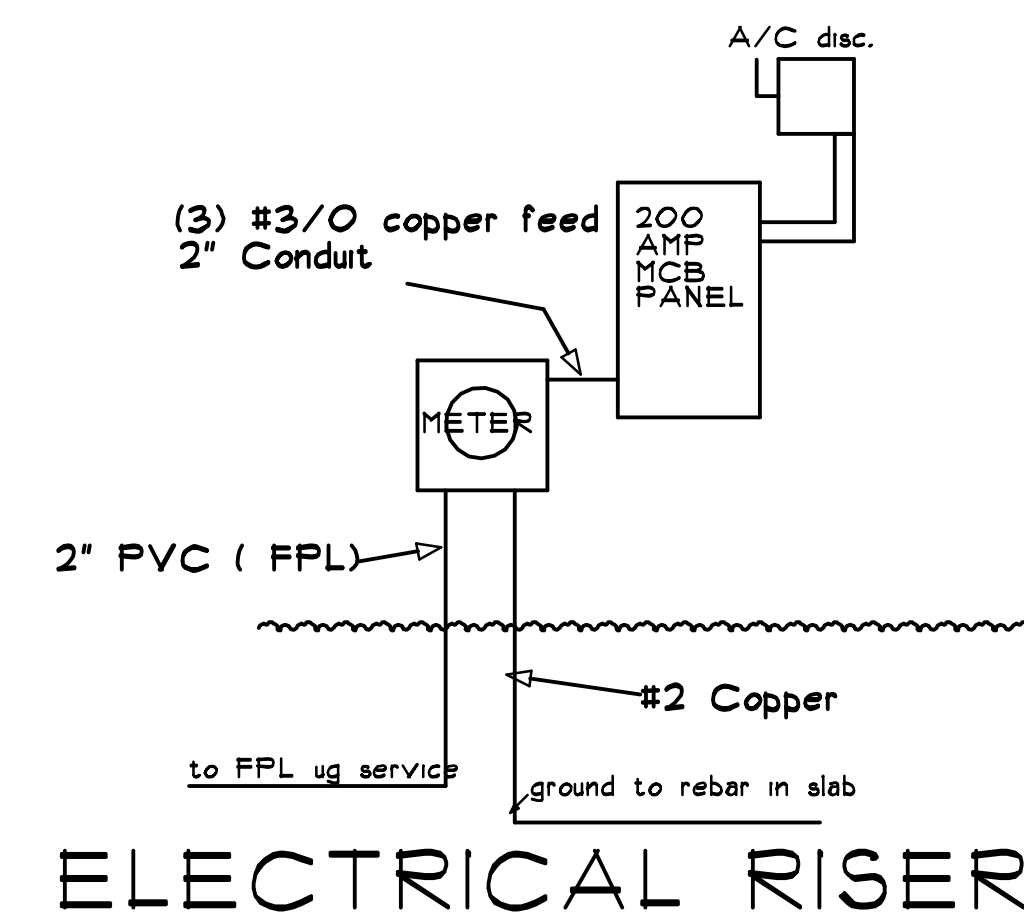
TURTLE LIGHTS

Ⓐ ASPECT LIGHTING LED WALL SCONCES
AL-SC-UD-10W-110VAC



PANEL "A"											
Poles	BR	Load	Wire	Description	circ#	circ#	Description	Wire	Load	BR	Poles
2	40	1.0 kw	#8	3.5 Ton A/C comp	1	2	AHU	#10	3.5 kw	30	2
2	40	1.0 kw	#8	3.5 Ton A/C comp	5	4	AHU	#10	3.5 kw	30	2
2	30	4.5 kw	#10	40 gal. water HTR	9	10	Range	#4	12.0 kw	50	2
1	20	1.2 kw	#12	Clothes Washer	13	14	Dryer	#10	5.0 kw	30	2
1	20	.81 kw	#12	Garage Door Opener	15	16					
1	20	.81 kw	#12	Garage Door Opener	17	18	Dishwasher	#12	1.2 kw	20	1
1	20	.81 kw	#12	Garage Door Opener	19	20	Refrigerator	#12	1.2 kw	20	1
1	20	1.5 kw	#12	Kitchen S.A.C.	21	22	Receptacles	#12		20	1
1	20	1.5 kw	#12	Kitchen S.A.C.	23	24	Receptacles	#12		20	1
1	20		#14	General Lighting	25	26	Receptacles	#12		20	1
1	20		#14	General Lighting	27	28	Receptacles	#12		20	1
1	20		#14	General Lighting	29	30	Receptacles	#12		20	1
1	20		#14	General Lighting	31	32	Receptacles	#12		20	1
1	20		#14	General Lighting	33	34	Receptacles	#12		20	1
1	20		#14	General Lighting	35	36	Receptacles	#12		20	1
1	20		#14	General Lighting	37	38	Receptacles	#12		20	1
1	20		#14	General Lighting	39	40	Bathroom GFI	#12		20	1
1	20		#14	Bathroom GFI	41	42	Pool Equipment	#10	2.8 kw	30	1

PANEL "A" LOAD CALCULATION SHEET			
Load Description	Qty.	Watts	Total(Watts)
General Lighting (3 watts sq. ft.)	3079	3	3472
Small Appliance Circuit(s)	2	1,500	3,000
Range	1	12,000	12,000
Range Hood	1	1,100	1,100
Refrigerator	1	1,200	1,200
Dish Washer	1	1,200	1,200
Disposal	1	1,000	1,000
Clothes Washer	1	1,200	1,200
Clothes Dryer	1	5,000	5,000
Water Heater	1	4,500	4,500
Pool Equipment	1	2,800	2,800
Garage Door Opener	3	810	2430
Total Watts			32,110
First 10000 Watts	100%	10,000	10,000
Remainder	22,110 @40%	0	9,108
Electric Heat or A/C	10,000 @5%	4,500	4,500
Calculated Load		Watts	25,600
		Voltage	240
Calculated Wattage Divided by Voltage = Total Amps			
			106
Panel Size Required = 150 Amps			



ELECTRICAL PLAN

ELECTRIC NOTES:

SCALE: 1/4" = 1'-0"

- Use copper wire only, no aluminum.
- Provide and wire all required smoke detectors.
- Contractor to verify location of electrical service and provide
- ALL paddle fans shall be on a rheostat.
- Recessed cans to be installed per NFPA requirements.
- ALL Branch Circuits that supply 125v single phase 15 amp or 20 amp outlets shall be protected by Combination-Type AFCI Circuit Breakers.
- Tamper resistant AFCI receptacles to be installed in ALL rooms Kitchen, Bathrooms, and Garage.
- ALL bath and kitchen and garage receptacles to be GFCI protected.
- ALL exterior outlets to be WP/GFCI protected.
- A/C Return Air Balance Must comply w/ F.B.C. Mechanical 2010 ed. and current version of any supplements to the 2010 ed.
- A/C Refrigerant lines that are run thru slabs must be sleeved in PVC
- ALL A/C Equipment shall be 15 SEER
- Provide Disconnects at ALL appliances (water heater, A/C units, and ALL other equipment as required by N.E.C.)
- A/C Ducts in Garage shall be metal or 1" thick minimum rigid nonmetallic Class O or Class I duct or other approved material and shall have no openings into the garage.
- Smoke Alarms shall be installed in the following locations:
 - In each sleeping room.
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - On each additional story of the dwelling
 ** ALL Smoke Alarms shall be interconnected and hardwired **

Electrical Symbol Legend			
S	Single Pole Switch	☒	Recessed Can Light
S ₂	Double Pole Switch	☒	Eyeball Recessed Can Light
S _D	Dimmer Switch	☒	Exhaust Fan
PB	Push Button Switch	⬠	Ceiling Mounted Light
⊖	Duplex Outlet	●	Wall Mounted Light
⊖	Special Receptacle	⊗	Light with Pull Chain (attic)
⊖	Waterproof, ground fault interrupter	⊗	Computer Connection Jack
⊖	Floor Duplex Outlet	☒	Flood Light
⊖	Junction Box	☒	Electrical Panel
⊖	Thermostat	☒	Electrical Meter
⊖	Central Vac	☒	A/C Disconnect
⊖	Smoke Detector	☒	Ceiling Fan
⊖	Television Jack	☒	2 x 4 Florescent Light
⊖	Telephone Jack	☒	Intercom
☒	1 x 4 Florescent Light	☒	Ceiling Mounted Light Dome Style
SPKR	Speaker Hook-Up	☒	Motion Detector (closet light)
⬠	Pendant Light		
☒	Carbon Monoxide Detector		

Revisions :

Date Drawn: 1-11-19

Drawn by: D.R.B.

Checked by: D.R.B.

Residence For:
SURFSIDE EQUITIES LLC

Braden & Braden AIA, P.A.

ARCHITECTS - PLANNERS
417 S.E. COCONUT AVENUE
Tel : (772) 281-8258
Fax : (772) 281-8289
Website: www.bradenarchitects.com

Stuart, FL 34994 #AAC000032

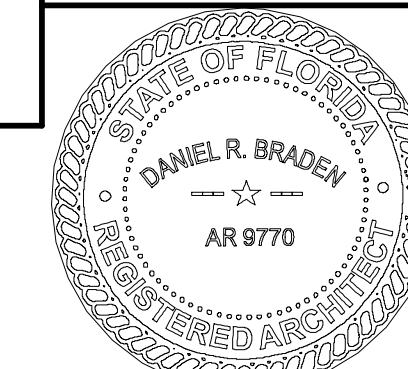
SHEET NO:

11-1

OF

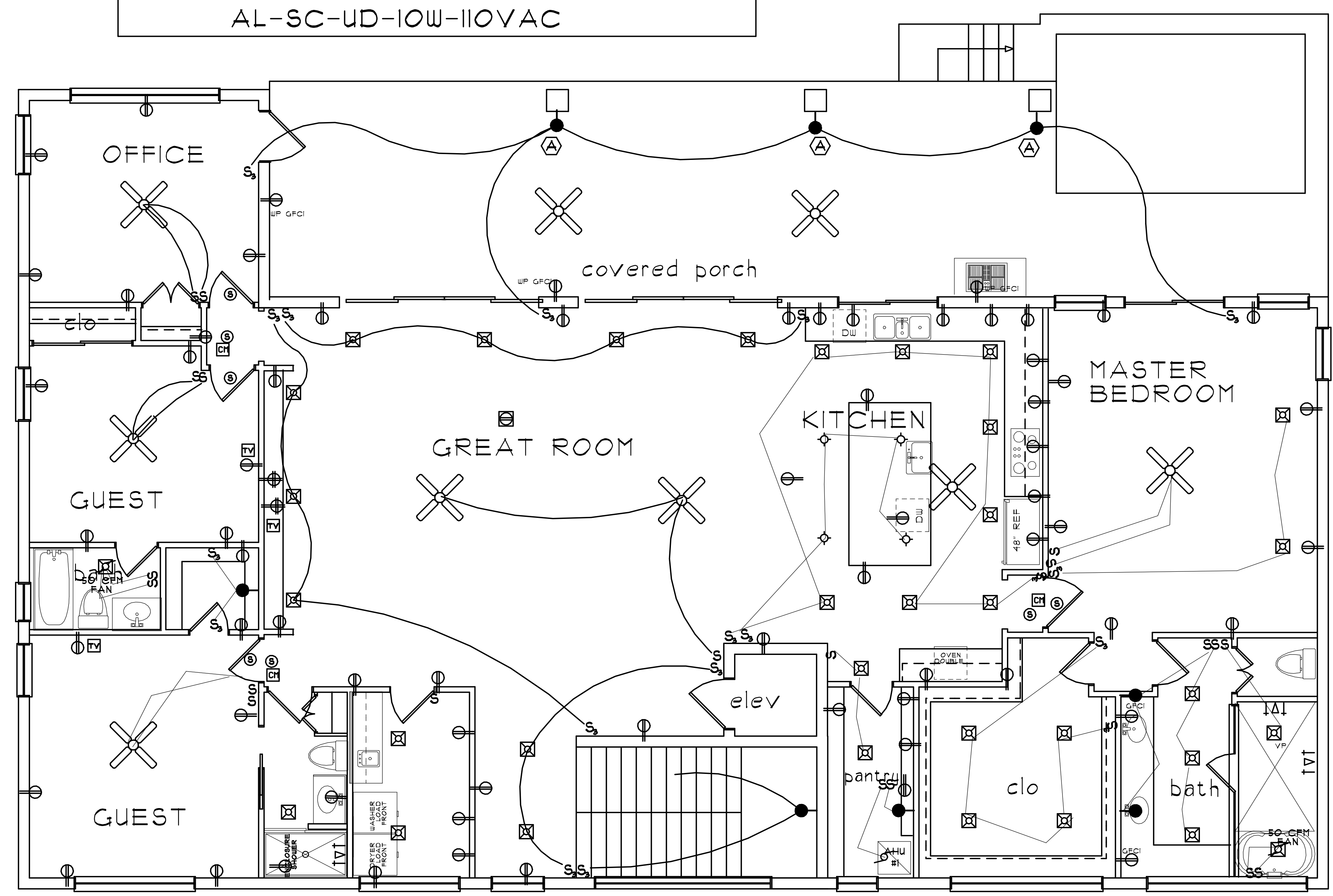
JOB NUMBER:

19-80



Ⓐ ASPECT LIGHTING LED WALL SCONCES
AL-SC-UD-10W-110VAC

Electrical Symbol Legend			
S	Single Pole Switch	⊠	Recessed Can Light
S ₂	Double Pole Switch	⊠	Eyeball Recessed Can Light
S ₃	Dimmer Switch	⊠	Exhaust Fan
⊠	Push Button Switch	⊠	Ceiling Mounted Light
⊠	Duplex Outlet	⊠	Wall Mounted Light
⊠	Special Receptacle	⊠	Light with Pull Chain (tatto)
⊠	Waterproof, ground fault interrupter	⊠	Computer Connection Jack
⊠	Floor Duplex Outlet	⊠	Flood Light
⊠	Junction Box	⊠	Electrical Panel
⊠	Thermostat	⊠	Electrical Meter
⊠	Central Vac	⊠	A/C Disconnect
⊠	Smoke Detector	⊠	Ceiling Fan
⊠	Television Jack	⊠	2 x 4 Fluorescent Light
⊠	Telephone Jack	⊠	Intercom
⊠	1 x 4 Fluorescent Light	⊠	Ceiling Mounted Light Dome Style
⊠	Speaker Hook-Up	⊠	Motion Detector (cleart light)
⊠	Pendant Light		
⊠	Carbon Monoxide Detector		



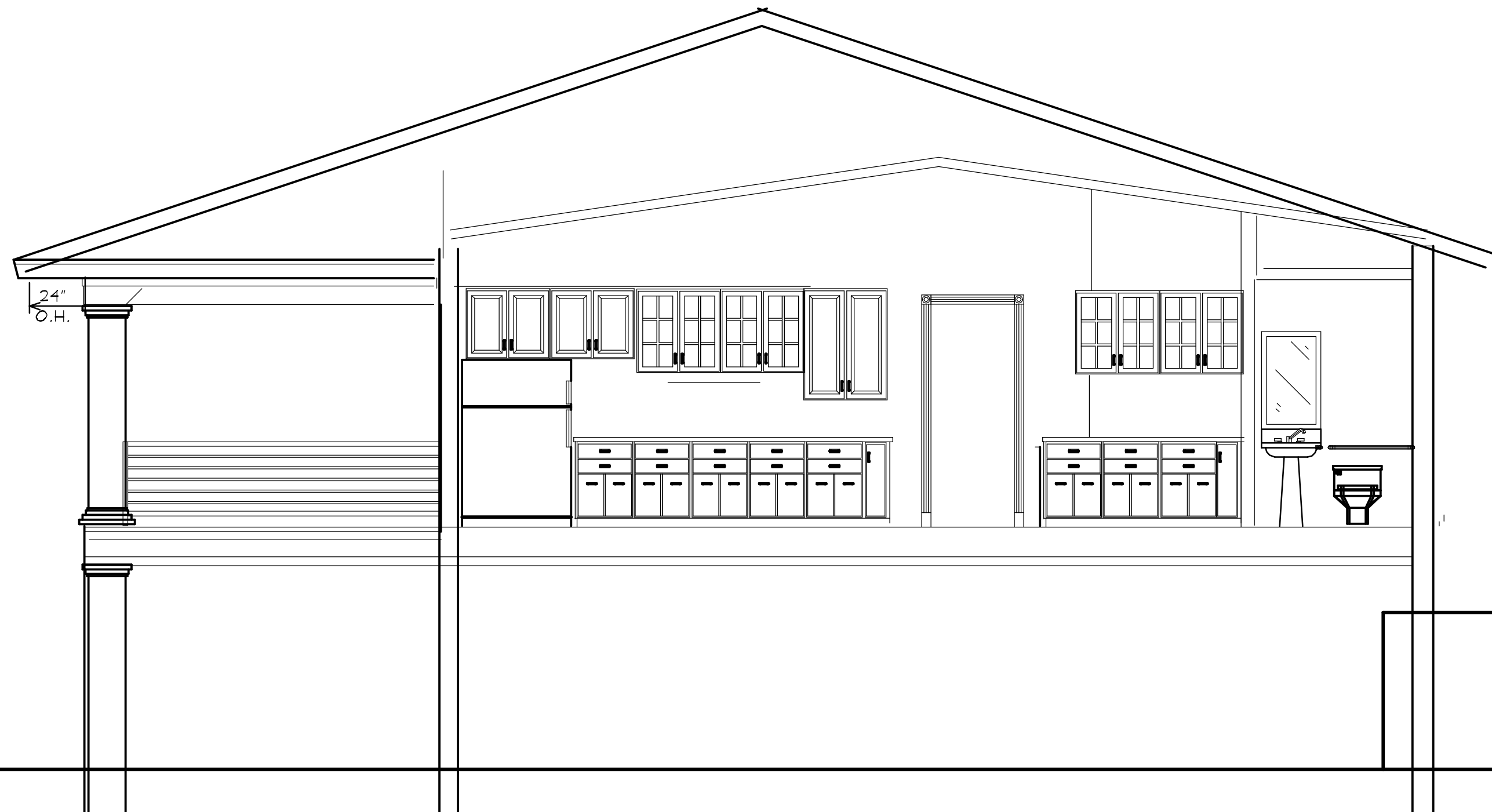
ELECTRICAL PLAN

ELECTRIC NOTES:

SCALE: 1/4" = 1'-0"

1. Use copper wire only, no aluminum.
2. Provide and wire all required smoke detectors.
3. Contractor to verify location of electrical service and provider
4. ALL paddle fans shall be on a rheostat.
5. Recessed cans to be installed per NFPA requirements.
6. ALL Branch Circuits that supply 125v single phase 15 amp or 20 amp outlets shall be protected by Combination-Type AFCI Circuit Breakers.
7. Tamper resistant AFCI receptacles to be installed in ALL rooms Kitchen, Bathrooms, and Garage.
8. ALL bath and kitchen and garage receptacles to be GFCI protected.
9. ALL exterior outlets to be WP/GFCI protected.
10. A/C Return Air Balance Must comply w/ F.B.C. Mechanical 2010 ed. and current version of any supplements to the 2010 ed.
11. A/C Refrigerant lines that are run thru slabs must be sleeved in PVC
12. ALL A/C Equipment shall be 15 SEER
13. Provide Disconnects at ALL appliances (water heater, A/C units, and ALL other equipment as required by N.E.C.)
14. A/C Ducts in Garage shall be metal or 1" thick minimum rigid nonmetallic Class O or Class I duct or other approved material and shall have no openings into the garage.
15. Smoke Alarms shall be installed in the following locations:
 - a) In each sleeping room.
 - b) Outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - c) On each additional story of the dwelling

** ALL Smoke Alarms shall be interconnected and hardwired **



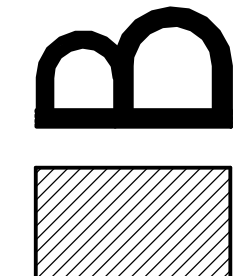
Revisions :

Date Drawn: T-11-19
 Drawn by: D.R.B.
 Checked by: D.R.B.

Residence For:
SURFSIDE EQUITIES LLC

Address: 1814 SURFSIDE DRIVE, FT. PIERCE, FL.

Braden & Braden AIA, P.A.
 ARCHITECTS - PLANNERS
 411 S.E. COCONUT AVENUE
 Tel : (772) 281-8258
 Fax : (772) 281-8289
 Website: www.bradenarchitects.com
 Stuart, FL 34996 #AAC000032



SHEET NO:
E-2
 OF
 JOB NUMBER:
19-80

