

HISTORIC PRESERVATION BOARD

BOARD AGENDA

Historic Preservation Board Regular Meeting - Monday, October 26, 2020 - 2:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **APPROVAL OF MINUTES**
 - a. Minutes from the September 28, 2020 meeting
5. **PUBLIC HEARINGS**
 - a. Certificate of Appropriateness 20-14 - New Roof - 420 N. 2nd Street
 - b. Certificate of Appropriateness 20-62 - New Wall - 604 Beach Court
6. **NEW BUSINESS**
 - a. Administratively Approved Certificates of Appropriateness - September 2020
7. **COMMENTS FROM THE PUBLIC**
8. **CONSIDERATION OF ABSENCES**
9. **ADJOURNMENT**

Any person seeking to appeal any decision by the Historic Preservation Board with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3052 at least 48 hours prior to the meeting.

Historic Preservation Board - 2:00 PM

4. a.

Meeting Date: 10/26/2020

Information

REQUESTED ACTION

Minutes from the September 28, 2020 meeting

LOCATION

N/A

RESPONSIBLE STAFF

N/A

RECOMMENDATION

N/A

Attachments

Historic Preservation Board Minutes 9/28/20

Form Review

Form Started By: Alicia Rosenthal
Final Approval Date: 10/01/2020

Started On: 09/29/2020 01:50 PM

DRAFT



CITY OF FORT PIERCE
**HISTORIC PRESERVATION
BOARD**

Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE HISTORIC PRESERVATION BOARD HELD ON MONDAY, SEPTEMBER 28, 2020, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Present: **Charlie Hayek; Holly Theuns; George Johansen; Anthony Westbury; Suzanne Boardman, Chair**

Absent: **Michael Broderick; Kori Benton**

Staff Present: **Jennifer Hofmeister, Planning Director
Tanya Earley, Assistant City Attorney
Maria Lewicka, Historic Preservation Planner
Alicia Rosenthal, Executive Assistant**

4. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS/EXCUSE NON VOTING ALTERNATE**

There are no alternate Historic Preservation Board members.

5. **APPROVAL OF MINUTES**

- a. Minutes from the August 24, 2020 meeting

Motion was made by Charlie Hayek, and seconded by Anthony Westbury to approve the minutes from the August 24, 2020 meeting.

**AYE: Anthony Westbury, Charlie Hayek, Holly Theuns, George Johansen, Chair
Suzanne Boardman**

Passed

6. PUBLIC HEARINGS

a. Certificate of Appropriateness 20-39 - Demolition - 712 Avenue E

The clerk introduced Certificate of Appropriateness 20-39 for the demolition of the structure located at 712 Avenue E, Fort Pierce, Florida.

Madam Chair Boardman asked Assistant City Attorney, Tanya Earley, to explain the Quasi-Judicial Hearing procedures as they apply to all subsequent Quasi-Judicial Hearings.

Before commencing this Quasi-Judicial Hearing, Tanya Earley, Assistant City Attorney, reminded the Board that they serve in both a legislative and quasi-judicial role. When acting as a legislative body, the Board engages in law-making activity by passing laws and establishing policies. When acting as a quasi-judicial body, the Board applies those laws and policies and is held to stricter procedural requirements. Quasi-judicial proceedings are less formal than proceedings before a circuit court but are more formal than the normal Board meeting. Quasi-judicial proceedings must follow basic standards of notice and due process; and decisions must be made based on competent substantial evidence.

Therefore, Board members have a duty to conduct the quasi-judicial proceedings more like judges than legislators. That is why the Commission has established the uniform procedures for quasi-judicial hearings that will be followed today.

Madam Chair Boardman called the proceeding to order.

The clerk confirmed the City complied with advertisement and notice requirements.

Madam Chair Boardman inquired with the Board regarding ex-parte communications and asked Clerk to call the roll:

Mr. Hayek – no

Ms. Theuns – no

Mr. Westbury – no

Mr. Johansen – no

Madam Chair Boardman – no

Madam Chair Boardman opened the public hearing.

The clerk was asked to swear in those wanting to speak during this Quasi-Judicial hearing. Individuals in the audience intending to speak on this item were asked to stand, raise their right hand, and administered an oath to tell the truth, the whole truth, and nothing but the truth. Those that were sworn in were asked to clearly state their name for the record and confirm they were sworn in at such time as they were asked to come forward to testify.

Staff Presentation:

Maria Lewicka, Historic Preservation Planner, provided an overview of the application.

At the July 27, 2020 Historic Preservation Board meeting, the application was tabled for 30 days to allow interested parties to evaluate the legal dynamics of trying to pursue ownership of the property. Given the application meets A, B, C, D and E criteria for demolition of a structure within a designated historic district and the building's current state of disrepair, and that in the immediate vicinity there are current redevelopment projects, staff recommends approval of the demolition request. The removal of the building may present options for new construction to support Lincoln Park Historic District

Board questions for Staff: None

Applicant questions for Staff: None

Applicant presentation: None

Board questions for Applicant: None

Public comment: None

Madam Chair Boardman, seeing no one, closed the public hearing.

Comments by the Board: None

Motion was made by Charlie Hayek, and seconded by Holly Theuns to approve Certificate of Appropriateness 20-39 for the demolition of 712 Avenue E.

**AYE: Holly Theuns, George Johansen, Anthony Westbury, Charlie Hayek, Chair
Suzanne Boardman**

Passed

b. Certificate of Appropriateness 20-56 - Accordion Shutters - 605 S. 8th Street

The clerk introduced Certificate of Appropriateness 20-56 for the installation of 17 accordion shutters at 605 S. 8th Street, Fort Pierce, Florida.

Madam Chair Boardman called the proceeding to order.

The clerk confirmed the City complied with advertisement and notice requirements.

Madam Chair Boardman inquired with the Board regarding ex-parte communications and asked Clerk to call the roll:

Mr. Johansen – no

Mr. Westbury – no

Mr. Hayek – no

Ms. Theuns – no

Madam Chair Boardman – no

Madam Chair Boardman opened the public hearing.

The clerk was asked to swear in those wanting to speak during this Quasi-Judicial hearing. Individuals in the audience intending to speak on this item were asked to stand, raise their right hand, and administered an oath to tell the truth, the whole truth, and nothing but the truth. Those that were sworn in were asked to clearly state their name for the record and confirm they were sworn in at such time as they were asked to come forward to testify.

Staff Presentation:

Maria Lewicka, Historic Preservation Planner, provided an overview of the application.

The current proposal seeks to install hurricane accordion shutters that are not in complete harmony with the subject structure's historic materials. As such, the proposal has the potential of affecting the historic integrity of the residence. As illustrated in the photos, when folded, the proposed shutters will blend with architectural elements of the facade and importantly, protect the residence from potentially devastating hurricane wind and water damage. Further, the

Secretary of Interior recommends “Undertaking work to prevent or minimize the loss, damage or destruction of the historic property while retaining and preserving significant features and the overall historic character of the building”. After consideration of the building architecture, placement and size of the windows, and available alternatives, staff recommends that the Historic Preservation Board approve the proposed accordion window shutters. Adherence to Code Section 125-314(g)(4)(i) which states “Storm shutters shall be deployed only upon the issuance of a storm warning from the governing agency authorized to issue such warning”, will lessen any potential negative impact.

Ms. Lewicka stated that staff considered different options, including colonial shutters, but since there is not enough space, accordion shutters are the best option available.

Board questions for Staff: Mr. Hayek asked if the front door was going to have shutters and Ms. Lewicka stated not at this time.

Applicant questions for Staff: None

Applicant presentation: None

Board questions for Applicant: None

Public comment: None

Madam Chair Boardman, seeing no one, closed the public hearing.

Comments by the Board: After the vote, Mr. Hayek suggested that when the door is being replaced that an impact front door be used instead of shutters so the architectural glass block features are not covered up.

Motion was made by Holly Theuns, and seconded by Anthony Westbury to approve the proposed accordion shutters with the condition that the storm shutters shall be deployed only upon the issuance of a storm warning from the governing agency authorized to issue such warning.

**AYE: George Johansen, Anthony Westbury, Charlie Hayek, Holly Theuns, Chair
Suzanne Boardman**

Passed

7. NEW BUSINESS

Madam Chair Boardman asked if the structure that caught fire at 209 Avenue D has been condemned. Ms. Lewicka stated she spoke with the owner and they are going forward with the renovations and the changes will be brought back to the Board as an amended Certificate of Appropriateness.

- a. Administratively Approved Certificates of Appropriateness - August 2020

8. COMMENTS FROM THE PUBLIC

There were no comments from the public.

9. CONSIDERATION OF ABSENCES

Motion was made by Charlie Hayek, and seconded by Holly Theuns to approve the absences of Mr. Broderick and Mr. Benton.

**AYE: Charlie Hayek, Holly Theuns, George Johansen, Anthony Westbury, Chair
Suzanne Boardman**

Passed

10. ADJOURNMENT

Historic Preservation Board - 2:00 PM

5. a.

Meeting Date: 10/26/2020

Information

REQUESTED ACTION

Certificate of Appropriateness 20-14 - New Roof - 420 N. 2nd Street

LOCATION

420 N 2nd Street (Parcel ID: 2403- 705-0112-000-5)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Denial

Attachments

Staff Report

Application

Property Card

Public Notification

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 10/20/2020

Started On: 10/19/2020 01:47 PM



OCTOBER 26, 2020

HISTORIC PRESERVATION BOARD : PUBLIC HEARING

COA 20-14

Owner

Timothy and Cynthia O'Connell

Applicant

J.A. Taylor Roofing, Inc.

Location

420 N 2nd Street

Parcel

2403-705-0112-000-5

Historic Status

Contributing

Requested Action

Installation of a new roof

Recommendation

Denial

Staff

Maria Lewicka, AICP
Historic Preservation Planner



Contributing

Non-Contributing

Subject Site

BACKGROUND

The subject two (2)-story residential building is a contributing structure in the Edgartown Historic District. The St. Lucie County Property Record Card indicates the year of construction as 1923. The Florida Master Site File Historic Structure Form indicates the building was constructed in 1924.

The residence represents Colonial Revival architectural style. Notable architectural features include a gable roof, a hip dormer, exposed rafter tails, lap and shingle wood siding, and 1/1 double-hung sash windows.

REQUEST

The applicant is requesting approval of a COA for the removal of the architectural metal shingle roof and the installation of a one (1)-inch x 16" Standing Seam Metal Panel Roof System.



Residence Location



Subject Residence - Front Façade



Subject Residence



Subject Residence

SECRETARY OF INTERIOR'S STANDARDS FOR CONSIDERATION

2. The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property will be avoided.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work will be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF RECOMMENDATION

The subject proposal seeks to remove metal shingle roof and install Standing Seam Metal Panel Roof System which conflicts with the architectural and historical aesthetics of the structure. Preserving roof materials is central to defining the subject structure's overall historic character. Moreover, the Secretary of the Interior's Standards for Rehabilitation do not recommend removal of a major portion of a roof or roofing material that is repairable, as so stated in Standard 6, "deteriorated historic features will be repaired rather than replaced".

Roof replacement, if necessary, should be done on an in-kind basis, with the new roof matching the existing materials. Historical roofing materials such as metal shingles should be preserved when possible. If replacement is necessary, similar metal shingles should be used. Based upon Secretary of Interior Standards 2, 5, 6 and 9, staff recommends that the Historic Review Board deny the request for roof replacement or, consider approval of the new roof contingent on submission and approval of an alternative roofing material compatible in architectural texture, style and appearance to the existing historic structure.

Bldg. Permit # _____

COA# 20-14



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 420 N 2ND STREET, FORT PIERCE
Parcel ID #: 2403-705-0112-000-5
Type of Designation: Contributing Non-contributing Site within the Downtown Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner / Applicant Information

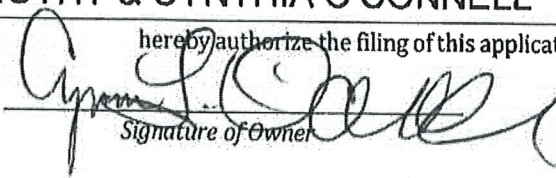
Property Owner(s) Name(s): TIMOTHY & CYNTHIA O'CONNELL
Mailing Address: 420 N 2ND ST, FORT PIERCE FL 34950
Phone Number(s): 772-924-2911 Email: _____

Applicant Name(s): J.A. TAYLOR ROOFING INC
Mailing Address: 302 MELTON DR, FT PIERCE FL 34982
Phone Number(s): 772-466-4040 Email: NADINE@JATAYLORROOFING.COM

Representative Name(s): _____
Mailing Address: _____
Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, TIMOTHY & CYNTHIA O'CONNELL as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.


Signature of Owner

2/17/2020
Date

Description of Requested Work

Please indicate the type of work requested:

- Fence Shed Door(s) Roof
 Window(s) Signage Shutter(s) Porch

- Rehabilitation New Construction Demolition Relocation

Site Improvements (describe) RE-ROOF

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

TEAR OFF EXISTING METAL ROOFING SYSTEM, RE-NAIL DECK INSTALL 1"X16"

STANDING SEAM METAL PANEL ROOF SYSTEM (NOA#18-1023.17)

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
 - Site Plan with dimensions.
 - Survey (New Construction)
 - Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
 - Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
 - Material(s) specifications and/or sample(s)
 - Color samples.
-
- Demolition - Plans for what will be taking the demolished structure's place should be submitted.



Image capture: May 2019 © 2020 Google

Fort Pierce, Florida



Street View



Untitled Map

Write a description for your map.

Legend



420 N 2nd St

420 N 2nd St



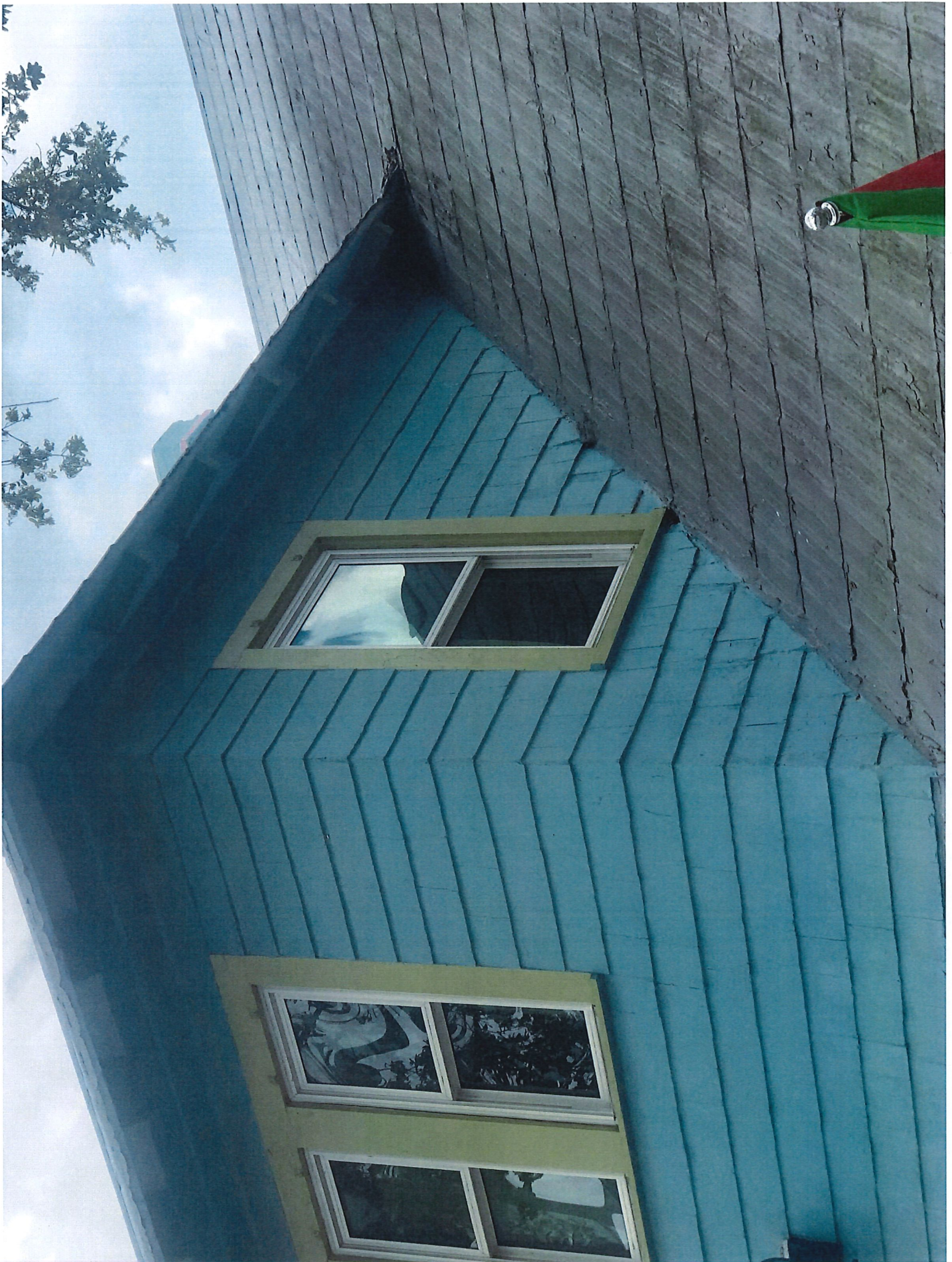
















DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/economy

NOTICE OF ACCEPTANCE (NOA)

J.A. Taylor Roofing
302 Melton Drive
Fort Pierce, FL. 34982

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami-Dade County) and or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Edge-Loc 1.0: x 16" wide x 24 ga. Steel Panel over Wood Deck

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.


RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA-No. 14-0418.01 and consists of pages 1 through 5.

The submitted documentation was reviewed by *Freddy Semino* 



NOA No.: 18-1023.17
Expiration Date: 01/09/2024
Approval Date: 12/20/2018
Page 1 of 5

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: Metal, Panels(Non-Structural)
Materials: Steel
Deck Type: Wood
Maximum Design Pressure -101.00 psf

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Edge-Loc 1.0	Length: various Width: 16" Height: 1" Thickness 0.024" (24 ga.) Min. Yield Strength: 50 ksi	TAS 110	Corrosion resistant, prefinished, coated galvanized, galvalume, standing seam, metal panels.
Trim Pieces	Length: varies Width: varies Thickness 0.024" (24 ga.)	N/A	Corrosion resistant, prefinished, coated galvanized, galvalume, standing seam, metal panels.

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Valspar	433X515	ASTM B 117	11/21/11
Valspar	433B173	ASTM D 4587, ASTM G 23	11/21/11
Force Engineering & Testing Inc.	72-0314T-06A-C	TAS 125	03/24/07
Farabaugh Engineering and Testing Inc.	T158-07A	TAS 100	04/14/07



APPROVED ASSEMBLIES:

System: Edge-Loc 1.0 Panel x 16" Wide x 24 ga. Steel
Deck Type: Wood, Non-Insulated
Deck Description: New Construction 19/32" or greater plywood or wood plank, or for re-roofing 15/32" or greater plywood.
Slope Range: 2": 12" or greater
Maximum Uplift Pressure: See Table A below

Deck Attachment: In accordance with applicable Building Code, but in no case shall it be less than 8d ring shank nails spaced 6" o.c. In reroofing, where the deck is less than 19/32" thick (Minimum 15/32") The above attachment method must be in addition to existing attachment.

Underlayment: Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or, any approved underlayment having a current NOA.

Fire Barrier Board: Any approved fire barrier having a current NOA. Refer to a current fire directory listing for fire ratings of this roofing system assembly as well as the location of the fire barrier within the assembly. See Limitation # 1.

Valleys: Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with PAC Contractors Association's current published installation instructions.

Metal Panels and Accessories: Install the "Edge-Loc 1.0 Panel" and accessories in compliance with the current published installation instructions and details in PAC Contractors Association's Installation Manual. Flashings, penetrations, valley construction and other details shall be constructed in compliance with Roofing Application Standard RAS 133.

Panels shall be secured at a spacing listed below in **Table A** with corrosion resistant #10-13 x 1" pancake head screws of sufficient length to penetrate through the sheathing a minimum 3/16 of an inch.

The adjacent panel shall overlap and be secured to each other when The female rib of panel is snapped over the male rib of panel.

TABLE A MAXIMUM DESIGN PRESSURES		
Roof Areas	Field	Perimeter and Corner ¹
Maximum Design Pressures	-59.75 psf	-101.00 psf
Maximum Screw Spacing	16" o.c.	6.75" o.c.

1. Extrapolation shall not be allowed



SYSTEM LIMITATIONS

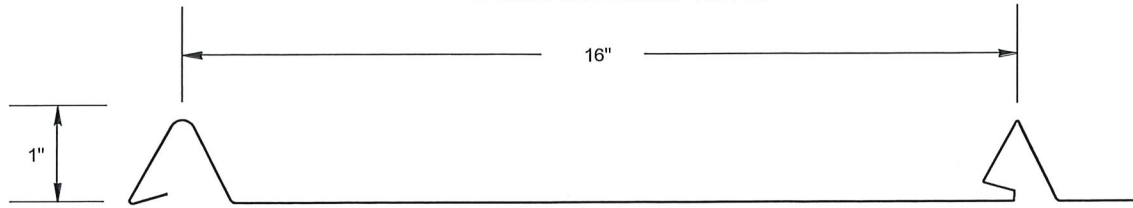
1. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. The maximum designed pressure listed herein shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners).
3. Panels may be rolls formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Roofing Application Standard RAS 133.
4. All panels shall be permanently labeled with the manufacturer's name and/or logo, city, state, and the following statement: "Miami-Dade County Product Control Approved" **or** with the Miami-Dade County Product Control Seal as seen below. All clips shall be permanently labeled with the manufacturer's name and/or logo, and/or model.



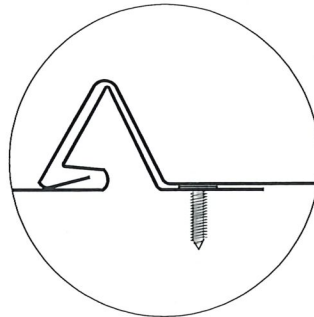
5. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 61G20-3 of the Florida Administrative Code.
6. Panels may be shop or jobsite roll formed with machine models #'s 5521095 and 7031100 from PAC Contractors Association.



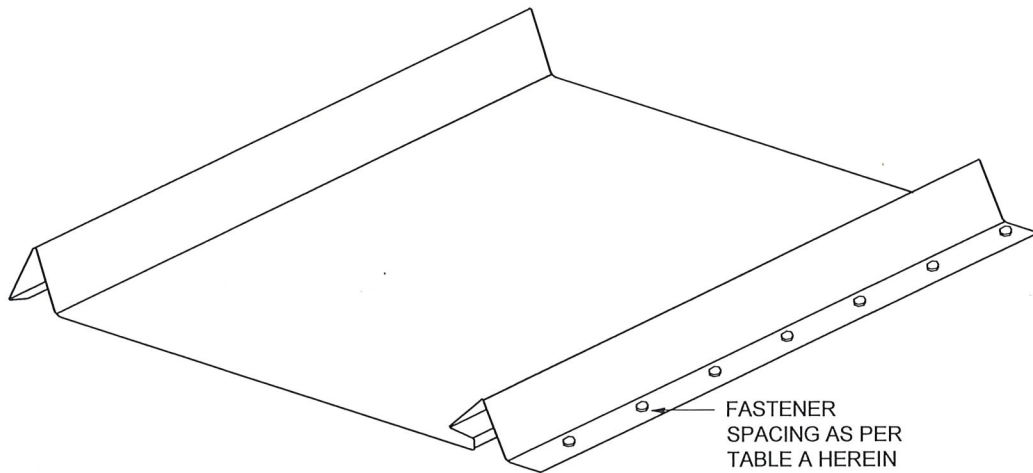
PROFILE DRAWINGS



Fastener Relief, Stiffening Ribs and Striations are Optional



Field Condition



EDGE-LOC 1.0 PANEL SYSTEM

END OF THIS ACCEPTANCE

MIAMI-DADE COUNTY
APPROVED

NOA No.: 18-1023.17
Expiration Date: 01/09/2024
Approval Date: 12/20/2018
Page 5 of 5

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 420 N 2nd ST
 Sec/Town/Range: 10/35S/40E
 Map ID: 24/10A
 Zoning: High Desit

Parcel ID: 2403-705-0112-000-5
 Account #: 16017
 Use Type: 0100
 Jurisdiction: Fort Pierce

Ownership

Timothy O'Connell
 Cynthia O'Connell
 420 N 2nd St
 Fort Pierce, FL 34950

Legal Description

ASSESSOR'S MAP OF N PART OF FORTPIERCE BLK 12-G- N 80 FT OF W 90FT OF LOT 5 (MAP 24/10C) (OR 3326-2793)

Current Values

Just/Market Value: \$146,000
 Assessed Value: \$84,762
 Exemptions: \$50,000
 Taxable Value: \$34,762



Total Areas

Finished/Under Air (SF): 2,030
 Gross Sketched Area (SF): 2,318
 Land Size (acres): 0.17
 Land Size (SF): 7,200

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: [Download PDF](#)

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Sep 2, 2011	3326 / 2793	0001	WD	Mallonee Brian	\$45,000
Apr 3, 2008	2957 / 1617	XX01	QC	Mallonee Brian	\$100
Apr 3, 2008	2957 / 0197	XX01	QC	Mallonee Brian	\$100
Apr 3, 2008	2957 / 0196	XX01	QC	Mallonee Brian	\$100
Apr 20, 2005	2222 / 0277	XX00	WD	Skaryd William	\$360,000
Aug 4, 2003	1776 / 0499	XX00	WD	Broadhead Margaret	\$120,000
Oct 25, 1993	0892 / 0844	XX02	QC	Franklin C Riker	\$100
Jul 25, 1990	0701 / 2702	XX02	WD	Thurmond M Poole	\$35,000
Feb 1, 1982	0372 / 0545	XX01	CV		\$0

Building Information (1 of 1)

Finished Area: 2,030 SF

Gross Sketched Area: 2,318 SF

Exterior Data

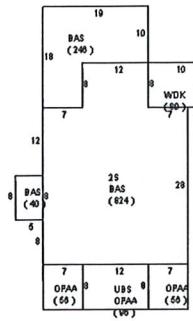
View:	Roof Cover: Metal	Roof Structure: Gable
Building Type: HC-	Year Built: 1923	Frame:
Grade: C-	Effective Year: 1965	Primary Wall: Wood/Sheath
Story Height: 2 Story	No. Units: 1	Secondary Wall:

Interior Data

Full Baths: 2
 Half Baths: 0
 A/C %: 100%

Heat Type: FrcdHotAir
 Heat Fuel:
 Heated %: 100%

Avg Hgt/Floor: 0
 Primary Floors: Double Pine
 Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	824	824	124
BAS	BASE AREA	1110	1110	224
OPAA	Open Porch Attached Average	208	0	100
UBS	UPPER BASE AREA/+1	96	96	40
WDK	WOOD DECK	80	0	36

Special Features and Yard Items

Type	Qty	Units	Year Blt
Drive-BrkPav	1	1400	1960
VINYLFENCE3'	1	100	2015
VINYLFENCE6'	1	80	2015

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$83,600					
Land:	\$62,400	2019	2012	0500	Homestead Exemption	\$25,000
Just/Market:	\$146,000	2019	2012	0550	Homestead Exemption over \$ 50,000	\$25,000
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$61,238					
Assessed:	\$84,762					
Exemption(s):	\$50,000					
Taxable:	\$34,762					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	1	Fort Pierce Stormwater Charge	\$69.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office

2019	\$146,000	\$84,762	\$50,000	\$34,762
2018	\$132,300	\$83,182	\$50,000	\$33,182
2017	\$108,700	\$81,472	\$50,000	\$31,472

Permits

Number	Issue Date	Description	Amount	Fee
F00-000454	Apr 10, 2000	Alterations/Remodeling	\$2,800	\$0
F98-000835	Jul 14, 1998	Additions to existing construction	\$2,800	\$2,800
RR2003207	Nov 18, 2003	Alterations/Remodeling	\$1,000	\$175
BP11-2729	Nov 23, 2011	Fence	\$5,000	\$83
BP11-2728	Nov 23, 2011	Alterations/Remodeling	\$30,000	\$329
BP11-2960	Jan 17, 2012	Alterations/Remodeling	\$12,887	\$220
BP12-0510	Mar 21, 2012	Plumbing	\$1,300	\$155
BP11-2729	Jun 25, 2015	Fence	\$5,000	\$135
BP11-2728	Aug 11, 2015	Alterations/Remodeling	\$30,000	\$309

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: COA 20-14 – New Roof – 420 N 2nd Street

NOTICES PROVIDED PURSUANT TO: City Code Section 125-37. - Public Hearings

NOTICE BY NEWSPAPER: October 16, 2020

NOTICE BY MAIL: N/A

NOTICE BY SIGNS: N/A

VERIFIED BY: Maria Lewicka, AICP

TITLE: Historic Preservation Planner

SIGNATURE:

DATE: 10/16/2020

Historic Preservation Board - 2:00 PM

5. b.

Meeting Date: 10/26/2020

Information

REQUESTED ACTION

Certificate of Appropriateness 20-62 - New Wall - 604 Beach Court

LOCATION

604 Beach Court (Parcel ID: 2410-709-0068-000-5)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval with conditions.

Attachments

Staff Report

Application

Property Card

Public Notification

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 10/20/2020

Started On: 10/19/2020 02:26 PM



OCTOBER 26, 2020

COA 20-62

Owner

Juan Carlos Salazar

Applicant

Juan Carlos Salazar

Location

604 Beach Court

Parcel

2410-709-0068-000-5

Historic Status

Contributing structures located in the Oakland Park Historic District.

Requested Action

Construction of a new concrete wall and two gates.

Recommendation

Approval with conditions

Staff

Maria Lewicka, AICP
 Historic Preservation Planner

HISTORIC PRESERVATION BOARD : PUBLIC HEARING



Front Façade

HISTORY

- 1928** The structure was built.
- 05/20/2009** COA application for the demolition was reviewed and denied by the Historic Preservation Board.
- 10/23/2017** COA application for the replacement of the existing flat roof, windows, garage door, stucco, exterior paint and deteriorating wood was approved by the Historic Preservation Board.
- 07/11/2019** After the renovation the property was sold to the new owner.

ARCHITECTURAL SIGNIFICANCE

The subject two (2) story masonry residential building is a stylistic bridge between the Mission architectural style, as expressed in the flat roof with a simple parapet and irregular symmetry, and the Mediterranean Revival architectural style as expressed by the structure's hip-roof tower and heavy, irregular stucco. The front entry is a flat-roofed porch with triangular arches.

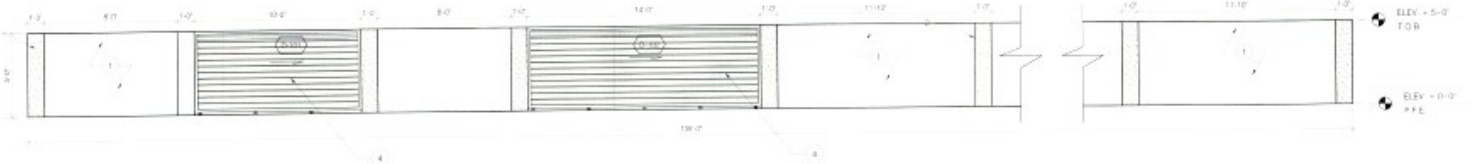
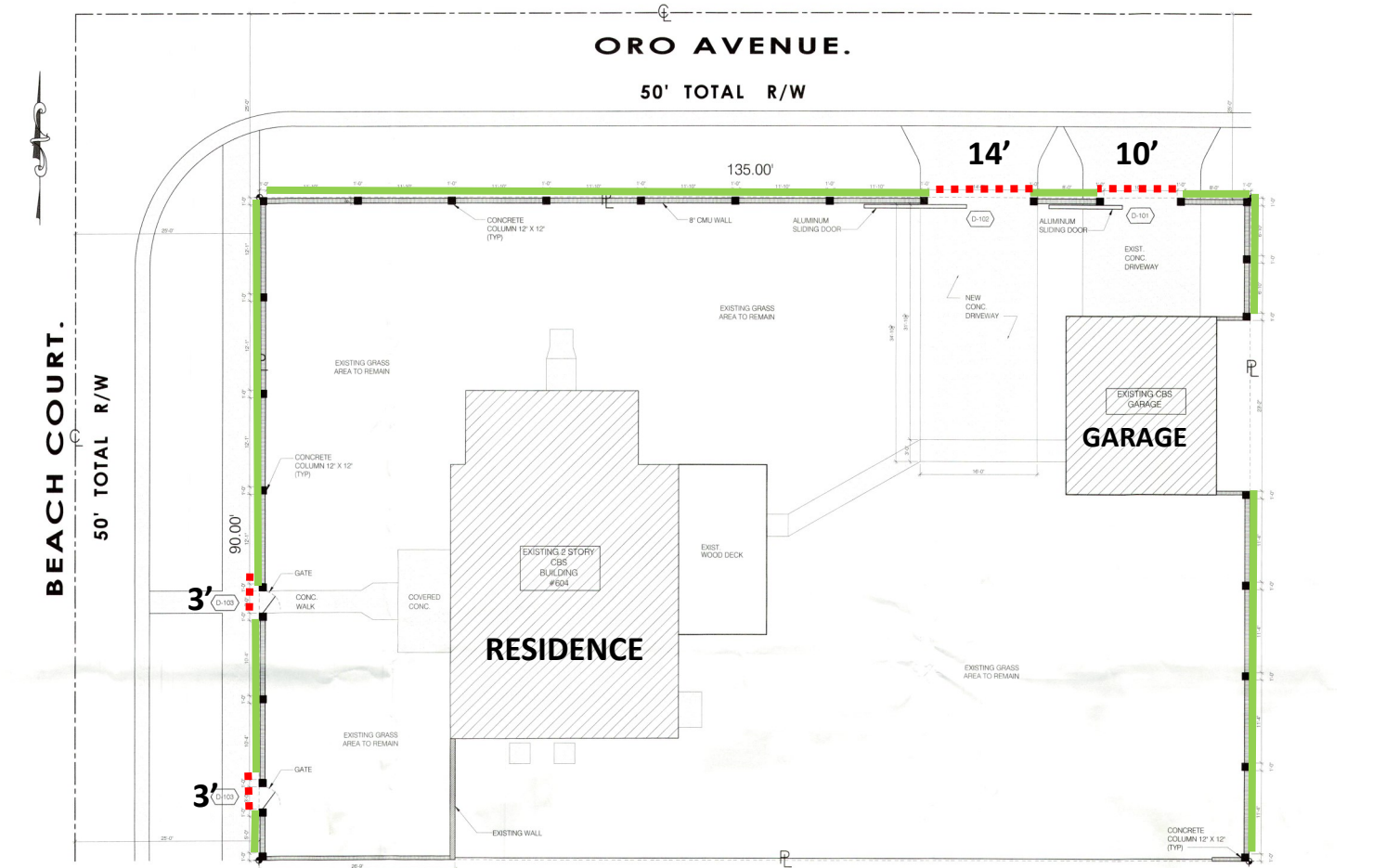
APPLICANT REQUEST

The applicant is requesting COA approval for the following improvements:

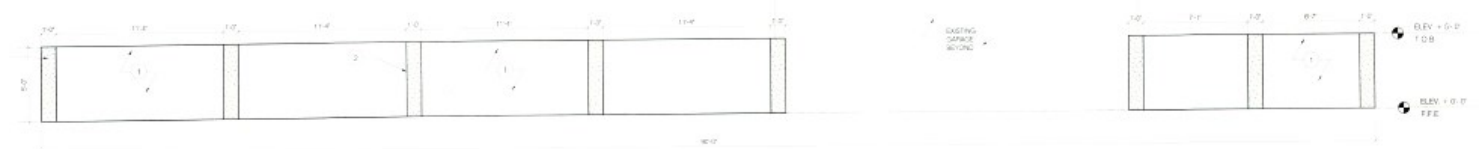
- Construction of a four (4)-foot tall concrete wall on the west side of the property with two (2) three (3)-foot wide gates (aluminum frame and wood panels); and
- Construction of a five (5)-foot tall concrete wall on the north and east sides of the property with two (2) 10-foot and 14-foot wide sliding gates (aluminum frame and wood panels).



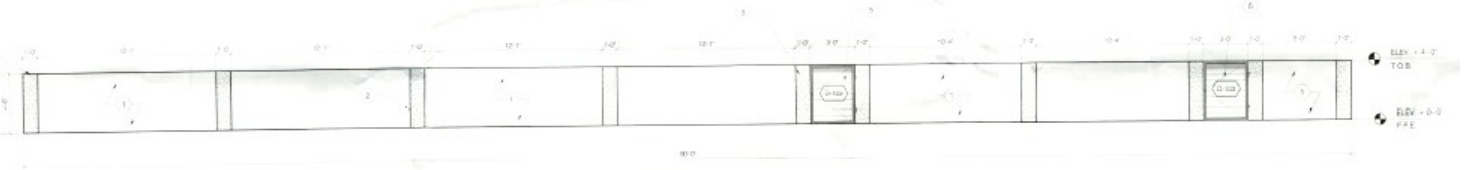
Subject Property - Aerial Photo



1 NORTH ELEVATION
A-200 SCALE 1/4" = 1'-0"



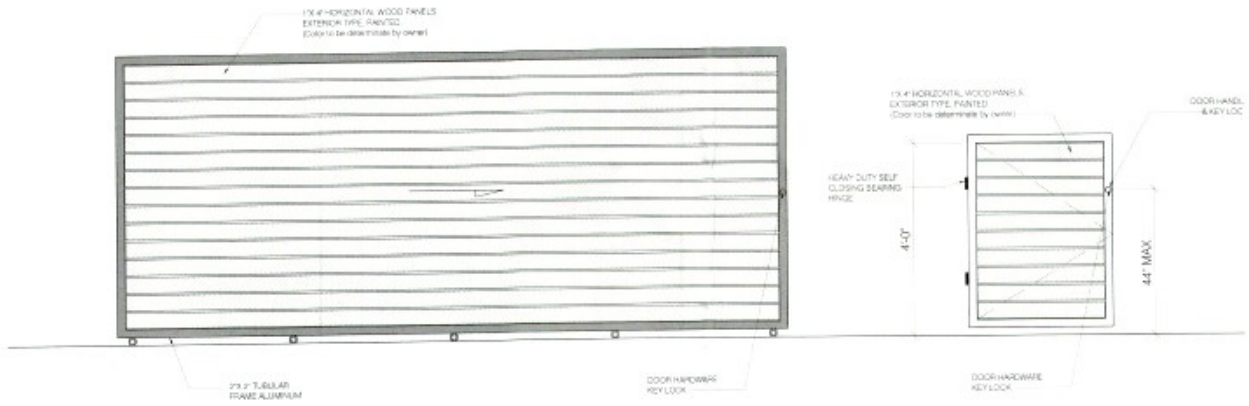
2 EAST ELEVATION
A-200 SCALE 1/4" = 1'-0"



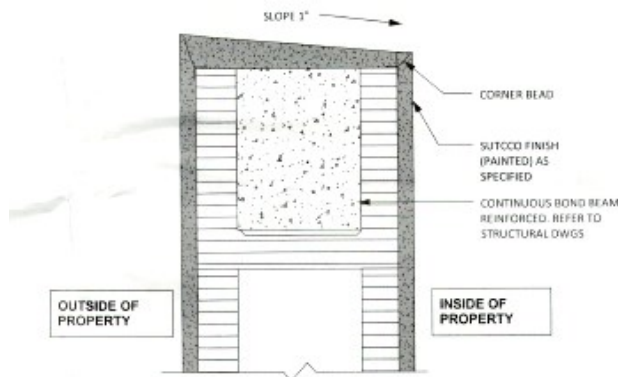
3 WEST ELEVATION
A-200 SCALE 1/4" = 1'-0"

——— Proposed Wall

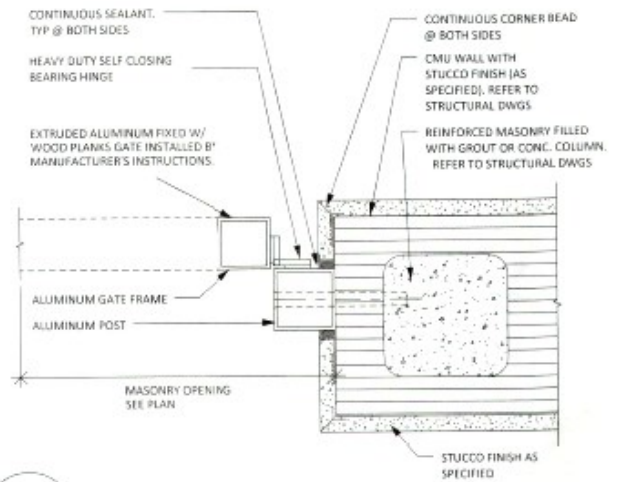
- - - - - Proposed Gates



4 ALUMINUM / WOOD GATE & DOOR TYPICAL DETAILS
 SCALE: 1/4" = 1'-0"
 A-200



5 STUCCO DETAIL AT TOP OF WALL
 SCALE: N.T.S.
 A-200



6 GATE JAMB TYP.
 SCALE: N.T.S.
 A-200

Construction Details of the Wall



Street Views

SECRETARY OF INTERIOR'S STANDARDS FOR CONSIDERATION

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials features, size, scale and proportions, and massing, to protect the integrity of the property and its environment.

STAFF RECOMMENDATION

It is staff's professional recommendation that the design of the proposed wall and gates does not assimilate well with the surrounding area. The basis for this finding is on the long uninterrupted wall area, which is not appropriate nor desirable in historic districts.

Based upon Secretary of Interior's Standard #9, staff recommends that the Board approve the request for the construction of the proposed concrete walls and gates with the following conditions:

1. Provide enhanced post design, ornamental caps, spatial encroachment from the wall to avoid the monotony of the wall.
2. Provide wall landscaping to break and soften the wall appearance.
3. Add an additional two (2) to three (3)-foot setback to allow for wall landscaping.
4. Replace the proposed aluminum gates with horizontal wood panels with aluminum gates with aluminum 'ornamental' style pickets similar in design to the existing gate on the south side of the front façade.
5. Provide wall colors that are compatible with the colors of the residential facade.
6. Wall shall conform to the clear vision provisions of Section 125-308.



Existing Gate — Recommended Example



Bldg. Permit # _____

COA# 10-62
RECEIVED

OCT 13 2020

Certificate of Appropriateness Application

CITY OF FORT PIERCE
PLANNING & ZONING

Building & Site Information

Address of the Site: 604 Beach Court
Parcel ID #: 2410-709-0068-0005
Type of Designation: Contributing Non-contributing Site within the _____ Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s) Name(s): Juan Carlos Salazar
Mailing Address: 604 Beach Court Ft Pierce FL 34950
Phone Number(s): 6789339463 Email: JCSalazar@gmail.com

Applicant

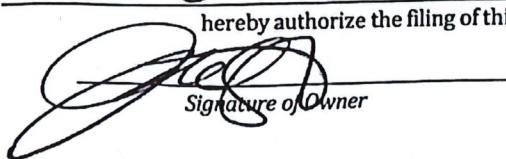
Name(s): _____
Mailing Address: _____
Phone Number(s): _____ Email: _____

Representative

Name(s): _____
Mailing Address: _____
Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Juan C. Salazar as Owner(s) of the subject property, do hereby authorize the filing of this application on my/our behalf.


Signature of Owner

10/17/2020
Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|---|-------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <hr/> | | | |
| <input type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) Exterior concrete wall & gates.
 Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

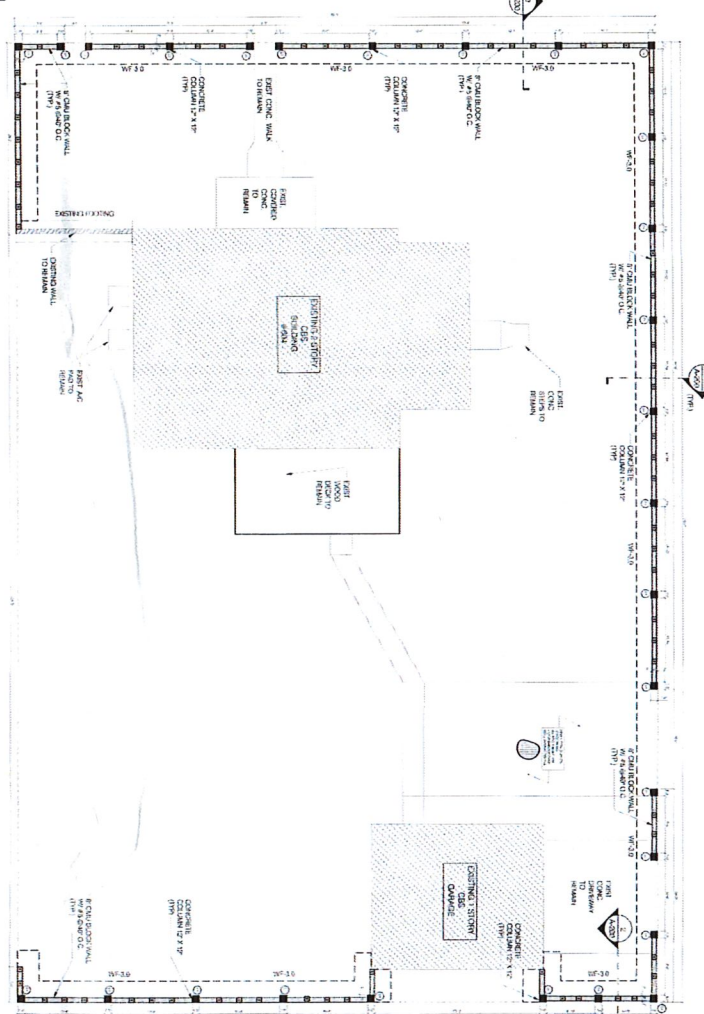
To build a concrete wall. - exterior
and 2 gates. Main house & structure
to remain intact. (existing).

Have other alterations been made to the site within the last 12 months? No Yes, _____

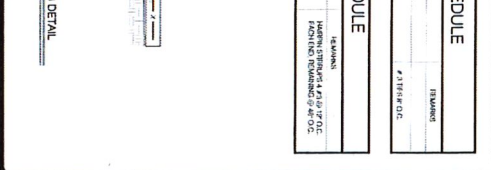
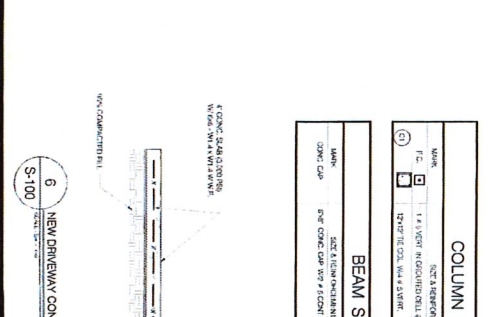
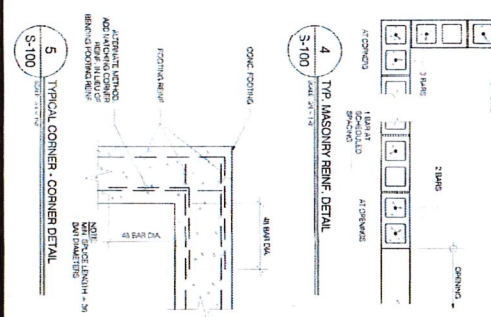
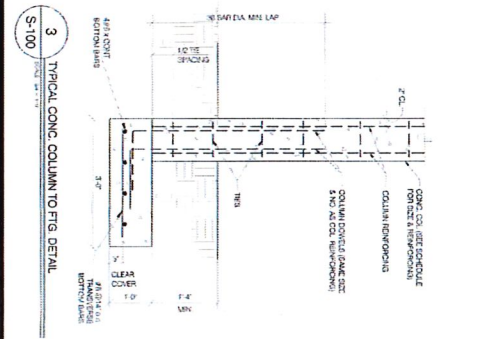
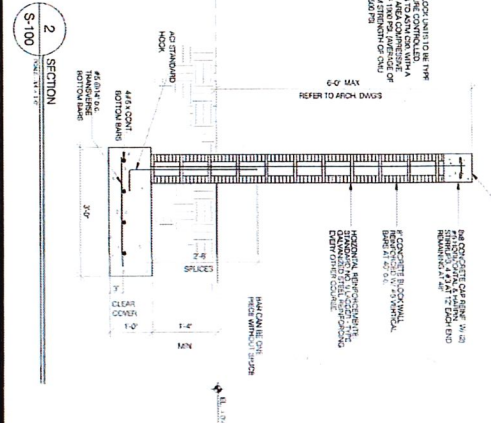
Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - > Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - > Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition - Plans for what will be taking the demolished structure's place should be submitted.



1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



- NOTES**
1. ALL CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 308-11.
 2. ALL CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 308-11.
 3. ALL CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 308-11.
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 16. ALL CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 308-11.
 17. ALL CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 308-11.
 18. ALL CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 308-11.
 19. ALL CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 308-11.
 20. ALL CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 308-11.

FOOTING SCHEDULE

NO.	DESCRIPTION	REMARKS
1	FOOTING	
2	FOOTING	
3	FOOTING	
4	FOOTING	
5	FOOTING	
6	FOOTING	
7	FOOTING	
8	FOOTING	
9	FOOTING	
10	FOOTING	
11	FOOTING	
12	FOOTING	
13	FOOTING	
14	FOOTING	
15	FOOTING	
16	FOOTING	
17	FOOTING	
18	FOOTING	
19	FOOTING	
20	FOOTING	

COLUMN SCHEDULE

NO.	DESCRIPTION	REMARKS
1	COLUMN	
2	COLUMN	
3	COLUMN	
4	COLUMN	
5	COLUMN	
6	COLUMN	
7	COLUMN	
8	COLUMN	
9	COLUMN	
10	COLUMN	
11	COLUMN	
12	COLUMN	
13	COLUMN	
14	COLUMN	
15	COLUMN	
16	COLUMN	
17	COLUMN	
18	COLUMN	
19	COLUMN	
20	COLUMN	

BEAM SCHEDULE

NO.	DESCRIPTION	REMARKS
1	BEAM	
2	BEAM	
3	BEAM	
4	BEAM	
5	BEAM	
6	BEAM	
7	BEAM	
8	BEAM	
9	BEAM	
10	BEAM	
11	BEAM	
12	BEAM	
13	BEAM	
14	BEAM	
15	BEAM	
16	BEAM	
17	BEAM	
18	BEAM	
19	BEAM	
20	BEAM	

DATE: 11/15/2018
 DRAWN BY: JDM
 CHECKED BY: JDM
 DESIGNED BY: JDM
 APPROVED BY: JDM
 SHEET: S-100

EXTERIOR ALTERATION - NEW FENCE
 Mr. JUAN CARLOS SALAZAR
 604 BEACH CT
 FORT PIERCE, FL - 34950

VICTOR G. RFEVE
 5415 SW 131 AV
 MIAMI, FLORIDA 33
 P.E.# 12324 TEL. 305-794-2028

REVISIONS
 DATE

Property Identification

Site Address: 604 BEACH CT
Parcel ID: 2410-709-0068-000-5
Account #: 23687
Map ID: 24/10S
Use Type: 0100
Zoning: SF Low Den
City/County: Fort Pierce

Ownership

Juan Carlos Salazar
604 Beach CT
Fort Pierce, FL 34950

Legal Description

OAKLAND PARK BLK 9 LOTS 2 AND 3-LESS S 10 FT- AND W 5 FT OF
VAC ALLEY ADJ ON E (MAP 24/10F)

Current Values

Just/Market Value: \$216,800
Assessed Value: \$216,800
Exemptions: \$50,000
Taxable Value: \$166,800

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.



Total Areas

Finished/Under Air (SF): 2,310
Gross Sketched Area (SF): 3,320
Land Size (acres): 0.46
Land Size (SF): 20,250

Taxes for this parcel: SLC Tax Collector's Office

Download TRIM for this parcel: Download PDF

Sale History

Date: Jul 11, 2019
Book/Page: 4301 / 2129
Sale Code: 0001
Deed: WD
Grantor: Velasco Fernando
Price: \$315,000

Date: Oct 21, 2016
Book/Page: 3925 / 1789
Sale Code: 0001
Deed: WD
Grantor: Coniglio Stanley
Price: \$20,000

Date: Apr 13, 2011
Book/Page: 3512 / 0539
Sale Code: 0112
Deed: MS

Grantor:	Wells Fargo Bank NA
Price:	\$0
Date:	Apr 4, 2011
Book/Page:	3282 / 2982
Sale Code:	0112
Deed:	CT
Grantor:	Coniglio Stanley
Price:	\$9,100
Date:	May 31, 2000
Book/Page:	1305 / 1754
Sale Code:	XX00
Deed:	WD
Grantor:	Garbarine Elizabeth L
Price:	\$65,000
Date:	Dec 21, 1992
Book/Page:	0821 / 2619
Sale Code:	XX00
Deed:	WD
Grantor:	Reed Jr Norman W
Price:	\$78,500
Date:	Feb 1, 1980
Book/Page:	0326 / 0702
Sale Code:	XX01
Deed:	CV
Grantor:	
Price:	\$0

Building Information (1 of 2)

Finished Area: 2,310 SF

Gross Sketched Area: 2,840 SF

Exterior Data

View:
 Building Type: HC-
 Grade: C-
 Story Height: 2 Story

Roof Cover: Tar & Gravel
 Year Built: 1928
 Effective Year: 1990
 No. Units: 1

Roof Structure: Flat/Shed
 Frame:
 Primary Wall: CB Stucco
 Secondary Wall: Frm Stucco

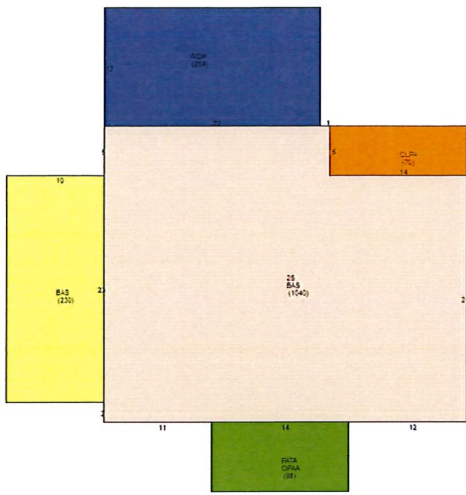
Interior Data

Bedrooms: 3
 Full Baths: 2
 Half Baths: 0
 A/C %: 100%

Electric: MAXIMUM
 Heat Type: FredHotAir
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Tile-Ceramic
 Sprinkled %: N/A%





Building Information (2 of 2)

Finished Area: 0 SF

Gross Sketched Area: 480 SF

Exterior Data

View:
 Building Type: DGAR
 Grade: DG
 Story Height: 1 Story

Roof Cover: Dim Shingle
 Year Built: 2018
 Effective Year: 2018
 No. Units: 0

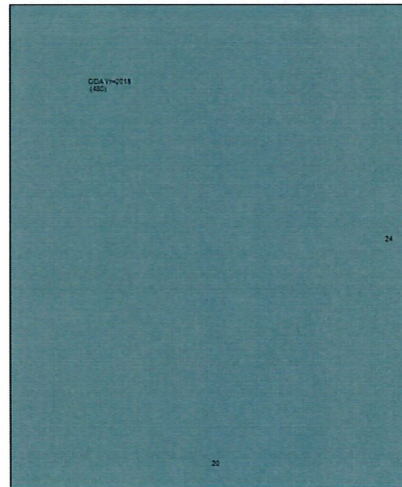
Roof Structure: Gable
 Frame:
 Primary Wall: CB Stucco
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: %

Electric:
 Heat Type:
 Heat Fuel:
 Heated %: %

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors:
 Sprinkled %: %



Special Features and Yard Items

Type:	Driv-Concret
Quantity:	1
Units:	200
Year Built:	1977

Current Year Values

Current Values Breakdown

Current Year Exemption Value Breakdown

Building:	\$173,100	Tax	Grant	Code	Description	Amount
Land:	\$43,700	Year	Year	0500	Homestead	\$25,000
Just/Market:	\$216,800	2020	2020		Exemption	
Ag Credit:	\$0	Tax	Grant	Code	Description	Amount
Save Our Homes or 10% Cap:	\$0	Year	Year	0550	Homestead	\$25,000
Assessed:	\$216,800	2020	2020		Exemption over \$ 50,000	
Exemption(s):	\$50,000					
Taxable:	\$166,800					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	1	Fort Pierce Stormwater Charge	\$69.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office ☐.

Historical Values

Permits

Number:	BP2006-80
Issue Date:	Jan 20, 2006
Description:	Roof
Amount:	\$4,550
Fee:	\$50
Number:	F8800079B
Issue Date:	Jan 1, 1988
Description:	Residential New Construction
Amount:	\$4,500
Fee:	\$4,500
Number:	F8800079E
Issue Date:	Jan 1, 1988
Description:	Additions to existing construction
Amount:	\$4,500
Fee:	\$4,500
Number:	RR200616
Issue Date:	Mar 10, 2006
Description:	Alterations/Remodeling
Amount:	\$75,000
Fee:	\$1,777
Number:	RF20051272
Issue Date:	Mar 21, 2005
Description:	Roof
Amount:	\$7,500
Fee:	\$200
Number:	BP17-3830
Issue Date:	Jan 22, 2018
Description:	Roof
Amount:	\$2,100
Fee:	\$0
Number:	BP18-0679

Issue Date: Mar 22, 2018
Amount: \$68,000
Fee: \$0

Number: BP18-2213
Issue Date: Jul 30, 2018
Description: Demolition
Amount: \$1,000
Fee: \$0

Number: BP18-3169
Issue Date: Oct 18, 2018
Description: Garage Detached
Amount: \$10,900
Fee: \$0

Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: COA 20-62 – New Wall – 604 Beach Court

NOTICES PROVIDED PURSUANT TO: City Code Section 125-37. - Public Hearings

NOTICE BY NEWSPAPER: October 16, 2020

NOTICE BY MAIL: N/A

NOTICE BY SIGNS: N/A

VERIFIED BY: Maria Lewicka, AICP

TITLE: Historic Preservation Planner

SIGNATURE:

DATE: 10/16/2020

Historic Preservation Board - 2:00 PM

6. a.

Meeting Date: 10/26/2020

Information

REQUESTED ACTION

Administratively Approved Certificates of Appropriateness - September 2020

LOCATION

Various

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval

Attachments

Administrative COA, September 2020

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 10/20/2020

Started On: 10/19/2020 12:47 PM

Administrative Certificates of Appropriateness

Attached are Certificates of Appropriateness issued administratively in September 2020.

- COA #20-57, 311 South 2th Street – Windows and doors replacement, new paint.
- COA #20-58, 903 Boston Avenue – Hurricane shutters
- COA #20-59, 903 Boston Avenue – Windows and doors replacement
- COA # 20-60, 220 Orange Avenue – Façade sign



CERTIFICATE OF APPROPRIATENESS
TO ALTER A DESIGNATED HISTORIC SITE

COA#20-57 HISTORIC PRESERVATION BOARD APPROVAL ADMINISTRATIVE APPROVAL

Site address: 311 South 2nd Street

Contributing Non-Contributing Individually Designated

SITE ALTERATIONS:

Request	Conditions	Applicable Standards
Remove and replace 9 windows and 3 sliding glass doors with PGT impact doors and windows. Remove and replace soffit with vinyl vented soffit. Paint exterior same color. Please see attached.		Secretary of the Interior's Standards for Rehabilitation of Historic Properties, Standard 9.

APPROVED:

Board Approval

Administrative Approval

Suzanne Boardman, Chair Date
Historic Preservation Board



Maria Lewicka, AICP Date
Historic Preservation Planner 09/21/20

This alteration meets the Secretary of the Interior's Standards for the Treatment of Historic Properties and the City of Fort Pierce Code of Ordinances.

Should you have any further questions or concerns, contact Maria Lewicka, Historic Preservation Planner, at (772) 467-3738 or via e-mail at mlewicka@cityoffortpierce.com.

Thank you for your efforts to preserve and redevelop historic Fort Pierce through your participation in the Certificate of Appropriateness Application process. Staff looks forward to working with you in the future to preserve and rehabilitate our historic neighborhoods and structures.

Provided to:	Name/Address	Via
Owner	Richard V Neill, Jr., Nancy M Neill, Red Brick Building, LLC 311 S 2 nd Street, Suite 200 Fort Pierce, FL 34950	E-Mail rneilljr@neillgriffin.com
Applicant	Earl Gaines 5821 Starcher Avenue Fort Pierce, FL 34947	E-Mail erlgaines@comcast.net

Bldg. Permit # _____

COA# 20-57



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 311 South 2nd Street
Parcel ID #: 2410-807-0007-000-1
Type of Designation: Contributing Non-contributing Site within the Downtown Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)
Name(s): Richard V. Neill, Jr., Nancy M. Neill, Red Brick Building, LLC
Mailing Address: 311 S 2nd Street, Suite 200, Fort Pierce, FL 34950
Phone Number(s): 772-464-8200 Email: rneilljr@neillgriffin.com

Applicant
Name(s): Earl Gaines
Mailing Address: 5821 Starcher Ave., Fort Pierce, FL 34947
Phone Number(s): 772-577-0826 Email: erlgaines@comcast.net

Representative
Name(s): _____
Mailing Address: _____
Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Richard V. Neill, Jr., Nancy M. Neill, & Red Brick Building, LLC as Owner(s) of the subject property, do hereby authorize the filing of this application on my/our behalf.

[Signature] as manager of Red Brick Bldg, LLC 9/14/20
Signature of Owner Date
[Signature] 9/14/20 Nancy Neill 9/14/20
Signature Date

RECEIVED
SEP 15 2020
9:35 AM
Building Department

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|--|---|---|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input checked="" type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input checked="" type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input checked="" type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) _____

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

remove & replace (9) windows, (3) sliding glass doors with PGT impact doors and windows

remove & replace soffit with vinyl vented soffit. Paint exterior same color

remove and replace (1) window sill. See detailed engineering sheet

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
 - Site Plan with dimensions.
 - Architectural Drawings:
 - > Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - > Drawings should indicate materials to be used.
 - Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
 - Material(s) specifications and/or sample(s)
 - Color samples.
-
- Demolition - Plans for what will be taking the demolished structure's place should be submitted.

NORTH SIDE



REMOVE & REPLACE
SOFFIT

EAST SIDE



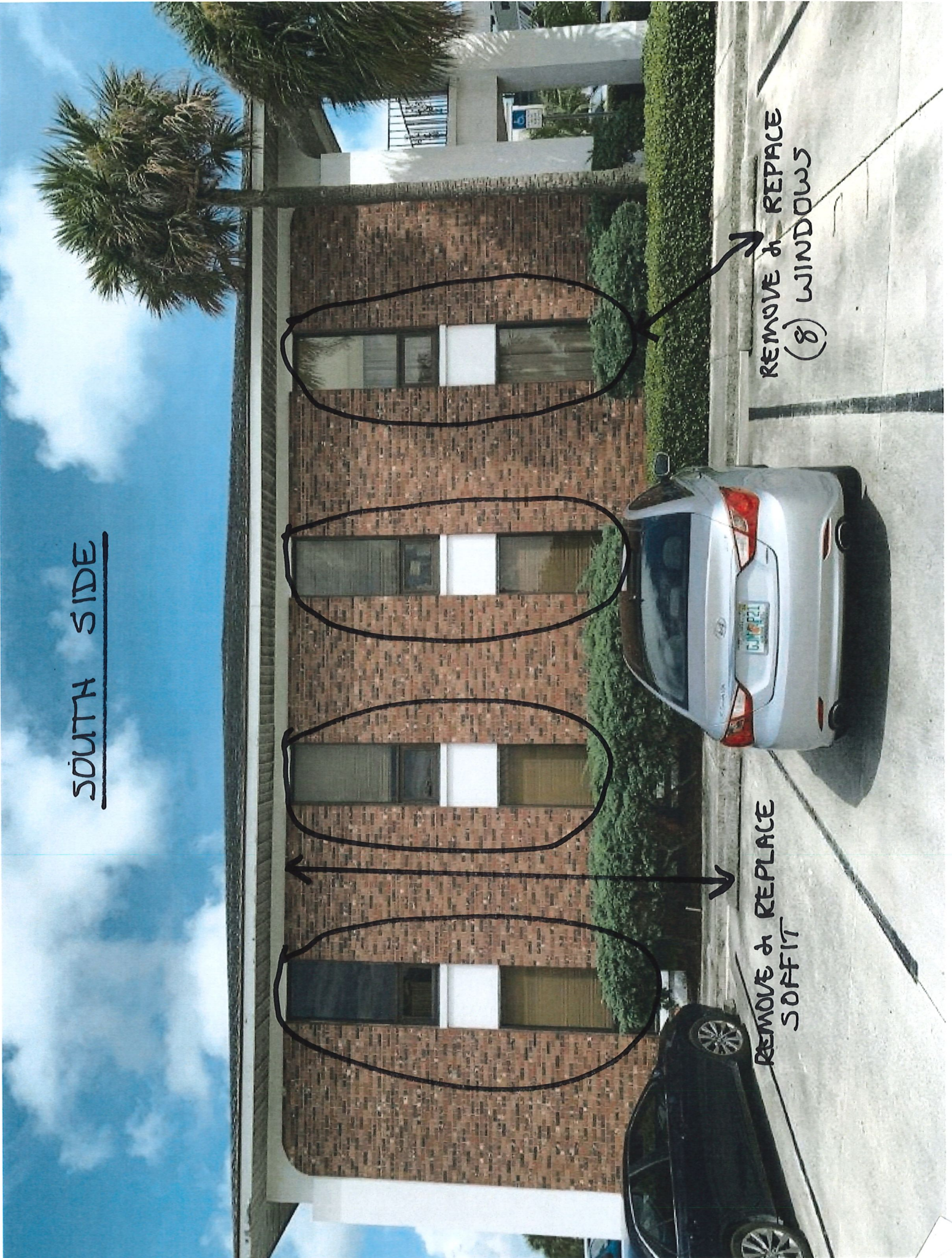
REMOVE & REPLACE

REMOVE & REPLACE
3 SIDING GLASS
DOORS

REMOVE & REPLACE

REMOVE & REPLACE SOFFIT

SOUTH SIDE



REMOVE & REPLACE
SOFFIT

REMOVE & REPLACE
(8) WINDOWS

WEST SIDE



REMOVE & REPLACE
SOFFIT

REPLACE
WINDOW &
SILL

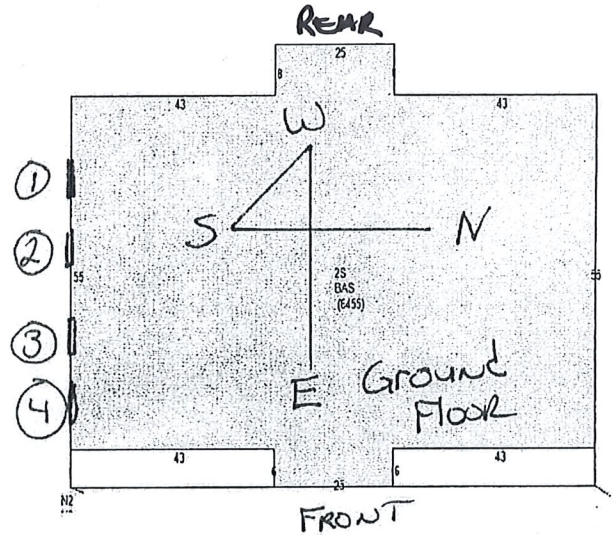
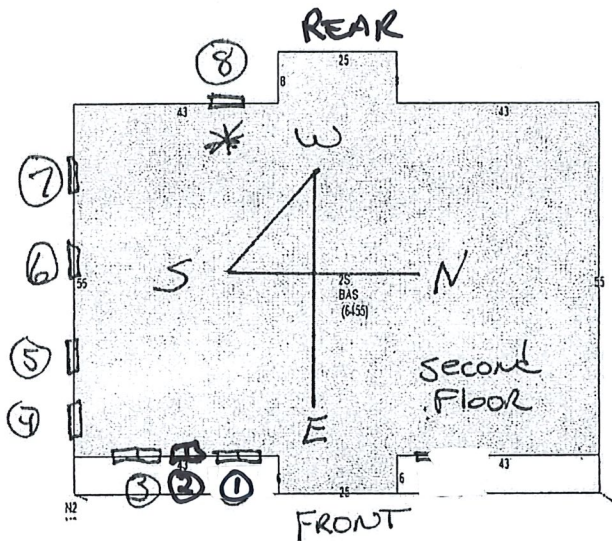


E & B Elite Services, Inc.

5821 Starcher Ave • Ft. Pierce, FL. 34947 • Tel: 772-577-0826 • Email: erlgaines@comcast.net

September 9, 2020

311 South 2nd St.



Second Floor

- 1) 110" X 96" Sliding Glass door
- 2) 110" X 96" Sliding Glass door
- 3) 110" X 96" Sliding Glass door
- 4) 39" X 96" Impact window
- 5) 39" X 96" Impact window
- 6) 39" X 96" Impact window
- 7) 39" X 96" Impact window
- 8) 39" X 96" Impact window * Repair window sill *

Ground Floor

- 1) 39" X 96" Impact fixed window
- 2) 39" X 96" Impact fixed window
- 3) 39" X 96" impact fixed window
- 4) 39" X 96" Impact fixed window

Earl L. Gaines

E & B Elite Services, Inc.

5821 Starcher Avenue

Fort Pierce, FL 34947

(772) 577-0826 cell

(772) 465-2351 fax

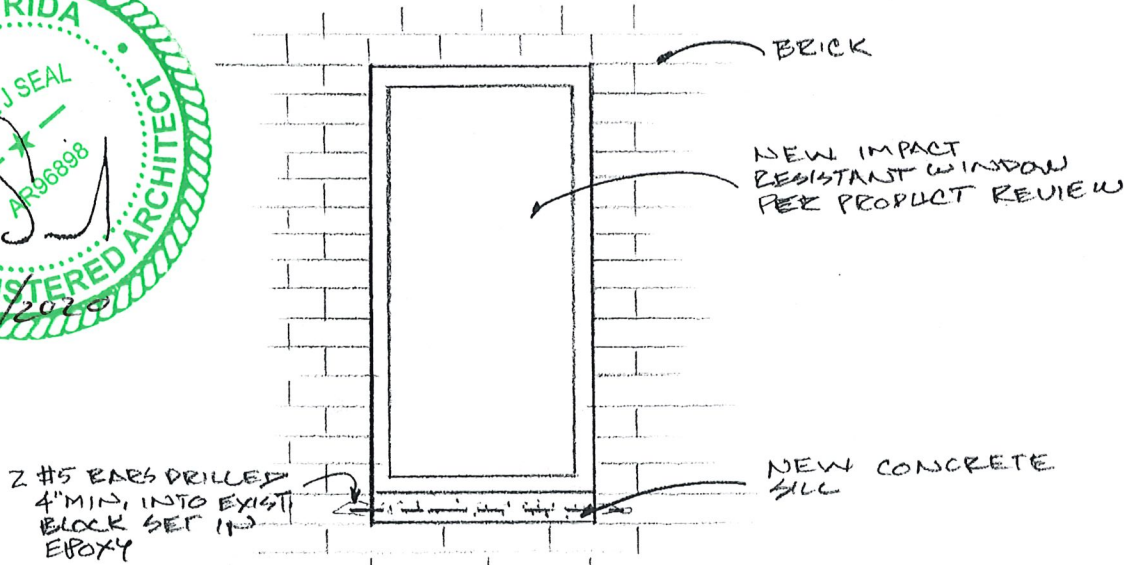
ERLGAINES@COMCAST.NET

CGC#1517445

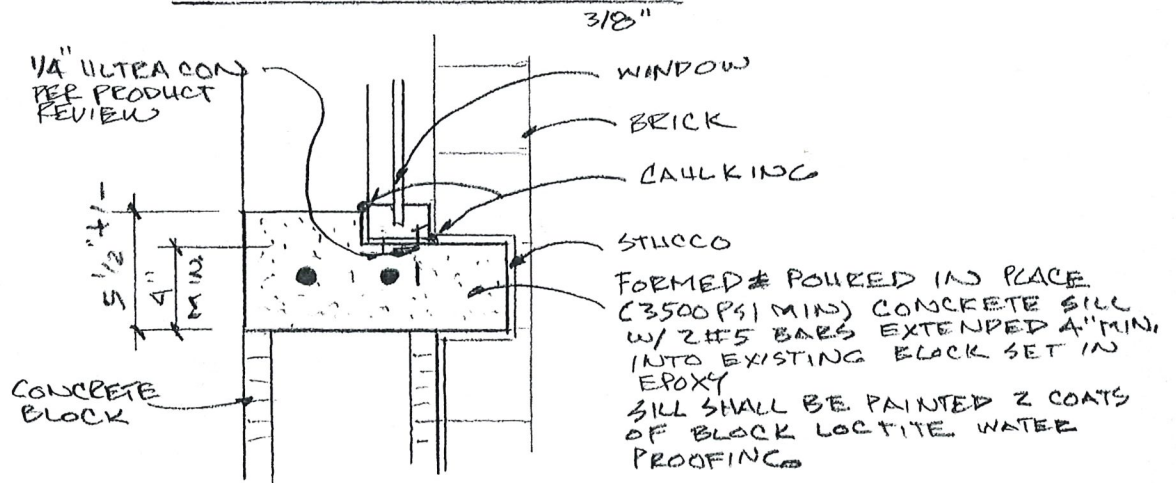
Architectonic Inc

PROPOSED WINDOW AND SILL REPLACEMENT
 FOR 311 SOUTH SECOND ST.
 FT. PIERCE, FLORIDA

2017 FLORIDA BUILDING CODE
 165 MPH, RISK CATEGORY II
 EXPOSURE "C"



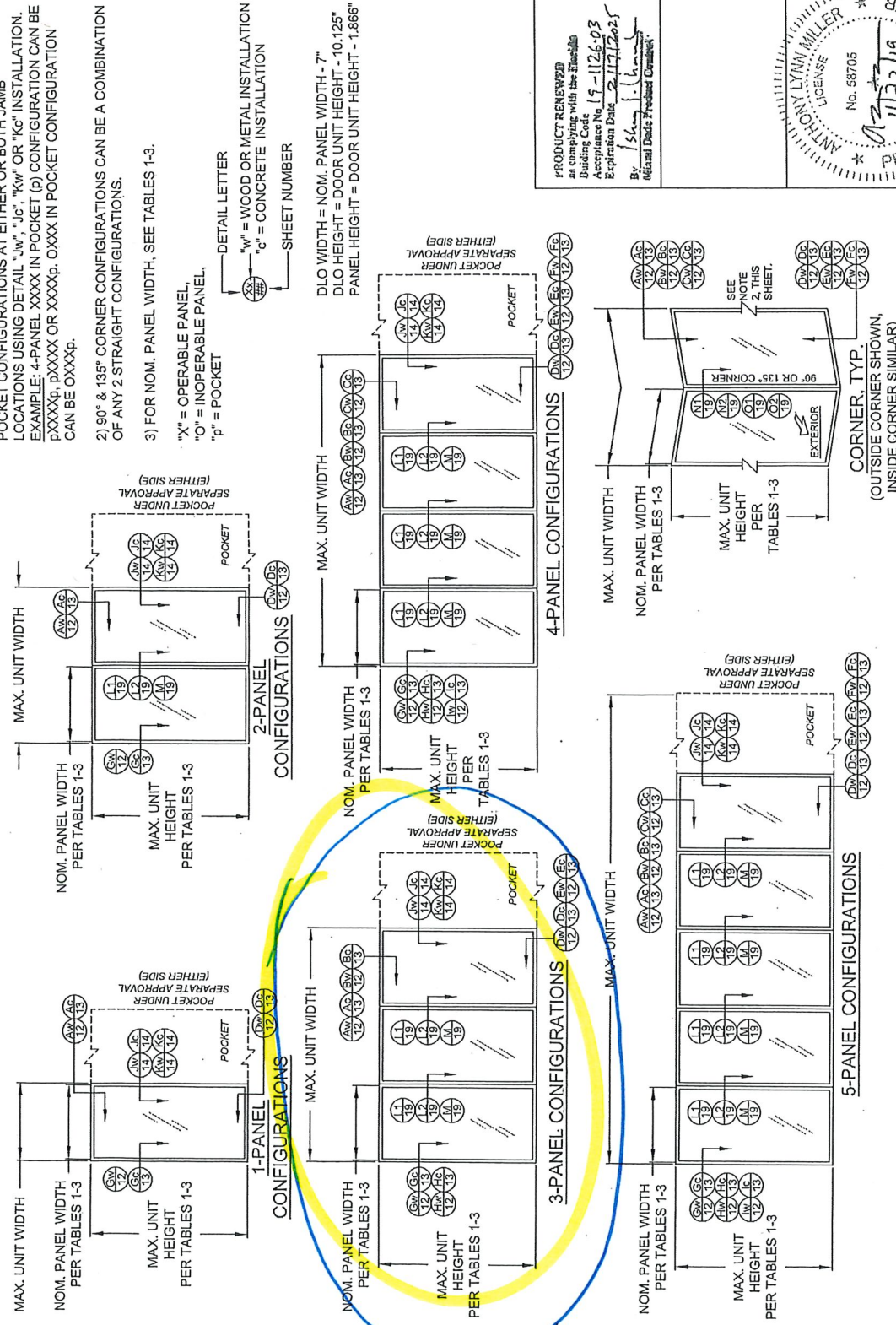
ELEVATION



PRODUCT	OPENING DESIGN PRESSURES (WORST CASE)	PRODUCT DESIGN PRESSURES	MANU.	MODEL #	APPROVAL#	GLASS TYPE	ATTACHMENT METHOD
STOREFRONT WINDOW	ZONE 4 -36.08 ZONE 5 -43.81	-90	CGI WINDOWS AND DOORS	SS-3500	FL# 22574	IMPACT	1/4" ULTRACON @ 3" O.C., 1-3/8" MIN. EMBEDMENT AND 2-1/2" DISTANCE TO EDGE

THE SEAL HEREON IS PROVIDED ONLY TO INDICATE OUR REVIEW AND APPROVAL FOR USE OF PRODUCTS LISTED FOR THIS STRUCTURE. THE ACCEPTANCE OF THESE PRODUCTS AND METHODS OF ATTACHMENT ARE BASED ENTIRELY UPON TEST DATA PROVIDED BY THE MANUFACTURER, WHICH CARRIES ITS OWN ENGINEER'S CERTIFICATION AND IMPLIES NO WARRANTY OR GUARANTEE BY THIS OFFICE FOR THESE PRODUCTS.

EXAMPLE CONFIGURATIONS




CONFIGURATIONS NOTES:

- 1) ALL CONFIGURATIONS SHOWN ARE ALSO AVAILABLE AS POCKET CONFIGURATIONS AT EITHER OR BOTH JAMB LOCATIONS USING DETAIL "Jw", "Jc", "Kw" OR "Kc" INSTALLATION. EXAMPLE: 4-PANEL XXXX IN POCKET (p) CONFIGURATION CAN BE pXXXXp, pXXXX OR XXXXp. OXXX IN POCKET CONFIGURATION CAN BE OXXXp.
 - 2) 90° & 135° CORNER CONFIGURATIONS CAN BE A COMBINATION OF ANY 2 STRAIGHT CONFIGURATIONS.
 - 3) FOR NOM. PANEL WIDTH, SEE TABLES 1-3.
- "X" = OPERABLE PANEL,
 "O" = INOPERABLE PANEL,
 "p" = POCKET
- DETAIL LETTER
 "W" = WOOD OR METAL INSTALLATION
 "C" = CONCRETE INSTALLATION
 SHEET NUMBER

DLO WIDTH = NOM. PANEL WIDTH - 7"
 DLO HEIGHT = DOOR UNIT HEIGHT - 10, 125"
 PANEL HEIGHT = DOOR UNIT HEIGHT - 1,866"

PRODUCT RENEWED
 in compliance with the Florida
 Building Code
 Expiration No. 19-1126-03
 Expiration Date 2/17/2015
 By: [Signature]
 Michael Deane Product Committee

ANTHONY LYNN MILLER
 LICENSE
 No. 56705
 11/22/19
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 A. LYNN MILLER, P.E.
 P.E.# 56705

1070 TECHNOLOGY DRIVE N. VENICE, FL 34275 (941) 480-1600 CERT. OF AUTH. #28296		Designer: EXAMPLE CONFIGURATIONS Title: SERIES 770 ALUM. SGD - LM IMPACT Standard: SGC-770	Scale: 1/2" = 1'-0" Sheet: NTS 2 of 22 Drawing No.: PG10130	Rev: C
Date: 04/05/17 Drawn By: JR Checked By: JR	Reviewed By: C No Changes This Sheet.			



CERTIFICATE OF APPROPRIATENESS
TO ALTER A DESIGNATED HISTORIC SITE

COA#20-58 HISTORIC PRESERVATION BOARD APPROVAL ADMINISTRATIVE APPROVAL
BP # 20-3111

Site address: 903 Boston Avenue

Contributing Non-Contributing Individually Designated

SITE ALTERATIONS:

Request	Conditions	Applicable Standards
The applicant is requesting consideration of approval for installation of white accordion shutters on all windows. Please see attached.	Storm shutters shall be deployed only upon the issuance of a storm warning from the governing agency authorized to issue such warning.	Secretary of the Interior's Standards for Rehabilitation of Historic Properties, Standard 9.

APPROVED:

Board Approval

Administrative Approval

Suzanne Boardman, Chair Date
Historic Preservation Board



Maria Lewicka, AICP 10/01/20
Historic Preservation Planner Date

This alteration meets the Secretary of the Interior's Standards for the Treatment of Historic Properties and the City of Fort Pierce Code of Ordinances.

Should you have any further questions or concerns, contact Maria Lewicka, Historic Preservation Planner, at (772) 467-3738 or via e-mail at mlewicka@cityoffortpierce.com.

Thank you for your efforts to preserve and redevelop historic Fort Pierce through your participation in the Certificate of Appropriateness Application process. Staff looks forward to working with you in the future to preserve and rehabilitate our historic neighborhoods and structures.

Provided to:	Name/Address	Via
Owner/Applicant	Ida D Paul 903 Boston Avenue Fort Pierce, FL 34950	E-Mail

Bldg. Permit # _____

COA# 20-58



CITY OF FORT PIERCE

PLANNING DEPARTMENT

RECEIVED

SEP 30 2020

CITY OF FORT PIERCE
PLANNING & ZONING

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

Certificate of Appropriateness Application

Building & Site Information

Address of the Site:

903 Boston Ave, Ft Pierce, FL 34950

Parcel ID #:

2410-706-0055-000-2

Type of Designation:

Contributing Non-contributing Site within the _____ Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)

Name(s):

Ida D Paul

Mailing Address:

903 Boston Ave, Ft Pierce FL 34950

Phone Number(s):

772-332-6716

Email: _____

Applicant

Name(s): _____

Mailing Address: _____

Phone Number(s): _____

Email: _____

Representative

Name(s): _____

Mailing Address: _____

Phone Number(s): _____

Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, IDA D PAUL as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

X Ida Paul
Signature of Owner

9/23/2020
Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|---|--|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input checked="" type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

- Site Improvements (describe) _____
- Other (describe) _____

Please provide a detailed description of the proposed work to be performed: Install new white
Accordion Shutters on all window
openings.

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
 - Site Plan with dimensions.
 - Architectural Drawings:
 - > Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - > Drawings should indicate materials to be used.
 - Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
 - Material(s) specifications and/or sample(s)
 - Color samples.
-
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.



MARTIN COUNTY
PLUMBING







Bldg. Permit # _____

COA# 20-59



CITY OF FORT PIERCE

PLANNING DEPARTMENT

RECEIVED

SEP 30 2020

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

CITY OF FORT PIERCE
PLANNING & ZONING

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 903 Boston Ave, Ft Pierce, FL 34950

Parcel ID #: 2410-706-0055-000-2

Type of Designation: Contributing Non-contributing Site within the Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)
Name(s): Ida D Paul

Mailing Address: 903 Boston Ave, Ft Pierce, FL 34950

Phone Number(s): 772-332-6716 Email: _____

Applicant

Name(s): _____

Mailing Address: _____

Phone Number(s): _____ Email: _____

Representative

Name(s): _____

Mailing Address: _____

Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, IDA D PAUL as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

Ida D Paul
Signature of Owner

09-21-2020
Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|---|---|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input checked="" type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input checked="" type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) _____

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

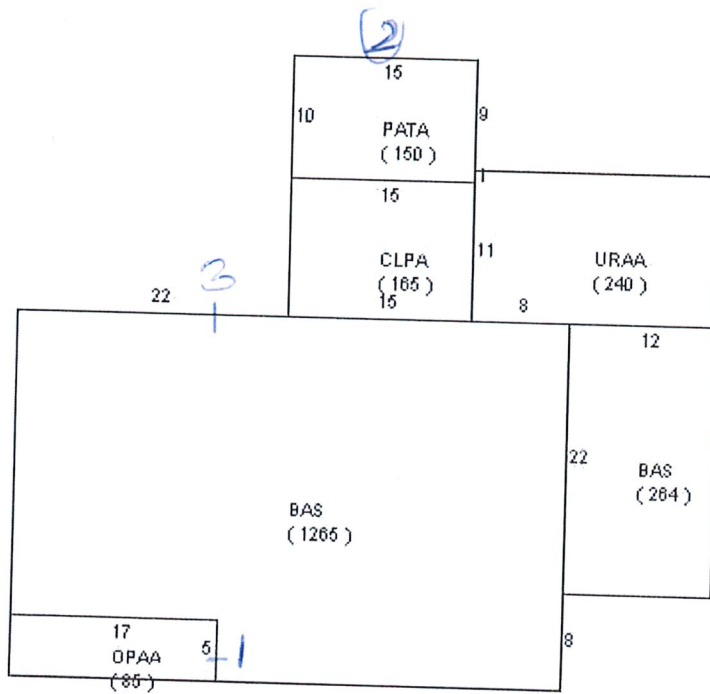
Replacing all three exterior doors and two windows. One in front of property and the other on the right side.

Have other alterations been made to the site within the last 12 months? No Yes, _____

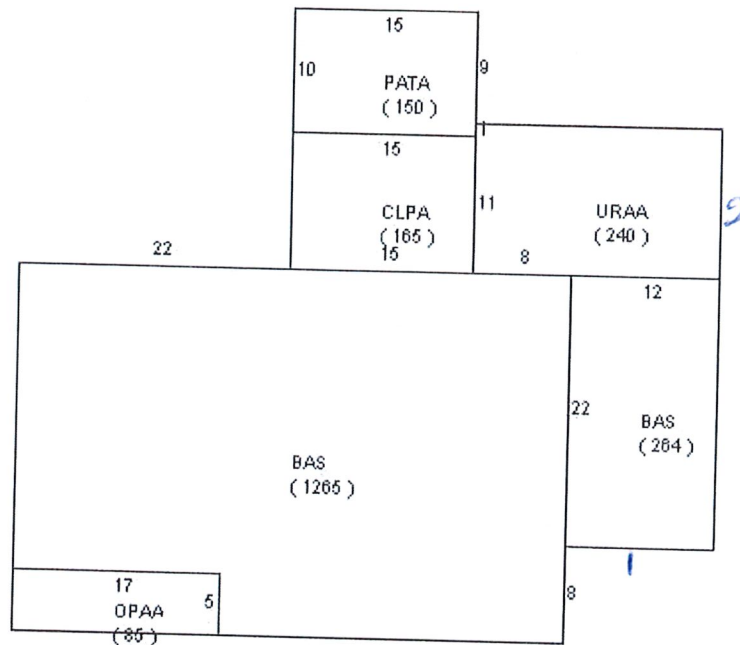
Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
 - Site Plan with dimensions.
 - Architectural Drawings:
 - > Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - > Drawings should indicate materials to be used.
 - Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
 - Material(s) specifications and/or sample(s)
 - Color samples.
-
- Demolition - Plans for what will be taking the demolished structure's place should be submitted.



Doors Replacement



Window Replacement



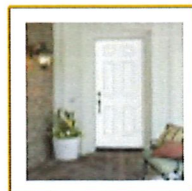
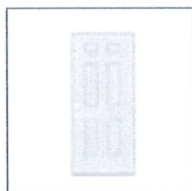




Gallery



CHAT
NOW









onal good looks with state-of-the-art weather protectio





Bldg. Permit # _____

COA# 20-60

Certificate of Appropriateness Application

RECEIVED
SEP 30 2020

CITY OF FORT PIERCE
PLANNING & ZONING

Building & Site Information

Address of the Site: 220 Orange Ave
Parcel ID #: 2410-503-0083-000-4
Type of Designation: Contributing Non-contributing Site within the _____ Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

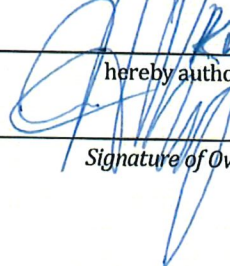
Property Owner(s)
Name(s): Kraaz & Kraaz Finance Inc.
Mailing Address: 124 N. 2nd St. Suite A Ft. Pierce, FL 34950
Phone Number(s): _____ Email: _____

Applicant
Name(s): Glomaster Sign Co., Inc.
Mailing Address: 4141 Bandy Blvd. Ft. Pierce, FL 34981
Phone Number(s): 772-464-0718 Email: signs30@bellsouth.net

Representative
Name(s): James Hart
Mailing Address: 4141 Bandy Blvd. Ft. Pierce, FL 34981
Phone Number(s): 772-464-0718 Email: signs30@bellsouth.net

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, _____ as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.



Signature of Owner

9/29/20
Date



RECEIVED
SEP 28 2020
Building Department

CITY OF FORT PIERCE, FLORIDA
BUILDING DEPARTMENT
APPLICATION FOR BUILDING PERMIT
(772) 467-3718 FAX (772) 467-3849
building@city-ftpierce.com

PERMIT # 20-3201
FBC (2017) 6th Edition
PIN # 289049

PROJECT MANAGER:
CINDY

*Property Address 220 Orange Ave *Date 9/23/20
Parcel ID# 2410-503-0083-000-4 *# of plans submitted 2 *# of CD's submitted _____
(Located on your tax bill)
*Owner Name Kraaz & Kraaz Finance Inc. *Owner Address 124 N 2nd St. Suite A
Phone # () - - Fax # () - - Cell # () - -
Email Address _____

***Required Information**

Type of permit Sign *Valuation \$ 1550.00
*Description of Work: Installation of non illuminated injection molded plastic letters
22 Sq. Ft. Proposed Oceanside Realty Partners
Architect: _____
Phone () - - Fax () - - Email Address _____
Engineer: Christian Langley - Easy Seals
Phone (888) 371-3113 Fax () - - Email Address _____

***CONTRACTOR/APPLICANT INFORMATION:**

City License # 21-00017800 State License # ET0000157
Company Name Glomaster Sign Co., Inc. Qualifier James Hart
Address 4141 Bandy Blvd. City/State Ft. Pierce, FL Zip 34981
Phone # (772) 464 - 0718 Fax # (772) 464 - 2157 Cell # () - -
Email Address signs30@bellsouth.net

Occupancy Comm Construction Type _____ # of Units _____ # of Stories _____
Sq. Ft. Conditioned Space _____ Total Sq. Ft. 22^{sq}

I understand that no building may be occupied until a Certificate of Occupancy/Certificate of Completion has been issued after final inspection by the Building Department and full compliance with the building code, city ordinances, state statutes and other applicable rules and regulations have been satisfied. I am also verifying that all sets of plans submitted are identical.

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, wells, pools, furnaces, boilers, heaters, tanks, and air conditioners etc.

Owner's Affidavit: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

INJECTION MOLDED LETTERS 12" X 8'7" OCEANSIDE 8" X 11' REALTY PARTNERS

PROJECT LOCATION:
220 ORANGE AVE
FT LIERCE, FL

Anchor Notes:

- #10-24 studs (6061-T6 Alum or 316 S.S.), centered in stroke width
- Min (3) studs per letter, spaced evenly
- Letters drilled and tapped to receive studs, min (5) threads engaged
- Stud length to accommodate embed to host structure
- Min 1.5" stud embed to hollow CBS (block) or concrete
- Fill holes w/ LiquidNails LN-901 adhesive (or equiv)

1200 N Federal Hwy, #200
Boca Raton, FL 33432
1-888-371-3113
Christian Langley
Florida PE #67382
Cert of Auth #31174



- Sign Height = 30 ft max
- ASD Load Coeff = 0.6
- Kz1=1.0, Kd=0.85, G=0.85
- Zone 4: ± 42.7 psf
- Zone 5: ± 54.4 psf
- Wall components & cladding:
- Risk Category 2 Structure
- V=160 mph • Exposure 'D'
- ASCE 7-10 WIND LOADS:

General - Design is in accordance with the requirements of the Fla. Bldg Code 6th Ed (2017) for use within & outside the High Velocity Hurricane Zone (HVHZ). - This engineering certifies only the structural integrity of those systems, components, and/or other construction explicitly specified herein. - Electrical notes, details & specifications are provided by and are the sole responsibility of the electrical contractor. No electrical review has been performed and no certification of such is intended. - Structural design meets requirements of ACI 318-14, AISI 360-10, ADM1-15, & NDS-15, as applicable. - Steel components shall be coated, painted, or otherwise protected against corrosion per FBC Sec 205.2.2222.6. - Alum components in contact with steel shall be protected against galvanic corrosion. - Steel welds: E70xx filler alloy. - Alum extrusions: 6063-T6 or stronger, UNO.

Notes: or embedded in concrete shall be painted or protected as prescribed in ADM1-15(1a), or plastic/neoprene spacers provided. - All exposed fasteners shall be SS, or have a protective coating for corrosion protection. - All Welding shall be per AWS requirements. - Aluminum welds: E70xx filler alloy. - Alum extrusions: 6063-T6 or stronger, UNO.