



To: JACK ANDREWS, PE, CITY ENGINEER
MIKE REALS, FP PUBLIC WORKS MANAGER
CHIEF HOBLEY-BURNEY, FP POLICE DEPARTMENT
PAUL THOMAS, FP BUILDING OFFICIAL
JAMES CARNES, PE, FPUA ENGINEERING (WATER/WASTEWATER)
PAUL LAGUERRE, PE, FPUA ENGINEERING (ELECTRIC)
ROD REED, PLS, SLC SURVEYING
GRANT CHAMBERS, PE, SLC ENGINEERING
LESLIE OLSON, AICP, SLC PLANNING & DEVELOPMENT DIRECTOR
CAPTAIN PAUL LANGEL, SLC FIRE DISTRICT
PEGGY ARRAIZ, FP CODE ENFORCEMENT
PETER BUCHWALD, AICP, SLC TRANSPORTATION PLANNING ORGANIZATION
MURRIAH DECKLE, AICP, SLC TRANSIT SERVICES

FROM: BRANDON C. CREAGAN, MCRP, LEED GREEN ASSOCIATE, PLANNER

RE: TECHNICAL REVIEW PROJECT# 21-04000011

DATE: JUNE 3, 2021

Conditional Use - Giordano Residence - Parcel ID: 2401-502-0007-000-1

Application for Conditional Use with New Construction to construct a single family home seaward of the Coastal Construction Control Line (CCCL). Any vertical construction past the CCCL requires a Conditional Use approval. The parcel currently has a zoning of R-4A, Hutchinson Island Medium Density Residential and a Future Land Use of HIR, Hutchinson Island Residential. The parcel ID is 2401-502-0007-000-1.

Please review and provide comments on the project. Please send all comments to my email Bcreagan@cityoffortpierce.com or through interoffice mail to the Planning Department. If you have comments, please respond by June 15, 2021.

Please do not hesitate to contact me should you require any additional information at 772-467-3741.

Thank you.

Brandon Creagan



Design Review

Property address or Location South Ocean Drive

Parcel ID #(s) 2401-502-0007-000-1

Project Description Single family, 4 bedroom residence

Marilyn Giordano
Property Owner(s)

4160 Triple Crown Lane
Street Address

Davie FL 33330
City State Zip

954-295-5186
Phone Number

marilyn@qualityimporters.com
Email Address

Island Style Builders/Gordon Mock
Applicant/Representative, Title, Company

4275 Mariah Circle
Street Address

Ft. Pierce FL 34947
City State Zip

772-464-6259
Phone Number

islandstylehomes@comcast.net
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

[Signature]
Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY

The foregoing instrument was acknowledged before me this 25 day of May, 2021, by

Marilyn Giordano who is personally known to me or has produced

[Signature] as identification.

[Signature]
Signature of Notary



TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

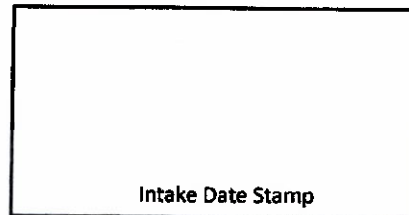
Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____

Intake Planner _____

Planner Assigned _____

Approved _____ Date _____

Comments _____



Intake Date Stamp



DEVELOPMENT REVIEW

Property address or Location South Ocean Drive
 Parcel ID #(s) 2401-502-0007-000-1
 Project description Single family, 4 bedroom residence

Marilyn Giordano
 Property Owner(s)
4160 Triple Crown Lane
 Street Address
Davie FL 33330
 City State Zip
954-295-5186
 Phone Number
marilyn@qualityimporters.com
 Email Address

Island Style Builders/Gordon Mock
 Applicant/Representative, Title, Company
4275 Mariah Circle
 Street Address
Ft. Pierce FL 34947
 City State Zip
772-464-6259
 Phone Number
islandstylehomes@comcast.net
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

[Handwritten Signature]
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY
 The foregoing instrument was acknowledged before me this 25 day of May, 2021, by
Marilyn Giordano who is personally known to me or has produced
 _____ as identification.



[Handwritten Signature]
 Signature of Notary

(seal)

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Intake Date Stamp

DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

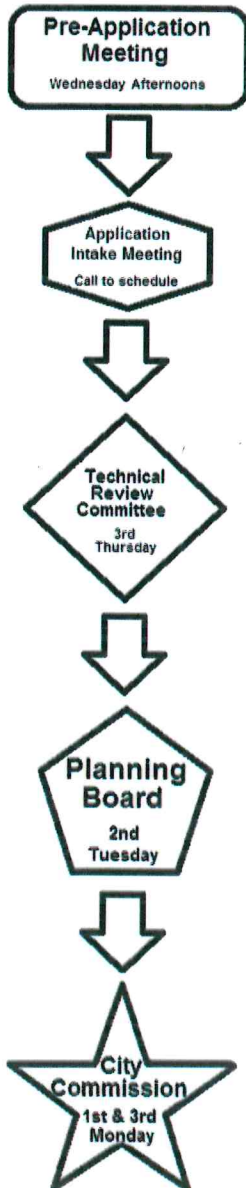
Site Information:

Non-Residential: Proposed Sq. Ft.: _____ Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Todd N. Smith, PE, Inc.

1717 Indian River Dr.
Suite 302
Vero Beach, FL 32960
772-559-3699
tnspe@bellsouth.net

April 21, 2021

Brandon Creagan
Ft. Pierce Planning Department
100 N. U.S. Highway 1
Ft. Pierce, Florida 34950

RE: Parcel ID: 2401-502-0007-000-1 Pre-Application Comments

Dear Mr. Creagan:

This letter shall be considered a formal response to the pre-application comments date Nov. 12, 2020 for the referenced parcel on South Ocean Dr. in Ft. Pierce. The following responses are numbered respectively to your comments.

Fort Pierce Planning

1. The land use of HIR and the zoning R-4A is shown on the site plan for the residence.
2. A landscape plan signed and sealed was submitted with the pre-application request and is also included with this application for conditional approval.
3. An exterior lighting plan has been incorporated into the enclosed architectural plans, with a legend described all proposed exterior lighting which meets pre-approved wildlife certification requirements. Actual certification numbers for each fixture is provided on the legend.
4. A design review application is enclosed.
5. An application for Development Review / Conditional Use with New Construction is enclosed.
6. The site plan profile height exhibit does show where the FEMA Base Elevation 9.0 and existing grade at the site and dimensions to peak of proposed residence.
7. We acknowledge that the project needs to also be approved by FDEP. Enclosed is a copy of the pre-application conference that the project had with FDEP establishing maximum distance of seaward face of pile and seaward face of structure from the CCCL.
8. Acknowledged.

9. We are formally submitting for Ft. Pierce conditional approval. Once we complete that process we will immediately file for FDEP permit for construction seaward of the CCCL, which will require a letter from the City that they have no objection and the structure meets setbacks.
10. Acknowledged.

Fort Pierce Engineering

1. The driveway has been reduced to 26 ft. wide. See Page C-1 site plan.
2. Acknowledged. A FDOT driveway access permit and FDEP CCCL authorizing construction seaward of the construction control line will be submitted at the time of Building Permit.
3. We acknowledge that any above ground utility boxes, irrigation, royal palm trees and/or street lighting that conflict with the proposed driveway will be relocated at the owner's expense.

Fort Pierce Code Enforcement

1. Acknowledged.

FPUA

1. We acknowledge that if fire protection is required, service must be a dedicated "stand-alone" fire suppression device. At this time, we do not anticipate the need for fire protection for the residence in order to meet 7th Ed. Florida Building Code requirements. We also acknowledge the requirements of the owner to set up a utility account, pay appropriate fees for water service, place meter on private property freely accessible and call 811 hotline prior to digging to have wastewater and water services located for efficient connections. Furthermore, we acknowledge that the owner's plumber shall contact Robert Eschmann to schedule a sewer tap inspection and the plumber must be present for the inspection. We acknowledge that Ferncos are not allowed for connection of owner's lateral to FPUA's point of service and FPUA Detail S-4A must be strictly adhered to for restoring excavated after inspection is complete.
2. We acknowledge that electric service is available. A electric load requirement and CAD drawing will be provided at the time of building permit submittal. We have added a 6 ft. x 6 ft. utility easement on Page C-1 Site Plan for a single phase pad mounted transformer.

Fort Pierce Building Dept.

1. We acknowledge that the project requires a FDEP CCCL for construction seaward of the coastal control line.
2. Enclosed is a revised soils report with site specific recommendations and now includes governing loads on the piles from the structural engineer based on the proposed residence.

Fort Pierce Urban Foreter

1. No trees are proposed for removal. Therefore, a tree mitigation should not be required. Certified landscape plans have been submitted with the site plan.

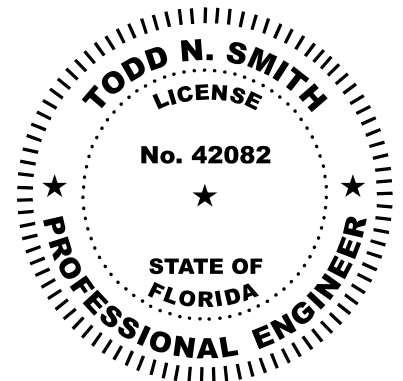
St. Lucie County Erosion District

1. We have added the perpetual easement to Page C-1 Site Plan. Please be advised that this easement is outside of the subject property's boundary. The eastern property line of the parcel coincides with the established line by Taylor Engineering as per the recorded perpetual easement as provided to us by St. Lucie Co. Whereby, this project proposes no construction within the perpetual easement. We have discussed this with Joshua Revord. Enclosed are the deeds for the property and other pertinent deeds pertaining to this issue.
2. We acknowledge that the project requires a FDEP CCCL for construction seaward of the coastal control line. Page C-2 of the site plan showing a profile for the proposed residence shows the area of fill and excavation and that there will be no net loss of sand on the site.

These responses herein should address all pre-application comments, Should you require any further information regarding this matter, please call.

Sincerely,

Todd N. Smith, PE



Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: S OCEAN DR
 Sec/Town/Range: 01/35S/40E
 Parcel ID: 2401-502-0007-000-1
 Jurisdiction: Fort Pierce

Use Type: 0000
 Account #: 180156
 Map ID: 24/01N
 Zoning: HI Medium

Ownership

Marilyn Giordano
 3350 Enterprise AVE Ste 120
 Weston, FL 33331

Legal Description

PALM HAVEN S/D-UNIT 1- BLK 1 LOT 7 -PB 37-2- (OR 3790-1760) (0.27 AC- 11,593 SF)

Current Values

Just/Market Value: \$278,600
 Assessed Value: \$278,600
 Exemptions: \$0
 Taxable Value: \$278,600



Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 0.27
 Land Size (SF): 11,593

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Building Design Wind

Speed

Occupancy Category	I	II	III & IV
Speed	140	160	170
Sources/links:			

Taxes for this parcel: SLC Tax Collector's Office [📄](#)

Download TRIM for this parcel: [Download PDF 📄](#)

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Oct 25, 2018	4197 / 1086	0001	WD	Russ Drew K	\$300,000
Sep 16, 2015	3790 / 1760	0118	DE	St Lucie County	\$100
Jan 1, 1900					\$0

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: N/A	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 0%

Electric:
 Heat Type:
 Heat Fuel:
 Heated %: N/A%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors:
 Sprinkled %: 0%



Image
 or
 Sketch
 unavailable
 for display

Sketch Area Legend

Sub Area Description Area Fin. Area Perimeter

Special Features and Yard Items

Type Qty Units Year Blt

Current Year Values

Current Values Breakdown

Building:	\$0
Land:	\$278,600
Just/Market:	\$278,600
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$278,600
Exemption(s):	\$0
Taxable:	\$278,600

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2016	0041	0.3	Fort Pierce Stormwater Charge	\$20.70

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2020	\$278,600	\$278,600	\$0	\$278,600
2019	\$253,300	\$253,300	\$0	\$253,300
2018	\$222,900	\$222,900	\$0	\$222,900

Permits

Number	Issue Date	Description	Amount	Fee
--------	------------	-------------	--------	-----

Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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This Instrument Prepared by and return to:
M. Scott Kleiman, Esq.
1st Trust Title, Inc.
7320 Griffin Road, Suite 109
Davie, FL 33314

Property Appraisers Parcel Identification (Folio) Numbers:
2401-502-0007-000/1

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS **WARRANTY DEED**, made the 25th day of October, 2018 by **DREW K. RUSS**, herein called the Grantor, to **MARILYN GIORDANO, a married woman**, whose post office address is **3050 Enterprise Avenue Suite 120, Weston, FL 33331**, hereinafter called the Grantee.

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

W I T N E S S E T H: That the Grantor, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in Saint Lucie County, State of Florida, viz:

Lot 7, Block 1, REVISED PLAT OF PALM HAVEN SUBDIVISION, according to the plat thereof as recorded in Plat Book 8, page 44, Public Records of St. Lucie County FL; LESS that part lying easterly of the line described in QC Deed recorded in OR 165, page 1465, Public Records of St. Lucie County, FL

Subject to: (1) property taxes for the year 2019; covenants, restrictions, and public utility easements of record; existing zoning and governmental regulations

The above described real property is not the constitutional homestead of the Grantor, nor is it adjacent thereto. Grantor resides at 4025 Lawnview Avenue, Pittsburgh, PA 15227.

This Deed shall not serve to reimpose any restrictions, reservations, easements and limitations of record.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is/are lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2018.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Mary Cromer
Witness Signature
MARY CROMER
Witness Printed Name

Linda Wagner
Witness Signature
Linda Wagner
Witness Printed Name

DREW K. RUSS L.S.
DREW K. RUSS
4025 Lawnview Avenue
Pittsburgh, PA 15227

STATE OF PENNSYLVANIA
COUNTY OF Allegheny

The foregoing instrument was acknowledged before me this 25 day of October, 2018 by **DREW K. RUSS**, who is personally known to me or has produced Pennsylvania Drivers License as identification.

SEAL

Andrea K. Hulsman
Notary Public, State of Pennsylvania

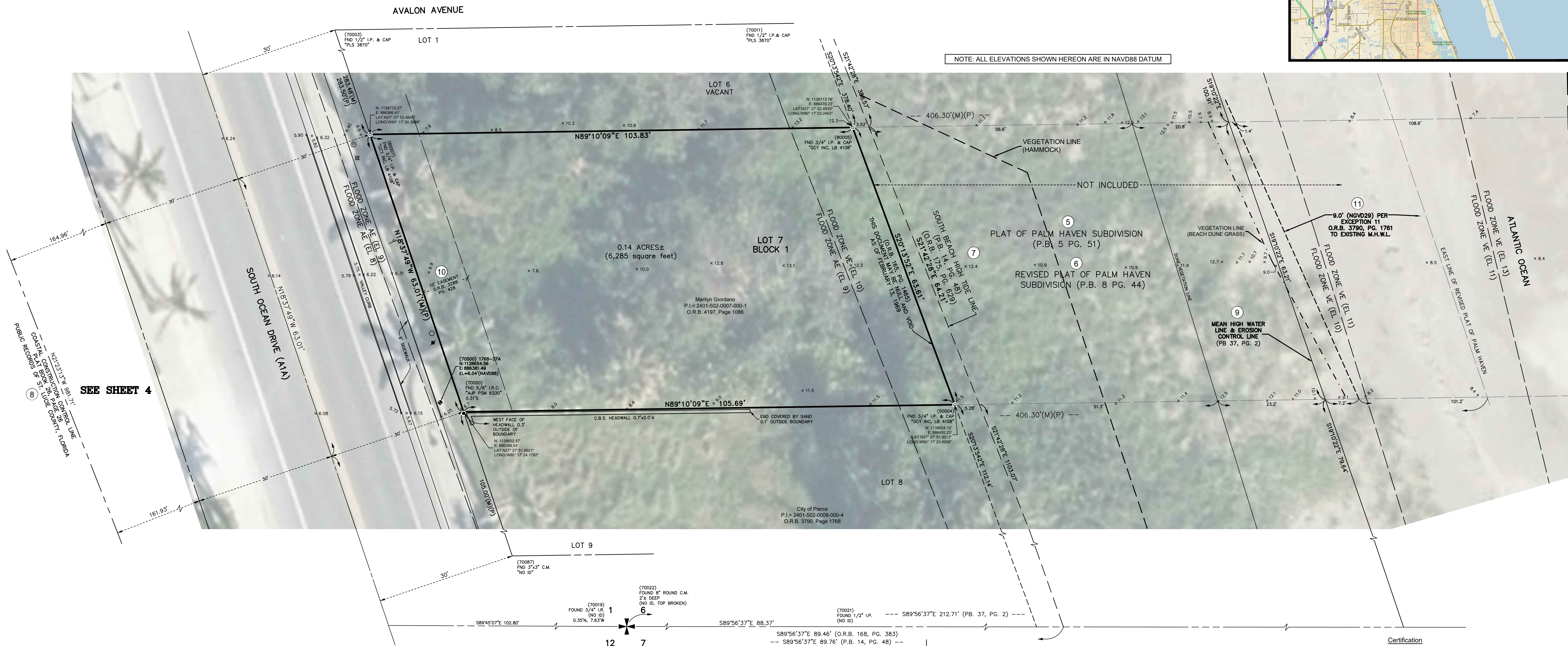
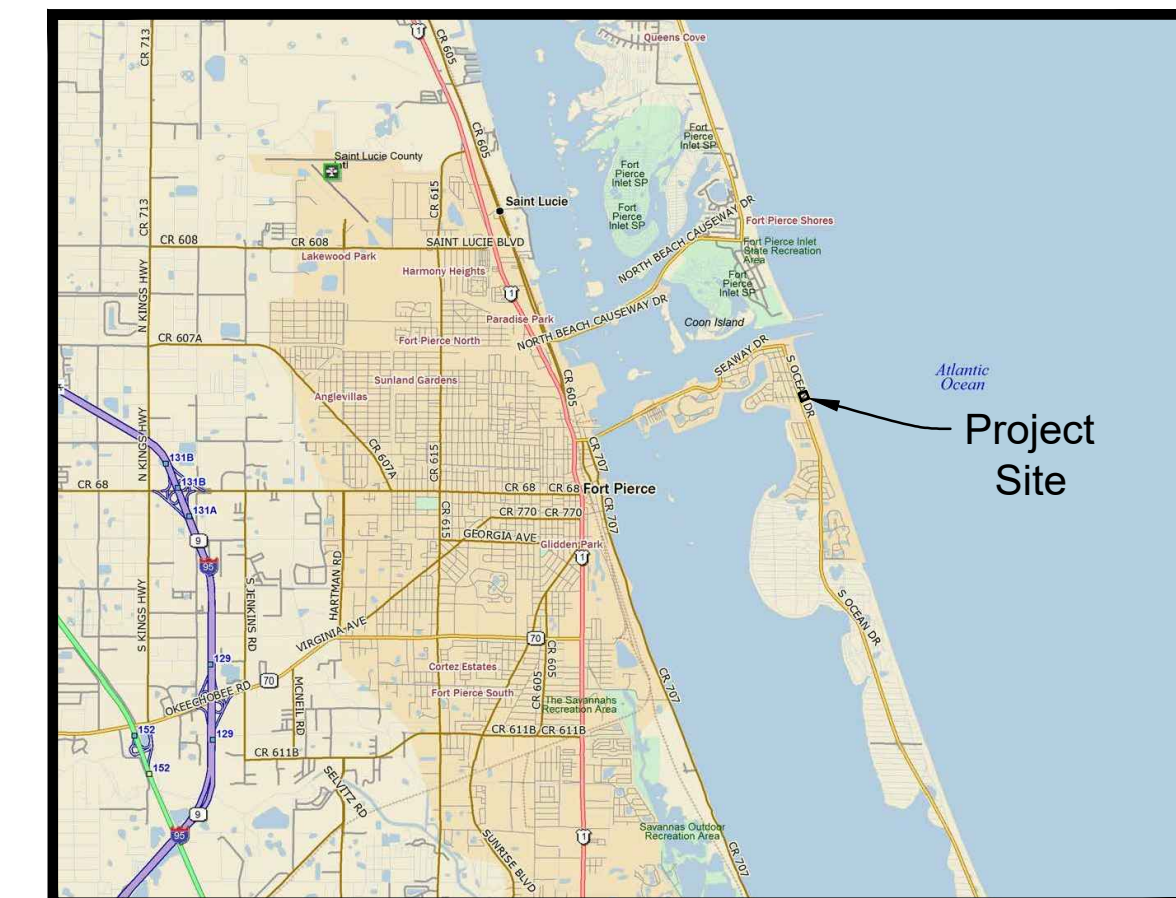
My Commission Expires:
August 25, 2019

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Andrea K. Hulsman, Notary Public
Brentwood Boro, Allegheny County
My Commission Expires Aug. 25, 2019
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

BOUNDARY & TOPOGRAPHIC SURVEY FOR: MARILYN GIORDANO

LEGAL DESCRIPTION

Lot 7, Block 1, REVISED PLAT OF PALM HAVEN SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 8, Page 44, of the Public Records of St. Lucie County, Florida; LESS that part lying easterly of the line described in Quit Claim Deed, as recorded in Official Records Book 165, Page 1465, of the Public Records of St. Lucie County, Florida.



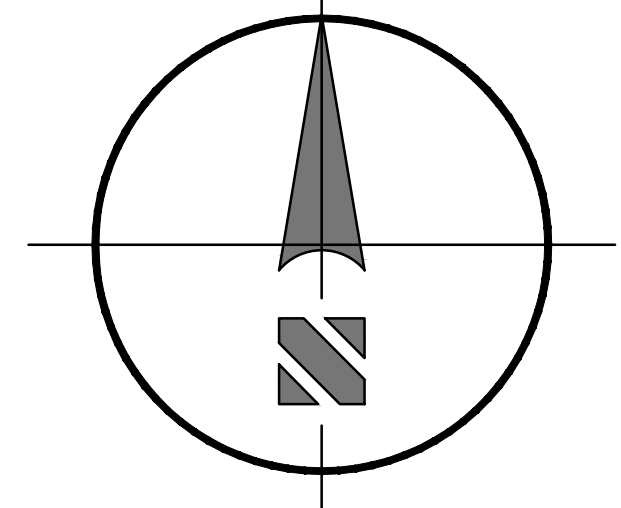
NOTE: ALL ELEVATIONS SHOWN HEREON ARE IN NAVD88 DATUM

SEE SHEET 4

MATCH LINE "A" SEE SHEET 2

SURVEYOR'S NOTES:

- Bearings shown hereon are referenced to the State Plane Coordinate system, Florida East Zone, North American Datum of 1983, adjustment of 2011 and are further referenced to the East right-of-Way line of State Road A1A, between Stations 806+64.10 and 817+42.91, as shown on sheet 5 of 6, State Road Department Right-Of-Way Map, Section 94050-2107, last revised 5-25-55, said line bears North 18°45'54" West and all others are relative thereto.
- Coordinates shown hereon are referenced to the State Plane Coordinate system, Florida East Zone, North American Datum of 1983, adjustment of 2011 and were derived from the Trimble VRSNOW network in Florida.
- All visible above ground improvements have been located.
- There has been no attempt to locate any underground utilities or improvements.
- This property is located in Flood Zones "AE Elevation 8, AE Elevation 9 and VE Elevation 10" according to Flood Insurance Rate Map Community Panel No. 12111C0183J, dated February 16, 2012.
- Elevations shown hereon are in NAVD88 and referenced to a St. Lucie County Benchmark designated "WAVE RESET" having a listed elevation of 4.41 feet.
- Additions and or deletions to this survey by other than the signing party (or parties) is prohibited without the written consent of the signing party (or parties).
- Last day of field work was 10/10/2019.
- This survey is certified to:
 - Marilyn Giordano
 - Old Republic National Title Insurance Company
 - Kalis, Kleinman & Wolf
- I have reviewed the Old Republic National Title Insurance Company, Commitment number: 640907; with an commitment date of September 21, 2018 @ 11:00 PM, issued by Community Land Title & Research and with regards to the Schedule B, Section II exceptions that are matters of survey and have the following comments:
 - Exception 5** All matters contained on the Plat of Palm Haven Subdivision, as recorded in Plat Book 5, Page 51, Public Records of Saint Lucie County, Florida. Affects all of subject property.
 - Exception 6** All matters contained on the Revised Plat of Palm Haven Subdivision, as recorded in Plat Book 8, Page 44. Have been shown hereon.
 - Exception 7** All matters contained on the Plat of South Beach High Tide Line, as recorded in Plat Book 14, Page 48. Have been shown hereon.
 - Exception 8** All matters contained on the Plat of Coastal Construction Control Line, as recorded in Plat Book 26, Page 26, Public Records of Saint Lucie County, Florida. Have been shown hereon.
 - Exception 9** All matters contained on the Plat of Mean High Water Line Survey and Proposed Erosion Control Line, as recorded in Plat Book 37, Page 2, Public Records of Saint Lucie County, Florida. Have been shown hereon.
 - Exception 10** Temporary Construction Easement in favor of the City of Fort Pierce recorded in O.R. Book 3288, Page 428, Public Records of of Saint Lucie County, Florida. It is the opinion of this surveyor that said easement rights have been terminated.
 - Exception 11** Perpetual Easement granted to St. Lucie County Erosion District recorded in O.R. Book 3790, Page 1761, Public Records of Saint Lucie County, Florida. As shown on the survey.



- LEGEND**
- ⊗ = Light pole
 - ⊕ = Cable tv riser
 - = Sewer valve
 - ⊙ = FPL Handhole
 - ⊖ = Sign
 - ⊕ = Fire hydrant
 - ⊗ = Water valve
 - ⊕ = Telephone riser
 - ⑤ = Title Exception number
 - x 9.0 = Spot elevation
 - C.M. = Concrete Monument
 - C.B.S. = Concrete Block Structure
 - FND = Found
 - I.P. = Iron Pipe
 - I.R. = Iron Rod
 - I.R.C. = Iron Rod and Cap
 - P.B. = Plat Book
 - PG. = Page
 - O.R.B. = Official Records Book
 - M.H.W.L. = Mean High Water Line
 - P.I. = Parcel Identification

Certification
(Not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper)

I hereby certify that the Survey of the property shown and described hereon was completed under my direction and said Survey is true and correct to the best of my knowledge and belief.

I further certify that this Survey meets the Standards of Practice for Surveyors set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida State Statutes. No search of the Public Records has been made by this office. The Survey is based on information furnished by client or client's representative.

10/10/2019
Date of Survey

Peter Andersen
Professional Survey and Mapper
Florida Certificate No. 5199

LOT 7 PALM HAVEN

GCY

INCORPORATED

PROFESSIONAL SURVEYORS AND MAPPERS

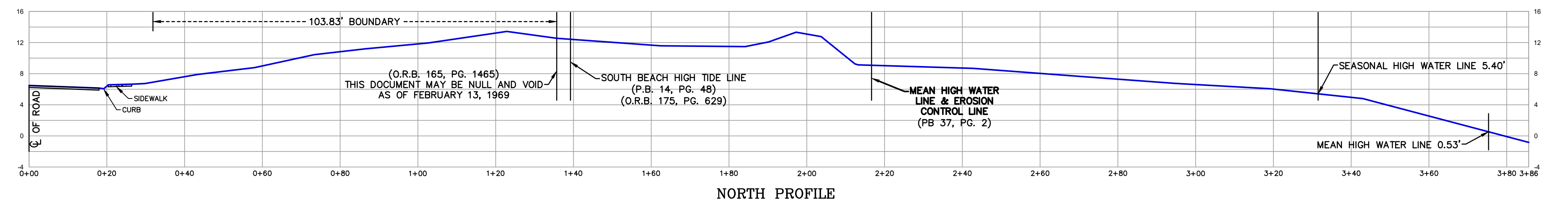
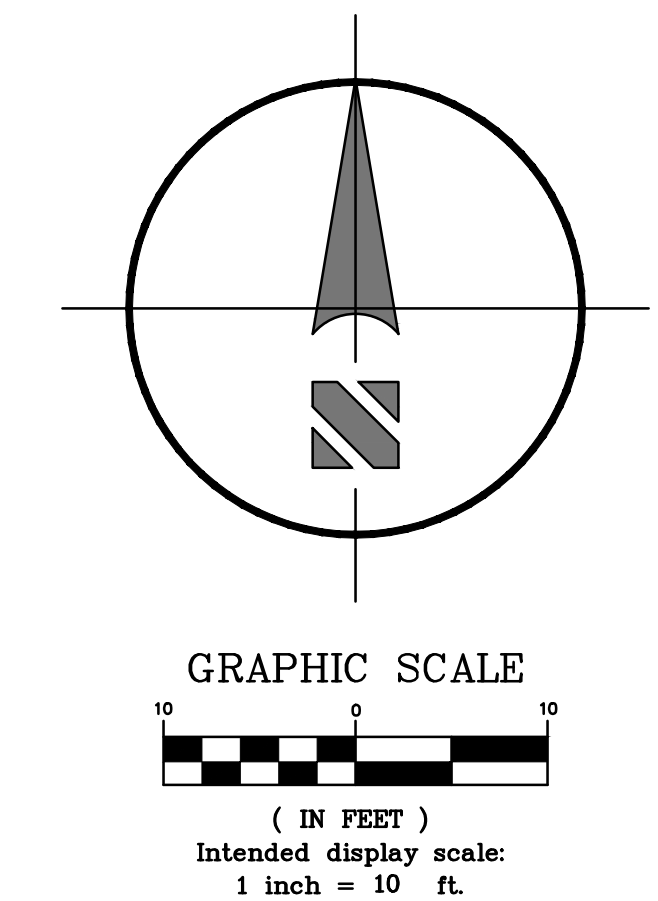
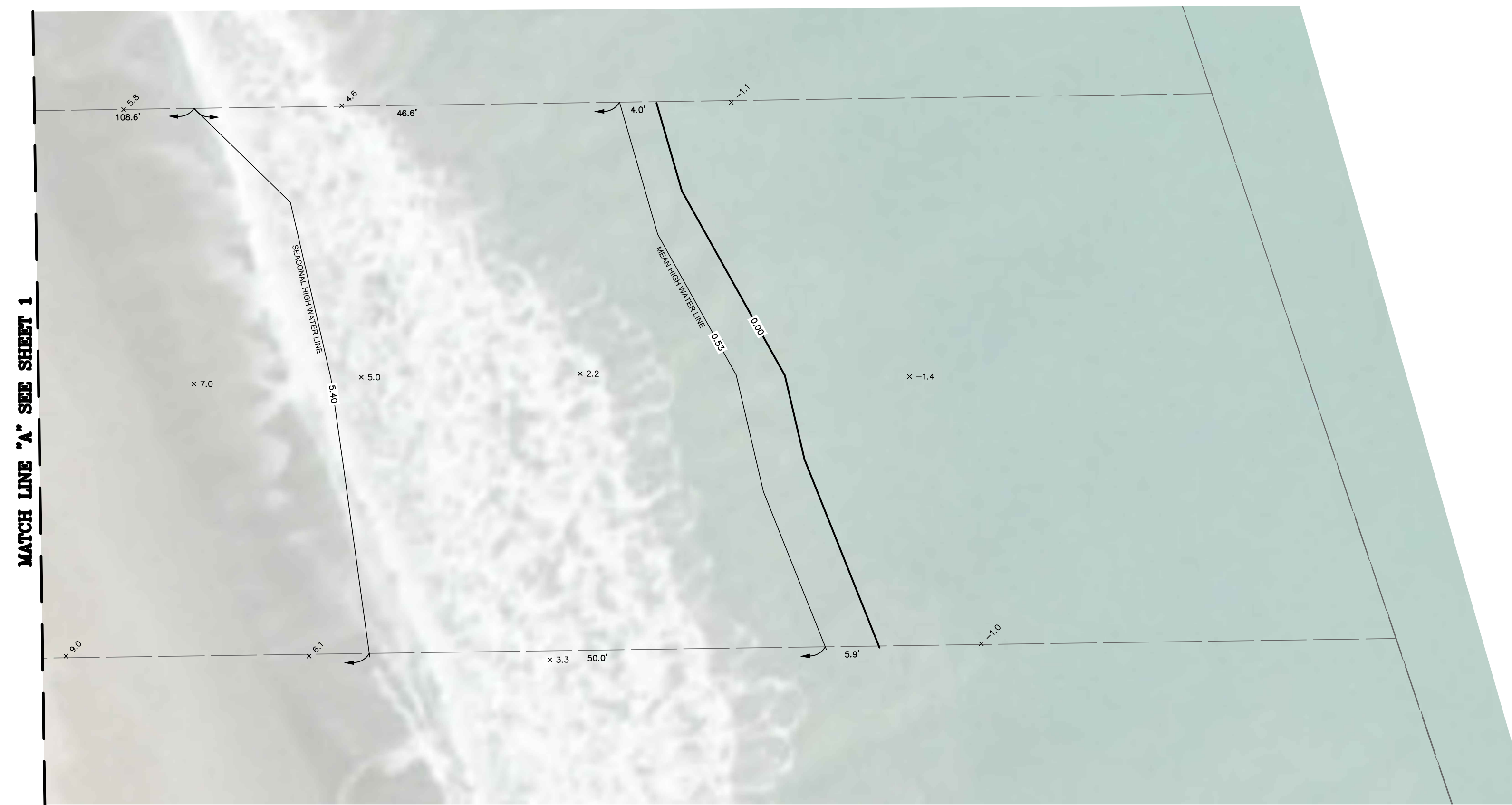
CERTIFICATE OF AUTHORIZATION LB 4108

CORPORATE OFFICE
PO BOX 1468 • 1505 SW MARTIN HWY.
PALM CITY, FL 34991
(800) 386-1066 • WWW.GCYN.COM

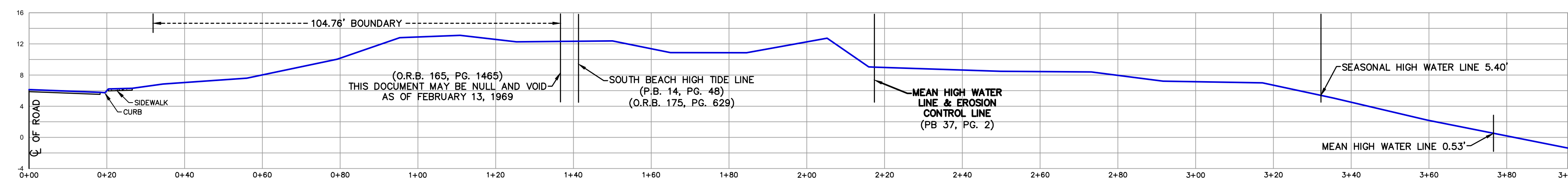
BOUNDARY & TOPOGRAPHIC SURVEY FOR:	
Marilyn Giordano	
ST. LUCIE COUNTY, FLORIDA	
Scale: 1"=10'	Date: Oct. 2019
Drawn By: M.F.M.	Checked By: P.A.
File & Drawing No: 19-1062-01	Sheet 1 of 4

1	Added Sheet 4	2/17/2020	M.F.M.
No.	Revisions	Date	By

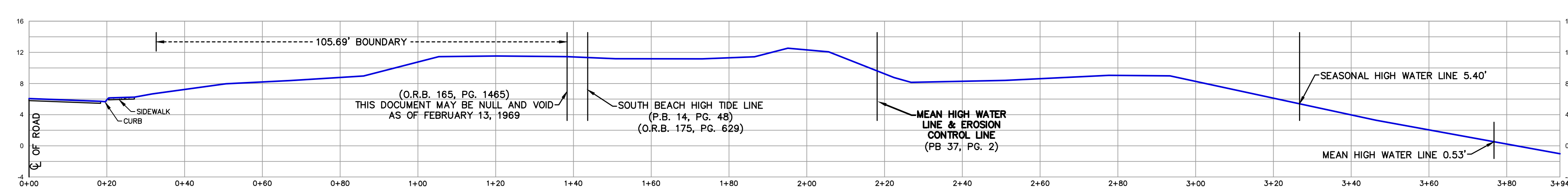
Page(s): 74-77 & 37-38
Field Book(s): 1650 & 1768
Drawing Name: Island Style Homes



NORTH PROFILE



MIDDLE PROFILE



SOUTH PROFILE

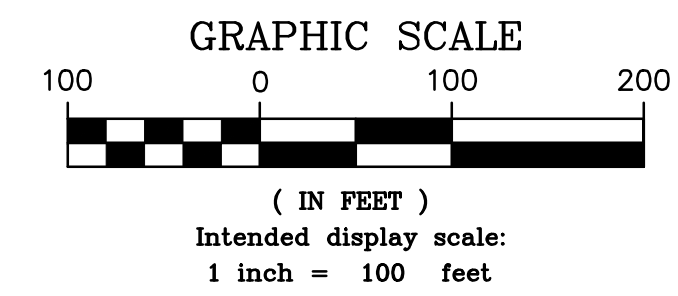
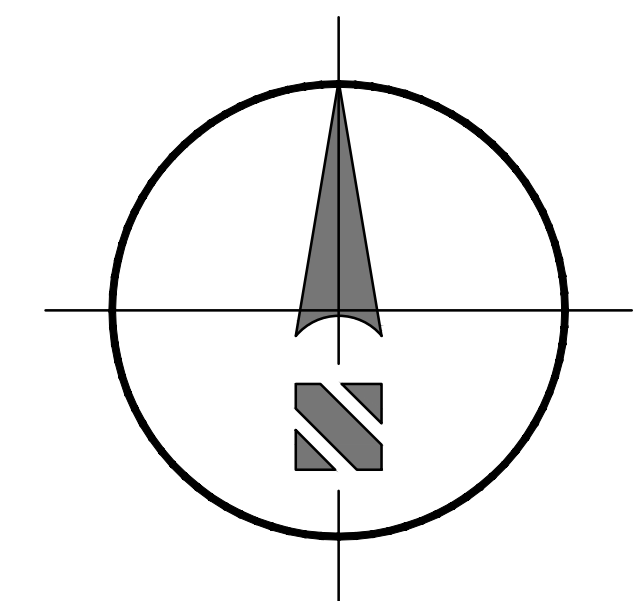
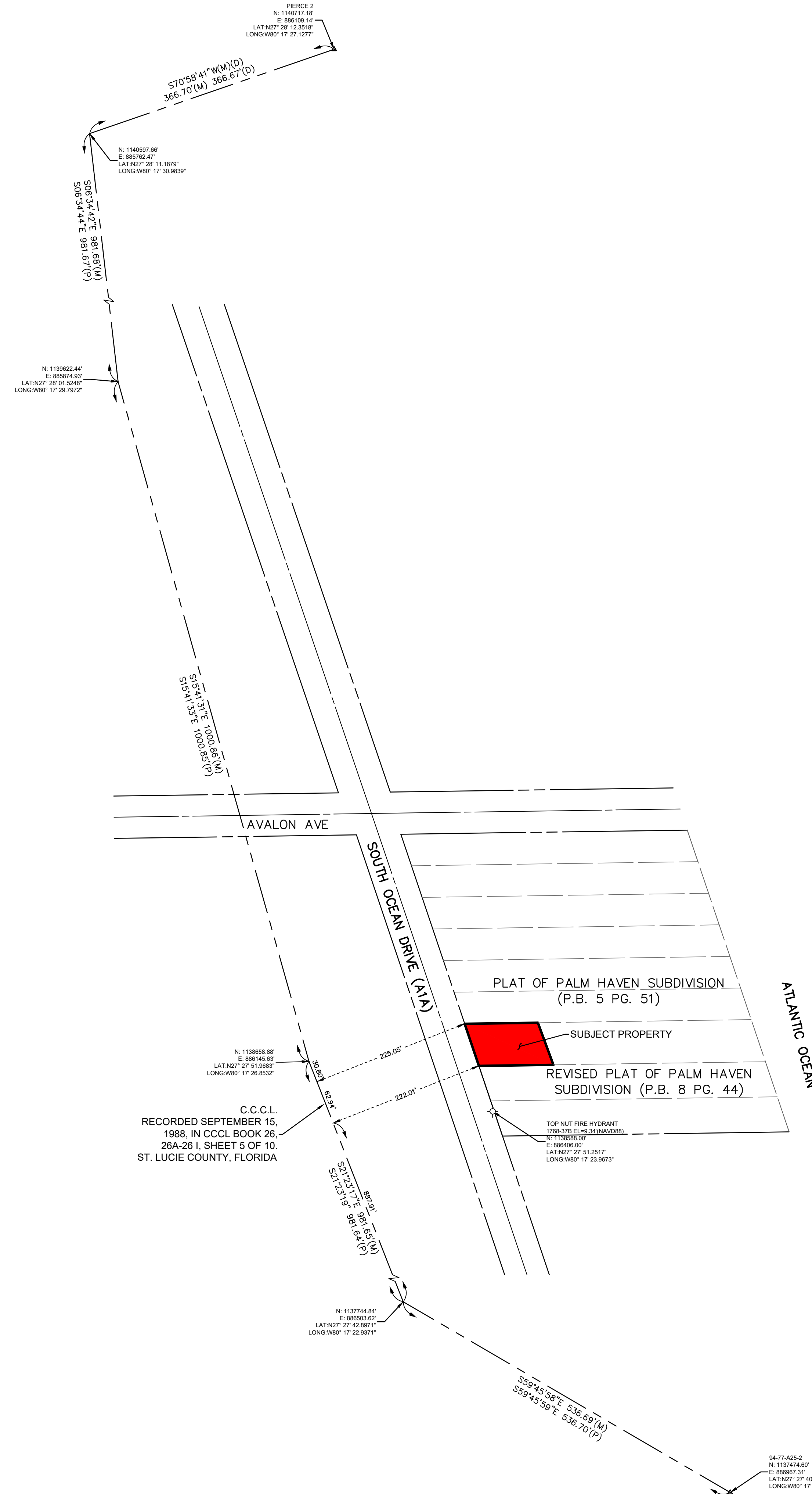
VERTICAL SCALE 1" = 10'
HORIZONTAL SCALE 1" = 20'

LOT 7 PALM HAVEN

G C Y
INCORPORATED
PROFESSIONAL SURVEYORS AND MAPPERS
CERTIFICATE OF AUTHORIZATION LB 4108
CORPORATE OFFICE
PO BOX 1469 • 1505 SW MARTIN HWY.
PALM CITY, FL 34991
(800) 386-1066 • WWW.GCYINC.COM

BOUNDARY & TOPOGRAPHIC SURVEY FOR:		Marilyn Giordano	
ST. LUCIE COUNTY,		FLORIDA	
Scale:	Date:	File & Drawing No:	
AS SHOWN	Oct. 2019	19-1062-01	
Drawn By:	Checked By:	Sheet	
M.F.M.	P.A.	2	of 4

No.	Revisions	Date	By



LEGEND
(D) = DEED
(M) = MEASURED
(P) = PLAT

LOT 7 PALM HAVEN

GCY
INCORPORATED
PROFESSIONAL SURVEYORS AND MAPPERS
CERTIFICATE OF AUTHORIZATION LB 4108

CORPORATE OFFICE
PO BOX 1468 • 1505 SW MARTIN HWY.
PALM CITY, FL 34991
(800) 386-1066 • WWW.GCYINC.COM

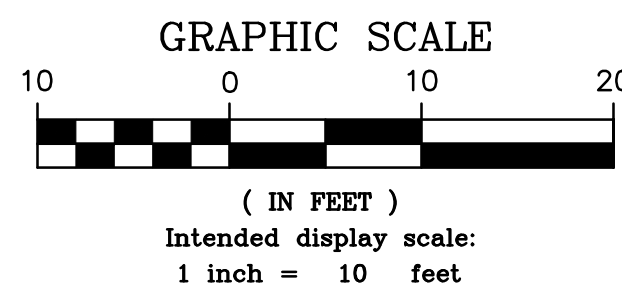
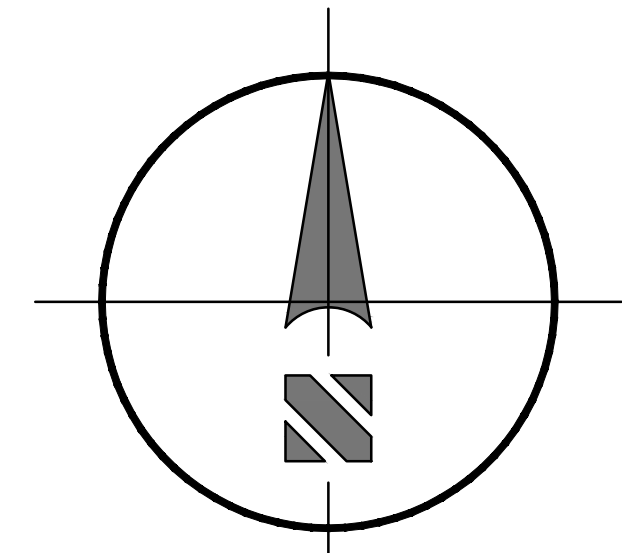
BOUNDARY & TOPOGRAPHIC SURVEY FOR:		Marilyn Giordano	
ST. LUCIE COUNTY,		FLORIDA	
Scale: 1"=100'	Date: Oct. 2019	File & Drawing No: 19-1062-01	
Drawn By: M.F.M.	Checked By: P.A.	Sheet 3 of 4	

No.	Revisions	Date	By



N 1138658.88°
E 896145.63°
LAT: N27° 27' 51.9683"
LONG: W80° 17' 26.8532"

C.C.C.L.
RECORDED SEPTEMBER 15,
1988, IN CCCL BOOK 26,
26A-26 I, SHEET 5 OF 10,
ST. LUCIE COUNTY, FLORIDA



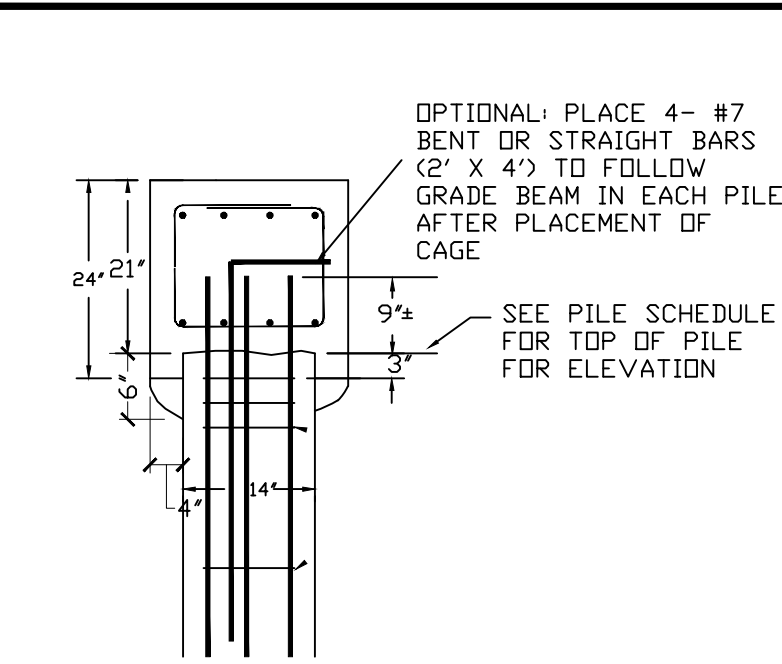
LOT 7 PALM HAVEN

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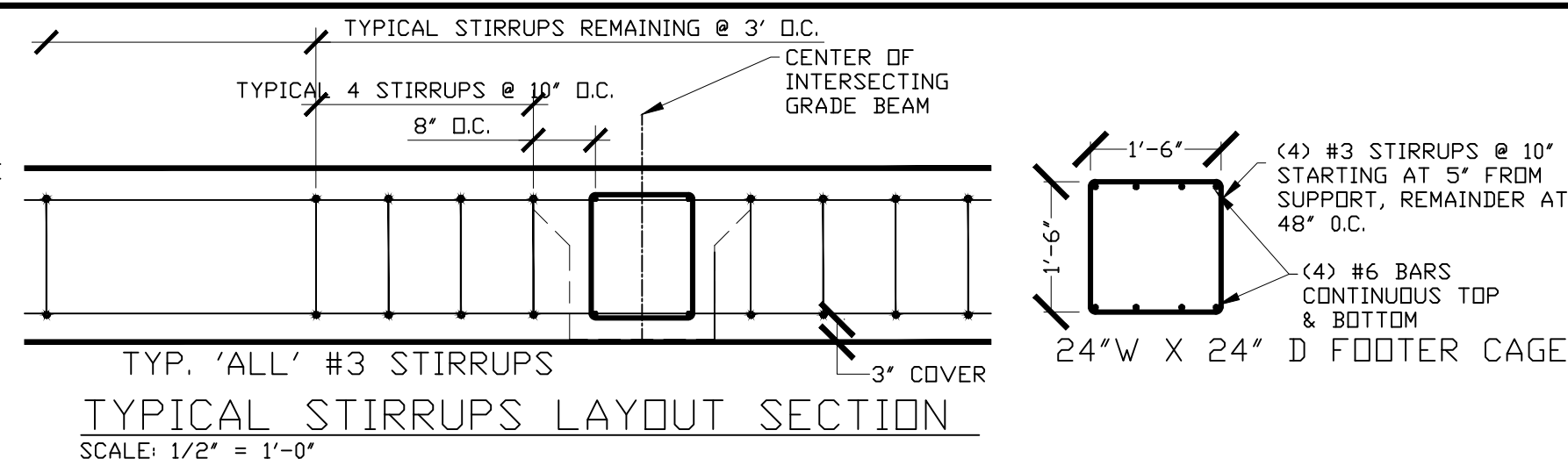
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BOUNDARY & TOPOGRAPHIC SURVEY FOR:		Marilyn Giordano	
ST. LUCIE COUNTY,		FLORIDA	
Scale:	Date:	File & Drawing No:	
1"=100'	Oct. 2019	19-1062-01	
Drawn By:	Checked By:	Sheet	
M.F.M.	P.A.	4 of 4	

1	Added Sheet 4	2/17/2020	M.F.M.
No.	Revisions	Date	By



OPTIONAL BENT BAR DETAIL
SCALE: 1/2" = 1'-0"



QUALITY CONTROL AND ASSURANCE:

1. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A QUALIFIED INDEPENDENT TESTING AND INSPECTION AGENCY (AGENCY), LICENSED IN THE STATE OF FLORIDA, TO PROVIDE QUALITY CONTROL THROUGH TESTING AND INSPECTION SERVICES DURING THE INSTALLATION OF ALL FOUNDATION PILING INVOLVED IN THIS WORK.
2. THE OWNER SHALL EMPLOY AN INDEPENDENT GEOTECHNICAL CONSULTANT OR ENGINEER OF RECORD (CONSULTANT) TO PROVIDE QUALITY ASSURANCE THROUGH GENERAL OBSERVATION AND CONSULTATION OF ALL PILE OPERATIONS.
3. THE CONTRACTOR AND THEIR AGENCY SHALL COOPERATE WITH THE CONSULTANT IN THE PERFORMANCE OF THE WORK. THE PRESENCE OF CONSULTANT SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS OBLIGATION TO PERFORM THE PILE INSTALLATION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THESE SPECIFICATIONS.
4. GROUT MIX: THE GROUT MIX SHALL BE TESTED BY MAKING A MINIMUM OF SIX, 2 INCHES CUBES FOR EACH BAY DURING WHICH PILES ARE PLACED. A SET OF SIX CUBES SHALL CONSIST OF TWO CUBES TO BE TESTED AT SEVEN DAYS, AND TWO CUBES TO BE TESTED AT 28 DAYS AND TWO CUBES HELD IN RESERVE. TEST CUBES SHALL BE CURED AND TESTED IN ACCORDANCE WITH ASTM C109/C109M. CUBE SPECIMENS MAY BE RESTRAINED FROM EXPANSION AS DESCRIBED IN ASTM C942.
5. PILE ACCEPTANCE: THE CONSULTANT SHALL NOTIFY THE CONTRACTOR IF ANY PILE IS NOT IN CONFORMANCE WITH THESE SPECIFICATIONS. THE VOLUME OF GROUT PLACED IN EACH PILE SHALL BE A MINIMUM OF 100% OF THEORETICAL VOLUME OF THE PILE. THE AMOUNT OF GROUT PLACED IN EACH 5 FEET INCREMENTS OF THE PILE SHALL BE CHECKED CONTINUOUSLY DURING INSTALLATION. THE COST OF REMOVING AND REPLACING AUGER CAST PILES, WHICH ARE NOT IN CONFORMANCE, SHALL BE BORNE BY THE PILE CONTRACTOR.
6. REPORTS: THE CONSULTANT SHALL MAINTAIN AN INSTALLATION RECORD OF EACH PILE. THE RECORD SHALL NOTE THE PROJECT NAME AND NUMBER, NAME OF CONTRACTORS, PILE LOCATION, DESIGN PILE CAPACITY, PILE TIP ELEVATION, PILE TOP ELEVATION, DEPTH OF AUGER ADVANCEMENT, (TOTAL AND CONTINUOUS) QUANTITY OF GROUT PLACED, REINFORCING STEEL PLACEMENT, AND ANY UNUSUAL OCCURRENCES DURING THE PILE INSTALLATION. THE GROUT QUANTITY SHALL BE DETERMINED BY RECORDING GROUT PUMP DISPLACEMENT OR BY OTHER ACCEPTABLE MEANS. THE CONSULTANT SHALL ALSO MAINTAIN A DAILY REPORT, WHICH SUMMARIZES ALL WORK PERFORMED BY THE CONTRACTOR.

CORRECTIONS OF DEFICIENCIES:

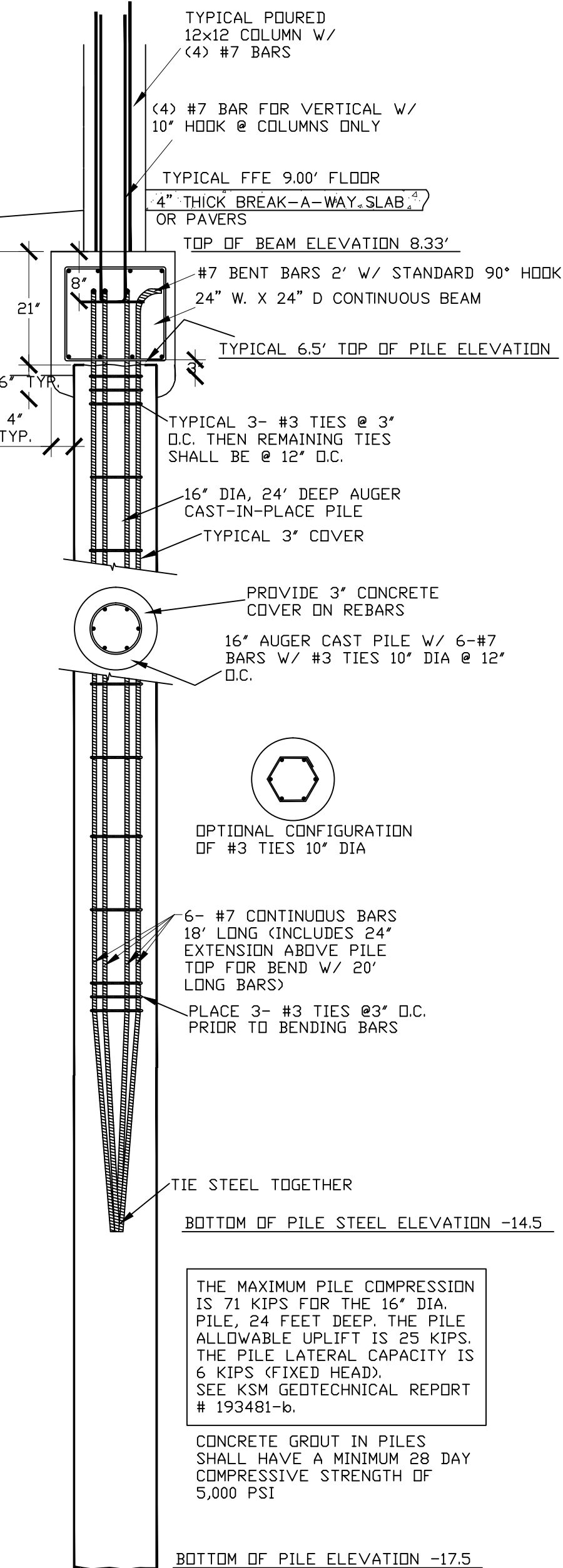
1. THE CONSULTANT SHALL NOTIFY THE CONTRACTOR AND THE ENGINEER OF RECORD IN WRITING, OF THE FAILURE OF A PILE TO MEET ANY REQUIREMENT OF THE SECTION. SUCH WRITTEN NOTIFICATION SHALL INCLUDE ALL INFORMATION REQUIRED FOR THE EVALUATION OF REMEDIAL MEASURES, INCLUDING ALL INFORMATION REQUIRED FOR REDESIGN.
2. BASED ON THE SURVEY PROVIDED, IF A PILE FAILS TO COMPLY WITH THE LOCATION OR TOLERANCE REQUIREMENTS, OR THE DESIGN LOAD REQUIREMENTS NOTED ON THE CONTRACT DOCUMENTS, THE ENGINEER WILL CALCULATE THE LOAD CAPACITY REQUIREMENTS OF THAT PILE OR, IF IN A PILE GROUP, EACH PILE IN THAT PILE GROUP, BASED ON THE ACTUAL, "AS-DRIVEN" LOCATIONS AND INCLINATIONS. IF THE CALCULATION INDICATES THAT THE LOADING ON THAT PILE OR, IF IN A PILE GROUP, ON ANY PILE IN THAT PILE GROUP, EXCEEDS THE DESIGN LOAD, THEN THE CONTRACTOR SHALL PERFORM SUCH REMEDIAL WORK AS THE ENGINEER OF RECORD IN HIS SOLE DISCRETION MAY REQUIRE INCLUDING BUT NOT LIMITED TO FURNISHING AND INSTALLING ADDITIONAL PILES AT LOCATIONS APPROVED BY THE ENGINEER OF RECORD AND MODIFYING CONCRETE OR REINFORCEMENT STEEL. THESE CORRECTIVE MEASURES SHALL BE PERFORMED SOLELY AT THE CONTRACTOR'S EXPENSE.
3. IF A PILE FAILS TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND THE ENGINEER OF RECORD DETERMINES THAT MODIFICATION TO CONCRETE OR REINFORCEMENT STEEL, OR THE DRIVING OF ADDITIONAL PILES IS NECESSARY, THE ENGINEER OF RECORD WILL PERFORM ALL REQUIRED REANALYSIS, REDESIGN AND DETAILING. ALL REANALYSIS, REDESIGN AND RE-DETAILING COSTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REIMBURSED AS A CHANGE TO THE CONTRACT.
4. THE CONTRACTOR, AT HIS OPTION AND AT ANY TIME THAT HE DETERMINES THAT A PILE WILL NOT SATISFY THE REQUIREMENTS OF THIS SECTION FOR A REASON OTHER THAN ENCOUNTERING AN UNFORESEEN UNDERGROUND OBSTRUCTION, MAY, SUBJECT TO THE PROVISIONS OF THIS SPECIFICATION, ABANDON SUCH PILE AND REPLACE IT WITH A NEW PILE OR PILES RATHER THAN AWAIT DISCRETION OR APPROVAL FROM THE ENGINEER. HOWEVER, THE CONTRACTOR, IN EXERCISING THIS OPTION, ASSUMES THE RISK THAT SUCH REPLACEMENT PILE OR PILES WILL BE ACCEPTABLE TO THE ENGINEER.
5. ABANDONED PILES SHALL BE CUT OFF 1 FOOT BELOW THE ELEVATION OF THE BOTTOM OF THE PILE CAP OR MAT AS SHOWN ON THE CONTRACT DRAWINGS AND WILL NOT BE PAID FOR.

INSTALLATION:

1. ADVANCE THE AUGER AT A CONTINUOUS RATE THAT PREVENTS REMOVAL OF EXCESS SOIL. STOP ADVANCEMENT AFTER REACHING THE REQUIRED DEPTH OR REFUSAL CRITERIA.
2. AUGER REFUSAL IS DEFINED AS A RATE OF AUGER PENETRATION OF LESS THAN 300 MM (1 FOOT) PER MINUTE OF DRILLING.
3. THE HOLE IN THE BOTTOM OF THE AUGER SHALL BE CLOSED WHILE BEING ADVANCED INTO THE GROUND WITH A SUITABLE PLUG. THE PLUG SHALL BE REMOVED BY GROUT PRESSURE OR WITH THE REINFORCING BAR.
4. PLACE CONTINUOUS CENTER REINFORCING THROUGH THE HOLLOW-STEMMED AUGER PRIOR TO PLACEMENT OF GROUT. THE TOP OF REINFORCING IN PLACE AFTER REMOVAL OF AUGER. USE BAR SPACERS TO CENTER REINFORCING BARS.
5. AT THE START OF PUMPING GROUT, RAISE THE AUGER FROM 6 TO 12 INCHES AND AFTER THE GROUT PRESSURE BUILDS UP SUFFICIENTLY, REDRILL THE AUGER TO THE PREVIOUSLY ESTABLISHED TIP ELEVATION.
6. MAINTAIN AT LEAST 10 FEET OF GROUT ON THE AUGER FLIGHTING ABOVE THE INJECTION POINT DURING RAISING OF THE AUGER. POSITIVE ROTATION OF THE AUGER SHALL BE MAINTAINED THROUGHOUT PLACEMENT OF THE GROUT. RATE OF GROUT INJECTION AND RATE OF AUGER WITHDRAWAL FROM THE SOIL SHALL BE COORDINATED AS TO MAINTAIN AT ALL TIMES THE MINIMUM GROUT HEAD AND A POSITIVE PRESSURE ON THE GAUGES. THE TOTAL VOLUME OF GROUT SHALL BE AT LEAST 120 PERCENT OF THE THEORETICAL VOLUME FOR EACH PILE EXCEPT, AFTER GROUT IS FLOWING AT THE GROUND SURFACE FROM THE AUGER FLIGHTING, THE RATE OF GROUT INJECTION AND AUGER WITHDRAWAL SHALL BE COORDINATED SO THAT THERE IS A CONSTANT GROUT FLOW AT THE SURFACE. IF PUMPING OF GROUT IS INTERRUPTED FOR ANY REASON, THE CONTRACTOR SHALL REINSERT THE AUGER AT LEAST 5 FEET INTO THE PILE AND RE-GROUT.
7. MINIMUM VOLUME OF GROUT PLACED IN HOLE SHALL BE AT LEAST NOMINAL VOLUME PLUS 20 PERCENT OF HOLE. VOLUME OF GROUT PER LINEAR INCH FOOT OF PILE SHALL BE NOT LESS THAN VOLUME OF GROUT PER FOOT OF THE LOAD TEST PILE. MAKE VOLUME MEASUREMENTS IN THE PRESENCE OF COOR.
8. AUGER HOISTING EQUIPMENT SHALL BE PROVIDED THAT WILL ENABLE THE AUGER TO BE ROTATED WHILE BEING WITHDRAWN SMOOTHLY AND STEADILY.
9. THE SOIL THAT ACCUMULATES AROUND THE AUGER DURING INJECTION OF THE GROUT SHALL BE PROMPTLY CLEARED AWAY UPON COMPLETION OF THE INSTALLATION.
10. PROVIDE OSHA PROTECTIVE CAPS ON ALL PROJECTING REINFORCEMENT.
11. DO NOT PLACE PILES CLOSER THAN 8 FEET CENTER TO CENTER UNTIL GROUT IN ADJACENT PILES HAS SET FOR 12 HOURS. IN LOCATIONS WHERE THERE ARE NO CONCRETE SLABS OR OTHER MEANS OF DISTRIBUTING LOAD OF THE EQUIPMENT PLACING PILES, THE EQUIPMENT SHALL BE KEPT AT LEAST 10 FEET AWAY FROM PILE LOCATION, OR UPPER 10 FEET OF PILE SHALL BE CASED.
12. WHERE PILE TOP IS NEAR SURFACE OR ABOVE BOTTOM OF EXCAVATION, PLACE METAL SLEEVES OF PROPER DIAMETER AROUND PILE TOP.
13. CUT OFF THE TOPS OF PILES, SQUARE WITH PILE AXIS AND AT THE ELEVATIONS INDICATED BY REMOVING FRESH GROUT FROM THE TOP OF THE PILE OR BY CUTTING OFF HARDENED GROUT DOWN TO FINAL CUTOFF POINT AT ANY TIME AFTER INITIAL SET HAS OCCURRED, WHERE THE PILE CUT-OFF IS NEAR THE SURFACE OR ABOVE THE BOTTOM OF THE EXCAVATION, SLEEVES OR CASING OF THE PROPER DIAMETER AND AT LEAST 18 INCHES IN LENGTH SHALL BE PLACED AROUND THE PILE TOPS. (SPECIAL CONDITIONS MAY REQUIRE METAL SLEEVES OF ADDITIONAL LENGTH).
14. REDRILL THE PILE TO THE ORIGINAL DEPTH AT NO ADDITIONAL COST TO THE OWNER IF ANY OF THE FOLLOWING OCCURS:
A. THE DESIGN PILE REINFORCEMENT CANNOT BE PLACED MANUALLY IN THE TOP OF ANY PILE FOLLOWING COMPLETION OF GROUTING.
B. THE TRAP DOOR AT THE BOTTOM DISCHARGE OUTLET FAILS TO OPEN COMPLETELY, EFFECTIVELY CREATING A SIDE DISCHARGE CONDITION.
C. LOSS OF GROUT HEAD OCCURS FOR ANY REASON DURING PILE INSTALLATION.
D. THERE IS MORE THAN A TWENTY-MINUTE DELAY DURING THE GROUTING OF ANY INDIVIDUAL PILE.
E. THERE IS A DROP IN GROUT LEVEL AFTER COMPLETION OF THE PILE, WHICH EXCEEDS THE AVERAGE FOR THE REMAINDER OF THE PILE INSTALLATIONS BY MORE THAN 2 FEET.
15. THE CONTRACTOR SHALL INSTALL ADDITIONAL PILES AT NO ADDITIONAL COST FOR DAMAGED, MISALIGNED AND/OR MISLOCATED PILES. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COSTS OF CONCRETE AND REINFORCING FOR REQUIRED MODIFICATIONS TO PILE CAPS/GRADE BEAMS DUE TO DAMAGED PILES AND/OR MISALIGNED OR MISLOCATED PILES.
16. IF THE GROUT LEVEL IN ANY COMPLETED PILE DROPS, THE PILE SHALL BE REJECTED AND REPLACED.
17. NO PILE SHALL BE LOADED UNTIL THE GROUT HAS ATTAINED FULL DESIGN STRENGTH.

NOTES:

1. CONTRACTOR'S QUALITY CONTROL RESPONSIBILITIES: CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL AND SAFETY OF THE WORK AND WORKERS.
2. INDEPENDENT TESTING AND INSPECTION AGENCY: THE CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING AND INSPECTION AGENCY (AGENCY) TO DOCUMENT, MONITOR, AND OBSERVE PRODUCTION PILE WORK. THIS AGENCY SHALL SUBMIT FIELD REPORTS FOR PILE INSTALLATIONS, AND GROUT TESTING AND INSPECTION. THEY SHALL SUBMIT A PILE INSTALLATION REPORT FOR EACH PILE NO LATER THAN THREE DAYS AFTER THE INSTALLATION IS COMPLETE.
3. PILES SHALL BE LOCATED AS SHOWN ON THE DRAWINGS.
4. PILE CENTERS SHALL BE LOCATED TO AN ACCURACY OF PLUS OR MINUS THREE INCHES. THE LENGTH, DIAMETER AND STEEL REINFORCEMENT SHALL BE AS SHOWN ON THE DRAWINGS.
5. CONCRETE IN GRADE BEAMS AND STRUCTURAL SLAB SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI. THE STRENGTH SHALL BE VERIFIED BY TEST CYLINDERS TAKEN EVERY 50 C.Y. PLACED & EACH DAY CONCRETE IS PLACED.
6. CONCRETE MAXIMUM SLUMP SHALL BE 5+.
7. REINFORCEMENT STEEL SHALL BE DEFORMED, NEW BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60. DETAIL, FABRICATE AND INSTALL REINFORCING PER ACI CODE.
8. PROVIDE BENT BARS AT ANY CHANGE IN DIRECTION AND INTERSECTION OF GRADE BEAMS OF THE SAME SIZE IN THE BEAMS. GRADE BEAMS SHALL BE SPLICED AT MID SPAN FOR THE TOP BARS AND OVER PILES FOR THE BOTTOM BARS.
9. CEMENT GROUT IN PILES SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5,000 PSI. REINFORCEMENT STEEL SHALL BE DEFORMED, NEW BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60. DETAIL, FABRICATE AND INSTALL REINFORCING PER THE ACI CODE.
10. AUGER CAST PILES SHALL CONFORM TO SECTION 1819 OF THE FLORIDA BUILDING CODE 2014 EDITION. AUGER CAST PILES SHALL BE FORMED USING A HOLLOW-STEM AUGER. CONCRETE GROUT SHALL BE PUMPED THROUGH THE HOLLOW-STEM AUGER WITH A MINIMUM PRESSURE OF 120 PSI. THE AUGER SHALL BE SLOWLY WITHDRAWN IN 12 IN. LIFTS WHILE MAINTAINING THE MINIMUM PUMPING PRESSURE. IF THE INSTALLATION PROCESS IS INTERRUPTED OR IF A LOSS OF PRESSURE OCCURS, THE PILE SHALL BE REDRILLED TO THE ORIGINAL DEPTH AND RE-FORMED. THE UPPER SECTION OF PILES SHOULD NOT BE INSTALLED AT DISTANCES LESS THAN 6 FEET FROM A NEWLY CONSTRUCTED PILE (24 HOURS).
11. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER.
12. ALL STEEL SHALL BE INSPECTED BY THE ENGINEER PRIOR TO CONCRETE PLACING (PROVIDE 24-HOUR NOTICE).

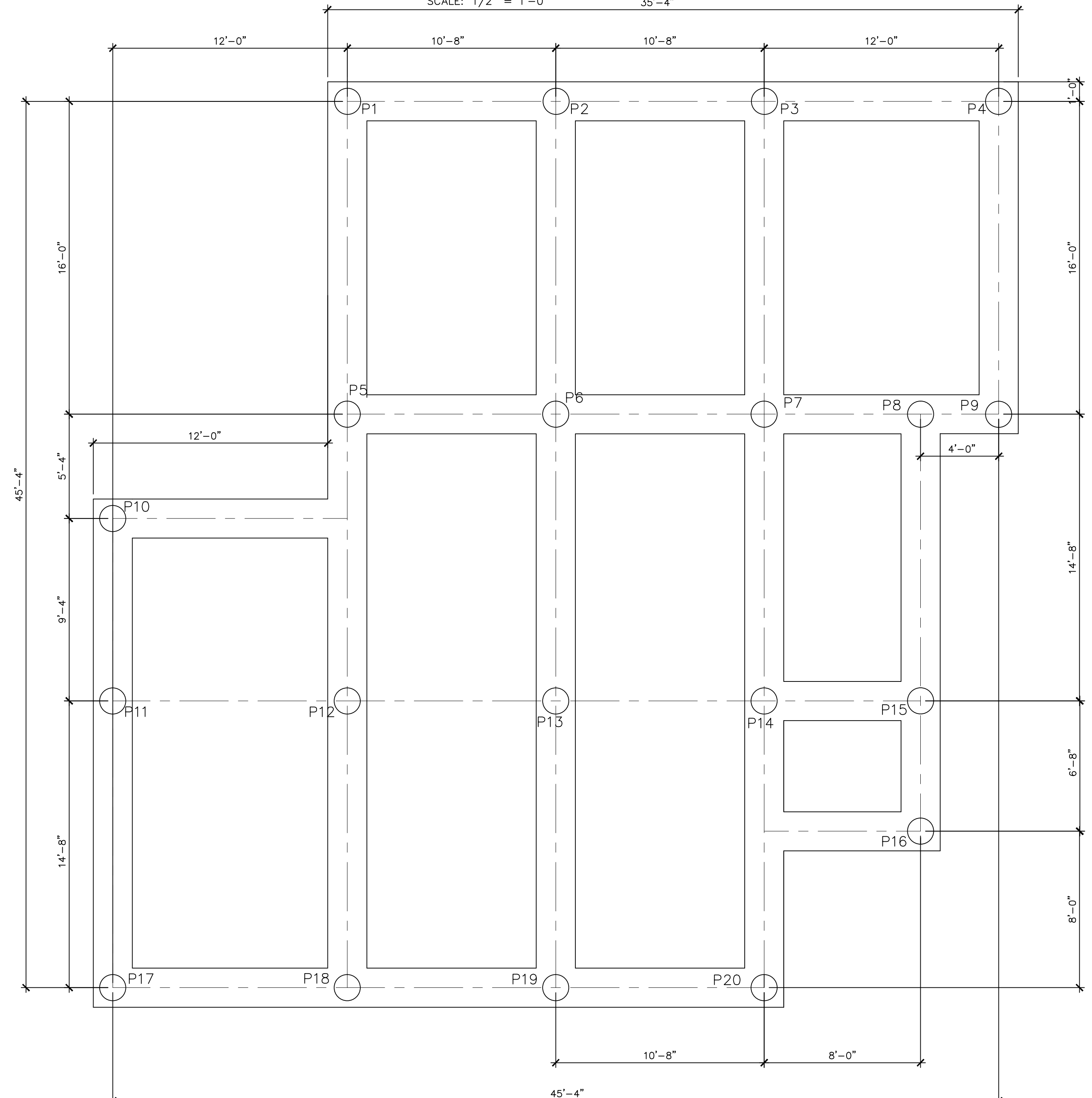
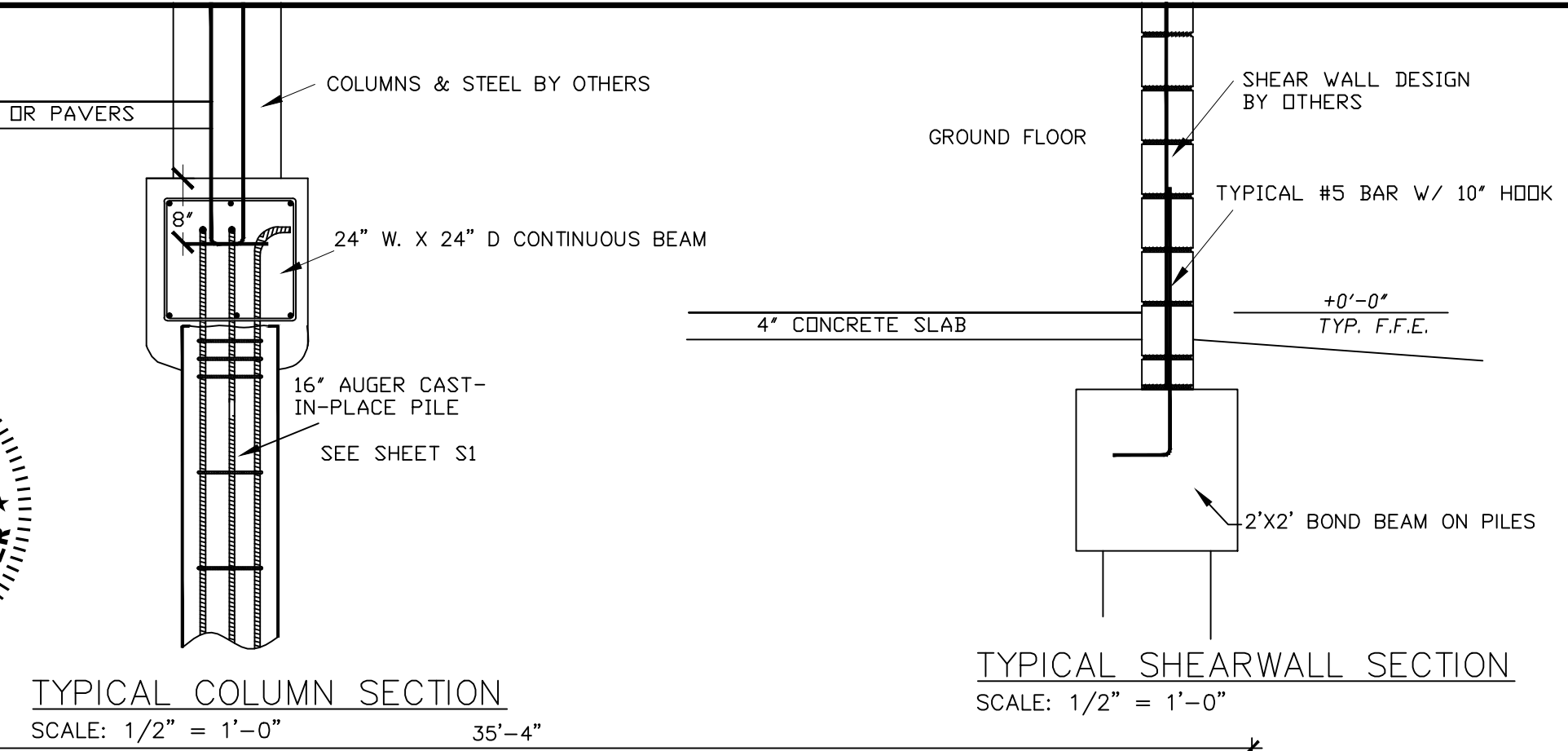
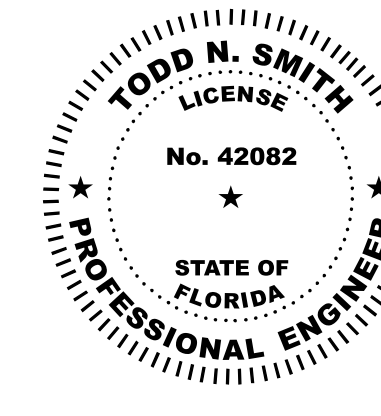


TYPICAL PILE SECTION
SCALE: 1/2" = 1'-0"

DO NOT SCALE DRAWINGS

IMPORTANT
CONTRACTOR SHALL HAVE SURVEYOR LOCATE ALL PILES AND BUILDING CORNERS BEFORE PLACEMENT.

- LEGEND:**
- REPRESENTS 16" DIA. PILE TYPICAL
 - REPRESENTS 24" W X 24" D. BOND BEAM



PILE PLAN
SCALE: 1/4" = 1'-0"

NOTIFY THE ENGINEER 48 HOURS PRIOR TO PLACING PILES SO ARRANGEMENTS CAN BE MADE TO HAVE THE ENGINEER OBSERVE THE PILE INSTALLATION.

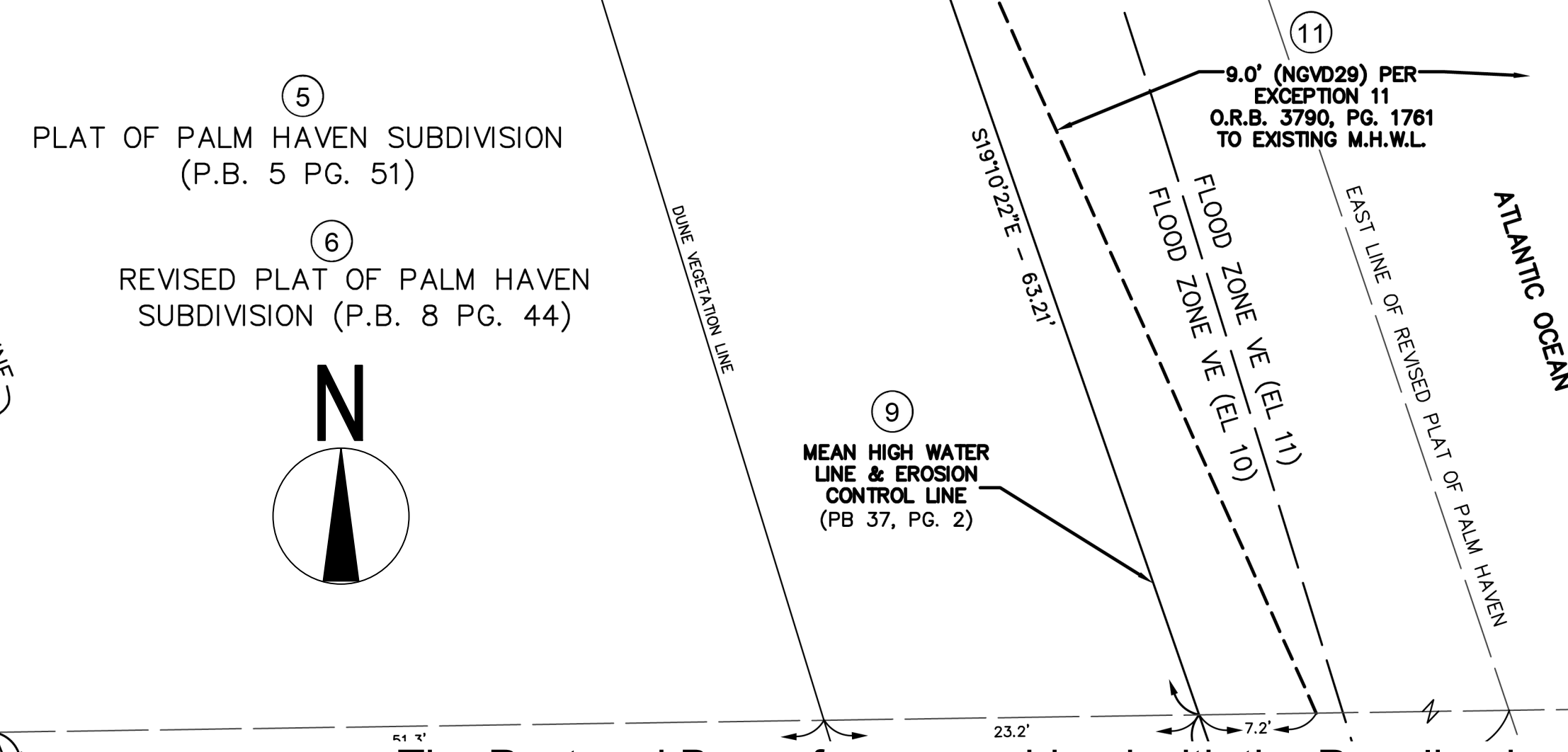
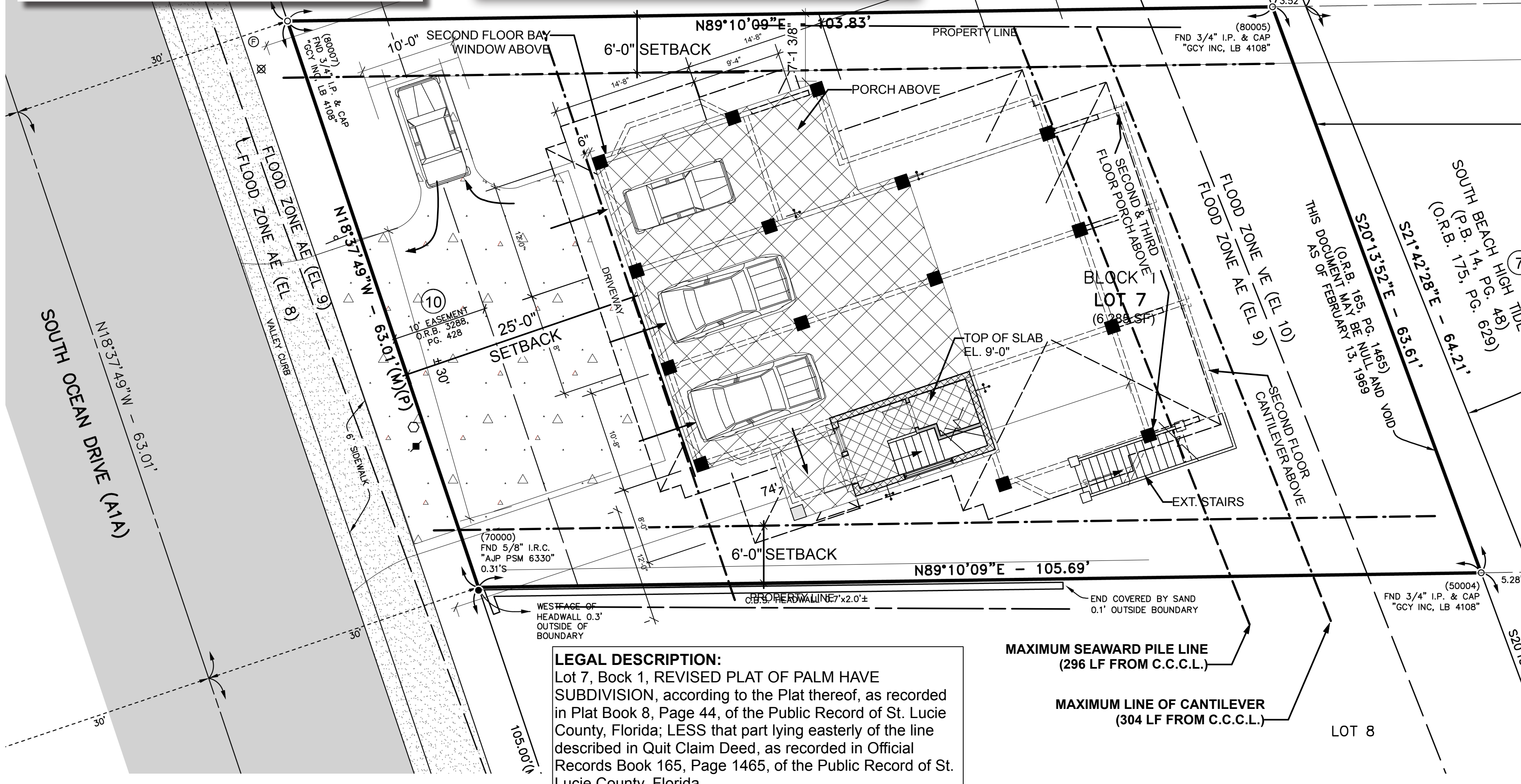
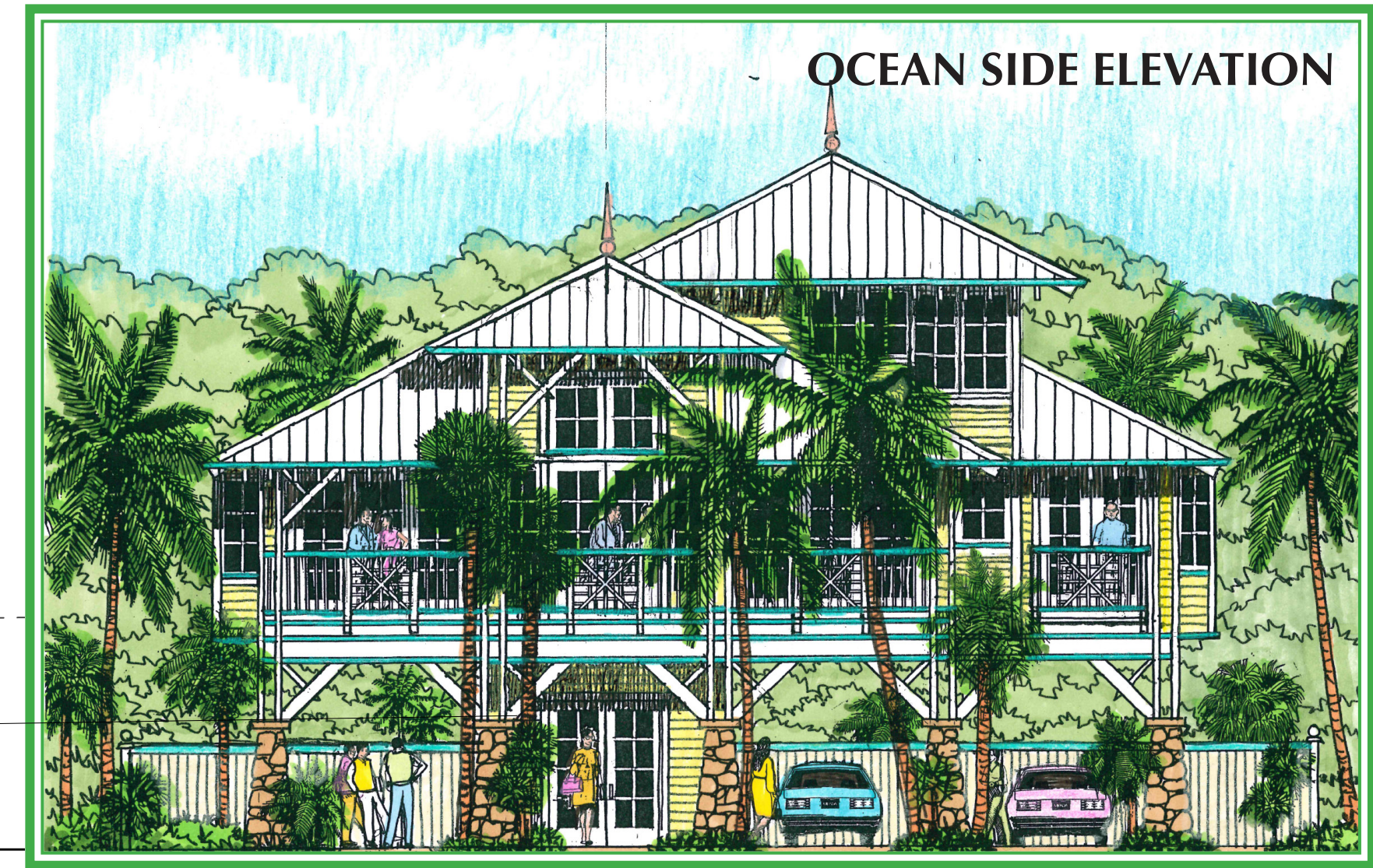
ENGINEER'S CERTIFICATION

- A. THE MAIN WIND-FORCE RESISTING SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH ANSI/ASCE 7-10, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, SECTION 6, TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 160 MILES PER HOUR 3-SECOND GUST.
- B. THE COMPONENTS AND CLADDING HAVE BEEN SELECTED AND ARE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS IN ACCORDANCE WITH ANSI/ASCE 7-10, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, SECTION 6, TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 160 MILES PER HOUR 3-SECOND GUST.
- C. THIS PROJECT HAS BEEN DESIGNED PER THE SOILS REPORT AND RECOMMENDATIONS OF KMS (KELLY, SCHLEICHER & MacWILLIAM ENGINEERING AND TESTING, INC.). THE REPORT DATED SEPTEMBER 7, 2019, KSM PROJECT # 193481-b. CONTRACTOR SHALL REVIEW REPORT PRIOR TO PILE INSTALLATION.

INFORMATION		DESIGNED	TS	DATE	
DRAWN		LR	DATE		
CHECKED		LR	DATE	10/4/2020	
SCALE		AS SHOWN			
REVISIONS					
1					
2					
3					
4					
5					
6					
TODD N. SMITH, P.E. INC CA #8772 SUITE 302 1717 INDIAN RIVER BLVD VERO BEACH, FLORIDA 32960 CELL (772) 559-3699 TNSPE@BELLSOUTH.NET					
RESIDENCE FOR MARILYN GIORDANO Parcel Info: 2-401-502-0007-000-1 S. OCEAN DR FT. PIERCE FL. 34949					
SHEET S1					
19975					



LOT 6 South A.1.A., Ft. Pierce, FL
A proposed 4 Bedroom/4.5 Bath Oceanfront single family home of approximately 2,600 SF of total Gross Floor area (Int. & Ext.)



LEGAL DESCRIPTION:
Lot 7, Block 1, REVISED PLAT OF PALM HAVEN SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 8, Page 44, of the Public Record of St. Lucie County, Florida; LESS that part lying easterly of the line described in Quit Claim Deed, as recorded in Official Records Book 165, Page 1465, of the Public Record of St. Lucie County, Florida.

The Post and Beam frame combined with the Panelized Shell creates a highly Hurricane and Storm Surge resistant structure, that has survived many major hurricanes in oceanfront locations over the last 30 years.

The ISLAND STYLE BUILDING SYSTEM is a factory Pre-fabricated, Panelized Post and Beam system ideally suited to construct Custom Designed Homes and Commercial Buildings. Island Style Buildings are structurally pre-engineered to be specifically suited for Hurricane and Flood prone locations that are also subject to Termites, Rust, Rot, Mold, Heat and High Humidity.



SHEET INDEX

- A-1 COVER SHEET, SITE PLAN
- A-2 GENERAL NOTES, LEGEND, SYMBOLS (ALL)
- A-3 FIRST & SECOND FLOOR PLANS
- A-4 GROUND FLOOR PLANS
- A-5 FOUNDATION PLAN & NOTES
- A-6 1st FLOOR BEAM & FRAMING PLAN
- A-7 2nd FLOOR BEAM & FRAMING PLAN
- A-8 LOWER & UPPER ROOF FRAMING ELEVATIONS
- A-9 SECTION
- A-10 SECTION
- E-1 GRD FL & ELEC. NOTES, DIAGRAMS
- E-2 1st & 2nd ELECTRIC PLAN
- P-2 PLUMB. NOTES, DIAGRAMS
- M/P-1 GRD FL M/P NOTES, DIAGRAMS
- M/P-2 1st & 2nd M/P PLANS

OWNER: GIORDANO RESIDENCE
4160 Triple Crown Court
Davie, FL 33330
PH: (904) 602-5637 x112
marilyn@qualityimporters.com

ARCHITECT: GORDON MOCK
4275 Mariah Circle
Fort Pierce, FL 34947
PH: (772) 464-6259
islandstylehomes@comcast.net

CIVIL/STRUCTURAL ENGINEER: TODD SMITH, PE
PH: (772) 559-3699
tinspe@bellsouth.net

SURVEYOR: G.C.Y. Inc. LB 4108
PH: (800) 386-1066
www.gcyinc.com

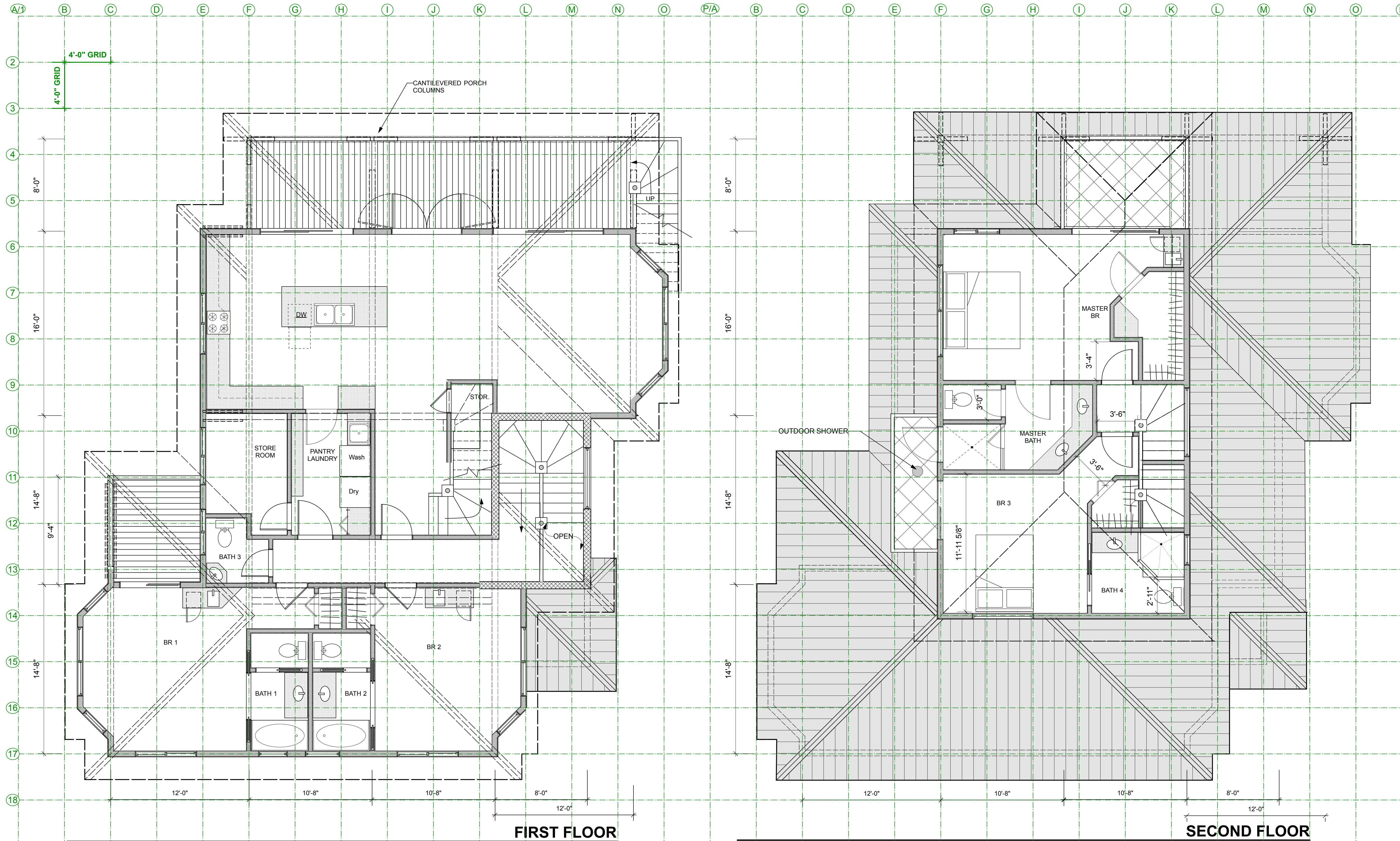
LANDSCAPE DESIGNER: JMS DESIGN STUDIO, INC.
FCLD #00069
PH: (772) 532-6884
jmsvero@aol.com

Giordano Residence
S. Ocean Drive,
Ft. Pierce, FL 34949

SCALE
N.T.S.

ORIGINAL DATE	2/19/19
10/21/20	6
	7
	8

SHEET #
A-1
SHEET NAME
SITE PLAN

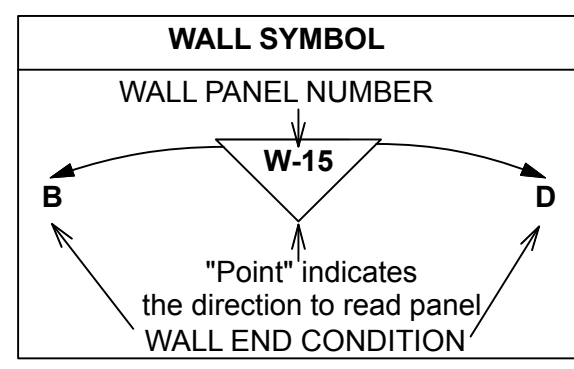


FIRST FLOOR

SECOND FLOOR

WALL TYPES

[Symbol]	CONCRETE WALL
[Symbol]	CONCRETE PIER
[Symbol]	ISH WOOD WALL
[Symbol]	INT. 2x4 WALL
[Symbol]	INT. 2x6 WALL



- 2 WALL TYPES**
1. Exterior Prefabricated Wood Frame Wall - Apply to assembled walls water proof membrane and cement board lap siding, drywall on interior walls, R-11 foam board with a radiant insulation and all trim (exterior and interior) as required.
 2. Exterior Prefabricated Wood Plumbing Frame Wall - pply to assembled walls water proof membrane and cement board lap siding, Durock paneling on interior walls, R-11 foam board with a radiant insulation and all trim (exterior and interior) as required.
 3. Exterior Field Framed Wood Frame Wall - P.T. 2" x 6" wood studs at 16" o.c. with 5/8" P.T. CDX installed with minimum 12d stainless steel nails @ 6" o.c. Apply water proof membrane and cement board lap siding, drywall on interior walls, R-11 foam board with a radiant insulation and all trim (exterior and interior) as required.
 4. Exterior Field Framed Wood Plumbing Frame Wall - P.T. 2" x 6" wood studs at 16" o.c. with 5/8" P.T. CDX installed with minimum 12d stainless steel nails @ 6" o.c. Apply water proof membrane and cement board lap siding, Durock paneling on interior walls, R-11 foam board with a radiant insulation and all trim (exterior and interior) as required.
 5. Typical Interior Wood Frame Wall - P.T. 2" x 4" wood studs at 16" o.c. and P.T. bottom and top plates all installed with minimum 16d stainless steel nails with drywall on both sides and 3-1/2" R-11 fiberglass insulation (when shown on plans) and interior trim as required.
 6. Typical Interior Wood Frame Wall "Plumbing" Wall - P.T. 2" x 4" wood studs at 16" o.c. and P.T. bottom and top plates all installed with minimum 16d stainless steel nails with Durock paneling on moisture side(s), and/or drywall on other side and 3-1/2" R-11 fiberglass insulation (when shown on plans) and interior trim as required.

EXTERIOR WINDOW / DOOR SYMBOL

WINDOW / DOOR NO. → [3] 0050 ← MANU. PACKING #

INTERIOR DOOR SYMBOL

DOOR NO. → [9] E ← DOOR TYPE
REMARK → [L] b ← HARDWARE GROUP

- INTERIOR DOOR TYPE**
- A. 1'-8" x 6'-8" x 1-3/8" door
 - B. 2'-0" x 6'-8" x 1-3/8" door
 - C. 2'-4" x 6'-8" x 1-3/8" door
 - D. 2'-6" x 6'-8" x 1-3/8" door
 - E. 2'-8" x 8'-0" x 1-3/8" door
 - F. 3'-0" x 6'-8" x 1-3/8" door
 - G. 2'-8" x 6'-8" x 1-1/4" bi-fold door
 - H. 3'-0" x 6'-8" x 1-1/4" bi-fold door
 - I. 2'-4" x 6'-8" x 1-3/8" pocket door
 - J. 2'-6" x 6'-8" x 1-3/8" pocket door
 - K. 3'-0" x 6'-8" x 1-3/8" pocket door
 - L. Pair of 2'-4" x 6'-8" x 1-3/8" pocket door

DOOR REMARK
a. Right Door Active c. Ext. Door - RGT Hinge
b. Left Door Active d. Ext. Door - LEFT Hinge



SHEET INDEX

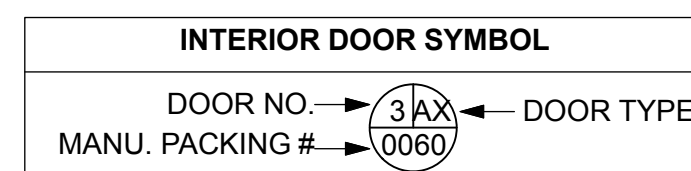
- A-1 COVER SHEET, SITE PLAN
- A-2 GENERAL NOTES, LEGEND, SYMBOLS (ALL)
- A-3 FIRST & SECOND FLOOR PLANS
- A-4 GROUND FLOOR PLANS
- A-5 FOUNDATION PLAN & NOTES
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- A-7 2nd FLOOR BEAM & FRAMING PLAN
- A-8 LOWER & UPPER ROOF FRAMING
- A-9 ELEVATIONS
- A-10 SECTION
- E-1 GRD FL & ELEC. NOTES, DIAGRAMS
- E-2 1st & 2nd ELECTRIC PLAN
- P-2 PLUMB. NOTES, DIAGRAMS
- MP-1 GRD FL M/P NOTES, DIAGRAMS
- MP-2 1st & 2nd M/P PLANS

Giordano Residence
S. Ocean Drive,
Ft. Pierce, FL 34949

SCALE
1/4" = 1'-0"

ORIGINAL DATE	2/19/19
[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]

SHEET #
A-3
SHEET NAME
FIRST & SECOND FLOOR PLANS



INTERIOR DOOR TYPE

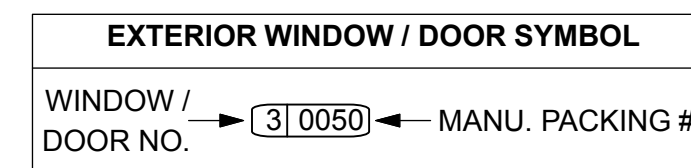
- ax. Pair of 3'-0" x 8'-0" x 1-3/8" French doors
- b. Pair of 2'-6" x 6'-8" x 1-3/8" French doors
- bx. Pair of 2'-6" x 8'-0" x 1-3/8" French doors
- c. 3'-0" x 6'-8" x 1-3/8" French door
- cx. 3'-0" x 8'-0" x 1-3/8" French door
- d. 2'-6" x 6'-8" x 1-3/8" French door
- dx. 2'-6" x 8'-0" x 1-3/8" French door
- e. 3'-0" x 6'-8" x 1-3/8" door
- ex. 3'-0" x 8'-0" x 1-3/8" door
- f. 2'-8" x 6'-8" x 1-3/8" door
- fx. 2'-8" x 8'-0" x 1-3/8" door
- g. 2'-6" x 6'-8" x 1-3/8" door
- gx. 2'-6" x 8'-0" x 1-3/8" door
- h. 2'-4" x 6'-8" x 1-3/8" door
- hx. 2'-4" x 8'-0" x 1-3/8" door
- i. 2'-0" x 6'-8" x 1-3/8" door
- ix. 2'-0" x 8'-0" x 1-3/8" door
- j. 3'-0" x 6'-8" x 1-3/8" pocket door
- jk. 3'-0" x 8'-0" x 1-3/8" pocket door
- k. 2'-8" x 6'-8" x 1-3/8" pocket door
- kx. 2'-8" x 8'-0" x 1-3/8" pocket door
- l. 2'-6" x 6'-8" x 1-3/8" pocket door
- lx. 2'-6" x 8'-0" x 1-3/8" pocket door
- m. 2'-4" x 6'-8" x 1-3/8" pocket door
- mx. 2'-4" x 8'-0" x 1-3/8" pocket door
- n. 5'-0" x 6'-8" x 1-1/4" bi-fold door
- nx. 5'-0" x 8'-0" x 1-1/4" bi-fold door
- o. 3'-6" x 6'-8" x 1-1/4" bi-fold door
- ox. 3'-6" x 8'-0" x 1-1/4" bi-fold door
- p. 3'-0" x 6'-8" x 1-1/4" bi-fold door
- px. 3'-0" x 8'-0" x 1-1/4" bi-fold door
- q. 2'-6" x 6'-8" x 1-1/4" bi-fold door
- qx. 2'-6" x 8'-0" x 1-1/4" bi-fold door
- r. 2'-0" x 6'-8" x 1-1/4" bi-fold door
- rx. 2'-0" x 8'-0" x 1-1/4" bi-fold door
- s. Pair of 2'-6" x 6'-8" x 1-3/8" by pass door
- sx. Pair of 2'-6" x 8'-0" x 1-3/8" by pass door

DOOR REMARK

- a. Right Door Active c. Ext. Door - RGT Hinge
- b. Left Door Active d. Ext. Door - LEFT Hinge

WINDOW REMARK

- a. XO (from outside, slides to right)
- b. OX (from outside, slides to left)

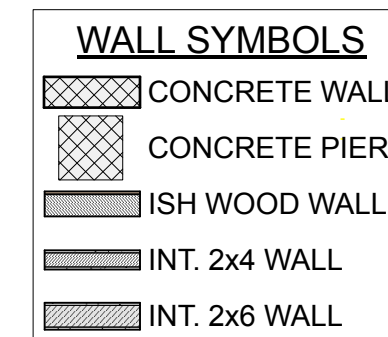
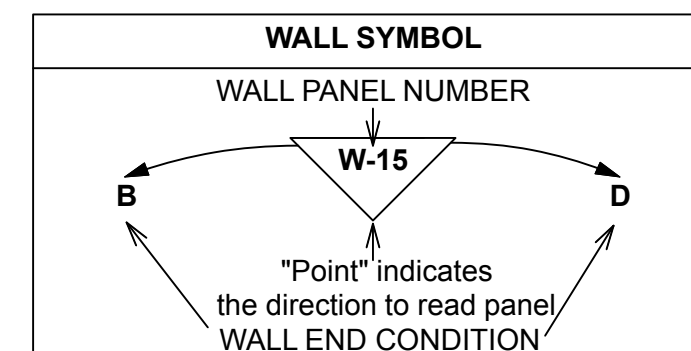


WINDOW TYPE

(Measurement is WINDOW FRAME - TIP to TIP. There is a 1/2" flange on each 4 sides of the window)

- 3SHZ Single 47 1/4" x 38 3/4" Horizontal slider
- 3MHZ Single 47 1/4" x 44 3/4" Horizontal slider
- 3THZ Single 47 1/4" x 54 3/4" Horizontal slider
- 5SHZ Single 79 1/4" x 41 3/4" Horizontal slider
- 5LHZ Single 72 3/4" x 60 3/4" Horizontal slider

NOTE: ALL DOORS, SIDE LITES & TRANSOM WINDOWS ARE FIELD INSTALLED

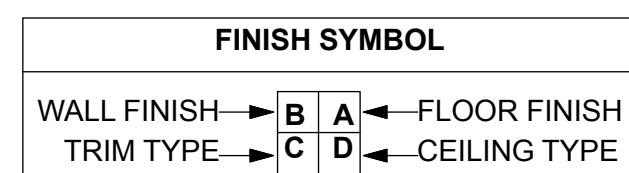


2 - WALL TYPES

1. **Exterior Prefabricated Wood Frame Wall** - Apply to assembled walls water proof membrane and cement board lap siding, drywall on interior walls, R-11 foam board with a radiant insulation and all trim (exterior and interior) as required.
2. **Exterior Prefabricated Wood Plumbing Frame Wall** - Apply to assembled walls water proof membrane and cement board lap siding, Durock paneling on interior walls, R-11 foam board with a radiant insulation and all trim (exterior and interior) as required.
3. **Exterior Field Framed Wood Frame Wall** - P.T. 2" x 6" wood studs at 16" o.c. with 5/8" P.T. CDX installed with minimum 12d stainless steel nails @ 6" o.c. Apply water proof membrane and cement board lap siding, drywall on interior walls, R-11 foam board with a radiant insulation and all trim (exterior and interior) as required.
4. **Exterior Field Framed Wood Plumbing Frame Wall** - P.T. 2" x 6" wood studs at 16" o.c. with 5/8" P.T. CDX installed with minimum 12d stainless steel nails @ 6" o.c. Apply water proof membrane and cement board lap siding, Durock paneling on interior walls, R-11 foam board with a radiant insulation and all trim (exterior and interior) as required.
5. **Typical Interior Wood Frame Wall** - P.T. 2" x 4" wood studs at 16" o.c. and P.T. bottom and top plates all installed with minimum 16d stainless steel nails with drywall on both sides and 3-1/2" R-11 fiberglass insulation (when shown on plans) and interior trim as required.
6. **Typical Interior Wood Frame Wall "Plumbing" Wall** - P.T. 2" x 4" wood studs at 16" o.c. and P.T. bottom and top plates all installed with minimum 16d stainless steel nails with Durock paneling on moisture side(s), and/or drywall on other side and 3-1/2" R-11 fiberglass insulation (when shown on plans) and interior trim as required.

WALL NOTES

1. Provide and install blocking as required for installation of miscellaneous wall items, cabinets, shelving, etc.
2. Use 1/2" Durock cement board as a backer at all wet areas.
3. Unless otherwise noted on plans, all interior partition openings shall be constructed with 2 x 4 jack studs and head/sill blocking anchored to adjacent wall framing.
4. Provide continuous wood blocking beside and behind cabinetry as per cabinet makers requirements. Coordinate prior to construction of partitions.
5. Coordinate requirements for pipes and other items designed to be housed within the partition and wall systems.
6. Notify Architect of any discrepancies noticed when laying-out walls, prior to placing any walls, bolts, etc.



WALL FINISH TYPE

- A. Provide and install blocking as required for installation of miscellaneous wall items, cabinets, shelving, etc.
- B. OSB Paneling joints and nail holes are to be filled, finished and sanded. Provide two (2) coats Latex Flat interior wall paint. Coordinate all wall finishes with the Owner.
- C. Moisture resistant drywall to be taped, finished and sanded. Provide one (1) coat of primer and two (2) coats Latex Eggshell finish interior wall paint. Coordinate all wall finishes with the Owner.
- D. 1/2" Cement board (i.e. Durock) to be taped and finished ready for the installation of tile or marble. Coordinate all finishes with the Owner.
- E. Vinyl wall covering on taped, finished and sanded. Wall covering selection by Owner.
- F. Finishes of walls will be supplied by the Interior Designer and therefore not in this contract.

TRIM TYPE

- A. Typical 4-1/2" x 3/4" wood base on all walls and typical 2-1/2" x 3/4" wood casing and 3/4" wood jambs around all door openings. Windows shall have OSB paneling returns with 5/4" wood sill and stool of typical 2-1/2" casing (upside down).
- B. Typical wood base, casing, and jambs (see above) on all walls, and a 2-1/2" chair railing (top)
- C. Typical Chair Rail at 36" A.F.F.
- D. Typical wood base on all walls, typical 2-1/2" wood casing around all openings (windows and doors) with plinth blocks where required, typical wood chair rail at 3'-0" A.F.F. continuous on all walls.
- E. Typical 2-1/2" wood casing and jambs around all door openings, and typical 3-1/2" wood base continuous on all walls. Refer to notes and trims profiles for further information. All window openings shall have drywall returns and marble sills. Refer to ceiling plans for any ceiling trim.

TRIM NOTES

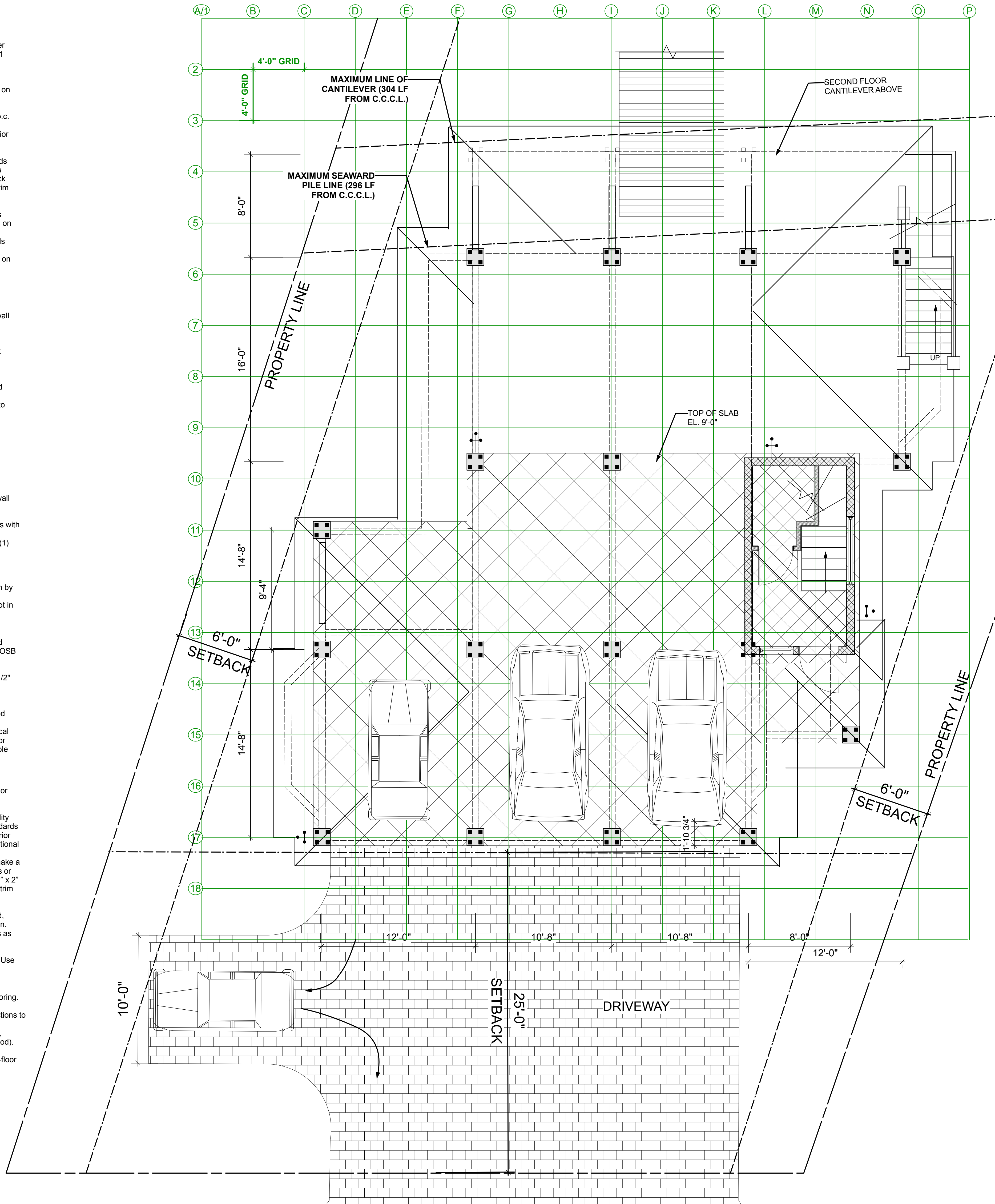
1. All wood trim and other millwork shall be paint grade, clear white Spruce (or other softwood of equal quality), and installed as per the drawings.
2. The trim and millwork should be installed as per the details and in a workmanlike manner with joints, fasteners, overall appearance, etc. of a quality equal to accepted industry standards (as specified in the A.W.I. Quality Standards and Guide Specifications). The Architect reserves the right to reject any inferior material or workmanship, and to require that the work be replaced at no additional expense to the Owner.
3. Work included - all labor, fasteners, adhesives, tools, and equipment to make a complete installation of all finish carpentry and trim indicated on the drawings or herein specified. Note the exposed structural beams shall be trimmed with 1" x 2" trim and ripped 1" x 6" beam bottom trim as per the sections and details. All trim material to be supplied by General Contractor.
4. Condition wood materials to average prevailing humidity conditions and installation areas prior to installing. Discard material that is unsound, warped, bowed, twisted, or in any other way not appropriate for a first class installation. Install the work plump, level, true and straight with no distortions using shims as required. Install with the minimum number of joints possible using full length pieces to the greatest extent possible. Cope at returns, miters at corners, to produce tight fitting joints with full surface contact throughout length of joint. Use scarf joints for end to end joints.

FLOOR FINISH TYPE

- A. Concrete slab, scraped, cleaned and prepared for installation of finish flooring. Coordinate flooring with Owner.
- B. Carpet and pad installed on new 1/4" plywood sub-flooring. Carpet selections to be by Owner.
- C. Ceramic Tile, thin-set in a latex mastic on a cement board under-layment, screwed and glued over a smooth and prepared sub-floor (3/4" C.D.X. plywood). Under-layment and tile supplied by Owner.
- F. Hardwood floors - as supplied by Owner, installed over 3/4" plywood sub-floor and 30# felt paper.

CEILING TYPE

- A. TBD
- B. TBD
- C. TBD



SHEET INDEX

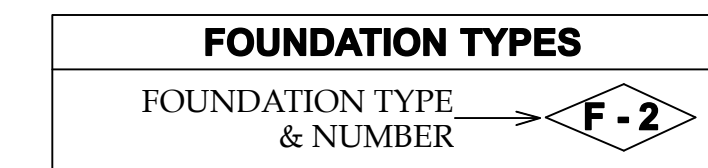
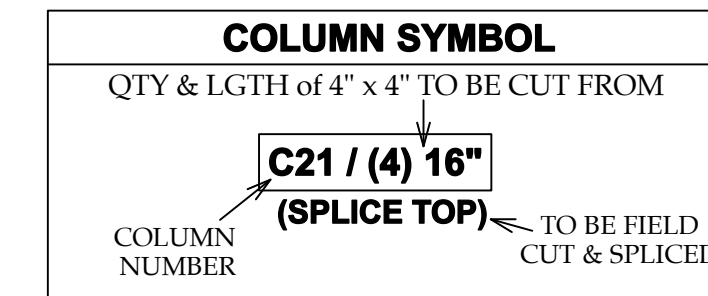
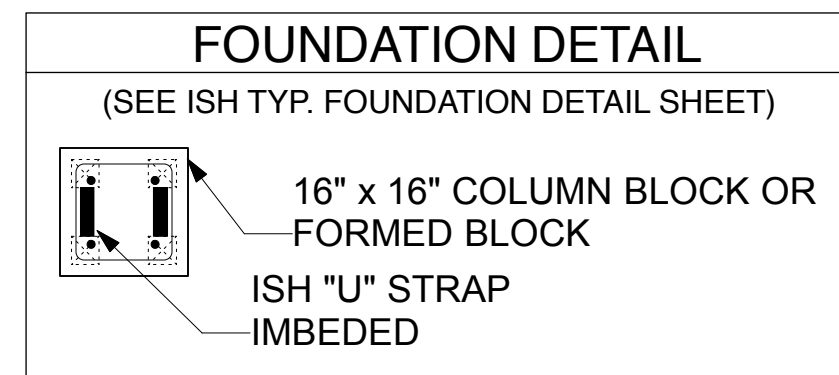
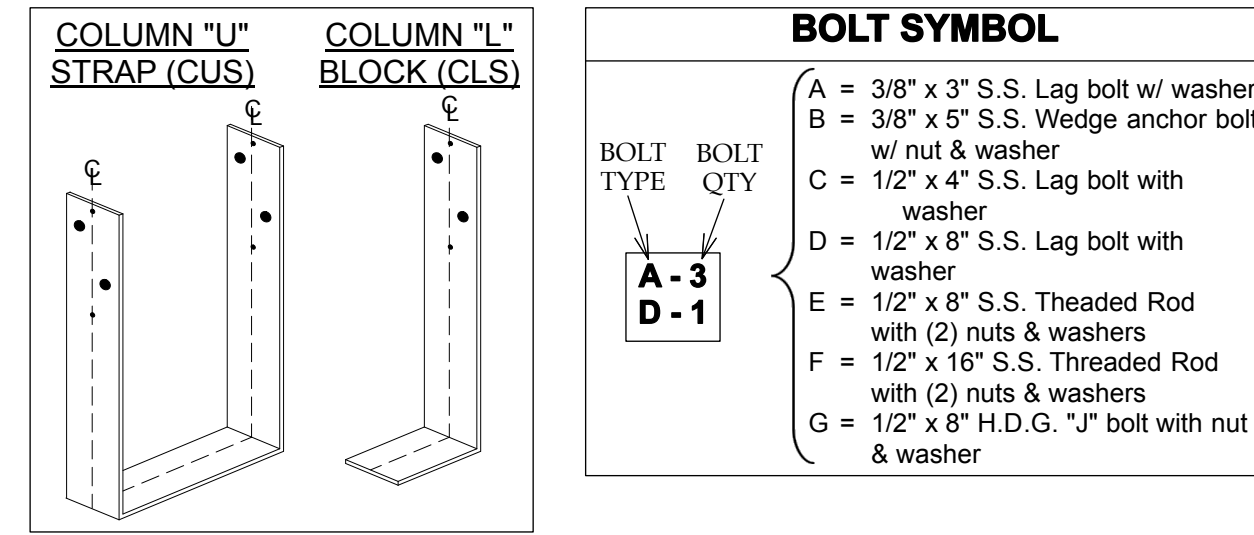
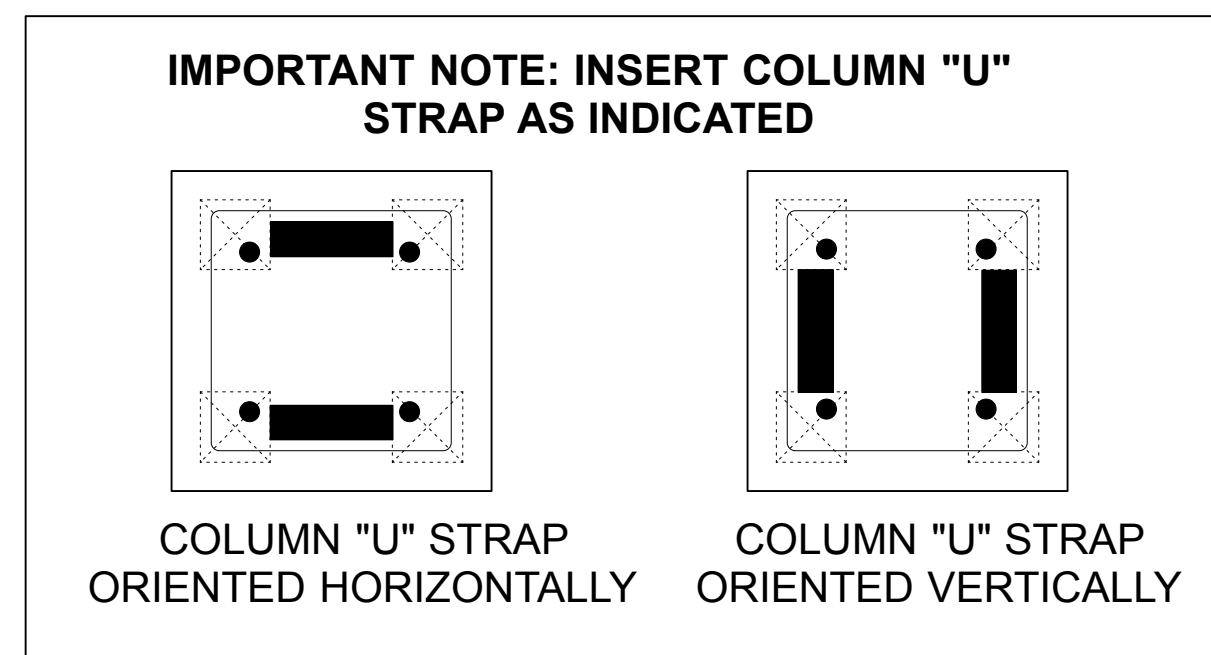
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- M/P-1 GRD FL M/P NOTES, DIAGRAMS
- M/P-2 1st & 2nd M/P PLANS

Giordano Residence
S. Ocean Drive,
Ft. Pierce, FL 34949

SCALE
1/4" = 1'-0"

ORIGINAL DATE	2/19/19
10/21/20	

SHEET #
A-4
SHEET NAME
GROUND FLOOR PLANS



STRUCTURAL NOTES - Concrete Notes:

- Concrete slump shall be 3-1/2" minimum to 6" maximum.
- Minimum concrete cover shall be:
 - Beams and columns 1-1/2"
 - Exposed unprotected concrete 1-1/2"
 - Formed concrete below grade 2"
 - Unformed concrete below grade 3"
- Placing drawings and bar lists shall conform to A.C.I. "Manual of Standard Practice for Detailing Reinforced Concrete Structures".
- Details of concrete reinforcement shall be in accordance with "The Manual of Standard Practice for Reinforced Concrete Construction" as published by the Concrete Reinforcing Steel Institute unless otherwise indicated.
- Reinforcement shall be carefully placed, rigidly supported & well tied with bar supports & spacers.
- Construction joints in floors shall be located near the middle of the spans of slabs, beams, or girders. Construction joints shall be keyed. Horizontal construction joints in slabs and beams shall be used only as approved by the Engineer.
- All openings in concrete slabs or walls over 12" square shall have one (1) #5 x 5'-0" diagonal in each corner in the center of the slab or wall.
- Adequate vertical & horizontal shoring shall be provided to safely support all construction loads.
- Concrete beam sizes may be increased as required for architectural details or to fit block coursing.
- Center all footings on wall, pier or column above, unless otherwise indicated.
- Reinforcing steel in footing or pile caps shall be assembled as mats with bars equally space and wired together at each intersection before concrete is place.
- Dowel column & wall reinforcing to footing with same size & number of dowels as vertical bars above.
- All reinforced steel to be ASTM A-615 Grade 60, bent, lapped and place in accordance with these drawings

Concrete Masonry Notes:

- Beams and lintels, unless otherwise shown, shall have 8" minimum bearing at each end.
- Vertical cells to be grouted shall have vertical alignment sufficient to maintain a clear, unobstructed continuous cell.
- Cleanout openings shall be provided at the bottom of grouted cells at each lift. Cleanouts shall be sealed after cleaning and inspection and before grouting.
- Reinforcing steel shall be lapped 30 bar diameter minimum where spliced, and shall be either separated by one bar diameter or wired together.
- Masonry walls shall cure at least 24 hours before grouting.
- When grouting is stopped for one (1) hour or longer, the grout shall be stopped 1-1/2" below the top of the uppermost unit.
- Grout shall be placed in lifts not to exceed 8'-0" maximum.
- Vertical wall reinforcing shall be doweled to footing below and to beam above.
- Masonry shall be anchored to supporting beams and columns unless otherwise noted. Masonry units laid to concrete shall be supported by dovetail anchors spaced at 16" or with an equivalent system.
- Grouted cells with a #5 reinforcing bar shall be placed at all doors and window jambs and as otherwise indicated.
- Slump for grout shall be 8" minimum; 10" maximum.
- Provide galv. Durowall joint reinforcing in every other course.

Design Data:

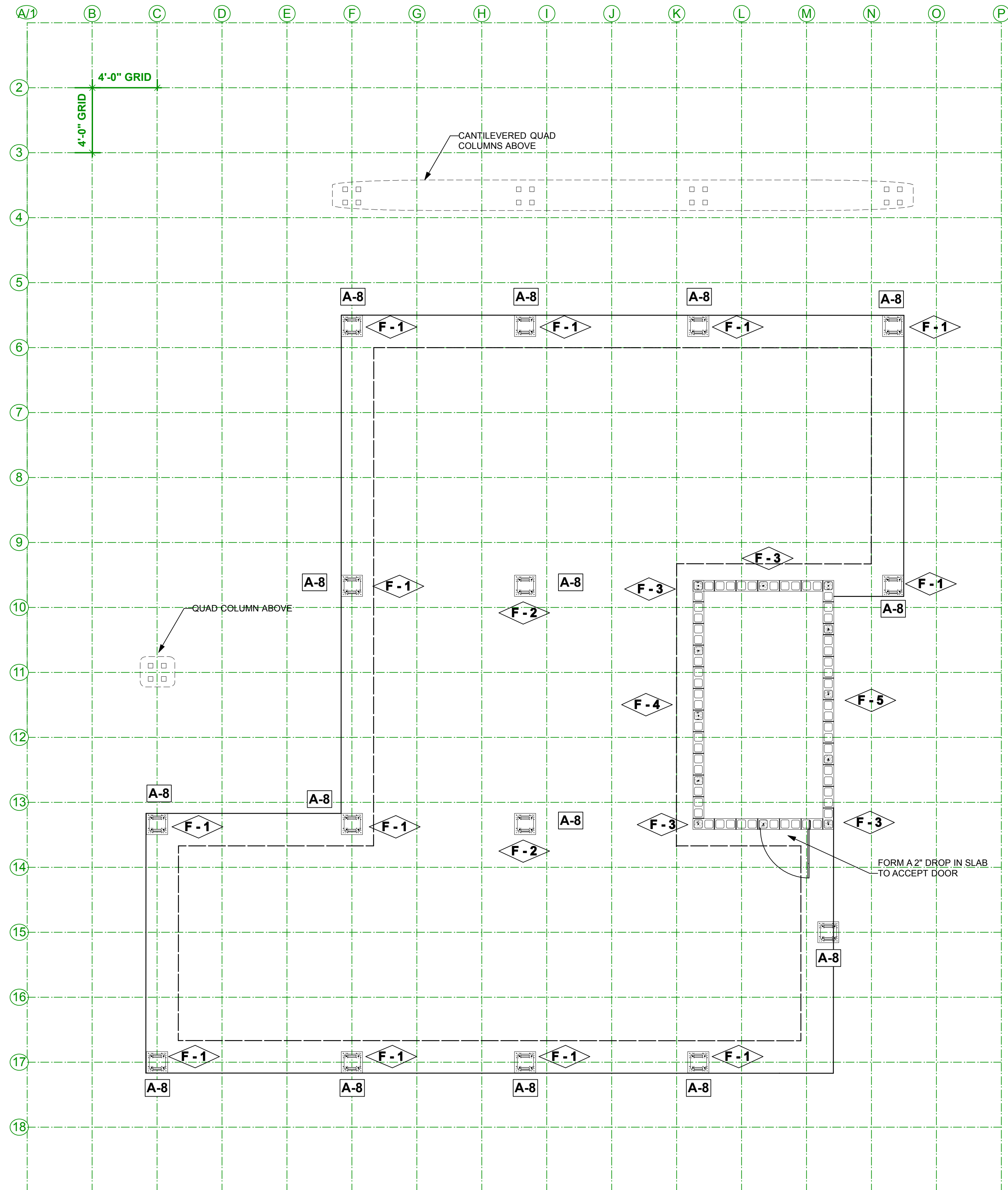
- Normal weight concrete (145 PCF) 28-day compressive strength: 3000 PSI.
- Concrete masonry 28-day compressive strength of individual units (net area) 1200 PSI. Masonry units shall conform to ASTM C90.
- Mortar type M ASTM C270. Mortar tests shall be taken twice weekly or more often as required by the Architect
- Concrete reinforcing steel: A615 grade 60 except ties and stirrups grade 40.

FOUNDATION NOTES

- Soil shall have 2,000 P.S.I. allowable bearing pressure, minimum.
- Concrete shall be 3,000 P.S.I. at 28 day minimum strength. Concrete for pilings shall be 5,000 PSI @ 28 days.
- Reinforced steel shall by Fy-60 K.S.I.
- Anchor bolts, straps, and base bolts to be provided by I.S.H.
- Masonry shall be in accordance with A.S.T.M. C-90 with FM - 1500 P.S.I. type M or S mortar and 9 gauge ladder type Dur-o-wal at 16" o.c.
- Fill under all slabs shall be clean sand and shall be compacted to a minimum of 95% maximum density as per AASHO T180. Contractor shall verify after compaction.
- All work shall conform to all local codes, latest editions with amendments as adopted by municipality having jurisdiction.
- Excavate, backfill, compact, and grade the site to the elevation shown on the drawings as specified herein or as needed to complete the requirements of the construction shown. It shall be the Contractor's responsibility to estimate, provide and place all required fill to properly grade the site adjacent to the house.
- For fill material, provide soil materials free from organic matter and deleterious substance, containing no rocks or lumps over 6" in greatest dimension and not more than 15% of the rocks or lumps larger then 2-3/8" in their greatest dimension.
- Place back fill and fill materials in layers not more then 8" in loose depth. Before compacting moisten or aerate each layer as necessary to provide the optimum moisture content. Compact each layer to the required percentage of maximum density for area. A dry density requirement of 95% at the standard Proctor maximum density of the compacted material shall be required a depth of 2' below foundations and floor slabs. Prior to placing steel, the soil should be tested to verify these requirements, with results submitted to General Contractor prior to payment.
- Grade areas adjacent to buildings to achieve drainage away from structures and prevent ponding. Refer to landscape drawings for further information concerning finish grading, etc.
- Poison the soil under all footings and slabs as required by Code prior to placing any concrete. Provide Owner with certificates indicating compliance with this requirement.
- All concrete slabs (unless otherwise noted) shall be place on a 6 mil "Visqueen" vapor barrier, & shall be reinforced with 6" x 6" #10/10 W.W.M. & any other reinforcing either shown on the drawings or required. Do not permit the membrane to be punctured except at screed, stake and utilities risers. Make necessary repairs to the membrane prior to placing concrete.

FOUNDATION KEY NOTES

- Typical wood beams (floor beams)
- Typical P. T. 4" x 4" "Quad Column"
- Typical P. T. 4" x 4" "Quad Column" (under floor column)
- 16" x 16" Minimum Concrete pier with (4) #5 rebars
- 8" Concrete block retaining wall with filled cells with (1) #5 rebar @ 32" o.c.
- 8" x 8" Concrete cap with (2) #5 rebars.
- 4" Concrete slab with 6" x 6" #10/10 W.W.M and a 16" deep x 12" wide thickened edge.
- Waterproofing membrane
- Stainless Steel Column "U" Strap (CUS) inbed foundation straps.



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Giordano Residence

S. Ocean Drive,
 Ft. Pierce, FL 34949

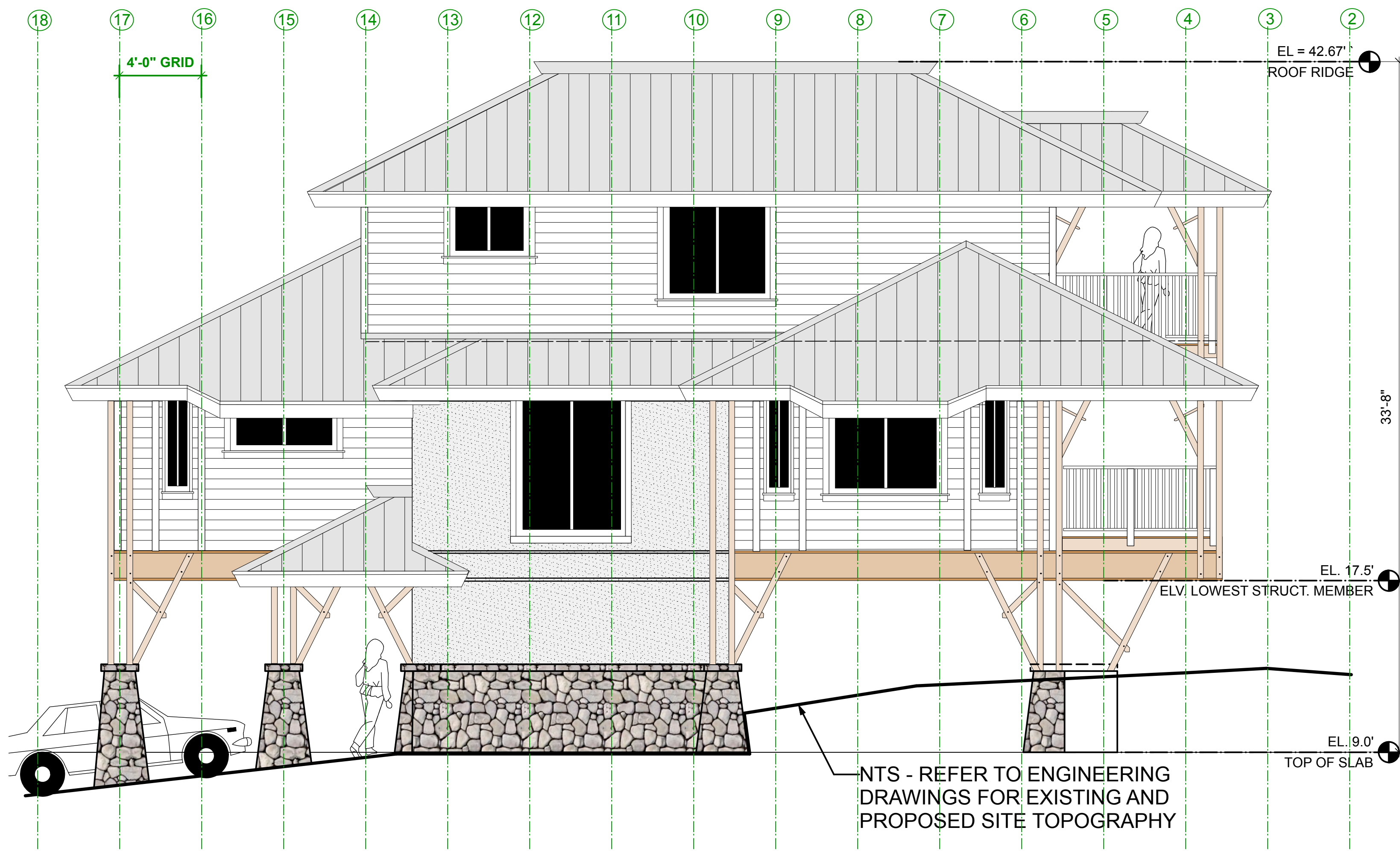
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ORIGINAL DATE	2/19/19
10/21/20	6
3	7
4	8

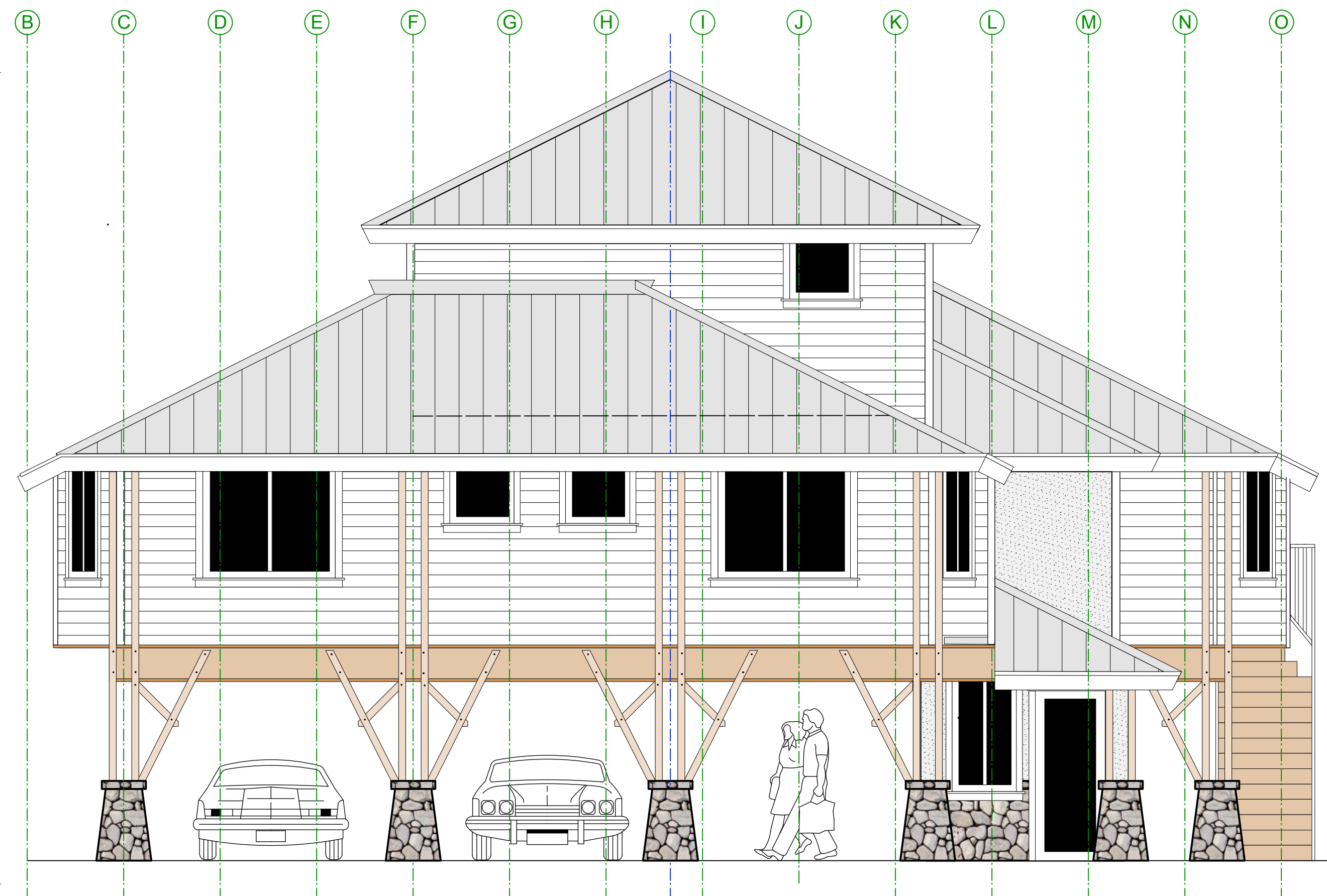
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A-5

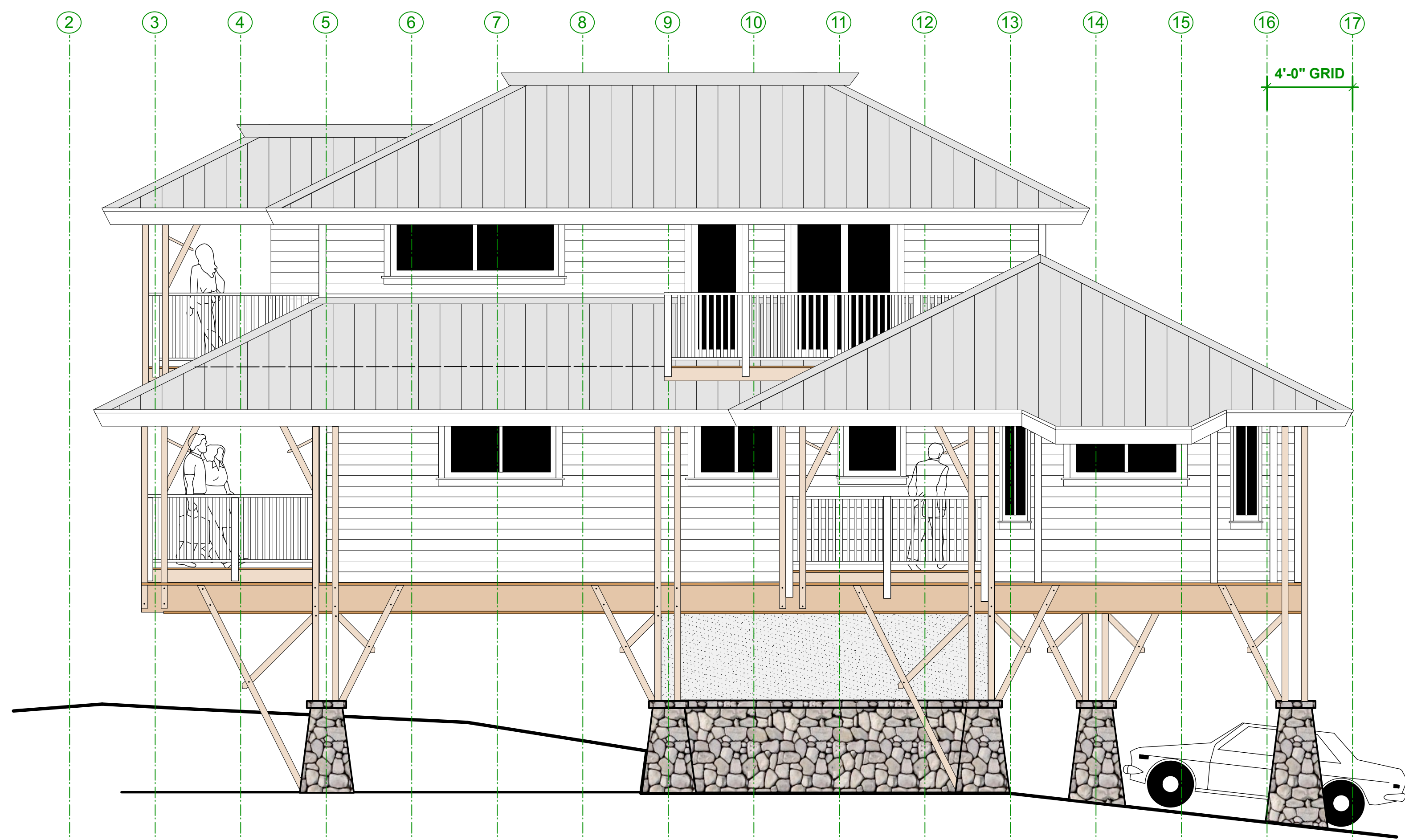
SHEET NAME
FOUNDATION PLAN



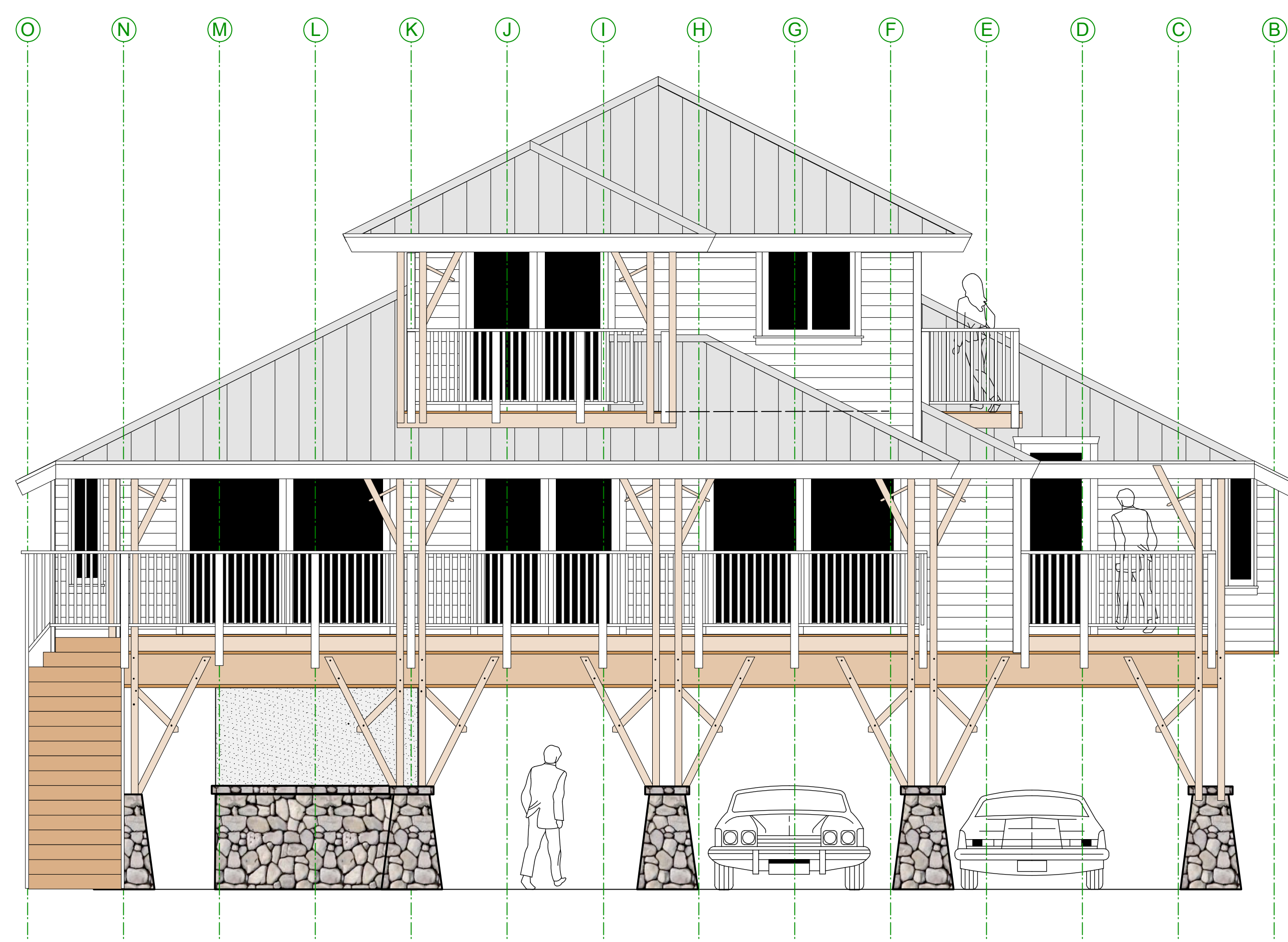
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



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Giordano Residence

S. Ocean Drive,
Ft. Pierce, FL 34949

SCALE
1/4" = 1'-0"

ORIGINAL DATE	2/19/19
10/21/20	5
	6
	7
	8

SHEET #
A-9
SHEET NAME
ELEVATIONS

SITE INFORMATION

OWNER
 MARILYN GIORDANO
 3050 ENTERPRISE AVENUE, SUITE 120
 WESTON, FLORIDA 33331

SURVEYOR
 GGY INC.
 1505 SW MARTIN HIGHWAY
 PALM CITY, FLORIDA 34991
 (800) 366-1066

ZONING
 HUTCHINSON ISLAND MEDIUM DENSITY RESIDENTIAL (R-4A)

LAND USE
 HUTCHINSON ISLAND RESIDENTIAL (HIR)

SETBACKS

	REQUIRED	PROVIDED
FRONT	= 25 FEET	= 25.50 FEET
SIDE	= 6 FEET	= 6.82 FEET
REAR	= 15 FEET	= 19.47 FEET
MAX. BLDG. HT.	= 45 FEET	= 33.17 FEET

SITE DATA

SITE AREA	= 6,285 SF	= 0.14 Ac	= 100.0%
BUILDING AREA	= 1,742 SF	= 0.04 Ac	= 27.7%
PAVEMENT AREA	= 800 SF	= 0.02 Ac	= 12.7%
CONCRETE AREA	= 147 SF	= 0.00 Ac	= 2.4%
TOTAL IMPERVIOUS AREA	= 2,689 SF	= 0.06 Ac	= 42.8%
TOTAL OPEN AREA	= 3,596 SF	= 0.08 Ac	= 57.2%

FLOOD ZONE
 THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONES "AE, EL. 8.0", "AE EL. 9.0" AND VE EL. 10.0 PER F.I.R.M. PANEL No. 12111C0183 J, DATED FEBRUARY 16, 2012.

SURVEY BENCHMARK
 ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD'88 DATUM

SITE ADDRESS
 SOUTH OCEAN DRIVE
 FT. PIERCE, FLORIDA

LEGAL DESCRIPTION
 LOT 7, BLOCK 1, REVISED PLAT OF PALM HAVEN SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 44, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; LESS THAT PART LYING EASTERLY OF THE LINE DESCRIBED IN QUIT CLAIM DEED, AS RECORDED IN OFFICIAL RECORD BOOK 165, PAGE 1465, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

NOTES:
 1. PROJECT REQUIRES FDEP PERMIT.



LOCATION MAP

REVISIONS	DATE
1. PREPARED FOR ST. LUCIE COUNTY PER	4-21-21
2.	
3.	
4.	
5.	
6.	

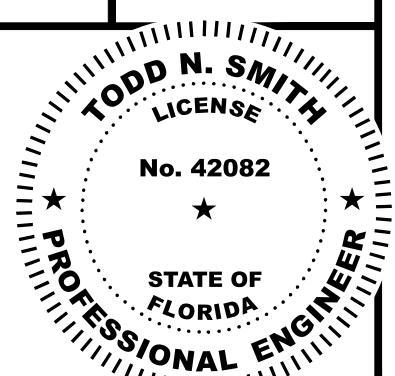
Todd N. Smith PE, Inc.
 Specializing in Structural Design & Land Development
 REGISTRY #8772
 1715 Indian River Boulevard, Suite 302
 Vero Beach, Florida 32960
 CELL (772) 859-3699
 tns@toddsmithinc.com

SITE PLAN

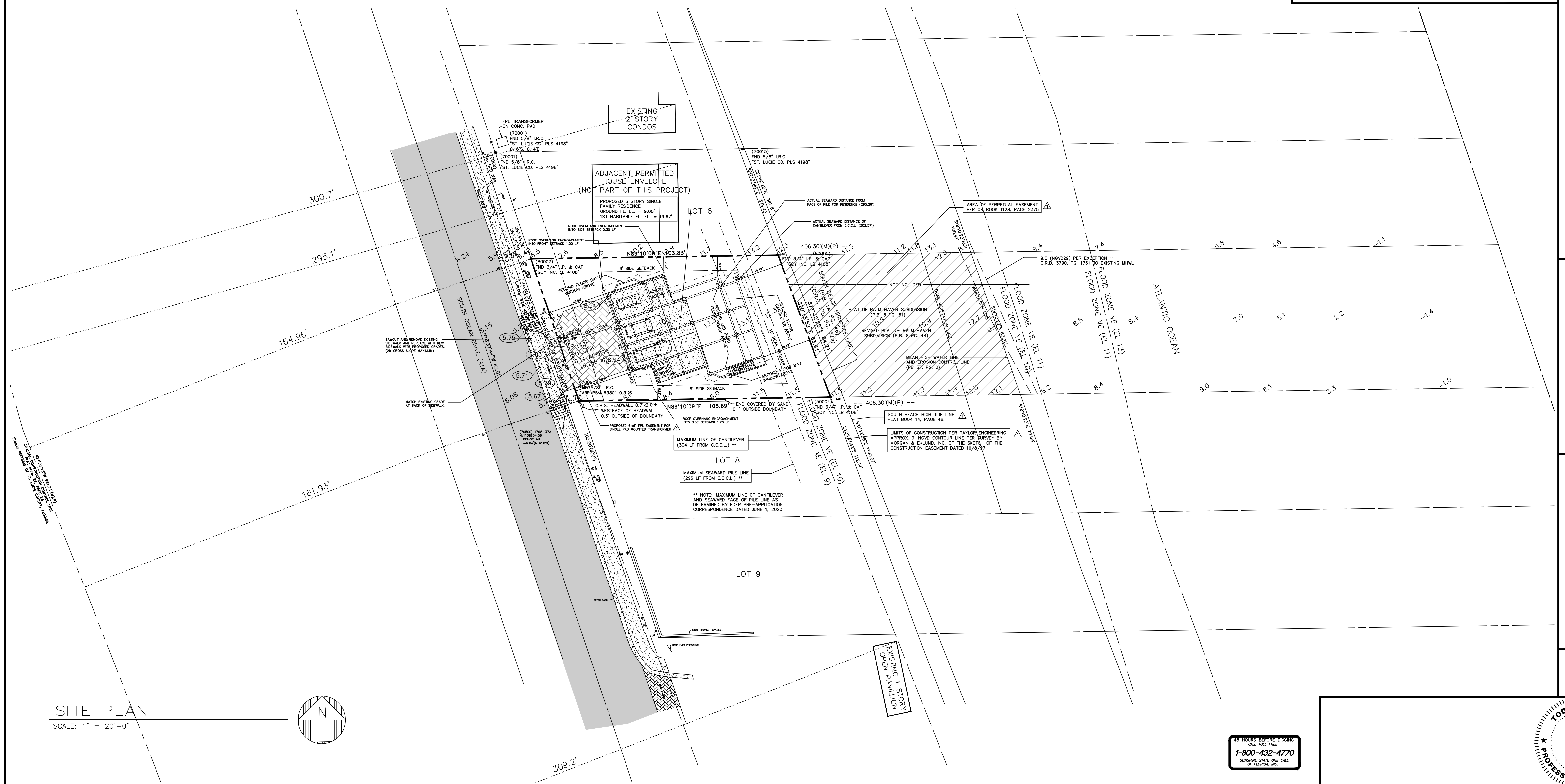
GIORDANO RESIDENCE
 CITY OF FT. PIERCE, FLORIDA

SHEET

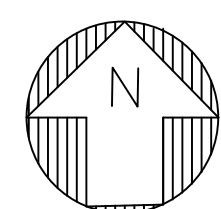
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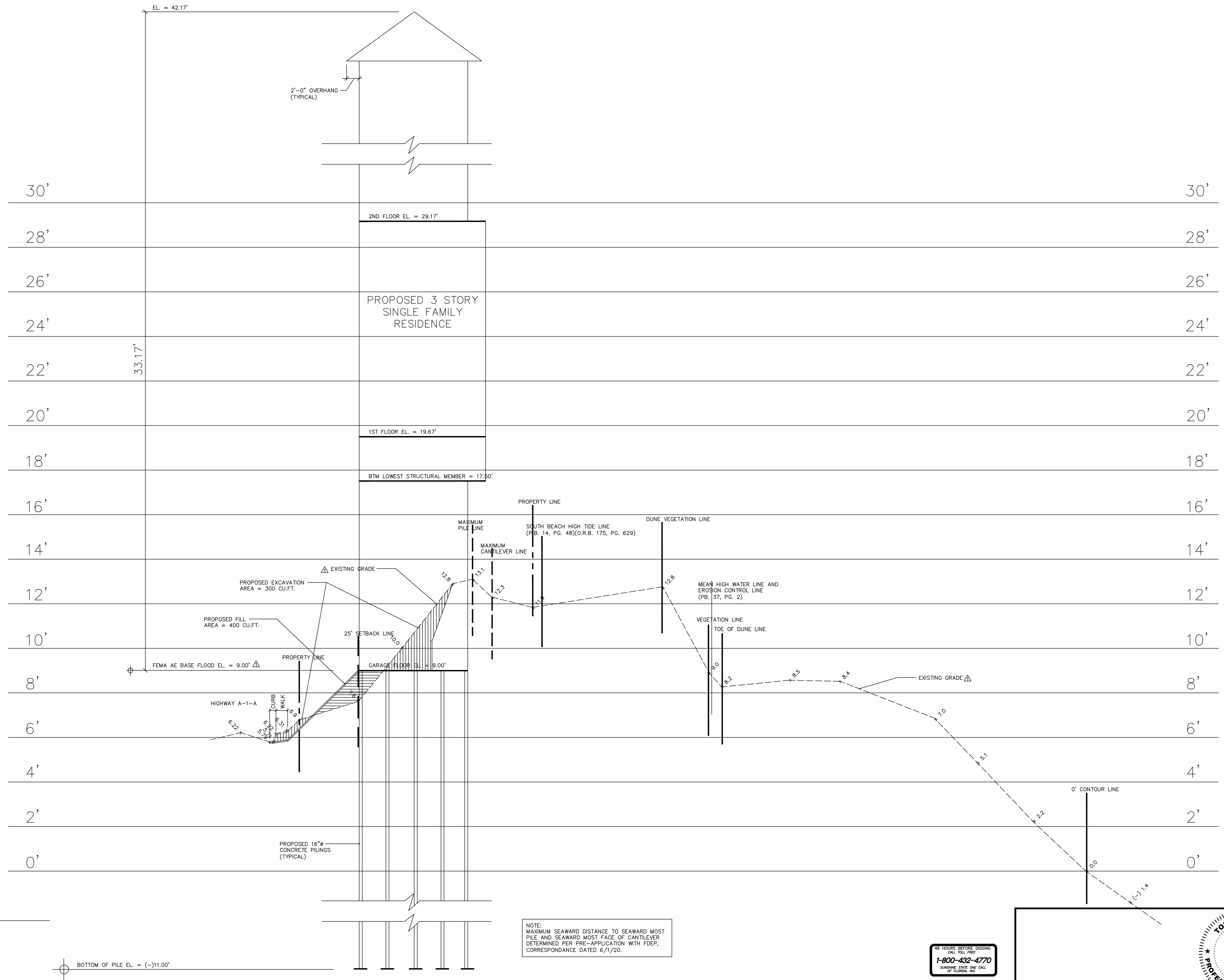
48 HOURS BEFORE DIGGING
 CALL TOLL FREE
1-800-432-4770
 SUNSHINE STATE ONE CALL
 OF FLORIDA, INC.



SITE PLAN
 SCALE: 1" = 20'-0"



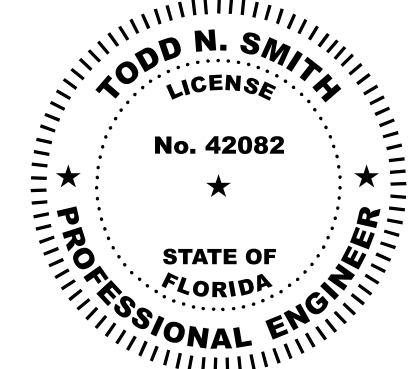
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SITE PROFILE
 HORIZONTAL: 1" = 20'-0"
 VERTICAL: 1" = 2'-0"

NOTE:
 MAXIMUM SEAWARD DISTANCE TO SEAWARD MOST
 PILE AND SEAWARD MOST FACE OF CANTILEVER
 DETERMINED PER PRE-APPLICATION WITH TDEP,
 CORRESPONDANCE DATED 6/1/20.

48 HOURS BEFORE DIGGING
 CALL TOLL FREE
1-800-432-4770
 SUNSHINE STATE ONE CALL
 OF FLORIDA, INC.



REVISIONS	DATE
1	4-21-21
2	
3	
4	
5	
6	

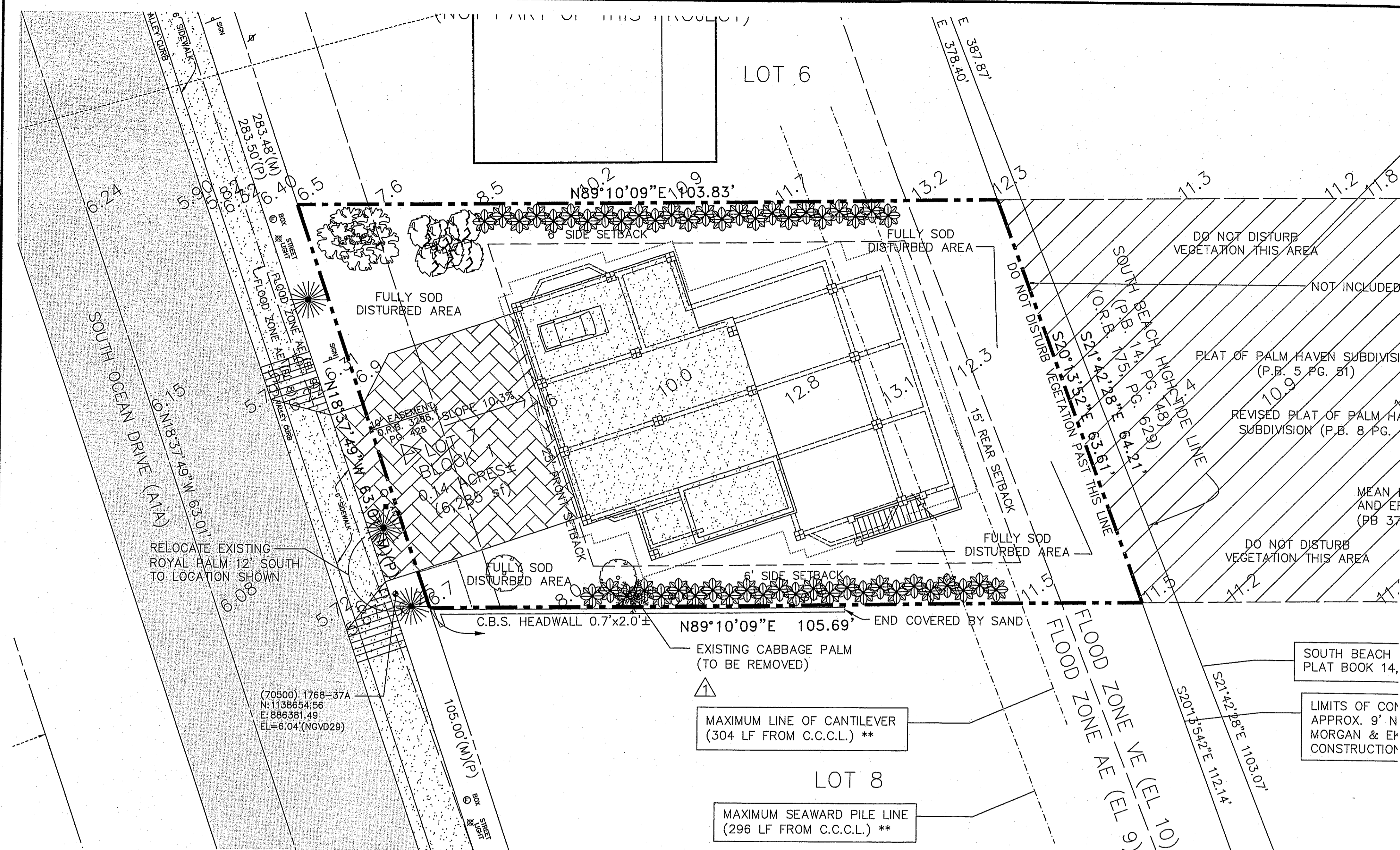
JOB NO.	DESIGNED	DRAWN	CHECKED	DATE	SCALE
19975	TNS	JMS	TNS	SEPT., 2020	1"=20'-0"

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 Vero Beach, Florida 32960
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 tns@toddsmithinc.com

SITE PROFILE

GIORDANO RESIDENCE
 FLORIDA
 CITY OF FT. PIERCE,

SHEET
C2



LANDSCAPE SCHEDULE

SYMBOL	NUMBER	COMMON NAME	BOTANICAL NAME	HT.	SPREAD	CAL.	NATIVE	DROUGHT TOLERANT
EXISTING TREES AND PALMS								
✳	1	CABBAGE PALM	SABAL PALMETTO	16'	VARIABLES	18"	YES	YES
☀	2	ROYAL PALM	ROYSTONEA ELATA	20'	VARIABLES	12"	YES	YES
⊙	1 GROUP	SIMPSON STOPPER	MYRCIANTHES FRAGRANS	14'	VARIABLES	MULTI STEM 2"	YES	YES
⊙	1 GROUP	SEA GRAPE	COCOLLOBA UVIFERA	16'	VARIABLES	MULTI STEM 2"	YES	YES
PROPOSED TREES								
☀	2	SILVER BUTTWOOD	CONDICARPUS ERECTUS	12'	VARIABLES	2" MIN.	YES	YES
PROPOSED SHRUBS								
✳	50	SEA GRAPE	COCOLLOBA UVIFERA	36"	N/A	N/A	YES	YES
PROPOSED SOD								
		BAHIAGRASS ARGENTINE*	PASPALUM NOTATUM	N/A	N/A	N/A	NO	YES

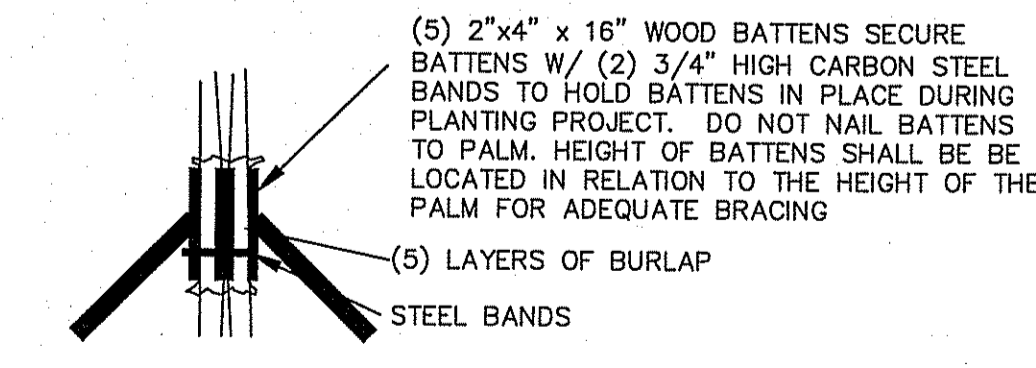
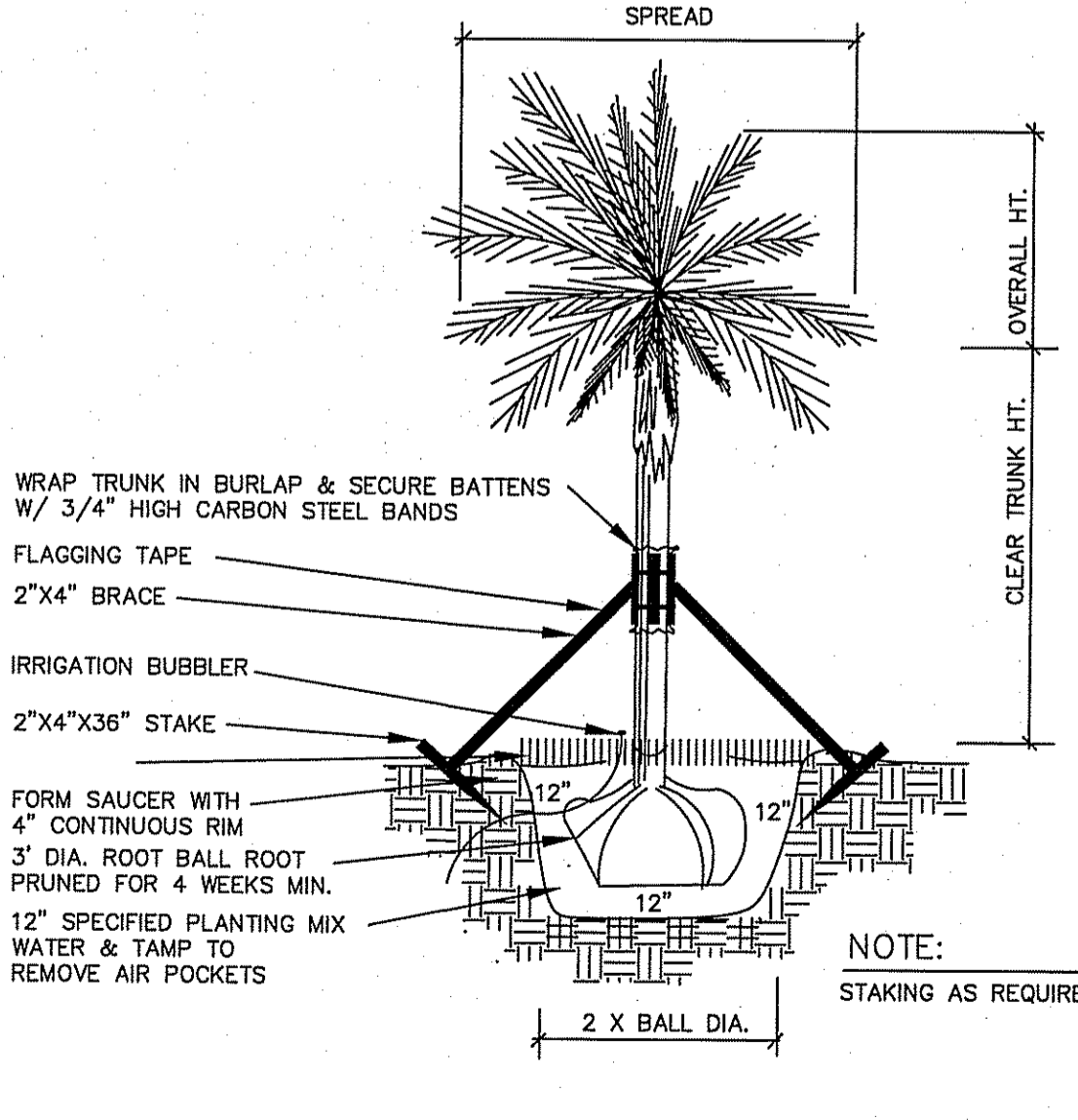
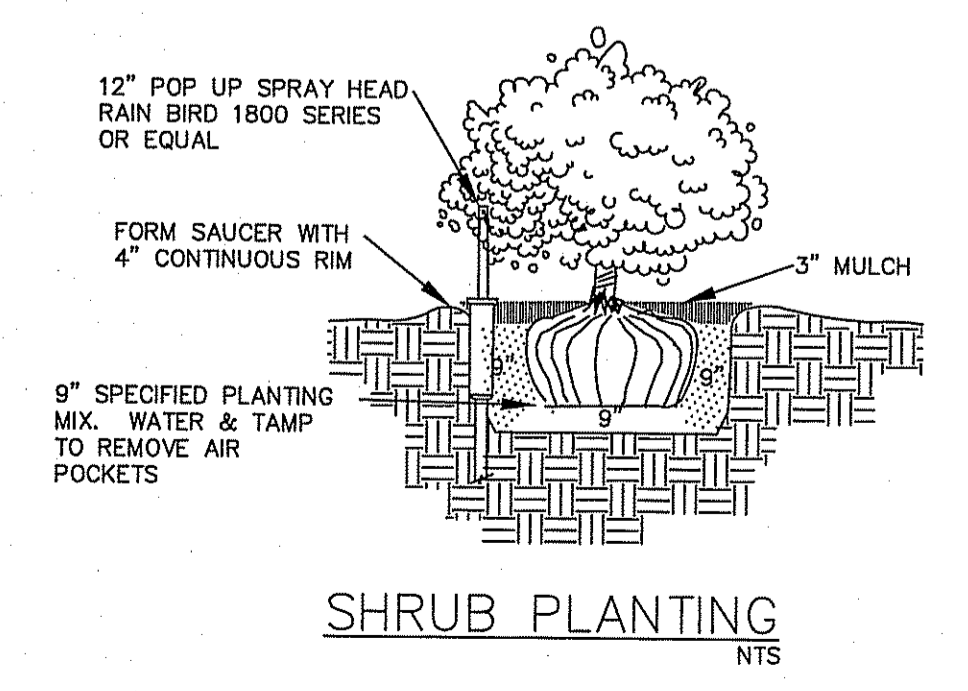
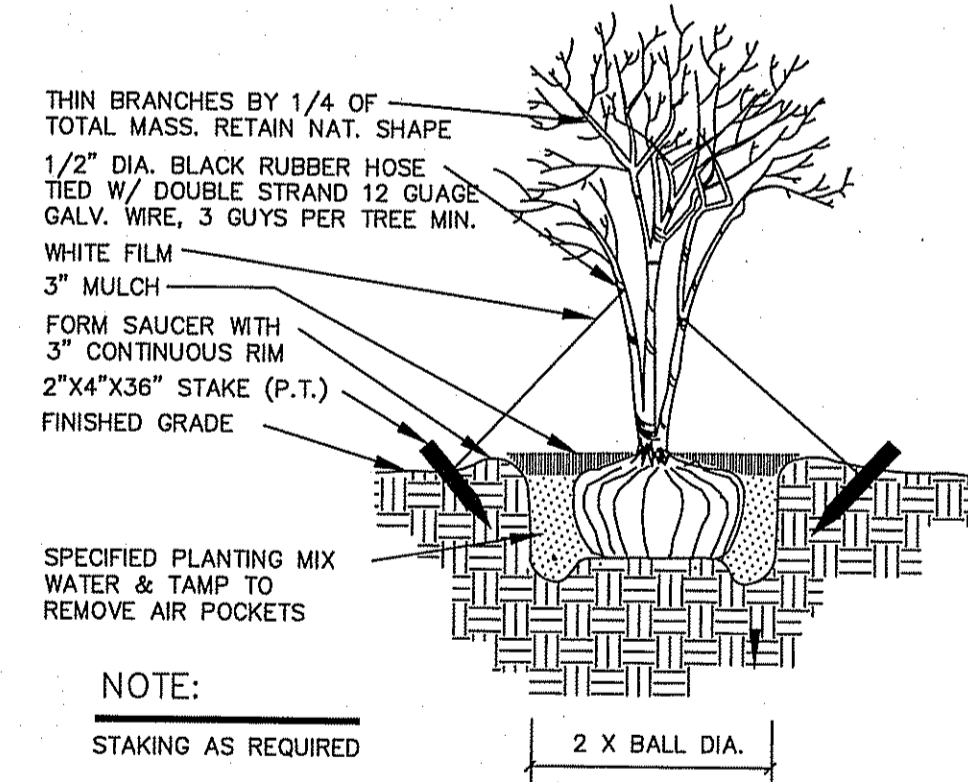
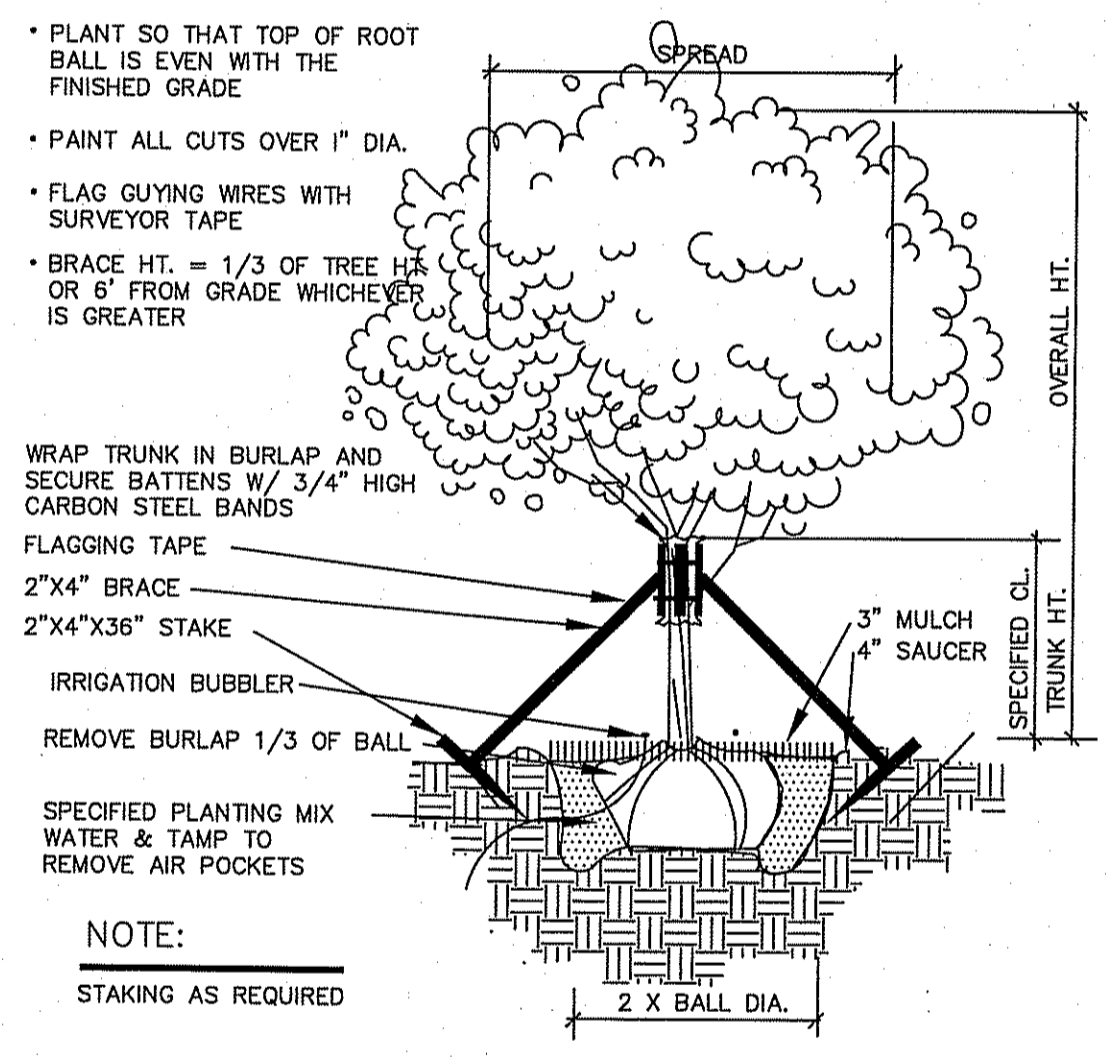
ALL EXISTING LANDSCAPING MATERIAL ARE NATIVE LANDSCAPING. ALL NEW PROPOSED LANDSCAPE MATERIAL IS NATIVE AND DROUGHT TOLERANT.

LANDSCAPE NOTES

- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE CITY OF FT. PIERCE LDR'S.
- ALL PLANTING BEDS SHALL BE FULLY MULCHED TO A DEPTH OF 3" WITH A BARK OR SHREDDED ORGANIC MATERIAL MULCH.
- ALL LANDSCAPED AREAS SHALL BE 100% IRRIGATED WITH AN AUTOMATIC SPRINKLER SYSTEM.
- AREAS NOT INDICATED AS PLANTING BEDS CONTAINING TREES AND/OR SHRUBS SHALL BE FULLY SOODED.
- ALL LANDSCAPE MATERIALS SHALL BE FLORIDA NO. 1 OR BETTER AND FREE FROM PESTS AND DISEASE.
- ALL SHOCKED LANDSCAPE MATERIALS (LEAFLESS, MOSTLY LEAFLESS) WILL NOT BE ACCEPTED AS FLORIDA NO. 1 MATERIAL. ALL REQUIRED MATERIAL MUST MEET FLORIDA NO. 1 STANDARDS AT THE TIME OF CERTIFICATE OF OCCUPANCY INSPECTION.
- ALL EXISTING PALM TREES TO BE RELOCATED ON SITE.
- CLUSTERS OF PALMS, IF USED, SHALL CONSIST OF NO MORE THAN 50% OF THE TOTAL CANOPY TREE REQUIREMENT.
- ROOT BARRIERS SHALL BE PROVIDED FOR CANOPY TREES PLANTED WITH IN SIX FEET (6') OF SIDEWALKS, ROADS, DRIVEWAYS OR STRUCTURES.

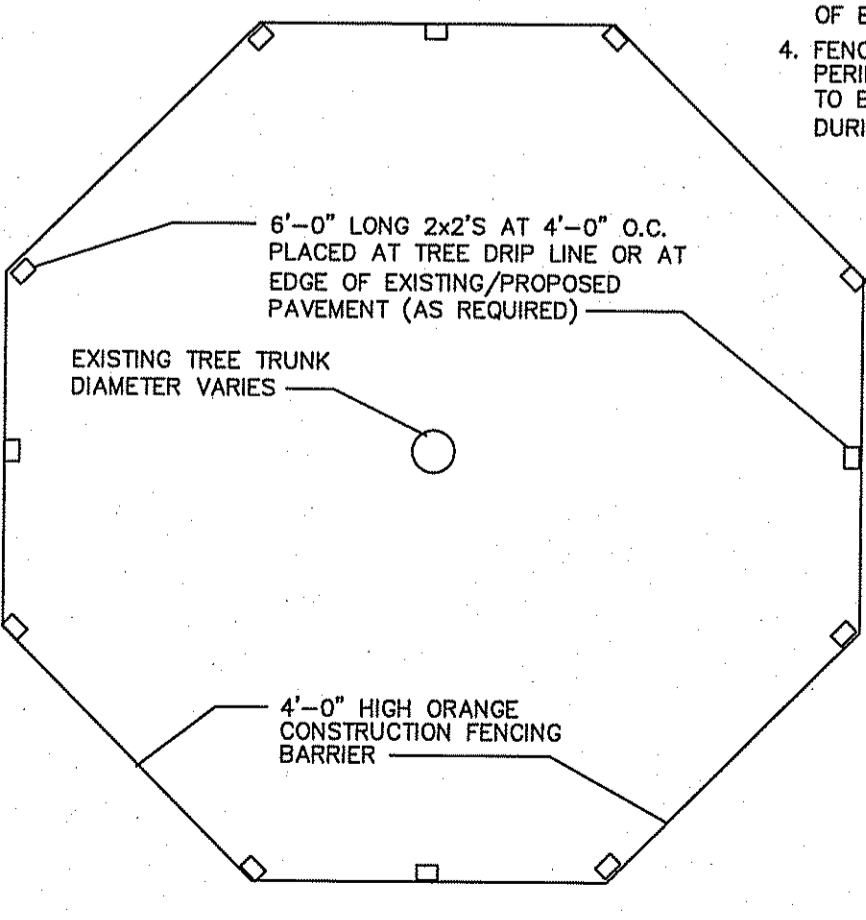
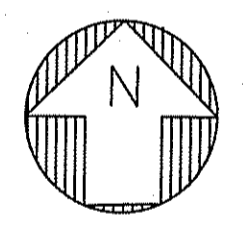
IRRIGATION CERTIFICATION

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO CONFORM TO THE REQUIREMENTS OF THE CITY OF FT. PIERCE AND THE RESTRICTIONS ON IRRIGATION USE AS SPECIFIED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.



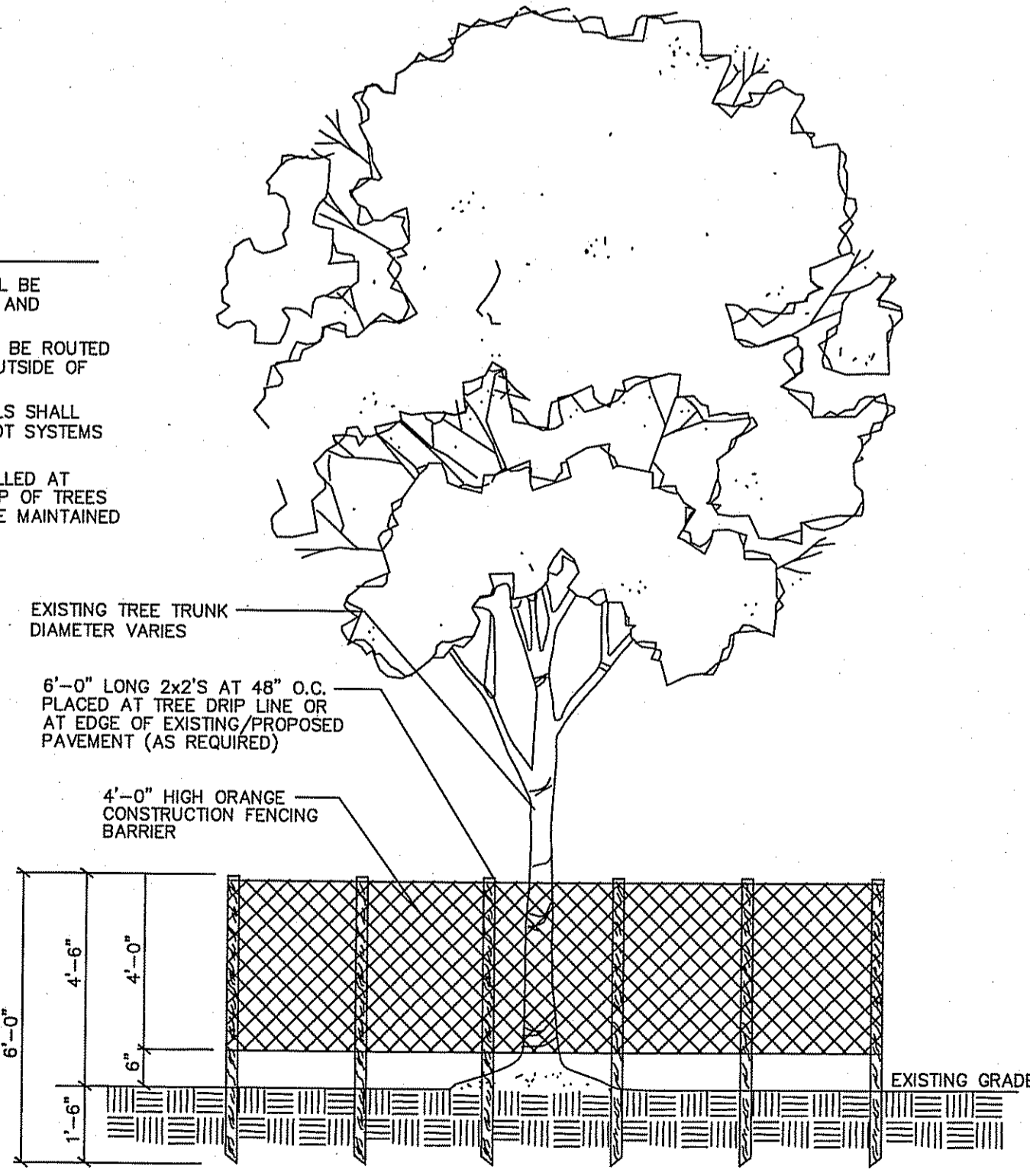
LANDSCAPE PLAN

SCALE: 1" = 10'-0"



TREE PROTECTION BARRIER DETAIL

N.T.S.



- TREE PROTECTION NOTES:**
- ALL TREES RETAINED ON SITE SHALL BE PROTECTIVELY BARRICADED BEFORE AND DURING CONSTRUCTION ACTIVITIES.
 - UNDERGROUND UTILITY LINES SHALL BE ROUTED AROUND EXISTING TREES TO THE OUTSIDE OF THE DRIPLINE WHERE ABLE.
 - INSTALLATION OF FENCES AND WALLS SHALL TAKE INTO CONSIDERATION THE ROOT SYSTEMS OF EXISTING TREES.
 - FENCE/BARRICADE SHALL BE INSTALLED AT PERIMETER OF ALL TREES OR GROUP OF TREES TO BE PRESERVED. FENCE SHALL BE MAINTAINED DURING CONSTRUCTION.

JMS Design Studios, Inc.
FLORIDA CERTIFIED LANDSCAPE DESIGNER
FCLD #00069
CELL: (772) 532-6884
jmsverco@aol.com

LANDSCAPE DETAILS & NOTES

GIORDANO RESIDENCE
FLORIDA

SHEET
LS1

MAY 24 2021

ELECTRIC NOTES

PLEASE NOTE - These drawings, schedules, types, diagrams, etc., are intended to be ONLY schematic in nature. The Electrical Contractor is therefore, required to coordinate, verify and/or provide specific local requirements, calculations, codes, information and conditions. Please contact Architect with any comments, suggestions, changes, requests, etc.

- Installation shall meet all requirements of the latest edition of the National Electric Code and all local codes having jurisdiction.
- It is not the intent of these plans to show every minor detail of construction. The Contractor is expected to furnish and install all items for a complete electrical system, and provide all requirements necessary for equipment to be placed in proper working order.
- All work shall be performed by a licensed electrical contractor in a first class, workmanlike manner. The completed system shall be fully operative for acceptance by the architect/engineer.
- All conduits shall be sized to accommodate the required size and number of conductors.
- Coordinate all service entrance with the telephone company.
- Coordinate telephone requirements with the telephone company.
- Install disconnect switches at each motor and each piece of equipment where required by code. Provide fuses in sizes as required by equipment manufacturer.
- Pull and junction box sizes shall meet the requirements of N.E.C.
- Contractor shall verify with the local electric company, the location of service, and shall locate meter and panel as required.
- Provide G.F.I. for all bathroom, W.P. & garage, receptacles and lighting fixtures within 15' of swimming pool edge.
- Visit the site before submitting a bid. Determine the characteristics of existing facilities which will affect performance of the work, but which are not shown on the drawings or the specifications.
- All materials and equipment shall be U.L. approved and listed. Installations shall be in accordance with the N.E.C., all local and state code requirements.
- Load centers and all component parts, etc., must be of the same manufacturer.
- Electrical contractor shall provide all required permits.
- Electrical contractor shall provide temporary service for use of all trades as required for construction.
- Electrical contractor shall verify requirements, exact location and type of outlet for all electrical fixtures, appliances and equipment.
- All conductors shall be copper. The minimum size shall be #12 TW. Conductors #6 and larger shall be THW unless otherwise specified.
- Electrical contractor to run control wires for HVAC system.
- Electrical contractor shall provide a typewritten directory for each panel. All panel boards and load centers shall be provided with a typewritten schedule, showing circuit numbers & a complete description of each circuit.
- Electrical contractor shall assure that all features of service comply with power company requirements. All equipment not furnished and/or installed by the power company is to be furnished and installed by the electrical contractor.
- Flush panels shall not protrude. The depth of the wall shall be checked prior to ordering. Surface mounted panels shall be secured firmly to wall.
- All conduit shall be galvanized rigid except as follows:
 - EMT may be used in doors, out of soil and where not subject to physical abuse, per N.E.C.
 - Flexible conduit shall be used for equipment connection not to exceed six (6) feet.
 - P.V.C. schedule 40 below grade minimum 24" with bond wire as required
 - All empty conduits are to have pull wires and capped. Locations shall be marked if buried underground, etc.
- Provide: Disconnect switch for HVAC equipment, conduit and conductor as required. Install: All starters, contractors, etc. for HVAC equipment provided by other trades.
- All switches shall be 6" from doorjamb or corner and 48" A.F.F.--quiet type single pole, white Decora type.
- All disconnects on service entrance equipment to be heavy duty with KTN-R fused, rejection clips shall be installed on and switchgear or disconnect using KTN-R or equal type fuses.
- NEMA 3R enclosures shall be furnished for all exterior electrical equipment.
- Electrical contractor to guarantee workmanship and materials for one year after acceptance of job.
- Liquid tight or rain tight greenfield with approved fittings shall be used in wet locations & all outdoor locations.
- Electrical Contractor must verify all air conditioning fuse sizes with manufacturers nameplate on equipment prior to ordering switches, etc.
- The Contractor is directed to obtain copies of all related plans, specifications, shop drawings and addendum to coordinate the related work and scheduling.
- The Contractor is reminded that electrical service to and for mechanical & other equipment are based on equipment design data. The values may differ depending upon the actual equipment to be furnished; any modification to the electrical, based upon actual equipment selection, shall result in no additional cost to Owner.

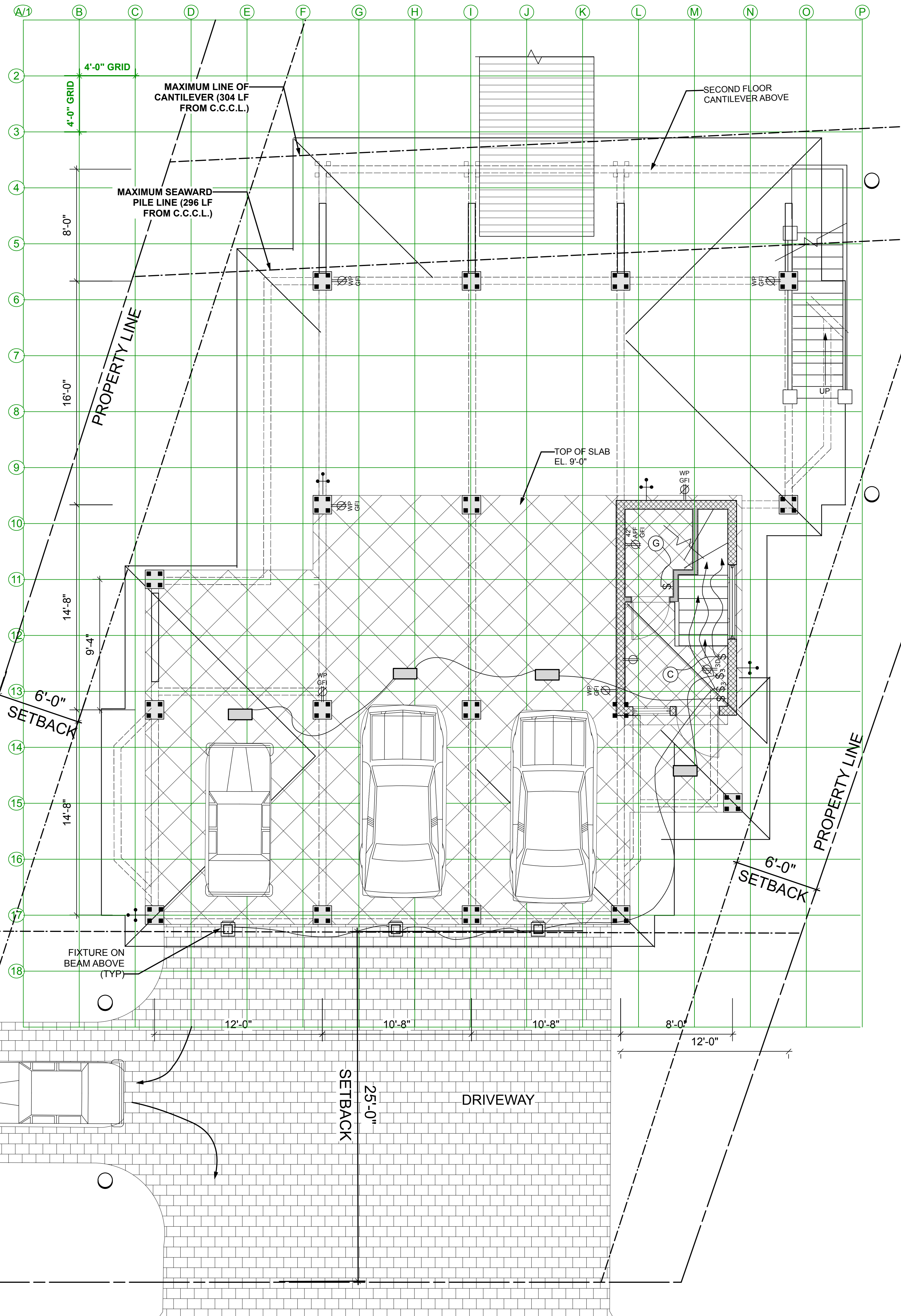
- The Contractor shall thoroughly review the architectural and mechanical plans to assure that electrical service for all items and/or equipment requiring electrical service is included in the bid. Any item and/or equipment not provided with electrical service that requires electrical serv. shall be brought to the engineer's attention prior to bid.
- Mechanical and electrical equipment have been located and arranged to minimize the interferences of equipment and structure. The Contractor shall thoroughly familiarize himself with the work to be performed by other trades and the physical characteristics of the structure in order to schedule and install equipment and to minimize possible interference. Failure to properly communicate and schedule work with other trades resulting in additional work and material, shall be the responsibility of the Contractor. The modifications required to resolve the conflict shall be decided by the Engineer.
- All panel boards, load centers, switches, and circuit breakers shall be ITE, Square D, GE or Westinghouse.
- All conduit runs shall be concealed unless specifically noted otherwise.
- Minimum trade size conduit permitted shall be 1/2 inch unless noted otherwise.
- All conduits shall have a separate green ground conductor installed for grounding.
- All special purpose outlets shall be provided to match equipment to be supplied.
- All light switches and duplex receptacles shall be rated for 20 ampere at 125 volts A/C. Wiring devices shall be manufactured by Hubbell or approved equal.

LIGHT FIXTURE TYPES

- A) Wall mounted interior sconce, 75-150 watt incandescent fixture.
- B) 6" diameter round 75 watt recessed incandescent down light (sized to fit with 2"x8" joist space).
- C) Suspended 75-150 watt incandescent decorative fixture (to be selected by the G.C.)
- D) Wall mounted exterior water proof incandescent fixture, 75-150 watt
- E) 3-bulb incandescent "strip" wall mounted bathroom fixture.
- F) 5-bulb incandescent "strip" wall mounted bathroom fixture.
- G) Ceiling mounted 75-150 watt incandescent fixture.
- H) 48" 2-bulb wrap around fluorescent fixture.
- I) Ceiling fan 52" diameter - with 75 watt light kit, switched separately with 3 speed controls
- J) Exterior motion detector with 3 2-bulb 150 watt flood light, white finish
- K) 48" track light with 3 adjustable halogen
- L) Swing-Arm Lamp - wall mounted @ 4'-6" A.F.F. incandescent decorative lamp with a shade and self contained 3-way switch.
- M) Under-counter L.E.D. strip light
- N) Exhaust fan
- O) Smoke Detector
- P) Undercounter light

#	SYMBOL	WILDLIFE LIGHTING CERTIFICATION NUMBER	MANUFACTURER	FIXTURE (NAME OR STOCK NUMBER)	TOTAL NUMBER OF FIXTURES	BULB LUMENS OUTPUT & TYPE	TYPE OF MOUNT	MOUNTING HEIGHT
1		2017-008	THE COPPERSMITH GAS AND ELECTRIC COPPER LANTERNS	ADAMS STREET COLLECTION	6	AMBER LED	WALL MOUNT	8' MAX. MOUNTING OFF THE FLOOR
2		2018-004	AMERLUX	PASSO RT	5	AMBER LED	WALL MOUNT	12" OFF FLOOR DOWNWARD
3		2018-021	BEGHELLI NORTH AMERICA	ACCOIA ECO AMBER LED	4	AMBER LED	CEILING MOUNT	CEILING
4		2018-033	ILP LIGHTING	AMBER FULL CUTOFF WALL PACK 120W	1	AMBER LED	WALL MOUNT	8' FROM FLOOR
5		2018-001	OSSI	AMBER-LED ROUND FLAT BOLLARDS	6	AMBER LED	GROUND	42"
6		2019-127	GENERATION LIGHTING	EXTRA LARGE ONE LIGHT WALL LANTERN	3	AMBER LED	WALL MOUNT	8' FROM FLOOR

	QUADRUPLE (DBL DUPLEX)		DOOR JAMB SWITCH		ABOVE-COUNTER G.F.I. DOUBLE DUPLEX RECEPTACLE		CEILING FAN
	DUPLEX OUTLET		LOW VOLTAGE TRANSFORMER		TV OUTLET		120V SMOKE ALARM
	ISOLATED GRD DUPLEX OUTLET		EXHAUST FAN		TELEPHONE OUTLET		120V COMBINATION CARBON MONOXIDE/SMOKE ALARM
	ISOLATED GRD QUADRUPLE OUTLET		MOTOR		DATE OUTLET		ELECTRICAL PANEL
	1/2 SWITCHING DUPLEX OUTLET		DOOR BELL		COMMUNICATION & DATA STRUCTURAL OUTLET		STARTER OR CONTROL PANEL
	SINGLE OUTLET (GROUNDING)		FLUORESCENT FIXTURE		SINGLE POLE SWITCH		DISCONNECT SWITCH
	SPECIAL PURPOSE (120/240: L,L,N & GND)		RECESS HI-HAT LIGHT FIXTURE		THREE WAY SWITCH		COMBINATION STARTER
	FLOOR BOX		STEP LIGHT FIXTURE		FOUR WAY SWITCH		ELECTRIC METER & MAIN DISCONNECT
	JUNCTION BOX G.F.I. DUPLEX OUTLET		SURFACE LIGHT FIXTURE		SERVICE BREAKER		DISCONNECTOR (3 = # OF POLES, 60 = DISCONNECT RATED AMPERAGE, 40 = FUSE SIZE)
	ABOVE-COUNTER DUPLEX RECEPTACLE		WALL MOUNTED LIGHT FIXTURE		CEILING FAN CONTROL SWITCH COMBINATION		
	ABOVE-COUNTER G.F.I. DUPLEX RECEPTACLE		WALL WASH LIGHT FIXTURE		DIMMER SWITCH		



SHEET INDEX

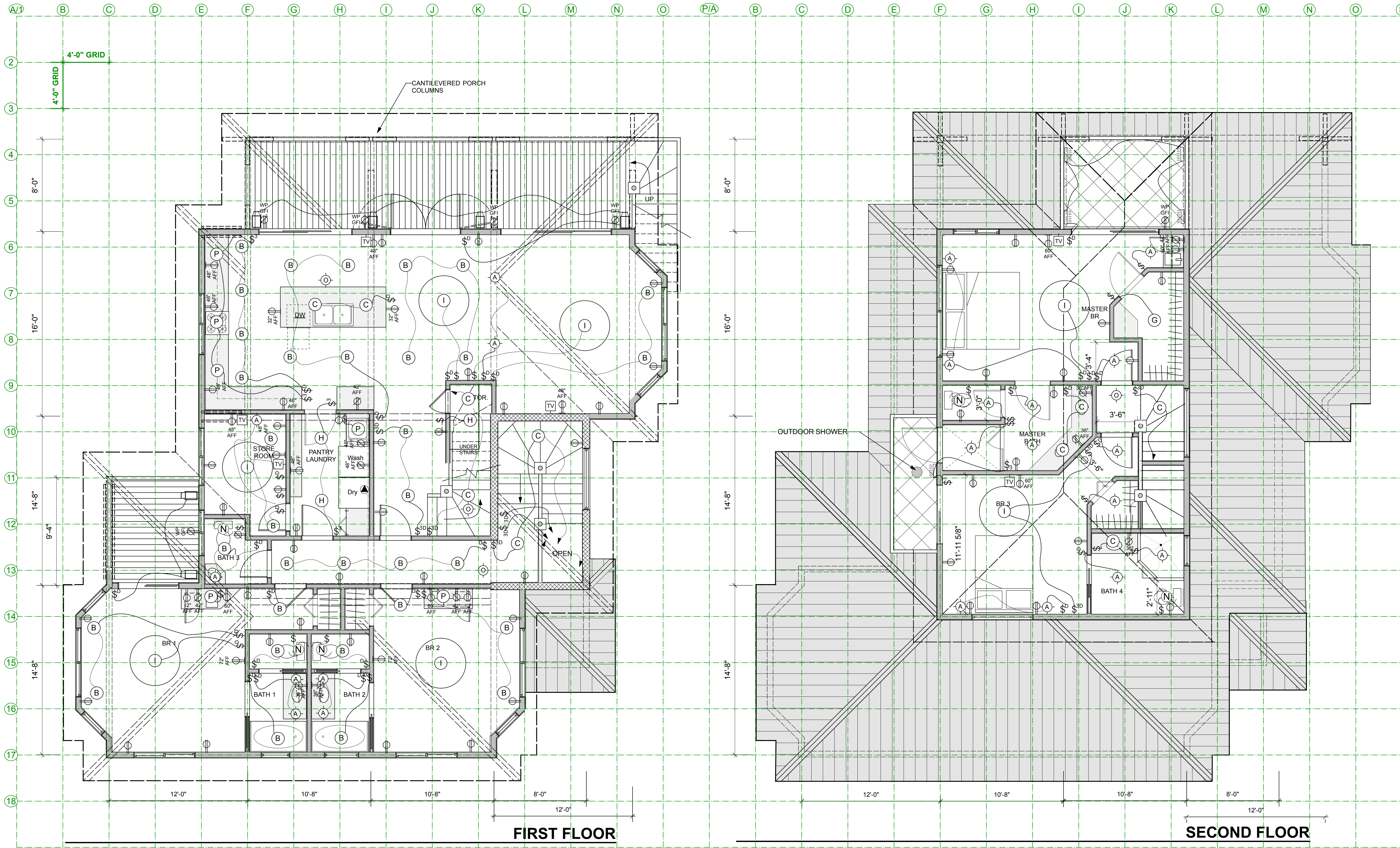
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- A-2 GENERAL NOTES, LEGEND, SYMBOLS (ALL)
- A-3 FIRST & SECOND FLOOR PLANS
- A-4 GROUND FLOOR PLANS
- A-5 FOUNDATION PLAN & NOTES
- A-6 1st FLOOR BEAM & FRAMING PLAN
- A-7 2nd FLOOR BEAM & FRAMING PLAN
- A-8 LOWER & UPPER ROOF FRAMING
- A-9 ELEVATIONS
- A-10 SECTION
- E-1 GRD FL & ELEC. NOTES, DIAGRAMS
- E-2 1st & 2nd ELECTRIC PLAN
- P-2 PLUMB. NOTES, DIAGRAMS
- M/P-1 GRD FL M/P NOTES, DIAGRAMS
- M/P-2 1st & 2nd M/P PLANS

Giordano Residence
S. Ocean Drive,
Ft. Pierce, FL 34949

SCALE
1/4" = 1'-0"

ORIGINAL DATE	2/19/19

SHEET #
E-1
SHEET NAME
**GROUND FL
ELECTRIC
PLANS & NOTES**



- LIGHT FIXTURE TYPES**
- A) Wall mounted interior sconce, 75-150 watt incandescent fixture.
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 - N) Exhaust fan
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 - P) Undercounter light

STANDARD ELECTRICAL LEGEND			
	QUADRUPLE (DBL DUPLEX) OUTLET		DOOR JAMB SWITCH
	DUPLEX OUTLET		LOW VOLTAGE TRANSFORMER
	ISOLATED GRD DUPLEX OUTLET		EXHAUST FAN
	ISOLATED GRD QUADRUPLE OUTLET		MOTOR
	1/2 SWITCHABLE DUPLEX OUTLET		DOOR BELL
	SINGLE OUTLET (GROUNDING)		FLUORESCENT FIXTURE
	SPECIAL PURPOSE (120/240: L.L.N & GND)		RECESS HI-HAT LIGHT FIXTURE
	FLOOR BOX		STEP LIGHT FIXTURE
	JUNCTION BOX G.F.I. DUPLEX OUTLET		SURFACE LIGHT FIXTURE
	ABOVE-COUNTER DUPLEX RECEPTACLE		WALL MOUNTED LIGHT FIXTURE
	ABOVE-COUNTER G.F.I. DUPLEX RECEPTACLE		WALL WASH LIGHT FIXTURE
	ABOVE-COUNTER G.F.I. DOUBLE DUPLEX RECEPTACLE		CEILING FAN
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	TELEPHONE OUTLET		120V COMBINATION CARBON MONOXIDE/SMOKE ALARM
	DATE OUTLET		ELECTRICAL PANEL
	COMMUNICATION & DATA STRUCTURAL OUTLET		STARTER OR CONTROL PANEL
	SINGLE POLE SWITCH		COMBINATION STARTER
	THREE WAY SWITCH		DISCONNECT SWITCH
	FOUR WAY SWITCH		ELECTRIC METER & MAIN DISCONNECT
	SERVICE BREAKER		DISCONNECT SIZE (3 = # OF POLES, 60 = DISCONNECT RATED AMPERAGE, 40 = FUSE SIZE)
	CEILING FAN CONTROL SWITCH COMBINATION		
	DIMMER SWITCH		

EXTERIOR TURTLE FRIENDLY LIGHTING TABLE								
#	SYMBOL	WILDLIFE LIGHTING CERTIFICATION NUMBER	MANUFACTURER	FIXTURE (NAME OR STOCK NUMBER)	TOTAL NUMBER OF FIXTURES	BULB LUMENS OUTPUT & TYPE	TYPE OF MOUNT	MOUNTING HEIGHT
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SHEET INDEX

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- P-2 PLUMB. NOTES, DIAGRAMS
- MP-1 GRD FL M/P NOTES, DIAGRAMS
- MP-2 1st & 2nd M/P PLANS

Giordano Residence
 S. Ocean Drive,
 Ft. Pierce, FL 34949

SCALE
 1/4" = 1'-0"

ORIGINAL DATE	2/19/19

SHEET #
E-2
 SHEET NAME
FIRST & SECOND FLOOR ELECTRIC PLAN

Headquarters
11345 U.S. Highway 1
Sebastian, FL. 32958
Orlando
723 Progress Way
Sanford, FL. 32771



Mailing
P.O. Box 78-1377
Sebastian, FL. 32978
Phone: 772-589-0712
C.A. # 5693
KSMengineering.net

Revised: March 8, 2021
September 7, 2019

Giordano Residence
c/o Gordon Mock
Island Style Homes
4275 Mariah Circle
Fort Pierce, FL 34947

**Re: S. Ocean Drive
Parcel ID 2401-502-0007-000-1
Fort Pierce, Florida
KSM Project #: 193481-b-rev**

Dear Mr. Mock:

As requested, KSM Engineering & Testing has performed a subsurface investigation at the referenced site. Presentation of the data gathered during the investigation, together with our geotechnical related opinions, are included in this report.

A. Project Description:

A single-family residence is planned to be constructed east of the State Coastal Construction Control Line (CCCL). The structure will be required to be supported on piles.

B. The scope of our study consisted of the following:

1. Performed Standard Penetration Test Borings in the proposed construction area to estimate the subsoil relative density.
2. Measured the groundwater level at each boring.
3. Evaluated the existing soil conditions with respect to the proposed construction and provided recommendations for site preparation and foundation design.
4. Prepared this report to document our findings.

C. Site Investigation:

The site investigation program consisted of performing a total of two (2) Standard Penetration Test (SPT) borings in the proposed construction area. The borings were terminated at a depth of 40 feet below grade. The locations of the borings are indicated on the attached boring logs.

The SPT borings were completed in accordance with procedures described in ASTM D-1586. A standard 1.5 inch I.D., 2 inch O.D. split-spoon sampler is driven into the soil by successive blows of a 140 pound hammer freely falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6 in., is designated the Penetration Resistance, or "N" value. At regular intervals the sampler is extracted from the ground and opened to allow visual examination and classification of the retained soil sample. Also, the groundwater table was allowed to stabilize and the depth of the groundwater elevation recorded from existing grade.

The records of the soils encountered, the penetration resistances and groundwater level are shown on the attached logs.

D. Engineering Evaluation and Conclusions:

Based on the information obtained from this site investigation we are pleased to offer the following evaluation:

The subsurface soils in the area of the proposed structure consist mostly of fine to medium grained sand and some slightly silty sand. Shell fragments were found in most of the borings. These soils are considered satisfactory for the proposed project. Please refer to the soil boring logs for specific information relative to the soil description.

E. Site Preparation:

The proposed building area and areas to be paved, plus a minimum margin of five feet beyond the proposed construction shall be stripped and grubbed of surface debris, including vegetation, roots and organic matter. Any stumps shall be removed entirely. The building area should be graded level and proofrolled. Any soft yielding areas shall be excavated and replaced with clean compacted fill. Sufficient passes should be made during the compaction operations to produce a density no less than 95 percent of its modified dry Proctor value (ASTM D 1557) to a depth of two feet.

After the exposed surface has been proofrolled, the building and pavement areas may be filled to the desired grades. Additional fill material shall consist of clean granular sand containing less than 10% material passing the U.S. Standard No. 200 mesh sieve. The contractor should review the Department of Environmental Protection's permit to ensure their fill requirement is satisfied. Structural fill should be placed in uniform loose layers of 12 inches in thickness and compacted to at least 95 percent of its Modified proctor value (ASTM D 1557).

We recommend field density tests be performed at appropriate times during the earth work operations in order to verify that the site has been properly constructed.

F. Pile Foundation:

Based on our experience with structures seaward of the CCCL, it has been our experience that auger-cast piles can be placed more economically than driven pre-stressed concrete pilings. We recommend using 16 inch minimum diameter auger cast-in-place piles (steel reinforced to resist the anticipated forces). It is our understanding that at a minimum, that 40 kips of capacity and 10 kips of uplift are required to satisfy the capacity requirements. Please see the following for options as to the size and capacities.

Pile Diameter (Inches)	Pile Capacity (Kips)	Pile Depth (Feet)	Allowable Uplift (kips)	Lateral Load (kips)
16	50	*15	10	6
16	64	*18	14	6
16	61	*20	18	6
16	71	*24	25	6

* Below Scour Line

All Piles should be installed and inspected in accordance to the recommendation published by the Auger Cast-In-Place Pile Committee of the Deep Foundation Institute.

Piles should be placed at a center-to-center distance of not less than 3 pile diameters. The capacity of a pile group must be reduced depending upon the number of piles in the group and their respective position.

A minimum time period of 12 hours should be specified for the installation of piles within 5 feet, center -to-center of each other.

The minimum acceptable grout factor (actual grout volume divided by theoretical grout volume) should be 1.10.

G. Soil Supported Structures:

An allowable bearing capacity of 2,000 psf may be used for any structure not required to be supported on pilings provided that the site is properly prepared.

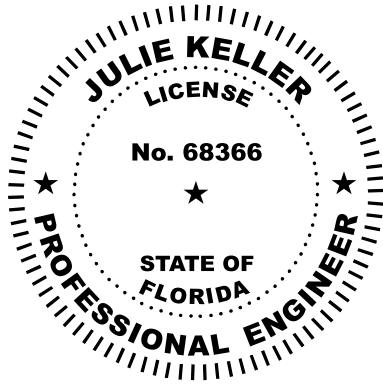
H. Closure:

This report has been prepared in accordance with generally accepted soil and foundation engineering practices based on the results of the borings and the assumed loading conditions.

We are pleased to be of assistance to you on this phase of your project. When we may be of further service to you or should you have any questions, please feel free to contact us.

Respectfully,

Julie E. Keller, P.E.
President
P.E. #68366



JEK:jt

CC: Todd Smith



KSM Engineering & Testing
 P.O. Box 78-1377
 Sebastian, FL 32978
 Tel: (772)-589-0712
 Fax: (772)-589-6469

BORING NUMBER B-1

CLIENT Giordano Residence c/o Gordon Mock
PROJECT NUMBER 193481-b
DATE STARTED 9/5/19 **COMPLETED** 9/5/19
DRILLING CONTRACTOR _____
DRILLING METHOD Split Spoon Sample
LOGGED BY SF/SH **CHECKED BY** JEK
NOTES See Attached Location Plan

PROJECT NAME S. Ocean Drive, Parcel ID 2401-502-0007-000-1
PROJECT LOCATION Fort Pierce, Florida
GROUND ELEVATION _____ **HOLE SIZE** inches
GROUND WATER LEVELS:
 ▽ **AT TIME OF DRILLING** 12.42 ft
AT END OF DRILLING ---
AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								PL	MC	LL	
								□ FINES CONTENT (%) □			
								20	40	60	80
0		Brown Sand with Traces of Roots and Shell Fragments									
		Brown Sand with Traces of Shell Fragments	X SS		5-7-9 (16)						
		Brown Sand	X SS		10-10-9 (19)						
5		Light Brown Sand with Traces of Shell Fragments	X SS		4-3-4 (7)						
		Light Brown Sand, Slightly Silty	X SS		3-4-9 (13)						
10		Gray Sand, Slightly Silty with Some Shell	X SS		8-11-12 (23)						
		Grayish Brown Sand, Slightly Silty	X SS		12-15-18 (33)						
15											
			X SS		11-13-17 (30)						
20											
			X SS		13-13-19 (32)						
25											
		Light Gray Sand, Slightly Silty with Lots of Shell	X SS		21-27-29 (56)						
30											
			X SS		14-21-19 (40)						
35											

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 Sebastian, FL 32978
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 Fax: (772)-589-6469

BORING NUMBER B-1

CLIENT Giordano Residence c/o Gordon Mock **PROJECT NAME** S. Ocean Drive, Parcel ID 2401-502-0007-000-1
PROJECT NUMBER 193481-b **PROJECT LOCATION** Fort Pierce, Florida

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲	
								PL	MC LL
								20 40 60 80	20 40 60 80
								□ FINES CONTENT (%) □	
								20 40 60 80	20 40 60 80
35		Light Gray Sand, Slightly Silty with Lots of Shell <i>(continued)</i>							
40		Light Gray Sand, Slightly Silty with Some Shell	SS		16-19-21 (40)				

Bottom of borehole at 40.0 feet.



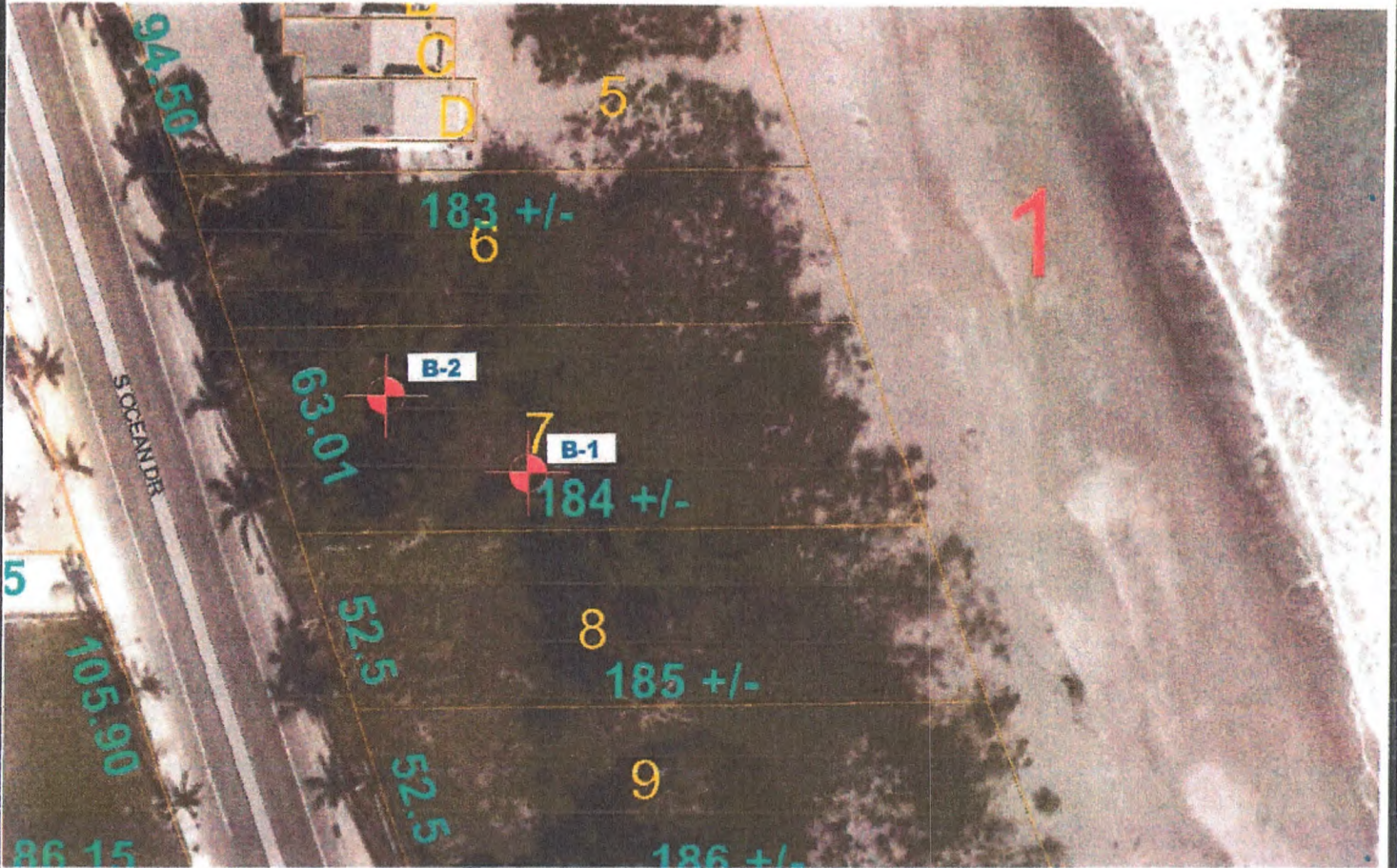
KSM Engineering & Testing
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 Sebastian, FL 32978
 Tel: (772)-589-0712
 Fax: (772)-589-6469

BORING NUMBER B-2

CLIENT Giordano Residence c/o Gordon Mock **PROJECT NAME** S. Ocean Drive, Parcel ID 2401-502-0007-000-1
PROJECT NUMBER 193481-b **PROJECT LOCATION** Fort Pierce, Florida

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲	
								20 40 60 80	20 40 60 80
								PL	MC LL
								20 40 60 80	20 40 60 80
								□ FINES CONTENT (%) □	
								20 40 60 80	20 40 60 80
35		Light Gray Sand, Slightly Silty with Lots of Shell <i>(continued)</i>							
40		Light Gray Sand, Slightly Silty with Some Shell	SS		12-16-15 (31)				

Bottom of borehole at 40.0 feet.



LOCATION OF TESTS

PROJECT: S. Ocean Drive, Parcel ID 2401-502-0007-000-1, Fort Pierce, Florida

SHEET 1 OF 1
 PERMIT #:
 PROJECT #: 193481-b



DRAWN BY: J.L.
 DESIGNED BY: J.K.
 DATE: 20190909
 SCALE: NONE