



# CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE

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Fort Pierce Technical Review Committee Teleconference  
Thursday, December 17, 2020

1. **New Business:**
  - a. Rezoning & Future Land Use Map Amendment - Walsh Kings Highway - 2564 Kings Highway
  - b. Conditional Use – Acor Recycling – 1121 Digiorgio Road
  - c. Development Review - Bobcat Treasure Coast - 4405 Prosperity Drive
  - d. Minor Site Plan - Towne South Plaza - Winn Dixie - 4901 S. US Highway 1
  - e. Annexation – 2398 Peters Road – 2 Parcels

**Technical Review Committee -  
Teleconference**

**1. a.**

Meeting Date: 12/17/2020

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**REQUESTED ACTION**

Rezoning & Future Land Use Map Amendment - Walsh Kings Highway - 2564 Kings Highway

**LOCATION**

2564 S. Kings Highway

**RESPONSIBLE STAFF**

Brandon C. Creagan, MCRP, LEED Green Associate, Planner

**RECOMMENDATION**

Review & Provide Comments

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**Attachments**

TRC Packet

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**Form Review**

Form Started By: Brandon Creagan  
Final Approval Date: 12/03/2020

Started On: 12/03/2020 03:27 PM



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**To:** JACK ANDREWS, PE, CITY ENGINEER  
MIKE REALS, FP PUBLIC WORKS MANAGER  
CHIEF HOBLEY-BURNEY, FP POLICE DEPARTMENT  
PAUL THOMAS, FP BUILDING OFFICIAL  
JAMES CARNES, PE, FPUA ENGINEERING (WATER/WASTEWATER)  
PAUL LAGUERRE, PE, FPUA ENGINEERING (ELECTRIC)  
ROD REED, PLS, SLC SURVEYING  
GRANT CHAMBERS, PE, SLC ENGINEERING  
LESLIE OLSON, AICP, SLC PLANNING & DEVELOPMENT DIRECTOR  
LIEUTENANT WAYNE BOYER, SLC FIRE DISTRICT  
PEGGY ARRAIZ, FP CODE ENFORCEMENT  
PETER BUCHWALD, AICP, SLC TRANSPORTATION PLANNING ORGANIZATION  
MURRIAH DECKLE, AICP, SLC TRANSIT SERVICES

**FROM:** BRANDON CREAGAN, MCRP, LEED GREEN ASSOCIATE, PLANNER

**RE:** TECHNICAL REVIEW PROJECT# 20-06000004

**DATE:** DECEMBER 3, 2020

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### **Rezoning and Future Land Use – Walsh Kings Highway – 2564 S. Kings Highway**

This is an Application for a Zoning Atlas Map Amendment and a Future Land Use Map Amendment. The property is currently going through the City's annexation process. Once annexed the properties will be zoned Residential Single Family two units per acre (E-2) with a Future Land Use of Designation of Mixed Use (MXD). The property size is approximately 8.90 acres.

The amendments would seek to change the zoning to General Commercial (C-3) and change the Future Land Use to General Commercial (GC). The applicant would like to get the Zoning & Future Land Use in place before moving forward to the City's Development Review process. The parcel IDs are 2324-233-0000-000-7.

Please review and provide comments on the project. Please send all comments to my email [Bcreagan@cityoffortpierce.com](mailto:Bcreagan@cityoffortpierce.com) or through interoffice mail to the Planning Department. If you have comments, please respond by December 15, 2020.

Please do not hesitate to contact me should you require any additional information at 772-467-3742.

Thank you.

Brandon Creagan



## Application for Future Land Use Map Amendment

- Future Land Use Map Amendment – Large Scale (>10 acres)
- Future Land Use Map Amendment – Small Scale (<10 acres)

In accordance with Chapter 163.3187, Florida Statutes, The City of Fort Pierce will consider applications for land use changes on parcels in excess of 10 acres ("Large Scale Amendments") only twice each calendar year. The City Commission will consider applications for land use changes on parcels less than or equal to 10 acres with a maximum density of 10 units per acres or less at any time during the calendar year. You are encouraged to schedule a pre-application meeting with the planning staff and to submit your application up to three months in advance of the application deadline.

### Application submission shall include the following:

- **TRC** (\*Initial Submission): One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board**: One (1) original and (13) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission**: One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

### In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a ½ mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- \*\*\* Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other \_\_\_\_\_

1. Property Address/Location: 2564 S. Kings Highway, Fort Pierce, FL
2. Property Tax ID(s): 2324-233-0000-000-7
3. Total Acreage: 8.90 ac.
4. Existing Future Land Use Designation: MXD (SLC)
5. Existing Zoning Classification: RS-2 (SLC)
6. Proposed Zoning Classification: C-3 (Fort Pierce)
7. Other applications being submitted concurrent with this application, if any: \_\_\_\_\_  
Annexation, Rezone, Conditional Use, Site Plan
8. Describe the existing uses, improvements and structures on the amendment lands: \_\_\_\_\_  
Undeveloped
9. Are there any identified or possible historical structures on the amendment lands? No (See Historical Report)
10. The reason for making this request: \_\_\_\_\_  
Assignment of City of Fort Pierce Future Land Use Designation upon annexation to "Commercial"

**11. Capacity Analysis:**

**I. Site Data:**

	<b>Existing Use</b>	<b>Future Land Use</b>	<b>Zoning</b>
<b>North</b>	NE: FDOT ROW NW: Undeveloped Commercial	GC (Fort Pierce)	C-3 (Fort Pierce)
<b>South</b>	ROW: Crossroads Parkway (SLC) SW: Developed (FA Precast) SE: Undeveloped Commercial	SW: Industrial (Fort Pierce) SE: GC (Fort Pierce)	SW: I-1 (Fort Pierce) SE: C-3 (Fort Pierce)
<b>East</b>	Developed Mobile Home Park	GC (Fort Pierce)	C-3 (Fort Pierce)
<b>West</b>	ROW: S. Kings Highway (FDOT) West of ROW: Undeveloped Commercial	GC (Fort Pierce)	C-3 (Fort Pierce)

	<b>Future Land Use</b>	<b>Zoning Classification</b>	<b>Maximum Intensity</b> Residential: Dwelling Units per Acre Other: Square Footage	<b>Total Acreage</b>	<b>Flood Zone</b>
<b>Current</b>	MXD (SLC)	RS-2 (SLC)	9 du / acre	8.90	X
<b>Proposed</b>	Commercial (Fort Pierce)	C-3 (Fort Pierce)	FAR 1.0	8.90	N/A

**II. Public Facilities Information:**

<b>A. Potable Water:</b>		
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot	
Demand Analysis	Maximum	
Current Zoning	Total gallons per day	20,826 GPD
Proposed Zoning	Total gallons per day	387,684 GPD
<b>Change in Demand</b>	<b>Total gallons per day</b>	increase of 366,858 GPD

<b>B. Wastewater:</b>		
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot	
Demand Analysis	Maximum	
Current Zoning	Total gallons per day	20,826 GPD
Proposed Zoning	Total gallons per day	387,684 GPD
<b>Change in Demand</b>	<b>Total gallons per day</b>	increase of 366,858 GPD

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people	9,210.72	0	decrease of 9,210.72
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name	Allapattah Flats K-8	Fort Pierce Central High School
City	Fort Pierce	Fort Pierce
Distance	10.7 miles	6.1 miles
Current Zoning Enrollment Demand	59.04	25.30
Proposed Zoning Enrollment Demand	0	0
Change in Demand	decrease of 59.04	decrease of 25.30

<b>E. Solid Waste:</b> 2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units	
Demand Analysis	Maximum
Current Zoning	2,547.02 lbs per day
Proposed Zoning	5,039.89 lbs per day
Change in Demand	increase of 2,492.87 lbs per day

<b>F. Stormwater:</b> Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)	
<b>Impact</b>	Stormwater runoff will be collected through a series of inlets that will be directed into a dry detention area which will outfall through a control structure into an existing FDOT ditch on Kings Highway.

<b>G. Transportation Analysis:</b> Most recent ITE Code for use; HCM Roadway Capacity		
	<b>AADT</b>	<b>AM/PM Peak Hour Trips</b>
<b>Demand Analysis</b>	Maximum	Maximum
<b>Current Zoning</b>	756	61 / 80
<b>Proposed Zoning</b>	585	78 / 78
<b>Change in Demand</b>	Trips - 171	Trips - 17 / - 2
<b>Impact to Capacity</b>	Reduction in daily trips	

12. Name of Owner(s): Patricia Farley  
 Mailing Address: 8613 SE Banyan Tree Street  
 City Hobe Sound State FL Zip 33455  
 Phone # 772-546-5707  
 E-mail: \_\_\_\_\_

13. Name of Applicant: Michael Lee Walsh GC  
 Mailing Address: 15216 SW Palm Oak Avenue  
 City Indiantown State FL Zip 34956  
 Phone # 561-758-5619 Fax # \_\_\_\_\_  
 E-mail: michaelleewalsh@gmail.com

14. Name of Representative: Brad Currie, AICP, Engineering Design & Construction, Inc.  
 Mailing Address: 10250 SW Village Parkway, Suite 201  
 City Port St. Lucie State FL Zip 34987  
 Phone # 772-462-2455 Fax # 772-408-4208  
 E-mail: bradcurrie@edc-inc.com

**15. Applicant Acknowledgements (Owner’s signature must be notarized)**

I certify that: (Check One)

I (we) do hereby certify that I (we) own in fee simple the above referenced described property for which a change in Zoning Classification is requested.

I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.





## Application for Zoning Atlas Map Amendment

**Application submission shall include the following:**

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- **Planning Board**: One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
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**In addition to a complete application, packets shall include:**

- Warranty Deed & Legal Description
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- Current Survey
- Environmental Study
- Traffic Impact Report
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5. Existing Zoning Classification: RS-2 (SLC)
6. Proposed Zoning Classification: C-3 (Fort Pierce)
7. Other applications being submitted concurrent with this application, if any: Annexation, FLU Amendment, Conditional Use and Site Plan

8. Describe the existing uses, improvements and structures on the amendment lands: \_\_\_\_\_  
 Undeveloped
9. Are there any identified or possible historical structures on the amendment lands? No (See Historical Rpt
10. The reason for making this request: \_\_\_\_\_  
 Assignment of City of Fort Pierce Zoning Designation upon annexation to Commercial (C-3).

**11. CAPACITY ANALYSIS**

**I. Site Data:**

	Existing Use	Future Land Use	Zoning
<b>North</b>	NE: FDOT ROW NW: Undeveloped Commercial	CG (Fort Pierce)	C-3 (Fort Pierce)
<b>South</b>	ROW: Crosstown Pkwy (SLC) SW: Developed (FA Precast) SE: Undeveloped Commercial	SW: Industrial (Fort Pierce) SE: GC (Fort Pierce)	SW: I-1 (Fort Pierce) SE: C-3 (Fort Pierce)
<b>East</b>	Developed Mobile Home Park	CG (Fort Pierce)	C-3 (Fort Pierce)
<b>West</b>	ROW: S. Kings Hwy (FDOT) West of ROW: Undeveloped Commercial	GC (Fort Pierce)	C-3 (Fort Pierce)

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
<b>Current</b>	MXD (SLC)	RS-2 (SLC)	9 du / acre	8.90	X
<b>Proposed</b>	Commercial (Fort Pierce)	C-3 (Fort Pierce)	FAR 1.0	8.90	N/A

**II. Public Facilities Information:**

<b>A. Potable Water:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6 = persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
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<b>Change in Demand</b>	<b>Total gallons per day</b> increase of 366,858 GPD

<b>B. Wastewater:</b>		
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot	
Demand Analysis	Maximum	
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Proposed Zoning	Total gallons per day	387,694 GPD
<b>Change in Demand</b>	<b>Total gallons per day</b>	increase of 366,868 GPD

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people	9,210.72	0	decrease of 9,210.72
Urban District	5 acres per 1,000 people			
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<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name	Allapattah Flats K-8	Fort Pierce Central High School
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**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

<b>Impact</b>	Stormwater runoff will be collected through a series of inlets that will be directed into a dry detention area which will outfall through a control structure into an existing FDOT ditch on Kings Highway.
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**III. Transportation Analysis**

<b>G. Traffic</b>		
Most recent ITE Code for use; HCM Roadway Capacity		
	<b>AADT</b>	<b>AM/PM Peak Hour Trips</b>
<b>Demand Analysis</b>	Maximum	Maximum
<b>Current Zoning</b>	756	61 / 80
<b>Proposed Zoning</b>	585	78 / 78
<b>Change in Demand</b>	Trips      -171	Trips      -17 / -2
<b>Impact to Capacity</b>		

12. Name of Owner(s): Patricia Farley  
 Mailing Address: 8613 SE Banyan Tree Street  
 City Hobe Sound State FL Zip 33455  
 Phone # 772-546-5707  
 E-mail: \_\_\_\_\_

13. Name of Applicant: Michael Lee Walsh GC  
 Mailing Address: 15216 SW Palm Oak Avenue  
 City Indiantown State FL Zip 34956  
 Phone # 561-758-5619 Fax # \_\_\_\_\_  
 E-mail: michaelleewalsh@gmail.com

14. Name of Representative: Brad Currie, AICP, Engineering Design & Construction, Inc.  
 Mailing Address: 10250 SW Village Parkway, Suite 201,  
 City Port St. Lucie State FL Zip 34987  
 Phone # 772-462-2455 Fax # 772-408-4208  
 E-mail: bradcurrie@edc-inc.com

**15. Applicant Acknowledgements (Owner's signature must be notarized)**

I certify that: (Check One)

I (we) do hereby certify that I (we) own in fee simple the above referenced described property for which a change in Zoning Classification is requested.

I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

Applicant's Signature  Bradley J. Currie (Authorized Agent) Date 10/27/2020

8602 SE Driftwood Street, Hobe Sound

FL

33455

Address

State

Zip

772-546-5707

Phone

Fax

E-mail Address

16. **Property Owners Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

Patricia Farley

772-546-5707

Property Owner's Name (Please Print)

Phone

8602 SE Driftwood Street, Hobe Sound

FL

33455

Address

State

Zip

Property Owner's Signature *[Signature]* Bradley J. Currie (Authorized Agent)

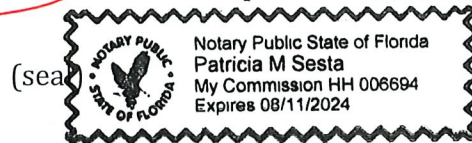
10/27/2020

Date

STATE OF FLORIDA)  
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this 27<sup>th</sup> day of October, 20 20, by Bradley J. Currie (Authorized Agent) who is personally known to me or has produced \_\_\_\_\_ as ident

*Patricia M. Sesta*  
Signature of Notary



<b>OFFICE USE:</b>		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	



## CONCURRENCY CAPACITY ANALYSIS

### I. Site Data:

	Existing Use	Future Land Use	Zoning
<b>North</b>	NE: FDOT ROW NW: Undeveloped Commercial	GC (Fort Pierce)	C-3 (Fort Pierce)
<b>South</b>	ROW: Crossroads Parkway (SLC) SW: Developed (FA Precast) SE: Undeveloped Commercial	SW: Industrial (Fort Pierce) SE: GC (Fort Pierce)	SW: I-1 (Fort Pierce) SE: C-3 (Fort Pierce)
<b>East</b>	Developed Mobile Home Park	GC (Fort Pierce)	C-3 (Fort Pierce)
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	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
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<b>**Proposed</b>	Commercial (Fort Pierce)	C-3 (Fort Pierce)	FAR 1.0	8.90	N/A

### II. Public Facilities Information:

<b>A. Potable Water:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
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**Change in Demand	Total gallons per day increase of 366,858 GPD

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Urban District	5 acres per 1,000 people			
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	<b>K-8</b>	<b>High</b>
School Name	Allapattah Flats K-8	Fort Pierce Central High School
City	Fort Pierce	Fort Pierce
Distance	10.7 miles	6.1 miles
Current Zoning/FLU Enrollment Demand	59.04	25.30
**Proposed Zoning/FLU Enrollment Demand	0	0
**Change in Demand	decrease of 59.04	decrease of 25.30

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	2,547.02 lbs per day
**Proposed Zoning/FLU	5,039.89 lbs per day
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**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

<b>Impact</b>	Stormwater runoff will be collected through a series of inlets that will be directed into a dry detention area which will outfall through a control structure into an existing FDOT ditch on Kings Highway.
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**III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)**

<b>G. Transportation Analysis: Complete ITE Trip Generation Data Form</b>		
Most recent ITE Code for use; HCM Roadway Capacity		
	<b>AADT</b>	<b>AM/PM Peak Hour Trips</b>
<b>Demand Analysis</b>	Maximum	Maximum
<b>Current Zoning/FLU</b>	756	61 / 80
<b>**Proposed Zoning/FLU</b>	585	78 / 78
<b>*Change in Demand</b>	Trips - 171	Trips - 17 / - 2
<b>Impact to Capacity</b>	Reduction in daily trips	

**IV. Project Description**

<b>PHASING</b>		
Is this project (phase) part of a larger project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.		
Total Project:	Residential Units:    N/A    Single Family:    N/A    Multifamily:    N/A	
	Non-residential (square footage):	121,938 sf
	Mixed-use (describe use):	N/A
(If this is a single phase project, name it Phase I – Total)		

<b>RESIDENTIAL DATA</b>					
<b>Type</b>	<b>Phase</b>	<b>Number of Units</b>	<b>Acres</b>	<b>Expected beginning date</b>	<b>Expected completion date</b>
Single-family, detached	N/A				
Single-family, attached	N/A				
Multi-family	N/A				
Other (specify)	N/A				

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
Storage Units	Phase 1	88,748 sf		08/01/2021	08/01/2023
RV Storage	Phase 1	33,190 sf		08/01/2021	08/01/2023

A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No

- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_
2. What is the current use of the structure to be demolished or re-used? \_\_\_\_\_
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

\*\* Complete section if requesting a change in zoning, future land use, or expanding

**PROJECT NARRATIVE & COVER LETTER**  
**Walsh Kings Highway Property**  
 Future Land Use & Rezone Application  
 October 26, 2020

**REQUEST**

On behalf of the Petitioner, Engineering Design & Construction, Inc. is requesting approval of a Future Land Use and Rezone application for an 8.90 +/- acre parcel currently located in St. Lucie County, Florida for a proposed self-storage and RV storage development with associated site improvements. Application for annexation is currently under review by the City of Fort Pierce. The subject parcel is noted below and is located east of S. Kings Highway and north of Crossroads Parkway in Fort Pierce, Florida.

**SITE CHARACTERISTICS & PROJECT HISTORY**

The subject property is located east of S. Kings Highway and north of Crossroads Parkway in St. Lucie County. The parcels can be identified in the below table:

<b>Parcel ID:</b>	<b>Address:</b>	<b>Acreage:</b>
2324-233-0000-000-7	2564 S. Kings Highway	8.90

This parcel is currently in the jurisdiction of St. Lucie County for which an annexation application is currently under review by the City of Fort Pierce. This parcel has an existing Future Land Use designation of Mixed Use (MXD) and is located in the Residential (RS-2) Zoning designation (St. Lucie County). The applicant is requesting approval to change the Future Land Use designation to Commercial and the underlying Zoning designation to Commercial (C-3).

There is 2.311-acre parcel to the northwest of the subject parcel for which there is no property information available. To the northeast is an undeveloped parcel which has a City of Fort Pierce Future Land Use designation of General Commercial (GC) and has a Commercial (C-3) Zoning designation.

To the west of the subject property lies the right-of-way of S Kings Highway, a State owned and maintained road. West of the right-of-way, lies an undeveloped commercial parcel. This parcel has a Fort Pierce Future Land Use designation of General Commercial (CG) and an underlying Zoning designation of Commercial (C-3).

South of the subject parcel is the right-of-way of Crossroads Parkway which is owned and maintained by St. Lucie County. Southwest of the right-of-way is a developed Industrial parcel with a Fort Pierce Future Land Use designation of Industrial and an underlying Zoning designation of Industrial (I-1). The parcel located to the southeast of the subject site, south of the Crossroads Parkway right-of-way has a General Commercial (GC) and an underlying Zoning designation of Commercial (C-3).

To the east of the subject is a developed RV park known as Treasure Coast RV Resort. This development has a Fort Pierce Future Land Use designation of General Commercial (GC) and an underlying Zoning Designation of Commercial (C-3).

***Based on the above justification and attached information, the Petitioner respectfully requests approval of this request.***

Z:\EDC-2020\20-222 - Walsh - Kings Highway Property\ENGINEERING\Documents\Submittal Documents\Justification Statement\2020-10-26\_Kings\_Hwy\_Walsh\_FLU\_Rezone\_Application\_20-222.docx

Patricia Farley  
2564 S. Kings Highway  
Hobe Sound, FL 33455

**AGENT CONSENT FORM**

Project Name: Walsh Kings Highway

Parcel ID: 2324-233-0000-000-7

BEFORE ME THIS DAY PERSONALLY APPEARED Patricia Farley, WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to Engineering Design & Construction, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 19<sup>th</sup> day of August, 2020, by Patricia Farley (Name of Person Acknowledging) who is personally known to me or who has produced \_\_\_\_\_ (type of identification) as identification and who did (did not) take an oath.

Alexis Jan Day  
Notary Signature

Alexis Jan Day  
Printed Name of Notary

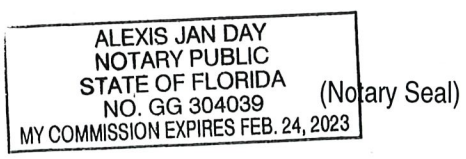
Patricia Farley  
Owner's Signature

PATRICIA FARLEY  
Owner's Name

8602 SE. DRIFTWOOD ST  
Street Address

Hobe Sound, FL.  
City, State, Zip 33455

772-546-5707  
Telephone / Email



Feb. 24, 2023  
My commission expires

Prepared by:

Boston National Title and Escrow, LLC  
473 NW Prima Vista Blvd.  
Port St. Lucie, Florida 34983

File Number: 09-1784

### Corrective General Warranty Deed

Made this 16 day of February, 2010 A.D. By **Jack Corley**, whose address is: 8613 SE Banyan Tree Street, Hobe Sound, FL 33455, hereinafter called the grantor, to **Patricia Farley**, whose post office address is: 8613 SE Banyan Tree Street, Hobe Sound, FL 33455, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Lucie County, Florida, viz:

The Southwest Quarter of the Southwest Quarter of the Northwest Quarter of Section 24, Township 35 South, Range 39 East, St. Lucie County, Florida.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Gantor(s) reside thereon.

This Deed is being re-recorded in order to correct the erroneous legal description in that certain Deed recorded 10/21/2009 in Official Record Book 3138, Page 1047, of the Public Records of St. Lucie County, Florida.

Parcel ID Number: 2324-233-0000-000-7

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2009.

**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Jennifer Vinaslio  
Witness Printed Name: Jennifer Vinaslio

Jack Corley (Seal)  
Jack Corley  
Address: 8613 SE Banyan Tree Street, Hobe Sound, FL 33455

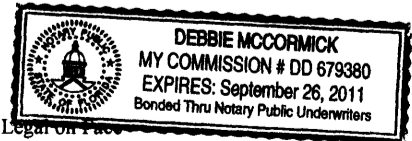
Debbie McCormick  
Witness Printed Name: Debbie McCormick

\_\_\_\_\_  
Address:

State of Florida  
County of Martin

The foregoing instrument was acknowledged before me this 16 day of February, 2010, by Jack Corley, who is/are personally known to me or who has produced FLDR as identification.

Debbie McCormick  
Notary Public  
Print Name: Debbie McCormick  
My Commission Expires: 9-26-11





Saint Lucie County Property Appraiser  
Michelle Franklin CFA

Report generated: Tuesday, May 12, 2020

Parcel Report



Parcel

**Parcel ID:** 2324-233-0000-000-7  
**Property ID:** 14258  
**Owner 1:** Patricia Farley  
**Site Address:** 2564 S KINGS HWY

Owner

**Owner 1:** Patricia Farley  
**Owner 2:**  
**Owner 3:**  
**Mailing Address:** 8613 SE Banyan Tree St Hobe Sound, FL 33455-2908

Overview

**Primary Land Use:** 0100 - SF Res  
**District Group:** 0002 - Saint Lucie County  
**Subdivision:** Metes and Bounds  
**Just/Market Value:** \$593,000  
**Finished Area:** 1,074  
**Acres:** 8.9  
**Total Area:** 387,684

Legal Description

**Legal Description:** 24 35 39 SW 1/4 OF SW 1/4 OF NW 1/4- LESS THAT PART FOR RD R/W MPDAF: FROM W 1/4 COR OF SEC, TH N 00 07 03 W 14.82 FT, TH N 89 52 57 E 25 FT TO POB; TH N 00 07 03 W 69.82 FT TO CURVE CONC NE, R OF 25 FT, TH NELY ALG ARC 39.08 FT, TH S 89 41 24 E 368.29 FT, TH S 00 18 36 W 45 FT, TH N 89 41 24 W 392.76 FT TO POB (8.90 AC - 387,684 SF) (OR 3176-228: 3138-1047)

Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2019	\$593,000	\$14,500	\$578,500	\$0	\$593,000	\$0	\$593,000	\$0	\$0
2018	\$592,300	\$13,800	\$578,500	\$0	\$592,300	\$0	\$592,300	\$0	\$0
2017	\$895,400	\$5,400	\$890,000	\$0	\$739,640	\$0	\$739,640	\$155,760	\$0

Tax Links

- [SLC Tax Collector's Office taxes for this parcel](#)
- [Download TRIM notice for this parcel](#)

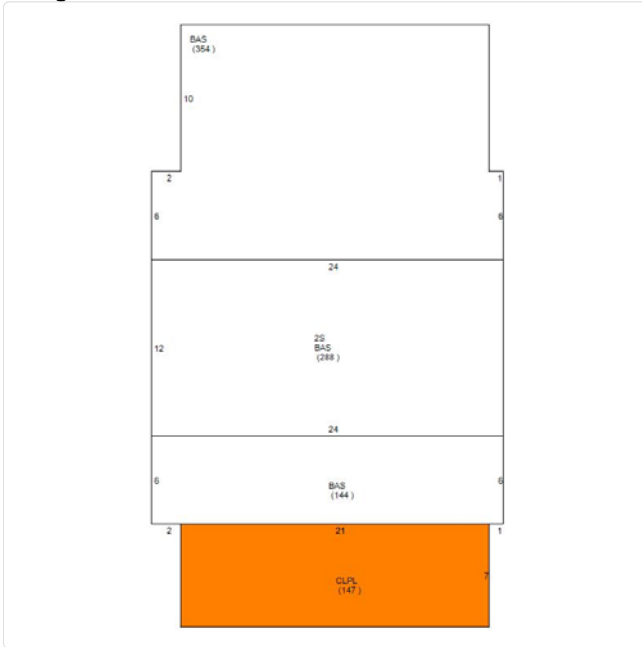
Special Assessments

Description	Start Year	Units	Amount
North St. Lucie Water Management District	2016	8.9	\$155.75
County Solid Waste	2009	12	\$276.14

**Improvements**

**Building Sequence:** 1  
**Bedrooms:** 2  
**Bathrooms:** 1  
**Building Type:** HD- -  
**Story Height:**  
**No of Living Units:** 1  
**Total Finished Area:** 1,074  
**Gross Sketched Area:** 1,221  
**Year Built:** 1940  
**Effective Year:** 1940  
**Primary Roof Cover:** Metal  
**Primary Roof Structure:** Gable  
**Primary Wall:** Frm Stucco  
**A/C %:** 0

**Building Sketches**



**Sub Area**

Building Sequence	Sketch Area Code	Description	Finished Area	Gross Area
	B24	BASE AREA B24	0	600
	UTL	UTILITY ROOM	0	967
1	2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	288	288
1	BAS	BASE AREA	786	786
1	CLPL	Closed Porch Low	0	147

**Land Lines**

Line Number	Units	Unit Type
1	8.9	Acre

**Sales History**

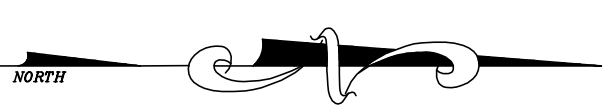
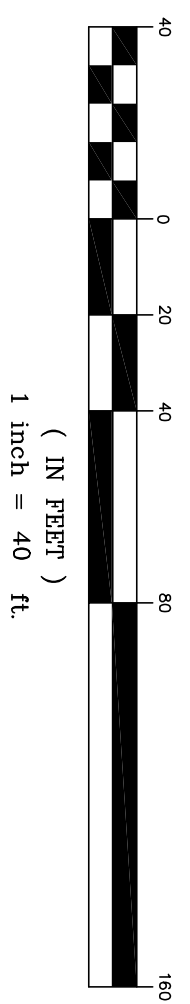
Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
02/15/2010	\$0	0111	WD	Corley Jack	3176-228	<a href="#">Clerk of Courts</a>
09/01/2009	\$100	0130	WD	Corley Jack	3138-1047	<a href="#">Clerk of Courts</a>
06/10/2005	\$1,300,000	XX00	WD	Archer John T	2271-1885	<a href="#">Clerk of Courts</a>
02/29/1996	\$100	XX01	QC	Archer John T	1002-306	<a href="#">Clerk of Courts</a>
07/05/1995	\$0	XX01	PB		964-1115	<a href="#">Clerk of Courts</a>

**Photos**





GRAPHIC SCALE



NO INFORMATION AVAILABLE APPEARS TO BE PUBLIC ON RIGHT OF WAY

2324-233-0000-000-4  
COMMERCIAL SOUTH LLC  
2496 S KINGS HWY

N89°51'57"W 638.53'

ROUND 5/8" ROUN  
7911' (11.5, 0.413)

BARBED WIRE FENCE

CHANNEL FENCE

CHANNEL FENCE

CHANNEL FENCE

CHANNEL FENCE

CHANNEL FENCE

CHANNEL FENCE

CHANNEL FENCE

CHANNEL FENCE

CHANNEL FENCE

CHANNEL FENCE

2324-233-0000-000-7  
PATRICIA FARLEY  
2564 KINGS HWY

2324-234-0000-000-0  
WYNNE BUILDING CORP  
2550 CROSSROADS PKWY

- SURVEYOR'S NOTES:**
1. BEARINGS REFER TO STATE PLANE MORSY, FLORIDA EAST ZONE 901 AS REFERENCED ALONG THE WEST LINE OF SECTION 24-35-39.
  2. PROPERTY LIES IN FLOOD ZONE X. FEMA MAP #1210087L, 2-16-2012.
  3. THE BEARINGS SHOWN HEREON WERE FIELD MEASURED FOR RIGHT-OF-WAYS, EASEMENTS, AND UNDERGROUND UTILITIES. THE BEARINGS SHOWN HEREON WERE FIELD MEASURED WITHIN THE FOLLOWING:
  4. UNDERGROUND UTILITIES NOT LOCATED PER THIS SURVEY.
  5. "O" = POWER POLE; "G" = GUY WIRE; "DU" = OVERHEAD UTILITIES

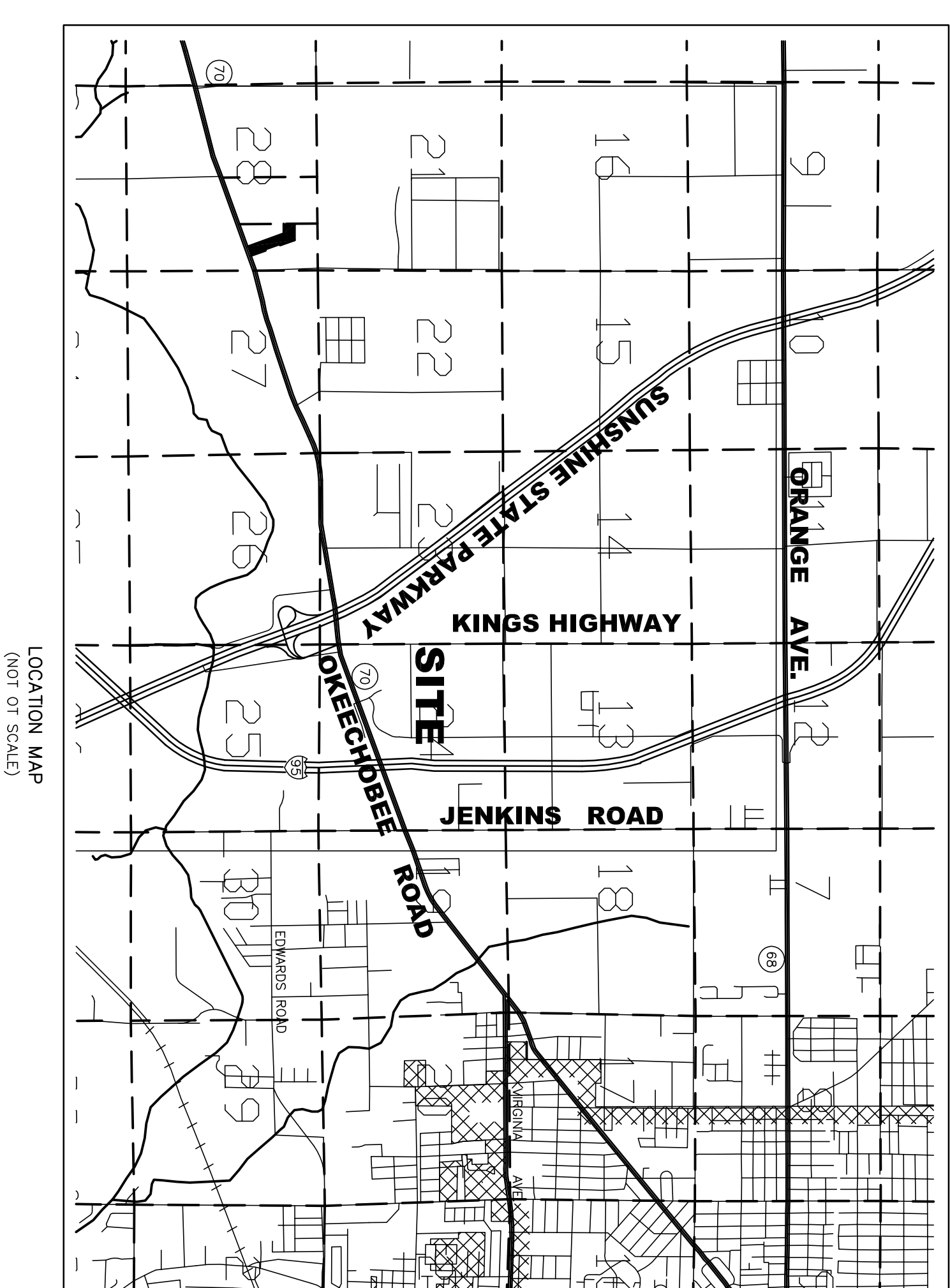
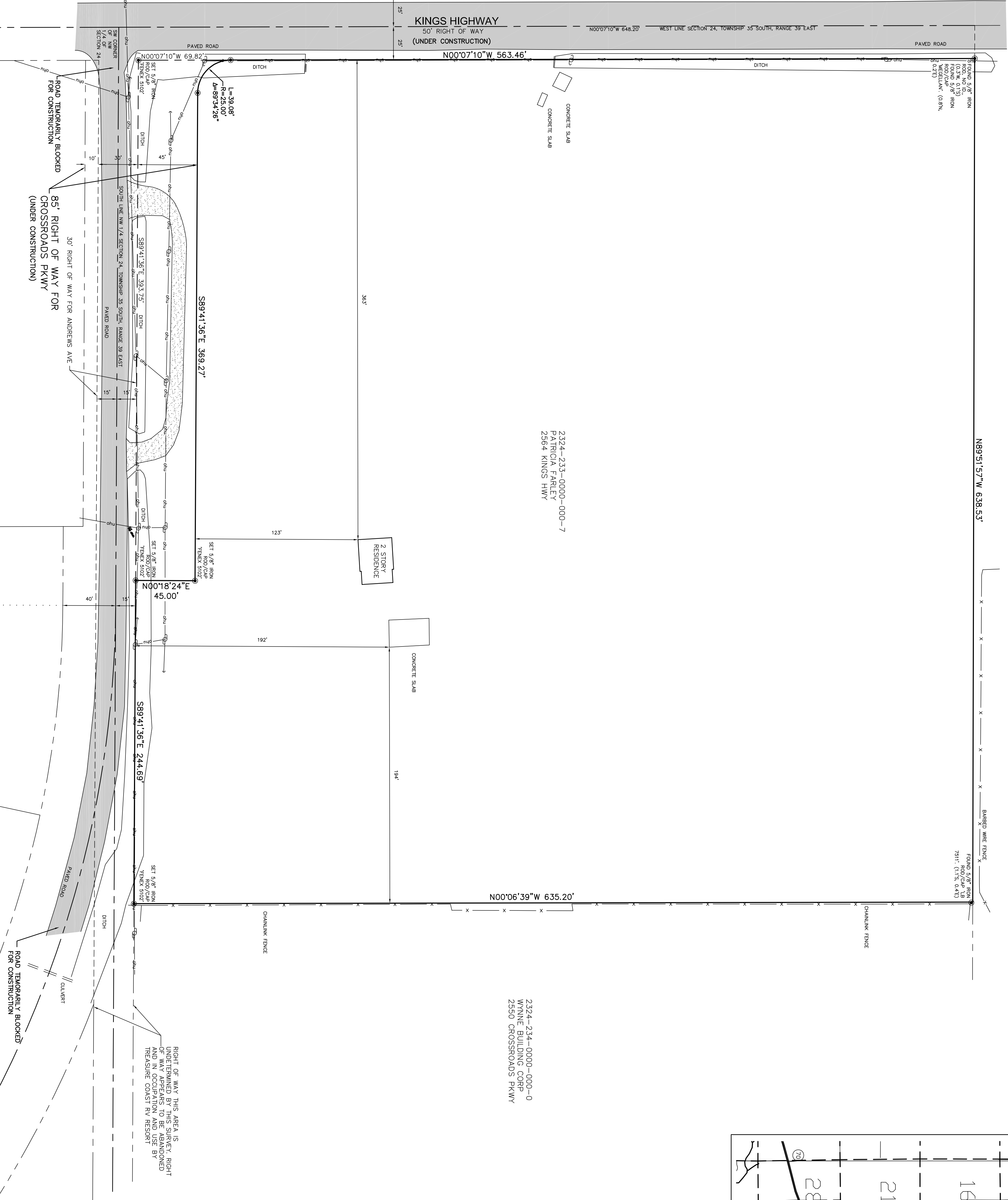
**AREA NOTES:**

GROSS AREA SUBJECT PARCELS: 4,307.296 SQ.FT. (9.89 ACRES)  
NET AREA SUBJECT PARCELS: 2,574.521 SQ.FT. (5.92 ACRES)  
LESS RIGHT OF WAY CROSSROADS: 17,859 SQ.FT. (0.41 ACRES)  
NET AREA SUBJECT PARCEL: 3,870.865 SQ.FT. (8.89 ACRES)

**BOUNDARY SURVEY**  
ST. LUCIE COUNTY, FLORIDA  
PARCEL IN SECTION 2, TOWNSHIP 35 SOUTH, RANGE 39 EAST

**LEGAL DESCRIPTION:**  
(PER O&B, BOOK 5176, PAGE 228)  
SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA.  
NOTE TO LEGAL DESCRIPTION: THIS PARCEL IS ALSO SHOWN AS TRACT 13 ON THE MAP OF RIGHT OF WAY PLANS FOR CROSSROADS AS FILED IN PLAT BOOK 3, PAGE 32, ON OCT 6, 1914, ST. LUCIE COUNTY PUBLIC RECORDS.

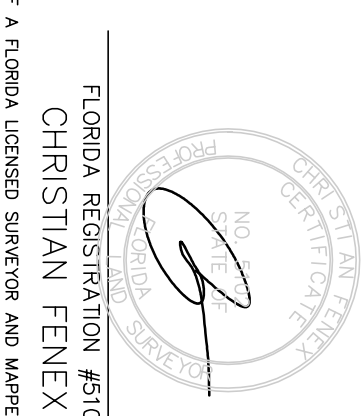
**RIGHT OF WAY NOTE:**  
RIGHT OF WAYS SHOWN ARE TAKEN FROM ST. LUCIE COUNTY TAX MAPS, PLAT OF ST. LUCIE COUNTY, FLORIDA, 1914, AND 1914, ST. LUCIE COUNTY PUBLIC RECORDS. PROPERTY APPEARERS' ON-LINE PARCELS.



LOCATION MAP  
(NOT TO SCALE)

DRAWING DATE: 2/2/2020  
FIELD DATE: 1/30/2020  
F.B. 15755  
SHEET NO. 220208L\_MALSH-419

CHRISTIAN FENEX AND ASSOCIATES, LLC  
PROFESSIONAL SURVEYING AND MAPPING  
ENVIRONMENTAL CONSULTING  
3901 SHOREWAY AVE., SUITE 101, TAMPA  
FL 33618  
PH: (772) 285-2977 EMAIL: FENEX@CELSURV.NET  
LICENSED BUSINESS # 6959



FLORIDA REGISTRATION #5102  
CHRISTIAN FENEX

# Walsh - Kings Highway

## Environmental Impact Report

Prepared For:

St Lucie County  
Environmental Resource Department

Prepared By:



10250 Village Parkway  
Port St. Lucie, FL 34987  
772-223-5200

## INTRODUCTION

The following environmental impact report has been prepared in accordance with Section 11.02.09(A) (5) of the St. Lucie County Land Development Code. The environmental impact report is required when the thresholds depicted in Section 11.02.09(A) (5) (a) are met. The property is located within Section 24, Township 35 South, Range 39 East, St. Lucie County, Florida. The property is further identified by St. Lucie County Property Appraiser as property identification number 3228-111-0002-000-4. The parcel is located at 2564 South Kings Highway, Fort Pierce, Florida. The overall site acreage of the parcel is  $\pm 8.90$  acres.

Currently, the site is being prepared with 30,000 square feet (sf) of RV storage and 100,000 sf of flex space upon approval of an annexation request to the City of Fort Pierce, but there is road access to the property via both South Kings Highway and Crossroad Parkway. As part of the building application and annexation process, this property will require and Environmental Impact Report (EIR). See enclosed site plan as prepared by EDC, Inc. as well.

Based on section 11.02.09(A) (5) of the St. Lucie County Land Development Code, the environmental impact report shall completely depict the following:

### **1. A vegetation and substrate survey including:**

#### **a) Extent and acreage of any areas in which vegetation typical of the primary dune extends landward of the Coastal Construction Control Line;**

The parcel is located at 2564 South Kings Highway, Fort Pierce, Florida. The overall site acreage of the parcel is  $\pm 8.90$  acres. No dune areas exist or Coastal Construction Control Lines.

#### **b) Extent and acreage of all marsh and mangrove forest areas, including substrate conditions;**

No marsh or mangrove forest areas exist on the parcel. The substrate consists of Riviera fine sand, Floridana sand, and Winder loamy sand; both of which consist of nearly level and poorly drained soil that will tolerate standing water. Water control structures are usually necessary.

#### **c) Extent and acreage of all upland hammock forests; and,**

No upland hammock forests or other native Florida uplands exist on the parcel. The upland areas on the property consist of hardwoods and Brazilian pepper in an Abandoned Grove (FLUCCS #224). The parcel also contains minimal cabbage palms and other oaks. The eastern perimeter of the parcel is dominated by Brazilian pepper. The parcel is reflective of the historic use as an agricultural site, apparent by remnant shallow furrows.

Protected trees within the upland area consist of Cabbage Palms and Live Oaks.

Identified uplands carry the following FLUCCS classification:

# 224 Abandoned Groves: ±8.90 acres total

The vegetation observed in the upland includes:

Live Oak (*Quercus virginiana*)  
Cabbage Palm (*Sabal palmetto*)  
Brazilian pepper (*Schinus terbinthifolius*)

**d) Extent and acreage of all wetlands.**

No wetlands exist on the parcel.

**2. A statement of jurisdictional control over the environmental area.**

The applicant has submitted environmental impact application to the St. Lucie County ERD, and City of Fort Pierce.

**3. A statement on when the jurisdictional boundaries were delineated and who delineated the boundaries.**

There are no State jurisdictional wetlands are present on the parcel.

**4. Indicate the required first floor elevation, and whether all floor elevations will be above this level.**

The proposed finished floor elevations will be set at or above the results of the 100-year 3-day storm analysis or predetermined flood elevations as published by FEMA. Whichever elevation is greater will be used to set the primary structure and any additional habitable structures. These elevations will be determined during the detailed design construction plan development process and submitted to all required permitting agencies for review and approval. We estimate finished floor elevations to be somewhere between 2-3 feet above existing property grades.

**5. The identification of any area that has experienced overwash of the primary dune.**

Not Applicable.

**6. The identification of any area subject to breach during storm conditions.**

Not Applicable.

**7. An assessment of the impacts upon onsite vegetation and wildlife.**

The upland areas on the property will be impacted by construction; as the intended use is RV Storage and Flex Space. However, they do not contain critical native habitat or vegetation. Additionally, exotic vegetation will be removed from the site or killed in placed.

No Wildlife was observed on the parcel during the site visit. Due to the nature of the site, impacts to native wildlife will be minimal.

#### **8. An assessment of the impacts upon onsite and off-site natural resources.**

There will be overall onsite impacts. The majority of the impacted vegetation will consist of Brazilian pepper and low grasses, native and exotic. Trees qualifying for protection, i.e. Cabbage Palms, Live Oaks, will be mitigated as described in section 123-66 of City of Fort Pierce regulations.

The off-site natural resources affected by the proposed activity are minimal and will not cause fragmentation of natural lands. The immediate area to the east of the property consists of a trailer park HOA, and other commercial buildings to the south. Further north and northeast lies remnant agriculture land.

#### **9. A detailed description of the planned approach to minimize impacts.**

The applicant has minimized overall impacts to Preserve Areas through a tree survey. This survey identified and marked off native trees not to be impacted. The remaining impacts on the parcel will mainly be to exotic vegetation and low grasses.

#### **10. A detailed description of the proposed alterations or disturbances being proposed.**

The applicant proposes to construct a commercial development, intended for use of RV Storage and Flex Space. This will impact the non-native habitat with typical clearing and grading processes to the property's soil.

#### **11. A detailed description of the proposed mitigation plan to offset impacts.**

The applicant will follow the regulation in Section 123-66.d and mitigate for any native tree removed that is greater than 14 inches in diameter at breast height (DBH). Mitigation will also occur for any Cabbage Palms removed that have a clear trunk of 10 feet. Mitigation will occur using replacement trees of the same species, or similar species that have been approved for mitigation. The secondary option is to contribute a fee, calculated per inch of DBH, which varies depending on the type of tree.

#### **12. A plant and animal survey for onsite federal and state protected species.**

A preliminary plant and animal survey was conducted by EDC, Inc. in August 2020. No resident listed animal species were observed on the property. No listed plants were observed on the property.

#### **13. A surface water management plan and written assessment including a description of techniques to be used to prevent both the potential degradation of surface water resources and an increase in flood hazard damage.**

Stormwater design calculations will be completed per current South Florida Water Management District (SFWMD) design standards as outlined under the SFWMD Basis of Review.

**14. A sea turtle protection plan.**

A sea turtle protection plan is not applicable to this property.

**15. A shoreline stabilization plan.**

A shoreline stabilization plan is not applicable for this property.

**16. A gopher turtle protection plan.**

A gopher tortoise protection plan is not applicable for this property as no burrows were found.

# Appendix A

## Site Maps





### Environmental Impact Report

2564 S. Kings Hwy  
Fort Pierce, FL

### Location Map

Project: 20-222

Michael Lee Walsh GC

8/14/2020



### Project Location

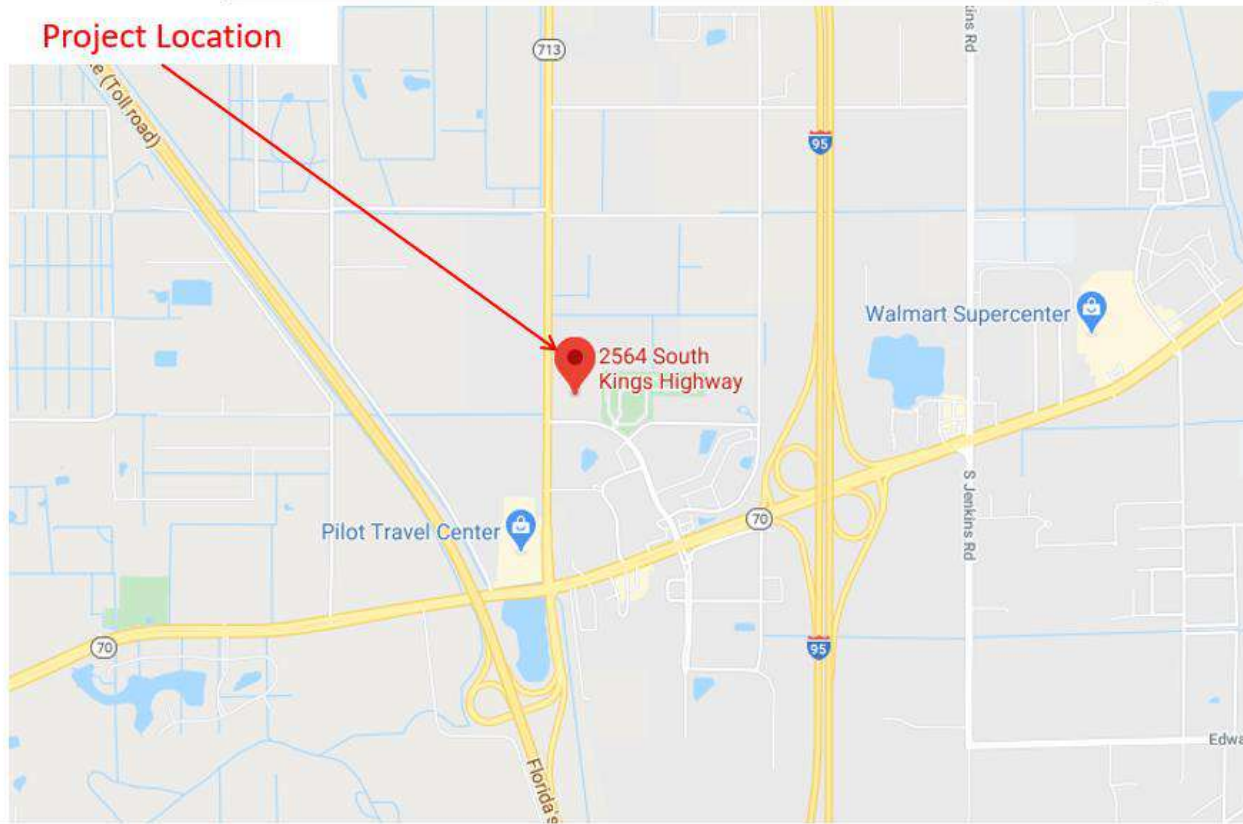


Figure 1. Location Map.



## Environmental Impact Report

2564 S. Kings Hwy  
Fort Pierce, FL

### Property Appraiser Map

Project: 20-222

Michael Lee Walsh GC

8/14/2020

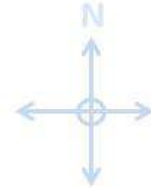


Figure 2. Site Map.



## Environmental Impact Report

2564 S. Kings Hwy  
Fort Pierce, FL

FLUCCS Map

Project: 20-222

Michael Lee Walsh GC

8/14/2020



**Figure 3. Existing Habitat/FLUCCS Map.**



ENGINEERS SURVEYORS ENVIRONMENTAL

## Environmental Impact Report

2564 S. Kings Hwy  
Fort Pierce, FL

### Soil Map

Project: 20-222

Michael Lee Walsh GC

8/14/2020

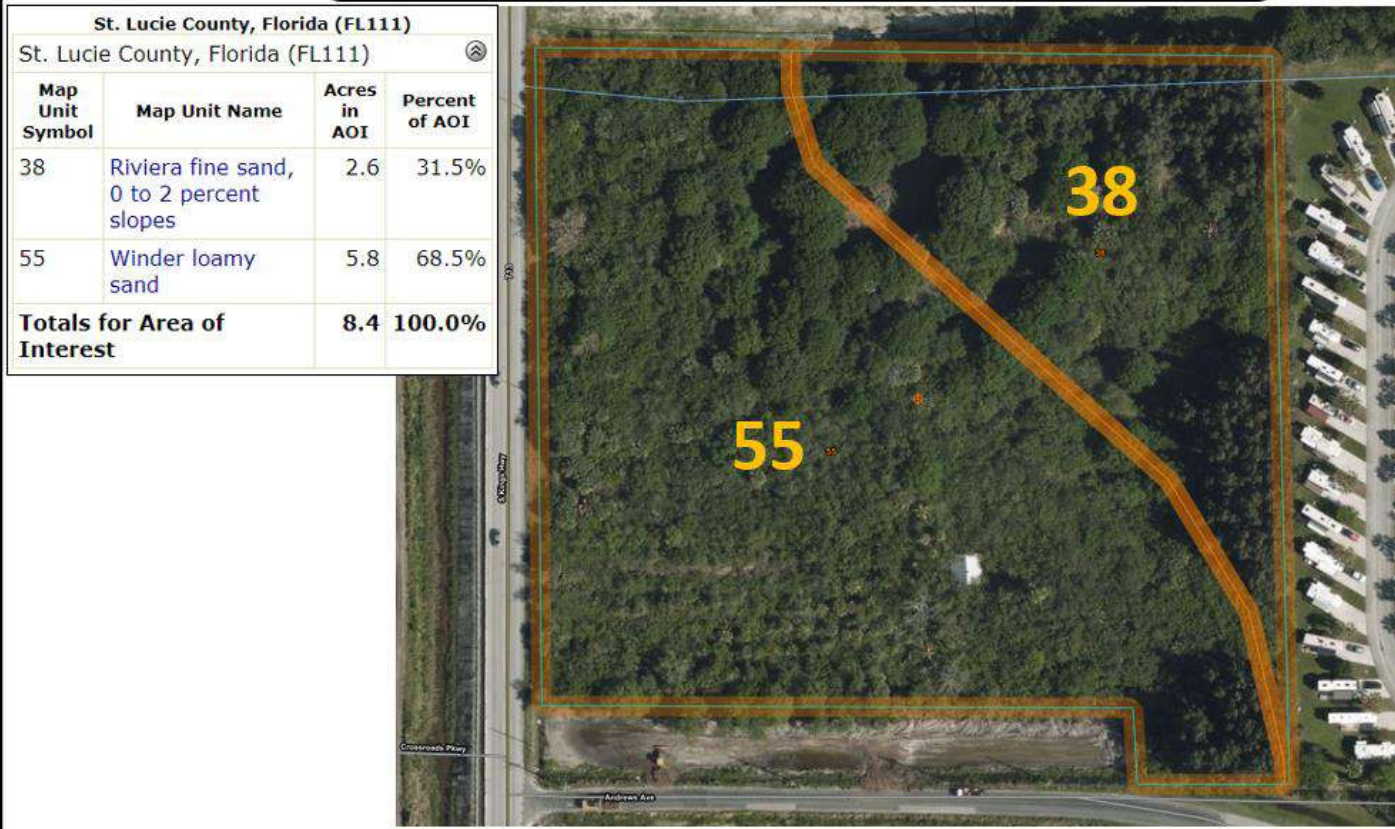


Figure 4. Soils Map.



## Environmental Impact Report

2564 S. Kings Hwy  
Fort Pierce, FL

Wildlife Survey Map

Project: 20-222

Michael Lee Walsh GC

8/14/2020



Figure 5. Wildlife Survey Map.



**O'ROURKE**  
ENGINEERING & PLANNING

**TRAFFIC ANALYSIS**

**FOR**

**Walsh Parcel**

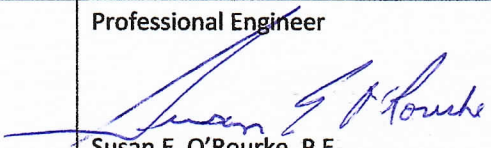
**Prepared for:**

**Ms. Patricia Sesta  
EDC, Inc.  
10250 SW Village Parkway, Suite 201  
Port St. Lucie, FL 34987**

**Prepared by:**

**O'Rourke Engineering & Planning  
22 SE Seminole Street  
Stuart, Florida 34994  
772-781-7918**

**November 12, 2020**

<p>Prepared by: O'Rourke Engineering &amp; Planning Certificate of Authorization: #26869 22 SE Seminole Street Stuart, Florida 34994 772-781-7918</p>	<p>Professional Engineer  Susan E. O'Rourke, P.E. Date signed and sealed: 11/12/2020 License #: 42684</p>
---	---



**O'ROURKE**  
ENGINEERING & PLANNING

November 12, 2020

Ms. Patricia Sesta  
EDC, Inc.  
10250 SW Village Parkway, Suite 201  
Port St. Lucie, FL 34987

**Re: Walsh Parcel**

Dear Ms. Sesta:

O'Rourke Engineering & Planning has completed the analysis of the proposed commercial development located east of Kings Highway and north of Crossroads Parkway in Ft. Pierce, St. Lucie County, Florida. The steps in the analysis and the ensuing results are presented herein.

It has been a pleasure working with you. If you have any questions or comments, please give me a call.

Respectfully submitted,

**O'Rourke Engineering & Planning**

Susan E. O'Rourke, P.E.  
Registered Civil Engineer

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DRIVEWAY ANALYSIS/ REVIEW	10
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APPENDIX B: St. Lucie County 2019/2020 Level of Service Report and St. Lucie County 2014 Level of Service Report	
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## **INTRODUCTION**

O'Rourke Engineering & Planning was retained to prepare a traffic analysis for the proposed RV Storage commercial development located east of Kings Highway and north of Crossroads Parkway in Ft. Pierce, St. Lucie County, Florida. The purpose of this report is to determine the project's impact on the surrounding roadway system.

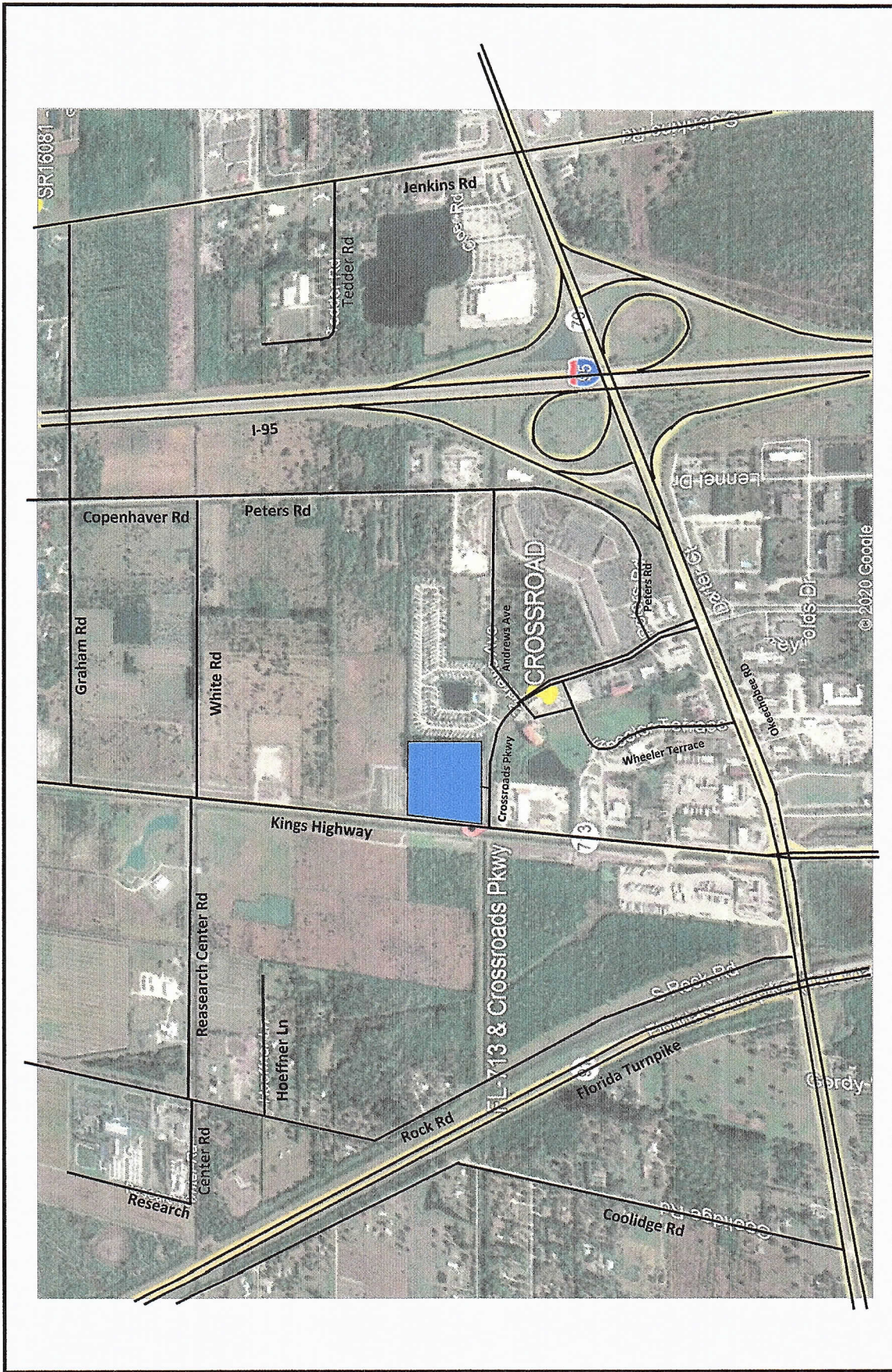
In order to make the determination that the project complies with County Concurrency Guidelines, the following analytical steps were taken:

- summary of the project
- summary of existing lane geometries
- summary of the existing traffic volumes
- assessment of project traffic
- determination of impact area
- summary of buildout cumulative traffic volumes
- summary of levels of service with the project traffic added


Each of these steps is outlined herein.

## **PROJECT DESCRIPTION**

The proposed development located east of Kings Highway and north of Crossroads Parkway located in Ft. Pierce, St. Lucie County, Florida, will consist of a 121,938 square foot RV Storage /Mini Warehouse on approximately 8.8 acres. The site is currently vacant. The project location is shown in **Figure 1**.



**Figure 1**  
Project Location  
Walsh

**Legend**  
 = Project Location



22 SE Seminole Street  
Stuart, FL 34994

Date: 10-28-20



NTS

Job Number: SR20103.0

## **EXISTING CONDITIONS**

The study area is defined as the roadways upon which the project has an impact of 3% of the level of service capacity of the roadway and 1% on the adjacent link. Once the project traffic was assigned, the study area was refined based on the impact percentages.

The study area roadways were defined in terms of existing lane geometrics and existing traffic volumes.

### **Existing Lane Geometrics and Traffic Control**

The study area was reviewed to determine the existing number and type of lanes, and the traffic control along the roadway. Each roadway is described below.

- Crossroads Parkway is a two-lane divided collector road from Okeechobee Road to Andrews Avenue. From Andrews Avenue to Kings Highway it is two-lane undivided.
- Kings Highway is a two-lane principal arterial with a north/south alignment it is included in the St. Lucie County 5-year TIP to be widened to a four-lane divided roadway. The road is currently under construction.
- Okeechobee Road is a multi-lane divided arterial roadway with an east/west alignment. It is four-lane divided west of Kings Highway and east of Virginia Avenue. It is six-lane divided from Rolyat Street to Virginia Avenue and from Kings Highway to I-95. There is an eight-lane divided section from east of I-95 to Rolyat Street. There are numerous extended turn lanes and freeway auxiliary lanes.

### **Existing Traffic Volumes/ Service Volume**

Traffic volumes were obtained from the St. Lucie County TPO Traffic Counts and Level of Service Report Fall/Winter 2019/2020 and FDOT. The count data along with the number of lanes and the associated peak hour/peak direction service volumes will be summarized in the upcoming sections of the report. The service volumes were developed based on the functional classification contained in the County Comprehensive Plan and the St. Lucie County Traffic Counts and Level of Service Report. The St. Lucie TPO 2019/2020 Level of Service Report was used to establish capacity. This document is included in **Appendix B**.

## **PROJECT TRAFFIC**

To estimate future traffic generated by the development, the ITE Trip Generation, 10th Edition trip rates were applied to Mini Warehouse. These calculations are shown in **Tables 1a, 1b, and 1c**.

Trip generation reference material are included in the latter half of Appendix B.

As shown, the project will generate 184 net new daily trips. There will be 12 net new AM peak hour trips with 7 entering the project and 5 trips exiting the project. There will be 21 net new PM peak hour trips with 10 trips entering the project and 11 trips exiting the project.

## **PROJECT DISTRIBUTION/ ASSIGNMENT/IMPACT**

The project traffic was distributed by general geographic direction and then assigned to the roadway network.

**Distribution/ Assignment** – This general distribution led to an assignment of trips based on the anticipated ultimate destinations and the roadway paths used to reach those destinations. The project assignment is shown in **Figure 2**.

**Impact** – **Tables 2a and 2b** summarize the project impact as a percent of service volume capacity. Significant is defined as 1% or more on an adjacent link and 3% or more on all other links. As shown, the project is insignificant on the links.

**Table 1 - Trip Generation**

**Table 1a: Daily**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Mini Warehousing	151	121,938	Sft	T = 1.51(X)	50%		92	92	184
<b>TOTALS</b>							<b>92</b>	<b>92</b>	<b>184</b>

Source: ITE 10th Edition Trip Generation Rates

**Table 1b: AM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Mini Warehousing	151	121,938	Sft	T = 0.10(X)	60%	40%	7	5	12
<b>TOTALS</b>							<b>7</b>	<b>5</b>	<b>12</b>

Source: ITE 10th Edition Trip Generation Rates

**Table 1c: PM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Net New Trips		
					In	Out	In	Out	Total
Mini Warehousing	151	121,938	Sft	T = 0.17(X)	47%	53%	10	11	21
<b>TOTALS</b>							<b>10</b>	<b>11</b>	<b>21</b>

Source: ITE 10th Edition Trip Generation Rates

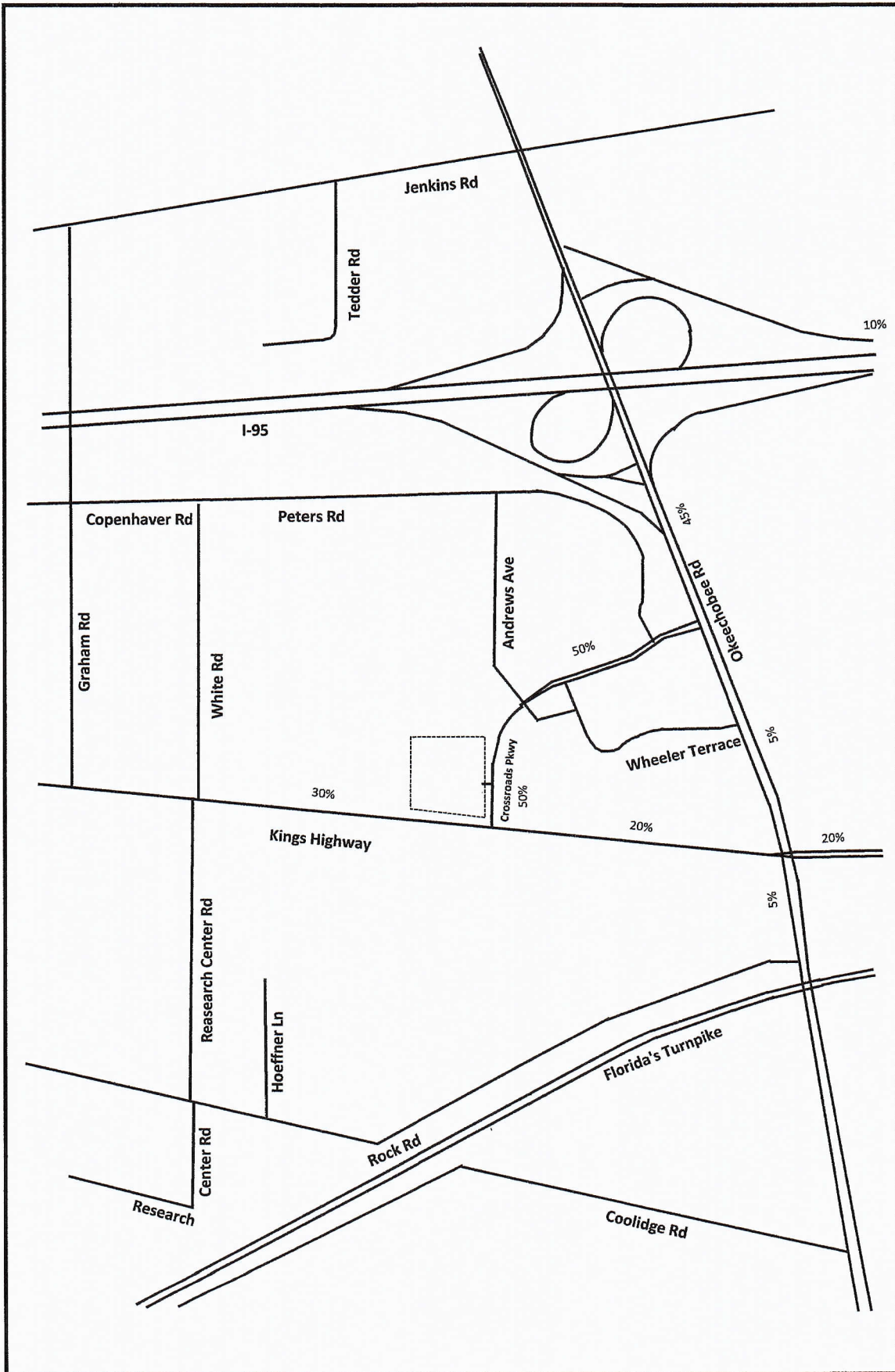


Figure 2  
Percent Assignment  
Walsh

Legend  
□ = Project Location



22 SE Seminole Street  
Stuart, FL 34994

Date: 10-28-20



NTS

Job Number: SR20103.0

TABLE 2a - Project Percent Impact - AM

Segment	From	To	Direction	IN/OUT	(2) Greater than 3% (1% on Adjacent Links)	(1) Peak Hour Service Capacity	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Kings Hwy	Okeechobee Rd	Crossroads Pkwy	NB	IN	NO	830	1	0.12%	20%
	Okeechobee Rd	Crossroads Pkwy	SB	OUT	NO	830	1	0.12%	20%
	Crossroads Pkwy	Graham Rd	NB	OUT	NO	660	2	0.30%	30%
	Crossroads Pkwy	Graham Rd	SB	IN	NO	660	2	0.30%	30%
Crossroads Pkwy	Kings Hwy	Okeechobee Rd	EB	OUT	NO	790	3	0.38%	50%
	Kings Hwy	Okeechobee Rd	WB	IN	NO	790	4	0.51%	50%
Okeechobee Rd	I - 95	Crossroads Pkwy	EB	OUT	NO	4170	2	0.05%	45%
	I - 95	Crossroads Pkwy	WB	IN	NO	4170	3	0.07%	45%
	Kings Hwy	Crossroads Pkwy	EB	IN	NO	4170	0	0.00%	5%
	Kings Hwy	Crossroads Pkwy	WB	OUT	NO	4170	0	0.00%	5%

(1) St. Lucie County 2019/2020 Traffic Counts and LOS Report

(2) According to the Guidelines prepared by the TPO and modified by the City and County

Two-Way: 12  
 Net In: 7  
 Net Out: 5

TABLE 2b - Project Percent Impact - PM

Segment	From	To	Direction	IN/OUT	(2) Greater than 3% (1% on Adjacent Links)	(1) Peak Hour Service Capacity	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Kings Hwy	Okeechobee Rd	Crossroads Pkwy	NB	IN	NO	830	2	0.24%	20%
	Okeechobee Rd	Crossroads Pkwy	SB	OUT	NO	830	2	0.24%	20%
	Crossroads Pkwy	Graham Rd	NB	OUT	NO	660	3	0.45%	30%
	Crossroads Pkwy	Graham Rd	SB	IN	NO	660	3	0.45%	30%
Crossroads Pkwy	Kings Hwy	Okeechobee Rd	EB	OUT	NO	790	6	0.76%	50%
	Kings Hwy	Okeechobee Rd	WB	IN	NO	790	5	0.63%	50%
Okeechobee Rd	I - 95	Crossroads Pkwy	EB	OUT	NO	4170	5	0.12%	45%
	I - 95	Crossroads Pkwy	WB	IN	NO	4170	5	0.12%	45%
	Kings Hwy	Crossroads Pkwy	EB	IN	NO	4170	1	0.02%	5%
	Kings Hwy	Crossroads Pkwy	WB	OUT	NO	4170	1	0.02%	5%

(1) St. Lucie County 2019/2020 Traffic Counts and LOS Report

(2) According to the Guidelines prepared by the TPO and modified by the City and County

Two-Way: 21  
 Net In: 10  
 Net Out: 11

## **OTHER PROJECT TRAFFIC/GROWTH RATE**

Traffic volumes on Crossroads Parkway were grown using an area wide 3-year historical growth rate of 18.11%. The growth rate was calculated using available TPO data from 2014 to 2017, at the link of Crossroads Parkway from Kings Highway to Okeechobee Road. The growth rate was applied out 6 years to estimate 2023.

Details of the growth rate calculation are included in **Appendix C**.

## **LINK ANALYSIS / REVIEW**

The adjacent link of Crossroads Parkway from Kings Highway to Okeechobee Road was not significant, but was analyzed further to ensure it will meet concurrency. **Tables 3a and 3b** summarize the results of the link analysis. As shown, the roadway will operate at acceptable levels of service at project buildout.

TABLE 3a - Link Analysis - AM

Segment	From	To	Direction	IN/OUT	<sup>(1)</sup> Greater than 3% (1% on Adjacent Links)	AAADT 2017	<sup>(1)</sup> 2017 Peak Hour Directional Volumes	<sup>(2)</sup> Growth Rate	2023 AM Peak Hour + Growth	2023 Growth Peak Direction	Peak Hour Service Capacity	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity-Peak Hour	Does Project Meet Concurrency?	Project Percent Assignment
Crossroads Pkwy	Kings Hwy	Okeechobee Rd	EB	OUT	NO	2142	108	18.11%	293	293	790	3	296	0.38%	YES	50%
	Kings Hwy	Okeechobee Rd	WB	IN	NO	2142	108	18.11%	293	293	790	4	297	0.51%	YES	50%

(1) St. Lucie County 2019/2020 Traffic Counts and LOS Report

(2) Area Wide Historical Growth

(3) According to the Guidelines prepared by the TPO and modified by the City and County

Two-Way: 12  
 Net In: 7  
 Net Out: 5  
 Years Grown: 6

TABLE 3b - Link Analysis - PM

Segment	From	To	Direction	IN/OUT	<sup>(1)</sup> Greater than 3% (1% on Adjacent Links)	AAADT 2017	<sup>(1)</sup> 2017 Peak Hour Directional Volumes	<sup>(2)</sup> Growth Rate	2023 PM Peak Hour + Growth	2023 Growth Peak Direction	Peak Hour Service Capacity	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity-Peak Hour	Does Project Meet Concurrency?	Project Percent Assignment
Crossroads Pkwy	Kings Hwy	Okeechobee Rd	EB	OUT	NO	2142	107	18.11%	290	290	790	6	296	0.76%	YES	50%
	Kings Hwy	Okeechobee Rd	WB	IN	NO	2142	107	18.11%	290	290	790	5	295	0.63%	YES	50%

(1) St. Lucie County 2019/2020 Traffic Counts and LOS Report

(2) Area Wide Historical Growth

(3) According to the Guidelines prepared by the TPO and modified by the City and County

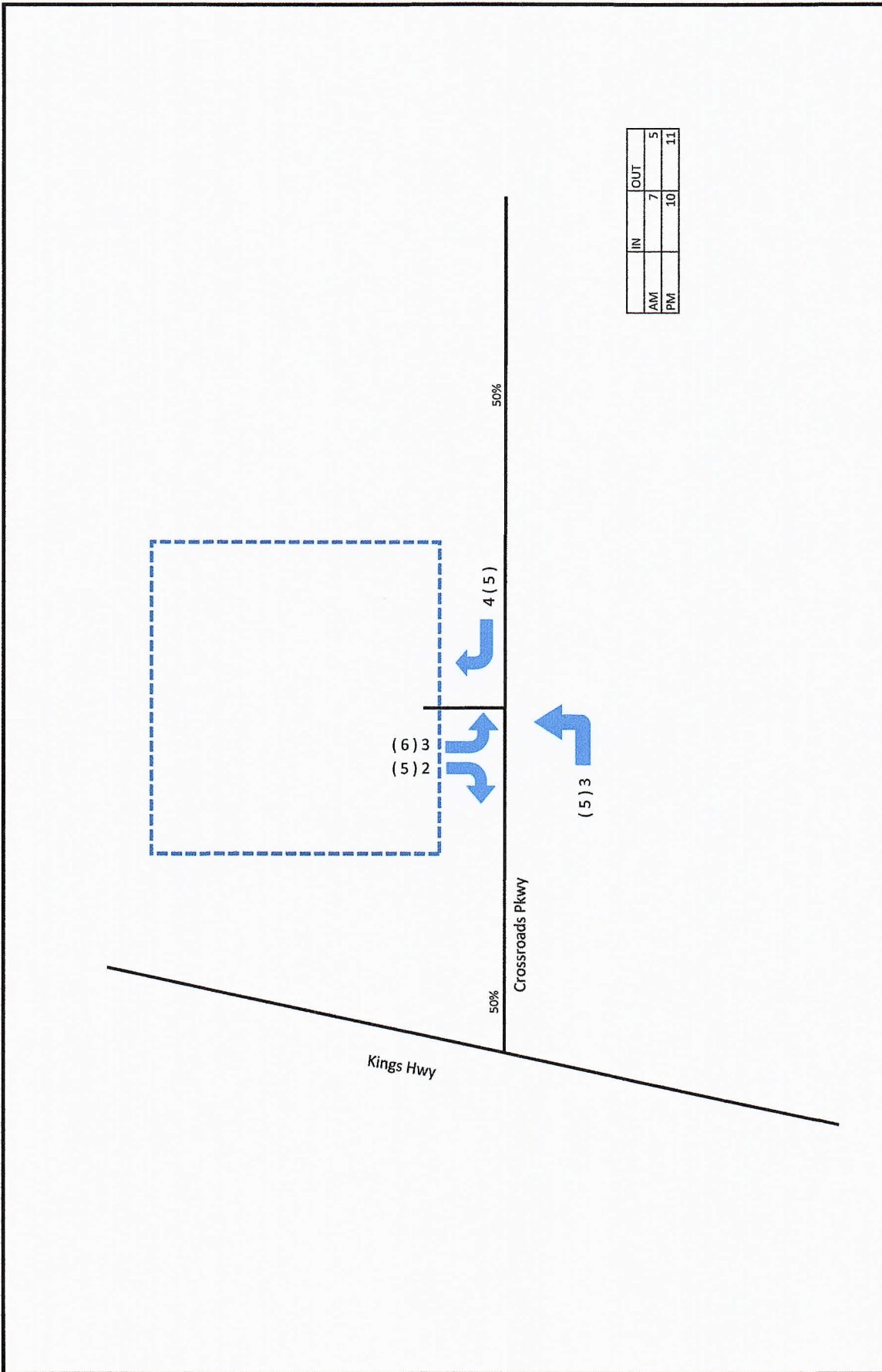
Two-Way: 21  
 Net In: 10  
 Net Out: 11  
 Years Grown: 6

## **DRIVEWAY ANALYSIS**

The project takes access from one full access driveway on Crossroads Parkway. The project volumes are shown on **Figure 3**. No turn lanes are required or recommended.

## **CONCLUSION**

The Walsh Kings Highway RV Storage with 184 daily trips, 12 net AM peak hour trips and 21 net PM peak hour trips will have insignificant impact on the network. All links and intersections operate at acceptable levels of service. Therefore, the project meets the requirements for concurrency.



	IN	OUT
AM	7	5
PM	10	11

**Figure 3**  
**Driveway Volumes**  
 Walsh

**Legend**  
 XX (XX) = AM (PM)  
 = Project Location

**O'ROURKE**  
 ENGINEERING & PLANNING  
 22 SE Seminole Street  
 Stuart, FL, 34994  
 Date: 10-28-20

NTS  
 Job Number: SR20103.0

**APPENDIX A**

**SITE PLAN**



10330 VILLAGE PARKWAY  
PORT ST. LUCIE, FL 34987  
772-622-2465

ST. LUCIE COUNTY  
L.A. CONTRACTORS OF AUTOMATED SERVICES  
10000 W. UNIVERSITY BLVD.  
SUITE 200  
PORT ST. LUCIE, FL 34987

NO.	DESCRIPTION	DATE
1	PRELIMINARY	08/14/13
2	REVISED	08/14/13
3	REVISED	08/14/13
4	REVISED	08/14/13
5	REVISED	08/14/13
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7	REVISED	08/14/13
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100	REVISED	08/14/13

# WALSH - KINGS HIGHWAY PROPERTY

## MAJOR CONCEPT PLAN

ST. LUCIE COUNTY, FLORIDA

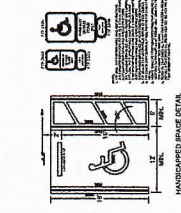


20-222

1 OF 1

**LEGEND**

(Symbol)	EXISTING CONCRETE
(Symbol)	PROPOSED CONCRETE
(Symbol)	EXISTING ASPHALT
(Symbol)	PROPOSED ASPHALT
(Symbol)	PROPOSED PAVING



**GENERAL NOTES:**  
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 3. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.  
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
 5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
 7. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.  
 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.  
 9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

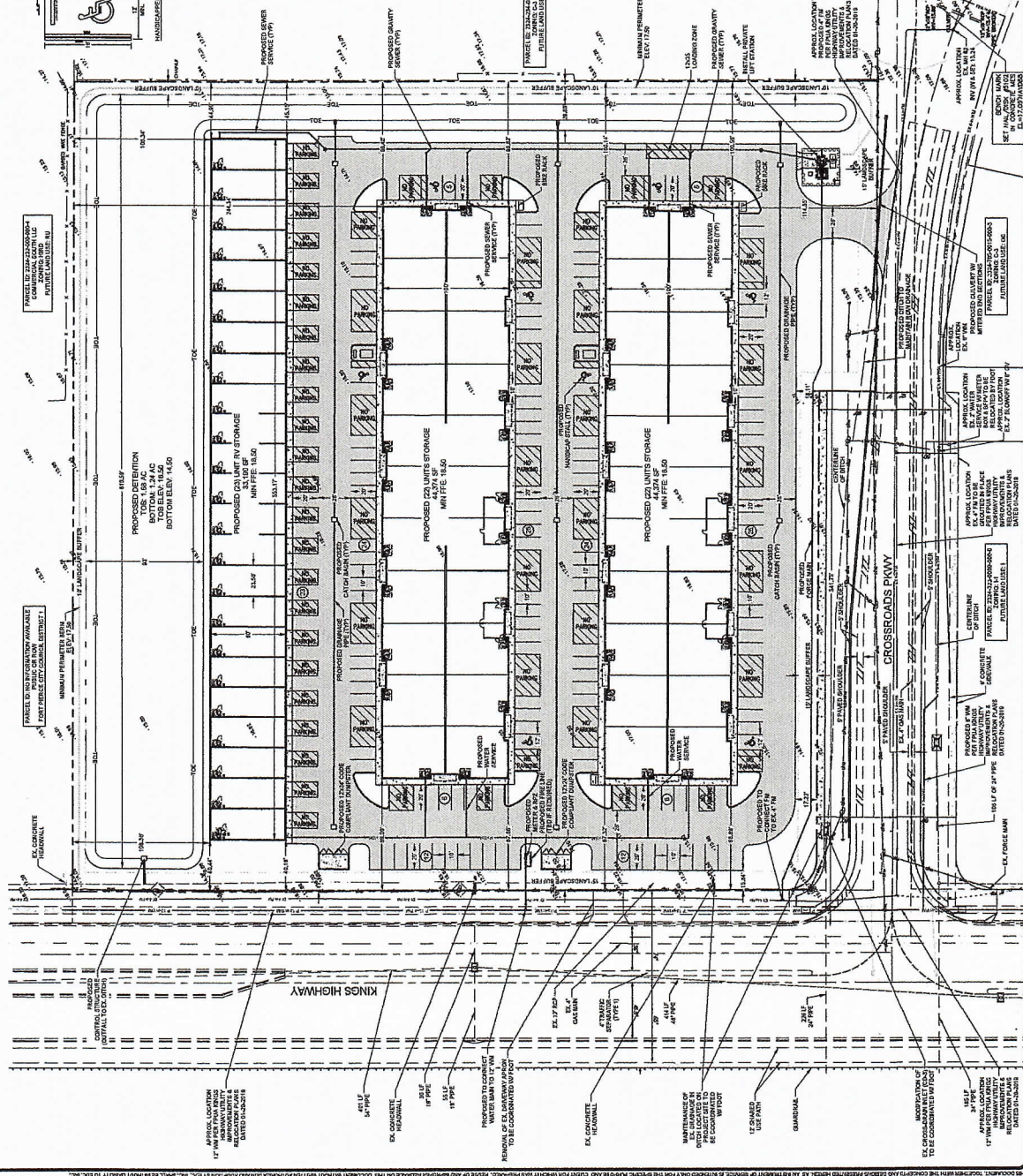
**LEGAL DESCRIPTION:**  
 QUARTER 34, TOWNSHIP 26 SOUTH, RANGE 30 EAST, ST. LUCIE COUNTY, FLORIDA. THIS PARCEL IS ALSO SHOWN AS TRACT 13 ON THE MAP DATED 08/14/13 AND IS SUBJECT TO THE EASEMENT AND COVENANTS SET FORTH IN PARAGRAPHS 1.1 THROUGH 1.4 OF THE DEED TO THE PARCEL DATED 08/14/13.

**PROPOSED DEVELOPMENT:**  
 1. TOTAL DEVELOPMENT AREA: 17.0 ACRES  
 2. TOTAL DEVELOPMENT AREA: 17.0 ACRES  
 3. TOTAL DEVELOPMENT AREA: 17.0 ACRES  
 4. TOTAL DEVELOPMENT AREA: 17.0 ACRES  
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 9. TOTAL DEVELOPMENT AREA: 17.0 ACRES  
 10. TOTAL DEVELOPMENT AREA: 17.0 ACRES

**UTILITIES:**  
 1. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
 3. ALL UTILITIES SHALL BE MAINTAINED AT ALL TIMES.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 5. ALL UTILITIES SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

**TRAFFIC STATEMENTS:**  
 THE ESTIMATE OF TRAFFIC GENERATION FOR THE PROPOSED DEVELOPMENT IS BASED ON THE TRAFFIC GENERATION RATES FOR THE PROPOSED PROJECT AS A TOTAL OF 1.0 PER DAY. THE ESTIMATE OF TRAFFIC GENERATION IS BASED ON THE TRAFFIC GENERATION RATES FOR THE PROPOSED PROJECT AS A TOTAL OF 1.0 PER DAY. THE ESTIMATE OF TRAFFIC GENERATION IS BASED ON THE TRAFFIC GENERATION RATES FOR THE PROPOSED PROJECT AS A TOTAL OF 1.0 PER DAY.

TRAFFIC TYPE	PER HOUR	PER DAY	PER YEAR
TRUCK	10	240	87,600
BUS	10	240	87,600
PASSENGER	10	240	87,600
TOTAL	30	720	253,800



THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

**APPENDIX B**

**ST. LUCIE COUNTY TPO TRAFFIC COUNTS AND LEVEL OF SERVICE REPORT FALL/WINTER  
2019/2020,  
ST. LUCIE COUNTY TPO TRAFFIC COUNTS AND LEVEL OF SERVICE REPORT 2014**

**Traffic Counts and Level of Service Report**  
**Fall/Winter 2019/2020**

Roadway Name	Location	STATION ID	AADT	Last Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
COUNTRY CLUB DR	ST LUCIE WEST BLVD to CALIFORNIA BLVD	725	8,300	2019	1,710	535	C	0.695	489	C	0.635
CROSSTOWN PKWY	COMMERCE CENTER DR to I-95	650	16,233	2016	3,170	1,008	C	0.326	865	C	0.280
CROSSTOWN PKWY	I-95 to CALIFORNIA BLVD	651	24,500	2020	3,170	1,290	C	0.417	1,244	C	0.403
CROSSTOWN PKWY	CALIFORNIA BLVD to CASHMERE BLVD	652	25,000	2020	3,170	1,299	C	0.420	1,395	C	0.451
CROSSTOWN PKWY	CASHMERE BLVD to CAMEO BLVD	653	26,500	2019	3,170	1,256	C	0.406	1,307	C	0.423
CROSSTOWN PKWY	CAMEO BLVD to BAYSHORE BLVD	654	30,500	2019	3,170	1,502	C	0.486	1,556	C	0.504
CROSSTOWN PKWY	BAYSHORE BLVD to AIROSO BLVD	655	25,000	2020	3,170	1,320	C	0.427	1,384	C	0.448
CROSSTOWN PKWY	AIROSO BLVD to SANDIA DR	656	5,400	2016	3,170	348	C	0.118	297	C	0.101
CROSSTOWN PKWY	SANDIA DR to MANTH LN	657	6,400	2016	3,170	344	C	0.117	360	C	0.122
CROSSTOWN PKWY	FLORESTA DR to US 1	66	25,500	2019	3,170	1,967	C	0.637	1,723	C	0.558
CROSSROADS PKWY	OKEECHOBEE RD to KINGS HWY	649	2,142	2017	790	108	C	0.277	107	C	0.274
DARWIN BLVD	BECKER RD to PAAR DR	235	7,298	2018	630	728	F	1.156	642	F	1.019
DARWIN BLVD	PAAR DR to TULIP BLVD	235	7,298	2018	920	728	C	0.837	642	C	0.738
DARWIN BLVD	TULIP BLVD to PORT ST LUCIE BLVD	659	13,500	2019	920	673	C	0.774	708	C	0.814
DEL RIO BLVD	PORT ST LUCIE BLVD to CALIFORNIA BLVD	311	8,100	2019	920	633	C	0.728	570	C	0.655
DEL RIO BLVD	CALIFORNIA BLVD to CASHMERE BLVD	660	8,400	2019	880	512	C	0.617	508	C	0.612
DEL RIO BLVD	CASHMERE BLVD to CALIFORNIA BLVD	661	4,800	2017	880	281	C	0.339	294	C	0.354
DELAWARE AVE	HARTMAN RD to 33RD ST	662	1,667	2016	600	259	C	0.863	208	C	0.693
DELAWARE AVE	33RD ST to 25TH ST	500	3,118	2017	1,710	207	C	0.269	237	C	0.308
DELAWARE AVE	25TH ST to OKEECHOBEE RD	948526	3,122	2017	1,220	144	C	0.197	144	C	0.197
DELAWARE AVE	OKEECHOBEE RD to 13TH ST	663	12,000	2020	790	657	D	0.832	611	D	0.773
DELAWARE AVE	13TH ST to 10TH ST	664	7,402	2017	750	497	D	0.663	411	D	0.548
DELAWARE AVE	10TH ST to 7TH ST	664	7,402	2017	600	497	D	0.828	411	D	0.665
DELAWARE AVE	7TH ST to US 1	665	7,200	2020	750	390	D	0.520	402	D	0.536
EAST TORINO PKWY	CASHMERE BLVD to TORINO PKWY	710	11,500	2020	830	716	C	0.918	653	C	0.837

\* Note: A six digit number in the "STATION ID" column identifies segment counted by FDOT  
 \* Volumes shown were adjusted using FDOT Seasonal Factors  
 \* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)  
 \* Counts with an ID format of 6 digits have data extracted from FDOT count stations.

**Traffic Counts and Level of Service Report  
Fall/Winter 2019/2020**

Roadway Name	Location	STATION ID	AADT	Last Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
JOHNSTON RD	RUSSOS RD to INDIAN RIVER C.L.	135	9,600	2020	1,070	544	C	0.716	545	C	0.717
JUANITA AVE	53RD ST to 25TH ST	122	2,432	2017	750	157	C	0.424	143	C	0.386
JUANITA AVE	25TH ST to US 1	120	3,321	2017	750	185	C	0.500	182	C	0.492
KEEN RD	ANGLE RD to JUANITA AVE	129	2,885	2019	630	174	C	0.290	203	C	0.338
KEEN RD	JUANITA AVE to ST LUCIE BLVD	129	2,885	2019	630	174	C	0.290	203	C	0.338
KINGS HWY	OKEECHOBEE RD to CROSSROADS PKWY	940757	8,234	2017	830	361	C	0.435	369	C	0.445
KINGS HWY	CROSSROADS PKWY to GRAHAM RD	940757	8,234	2017	660	361	C	0.547	369	C	0.559
KINGS HWY	GRAHAM RD to PICOS RD	940076	8,216	2017	660	405	C	0.614	389	C	0.589
KINGS HWY	PICOS RD to ORANGE AVE	940076	8,216	2017	830	405	C	0.488	389	C	0.469
KINGS HWY	ORANGE AVE to ANGLE RD	940077	16,792	2017	870	885	D	0.962	890	D	0.967
KINGS HWY	ANGLE RD to ST LUCIE BLVD	940751	11,394	2017	830	627	C	0.755	630	C	0.759
KINGS HWY	ST LUCIE BLVD to INDRIO RD	940006	13,481	2017	830	836	D	0.950	786	C	0.947
KITTERMAN RD	OLEANDER AVE to US 1	124	3,402	2018	750	224	C	0.605	203	C	0.549
KITTERMAN RD	US 1 to LENNARD EXT	678	2,250	2017	750	128	C	0.346	130	C	0.351
KIRBY LOOP RD	EDWARDS RD to 35TH ST	677	4,479	2016	630	296	C	0.493	362	C	0.603
LENNARD RD	US 1 to MARIPOSA AVE	325	18,500	2019	1,710	953	D	0.557	984	D	0.575
LENNARD RD	MARIPOSA AVE to MELALEUCA BLVD	325	18,500	2019	1,710	953	D	0.557	984	D	0.575
LENNARD RD	MELALEUCA BLVD to JENNINGS RD	325	18,500	2019	1,630	953	D	0.585	984	D	0.604
LENNARD RD	JENNINGS RD to HILLMOOR DR	325	18,500	2019	1,710	953	D	0.557	984	D	0.575
LENNARD RD	HILLMOOR DR to TIFFANY AVE	325	18,500	2019	1,710	953	D	0.557	984	D	0.575
LENNARD RD	TIFFANY AVE to WALTON RD	323	5,765	2016	1,710	301	C	0.391	305	C	0.396
LENNARD RD	WALTON RD to S OF SAVANNA CLUB BLVD	679	4,455	2016	790	390	C	10	381	C	0.977
LYNGATE DR	VETERANS MEMORIAL PKWY to MORNINGSIDE BLVD	306	9,400	2020	920	588	C	0.676	626	C	0.720
LYNGATE DR	MORNINGSIDE BLVD to US 1	306	9,400	2020	920	588	C	0.676	626	C	0.720
MARIPOSA AVE	LENNARD RD to HALLAHAN ST	166	6,400	2019	880	485	C	0.584	686	C	0.827

\* Note: A six digit number in the "STATION ID" column identifies segment counted by FDOT

\* Volumes shown were adjusted using FDOT Seasonal Factors

\* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

\* Counts with an ID format of 6 digits have data extracted from FDOT count stations.

**Traffic Counts and Level of Service Report  
Fall/Winter 2019/2020**

Roadway Name	Location	STATION ID	AADT	Last Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
OHIO AVE	SUNRISE BLVD to COLONIAL RD	686	4,250	2017	540	252	C	0.933	246	C	0.911
OHIO AVE	COLONIAL RD to US 1	686	4,250	2017	750	252	C	0.681	246	C	0.665
OKEECHOBEE RD	OKEECHOBEE C.L. to BLUEFIELD RD	687	10,500	2020	1,010	540	B	0.535	528	B	0.523
OKEECHOBEE RD	BLUEFIELD RD to CARLTON RD	687	10,500	2020	1,270	540	B	0.425	528	B	0.416
OKEECHOBEE RD	CARLTON RD to SNEED RD	940039	6,541	2017	1,340	348	B	0.260	340	B	0.254
OKEECHOBEE RD	IDEAL HOLDING RD to HEADER CANAL RD	940039	6,541	2017	1,340	348	B	0.260	340	B	0.254
OKEECHOBEE RD	SNEED RD to IDEAL HOLDING RD	940039	6,541	2017	1,340	348	B	0.260	340	B	0.254
OKEECHOBEE RD	HEADER CANAL RD to MIDWAY RD	940039	6,541	2017	1,740	348	B	0.200	340	B	0.195
OKEECHOBEE RD	MIDWAY RD to SHINN RD	940039	6,541	2017	1,740	348	B	0.200	340	B	0.195
OKEECHOBEE RD	SHINN RD to MCCARTY RD	940195	6,025	2017	1,810	327	B	0.181	327	B	0.181
OKEECHOBEE RD	MCCARTY RD to FLORIDA'S TURNPIKE	940025	7,551	2017	1,810	378	B	0.209	391	B	0.216
OKEECHOBEE RD	FLORIDA'S TURNPIKE to KINGS HWY	940025	7,551	2017	2,010	378	C	0.188	391	C	0.195
OKEECHOBEE RD	KINGS HWY to CROSSROADS PKWY	940748	21,250	2017	4,170	960	C	0.230	1,013	C	0.243
OKEECHOBEE RD	CROSSROADS PKWY to I-95	940106	24,585	2017	4,170	1,063	C	0.255	1,086	C	0.260
OKEECHOBEE RD	I-95 to JENKINS RD	940029	30,244	2017	4,240	1,976	C	0.474	1,709	C	0.410
OKEECHOBEE RD	JENKINS RD to MCNEIL RD	940029	30,244	2017	4,040	1,976	C	0.498	1,709	C	0.430
OKEECHOBEE RD	MCNEIL RD to VIRGINIA AVE	940742	28,870	2017	3,170	1,580	C	0.511	1,649	C	0.534
OKEECHOBEE RD	VIRGINIA AVE to HARTMAN RD	688	12,500	2020	2,100	687	C	0.342	727	C	0.362
OKEECHOBEE RD	HARTMAN RD to 35TH ST	688	12,500	2020	1,630	687	C	0.941	727	C	0.996
OKEECHOBEE RD	35TH ST to 33RD ST	689	17,000	2020	1,630	922	D	0.566	902	D	0.553
OKEECHOBEE RD	33RD ST to 25TH ST	689	17,000	2020	1,630	922	D	0.566	902	D	0.553
OKEECHOBEE RD	25TH ST to GEORGIA AVE	690	13,500	2020	1,630	777	D	0.477	738	D	0.453
OKEECHOBEE RD	GEORGIA AVE to DELAWARE AVE	690	13,500	2020	1,710	777	D	0.454	738	C	0.958
OLD DIXIE HWY	US 1 to SR A1A NORTH	691	5,150	2017	790	400	D	0.506	363	C	0.931
OLD DIXIE HWY	SR A1A NORTH to ST LUCIE BLVD	948521	1,383	2017	750	65	C	0.176	65	C	0.176

\* Note: A six digit number in the "STATION ID" column identifies segment counted by FDOT

\* Volumes shown were adjusted using FDOT Seasonal Factors

\* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

\* Counts with an ID format of 6 digits have data extracted from FDOT count stations.

### Traffic Counts and Level of Service Report Fall 2014

Roadway Name	Location	AADT	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
				Volume	LOS	V/C	Volume	LOS	V/C
CAMEO BLVD	PORT ST LUCIE BLVD to CALIFORNIA BLVD	4,600	710	299	C	0.854	286	C	0.817
CAMEO BLVD	CALIFORNIA BLVD to CROSSTOWN PKWY	7,633	790	528	D	0.668	448	D	0.567
CAMPBELL RD	PICOS RD to ORANGE AVE	600	510	44	C	0.176	39	C	0.156
CANE SLOUGH RD	US 1 to LENNARD RD	9,178	1,710	510	C	0.662	528	C	0.686
CITRUS AVE	7TH ST to US 1	900	750	129	C	0.349	129	C	0.349
CITRUS AVE	US 1 to 2ND ST	4,020	790	239	C	0.613	244	C	0.626
CITRUS AVE	2ND ST to INDIAN RIVER DR	3,050	510	166	C	0.664	172	C	0.688
COMMUNITY BLVD	WESTCLIFFE LN to TRADITION PKWY	3,300	1,470	233	C	0.353	209	C	0.317
COMMERCE CENTER DR	CROSSTOWN PKWY to ST LUCIE WEST BLVD	2,600	1,710	162	C	0.210	143	C	0.186
COMMERCE CENTER DR	ST LUCIE WEST BLVD to GLADES CUT-OFF RD	4,400	510	233	C	0.932	261	D	0.512
CORTEZ BLVD	35TH ST to 25TH ST	4,300	710	0	B	0.000	0	B	0.000
CORTEZ BLVD	25TH ST to SUNRISE BLVD	2,400	710	159	C	0.454	148	C	0.423
COUNTRY CLUB DR	ST LUCIE WEST BLVD to CALIFORNIA BLVD	6,000	1,710	336	C	0.436	318	C	0.413
CROSSTOWN PKWY	COMMERCE CENTER DR to I-95	10,167	3,170	589	C	0.191	559	C	0.181
CROSSTOWN PKWY	I-95 to CALIFORNIA BLVD	14,333	3,170	899	C	0.291	868	C	0.281
CROSSTOWN PKWY	CALIFORNIA BLVD to CASHMERE BLVD	12,667	3,170	692	C	0.224	620	C	0.201
CROSSTOWN PKWY	CASHMERE BLVD to CAMEO BLVD	14,500	3,170	743	C	0.240	677	C	0.219
CROSSTOWN PKWY	CAMEO BLVD to BAYSHORE BLVD	16,667	3,170	779	C	0.252	792	C	0.256
CROSSTOWN PKWY	BAYSHORE BLVD to AIROSO BLVD	10,500	3,170	550	C	0.178	533	C	0.172
CROSSTOWN PKWY	AIROSO BLVD to SANDIA DR	7,233	3,170	410	C	0.133	406	C	0.131
CROSSTOWN PKWY	SANDIA DR to MANTH LN	5,333	920	269	C	0.309	292	C	0.336
CROSSTOWN PKWY	MANTH LN to FLORESTA DR	4,567	510	259	D	0.508	242	C	0.968
CROSSROADS PKWY	OKEECHOBEE RD to KINGS HWY	1,300	790	81	C	0.208	74	C	0.190
DARWIN BLVD	BECKER RD to PAAR DR	5,080	590	462	C	0.825	407	C	0.727
DARWIN BLVD	PAAR DR to TULIP BLVD	5,080	920	462	C	0.531	407	C	0.468
DARWIN BLVD	TULIP BLVD to PORT ST LUCIE BLVD	13,000	920	653	C	0.751	667	C	0.767
DEL RIO BLVD	PORT ST LUCIE BLVD to CALIFORNIA BLVD	10,000	920	605	C	0.695	544	C	0.625
DEL RIO BLVD	CALIFORNIA BLVD to CASHMERE BLVD	3,567	840	202	C	0.256	218	C	0.276
DEL RIO BLVD	CASHMERE BLVD to CALIFORNIA BLVD	4,300	840	237	C	0.300	277	C	0.351

\* Volumes shown were adjusted using FDOT Seasonal Factors

\* AADT = Annual Average Daily Traffic

## **APPENDIX C**

### **GROWTH RATE**

Historical Growth Rate Calculation

Segment	From	To	2014 AADT	2017 AADT	3 Year Historical Growth Rate
Crossroads Pkwy	Kings Hwy	Okeechobee Rd	1,300	2,142	18.11%
		Total	1,300	2,142	18.11%

\*Source: St Lucie TPO Traffic Counts and Level of Service Report Fall/Winter 2019/2020

## TECHNICAL MEMORANDUM

---

**TO: CITY OF FORT PIERCE BUILDING DEPARTMENT**  
**FROM: ANTHONY A. ADAMS, B.S.**  
**SUBJECT: 20-222 Walsh – Kings Highway**  
**DATE: SEPTEMBER 30, 2020**

---

### **Historical Report**

Due to the presence of a residential structure erected in 1940, this property required research to find if there were any cultural resources of historical significance. This parcel was cross-checked with the Florida State Historical Preservation Office and with St Lucie County Planner, Kori Benton, to search for records that would verify the potential existence of historically significant findings. This research and report are required by City of Fort Pierce. Attached, is correspondence from State Historical Preservation Office staff confirming there are no cultural resources at the subject property.



This record search is for informational purposes only and does NOT constitute a project review. This search only identifies resources recorded at the Florida Master Site File and does NOT provide project approval from the Division of Historical Resources. Contact the Compliance and Review Section of the Division of Historical Resources at [CompliancePermits@dos.MyFlorida.com](mailto:CompliancePermits@dos.MyFlorida.com) for project review information.

September 30, 2020



Tony Adams  
Sr. Biologist | Certified Arborist | Environmental



Engineering Design and Construction  
10250 Village Parkway  
Port St. Lucie FL 34987  
O: 772 223 5200 ext. 108

In response to your request of September 30, 2020, the Florida Master Site File lists no cultural resources recorded at following address:

2564 S. Kings Highway, Fort Pierce, Florida 34945

The Parcel ID# for the property is 2324-233-00000-000-7

When interpreting the results of this search, please consider the following information:

- **This search area may contain *unrecorded* archaeological sites, historical structures or other resources even if previously surveyed for cultural resources.**
- **Because vandalism and looting are common at Florida sites, we ask that you limit the distribution of location information on archaeological sites.**
- **While many of our records document historically significant resources, the documentation of a resource at the Florida Master Site File does not necessarily mean the resource is historically significant.**
- **Federal, state and local laws require formal environmental review for most projects. This search DOES NOT constitute such a review. If your project falls under these laws, you should contact the Compliance and Review Section of the Division of Historical Resources at 850-245-6333.**

#

Please do not hesitate to contact us if you have any questions regarding the results of this search.

Kind Regards,

A handwritten signature in black ink, reading "Eman M. Vovsi". The signature is written in a cursive style with a large, decorative flourish at the end.

Eman M. Vovsi, Ph.D.  
Sr. Data Base Analyst  
Florida Master Site File  
[Eman.Vovsi@DOS.MyFlorida.com](mailto:Eman.Vovsi@DOS.MyFlorida.com)

**Technical Review Committee -  
Teleconference**

**1. b.**

Meeting Date: 12/17/2020

---

**REQUESTED ACTION**

Conditional Use – Acor Recycling – 1121 Digiorgio Road

**LOCATION**

1121 Digiorgio Road

**RESPONSIBLE STAFF**

Vennis Gilmore, Planner

**RECOMMENDATION**

N/A

---

**Attachments**

TRC Memo Packet

Application & Supporting Docs

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**Form Review**

Form Started By: Vennis Gilmore  
Final Approval Date: 12/03/2020

Started On: 12/03/2020 05:32 PM



---

**TO:** TECHNICAL REVIEW COMMITTEE  
**FROM:** VENNIS GILMORE, PLANNER  
**RE:** TECHNICAL REVIEW PROJECT# 20-04000024  
**MEETING DATE:** DECEMBER 17, 2020

---

**Conditional Use – Acor Recycling – 1121 Digiorgio Road**

The above referenced **Conditional Use w/ No New Construction** is being submitted for your review and comments. The request seeks to establish a Recycling Center. The subject site is zoned Light Industrial Zone (I-1) with a Future Land Use of Industrial (I). Per City Code Section 125-187. – Allowed Uses; Waste-Related Uses/Recycling Centers are classified as a Conditional Use in the Light Industrial Zone (1-1). The Recycling Center is approximately 42,000 gross sq. ft. The subject site location has approximately a total of 13.84 acres.

Please review and provide two copies of comments on the project. Please send all comments to the following emails [vgilmore@cityoffortpierce.com](mailto:vgilmore@cityoffortpierce.com), [arosenthal@cityoffortpierce.com](mailto:arosenthal@cityoffortpierce.com), or through interoffice mail to the Planning Department. If you have comments please respond in a timely manner before the date of the Technical Review Committee Meeting.

Please do not hesitate to contact me should you require any additional information at 772-467-3741.

Thank you.

Vennis Gilmore, Planner



11/27/2020

Vennis Gilmore  
City of Fort Pierce Planning Department  
100 North U.S. 1 Fort Pierce, FL 34950

Re: Conditional Use Application

Vennis,

Enclosed please find 3 hard copies and one electronic copy of the Conditional Use Application and related documents for the property at 1121 Digiorgio Rd as well as the check for the advertising mailing & sign fees.

I will follow up with you Monday morning to make sure everything is in order.

Thank you for your kind assistance. Please do not hesitate to contact me if you have any questions.

Fred

A handwritten signature in blue ink that reads 'Fred P. Mussari'. The signature is written in a cursive style and is positioned above a horizontal line.

Fred P. Mussari  
ACOR

# **TRAFFIC IMPACT STATEMENT**

For

**84 Lumber**

In

**The City of Ft. Pierce**


*Prepared for*

**84 LUMBER COMPANY, LP**

*Prepared By*

**Culpepper & Terpening, Inc.  
2980 South 25<sup>th</sup> Street  
Ft. Pierce, FL 34981**

**April 2007**

  
Stefan K. Matthes, P.E.  
Florida Reg. No. 38723

## 84 Lumber – Traffic Impact Study Executive Summary

### Project Description

- Location: North of Bell Avenue on Enterprise Drive
- Size: a 57,600 SF truss plant
- Major Area on Influence Boundaries: Edwards Road, South 25<sup>th</sup> Street, Midway Road, US Highway No. 1
- Significant Roads: Edwards Road, Bell Avenue, Oleander Avenue, Sunrise Boulevard
- Significant Intersections: Oleander Avenue & Edwards Road, Oleander Avenue & Bell Avenue, Sunrise Boulevard & Bell Avenue, Sunrise Boulevard & Edwards Road

### Project Traffic

- Trip Generation: "ITE Manual - Code 140" 57,600 SF
  - ADT = 203 Vehicles/day
  - AM Peak Hour = 30 Vehicles/peak hour
  - PM Peak Hour = 39 Vehicles/peak hour
- AM Peak Hour Directional %(Ingress/egress): 68% entering (20 vph)/32% exiting (10 vph).
- PM Peak Hour Directional %(Ingress/egress): 52% entering (20 vph)/48% exiting (19 vph).
- Traffic Count Factors Applied: 3% annual growth to 2013 build-out.
- Internal Capture: none
- Pass-by Capture: 0% (new trips = 100%)

### Findings

- The traffic impact of the proposed 84 Lumber truss plant will have a minimal effect on the levels of service within the project impact area. This report shows that the changes in the Level of Services are a function of the growth the study area will encounter through the 2013 horizon year and not a result of project traffic.
- Project impact will result in less than 2% impact on all links within the study area.
- The links on US Highway No. 1 south of Virginia Avenue, north and south of Midway Road will decrease in level of service when analyzed in 2013.
- In the PM Peak Directional condition, east of Sunrise Boulevard (east & west of the site) on Bell Avenue the level of service will decrease from C to D.
- The intersection of Sunrise Boulevard and Bell Avenue during the P.M. Peak Hour decreases in an overall Level of Service from B to C.

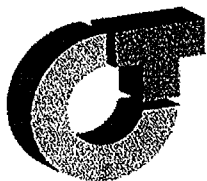
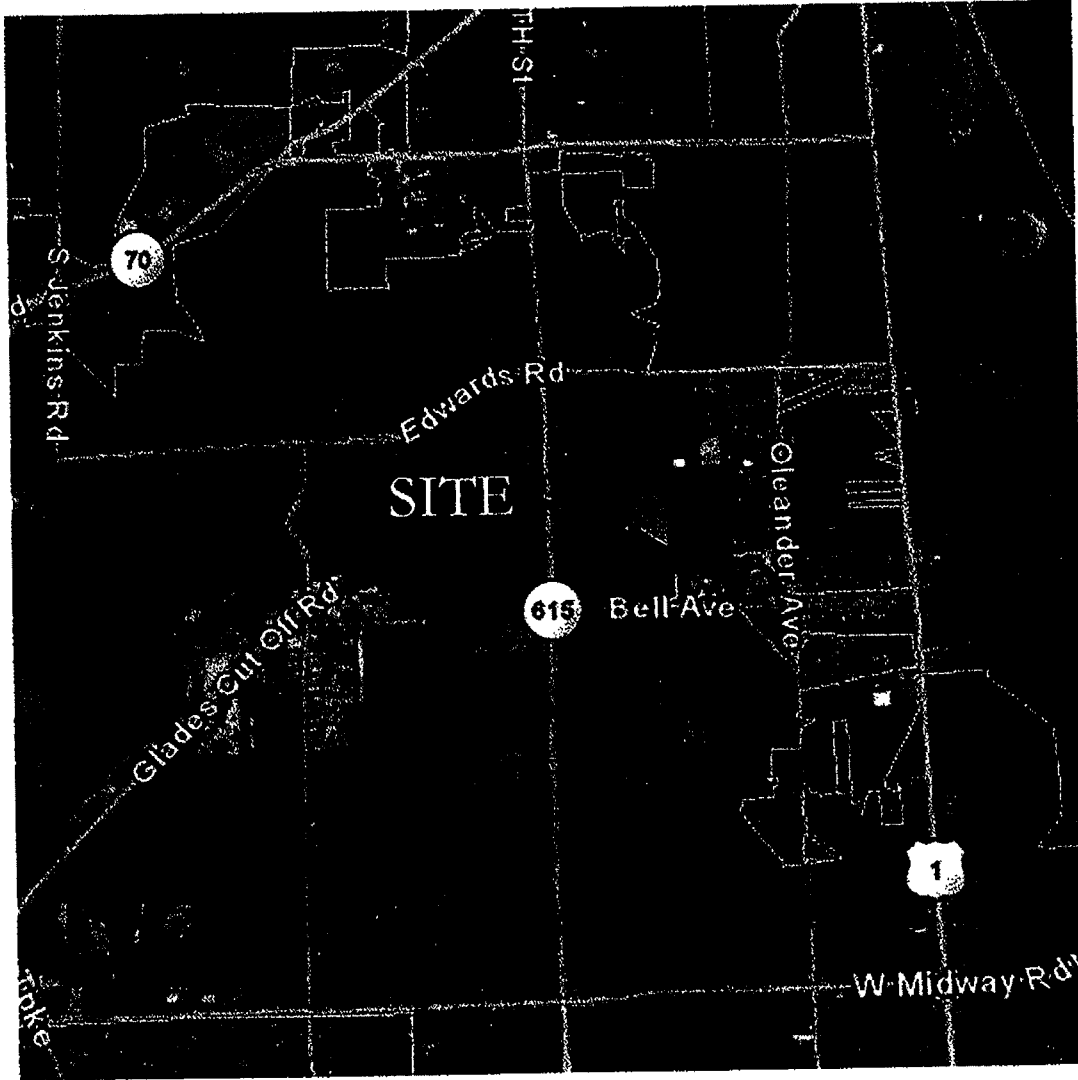
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### Project Description

The proposed project, 84 Lumber, is located northwest of Enterprise Road and Bell Avenue. The site can be accessed via Digiorgio Road off of Oleander Boulevard or Enterprise Road off of Bell Avenue. The sole project entrance will be along Enterprise Road. The project resides in an industrial area in St. Lucie County, Florida (See Figure No. 1, Location Map). The parcel ID number for the project is 2428-421-0002-000-7 and the proposed site contains approximately 13.84 acres. The site is located in Section 28, Township 35 South, Range 40 East, St. Lucie County, Florida. The proposed design calls for a 57,600 square foot truss plant.

In developing the Scope and Methodology of this report, it was determined that the impacts of project development will be analyzed in 2013 a forecast of 5 years after build-out condition.



**CULPEPPER & TERPENING, INC**  
CONSULTING ENGINEERS | LAND SURVEYORS

2980 SOUTH 25th STREET  
FORT PIERCE, FLORIDA 34981  
(772) 464-3537

STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4288

84 Lumber

Location Map

## Study Methodology

### Section A – Definition of Study Area

The study area as defined by the City of Fort Pierce Chapter 22.217.f2 shall be according to the table below:

Table I		
Size of Project	Trips Generated	Study Area
Minimal Scale	Trips 9-50	1.0 Mile Radius
Small Scale	Trips 51-100	1.5 Mile Radius
Intermediate Scale	Trips 101-500	2.0 Mile Radius
Medium Scale	Trips 501-1000	3.0 Mile Radius
Large Scale	Trips 1000-Up	5.0 Mile Radius

The Study Area includes all major roadways and intersections within the zone of influence. From the data collected in Table IV it has been determined that the 84 Lumber truss plant is an Intermediate Scale project. The study area shall include the following intersections:

- Sunrise Boulevard and Edwards Road
- Sunrise Boulevard and Bell Avenue
- Oleander Avenue and Edwards Road
- Oleander Avenue and Bell Avenue

### Section B – Inventory of Existing Facilities

#### Roadways:

##### Edwards Road

The Edwards Road Corridor located in the study area consists of a 4-lane divided roadway section containing two (2) 12' lanes in both the east and westbound directions. The existing right-of-way of Edwards Road is from 100' to 120' in width.

This corridor is classified as a State Two-Way Class I Arterial and is under the jurisdiction of the St. Lucie County. Edwards Road currently operates at a LOS B, based upon the Average Daily Volume as provided in the St. Lucie Urban Area Metropolitan Planning Organization Spring, 2005 Traffic Counts, applied to the generalized daily Level of Service maximum volumes for the Florida FDOT 2002 Quality / Level of Service Handbook as shown on Table 4-1.

### **Bell Avenue**

Bell Avenue consists of a 2-lane undivided rural roadway consisting of one (1) 10' lane eastbound and one (1) 10' lane westbound. The existing right-of-way of Bell Avenue is approximately 75' in width.

Bell Avenue is classified as an Other County Road under the jurisdiction of St. Lucie County. Bell Avenue corridor currently operates at a LOS C based upon the Average Daily Volume applied to the generalized daily Level of Service maximum volumes for the Florida FDOT 2002 Quality / Level of Service Handbook as shown on Table 4-1 and upon the Spring 2005 Traffic Volumes as established by the St. Lucie Urban Area MPO.

### **Weatherbee Road**

The portion of Weatherbee Road located in the study area consists of a 2-lane undivided rural roadway section containing one (1) 12' lane eastbound and one (1) 12' lane westbound. The existing right-of-way of Weatherbee Road within the study area is from 60' to 80' in width. The Weatherbee Road corridor is classified as a Major City/County Road and is under the jurisdiction of St. Lucie County. Weatherbee Road currently operates at a LOS C.

### **Midway Road**

The Midway Road Corridor within the defined study area in its existing condition consists of a 2-lane undivided roadway. Improvements will be made to the corresponding links and for the purpose of this study will be analyzed as a 4-lane divided corridor containing two (2) 12' lanes eastbound and two (2) 12' lanes westbound. On Midway Road additional right and left turn lanes are located at the intersection with U.S. Highway No. 1. The existing right-of-way of Midway Road is 65' to 86' in width.

This corridor is classified as a State Two-Way Class I Arterial and the portion of which is within the study area is under the jurisdiction of the FDOT. Midway Road currently operates at a LOS F west of Oleander Avenue, however this link is in the FDOT 5 year CIP and has approximately 12 million dollars budgeted for improvements as can be found in Appendix C. Midway Road east of U.S. Highway No. 1 has an existing LOS B.

### **25<sup>th</sup> Street**

25<sup>th</sup> Street is classified as a State Two-Way Arterial Interrupted Flow Class I roadway. The portion of 25<sup>th</sup> St, which is located within the study area, is currently under construction and will become a 4-lane divided rural roadway. All of the travel lanes will be 12 feet in width. The existing right-of-way varies from 80 to 120 foot in width.

25<sup>th</sup> Street is maintained by St. Lucie County and currently operates at LOS F south of Edwards Road. The LOS is based on the Annual Average Daily Traffic volumes as established in the "St. Lucie Urban Area Metropolitan Planning Organization Spring, 2005 Traffic Counts" and applied to the FDOT Generalized Daily Level of Service tables. Construction in the study area is approximately 50% complete.

### Sunrise Boulevard

Sunrise Boulevard located within the study area and consists of a 2-lane undivided rural roadway consisting of one (1) 10' lane northbound and one (1) 10' lane southbound. The existing right-of-way of Sunrise is approximately 60' in width.

Sunrise Boulevard is classified as a Major City/County Road and is under the jurisdiction of St. Lucie County. The Sunrise Boulevard corridor currently operates at a LOS C based upon the Average Daily Volume applied to the generalized daily Level of Service maximum volumes for the Florida FDOT 2002 Quality / Level of Service Handbook as shown on Table 4-1 and upon the Spring 2005 Traffic Volumes as established by the St. Lucie Urban Area MPO.

### Oleander Avenue

The portion of Oleander Avenue located in the study area consists of a 2-lane undivided rural roadway section containing one (1) 12' lane northbound and one (1) 12' lane southbound. The existing right-of-way of Oleander Avenue within the study area is from 66' to 100' in width.

The Oleander Avenue corridor is classified as a State Two-Way Class I -- Interrupted Flow Arterial and is under the jurisdiction of St. Lucie County. Oleander Avenue currently operates at a LOS C based upon the Average Daily Volume applied to the generalized daily Level of Service maximum volumes for the Florida FDOT 2002 Quality / Level of Service Handbook as shown on Table 4-1 and upon the Spring 2005 Traffic Volumes as established by the St. Lucie Urban Area MPO.

### US Highway No. 1

US Highway No. 1 within the defined study area currently consists of a 5-lane undivided roadway section containing two (2) 12' lanes northbound, two (2) 12' lanes southbound and a continuous common turn lane. For the purpose of this study US Highway No. 1 will be analyzed as a 6-lane divided roadway. The FDOT is reconstructing this roadway, as well as has budgeted another 12 million dollars in additional improvements from N. of Midway to N. of Edwards Road as can be found in Appendix C. The existing right-of-way of US Highway No. 1 is 80' to 150' in width. This roadway is classified as a State Two-Way Class I -- Interrupted Flow Arterial and a Class II - Interrupted Flow Arterial and is under the jurisdiction of the FDOT. US Highway No. 1 in its existing condition operates at a LOS F.

**TABLE 4 - 1  
GENERALIZED ANNUAL AVERAGE DAILY VOLUMES FOR FLORIDA'S  
URBANIZED AREAS\***

UNINTERRUPTED FLOW HIGHWAYS						
Lanes	Divided	Level of Service				
		A	B	C	D	E
2	Undivided	2,000	7,000	13,800	19,600	27,000
4	Divided	20,400	33,000	47,800	61,800	70,200
6	Divided	30,500	49,500	71,600	92,700	105,400

STATE TWO-WAY ARTERIALS							
Class I (>0.00 to 1.99 signalized intersections per mile)							
Lanes	Divided	Level of Service					
		A	B	C	D	E	
2	Undivided	**	4,200	13,800	16,400	18,900	
4	Divided	**	4,800	29,300	34,700	35,700	***
6	Divided	**	7,300	44,700	52,100	53,500	***
8	Divided	**	9,400	58,000	66,100	67,800	***

Class II (2.00 to 4.50 signalized intersections per mile)						
Lanes	Divided	Level of Service				
		A	B	C	D	E
2	Undivided	**	1,900	11,200	15,400	16,300
4	Divided	**	4,100	26,000	32,700	34,500
6	Divided	**	6,500	40,300	49,200	51,800
8	Divided	**	8,500	53,800	63,800	67,000

Class III (more than 4.5 signalized intersections per mile and not within primary city central business district of an urbanized area over 750,000)						
Lanes	Divided	Level of Service				
		A	B	C	D	E
2	Undivided	**	**	5,300	12,600	15,500
4	Divided	**	**	12,400	28,900	32,800
6	Divided	**	**	19,500	44,700	49,300
8	Divided	**	**	25,800	58,700	63,800

Class IV (more than 4.5 signalized intersections per mile and within primary city central business district of an urbanized area over 750,000)						
Lanes	Divided	Level of Service				
		A	B	C	D	E
2	Undivided	**	**	5,200	13,700	15,000
4	Divided	**	**	12,300	30,300	31,700
6	Divided	**	**	19,100	45,800	47,600
8	Divided	**	**	25,900	59,900	62,200

**FREEWAYS**

Interchange spacing  $\geq$  2 mi. apart

Lanes	Level of Service				
	A	B	C	D	E
4	23,800	39,600	55,200	67,100	74,600
6	36,900	61,100	85,300	103,600	115,300
8	49,900	82,700	115,300	140,200	156,000
10	63,000	104,200	145,500	176,900	196,400
12	75,900	125,800	175,500	213,500	237,100

Interchange spacing < 2 mi. apart

Lanes	Level of Service				
	A	B	C	D	E
4	22,000	36,000	52,000	67,200	76,500
6	34,800	56,500	81,700	105,800	120,200
8	47,500	77,000	111,400	144,300	163,900
10	60,200	97,500	141,200	182,600	207,600
12	72,900	118,100	170,900	221,100	251,200

**BICYCLE MODE**

(Note: Level of service for the bicycle mode in this table is based on roadway geometrics at 40 mph posted speed and traffic conditions, not number of bicyclists using the facility.) (Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)

Paved Shoulder/Bicycle Lane Coverage

Coverage	Level of Service				
	A	B	C	D	E
0-49%	**	**	3,200	13,800	>13,800
50-84%	**	**	2,500	4,100	>4,100
85-100%	**	**	3,100	7,200	>7,200

**PEDESTRIAN MODE**

(Note: Level of service for the pedestrian mode in this table is based on roadway geometrics at 40 mph posted speed and traffic conditions, not number of pedestrians using the facility.) (Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)

Sidewalk Coverage

Coverage	Level of Service				
	A	B	C	D	E
0-49%	**	**	**	6,400	15,500
50-84%	**	**	**	9,900	19,000
85-100%	**	**	2,200	11,300	>11,300

**BUS MODE (Scheduled Fixed Route)**

(Buses per hour)

(Note: Buses per hour shown are only for the peak hour in the single direction of the higher traffic flow.)

Sidewalk Coverage	Level of Service				
	A	B	C	D	E
0-84%	**	>5	>4	>3	>2
85-100%	>6	>4	>3	>2	>1

**ARTERIAL/NON-STATE ROADWAY ADJUSTMENTS  
DIVIDED/UNDIVIDED**

(after corresponding volume by the indicated percent)

Lanes	Median	Left Turns Lanes	Adjustment Factors	
			Yes	No
2	Divided	Yes	+5%	-20%
2	Undivided	No	-5%	-5%
Multi	Undivided	Yes	-5%	-25%
Multi	Undivided	No	-25%	-25%

**ONE-WAY FACILITIES**

Decrease corresponding two-directional volumes in this table by 40% to obtain the equivalent one directional volume for one-way facilities.

Source: Florida Department of Transportation Systems Planning Office  
605 Suwannee Street, MS 19  
Tallahassee, FL 32399-0450  
<http://www11.myfloridastate.com/planning/systems/sm/ios/default.htm>

\*This table does not constitute a standard and should be used only for general planning applications. The computer models from which this table is derived should be used for more specific planning applications. The table and deriving computer models should not be used for corridor or intersection design, where more refined techniques exist. Values shown are two-way annual average daily volumes (based on K<sub>100</sub> factors) for levels of service and are for the automobile/truck modes unless specifically stated. Level of service letter grade thresholds are probably not comparable across modes and, therefore, cross modal comparisons should be made with caution. Furthermore, combining levels of service of different modes into one overall roadway level of service is not recommended. The table's input values and level of service criteria appear on the following page. Calculations are based on planning applications of the Highway Capacity Manual, Bicycle LOS Model, Pedestrian LOS Model and Transit Capacity and Quality of Service Manual, respectively for the automobile/truck, bicycle, pedestrian and bus modes.  
\*\*Cannot be achieved using table input value default.  
\*\*\*Not applicable for that level of service letter grade. For automobile/truck modes, volumes greater than level of service D because intersection capacities have been reached. For bicycle and pedestrian modes, the level of service letter grade (including F) is not achievable, because there is no maximum vehicle volume threshold using table input value default.

**TABLE 4 - 7  
GENERALIZED PEAK HOUR DIRECTIONAL VOLUMES FOR FLORIDA'S  
URBANIZED AREAS\***

UNINTERRUPTED FLOW HIGHWAYS						FREEWAYS																																																																							
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Lanes Divided	A	B	C	D	E																																																																								
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2 Divided	**	**	1,120	1,620	1,720																																																																								
3 Divided	**	**	1,740	2,450	2,580																																																																								
Lanes	Median	Left Turns Lanes	Adjustment Factors																																																																										
1	Divided	Yes	+5%																																																																										
1	Undivided	No	-20%																																																																										
Multi	Undivided	Yes	-5%																																																																										
Multi	Undivided	No	-25%																																																																										
<p align="center">Other Signalized Roadways</p> <p align="center">(signalized intersection analysis)</p> <p align="center">Level of Service</p> <table border="1"> <tr><th>Lanes Divided</th><th>A</th><th>B</th><th>C</th><th>D</th><th>E</th></tr> <tr><td>1 Undivided</td><td>**</td><td>**</td><td>250</td><td>530</td><td>660</td></tr> <tr><td>2 Divided</td><td>**</td><td>**</td><td>580</td><td>1,140</td><td>1,320</td></tr> </table>						Lanes Divided	A	B	C	D	E	1 Undivided	**	**	250	530	660	2 Divided	**	**	580	1,140	1,320	<p align="center">ONE WAY FACILITIES</p> <p align="center">Increase corresponding volume 20%</p>																																																					
Lanes Divided	A	B	C	D	E																																																																								
1 Undivided	**	**	250	530	660																																																																								
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<p>Source: Florida Department of Transportation Systems Planning Office 605 Suwannee Street, MS 19 Tallahassee, FL 32399-0450 <a href="http://www11.myflorida.com/planning/systems/srn/los/default.htm">http://www11.myflorida.com/planning/systems/srn/los/default.htm</a></p>						<p align="right">02/22/02</p>																																																																							
<p>*This table does not constitute a standard and should be used only for general planning applications. The computer models from which this table is derived should be used for more specific planning applications. The table and deriving computer models should not be used for corridor or intersection design, where more refined techniques exist. Values shown are hourly directional volumes for levels of service and are for the automobile/truck modes unless specifically stated. Level of service letter grade thresholds are probably not comparable across modes and, therefore, cross modal comparisons should be made with caution. Furthermore, combining levels of service of different modes into one overall roadway level of service is not recommended. To convert to annual average daily traffic volumes, these volumes must be divided by appropriate D and K factors. The table's input value defaults and level of service criteria appear on the following page. Calculations are based on planning applications of the Highway Capacity Manual, Bicycle LOS Model, Pedestrian LOS Model and Transit Capacity and Quality of Service Manual, respectively for the automobile/truck, bicycle, pedestrian and bus modes.</p> <p>**Cannot be achieved using table input value defaults.</p> <p>***Not applicable for that level of service letter grade. For automobile/truck modes, volumes greater than level of service D become F because intersection capacities have been reached. For bicycle and pedestrian modes, the level of service letter grade (including F) is not achievable, because there is no maximum vehicle volume threshold using table input value defaults.</p>																																																																													

**Intersections:**

**Oleander Avenue and Edwards Road**

The intersection of Oleander Avenue and Edwards Road is signalized. The intersection geometry is as follows:

Eastbound	1 Lane	Left	Westbound	1 Lane	Left
	2 Lanes	Thru		1 Lanes	Thru
	1 Lane	Thru		1 Lane	Thru
Southbound	1 Lane	Left	Northbound	1 Lane	Left
	1 Lane	Thru/Rt		1 Lane	Thru/Rt

**Oleander Avenue & Bell Avenue**

The intersection of Oleander Avenue and Bell Avenue is an unsignalized "T" intersection with Bell Avenue being the leg of the "T". Bell Avenue is required to stop upon entering the intersection while traffic on Oleander Avenue is unrestricted. The intersection geometry is as follows:

Northbound	1 Lane	Lt/Thru	Southbound	1 Lane	Thru/Rt
Westbound	1 Lane	Left/Rt			

**Sunrise Boulevard and Bell Avenue**

The intersection of Sunrise Boulevard and Bell Avenue has mast arms installed with flashing red beacons and is currently used as a four way stop. The intersection geometry is as follows:

Eastbound	1 Lane	Lt/Th/Rt	Westbound	1 Lane	Lt/Th/Rt
Southbound	1 Lane	Lt/Th/Rt	Northbound	1 Lane	Lt/Thru
				1 Lane	Right

**Sunrise Boulevard and Edwards Road**

The intersection of Oleander Avenue and Edwards Road is signalized. The intersection geometry is as follows:

Eastbound	1 Lane	Left	Westbound	1 Lane	Left
	1 Lane	Thru		1 Lane	Thru
	1 Lane	Thru/Rt		1 Lane	Thru/Rt
Southbound	1 Lane	Left	Northbound	1 Lane	Left
	1 Lane	Thru		1 Lane	Thru
	1 Lane	Thru/Rt		1 Lane	Right

## Existing Traffic Conditions

The Peak Season Average Daily Traffic Volume for the roadway of the project area were obtained from the Spring 2005, St. Lucie Urban Area Metropolitan Planning Organization Counts, and augmented by Culpepper & Terpening, Inc. These counts include the committed trips as provided in the MPO data sheets.

Roadway	Station Number		Classification	LOS Capacity	ADT	Committed Trips	Total /LOS		
	MPO	IDs					Type	Lanes	
<b>Edwards Road</b>									
W. of US Hwy No. 1	173	E	CI	4 ln	35,700	9,000	-	9,000	B
W. of Oleander Ave	502	D	CI	4 ln	35,700	13,200	-	13,200	B
W. of Sunrise Blvd.	108	C	CI	4 ln	35,700	19,100	-	19,100	B
<b>Bell Avenue</b>									
E. of Sunrise Blvd. (E. of site)	102	K	OCR	2 ln	10,000	3,700	-	3,700	C
E. of Sunrise Blvd. (W. of site)	102	J	OCR	2 ln	10,000	3,700	-	3,700	C
W. of Sunrise Blvd.	104	I	OCR	2 ln	10,000	3,000	-	3,000	C
<b>Weatherbee Road</b>									
E. of US Hwy No.1 (W. of US hwy No. 1)	158	Q	Mc/Mc	2 ln	14,600	4,700	-	4,700	C
<b>Midway Road</b>									
W. of Oleander Ave	128	U	CI	4 ln	35,700	18,600	44	18,644	B
W. of Sunrise Blvd.	130	T	CI	4 ln	35,700	19,100	44	19,144	B
W. of 25th Street	132	S	CI	4 ln	35,700	13,900	88	13,988	B
W. of Selvitz Road	134	-	CI	4 ln	35,700	16,900	66	16,966	B
<b>25th Street</b>									
S. of Virginia Ave	21	A	CI	4 ln	35,700	19,400	-	19,400	B
N. of Midway Rd (N. of Bell Avenue)	171	B	CI	4 ln	35,700	16,100	-	16,100	B
N. of Midway Rd (S. of Bell Avenue)	171	N	CI	4 ln	35,700	16,100	-	16,100	B
S. of Midway Rd	172	R	CI	4 ln	35,700	15,400	-	15,400	B
N. of Airoso Blvd	345	-	CI	4 ln	35,700	17,200	-	17,200	B

## 84 Lumber – Traffic Impact Study Executive Summary

### **Project Description**

- Location: North of Bell Avenue on Enterprise Drive
- Size: a 57,600 SF truss plant
- Major Area on Influence Boundaries: Edwards Road, South 25<sup>th</sup> Street, Midway Road, US Highway No. 1
- Significant Roads: Edwards Road, Bell Avenue, Oleander Avenue, Sunrise Boulevard
- Significant Intersections: Oleander Avenue & Edwards Road, Oleander Avenue & Bell Avenue, Sunrise Boulevard & Bell Avenue, Sunrise Boulevard & Edwards Road

### **Project Traffic**

- Trip Generation: “TTE Manual - Code 140” 57,600 SF
  - ADT = 203 Vehicles/day
  - AM Peak Hour = 30 Vehicles/peak hour
  - PM Peak Hour = 39 Vehicles/peak hour
- AM Peak Hour Directional %(Ingress/egress): 68% entering (20 vph)/32% exiting (10 vph).
- PM Peak Hour Directional %(Ingress/egress): 52% entering (20 vph)/48% exiting (19 vph).
- Traffic Count Factors Applied: 3% annual growth to 2013 build-out.
- Internal Capture: none
- Pass-by Capture: 0% (new trips = 100%)

### **Findings**

- The traffic impact of the proposed 84 Lumber truss plant will have a minimal effect on the levels of service within the project impact area. This report shows that the changes in the Level of Services are a function of the growth the study area will encounter through the 2013 horizon year and not a result of project traffic.
- Project impact will result in less than 2% impact on all links within the study area.
- The links on US Highway No. 1 south of Virginia Avenue, north and south of Midway Road will decrease in level of service when analyzed in 2013.
- In the PM Peak Directional condition, east of Sunrise Boulevard (east & west of the site) on Bell Avenue the level of service will decrease from C to D.
- The intersection of Sunrise Boulevard and Bell Avenue during the P.M. Peak Hour decreases in an overall Level of Service from B to C.

**TRAFFIC IMPACT STATEMENT**

For

**84 Lumber**

In

**The City of Ft. Pierce**

*Prepared for*

**84 LUMBER COMPANY, LP**

*Prepared By*

Culpepper & Terpening, Inc.  
2980 South 25<sup>th</sup> Street  
Ft. Pierce, FL 34981

**April 2007**



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Stefan K. Matthes, P.E.  
Florida Reg. No. 38723

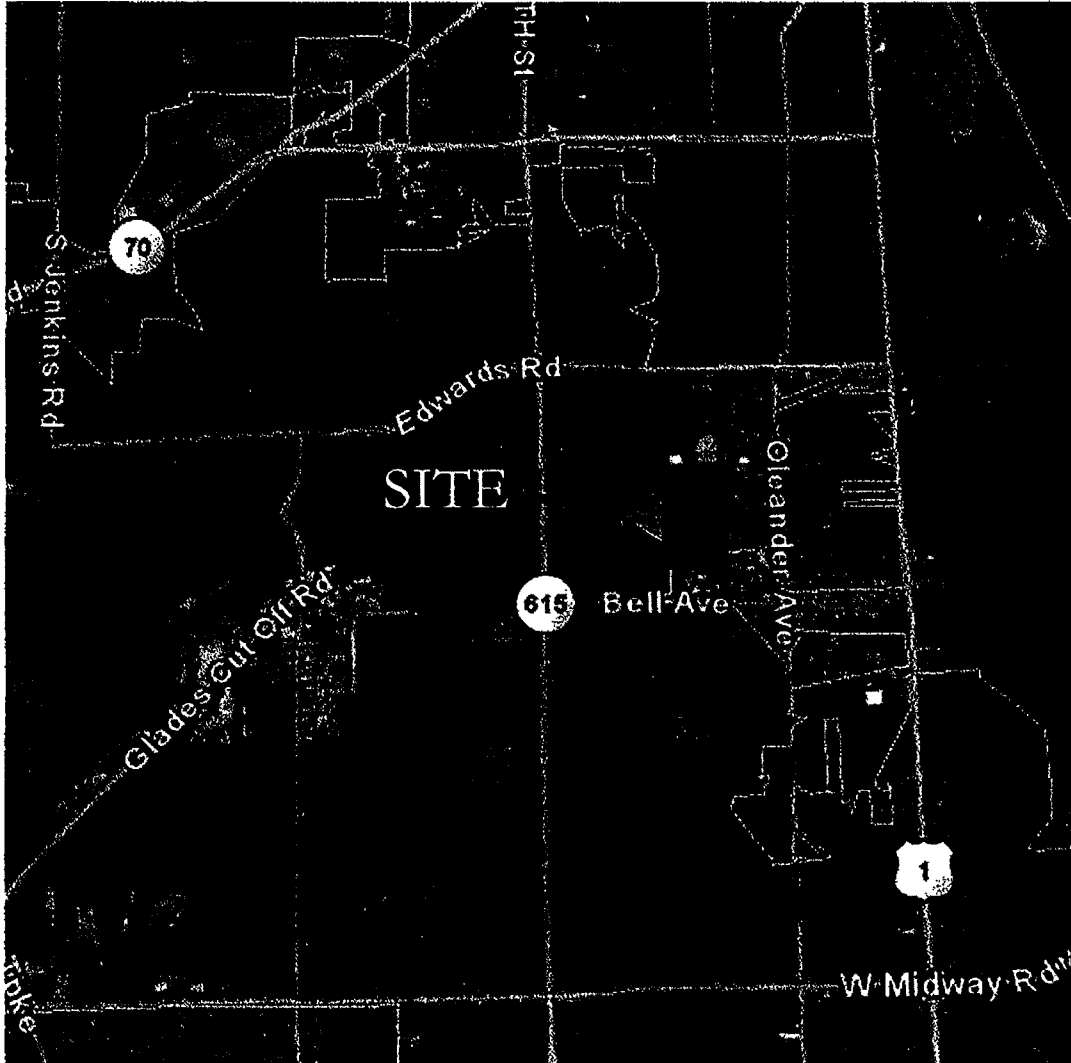
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### **Project Description**

The proposed project, 84 Lumber, is located northwest of Enterprise Road and Bell Avenue. The site can be accessed via Digiorgio Road off of Oleander Boulevard or Enterprise Road off of Bell Avenue. The sole project entrance will be along Enterprise Road. The project resides in an industrial area in St. Lucie County, Florida (See Figure No. 1, Location Map). The parcel ID number for the project is 2428-421-0002-000-7 and the proposed site contains approximately 13.84 acres. The site is located in Section 28, Township 35 South, Range 40 East, St. Lucie County, Florida. The proposed design calls for a 57,600 square foot truss plant.

In developing the Scope and Methodology of this report, it was determined that the impacts of project development will be analyzed in 2013 a forecast of 5 years after build-out condition.



**CULPEPPER & TERPENING, INC**  
CONSULTING ENGINEERS | LAND SURVEYORS

2980 SOUTH 25th STREET  
FORT PIERCE, FLORIDA 34981  
(772) 464-3537

STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4288

84 Lumber

Location Map

**Study Methodology**

**Section A – Definition of Study Area**

The study area as defined by the City of Fort Pierce Chapter 22.217.f2 shall be according to the table below:

<b>Table I</b>		
<b>Size of Project</b>	<b>Trips Generated</b>	<b>Study Area</b>
Minimal Scale	Trips 9-50	1.0 Mile Radius
Small Scale	Trips 51-100	1.5 Mile Radius
Intermediate Scale	Trips 101-500	2.0 Mile Radius
Medium Scale	Trips 501-1000	3.0 Mile Radius
Large Scale	Trips 1000-Up	5.0 Mile Radius

The Study Area includes all major roadways and intersections within the zone of influence. From the data collected in Table IV it has been determined that the 84 Lumber truss plant is an Intermediate Scale project. The study area shall include the following intersections:

- Sunrise Boulevard and Edwards Road
- Sunrise Boulevard and Bell Avenue
- Oleander Avenue and Edwards Road
- Oleander Avenue and Bell Avenue

**Section B – Inventory of Existing Facilities**

**Roadways:**

**Edwards Road**

The Edwards Road Corridor located in the study area consists of a 4-lane divided roadway section containing two (2) 12' lanes in both the east and westbound directions. The existing right-of-way of Edwards Road is from 100' to 120' in width.

This corridor is classified as a State Two-Way Class I Arterial and is under the jurisdiction of the St. Lucie County. Edwards Road currently operates at a LOS B, based upon the Average Daily Volume as provided in the St. Lucie Urban Area Metropolitan Planning Organization Spring, 2005 Traffic Counts, applied to the generalized daily Level of Service maximum volumes for the Florida FDOT 2002 Quality / Level of Service Handbook as shown on Table 4-1.

### **Bell Avenue**

Bell Avenue consists of a 2-lane undivided rural roadway consisting of one (1) 10' lane eastbound and one (1) 10' lane westbound. The existing right-of-way of Bell Avenue is approximately 75' in width.

Bell Avenue is classified as an Other County Road under the jurisdiction of St. Lucie County. Bell Avenue corridor currently operates at a LOS C based upon the Average Daily Volume applied to the generalized daily Level of Service maximum volumes for the Florida FDOT 2002 Quality / Level of Service Handbook as shown on Table 4-1 and upon the Spring 2005 Traffic Volumes as established by the St. Lucie Urban Area MPO.

### **Weatherbee Road**

The portion of Weatherbee Road located in the study area consists of a 2-lane undivided rural roadway section containing one (1) 12' lane eastbound and one (1) 12' lane westbound. The existing right-of-way of Weatherbee Road within the study area is from 60' to 80' in width. The Weatherbee Road corridor is classified as a Major City/County Road and is under the jurisdiction of St. Lucie County. Weatherbee Road currently operates at a LOS C.

### **Midway Road**

The Midway Road Corridor within the defined study area in its existing condition consists of a 2-lane undivided roadway. Improvements will be made to the corresponding links and for the purpose of this study will be analyzed as a 4-lane divided corridor containing two (2) 12' lanes eastbound and two (2) 12' lanes westbound. On Midway Road additional right and left turn lanes are located at the intersection with U.S. Highway No. 1. The existing right-of-way of Midway Road is 65' to 86' in width.

This corridor is classified as a State Two-Way Class I Arterial and the portion of which is within the study area is under the jurisdiction of the FDOT. Midway Road currently operates at a LOS F west of Oleander Avenue, however this link is in the FDOT 5 year CIP and has approximately 12 million dollars budgeted for improvements as can be found in Appendix C. Midway Road east of U.S. Highway No. 1 has an existing LOS B.

### **25<sup>th</sup> Street**

25<sup>th</sup> Street is classified as a State Two-Way Arterial Interrupted Flow Class I roadway. The portion of 25<sup>th</sup> St, which is located within the study area, is currently under construction and will become a 4-lane divided rural roadway. All of the travel lanes will be 12 feet in width. The existing right-of-way varies from 80 to 120 foot in width.

25<sup>th</sup> Street is maintained by St. Lucie County and currently operates at LOS F south of Edwards Road. The LOS is based on the Annual Average Daily Traffic volumes as established in the "St. Lucie Urban Area Metropolitan Planning Organization Spring, 2005 Traffic Counts" and applied to the FDOT Generalized Daily Level of Service tables. Construction in the study area is approximately 50% complete.

### **Sunrise Boulevard**

Sunrise Boulevard located within the study area and consists of a 2-lane undivided rural roadway consisting of one (1) 10' lane northbound and one (1) 10' lane southbound. The existing right-of-way of Sunrise is approximately 60' in width.

Sunrise Boulevard is classified as a Major City/County Road and is under the jurisdiction of St. Lucie County. The Sunrise Boulevard corridor currently operates at a LOS C based upon the Average Daily Volume applied to the generalized daily Level of Service maximum volumes for the Florida FDOT 2002 Quality / Level of Service Handbook as shown on Table 4-1 and upon the Spring 2005 Traffic Volumes as established by the St. Lucie Urban Area MPO.

### **Oleander Avenue**

The portion of Oleander Avenue located in the study area consists of a 2-lane undivided rural roadway section containing one (1) 12' lane northbound and one (1) 12' lane southbound. The existing right-of-way of Oleander Avenue within the study area is from 66' to 100' in width.

The Oleander Avenue corridor is classified as a State Two-Way Class I – Interrupted Flow Arterial and is under the jurisdiction of St. Lucie County. Oleander Avenue currently operates at a LOS C based upon the Average Daily Volume applied to the generalized daily Level of Service maximum volumes for the Florida FDOT 2002 Quality / Level of Service Handbook as shown on Table 4-1 and upon the Spring 2005 Traffic Volumes as established by the St. Lucie Urban Area MPO.

### **US Highway No. 1**

US Highway No. 1 within the defined study area currently consists of a 5-lane undivided roadway section containing two (2) 12' lanes northbound, two (2) 12' lanes southbound and a continuous common turn lane. For the purpose of this study US Highway No. 1 will be analyzed as a 6-lane divided roadway. The FDOT is reconstructing this roadway, as well as has budgeted another 12 million dollars in additional improvements from N. of Midway to N. of Edwards Road as can be found in Appendix C. The existing right-of-way of US Highway No. 1 is 80' to 150' in width. This roadway is classified as a State Two-Way Class I – Interrupted Flow Arterial and a Class II - Interrupted Flow Arterial and is under the jurisdiction of the FDOT. US Highway No. 1 in its existing condition operates at a LOS F.

**TABLE 4 - 1  
GENERALIZED ANNUAL AVERAGE DAILY VOLUMES FOR FLORIDA'S  
URBANIZED AREAS\***

UNINTERRUPTED FLOW HIGHWAYS						FREEWAYS																																																																							
<p align="center">Level of Service</p> <table border="1"> <tr> <th>Lanes Divided</th> <th>A</th> <th>B</th> <th>C</th> <th>D</th> <th>E</th> </tr> <tr> <td>2 Undivided</td> <td>2,090</td> <td>7,000</td> <td>13,800</td> <td>19,600</td> <td>27,000</td> </tr> <tr> <td>4 Divided</td> <td>20,400</td> <td>33,000</td> <td>47,800</td> <td>61,800</td> <td>70,200</td> </tr> <tr> <td>6 Divided</td> <td>30,500</td> <td>49,500</td> <td>71,600</td> <td>92,700</td> <td>105,400</td> </tr> </table>						Lanes Divided	A	B	C	D	E	2 Undivided	2,090	7,000	13,800	19,600	27,000	4 Divided	20,400	33,000	47,800	61,800	70,200	6 Divided	30,500	49,500	71,600	92,700	105,400	<p align="center">Interchange spacing ≥ 2 mi. apart</p> <p align="center">Level of Service</p> <table border="1"> <tr> <th>Lanes</th> <th>A</th> <th>B</th> <th>C</th> <th>D</th> <th>E</th> </tr> <tr> <td>4</td> <td>23,800</td> <td>39,600</td> <td>55,200</td> <td>67,100</td> <td>74,600</td> </tr> <tr> <td>6</td> <td>36,900</td> <td>61,100</td> <td>85,300</td> <td>103,600</td> <td>115,300</td> </tr> <tr> <td>8</td> <td>49,900</td> <td>82,700</td> <td>115,300</td> <td>140,200</td> <td>156,000</td> </tr> <tr> <td>10</td> <td>63,000</td> <td>104,200</td> <td>145,500</td> <td>176,900</td> <td>196,400</td> </tr> <tr> <td>12</td> <td>75,900</td> <td>125,800</td> <td>175,500</td> <td>213,500</td> <td>237,100</td> </tr> </table>						Lanes	A	B	C	D	E	4	23,800	39,600	55,200	67,100	74,600	6	36,900	61,100	85,300	103,600	115,300	8	49,900	82,700	115,300	140,200	156,000	10	63,000	104,200	145,500	176,900	196,400	12	75,900	125,800	175,500	213,500	237,100						
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<p>Source: Florida Department of Transportation Systems Planning Office 605 Suwannee Street, MS 19 Tallahassee, FL 32399-0450 <a href="http://www11.myflorida.com/planning/systems/srn/os/default.htm">http://www11.myflorida.com/planning/systems/srn/os/default.htm</a> 02/22/02</p>						<p>*This table does not constitute a standard and should be used only for general planning applications. The computer models from which this table is derived should be used for more specific planning applications. The table and deriving computer models should not be used for corridor or intersection design, where more refined techniques exist. Values shown are two-way annual average daily volumes (based on K<sub>95</sub> factors) for levels of service and are for the automobile/truck modes unless specifically stated. Level of service letter grade thresholds are probably not comparable across modes and, therefore, cross mode comparisons should be made with caution. Furthermore, combining levels of service of different modes into one overall roadway level of service is not recommended. The table's input value defaults and level of service criteria appear on the following page. Calculations are based on planning applications of the Highway Capacity Manual, Bicycle LOS Model, Pedestrian LOS Model and Transit Capacity and Quality of Service Manual, respectively for the automobile/truck, bicycle, pedestrian and bus modes. **Cannot be achieved using table input value defaults. ***Not applicable for that level of service letter grade. For automobile/truck mode, volumes greater than level of service D become F because intersection capacities have been reached. For bicycle and pedestrian modes, the level of service letter grade (including F) is not achievable, because there is no maximum vehicle volume threshold using table input value defaults.</p>																																																																							

**TABLE 4 - 7  
GENERALIZED PEAK HOUR DIRECTIONAL VOLUMES FOR FLORIDA'S  
URBANIZED AREAS\***

UNINTERRUPTED FLOW HIGHWAYS						FREEWAYS																																																																							
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\*This table does not constitute a standard and should be used only for general planning applications. The computer models from which this table is derived should be used for more specific planning applications. The table and deriving computer models should not be used for corridor or intersection design, where more refined techniques exist. Values shown are hourly directional volumes for levels of service and are for the automobile/truck modes unless specifically stated. Level of service letter grade thresholds are probably not comparable across modes and, therefore, cross modal comparisons should be made with caution. Furthermore, combining levels of service of different modes into one overall roadway level of service is not recommended. To convert to annual average daily traffic volumes, these volumes must be divided by appropriate D and K factors. The table's input value defaults and level of service criteria appear on the following page. Calculations are based on planning applications of the Highway Capacity Manual, Bicycle LOS Model, Pedestrian LOS Model and Transit Capacity and Quality of Service Manual, respectively for the automobile/truck, bicycle, pedestrian and bus modes.

\*\*Cannot be achieved using table input value defaults.

\*\*\*Not applicable for that level of service letter grade. For automobile/truck modes, volumes greater than level of service D become F because intersection capacities have been reached. For bicycle and pedestrian modes, the level of service letter grade (including F) is not achievable, because there is no maximum vehicle volume threshold using table input value defaults.

**Intersections:**

**Oleander Avenue and Edwards Road**

The intersection of Oleander Avenue and Edwards Road is signalized. The intersection geometry is as follows:

Eastbound	1 Lane	Left	Westbound	1 Lane	Left
	2 Lanes	Thru		1 Lanes	Thru
	1 Lane	Thru		1 Lane	Thru
Southbound	1 Lane	Left	Northbound	1 Lane	Left
	1 Lane	Thru/Rt		1 Lane	Thru/Rt

**Oleander Avenue & Bell Avenue**

The intersection of Oleander Avenue and Bell Avenue is an unsignalized “T” intersection with Bell Avenue being the leg of the “T”. Bell Avenue is required to stop upon entering the intersection while traffic on Oleander Avenue is unrestricted. The intersection geometry is as follows:

Northbound	1 Lane	Lt/Thru	Southbound	1 Lane	Thru/Rt
Westbound	1 Lane	Left/Rt			

**Sunrise Boulevard and Bell Avenue**

The intersection of Sunrise Boulevard and Bell Avenue has mast arms installed with flashing red beacons and is currently used as a four way stop. The intersection geometry is as follows:

Eastbound	1 Lane	Lt/Th/Rt	Westbound	1 Lane	Lt/Th/Rt
Southbound	1 Lane	Lt/Th/Rt	Northbound	1 Lane	Lt/Thru
				1 Lane	Right

**Sunrise Boulevard and Edwards Road**

The intersection of Oleander Avenue and Edwards Road is signalized. The intersection geometry is as follows:

Eastbound	1 Lane	Left	Westbound	1 Lane	Left
	1 Lane	Thru		1 Lane	Thru
	1 Lane	Thru/Rt		1 Lane	Thru/Rt
Southbound	1 Lane	Left	Northbound	1 Lane	Left
	1 Lane	Thru		1 Lane	Thru
	1 Lane	Thru/Rt		1 Lane	Right

### Existing Traffic Conditions

The Peak Season Average Daily Traffic Volume for the roadway of the project area were obtained from the Spring 2005, St. Lucie Urban Area Metropolitan Planning Organization Counts, and augmented by Culpepper & Terpening, Inc. These counts include the committed trips as provided in the MPO data sheets.

Roadway	Station Number		Classification	LOS Capacity	ADT	Committed Trips	Total /LOS		
	Map MPO	IDs							
			Type	Lanes					
<b>Edwards Road</b>									
W. of US Hwy No. 1	173	E	CI	4 ln	35,700	9,000	-	9,000	B
W. of Oleander Ave	502	D	CI	4 ln	35,700	13,200	-	13,200	B
W. of Sunrise Blvd.	108	C	CI	4 ln	35,700	19,100	-	19,100	B
<b>Bell Avenue</b>									
E. of Sunrise Blvd. (E. of site)	102	K	OCR	2 ln	10,000	3,700	-	3,700	C
E. of Sunrise Blvd. (W. of site)	102	J	OCR	2 ln	10,000	3,700	-	3,700	C
W. of Sunrise Blvd.	104	I	OCR	2 ln	10,000	3,000	-	3,000	C
<b>Weatherbee Road</b>									
E. of US Hwy No. 1 (W. of US hwy No. 1)	158	Q	Mc/Mc	2 ln	14,600	4,700	-	4,700	C
<b>Midway Road</b>									
W. of Oleander Ave	128	U	CI	4 ln	35,700	18,600	44	18,644	B
W. of Sunrise Blvd.	130	T	CI	4 ln	35,700	19,100	44	19,144	B
W. of 25th Street	132	S	CI	4 ln	35,700	13,900	88	13,988	B
W. of Selvitz Road	134	-	CI	4 ln	35,700	16,900	66	16,966	B
<b>25th Street</b>									
S. of Virginia Ave	21	A	CI	4 ln	35,700	19,400	-	19,400	B
N. of Midway Rd (N. of Bell Avenue)	171	B	CI	4 ln	35,700	16,100	-	16,100	B
N. of Midway Rd (S. of Bell Avenue)	171	N	CI	4 ln	35,700	16,100	-	16,100	B
S. of Midway Rd	172	R	CI	4 ln	35,700	15,400	-	15,400	B
N. of Airoso Blvd	345	-	CI	4 ln	35,700	17,200	-	17,200	B

Table II (Continued)									
Existing Traffic Conditions									
Roadway	Station Number	Classification			LOS Capacity	ADT	Committed Trips	Total /LOS	
	Map								
	MPO	IDs	Type	Lanes					
<b>Sunrise Blvd</b>									
N. of Edwards Rd	513	-	Mc/Mc	2 ln	14,600	4,400	-	4,400	C
S. of Edwards Rd	153	G	Mc/Mc	2 ln	14,600	5,700	-	5,700	C
S. of Bell Ave	155	L	Mc/Mc	2 ln	14,600	3,400	-	3,400	C
N. of Midway Rd	157	M	Mc/Mc	2 ln	14,600	2,700	-	2,700	C
<b>Oleander Blvd</b>									
N. of Edwards Rd	507	-	CI	2 ln	16,400	9,300	-	9,300	C
N. of Midway Rd (S. of Edwards Rd)	139	H	CI	2 ln	16,400	9,900	-	9,900	C
N. of Midway Rd (N. of Weatherbee Rd)	139	O	CI	2 ln	16,400	9,900	-	9,900	C
N. of Midway Rd	139	P	CI	2 ln	16,400	9,900	-	9,900	C
<b>US Hwy No. 1</b>									
S. of Virginia Ave	5002	F	CII	6 ln	49,200	35,600	-	35,600	C
N. of Midway Rd	20	X	CI	6 ln	53,500	37,900	22	37,922	C
S. of Midway Rd	5156	W	CI	6 ln	53,500	41,300	22	41,322	C

**Legend - Roadway Classification Type**

OCR	Other County Roadway
Mc/Mc	Major City/ County Roadway
CI-I	State Two-Way Arterial- Interrupted Flow Class I
CI-II	State Two-Way Arterial- Interrupted Flow Class II

The PM Peak Hour Directional Volume for the roadways located within the study area were obtained by using the Spring 2005 St. Lucie County MPO Traffic Counts and applying the *K* (.092) and *D* (.568) values and are tabulated as follows:

<b>Table III Existing Traffic Conditions</b>									
<u>Roadway</u>	<u>Map IDs</u>	<u>Classification</u>		<u>ADT LOS Capacity</u>	<u>ADT Committed /LOS</u>		<u>PM Peak Hr/LOS Capacity</u>	<u>PM PK Hr Directional Volumes/LOS</u>	
		<u>Type</u>	<u>Lanes</u>						
<b><u>Edwards Road</u></b>									
W. of US Hwy No. 1	E	CI	4 ln	35,700	9,000	B	1,860	470	B
W. of Oleander Ave	D	CI	4 ln	35,700	13,200	B	1,860	690	B
W. of Sunrise Blvd.	C	CI	4 ln	35,700	19,100	B	1,860	998	B
<b><u>Bell Avenue</u></b>									
E. of Sunrise Blvd. (E. of site)	K	OCR	2 ln	10,000	3,700	C	530	193	C
E. of Sunrise Blvd. (W. of site)	J	OCR	2 ln	10,000	3,700	C	530	193	C
W. of Sunrise Blvd.	I	OCR	2 ln	10,000	3,000	C	530	157	C
<b><u>Weatherbee Road</u></b>									
E. of US Hwy No.1 (W. of US hwy No. 1)	Q	Mc/Mc	2 ln	14,600	4,700	C	760	246	C
<b><u>Midway Road</u></b>									
W. of Oleander Ave	U	CI	4 ln	35,700	18,644	B	1,860	974	B
W. of Sunrise Blvd.	T	CI	4 ln	35,700	19,144	B	1,860	1,000	B
W. of 25th Street	S	CI	4 ln	35,700	13,988	B	1,860	731	B
W. of Selvitz Road	-	CI	4 ln	35,700	16,966	B	1,860	887	B
<b><u>25th Street</u></b>									
S. of Virginia Ave	A	CI	4 ln	35,700	19,400	B	1,860	1,014	B
N. of Midway Rd (N. of Bell Avenue)	B	CI	4 ln	35,700	16,100	B	1,860	841	B
N. of Midway Rd (S. of Bell Avenue)	N	CI	4 ln	35,700	16,100	B	1,860	841	B
S. of Midway Rd	R	CI	4 ln	35,700	15,400	B	1,860	805	B
N. of Airoso Blvd	-	CI	4 ln	35,700	17,200	B	1,860	899	B

**Table III (Continued)  
Existing Traffic Conditions**

Roadway	Map IDs	Classification		ADT LOS Capacity	ADT Committed /LOS		PM Peak Hr/LOS Capacity	PM PK Hr Directional Volumes/LOS	
		Type	Lanes						
<b><u>Sunrise Blvd</u></b>									
N. of Edwards Rd	-	Mc/Mc	2 ln	14,600	4,400	C	760	230	C
S. of Edwards Rd	G	Mc/Mc	2 ln	14,600	5,700	C	760	298	C
S. of Bell Ave	L	Mc/Mc	2 ln	14,600	3,400	C	760	178	C
N. of Midway Rd	M	Mc/Mc	2 ln	14,600	2,700	C	760	141	C
<b><u>Oleander Blvd</u></b>									
N. of Edwards Rd	-	CI	2 ln	16,400	9,300	C	860	486	C
N. of Midway Rd (S. of Edwards Rd)	H	CI	2 ln	16,400	9,900	C	860	517	C
N. of Midway Rd (N. of Weatherbee Rd)	O	CI	2 ln	16,400	9,900	C	860	517	C
N. of Midway Rd	P	CI	2 ln	16,400	9,900	C	860	517	C
<b><u>US Hwy No. 1</u></b>									
S. of Virginia Ave	F	CII	6 ln	49,200	35,600	C	2,570	1,860	C
N. of Midway Rd	X	CI	6 ln	53,500	37,922	B	2,790	1,982	B
S. of Midway Rd	W	CI	6 ln	53,500	41,322	B	2,790	2,159	B

**Legend - Roadway Classification Type**

OCR	Other County Roadway
Mc/Mc	Major City/ County Roadway
CI-I	State Two-Way Arterial- Interrupted Flow Class I
CI-II	State Two-Way Arterial- Interrupted Flow Class II

**Trip Generation**

The Trip Generation for the proposed 84 Lumber truss plant was developed by utilizing the “Institute of Transportation Engineers Trip Generation Manual, Seventh Edition” which established the Trip Generation Rates for the proposed facility.

In developing the Trip Generation Rates, the ITE Manual was utilized for both the AADT volumes and the P.M. Peak Hour Movements. The following Tables have been provided to depict the Trip Generation Rates for this development. Table 1 depicts the 24-Hour Daily Volumes and Table II depicts the P.M. Peak Hour Volumes:

The Land Use Code 140 “Manufacturing” was determined the most appropriate description of the project. Both ADT and PM Peak Hour trip generation is provided in the following tables:

**Trip Generation**

**Table IV  
Average Daily Traffic**

<u>Land Use</u>	<u>ITE Code</u>	<u>Units/Size</u>	<u>ADT Rates</u>	<u>ADT</u>
Manufacturing	140	57,600 SF	3.88(x)-20.70	203 vpd

**Table V  
AM Peak Hour Traffic**

<u>Land Use</u>	<u>Units/Size</u>	<u>Peak Hour Avg. Rate</u>	<u>Directional Distribution</u>		<u>Directional Volumes</u>	
			<u>Enter</u>	<u>Exit</u>	<u>Enter</u>	<u>Exit</u>
Manufacturing	57,600 SF	0.83(x)-17.71	.68%	.32%	20 vph	10 vph

**Table VI  
PM Peak Hour Traffic**

<u>Land Use</u>	<u>Units/Size</u>	<u>Peak Hour Avg. Rate</u>	<u>Directional Distribution</u>		<u>Directional Volumes</u>	
			<u>Enter</u>	<u>Exit</u>	<u>Enter</u>	<u>Exit</u>
Manufacturing	57,600 SF	0.76(x)-5.15	52%	48%	20 vph	19 vph

### Trip Distribution

The Trip Distribution from the site onto local streets was derived based upon the surrounding developments as well as the existing Transportation Network. The Distribution onto the surrounding links was then derived and is portrayed as Figure No. 2.

A summary of the Major Trip Assignments were estimated as follows:

**Table VII**  
**Trip Distribution**

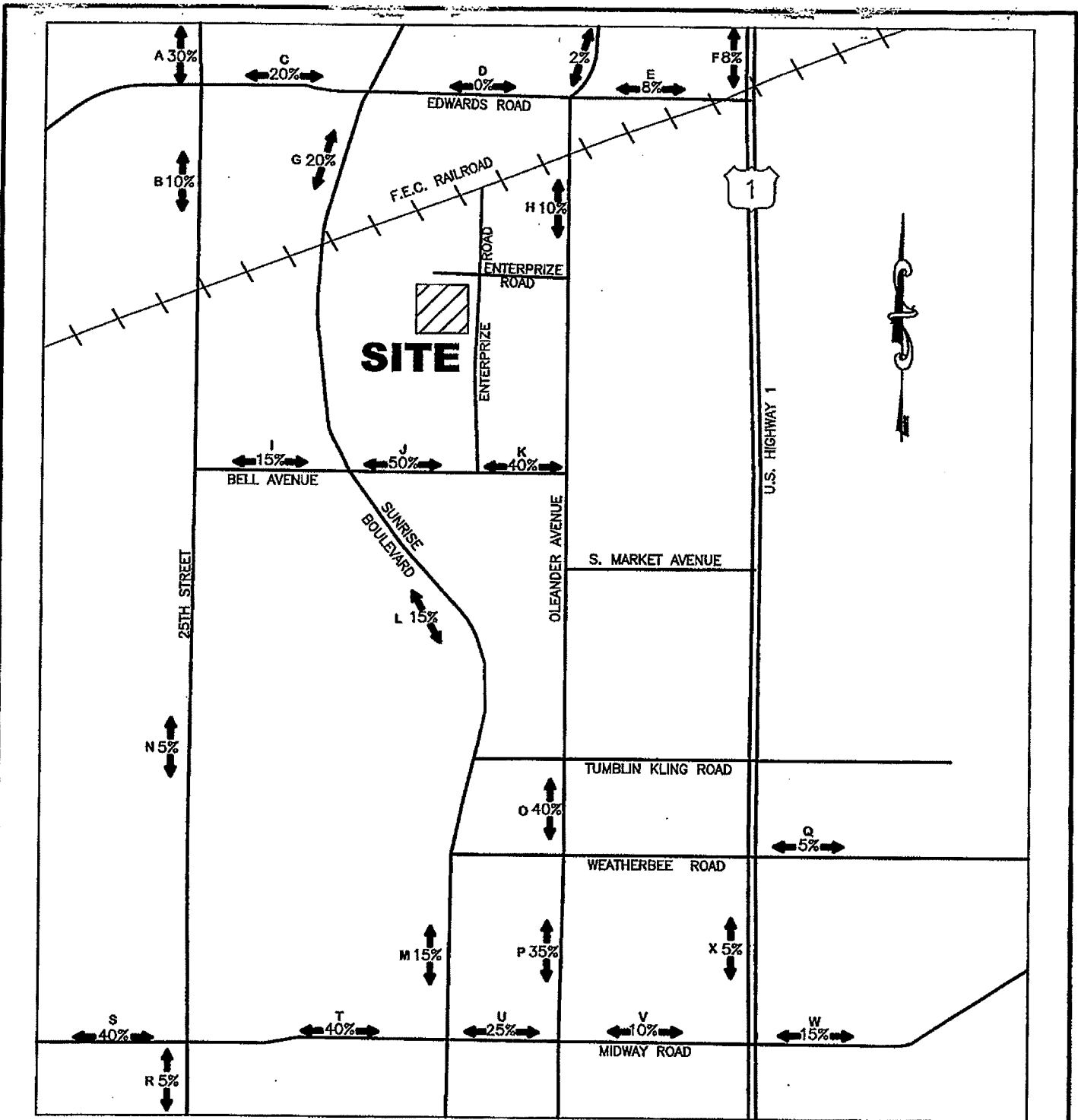
<u>Link</u>	<u>Map IDs</u>	<u>%</u>	<u>ADT</u>	<u>PM Peak Hr. Dir.</u>
<b><u>Edwards Road</u></b>				
W. of US Hwy No. 1	E	8%	16	2
W. of Oleander Ave	D	0%	0	0
W. of Sunrise Blvd.	C	20%	41	4
<b><u>Bell Avenue</u></b>				
E. of Sunrise Blvd. (E. of site)	K	50%	102	10
E. of Sunrise Blvd. (W. of site)	J	40%	81	8
W. of Sunrise Blvd.	I	15%	30	3
<b><u>Weatherbee Road</u></b>				
E. of US Hwy No.1 (W. of US hwy No. 1)	Q	5%	10	1
<b><u>Midway Road</u></b>				
W. of Oleander Ave	U	25%	51	5
W. of Sunrise Blvd.	T	40%	81	8
W. of 25th Street	S	40%	81	8
W. of Selvitz Road	-	40%	81	8
<b><u>25th Street</u></b>				
S. of Virginia Ave	A	30%	61	6
N. of Midway Rd (N. of Bell Avenue)	B	10%	20	2
N. of Midway Rd (S. of Bell Avenue)	N	5%	10	1

**Table VII (Continued)**  
**Trip Distribution**

<u>Link</u>	<u>Map IDs</u>	<u>%</u>	<u>ADT</u>	<u>PM Peak Hr. Dir.</u>
<b><u>Sunrise Blvd</u></b>				
N. of Edwards Rd	-	0%	0	0
S. of Edwards Rd	G	20%	41	4
S. of Bell Ave	L	15%	30	3
N. of Midway Rd	M	15%	30	3
<b><u>Oleander Blvd</u></b>				
N. of Edwards Rd	-	2%	4	0
N. of Midway Rd (S. of Edwards Rd)	H	40%	81	8
N. of Midway Rd (N. of Weatherbee Rd)	O	40%	81	8
N. of Midway Rd	P	35%	71	7
<b><u>US Hwy No. 1</u></b>				
S. of Virginia Ave	F	8%	16	2
N. of Midway Rd	X	5%	10	1
S. of Midway Rd	W	15%	30	3

A complete trip assignment by percentage is shown on Figure No. 2.

The Trip Assignments for the Peak Hour Movements were derived based upon the distributions and associated turning movements as shown in Figure No. 5-12. The Exit/Enter splits as well as the volumes are shown in Table VI for the P.M. Peak Hour. The Assignments, based upon the directional movements were then made on the studied intersection and these volumes are also shown in Figure No. 5-12.



4-13-07  
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FIGURE 2



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**84 LUMBER**

**TRIP DISTRIBUTION BY PERCENT**

## Capacity Analysis

## Arterial Analysis:

The Trip Assignment Volumes calculated in the previous sections were added to the existing volumes and background trips assigned to the roadway links within the study area. Volume distribution onto the surrounding links was then derived and is portrayed as Figure No. 2. The local developments within the study area have been taken into account for this study and appear as *Other Projects' Traffic* (this includes Shadow Oaks, SLC County Cancer Center, and Ravania). The existing traffic volumes provided in the St. Lucie MPO Spring 2005 count data were increased by 3% per year to account for growth through the 2013 forecasting year.

Level of Service, Table 4-1, of the Florida FDOT 2002 Quality / Level of Service Handbook was used for both the existing (Pre-Development, including background) and Post-Development Levels of Service. The following is a summary of the results.

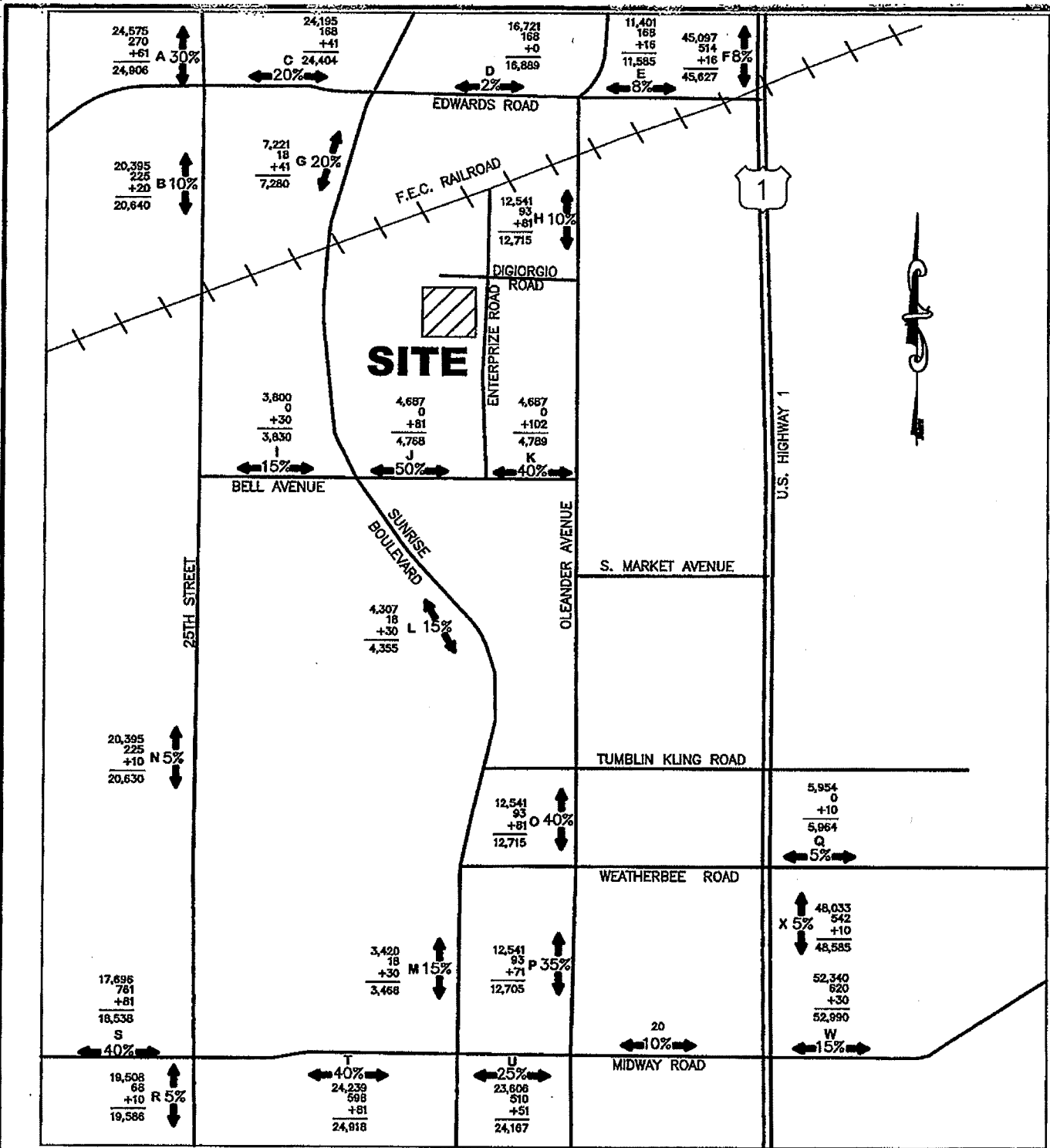
**Table VIII**  
**Local Roadway Network by ADT**

Roadway	Map ID	LOS Capacity	Existing Conditions		Growth (2013)*	Other Projects' Traffic	Pre-Development Conditions		Project Traffic	Post-Development Conditions	
					3%						
<b>Edwards Road</b>											
W. of US Hwy No. 1	E	35,700	9,000	B	2,401	168	11,569	B	16	11,585	B
W. of Oleander Ave	D	35,700	13,200	B	3,521	168	16,889	B	0	16,889	B
W. of Sunrise Blvd.	C	35,700	19,100	B	5,095	168	24,363	B	41	24,404	B
<b>Bell Avenue</b>											
E. of Sunrise Blvd. (E. of site)	K	10,000	3,700	C	987	-	4,687	C	102	4,789	C
E. of Sunrise Blvd. (W. of site)	J	10,000	3,700	C	987	-	4,687	C	81	4,768	C
W. of Sunrise Blvd.	I	10,000	3,000	C	800	-	3,800	C	30	3,830	C
<b>Weatherbee Road</b>											
E. of US Hwy No.1 (W. of US hwy No. 1)	Q	14,600	4,700	C	1,254	-	5,954	C	10	5,964	C
<b>Midway Road</b>											
W. of Oleander Ave	U	35,700	18,644	B	4,962	510	24,116	B	51	24,167	B
W. of Sunrise Blvd.	T	35,700	19,144	B	5,095	598	24,837	B	81	24,918	B
W. of 25th Street	S	35,700	13,988	B	3,708	761	18,457	B	81	18,538	B
W. of Selvitz Road	-	35,700	16,966	B	4,508	589	22,063	B	81	22,144	B

**Table VIII (Continued)**  
**Local Roadway Network by ADT**

Roadway	Map ID	LOS Capacity	Existing Conditions		Growth (2013)*	Other Projects' Traffic	Pre-Development Conditions		Project Traffic	Post-Development Conditions	
					3%						
<b>25th Street</b>											
S. of Virginia Ave	A	35,700	19,400	B	5,175	270	24,845	B	61	24,906	B
N. of Midway Rd (N. of Bell Avenue)	B	35,700	16,100	B	4,295	225	20,620	B	20	20,640	B
N. of Midway Rd (S. of Bell Avenue)	N	35,700	16,100	B	4,295	225	20,620	B	10	20,630	B
S. of Midway Rd	R	35,700	15,400	B	4,108	68	19,576	B	10	19,586	B
N. of Airosa Blvd	-	35,700	17,200	B	4,588	68	21,856	B	10	21,866	B
<b>Sunrise Blvd</b>											
N. of Edwards Rd	-	14,600	4,400	C	1,174	-	5,574	C	0	5,574	C
S. of Edwards Rd	G	14,600	5,700	C	1,521	18	7,239	C	41	7,280	C
S. of Bell Ave	L	14,600	3,400	C	907	18	4,325	C	30	4,355	C
N. of Midway Rd	M	14,600	2,700	C	720	18	3,438	C	30	3,468	C
<b>Oleander Blvd</b>											
N. of Edwards Rd	-	16,400	9,300	C	2,481	75	11,856	C	4	11,860	C
N. of Midway Rd (S. of Edwards Rd)	H	16,400	9,900	C	2,641	93	12,634	C	81	12,715	C
N. of Midway Rd (N. of Weatherbee Rd)	O	16,400	9,900	C	2,641	93	12,634	C	81	12,715	C
N. of Midway Rd	P	16,400	9,900	C	2,641	93	12,634	C	71	12,705	C
<b>US Hwy No. 1</b>											
S. of Virginia Ave	F	49,200	35,600	C	9,497	514	45,611	D	16	45,627	D
N. of Midway Rd	X	53,500	37,922	B	10,111	542	48,575	C	10	48,585	C
S. of Midway Rd	W	53,500	41,322	B	11,018	620	52,960	D	30	52,990	D

\*Grown Trips do not include the MPO Committed Trips.  
A complete trip assignment by AADT volumes is shown graphically in Figure No. 3.



**LEGEND**  
 XXX PRE DEVELOPMENT  
 XXX COMMITTED  
 XXX PROJECT TRIPS  
 XXX TOTAL

**FIGURE 3**

4-13-07  
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**84 LUMBER**

**TRIP DISTRIBUTION  
 BY AVERAGE DAILY TRAFFIC**

**Table IX**  
**Impact on Local Roadway Network (ADT)**

<u>Roadway</u>	<u>Map ID</u>	<u>ADT LOS Capacity</u>	<u>Project Traffic</u>	<u>ADT Post-Development Conditions</u>		<u>ADT % Impact</u>	<u>Remaining Capacity</u>
<b><u>Edwards Road</u></b>							
W. of US Hwy No. 1	E	35,700	16	11,585	B	0.05%	24,115
W. of Oleander Ave	D	35,700	0	16,889	B	0.00%	18,811
W. of Sunrise Blvd.	C	35,700	41	24,404	B	0.11%	11,296
<b><u>Bell Avenue</u></b>							
E. of Sunrise Blvd. (E. of site)	K	10,000	102	4,789	C	1.02%	5,211
E. of Sunrise Blvd. (W. of site)	J	10,000	81	4,768	C	0.81%	5,232
W. of Sunrise Blvd.	I	10,000	30	3,830	C	0.30%	6,170
<b><u>Weatherbee Road</u></b>							
E. of US Hwy No.1 (W. of US hwy No. 1)	Q	14,600	10	5,964	C	0.07%	8,636
<b><u>Midway Road</u></b>							
W. of Oleander Ave	U	35,700	51	24,167	B	0.14%	11,533
W. of Sunrise Blvd.	T	35,700	81	24,918	B	0.23%	10,782
W. of 25th Street	S	35,700	81	18,538	B	0.23%	17,162
W. of Selvitz Road	-	35,700	81	22,144	B	0.23%	13,556
<b><u>25th Street</u></b>							
S. of Virginia Ave	A	35,700	61	24,906	B	0.17%	10,794
N. of Midway Rd (N. of Bell Avenue)	B	35,700	20	20,640	B	0.06%	15,060
N. of Midway Rd (S. of Bell Avenue)	N	35,700	10	20,630	B	0.03%	15,070
S. of Midway Rd	R	35,700	10	19,586	B	0.03%	16,114
N. of Airoso Blvd	-	35,700	10	21,866	B	0.03%	13,834

**Table IX (Continued)**  
**Impact on Local Roadway Network (ADT)**

<u>Roadway</u>	<u>Map ID</u>	<u>ADT LOS Capacity</u>	<u>Project Traffic</u>	<u>ADT Post-Development Conditions</u>		<u>ADT % Impact</u>	<u>Remaining Capacity</u>
<b><u>Sunrise Blvd</u></b>							
N. of Edwards Rd	-	14,600	0	5,574	C	0.00%	9,026
S. of Edwards Rd	G	14,600	41	7,280	C	0.28%	7,320
S. of Bell Ave	L	14,600	30	4,355	C	0.21%	10,245
N. of Midway Rd	M	14,600	30	3,468	C	0.21%	11,132
<b><u>Oleander Blvd</u></b>							
N. of Edwards Rd	-	16,400	4	11,860	C	0.02%	4,540
N. of Midway Rd (S. of Edwards Rd)	H	16,400	81	12,715	C	0.50%	3,685
N. of Midway Rd (N. of Weatherbee Rd)	O	16,400	81	12,715	C	0.50%	3,685
N. of Midway Rd	P	16,400	71	12,705	C	0.43%	3,695
<b><u>US Hwy No. 1</u></b>							
S. of Virginia Ave	F	49,200	16	45,627	D	0.03%	3,573
N. of Midway Rd	X	53,500	10	48,585	C	0.02%	4,915
S. of Midway Rd	W	53,500	30	52,990	D	0.06%	510

**Table X**  
**Local Roadway Network & Impact (PM Peak Hour Directional)**

Roadway	Map ID	PM Peak LOS Capacity	PM Peak Pre-Development			Project Traffic	PM Peak Post-Development Conditions		% Impact	Remaining Capacity
			Other Projects' Traffic	Pre /Total LOS*						
<b>Edwards Road</b>										
W. of US Hwy No. 1	E	1,860	9	596	B	2	607	B	0.11%	1,253
W. of Oleander Ave	D	1,860	9	874	B	0	883	B	0.00%	977
W. of Sunrise Blvd.	C	1,860	9	1,264	B	4	1,277	B	0.22%	583
<b>Bell Avenue</b>										
E. of Sunrise Blvd. (E. of site)	K	530	-	245	C	10	255	D	1.89%	275
E. of Sunrise Blvd. (W. of site)	J	530	-	245	C	8	253	D	1.51%	277
W. of Sunrise Blvd.	I	530	-	199	C	3	202	C	0.57%	328
<b>Weatherbee Road</b>										
E. of US Hwy No.1 (W. of US hwy No. 1)	Q	760	-	311	C	1	312	C	0.13%	448
<b>Midway Road</b>										
W. of Oleander Ave	U	1,860	34	1,234	B	5	1,273	B	0.27%	587
W. of Sunrise Blvd.	T	1,860	32	1,267	B	8	1,307	B	0.43%	553
W. of 25th Street	S	1,860	49	925	B	8	982	B	0.43%	878
W. of Selvitz Road	-	1,860	38	1,122	B	8	1,168	B	0.43%	692
<b>25th Street</b>										
S. of Virginia Ave	A	1,860	22	1,284	B	6	1,312	B	0.32%	548
N. of Midway Rd (N. of Bell Avenue)	B	1,860	10	1,066	B	2	1,078	B	0.11%	782
N. of Midway Rd (S. of Bell Avenue)	N	1,860	10	1,066	B	1	1,077	B	0.05%	783
S. of Midway Rd	R	1,860	9	1,019	B	1	1,029	B	0.05%	831
N. of Airoso Blvd	-	1,860	9	1,139	B	1	607	B	0.05%	711

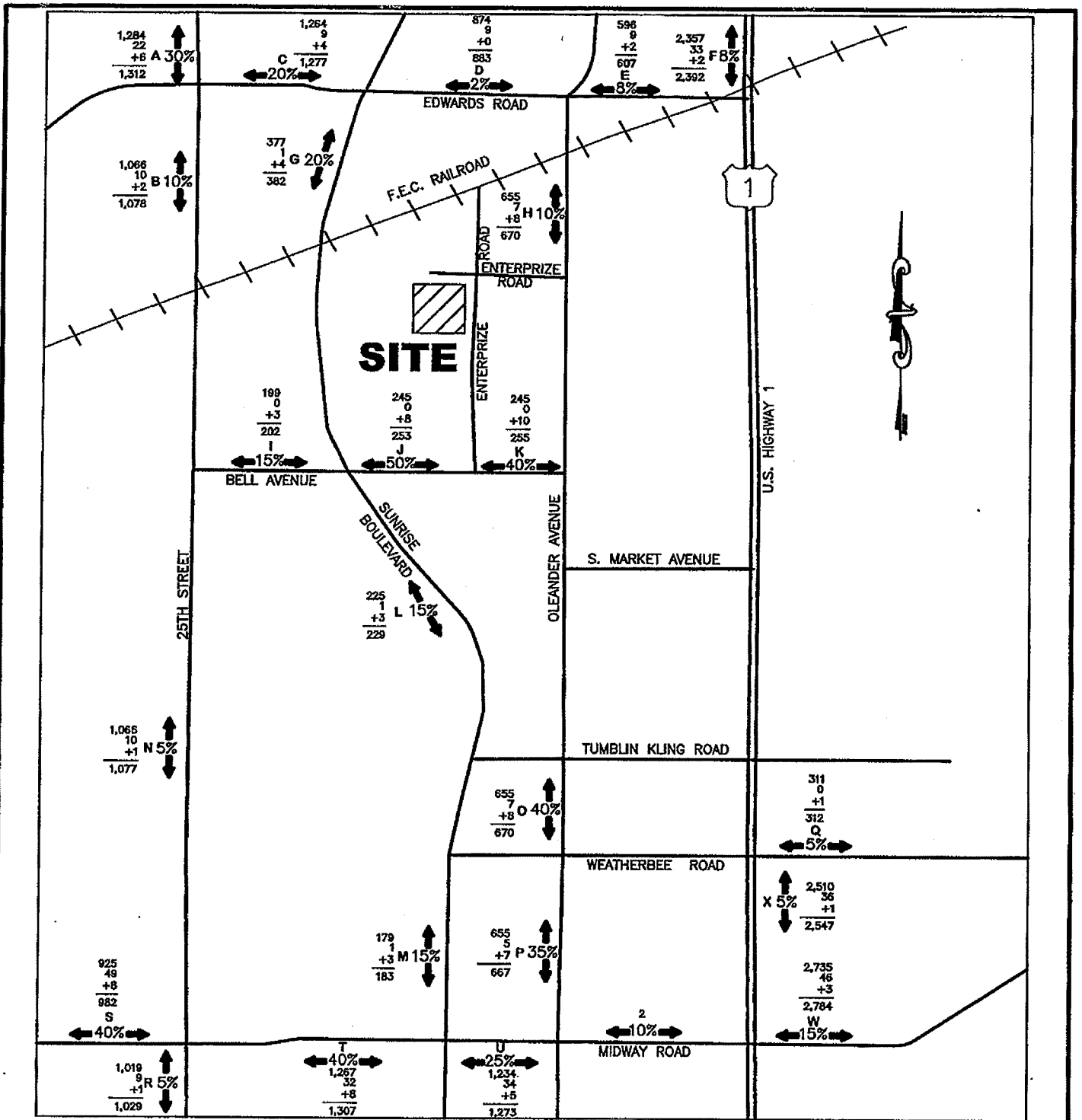
\* LOS Value includes Other Projects' Traffic

**Table X (Continued)**  
**Local Roadway Network & Impact (PM Peak Hour Directional)**

Roadway	Map ID	PM Peak LOS Capacity	PM Peak Pre-Development		Project Traffic	PM Peak Post-Development Conditions	% Impact	Remaining Capacity		
			Other Projects' Traffic	Pre /Total LOS*						
				<b>2013</b>						
<b><u>Sunrise Blvd</u></b>										
N. of Edwards Rd	-	760	-	291	C	0	291	C	0.00%	469
S. of Edwards Rd	G	760	1	377	C	4	382	C	0.53%	378
S. of Bell Ave	L	760	1	225	C	3	229	C	0.39%	531
N. of Midway Rd	M	760	1	179	C	3	183	C	0.39%	577
<b><u>Oleander Blvd</u></b>										
N. of Edwards Rd	-	860	5	616	C	0	621	C	0.00%	239
N. of Midway Rd (S. of Edwards Rd)	H	860	7	655	C	8	670	C	0.93%	190
N. of Midway Rd (N. of Weatherbee Rd)	O	860	7	655	C	8	670	C	0.93%	190
N. of Midway Rd	P	860	5	655	C	7	667	C	0.81%	193
<b><u>US Hwy No. 1</u></b>										
S. of Virginia Ave	F	2,570	33	2,357	D	2	2,392	D	0.08%	178
N. of Midway Rd	X	2,790	36	2,510	C	1	2,547	C	0.04%	243
S. of Midway Rd	W	2,790	46	2,735	D	3	2,784	D	0.11%	6

\* LOS Value includes Other Projects' Traffic

A complete trip assignment by PM Peak Hour Directional volumes is shown graphically in Figure No. 4.



**LEGEND**

XXX	PRE DEVELOPMENT
XXX	COMMITTED
XXX	PROJECT TRIPS
XXX	TOTAL

4-13-07  
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FIGURE 4



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**84 LUMBER**

**TRIP DISTRIBUTION  
BY PEAK HOUR DIRECTIONAL**

### Intersection Analysis

In order to determine what the project's impact is on the intersecting roadways, analysis has been conducted during the time periods that experience the most traffic volumes within any hour of the weekday. The AM and PM Peak Hour Traffic conditions typically experience the highest traffic volumes during the weekday. The Peak Hour Volumes produced by the project as well as The Exit/Enter splits can be found in Tables IV and VI. The Peak Hour Volumes were applied to the Trip Assignments for the Peak Hour Movements, which have been derived based upon the distributions and associated turning movements as shown in Figure No. 2.

The Pre-Development and Post-Development AM and PM Peak Hour turning movements for the project intersections are depicted in Figures No. 5-12. The pre-development volumes are based upon traffic counts taken by Culpepper & Terpening, Inc. and background traffic from other projects. The Appendices provide the respective data.

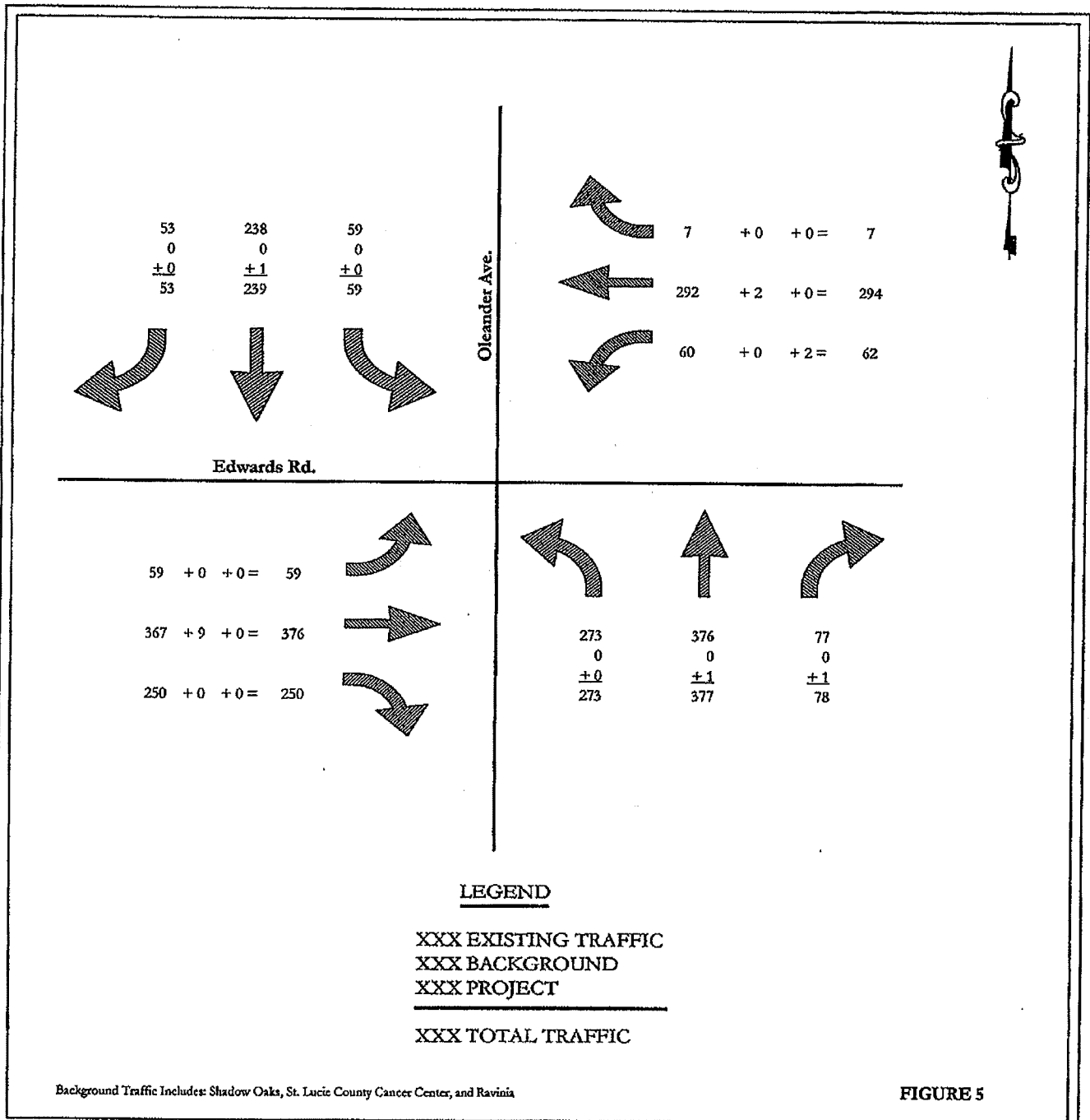


FIGURE 5



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AM PEAK HOUR TURNING MOVEMENTS  
 Oleander Ave. & Edwards Rd.

**84 Lumber**

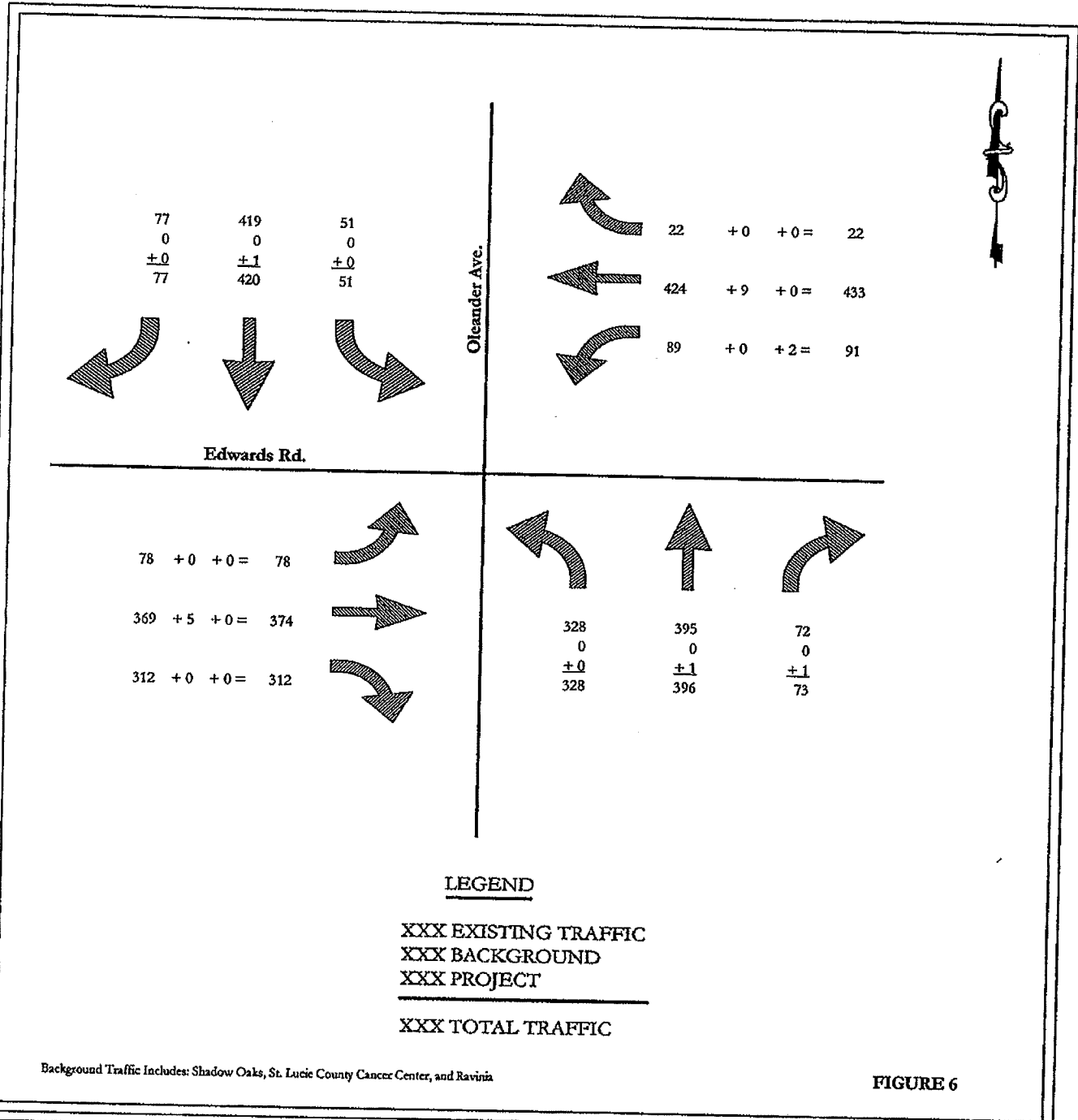


FIGURE 6



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PM PEAK HOUR TURNING MOVEMENTS  
 Oleander Ave. & Edwards Rd.

**84 Lumber**

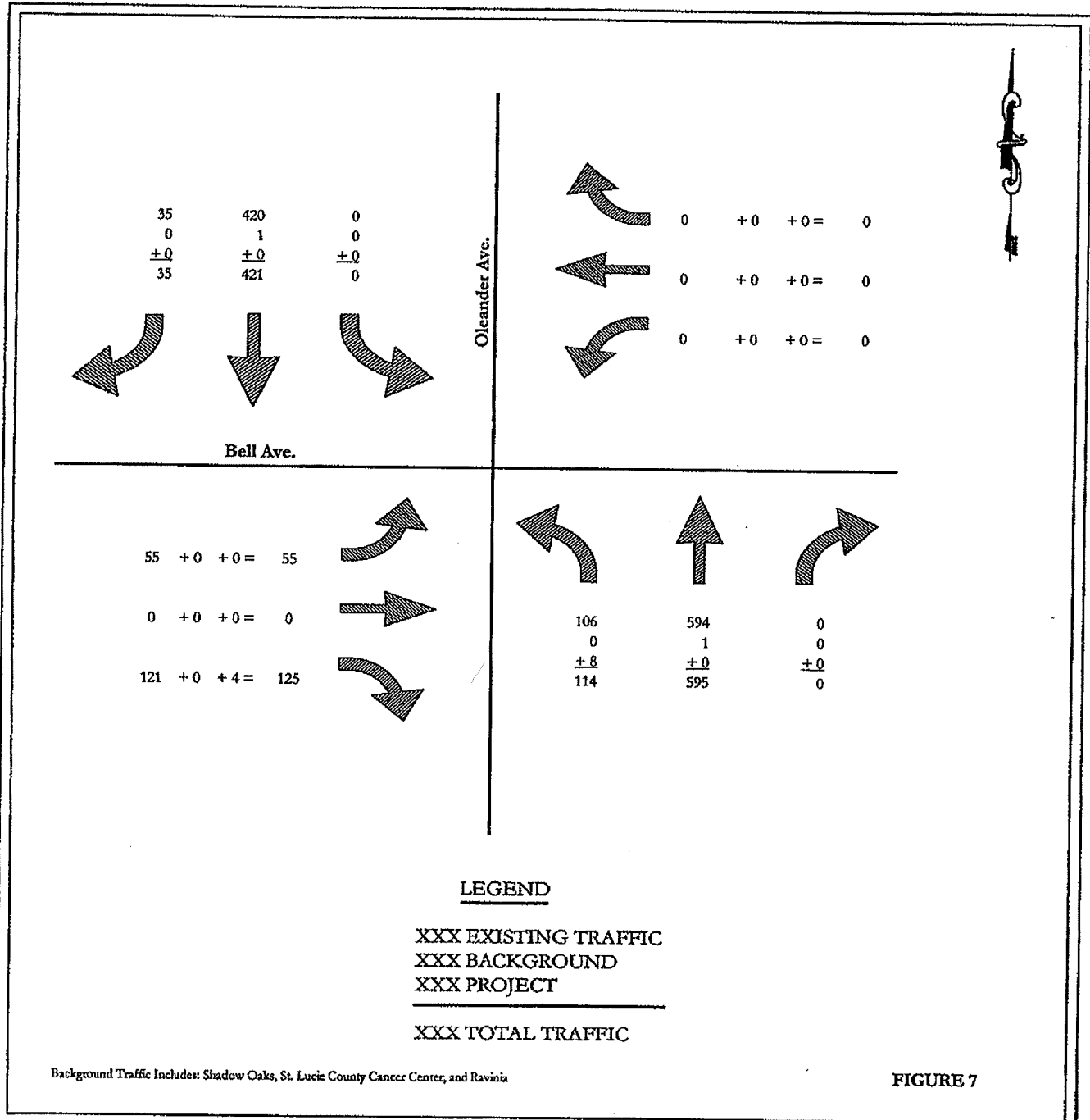


FIGURE 7



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AM PEAK HOUR TURNING MOVEMENTS  
 Oleander Ave. & Bell Ave.

**84 Lumber**

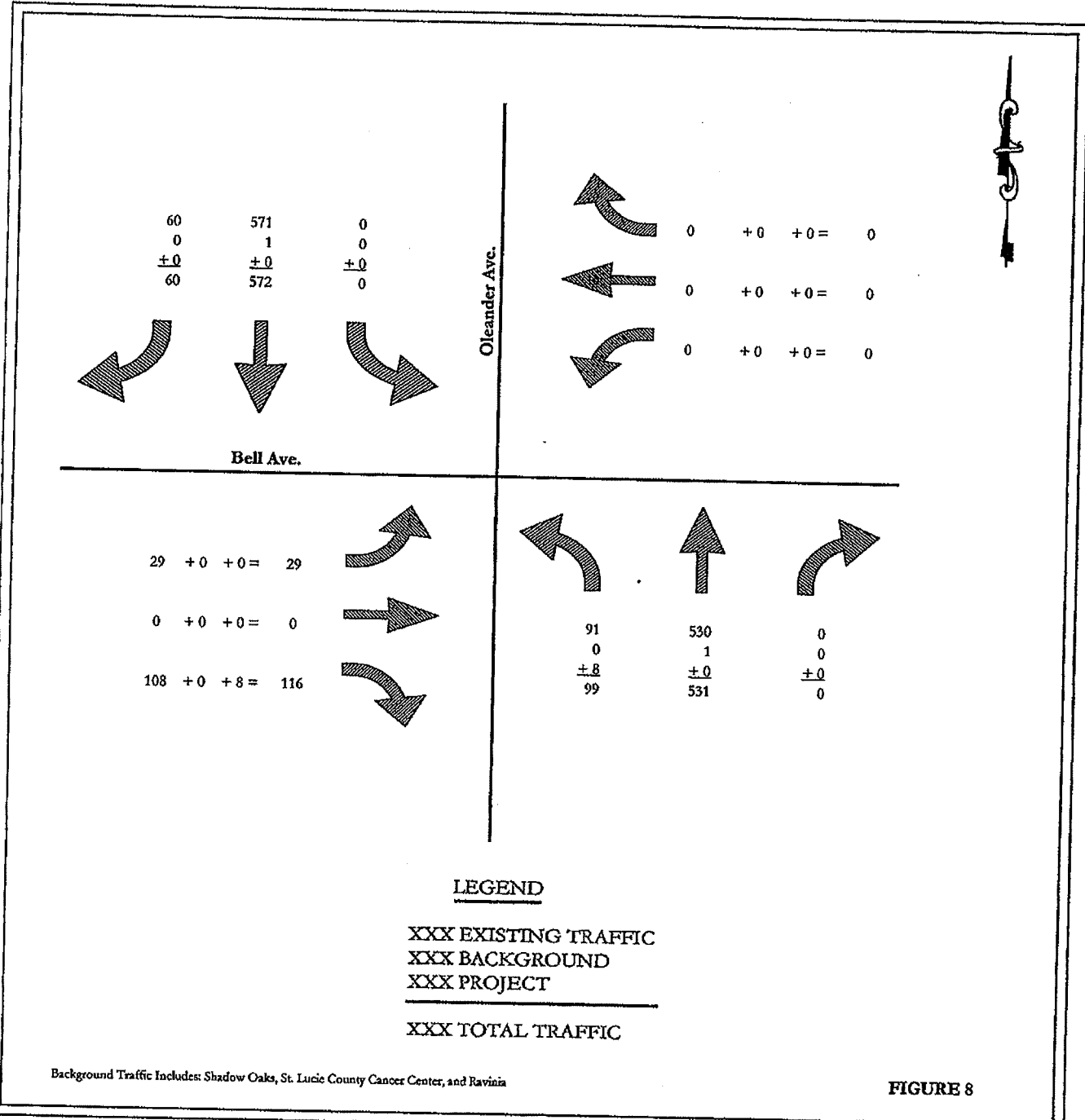


FIGURE 8



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PM PEAK HOUR TURNING MOVEMENTS  
 Oleander Ave. & Bell Ave.

**84 Lumber**

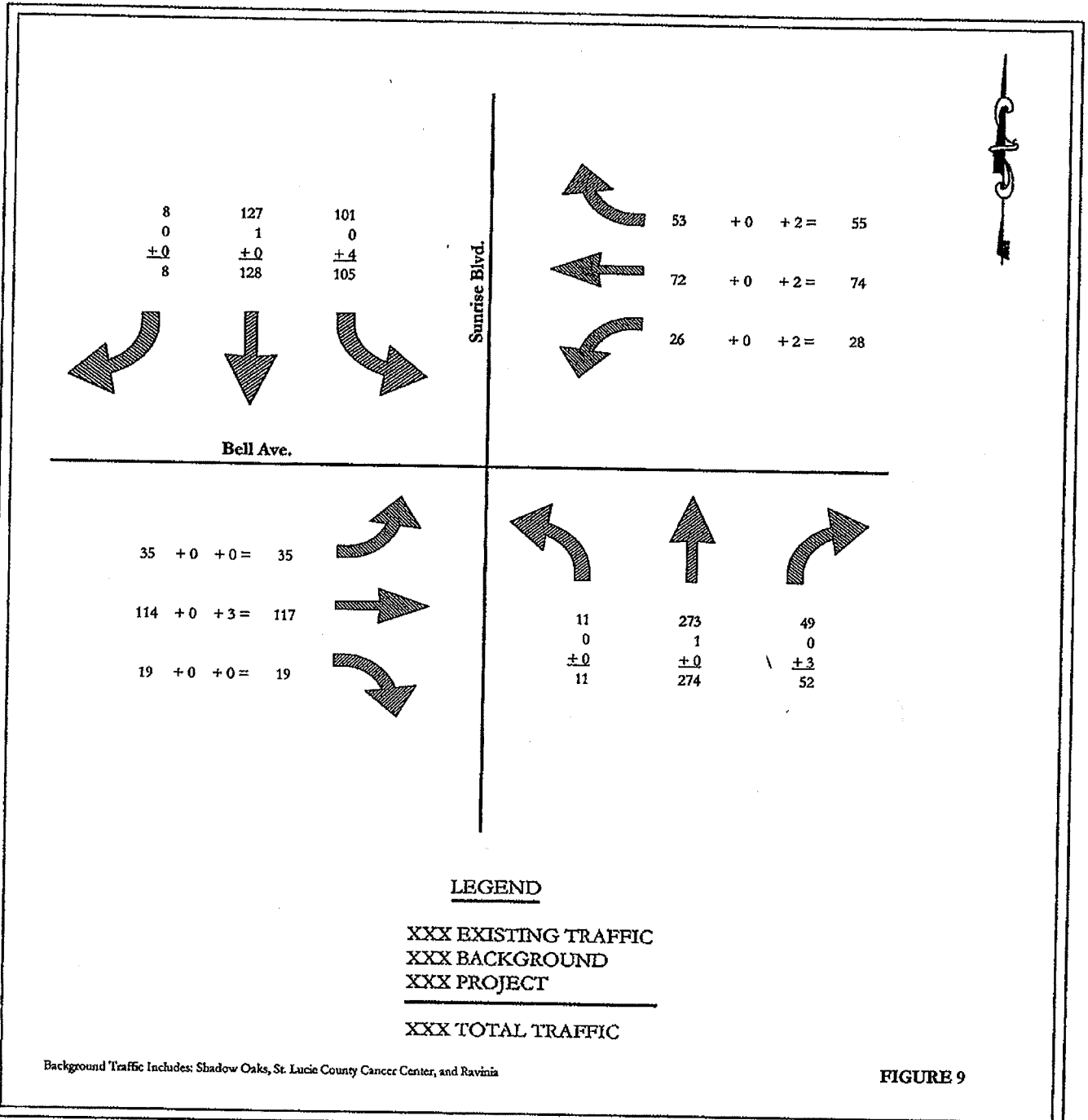



FIGURE 9

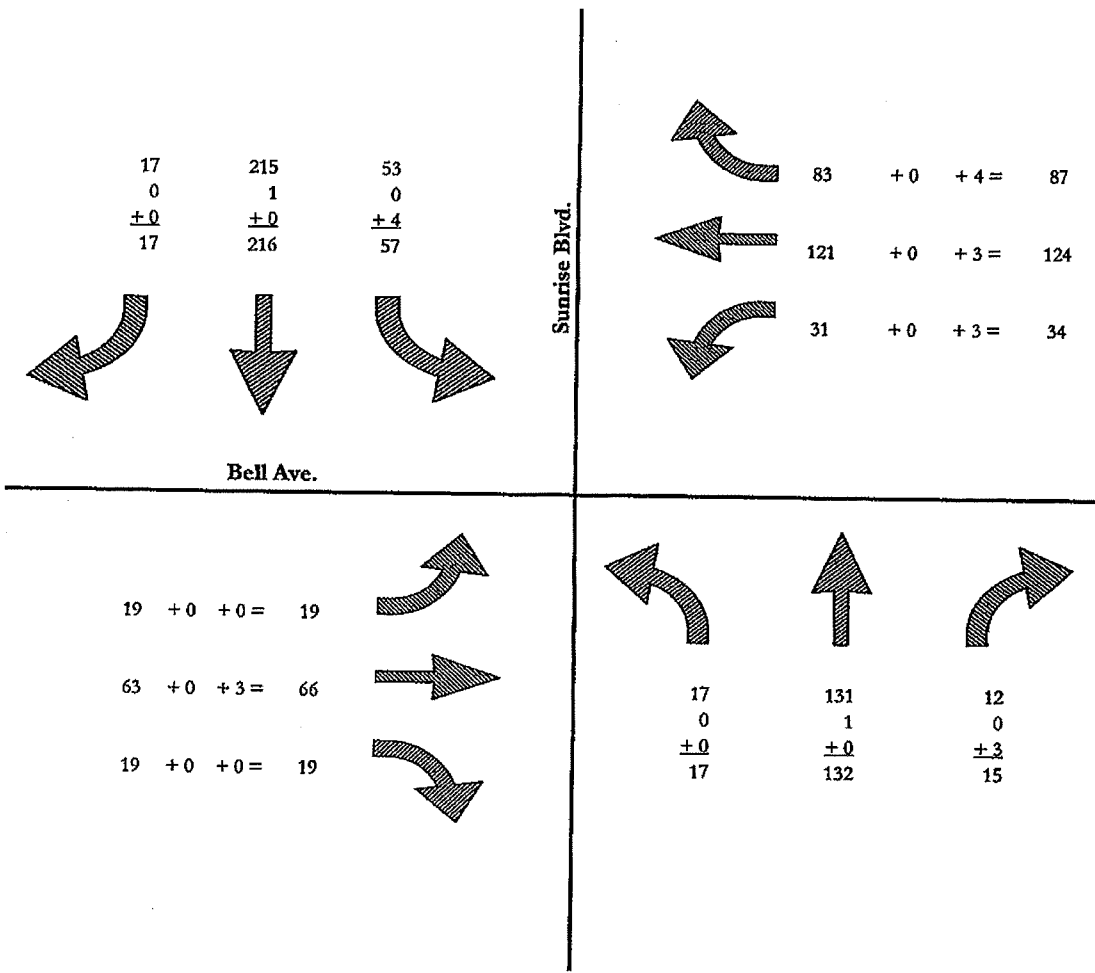


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AM PEAK HOUR TURNING MOVEMENTS  
 Sunrise Blvd. & Bell Ave.

**84 Lumber**



**LEGEND**

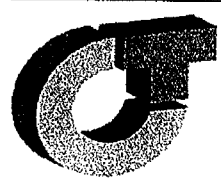
- XXX EXISTING TRAFFIC
- XXX BACKGROUND
- XXX PROJECT

---

- XXX TOTAL TRAFFIC

Background Traffic Includes: Shadow Oaks, St. Lucie County Cancer Center, and Ravinia

**FIGURE 10**

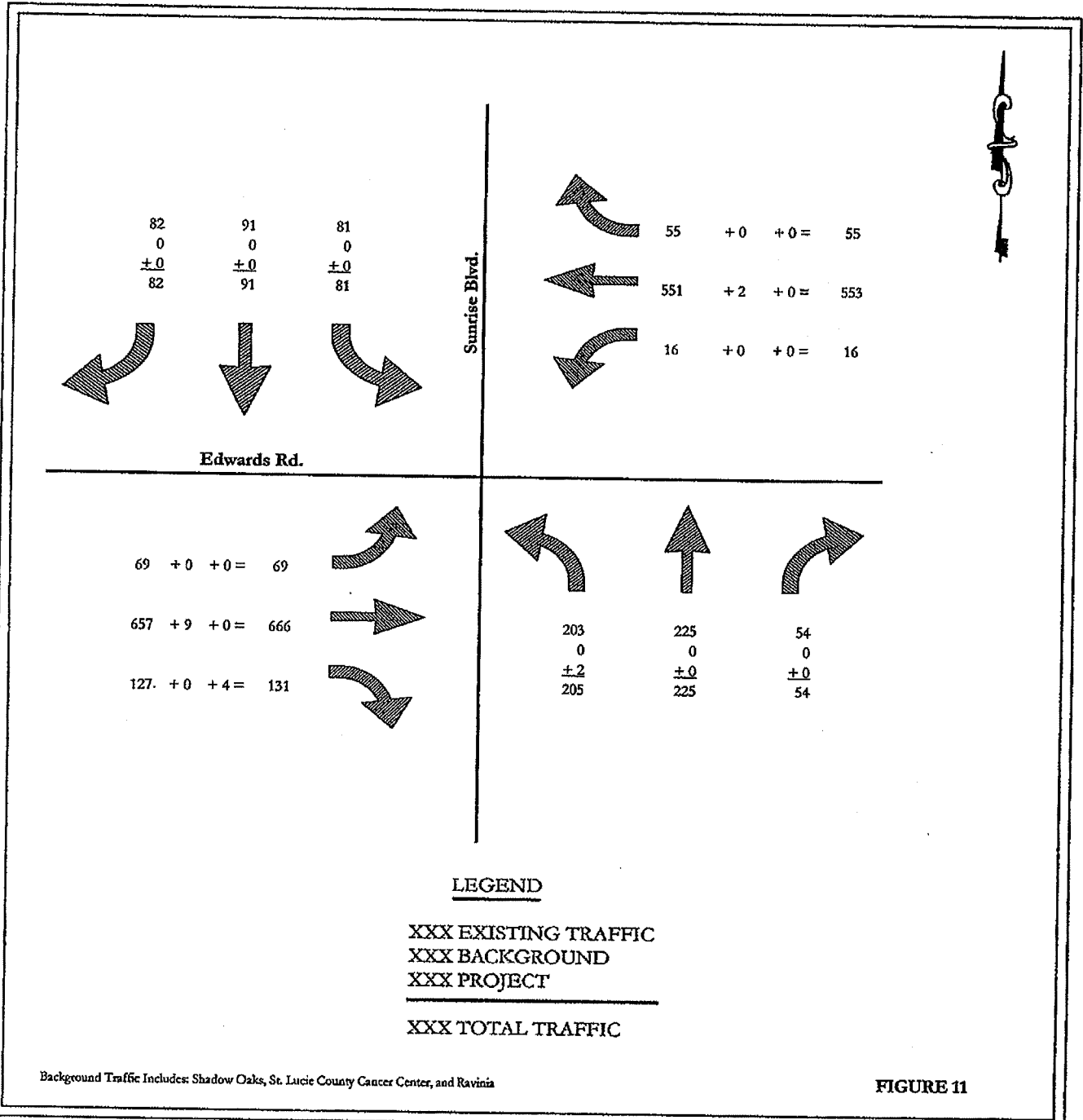


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PM PEAK HOUR TURNING MOVEMENTS  
 Sunrise Blvd. & Bell Ave.

**84 Lumber**



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**AM PEAK HOUR TURNING MOVEMENTS**  
 Sunrise Blvd. & Edwards Rd.

**84 Lumber**

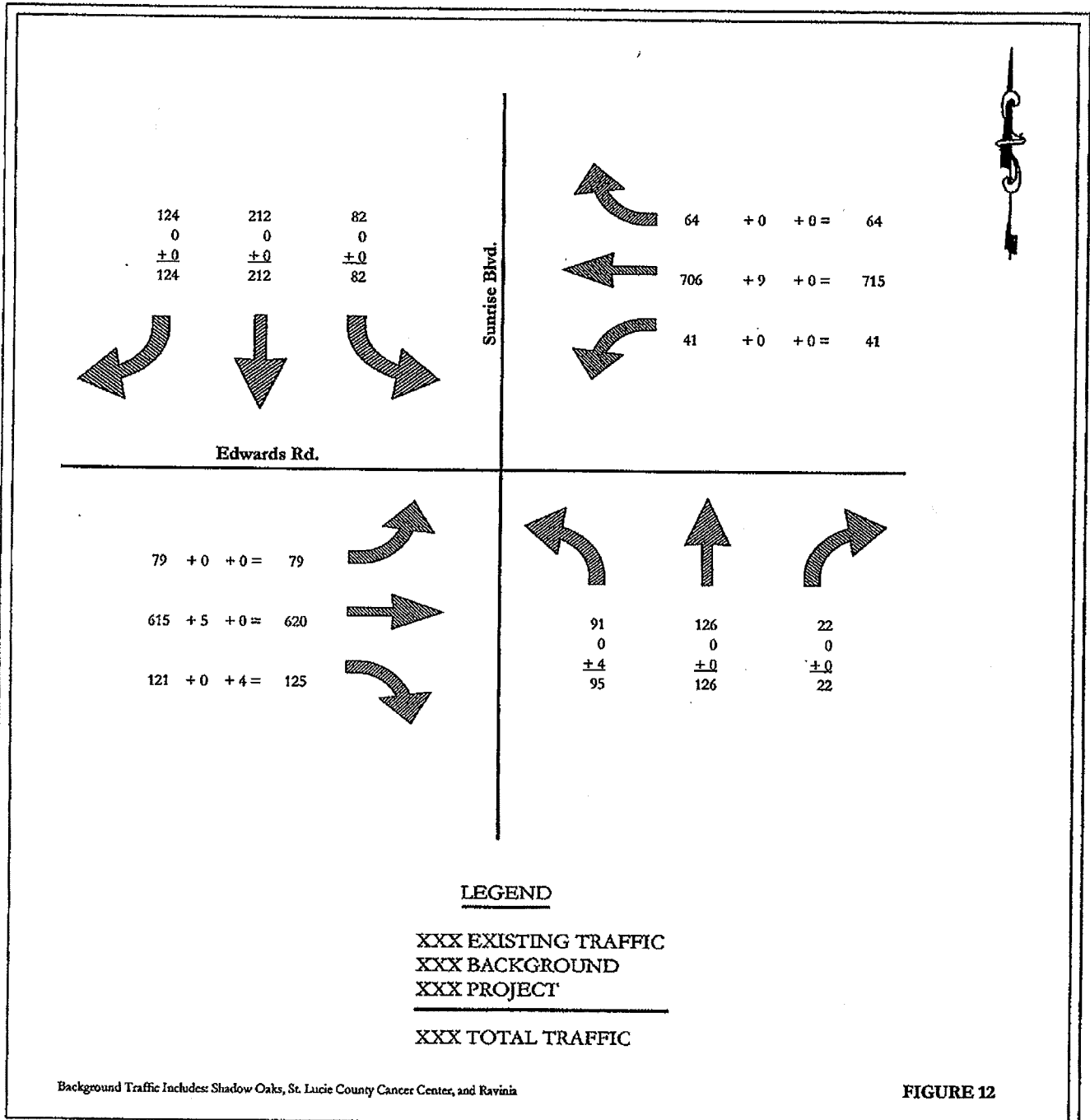



FIGURE 12



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PM PEAK HOUR TURNING MOVEMENTS  
 Sunrise Blvd. & Edwards Rd.

**84 Lumber**

The following is a summary of the results of the Levels of Service for each approach and the overall intersection. A detailed analysis of each lane group in a graphical representation of the lane geometry for the each of the studied intersections can be found in the attached Appendix A for the Pre-Development conditions and Appendix B for the Post-Development Conditions. A summary of the intersection capacity is as follows:

**Oleander Avenue and Edwards Road**

**A.M. Peak Hour**

<u>Approach</u>	<u>W/ committed</u> <u>Pre-Development</u>	<u>Post-Development</u>
Northbound	C	C
Southbound	B	C
Eastbound	C	C
Westbound	C	C
Intersection	C	C

**Oleander Avenue and Edwards Road**

**P.M. Peak Hour**

<u>Approach</u>	<u>W/ committed</u> <u>Pre-Development</u>	<u>Post-Development</u>
Northbound	C	C
Southbound	C	C
Eastbound	C	C
Westbound	D	D
Intersection	C	C

**Oleander Avenue and Bell Avenue**

**A.M. Peak Hour**

<u>Approach</u>	<u>W/ committed</u> <u>Pre-Development</u>	<u>Post-Development</u>
Northbound	A	A
Southbound	A	A
Eastbound	C	C
Intersection	C	C

**Oleander Avenue and Bell Avenue**

**A.M. Peak Hour**

<u>Approach</u>	<u>W/ committed</u> <u>Pre-Development</u>	<u>Post-Development</u>
Northbound	A	A
Southbound	A	A
Eastbound	C	C
Intersection	C	C

**Sunrise Boulevard and Bell Avenue**

**A.M. Peak Hour**

<u>Approach</u>	<u>W/ committed Pre-Development</u>	<u>Post-Development</u>
Northbound	C	C
Southbound	C	C
Eastbound	B	B
Westbound	B	B
Intersection	C	C

**Sunrise Boulevard and Bell Avenue**

**P.M. Peak Hour**

<u>Approach</u>	<u>W/ committed Pre-Development</u>	<u>Post-Development</u>
Northbound	B	B
Southbound	C	C
Eastbound	B	B
Westbound	C	C
Intersection	B	C

**Sunrise Boulevard and Edwards Road**

**A.M. Peak Hour**

<u>Approach</u>	<u>W/ committed Pre-Development</u>	<u>Post-Development</u>
Northbound	C	C
Southbound	C	C
Eastbound	C	C
Westbound	B	B
Intersection	C	C

**Sunrise Boulevard and Edwards Road**

**P.M. Peak Hour**

<u>Approach</u>	<u>W/ committed Pre-Development</u>	<u>Post-Development</u>
Northbound	C	C
Southbound	C	C
Eastbound	B	B
Westbound	B	B
Intersection	C	C

**Conclusion**

The traffic impact of the proposed 84 Lumber truss plant will have a minimal effect on the levels of service within the project impact area. This report shows that the changes in the Level of Services are a function of the growth the study area will encounter through the 2013 horizon year and not a result of project traffic.

1. 84 Lumber will result in less than 2% impact on all links within the study area.
2. The following links will decrease in level of service from 2005 existing conditions to 2013 pre-development conditions as follows:

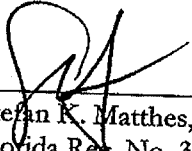
<u>US Hwy No. 1</u>	<u>LOS Capacity</u>	<u>Existing Conditions</u>	<u>Pre-Development Conditions</u>	<u>Post-Development Conditions</u>
S. of Virginia Ave	49,200	35,600 C	45,611 D	45,627 D
N. of Midway Rd	53,500	37,922 B	48,575 C	48,585 C
S. of Midway Rd	53,500	41,322 B	52,960 D	52,990 D

3. The following links will decrease in the PM Peak Hour Directional level of service:

<u>Bell Avenue</u>	<u>Pre-Development</u>	<u>Post-Development</u>
E. of Sunrise Blvd. (E. of site)	C	D
E. of Sunrise Blvd. (W. of site)	C	D

4. The intersection of Sunrise Boulevard and Bell Avenue during the P.M. Peak Hour decreases in an overall Level of Service from B to C.

Submitted By:

  
 Stefan K. Matthes, P.E.  
 Florida Reg. No. 38723

### References

1. State of Florida Department of Transportation, Quality/Level of Service Handbook, 2002.
2. Transportation Engineers, Trip Generation, Seventh Edition, 2003.
3. St. Lucie Urban Area Metropolitan Planning Organization Traffic Counts, Spring 2005.
4. HCS + Highway Capacity Software.
5. Shadow Oaks, St. Lucie County, Traffic Impact Study, 2003.
6. Ravania, Pinder Troutman Consulting, Inc., Traffic Impact Studies, 2005.
7. St. Lucie County Cancer Center, Pinder Troutman Consulting, Inc., Traffic Impact Studies, 2004-2006.

**Appendix A**

**Capacity Analysis Pre-Development**

## FULL REPORT

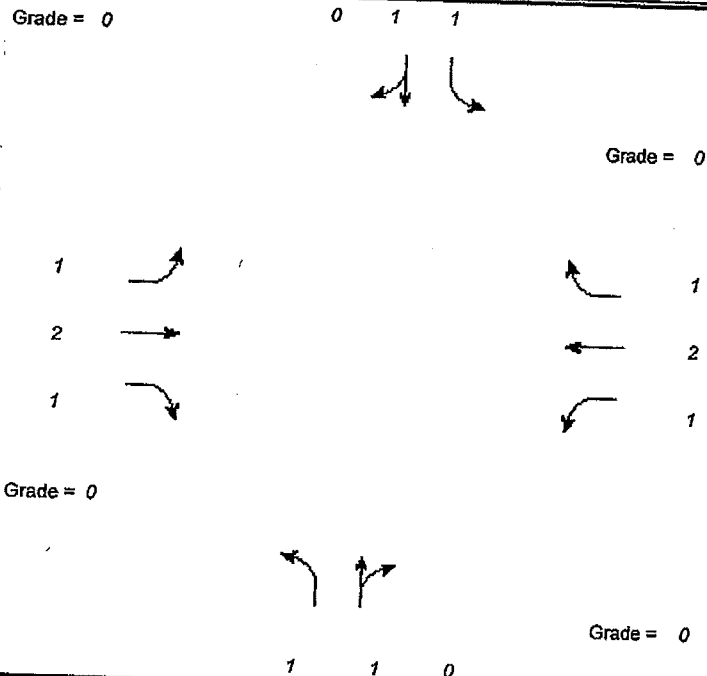
### General Information

Analyst *KT*  
 Agency or Co. *Ft. Pierce*  
 Date Performed *4/12/2007*  
 Time Period *AM Peak Hour*

### Site Information

Intersection *Oleander Ave & Edwards Rd*  
 Area Type *CBD or Similar*  
 Jurisdiction *FDOT*  
 Analysis Year *2013*

### Intersection Geometry



### Volume and Timing Input

	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Volume (vph)	59	376	250	60	294	7	273	376	77	59	238	53	
% Heavy Veh	5	5	5	5	5	5	5	5	5	5	5	5	
PHF	0.83	0.83	0.83	0.89	0.89	0.89	0.93	0.93	0.93	0.91	0.91	0.91	
Actuated (P/A)	P	P	P	P	P	P	P	P	P	P	P	P	
Startup Lost Time	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0		2.0	2.0		
Extension of Effective Green	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0		2.0	2.0		
Arrival Type	3	3	3	3	3	3	3	3		3	3		
Unit Extension	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0		3.0	3.0		
Ped/Bike/RTOR Volume	0	0	20	0	0	7	0	0	20	0	0	20	
Lane Width	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0		
Parking (Y or N)	N		N	N		N	N		N	N		N	
Parking/Hour													
Bus Stops/Hour	0	0	0	0	0	0	0	0		0	0		
Pedestrian Timing	3.2			3.2			3.2			3.2			
Timing	Excl. Left	EW Perm	03	04	Excl. Left	NS Perm	07	08					
	G = 5.0	G = 15.7	G =	G =	G = 5.0	G = 34.3	G =	G =					
	Y = 5	Y = 5	Y =	Y =	Y = 5	Y = 5	Y =	Y =					
Duration of Analysis (hrs) = 0.25												Cycle Length C = 80.0	

## VOLUME ADJUSTMENT AND SATURATION FLOW RATE WORKSHEET

### General Information

Project Description 84 Lumber AM Pre- Development

### Volume Adjustment

	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Volume	59	376	250	60	294	7	273	376	77	59	238	53
PHF	0.83	0.83	0.83	0.89	0.89	0.89	0.93	0.93	0.93	0.91	0.91	0.91
Adjusted Flow Rate	71	453	277	67	330	0	294	404	61	65	262	36
Lane Group	L	T	R	L	T	R	L	TR		L	TR	
Adjusted Flow Rate	71	453	277	67	330	0	294	465		65	298	
Proportion of LT or RT	1.000	-	1.000	1.000	-	1.000	1.000	-	0.131	1.000	-	0.121

### Saturation Flow Rate

Base Satflow	1900	1900	1900	1900	1900	1900	1900	1900		1900	1900	
Number of Lanes	1	2	1	1	2	1	1	1	0	1	1	0
$f_w$	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000		1.000	1.000	
$f_{HV}$	0.952	0.952	0.952	0.952	0.952	0.952	0.952	0.952		0.952	0.952	
$f_g$	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000		1.000	1.000	
$f_p$	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000		1.000	1.000	
$f_{bb}$	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000		1.000	1.000	
$f_a$	0.900	0.900	0.900	0.900	0.900	0.900	0.900	0.900		0.900	0.900	
$f_{LU}$	1.000	0.952	1.000	1.000	0.952	1.000	1.000	1.000		1.000	1.000	
$f_{LT}$	0.950	1.000	-	0.950	1.000	-	0.950	1.000	-	0.950	1.000	-
Secondary $f_{LT}$	0.370	0.370	-	0.259	0.259	-	0.445	0.445	-	0.295	0.295	-
$f_{RT}$	-	1.000	0.850	-	1.000	0.850	-	0.980		-	0.982	
$f_{Lpb}$	1.000	1.000	-	1.000	1.000	-	1.000	1.000	-	1.000	1.000	-
$f_{Rpb}$	-	1.000	1.000	-	1.000	1.000	-	1.000		-	1.000	
Adjusted Satflow	1547	3101	1384	1547	3101	1384	1547	1597		1547	1599	
Secondary Adjusted Satflow	602	1147	-	421	802	-	724	710	-	481	472	-

## CAPACITY AND LOS WORKSHEET

### General Information

Project Description *84 Lumber AM Pre- Development*

### Capacity Analysis

Lane Group	EB			WB			NB			SB		
	L	T	R	L	T	R	L	TR		L	TR	
Adjusted Flow Rate	71	453	277	67	330	0	294	465		65	298	
Satflow Rate	1547	3101	1384	1547	3101	1384	1547	1597		1547	1599	
Lost Time	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0		2.0	2.0	
Green Ratio	0.32	0.20	0.81	0.32	0.20	0.81	0.55	0.43		0.55	0.43	
Lane Group Capacity	253	609	1125	206	609	1125	453	685		333	686	
v/c Ratio	0.28	0.74	0.25	0.33	0.54	0.00	0.65	0.68		0.20	0.43	
Flow Ratio	0.05	0.15	0.20	0.04	0.11	0.00	0.06	0.29		0.04	0.19	
Critical Lane Group	Y	Y	N	N	N	N	Y	Y		N	N	
Sum Flow Ratios	0.55											
Lost Time/Cycle	20.00											
Critical v/c Ratio	0.73											

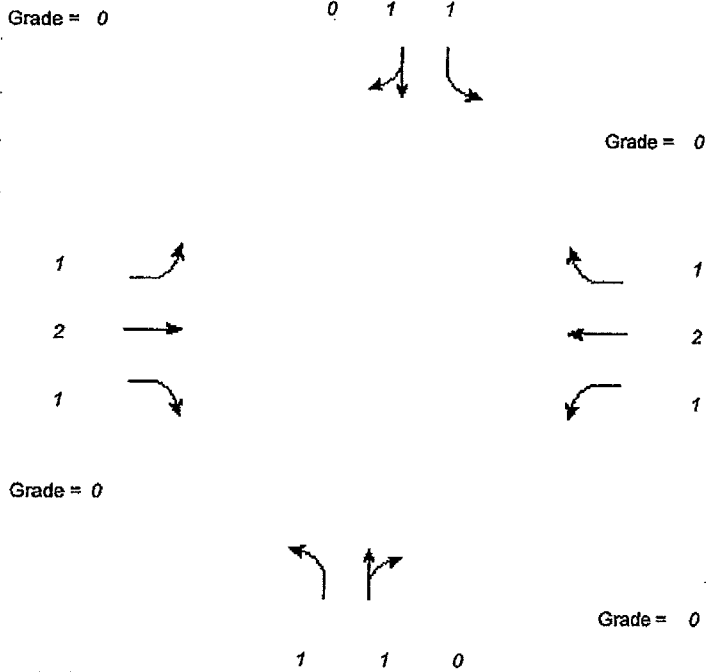
### Lane Group Capacity, Control Delay, and LOS Determination

Lane Group	EB			WB			NB			SB		
	L	T	R	L	T	R	L	TR		L	TR	
Adjusted Flow Rate	71	453	277	67	330	0	294	465		65	298	
Lane Group Capacity	253	609	1125	206	609	1125	453	685		333	686	
v/c Ratio	0.28	0.74	0.25	0.33	0.54	0.00	0.65	0.68		0.20	0.43	
Green Ratio	0.32	0.20	0.81	0.32	0.20	0.81	0.55	0.43		0.55	0.43	
Uniform Delay $d_1$	19.6	30.3	1.8	19.9	28.9	1.4	15.5	18.4		10.0	16.0	
Delay Factor k	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50		0.50	0.50	
Incremental Delay $d_2$	2.2	6.5	0.4	3.3	2.8	0.0	5.7	4.3		1.0	1.6	
PF Factor	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000		1.000	1.000	
Control Delay	21.8	36.8	2.2	23.2	31.7	1.4	21.2	22.7		11.1	17.6	
Lane Group LOS	C	D	A	C	C	A	C	C		B	B	
Approach Delay	23.5			30.3			22.1			16.5		
Approach LOS	C			C			C			B		
Intersection Delay	23.1			Intersection LOS						C		

## FULL REPORT

General Information	Site Information
Analyst <i>KT</i>	Intersection <i>Oleander Ave &amp; Edwards Rd</i>
Agency or Co. <i>Ft. Pierce</i>	Area Type <i>CBD or Similar</i>
Date Performed <i>4/12/2007</i>	Jurisdiction <i>FDOT</i>
Time Period <i>PM Peak Hour</i>	Analysis Year <i>2013</i>

### Intersection Geometry



### Volume and Timing Input

	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Volume (vph)	78	374	312	89	433	22	328	395	72	51	419	77
% Heavy Veh	5	5	5	5	5	5	5	5	5	5	5	5
PHF	0.88	0.88	0.88	0.85	0.85	0.85	0.94	0.94	0.94	0.91	0.91	0.91
Actuated (P/A)	A	P	P	A	P	P	A	A	A	A	A	A
Startup Lost Time	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0		2.0	2.0	
Extension of Effective Green	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0		2.0	2.0	
Arrival Type	3	3	3	3	3	3	3	3		3	3	
Unit Extension	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0		3.0	3.0	
Ped/Bike/RTOR Volume	0	0	20	0	0	7	0	0	20	0	0	20
Lane Width	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	
Parking (Y or N)	N		N	N		N	N		N	N		N
Parking/Hour												
Bus Stops/Hour	0	0	0	0	0	0	0	0		0	0	
Pedestrian Timing	3.2			3.2			3.2			3.2		
Timing	Excl. Left	EW Perm	03	04	Excl. Left	NS Perm	07	08				
	G = 5.0	G = 20.0	G =	G =	G = 12.0	G = 43.0	G =	G =				
	Y = 5	Y = 5	Y =	Y =	Y = 5	Y = 5	Y =	Y =				
Duration of Analysis (hrs) = 0.25							Cycle Length C = 100.0					

November 23<sup>rd</sup>, 2020

Ms. Jennifer Hofmeister, Planning Director  
City of Ft. Pierce  
100 North US #1  
Ft. Pierce FL 34950

Re: 1121 Digiorgio Road Conditional Use Application - ACOR

Dear Ms. Hofmeister,

Attached please find the completed application for Conditional Use for the operation of a food and related products with a waste related use in the I-1 (Industrial Light) Zoning District at the above address.

ACOR is a subsidiary of 783 FM, LLC. 783 FM has a purchase contract on the subject property and is leasing the facility from the current owner until closing.

We have been working with Vennis Gilmore and Kori Benton at the City and County, as well as James Carnes and Harry Sherva at FPUA and Rebecca Olson at the County, and are looking forward to bringing a new business to the community that is both environmentally responsible and economically sustainable.

Our business processes pre-consumer food and beverage products which are 'out-of-spec' for any number of reasons, including being past their expiration date, mis-packaging, mis-branding or mis-labeling. We process these food and beverage products to produce recyclable or recoverable materials which would otherwise be disposed of as waste. The processed food material is sold to cattle and hog feed manufactures. The aluminum, steel, cardboard and glass is sold for recycling. Although we strive for 100% reuse of materials, there is a small percentage of material that we receive that is not re-usable and will be diverted to Landfill. We estimate this as approximately 3% of our inbound volume.

We look forward to working with you throughout this process and to becoming part of the Ft. Pierce business community.

Please do not hesitate to contact me if you have any questions or need any additional information.

Kindest regards,



Dr. Fred P. Mussari  
CEO, ACOR  
Enclosures

## **Project Narrative**

783 FM, LLC, through its subsidiary American Complete Organics Recycling, LLC, (ACOR) plans to operate a pre-consumer food and beverage depackaging facility in an existing building that is currently owned by NAG Properties, LLC. This existing facility is located at 1121 Digiorgio Rd in the City of Ft. Pierce. The prior uses of this building were for an 84 Lumber, and later for a tent manufacturing and rental business. The new proposed use of this building has been determined by the City Zoning Staff to require the petitioner to obtain a Conditional Use Permit under the provisions of the I-1 (Light Industrial) Zoning District, specifically, the Processing of Food and Related Products with an additional Waste-Related Use designation.

Pre-consumer food and beverage products are food-grade materials that are still in the packaging, shrink-wrapped on pallets. The business will de-package this material using automated processing equipment located inside the large warehouse building. Food material is recovered in an enclosed auger system and loaded directly into trucks for daily transport to a local (FL) company as an ingredient for the production of cattle and hog feed pellets. Beverages are de-packaged in automated processing equipment, and liquid is sent to FPUA under agreement and in accordance with their pre-treatment program requirements. Because the inbound products are pre-consumer material (new, in the packaging), there is a significant amount of clean recyclable or recoverable materials (cardboard, aluminum, steel, plastic and glass) which are capable of being reclaimed and processed for reuse and which would otherwise be disposed of as solid waste. These materials are separated during depackaging and are sold into the recycling industry.

Generally, the process for depackaging and processing pre-consumer food and beverage products involves the following:

- Materials arrive at the warehouse by tractor-trailer and pallets are unloaded from the trucks.
- Pallets are inventoried, warehoused, and scheduled for production (depackaging).
- De-packaged liquids are transferred from the depackaging equipment to the FPUA collection system.
- De-packaged foods are transferred by auger into a tanker or trailer and transported daily to the cattle and hog feed producer.
- Commodities (aluminum, cardboard, steel, plastics and glass) are compacted inside the warehouse and delivered to the County Recycling Facility.

Please note that all processing activities are performed inside the large warehouse building, more than 250 yds from the nearest neighbor on N Park Drive.

The proposed conditional use does not require any additions or structural modifications to the existing structure. Some minor internal electrical work will be required for the processing needs and any such work will be permitted in accordance with the City's local codes and standards.

The business will employ up to twenty-five employees at full capacity operation. Shifts are generally from 7 am to 6 pm, with occasional later closing times as production cycles dictate.

The building square footage that is subject to the City's Parking Standards is approximately 42,000 sq ft. The facility currently has 112 designated paved parking spaces, or 1.6 spaces per 600 sq ft. of building

area. This is well in excess of the required 1 space per 600 sq ft. There are also 5 designated spaces for Persons with Disability, which meets the requirement for the number of required off-street parking spaces for all people.

Continued operation of this business at the end of Digiorgio Rd is not expected to have any impact upon local area roadway levels of service (see attached report). Perimeter and interior landscaping is mature, and met the minimum City Codes for I-1 Zoning originally. A Landscape Plan was prepared (see attached report) indicating that an additional 29 small shrubs should be planted to bring the facility up to current City Code. We will follow the recommendations in the Landscape Plan to bring the landscaping into compliance. Review of the sites existing on-site lighting also met the earlier Code requirements when the facility was constructed. The lighting has been upgraded, but will be further enhanced to meet current Code according to the plan recommendations (see attached Lighting Plan).

### **STANDARDS of REVIEW:**

When reviewing a Conditional Use Permit, that review is often best done when there are specific standards to be measured against that can provide for definitive findings in support of the proposed Conditional Use, based on compliance/consistency with local codes and standards. Noting that Article V, Section 125-235 thru 125-240, of the Ft. Pierce Code of Ordinances, has no specific Standards of Review for a Conditional Use application, for the purpose of this particular application, the following generalized Standards of Review have been prepared by the applicant for consideration by the City Commission and are based on similar standards that would be applied to a Conditional Use Permit application submitted in the unincorporated areas of St. Lucie County. The use of these standards are intended to assist the City Commission in formally finding that the proposed business under the classification of a food and related products processing facility, with a conditional 'Waste-Related Use' in the 1-1 Zoning District is, in fact, an acceptable use of the petitioned property.

#### **Consistency with Local Code and Comprehensive Plan.**

The proposed conditional use is in compliance with all requirements, and is consistent with the general purpose, goals, objectives, and standards of this Code, the Ft. Pierce Comprehensive Plan, and the Code of Ordinances of City of Ft. Pierce.

The proposed Conditional Use (the operation of a pre-consumer food and beverage depackaging facility) is consistent with the intent of the Industrial (I) Future Land Use designation of the Ft. Pierce Comprehensive Plan and with the industrial development purpose statement of the I-1 zoning district. The depackaging of pre-consumer food and beverage products essentially entails the unloading of shrink-wrapped pallets of cases of food and beverage products from manufacturers or distributors, the automated depackaging of cases of products using high-tech processing equipment, and the re-distribution of the components. The proposed use of this former lumber company/tent manufacturing and rental facility for the development of this new processing activity is not inconsistent with the Objectives and Policies of the City's Comprehensive Plan and is not inconsistent with the development and use philosophies outlined in the Port of Ft. Pierce Master Plan, as approved by the Board of County Commissioners for St. Lucie County.

Effect on Adjacent Properties.

The proposed Conditional Use will not have an undue adverse effect upon any nearby property. All processing will be taking place inside an existing industrial building that was originally used as an 84 Lumber facility, and later used as a production and rental facility for a tent rental company. All processing of the food and beverage products will take place inside of the existing structure.

The surrounding industrial uses to this site include a) Natalie's Juice and a FEC rail spur to the north; b) vacant I-1 zoned land to the south; and c) a crane company and scrap metal dealer to the east. There is a residential neighborhood to the west. The nearest home in the residential neighborhood is 800' from the warehouse building where processing will take place, and is separated by a wood fence, irrigation canal, and mature tree-line.

**The proposed conditional use is compatible with the existing or planned character of the neighborhood in which it would be located.**

The area in which the proposed Conditional Use is to be located is classified under both the City's Future Land Use and Zoning Maps for Industrial uses. The proposed Conditional Use, the operation of a pre-consumer food and beverage depackaging facility in the I-1 Zoning District, is to take place inside an existing industrial building that was formerly used as a lumber yard and tent rental/manufacturing facility. The proposed use of this property for the development of this new business is not inconsistent with the Objectives and of the City's Comprehensive Plan and is not inconsistent with the development and use philosophies outlined in the Port of Ft. Pierce Master Plan, as approved by the Board of County Commissioners for St. Lucie County.

**All reasonable steps have been taken to minimize any adverse effect of the proposed conditional use on the immediate vicinity through building design, site design, landscaping, and screening.**

All production activities are done within the 30,000 sq. foot former 84 Lumber facility. The proposed Conditional Use does not require any additions or structural modifications to the existing structure. Any internal building renovations that may be required for processing needs will be permitted in accord with the City's local codes and standards.

The proposed business will provide for up to twenty-five full-time employees at full operation. Production shifts are generally from 7am to 6pm, M-F, with occasional later closing times as production cycles dictate.

The building square footage that is subject to the City's Parking Standards is approximately 42,000 sq. feet. The current City Parking Standard for a facility of this type is 1 space per 600 SF of building area. The site plan for this facility provides for 112 paved parking spaces, or 1.6 spaces per 600 SF of building area. The parking area meets the objective of Section 125-315 of the City Code of Ordinances.

The perimeter and interior landscaping will be brought up to Code by following the recommended plantings in the landscape Plan (please refer to attached landscape plan) to be approved through reference in this Conditional Use application.

C. Adequacy of Public Facilities.

The proposed conditional use will be served by adequate public facilities and services, including **roads, police protection, fire protection, solid waste disposal, water, sewer, drainage structures**, parks and mass transit.

- The proposed Conditional Use in this I-1 (Industrial Light) Zoning District is to take place inside an existing industrial building that was formerly used as a lumber company and tent manufacturing/rental facility and will be served by adequate public facilities and services.
- Water and Sewer Services are presently at the site. We are working with FPUA and have an application pending for their pre-treatment program. We will continue to work with FPUA to assure that all requirements are met.
- No changes are proposed (or required) to the existing on-site drainage/ stormwater management systems on the property.
- Additional law enforcement protection services will not be required beyond those presently provided to the project site.
- As a non-residential use, the proposed Conditional Use in the 1-1 Zoning District, will have no impact upon the City's Park System.
- A fire protection plan will be supplied to the St. Lucie County Fire District prior to the start of processing operations. All warehouse, storage and office spaces are equipped with sprinkler systems.
- The re-establishment of this site as a manufacturing use, is not expected to have any impact upon local area roadway levels of service. The sites' prior use as a lumber company and tent manufacturing/rental facility resulted in consistent traffic onto the local area roadway network. The proposed use on this site also will result in consistent year-round activity, will have a minimum effect on the local traffic volumes.

Thank you for your consideration of this application for Conditional Use for this property. Please do not hesitate to contact us if you have any questions or require any additional information.

Attachments:

1. Notarized Conditional Use Application
2. Notarized Design Review Application
3. St. Lucie County Property Record Card
4. General Location Map
5. Survey
6. Site Plan
7. Floor Plan
8. Landscaping Plan
9. Lighting Plan
10. Traffic Statement and original Study
11. Comments from Pre-Application Meeting

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## Conditional Use – No New Construction

Property address or Location 1121 Digiorgio RD, Ft. Pierce FL

Parcel ID #(s) 2428-421-0002-000-7

Project description To provide for the development of a pre-consumer food and beverage depackaging facility in an existing building, located at the west end of Digiorgio Rd.in Ft. Pierce.

NAG Properties, LLC  
**Property Owner(s)**  
 2820 SE Martin Square Corporate PKWY  
 Street Address  
 Stuart FL 34994-4915  
 City State Zip  
 772.215.1164  
 Phone Number  
 Gary@tentlogix.com  
 Email Address

ACOR, LLC / Fred Mussari, President  
**Applicant/Representative, Title, Company**  
 783 Co Rd 13 S  
 Street Address  
 St Augustine FL 32092  
 City State Zip  
 321.427.5508  
 Phone Number  
 FMussari@ACORUSA.com  
 Email Address

**Property Owner(s) Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

*Gary Hendry*  
 \_\_\_\_\_  
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY  
 The foregoing instrument was acknowledged before me this 29<sup>th</sup> day of October, 2020, by

Gary Hendry who is personally known to me or has produced \_\_\_\_\_ as identification

Mary Beth Parker  
 \_\_\_\_\_  
 Signature of Notary



**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_

Intake Planner \_\_\_\_\_

Planner Assigned \_\_\_\_\_

Approved By \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Intake Date Stamp



# CONDITIONAL USE: NO NEW CONSTRUCTION

**Submit one original, seven (7) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:**

- If no site improvements are required:
  - As-built survey
  - Floor plan of existing building(s)
- If parking and drainage improvements are required:
  - As-built survey;
  - Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage;
  - Lighting plan
- Complete, notarized application

**Application Type:**

- Conditional Use: No new construction with no site improvements
- Conditional Use: No new construction with parking and drainage improvements

**Site Information:**

Building Size 42,000    Parking Spaces: 112

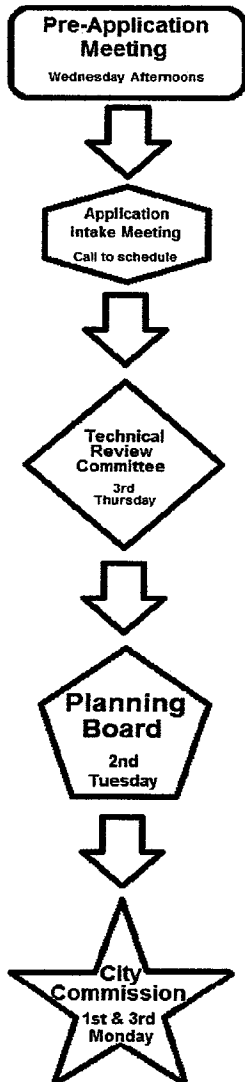
Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
Industrial	Industrial (vacant)	Industrial	Residential

The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 22-75, shall be reviewed as a unit in accordance with the requirements of section 22-58 except that:

- (1) The city commission shall hold a public hearing in accordance with the provisions of section 22-143 prior to acting on the application for conditional use.
- (2) In the event the city planning board disapproved the application for conditional use or in case of a protest against said application signed by twenty (20) per cent of the owners within five hundred (500) feet of the area included in said application, such application shall not be approved except by a four-fifths vote by the city commission.
- (3) In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.

**Application Outlook**





## Design Review

Property address or Location 1121 Digiorgio Rd  
 Parcel ID #(s) 2428-421-0002-000-7  
 Project Description ACOR Conditional Use Application - Processing of Food and Related Products with an additional Waste-Related Use designation.

NAG Properties, LLC  
 Property Owner(s)  
 2820 SE Martin Square Corporate PKWY  
 Street Address  
 Stuart FL 34994-4915  
 City State Zip  
 772.215.1164  
 Phone Number  
 Gary@tentlogix.com  
 Email Address

ACOR / Fred P. Mussari, CEO  
 Applicant/Representative, Title, Company  
 783 Co Rd 13 S  
 Street Address  
 St Augustine FL 32092  
 City State Zip  
 321.427.5508  
 Phone Number  
 FMussari@AcorUSA.com  
 Email Address

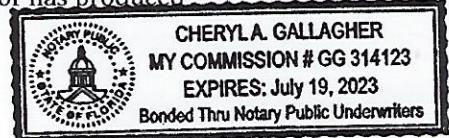
**Property Owner(s) Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

*Gary Hendry*  
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY - Martin  
 The foregoing instrument was acknowledged before me this 24 day of Nov, 2022 by

GARY HENDRY who is personally known to me or has produced  
Cheryl A. Gallagher as identification.

*Cheryl A. Gallagher*  
 Signature of Notary



(seal)

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_

Intake Date Stamp

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November 25<sup>th</sup>, 2020

Ms. Jennifer Hofmeister, Planning Director  
City of Ft. Pierce  
100 North US #1  
Ft. Pierce FL 34950

Re: Design Review - 1121 Digiorgio Road (ACOR)

Dear Ms. Hofmeister,

Attached please find the notarized design review application for 1121 Digiorgio Rd.

Since this is an existing facility and no changes are being made to the site, I will try to address the items in the checklist for Administrative and Board Approval individually:

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches. **Attached**
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements. **See attached Landscape Plan**
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.

**This site was selected for our facility based on the Light Industrial Zoning, easy access to I-95 and the Turnpike, and ample warehouse space and outdoor covered storage areas. With 42,000 SF of warehouse and an additional 24,000 SF outdoor covered storage, three dock-height loading docks and ample parking for employees, the existing facility is ideally suited to our business. All processing activities will take place inside the enclosed large warehouse, and our operation will not emit odors, smoke, or noise and will have no impact on the residential neighborhood to the West of the property, especially considering the large buffer area between the two properties which includes a wood fence, mature shrubs and trees, a service road and irrigation canal.**

- d. Context photographs of neighboring uses and architectural styles.

North – I1 zoned property used for pipe storage, with Natalie’s Juice located to the north of that parcel.



South – Vacant I1 zoned property



East – Vacant I1 zoned parcel



West – Residential Neighborhood off of Sunrise and N Park Dr.



- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department. **NA**
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.

Building 1 – Office and warehouse



Building 2 – Large warehouse (temporary structures are being removed)



Buildings 3 and 4 – large covered storage structures



- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping. **See attached Site Plan**
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included. **See attached Landscape Plan**
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.



Existing 84 lumber signs will be re-covered with new company name (ACOR)

- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well. **See photos above which cover all these elements.**
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

**See Narrative, Site Plan, Lighting Plan and Landscape Plan submitted as part of the Conditional Use Application. If you need another copy of these provided separately for the design review, please let me know and I would be happy to provide them.**

Please do not hesitate to contact me if you have any questions or require any additional information.

Kindest Regards,



---

Dr. Fred P. Mussari  
CEO, American Complete Organics Recycling

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### Property Identification

Site Address: 1121 Digiorgio RD  
Parcel ID: 2428-421-0002-000-7  
Account #: 168474  
Map ID: 24/28S  
Use Type: 4300  
Zoning: Light Indu  
City/County: Fort Pierce

### Ownership

NAG Properties LLC  
2820 SE Martin Square Corporate PKWY  
Stuart, FL 34994

### Legal Description

28 35 40 FROM SW COR OF SE 1/4 RUN N 02 49 59 W ALG W LI OF SE 1/4 1826.84 FT TO POB:TH CONT N 02 49 59 W 738.08 FT TO SLY LI OF NSLWDCD NO. 10, TH N 89 00 20 E ALG SLY LI 832.51 FT,TH S 00 45 03 E ALG WLY LI 711.33 FT,TH S 87 10 01 W 831.93 FT TO POB (13.84 AC) (OR 3625-1287, 1294)

### Current Values

Just/Market Value: \$2,923,700  
Assessed Value: \$2,785,916  
Exemptions: \$0  
Taxable Value: \$2,785,916



### Total Areas

Finished/Under Air (SF): 40,319  
Gross Sketched Area (SF): 86,680  
Land Size (acres): 13.84  
Land Size (SF): 602,870

### Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this parcel: [Download PDF](#)

### Sale History

Date: Apr 24, 2014  
Book/Page: 3625 / 1294  
Sale Code: 0111  
Deed: QC  
Grantor: NAG Properties LLC  
Price: \$100

Date: Apr 24, 2014  
Book/Page: 3625 / 1287  
Sale Code: 0002  
Deed: WD  
Grantor: Stampede Industries LLC  
Price: \$2,150,000

Date: Oct 9, 2012  
Book/Page: 3450 / 1930

Sale Code:	0130
Deed:	SP
Grantor:	Pierce Hardy LP
Price:	\$2,062,500
Date:	Apr 2, 2008
Book/Page:	2975 / 1425
Sale Code:	XX01
Deed:	WD
Grantor:	Hardy Management Co LLC
Price:	\$100
Date:	Apr 20, 2006
Book/Page:	2548 / 2761
Sale Code:	XX00
Deed:	WD
Grantor:	Keller (TR) Fred
Price:	\$2,422,400
Date:	Oct 7, 2002
Book/Page:	1595 / 1337
Sale Code:	XX00
Deed:	WD
Grantor:	Becker Holding Corp
Price:	\$1,000,000

### Building Information (1 of 2)

Finished Area: 12,000 SF

Gross Sketched Area: 15,740 SF

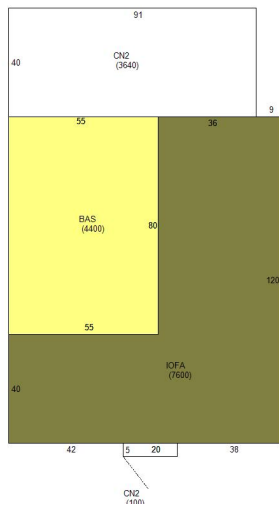
#### Exterior Data

View:	Roof Cover: Metal	Roof Structure: Steel Truss
Building Type: INDW	Year Built: 2009	Frame:
Grade: Y_C	Effective Year: 2009	Primary Wall: Corr Metal
Story Height: 1 Story	No. Units: 1	Secondary Wall: Conc Block

#### Interior Data

Bedrooms: 0	Electric: MAXIMUM	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors: CONC GRD
A/C %: 0%	Heated %: N/A%	Sprinkled %: 100%





### Building Information (2 of 2)

Finished Area: 28,319 SF

Gross Sketched Area: 70,940 SF

#### Exterior Data

View:  
 Building Type: INDW  
 Grade: Y\_C  
 Story Height: 1 Story

Roof Cover: Metal  
 Year Built: 2009  
 Effective Year: 2009  
 No. Units: 1

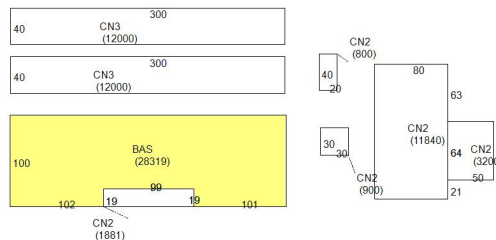
Roof Structure: Steel Truss  
 Frame:  
 Primary Wall: Corr Metal  
 Secondary Wall:

#### Interior Data

Bedrooms: 0  
 Full Baths: 0  
 Half Baths: 0  
 A/C %: 0%

Electric: MAXIMUM  
 Heat Type:  
 Heat Fuel:  
 Heated %: %

Primary Int Wall:  
 Avg Hgt/Floor: 0  
 Primary Floors: CONC GRD  
 Sprinkled %: 100%



### Special Features and Yard Items

Type:	SINGLE LIGHT
Quantity:	1
Units:	1
Year Built:	2009
Type:	MEZZANINE
Quantity:	1
Units:	6995
Year Built:	2009

Type: ASP1 HIGH  
 Quantity: 1  
 Units: 256506  
 Year Built: 2009

Type: DOUBLE LIGHT  
 Quantity: 1  
 Units: 2  
 Year Built: 2009

### Current Year Values

#### Current Values Breakdown

Building: \$2,155,000  
 Land: \$768,700  
 Just/Market: \$2,923,700  
 Ag Credit: \$0  
 Save Our Homes or 10% Cap: \$137,784  
 Assessed: \$2,785,916  
 Exemption(s): \$0  
 Taxable: \$2,785,916

#### Current Year Exemption Value Breakdown

#### Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2009	0041	166.4	Fort Pierce Stormwater Charge	\$11,481.60
Start Year	AssessCode	Units	Description	Amount
2013	0054	13.83999	North St. Lucie Water Management District	\$256.04

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office ☐.

### Historical Values

#### Permits

Number: 0700000937  
 Issue Date: Aug 8, 2007  
 Description: Awning/Shutters  
 Amount: \$8,000  
 Fee: \$80

Number: 0700000911  
 Issue Date: Sep 21, 2007  
 Description: Unknown  
 Amount: \$39,387  
 Fee: \$469

Number: 0700001651  
 Issue Date: Nov 15, 2007  
 Description: Fence  
 Amount: \$40,000  
 Fee: \$400

Number:	MPCM20071
Issue Date:	Jan 1, 2008
Description:	
Amount:	\$0
Fee:	\$0
Number:	MPCM20072
Issue Date:	Jan 1, 2008
Description:	
Amount:	\$0
Fee:	\$0
Number:	MPCM20074
Issue Date:	Jan 1, 2008
Description:	
Amount:	\$0
Fee:	\$0
Number:	MPCM20075
Issue Date:	Jan 1, 2008
Description:	
Amount:	\$0
Fee:	\$0
Number:	bp10-1988
Issue Date:	Sep 10, 2010
Description:	Alterations/Remodeling
Amount:	\$0
Fee:	\$75
Number:	BP14-1528
Issue Date:	Jun 19, 2014
Description:	Fence
Amount:	\$14,606
Fee:	\$239
Number:	BP14-1562
Issue Date:	Jun 5, 2014
Description:	Electric
Amount:	\$900
Fee:	\$155
Number:	BP14-1680
Issue Date:	Aug 8, 2014
Description:	Electric
Amount:	\$60,000
Fee:	\$643
Number:	BP14-2414
Issue Date:	Sep 29, 2014
Description:	Paving
Amount:	\$38,180
Fee:	\$397
Number:	BP14-2365
Issue Date:	Sep 10, 2014
Description:	Electric
Amount:	\$1,000
Fee:	\$159
Number:	BP14-2372
Issue Date:	Sep 23, 2015
Description:	Electric
Amount:	\$7,895

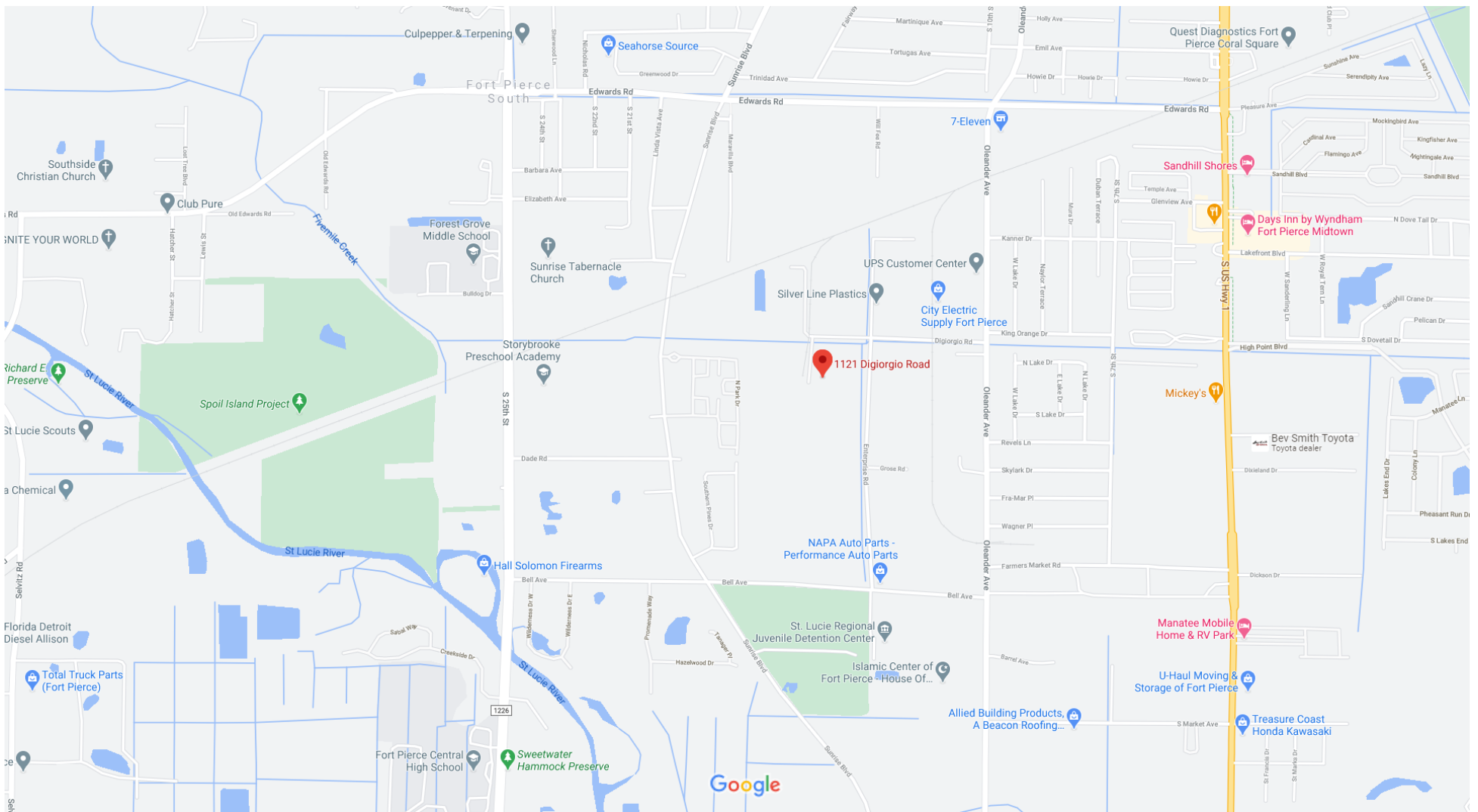
Fee:	\$83
Number:	BP15-3135
Issue Date:	Dec 9, 2015
Description:	Carport
Amount:	\$5,000
Fee:	\$83
Number:	BP15-3220
Issue Date:	Dec 17, 2015
Description:	Carport
Amount:	\$22,000
Fee:	\$238
Number:	BP15-3221
Issue Date:	Dec 17, 2015
Description:	Carport
Amount:	\$4,500
Fee:	\$95

Notice: This does not necessarily represent all the permits for this property.  
Click the following link to check for additional permit data in Fort Pierce

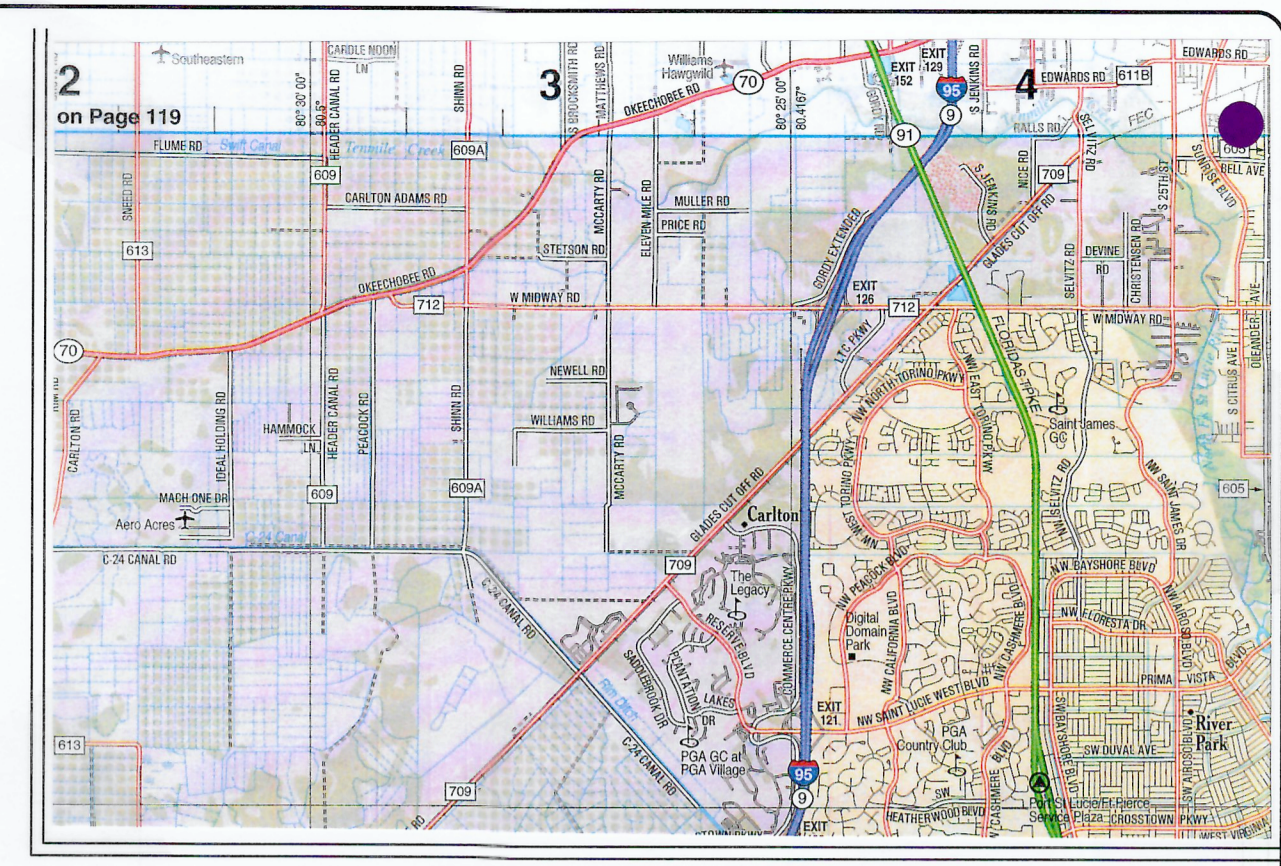
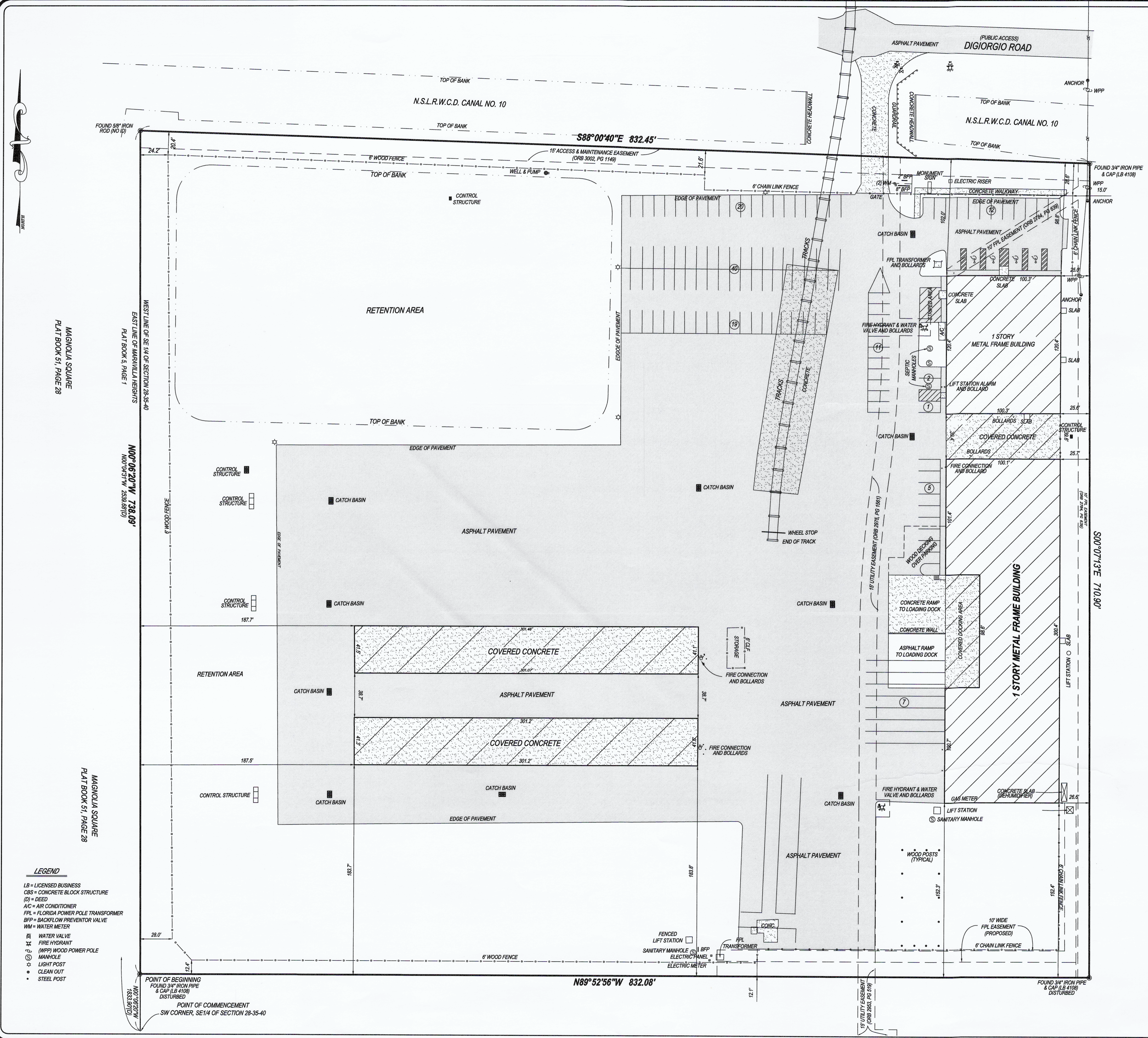
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All information is believed to be correct at this time, but is subject to change and is provided without any warranty.  
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# General Location Map



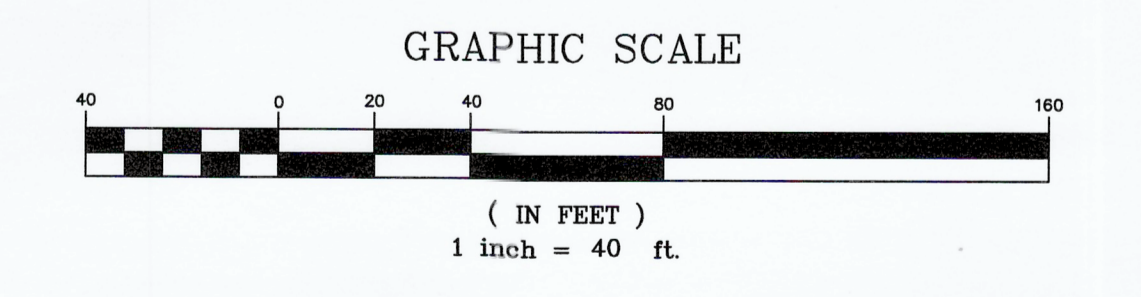
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LOCATION MAP: NOT TO SCALE  
**BOUNDARY SURVEY**  
 1121 DIGORGIO ROAD  
 FORT PIERCE, FLORIDA, 34982

**LEGAL DESCRIPTION:**  
 BEING A PARCEL OF LAND LYING IN SECTION 28, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 28; THENCE NORTH 00°06'20" WEST, ALONG THE WEST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 28 AND THE EAST LINE OF THE SUNRISE HOMESITES SUBDIVISION, AS RECORDED IN PLAT BOOK 13, PAGE 14, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, A DISTANCE OF 1833.90 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°06'20" WEST, ALONG THE EAST LINE OF SAID SUNRISE HOMESITES SUBDIVISION AND THE EAST LINE OF MARAVILLA HEIGHTS SUBDIVISION, AS RECORDED IN PLAT BOOK 5, PAGE 1, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, A DISTANCE OF 738.09 FEET TO A POINT IN THE SOUTHERLY LINE OF NORTH ST. LUCIE WATER CONTROL DISTRICT CANAL NO. 10; THENCE SOUTH 88°00'40" EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, A DISTANCE OF 832.45 FEET; THENCE SOUTH 00°07'13" EAST, A DISTANCE OF 710.90 FEET; THENCE NORTH 88°52'56" WEST, A DISTANCE OF 832.08 FEET TO THE POINT OF BEGINNING.

**SURVEYOR'S NOTES:**  
 1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM ASBUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.  
 2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.  
 3. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORD PLAT IF ANY.  
 4. THIS PROPERTY WAS SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.  
 5. THE BEARING BASE AS SHOWN ON THIS SURVEY IS ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF SECTION 28-35-40, N00°06'20"W.  
 6. LEGAL DESCRIPTION FURNISHED BY CLIENT.  
 7. ALL BEARINGS AND DISTANCES SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED.  
 8. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.  
 9. THIS SITE LIES IN FLOOD ZONE 'X' AS SCALED AND INTERPOLATED ON FEMA MAP NO. 12111C0189 K, DATED FEBRUARY 19, 2020.  
 10. THE EXPECTED OF THE SURVEY MAP IS FOR COMMERCIAL PURPOSES.  
 11. ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, IN FEET.  
 12. SITE AREA: 80272.22 SQUARE FEET OR 13.84 ACRES MORE OR LESS.  
 13. LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGEWAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.



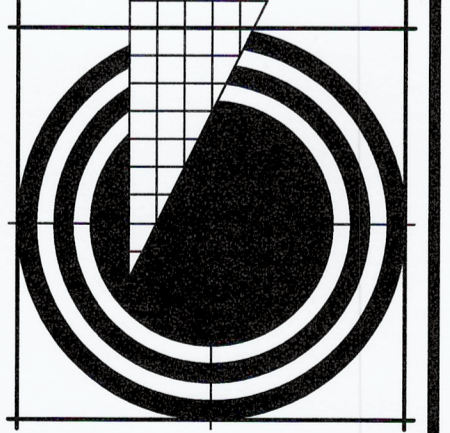
**SURVEYOR'S CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS SURVEY MAP AND/OR REPORT WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 55-17, FLORIDA ADMINISTRATIVE CODE AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

CRAIG D. WATSON  
 PROFESSIONAL SURVEYOR & MAPPER  
 NO. 5647 STATE OF FLORIDA

DATE	REVISIONS	DWG	CHK

PREPARED FOR:  
**DR. FRED P. MUSSARI**  
 A PORTION OF SECTION 28-35-40  
 ST. LUCIE COUNTY, FLORIDA

**WATSON | KILLANE**  
 SURVEYING AND MAPPING, INC.  
 2240 NE DIXIE HIGHWAY - JENSEN BEACH, FLORIDA 34957  
 PHONE 772-334-0868 - EMAIL: WATSONKILLANE@GMAIL.COM  
 LICENSED BUSINESS NO. 8241



JOB NUMBER: 20431
FIELD DATE: 10-23-2020
CHECKED BY: CDW
DRAWN BY: DPK
SCALE: 1" = 40'
<b>SHEET</b> 1 OF 1

- LEGEND**
- LB = LICENSED BUSINESS
  - CBS = CONCRETE BLOCK STRUCTURE
  - (D) = DEED
  - AC = AIR CONDITIONER
  - FPL = FLORIDA POWER POLE TRANSFORMER
  - BFP = BACKFLOW PREVENTOR VALVE
  - WM = WATER METER
  - WV = WATER VALVE
  - XX = FIRE HYDRANT
  - (WPP) = WOOD POWER POLE
  - (M) = MANHOLE
  - (L) = LIGHT POST
  - (C) = CLEAN OUT
  - (S) = STEEL POST

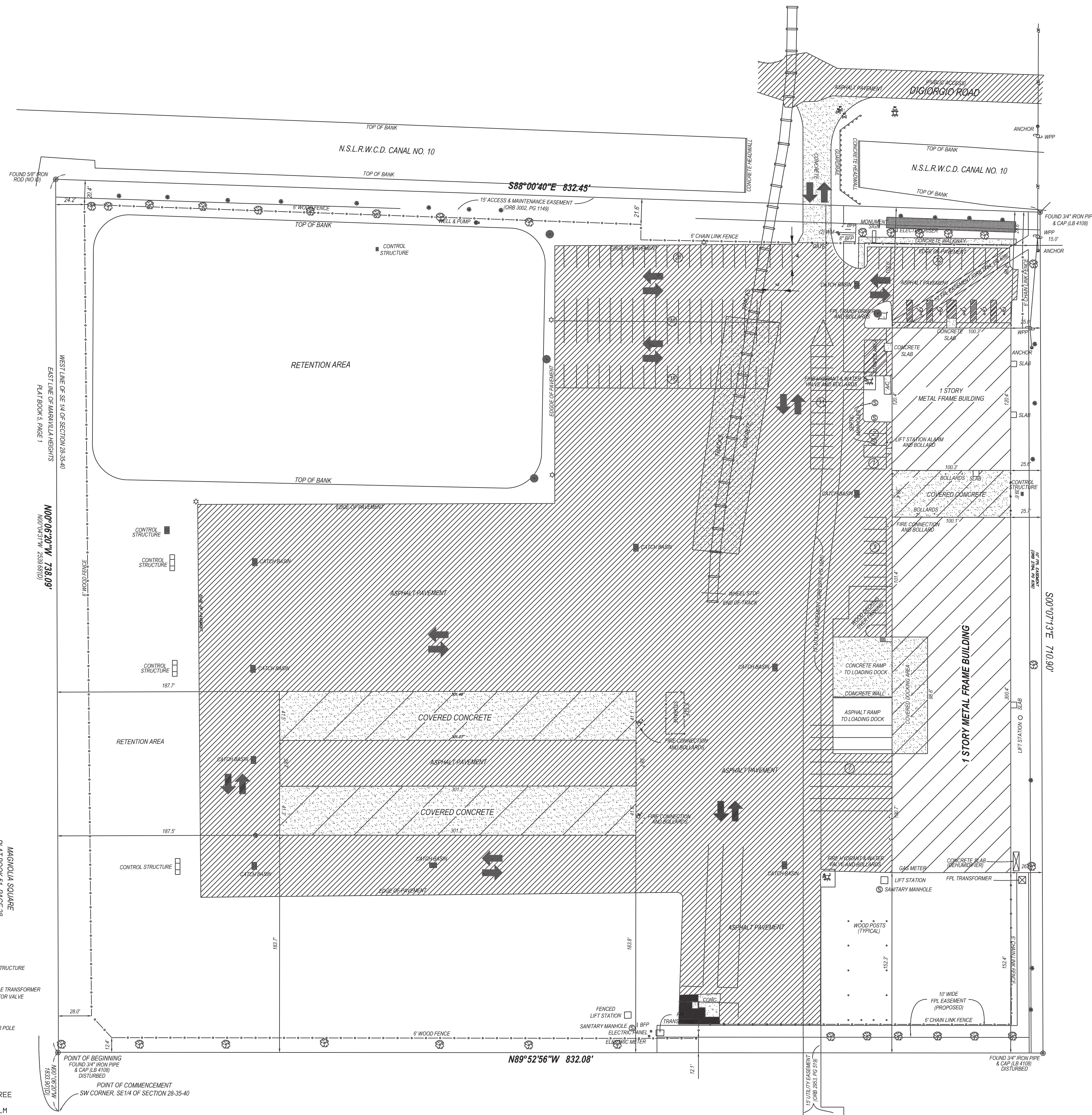
MAGNOLIA SQUARE  
 PLAT BOOK 51, PAGE 28

MAGNOLIA SQUARE  
 PLAT BOOK 51, PAGE 28

POINT OF BEGINNING  
 FOUND 3/4" IRON PIPE  
 & CAP (LB 4108)  
 DISTURBED

POINT OF COMMENCEMENT  
 SW CORNER, SE 1/4 OF SECTION 28-35-40

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- LEGEND**
- LB = LICENSED BUSINESS
  - CB = CONCRETE BLOCK STRUCTURE
  - ID = DEED
  - AC = AIR CONDITIONER
  - FPL = FLORIDA POWER POLE TRANSFORMER
  - BFP = BACKFLOW PREVENTOR VALVE
  - WM = WATER METER
  - WV = WATER VALVE
  - FH = FIRE HYDRANT
  - WPP = WOOD POWER POLE
  - MH = MANHOLE
  - LP = LIGHT POST
  - CO = CLEAN OUT
  - SP = STEEL POST
  - OT = OAK TREE
  - ST = SYCAMORE TREE
  - CP = COCONUT PALM

**SITE PLAN**  
SCALE: 1" = 100'

**GENERAL PROJECT INFORMATION**

Address	1121 Digiorgo Rd, Ft. Pierce, FL
Parcel ID #	2428-421-0002-000-7
Parcel Size	13.837 Ac.
Zoning	Light Industrial
Blg 1 - Office/Warehouse	12,000 SF
Blg 2 - Warehouse/Processing	30,000 SF
Total	42,000 SF
Parking Required @ 1 space/600 SF	70 spaces
Parking Spaces Provided	112 spaces
	5 Handi-cap spaces
Surrounding Uses:	
North	Industrial
South	Industrial (vacant)
East	Industrial
West	Residential
Total Impervious Surface	7.403 Ac.
Stormwater Retention Area	1.923 Ac.
Open/Landscape Space	4.511 Ac.
Flood Zone	X (Area of Minimal Flood Hazard)

**CLIENT**  
**AMERICAN COMPLETE ORGANICS RECYCLING, LLC**

**PROJECT**  
**SOUTHEAST REGIONAL RECYCLING FACILITY**

**TASK**  
ORIGINAL ISSUE:  
REVISIONS:  
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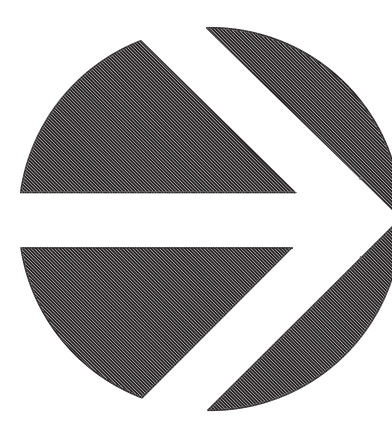
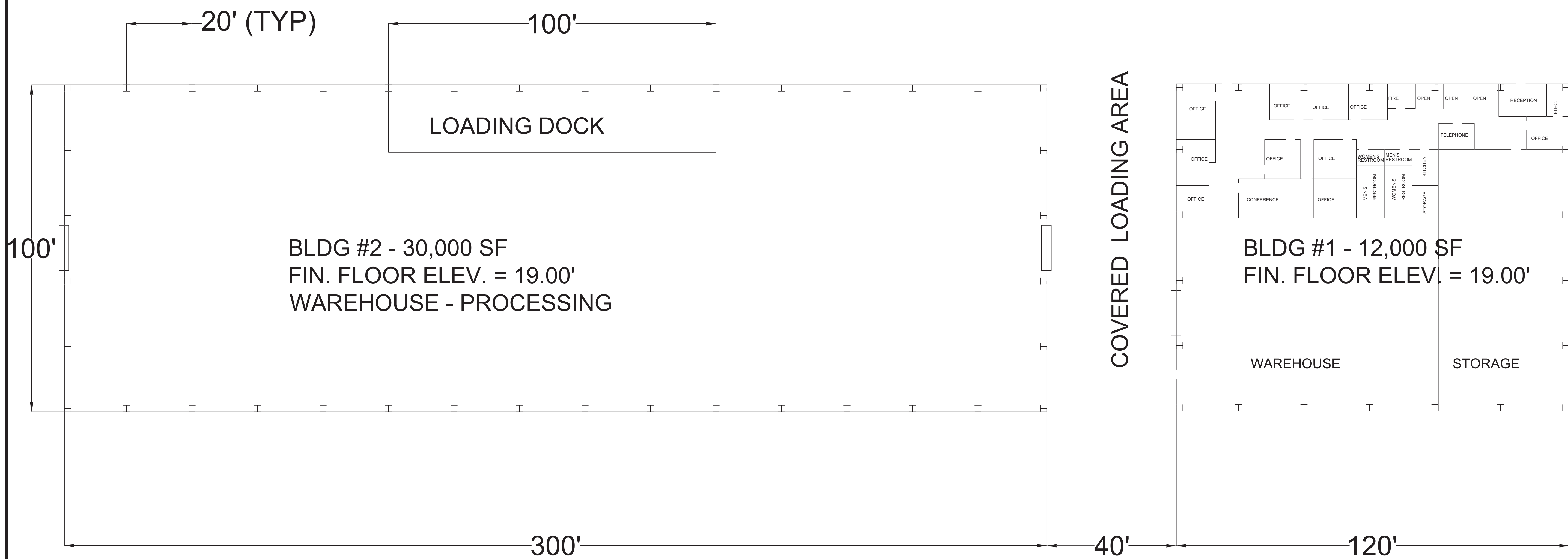
**PROFESSIONAL ENGINEER**  
DAVID J. BOLAM, P.E.  
FL LIC. NO. 42480

**CIVIL SHEET NO.**  
**C-1**

**SALTUS ENGINEERING, INC.**  
CERT. OF AUTH. NO. 31210  
POST OFFICE BOX 8969  
FLEMING ISLAND, FL 32006  
PHONE (904) 742-6545

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OFFICE/WAREHOUSE FLOOR PLANS  
SCALE: 1/16" = 1'-0"

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CLIENT  
**AMERICAN COMPLETE ORGANICS RECYCLING, LLC**

PROJECT  
**SOUTHEAST REGIONAL RECYCLING FACILITY**

TASK  
**OFFICE/WAREHOUSE FLOOR PLANS**

ORIGINAL ISSUE: \_\_\_\_\_

REVISIONS:

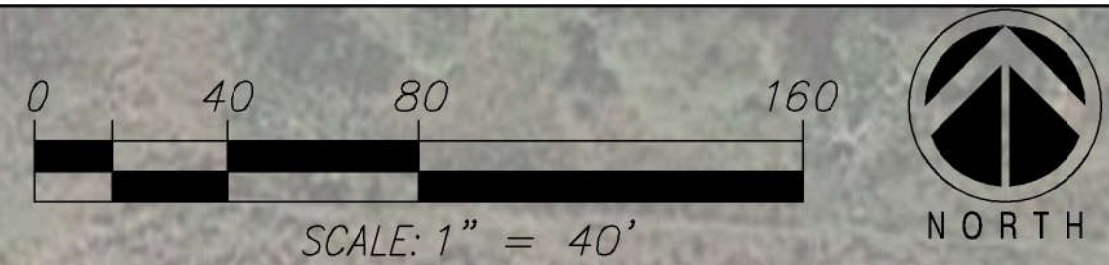
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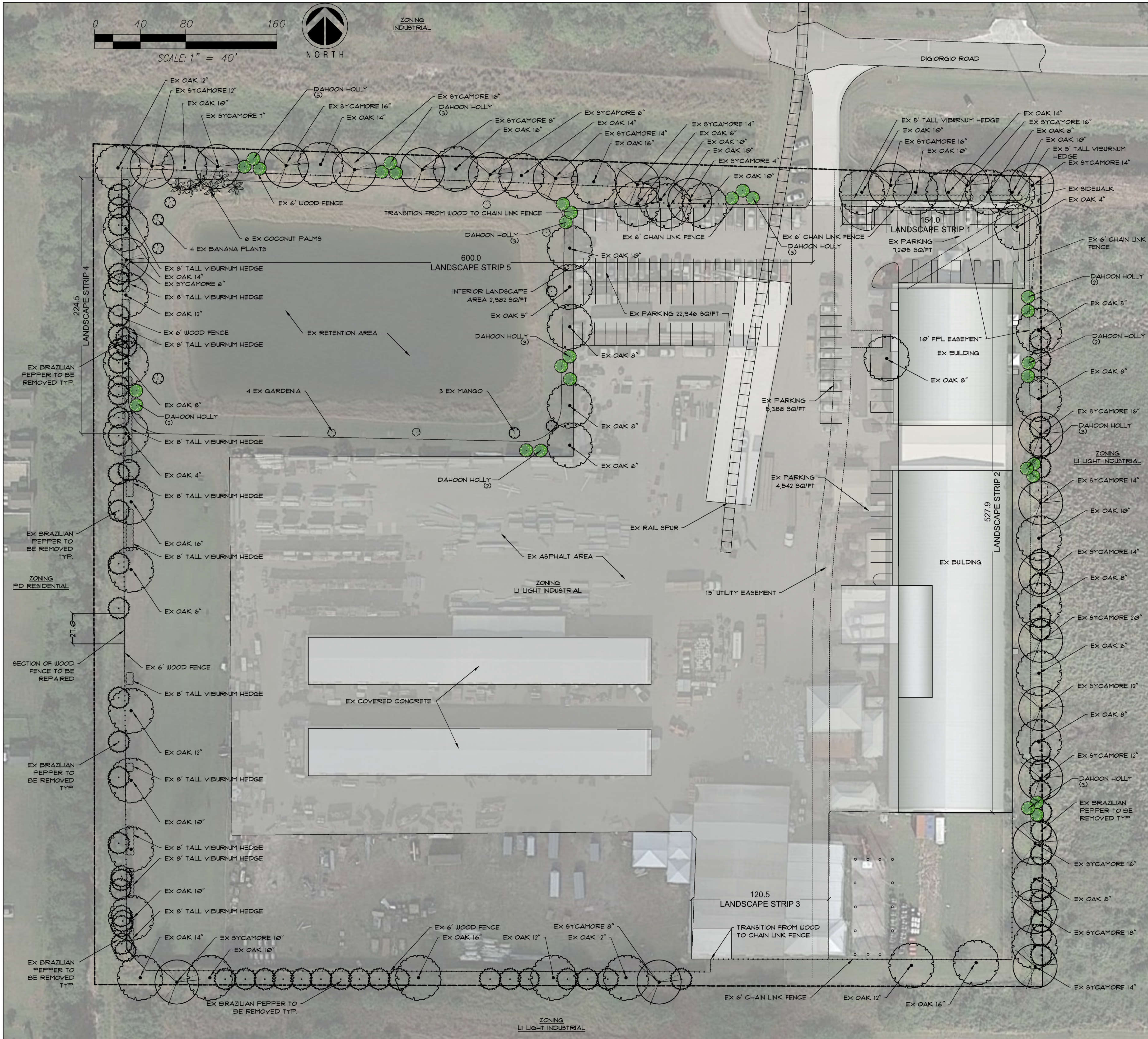
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ZONING INDUSTRIAL

NORTH



**TABLE OF CONTENTS:**

- L1 - LANDSCAPE PLAN
- L2 - DETAILS AND SPECIFICATIONS

LANDSCAPE STRIP 1 (NORTH PROPERTY LINE / EAST SIDE)			
	REQUIRED	SUPPLIED	NOTES / STANDARDS
LANDSCAPE STRIP WIDTH	10'-0"	10'-0"	
LANDSCAPE STRIP AREA	1,540 SQ/FT	1,540 SQ/FT	
TREES	6	8	5 EXISTING MATURE OAK TREES 3 EXISTING MATURE SYCAMORE TREES
SHRUBS	36" TALL HEDGE	60" TALL HEDGE	EXISTING MATURE VIBURNUM HEDGE

LANDSCAPE STRIP 2 (EAST PROPERTY LINE)			
52' LENGTH OF BUILDING AND PARKING THAT ABUTS THE ADJACENT INDUSTRIAL PROPERTY			
	REQUIRED	SUPPLIED	NOTES / STANDARDS
LANDSCAPE STRIP WIDTH	10'-0"	10'-0"	
LANDSCAPE STRIP AREA	5,280 SQ/FT	5,280 SQ/FT	
TREES	21	21	8 EXISTING MATURE OAK TREES 5 EXISTING MATURE SYCAMORE TREES 10 NEW GREEN BUTTWOOD TREES

LANDSCAPE STRIP 3 (SOUTH PROPERTY LINE)			
10' LENGTH OF VEHICLE USE THAT ABUTS THE ADJACENT INDUSTRIAL PROPERTY			
	REQUIRED	SUPPLIED	NOTES / STANDARDS
LANDSCAPE STRIP WIDTH	10'-0"	10'-0"	
LANDSCAPE STRIP AREA	1,210 SQ/FT	1,210 SQ/FT	
TREES	7	10	5 EXISTING MATURE OAK TREES 1 EXISTING MATURE SYCAMORE TREES

LANDSCAPE STRIP 4 (WEST PROPERTY LINE)			
225' LENGTH OF RETENTION THAT ABUTS THE ADJACENT RESIDENTIAL PROPERTY			
	REQUIRED	SUPPLIED	NOTES / STANDARDS
LANDSCAPE STRIP WIDTH	10'-0"	10'-0"	
LANDSCAPE STRIP AREA	2,250 SQ/FT	2,250 SQ/FT	
TREES	12	12	9 EXISTING MATURE OAK TREES 1 EXISTING MATURE SYCAMORE TREES 2 NEW GREEN BUTTWOOD TREES
SHRUBS	138 FT / 110 = 74 SHRUBS	78	345 LIFT OF EXISTING MATURE 8' TALL VIBURNUM HEDGE WITH 4.5' SPACING
FENCE	6' TALL SOLID FENCE	6' TALL SOLID FENCE	EXISTING WOOD FENCE TO REMAIN AND BE REPAIRED AS REQUIRED

LANDSCAPE STRIP 5 (NORTH PROPERTY LINE / WEST SIDE)			
600' LENGTH OF RETENTION AND PARKING THAT ABUTS THE ADJACENT INDUSTRIAL PROPERTY			
	REQUIRED	SUPPLIED	NOTES / STANDARDS
LANDSCAPE STRIP WIDTH	10'-0"	10'-0"	
LANDSCAPE STRIP AREA	6,000 SQ/FT	6,000 SQ/FT	
TREES	30	30	10 EXISTING MATURE OAK TREES 3 EXISTING MATURE SYCAMORE TREES 6 EXISTING COCONUT PALMS (EQUALS 2 TREES) 9 NEW GREEN BUTTWOOD TREES

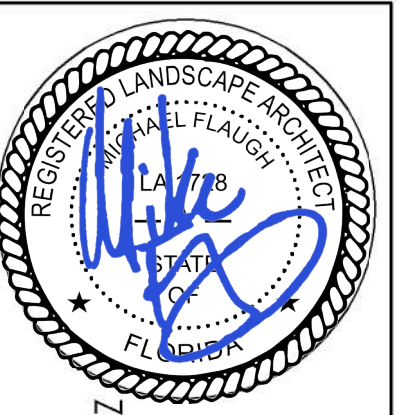
INTERIOR PARKING PLANTINGS			
40,000 SQ/FT OF PARKING			
	REQUIRED	SUPPLIED	NOTES / STANDARDS
LANDSCAPE AREA	1,336 SQ/FT	2,982 SQ/FT	
TREES	1 TREE / 100 SQ/FT	14	6 EXISTING MATURE OAK TREES 8 NEW GREEN BUTTWOOD TREES



DAHOOON HOLLY

**PLANT SCHEDULE**

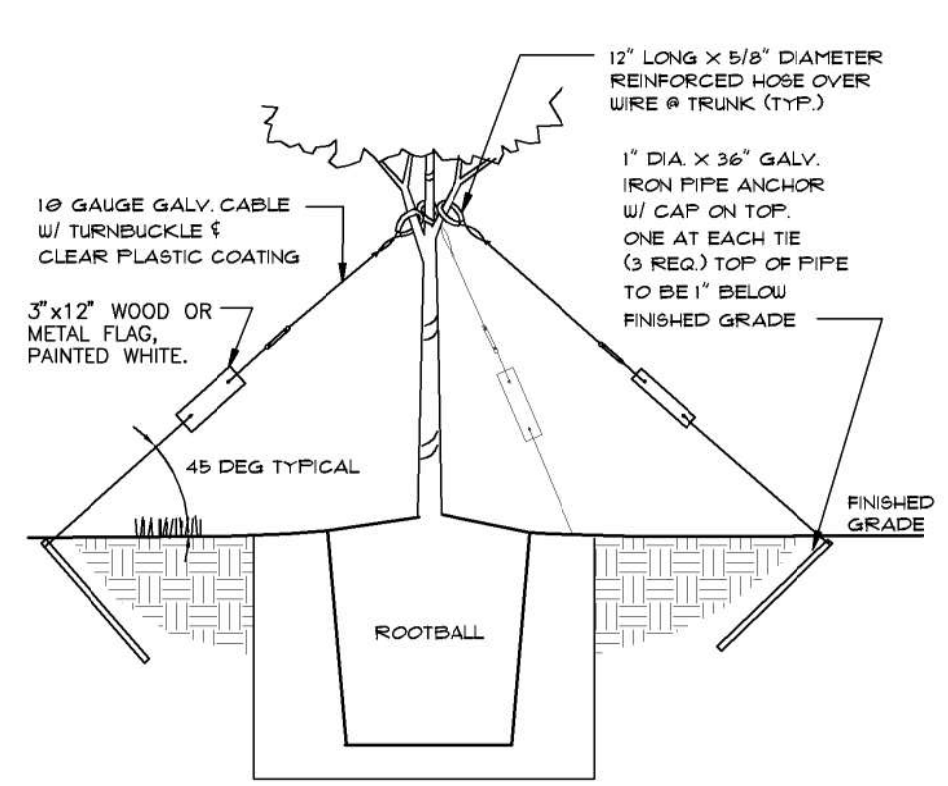
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	29	LEX CASPENSIS	DAHOOON HOLLY	B & B	2.5" CAL	12 - 14' O.A.H.T.



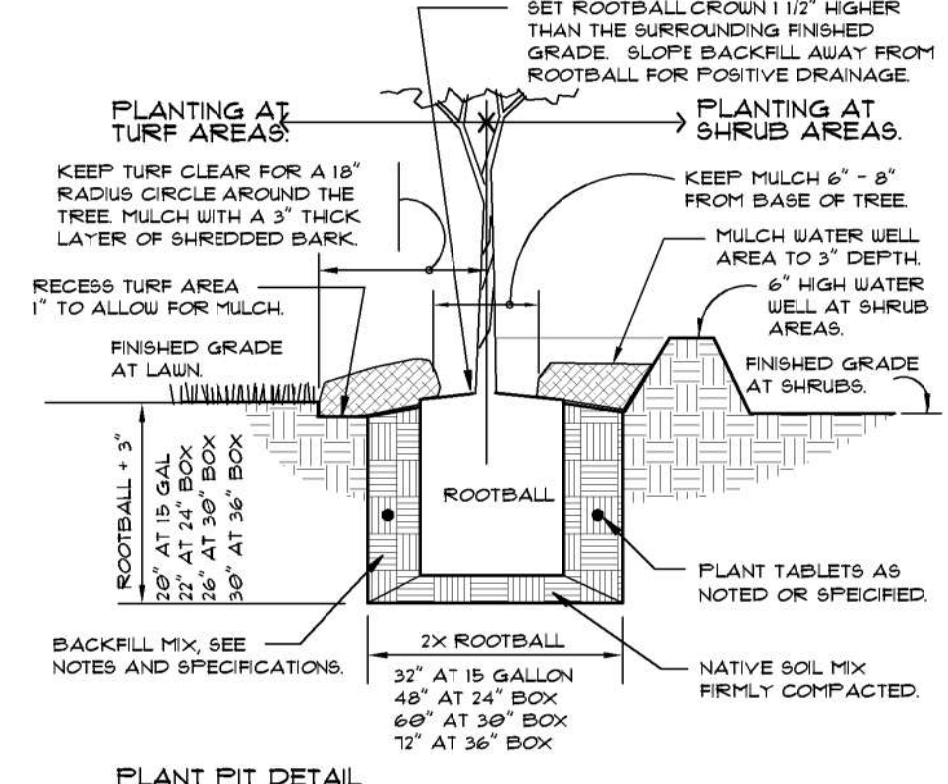
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**LANDSCAPE INSTALLATION NOTES:**

- THE LANDSCAPE CONTRACTOR SHALL DESIGNATE AN ENGLISH SPEAKING, SKILLED CREW FOREMAN FOR THE PROJECT, WHO WILL BE AVAILABLE AND ACCESSIBLE FOR THE DURATION OF THE LANDSCAPE INSTALLATION.
- ALL SPECIFICATIONS MUST BE SATISFIED. IF THERE IS A PROBLEM LOCATING A MATERIAL WITH GIVEN SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT BY EMAIL PRIOR TO INSTALLATION. AT THE DISCRETION OF THE LANDSCAPE ARCHITECT, A SUBSTITUTION MAY BE MADE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW AND RECONCILE PLAN WITH LANDSCAPE MATERIALS LIST, AND ANALYZE SITE CONDITIONS AND ACCESS PRIOR TO SUBMITTING A PROPOSAL.
- LANDSCAPE CONTRACTOR MUST PROVIDE EVIDENCE OF WORKMAN'S COMPENSATION AND LIABILITY INSURANCE IN PROPOSAL PACKAGE.
- THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE LAWS, CODES AND ORDINANCES.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE FLORIDA #1 OR BETTER** (GRADES AND STANDARDS FOR NURSERY PLANTS, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, LATEST EDITION), UNLESS OTHERWISE NOTED ON THE LANDSCAPE MATERIALS LIST. AS MANY SPECIES TOLERATE BOTH SUNNY AND SHADY GROWING CONDITIONS, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PLANT MATERIAL GROWN IN SIMILAR CONDITIONS TO THE SITE.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETE ALL WORK ACCORDING TO THE FLORIDA GREEN INDUSTRIES BEST MANAGEMENT PRACTICES.
- THE LANDSCAPE CONTRACTOR MUST SPECIFY START AND COMPLETION DATES, IF AWARDED THE PROJECT.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
- ALL PLANTING AREAS SHALL BE PREPARED BY REMOVING ALL DEBRIS, INCLUDING ASPHALT, CONCRETE, OR SIMILAR MATERIALS NOT SUITED FOR LANDSCAPE PLANTING.
- PLANTING SOIL SHALL BE CLEAN OF ROCKS, STICKS, ROOTS AND WEEDS, AND SHALL BE WELL-DRAINING.
- ALL LANDSCAPED AREAS SHALL BE FINISH GRADED SUCH THAT FINISHED ELEVATION WILL BE FLUSH AND LEVEL WITH SURROUNDING PAVED SURFACES. THE FINISHED GRADE AFTER PLANTING AND MULCHING SHALL NOT IMPED THE FLOW OF DRAINAGE INTO LANDSCAPED AREAS AND TO PREVENT THE BACKWASH OF MULCH AND DEBRIS INTO PAVED AREAS.
- ALL PLANTING BEDS MUST DRAIN SUFFICIENTLY PRIOR TO PLANTING. IF EXISTING SOIL IS NOT ADEQUATE FOR ESTABLISHMENT OF PLANT MATERIALS DUE TO POOR DRAINAGE OR CHEMICAL PROPERTIES, SOIL AMENDMENTS SHALL BE ADDED PRIOR TO PLANTING.
- PLANTS SHALL NOT BE PLACED TOO CLOSE TO ONE ANOTHER OR ANY HARDSCAPES. SEE LANDSCAPE MATERIALS LIST AND PLANTING DETAILS FOR SPACING AND PLACEMENT OF ALL PLANTS. A MULCH STRIP SHALL BE LEFT BETWEEN THE PLANTINGS AND WALLS, EDGE OF SOD, DRIVEWAY OR WALKWAYS. ALL PLANTS SHALL BE PLACED OUTSIDE THE EAVES OF THE ROOF, UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLAN.
- ALL PLANTS TO BE RELOCATED SHALL BE PROPERLY ROOT PRUNED 6 TO 10 WEEKS PRIOR TO RELOCATION.
- ALL NEW LANDSCAPE PLANTS SHALL BE PLANTED SLIGHTLY HIGHER THAN THE EXISTING GRADE LEAVING TOP OF THE ROOT BALL EXPOSED.
- ALL PLANT MATERIALS SHALL BE THOROUGHLY WATERED IN AT THE TIME OF PLANTING.
- 3" LAYER OF ORGANIC MULCH SHALL BE LAID IN ALL LANDSCAPE BEDS. NO MULCH SHALL BE LAID NEAR TREE TRUNKS. NO MULCH SHALL BE LAID ON TOP OF CITRUS TREE ROOT BALLS.
- NEWLY PLANTED TREES SHALL BE STAKED ONLY IF THE ROOT BALL MOVES IN THE WIND OR THE TREES ARE LOCATED IN AN AREA OF WINDY CONDITIONS. ALL PALMS SHALL BE STAKED. ALL WOOD BRACES AND BRACE FRAMES SHALL BE STAINED DARK BROWN. NO NAILS SHALL BE DRIVEN INTO ANY PALM OR TREE.
- PLANTING PLAN TAKES PRECEDENCE OVER PLANT LIST.
- THE LANDSCAPE BID SHALL INCLUDE IRRIGATION ON A SEPARATE CONTRACT, EXPRESSED AS A LINE-ITEM PROPOSAL.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH FULLY AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE IN ALL IRRIGATED PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED ACCORDING TO ACCEPTED IRRIGATION STANDARDS USING WATER CONSERVATION PRINCIPLES WITH LOW-VOLUME IRRIGATION SYSTEM. THE SYSTEM SHALL ACCOMMODATE EASY ADJUSTMENTS FOR SEASONAL IRRIGATION NEED CHANGES OR LOCAL WATERING RESTRICTIONS.
- ALL SOD AND SHRUB AREAS SHALL BE IRRIGATED ON SEPARATE ZONES, WHENEVER POSSIBLE. PLANTING AREAS WITH DIFFERENT WATERING NEEDS SHALL BE PLACED ON SEPARATE ZONES.
- ALL SHRUB AND GROUND COVER AREAS SHALL BE IRRIGATED WITH DRIP LINE OR MIST HEADS; TREES AND PALMS SHALL HAVE BUBBLERS. ALL HEADS IN A GIVEN ZONE MUST HAVE THE SAME PRECIPITATION RATE.
- SPRAY HEADS SHALL BE PLACED AND ADJUSTED TO MINIMIZE OVER-SPRAY ON PAVED AREAS, ROADWAYS AND CURBING. NO OVER-SPRAY ON BUILDINGS IS ACCEPTABLE.
- THE CONTRACTOR(S) SHALL KEEP ALL WORK AREAS NEAT AND TIDY ON A DAILY BASIS. AT COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REMOVE FROM THE PROPERTY ALL TEMPORARY STRUCTURES AND GARBAGE AT HIS/HER OWN EXPENSE.
- THE CONTRACTOR(S) SHALL KEEP ALL PLANTS WATERED, FERTILIZED, MULCHED, PRUNED, STAKED AND GUYED AS NECESSARY TO ASSURE SPECIFIED MINIMUM GRADE OF FLORIDA #1 THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION PERIOD. PLANTING BEDS SHALL BE KEPT FREE OF LITTER AND UNDESIRABLE VEGETATION. THE CONTRACTOR(S) IS RESPONSIBLE FOR KEEPING ALL THE PLANT MATERIAL HEALTHY, VIGOROUS, AND UNDAMAGED THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION PERIOD.
- THE FINAL PAYMENT IS MADE UPON COMPLETION OF PROJECT AND EXECUTION OF LIEN RELEASE AFFIDAVIT.
- ALL SHRUBS AND GROUND COVERS SHALL BE WARRANTED FOR 90 DAYS; ALL TREES AND PALMS SHALL BE WARRANTED FOR 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE AND PAYMENT.



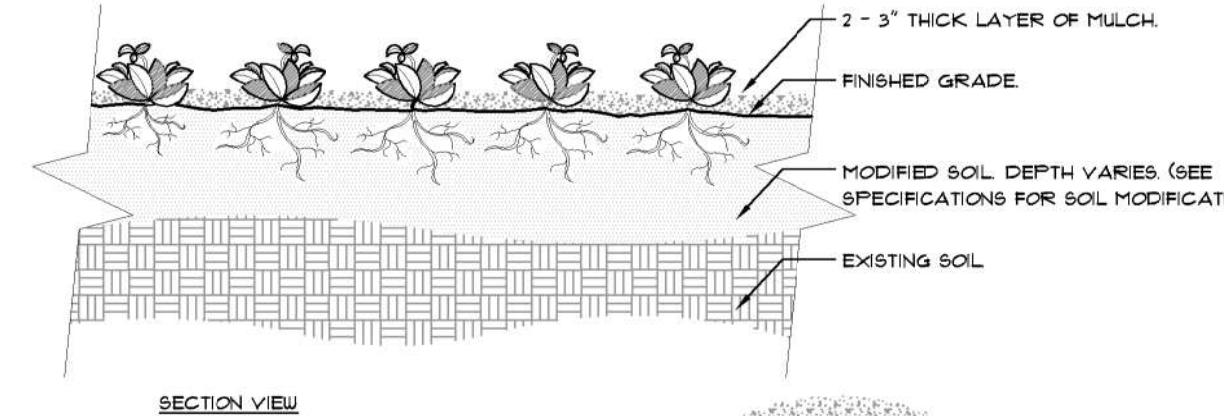
STAKING DETAIL



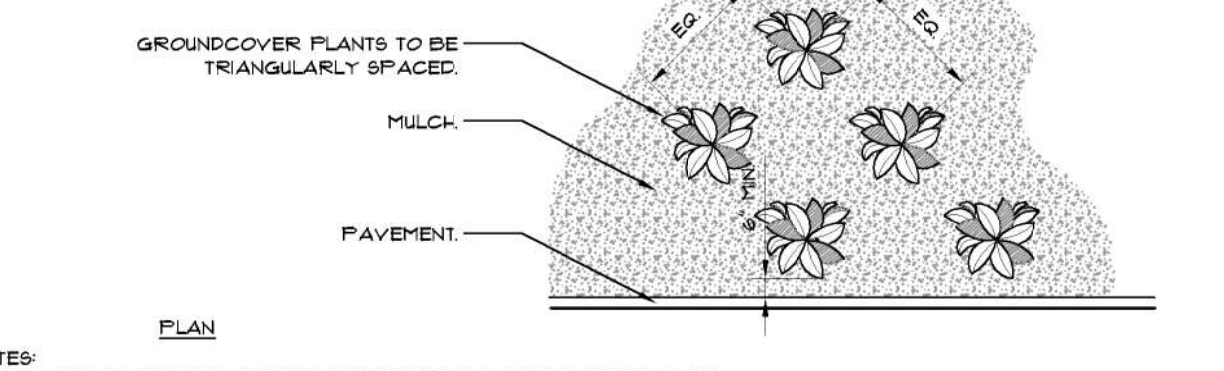
PLANT PIT DETAIL



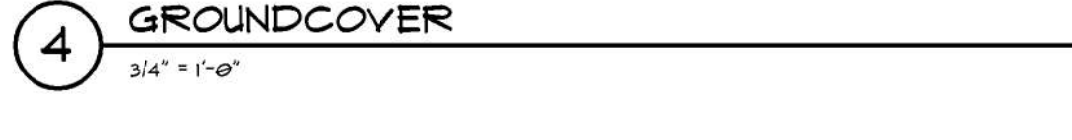
TREE GUY WIRE PLANTING



SECTION VIEW



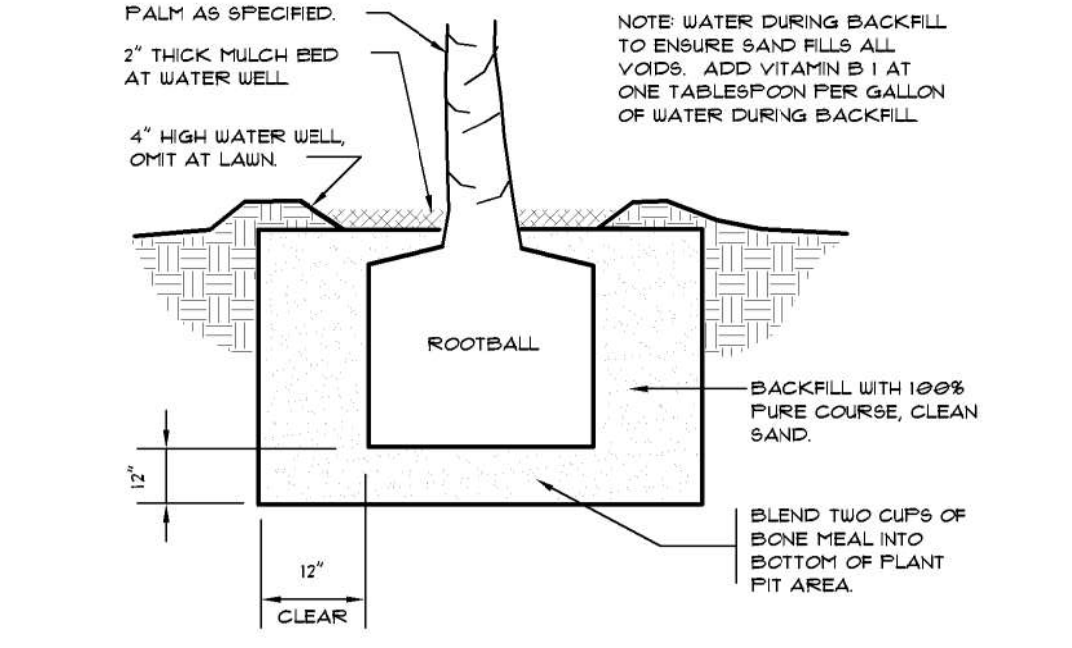
PLAN



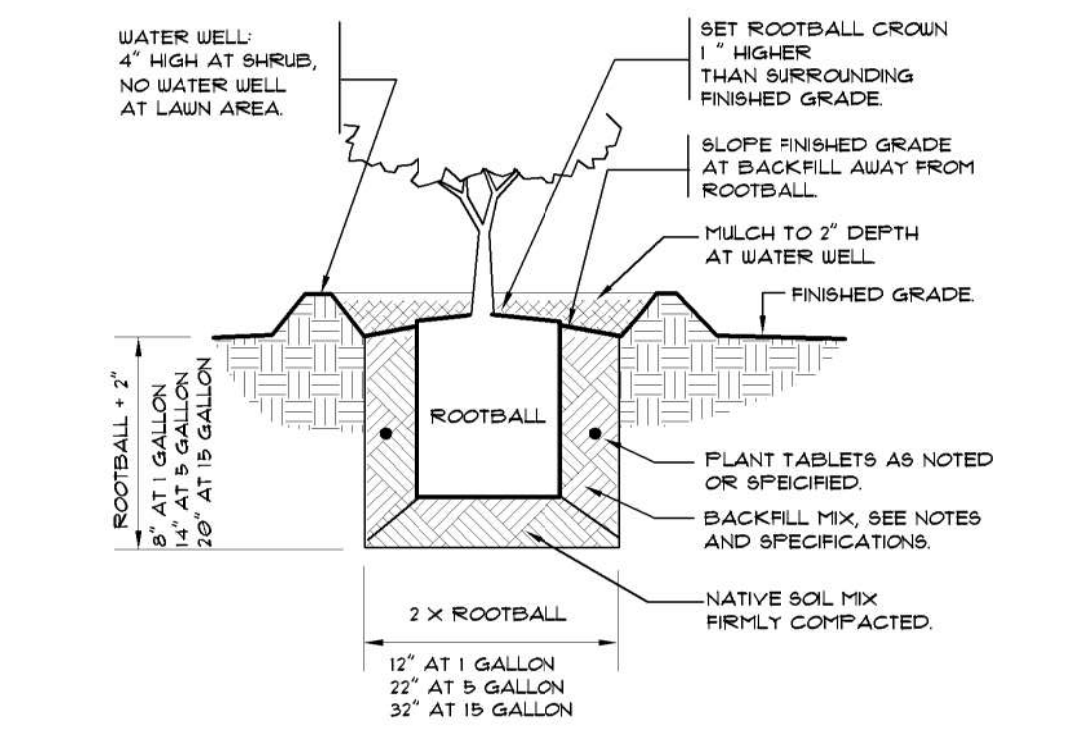
GROUND COVER



SHRUB PLANTING



PALM TREE PLANTING



SHRUB PLANTING

**LANDSCAPE MAINTENANCE GUIDELINES:**

- LAWN CARE:**
  - MAINTAIN ST. AUGUSTINE LAWN AT 3" HEIGHT. LEAVE LAWN CLIPPINGS ON THE LAWN.
  - FERTILIZE IN FEBRUARY, MAY AND OCTOBER. APPLY PRE-EMERGENT WEED KILLER IN EARLY SPRING AND FALL.
  - PRACTICE INTEGRATED PEST MANAGEMENT TO IDENTIFY AND TREAT INSECT STRESS, WEED AND FUNGAL PROBLEMS. INSPECT AND CONTROL INSECT DAMAGE ON LAWNS DURING SUMMER MONTHS. FOLLOW LABEL DIRECTIONS FOR ANY INSECTICIDE, HERBICIDE OR FUNGICIDE APPLICATION. REFER TO GROWERS GUIDELINES FOR DETAILED INSTRUCTIONS.
  - 100% OF THE SOD AREAS SHALL BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM. INSPECT THE IRRIGATION SYSTEM FOR BREAKS AND HEAD ALIGNMENT ROUTINELY.
- MULCH:**
  - ALL LANDSCAPE BEDS SHALL BE MULCHED TWICE A YEAR.
  - APPLY 3" LAYER OF MSC CERTIFIED, SHREDDED EUCALYPTUS OR RECYCLED HARDWOOD MULCH.
- FERTILIZING:**
  - FERTILIZE WITH A GOOD QUALITY ORGANIC FERTILIZER THREE TIMES A YEAR PER LABEL INSTRUCTIONS STARTING IN MID TO LATE FEBRUARY.
  - YELLOWING LEAVES ARE OFTEN A SIGN OF NUTRITIONAL DEFICIENCY.
  - DO NOT APPLY FERTILIZER BETWEEN JUNE 1 AND SEPTEMBER 30. COMPOST SHALL BE USED IN LIEU OF FERTILIZER DURING THE RAINY SEASON, AS NEEDED.
  - MAINTAIN A FERTILIZER FREE ZONE ALONG THE RIVER TO PREVENT RUN-OFF.
- PEST AND DISEASES:**
  - SCOUT FOR PESTS AND DISEASES REGULARLY. ONLY 1% OF ALL INSECTS ARE HARMFUL TO PLANTS.
  - USE INTEGRATED PEST MANAGEMENT PRACTICES. USE PREVENTATIVE CHEMICAL APPLICATIONS ONLY, WHEN DETERMINED NECESSARY BY A PEST MANAGEMENT PROFESSIONAL.
  - CHEMICAL PEST CONTROL SHALL BE USED ONLY WHEN THE DAMAGE IS EXPECTED TO BE SIGNIFICANT.
- WEEDS:**
  - WEED CONTROL SHALL BE PREVENTATIVE.
  - HERBICIDE APPLICATIONS MUST BE DONE BY A LICENSED PEST-CONTROL PROFESSIONAL.
- IRRIGATION:**
  - PROGRAM THE IRRIGATION SYSTEM TO RUN IN THE EARLY MORNING.
  - NEW PLANTINGS SHOULD BE WATERED DAILY FOR THE FIRST TWO WEEKS, AFTER WHICH THREE TIMES PER WEEK FOR THE FOLLOWING TWO MONTHS.
  - NEW TREES SHALL BE WATERED AT LEAST ONCE A WEEK FOR THE FOLLOWING YEAR AND SHRUBS FOR THE FOLLOWING 6 MONTHS FOR PROPER ESTABLISHMENT.
  - TREES SHOULD RECEIVE 2 - 3 GALLONS OF WATER PER INCH OF TRUNK DIAMETER AT EACH WATERING.
  - AT EACH WATERING, APPLY 1" WATER TO ESTABLISHED PLANTING BED.
  - THE AUTOMATIC IRRIGATION SYSTEM SHALL BE INSPECTED ONCE A MONTH FOR LEAKS, BRAKES AND MISALIGNED HEADS.
  - INCREASE WATERING FREQUENCY DURING TIMES OF HEAVY WINDS AND DROUGHT, TYPICALLY IN THE SPRING. PLEASE NOTE THAT A RAIN SENSOR WILL NOT DETECT THE DRYING EFFECTS OF HEAVY WINDS.
  - REDUCE WATERING FREQUENCY DURING COOL WINTER AND RAINY SUMMER MONTHS. WATER ONLY AS NEEDED AS HEAVY RAINS AND IRRIGATION WILL INCREASE WEEDS. THE IRRIGATION SYSTEM MAY BE TURNED OFF DURING MONTHS OF HEAVY RAIN. A RAIN SENSOR MAY BE USED TO OVERRIDE THE SYSTEM DURING THE RAINY SEASON.
- PRUNING:**
  - ALL PRUNING AND TRIMMING TOOLS SHALL BE CLEANED AFTER EACH USE TO PREVENT SPREADING OF DISEASES.
  - REMOVE DEAD FRONDS, DEAD WOOD AND CROSSING BRANCHES ON LARGE SHRUBS, PALMS AND TREES ANY TIME OF THE YEAR.
  - FLOWERING SHRUBS: LATE SUMMER AND FALL FLOWERING SHRUBS, AS WELL AS CONIFERS SHALL BE PRUNED ONCE A YEAR IN MARCH. SPRING BLOOMING SHRUBS SHALL BE PRUNED ONCE A YEAR, AFTER THEIR BLOOMS FADE IN LATE SPRING.
  - SHADE TREES SHALL BE STRUCTURALLY PRUNED ONCE A YEAR IN SPRING BY A CERTIFIED ARBORIST.
  - SHRUBS SHALL BE MAINTAINED FOLLOWING THEIR NATURAL FORM WITH ROUNDED TOP AND WIDER BASE. SMALL-LEAVED (LESS THAN 1" LENGTH) SHRUBS MAY BE SHEARED WITH POWERED HEDGE TRIMMERS. ALL SHRUBS SHALL BE TRIMMED ONE TO THREE TIMES A YEAR TO MAINTAIN DESIRED HEIGHT. ALL OVERGROWN SHRUBS SHALL BE CUT BACK IN MAY AND IN SEPTEMBER.
  - HEDGES SHALL BE PRUNED REGULARLY FROM THE BEGINNING FOR PROPER ESTABLISHMENT. ALL HEDGES MUST BE MAINTAINED WITH NARROWER TOP THAN THE BOTTOM FOR SUNLIGHT TO REACH THE LOWER HALF OF THE PLANT.
  - ORNAMENTAL GRASSES MAY BE CUT BACK ONCE A YEAR IN SUMMER TO REMOVE BROWN LEAVES. CUTTING MAY BE COMPLETED IN FOUR WEEK INTERVALS SO NOT TO HAVE ALL THE ORNAMENTAL GRASSES RECOVERING AT THE SAME TIME.
- DIVIDING PLANTS:**
  - BROMELIADS:** WHEN THE MOTHER PLANT TURNS BROWN, CAREFULLY PULL UP THE BROMELIAD CLUMP. CUT THE PUPS APART WITH A SHARP KNIFE OR PRUNERS PRESERVING AS MANY OF THE ROOTS AS POSSIBLE. DISCARD THE DYING MOTHER PLANT AND PLANT THE PUPS. THE DEAD MOTHER PLANT MAY ALSO BE TWISTED OFF AT THE BASE, WITHOUT REMOVING THE CLUMP FROM THE GROUND.
  - HERBACEOUS PERENNIALS:** THE CLUMPS MAY BE DIVIDED EVERY TWO TO THREE YEARS IN LATE SPRING OR SUMMER. DIG THE ROOT BALL OUT OF THE GROUND AND CAREFULLY DIVIDE THE CLUMP INTO 2-4 SMALLER SECTIONS.
- RELOCATING PLANT MATERIAL:**
  - THE BEST TIME TO RELOCATE PLANTS IN THE GARDEN IS FEBRUARY THROUGH APRIL.
  - THE PLANT SHALL BE PROPERLY ROOT-PRUNED BETWEEN 6 AND 10 WEEKS BEFORE RELOCATION.
  - AT THE TIME OF THE RELOCATION, THE ROOT BALL SHALL BE CUT BEYOND THE ROOT PRUNING CUT TO INCLUDE ALL NEW FEEDER ROOTS.
  - WATER RELOCATED PLANTS DAILY FOR THE FIRST TWO WEEKS, AFTER WHICH THREE TIMES PER WEEK FOR THE FOLLOWING TWO MONTHS.
- MAINTAINING SOIL PH:**
  - SANDY SOILS ARE NATURALLY ALKALINE, BUT MOST PLANT MATERIALS PREFER SOILS IN NEUTRAL OR ACIDIC RANGE TO THRIVE.
  - ADDING ORGANIC MATTER REGULARLY WILL MAINTAIN A HEALTHY PH LEVEL FOR ALL PLANTS.
  - COMPOST WILL DECREASE THE SOIL PH THROUGH THE DECOMPOSITION PROCESS.
  - ACIDIC ORGANIC MATTER, SUCH AS FINE NEEDLES AND ACID PEAT WILL REDUCE THE PH TEMPORARILY.
  - GRANULAR SULFUR SHOULD ONLY BE USED AS THE LAST RESORT TO LOWER SOIL PH.
- CONTAINER PLANTS:**
  - ONLY USE POTTING SOIL OR POTTING MIX IN CONTAINERS.
  - WATER THOROUGHLY. CONTAINER PLANTS NEED MORE WATER THAN THE PLANTS IN THE GROUND. DURING SUMMER MONTHS, HERBS IN CONTAINERS WILL NEED WATERING ONCE DAILY.
- COLD PROTECTION:**
  - WATER COLD SENSITIVE PLANTS THOROUGHLY 12 HOURS BEFORE THE FORECASTED COLD FRONT.
  - COVER THE PLANTS AT DUSK WITH BLANKETS OR BREATHABLE COVERS. REMOVE THE COVERS AFTER DAWN.

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Project No. 07-048  
Traffic  
Sender's Email: [smatthes@ct-eng.com](mailto:smatthes@ct-eng.com)

### MEMORANDUM

To: Fred Mussari  
From: Stefan K. Matthes, P.E.  
Date: November 24, 2020  
RE: 84 Lumber Truss Facility  
Traffic Impact Study Review – New Use

---

It is our understanding that the existing 84 Lumber facility will be changed to a new use that will provide truck trailer storage and repacking of materials for redistribution.

As requested, we have reviewed the originally approved Traffic Impact Study for the above referenced project from a trip generation standpoint for the new use.

The following is the originally approved traffic Impact Study trip generation:

ADT: 203 VPD  
AM Peak: 30 VPH  
PM Peak: 39 VPH

As reported by the developer, the proposed use is expected to generate 20 tractor trailers/day inbound, 6/day outbound (recyclable material to the County Recycling Center), with 20 employees when we reach full capacity. This should result in the following trip generation:

ADT: 20 employees \* 2.5 trips pre day and 26 trucks = 76 VPD  
AM Peak: 20 VPH  
PM Peak: 20 VPH

As referenced above, the estimated trip generation for the new use is less than the originally approved volumes.

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October 21, 2020

ACOR, LLC/Fred Mussari  
783 Co Rd 13 S  
St Augustine, FL 32092

**Subject: 1121 Digiorgio Road – Pre-Application Comments for October 21, 2020 conference call**

Fort Pierce Planning

1. The subject property is located within the I-1, Light Industrial Zone. Waste-Related Uses are considered a Conditional Use by City Code Section 125-187 Allowed Uses.
2. Please provide the Planning Department with a narrative explaining your proposed daily operations.  
**Included with the application**
3. Per City Code Section 125-315. – Off-Street Parking and Loading; please provide one (1) designated parking space per 600 square feet of gross floor area.  
**112 spaces provided (1.6/600 SF), including 5 spaces for Persons with a Disability. Details provided in the site plan and in narrative**
4. The subject site seems to be an industrial park. Will your operation be the only business occupant on this site? **Yes**
5. Please explain the living quarters on the second (2<sup>nd</sup>) floor of the warehouse. What is the purpose of the living quarters? **This was on the original 84 Lumber plan for another location – does not represent this site. No living quarters exist and there is no 2nd floor.**
6. Provide a more detailed Site Plan with a designated parking area. **See attached Site Plan**
7. Provide Color Elevations of the proposed warehouse. **Photos included to support the Design Review**
8. A Landscape Plan shall be provided at the time of Application that is signed and sealed by a Florida Registered Landscape Architect pursuant to City Code 123-37, General Landscaping requirements. The Landscape Plan shall include both interior, exterior landscaping and a landscape rendering.  
**Attached to the application**
9. Please adhere to City Code Section 123-6. – Required Bond (Landscaping).
10. A Lighting Plan or Photometric Survey shall be provided at the time of Application pursuant to City Code 125-315(j)(1). Lighting for commercial uses must have a minimum average of two (2) footcandles. **See attached Lighting Plan with Photometric Survey**

Note that all fees for advertising, mailing, and signs shall be paid upfront with the application fees. These fees can be found on the City website under the Planning Department page under "Public Notice Fee". The City also temporarily reduced some application fees and those can be found under the link "Fee Schedule – Temporarily

Reduced Fees Expire 11/30/2020".

Submit the following along with your application(s):

Notarized Conditional Use Application **attached**  
Notarized Design Review Application **attached**  
St. Lucie County Property Record Card **attached**  
Statement describing in detail: Character, Intended Use, Hours of Operation, Employees, etc. **included**  
General Location Map **attached**  
Survey **attached**  
Site Plan **attached**  
Floor Plan **attached**  
Landscaping Plan **attached**  
Lighting Plan **attached**

#### Fort Pierce Engineering Department

This is an existing developed site previously identified as 84 Lumber. Engineering has no comments to offer pertaining to utilizing the existing buildings and miscellaneous site improvements as a food and beverage de-packaging facility.

#### Fort Pierce Utility Authority

Below are FPUA comments regarding the pre-application for 1121 DiGiorgio Road (Location changed from 1008 Bell Ave.).

W/WW Engineering: The existing facility currently has a 1.5" water meter and is connected to sewer via an existing private grinder station. There is currently a lint trap on site but a grease trap is required. Our Pretreatment Department will be requiring samples taken from each tanker discharging into FreshCo lift station and then daily sampling once the facility has been approved to discharge to FPUA's sewer system for about six months or until we can see a pattern in the analytical results; weekly sampling will then follow. Please continue to work with Mr. Harry Sherva in our Pretreatment Department- ([hsherva@fpu.com](mailto:hsherva@fpu.com)). Please find attached FPUA Developer's responsibility that will walk you through the development process with getting your project up and running. **Working with FPUA to finalize Pre-Treatment Program Participation**

Please reach out to Lugey Dawson: [ldawson@fpu.com](mailto:ldawson@fpu.com) or 466-1600 ext. 3428 to discuss the bulk billing agreement for the process discharge that will be required for your facility.

Electric & Gas Engineering: Approved

Electric - The property is not in the FPUA electric service area. Located in FPL service area.

Gas – Existing natural gas service currently on the site. For more information, please contact Ana Johnson.

#### Fort Pierce Building Department

No Comments

#### St. Lucie County Planning Department

No Comments

## St. Lucie County PW/Engineering

The following comments are offered based preliminary plans.

1. Digiorgio Road is a County maintained roadway. Any modifications necessary for the site within the right-of-way will require a County right-of-way permit. **No modifications are planned**
2. The sites outfall to the north to a County canal. Additional improvements to the site may require a permit for the discharge into the canal. **No additional improvements are planned**
3. A Traffic impact review will be evaluated by the County at application submittal. **See traffic study and letter from engineer attached**
4. For discussion regarding these comments, please contact myself at 772-462-1491 or [haysd@stluceico.org](mailto:haysd@stluceico.org).

City Clerk Office

No Comments

Code Enforcement

No Comments

**Technical Review Committee -  
Teleconference**

**1. c.**

Meeting Date: 12/17/2020

---

**REQUESTED ACTION**

Development Review - Bobcat Treasure Coast - 4405 Prosperity Drive

**LOCATION**

4405 Prosperity Drive

**RESPONSIBLE STAFF**

Brandon C. Creagan, MCRP, LEED Green Associate, Planner

**RECOMMENDATION**

Review & Provide Comments

---

**Attachments**

TRC Packet

---

**Form Review**

Form Started By: Brandon Creagan  
Final Approval Date: 12/03/2020

Started On: 12/03/2020 03:45 PM



---

**To:** JACK ANDREWS, PE, CITY ENGINEER  
MIKE REALS, FP PUBLIC WORKS MANAGER  
CHIEF HOBLEY-BURNEY, FP POLICE DEPARTMENT  
PAUL THOMAS, FP BUILDING OFFICIAL  
JAMES CARNES, PE, FPUA ENGINEERING (WATER/WASTEWATER)  
PAUL LAGUERRE, PE, FPUA ENGINEERING (ELECTRIC)  
ROD REED, PLS, SLC SURVEYING  
GRANT CHAMBERS, PE, SLC ENGINEERING  
LESLIE OLSON, AICP, SLC PLANNING & DEVELOPMENT DIRECTOR  
LIEUTENANT WAYNE BOYER, SLC FIRE DISTRICT  
PEGGY ARRAIZ, FP CODE ENFORCEMENT  
PETER BUCHWALD, AICP, SLC TRANSPORTATION PLANNING ORGANIZATION  
MURRIAH DECKLE, AICP, SLC TRANSIT SERVICES

**FROM:** BRANDON CREAGAN, LEED GREEN ASSOCIATE, PLANNER

**RE:** TECHNICAL REVIEW PROJECT# 20- 07000020

**DATE:** DECEMBER 3, 2020

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**Development Review – Bobcat of Treasure Coast – 4405 Prosperity Drive**

Attached is an Application for Development Review (Major Site Plan) for a property located at 4405 Prosperity Drive. The property is 1.96 acres and currently has a Zoning of Light Industrial (I-1), and a Future Land Use of Heavy Industrial (HI). The applicant would like to construct an addition to the main building on the property that will contain office and sales space. There will also be a front porch attached to the main building, as well as a separate washdown building to clean rental equipment. The total added additions to the property will be approximately 5,400 square feet with the total building area of 11,067 square feet once everything is constructed on site. The parcel ID for the lot is 2431-506-0005-000-8.

Please review and provide comments on the project. Please send all comments to my email [Bcreagan@cityoffortpierce.com](mailto:Bcreagan@cityoffortpierce.com) or through interoffice mail to the Planning Department. If you have comments, please respond by December 15, 2020.

Please do not hesitate to contact me should you require any additional information at 772-467-3742.

Thank you.

Brandon Creagan



## DEVELOPMENT REVIEW

Property address or Location 4405 PROSPERITY DRIVE, FORT PIERCE, FL 34981  
 Parcel ID #(s) 2431-506-0005-000-8  
 Project description BOBCAT TREASURE COAST

SMITH BROS CONTRACTING EQUIPMENT INC.  
**Property Owner(s)**  
 5731 N MILITARY TRL  
 Street Address  
 WEST PALM BEACH FL 33407-1839  
 City State Zip  
 561-827-9880  
 Phone Number  
 SIMON@SMITHB.COM  
 Email Address

ALEJANDRA MOLINA-JACKSON, AIA, AHRENS COMPANIES INC.  
**Applicant/Representative, Title, Company**  
 1461 KINETIC RD  
 Street Address  
 LAKE PARK FL 33403  
 City State Zip  
 561-839-2837  
 Phone Number  
 AMJ@AHRENSCOMPANIES.COM  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

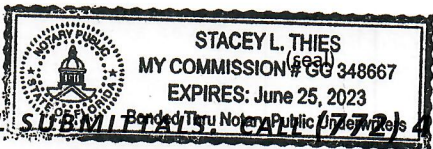
*[Signature]* PRESIDENT

Property Owner(s) Signature(s) \_\_\_\_\_

STATE OF FLORIDA -- COUNTY

The foregoing instrument was acknowledged before me this 18 day of November, 2020, by Simon Smith who is personally known to me or has produced \_\_\_\_\_ as identification.

*[Signature]*  
 Signature of Notary



**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved By \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Intake Date Stamp

# DEVELOPMENT REVIEW

## General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input checked="" type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

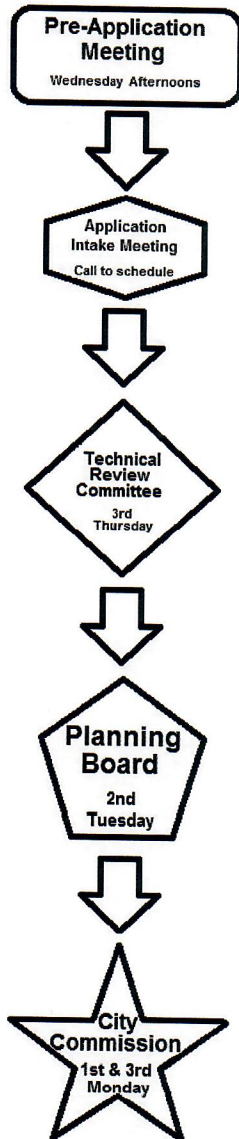
Site Information:

Non-Residential: Proposed Sq. Ft.: 5,400 sf Residential: Proposed Units: n/a

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
light manufacturer		light manufacturer	light manufacturer

## Application Outlook



## Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



## Design Review

Property address or Location 4405 PROSPERITY DRIVE, FORT PIERCE, FL 34981  
 Parcel ID #(s) 2431-506-0005-000-8  
 Project Description BOBCAT TREASURE COAST

SMITH BROS CONTRACTING EQUIPMENT INC.  
**Property Owner(s)**  
5731 N MILITARY TRL  
**Street Address**  
WEST PALM BEACH FL 33407-1839  
**City State Zip**  
561-827-9880  
**Phone Number**  
SIMON@SMITHB.COM  
**Email Address**

ALEJANDRA MOLINA-JACKSON, AIA, AHRENS COMPANIES INC.  
**Applicant/Representative, Title, Company**  
1461 KINETIC RD  
**Street Address**  
LAKE PARK FL 33403  
**City State Zip**  
561-839-2837  
**Phone Number**  
AMJ@AHRENSCOMPANIES.COM  
**Email Address**

**Property Owner(s) Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

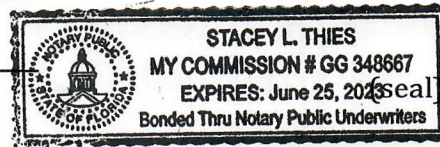
*Simon Smith* PRESIDENT

Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY  
 The foregoing instrument was acknowledged before me this 18 day of November 20, 20, by

*Simon Smith* who is personally known to me or has produced  
 as identification.

*Stacey L. Thies*  
 Signature of Notary



### TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_

Intake Date Stamp

# **Design Review Application Checklist**

## **(City Code of Ordinances 22-59)**

### Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

### Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



November 24<sup>th</sup>, 2020

STATEMENT OF OWNERSHIP AND SITE PLAN – BUILDINGS NARRATIVE

**Ref: Bobcat – Treasure Coast - 4405 Prosperity Drive- Fort Pierce, FL 34981**

1. Statement of Ownership:

The site was acquired by Smith Brothers (refer to warranty deed) to use as a branch of Bobcat in Treasure Coast. The owners have other similar facilities in Florida.

The site has 85,300 square feet (1.95 acres) with an existing pre-engineered metal building covering 5,667 square feet.

South side of the site has a 70 feet drainage easement and ditches running west and east side of property line.

2. Site plan and building character and intents:

**Bobcat Company** is an American-based manufacturer of construction equipment. This branch will sale, rent and maintain this kind of machinery. Also offers parts related to the mentioned equipment. The company sells skid steer loaders, compact excavators, and other small hydraulic equipment under the Bobcat brand name.

The site land use is Heavy Industrial (HI) and the zoning district is light Industrial (I-1). Per Fort Pierce Code of Ordinance (sec. 125-187 g) the proposed use is allowed under Heavy equipment sales, rentals, and service.

We propose to provide one access to the site aligned with the crossing street neighbor existing entrance. This access will have a gate for security reasons to enclose the property.

Circulation proposed inside the site will work as a rotunda. The core area of the rotunda will be used to display machinery and test them. There will be 17 parking spaces, included one ADA. In addition, two more vehicular spaces in the wash area.

Will be provided 2 loading areas, one for trucks, in front of a mobile dock loading ramp, west side of the property and a 12 feet x 35 feet additional loading area on the west side.

A drainage system and landscaping were coordinated with the easements and ditches to comply with codes.

The existing building will be partially renovated within the 5,667 square feet. Several partitions will be built to provide a breakroom and an office. The existing Parts Department will be reduced in area. The



existing bathrooms will remain as well as the electrical panels area, that will be completed with new panels for the addition.

An additional 1,875 square feet will be added for the sales and rentals room, with 2 more offices, and 1,125 square feet front porch – canopy as space of transition between exterior and interior to provide a seating area for customers and some products display.

Another 2,400 square feet canopy separate from the main building as additional structure will be built to install a wash equipment to clean the machines returned rentals.

This structure is supported by metal frames, with no exterior wall enclosure.

All the existing building area (5,667 sf) and proposed addition (5,400sf), a total of 11,067 sf will be mercantile (M) occupancy as defined by FBC – 2017 and 2020 (309.1):

“Mercantile Group M occupancy includes, among others, the use of a building or structure or a portion thereof for the display and sale of merchandise, and involves stocks of goods, wares or merchandise incidental to such purposes and accessible to the public.”

The occupancy was calculated per FBC Chapter 10, table 1004.5, under mercantile, 60 sf gross area per occupant and 300 sf gross area per occupant for storage, stock, shipping areas.

The building façade was treated to give a commercial-industrial aesthetic and consistent with the existing building. The materials will match the existing metal wall panels, with a different color palette and an accent wainscot stone veneer will be applied in the front to upgrade the image of the building.

Please feel free to contact us to provide additional information of the project. On behalf of the Applicant, Ahrens Companies request approval of the Site Plan, demonstrated we comply with all Fort Pierce City and Port St Lucie County requirements.

Alejandra Molina-Jackson, AIA NCARB LEED AP BD+C

Florida license AR 96626

Ahrens Companies

This Instrument Prepared By / Return To:  
Jennifer L. Williamson, Esquire  
CRARY BUCHANAN, P.A.  
759 SW Federal Hwy., Suite 106  
Stuart, FL 34994  
(772) 287-2600

JOSEPH E. SMITH, CLERK OF THE CIRCUIT COURT  
SAINT LUCIE COUNTY  
FILE # 4524753 01/25/2019 03:19:18 PM  
OR BOOK 4226 PAGE 2077 - 2077 Doc Type: DEED  
RECORDING: \$10.00  
Doc Tax: \$3850.00

**WARRANTY DEED (from Corporation)**

**THIS WARRANTY DEED**, Made and executed the 22<sup>nd</sup> day of January, 2019, by **TB Prosperity, Inc., a Florida corporation**, existing under the laws of Florida, and having its principal place of business at 419 NE Baker Road, Stuart, Florida 34994, hereinafter called the Grantor, to **Smith Bros. Contracting Equipment, Inc., a Florida corporation**, whose address is 5731 North Military Trail, West Palm Beach, Florida 33407, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**WITNESSETH:** That the Grantor, for and in consideration of the sum of **\$10.00** and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee, all that certain land situate in St. Lucie County, Florida, to-wit:

Lot 4, FT. PIERCE BUSINESS PARK PHASE II, according to the map or plat thereof, as recorded in Plat Book 28, Page(s) 23, of the Public Records of St. Lucie County, Florida.

Parcel I.D. No.: 2431-506-0005-000/8

Subject to: restrictions, reservations, covenants, conditions, and easements of record; taxes for 2019 and the years subsequent thereto, and all applicable laws, ordinances and governmental regulations, including without limitation, zoning and building codes and ordinances.


**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

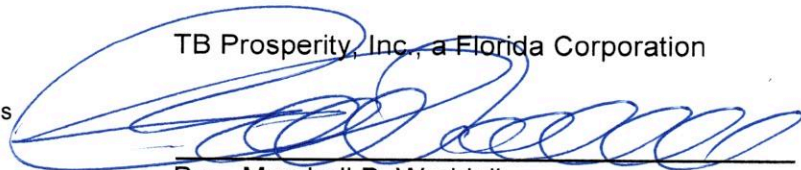
**And** the Grantor hereby covenants with said Grantee that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances.

**In Witness Whereof** the Grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in our presence:

  
\_\_\_\_\_, Witness  
[Print Name of Witness]

  
\_\_\_\_\_, Witness  
[Print Name of Witness]

TB Prosperity, Inc., a Florida Corporation  
  
\_\_\_\_\_  
By: Marshall B. Waddell  
Its: President

### Property Identification

Site Address: 4405 PROSPERITY DR  
Parcel ID: 2431-506-0005-000-8  
Account #: 130877  
Map ID: 24/31N  
Use Type: 4100  
Zoning: Light Indu  
City/County: Fort Pierce

### Ownership

Smith Bros Contracting Equipment Inc  
5731 N Military TRL  
West Palm Beach, FL 33407

### Legal Description

FT PIERCE BUSINESS PARK PHASE II LOT 4 (1.96 AC)

### Current Values

Just/Market Value: \$401,500  
Assessed Value: \$401,500  
Exemptions: \$0  
Taxable Value: \$401,500



### Total Areas

Finished/Under Air (SF): 5,625  
Gross Sketched Area (SF): 5,625  
Land Size (acres): 1.96  
Land Size (SF): 85,377.6

### Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)   
Download TRIM for this parcel: [Download PDF](#)



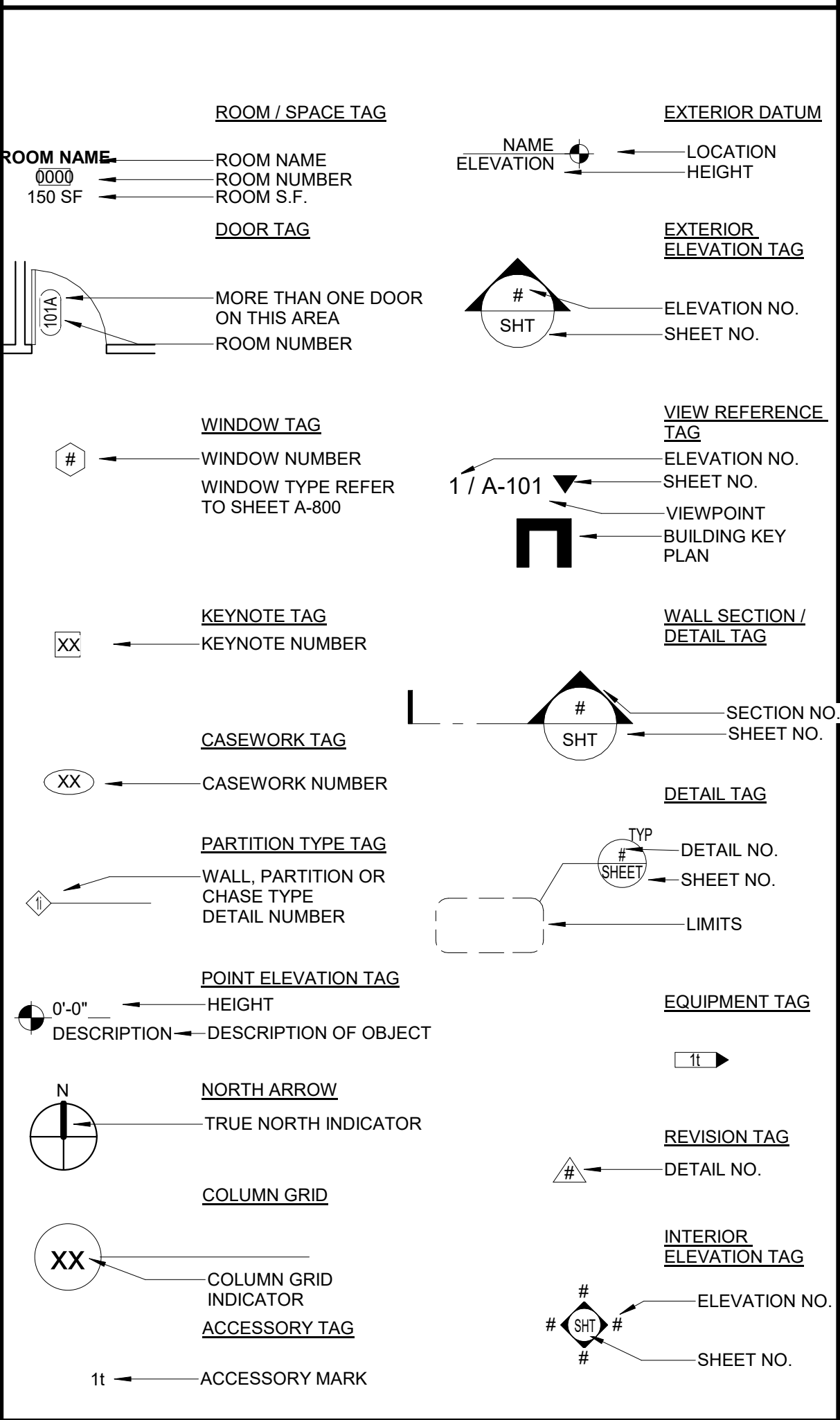
GENERAL NOTES

1. CONSTRUCTION SHALL FOLLOW CURRENT 2020 7th EDITION OF THE "FLORIDA BUILDING CODE" AS ADOPTED BY SAINT LUCIE COUNTY AS APPLICABLE AND ALL APPLICABLE AMENDMENTS...

APPLICABLE CODES

1. TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS ARE COMPLETE, AND COMPLY WITH ALL APPLICABLE CODES. 2. THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS...

DRAWING SYMBOLS AND INDICATORS



ARCHITECTURAL ABBREVIATIONS

Table of architectural abbreviations with columns for symbol, description, and alternate symbol. Includes terms like AND, ANGLE, CENTER LINE, DIAMETER OR ROUND, AT, AIR CONDITIONING, ACCESSIBLE, etc.

DRAWING INDEX

Table listing drawing sheets with columns for SHEET NO., SHEET TITLE, ISSUE DATE, REVISION NO., and LATEST REVISION DATE. Includes sheets like G-001 TITLE SHEET, G-002 DRAWING INDEX, 1 of 1 BOUNDARY SURVEY, etc.

DRAWING INDEX

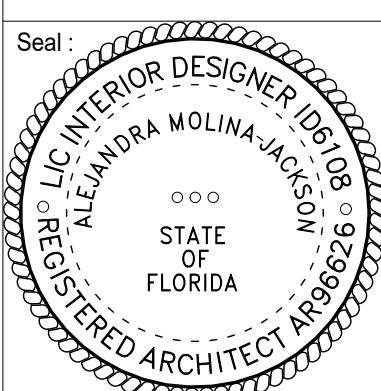
Table listing drawing sheets with columns for SHEET NO., SHEET TITLE, ISSUE DATE, REVISION NO., and LATEST REVISION DATE. Includes sheets like C-1 COVER, C-2 DEMOLITION & EROSION CONTROL PLAN, etc.



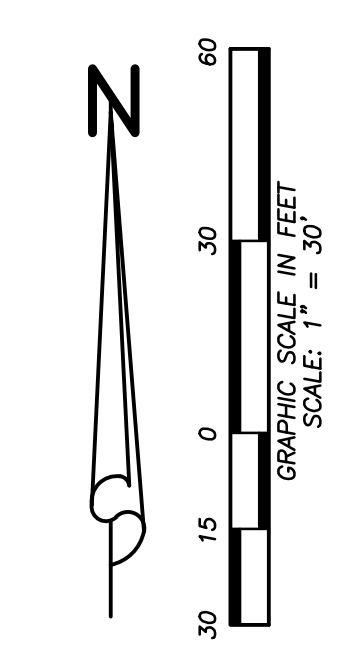
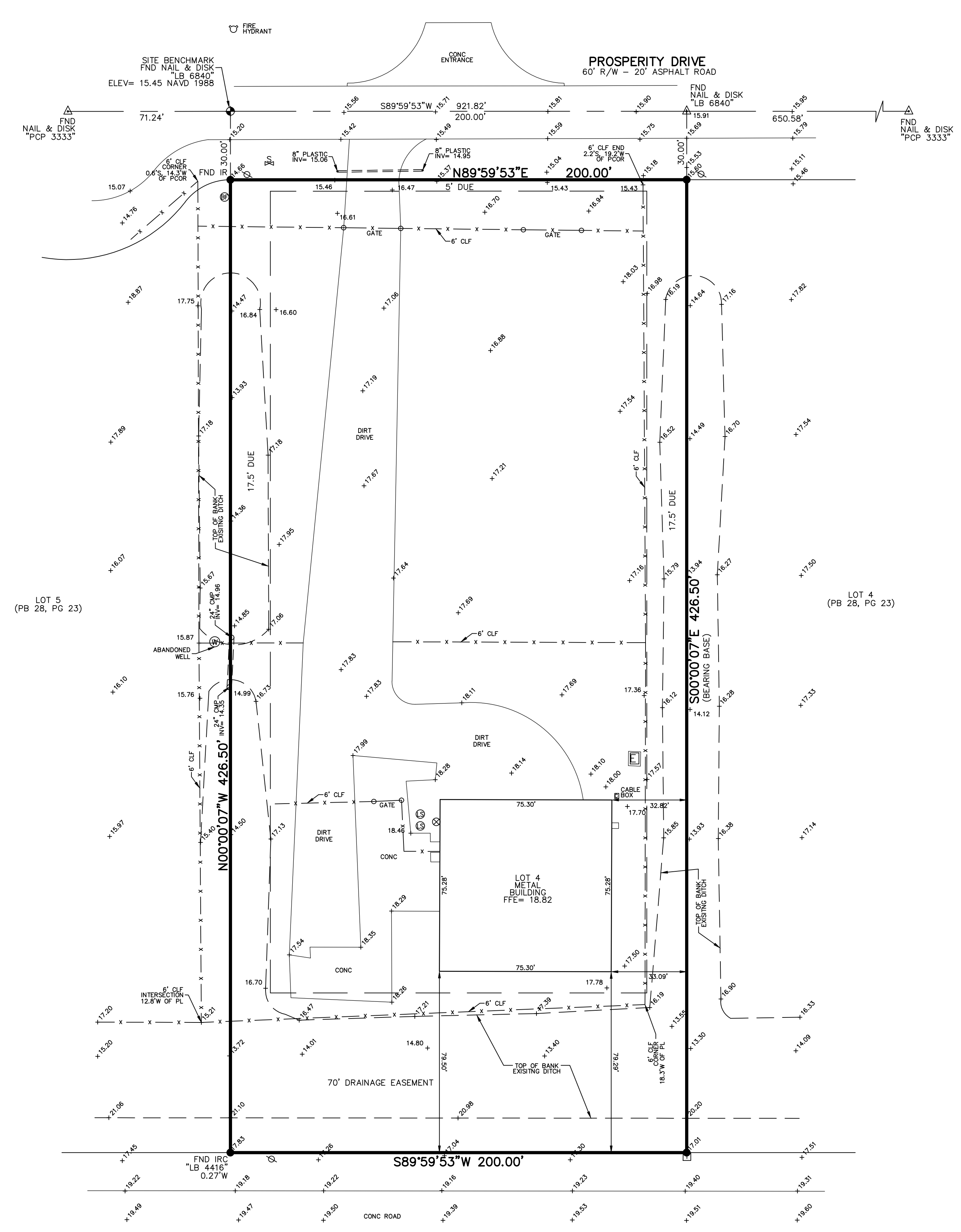
COPYRIGHT © 2020 AHRENS COMPANIES, INC. ALL RIGHTS RESERVED. These drawings and specifications are instruments of service and shall remain the property of Ahrens Companies, Inc.

Table with columns for NO., REVISION, and DATE, used for tracking changes to the drawing.

PROPOSED ADDITION AND NEW WASH AREA BOBCAT TREASURE COAST 4405 PROSPERITY DRIVE, FORT PIERCE, FLORIDA 34981



NAME: ALEJANDRA MOLINA-JACKSON LICENSE #: AR96626 DATE: 11/25/2020 SCALE: 1/2" = 1'-0" DRAWN: WA JOB: 20-000035 SHEET TITLE: DRAWING INDEX, APPLICABLE CODES & GENERAL NOTES SHEET #: G-002



- SYMBOLS:**
- ⊕ = GUY WIRE ANCHOR
  - ⊗ = CABLE TELEVISION BOX
  - ⊠ = CATCH BASIN
  - ⊡ = CATCH BASIN INLET
  - ⊞ = CLEANOUT
  - ⊞ = ELECTRIC BOX
  - ⊞ = TELEPHONE BOX
  - ⊞ = SIGN
  - ⊞ = SANITARY MANHOLE
  - ⊞ = STORM MANHOLE
  - ⊞ = LIFT STATION
  - ⊞ = FIRE HYDRANT
  - ⊞ = LIGHT POLE
  - ⊞ = CONCRETE POWER POLE
  - ⊞ = BACKFLOW PREVENTOR
  - ⊞ = MAIL BOX
  - ⊞ = IRRIGATION VALVE
  - ⊞ = GAS VALVE
  - ⊞ = SEWER VALVE
  - ⊞ = WATER VALVE
  - ⊞ = WELL
  - ⊞ = WATER METER
  - ⊞ = WOOD POWER POLE
  - ⊞ = SET 5/8" IRON ROD WITH PLASTIC CAP PSM#6330

- ABBREVIATIONS:**
- (C) = CALCULATED
  - CBS = CONCRETE BLOCK STRUCTURE
  - CMB = COMMISSIONERS' MINUTES BOOK
  - CONC = CONCRETE
  - CLF = CHAIN LINK FENCE
  - (D) = DEED
  - DE = DRAINAGE EASEMENT
  - DEP = DEPARTMENT OF ENVIRONMENTAL PROTECTION
  - DB = DEED BOOK
  - DIP = DUCTILE IRON PIPE
  - FFE = FINISHED FLOOR ELEVATION
  - FND = FOUND
  - FL = FLORIDA POWER & LIGHT
  - IP = IRON PIPE
  - INV = INVERT
  - IR = IRON ROD
  - IRC = IRON ROD WITH PLASTIC CAP
  - LB = LICENSE BUSINESS
  - LS = LICENSE SURVEY
  - (M) = MEASURED
  - MON = MONUMENT
  - ORB = OFFICIAL RECORD BOOK
  - (P) = PLAT
  - PB = PLAT BOOK
  - PG = PAGE
  - PCOR = PROPERTY CORNER
  - PL = PROPERTY LINE
  - POB = POINT OF BEGINNING
  - POC = POINT OF COMMENCEMENT
  - PRM = PERMANENT REFERENCE MONUMENT
  - R/W = RIGHT-OF-WAY
  - RCP = REINFORCED CONCRETE PIPE
  - RGE = RANGE
  - SEC = SECTION
  - TWP = TOWNSHIP
  - UE = UTILITY EASEMENT
  - PUDE = PUBLIC UTILITY & DRAINAGE EASEMENT
  - R = RADIUS OF CURVE
  - L = LENGTH OF CURVE
  - Δ = DELTA OF CURVE

**SURVEY REPORT:**

LOT 4, FT. PIERCE BUSINESS PARK PHASE II, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, PAGE 23, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

CONTAINING: 85,300 SQUARE FEET OR 1.958 ACRES, MORE OR LESS.

- SURVEY REPORT:**
- THIS IS A BOUNDARY SURVEY AS DEFINED IN CHAPTER 5J-17.050(11), FLORIDA ADMINISTRATIVE CODE.
  - SURVEY BASED ON THE PLAT OF FT. PIERCE BUSINESS PARK PHASE II, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, PAGE 23, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
  - LEGAL DESCRIPTION WAS FURNISHED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 7357291, COMMITMENT DATE: 11/19/18 AT 11:00 PM.
  - BEARING BASIS: A "GRID NORTH" BEARING OF S00°00'07"E ALONG THE EAST PROPERTY LINE.
  - NO UNDERGROUND UTILITIES OR IMPROVEMENTS WERE LOCATED UNLESS OTHERWISE SHOWN.
  - THIS SITE LIES WITHIN FLOOD ZONE "X", ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12111C0188 K, EFFECTIVE DATE 2-19-2020.
  - FLOOD ZONE SHOWN HEREON IS AN INTERPRETATION BY THE SURVEYOR AND IS PROVIDED AS A COURTESY. THE FLOOD ZONE SHOULD BE VERIFIED BY A DETERMINATION AGENCY.
  - THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY ALEXANDER J. PIAZZA PSM, INC.
  - THE EXPECTED USE OF THE SUBJECT PROPERTY IS FOR FUTURE COMMERCIAL DEVELOPMENT AND FALLS WITHIN THE COMMERCIAL HIGH RISK CATEGORY AS CLASSIFIED IN CHAPTER 5J-17.051(2), FLORIDA ADMINISTRATIVE CODE. ALL FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED 1:10,000 FEET ACCURACY REQUIREMENTS FOR THIS CLASSIFICATION. ALL SURVEY MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD IN FEET.
  - ALL MAPPED FEATURES SHOWN HEREON ARE UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF ALEXANDER J. PIAZZA PSM, INC.
  - SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - ADDITIONS OR DELETIONS TO THE SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  - THE BEARINGS SHOWN HEREON ARE RELATIVE TO THE STATE PLANE COORDINATE SYSTEM OF THE NORTH AMERICAN DATUM OF 1983 (2007 ADJUSTMENT) AND THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE REFERENCED TO THE LENGMANN OF FLORIDA'S L-NET GPS NETWORK DEVELOPED WHICH MEETS OR EXCEEDS THE FEDERAL GEODETIC CONTROL COMMITTEE (FGCC) GUIDELINES FOR "GEOMETRIC GEODETIC ACCURACY STANDARDS AND SPECIFICATIONS FOR USING GPS RELATIVE POSITIONING TECHNIQUES" AS WELL AS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 5J-17.051 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES. BENCHMARKS SET OR FOUND FOR THIS SURVEY ARE NOTED ON THE SKETCH.
  - THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE. CERTIFIED TO: SMITH BROS. CONTRACTING EQUIPMENT, INC., A FLORIDA CORPORATION CHICAGO TITLE INSURANCE COMPANY CRARY BUCHANAN, PA
  - © COPYRIGHT 2020 BY ALEXANDER J. PIAZZA PSM, INC. THE SKETCH OF SURVEY AND SURVEY REPORT COMPRISE THE COMPLETE SURVEY. THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY ALEXANDER J. PIAZZA PSM, INC.

DATE OF FIELD SURVEY: 11-05-20  
7-21-20  
12-17-18

DATE OF SURVEY: 12-18-18

ALEXANDER J. PIAZZA PSM, INC.  
ALEXANDER J. PIAZZA  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA CERTIFICATE No. 6330

<b>ALEXANDER J. PIAZZA PSM, INC.</b> Surveying • Mapping • Consulting 619 SW Biltmore Street Port St. Lucie, Florida 34983 Phone: (772) 340-7770 Fax: (772) 340-2250 <b>LB#7280</b>		<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b> <b>4405 PROSPERITY DRIVE</b> AS PREPARED FOR <b>SMITH BROS. CONTRACTING EQUIPMENT, INC.</b>	
CAD K:\BUILDERS\DWG2018\18-4332.DWG REF K:\	FLD CJM / RP OFF CJM CKD AJP	FB. PG. SHEET 1 OF 1	JOB 18-4332 DATE 12-18-18 DWG D-844

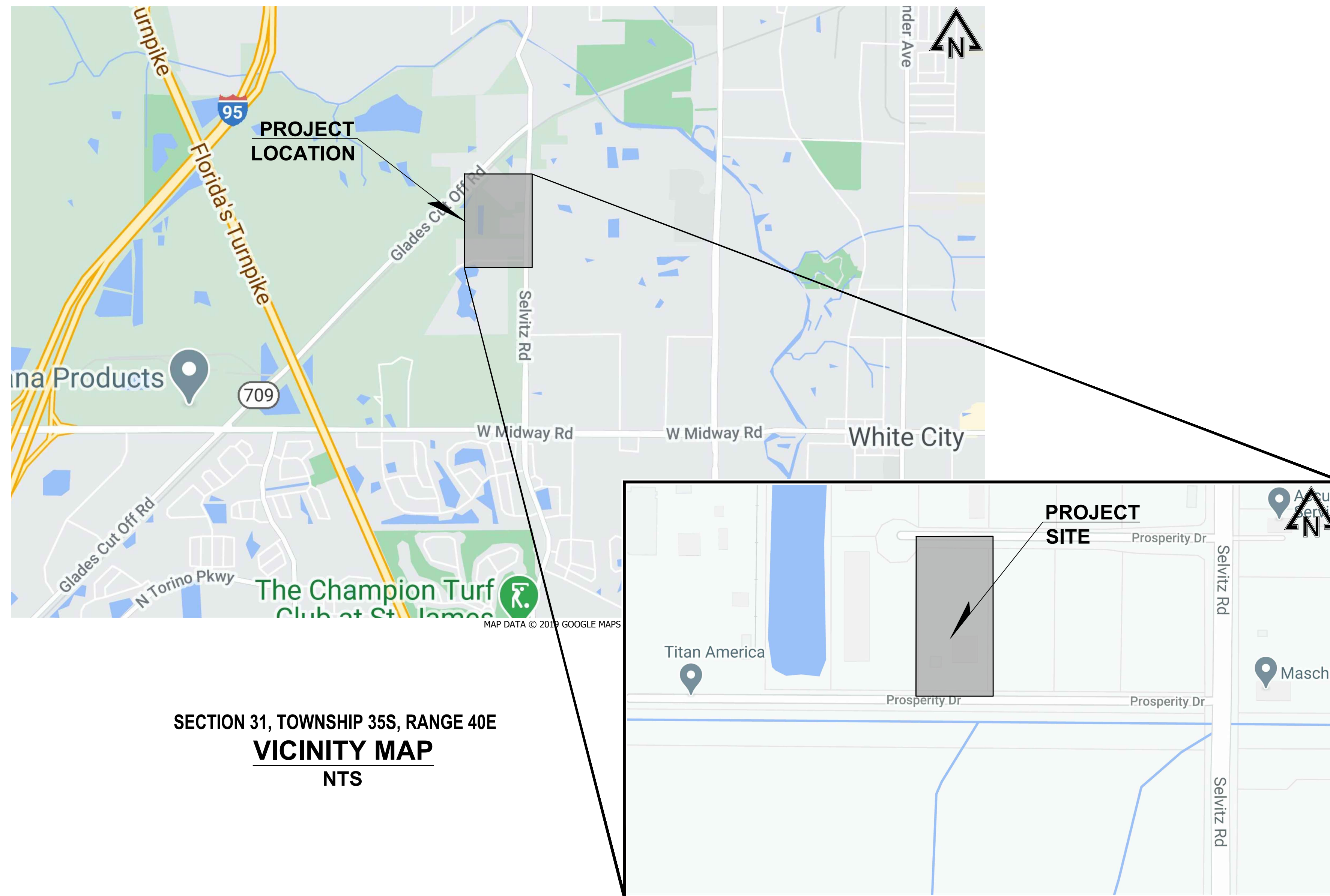
# PROPOSED FACILITY FOR BOBCAT TREASURE COAST

## 4405 PROSPERITY DRIVE, FORT PIERCE, FL 34981

PREPARED FOR

### CITY OF FORT PIERCE

NOVEMBER 2020



SECTION 31, TOWNSHIP 35S, RANGE 40E  
**VICINITY MAP**  
NTS

#### SHEET INDEX

SHEET NO SHEET TITLE

- 1 COVER
- 2 DEMOLITION AND EROSION CONTROL PLAN
- 3 PRELIMINARY ENGINEERING PLAN
- 4 DETAILS
- 5 DETAILS
- 6 NOTES

TOTAL NO OF SHEETS - 6

**PRELIMINARY  
SUBMITTAL**



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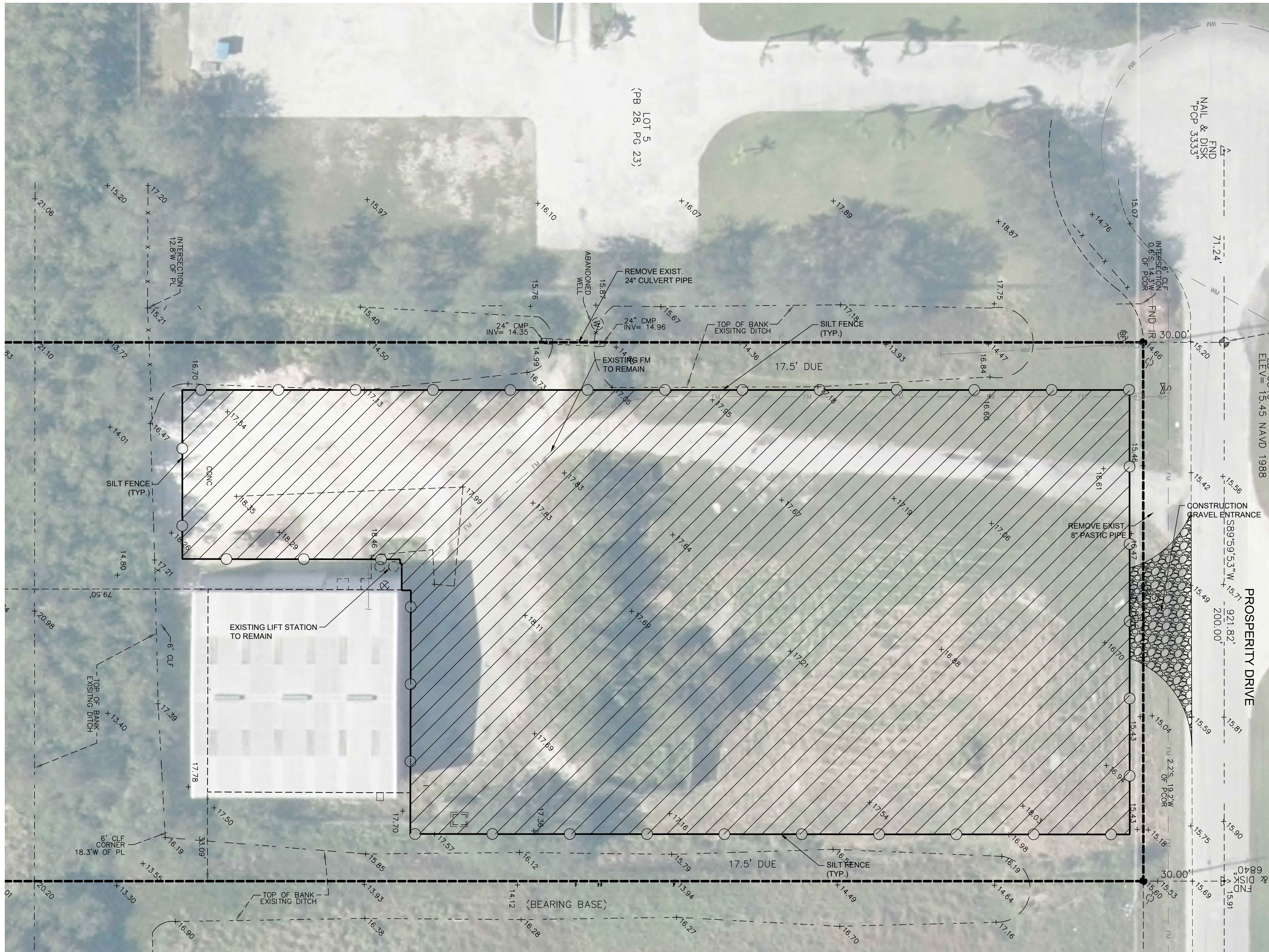
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ADAM SWANEY, P.E.  
NO. 72235

PROPOSED FACILITY FOR  
BOBCAT TREASURE COAST  
4405 PROSPERITY DRIVE, FORT PIERCE, FL 34981  
COVER

A Higher Standard of Excellence  
**engenuity** inc.  
MEMBERS • SUBMITTALS • GAS INHAVERS group inc.  
1280 N CONGRESS AVE, SUITE 101  
WEST PALM BEACH, FLORIDA 33409  
PH: (561) 655-1151 • FAX: (561) 832-5390  
WWW.ENGENUITYGROUP.COM CERTIFICATE OF AUTHORIZATION #7095

DATE	DRAWN	PROJECT ENGINEER	PROJECT MANAGER	CHECKED
NOVEMBER 2020	KL	RB	RB	ACS
TOTAL SHEETS	1	6		
JOB NO.	20182.01			



**LEGEND:**

**PROPOSED**

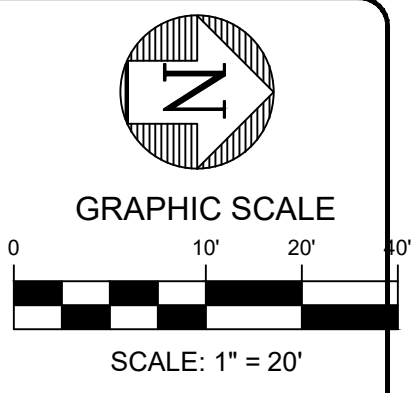


**GENERAL NOTES:**

- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND REFERENCE TO SITE BENCHMARK FND NAIL & DISK "LB 6840"  
ELEVATION = 15.45 NAVD 1988
- ALL AREAS DISTURBED BY CONSTRUCTION WHICH INCLUDES ALL DRIVEWAYS, PAVERS, ASPHALT, CONCRETE AND VEGETATION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- TOPOGRAPHIC SURVEY PERFORMED BY ALEXANDER J. PIAZZA PSM, INC., DATED 12/17/18 AND 07/21/20 RESPECTIVELY.
- ALL REMOVED DEBRIS & DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.

**POLLUTION PREVENTION NOTES:**

- ALL POLLUTION PREVENTION MEASURES SHALL BE STRICTLY ENFORCED.
  - PROVISIONS FOR CONTROL OF POLLUTION:
    - SUFFICIENT PRECAUTIONS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT THE RUN-OFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMEN'S OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO THE SUPPLIES AND SURFACE WATERS OF THE STATE OF FLORIDA. CONTROL MEASURES MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED MORE THAN 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND UNLESS OTHERWISE PERMITTED. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION. EROSION EVIDENT WITHIN THE LIMITS OF CONSTRUCTION OR OTHER AREAS AFFECTED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
    - FILL OUT A NOTICE OF INTENT FORM (FDEP FORM 62-621.300(4)(B)) AND SUBMIT IT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
    - EXCAVATION OF WATER MANAGEMENT FACILITIES SHOULD OCCUR IMMEDIATELY AFTER CLEARING AND GRUBBING TO SERVE AS A SEDIMENT TRAP OR CATCHMENT FOR STORMWATER RUNOFF FROM EXPOSED SOILS.
    - CONSTRUCT PERIMETER BERM OR GRADE SITE TO PREVENT OFF-SITE DISCHARGE OF STORMWATER RUNOFF.
    - PLACE SILT FENCES OR HAY BALES TO CONTAIN EROSION IN AREAS PRONE TO STORMWATER RUNOFF EROSION VELOCITIES.
    - PROTECT EACH INLET THAT MAY RECEIVE RUNOFF FROM THE CONSTRUCTION SITE WITH SILT FENCE/FILTER FABRIC STAKED IN PLACE.
    - TAKE ALL REASONABLE PRECAUTIONS TO CONTROL DUST AND UNCONFINED PARTICULATE MATTER. THE APPLICATION OF WATER IS AN ACCEPTABLE DUST SUPPRESSANT ON ROADWAYS, STOCKPILES, AND ANY OTHER AREAS WITHIN THE PROJECT BOUNDARIES. DUST SUPPRESSANT WATER SHALL BE APPLIED IN SUCH A MANNER SO AS NOT TO PRODUCE EXCESS RUNOFF AND EROSION.
    - TAKE PRECAUTIONS IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION.
  - OTHER CONTROLS AND MATERIAL MANAGEMENT PRACTICES:
    - HAZARDOUS WASTE - DISPOSE OF IN A MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS.
    - NOISE - MINIMIZE NOISE CAUSED BY THE OPERATION OF EQUIPMENT. ABIDE BY ALL LOCAL REGULATIONS COVERING NOISE CONTROL.
    - ODORS - DO NOT CAUSE OBJECTIONABLE ODORS TO BE GENERATED.
    - OFFSITE VEHICLE TRACKING - PROVIDE A ROCK CONSTRUCTION ENTRANCE TO REDUCE VEHICLE TRACKING OF SEDIMENTS. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED WITH A TARP/AULIN.
    - OPEN BURNING - NO OPEN FIRES OR BURNING OF MATERIALS.
    - PAINTS - ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO THE PAINT MANUFACTURER'S INSTRUCTIONS AND STATE OR LOCAL REGULATIONS.
    - PETROLEUM PRODUCTS - MONITOR ONSITE VEHICLES AND TANKS FOR LEAKS. THEY SHALL RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. STORE PETROLEUM PRODUCTS IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED. USE ASPHALT SUBSTANCES ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE SECONDARY CONTAINMENT FOR ALL ABOVE GROUND FUEL TANKS.
    - SANITARY WASTE - COLLECT ALL SANITARY WASTE FROM THE PORTABLE UNITS AT LEAST TWICE PER WEEK.
    - WASTE MATERIALS - COLLECT AND STORE ALL WASTE MATERIALS IN A SECURELY COVERED METAL DUMPSTER PROVIDED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. DEPOSIT ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE IN THE DUMPSTER. THE DUMPSTER IS TO BE EMPTIED AS NEEDED SO THERE IS NO OVERFLOW. HAUL TRASH TO A STATE APPROVED LANDFILL FACILITY.
- MAINTENANCE / INSPECTION PROCEDURES:
  - INSPECT ALL CONTROL MEASURES AT LEAST ONCE PER WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
  - MAINTAIN ALL MEASURES IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT MUST BE INITIATED WITHIN 24 HOURS OF THE ONSITE INSPECTION REPORT.
  - REMOVE BUILT UP SEDIMENT FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
  - INSPECT SILT FENCE FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
  - PREPARE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS FOUND AT THE END OF THIS SECTION.
  - THE CONTRACTOR SHALL DESIGNATE A QUALIFIED PERSON TO BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND COMPLETING THE INSPECTION AND MAINTENANCE REPORTS.
  - NON-STORMWATER DISCHARGES ARE PERMISSIBLE PROVIDED THAT DISCHARGE DOES NOT CAUSE EROSION OR CREATE TURBIDITY WITHIN THE RECEIVING BODY AND ARE IN COMPLIANCE WITH REGULATORY REQUIREMENTS. THESE DISCHARGES MAY INCLUDE WATER LINE FLUSHING, FIRE FIGHTING ACTIVITIES, FIRE HYDRANT FLUSHING, DUST CONTROL, IRRIGATION DRAINAGE, AIR CONDITIONING CONDENSATION, AND WATER USED TO SPRAY OFF LOOSE SOLIDS FROM VEHICLES.
- PROPERTY CORNERS SHALL BE LOCATED BY A LICENSED LAND SURVEYOR AND CLEARLY MARKED IN THE FIELD PRIOR TO THE ENGINEERING DEPARTMENT'S PRE-CONSTRUCTION MEETING FOR SITE DEVELOPMENT.
- AUTHORIZATION FOR INSTALL EROSION CONTROL DEVICES AND PRESERVE BARRICADES WILL BE GRANTED AT THE PRE-CONSTRUCTION MEETING. THIS AUTHORIZATION SHALL BE POSTED ON THE SITE, IN THE PERMIT BOX, ITS LOCATION SHOWN ELSEWHERE ON THIS PAGE.
- PRIOR TO SCHEDULING A FINAL ENVIRONMENTAL INSPECTION FOR THE INFRASTRUCTURE, ALL BARRICADES AND EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- SOIL STABILIZATION SHALL BE COMPLETED WITHIN 30 DAYS OF VEGETATION REMOVAL. STABILIZATION TO CONSIST OF PLACEMENT OF SOD OF ALL DISTURBED AREAS.



NO.	DATE	REVISIONS	REMARKS	BY

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NO. 72235

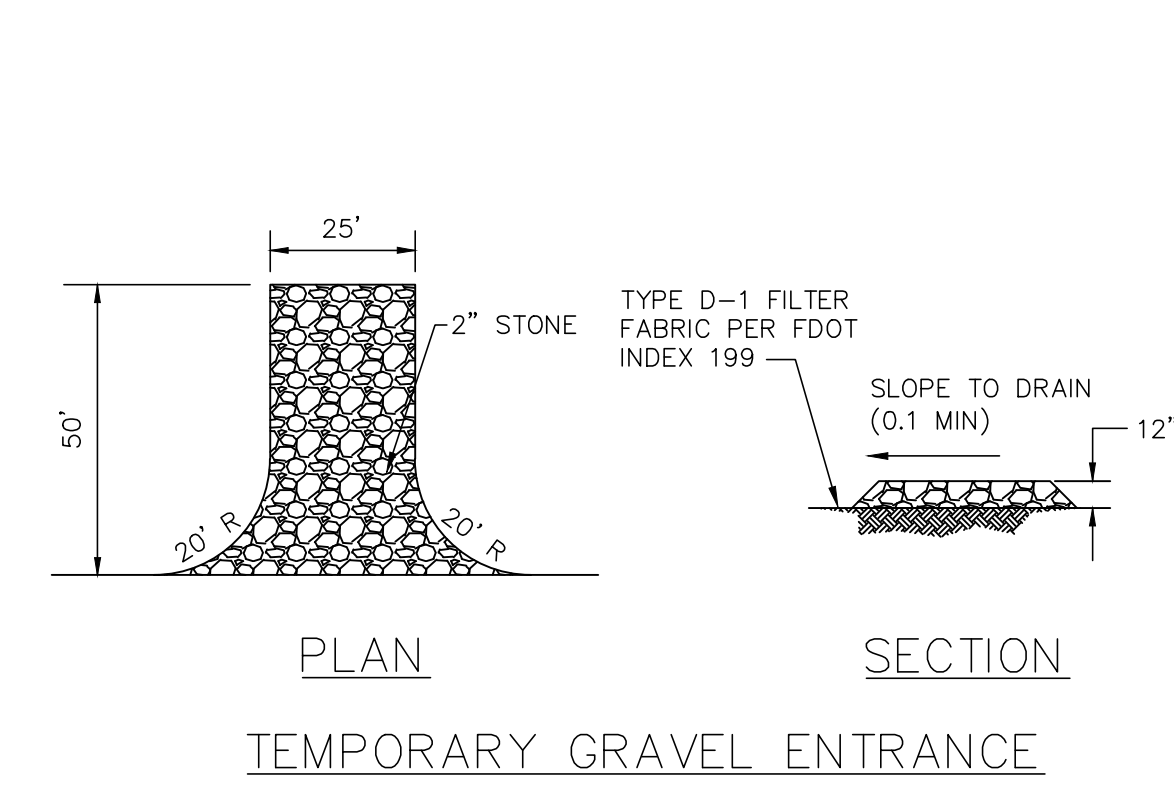
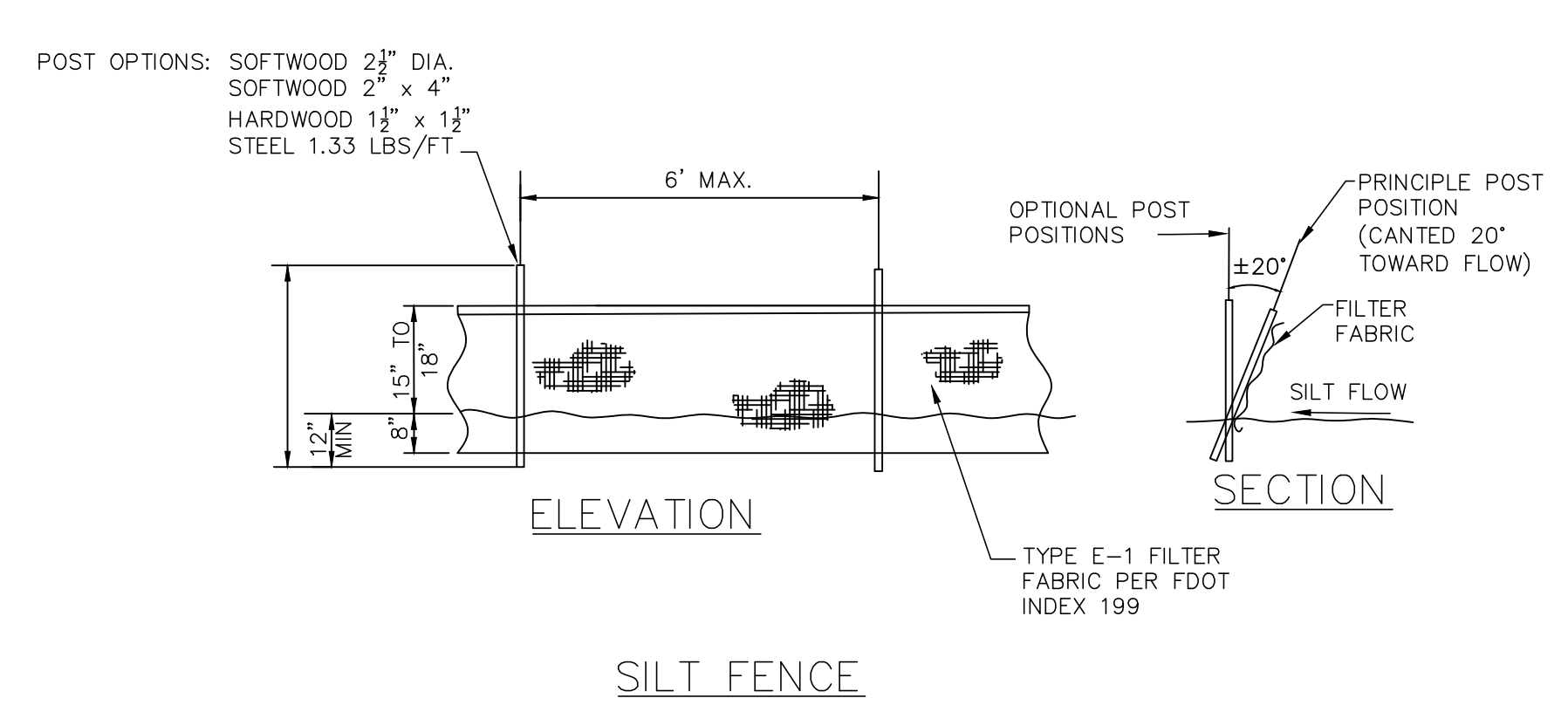
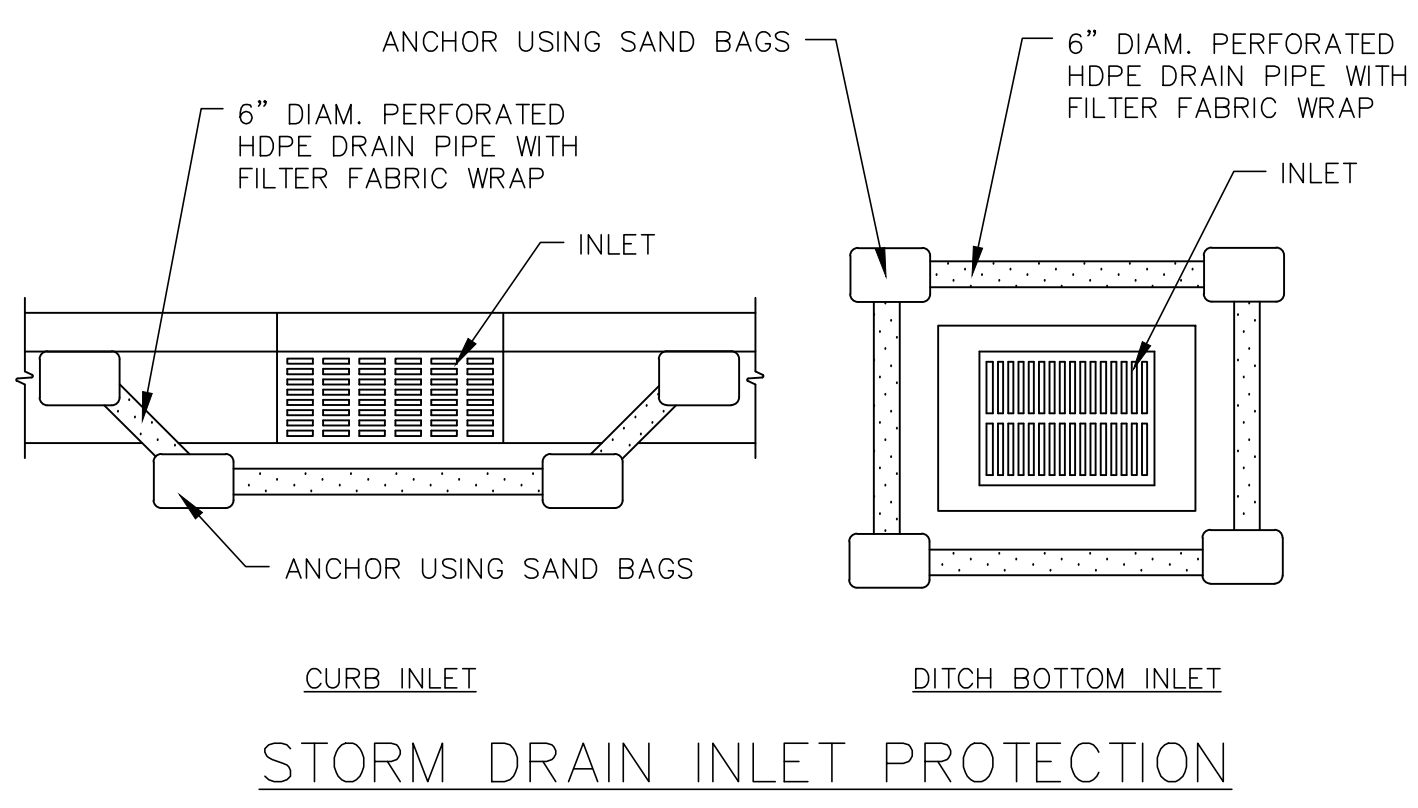
**PROPOSED FACILITY FOR  
BOBCAT TREASURE COAST  
4405 PROSPERITY DRIVE, FORT PIERCE, FL 34981  
DEMOLITION AND EROSION CONTROL PLAN**

A Higher Standard of Excellence  
**engenuity group inc.**  
enemies + adversaries + adversaries group inc.  
1280 N CONGRESS AVE, SUITE 101  
WEST PALM BEACH, FLORIDA 33409  
PH (561)695-1151 • FAX (561)692-3390  
WWW.ENGENUITYGROUP.COM CERTIFICATE OF AUTHORIZATION #7093

DATE	DRAWN	PROJECT	ENGINEER	PROJECT MANAGER	CHECKED
NOVEMBER 2020	KL	RB	RB	ACS	

JULIAND Projects R2020182.01 Smith Res/DWG020182.01\_ENG.dwg DATE: 11/23/2020 2:48 PM

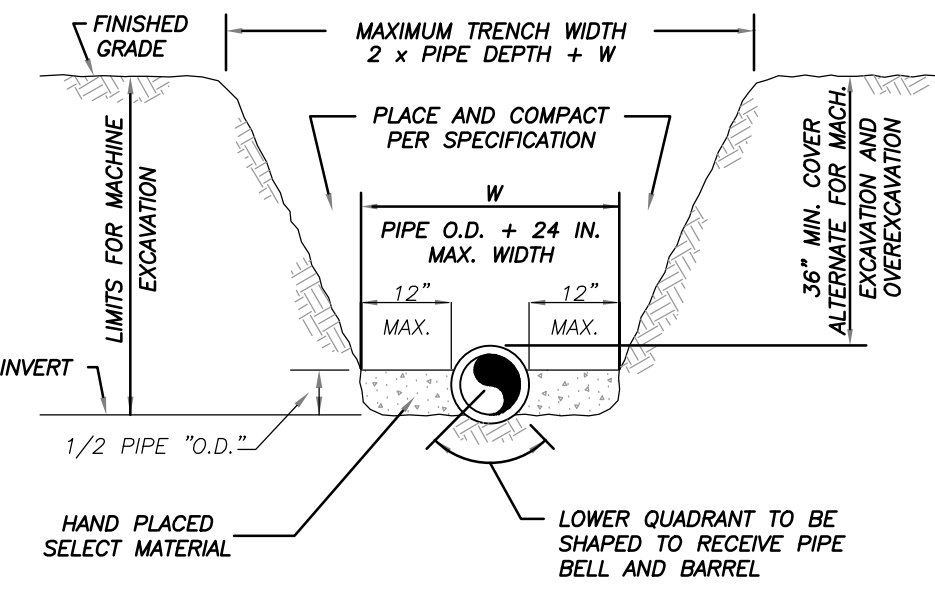
2  
6  
JOB NO. 20182.01



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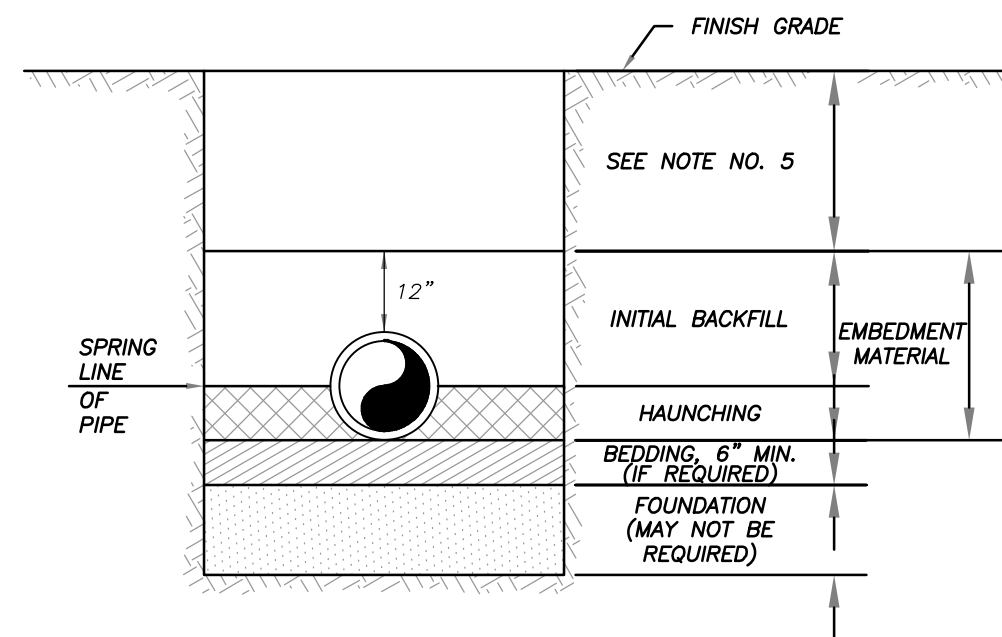


**NOTES:**

- 1) THE CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.
- 2) INITIAL BACKFILL SHALL BE HAND PLACED TO 12" ABOVE THE PIPE. BACKFILL SHALL BE MECHANICALLY TAMPED TO A MINIMUM OF 100% OF MAX. DENSITY AS DETERMINED BY AASHTO METHOD T-99.

**TYPICAL TRENCH DETAIL**  
N.T.S.

	<b>TYPICAL TRENCH DETAILS</b>				<b>M-1</b>			
	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.
FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				
SHEET 1 OF 1				SHEET 1 OF 1				

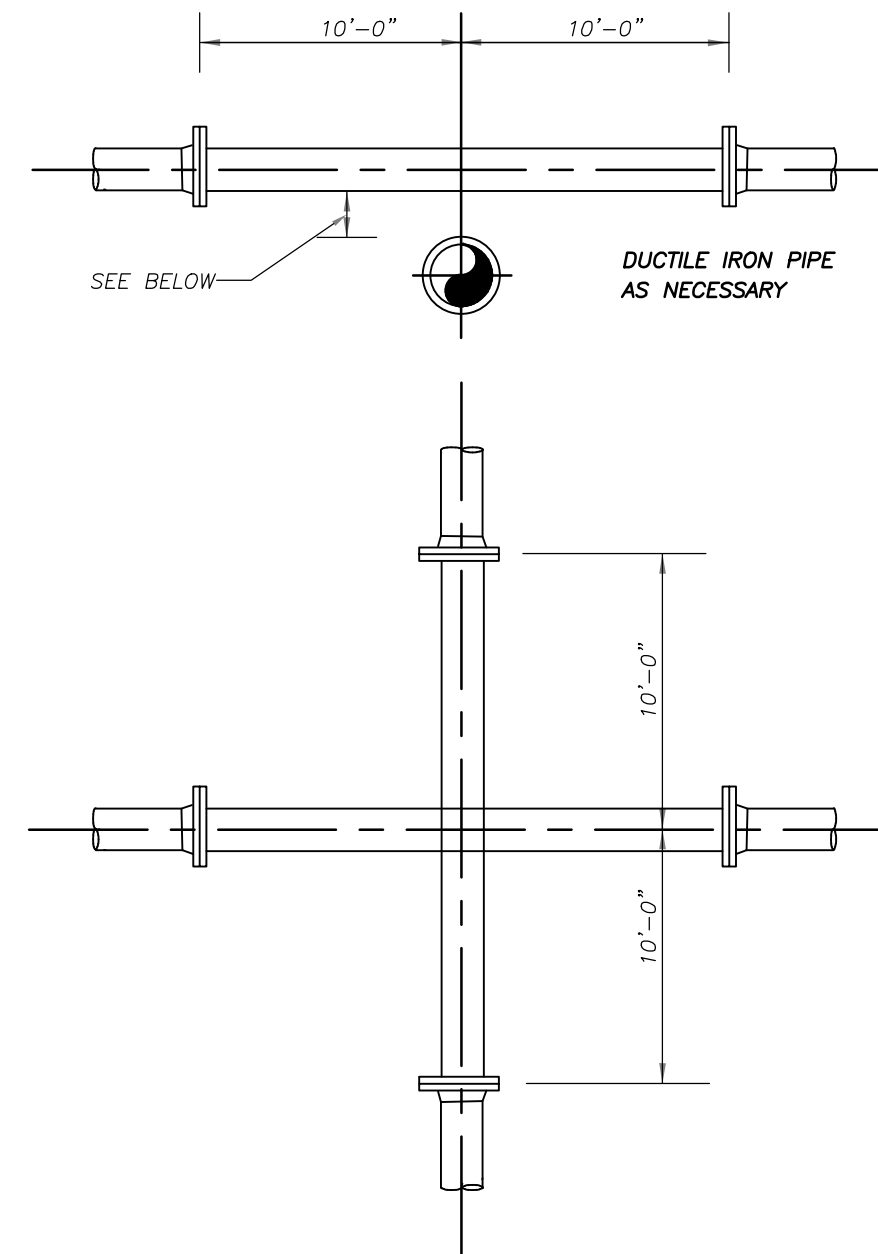


**NOTES:**

- 1) IN CERTAIN SOIL CONDITIONS A FOUNDATION MAY BE REQUIRED.
- 2) BEDDING IS REQUIRED PRIMARILY TO BRING THE TRENCH BOTTOM UP TO GRADE. BEDDING MATERIALS SHALL PROVIDE A UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE.
- 3) HAUNCHING MATERIAL SHALL BE HAND PLACED TO THE SPRINGLINE OF THE PIPE. MATERIAL SHALL BE CONSOLIDATED UNDER THE PIPE AND HAND TAMPED TO PROVIDE ADEQUATE SIDE SUPPORT.
- 4) INITIAL BACKFILL MATERIAL SHALL BE HAND PLACED TO 12" ABOVE THE TOP OF PIPE. THE SOIL SHALL BE COMPACTED TO 100% MAX. DENSITY (AASHTO T-99).
- 5) BACKFILL SHALL BE COMPACTED TO 100% OF MAX. DENSITY AS PER AASHTO T-99, TO A POINT 30" BELOW PROPOSED PROFILE GRADE OR EXISTING GRADE. THE FINAL 30" OF BACKFILL SHALL BE COMPACTED TO 98% OF MAX. DENSITY AS PER AASHTO T-100.
- 6) DENSITY TEST SHALL BE PERFORMED AT AREAS DETERMINED BY THE UTILITIES ENGINEER OR PERMIT AGENCY HAVING JURISDICTION, AT THE CONTRACTOR'S EXPENSE.
- 7) CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL TRENCH SAFETY REGULATIONS.

**BACKFILLING REQUIREMENTS**  
N.T.S.

	<b>BACKFILLING REQUIREMENTS</b>				<b>M-2</b>			
	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.
FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				
SHEET 1 OF 1				SHEET 1 OF 1				

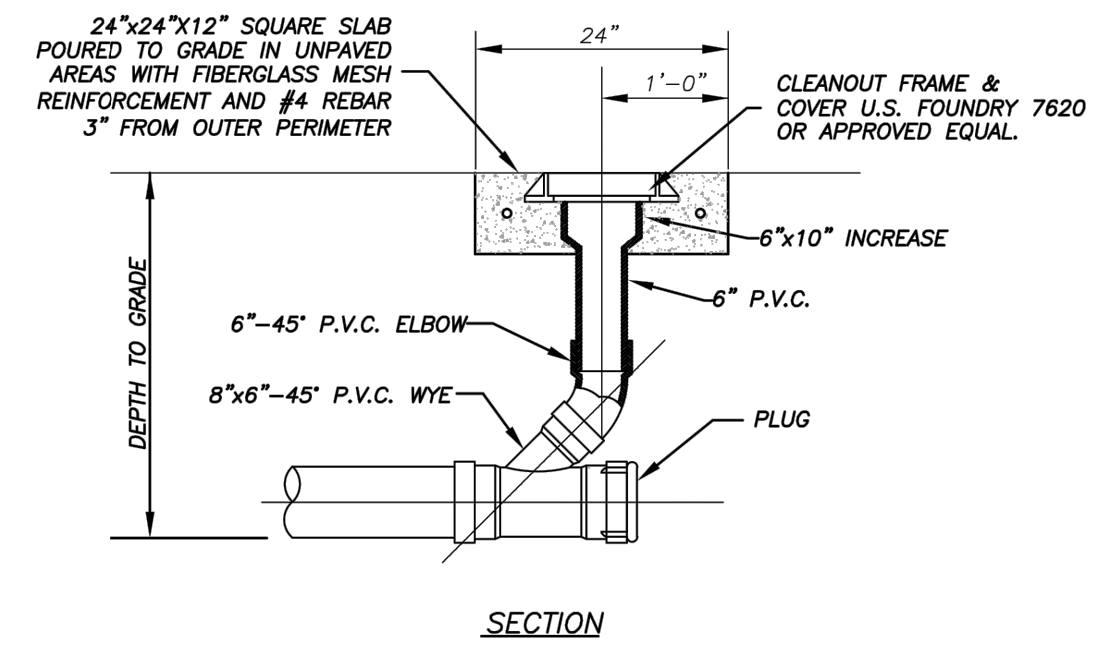


**NOTE:**

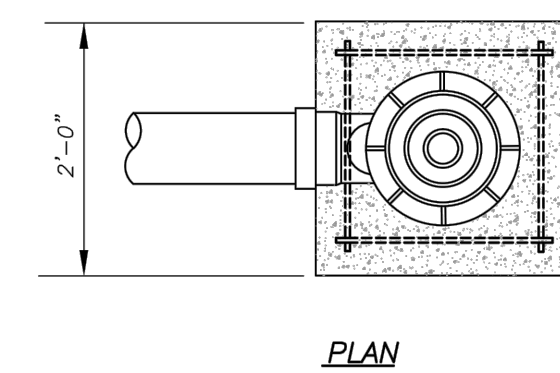
PLEASE REFER TO FORT PIERCE UTILITIES STANDARD SEPARATION STATEMENT FOR WATER / SEWER CONFLICTS.

**UTILITY CROSSING DETAIL**  
N.T.S.

	<b>UTILITY CROSSING DETAIL</b>				<b>M-5</b>			
	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.
FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				
SHEET 1 OF 1				SHEET 1 OF 1				



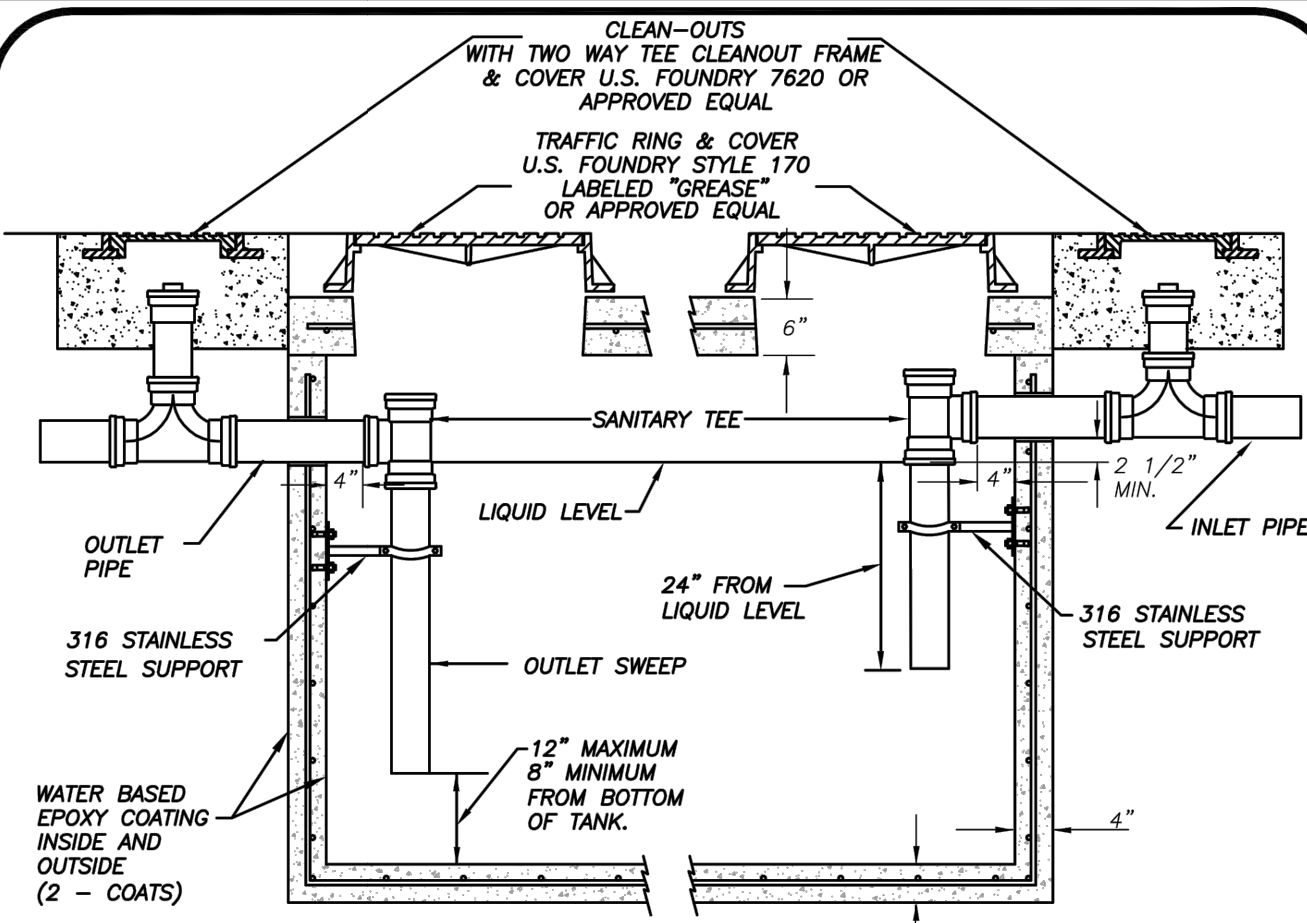
**SECTION**



**PLAN**

**TERMINAL CLEANOUT DETAIL (COMMERCIAL)**  
N.T.S.

	<b>TERMINAL CLEANOUT DETAIL</b>				<b>S-4B</b>			
	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.
FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				
SHEET 2 OF 3				SHEET 2 OF 3				



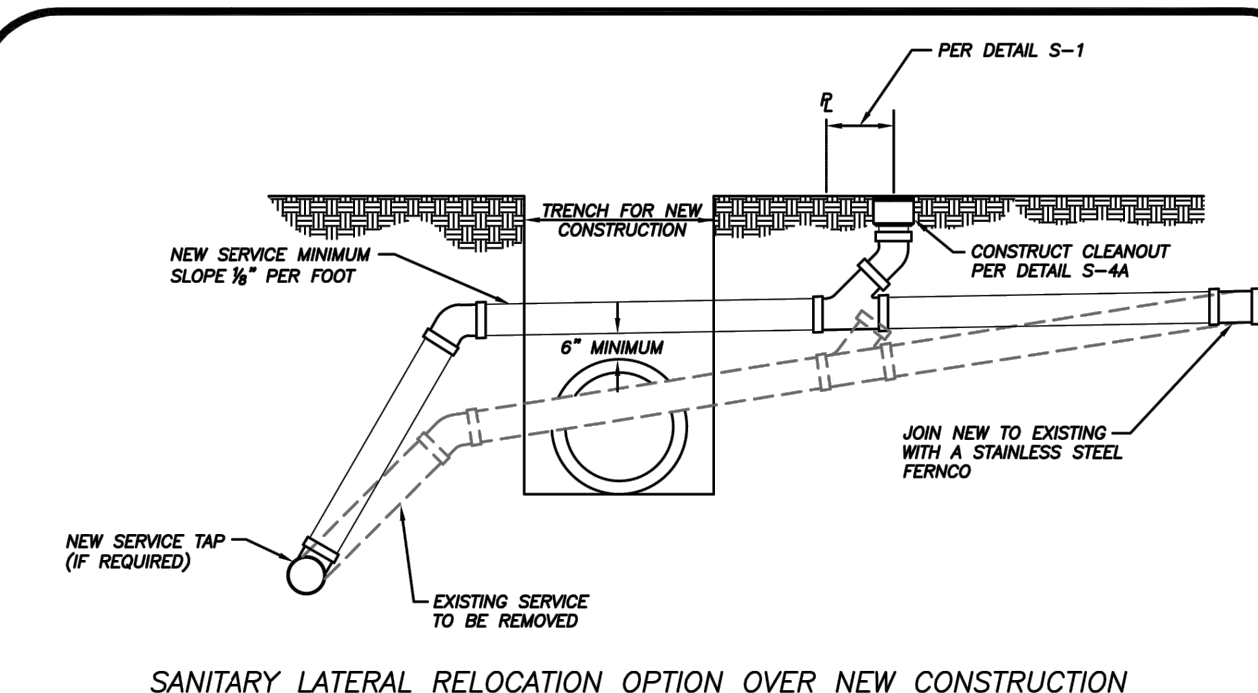
**NOTES:**

1. ALL PIPING SHALL BE A MINIMUM OF 4".
2. PIPING SHALL BE INSTALLED USING PRESSED-IN BOOTS OR CONCRETE MANHOLE ADAPTERS (ONLY).
3. INLET AND OUTLET TEES MUST BE INSTALLED A MINIMUM OF 4" FROM INSIDE THE STRUCTURE WALLS. ACTUAL DIMENSION SHOULD BE ADJUSTED TO ENSURE THAT AN UNOBSTRUCTED VERTICAL VIEW OF THE TEES CAN BE SEEN THROUGH THE GREASE INTERCEPTOR'S ACCESS OPENINGS.
4. FPUA'S SEWER USE ORDINANCE WILL DICTATE GREASE INTERCEPTOR(S) SIZE. ALL INTERCEPTORS SHALL BE A MINIMUM OF 1,000 GALLONS AND A MAXIMUM OF 1,250 GALLONS.
5. TANK MUST BE TRAFFIC BEARING (SHALL MEET H-20 LOADING REQUIREMENTS).
6. TANK WALLS AND BOTTOM SLAB MUST BE A MINIMUM 4" THICK AND THE TOP SLAB A MINIMUM 6" THICK; ALL WITH #4 REBAR REINFORCEMENT.
7. TANK SEAMS SHALL BE JOINED AND SEALED WITH MINIMUM 1-3/4" TRAM-NEK SEALER OR EQUIVALENT TO FORM A WATER TIGHT SEAL.
8. ALL INTERNAL AND EXTERNAL CONCRETE SURFACES SHALL RECEIVE 2 COATS OF A WATER BASED EPOXY COATING.
9. GREASE INTERCEPTORS MUST BE INSTALLED ON DRY, STABLE AND UNDISTURBED SOIL. IF THESE CONDITIONS CAN NOT BE MET, EXCAVATION SHALL BE EXTENDED TO SIX INCHES BELOW THE STRUCTURE AND A CUSHION OF 3/4" STONE SHALL BE PROVIDED.
10. PRECAST CONCRETE RINGS SHALL BE UTILIZED FOR RING & COVER ADJUSTMENTS.

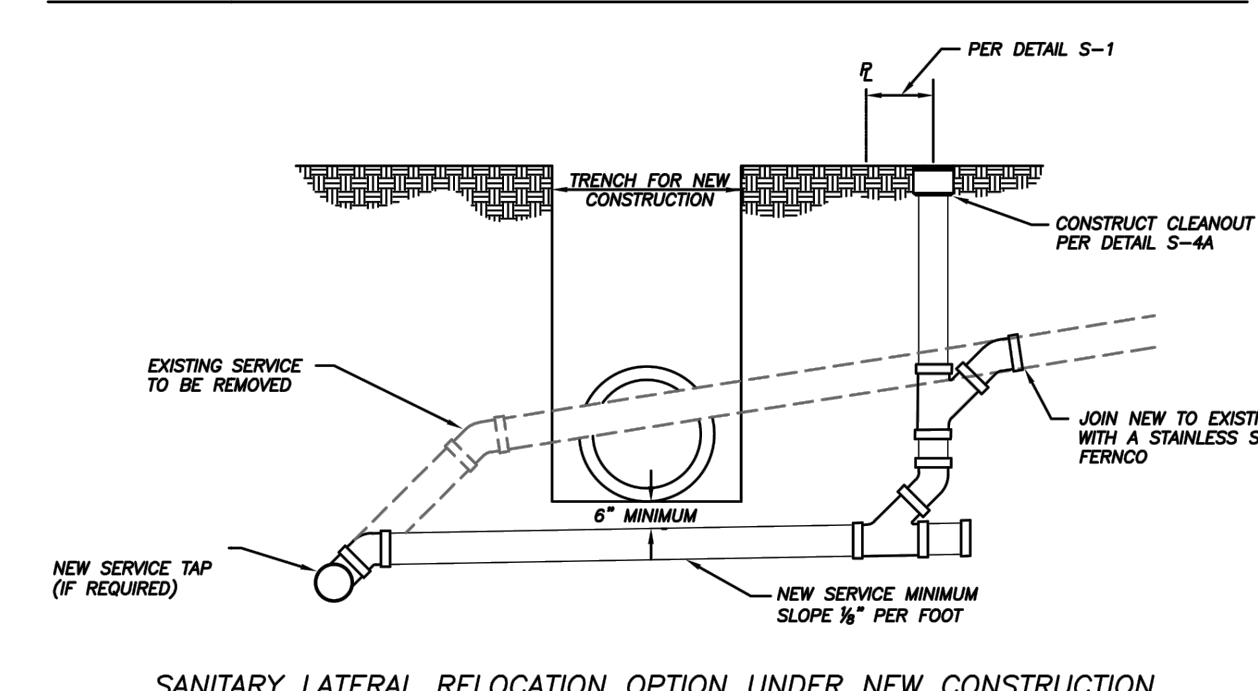
**SPECIAL NOTE:** IF INTERCEPTOR IS REPLACING AN EXISTING INTERCEPTOR THAT WILL BE ABANDONED IN PLACE, PERFORM THE FOLLOWING: (1) STRUCTURE MUST BE PRESSURE WASHED TO ENSURE ALL GREASE AND FOREIGN MATERIAL IS REMOVED, (2) REMOVE PORTION OF STRUCTURE WITHIN 3 FEET OF FINISH GRADE AND (3) INSTALL A MINIMUM 6 INCH DIAMETER HOLE IN THE BOTTOM SLAB OF THE STRUCTURE.

**STANDARD DETAIL FOR GREASE, OIL, AND SAND INTERCEPTORS (N.T.S.)**

	<b>STANDARD DETAIL FOR GREASE, OIL, AND SAND INTERCEPTORS</b>				<b>S-14</b>			
	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.
FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				
SHEET 1 OF 1				SHEET 1 OF 1				



**SANITARY LATERAL RELOCATION OPTION OVER NEW CONSTRUCTION**



**SANITARY LATERAL RELOCATION OPTION UNDER NEW CONSTRUCTION**

**NOTES:**

1. ALL PIPING SHALL BE SDR-26 WITH SDR-26 FITTINGS.

	<b>SANITARY SEWER LATERAL ADJUSTMENT FOR NEW CONSTRUCTION</b>				<b>S-17</b>			
	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.
FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				
SHEET 1 OF 1				SHEET 1 OF 1				

	<b>STANDARD DETAIL FOR GREASE, OIL, AND SAND INTERCEPTORS</b>				<b>S-14</b>			
	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.	DATE: 2010	DESIGNED BY: JLC	REVISION: NONE	SCALE: N.T.S.
FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				FT. PIERCE UTILITIES AUTHORITY WATER/WASTEWATER ENGINEERING				
SHEET 1 OF 1				SHEET 1 OF 1				

NO.	DATE	REVISIONS	REMARKS

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ADAM SWANEY, P.E.  
NO. 72235

PROPOSED FACILITY FOR  
BOBCAT TREASURE COAST  
4405 PROSPERITY DRIVE, FORT PIERCE, FL 34981  
DETAILS

A Higher Standard of Excellence  
**engenuity group inc.**  
1280 N. CONGRESS AVE., SUITE 101  
WEST PALM BEACH, FLORIDA 33409  
PH: (561) 655-1151 • FAX: (561) 832-5390  
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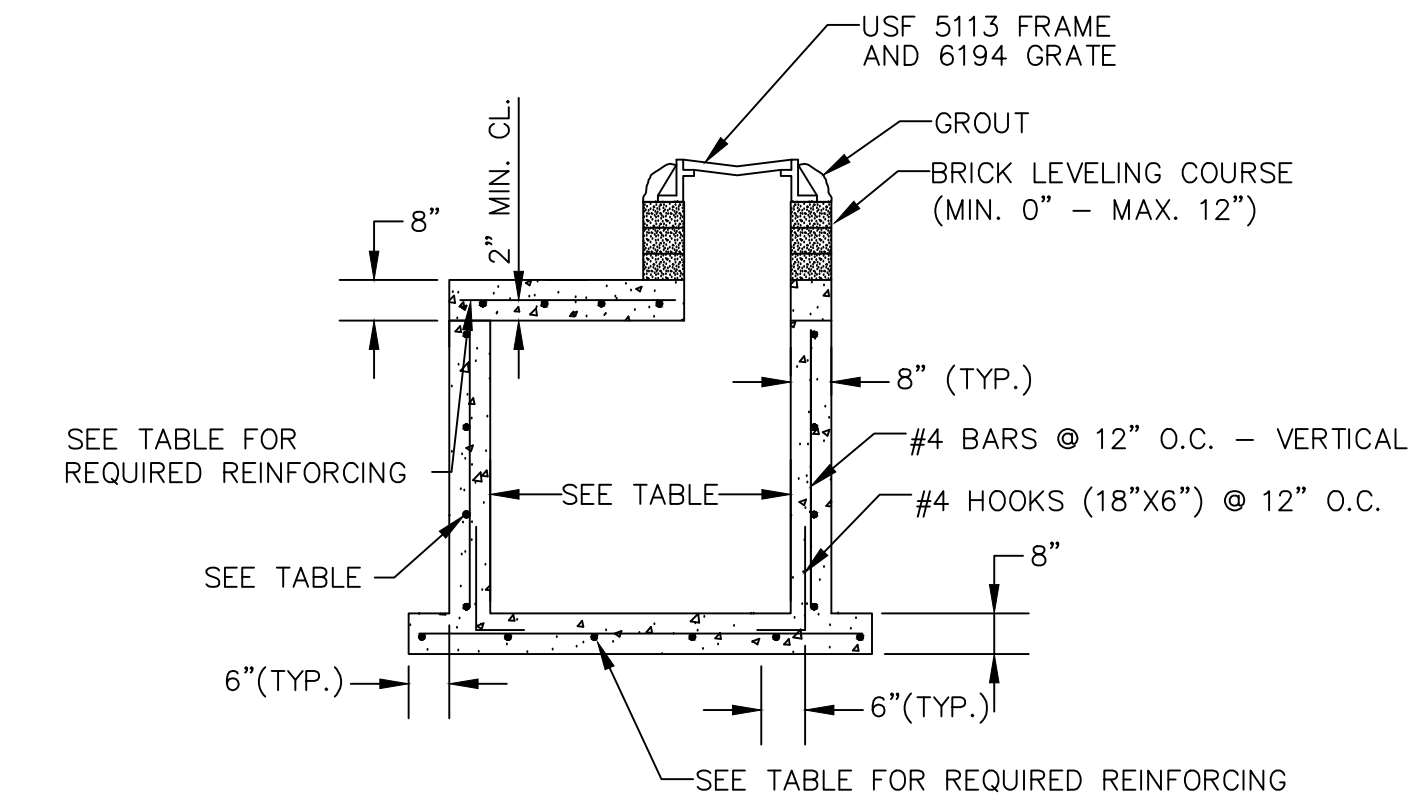
DATE	NOVEMBER 2020	PROJECT	KL	ENGINEER	RB	PROJECT MANAGER	RB	CHECKED	ACS
DATE	NOVEMBER 2020	PROJECT	KL	ENGINEER	RB	PROJECT MANAGER	RB	CHECKED	ACS
DATE	NOVEMBER 2020	PROJECT	KL	ENGINEER	RB	PROJECT MANAGER	RB	CHECKED	ACS



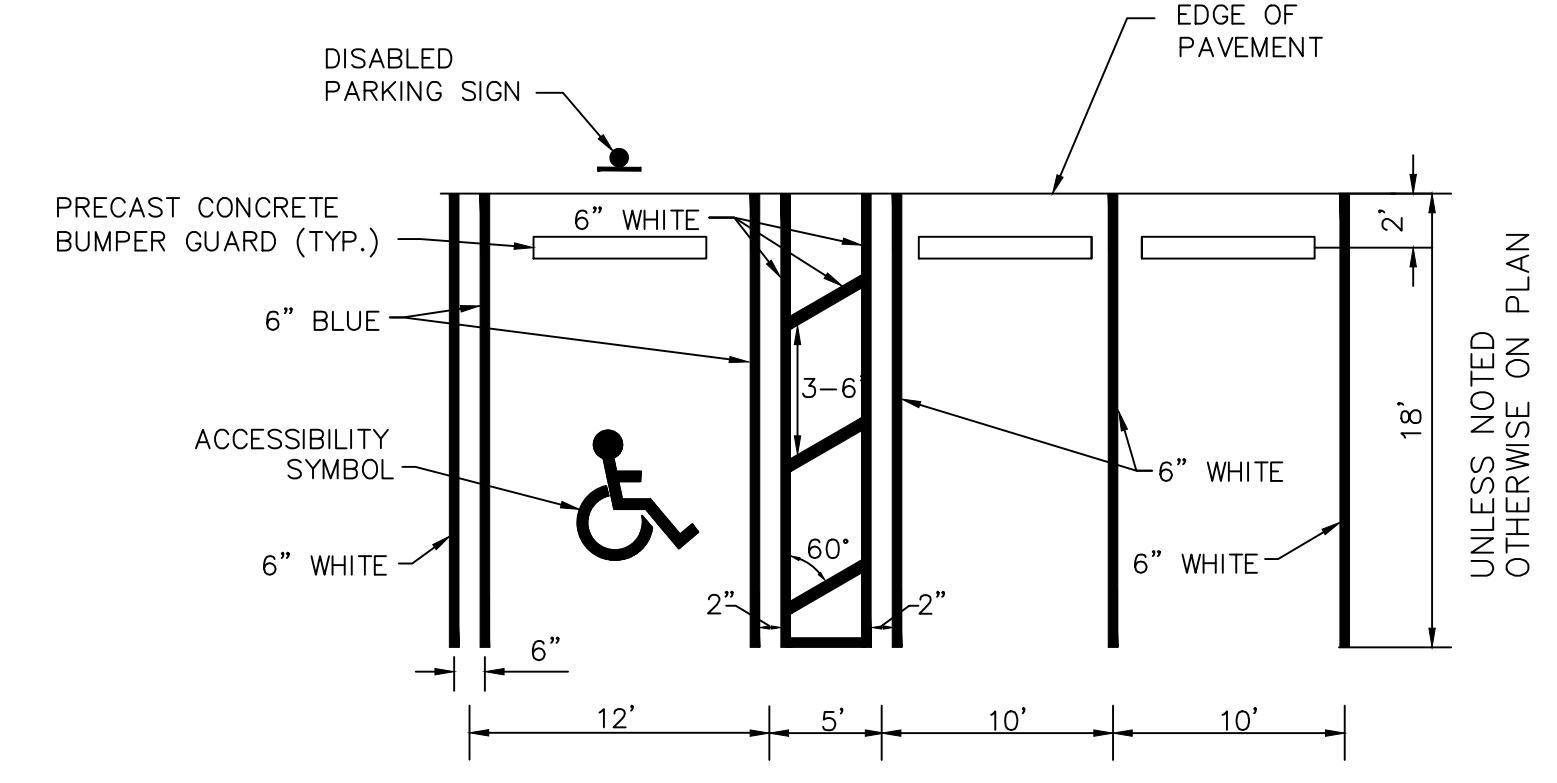
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INLET TYPE	STRUCTURE SIZE	SLAB REINFORCING REQUIRED	HORIZ. REINFORCING REQ.
3	36" X 36"	#4 BARS @ 10" O.C. - EW	#4 BARS @ 10" O.C.
4	48" X 48"	#5 BARS @ 10" O.C. - EW	#5 BARS @ 10" O.C.
5	54" X 54"	#5 BARS @ 10" O.C. - EW	#5 BARS @ 10" O.C.
6	60" X 60"	#6 BARS @ 10" O.C. - EW	#5 BARS @ 10" O.C.
7	66" X 66"	#6 BARS @ 10" O.C. - EW	#6 BARS @ 10" O.C.
8	72" X 72"	#6 BARS @ 10" O.C. - EW	#6 BARS @ 10" O.C.

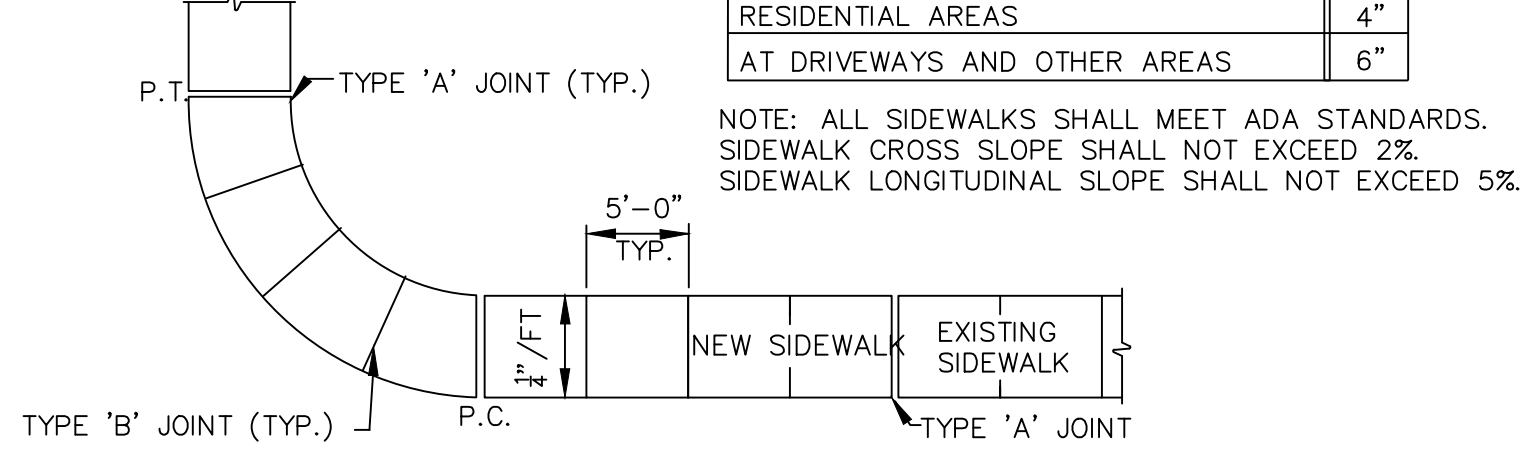


DRAINAGE INLET

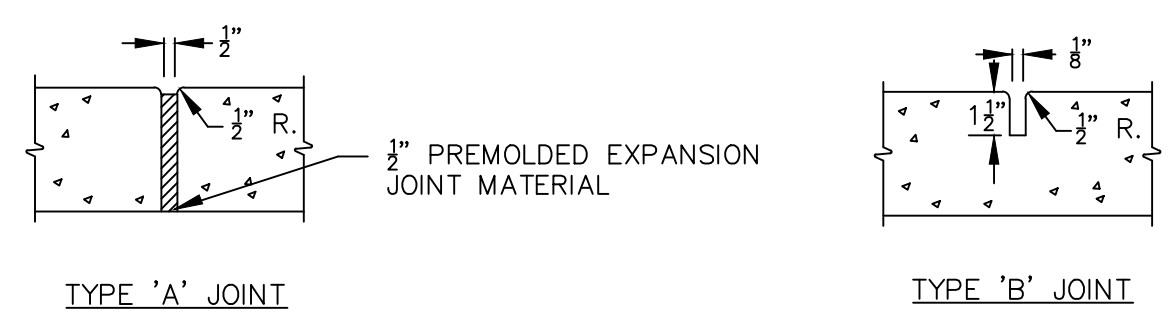


PARKING SPACE MARKINGS

TABLE OF SIDEWALK THICKNESS	
LOCATION	
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

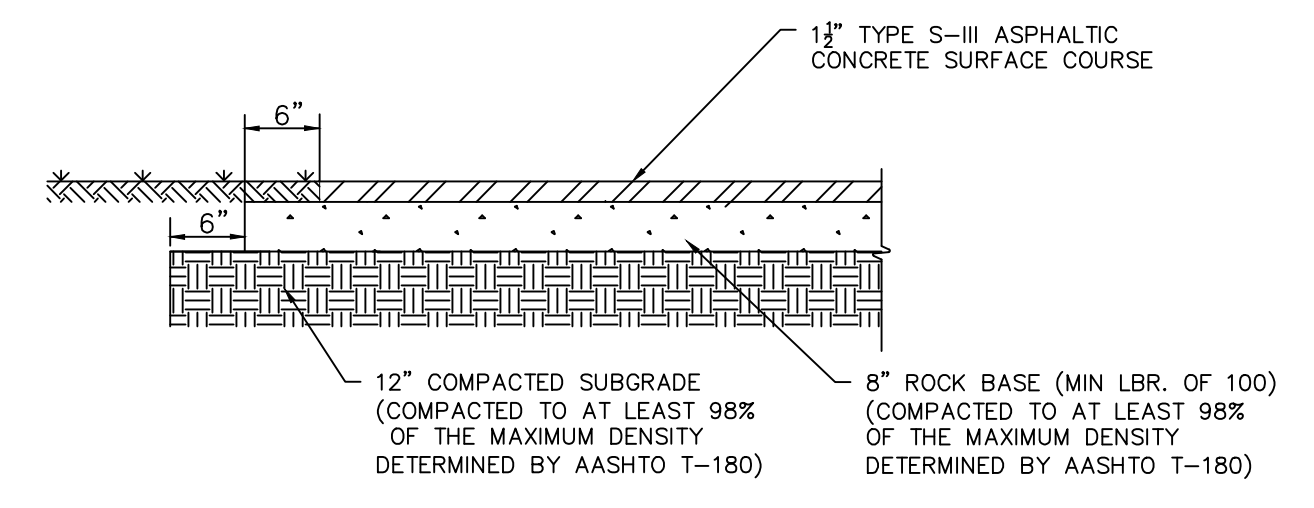


PLAN

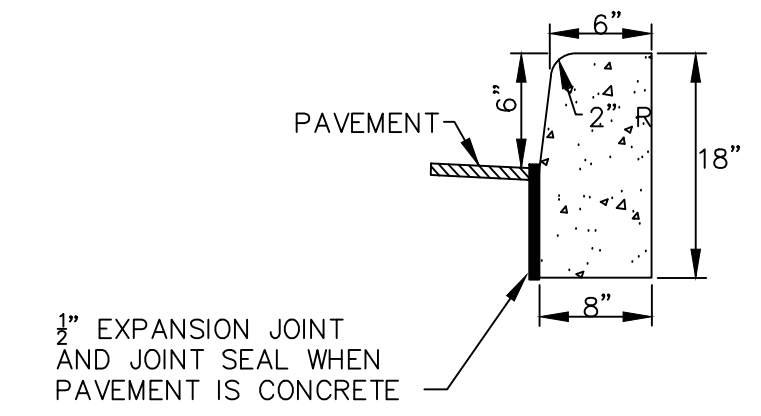


CONCRETE SIDEWALK

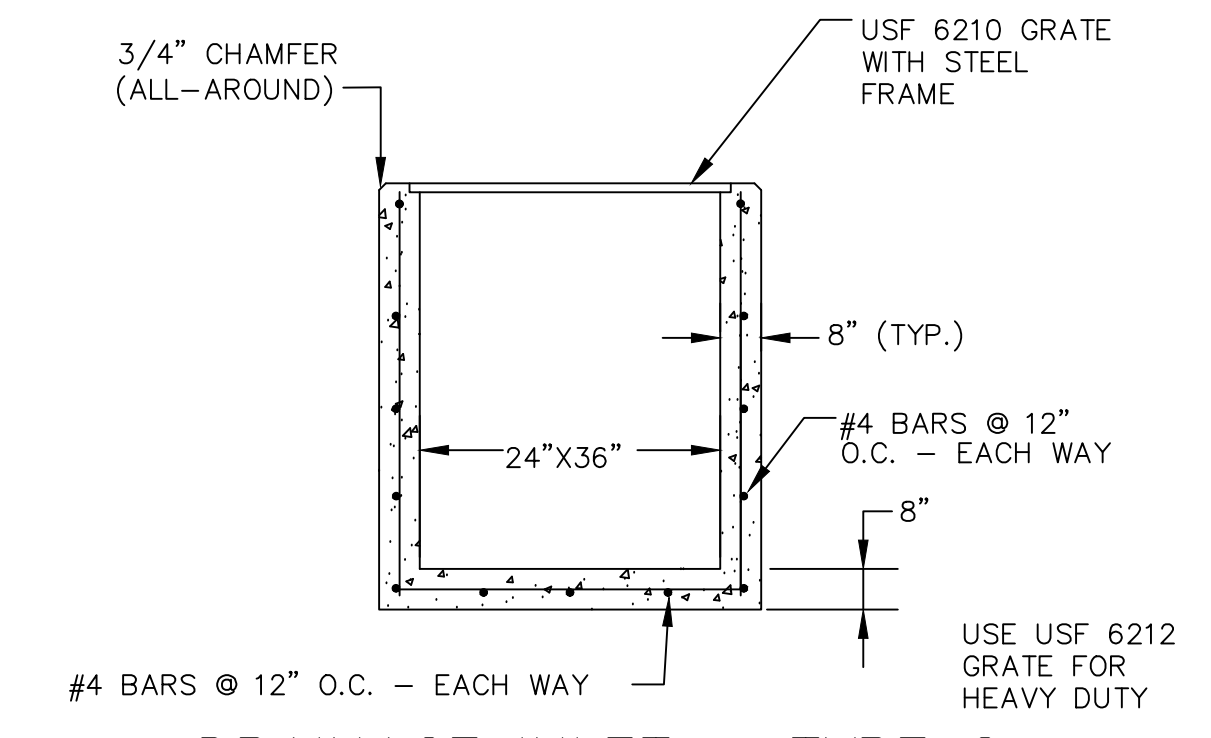
NOTE: ALL SIDEWALKS SHALL MEET ADA STANDARDS. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%. SIDEWALK LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.



ASPHALT PAVEMENT SECTION



TYPE "D" CURB



DRAINAGE INLET - TYPE C

NO.	DATE	REVISIONS	REMARKS	BY

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ADAM SWANEY, P.E.  
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PROPOSED FACILITY FOR  
BOBCAT TREASURE COAST  
4405 PROSPERITY DRIVE, FORT PIERCE, FL 34981  
DETAILS

A Higher Standard of Excellence  
**engenuity** group inc.  
MEMBERS - SUBMITTALS - GAS INVENTORY  
1280 N CONGRESS AVE, SUITE 101  
WEST PALM BEACH, FLORIDA 33409  
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DATE	DRAWN	PROJECT	ENGINEER	PROJECT	MANAGER	CHECKED
NOVEMBER 2020	KL	RB	RB	ACS		

JOB NO.  
20182.01



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FORT PIERCE UTILITIES AUTHORITY  
WATER DISTRIBUTION NOTES

- ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
- WATER MAINS WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC) SHALL CONFORM TO AWWA C-900 OR C-905, PRESSURE CLASS 150, DR (18). WATER MAINS WHERE SPECIFIED AS POLYETHYLENE (PE) SHALL CONFORM TO AWWA C-901 OR C-905, STANDARD CODE DESIGNATION PERFOR, PIPE CLASS 200, DIMENSION RATIO (DR) 17 FOR DIRECT BURY, (DR) 11 FOR DIRECTIONAL BORING, AND (DR) 9 FOR 2 INCH AND SMALLER PIPELINES.
- WATER MAIN, WHERE SPECIFIED AS DUCTILE IRON PIPE, SHALL CONFORM TO ANSI/AWWA C151/A21.51 AND SHALL BE PRESSURE CLASS 250 (MINIMUM).
- POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR OR WHITE IN COLOR WITH BLUE STRIPES. THE USE OF IDENTIFICATION TAPE ATTACHED TO THE TOP OF THE PIPE MAY BE USED IN LIEU OF MARKING ON THE PIPE, ALSO DIP PIPE SHALL REQUIRE THE USE OF IDENTIFICATION TAPE AND THIN WIRE.
- FITTINGS SHALL BE DUCTILE IRON CONFORMING TO ANSI/AWWA C-110/A21.10, CLASS 250 MIN., CEMENT LINED AND FACTORY COATED.
- GATE VALVES SHALL BE MUELLER RESILIENT SEAT, KENNY KEN-SEAL, AMERICAN OR APPROVED EQUAL. VALVES SHALL CONFORM TO AWWA C-509.
- WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY, COUNTY, FDOT, IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES, THE COMPACTION REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
- NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE FPUA ENGINEER AND CITY/COUNTY/FDOT ENGINEER.
- THE CONTRACTOR SHALL NOTIFY FPUA ENGINEERING AND CITY/COUNTY/FDOT ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, FPUA, AND CITY/COUNTY/FDOT ENGINEER SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- TRAFFIC CONTROL, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND APPROVED BY THE CITY ENGINEER.
- MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND CITY/COUNTY/FDOT ENGINEER. PIPES WITH COVER LESS THAN 30 INCHES SHALL BE CONSTRUCTED OF DUCTILE IRON OR IN PVC CASING.
- DISTURBED AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS.
- EXISTING UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR.
- WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AWWA C-651 FOR DISINFECTION.

WATER DISTRIBUTION				G-1 NOTES	
DESIGNED BY: JLM	REVISION:	BY:	APPD:	WATER/WASTEWATER ENGINEERING	
COMPUTER FILE #	SCALE:	FT. PIERCE UTILITIES AUTHORITY			
DETAIL NOTES 200602.DWG	N.T.S.				
DATE:	DATE:	SHEET 1 OF 2			
APPROVED:	DATE:	2010			
JLC	JLC				

FORT PIERCE UTILITIES AUTHORITY  
WATER DISTRIBUTION NOTES  
CONTINUED

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING UTILITIES AND DRAINAGE.
  - THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER INCLUDING LOCATIONS OF VALVES, FITTINGS, SERVICE CONNECTIONS, BLOWOFFS, AIR RELEASE VALVES, AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT, AS REQUIRED BY THE UTILITIES ENGINEER.
  - THE CONTRACTOR SHALL TAP EXISTING LINES UNDER THE SUPERVISION OF THE FORT PIERCE UTILITIES AUTHORITY ONLY AFTER TESTING AND DISINFECTION HAS BEEN COMPLETED AND APPROVED ON THE TAPPING VALVE AND SLEEVE.
  - WATER MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN MULTI STRANDED WIRE (BLUE IN COLOR) AND IDENTIFICATION TAPE WITH "WATER" MARKED ON TAPE, PERMANENTLY ATTACHED TO THE TOP OF THE WATER MAIN IN ACCORDANCE WITH THE FORT PIERCE UTILITIES AUTHORITY SPECIFICATIONS.
  - SERVICE TAPS SHALL BE PLACED APPROXIMATELY TEN FEET AWAY FROM GATE VALVES, AS SHOWN, FOR TESTING. FOLLOWING TESTING AND STERILIZATION OF WATER LINE, CONTRACTOR SHALL PLACE A BRASS PLUG IN CORPORATION STOPS AND CURB STOPS SHALL BE REMOVED FROM TESTING LOCATIONS.
  - MECHANICAL RESTRAINTS TO BE USED ON ALL FITTINGS AND PLACED IN ACCORDANCE WITH MANUFACTURER'S OR ENGINEER'S RECOMMENDATIONS (WHICHEVER IS MORE STRINGENT) AND FPUA REQUIREMENTS.
  - ALL MAINS SHALL BE TESTED AT A MINIMUM OF 150 PSI. TESTING METHODS SHALL CONFORM TO AWWA C-600. - 2 HR MINIMUM TEST
- $$L = \frac{SD(P)}{148,000} \cdot \frac{1}{2}$$
- L = LEAKAGE IN GPH  
S = LENGTH OF PIPE IN FEET  
D = PIPE DIAMETER IN INCHES  
P = TESTING PRESSURE IN PSI
- PRIOR TO ANY TESTING, ALL MAINS 6" IN DIA. AND LARGER SHALL HAVE A SWAB PASSED THRU THE ENTIRE LENGTH OF THE LINE. NOTE: SWAB SHOULD BE PLACED IN 1st JOINT OF NEW LINE. END OF MAIN SHOULD BE "TURNED UP" AT 45% AND EXTENDED SO THAT SWABBING AND A FULL BORE FLUSH CAN BE ACCOMPLISHED. BLOW-OFF ASSY CAN THEN BE PLACED, WHERE LINES BRANCH, SWABS WILL BE PLACED IN BRANCH LINES AND SEQUENTIALLY SWABBED AND FLUSHED.
  - A MINIMUM SIX FEET AND PREFERABLY TEN FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES. 6 INCHES MINIMUM VERTICAL SEPARATION IF WATER MAIN IS OVER WASTEWATER AND 12 INCHES IF WATER MAIN IS UNDER SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES. THE DISTANCE SHALL BE MEASURED FROM THE CENTER OF PIPE TO OUTSIDE OF PIPE OR STRUCTURE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE WASTEWATER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING, AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
  - WHERE A WATER MAIN IS TO BE INSTALLED BELOW A STORM DRAIN PIPE, A MINIMUM OF 6 INCHES OF VERTICAL CLEARANCE BETWEEN PIPES SHALL BE CONSTRUCTED OF DIP AT THE CROSSING, AND SHALL BE MECHANICALLY RESTRAINED WITHIN 20 FEET OF THE CROSSING.
  - CONTRACTOR SHALL COMPLY WITH FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

WATER DISTRIBUTION				G-1 NOTES	
DESIGNED BY: JLM	REVISION:	BY:	APPD:	WATER/WASTEWATER ENGINEERING	
COMPUTER FILE #	SCALE:	FT. PIERCE UTILITIES AUTHORITY			
DETAIL NOTES 200602.DWG	N.T.S.				
DATE:	DATE:	SHEET 2 OF 2			
APPROVED:	DATE:	2010			
JLC	JLC				

FORT PIERCE UTILITIES AUTHORITY WASTEWATER CONSTRUCTION NOTES

- ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
- GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE SDR-26, GREEN OR WHITE IN COLOR, GRAVITY SEWER MAIN SHALL HAVE LOCATOR TAPE WITH "SEWER" MARKED ON TAPE AND SHALL CONFORM TO ASTM D-3034.
- THE MANHOLE BASE SHALL BE SET ON A FIRM, DRY AND STABLE OR COMPACTED BASE FOUNDATION. IF NECESSARY, THE CONTRACTOR SHALL UTILIZE ROCK TO PROVIDE A FIRM AND SUITABLE MANHOLE BASE FOUNDATION.
- WASTEWATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPUA ENGINEERING AND THE CITY ENGINEERING DEPARTMENT. IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES, THE COMPACTION REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
- A 1% MINIMUM SLOPE SHALL BE MAINTAINED ON ALL SANITARY SERVICE LATERALS.
- THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER CONSISTING OF PIPE SIZES, LOCATION OF SERVICE TEE WYES, DIAMETER OF SERVICES, LOCATION OF ANY FITTINGS, FINAL RIM AND INVERT ELEVATION OF ALL MANHOLES AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT.
- MAINTAIN SIX FEET AND PREFERABLY 10 FEET HORIZONTAL DISTANCE BETWEEN WATER MAINS AND SEWER MAINS AS A MINIMUM.
- WASTEWATER FORCE MAINS, WASTEWATER COLLECTION LINES, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. A MINIMUM VERTICAL DISTANCE OF 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE SHALL BE PROVIDED WHENEVER POSSIBLE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE WASTEWATER PIPE JOINTS AND THE WATER PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING, AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, AND FPUA/CITY COUNTY/FDOT SHALL BE MANDATORY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL FPUA/CITY/COUNTY/FDOT ENGINEER.
- TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- CONTRACTOR SHALL NOTIFY FORT PIERCE UTILITIES AUTHORITY 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- WASTEWATER FORCE MAIN SHALL BE POLYVINYL CHLORIDE CONFORMING TO AWWA C-900, AND SHALL BE CLASS 150, DR-18.
- WASTEWATER FORCE MAIN SHALL BE GREEN IN COLOR.
- FITTINGS SHALL BE DUCTILE IRON, CONFORMING TO ANSI/AWWA C-110/A21.10 CLASS 250 MIN. AND INTERIOR EPOXY COATED.
- WASTEWATER FORCE MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN WIRE (GREEN IN COLOR) PERMANENTLY ATTACHED TO THE TOP OF THE FORCE MAIN WITH LOCATOR TAPE MARKED "SEWER" ON TAPE IN ACCORDANCE WITH FPUA SPECIFICATIONS.
- MINIMUM COVER SHALL BE 36 INCHES. PIPES WITH COVER LESS THAN 30 INCHES SHALL REQUIRE PRIOR APPROVAL OF THE UTILITIES ENGINEER AND SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE.
- EACH SERVICE LATERAL WILL BE MARKED WITH A LOCATOR BALL AS MANUFACTURED BY JM CORPORATION, OR APPROVED EQUAL AS REQUIRED BY FPUA ENGINEER.
- ALL MANHOLES SHALL HAVE SEWER RAIN GUARDS INSTALLED AS REQUIRED BY FPUA ENGINEER.
- THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

WASTEWATER CONSTRUCTION NOTES FPUA REQUIREMENTS				G-2 CONSTRUCTION NOTES	
DESIGNED BY: JLM	REVISION:	BY:	APPD:	WATER/WASTEWATER ENGINEERING	
COMPUTER FILE #	SCALE:	FT. PIERCE UTILITIES AUTHORITY			
DETAIL NOTES 200602.DWG	N.T.S.				
DATE:	DATE:	SHEET 1 OF 1			
APPROVED:	DATE:	2010			
JLC	JLC				

STANDARD SEPARATION STATEMENT FOR  
WATER / SEWER CONFLICTS

- SANITARY SEWER, FORCE MAINS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS AND STORM SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 6 INCHES, PREFERABLY 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHEN ABOVE, AND AT LEAST 12 INCHES OF SEPARATION WHEN THE WATER MAIN IS BELOW.  
WHERE SANITARY SEWER, FORCE MAINS, STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 6 INCHES VERTICAL SEPARATION, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) CENTERED ON THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWERS.) SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.  
ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING). AT SUCH CROSSINGS PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.  
WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 6 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWERS) AND NEW PIPES SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
- A MINIMUM 3-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF STORM SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.  
A MINIMUM 3-FOOT, AND PREFERABLE 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN VACUUM TYPE SANITARY SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.  
A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN "ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.  
A MINIMUM 6-FOOT, AND PREFERABLE 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO 3 FOOT WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.  
IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10-FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON A UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER.  
WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 6 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWER) WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL DIP SHALL BE PRESSURE CLASS 250 MIN., ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN ENGINEER.

STANDARD SEPARATION STATEMENT FOR WATER/SEWER CONFLICT				G-3 WATER/SEWER CONFLICT	
DESIGNED BY: JLM	REVISION:	BY:	APPD:	WATER/WASTEWATER ENGINEERING	
COMPUTER FILE #	SCALE:	FT. PIERCE UTILITIES AUTHORITY			
DETAIL NOTES 200602.DWG	N.T.S.				
DATE:	DATE:	SHEET 1 OF 1			
APPROVED:	DATE:	2010			
JLC	JLC				

GENERAL NOTES:

- CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
- ALL UNSUITABLE MATERIAL SUCH AS MUCK, MARL, AND DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF WITHIN THE LIMITS OF CONSTRUCTION. CLEAN GRANULAR MATERIAL SHALL BE USED AS BACKFILL AND PLACED IN 12 INCH LIFTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT SHOW ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DE-ENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS NOTICE PRIOR TO REQUESTING REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY TEST AND INSPECT THE COMPLETED WORK.
- ALL ELEVATIONS REFER TO N.A.V.D 88. MINIMUM FINISHED FLOOR ELEVATION(S) SHALL BE N.A.V.D 88, OR 18 INCHES ABOVE MINIMUM ROAD CROWN ELEVATION, WHICHEVER IS GREATER.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY APPROPRIATE GOVERNING AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONCRETE SHALL BE 3,000 p.s.i. UNLESS OTHERWISE SPECIFIED.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
- ENGENUITY GROUP, INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND FOR THE SAFETY OF THE GENERAL PUBLIC.
- ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL ASSURE THAT ALL TRENCHES MORE THAN FIVE FEET DEEP WILL HAVE TRENCH PROTECTION PER THE TRENCH SAFETY ACT. THE METHOD OF TRENCH PROTECTION THE CONTRACTOR SELECTS MUST BE IN COMPLIANCE WITH OSHA REGULATIONS.
- UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR IS TO INCLUDE IN THEIR BID PACKAGE, PER THE TRENCH SAFETY ACT, ONE ITEM OF COST PERTAINING TO TRENCH PROTECTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS. COMPLIANCE INCLUDES SUBMITTAL OF A NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITIES WITH AN ATTACHED STORM WATER POLLUTION PREVENTION (SWPPP). THE NOI AND SWPPP SHALL BE SUBMITTED TO APPLICABLE AGENCIES.

ADAM SWANEY, P.E., PROFESSIONAL ENGINEER LICENSE NO. 72235.  
THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ADAM SWANEY, P.E. USING A SHA-1 AUTHENTICATION CODE.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



Know what's below.  
Call before you dig.

NO.	DATE	REVISIONS	REMARKS	BY

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ADAM SWANEY, P.E.  
NO. 72235

PROPOSED FACILITY FOR  
BOBCAT TREASURE COAST  
4405 PROSPERITY DRIVE, FORT PIERCE, FL 34981  
NOTES

A Higher Standard of Excellence

engenuity group inc.  
1280 N. CONGRESS AVE., SUITE 101  
WEST PALM BEACH, FLORIDA 33409  
PH: (561) 655-1151 • FAX: (561) 832-5390  
WWW.ENGENUITYGROUP.COM CERTIFICATE OF AUTHORIZATION #7095

DATE	NOVEMBER 2020	DATE	11/23/2020 11:09 AM
DRAWN	KL	CHECKED	ACS
PROJECT ENGINEER	RB	DATE	6
PROJECT MANAGER	RB	NO.	6
TITLE	6	JOB NO.	20182.01

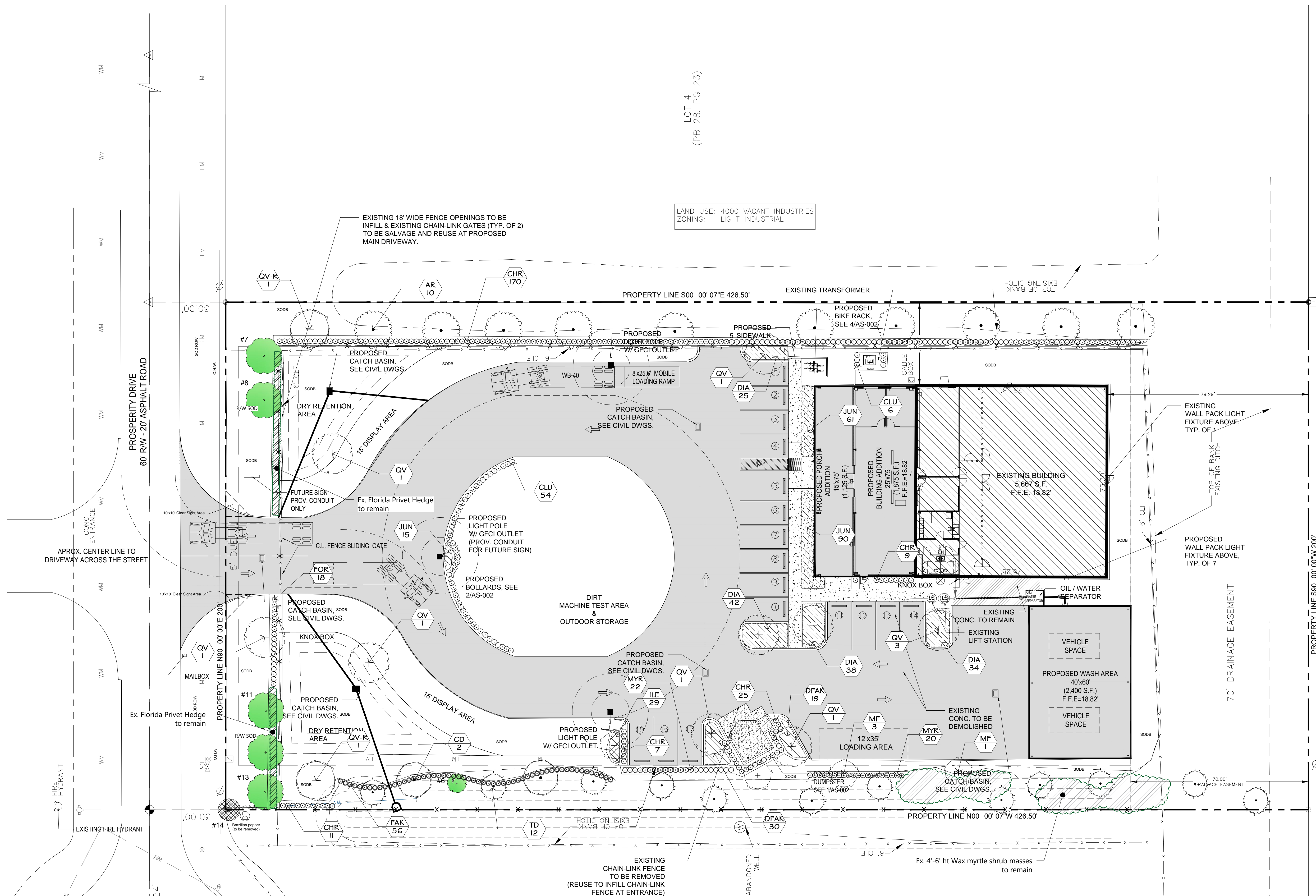


**LBLA, Inc.**  
Lynn Bender Landscape Architecture  
5610 Adair Way  
Lake Worth, FL 33467  
Phone: 561-644-3237  
FL-LA6666715  
lbenderlarch@gmail.com

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AR	10	Acer rubrum Red Maple
	CD	2	Coccoloba diversifolia Pigeon Plum
	MF	4	Myrcianthes fragrans Simpson's Stopper
	QV	9	Quercus virginiana Southern Live Oak
	QV-R	2	Quercus virginiana Southern Live Oak
	TD	12	Taxodium distichum Bald Cypress
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	CHR	222	Chrysobalanus icaco Coco Plum
	CLU	60	Cusia guttifera Small Leaf Clusia
	FOR	18	Forestiera segregata Florida Privet
	MYR	42	Myrica cerifera Wax Myrtle
	FAK	56	Tripsacum dactyloides Fakahatchee Grass
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME
	DIA	139	Dianella tasmanica 'Variegata' Flax Lily
	DFAK	49	Tripsacum floridanum Florida Gamagrass
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	ILE	29	Ilex vomitoria 'Schillings Dwarf' Dwarf Schillings Holly
	JUN	166	Juniperus horizontalis Creeping Juniper
TURF	CODE	QTY	BOTANICAL / COMMON NAME
	SOD-B	21,927 sf	Paspalum notatum Bahia Grass

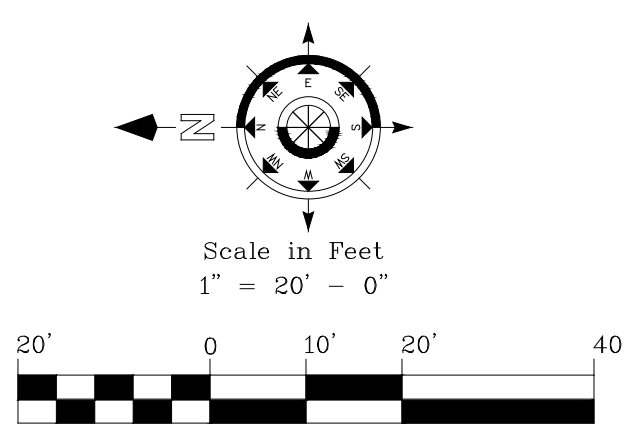
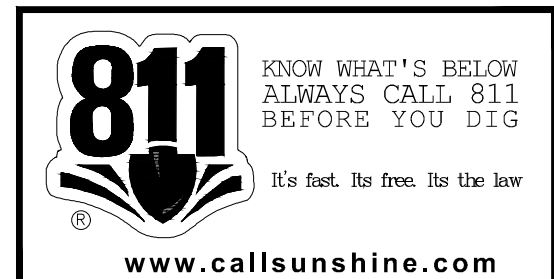
PROPOSED FACILITY FOR  
**BOBCAT - TREASURE COAST**  
4405 PROSPERITY DRIVE  
FORT PIERCE, FLORIDA 34981  
PROPOSED LANDSCAPE PLAN



MINIMUM LANDSCAPE REQUIREMENTS	PER FORT PIERCE CITY LAND DEVELOPMENT CODE Sec. 123-37		
ZONING CATEGORY	I-1 (Light Industrial)		
TOTAL SITE AREA	85,300 S.F. (1.9 AC)		
TOTAL IMPERVIOUS AREA	35,596 S.F.		
OVERALL LANDSCAPE		REQUIRED	PROVIDED
NET SITE AREA - plot area or portion thereof, not utilized for structures and parking. (PERVIOUS)	50,977 total pervious 45,567 S.F. (inc dirt eq. practice area)		
LANDSCAPED AREAS			
Interior VUA	One (1) SF of interior landscaping/30 SF of VUA, one (1) tree/100 SF of required landscape area. 23,387 sf / 30 sf = 780 sf / 100 = 8 trees	8 trees	8 trees
Screening of refuse collection areas	6' masonry wall or fence, one (1) shrub or hedge continuous along perimeter 2' oc		
LANDSCAPE BUFFERS	Adjacent to street ROW &/or VUA		
North	One (1) tree /300 SF required landscape: 6' wide x 300 ft street frontage = 1800 sf / 300 sf = 6 trees.	6 trees	6 trees
South (ex. 70' drainage easment)	n/a - adjacent to land	0 trees	0 trees
West	One (1) tree /200 SF required landscape: 10' wide x 356 ft adj to VUA = 3560 sf / 200 sf = 18 trees.	18 trees	18 trees
East	One (1) tree /200 SF required landscape: 10' wide x 222 ft adj to VUA = 2220 sf / 200 sf = 11 trees.	11 trees	11 trees
		43 trees total (38 proposed & 5 existing)	

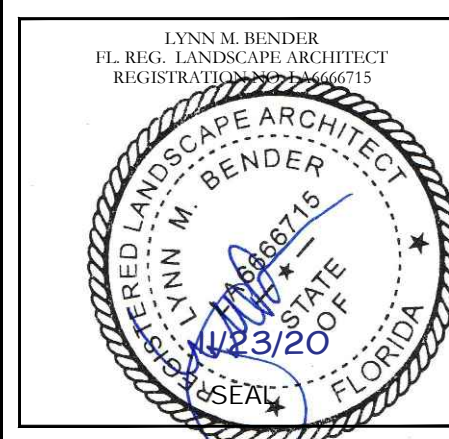
All invasive exotic plants must be removed from the property prior to a Certificate of Occupancy being issued. The site shall be maintained "exotic free" in perpetuity.

Base information provided by Ahrens Companies Site Plan via electronic file. These plans are to be used for proposed planting installation purposes only. Field verification of existing conditions shall be performed prior to material installation. All hardscape and site drainage shall be by others.



Designed: LMB  
Drawn: LMB  
Date: 10-23-2020  
Job No.: #20-538

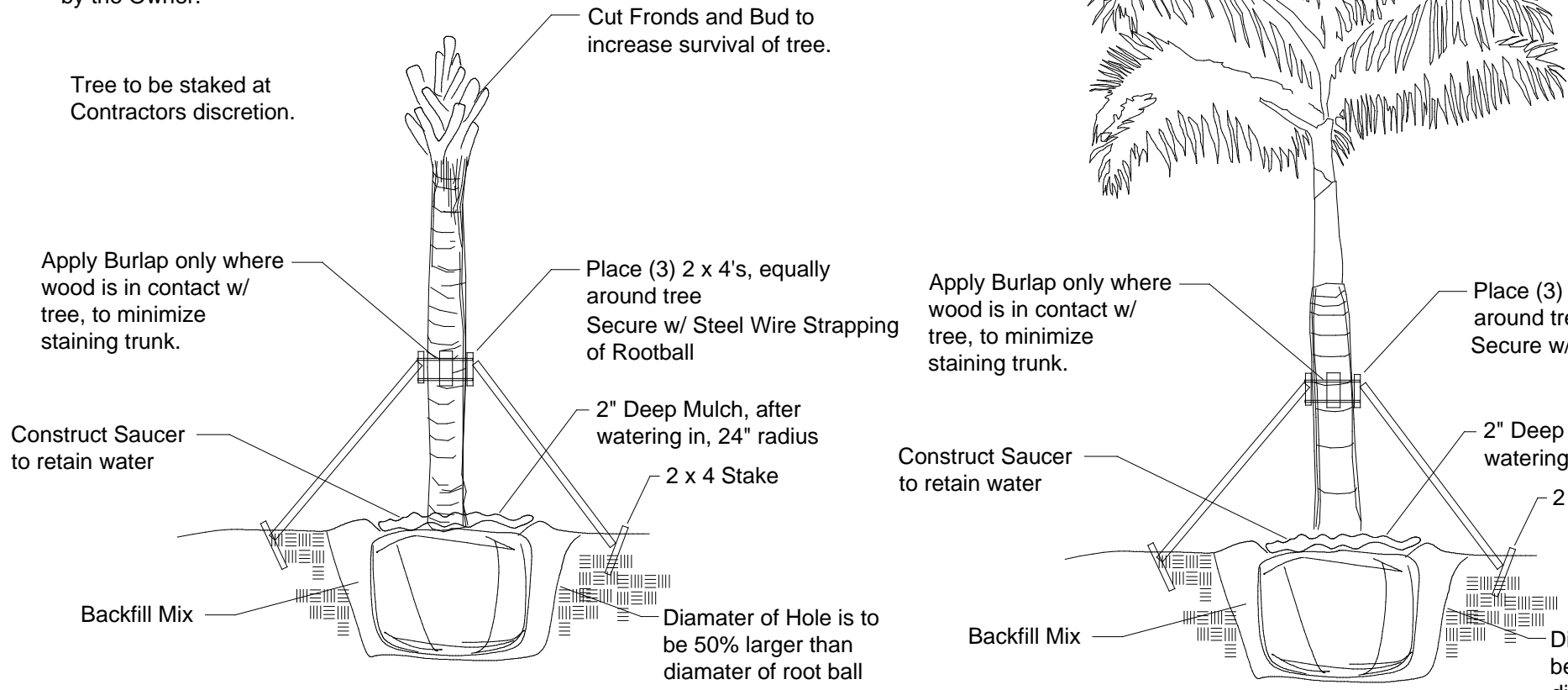
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Sheet No.  
**LP1**  
of 2

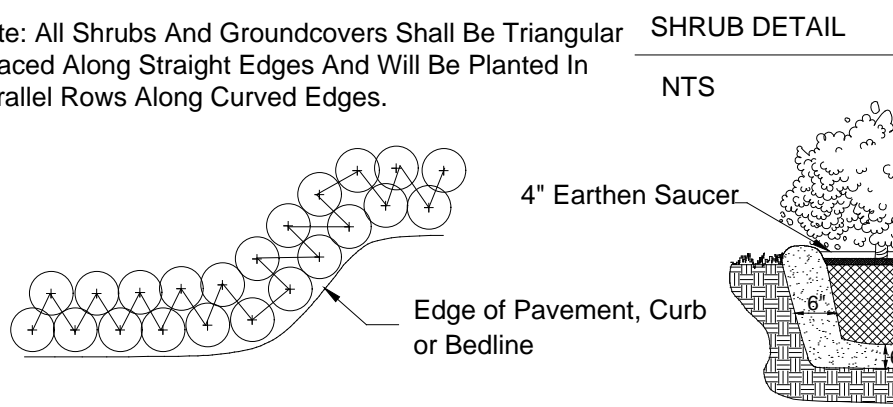
### Palm Tree Staking Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



### Shrub & Groundcover Planting Detail

NTS Note: All Shrubs and Groundcovers Shall Be Triangular Spaced Along Straight Edges And Will Be Planted in Parallel Rows Along Curved Edges.



### Planting Specifications

QUALITY: All plants shall be Florida No.1 or better as given in Grades & Standards for Nursery Plants, Parts I and II, latest edition published by the Florida Department of Consumer Services.

RESEARCH: Contractor shall research plans and site to determine present location of utilities and obstructions before commencing work. Contractor shall ensure that before he commences work that all necessary permits have been obtained.

The contractor shall personally examine the project site and fully acquaint himself with all of the existing conditions in order that no misunderstanding may occur.

No Additional compensation will be granted, after bid has been let for any hardships the contractor may encounter in the performance of his duty. Any discrepancies or errors not addressed at the time of bid.

DRAWINGS: Drawings are part of this contract. Any discrepancies between the drawings and specifications shall be brought to the attention of the owner at time of bid.

SCOPE: Under this contract, the work consists of furnishing all labor, material, equipment, transportation, etc., to complete all landscaping work as shown on the Drawings, as included in the Plant List and as herein specified. Work shall include all construction and maintenance/watering of all planting areas of this Contract until accepted by the Owner.

The contractor shall be responsible for all planting/ maintenance of plants until acceptance by Owner. Contractor shall protect all existing structure, plants etc., from damage during the construction process.

All damage shall be repaired at the contractors expense

WARRANTY: All trees shall be warranted for a period of 1 year. All shrubs and groundcovers shall be warranted for a period of 90 days, and sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance. All warranties shall be provided to the owner.

REPLACEMENT: All plant replacements shall be done with the same size and species of plant that was specified.

SAMPLES: Samples of any landscape material may be required for approval on the site or as otherwise determined by the Owner. Upon approval of samples (i.e. mulch, planting soil, plant varieties, etc.) by the Owner, delivery of material may begin. Approved samples shall be stored on the site and protected until furnishing of materials is completed. Plant samples be planted in permanent positions, but labeled as samples.

IRRIGATION NOTE: An automatic properly functioning underground irrigation system with a rain sensing cutoff device shall be designed and installed in compliance with the South Florida Building Code and County Building Code requirements. The rain sensing cutoff device shall be located and installed in such a manner that the building eaves, balconies and similar overhangs do not interfere with the operation of the device. The irrigation system shall be properly maintained in good working order and provide a minimum coverage of 100% with 50% overlap.

#### LANDSCAPE NOTES:

FDOT Type D or F curb shall be provided along the perimeter of all landscaped, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided.

Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30' and 8' above crown of road.

Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas.

Landscape shall not be placed around structures in a manner so as to impede accessibility for fire rescue operations.

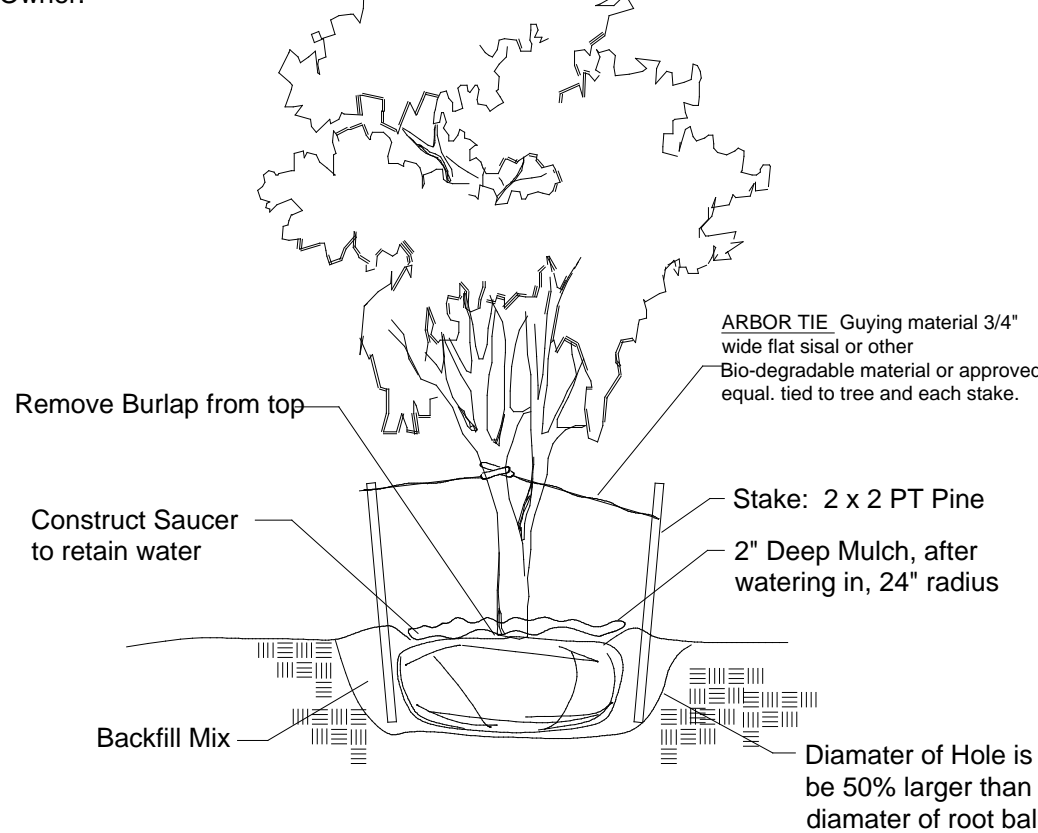
All new landscape areas shall be provided with 100% automatic irrigation coverage. A Functioning rain sensor/shut-off device shall be required on all irrigation systems.

Mulch all plant beds as specified in details using hardwood, non-cypress to 3" depth.

The soil utilized within the parking island areas MUST be a minimum of 36" in depth of natural soil NOT consisting of road rock, imported fill or other miscellaneous debris.

### Tree Staking Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



### Notes

- All Plants shall be Florida No.1 or better.
- Contractor Shall be familiar w/ the Landscape code and shall comply with all of its applicable requirements.
- Contractor shall verify all quantities indicated at time of bid. Contractor shall provide unit prices at time of bid.
- All contractors working on the project shall be licensed and fully insured as required.
- Tree and palm staking shall be removed between 6 and 12 months after planting.

PLANT LAYOUT: All bed areas shall have planting laid out prior to planting. The Landscape Architect shall review all layout prior to planting. If the bed and shrub layout is not inspected prior to planting, the Landscape Architect reserves the right to relocate the plants.

#### SOIL

Planting beds shall contain good soil, complete with organic sand mix. There shall be no construction debris, rock larger than 1" within bed areas. Soil shall be dark grey-brown in organic color and shall have good drainage characteristics. Soil within planting beds shall not be compacted. All compacted sub-base/ shell is to be removed from all landscape areas.

BACKFILL/SOIL MIX	ANNUALS
50% decomposed organic matter (muck)	100% Potting Soil
50% existing soil	
ph: 5.5 - 7.0	

FERTILIZER: Two fertilizers shall be used in all types of plantings except palms. Granular fertilizer shall be uniform in composition, dry and free flowing.

This fertilizer shall be 6-6-6 Nitrogen-Phosphorus-Potassium. Tablet Fertilizer (Agriform or equal) in 21 gr size, shall meet the following requirements: 20% Nitrogen, 10% Phosphorus, 10% Potassium. The two fertilizers will be applied at the following rates:

1. PLANT SIZE	6-6-6 "AGRIFORM" TABLET (21 GRAM)
1 gal.	1/4 lb.
3 gal.	1/3 lb.
7-15 gal.	1/2 lb.
1"-6" caliper	2 lbs./1" cal.
6" and larger	3 lbs./1" cal.
	2/1" caliper

2. Magnesium sulfate or "Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper.

PRUNING: Each plant shall be pruned to complement the natural character of the tree. All dead and brown fronds, leaves, branches shall be removed.

TREE GUYING AND BRACING: Firmly stake or guy all trees in accordance with the plans and planting details immediately after planting to prevent wind damage.

WEED CONTROL: All landscape areas shall be free of nut grass, torpedo grass, and other noxious weeds.

PLANT MAINTENANCE: Contractor shall maintain all plants until final acceptance by owner.

CLEAN-UP: Contractor shall clean site area every day. The site shall be devoid of all rubbish, landscape debris, containers.

FOR ALL TREE PLANTINGS: Synthetic burlap ball covering materials shall be completely removed. Wire baskets shall be cut off to a depth of 1/2 (half) the depth if the root ball. Burlap coverings shall be removed to a depth of 1/3 (third) of the root ball. Any tree support materials shall be removed from each tree once it is established.

All Canopy trees shall be planted no closer than 10' to any underground utilities UNLESS a root barrier is used.

Root Barrier to be installed shall be a min 36" depth.

Install as per Manufacture specs: Root Solutions (800)554-0914 Biotarrier (800)257-6687 Or Equal

If any proposed Trees/Palms are adjacent to existing overhead utility lines, then principles of FPL "Plant the Right Tree in the Right Place" shall be adhered to. Alteration of proposed material shall be reviewed by Project LA for approval & notification to City.

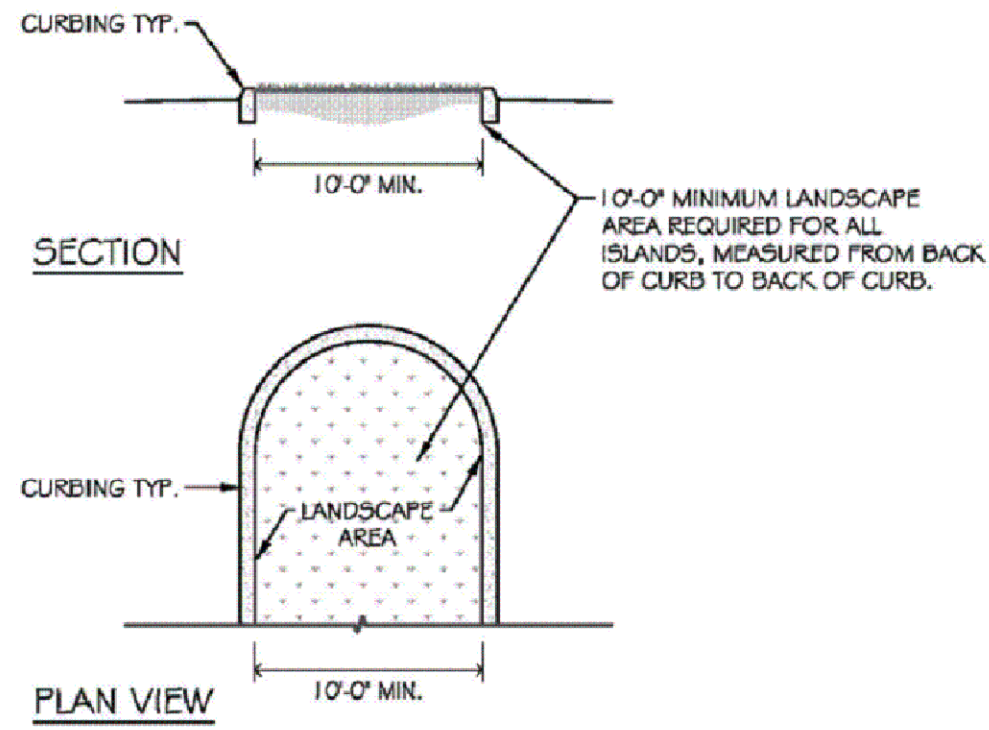


Figure 1. Landscape Island Details

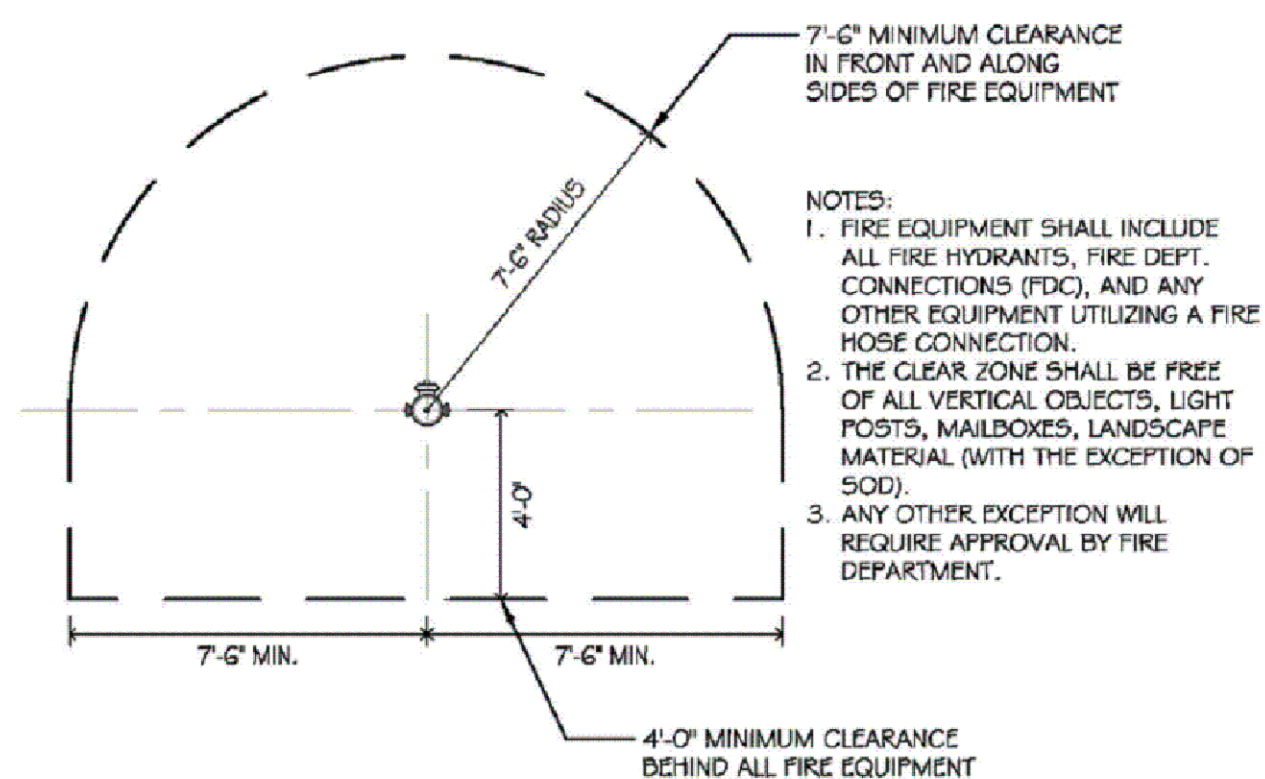


Figure 3. Fire Hydrant Separation Detail

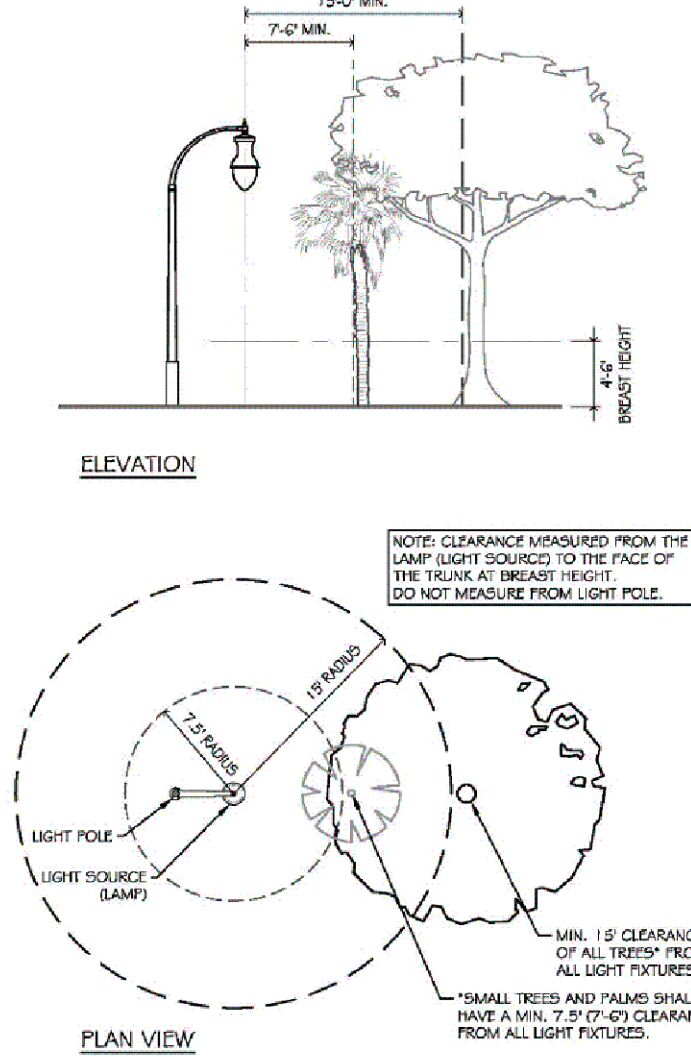


Figure 2. Site Lighting Separation Details

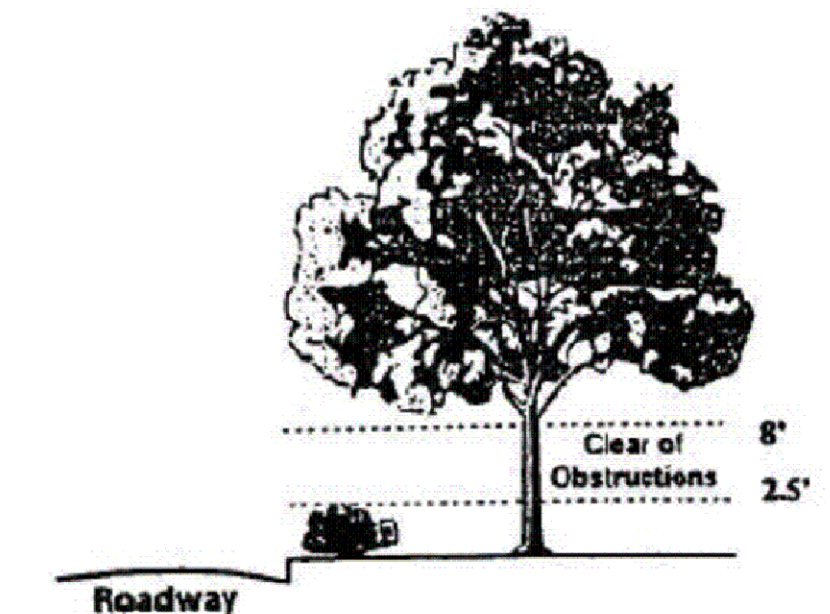


FIGURE 4 CLEAR VISIBILITY REQUIREMENTS

### PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER	CT	DROUGHT TOLERANCE	NATIVE	SPECIFICATION
AR	10	Acer rubrum	Red Maple	12' ht x 5' spr	2.5" DBH	NATIVE	High	Native	B and B
CD	2	Coccoloba diversifolia	Pigeon Plum	12' ht x 5' spr	2.5" DBH	5' ct	High	Native	B&B, FULL CANOPY
MF	4	Myrcianthes fragrans	Simpson's Stopper	12' ht x 5' spr	2.5" DBH	5' ct	High	Native	single trunk, B&B
QV	9	Quercus virginiana	Southern Live Oak	12' ht x 5' spr	2.5" DBH	5' ct	High	Native	B&B, FULL CANOPY
QV-R	2	Quercus virginiana	Southern Live Oak	14' oa	3" dbh	5' ct	High	Native	EXISTING RELOCATED
TD	12	Taxodium distichum	Bald Cypress	12'-14' ht. x.5' spr.	2.5" DBH	NATIVE	High	Native	B&B, FULL
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	SPACING	DROUGHT TOLERANCE	NATIVE	SPEC.
CHR	222	Chrysobalanus icaco	Coco Plum	24" x 18"	fully rooted pot to meet size	18" oc	High	Native	Full to base
CLU	60	Clusia guttifera	Small Leaf Clusia	24" x 24"	fully rooted pot to meet size	24" oc	High	Non Native	Full
FOR	18	Foresteria segregata	Florida Privet	24" min @ install	3 Gallon	24" oc	High	Native	Full to base
MYR	42	Myrica cerifera	Wax Myrtle	24" x 18"	3 Gallon	24" oc	High	Native	Full to base
FAK	56	Tripsacum dactyloides	Fakahatchee Grass	24" x 24"	3 Gallon	30" oc	High	Native	Full
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	SPACING	DROUGHT TOLERANCE	NATIVE	SPEC.
DIA	139	Dianella tasmanica 'Variegata'	Flax Lily	18" ht X 18" spr	3 Gallon	24" oc	High	Non Native	Full
DFAK	49	Tripsacum floridanum	Florida Gamagrass	24" X 24"	3 Gallon	24" oc	High	Native	Full
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	SPACING	DROUGHT TOLERANCE	NATIVE	SPEC.
ILE	29	Ilex vomitoria 'Schillings Dwarf'	Dwarf Schillings Holly	12" x 12"	3 gallon	15" oc	High	Native	Full
JUN	166	Juniperus horizontalis	Creeping Juniper	15" x 15"	3 gallon	15" oc	High	Non Native	Fully rooted
TURF	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	SPACING	DROUGHT TOLERANCE	NATIVE	SPEC.
SOD-B	21,927 sf	Paspalum notatum	Bahia Grass	sod					Laid tight solid

\*Estimated sod total based on if all new for overall site. Final qty TBD in field by contractor depending on existing sodded areas to remain & unaffected during construction operations.

#### NOTE:

Finished grades of landscape areas. Finished grade of landscape areas shall be at or below the grade of adjacent VUA or public sidewalks, except for mounding or other surface aesthetics. Grade shall be designed to receive roof and surface runoff and to assist irrigation of plantings and then any overflow routed as necessary underground. Mounding or other surface aesthetics shall not inhibit or defeat intended rainwater capture, retention or percolation from a VUA. Root barriers. A root barrier system shall be installed in situations where a tree or palm is planted within ten (10) feet of a sidewalk or parking area, unless other special provisions have been designed to accommodate tree roots.

#### IRRIGATION NOTE: (Water source - CITY METER)

An automatic properly functioning underground irrigation system with a rain sensing cutoff device shall be in compliance with the South Florida Building Code and city Building Code requirements. The rain sensing cutoff device shall be located and installed in such a manner that the building eaves, balconies and similar overhangs do not interfere with the operation of the device. The irrigation system shall be rust free & properly maintained in good working order and provide a minimum coverage of 100% with 50% overlap.

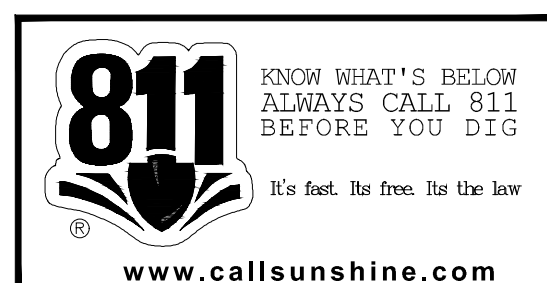
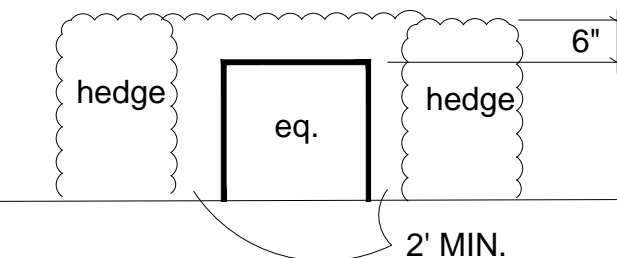
Adequate irrigation of all newly proposed landscaped areas shall be provided for the first full growing season and continue thereafter only as necessary to maintain required vegetation in good and healthy condition. Irrigation systems shall conform to following standards:

- Irrigation systems shall be continuously maintained in working order and shall be designed so not to overlap water zones or to water impervious areas.
- No irrigation system shall be installed or maintained abutting any public street which causes water from the system to spurt onto the roadway or to strike passing vehicular traffic.

#### UTILITY SCREENING NOTE: MECHANICAL & SERVICE EQUIPMENT SCREENING DETAIL

All air conditioners, pumps, transformers, back-flow preventers, and other site utilities shall receive a landscape hedge screen of plant material as required by Code. All hedges shall be maintained 6" above equipment.

provide screening on 3 sides as applicable



The Client agrees to indemnify and hold harmless LBLA INC. from any liability arising from acts or omissions in the performance of said services during construction by the Client, and his/her agents, employees, or subcontractors, where LBLA INC. does not provide landscape architectural services during construction (as the term is generally understood), including on-site monitoring, site visits, shop-drawing review, design clarification, etc.

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

LA CONSULTANT



**LBLA, Inc.**  
Lynn Bender Landscape Architecture  
5610 Adair Way  
Lake Worth, FL 33467  
Phone: 561-644-3237  
FL-LA666715  
lbenderlarch@gmail.com

REVISIONS	

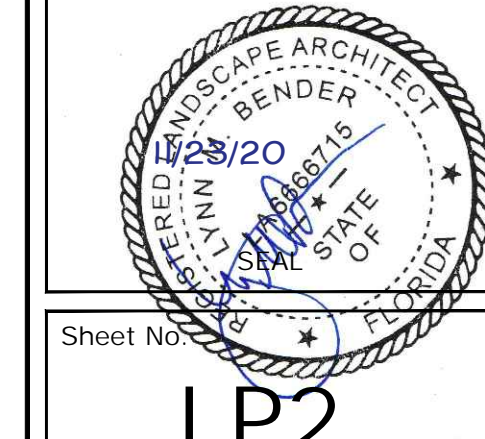
REVISIONS	

PROPOSED FACILITY FOR  
**BOBCAT - TREASURE COAST**  
4405 PROSPERITY DRIVE  
FORT PIERCE, FLORIDA 34981  
LANDSCAPE DETAILS & SPECIFICATIONS

Designed: LMB  
Drawn: LMB  
Date: 10-23-2020  
Job No.: #20-538

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LYNN M. BENDER  
FL REG. LANDSCAPE ARCHITECT  
REGISTRATION NO. LA666715

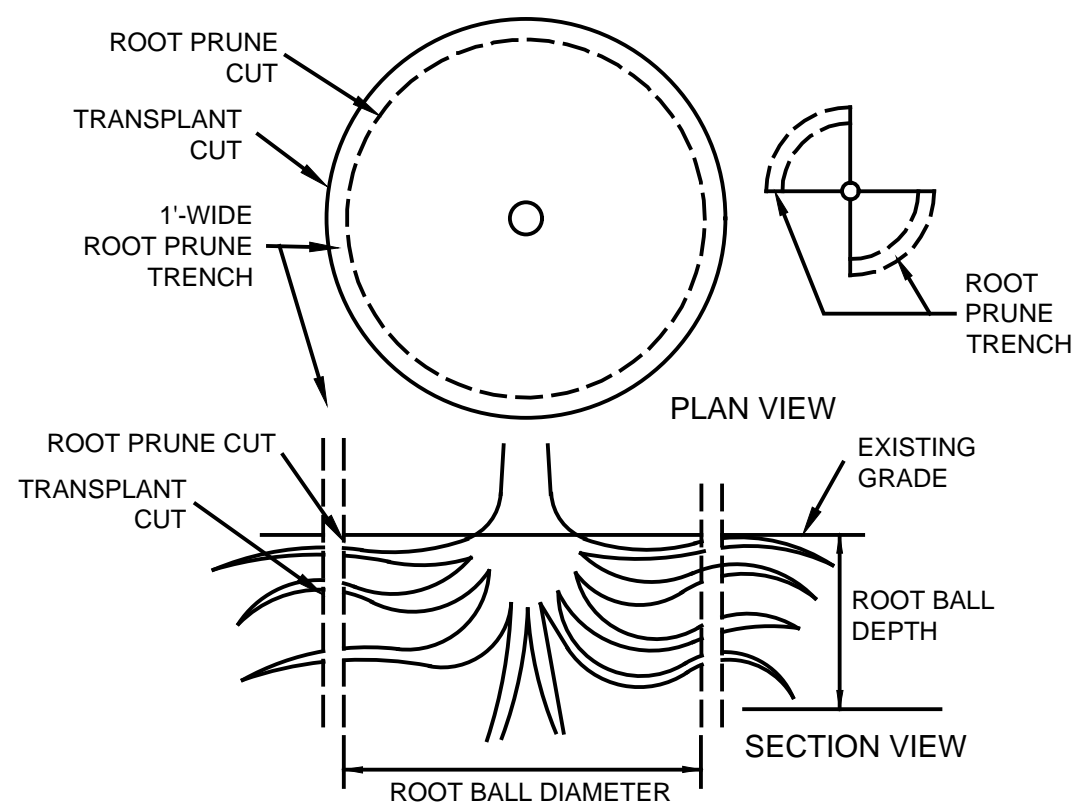


Sheet No. **LP2** of 2

All invasive exotic plants must be removed from the property prior to a Certificate of Occupancy being issued. The site shall be maintained "exotic free" in perpetuity.

Project Site Planners / Contractors  
**AHRENS COMPANIES**  
 DESIGN/BUILD - GENERAL CONSTRUCTION  
 OFFICE (861) 863-9004 LICENSE #080000615 #A028000694  
 1481 KINETIC ROAD, LAKE PARK, FL 33403-1911

- NOTES FOR TREE PROTECTION BARRICADES:**
- BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.
  - NO GRADE CHANGES, TRAFFIC, STORAGE, TRENCHING OR ROOT CUTTING ALLOWED IN "TREE PROTECTION ZONE". CONTRACTOR TO REPLACE OR MITIGATE DAMAGED TREES OR VEGETATION AT CONTRACTOR'S EXPENSE PER LOCAL GOVERNMENT CODE REQUIREMENTS.
  - TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRIER SHALL BE PLACED AROUND THE TREE AT A DISTANCE 6 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.



- NOTES:**
- MARK AND CUT A 12"-WIDE 'ROOT PRUNE TRENCH' AROUND THE TREE TO PROVIDE A ROOT BALL SIZE PER THE APPROPRIATE TABLE IN ITEM 3 (REFER TO SHEET LA-3, 'TREE RELOCATION SPEC.') USE SHARPENED SPADES FOR ROOT PRUNING. DO NOT CUT UNDER THE ROOT BALL, NOR REMOVE OLD ROOTS ON TOP OF ROOT BALL.
  - CUT THE 'ROOT PRUNE TRENCH' INITIALLY ON TWO SIDES (QUARTERS) OPPOSITE EACH OTHER. THEN AFTER 1/2 OF TOTAL 'WAIT TIME' HAS PASSED, CUT THE 'ROOT PRUNE TRENCH' FOR THE REMAINING TWO QUARTERS.
  - FILL THE 'ROOT PRUNE TRENCH' WITH A MIXTURE OF 2/3 EXISTING SOIL AND 1/3 PEAT HUMUS. LEAVE A DEPRESSION TO HOLD WATER AND THEN IRRIGATE THE ROOT BALL AREA AND TRENCH TO PROMOTE FEEDER ROOT GROWTH.
  - REFER TO 'TREE RELOCATION SPECIFICATIONS' ON SHEET LA-3 FOR COMPLETE SPECIFICATIONS.

**TREE & PALM ROOT PRUNING**  
 NOT TO SCALE

**TREE RELOCATION SPECIFICATIONS (IF APPLICABLE)**

- A. DEFINITIONS FOR TERMS USED HEREIN**
- TREE** - THE TERM 'TREE' SHALL MEAN ALL TREE AND PALM SPECIES, EXCEPT WHERE UNIQUE SPECIFICATIONS ARE INDICATED FOR PALM SPECIES.  
**PALM** - THE TERM 'PALM' SHALL APPLY TO ALL PALM SPECIES.
- B. SEASONAL REQUIREMENTS**
- BROADLEAF TREES SHOULD BE TRANSPLANTED DURING WINTER MONTHS (THEIR DORMANT SEASON), NOT IN THE SPRING WHEN ENERGY IS SPENT ON NEW LEAF GROWTH WHICH NEEDS A LARGE ROOT SYSTEM, AND WHEN THERE IS LITTLE RAINFALL TO ENCOURAGE THE PRODUCTION OF NEW FEEDER ROOTS.
- C. ROOT PRUNING AND TRANSPLANTING PROCEDURE (REFER TO GRAPHIC ROOT PRUNING DETAIL)**
- A TREE DESIGNATED TO BE RELOCATED OR TRANSPLANTED SHALL BE ROOT PRUNED WITH ADEQUATE 'WAIT TIME' IN ADVANCE OF TRANSPLANTING TO ALLOW A NEW ROOT SYSTEM TO GROW BEFORE MOVING THE TREE. THE TIME TYPICALLY REQUIRED FOR A ROOT SYSTEM TO DEVELOP BEFORE TRANSPLANTING DEPENDS ON THE SPECIE, SIZE, HEALTH, AND SOIL MOISTURE CONTENT. REFER TO ITEM 7 FOR AN ESTIMATED 'WAIT TIME'.

- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY AND ALL UNDERGROUND UTILITIES OR OBSTRUCTIONS PRIOR TO COMMENCING WORK AND PROTECTING SAME FROM DAMAGE. IN CASE OF CONFLICT WITH PROPOSED WORK, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- REMOVE ALL ROCK AND DEBRIS AROUND THE TREE TO BE ROOT PRUNED.
- DETERMINE THE SIZE OF THE ROOT BALL THAT IS BEING PREPARED BASED ON THE TRUNK CALIPER SIZE OF THE TREE (SEE TABLE BELOW). THE ROOT BALL DEPTH TYPICALLY SHALL BE AT LEAST 2/3 OF THE ROOT BALL DIAMETER SHOWN. TREES GROWN ABOVE A HIGH WATER TABLE CAN HAVE SHALLOWER ROOT BALLS PROVIDED THE ROOT BALL DIAMETER IS INCREASED AT LEAST ONE SIZE LARGER PER THE TABLE BELOW.

TREE CALIPER	MIN. ROOT BALL DIAMETER	MIN. ROOT BALL DEPTH
2'-4" CAL.	36"-42" DIA.	24"-28" DEPTH
4'-6" CAL.	42"-48" DIA.	28"-32" DEPTH
6'-8" CAL.	48"-60" DIA.	32"-40" DEPTH
8'-10" CAL.	60"-72" DIA.	40"-48" DEPTH
10'-12" CAL.	72"-84" DIA.	48"-56" DEPTH
12'-14" CAL.	84"-96" DIA.	56"-64" DEPTH
14'-16" CAL.	96"-108" DIA.	64"-72" DEPTH
16'-18" CAL.	108"-120" DIA.	72"-80" DEPTH
18'-20" CAL.	120"-132" DIA.	80"-88" DEPTH
20'-24" CAL.	132"-144" DIA.	88"-96" DEPTH
28'-32" CAL.	156"-168" DIA.	96"-104" DEPTH
32'-36" CAL.	168"-180" DIA.	104"-112" DEPTH

PALM TYPE	MIN. ROOT BALL DIAMETER	GENERAL PALM HEIGHT OVERALL	MIN. ROOT BALL DEPTH
SABAL PALM	48"	< 15 FT. HT.	12" DEPTH
COCONUT PALM	48"	15-25 FT. HT.	18" DEPTH
QUEEN PALM	48"	26-30 FT. HT.	24" DEPTH
SAGO PALM	48"	> 30 FT. HT.	24" DEPTH
DATE PALM	60"		
ROYAL PALM	60"		
RECLINATA PALM	72"		
PAUROTIS PALM	72"		

- MARK AND CUT A 12"-WIDE 'ROOT PRUNE TRENCH' AROUND THE TREE TO PROVIDE A ROOT BALL SIZE PER THE APPROPRIATE TABLE IN ITEM 3. USE SHARPENED SPADES FOR ROOT PRUNING. DO NOT CUT UNDER THE ROOT BALL, NOR REMOVE OLD ROOTS ON TOP OF ROOT BALL.
  - CUT THE 'ROOT PRUNE TRENCH' INITIALLY ON TWO SIDES (QUARTERS) OPPOSITE EACH OTHER. THEN AFTER 1/2 OF TOTAL 'WAIT TIME' HAS PASSED, CUT THE 'ROOT PRUNE TRENCH' FOR THE REMAINING TWO QUARTERS.
  - FILL THE 'ROOT PRUNE TRENCH' WITH A MIXTURE OF 2/3 EXISTING SOIL AND 1/3 PEAT HUMUS. LEAVE A DEPRESSION TO HOLD WATER AND THEN IRRIGATE THE ROOT BALL AREA AND TRENCH TO PROMOTE FEEDER ROOT GROWTH.
  - THE RECOMMENDED 'WAIT TIME' TO TRANSPLANT AFTER ROOT PRUNING IS:
- | CALIPER SIZE       | WAIT TIME    |
|--------------------|--------------|
| TREES: 6" AND LESS | 45-90 DAYS   |
| 6"-12"             | 90-180 DAYS  |
| 12" AND MORE       | 180-360 DAYS |
- PALMS (EXCEPT SABAL PALMS):**
- |             |            |
|-------------|------------|
| 6" AND LESS | 21-45 DAYS |
| 6" AND MORE | 45-90 DAYS |
- BEFORE TRANSPLANTING, PRUNE LIMBS OR FRONDS (AS APPLICABLE) TO FACILITATE RELOCATION AND SURVIVAL. PRUNE TO ENHANCE THE NATURAL SHAPE AND CHARACTER OF THE TREE.
  - RE-GRADE RECIPIENT LOCATION BEFORE TRANSPLANTING THE TREE SO THE TOP OF THE ROOT BALL IS LEVEL WITH THE PROPOSED FINISH GRADE AFTER RELOCATION AND SETTLEMENT.
  - BEFORE MOVING THE TREE, DIG A 'TRANSPLANT TRENCH/CUT' JUST BEYOND THE OUTSIDE PERIMETER OF THE 'ROOT PRUNE TRENCH' TO MINIMIZE DAMAGE TO NEW FEEDER ROOTS DURING TRANSPLANTING.
  - AFTER COMPLETING THE 'TRANSPLANT TRENCH/CUT', LIFT TREE FROM ONE SIDE TO BREAK SUCTION. DIG UNDER THE ROOT BALL TO SEVER ANY REMAINING ROOTS AT A ROOT BALL DEPTH INDICATED IN THE TABLE IN ITEM 3 ABOVE. WRAP THE ROOT BALL WITH SYNTHETIC MATERIAL OR NATURAL BURLAP PRIOR TO MOVING HAND DUG TREES; NOT NECESSARY FOR MOVING BY TREE SPADE TRUCK. REMOVE ALL SYNTHETIC MATERIALS PRIOR TO PLANTING. REMOVE BIODEGRADABLE MATERIALS FROM TOP OF ROOT BALL. CUT BACK WIRE BASKETS BELOW THE TOP HALF OF THE ROOTBALL.
  - THE CONTRACTOR SHALL PROTECT TREES AND ASSOCIATED UNDERSTORY PLANTS FROM BREAKAGE, SCRAPES, AND SCARS BEFORE, DURING, AND AFTER TRANSPLANT OPERATIONS BY METHODS SUCH AS BURLAP WRAPPING, SOFT SLINGS, SUPPORT ARMATURES, TREE BARRICADES, ETC.
  - ALL PLANT MATERIALS SHALL BE RELOCATED TO HOLES EXCAVATED IMMEDIATELY BEFORE TRANSPLANT OPERATIONS. FILL RECIPIENT TREE HOLES 1/3 WITH WATER. INSERT TREE BACK-FILL AND WATER-IN THOROUGHLY, BEING SURE TO REMOVE ALL AIR POCKETS. PROVIDE 6"-HIGH BERM AROUND PERIMETER OF THE ROOT BALL OF THE NEWLY INSTALLED TREE OR PLANT MATERIAL TO RETAIN WATER. APPLY WATER THOROUGHLY AFTER INSTALLATION AND THEREAFTER USING APPLICATIONS RATES THAT MAXIMIZE TREE/PLANT ESTABLISHMENT. TOP OF ROOTBALL TO BE 3" ABOVE EXISTING SOIL AFTER PLANTING.
  - ALL TREES SHALL BE STAKED TO MAXIMIZE STABILITY AFTER ROOT PRUNING AND AFTER TRANSPLANTING. MAINTAIN AND WARRANTY RELOCATED TREE/PLANT MATERIALS FOR THE SAME PERIOD(S) AS APPLICABLE TO NEW LANDSCAPE PLANTINGS (PER RELATED LANDSCAPE SPECIFICATIONS), INCLUDING THE REMOVAL OF EXOTIC VEGETATION AND WEEDS, AND THE APPLICATION OF ADEQUATE WATER, FERTILIZER, INSECTICIDES, AND MULCH TO MAXIMIZE TREE HEALTH AND ESTABLISHMENT.

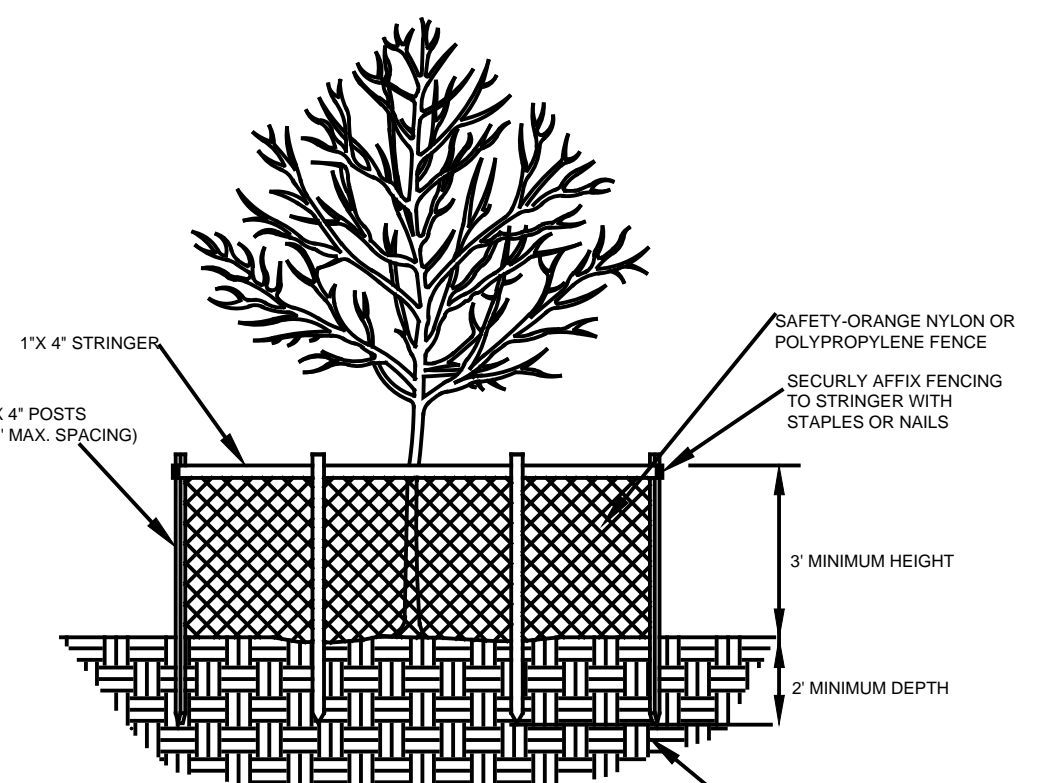
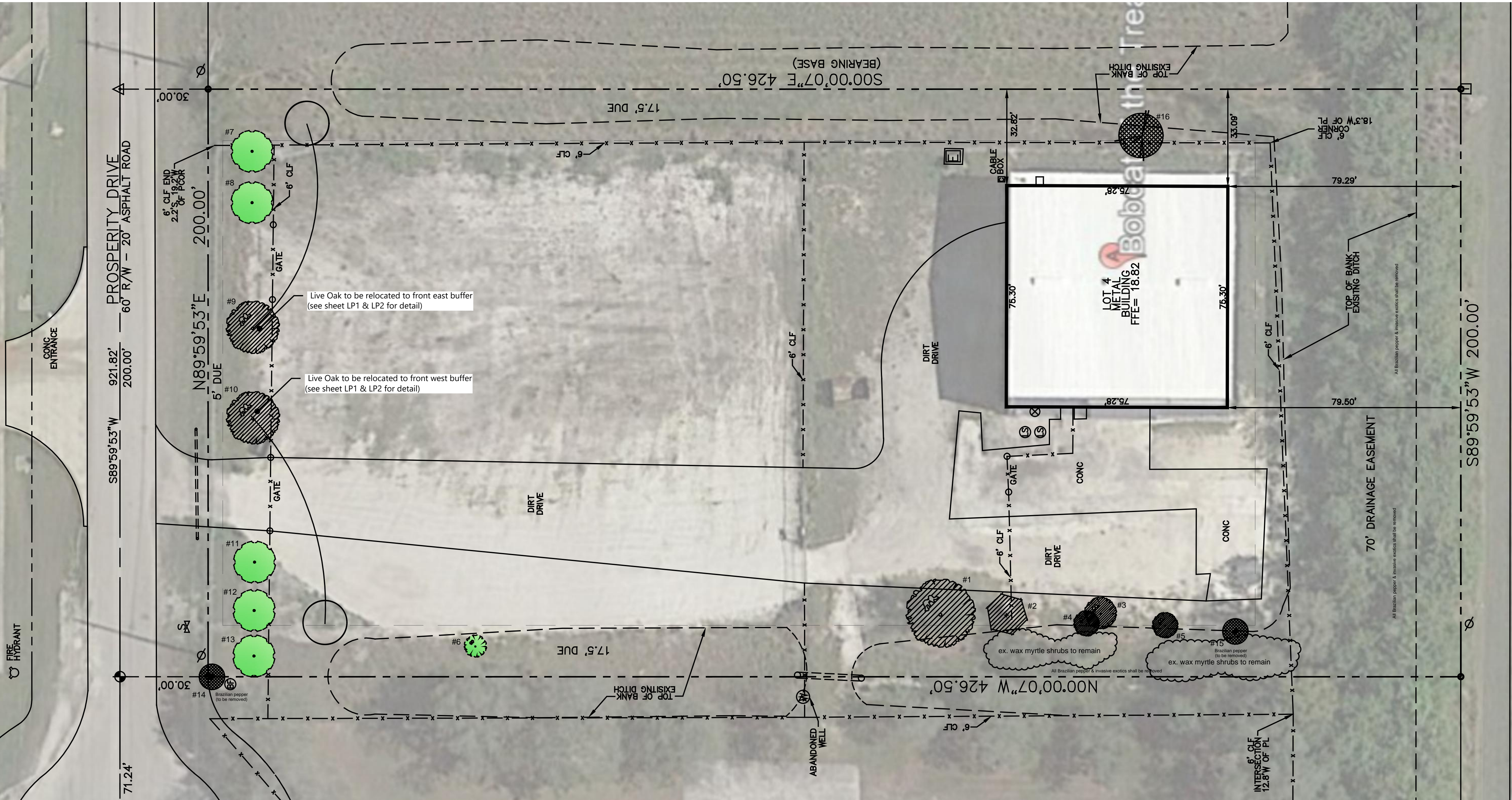
- TREE PRUNING SPECIFICATIONS**
- THE CONTRACTOR SHALL PROTECT ALL TREE CANOPIES TO PREVENT LIMB BREAKAGE AND OTHER DAMAGE DURING ALL CONSTRUCTION OPERATIONS AT ALL TIMES. THE CONTRACTOR SHALL HIRE AN ISA CERTIFIED ARBORIST TO PERFORM TREE CROWN REDUCTION FOR ANY TREE CANOPY THAT WILL CONFLICT WITH CONSTRUCTION OPERATIONS. THE REQUIRED CLEARANCE PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 - STANDARD PRACTICES FOR TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE. PART 1 - PRUNING. NO MORE THAN ONE-FOURTH OF A TREE'S LEAF BEARING CANOPY SHALL BE REMOVED. ALL PRUNING CUTS SHALL BE MADE BACK TO STRONG LATERALS OR PARENT LIMBS THAT CAN ASSUME APICAL DOMINANCE. ALL PRUNING SHALL ALSO CLEAN OUT DEAD, DISEASED, BROKEN OR WEAKLY ATTACHED BRANCHES; AND SHALL MAINTAIN THE NATURAL SHAPE AND STRUCTURE OF THE TREE. THE ARBORIST HIRED FOR THIS PROJECT MUST HAVE A LOCAL COUNTY TREE TRIMMER'S LICENSE.
- ALL TREE ROOTS THAT MUST BE CUT TO INSTALL ADJACENT CONCRETE CURBS, UTILITIES, AND FOOTERS, ETC., OR FOR ROOT PRUNING BEFORE RELOCATION, SHALL BE CUT CLEANLY WITH SHARP BLADES TO PREVENT UNNECESSARY ROOT SHREDDING AND DAMAGE.

**EXISTING TREE DISPOSITION CHART**

TREE #	BOTANICAL NAME	COMMON NAME	DBH (IN)	HT (FT)	CANOPY SPREAD (FT)	CONDITION	DISPOSITION	NOTES
1	Quercus virginiana	LIVE OAK	14"	26	17	FAIR	REMOVE	MULTI-CO-DOMINANT @ 3' POOR STRUCTURE
2	Acer rubrum	RED MAPLE	6"	20	8	FAIR	REMOVE	
3	Acer rubrum	RED MAPLE	7"	15	8	POOR	REMOVE	MULTI-CO-DOMINANT, POOR STRUCTURE, SUCKER GROWTH
4	Quercus virginiana	LIVE OAK	3"	12	6	POOR	REMOVE	NO VALUE, FALLEN, THEN GROWTH FROM HORIZ. BRANCH
5	Quercus spp.	SCRUB OAK	2"	8	5	POOR	REMOVE	MULTI @ BASE, SUCKERS
6	Quercus spp.	SCRUB OAK	2 @ 2"	6	5	POOR	REMOVE	NO VALUE, MULTI @ BASE, VOLUNTARY SHRUB LIKE
7	Lagerstroemia spp.	CRAPE MYRTLE	3 @ 1.5"	14	6	GOOD	REMAIN	MULTI
8	Lagerstroemia spp.	CRAPE MYRTLE	3 @ 1.5"	14	6	GOOD	REMAIN	MULTI
9	Quercus virginiana	LIVE OAK	2.5"	14	4	GOOD	RELOCATE	
10	Quercus virginiana	LIVE OAK	2.5"	14	4	GOOD	RELOCATE	
11	Lagerstroemia spp.	CRAPE MYRTLE	3 @ 1.5"	14	6	GOOD	REMAIN	MULTI
12	Lagerstroemia spp.	CRAPE MYRTLE	3 @ 1.5"	14	6	GOOD	REMAIN	MULTI
13	Lagerstroemia spp.	CRAPE MYRTLE	3 @ 1.5"	14	6	GOOD	REMAIN	MULTI
14	Schinus molle/hibida	BRAZILIAN PEPPER	-	-	-	-	REMOVE	FLEPPC CAT 1 EXOTIC INVASIVE
15	Schinus molle/hibida	BRAZILIAN PEPPER	-	-	-	-	REMOVE	FLEPPC CAT 1 EXOTIC INVASIVE
16	Schinus molle/hibida	BRAZILIAN PEPPER	-	-	-	-	REMOVE	FLEPPC CAT 1 EXOTIC INVASIVE
		CARROTWOOD	2 @ 2.5"	15	8	-	REMOVE	FLEPPC CAT 1 EXOTIC INVASIVE
			29"					= TOTAL DBH INCHES REMOVED

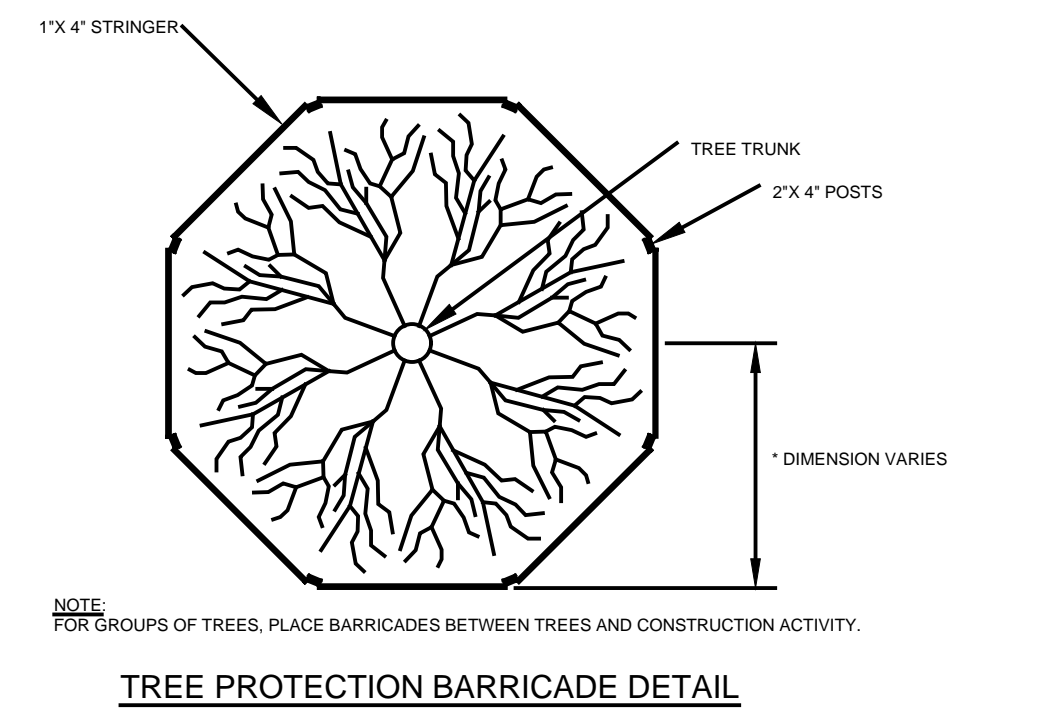
29" of DBH to mitigate for - Refer to LP1 & LP2 for mitigation credits.

**EXISTING TREES WITH AERIAL OVERLAY**

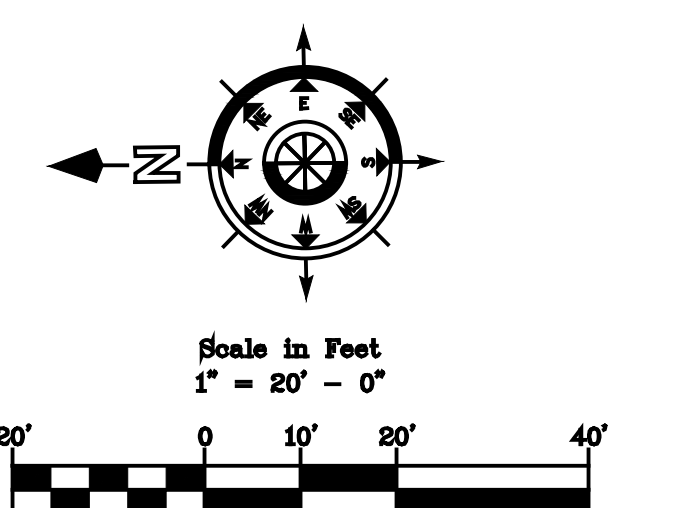


**NOTE:** BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.

\* TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRIER SHALL BE PLACED AROUND THE TREE AT A DISTANCE 6 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.



**TREE PROTECTION BARRICADE DETAIL**



Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

LA CONSULTANT  
**LBLA, Inc.**  
 Lynn Bender Landscape Architecture  
 5610 Adair Way  
 Lake Worth, FL 33467  
 Phone: 561-644-3237  
 FL-A666715  
 lbenderlarch@gmail.com

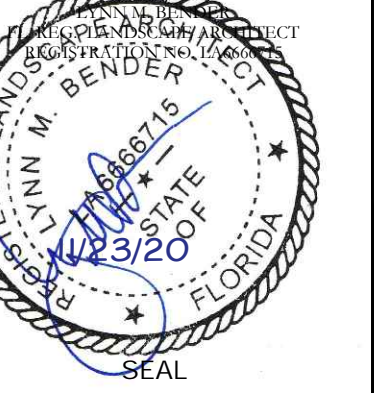
**REVISIONS**

NO.	DESCRIPTION	DATE

PROPOSED FACILITY FOR  
**BOBCAT - TREASURE COAST**  
 4405 PROSPERITY DRIVE  
 FORT PIERCE, FLORIDA 34981

EXISTING TREES WITH AERIAL OVERLAY

Designed: LMB  
 Drawn: LMB  
 Date: 09-02-2020  
 Job No.: #20-126



Sheet No.  
**TDP1**  
 of 2

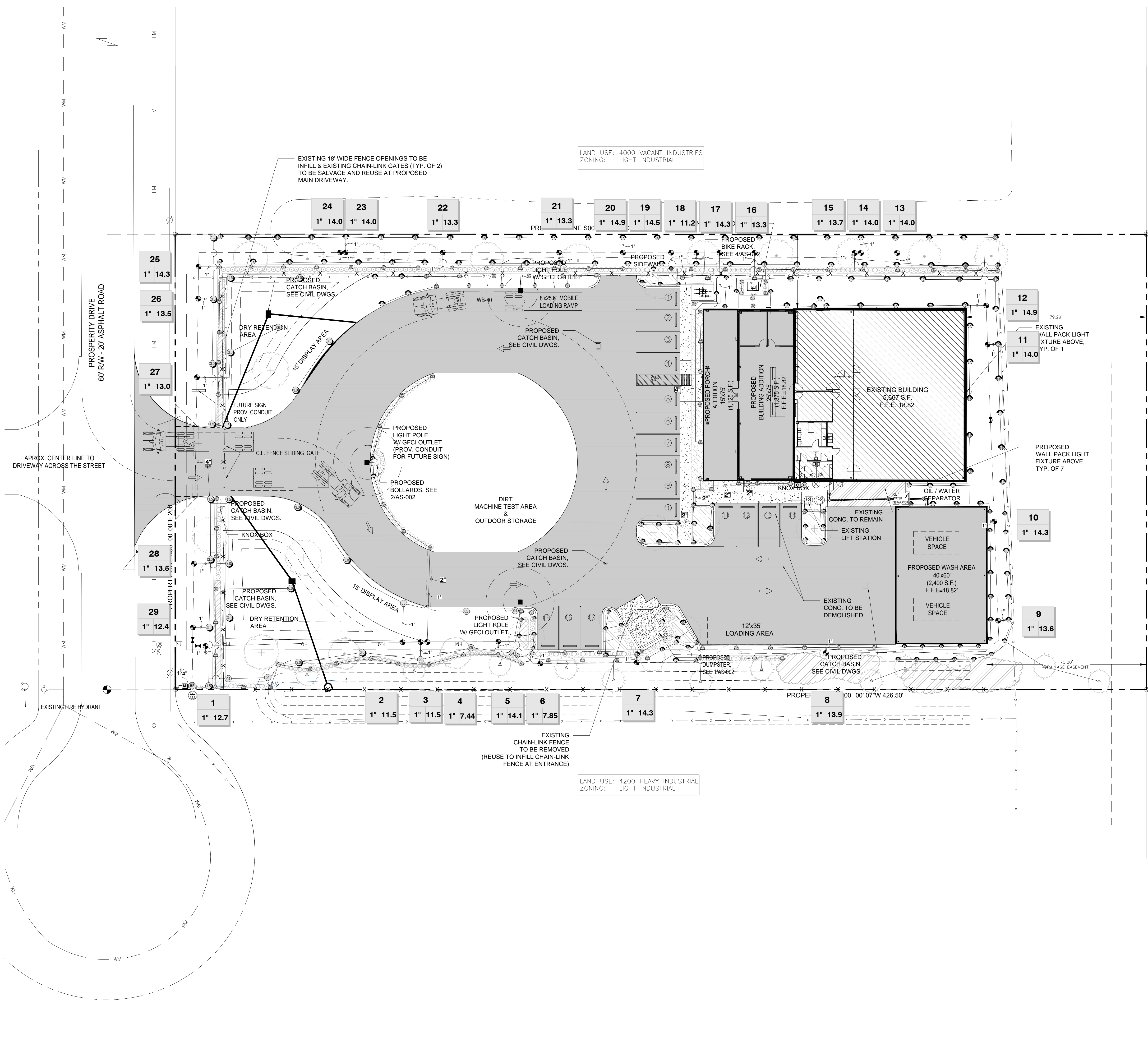




REVISIONS

NO.	DATE	DESCRIPTION

PROPOSED FACILITY FOR  
**BOBCAT - TREASURE COAST**  
4405 PROSPERITY DRIVE  
FORT PIERCE, FLORIDA 34981  
PROPOSED IRRIGATION PLAN



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	RADIUS
⊙	Hunter PROS-04 5' strip spray	3	LCS	30	5x15'
⊙	Hunter PROS-04 5' strip spray	3	RCS	30	5x15'
⊙	Hunter PROS-04 5' strip spray	24	SST	30	5x30'
⊙	Hunter PROS-04 8' radius	24		180	30' 8"
⊙	Hunter PROS-04 8' radius	1		90	30' 8"
⊙	Hunter PROS-04 10' radius	17		180	30' 10"
⊙	Hunter PROS-04 10' radius	3		90	30' 10"
⊙	Hunter PROS-04 12' radius	3		180	30' 12"
⊙	Hunter PROS-04 15' radius	65		180	30' 15"
⊙	Hunter PROS-04 15' radius	7		90	30' 15"
⊙	Hunter PROS-12 5' strip spray	15	LCS	30	5x15'
⊙	Hunter PROS-12 5' strip spray	14	RCS	30	5x15'
⊙	Hunter PROS-12 5' strip spray	48	SST	30	5x30'
⊙	Hunter PROS-12 8' radius	13		180	30' 8"
⊙	Hunter PROS-12 8' radius	6		90	30' 8"
⊙	Hunter PROS-12 10' radius	5		180	30' 10"
⊙	Hunter PROS-12 10' radius	12		90	30' 10"
⊙	Hunter PROS-12 15' radius	2		90	30' 15"
△	Hunter PCB 10	11		360	30' 3"

SYMBOL	MANUFACTURER/MODEL	QTY	PSI	RADIUS
⊙	Hunter GGP-ADJ-B	7	45	31'
⊙	Hunter GGP-ADJ-B	14	45	38'
⊙	Hunter GGP-ADJ-B	1	45	43'
⊙	Hunter GGP-ADJ-LA	4	40	24'
⊙	Hunter GGP-ADJ-LA	4	40	27'
⊙	Hunter GGP-ADJ-LA	1	40	30'

SYMBOL	MANUFACTURER/MODEL	QTY
⊙	Hunter GGP-ADJ-B	29
⊙	Matco-Norca 514TX 1.25"	3
⊙	Febco 860 1-1/2" (Existing)	1
⊙	Hunter IC-0600-PL	1
⊙	Hunter RAIN-CLIK	1
⊙	Water Meter 5/8" (Existing)	1

SYMBOL	DESCRIPTION	QTY
---	Irrigation Lateral Line: PVC Class 200 SDR 21 1"	3,992 Lf.
---	Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"	1,070 Lf.
---	Pipe Sleeve: PVC Schedule 40 2"	49.0 Lf.
---	Pipe Sleeve: PVC Schedule 40 4"	43.6 Lf.

Designed: LMB  
Drawn: LMB  
Date: 11-23-2020  
Job No.: #20-538

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

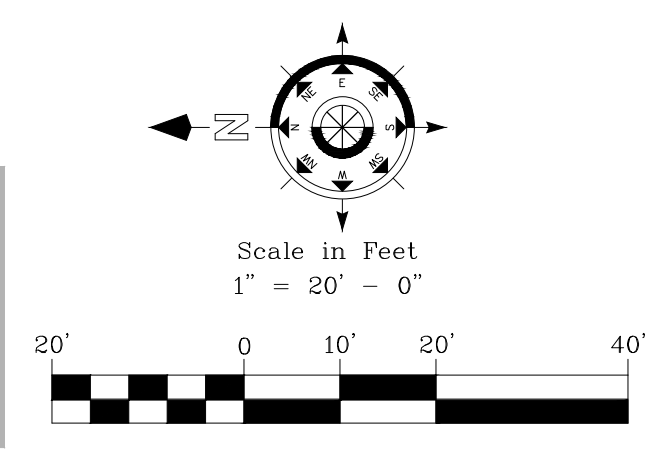
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FL REG. LANDSCAPE ARCHITECT  
REGISTRATION NO. LA6666715

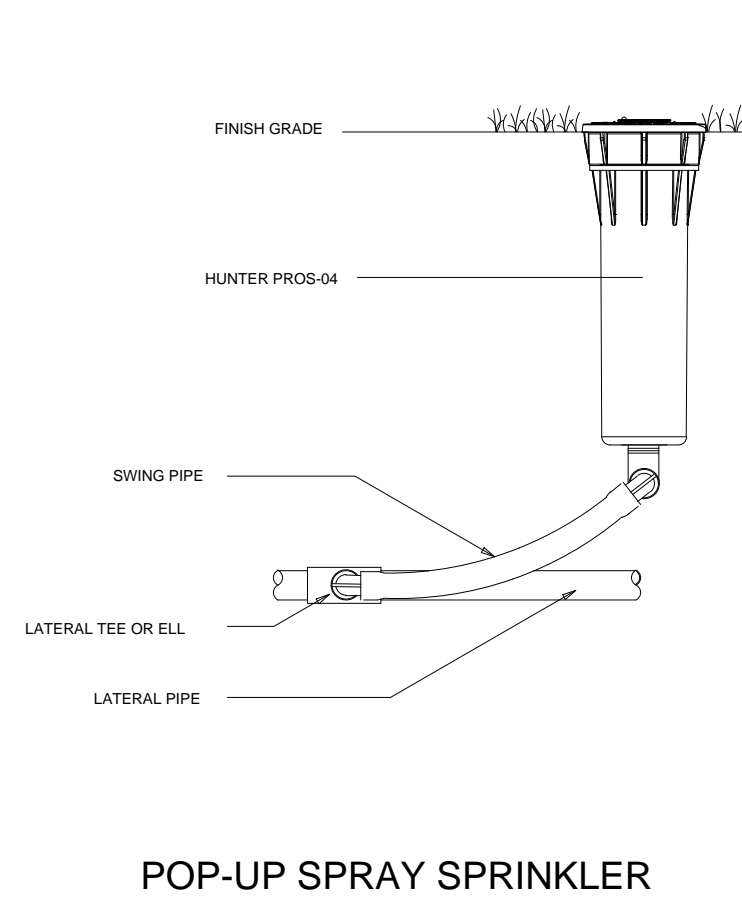
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11/23/20

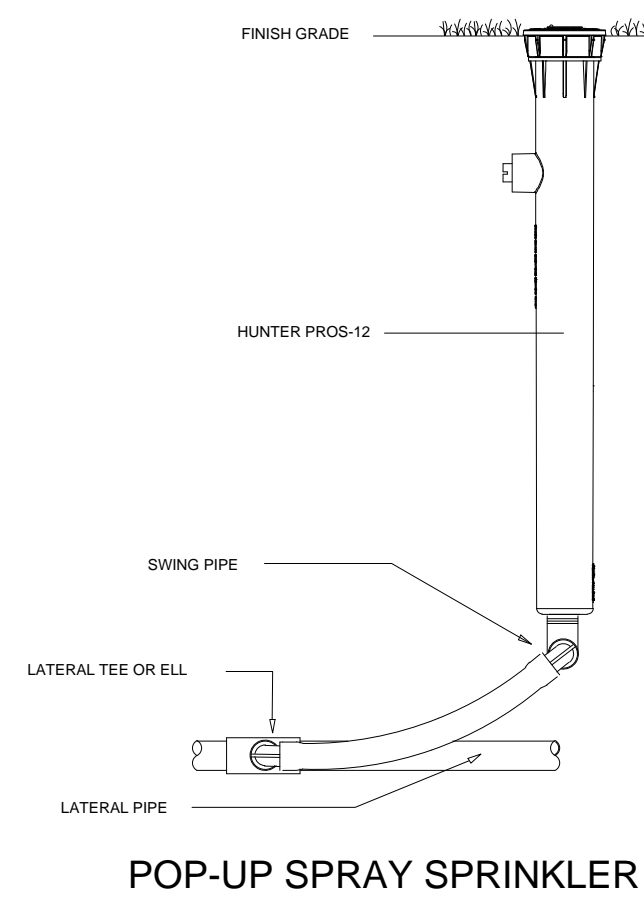
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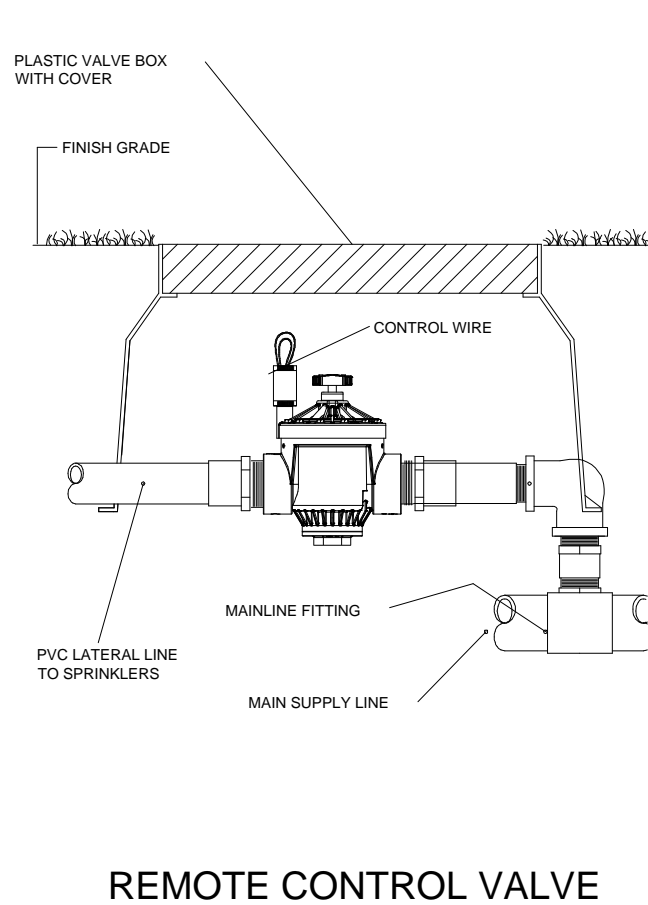




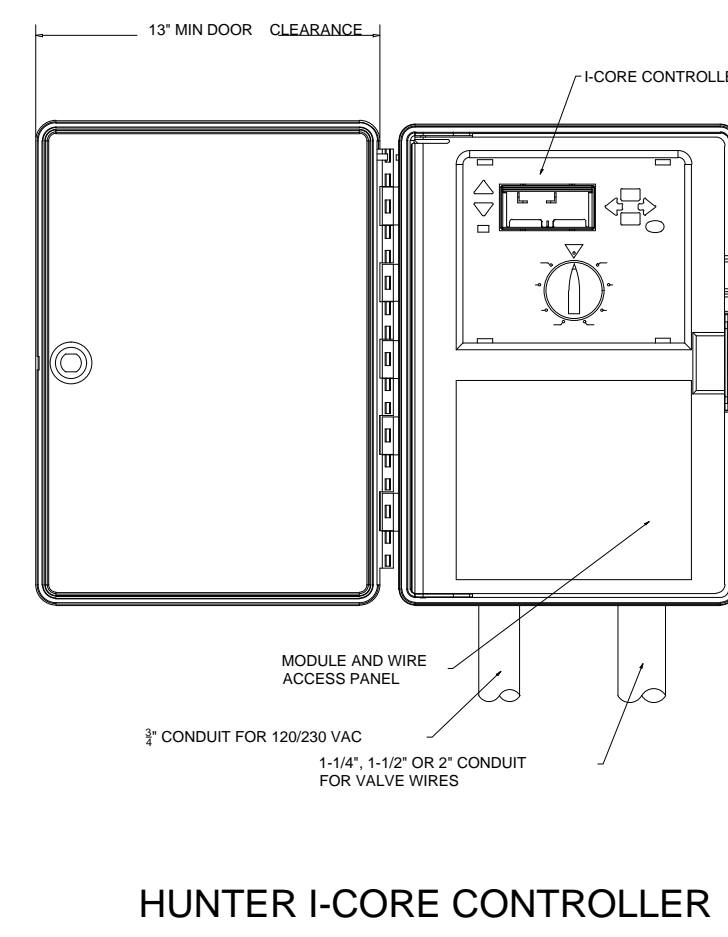
POP-UP SPRAY SPRINKLER



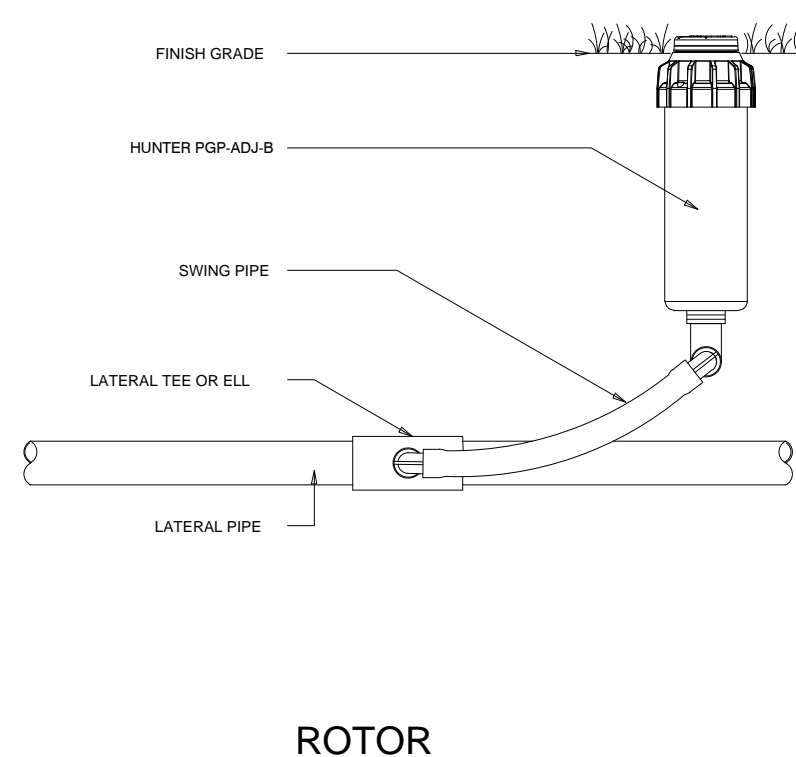
POP-UP SPRAY SPRINKLER



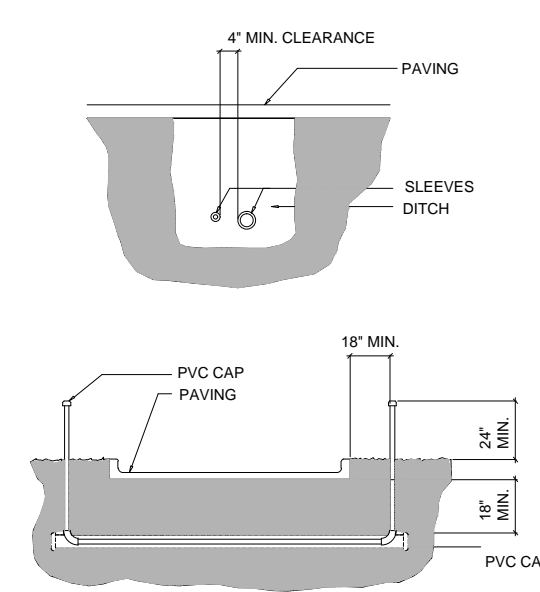
REMOTE CONTROL VALVE



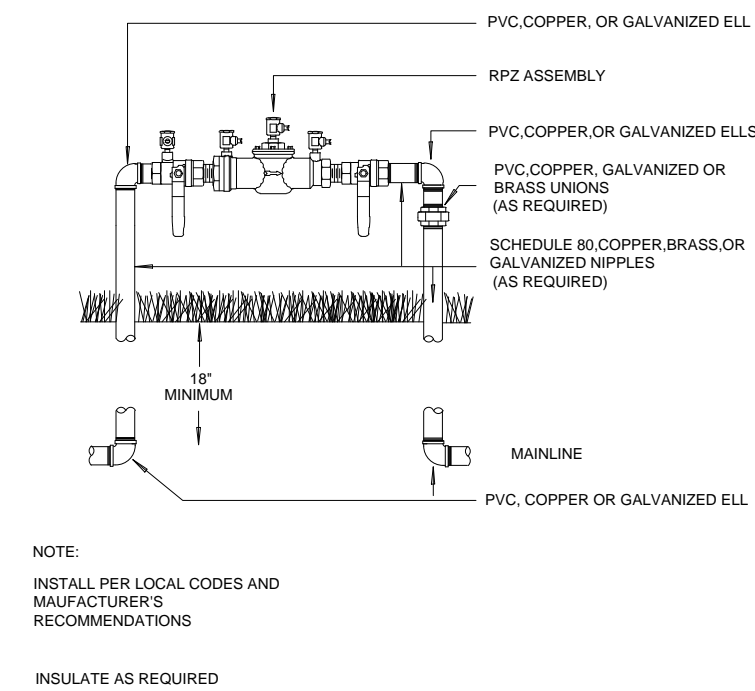
HUNTER I-CORE CONTROLLER



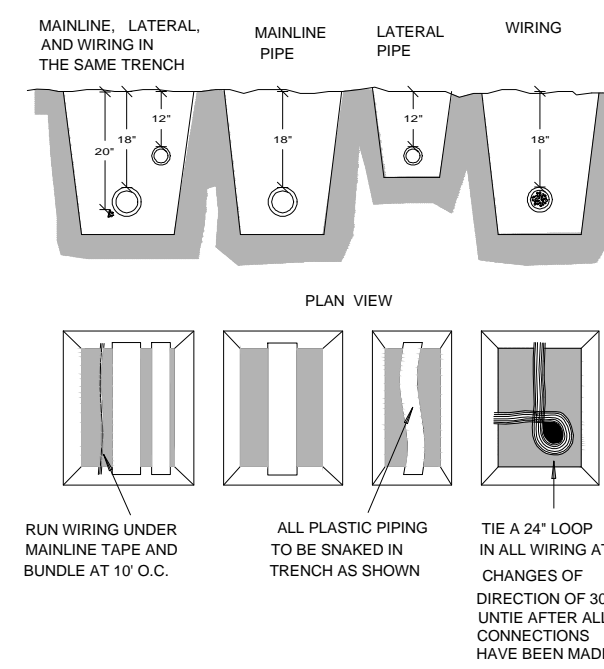
ROTOR



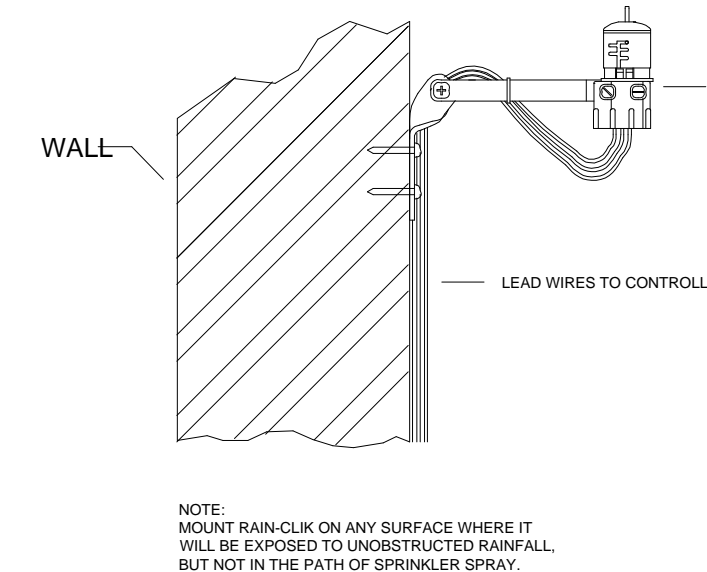
IRRIGATION SLEEVING



RPZ BACKFLOW PREVENTER



PIPE AND WIRE TRENCH



HUNTER RAIN-CLICK RAIN SENSOR

IRRIGATION SPECIFICATIONS

- IRRIGATION POINT OF CONNECTION SHALL BE CAPABLE OF DELIVERING A VARIABLE FLOW RATE OF 15 GPM AT A CONSTANT PRESSURE OF 70 PSI DOWNSTREAM OF BACKFLOW PREVENTION DEVICE. POINT OF CONNECTION SHALL BE ABLE TO MAINTAIN THE MAXIMUM FLOW RATE AND PRESSURE FOR THE DURATION OF AN IRRIGATION CYCLE. CONTRACTOR SHALL VERIFY THESE PARAMETERS PRIOR TO CONSTRUCTION, AND NOTIFY OWNER'S REPRESENTATIVE AND IRRIGATION CONSULTANT IF THEY CANNOT BE MET.
- IF THE POINT OF CONNECTION EXCEEDS THE ABOVE PRESSURE REQUIREMENTS, A PRESSURE REGULATOR SHALL BE INSTALLED AT THE OWNER'S EXPENSE. PRESSURE REGULATOR SHALL BE SET AT THE PRESSURE RECOMMENDED ABOVE.
- AN RPZ TYPE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED IN A MANNER SATISFYING LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS.
- POWER FOR THE IRRIGATION CONTROLLER, PUMP AND OTHER ELECTRICAL COMPONENTS SHALL BE PROVIDED BY OTHER. CONTRACTOR SHALL VERIFY POWER AVAILABLE MEETS THE REQUIREMENTS OF THE COMPONENT'S MANUFACTURER. IF POWER AVAILABLE IS INADQUATE, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- IRRIGATION SYSTEM IS DISPLAYED SCHEMATIC IN NATURE. MINOR FIELD ADJUSTMENTS MAY BE NECESSARY TO ACCOMMODATE FOR LANDSCAPING CHANGES, PLANTING BEDS OR OTHER OBSTRUCTIONS. THESE ADJUSTMENTS MAY BE MADE ONLY AFTER NOTIFYING THE OWNER'S REPRESENTATIVE.
- SOME IRRIGATION COMPONENTS AND PIPING ARE SHOWN IN HARDSCAPE AREAS AND OUTSIDE OF PROPERTY LINES TO IMPROVE ON THE READABILITY OF THE IRRIGATION PLAN. ALL COMPONENTS AND PIPING SHALL BE INSTALLED INSIDE OF THE PROPERTY LINES AND OUTSIDE OF HARDSCAPE AREAS.
- MAINLINE, LATERALS AND CONTROL WIRES SHALL BE INSTALLED INSIDE THE SAME TRENCH WHENEVER POSSIBLE..
- SYSTEM TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- CONTROLLER SHALL BE GROUNDED PER MANUFACTURER'S SPECIFICATIONS.
- ALL CONTROLLER/VALVE WIRE SHALL BE #14 GAUGE. THE COMMON WIRE SHALL BE COLORED WHITE, WHILE THE STATION WIRES SHALL BE OF AT LEAST ONE COLOR OTHER THAN WHITE.
- ALL FIELD WIRE ABOVE GRADE OR WITHIN STRUCTURE TO BE INSTALLED IN CONDUIT PER LOCAL CODE.
- ALL UNDERGROUND SPLICES TO UTILIZE 3M DBY, OR KING WATER PROOF SPLICE KITS, DEPENDING ON NUMBER AND SIZE OF WIRES. ALL SPLICES SHALL BE MADE INSIDE A VALVE BOX.
- DEPTH OF IRRIGATION PIPING; 18" ON MAINLINE; 12" ON LATERALS.
- SLEEVING UNDER PAVED AREAS SHALL BE INSTALLED AT A DEPTH OF 24".

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	PIPE	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	Hunter PGV-101G	1"	Shrub Spray	12.70	12	148.8	30	0.34	1.74	32.08	49.36	1.67 in/h
2	Hunter PGV-101G	1"	Turf Rotor	11.50	5	133.1	45	0.57	1.81	47.38	63.84	0.85 in/h
3	Hunter PGV-101G	1"	Turf Rotor	11.50	5	105.0	45	0.35	1.81	47.17	63.66	0.94 in/h
4	Hunter PGV-101G	1"	Shrub Spray	7.44	8	140.7	30	0.61	1.90	32.51	45.84	1.15 in/h
5	Hunter PGV-101G	1"	Shrub Spray	14.06	16	150.5	30	0.41	1.66	32.06	51.78	1.46 in/h
6	Hunter PGV-101G	1"	Turf Spray	7.85	8	87.4	30	0.10	1.90	32.00	45.62	1.52 in/h
7	Hunter PGV-101G	1"	Shrub Spray	14.28	19	169.6	30	0.55	1.64	32.19	52.46	1.54 in/h
8	Hunter PGV-101G	1"	Turf Spray	13.93	17	166.5	30	0.48	1.66	32.15	52.15	1.28 in/h
9	Hunter PGV-101G	1"	Turf Spray	13.61	18	191.6	30	0.35	1.68	32.03	51.67	0.94 in/h
10	Hunter PGV-101G	1"	Turf Spray	14.31	16	155.0	30	0.33	1.64	31.97	52.55	0.92 in/h
11	Hunter PGV-101G	1"	Turf Spray	13.99	8	113.7	30	0.36	1.66	32.02	52.08	0.79 in/h
12	Hunter PGV-101G	1"	Turf Spray	14.87	9	117.9	30	0.48	1.61	32.09	53.32	0.75 in/h
13	Hunter PGV-101G	1"	Turf Spray	13.99	8	100.9	30	0.24	1.66	31.91	51.98	0.74 in/h
14	Hunter PGV-101G	1"	Turf Spray	13.99	8	112.6	30	0.39	1.66	32.05	52.15	0.80 in/h
15	Hunter PGV-101G	1"	Shrub Spray	13.65	13	159.6	30	0.45	1.68	32.14	51.78	1.50 in/h
16	Hunter PGV-101G	1"	Turf Spray	13.30	15	158.4	30	0.36	1.70	32.07	51.27	1.50 in/h
17	Hunter PGV-101G	1"	Shrub Spray	14.28	24	313.6	30	3.27	1.64	34.91	55.45	1.47 in/h
18	Hunter PGV-101G	1"	Turf Spray	11.16	6	80.3	30	0.22	1.83	32.05	48.70	0.75 in/h
19	Hunter PGV-101G	1"	Shrub Spray	14.47	16	209.0	30	0.59	1.63	32.22	53.03	1.39 in/h
20	Hunter PGV-101G	1"	Turf Spray	14.88	8	113.7	30	0.48	1.61	32.09	53.46	0.76 in/h
21	Hunter PGV-101G	1"	Turf Spray	13.29	9	96.9	30	0.20	1.70	31.90	51.09	0.99 in/h
22	Hunter PGV-101G	1"	Turf Spray	13.28	10	107.0	30	0.32	1.70	32.03	51.15	1.59 in/h
23	Hunter PGV-101G	1"	Turf Spray	13.99	8	109.8	30	0.39	1.66	32.05	52.04	0.81 in/h
24	Hunter PGV-101G	1"	Turf Spray	13.99	8	110.2	30	0.30	1.66	31.96	51.95	0.79 in/h
25	Hunter PGV-101G	1"	Shrub Spray	14.30	12	168.1	30	0.57	1.64	32.22	52.39	1.57 in/h
26	Hunter PGV-101G	1"	Turf Rotor	13.50	6	130.3	45	0.32	1.69	47.01	66.08	0.78 in/h
27	Hunter PGV-101G	1"	Turf Rotor	13.00	5	128.7	40	0.58	1.72	42.30	60.58	0.62 in/h
28	Hunter PGV-101G	1"	Turf Rotor	13.50	4	94.0	45	0.63	1.69	47.32	65.76	0.68 in/h
29	Hunter PGV-101G	1"	Turf Rotor	12.40	6	119.6	45	0.30	1.76	47.05	63.99	1.25 in/h

CRITICAL ANALYSIS

P.O.C. NUMBER: 01  
Water Source Information:

FLOW AVAILABLE  
Water Meter Size: 5/8"  
Flow Available: 15.00 gpm

PRESSURE AVAILABLE  
Static Pressure at POC: 70.00 psi  
Elevation Change: 5.00 ft  
Service Line Size: 3"  
Length of Service Line: 20.00 ft  
Pressure Available: 67.00 psi

DESIGN ANALYSIS  
Maximum Station Flow: 14.88 gpm  
Flow Available at POC: 15.00 gpm  
Residual Flow Available: 0.12 gpm

Pressure Req. at Critical Station: 47.00 psi  
Loss for Fittings: 0.10 psi  
Loss for Main Line: 0.96 psi  
Loss for POC to Valve Elevation: 0.00 psi  
Loss for Backflow: 11.32 psi  
Loss for Water Meter: 6.70 psi  
Critical Station Pressure at POC: 66.08 psi  
Pressure Available: 67.00 psi  
Residual Pressure Available: 0.92 psi

LA CONSULTANT

**LBLA, Inc.**  
Lynn Bender Landscape Architecture

5610 Adair Way  
Lake Worth, FL 33467  
Phone: 561-644-3237  
FL-LA666715  
lbenderlarch@gmail.com

REVISIONS

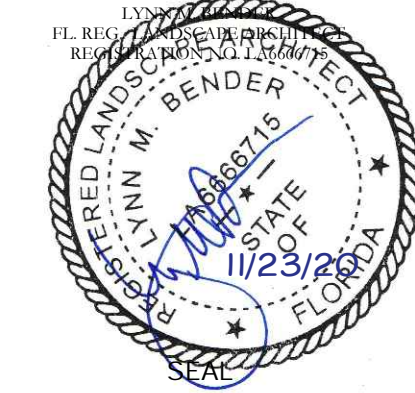

PROPOSED FACILITY FOR  
**BOBCAT - TREASURE COAST**  
4405 PROSPERITY DRIVE  
FORT PIERCE, FLORIDA 34981

IRRIGATION DETAILS & SPECIFICATIONS

Designed: LMB  
Drawn: LMB  
Date: 11-23-2020  
Job No.: #20-538

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

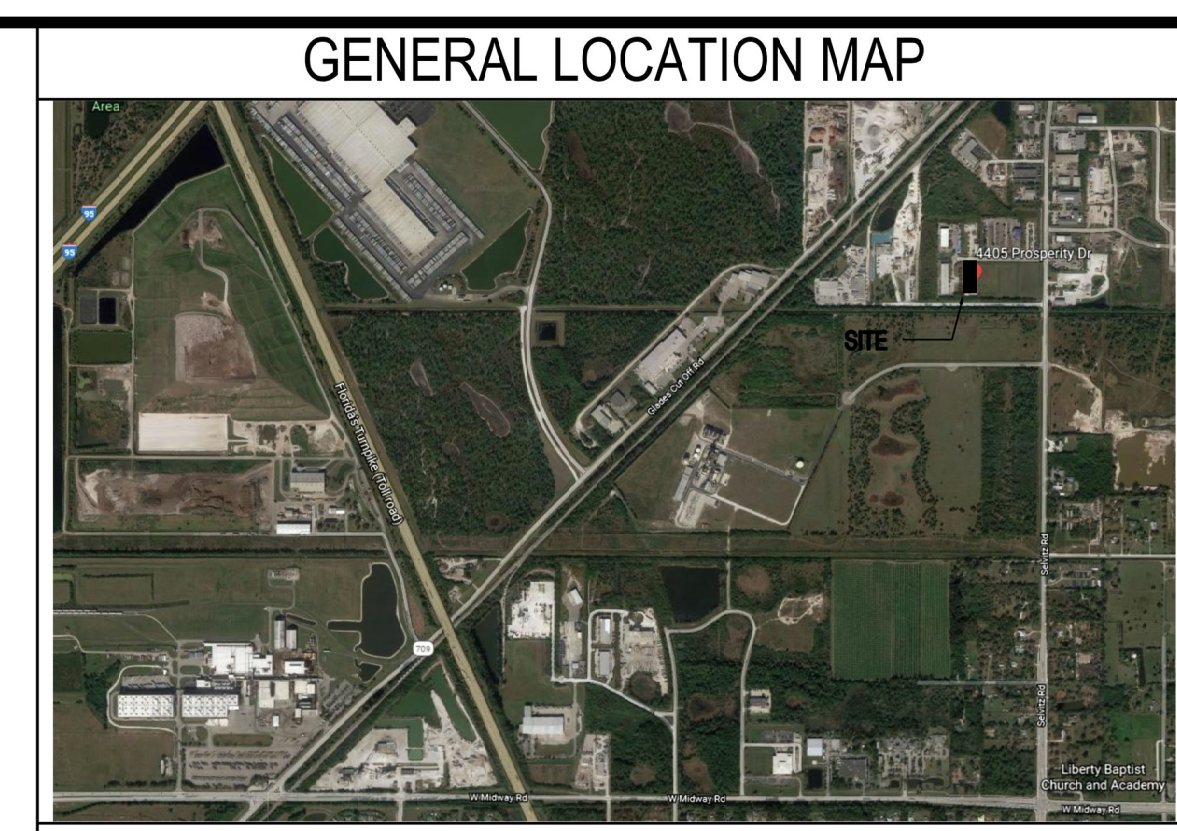
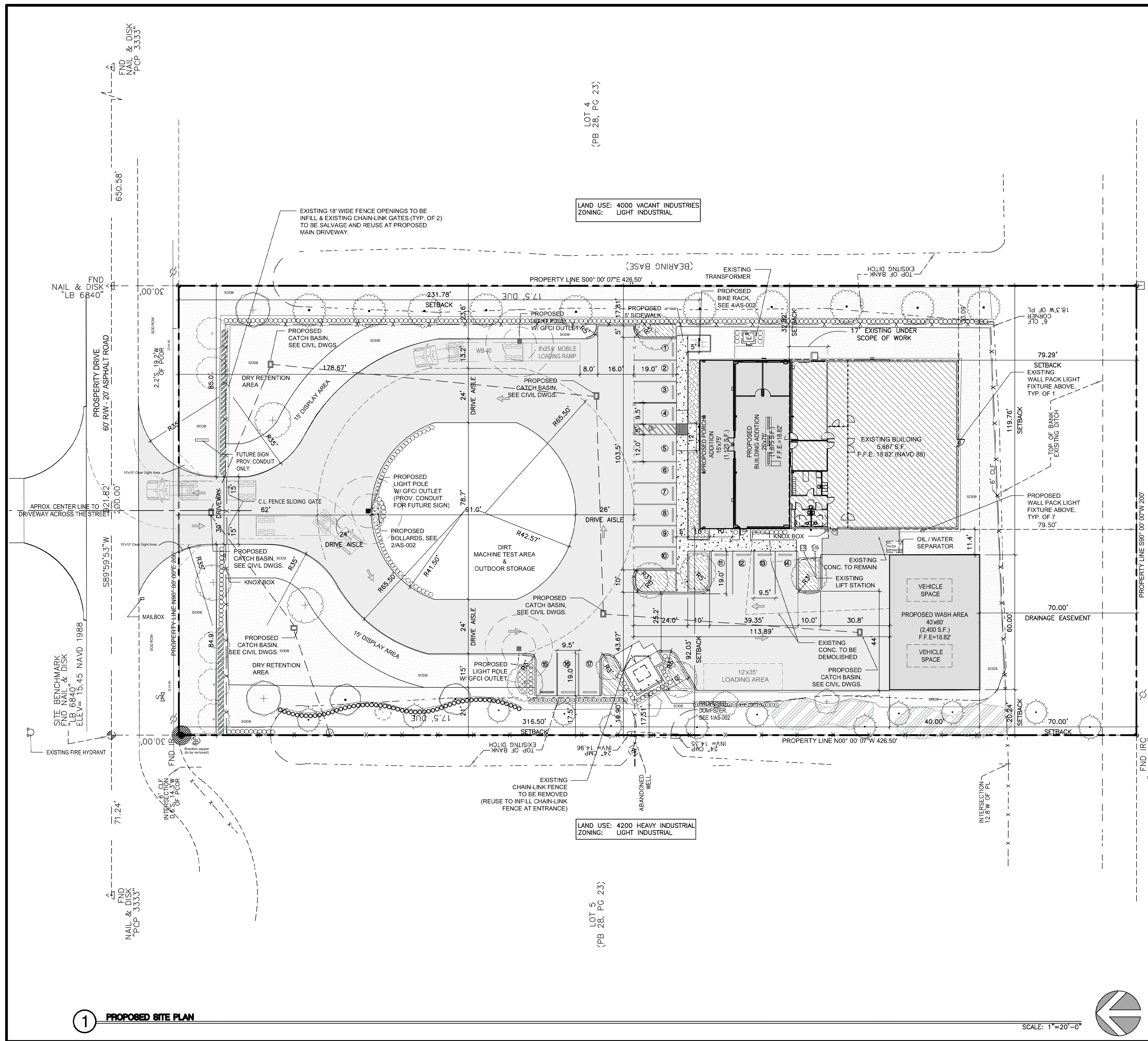


Sheet No.  
**IR-DETAILS**  
2 of 2









### DEVELOPMENT REGULATIONS

<b>SITE ADDRESS:</b>	4405 PROSPERITY DR, FORT PIERCE, FLORIDA
<b>PARCEL ID:</b>	2431-506-0005-000-8
<b>PROPERTY OWNER:</b>	SMITH BROS CONTRACTING EQUIPMENT INC.
<b>LEGAL DESCRIPTION:</b>	FT PIERCE BUSINESS PARK PHASE II LOT 4 (1.96 AC)
<b>ZONING DISTRICT:</b>	LIGHT INDUSTRIAL (I-1)
<b>LAND USE CODE:</b>	4100 LIGHT MANUFACTURING
<b>FUTURE LAND USE:</b>	4200 HEAVY INDUSTRIAL (HI)
<b>JURISDICTION:</b>	CITY OF FORT PIERCE, FLORIDA
<b>SUBDIVISION:</b>	PORT PIERCE BUSINESS PARK PHASE II
<b>BUILDING HEIGHT:</b>	ALLOWED: - PROVIDED: 23'-1 1/2"

### SITE DATA BREAKDOWN

	LINEAR FT.	SQ. FT.	ACRES	PERCENT
<b>TOTAL SITE</b>		= 85,300 S.F.	= 1.958 AC	
<b>IMPERVIOUS AREAS:</b>				
BUILDING AREA		= 11,067 S.F.		
TOTAL PAVED AREA		= 23,387 S.F.		
CONC. SIDEWALK		= 866 S.F.		
DUMPSTER/CONCRETE APRON		= 236 S.F.		
A/C PAD		= 40 S.F.		
TYPE "D" CURB				
TYPE "F" CURB				
<b>TOTAL IMPERVIOUS AREA:</b>		= 35,596 S.F.		
<b>PERVIOUS AREAS:</b>				
LANDSCAPE AREA		= 45,567 S.F.		
DIRT OUTDOOR STORAGE AREA		= 5,410 S.F.		
<b>TOTAL PERVIOUS AREA:</b>		= 50,977 S.F.		

### BUILDING SETBACKS

BUILDING SETBACKS:	MIN. REQ.	ADDITION TO EXIST. BLDG. PROVIDED	PROPOSED WASH AREA PROVIDED
FRONT (NORTH)	0'	231.78'	316.50'
SIDE (WEST)	0'	92.03'	20.24'
SIDE (EAST)	0'	32.82'	119.76'
REAR (SOUTH)	0'	79.29'	70.00'

### TOTAL BUILDING AREA

DESCRIPTION	SUBTOTAL	TOTAL
EXISTING BUILDING AREA		5,667 S.F.
PROPOSED BUILDING ADDITION AREA		1,875 S.F.
PROPOSED FRONT CANOPY AREA		1,125 S.F.
PROPOSED WASH AREA		2,400 S.F.
<b>TOTAL AREA</b>		<b>11,067 S.F.</b>

### PARKING CALCULATIONS

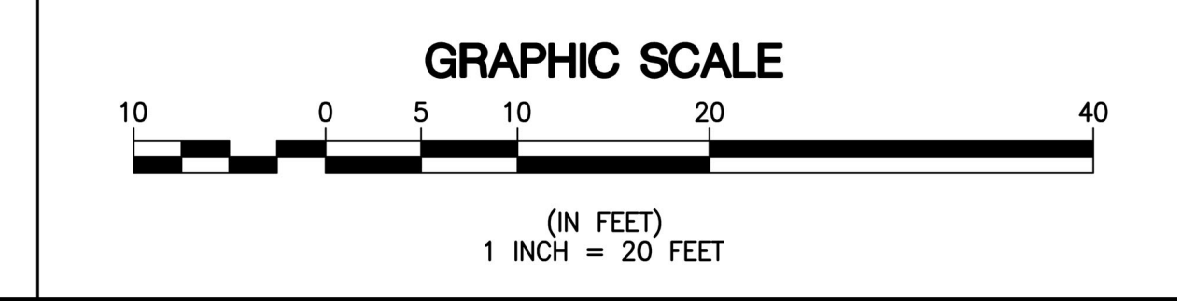
DESCRIPTION	REQUIRED	PROVIDED
PER SEC. 125.315 - OFF-STREET PARKING REQUIRED		
SECTION 125.315 (d)(2)(4) land(d)	19 SPACES	17 SPACES
1875 SF/200 SF. = 9.37		CANOPY, WASH AREA = 2 SPACES
SECTION 125.315 (d) (3) (a)		
5,667 SF/600 SF. = 9.4		
HANDICAP SPACES (1 PER 25 P.SPACES)	1 SPACES	1 SPACES
<b>TOTAL SPACES PROVIDED:</b>		<b>19 SPACES</b>

### LOADING REQUIREMENTS

DESCRIPTION	REQUIRED	PROVIDED
PER SEC. 125-315 (a) - OFF-STREET LOADING REQUIRED		
LOADING SPACE = 12' WIDE AND 35' DEEP	1 SPACE	1 SPACE

### BICYCLE PARKING

DESCRIPTION	REQUIRED	PROVIDED
PER SEC. 125-315 (1)(a)		
COMMERCIAL REQUIREMENTS: 1 PER 10	2 SPACE	2 SPACE
PARKING SPACES, 2 MINIMUM		

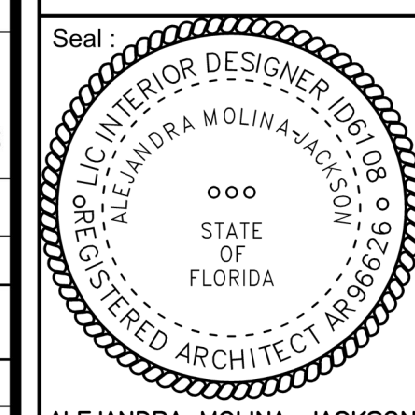


### REVISIONS

NO.	DESCRIPTION

PROPOSED FACILITY RENOVATION FOR  
**BOBCAT**  
TREASURE COAST  
4405 PROSPERITY DR, FORT PIERCE, FL 34981

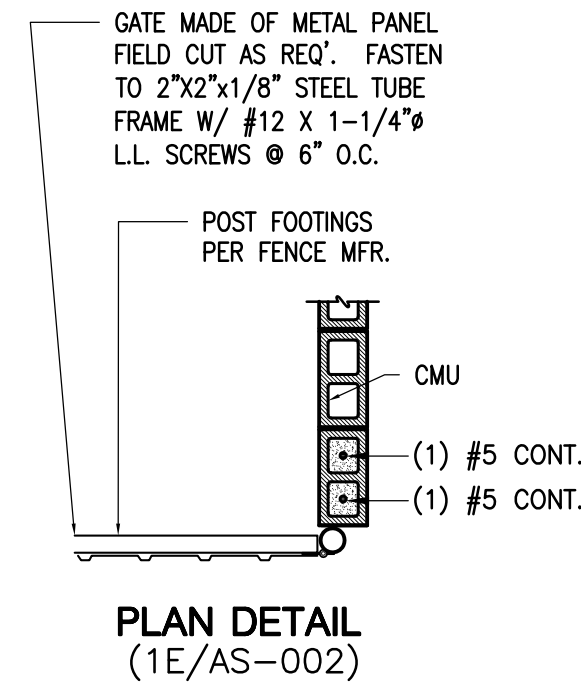
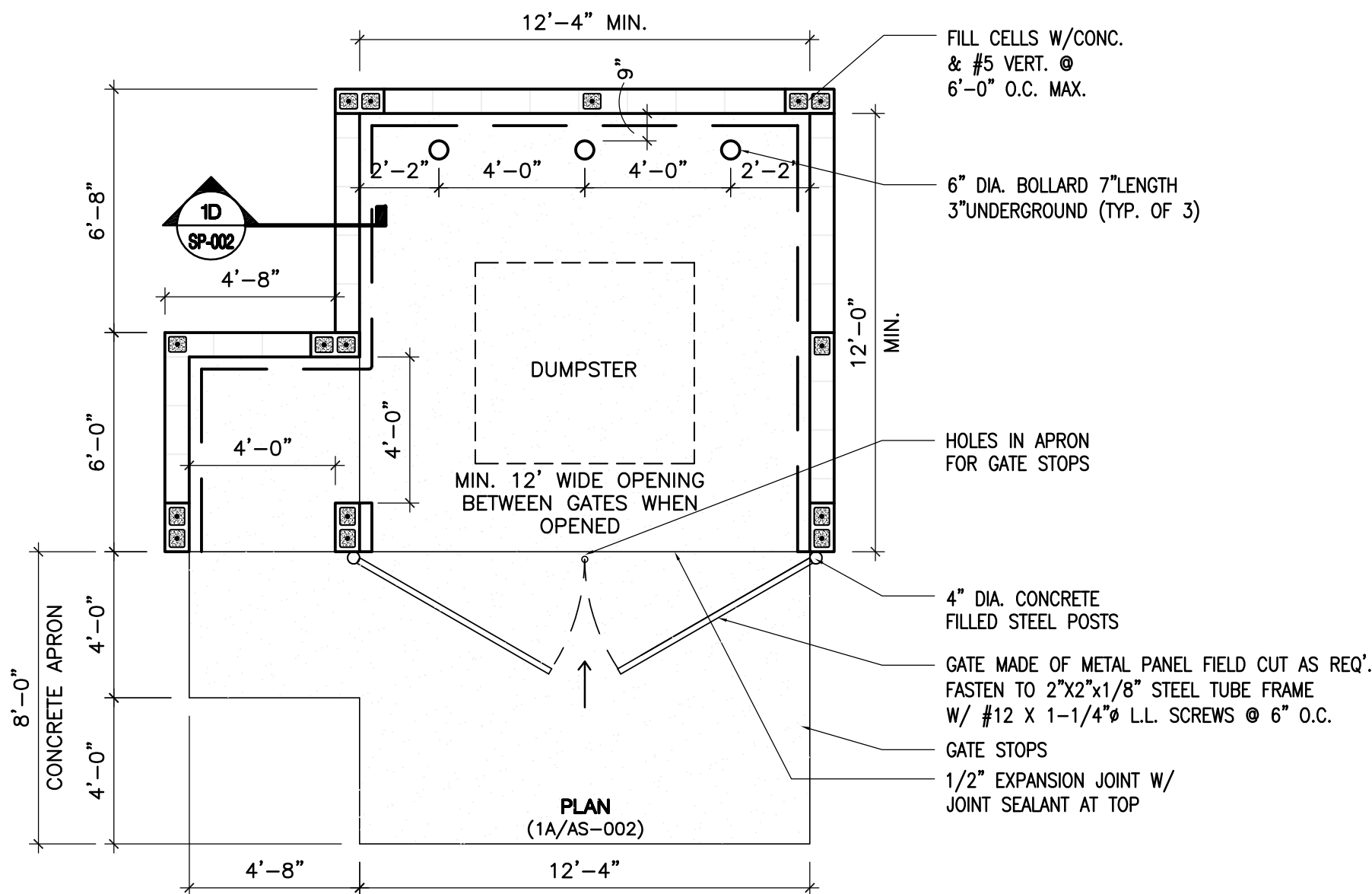
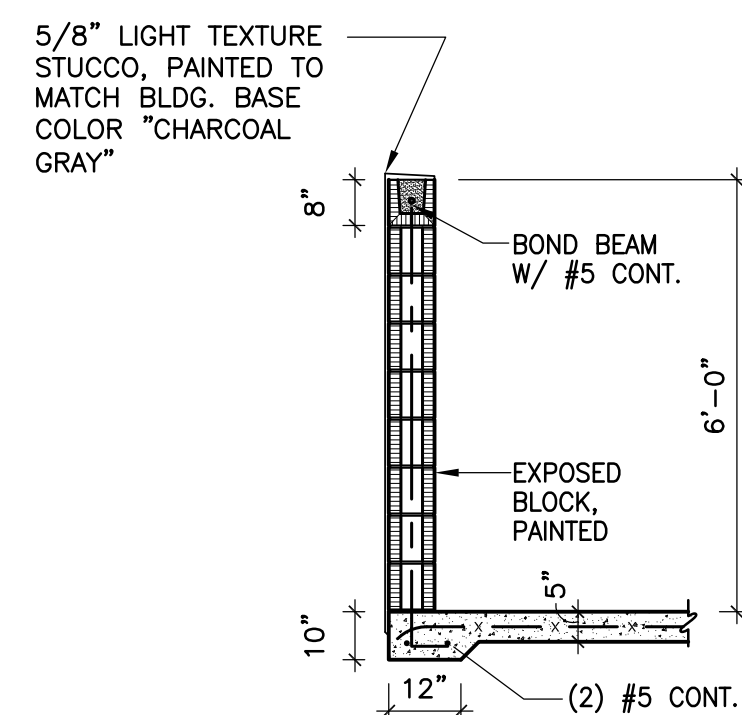
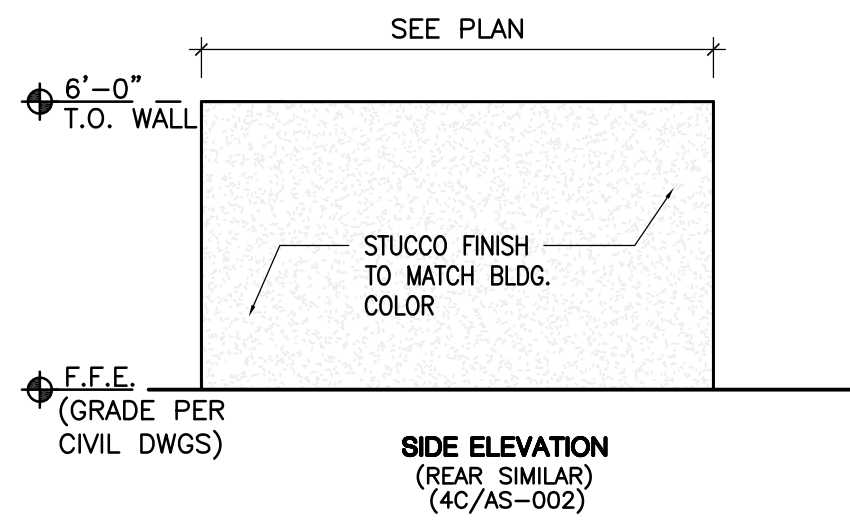
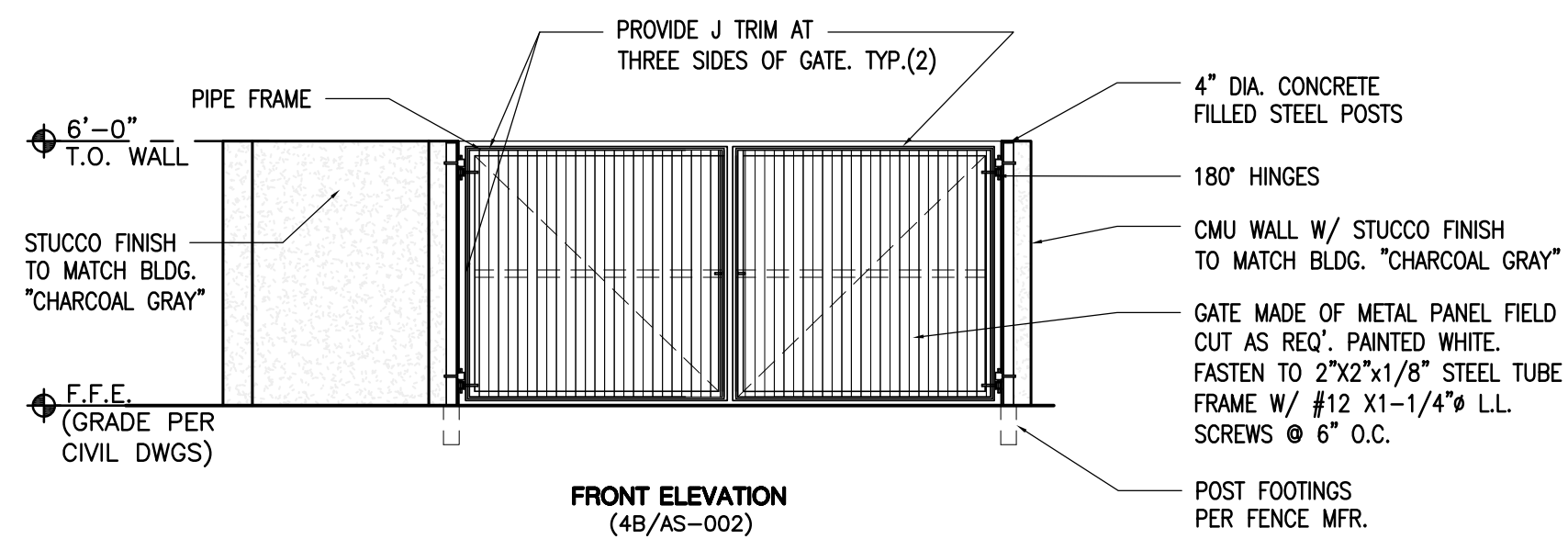
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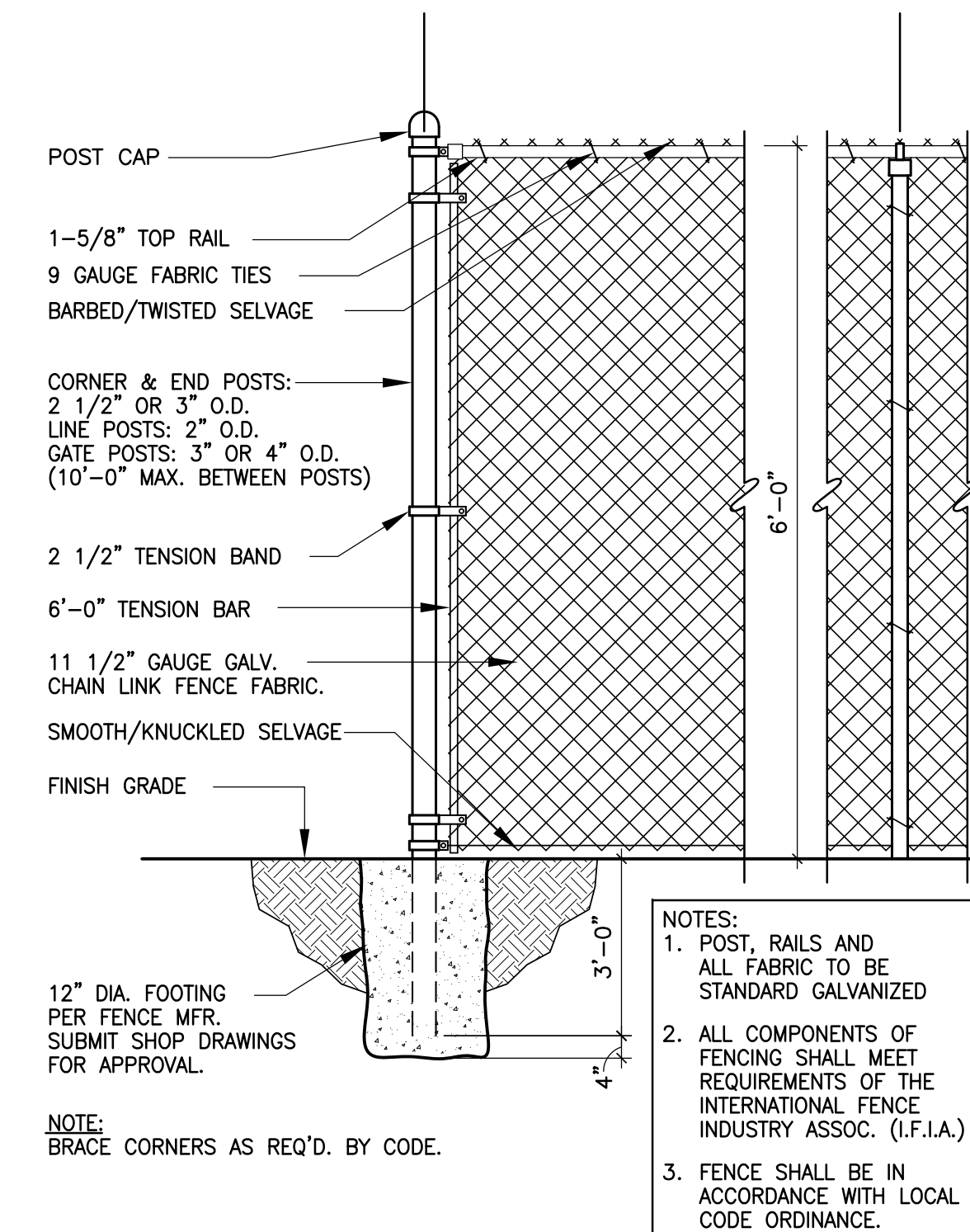
ALEJANDRA MOLINA-JACKSON  
LICENSE # AR96626  
DATE 11-25-20  
SCALE AS SHOWN  
DRAWN -  
JOB 20-000035  
SHEET NAME PROPOSED SITE PLAN  
SHEET # AS-001

1 PROPOSED SITE PLAN

SCALE: 1"=20'-0"



- NOTES:**
1. THE MINIMUM WALL THICKNESS OF THE PIPE SHALL BE 0.188"
  2. ALL POST SHALL HAVE 2 COATS OF PRIMER AND 2 COAT OF YELLOW TOP COAT. U.N.O.
  3. THE PRIMER COAT SHALL MEET THE REQUIREMENTS OF FDOT 971-5.
  4. ALL CONCRETE SHALL BE FDOT CLASS 1.

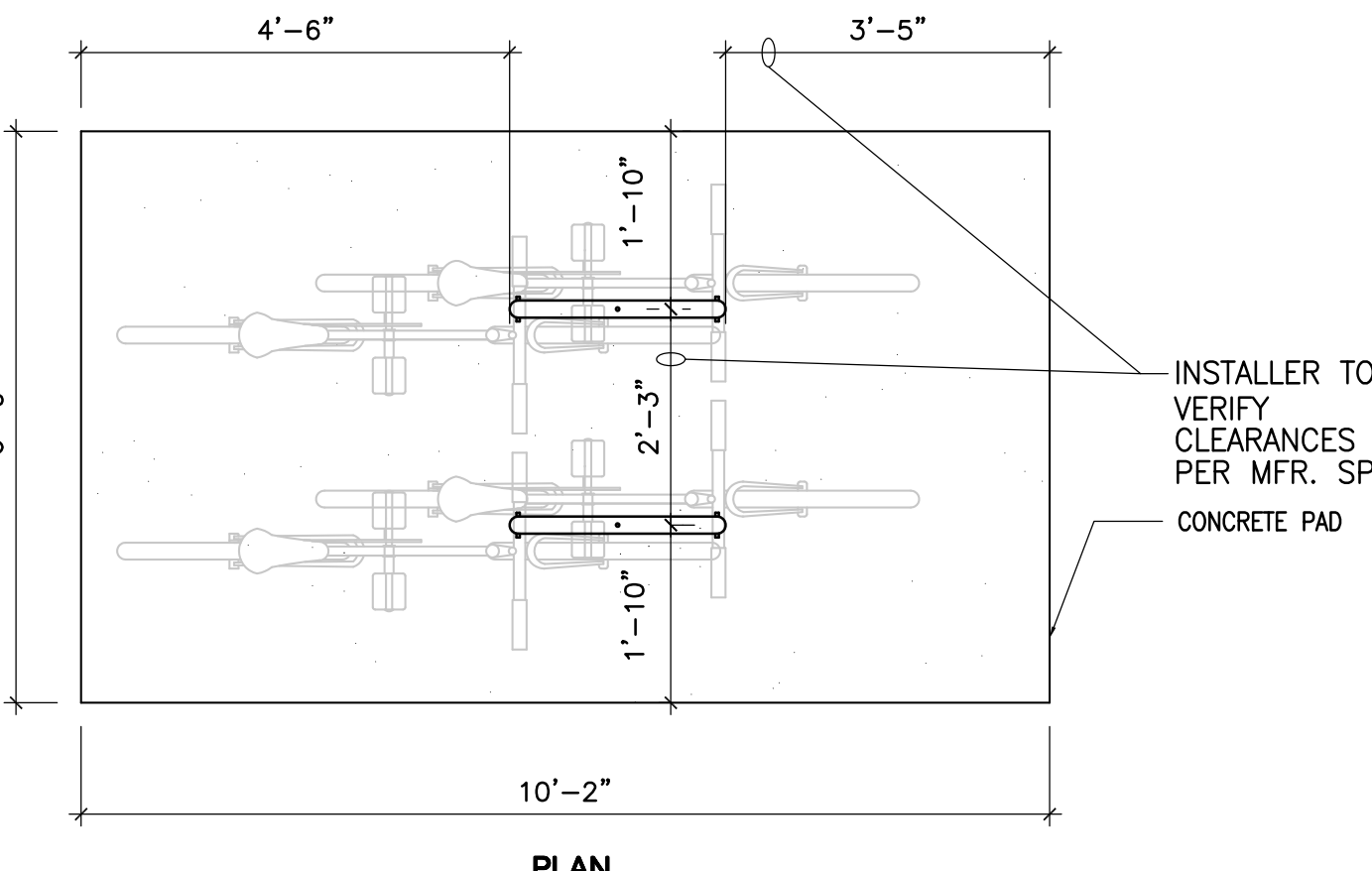
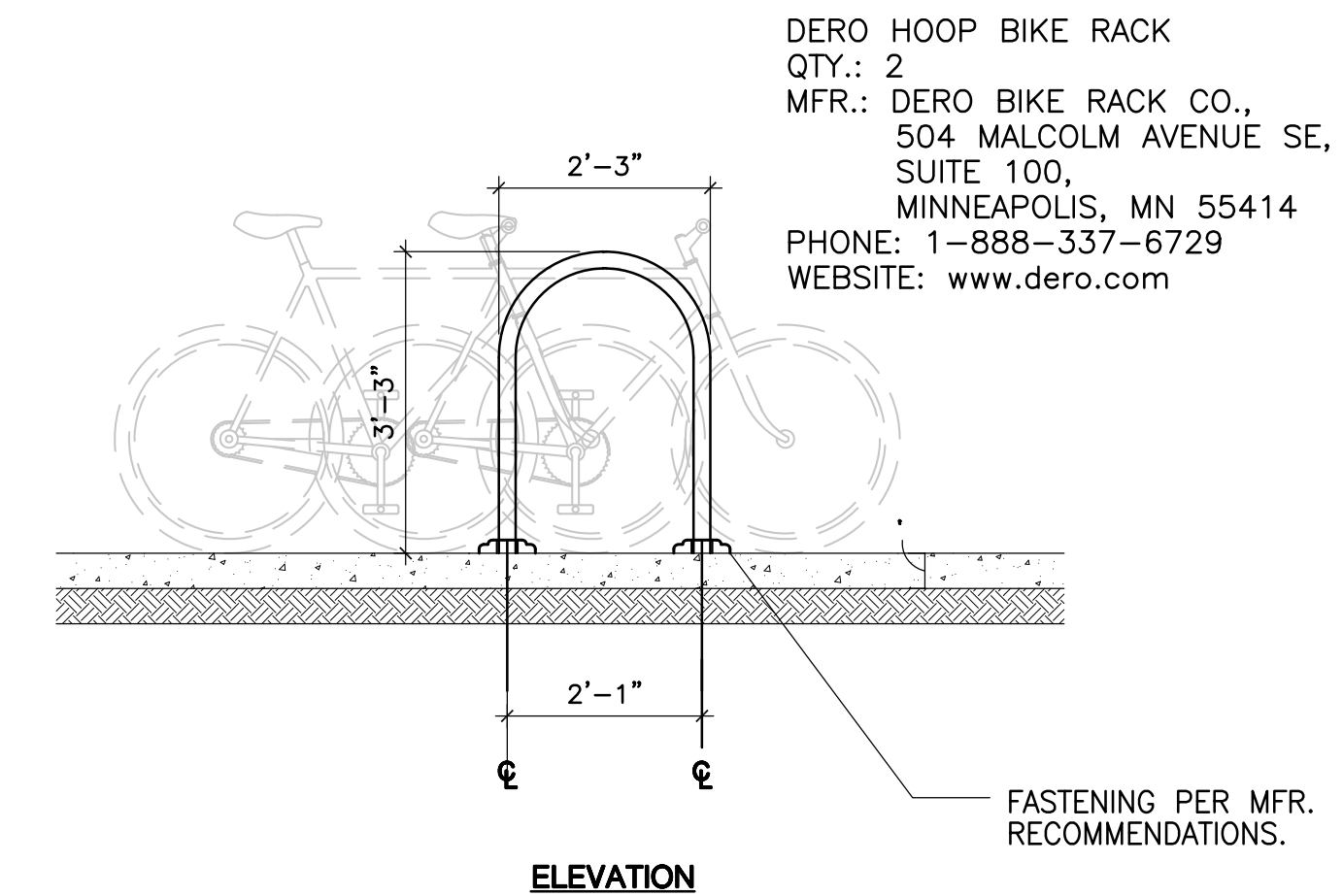


- NOTES:**
1. POST, RAILS AND ALL FABRIC TO BE STANDARD GALVANIZED
  2. ALL COMPONENTS OF FENCING SHALL MEET REQUIREMENTS OF THE INTERNATIONAL FENCE INDUSTRY ASSOC. (I.F.I.A.)
  3. FENCE SHALL BE IN ACCORDANCE WITH LOCAL CODE ORDINANCE.

**1 DUMPSTER ENCLOSURE DETAIL**  
SCALE: 3/4"=1'-0"

**2 BOLLARD PROFILE DETAIL**  
SCALE: 3/4"=1'-0"

**3 CHAIN LINK FENCE DETAIL**  
SCALE: 3/4"=1'-0"



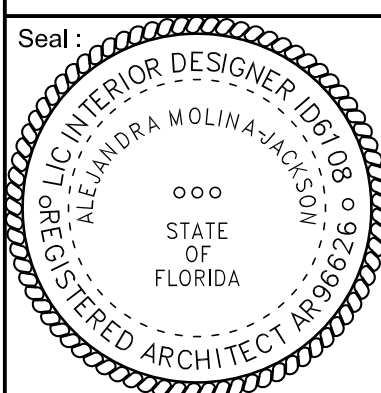
**4 BIKE RACK DETAIL**  
SCALE: 1/2"=1'-0"

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**REVISIONS**

NO.	DATE	DESCRIPTION

**PROPOSED FACILITY RENOVATION FOR BOBCAT TREASURE COAST**  
4405 PROSPERITY DR, FORT PIERCE, FL 34981



ALEJANDRA MOLINA-JACKSON  
LICENSE # AR96626  
DATE 11-25-20  
SCALE AS SHOWN  
DRAWN -  
JOB 20-000035  
SHEET NAME SITE DETAILS

SHEET # AS-002

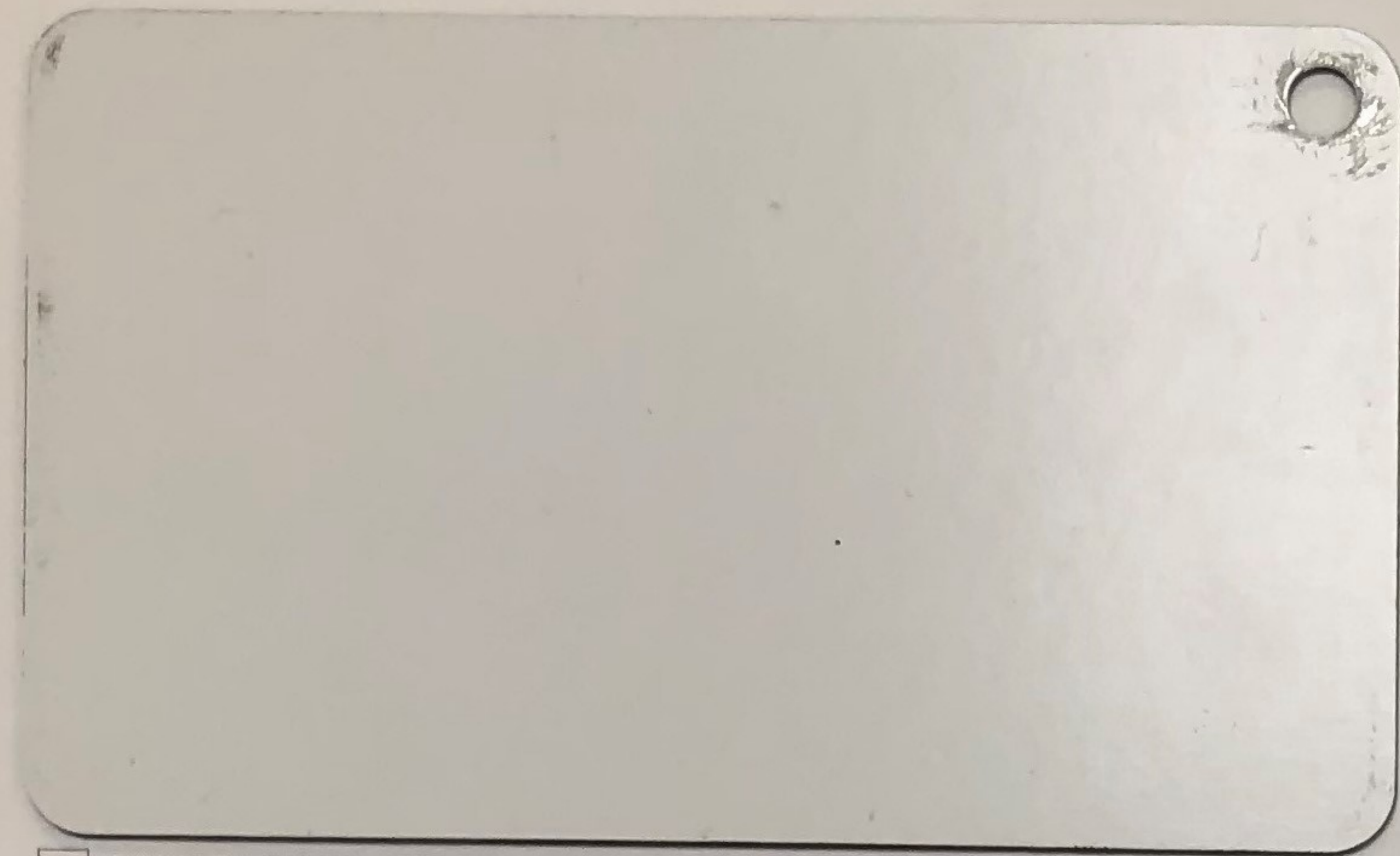








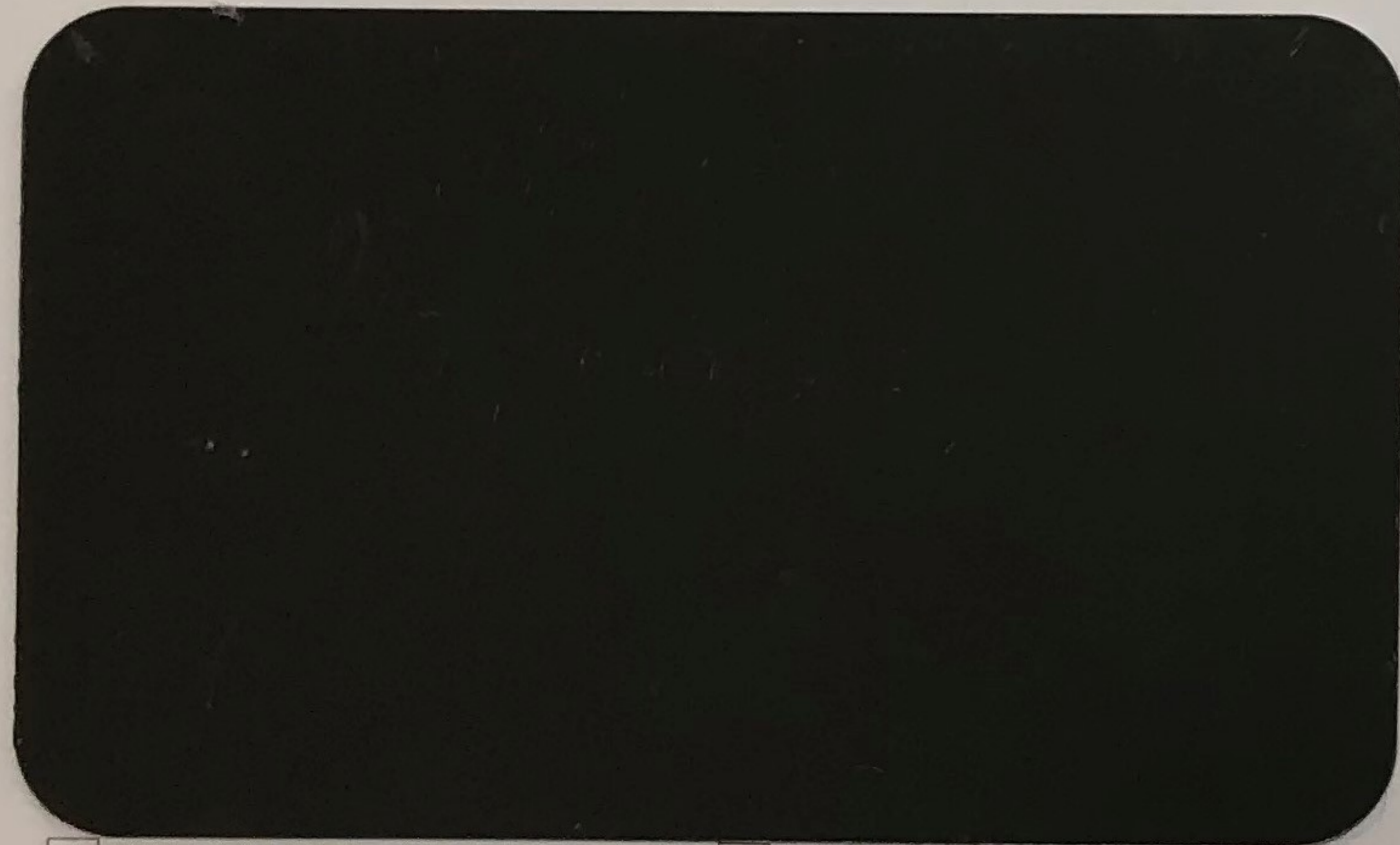
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B ROOF PANELS - SOLAR WHITE

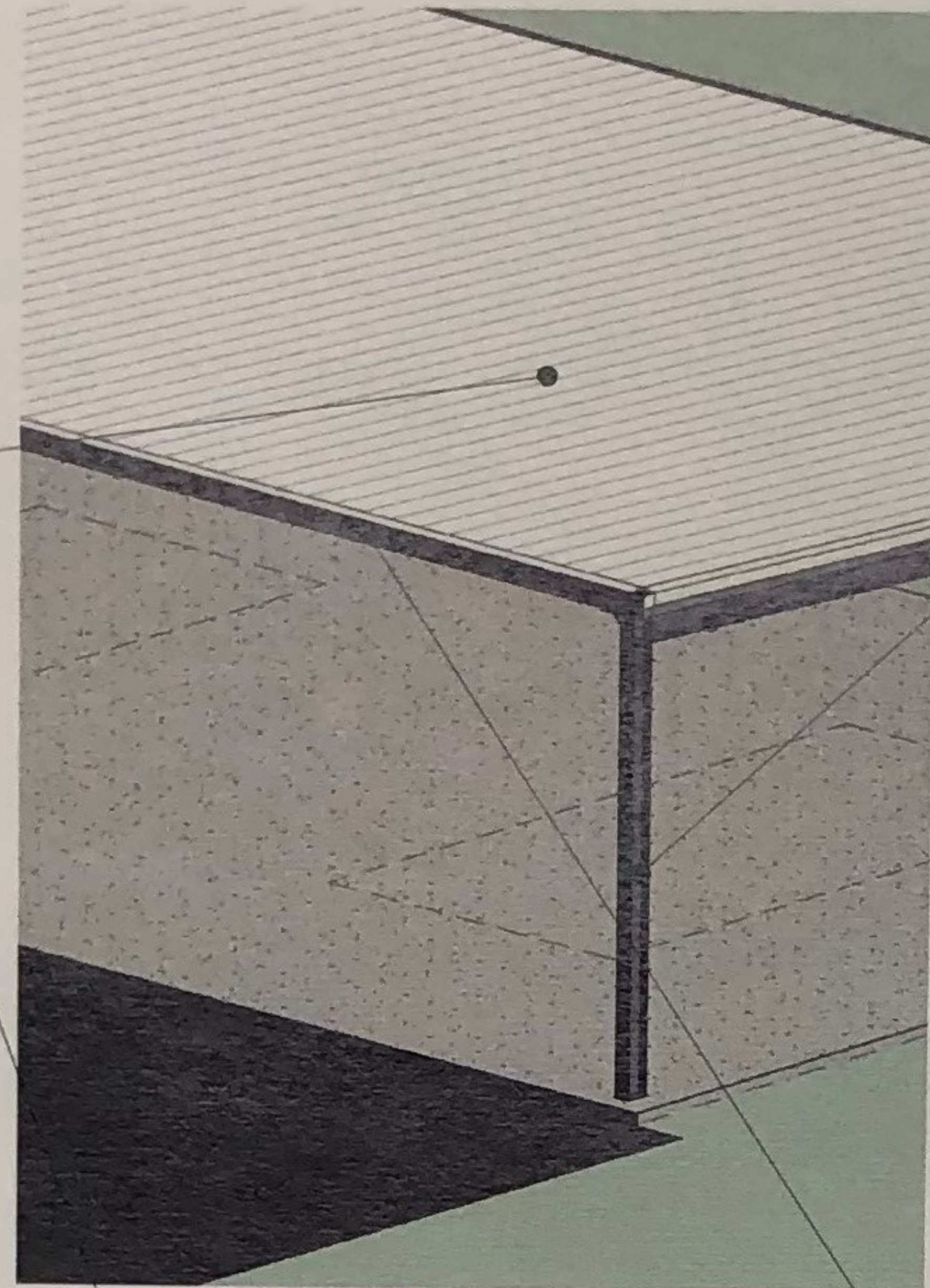


B1 ROOF PANELS FRONT CANOPY- GALVALUME PLUS

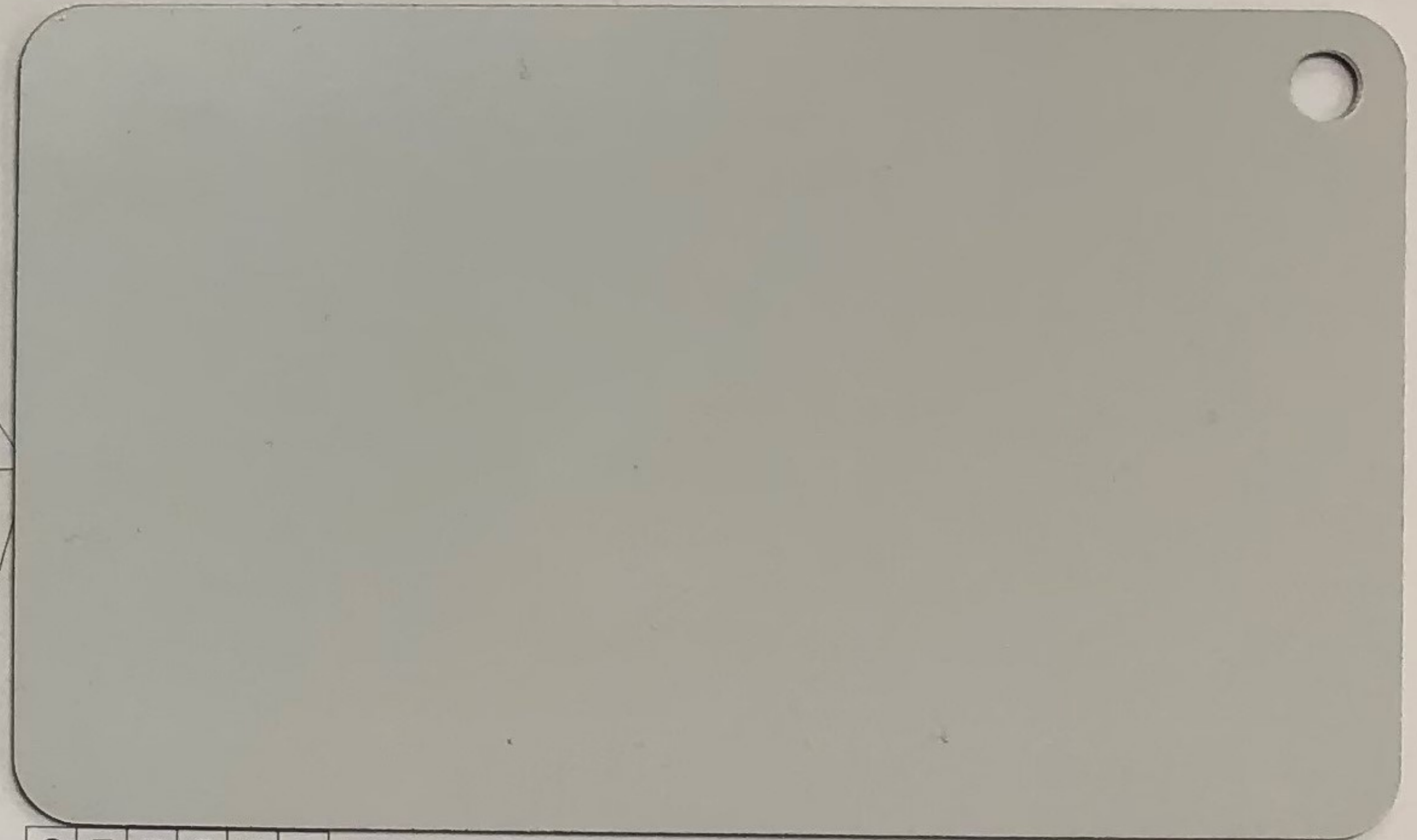


A WALL PANELS - CHARCOAL GRAY

K EXPOSED STRUCTURE - CHARCOAL GRAY



Q WASH AREA - EXPOSED STRUCTURE - PRE-GALVANIZED & GALVANIZED



C E F G H L TRIMS - POLAR WHITE



R LIGHT GRAY STONE VENEER



M EXISTING WALL PANELS - LIGHT BLUE

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**TREASURE COAST  
BOBCAT**

4405 PROSPERITY DRIVE, FORT PIERCE, FLORIDA 34981

NAME: AJEJANDRA  
MOLINA-JACKSON  
LICENSE #: AR96626

DATE: 11/25/2020

DRAWN:

JOB: 20-000035

SHEET TITLE:

COLOR BOARD

SHEET #:

11X17

# Bobcat Treasure Coast

4405 Prosperity Drive  
Fort Pierce, Florida

## TRAFFIC STATEMENT

prepared for:  
Ahrens Companies

**KBP** CONSULTING, INC.

**December 2020**

# **Bobcat Treasure Coast**

**4405 Prosperity Drive**

**Fort Pierce, Florida**

## **Traffic Statement**

**December 2020**

*Prepared for:*  
**Ahrens Companies**

*Prepared by:*  
**KBP Consulting, Inc.**  
**8400 N. University Drive, Suite 309**  
**Tamarac, Florida 33321**  
**Phone: (954) 560-7103**

---

Karl B. Peterson, P.E.  
Florida Registration Number 49897  
KBP Consulting, Inc.  
8400 N. University Drive, Suite 309  
Tamarac, Florida 33321  
CA # 29939

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## INTRODUCTION

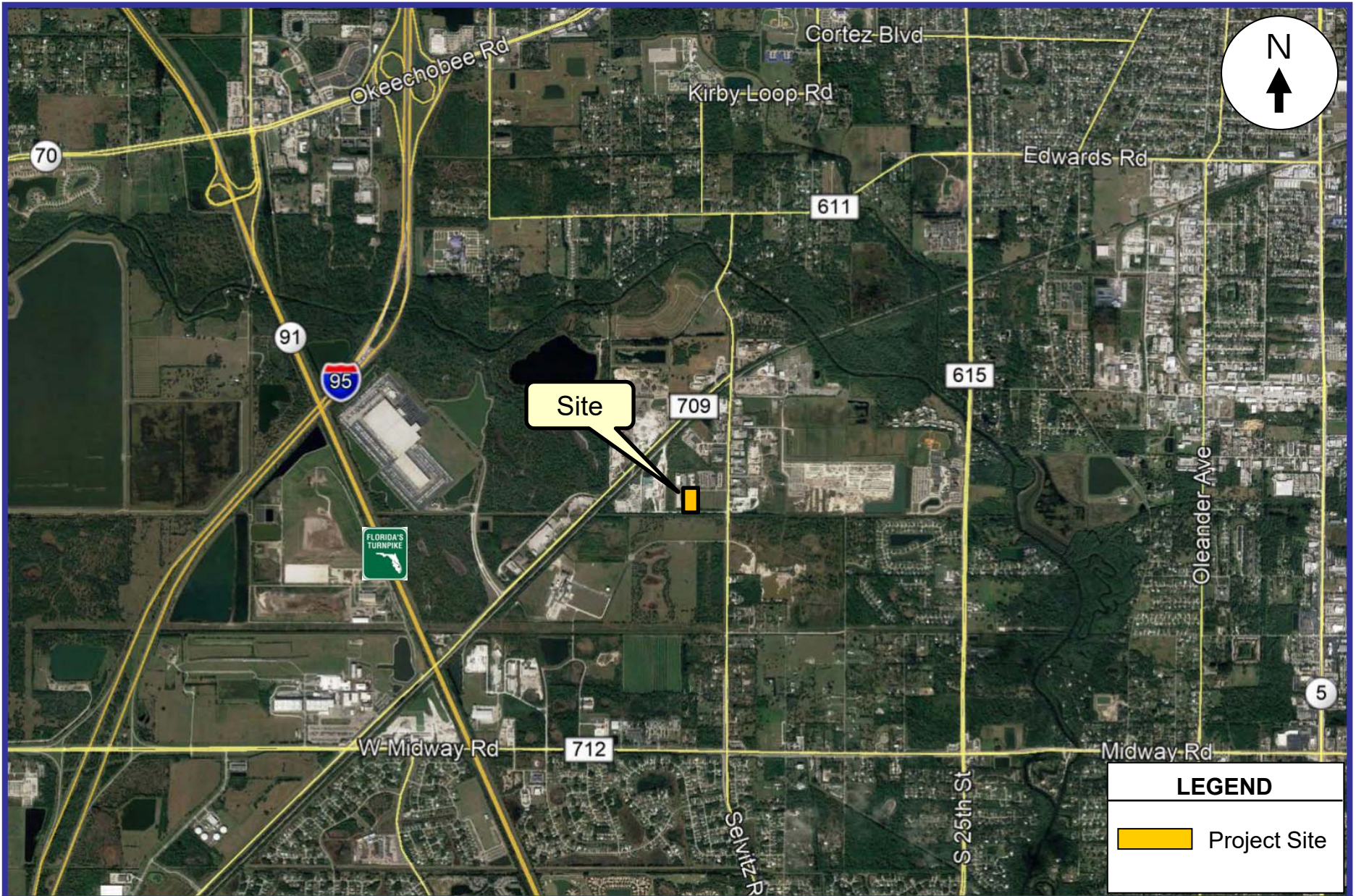
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There is a parcel of land located on the south side of Prosperity Drive approximately 700 feet to the west of Selvitz Road in Fort Pierce, St. Lucie County, Florida. More specifically the subject parcel is located at 4405 Prosperity Drive and the St. Lucie County Parcel ID Number is 2431-506-0005-000-8. This site and the existing industrial building are currently occupied by Bobcat Treasure Coast (Smith Brothers Contracting Equipment, Inc.). The location of this project site is illustrated in Figure 1 on the following page.

KBP Consulting, Inc. has been retained by the Ahrens Companies to prepare a traffic statement in connection with the proposed expansion the existing Bobcat Treasure Coast facilities and operations at this location. This study addresses the trip generation characteristics of the existing and proposed facilities and the projected turning movement volumes at the project driveway on Prosperity Drive.

This traffic statement is divided into four (4) sections, as listed below:

1. Inventory
2. Trip Generation
3. Trip Distribution and Driveway Assignment
4. Summary & Conclusions



**KBP**  
CONSULTING, INC.

## Project Location Map

**FIGURE 1**  
Bobcat Treasure Coast  
Fort Pierce, Florida

## INVENTORY

---

### **Existing Land Use and Access**

The land area of the subject site is approximately 1.958 acres (+/- 83,500 square feet) and the current zoning is Light Industrial (I-1). There is one (1) existing metal building on site with a floor area of approximately 5,667 square feet and vehicular access is provided by one (1) full access driveway on Prosperity Drive. As stated previously, the site is occupied by Bobcat Treasure Coast and the activities conducted at this site include sales, service, parts and rentals related to construction equipment.

### **Proposed Land Use and Access**

The subject site will continue to be occupied by Bobcat Treasure Coast. The proposed plan for this site involves the expansion of the existing facilities to better serve the needs of their existing customers. The existing building will be expanded to the north to include an additional 1,875 square feet of indoor space. This area will accommodate the relocated customer service counter as well as new office and display areas. The proposed plan also includes a porch / canopy area (1,125 square feet) and an equipment wash area. The 40-foot by 60-foot equipment wash area (2,400 square feet) will be covered but not enclosed. The total resulting building area will be 11,067 square feet.

Vehicular access to the site will be improved by aligning their driveway with the existing driveway on the north side of Prosperity Drive. The width of the driveway serving Bobcat Treasure Coast will also be widened to 30 feet to better accommodate vehicles entering and exiting the site. The site will include 19 parking spaces, one (1) of which will be a handicap parking space, and a 12-foot by 35-foot loading area. A bicycle rack will also be located on the east side of the proposed porch / canopy area. Appendix A contains the preliminary site plan for the proposed development. Appendix B contains the proposed floor plan. And Appendix C contains the proposed exterior elevations.

---

## **Roadway System**

Prosperity Drive provides direct access to the subject Bobcat Treasure Coast site. This roadway is a two-lane local facility that dead ends immediately west of the subject site. To the east, this roadway intersects with Selvitz Road. This roadway is a two-lane County roadway oriented generally in the north-south direction and extends from NW Floresta Drive to the south to Edwards Road to the north. In the area of Prosperity Drive, Selvitz Road is a three-lane section with one (1) northbound lane, one (1) southbound lane and a center two-way left-turn lane. The posted speed limit in this area is 40 miles per hour (mph).

## TRIP GENERATION

A trip generation analysis has been conducted for the proposed development. The analysis was performed utilizing the trip generation rates and equations published in the Institute of Transportation Engineer’s (ITE) *Trip Generation Manual (10<sup>th</sup> Edition)*. The trip generation analysis was undertaken for daily, AM peak hour and PM peak hour conditions. According to the referenced ITE manual, the most appropriate land use category and corresponding trip generation equations for the existing and proposed development are as follows:

**ITE Land Use #110 – General Light Industrial**

- Weekday:  $T = 3.79 (X) + 57.96$   
*where T = number of trips and X = 1,000 square feet of gross floor area*
- AM Peak Hour:  $Ln (T) = 0.74 Ln (X) + 0.39$  (88% in / 12% out)
- PM Peak Hour:  $Ln (T) = 0.69 Ln (X) + 0.43$  (13% in / 87% out)

Utilizing the trip generation equations from the referenced ITE manual, a trip generation analysis was undertaken for the existing and proposed development on the subject site. The results of this effort are documented in Table 1 below. Relevant excerpts from the ITE manual are presented in Appendix D.

<b>Table 1</b>								
<b>Trip Generation Summary</b>								
<b>Bobcat Treasure Coast - Fort Pierce, Florida</b>								
<b>Land Use</b>	<b>Size</b>	<b>Daily Trips</b>	<b>AM Peak Hour Trips</b>			<b>PM Peak Hour Trips</b>		
			<b>In</b>	<b>Out</b>	<b>Total</b>	<b>In</b>	<b>Out</b>	<b>Total</b>
<i><b>Existing</b></i>								
General Light Industrial	5,667 SF	79	4	1	5	1	4	5
<i><b>Proposed</b></i>								
General Light Industrial	11,067 SF	100	8	1	9	1	7	8
<b>Difference (Proposed - Existing)</b>		<b>21</b>	<b>4</b>	<b>0</b>	<b>4</b>	<b>0</b>	<b>3</b>	<b>3</b>

*Compiled by: KBP Consulting, Inc. (December 2020).  
 Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (10th Edition).*

As indicated in Table 1, the proposed project is anticipated to generate 100 daily vehicle trips, nine (9) AM peak hour vehicle trips (8 inbound and 1 outbound) and eight (8) vehicle trips (1 inbound and 7 outbound) during the typical afternoon peak hour.

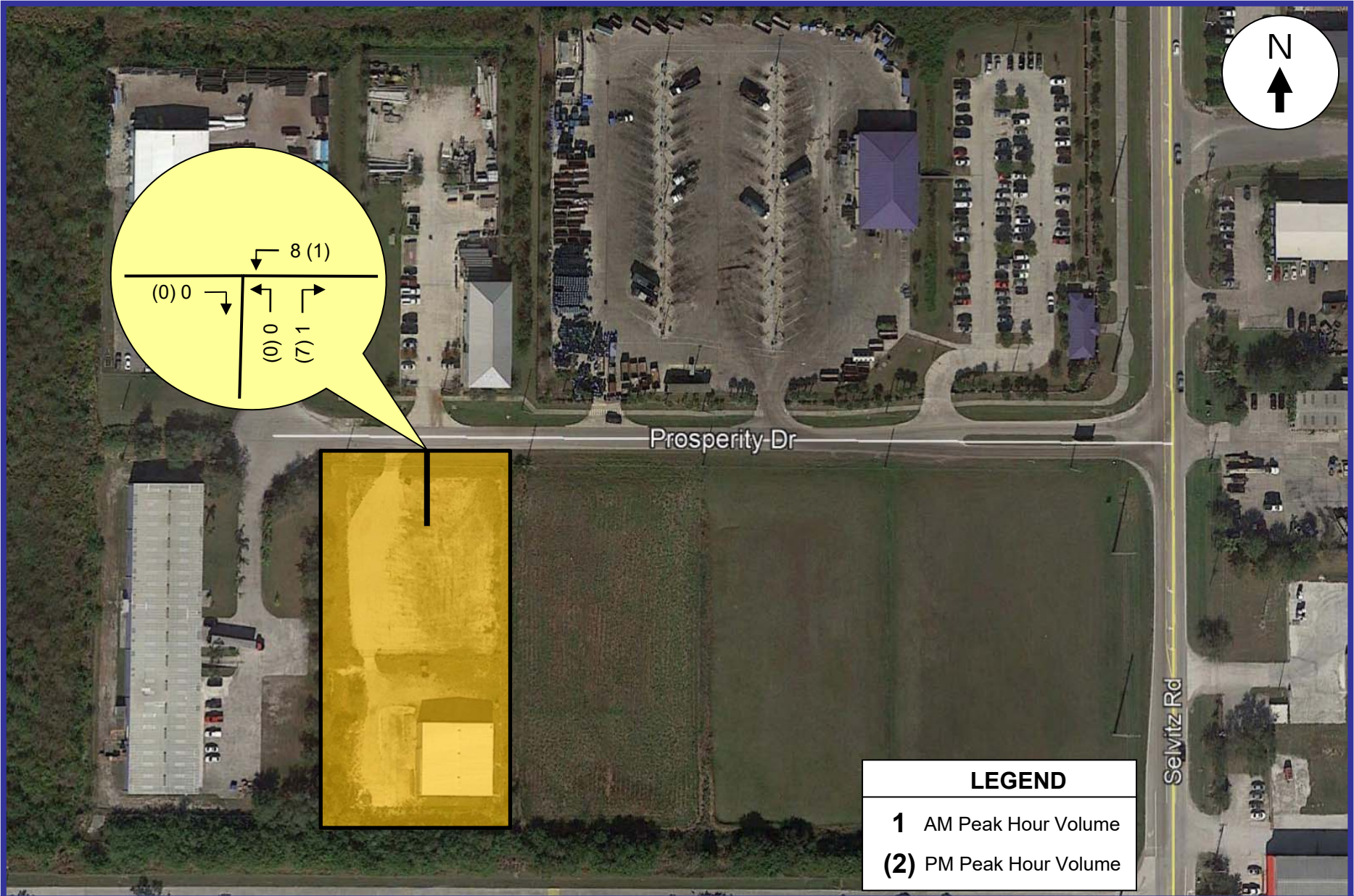
---

When considering the existing light industrial development on the site being operated by Bobcat Treasure Coast, the represents an increase of 21 daily vehicle trips, an increase of four (4) AM peak hour vehicle trips, and an increase of three (3) PM peak hour vehicle trips. As a result of the minor increase in traffic associated with the proposed building expansion, the additional vehicle trips are considered to be “de minimis”.

## **TRIP DISTRIBUTION AND DRIVEWAY ASSIGNMENT**

---

Based upon the proposed site plan, driveway location and the configuration of Prosperity Drive (i.e. a dead-end roadway to the west), all of the project traffic will enter the site from the east and will exit the site to the east (i.e. toward Selvitz Road). Figure 2 on the following page presents the AM and PM peak hour driveway volumes at project buildout.



## **SUMMARY & CONCLUSIONS**

---

There is a parcel of land located on the south side of Prosperity Drive approximately 700 feet west of Selvitz Road in Fort Pierce, St. Lucie County, Florida. More specifically the subject parcel is located at 4405 Prosperity Drive. This site and the existing industrial building are currently occupied by Bobcat Treasure Coast.

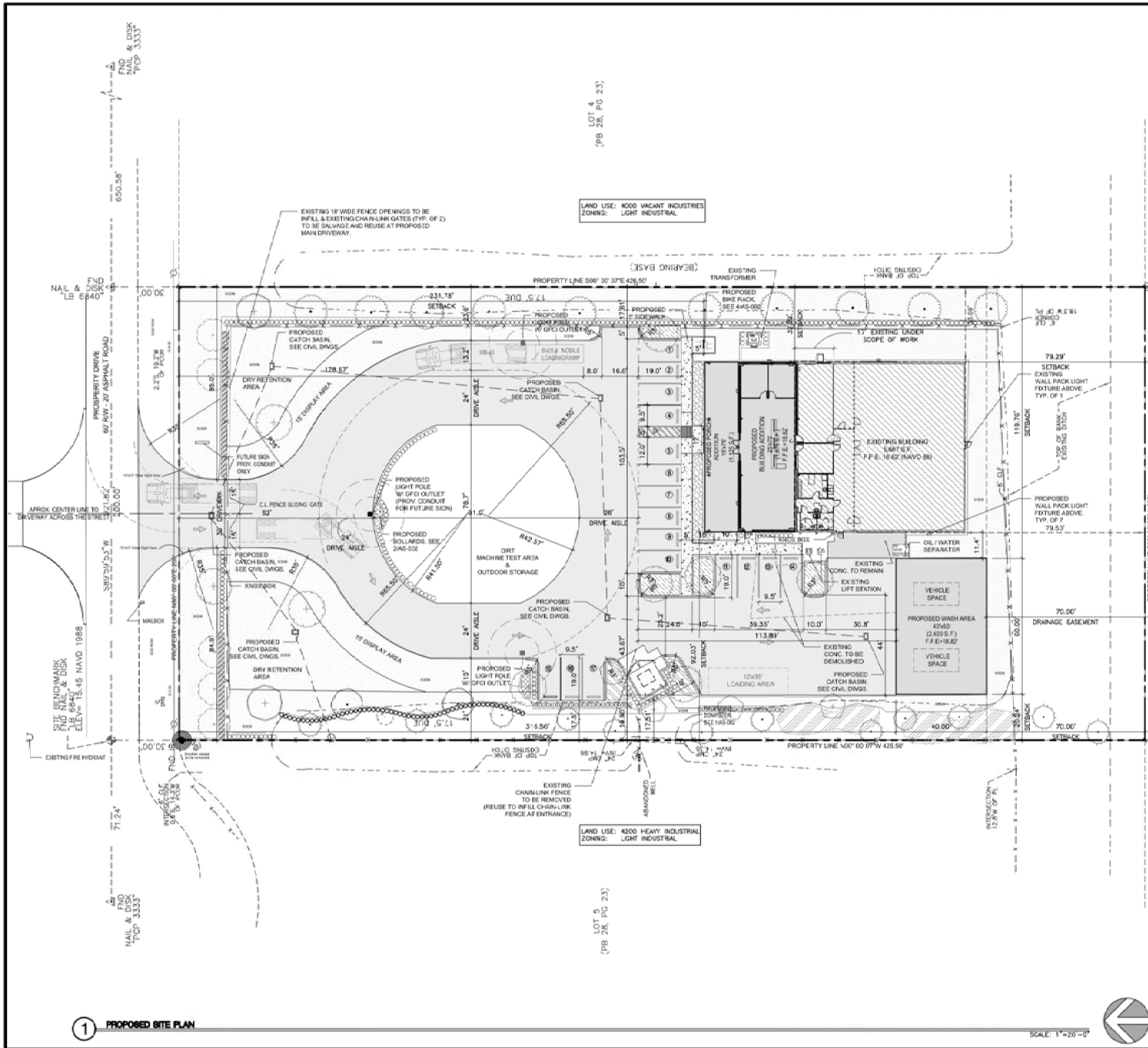
The land area of the subject site is approximately 1.958 acres (+/- 83,500 square feet) and the zoning is Light Industrial (I-1). There is one (1) existing metal building on site with a floor area of 5,667 square feet and vehicular access is provided by one (1) full access driveway on Prosperity Drive. The proposed plan involves the expansion of the existing facilities to better serve the needs of the existing customers of Bobcat Treasure Coast. The total resulting building area will be 11,067 square feet.

The trip generation analysis indicates that the proposed project is anticipated to generate 100 daily vehicle trips, nine (9) AM peak hour vehicle trips (8 inbound and 1 outbound) and eight (8) vehicle trips (1 inbound and 7 outbound) during the typical afternoon peak hour. When considering the existing light industrial development on the site being operated by Bobcat Treasure Coast, the represents an increase of 21 daily vehicle trips, an increase of four (4) AM peak hour vehicle trips, and an increase of three (3) PM peak hour vehicle trips. As a result of the minor increase in traffic associated with the proposed building expansion, the additional vehicle trips are considered to be “de minimis”.

# **Appendix A**

**Bobcat Treasure Coast – Fort Pierce**

**Site Plan**



### DEVELOPMENT REGULATIONS

SITE ADDRESS:	4405 PROSPERITY DR, FORT PIERCE, FLORIDA
PARCEL ID:	2431-006-0005-00-8
PROPERTY OWNER:	SMITH BROS CONTRACTING EQUIPMENT INC.
LEGAL DESCRIPTION:	FT PIERCE BUSINESS PARK PHASE II LOT 4 (1.96 AC)
ZONING DISTRICT:	LIGHT INDUSTRIAL (I-1)
LAND USE CODE:	4100 LIGHT MANUFACTURING
FUTURE LAND USE:	4200 HEAVY INDUSTRIAL (HI)
JURISDICTION:	CITY OF FORT PIERCE, FLORIDA
SUBDIVISION:	FORT PIERCE BUSINESS PARK PHASE II
BUILDING HEIGHT:	ALLOWED: 35'-11.00" PROVIDED: 35'-11.00"

### SITE DATA BREAKDOWN

TOTAL SITE	LINEAR FT.	SQ. FT.	ACRES	PERCENT
IMPERVIOUS AREA:		65,300 S.F.	1.938 AC	
BUILDING AREA		11,067 S.F.		
TORX WARE AREA		23,387 S.F.		
CONC. SIDEWALK		866 S.F.		
DUMPSTER/CONCRETE APRON		236 S.F.		
A/C PAD		40 S.F.		
TYP. T <sup>2</sup> CURB				
TYP. T <sup>1</sup> CURB				
TOTAL IMPERVIOUS AREA:		35,996 S.F.		
PERVIOUS AREA:				
LANDSCAPE AREA		45,567 S.F.		
DIRT OUTDOOR STORAGE AREA		5,410 S.F.		
TOTAL PERVIOUS AREA:		50,977 S.F.		

### BUILDING SETBACKS

BUILDING SETBACK:	MIN. REQ.	ADDN TO EXIST. BLDG.	PROVIDED	PROPOSED WASH AREA
FRONT(NORTH)	0'	23'-78"	3'-16.50"	17 SPACES
SID. (WEST)	0'	92.03'	20.24'	CANOPY WASH AREA= 2 SPACES
SID. (EAST)	0'	35.82'	119.76'	
REAR (SOUTH)	0'	78.29'	70.00'	

### TOTAL BUILDING AREA

DESCRIPTION	SUBTOTAL	TOTAL
EXISTING BUILDING AREA	5,647 S.F.	
PROPOSED BUILDING ADDITION AREA	1,875 S.F.	
PROPOSED FRONT CANOPY AREA	1,125 S.F.	
PROPOSED WASH AREA	2,400 S.F.	
TOTAL AREA	11,067 S.F.	

### PARKING CALCULATIONS

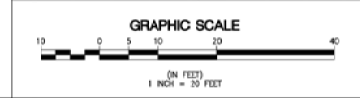
PER SEC. 155.316 - OFF-STREET PARKING REQUIRED	REQUIRED	PROVIDED
SECTION 25.216 (2025) (4) (d) (6)	19 SPACES	17 SPACES
UNITS SUFF/200 SF = 307		
SECTION 155.316 (6) (B) (6) (a)		
5002 SF/2000 SF = 94		
HANDICAP SPACES (PER 25 FSPACES)	1 SPACES	1 SPACES
TOTAL SPACES PROVIDED:		19 SPACES

### LOADING REQUIREMENTS

PER SEC. 155.316 (6) - OFF-STREET LOADING REQUIRED	REQUIRED	PROVIDED
LOADING SPACE = 12' WIDE AND 30' DEEP	1 SPACE	1 SPACE

### BICYCLE PARKING

PER SEC. 155.316 (6)	REQUIRED	PROVIDED
COMMERCIAL REQUIREMENTS: 1 PER 10 PARKING SPACES, 2 MINIMUM	2 SPACE	2 SPACE



**AHRENS**  
DESIGN/BUILD - GENERAL CONSTRUCTION

PROPOSED FACILITY RENOVATION FOR  
**BOBCAT TREASURE COAST**  
4405 PROSPERITY DR, FORT PIERCE, FL 34981

PROPOSED SITE PLAN  
SHEET # AS-001

DATE: 11-20-20  
SCALE: AS SHOWN  
DRAWN: JCR  
JOB: 20000006  
SHEET NAME:

# **Appendix B**

**Bobcat Treasure Coast – Fort Pierce**

**Floor Plan**



# **Appendix C**

**Bobcat Treasure Coast – Fort Pierce**

**Exterior Elevations**



# **Appendix D**

**Bobcat Treasure Coast – Fort Pierce**

**Relevant Excerpts from the**

***ITE Trip Generation Manual (10<sup>th</sup> Edition)***

# Land Use: 110

## General Light Industrial

### Description

A light industrial facility is a free-standing facility devoted to a single use. The facility has an emphasis on activities other than manufacturing and typically has minimal office space. Typical light industrial activities include printing, material testing, and assembly of data processing equipment. Industrial park (Land Use 130) and manufacturing (Land Use 140) are related uses.

### Additional Data

Time-of-day distribution data for this land use are presented in Appendix A. For the 30 general urban/suburban sites with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 7:30 and 8:30 a.m. and 4:30 and 5:30 p.m., respectively.

The sites were surveyed in the 1980s, the 2000s, and the 2010s in Colorado, Connecticut, Indiana, New Jersey, New York, Oregon, Pennsylvania, and Texas.

### Source Numbers

106, 157, 174, 177, 179, 184, 191, 251, 253, 286, 300, 611, 874, 875, 912

# General Light Industrial (110)

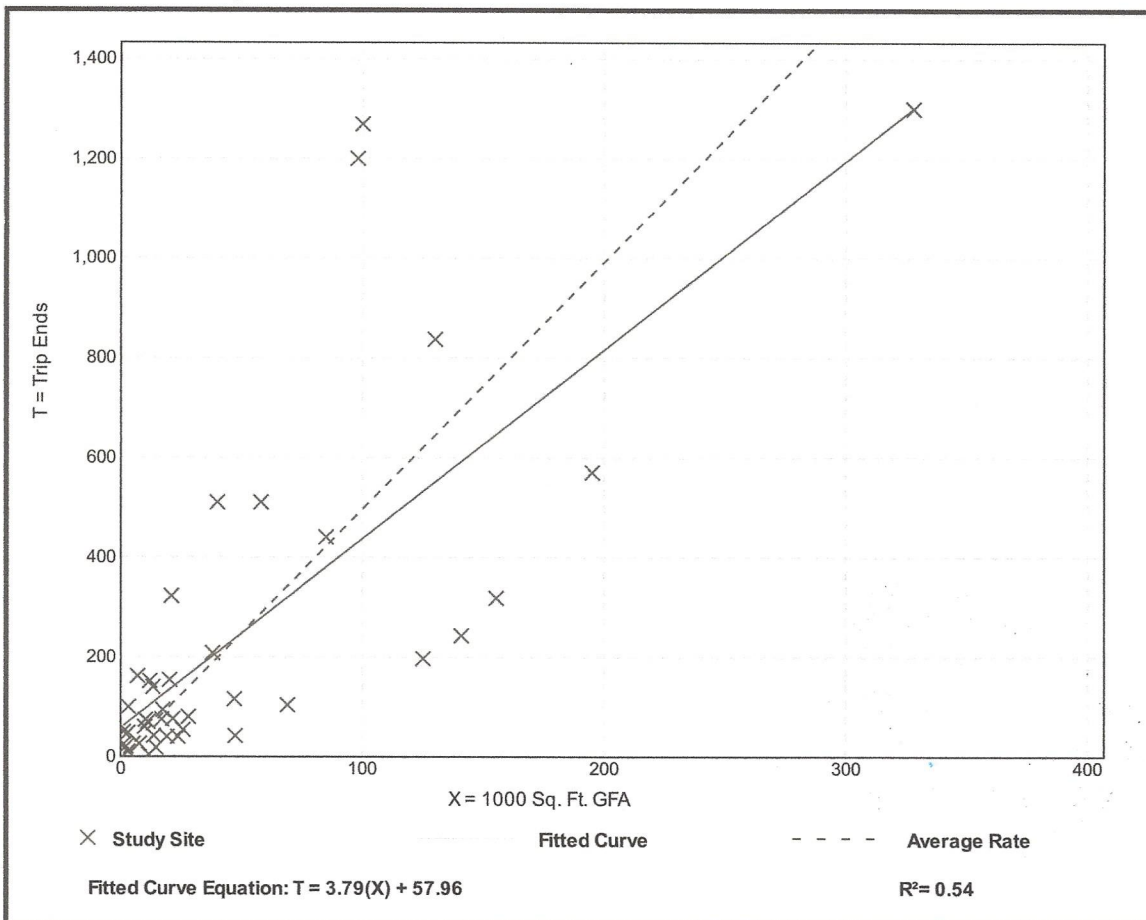
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 40  
1000 Sq. Ft. GFA: 49  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
4.96	0.34 - 43.86	4.20

## Data Plot and Equation



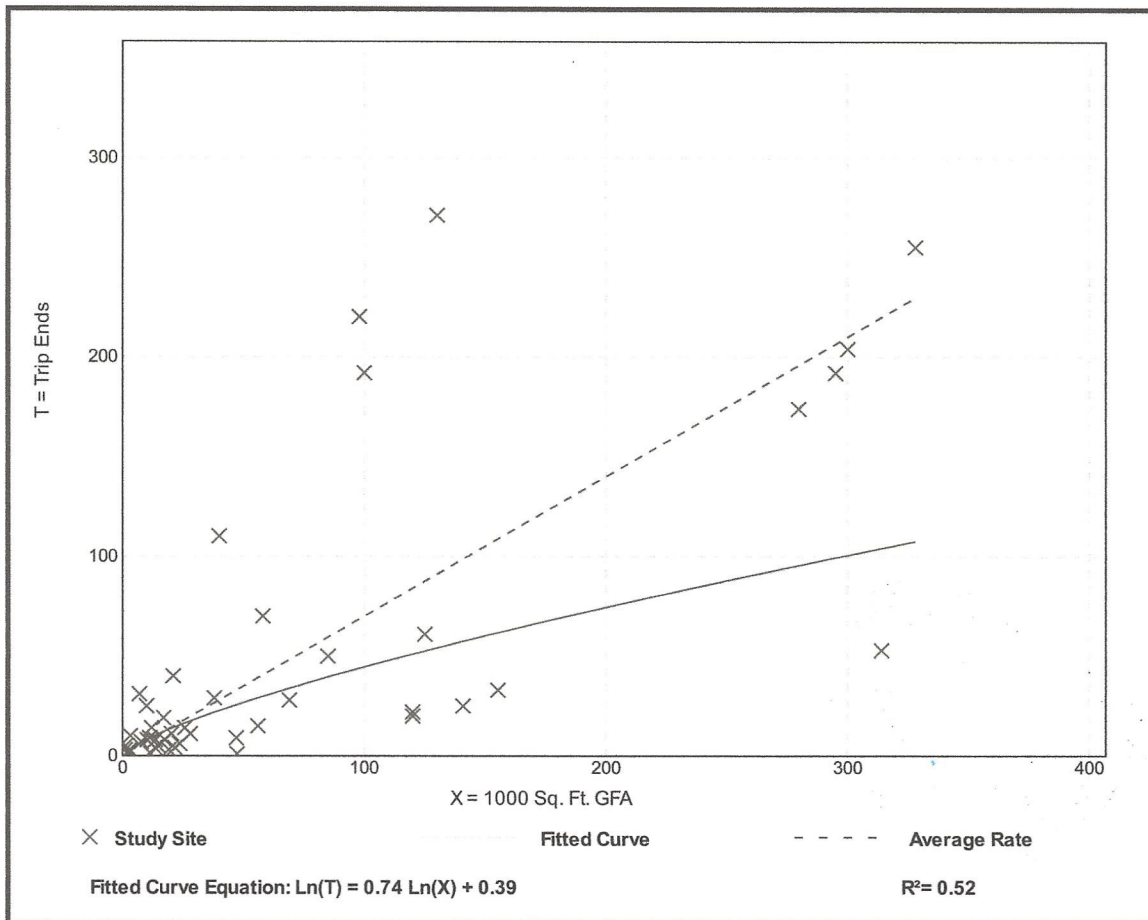
# General Light Industrial (110)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 45  
 1000 Sq. Ft. GFA: 73  
 Directional Distribution: 88% entering, 12% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.70	0.02 - 4.46	0.65

## Data Plot and Equation



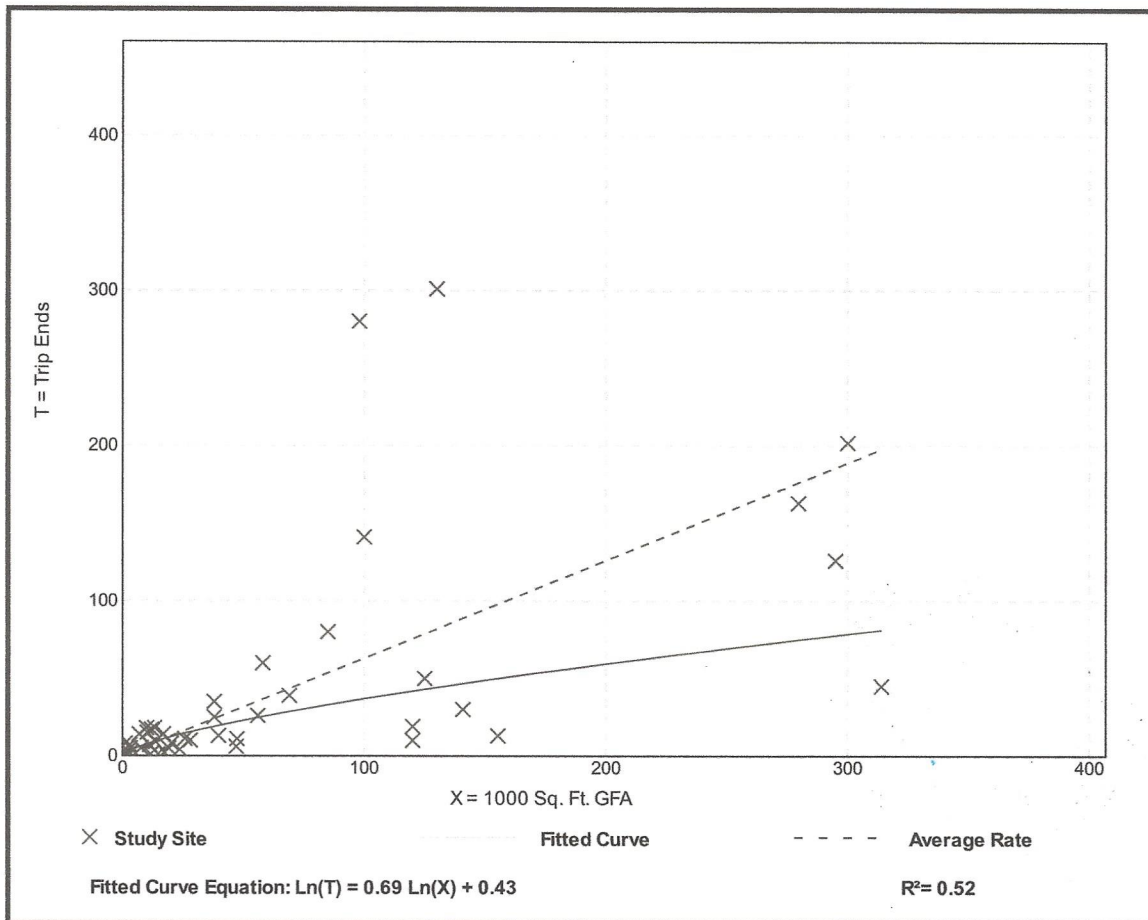
# General Light Industrial (110)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 44  
 1000 Sq. Ft. GFA: 67  
 Directional Distribution: 13% entering, 87% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.63	0.07 - 7.02	0.68

## Data Plot and Equation



**Technical Review Committee -  
Teleconference**

1. d.

Meeting Date: 12/17/2020

---

**REQUESTED ACTION**

Minor Site Plan - Towne South Plaza - Winn Dixie - 4901 S. US Highway 1

**LOCATION**

4901 S. US Highway 1

**RESPONSIBLE STAFF**

Vennis Gilmore, Planner

**RECOMMENDATION**

N/A

---

**Attachments**

TRC Memo Packet

---

**Form Review**

Form Started By: Vennis Gilmore  
Final Approval Date: 12/07/2020

Started On: 12/04/2020 03:36 PM



---

**TO:** TECHNICAL REVIEW COMMITTEE  
**FROM:** VENNIS GILMORE, PLANNER  
**RE:** TECHNICAL REVIEW PROJECT# 20-07000019  
**MEETING DATE:** DECEMBER 17, 2020

---

**Minor Site Plan Amendment – Towne South Plaza (Winn Dixie) – 4901 S. US Highway 1**

The above referenced **Minor Site Plan Amendment** is being submitted for your review and comments. The request seeks to adjust their parking lot after the expansion of East Midway Road. The subject site is zoned General Commercial Zone (C-3) with a General Commercial (GC). The subject site location has approximately a total of 10.87 acres.

Please review and provide two copies of comments on the project. Please send all comments to the following emails [vgilmore@cityoffortpierce.com](mailto:vgilmore@cityoffortpierce.com), [arosenthal@cityoffortpierce.com](mailto:arosenthal@cityoffortpierce.com), or through interoffice mail to the Planning Department. If you have comments please respond in a timely manner before the date of the Technical Review Committee Meeting.

Please do not hesitate to contact me should you require any additional information at 772-467-3741.

Thank you.

Vennis Gilmore, Planner



## DEVELOPMENT REVIEW

Property address or Location 4901 US HIGHWAY 1

Parcel ID #(s) 3403-244-0000-000-6

Project description PROP. LOADING DOCK TO EXISTING WINN-DIXIE; PARKING LOT MODIFICATIONS AND SEWER MAIN RE-ROUTING

Ts Pierce Sc Co Ltd

**Property Owner(s)**

PO Box 11229

Street Address

Knoxville TN 37939

City State Zip

954-629-2224

Phone Number

steve@keltonpm.com

Email Address

Jason M. Gunther, P.E., Thomas Engineering Group

**Applicant/Representative, Title, Company**

125 West Indiantown Road, Suite 206

Street Address

Jupiter FL 33458

City State Zip

561-203-7503

Phone Number

jgunther@thomaseg.com

Email Address

**Property Owner(s) Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

**TS PIERCE SC CO., LTD.,**  
a Florida limited partnership

STATE OF FLORIDA --

COUNTY Palm Beach

The foregoing instrument was acknowledged before me this 7<sup>th</sup> day of January, 2020 By: by

Steven Levin

who is personally known to me or has produced

**TS Pierce Corp.,**  
a Florida corporation, General Partner

By: [Signature]  
Steven Levin, Vice President

[Signature] as identification.

Signature of Notary



**KELLY A. RUIZ**  
Commission # GG 190257 (Seal)  
Expires June 27, 2022  
Bonded Thru Budget Notary Services

**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual
				Non-Contributing None

Pre-Application Meeting Date \_\_\_\_\_

Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_

Intake Planner \_\_\_\_\_

Planner Assigned \_\_\_\_\_

Approved By \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Intake Date Stamp

# DEVELOPMENT REVIEW

## General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan	<input checked="" type="checkbox"/> Minor Amendment		

Site Information:

Non-Residential: Proposed Sq. Ft.: 562 Residential: Proposed Units: N/A

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
FAST FOOD RESTAURANT	VACANT/ COMMERCIAL	COMMERCIAL	COMMERCIAL

## Application Outlook



## Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)





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Florida Limited Partnership  
TS PIERCE SC CO., LTD.

### Filing Information

<b>Document Number</b>	A95000001827
<b>FEI/EIN Number</b>	59-3344432
<b>Date Filed</b>	11/27/1995
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	CONTRIBUTION CHANGE
<b>Event Date Filed</b>	01/03/1996
<b>Event Effective Date</b>	NONE

### Principal Address

2300 NW Corporate Blvd  
Suite 135  
BOCA RATON, FL 33431

Changed: 03/18/2016

### Mailing Address

P.O. BOX 11229  
KNOXVILLE, TN 37939

Changed: 04/17/2002

### Registered Agent Name & Address

CLIFFORD L. WALTERS  
802 11TH STREET WEST  
BRADENTON, FL 34205

Name Changed: 12/26/1996

Address Changed: 12/26/1996

### General Partner Detail

#### **Name & Address**

Document Number P95000090053

**TS PIERCE CORP.**

2300 NW Corporate Blvd  
Suite 135  
BOCA RATON, FL 33431

**Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
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Florida Profit Corporation  
TS PIERCE CORP.

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**Status** ACTIVE

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2300 NW Corporate Blvd  
Suite 135  
BOCA RATON, FL 33431

Changed: 03/21/2016

### Mailing Address

P O BOX 11229  
KNOXVILLE, TN 37939

Changed: 04/06/2001

### Registered Agent Name & Address

WALTERS, CLIFFORD L  
802 11ST STREET WEST  
BRADENTON, FL 34250

### Officer/Director Detail

#### **Name & Address**

Title VSD

RICE, SUZANNE L  
8902 Dale Mabry Highway  
Suite 200  
TAMPA, FL 33614

Title VSD

**LEVIN, STEVEN**

2300 NW Corporate Blvd  
Suite 135  
BOCA RATON, FL 33431

Title T

LEVIN, JILL  
5410 HOMBERG DR STE A  
KNOXVILLE, TN 37919

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\* Doc Assump: \$ 0.00  
\* Doc Tax : \$ 33600.00  
\* Int Tax : \$ 0.00

This Instrument Prepared By:  
Nancy J. Hammer, Esquire  
Metropolitan Life Insurance Company  
303 Perimeter Center North, Suite 600  
Atlanta, Georgia 30346

Parcel ID# \_\_\_\_\_  
Grantee's Taxpayer ID# \_\_\_\_\_

STATE OF GEORGIA  
COUNTY OF DEKALB

SPECIAL WARRANTY DEED

THIS DEED, made as of the 30 day of November, 1995, by and between METROPOLITAN LIFE INSURANCE COMPANY, a New York corporation (the "Grantor"), and TS PIERCE SC CO., LTD., a Florida limited partnership (the "Grantee"), whose mailing address is: c/o RMC Realty Companies, Ltd., 1733 West Fletcher Avenue, Tampa, Florida 33612, wherever used, the terms "Grantor" and "Grantee" include the singular or plural, as the context requires, and the respective heirs, legal representatives and assigns of individuals, and the successors and assigns of trustees, corporations and partnerships.

W I T N E S S E T H:

That Grantor, for and in consideration of the purchase price and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, by these presents does grant, bargain and sell, alien, remise, release, convey, transfer and confirm to the Grantee in fee simple forever, that certain tract or parcel of land more particularly described in Exhibit "A" attached hereto (the "Property") and by this reference incorporated herein, subject only to those matters set forth in Exhibit "B" attached hereto and incorporated herein by reference; however, reference herein shall not be deemed to reimpose same.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining and every right, title or interest, legal or equitable, of the Grantor of, in and to the same.

TO HAVE AND TO HOLD the same unto the Grantee in fee simple; and the said Grantor hereby warrants the title to said property, and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against none other.

JoAnne Holman, Clerk of the Circuit Court - St. Lucie County  
File Number: 1437328 OR BOOK 0986 PAGE 2867  
Recorded: 12-01-95 11:41 A.M.

Return To: *Mail*  
Barbara Ann Held, Esq.  
Bialock, Landers, Walters & Vogler, P.A.  
802 11th St. W.  
Bradenton, Florida 34205

**SECTION 506 BUILDING AREA MODIFICATIONS  
ALLOWABLE AREA CALCULATION - WD 2355 BUILDING**

MERCANTILE (M) OCCUPANCY  
TYPE II-B CONSTRUCTION -SPRINKLERED - UNPROTECTED

ALLOWABLE HEIGHT IS 55.0' PER TABLE 503 FBC  
EXISTING / PROPOSED HEIGHT IS 39.1' AND THEREFORE COMPLIES

ALLOWABLE AREA (Aa)  
Aa = ( At + ( At x If ) + ( At x Is ) )

MERCANTILE = 12,500 S.F. (TABLE 503 TYPE II-B)  
At = 12,500

If = ( F / P - 0.25 ) x W / 30  
F = 574.66  
P = 924.66  
W = 26.33

If = (574.66 / 924.66 - 0.25) = 0.3714824 X 26.33 / 30 = 0.3260377  
Is = 3 (FOR BUILDING NO MORE THAN ONE STORY PER 506.3 FBC)

Aa = ( 12,500 + ( 12,500 x 0.3260377 ) + ( 12,500 x 3 ) )  
Aa = ( 12,500 + 4,644 + 37,500 )  
Aa = 54,644 S.F. (ALLOWABLE AREA)

ACTUAL AREA = 48,426 S.F.

**EXTERIOR PAINTING NOTES**

- ALL EXISTING AND NEW CEMENT STUCCO WALL SURFACES SHALL BE PREPARED AND PAINTED WITH PRIMER/SEALER PLUS TWO COATS SEMI-GLOSS LATEX EXTERIOR PAINT.
- ALL EXISTING AND NEW EIFS WALL OR SOFFIT SURFACES SHALL BE PREPARED AND PAINTED WITH PRIMER/SEALER PLUS TWO COATS SATIN LATEX EXTERIOR PAINT.
- ALL EXISTING AND NEW CEMENT STUCCO CEILING/SOFFIT SURFACES SHALL BE PREPARED AND PAINTED WITH PRIMER/SEALER PLUS TWO COATS SATIN LATEX EXTERIOR PAINT.
- ALL NEW CONCRETE COLUMN BASE IMPACT CURBS SHALL BE PREPARED AND PAINTED WITH TWO COATS OF PIGMENTED CONCRETE SEALER.
- ALL EXISTING AND NEW FOAM TRIM BANDING AND/OR CORNICES SHALL BE PREPARED, PRIMED, AND PAINTED WITH TWO COATS SEMI-GLOSS LATEX EXTERIOR PAINT.
- ALL EXISTING AND NEW METAL CAPS, FLASHINGS, AND DRIPS, SHALL BE PREPARED AND PAINTED WITH PRIMER AND TWO COATS OF EXTERIOR LATEX SEMI-GLOSS ENAMEL.
- PAINTING CONTRACTOR SHALL SUBMIT A DETAILED PAINTING SPECIFICATION, PREPARED BY THE PAINT MANUFACTURER, WHICH SPECIFIES ALL PROCEDURES AND MATERIALS TO BE USED ON THIS PROJECT. THIS SPECIFICATION SHALL BE SUBMITTED FOR APPROVAL BY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH ANY WORK.
- APPROVED MANUFACTURERS INCLUDE SHERWIN-WILLIAMS, ICI, BENJAMIN MOORE, AND PORTER PAINT. OTHER PAINT MANUFACTURERS NEED TO BE APPROVED PRIOR TO THE BID.
- ALL NEW CONCRETE COLUMN BASE CAPS SHALL BE PREPARED AND PAINTED WITH MASONRY PRIMER AND TWO COATS OF EXTERIOR LATEX SEMI-GLOSS ENAMEL, OR OTHER FINISHES AS SELECTED BY THE OWNER.
- ALL EXTERIOR WALLS, DOORS, RAIN-WATER LEADERS, GUTTERS, DRIP EDGES, DEVICES, ETC. ON THE EAST REAR FACING SIDE, NORTH FACING SIDES, AND SOUTH FACING SIDES OF THE ENTIRE 2450 BUILDING, SHALL BE PAINTED.
- ALL EXISTING AND NEW STEEL PIPE BOLLARDS AND EXISTING TRAFFIC GUARDRAILS ARE TO BE PAINTED USING EPOXY PAINT AND PRIMER- SAFETY YELLOW

**DESIGN BASIS PRODUCT SPECIFICATIONS AND NOTES**

- MIAMI DADE COUNTY NOA'S OR STATE OF FLORIDA PRODUCT APPROVALS PROVIDED AS PART OF THE BID PACKAGE ARE TO BE USED AS THE DESIGN BASIS FOR THOSE PRODUCTS OR SYSTEMS; INSTALLATION OF THOSE PRODUCTS OR SYSTEMS SHALL BE IN ACCORDANCE WITH THE DETAILING APPROVED IN THE NOA, AS ADAPTED FOR THE SPECIFIC CONDITIONS OF THIS PROJECT.
- ALL COLOR AND MATERIAL SELECTION ARE TO BE BY THE OWNER. THE CONTRACTOR SHALL PROVIDE COLOR SELECTION SAMPLES AND CHARTS OFFERING THE FULL RANGE OF COLORS AND MATERIALS SELECTIONS AVAILABLE FOR A GIVEN PRODUCT THE SELECTION WILL NOT BE LIMITED TO ONLY THE MOST COMMONLY AVAILABLE COLORS.
- DESIGN BASIS FOR NEW METAL WALL COPING/CAP FLASHING, AND DRIP EDGES, SHALL BE AS MANUFACTURED BY OMG, INC.: "DRIP EDGE FASCIA"; MIAMI-DADE PRODUCT APPROVAL NOA 18-0612.06, EXPIRES 10-18-2022. ANY PROPOSED SUBSTITUTIONS MUST BE APPROVED PRIOR TO BIDDING AND WILL NOT BE ALLOWED AFTER THE BIDS ARE RECEIVED.
- DESIGN BASIS FOR TPO ROOFING SYSTEM SHALL BE GAF EVERGUARD TOP ROOFING SYSTEMS OVER STEEL DECKS; 80 MIL EVERGUARD EXTREME TPO; WITH TPO COATED FLASHINGS; MIAMI-DADE NOA 18-0523.05, EXPIRES 07-13-2023. ANY PROPOSED SUBSTITUTIONS MUST BE SUBMITTED AND REQUESTED PRIOR TO THE BID BEING SUBMITTED AND MUST INCLUDE SUPPORTING MIAMI DADE PRODUCT APPROVAL NOA PRINT-OUT SHOWING THE PROPOSED SUBSTITUTE SYSTEM MEETS OR EXCEEDS THAT SPECIFIED.
- DESIGN BASIS FOR POLYISO ROOF INSULATION SHALL BE "GAF ENERGYGUARD POLYISO" OVER STEEL DECKS; 80 MIL EVERGUARD TPO; WITH TPO COATED FLASHINGS; MIAMI-DADE NOA 18-0523.05, EXPIRES 07-13-2023. ANY PROPOSED SUBSTITUTIONS MUST BE SUBMITTED AND REQUESTED PRIOR TO THE BID BEING SUBMITTED AND MUST INCLUDE SUPPORTING MIAMI DADE PRODUCT APPROVAL NOA PRINT-OUT SHOWING THE PROPOSED SUBSTITUTE SYSTEM MEETS OR EXCEEDS THAT SPECIFIED.
- DESIGN BASIS FOR ROOF INSULATION COVERBOARD SHALL BE "SECURCOCK ROOF BOARDS" OVER POLYISO INSULATION STEEL DECKS; AS MANUFACTURED BY UNITED STATES GYPSUM CORPORATION 550 WEST ADAMS STREET CHICAGO, IL 60661; MIAMI-DADE NOA 15-0709.10, EXPIRES 10-13-2020. ANY PROPOSED SUBSTITUTIONS MUST BE SUBMITTED AND REQUESTED PRIOR TO THE BID BEING SUBMITTED AND MUST INCLUDE SUPPORTING MIAMI DADE PRODUCT APPROVAL NOA PRINT-OUT SHOWING THE PROPOSED SUBSTITUTE SYSTEM MEETS OR EXCEEDS THAT SPECIFIED.
- DESIGN BASIS FOR SINGLE OUT-SWING IMPACT RESISTANT EXTERIOR HOLLOW METAL DOORS AND FRAMES SHALL BE "SERIES 16GACOSD-1" 16 GA. OUTSWING COMMERCIAL STEEL DOORS W/WO PANIC EXIT DEVICE-IMPACT", AS MANUFACTURED BY QUALITY ENGINEERED PRODUCTS, INC. 4506 QUALITY LANE TAMPA, FL 33634; MIAMI-DADE CO. PRODUCT APPROVAL 19-0507.03, EXPIRES 01-30-2024.
- DESIGN BASIS FOR DOUBLE OUT-SWING IMPACT RESISTANT EXTERIOR HOLLOW METAL DOORS AND FRAMES SHALL BE "SERIES 16 GA. OUTSWING DOUBLE FLUSH STEEL DOORS-IMPACT" COMMERCIAL STEEL DOORS, AS MANUFACTURED BY QUALITY ENGINEERED PRODUCTS, INC. 4506 QUALITY LANE TAMPA, FL 33634; MIAMI-DADE CO. PRODUCT APPROVAL 17-1102.01, EXPIRES 10-13-2020.
- DESIGN BASIS FOR INSULATED STEEL ROLLING DOOR, AS MANUFACTURED BY THE COOKSON COMPANY 1901 SOUTH LITCHFIELD ROAD GOODYEAR, AZ 85338; MIAMI-DADE CO. PRODUCT APPROVAL 18-0125.07, EXPIRES 07-09-2020.
- DESIGN BASIS FOR ROD SUPPORTED CANOPY SYSTEMS SHALL BE AS MANUFACTURED BY MAPES INDUSTRIES "LUMISHADE" WITH OPTIONAL GUTTER SYSTEM; PRE-FINISHED ALUMINUM CONSTRUCTION; FULL RANGE OF AVAILABLE COLORS AS SELECTED BY OWNER. MAPES INDUSTRIES P.O. BOX 80069 2929 CORNHUSKER HIGHWAY LINCOLN, NEBRASKA 68504 (402) 466-1985. CANOPY SYSTEM TO BE PRE-ENGINEERED BY THE MANUFACTURER TO SATISFY ALL DEEMED TO COMPLY REQUIREMENTS OF THE FLORIDA BUILDING CODE- 6TH EDITION 2017 FOR 160 MPH WIND SPEED AND WIND LOADS SPECIFIED ON DWG. S-0, AND SHALL PREPARE WHATEVER ENGINEERING CALCULATIONS AND SUPPORTING SHOP DRAWINGS AND DETAILS ARE REQUIRED BY THE BUILDING DEPARTMENT.

**GENERAL CONSTRUCTION NOTES**

- GENERAL CONTRACTOR SHALL SUBMIT IN WRITING TO OWNER THAT ALL PENETRATIONS THRU WALLS (INTERIOR AND EXTERIOR) AND ROOF BY TRADES HAVE BEEN PROPERLY SEALED BY FOAM OR BY OTHER MEANS. THIS SHALL BE PERFORMED PRIOR TO FINAL INSPECTIONS.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE TAKEN FROM THE ROUGH FACE OF MASONRY WALL UNLESS OTHERWISE NOTED.
- ALL FASTENERS, CONNECTORS, STRAPS, BOLTS, ETC., IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE TYPE 304 STAINLESS STEEL.
- CONTRACTORS ARE TO PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PROVIDE A COMPLETE, APPROVED, AND FINISHED USER PROJECT WITHOUT DELAY AND EXTRA EXPENSES. EACH CONTRACTOR AND SUB-CONTRACTOR IS RESPONSIBLE FOR HIS OWN CONDITIONS PRIOR TO, DURING, AND AT COMPLETION OF HIS SPECIFIC WORK.
- ALL CONSTRUCTION AND SAFETY MEASURES TO COMPLY WITH LATEST CITY OF FT. PIERCE ADOPTED APPLICABLE CODES AND REGULATIONS, INCLUDING:  
A: FLORIDA BUILDING CODE -SIXTH EDITION (2017)  
B: NATIONAL ELECTRIC CODE (LATEST ADOPTED EDITION)  
C: NFPA (NATIONAL FIRE PROTECTION ASS'N) APPLICABLE CODES  
D: CITY OF MARGATE CODE AMENDMENTS  
E: FLA. ACCESSIBILITY CODE & CIVIL RIGHTS A.D.A. REGULATIONS  
F: ALL OTHER REQUIREMENTS AND AUTHORITIES HAVING JURISDICTION.
- STANDARD A.I.A. GENERAL CONDITIONS APPLY TO ALL PROJECT TRADES AND DISCIPLINES UNLESS OTHERWISE NOTED.
- NOTIFY THE ARCHITECT OF ANY DEVIATION TO THE CONTRACT DOCUMENT PRIOR TO BID SUBMITTAL FOR MODIFICATION APPROVAL.
- ALL CLEAN UP, SAFETY AND DUST AND NOISE CONTROL ARE THE GENERAL CONTRACTOR'S RESPONSIBILITY.
- ALL FIRE RATED WALLS, FLOOR & CEILING PENETRATIONS MUST BE SEALED WITH SAFING OR APPROVED MATERIAL.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL BE ACCEPTABLE TO LOCAL AUTHORITIES.
- GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT, INCLUDING ALL DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- GENERAL CONTRACTOR SHALL USE 18 GA. GALV. METAL STUDS @ 16" O.C. EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS, OR AS SPECIFIED IN THE STRUCTURAL DRAWINGS.
- NEW CONCRETE SIDEWALKS MUST BE LEVEL TO WITHIN 1/8" IN 10'-0" OR CONTRACTOR SHALL REPAIR AND/OR REPLACE THE DEFECTIVE SLABS. TOPPING SHALL ONLY BE USED AS SPECIALLY NOTED ON PLAN, AND ONLY THE MANUFACTURER SPECIFIED MAY BE USED.
- ALL WALL PENETRATIONS THRU EXTERIOR WALLS AND ROOF SHALL BE SEALED AIR TIGHT AND MADE WEATHER AND "RODENT PROOF". THIS SHALL INCLUDE ALL OPENINGS FOR PLUMBING AND ELECTRICAL LINES.
- ALL FASTENERS CONNECTING DISSIMILAR METALS SHALL BE TYPE 304 STAINLESS STEEL AND SHALL HAVE ISOLATION GASKETS. SIMILAR METALS SHALL BE SEPARATED WITH ISOLATION GASKETS CONT., AT ALL SURFACES.
- ALL METAL FLASHINGS, FRAMES, ANGLES, CAPS, ETC. INSTALLED OVER PRESSURE TREATED WOOD MUST BE ISOLATED USING 30# BUILDERS FELTS CONTINUOUS ON ENTIRE SURFACE. THIS CONDITION IS FOUND AT WINDOW BUCKS, NAILERS, ETC. PROVIDE 90# FELT BETWEEN CONCRETE OR MASONRY OR WOOD SILLS, JAMBS, HEADS, NAILERS, OR SLEEPERS, AND THEN USE UNTREATED LUMBER INSTEAD OF PRESSURE TREATED LUMBER IS ACCEPTABLE.
- CARE AND SPECIAL PROCEDURES MUST BE TAKEN TO ENSURE SECURITY AND WEATHER TIGHTNESS OF THE ROOF INCLUDING ANY TEMPORARY TARPS, ETC. AS MAY BE REQUIRED TO ENSURE THAT THE ROOF IS WATERTIGHT THROUGHOUT THE CONSTRUCTION PROCESS.
- CONTRACTOR SHALL PROTECT, BY COVERING OR OTHER MEANS, ALL EXISTING SIDEWALKS, CURBS, AND STOREFRONT WINDOWS & DOORS, FROM ALL ASPECTS OF CONSTRUCTION INCLUDING DEMOLITION, CEMENT STUCCO APPLICATION, CONCRETE WORK, CMU WORK, AND PAINTING. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ANY CLEANING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DONE TO THE SATISFACTION OF THE OWNER, OR SUBJECT ITEM SHALL BE CLEANED, RE-FINISHED, OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS REQUIRED TO CUT, REMOVE, AND REPLACE CONCRETE SLABS, CONCRETE PAVEMENT, ASPHALT PAVEMENT, CMU WALLS, CEMENT STUCCO, GWB WALLS, ETC., TO ALLOW FOR INSTALLATION OF NEW WORK. AFTER INSTALLATION ALL SURFACES SHALL BE RESTORED TO MATCH THE ORIGINAL CONDITION PRIOR TO CUTTING. AFTER COMPLETION OF ALL NEW WORK, RESTORE ASPHALT PAVEMENT AND BASE, IN AREA SURROUNDING THAT WORK TO MATCH EXISTING. BLEND ASPHALT PATCHES TO BE SMOOTH TO ADJOINING EXISTING ASPHALT, AFTER HEAVY ROLLING OR TAMPING, AND MAINTAIN EXISTING SLOPE IN ASPHALT AWAY FROM BUILDING.
- SOILS BENEATH IN-FILL SLABS SHALL BE CLEAN, COMPACTED, TERMITE TREATED FILL; ACHIEVE MINIMUM 95% MODIFIED PROCTOR COMPACTING WITH FILL PLACED IN MAXIMUM 12" LIFTS; CONTRACTOR SHALL PROVIDE SUITABLE MEANS FOR COMPACTING SOILS SO AS TO ACHIEVE A MINIMUM SOIL BEARING PRESSURE OF 2,000 PSF; REFER ALSO TO STRUCTURAL NOTES AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL RELOCATE ANY EXISTING UTILITY ACCESS COVERS, BOXES, VALVES, ETC. IF ANY WILL BE MADE INACCESSIBLE BY THE SCOPE OR THE NEW WORK, THEY SHALL BE RELOCATED. THE CONTRACTOR SHALL EXAMINE THE EXISTING CONDITIONS PRIOR TO BIDDING AND SHALL INCLUDE ALL NECESSARY WORK WHETHER SHOWN ON THESE DRAWINGS OR NOT.
- GENERAL CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL BY THE BUILDING DEPARTMENT AND THE ARCHITECT FOR ALL PRE-MANUFACTURED ALUM. CANOPIES. THIS WILL INCLUDE THE CONSTRUCTION OF THE CANOPIES THEMSELVES, AND ALL REQUIRED ATTACHMENTS, SUPPORTS, AND ANCHORS.
- ALL SHOPPING CENTER TENANTS SHALL REMAIN OPEN DURING THE DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL WORK, INCLUDING THE STAGING OF MATERIALS, TEMPORARY FENCING, TEMPORARY PEDESTRIAN TUNNELS, TEMPORARY TRAFFIC DIVERSION AND SIGNAGE, TEMPORARY PEDESTRIAN SIGNAGE, ETC., WITH TENANTS, THE OWNER'S REPRESENTATIVE, AND THE PROPERTY MANAGER.
- THE CONTRACTOR SHALL HOLD A PRE-WORK MEETING WITH ALL TENANTS, THE OWNER'S REPRESENTATIVE, AND THE PROPERTY MANAGER, TO ENSURE THAT THE PROPOSED WORK SCHEDULE IS ACCEPTABLE TO ALL TENANTS AND THE OWNER.
- SCOPE OF ANY POSSIBLE ASBESTOS IDENTIFICATION, SURVEY, AND REMOVAL IS ADDRESSED IN THE ASBESTOS BUILDING SURVEY NOTES ON DWG. D-2. ALL IDENTIFICATION AND REMOVAL OF ANY ASBESTOS CONTAINING MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ASBESTOS BUILDING SURVEY, THE STATE OF FLORIDA, AND THE EPA. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE ASBESTOS BUILDING SURVEY AND THE PROJECT, AND ALL MATERIALS TO BE DEMOLISHED, AND SHALL NOTIFY THE OWNER OF ANY SUSPICIOUS OR QUESTIONABLE MATERIALS NOT INCLUDED IN THE REPORT, PRIOR TO ANY DEMOLITION.
- PROVIDE ALL NECESSARY P.T. WOOD BLOCKING AS MAY BE REQUIRED WHERE NEW SILL PLATES ARE INSTALLED OVER EXISTING BEAM AND ROOF EDGE TO ENSURE FULL SUPPORT OF THE NEW METAL STUD BOTTOM TRACK IN ALL CONDITIONS.
- CONTRACTOR SHALL WALK THE SITE AND IDENTIFY ANY AND ALL MISC. ITEMS THAT ARE REQUIRED TO BE RELOCATED DUE THE THE SCOPE OF THIS PROJECT, INCLUDING ANY SPEAKERS, FIRE ALARM SYSTEM STROBES OR HORNS, ETC. ANY WORK REQUIRED TO ACHIEVE THE RELOCATION AND RECONNECTION OF THESE ITEMS SHALL BE INCLUDED IN THE BASE BID. WHETHER SHOWN ON THE DRAWINGS OR NOT.
- CONTRACTOR SHALL REPAIR ANY ASPHALT PAVEMENT DAMAGED DURING CONSTRUCTION OR AS A RESULT OF THE WORK, INCLUDING THE BASE IF NECESSARY, TO MATCH EXISTING.
- SCOPE OF ANY POSSIBLE ASBESTOS IDENTIFICATION, SURVEY, AND REMOVAL IS NOT ADDRESSED IN THESE CONSTRUCTION DOCUMENTS. AN ASBESTOS SURVEY FOR THE EXISTING BUILDING HAS NOT BEEN PERFORMED. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE PROJECT AND ALL MATERIALS TO BE DEMOLISHED AND SHALL NOTIFY THE OWNER OF ANY SUSPICIOUS OR QUESTIONABLE MATERIALS. IT IS THE RESPONSIBILITY OF THE OWNER TO UNDERTAKE AN ASBESTOS SURVEY TO IDENTIFY ANY HAZARD IN SUCH MATERIALS. PRIOR TO ANY DEMOLITION WORK OR EXPOSURE. ANY ASBESTOS CONTAINING MATERIALS MUST BE REMOVED FROM AFFECTED AREAS WHERE SCOPE OF WORK DISTURBS EXISTING ASBESTOS AND/OR WHERE ASBESTOS IS DISCOVERED IN POOR CONDITION. ASBESTOS ABATEMENT SHALL BE IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES, STATUTES, ENVIRONMENTAL REGULATIONS, LAWS ETC. AS WELL AS HEALTH PROTECTIVE REQUIREMENTS.
- SEE ALSO DWG. D-1 FOR GENERAL DEMOLITION NOTES.
- SEE ALSO DWG. A-4 FOR PAVEMENT CONSTRUCTION NOTES AND ADDITIONAL GENERAL NOTES.

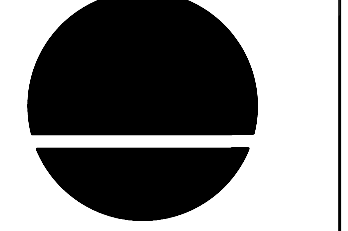


**Southeastern Grocers, LLC.**  
Store Design Department  
8928 Proffersville Parkway Bldg. 200  
Jacksonville, FL 32256  
Phone: 904.765.9000  
Email: storedesign@segrocers.com  
Internet: www.segrocers.com

DRN. BY	DESCRIPTION	DATE	NO.

**REVISIONS**

ISLAND DESIGNS, INC.  
ARCHITECTS & PLANNERS  
11911 U.S. HIGHWAY ONE SUITE 205  
NORTH PALM BEACH, FL 33408  
561-799-5204 FAX 561-799-5205  
CORP. NO. AA-0001104 CHARLES J. LETZLA AR 9045



RECEIVING ADDITION  
BUILDING AREA MODIFICATIONS CALC.  
GENERAL CONSTRUCTION NOTES  
DESIGN BASIS PRODUCTS  
EXTERIOR PAINTING NOTES

PROJECT LOCATION:  
TOWN SOUTH PLAZA  
4967 SOUTH U.S. 1  
AND MIDWAY ROAD  
FT. PIERCE, FL

DRAWN BY: CJL  
DATE: 2-27-20  
CHECKED BY: -  
DATE: -  
DIVISION: MIA  
LOCATION NAME: -  
SITE NO.: -  
STORE NO.: 2355  
RECORD NO.: 3791

DRAWING	OF
C-2	C-2
SHEET	OF
2	20

### Property Identification

Site Address: 4901 US HIGHWAY 1  
Parcel ID: 3403-244-0000-000-6  
Account #: 38750  
Map ID: 34/03N  
Use Type: 1600  
Zoning: General Co  
City/County: Fort Pierce

### Ownership

Ts Pierce Sc Co Ltd  
% Southern Mgmt & Dev LP  
PO Box 11229  
Knoxville, TN 37939

### Legal Description

03 36 40 THAT PART OF E 1/2 OF SW 1/4 OF SE 1/4 OF NW 1/4 AND THAT PART OF SE 1/4 OF SE 1/4 OF NW 1/4 AND THAT PART OF S 647 FT OF LOT 21 WHITE CITY S/D LYG N OF MIDWAY RD AS IN PB 20-17 AND OR 459-1004-LESS US #1 AND CANAL #17 AND LESS AS IN OR 519-2635, 550-882 AND 3089-1863- (10.87 AC) (OR 986-2867)

### Current Values

Just/Market Value: \$5,112,100  
Assessed Value: \$5,112,100  
Exemptions: \$0  
Taxable Value: \$5,112,100

**Property taxes are subject to change upon change of ownership.**

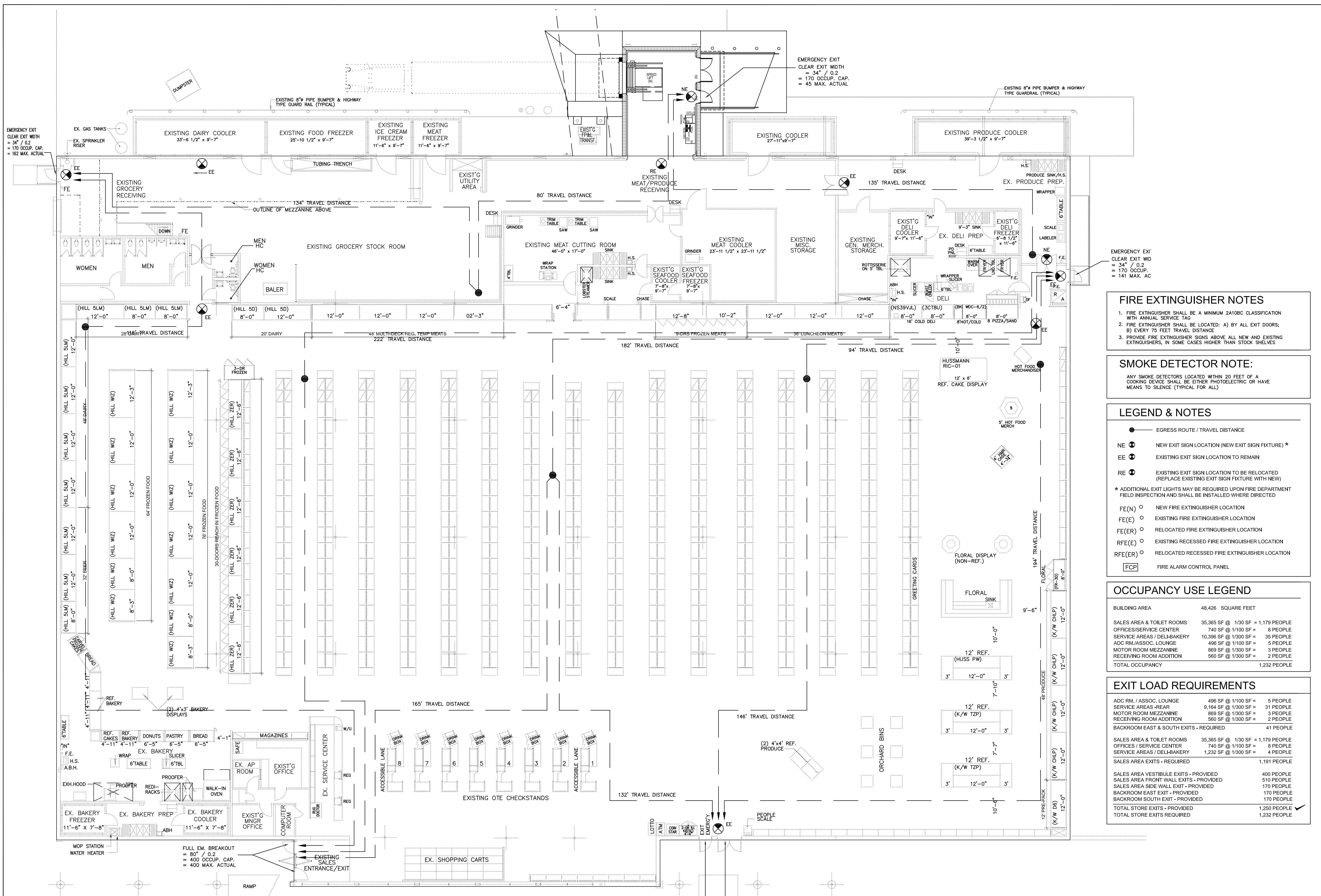
- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.



### Total Areas

Finished/Under Air (SF): 106,188  
Gross Sketched Area (SF): 113,165  
Land Size (acres): 10.87  
Land Size (SF): 473,497

Taxes for this parcel: [SLC Tax Collector's Office](#)   
Download TRIM for this parcel: [Download PDF](#)



**FIRE EXTINGUISHER NOTES**

- FIRE EXTINGUISHER SHALL BE A MINIMUM 2A10BC CLASSIFICATION WITH ANNUAL SERVICE TAG
- FIRE EXTINGUISHER SHALL BE LOCATED: A) BY ALL EXIT DOORS; B) EVERY 75 FEET TRAVEL DISTANCE.
- PROVIDE FIRE EXTINGUISHER SIGNS ABOVE ALL NEW AND EXISTING EXTINGUISHERS, IN SOME CASES HIGHER THAN STOCK SHELVES

**SMOKE DETECTOR NOTE:**

ANY SMOKE DETECTORS LOCATED WITHIN 20 FEET OF A COOKING DEVICE SHALL BE EITHER PHOTOELECTRIC OR HAVE MEANS TO SILENCE (TYPICAL FOR ALL)

**LEGEND & NOTES**

- EGRESS ROUTE / TRAVEL DISTANCE
- NE ⊗ NEW EXIT SIGN LOCATION (NEW EXIT SIGN FIXTURE) \*
- EE ⊗ EXISTING EXIT SIGN LOCATION TO REMAIN
- RE ⊗ EXISTING EXIT SIGN LOCATION TO BE RELOCATED (REPLACE EXISTING EXIT SIGN FIXTURE WITH NEW)

\* ADDITIONAL EXIT LIGHTS MAY BE REQUIRED UPON FIRE DEPARTMENT FIELD INSPECTION AND SHALL BE INSTALLED WHERE DIRECTED

- FE(N) ○ NEW FIRE EXTINGUISHER LOCATION
- FE(E) ○ EXISTING FIRE EXTINGUISHER LOCATION
- FE(ER) ○ RELOCATED FIRE EXTINGUISHER LOCATION
- RFE(E) ○ EXISTING RECESSED FIRE EXTINGUISHER LOCATION
- RFE(ER) ○ RELOCATED RECESSED FIRE EXTINGUISHER LOCATION
- [FCP] FIRE ALARM CONTROL PANEL

**OCCUPANCY USE LEGEND**

BUILDING AREA	48,426 SQUARE FEET
SALES AREA & TOILET ROOMS	35,365 SF @ 1/30 SF = 1,179 PEOPLE
OFFICES/SERVICE CENTER	740 SF @ 1/100 SF = 8 PEOPLE
SERVICE AREAS / DELI-BAKERY	10,396 SF @ 1/300 SF = 35 PEOPLE
ADC RM./ASSOC. LOUNGE	496 SF @ 1/100 SF = 5 PEOPLE
MOTOR ROOM MEZZANINE	869 SF @ 1/300 SF = 3 PEOPLE
RECEIVING ROOM ADDITION	560 SF @ 1/300 SF = 2 PEOPLE
<b>TOTAL OCCUPANCY</b>	<b>1,232 PEOPLE</b>

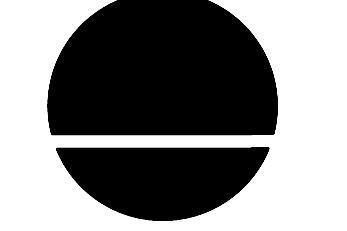
**EXIT LOAD REQUIREMENTS**

ADC RM. / ASSOC. LOUNGE	496 SF @ 1/100 SF = 5 PEOPLE
SERVICE AREAS-REAR	9,164 SF @ 1/300 SF = 31 PEOPLE
MOTOR ROOM MEZZANINE	869 SF @ 1/300 SF = 3 PEOPLE
RECEIVING ROOM ADDITION	560 SF @ 1/300 SF = 2 PEOPLE
BACKROOM EAST & SOUTH EXITS - REQUIRED	41 PEOPLE
SALES AREA & TOILET ROOMS	35,365 SF @ 1/30 SF = 1,179 PEOPLE
OFFICES / SERVICE CENTER	740 SF @ 1/100 SF = 8 PEOPLE
SERVICE AREAS / DELI-BAKERY	1,232 SF @ 1/300 SF = 4 PEOPLE
SALES AREA EXITS - REQUIRED	1,191 PEOPLE
SALES AREA VESTIBULE EXITS - PROVIDED	400 PEOPLE
SALES AREA FRONT WALL EXITS - PROVIDED	510 PEOPLE
SALES AREA SIDE WALL EXIT - PROVIDED	170 PEOPLE
BACKROOM EAST EXIT - PROVIDED	170 PEOPLE
BACKROOM SOUTH EXIT - PROVIDED	170 PEOPLE
TOTAL STORE EXITS - PROVIDED	1,250 PEOPLE ✓
TOTAL STORE EXITS REQUIRED	1,232 PEOPLE

**REVISIONS**

NO.	DATE	DESCRIPTION

ISLAND DESIGNS, INC.  
 ARCHITECTS & PLANNERS  
 11911 U.S. HIGHWAY ONE SUITE 205  
 NORTH PALM BEACH, FL 33408  
 561-799-5204 FAX 561-799-5205  
 CORP. NO. AA-0001104 CHARLES J. LETIZIA AR 9045

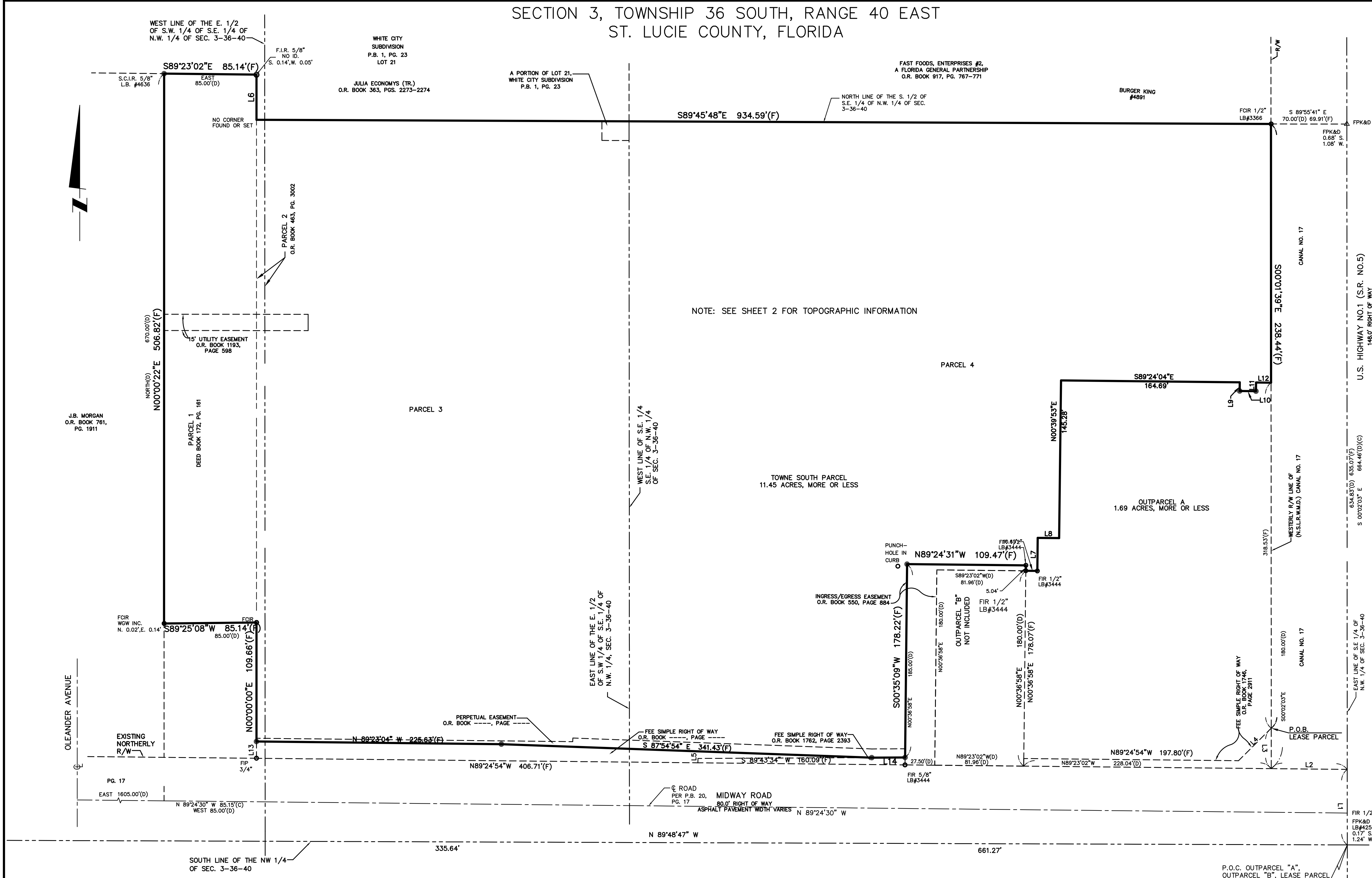


RECEIVING ADDITION  
 LIFE SAFETY PLAN

**PROJECT LOCATION:**  
 TOWN SOUTH PLAZA  
 4967 SOUTH U.S. 1  
 AND MIDWAY ROAD  
 FT. PIERCE, FL

**DRAWN BY:** CJL  
**DATE:** 2-27-20  
**CHECKED BY:** -  
**DATE:** -  
**DIVISION:** MIA  
**LOCATION NAME:** -  
**SITE NO.:** -  
**STORE NO.:** 2355  
**RECORD NO.:** 3791  
**DRAWING OF:** LS-1 OF LS-1  
**SHEET OF:** 3 OF 20

SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA



NOTE: SEE SHEET 2 FOR TOPOGRAPHIC INFORMATION

LINE	BEARING	LENGTH
L1	N00°02'03"W	69.60'
L2	N89°24'54"W	69.99'
L3	S00°01'39"E	37.26'
L4	N45°12'45"E	42.52'
L5	N00°35'08"E	4.00'
L6	S00°00'22"W	41.62'
L7	S00°34'42"W	30.48'
L8	S89°29'42"E	19.79'
L9	N00°35'56"E	8.00'
L10	S89°24'04"E	15.00'
L11	N00°35'56"E	8.00'
L12	S89°24'04"E	13.86'
L13	N00°00'00"E	15.46'
L14	S89°43'34"E	30.73'

SPOT ELEVATION  
SANITARY MANHOLE #2611  
RIM = 12.57  
I.E. = 8.74 (8" P.V.C.)SW  
I.E. = 9.00 (8" P.V.C.)W  
I.E. = 8.74 (8" P.V.C.)NE

SURVEYOR'S NOTES:

- This is a Boundary and Limited Topographic Survey, made on the ground under the supervision of a Florida Registered Surveyor and Mapper, and exceeds the minimum technical standard for horizontal and vertical accuracy for this property's expected use.
- Bearings are based on the East line of the Southeast 1/4 of the Northwest 1/4 of Section 3, Township 36 South, Range 40 East being South 00°02'03" East (Assumed).
- This survey was conducted for the purpose of a Boundary and Limited Topographic Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity.
- This survey was conducted without the benefit of an abstract of title, therefore, there may be other easements, rights-of-way, setback lines, agreements, reservations, restrictions, or other similar matters of public record, not depicted on this survey.
- No underground utilities, underground encroachments, building foundations were observed as a part of this Survey, unless otherwise shown. Shrubs were not located, unless otherwise shown.
- Trees 4" and greater, at breast high measure, were located and identified by common name. The location of each tree was determined at the point where the tree trunk meets natural ground. No determination of the leaning of the tree, or other unusual formation of the tree, was made as a part of this survey. No determination of tree canopy, or drip line, was made as a part of this survey. Clumps of trees, grouped together in such a way as to make individual location impractical, were located as a group and identified as such.
- Elevations shown hereon are referred to the North American Vertical Datum of 1988, using NGS Benchmark System, stainless steel rod stamped "X 403 1991", located at the intersection of U.S. Highway 1 and Midway Road, 216.2 feet north of the road centerline of Midway Road and 182.7 feet south of the centerline of the driveway for Towne Plaza South, Elevation = 12.71 feet. Conversion to N.G.V.D.'29: N.A.V.D.'88 + 1.50' = N.G.V.D.'29.
- The property shown hereon falls within Flood Zone "X", as shown on the Flood Insurance Rate Map, Community Panel Number 12011C0277J and 12111C0189J, effective date of 2/16/2012.
- This survey not valid without the signature and the original raised seal of a Florida licensed Surveyor and Mapper.

LEGAL DESCRIPTION: AS FURNISHED BY CLIENT

**PARCEL 1:**  
THAT CERTAIN PARCEL OF LAND DESCRIBED IN RECORDED IN DEED BOOK 172, PAGE 161 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 1605 FEET EAST OF THE CENTER OF OLANDER AVENUE AND MIDWAY ROAD, ACCORDING TO THE MAP OF WHITE CITY (P.B. 1, PG. 23), THENCE NORTH 670 FEET, THENCE EAST 85 FEET, THENCE SOUTH 670 FEET, THENCE WEST 85 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT  
ANY PORTION OF THE ABOVE DESCRIBED LAND USED AS A PUBLIC ROAD OR FOR DRAINAGE CANAL ALL LYING AND BEING IN SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, LESS AND EXCEPTING THE SOUTHERLY 150.00 FEET THEREOF LYING NORTHERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF MIDWAY ROAD AS RECORDED IN PLAT BOOK 20, PAGE 17 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; ALSO DESCRIBED IN RESOLUTION NO. 89-34 OF THE BOARD OF COUNTY COMMISSIONERS OF ST. LUCIE COUNTY AND RECORDED IN OFFICIAL RECORDS BOOK 329, PAGE 2333 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

TOGETHER WITH PARCEL 2:  
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING BETWEEN THE EAST LINE OF THE ABOVE DESCRIBED PARCEL AND THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3, LYING SOUTHERLY OF THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3 AND LYING NORTHERLY OF THE NORTH RIGHT-OF-WAY LINE OF SAID MIDWAY ROAD.

TOGETHER WITH PARCEL 3:  
THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING NORTHERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF SAID MIDWAY ROAD. THE ABOVE DESCRIBED PARCEL INCLUDES A PORTION OF LOT 21 OF AFORESAID MAP OF WHITE CITY, MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE NORTH 17.71 FEET OF THE EAST 23 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3.

TOGETHER WITH PARCEL 4:  
THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3, LYING NORTHERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF SAID MIDWAY ROAD AND WESTERLY OF THE WESTERLY RIGHT-OF-WAY LINE OF THE NORTH SAINT LUCIE RIVER WATER MANAGEMENT DISTRICT (N.S.L.R.W.M.D.) CANAL NO. 17.

LESS AND EXCEPT OUTPARCELS "A" AND "B", MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
OUTPARCEL "A"  
A PARCEL OF LAND LYING IN SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 3; THENCE ALONG THE EAST BOUNDARY OF SAID NORTHWEST 1/4, NORTH 00°02'03" WEST, 69.60 FEET; THENCE DEPARTING SAID EAST BOUNDARY, NORTH 89°24'54" WEST, 69.99 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF N.S.L.R.W.M.D. CANAL #7; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, NORTH 00°01'39" WEST, 37.26 FEET TO THE POINT OF BEGINNING OF THE HERON DESCRIBED PARCEL; SAID POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF MIDWAY ROAD, AS DESCRIBED IN OFFICIAL RECORDS BOOK 1746, PAGE 2911, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, AND ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, SOUTH 45°12'45" WEST, 42.52 FEET; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, NORTH 89°24'54" WEST, 197.80 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE, NORTH 00°36'58" EAST, 176.07 FEET; THENCE NORTH 89°25'18" EAST, 10.65 FEET; THENCE NORTH 00°34'42" EAST, 30.48 FEET; THENCE SOUTH 89°29'42" EAST, 19.79 FEET; THENCE NORTH 00°39'53" EAST, 145.28 FEET; THENCE SOUTH 89°24'04" EAST, 154.89 FEET; THENCE SOUTH 00°35'56" WEST, 8.00 FEET; THENCE SOUTH 89°24'04" EAST, 15.00 FEET; THENCE NORTH 00°35'56" EAST, 8.00 FEET; THENCE SOUTH 89°24'04" EAST, 13.86 FEET TO A POINT ON THE AFORESAID WESTERLY RIGHT-OF-WAY LINE OF THE N.S.L.R.W.M.D. CANAL #7; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 00°01'39" WEST, 37.26 FEET TO THE POINT OF BEGINNING.

OUTPARCEL "B"  
A PORTION OF THE SOUTH ONE-HALF (S 1/2) OF THE SOUTHWEST ONE-QUARTER (SE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST (SE) CORNER OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE NORTH 00°02'03" WEST ALONG THE EAST LINE OF SAID NORTHWEST ONE-QUARTER (NW 1/4), A DISTANCE OF 69.62 FEET; THENCE NORTH 89°23'02" WEST, 298.04 FEET TO THE POINT OF BEGINNING, FROM SAID POINT OF BEGINNING CONTINUE NORTH 89°23'02" WEST 81.96 FEET; THENCE NORTH 00°36'58" EAST, 180.00 FEET; THENCE SOUTH 89°23'02" EAST, 81.96 FEET; THENCE SOUTH 00°36'58" WEST, 180.00 FEET TO THE POINT OF BEGINNING.

ALSO KLESS AND EXCEPT:  
A PORTION OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT A FOUND P.K. NAIL WITH DISC STAMPED "R.W. HERR, PLS 4907" MARKING THE WEST ONE-QUARTER (W 1/4) CORNER OF SAID SECTION 3; THENCE NORTH 00°11'02" WEST, 48.16 FEET ALONG THE WEST LINE OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 3 TO A POINT ON THE BASELINE OF SURVEY OF COUNTY ROAD 712 (MIDWAY ROAD) AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR ITEM/SEGMENT NO. 234402, SECTION 94530-2510; THENCE SOUTH 89°25'55" EAST, 1,638.39 FEET ALONG SAID BASELINE OF SURVEY; THENCE NORTH 00°17'15" EAST, 40.00 FEET ALONG A LINE AT A RIGHT ANGLE TO THE LAST DESCRIBED COURSE TO THE NORTH EXISTING RIGHT OF WAY LINE OF SAID COUNTY ROAD 712 (MIDWAY ROAD) AND THE POINT OF BEGINNING; THENCE NORTH 00°17'15" EAST, 15.45 FEET; THENCE SOUTH 89°40'58" EAST, 226.47 FEET; THENCE SOUTH 89°45'45" EAST, 341.27 FEET TO SAID NORTH EXISTING RIGHT OF WAY LINE OF COUNTY ROAD 712 (MIDWAY ROAD); THENCE SOUTH 89°25'41" WEST, 160.25 FEET ALONG SAID NORTHERLY EXISTING RIGHT OF WAY LINE; THENCE NORTH 89°42'45" WEST, 406.39 FEET CONTINUING ALONG SAID NORTHERLY EXISTING RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

P.O.C. OUTPARCEL "A",  
S.E. CORNER OF  
OF THE N.W. 1/4  
OF SEC. 3-36-40

No.	DESCRIPTIONS	DATE	BY

BOUNDARY AND LIMITED TOPOGRAPHIC SURVEY  
TOWNE SOUTH PLAZA  
ST. LUCIE COUNTY, FLORIDA

**JMPACT** SURVEYING AND MAPPING, INC.  
L.B. #7934  
7815 NORTH DALE MABRY HIGHWAY, SUITE 107, TAMPA, FL. 33614  
Phone: (813) 644-6570  
E-Mail: psm5931@msn.com  
www.impactsurveyingandmapping.com

Date Signed: \_\_\_\_\_  
Last Date of Field Survey: 10-16-19

David F. Peach, P.S.M.  
Registered Surveyor and Mapper  
State of Florida No. 5931

RELEASE DATE: 11/01/2019  
PARTY CHIEF: J.P.  
FIELD BOOK: 39  
PAGE: 65

CAD FILE: 2019-8309 BNDY  
JOB NUMBER: 2019-83-09  
SHEET 1 of 2

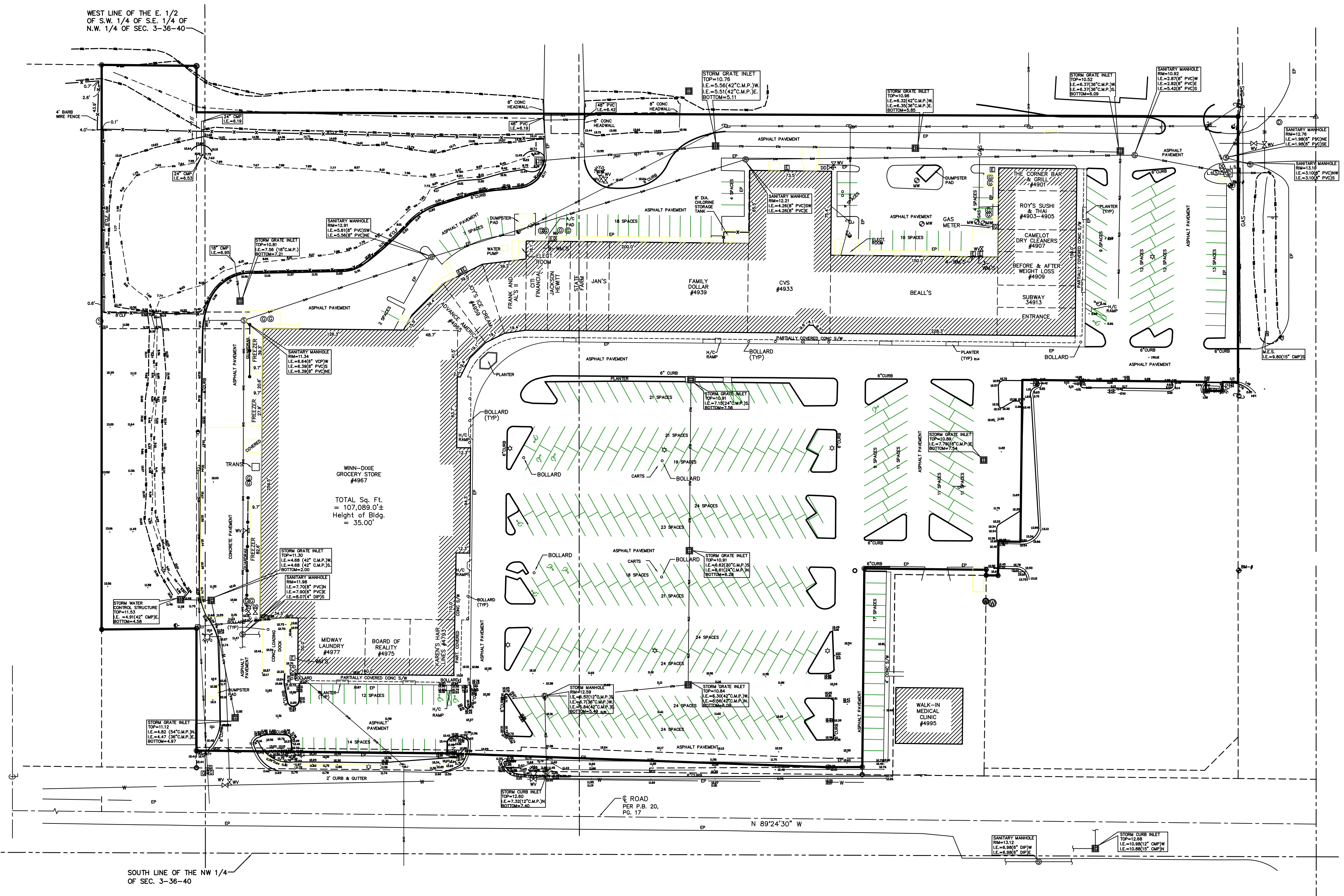
SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA

LEGEND

- FOUND CORNER-AS NOTED
- SET CAPPED IRON ROD
- △ FOUND P.K. NAIL & DISK
- CONC. POWER POLE
- STEEL LIGHT POLE
- STEEL SIGNAL SUPPORT POLE
- GUY ANCHOR
- ELEC METER
- ELEC RECEPTACLE
- GAS UG MARKER
- GAS METER
- WATER VALVE
- WATER BACK FLOW PREVENTOR
- FIRE HYDRANT
- WATER WELL
- MONITOR WELL
- SAN. MANHOLE
- GREASE TRAP
- SAN. LIFT STATION
- SAN. UG MARKER
- STORM MANHOLE
- STORM INLET-GRATE-CENTER
- STORM CONTROL STRUCTURE
- STORM MITERED END SECTION
- SIGN-SINGLE
- TRAFFIC CONTROL BOX
- HANDICAP PARKING
- DENOTES CONCRETE SLAB
- DENOTES OVERHANG COVERED AREA
- DENOTES BUILDING AREA
- F.C.I.R. FOUND CAPPED IRON ROD-AS NOTED
- S.C.I.R. SET CAPPED IRON ROD 5/8"-LB#4636
- F.I.R. FOUND IRON ROD-AS NOTED
- F.I.P. FOUND IRON PIPE-AS NOTED
- F.P.K.&D. FOUND P.K. NAIL & DISC
- O.R. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- D.B. DEED BOOK
- P.G. PAGE
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- P.O.T. POINT OF TERMINATION
- L.B. LICENSED BUSINESS
- P.L.S. PROFESSIONAL LAND SURVEYOR
- P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
- B.L.D.G. BUILDING
- F.F. FINISHED FLOOR
- S/W SIDEWALK
- EP EDGE OF PAVEMENT
- B.O.C. BACK OF CURB
- CONC. CONCRETE
- C.L.F. CHAIN LINK FENCE
- M.E.S. MITERED END SECTION
- R.C.P. REINFORCED CONCRETE PIPE
- C.M.P. CORRUGATED METAL PIPE
- P.V.C. POLYVINYL CHLORIDE PIPE
- D.I.P. DUCTILE IRON PIPE
- S SANITARY SEWER
- FM SANITARY FORCE MAIN
- W WATER LINE
- G GAS LINE
- TRANS. ELECTRIC TRANSFORMER
- OHW OVERHEAD WIRE
- UG UNDERGROUND ELECTRIC LINE
- UGT UNDERGROUND TELEPHONE LINE
- T.O.B. TOP OF BANK
- T.O.S. TOE OF SLOPE
- E.W. EDGE OF WATER
- TYP TYPICAL
- N.T.S. NOT TO SCALE
- SPOT ELEVATION
- I.E. INVERT ELEVATION

SANITARY MANHOLE #2611  
RM = 12.57  
I.E. = 8.74 (8" P.V.C.)SW  
I.E. = 9.00 (6" P.V.C.)W  
I.E. = 8.74 (8" P.V.C.)NE

LINE	BEARING	LENGTH
L1	N00°35'08"E	4.00'
L2	S89°24'42"E	19.79'
L3	N00°34'42"E	30.48'
L4	N89°25'18"W	10.65'
L5	S45°12'45"W	42.52'
L6	N00°00'00"E	40.09'
L7	S00°35'56"W	8.00'
L8	S89°24'04"E	15.00'
L9	N00°35'56"E	8.00'
L10	S89°24'04"E	13.86'



WEST LINE OF THE E. 1/4 OF S.W. 1/4 OF S.E. 1/4 OF N.W. 1/4 OF SEC. 3-36-40

SOUTH LINE OF THE NW 1/4 OF SEC. 3-36-40

No.	DESCRIPTIONS	DATE	BY
REVISIONS			

BOUNDARY AND LIMITED TOPOGRAPHIC SURVEY  
TOWNE SOUTH PLAZA  
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www.impactsurveyingandmapping.com

DRAWN BY: DFP  
CHECKED BY: DFP  
SCALE: 1"=50'

RELEASE DATE: 11/01/2019  
PARTY CHIEF: J.P.  
FIELD BOOK: 39  
PAGE: 65

CAD FILE: 2019-8309BNDY  
JOB NUMBER: 2019-8309  
SHEET 2 of 2



## Design Review

Property address or Location 4901 US HIGHWAY 1  
 Parcel ID #(s) 3403-244-0000-000-6  
 Project Description PROP. PARKING LOT MODIFICATIONS AND SEWER MAIN RE-ROUTING

Ts Pierce Sc Co Ltd  
 Property Owner(s)  
 PO Box 11229  
 Street Address  
 Knoxville TN 37939  
 City State Zip  
 954-629-2224  
 Phone Number  
 steve@keltonpm.com  
 Email Address

Jason M. Gunther, P.E., Thomas Engineering Group  
 Applicant/Representative, Title, Company  
 125 West Indiantown Road, Suite 206  
 Street Address  
 Jupiter FL 33458  
 City State Zip  
 561-203-7503  
 Phone Number  
 jgunther@thomaseg.com  
 Email Address

**TS PIERCE SC CO., LTD.,**  
 a Florida limited partnership  
 By **TS Pierce Corp.**  
 a Florida corporation, General Partner

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.*

Property Owner(s) Signature(s)  
 Steven Levin, Vice President

STATE OF FLORIDA -- COUNTY  
 The foregoing instrument was acknowledged before me this 20 day of July, 2020, by  
Steven Levin who is personally known to me or has produced

Wasallo  
 Signature of Notary



LISDAYSE VASALLO HERNANDEZ  
 Commission # GG 301731  
 Expires March 19, 2023(seal)  
 Bonded Thru Budget Notary Services

### TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_

Intake Date Stamp

# Design Review Application Checklist

## (City Code of Ordinances 22-59)

### Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

### Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

# SITE DEVELOPMENT DRAWINGS FOR: TOWNE SOUTH PLAZA

CITY OF FORT PIERCE  
ST. LUCIE COUNTY, FL  
SECTION 03, TOWNSHIP 36 S, RANGE 40 E

## VICINITY \ AERIAL MAP

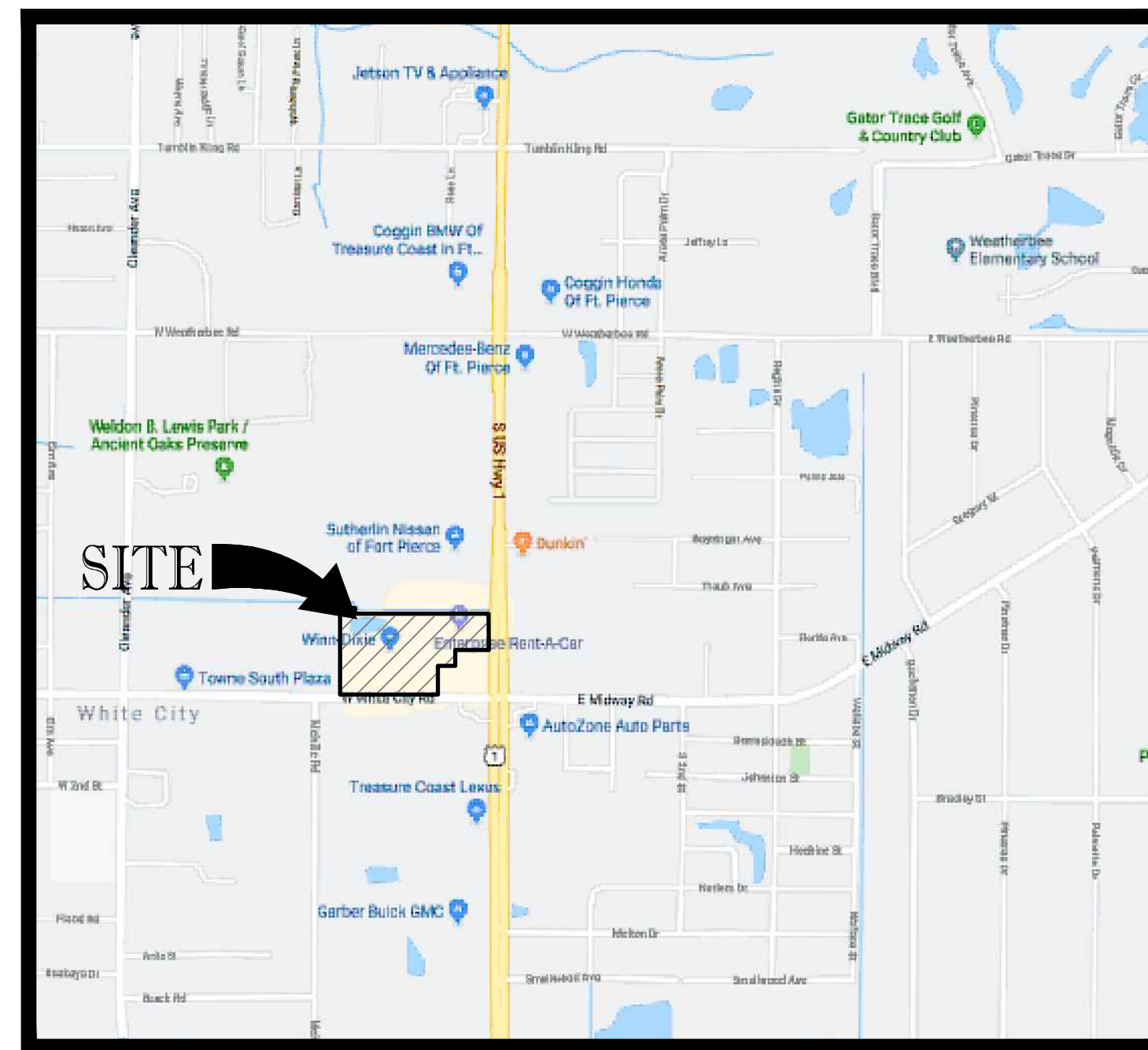
SCALE: 1"=500'



COPYRIGHT 2018 LABINS

## LOCATION MAP

SCALE: 1" = 1,000'



COPYRIGHT 2010 MICROSOFT CORPORATION 2010 NAVTEQ

## SHEET INDEX

### PLANS BY THOMAS ENGINEERING:

COVER SHEET	C-01
GENERAL NOTES	C-02
DEMOLITION PLAN	C-03
EROSION CONTROL PLAN	C-04
SITE PLAN	C-05
PAVING, GRADING & DRAINAGE PLAN	C-06
WATER, SEWER AND UTILITIES PLAN	C-07
SEWER PROFILE	C-08
UTILITIES DETAILS	C-09 - C-10

## LEGAL DESCRIPTION

AS FURNISHED BY CLIENT

PARCEL 1:  
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COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 3; THENCE ALONG THE EAST BOUNDARY OF SAID NORTHWEST 1/4, NORTH 00°02'03" WEST, 69.60 FEET; THENCE DEPARTING SAID EAST BOUNDARY, NORTH 89°24'54" WEST, 69.99 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF N.S.L.R.W.M.D. CANAL #17; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, NORTH 00°01'39" WEST, 37.26 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL, SAID POINT LYING ON THE NORTHERLY RIGHT OF WAY LINE OF MIDWAY ROAD, AS DESCRIBED IN OFFICIAL RECORDS BOOK 1746, PAGE 2911, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE DEPARTING SAID WESTERLY RIGHT OF WAY LINE, AND ALONG SAID NORTHERLY RIGHT OF WAY LINE, SOUTH 45°12'45" WEST, 42.52 FEET; THENCE CONTINUE ALONG SAID NORTHERLY RIGHT OF WAY LINE, NORTH 89°24'54" WEST, 197.80 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, NORTH 00°36'58" EAST, 173.03 FEET; THENCE SOUTH 89°25'18" EAST, 10.65 FEET; THENCE NORTH 00°34'42" EAST, 30.48 FEET; THENCE SOUTH 89°23'42" EAST, 19.79 FEET; THENCE NORTH 00°39'53" EAST, 145.28 FEET; THENCE SOUTH 89°24'04" EAST, 164.69 FEET; THENCE SOUTH 00°35'36" WEST, 8.00 FEET; THENCE SOUTH 89°24'04" EAST, 15.00 FEET; THENCE NORTH 00°35'56" EAST, 8.00 FEET; THENCE SOUTH 89°24'04" EAST, 13.86 FEET TO A POINT ON THE AFORESAID WESTERLY RIGHT OF WAY LINE OF THE N.S.L.R.W.M.D. CANAL #17; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, SOUTH 00°01'39" EAST, 318.53 FEET TO THE POINT OF BEGINNING.  
OUTPARCEL "B"  
A PORTION OF THE SOUTH ONE-HALF (S 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST (SE) CORNER OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE NORTH 00°02'03" WEST ALONG THE EAST LINE OF SAID NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 3 TO A POINT ON THE BASELINE OF SURVEY OF COUNTY ROAD 712 (MIDWAY ROAD) AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR ITEM/SEGMENT NO. 2314402, SECTION 34530-2510; THENCE NORTH 89°42'55" EAST, 1,638.39 FEET ALONG SAID BASELINE OF SURVEY; THENCE NORTH 00°17'15" EAST, 40.00 FEET ALONG A LINE AT A RIGHT ANGLE TO THE LAST DESCRIBED COURSE TO THE NORTH EXISTING RIGHT OF WAY LINE OF SAID COUNTY ROAD 712 (MIDWAY ROAD) AND THE POINT OF BEGINNING; THENCE NORTH 00°17'15" EAST, 15.48 FEET; THENCE SOUTH 89°40'58" EAST, 225.47 FEET; THENCE SOUTH 88°12'45" EAST, 341.27 FEET TO SAID NORTH EXISTING RIGHT OF WAY LINE OF COUNTY ROAD 712 (MIDWAY ROAD); THENCE SOUTH 89°25'41" WEST, 180.25 FEET ALONG SAID NORTHERLY EXISTING RIGHT OF WAY LINE; THENCE SOUTH 00°17'15" WEST, 4.00 FEET CONTINUING ALONG SAID NORTH EXISTING RIGHT OF WAY LINE; THENCE NORTH 89°42'45" WEST, 406.39 FEET CONTINUING ALONG SAID NORTHERLY EXISTING RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

PREPARED BY



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**COVER SHEET**

SHEET NUMBER:  
**C-01**

## GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- BOUNDARY SURVEY - IMPACT SURVEYING AND MAPPING, DATED 11/01/2019.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

2. ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) CODE (42 U.S.C. SEC. 1201 ET SEQ. AND 42 U.S.C. SEC. 4151 ET SEQ.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THE BOUNDARY SURVEY PREPARED BY IMPACT SURVEYING AND MAPPING, DATED 11/01/2019 SHALL BE CONSIDERED A PART OF THESE PLANS.

8. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO THOMAS ENGINEERING GROUP BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THOMAS ENGINEERING GROUP IF ANY ACTUAL DIFFERENCES FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

9. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE STARTING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.

10. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.

11. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.

12. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.

14. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.

15. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL, INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION, THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

16. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

17. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

18. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.

19. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME THOMAS ENGINEERING GROUP, AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH THOMAS ENGINEERING GROUP WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS THOMAS ENGINEERING GROUP AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

20. THOMAS ENGINEERING GROUP WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THOMAS ENGINEERING GROUP'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT THOMAS ENGINEERING GROUP HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THOMAS ENGINEERING GROUP WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. THOMAS ENGINEERING GROUP WILL NOT BE REQUIRED TO REVIEW NEW SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

21. NEITHER THE PROFESSIONAL ACTIVITIES OF THOMAS ENGINEERING GROUP, NOR THE PRESENCE OF THOMAS ENGINEERING GROUP OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION / PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. THOMAS ENGINEERING GROUP AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THOMAS ENGINEERING GROUP SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

22. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.

23. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL, EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM SHOULD BE INCLUDED IN THE CONTRACTOR'S PRICE.

24. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

25. CONTRACTOR SHALL CONFIRM ADA ACCESSIBILITY PRIOR TO INSTALLING FINISHING COURSES OF SIDEWALKS AND PARKING AREAS.

26. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A RECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.

27. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED) PRIOR TO CERTIFICATE OF OCCUPANCY, THESE EASEMENTS SHALL BE SKETCHED, DESCRIBED, AND RECORDED AT THE SOLE COST OF THE CONTRACTOR.

28. CONTRACTOR SHALL PROVIDE MINIMUM 48 HOUR NOTICE TO ENGINEER AND APPLICABLE AGENCIES FOR SCHEDULING INSPECTIONS.

29. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND CITY OF FORT PIERCE FOR THE FOLLOWING: CATCH BASINS, FIRE HYDRANTS, VALVES, AND ALL REQUIRED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

30. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.

31. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH MUT.C.D. AND FOOT STANDARDS AND INDEX 806, LATEST EDITION, AND APPROVED BY CITY OF FORT PIERCE AND ST. LUCIE COUNTY, WHERE APPLICABLE PRIOR TO IMPLEMENTATION.

32. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

33. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE THE BE LEFT OPEN DURING NIGHTIME HOURS WITHOUT EXPRESS PERMISSION FROM CITY OF FORT PIERCE.

34. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE, ALL RESTORED TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY'S TRAFFIC ENGINEERING STANDARDS.

## SANITARY SEWER NOTES:

A. GENERAL:

1. DISTANCE AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.

B. MATERIALS:

1. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH FUSH-ON RUBBER GASKET JOINTS. (2" SHALL BE DR-25)

2. DUCTILE IRON PIPE (DIP) SHALL BE CEMENT OR POLYURETHANE INSULATED AND SHALL HAVE A COAL TAR EPOXY COATING, MANUFACTURED IN ACCORDANCE WITH ANSIIAWWA C151/A21.51-89 OR LATEST REVISION. MINIMUM WALL THICKNESS CLASS 52 (4" /12" & CLASS 51 (14" /20") UNLESS OTHERWISE SPECIFIED).

3. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.

C. INSTALLATION:

1. PIPE AND FITTINGS:

a. SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UNI-BELL PLASTICS PIPE ASSOCIATION'S RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE."

b. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSIIAWWA C800-93 OR LATEST REVISION.

c. BEDDING AND INITIAL BACKFILL OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK (PER CITY OF FORT PIERCE ENGINEERING STANDARDS).

3. SERVICE:

a. MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED ON THE FLORIDA BUILDING CODE.

b. SERVICE LATERALS SHALL TERMINATE AT A DEPTH 30" BELOW FINISHED GRADE OR AS INDICATED ON PLUMBING PLAN.

c. EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.

d. THE END OF EACH SERVICE CONNECTION SHALL BE PAINTED WITH A 2"x4" TREATED STAKE PAINTED RED, EXTENDING 18"(MIN) ABOVE GRADE.

e. CONTRACTOR SHALL ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG, AT PROJECT COMPLETION, CUT BACK TO FINISHED GRADE.

f. CONNECTION OF SERVICES TO BUILDINGS PLUMBING SHALL BE COORDINATED WITH THE CITY'S BUILDING DEPARTMENT, PLUMBING SECTION.

D. TESTING:

1. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.

2. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.

3. MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT. NO VISIBLE LEAKAGE ALLOWED.

4. SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN ATWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED AND ALL LINES SHALL BE T.V. INSPECTED.

5. SANITARY SEWER SHALL BE TELEVISED AND LAMPED AT DEVELOPER'S EXPENSE. PRIOR TO FINAL ACCEPTANCE, OWNER / CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO CERTIFICATION TO ANY AGENCY.

6. VISIBLE INFILTRATION LEAKAGE INTO MANHOLES, AND SEWER PIPE SHALL NOT BE PERMITTED.

## WATER DISTRIBUTION AND/OR SANITARY SEWER FORCE MAIN SYSTEM

A. GENERAL:

1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS, FOR THE WATER AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE CITY OF FORT PIERCE UTILITY AUTHORITY AND THE ST. LUCIE COUNTY HEALTH DEPARTMENT.

2. BEDDING AND INITIAL BACKFILL FOR MAINS SHALL BE SAND WITH NO ROCK (PER CITY OF FORT PIERCE UTILITY AUTHORITY STANDARDS MANUAL LATEST EDITION).

3. USE "DETECTO" TAPE ON ALL PVC MAINS (18" ABOVE), AND USE "NON-DETECTO" TAPE ON ALL D.I.P. MAINS (18" ABOVE).

4. SEPARATION REQUIREMENTS SHALL BE PER THE CITY FORT PIERCE UTILITY AUTHORITY STANDARDS.

5. CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF FORT PIERCE UTILITY AUTHORITY STANDARDS AND SPECIFICATIONS.

B. MATERIALS:

1. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 UP TO 12" SIZE & CLASS 51 FOR 14" AND LARGER WITH INTERIOR CEMENT LINING AND EXTERIOR ZINC CHROMIUM COATED OUTSIDE. WATER MAIN & EPOXY LINED & COATED FORCE MAIN MANUFACTURED IN ACCORDANCE WITH ANSIIAWWA C151/A21.51-91 OR LATEST REVISION. THE PIPE SHALL BE WITHSTAND A TAPPING RING TEST. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE UNLESS OTHERWISE NOTED ON THE PLANS.

2. ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE CONFORMING TO ANSIIAWWA C900-89 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE O.D. (PVC ON-SITE ONLY).

3. FITTINGS FOR MAINS 4" AND LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO ANSIIAWWA C110/A21.10-93 OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS, AND FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME MATERIALS AS THE PIPE & USE MEGALUG SERIES 1100 RESTRAINED JOINT ADAPTERS.

4. VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED AND LINED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSIIAWWA C509-87 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.

a. GATE VALVES 4" AND LARGER SHALL BE MUELLER A-2360-20, RESILIENT SEATED GATE VALVES SHALL BE AMERICAN 500/2500 LINE OR CLOW F-6100, CONFORMING TO ANSIIAWWA C509-87.

b. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.

c. GATE VALVES SHALL BE PER THE CITY OF FORT PIERCE UTILITY AUTHORITY.

5. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL PER CITY OF FORT PIERCE.

6. VALVE BOXES SHALL BE TYLER/JUNION 461-S OR APPROVED EQUAL PER CITY OF FORT PIERCE.

7. RETAINER GLANDS SHALL CONFORM TO ANSIIAWWA C111/A21.11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. CLOW CORPORATION MODEL F-1058 OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.

8. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90, NO SUBSTITUTIONS ALLOWED.

9. FIRE HYDRANTS SHALL HAVE A 5 1/4" MAIN VALVE OPENING, PUMPER NOZZLE TO BE 18" FROM FINISH GRADE. ALL HYDRANTS SHALL BE INSTALLED WITH ANCHORING VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSIIAWWA C502-85 (OR LATEST REVISION). HYDRANTS SHALL BE AMERICAN DARLING B-84-B, BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OF NEAREST DRIVING LANE FOR FIRE HYDRANTS.

C. SERVICE CONNECTION:

1. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

2. CURB STOPS SHALL BE MUELLER OR APPROVED EQUAL.

3. METER STOPS SHALL BE 90° LOCK WING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-82. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT "O" RING CONNECTION AGAINST THE MAIN. METER STOP SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

4. SERVICE PIPING SHALL BE POLYETHYLENE TUBING.

D. INSTALLATION:

1. GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE BY USING ONE OF THE FOLLOWING METHODS:

a. METHOD A PER ST. LUCIE COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW ONE.

b. METHOD B PER ST. LUCIE COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.

c. METHOD C APPROVED BY THE ST. LUCIE COUNTY PUBLIC HEALTH UNIT, WHICH INVOLVES A TAP WITH ONE GATE VALVE REQUIRING DISINFECTION OF THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE TEST.

2. BEDDING:

BEDDING AND INITIAL BACKFILL OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK (PER CITY OF FORT PIERCE UTILITY AUTHORITY STANDARDS).

3. PVC PIPE:

a. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS.

b. PVC PIPE SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER

c. DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18" ABOVE THE PIPE, COLOR SIDE UP.

4. DUCTILE PIPE:

a. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSIIAWWA C800-99 OR LATEST REVISION.

b. D.I.P. SHALL BE INSTALLED WITH A MINIMUM OF 30" COVER.

c. "NON-DETECTOR" TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL D.I.P. MAINS APPROXIMATELY 18" ABOVE THE MAIN COLOR SIDE UP

5. VALVES:

a. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER" CAST IN THE COVER, A BRASS DISK INDICATING, SIZE, TYPE, KIND & OPERATOR INSTRUCTIONS SHALL BE INSTALLED ADJACENT TO VALVE BOX.

b. MAIN VALVES SHALL BE LOCATED ON AN EXTENSION OF THE RIGHT-OF-WAY LINE UNLESS DIMENSIONED OTHERWISE.

c. MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES. HYDRANT VALVES SHALL BE INSTALLED AS CLOSE TO THE MAIN AS POSSIBLE. VALVES LOCATED IN UNPAVED AREAS OR IN PARKING STALLS REQUIRE A REFLECTIVE PAVEMENT MARKER ON THE CENTER OF THE NEAREST LANE OF PAVEMENT, WHITE REFLECTORS FOR THE WATER MAIN VALVES, GREEN REFLECTORS FOR FORCE MAIN VALVES, & THE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR NUT TO FINAL GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 18 INCHES.

6. SERVICE:

a. COVER OVER SERVICE LINES SHALL BE 18" MINIMUM, 36" MAXIMUM BELOW FINISHED GRADE AND 36" UNDER PAVEMENT.

b. SERVICES UP TO 2" SHALL BE POLYETHYLENE TUBING PER CITY OF FORT PIERCE UTILITY AUTHORITY.

c. METER STOPS SHALL HAVE 8" TO 10" COVER AS REQUIRED FOR PROPER METER/BOX INSTALLATION.

d. WATER SERVICES UNDER PAVEMENT SHALL BE ENCASED IN A SCHEDULE 80 PVC SLEEVE FOR THE FULL LENGTH OF THE PAVEMENT AND FOR 2' BEYOND THE EDGES. 3/4" DIAMETER SHALL BE TWICE THE DIAMETER OF THE SERVICE PIPE.

e. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE, PAINTED BLUE EXTENDING 18" (MINIMUM) ABOVE GRADE UNLESS INDICATED OTHERWISE.

E. TESTING

1. BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSIIAWWA C600-89 OR LATEST REVISION. THE PRESSURE TEST SHALL NOT VARY MORE THAN ±5 P.S.I. DURING THE TEST.

2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY OF FORT PIERCE UTILITY AUTHORITY AND THE ENGINEER OF RECORD.

3. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSIIAWWA C851-82, 150 PSI MINIMUM STARTING TEST PRESSURE, WITH BACTERIOLOGICAL SAMPLES APPROVED BY THE ST. LUCIE COUNTY PUBLIC HEALTH DEPARTMENT.

4. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1500' MAXIMUM FOR LINES GREATER THAN 120' IN LENGTH. PROVIDE A MINIMUM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SEGMENTS. SAMPLE POINTS MUST BE APPROVED BY ST. LUCIE COUNTY HEALTH DEPARTMENT.

5. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = \frac{S \cdot D \cdot P \cdot 0.5}{148000}$$

IN WHICH:  
L EQUALS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.  
S EQUALS LENGTH OF PIPE (LINEAR FEET),  
D EQUALS NOMINAL DIAMETER OF PIPE (INCHES) AND  
P EQUALS THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH).

6. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.

7. GATE VALVES SHALL BE PER THE CITY OF FORT PIERCE UTILITY AUTHORITY.

8. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL PER CITY OF FORT PIERCE.

9. VALVE BOXES SHALL BE TYLER/JUNION 461-S OR APPROVED EQUAL PER CITY OF FORT PIERCE.

10. RETAINER GLANDS SHALL CONFORM TO ANSIIAWWA C111/A21.11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. CLOW CORPORATION MODEL F-1058 OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.

11. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90, NO SUBSTITUTIONS ALLOWED.

12. FIRE HYDRANTS SHALL HAVE A 5 1/4" MAIN VALVE OPENING, PUMPER NOZZLE TO BE 18" FROM FINISH GRADE. ALL HYDRANTS SHALL BE INSTALLED WITH ANCHORING VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSIIAWWA C502-85 (OR LATEST REVISION). HYDRANTS SHALL BE AMERICAN DARLING B-84-B, BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OF NEAREST DRIVING LANE FOR FIRE HYDRANTS.

C. SERVICE CONNECTION:

1. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

2. CURB STOPS SHALL BE MUELLER OR APPROVED EQUAL.

3. METER STOPS SHALL BE 90° LOCK WING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-82. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT "O" RING CONNECTION AGAINST THE MAIN. METER STOP SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

4. SERVICE PIPING SHALL BE POLYETHYLENE TUBING.

D. INSTALLATION:

1. GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE BY USING ONE OF THE FOLLOWING METHODS:

a. METHOD A PER ST. LUCIE COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW ONE.

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2. BEDDING:

BEDDING AND INITIAL BACKFILL OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK (PER CITY OF FORT PIERCE UTILITY AUTHORITY STANDARDS).

## STORM DRAINAGE:

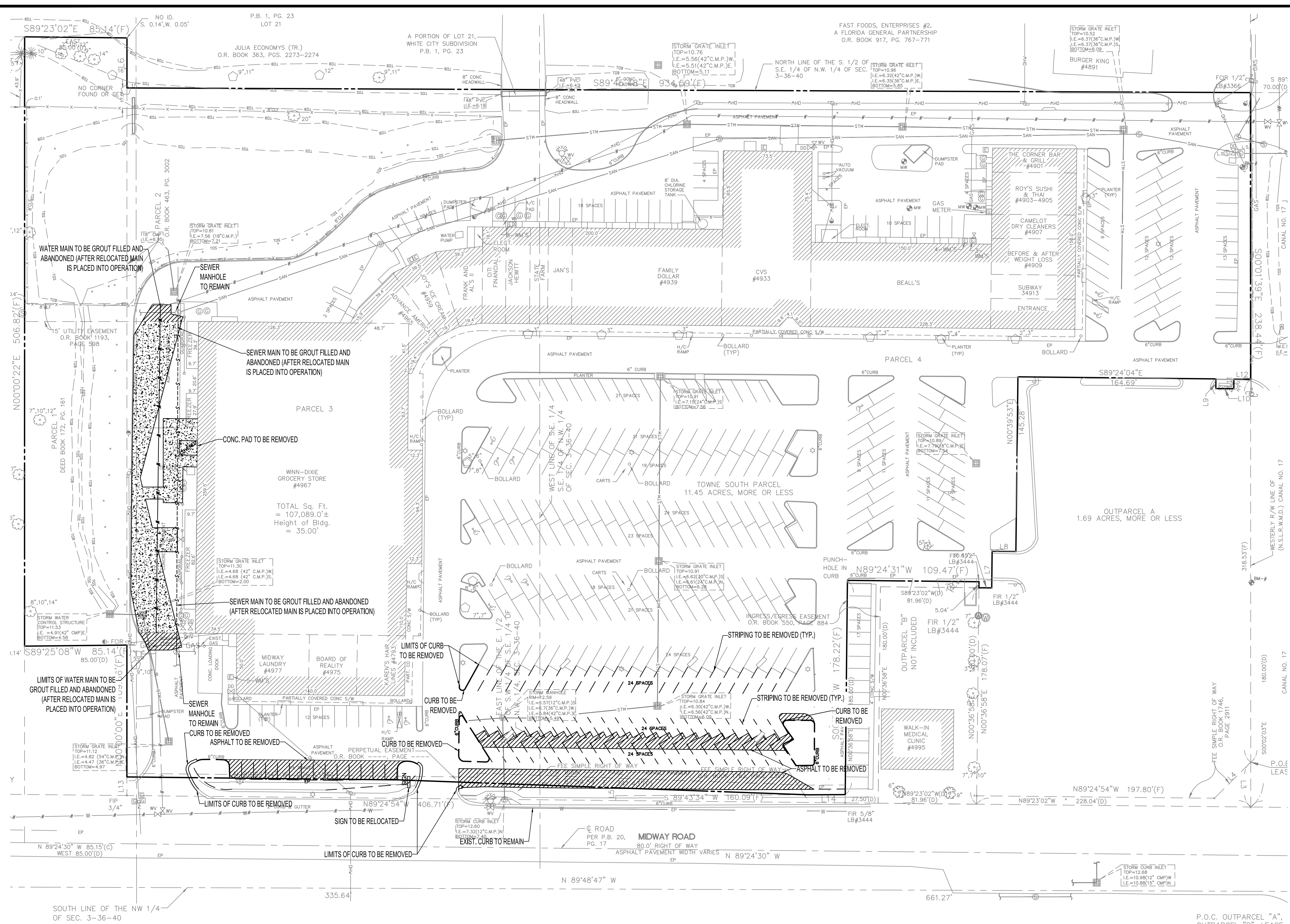
A. GENERAL:

1. CATCH BASIN GRATES AND RIM ELEVATIONS AS SHOWN ON PLANS SHALL BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.

2. DISTANCES AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.

B. MATERIALS:

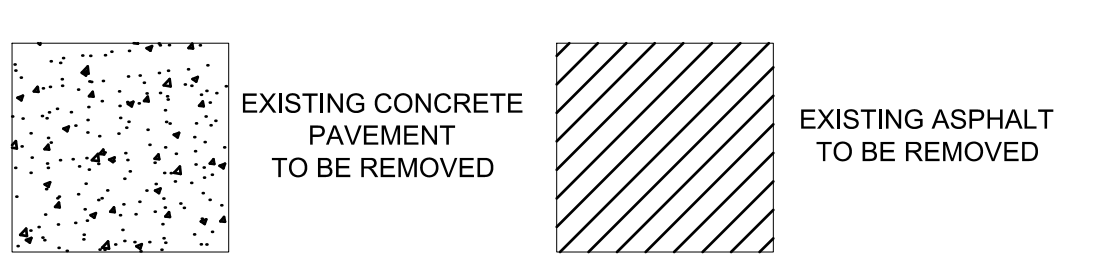
1. ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-478 AND 64T UNLESS OTHERWISE NOTED IN THE PLANS. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER. THE MINIMUM WALL AND SLAB THICKNESS SHALL BE 8 INCHES AND THE MINIMUM REINFORCING SHALL BE NO. 4 BARS AT 12 INCHES EACH WAY UNLESS OTHERWISE INDICATED. CONCRE



**DEMOLITION NOTES:**

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY: IMPACT SURVEYING AND MAPPING, INC. 7815 NORTH DALE MABRY HIGHWAY SUITE 107 TAMPA, FL 33614 DATED: 11/01/2019
- THOMAS ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THOMAS ENGINEERING GROUP, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TO:
  - THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
  - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
  - PROTECTING AND MAINTAINING IN OPERATION. ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
  - A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE.
  - SAFETY OR SUPERVISION, CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY.
  - TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
  - IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
  - EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXISTING CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
  - CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
  - USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
  - CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.

**HATCH LEGEND**



**NOTES**

- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH CITY OF FORT PIERCE AND LOCAL UTILITY COMPANY REQUIREMENTS. ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL REFER TO CONSTRUCTION PHASING PLANS FOR ORDER OF REMOVAL OF ANY UTILITIES AND/OR STRUCTURES.
- EXISTING WATER SERVICES TO EXISTING RETAIL SPACE SHALL NOT BE REMOVED UNTIL PROPOSED WATER SERVICES ARE INSTALLED AND RELEASE FOR USE BY FORT PIERCE UTILITY AUTHORITY.

CONTRACTOR SHALL REFER TO LANDSCAPING PLAN FOR TREE REMOVAL

THOMAS ENGINEERING GROUP  
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
4960 W. KENNEDY BLVD. # 125 W. INDIANTOWN RD.  
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REVISIONS			
REV.	DATE	COMMENT	BY

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PROJECT No.:	FJ190027
DRAWN BY:	JMG
CHECKED BY:	JMG
DATE:	FJ190027 - DEMOLITION PLAN
CAD ID.:	

PROJECT:

**TOWNE SOUTH PLAZA  
MIDWAY CURE PLAN**

FOR  
**TS PIERCE SC Co., Ltd.**

CITY OF FORT PIERCE  
FLORIDA

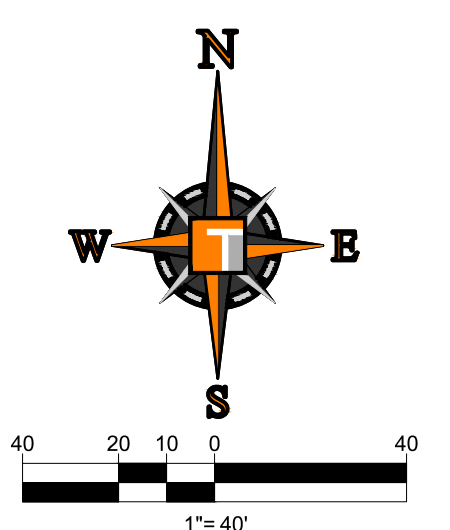
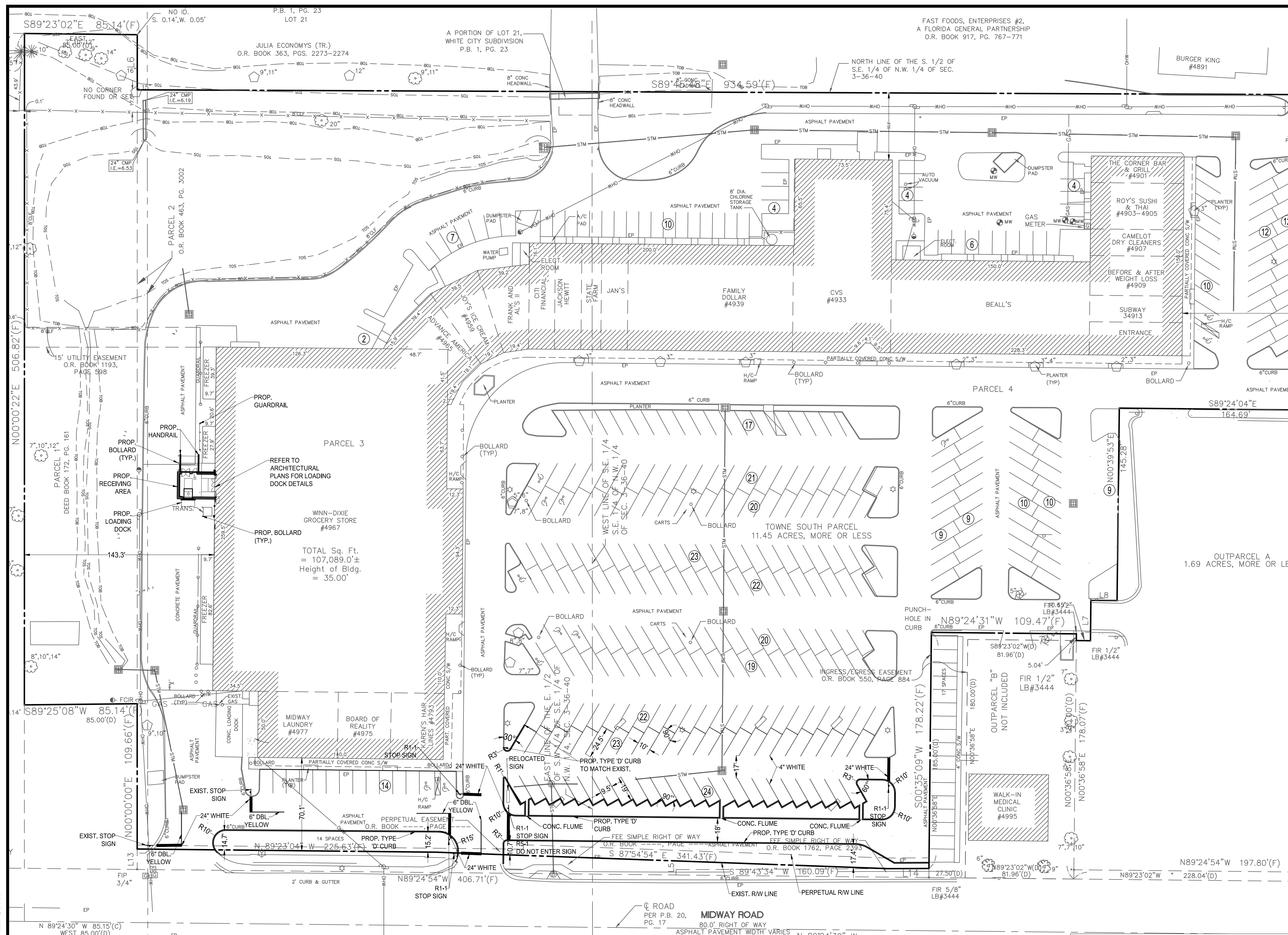
PEPWORTH PROFESSIONAL PLAZA  
125 W. INDIANTOWN RD., SUITE 202  
TAMPA, FL 33609  
PH: (813) 203-7503  
FX: (813) 203-7721  
www.ThomasEngineeringGroup.com

**JASON M. GUNTER**  
No. 58629  
PROFESSIONAL ENGINEER  
November 12, 2020  
FLORIDA BUSINESS LICENSE NO. 27528

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C-03**





**DEVELOPMENT REGULATIONS**

**APPLICANT/ OWNER:** TS PIERCE SC CO., LTD  
**PO BOX 11229**  
**KNOXVILLE, TN 37939**

**LOCAL JURISDICTION:** CITY OF FORT PIERCE  
**ST. LUCIE COUNTY**  
**3403-244-0000-006**

**PARCEL ID:** 12111C0189J (02/16/2012)  
**CURRENT USE:** RETAIL  
**PROPOSED USE:** RETAIL  
**FUTURE LAND USE DESIGNATION:** GC GENERAL COMMERCIAL  
**ZONING DESIGNATION:** C3 GENERAL COMMERCIAL

**FEMA FLOOD ZONE:** ZONE X PER FLOOD PANELS:  
 12111C0189J (02/16/2012)  
 12111C0277J (02/16/2012)

DEVELOPMENT STANDARDS	REQUIRED	PROPOSED
MIN. LOT AREA (S.F.)	10,000	492,672 S.F. 11.31 AC
MIN. LOT WIDTH (FEET)	70	585
MIN. LOT DEPTH (FEET)	90	1019
MIN. SET BACKS:		
FRONT - EAST (FEET)	25	145.70
SIDE - NORTH (FEET)	15	50.60
SIDE - SOUTH (FEET)	15	70.10
REAR - WEST (FEET)	15	143.30
MAX. HEIGHT (FEET)	65'	35'
MAX. F.A.R.	0.60	0.22
MIN. PERVIOUS AREA (%)	20	25%

SITE AREA	EXISTING		PROPOSED		CHANGE	
	S.F.	AC	S.F.	AC	S.F.	AC
IMPERVIOUS						
BUILDING	107,243	2.46	107,805	2.47	562	0.01
PAVEMENT/ SIDEWALK	264,044	6.06	259,272	5.95	(4,773)	(0.11)
TOTAL	371,287		367,077	8.43	(4,211)	(0.10)
PERVIOUS						
TOTAL	121,385	2.79	125,595	2.88	4,211	0.10

PARKING DATA	EXISTING		PROPOSED	
	EXISTING	PROPOSED	EXISTING	PROPOSED
TOTAL PARKING (1/ 250 S.F.)	392	357		
HANDICAPPED PARKING	15	15		
LOADING SPACE	1	1		

**NOTES:**

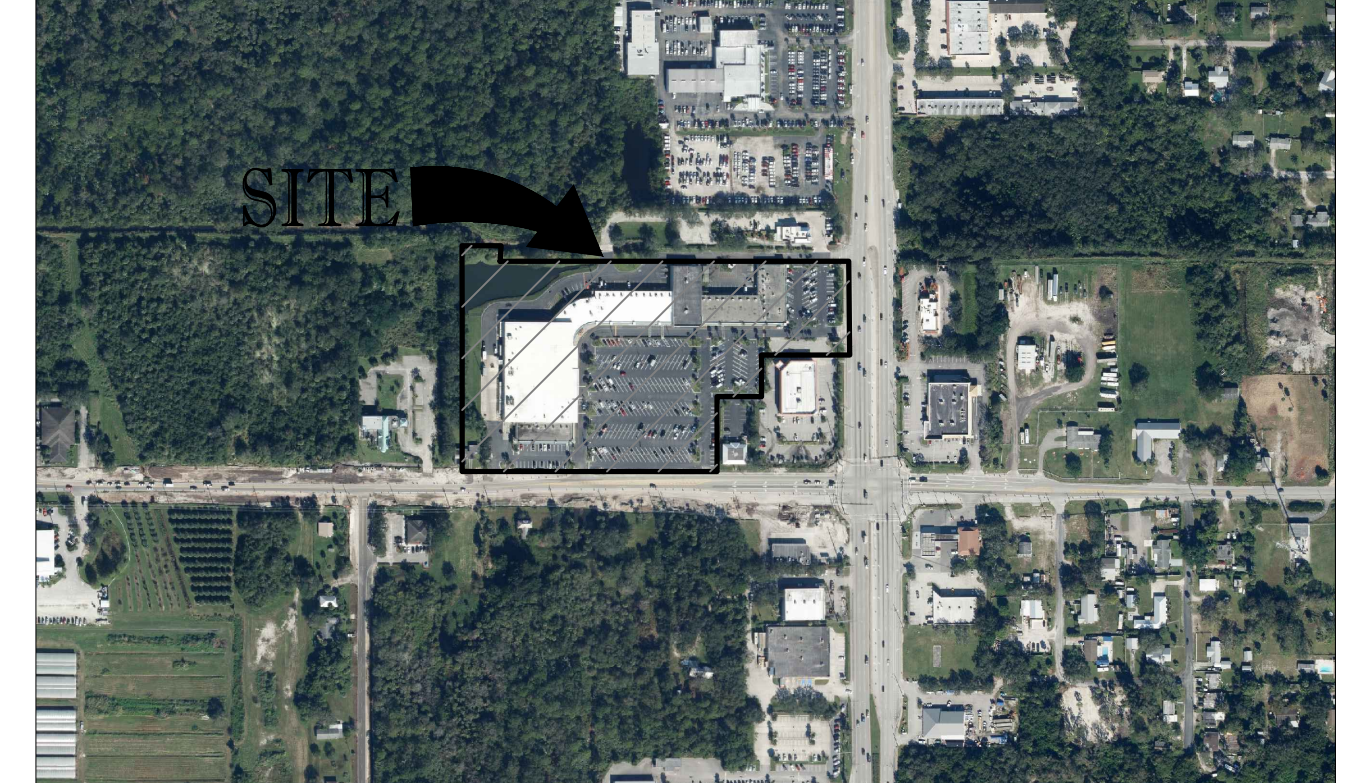
- ALL CONSTRUCTION SHALL COMPLY WITH SECTIONS 17 AND 22 OF THE CITY OF FORT PIERCE CODE OF ORDINANCES.
- ALL TRUNCATED DETECTABLE SURFACES SHALL BE CAST IN PLACE (ADHESIVE NOT PERMITTED) AND BE BRICK RED IN COLOR. ALL RAMPS AND FLUSH CONNECTIONS WITHIN PUBLIC RIGHT-OF-WAY OR ROAD EASEMENTS SHALL INCLUDE TRUNCATED DETECTABLE SURFACE 24" IN DEPTH CONSISTENT WITH FDOT INDEX #304.

SHOPPING CENTER USES		
TYPE	USE	S.F. *
RESTAURANT	THE CORNER BAR & GRILL	1409
RESTAURANT	ROY'S SUSHI & THAI	2453
BUSINESS SERVICE	CAMELOT DRY CLEANERS	1406
MEDICAL	BEFORE & AFTER WEIGHT LOSS	2104
RESTAURANT	SUBWAY	1402
OFFICE	ENTERPRICE CAR RENTAL	1753
RETAIL	BEALL'S	10522
RETAIL	CVS	10656
CONVENIENCE	FAMILY DOLLAR	9985
RETAIL	JAN'S	154
OFFICE	STATE FARM	1191
OFFICE	JACKSON HEWITT	1600
OFFICE	CITI FINANCIAL	1651
RESTAURANT	FRANK & AL'S II	1863
RESTAURANT	JOY'S ICE CREAM	1886
OFFICE	ADVANCE AMERICA	2059
SUPERMARKET	WINN DIXIE	48426
SALON	KAREN'S HAIR	1860
OFFICE	BOARD OF REALTY	1859
BUSINESS SERVICE	MIDWAY LAUNDRY	3005
TOTAL AREA		107243

\* AREA BREAKDOWN HAS BEEN CALCULATED USING THE PICTORIAL PARTITION WALLS SHOWN ON PLANS.

**LOCATION MAP**

SCALE: 1" = 500'



- STRIPING NOTES:**
- PARKING STALL STRIPES SHALL BE 4" WHITE PAINT.
  - STOP BARS SHALL BE 24" WHITE THERMOPLASTIC.
  - SIGNAGE SHALL BE HIGH INTENSITY.
  - DOUBLE YELLOW CENTER LINE STRIPING SHALL BE 6" THERMOPLASTIC.

**THOMAS ENGINEERING GROUP**

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

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**REVISIONS:**

REV.	DATE	COMMENT	BY

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PROJECT No.: FJ190027  
 DRAWN BY: JMG  
 CHECKED BY: JMG  
 DATE: 02/16/2012  
 CAD I.D.: FJ190027 - SITE PLAN

**TOWNE SOUTH PLAZA**  
**MIDWAY CURE PLAN**

FOR

**TS PIERCE SC Co., Ltd.**

CITY OF FORT PIERCE  
 FLORIDA

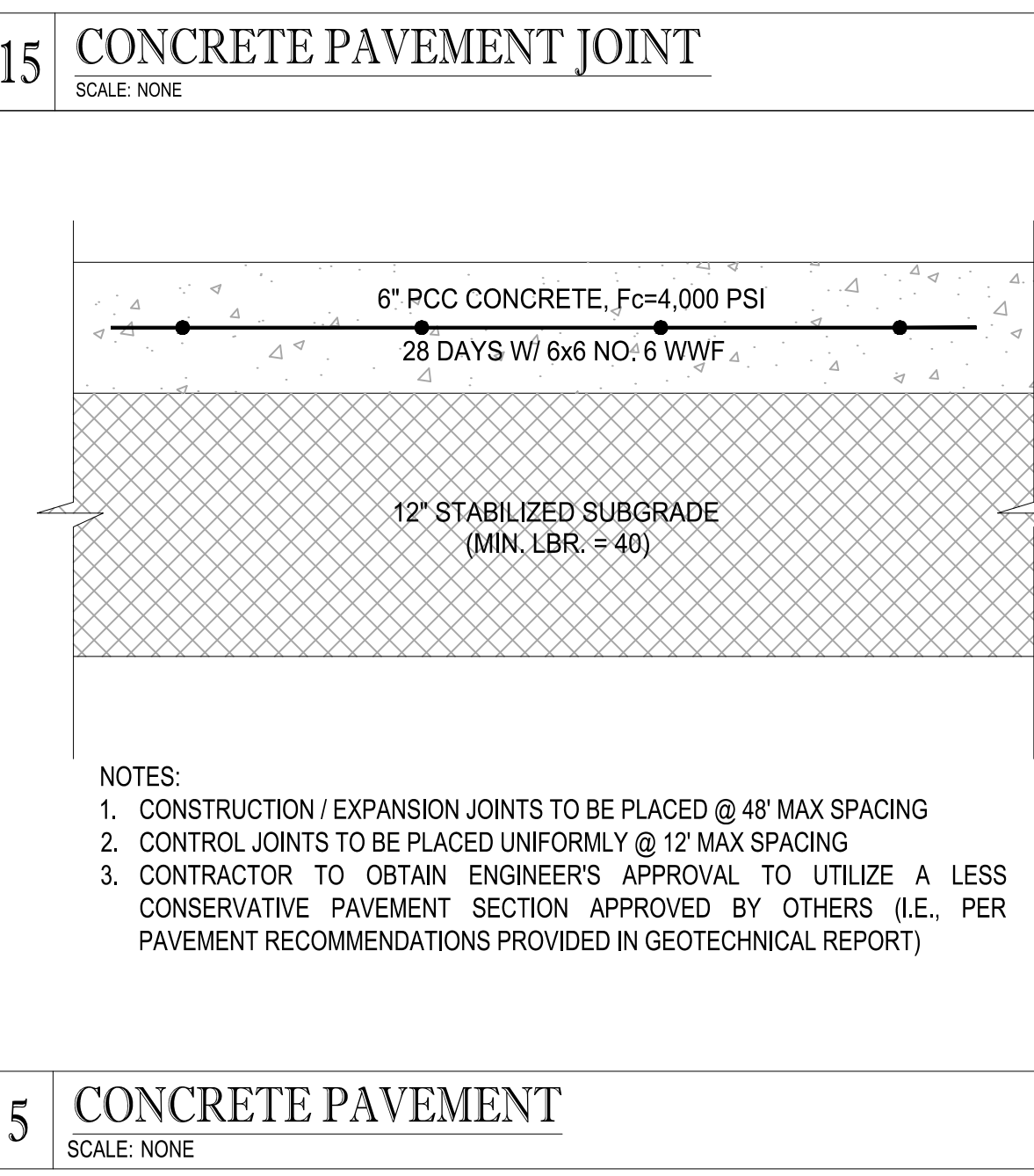
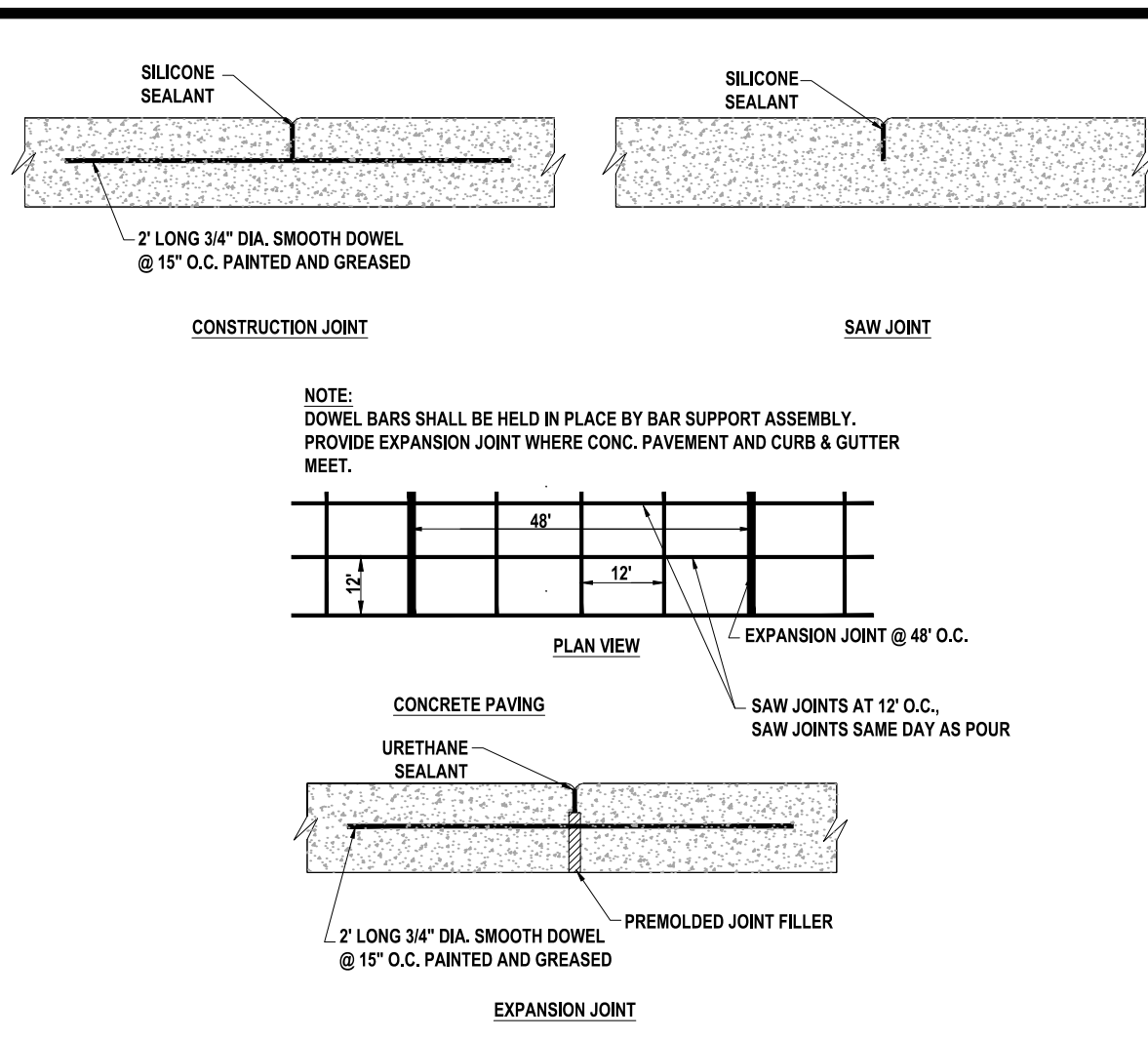
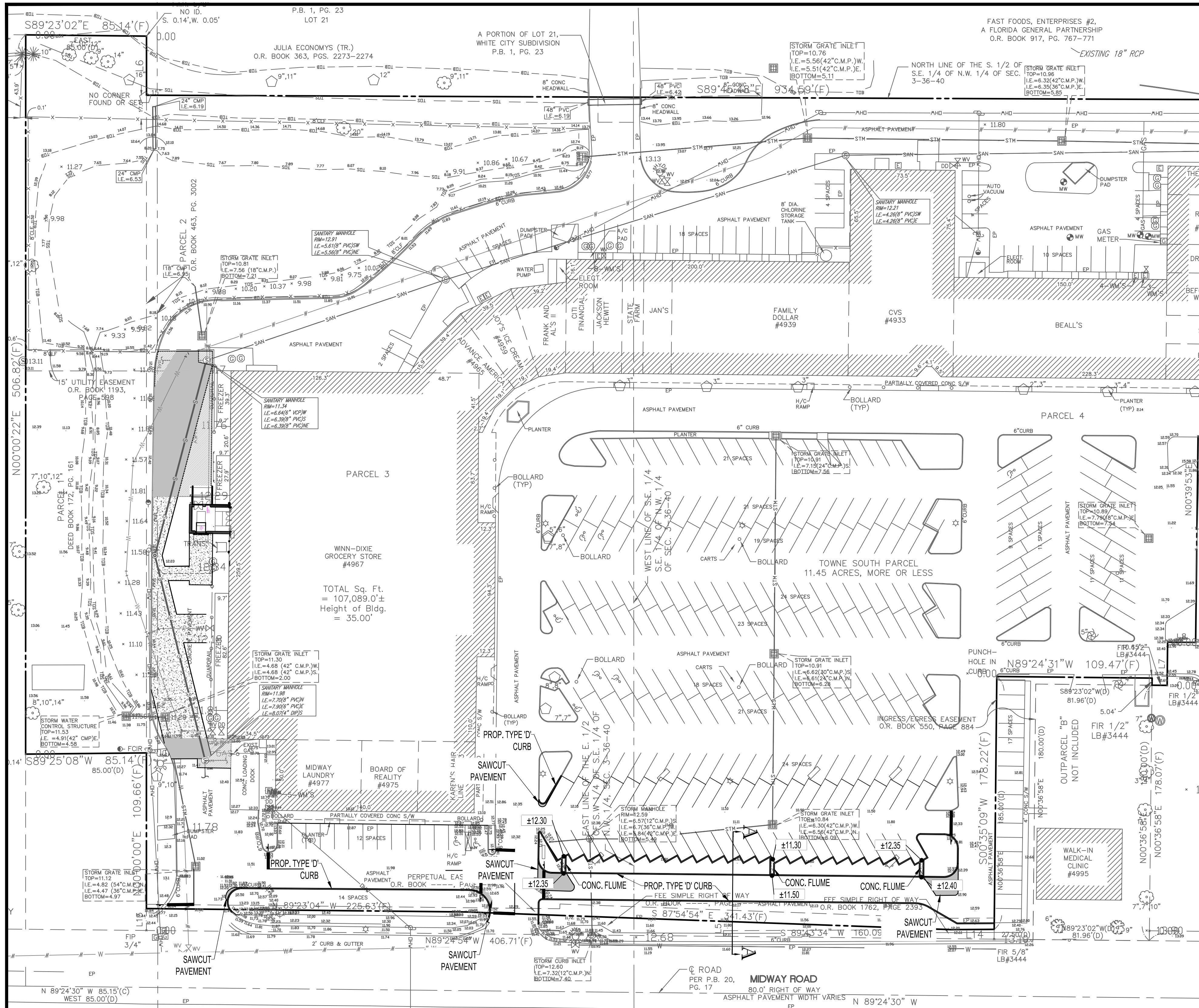
**THOMAS ENGINEERING GROUP**

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**JASON M. GUNTHER**  
 No. 58629  
 PROFESSIONAL ENGINEER  
 FLORIDA LICENSE NO. 6825  
 FLORIDA BOARD OF PROFESSIONAL ENGINEERS, No. 27528

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C-05**

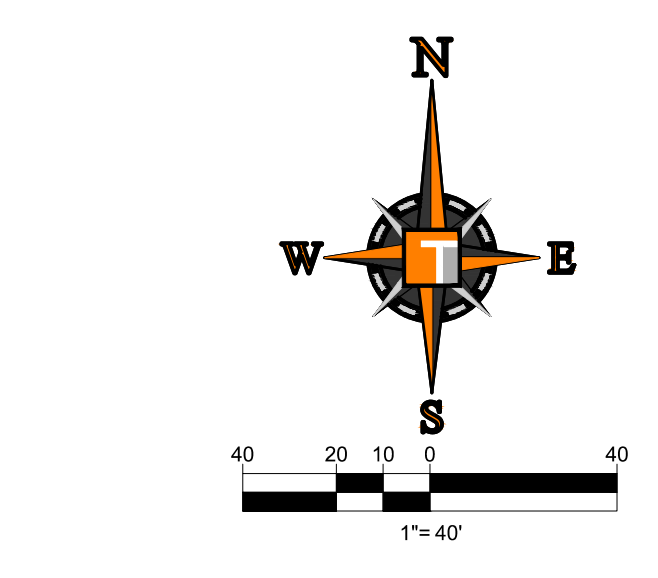


**HATCH LEGEND**

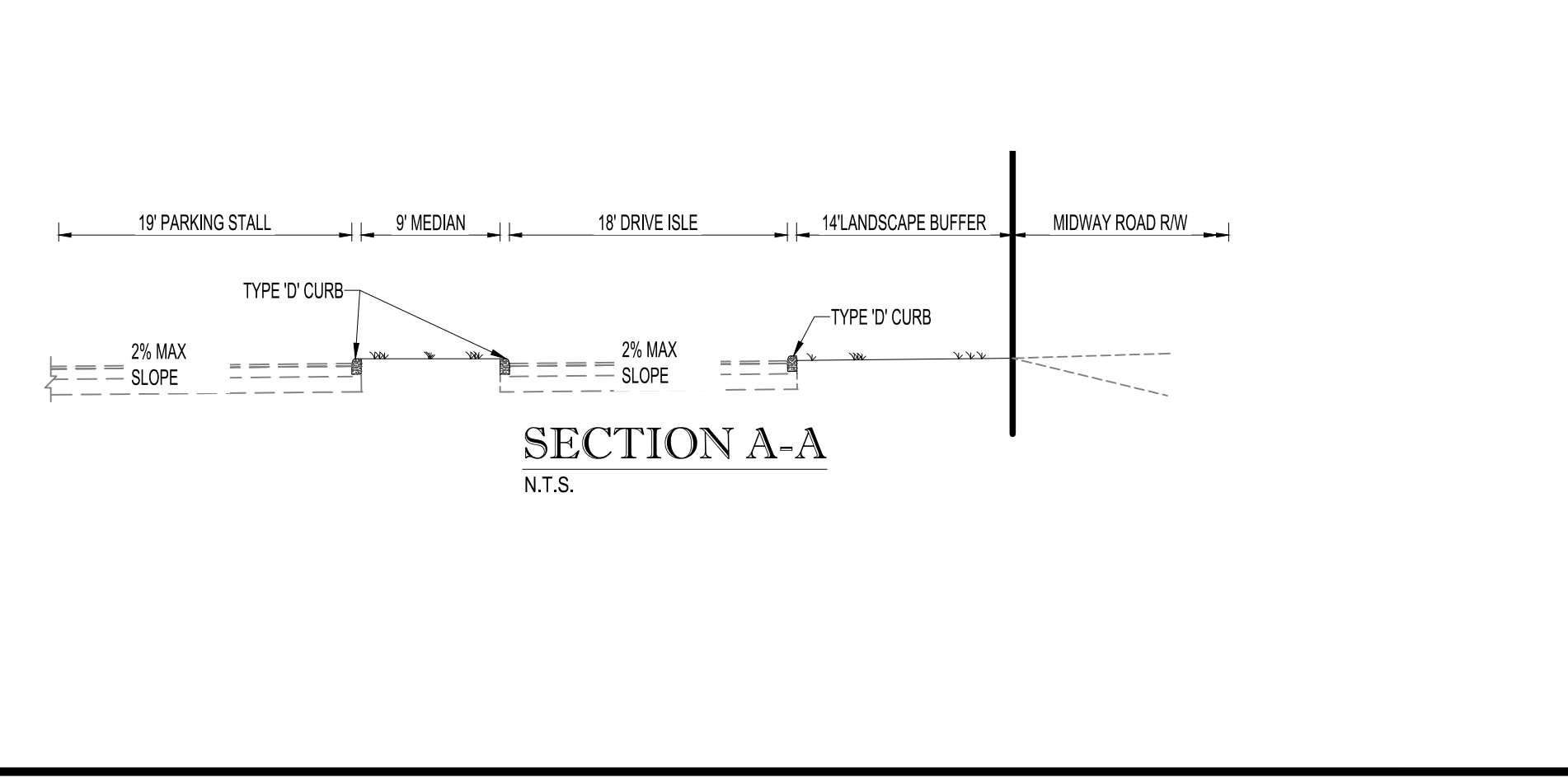
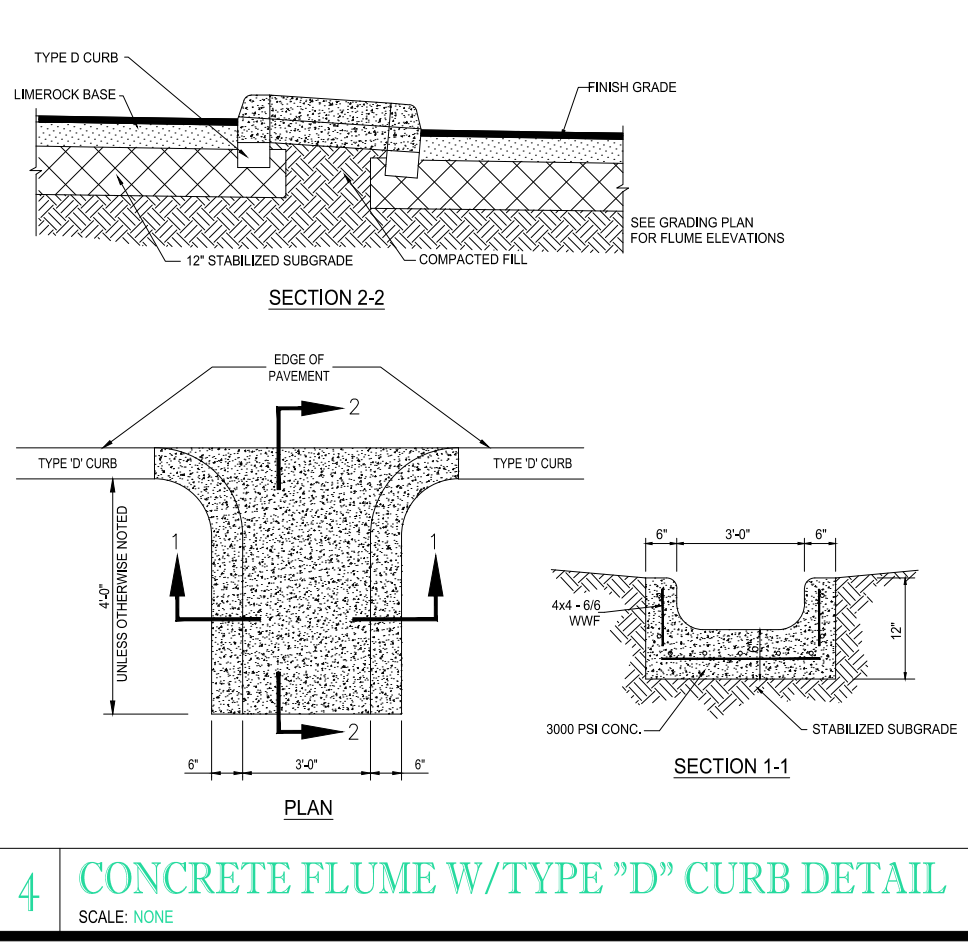
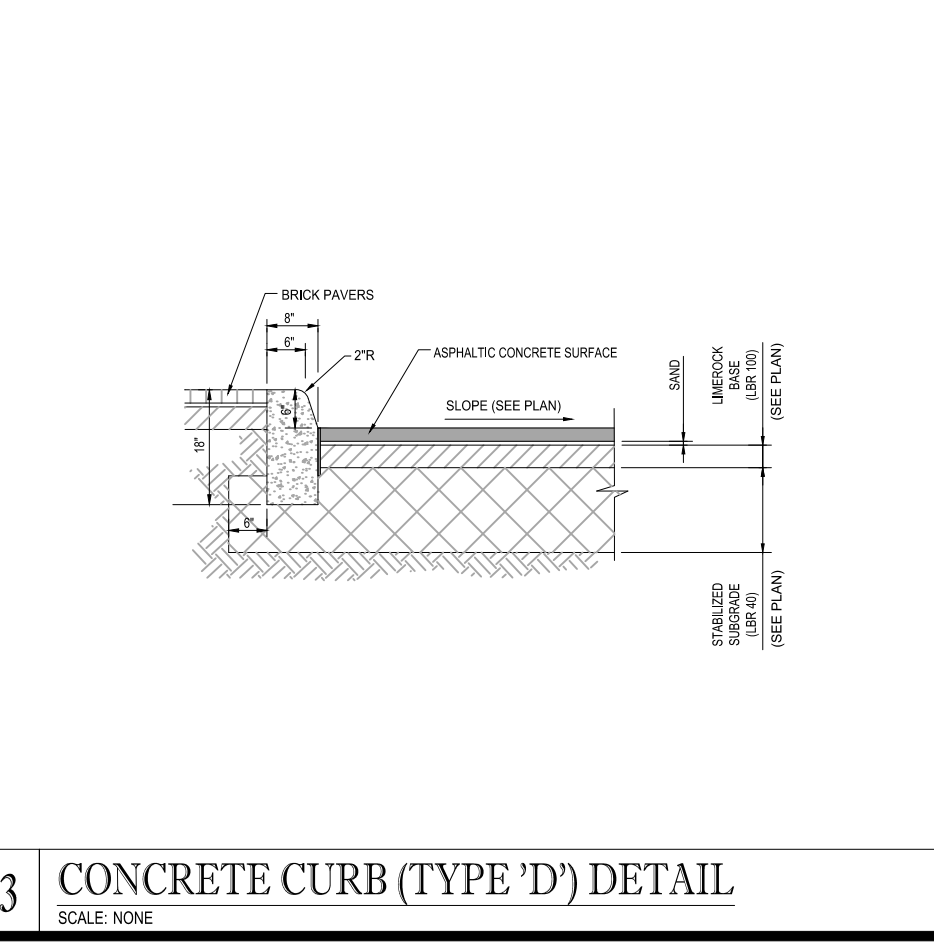
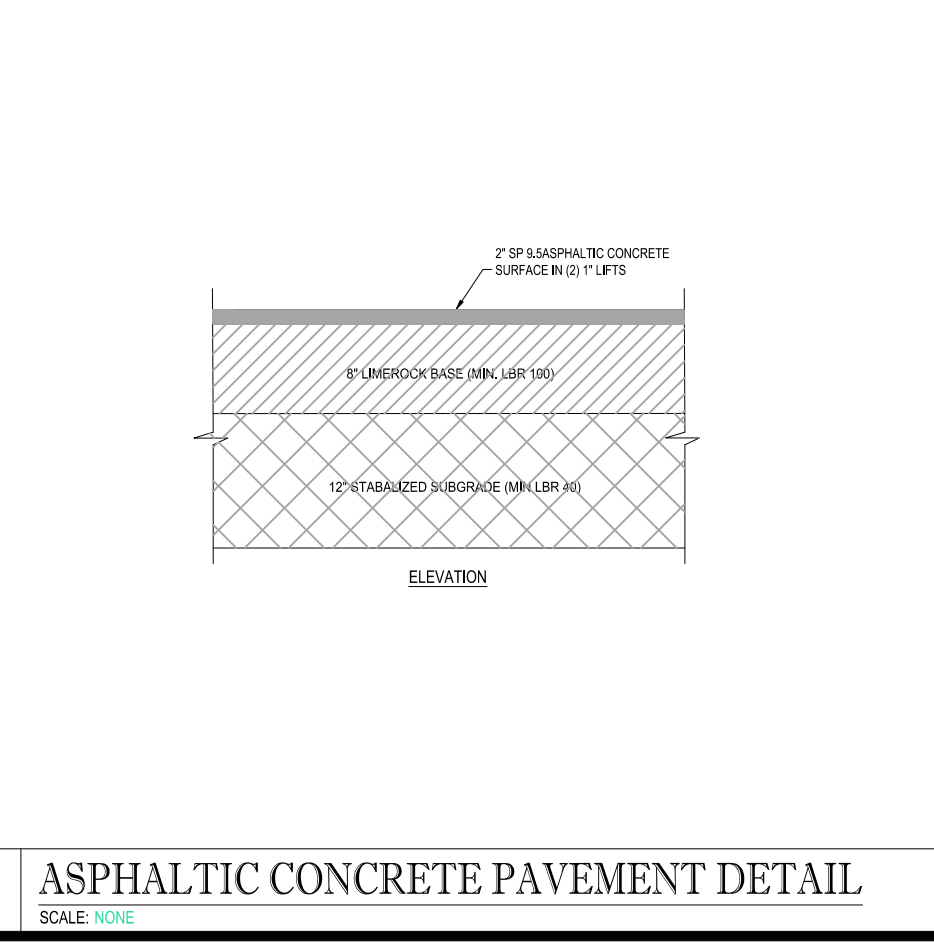
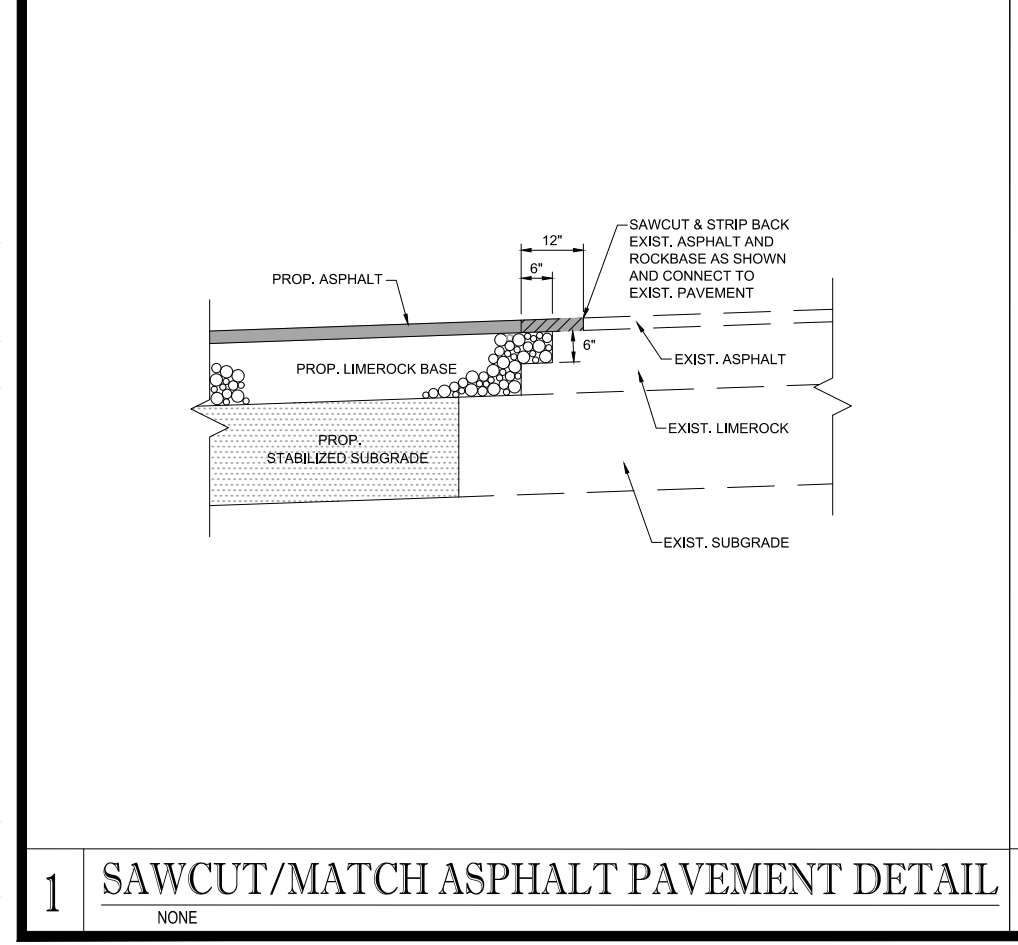
[Hatch]	PROPOSED ASPHALT PAVEMENT
[Hatch]	PROPOSED CONCRETE PAVEMENT
[Hatch]	1" MILL AND OVERLAY

**PAVING, GRADING & DRAINAGE LEGEND**

EXISTING	TYPICAL NOTE TEXT	PROPOSED
[Symbol]	UNDERGROUND UTILITY LINE	[Symbol]
[Symbol]	STORM SEWER	[Symbol]
[Symbol]	SANITARY SEWER MAIN	[Symbol]
[Symbol]	SANITARY SEWER LATERAL	[Symbol]
[Symbol]	CATCH BASIN	[Symbol]
[Symbol]	MANHOLE	[Symbol]
[Symbol]	GRADE SPOT SPOT	[Symbol]
[Symbol]	FIRE HYDRANT	[Symbol]
[Symbol]	DECATIVATING LIGHTING	[Symbol]
[Symbol]	RIGHT OF WAY	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	UTILITY EASEMENT	[Symbol]
[Symbol]	TRANSFORMER	[Symbol]



- CONSTRUCTION NOTES:**
- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. S.W. CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPE AREA.
  - CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
  - CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
  - CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
  - CONTRACTOR TO SOD ALL DISTURBED AREAS. SODDING INCLUDES MAINTAINING SLOPE AND SOD UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHOEVER COMES LAST.
  - ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
  - THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
  - THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
  - NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION.
  - PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
  - THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
  - THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
  - 2.0% MAXIMUM SLOPE ON ADA ACCESSWAYS.
  - ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0%.
  - EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
  - EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.
  - ANY WORK CONDUCTED IN FDOT ROW TO BE DESIGNED AND CONSTRUCTED USING THE LATEST YEAR STANDARDS AND SPECIFICATIONS.



**THOMAS ENGINEERING GROUP**  
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P: 813-379-1100 F: 813-379-7903

**REVISIONS:**

REV.	DATE	COMMENT	BY

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PROJECT No.: FJ190027  
DRAWN BY: JMG  
CHECKED BY: JMG  
DATE: CAD I.D.: FJ190027 - PGD PLAN

**TOWNE SOUTH PLAZA MIDWAY CURE PLAN**  
FOR  
**TS PIERCE SC Co., Ltd.**

CITY OF FORT PIERCE  
FLORIDA

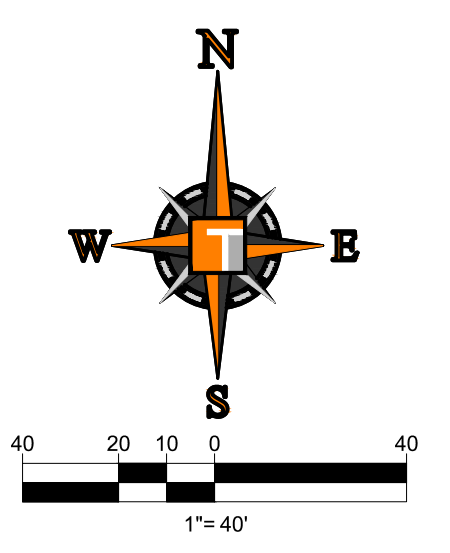
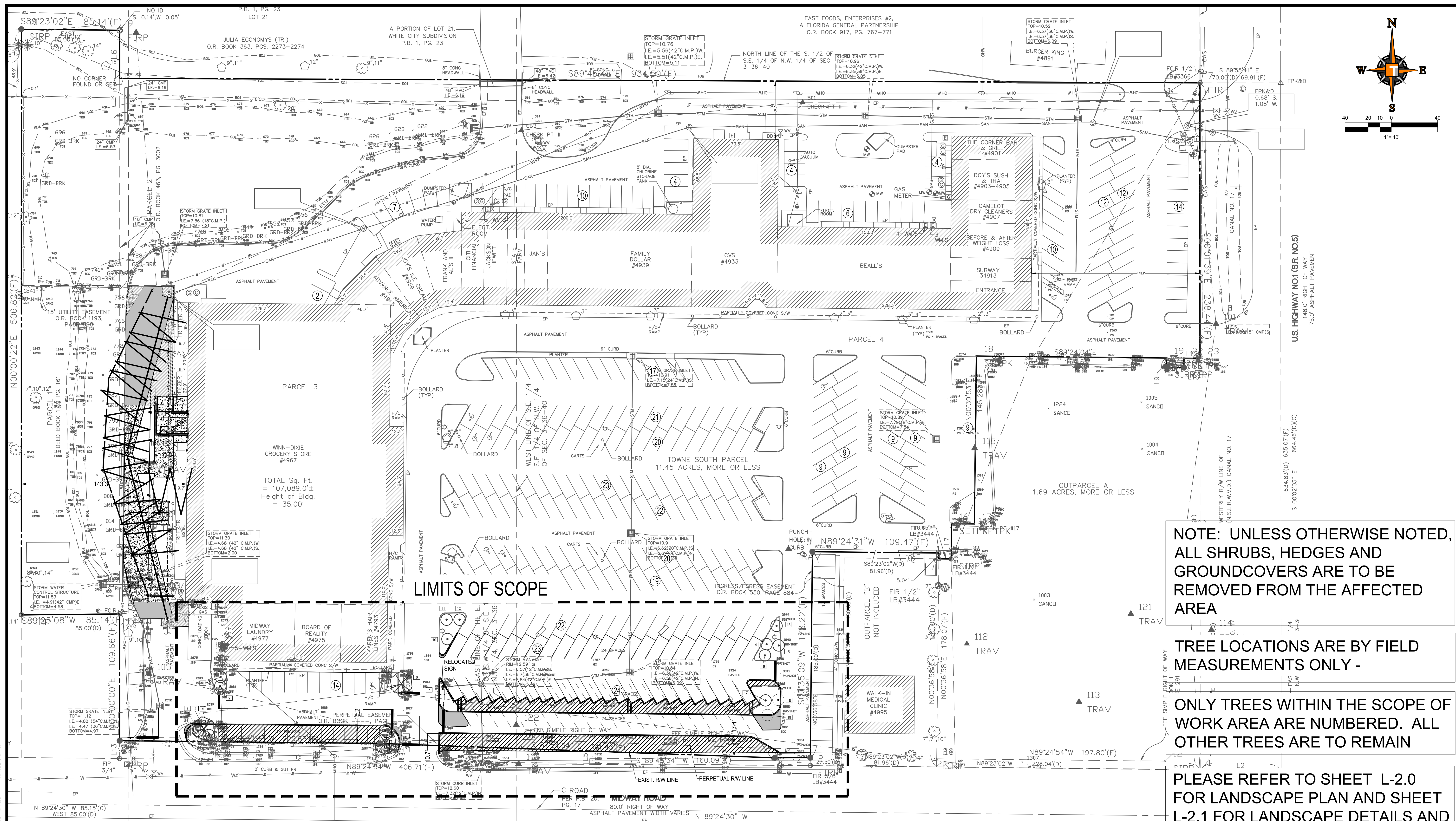
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**JASON M. GUNTHER**  
No. 58629  
PROFESSIONAL ENGINEER  
FLORIDA LICENSE NO. 27528  
FLORIDA BOARD OF PROFESSIONAL ENGINEERS

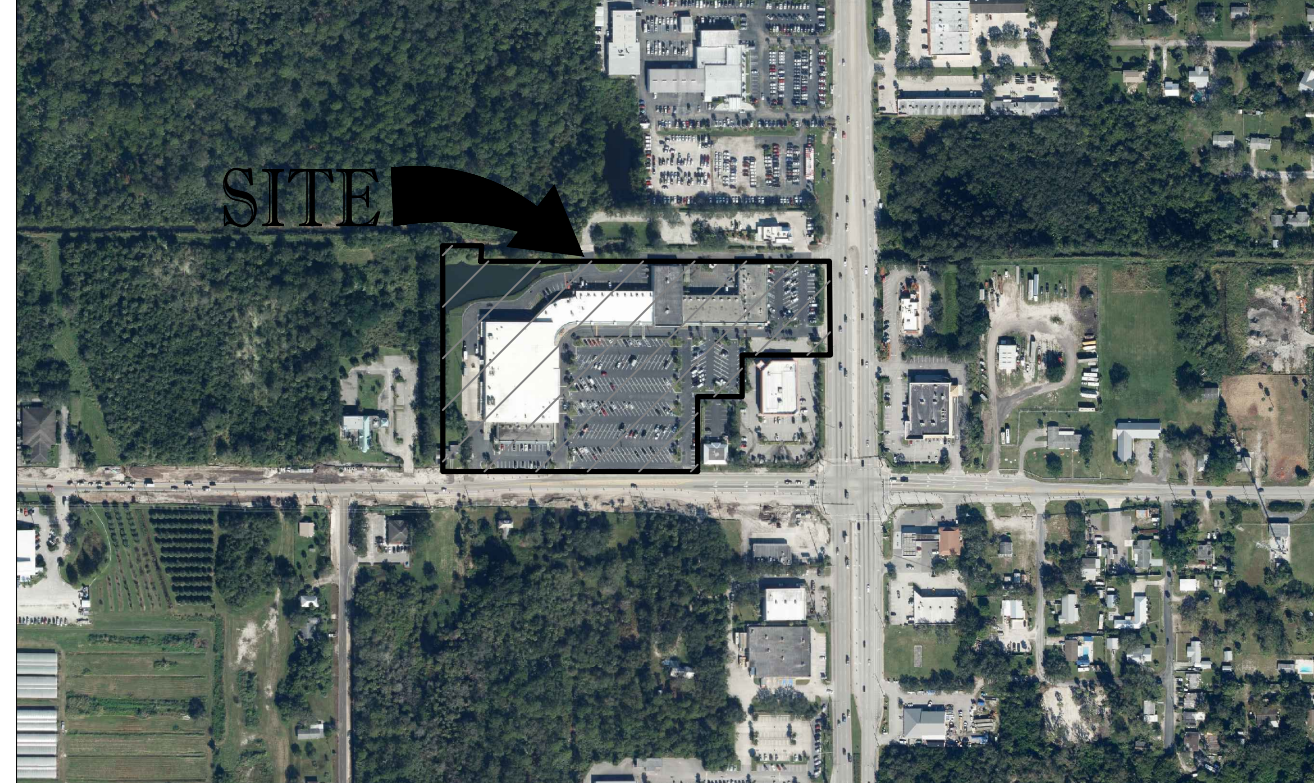
SHEET TITLE:  
**PAVING, GRADING AND DRAINAGE PLAN**

SHEET NUMBER:  
**C-06**

ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD). CONVERSION TO N.G.V.D. '29: N.A.V.D. '88 + 1.50' = N.G.V.D. '29



**LOCATION MAP**  
SCALE: 1" = 500'



**EXISTING TREE DISPOSITION CHART - AFFECTED AREA ONLY**  
TOWN SOUTH PLAZA - FT PIERCE, FL

TREE NO.	BOTANICAL NAME	COMMON NAME	HT (FT)	SPR (FT)	CANOPY (SQ.FT.)	CAL INS. @ DBH	CONDITION	DISPOSITION	COMMENTS
1	Sabal palmetto	Cabbage Palm	30	10	79	12	70%	REMAIN	
2	Sabal palmetto	Cabbage Palm	30	10	79	12	70%	REMAIN	
3	Sabal palmetto	Cabbage Palm	25	10	79	12	70%	REMAIN	
4	Ilex cassina	Dahoon Holly	18	12	113	4	75%	REMAIN	
5	Sabal palmetto	Cabbage Palm	30	10	79	12	70%	REMAIN	
6	Ilex cassina	Dahoon Holly	12	10	79	3	70%	REMAIN	
7	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	Relocate	
8	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	REMAIN	
9	Magnolia grandiflora	Southern Magnolia	15	8	90	4	75%	REMAIN	
10	Sabal palmetto	Cabbage Palm	20	10	79	14	70%	REMAIN	
11	Sabal palmetto	Cabbage Palm	25	10	79	14	70%	REMAIN	
12	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	REMAIN	
13	Sabal palmetto	Cabbage Palm	18	10	79	12	70%	REMAIN	
14	Sabal palmetto	Cabbage Palm	18	10	79	10	70%	REMAIN	
15	Sabal palmetto	Cabbage Palm	18	10	79	10	70%	REMAIN	
16	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	REMAIN	
17	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	REMAIN	
18	Sabal palmetto	Cabbage Palm	15	10	79	10	70%	Relocate	
19	Sabal palmetto	Cabbage Palm	18	10	79	10	70%	Relocate	

TOTAL DBH ON SITE: 11  
TOTAL DBH TO BE RELOCATED OR REMAIN: 11  
TOTAL DBH TO BE REMOVED: 0  
TREES REPLACED INCH/INCH: 0" REQUIRED  
PALMS REPLACED AT 1:1: 0 PALMS REQUIRED

SEE LANDSCAPE PLAN SHEET L-2.0

**NOTE: UNLESS OTHERWISE NOTED, ALL SHRUBS, HEDGES AND GROUNDCOVERS ARE TO BE REMOVED FROM THE AFFECTED AREA**

**TREE LOCATIONS ARE BY FIELD MEASUREMENTS ONLY -**

**ONLY TREES WITHIN THE SCOPE OF WORK AREA ARE NUMBERED. ALL OTHER TREES ARE TO REMAIN**

**PLEASE REFER TO SHEET L-2.0 FOR LANDSCAPE PLAN AND SHEET L-2.1 FOR LANDSCAPE DETAILS AND NOTES-INCLUDING TREE PROTECTION..**

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**REVISIONS:**

REV.	DATE	COMMENT	BY

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PROJECT No.: FJ190027  
DRAWN BY: JMG  
CHECKED BY: JMG  
DATE: 11/15/2024  
CAD L.D.: FJ190027 - LANDSCAPE PLAN

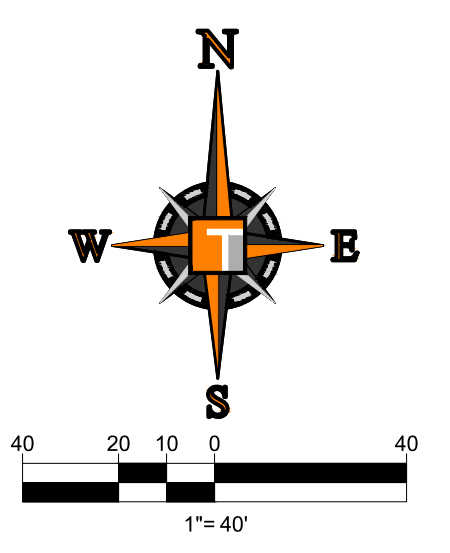
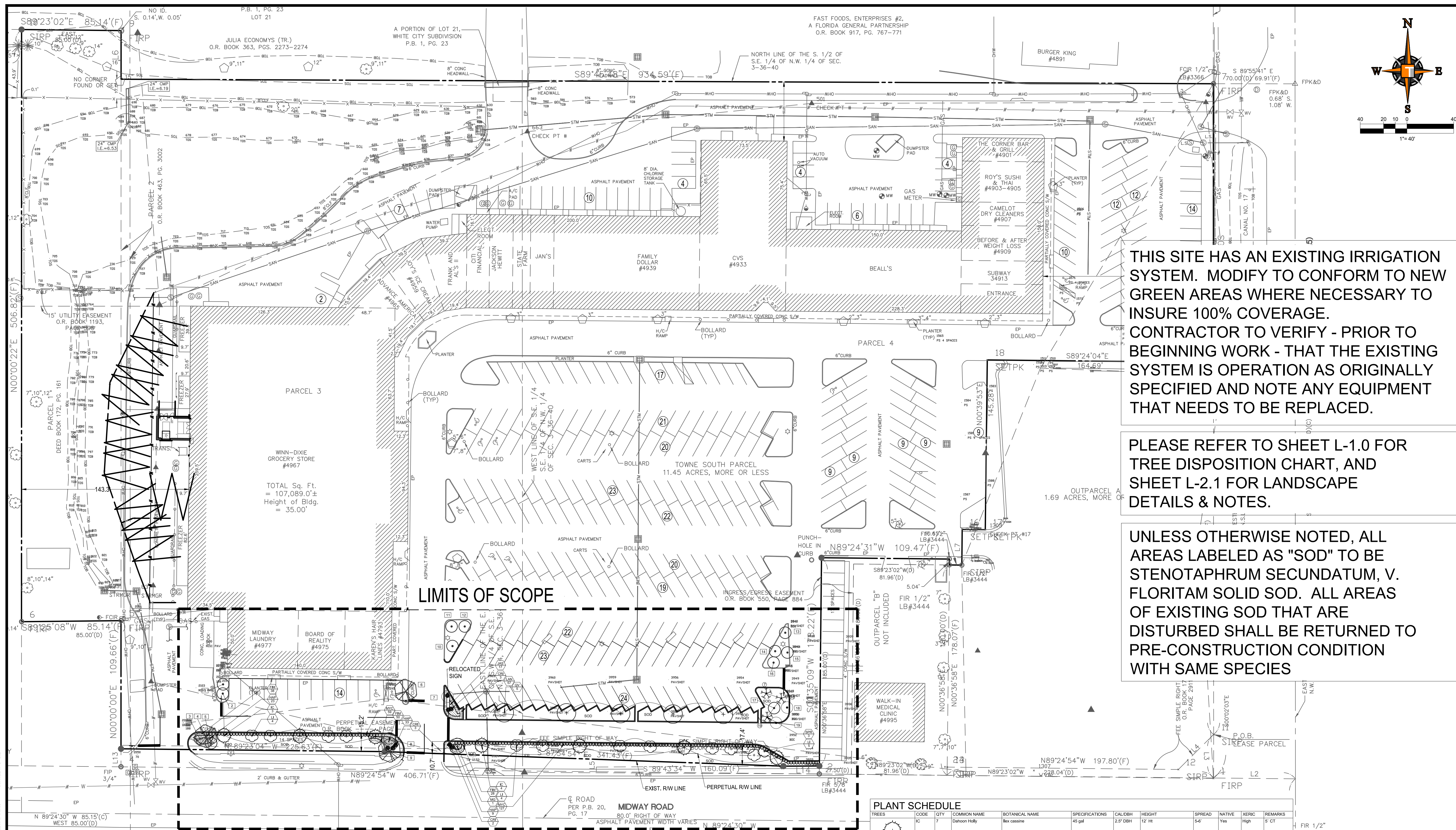
**TOWNE CENTER PLAZA MIDWAY CURE PLAN**  
FOR  
**TS PIERCE SC Co., Ltd.**

CITY OF FORT PIERCE  
FLORIDA

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**MICHAEL D. GROSSWIRTH**  
LA 666871  
STATE  
REGISTERED LANDSCAPE ARCHITECT  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:  
**TREE DISPOSITION PLAN**  
SHEET NUMBER:  
**L-1.0**



THIS SITE HAS AN EXISTING IRRIGATION SYSTEM. MODIFY TO CONFORM TO NEW GREEN AREAS WHERE NECESSARY TO INSURE 100% COVERAGE. CONTRACTOR TO VERIFY - PRIOR TO BEGINNING WORK - THAT THE EXISTING SYSTEM IS OPERATION AS ORIGINALLY SPECIFIED AND NOTE ANY EQUIPMENT THAT NEEDS TO BE REPLACED.

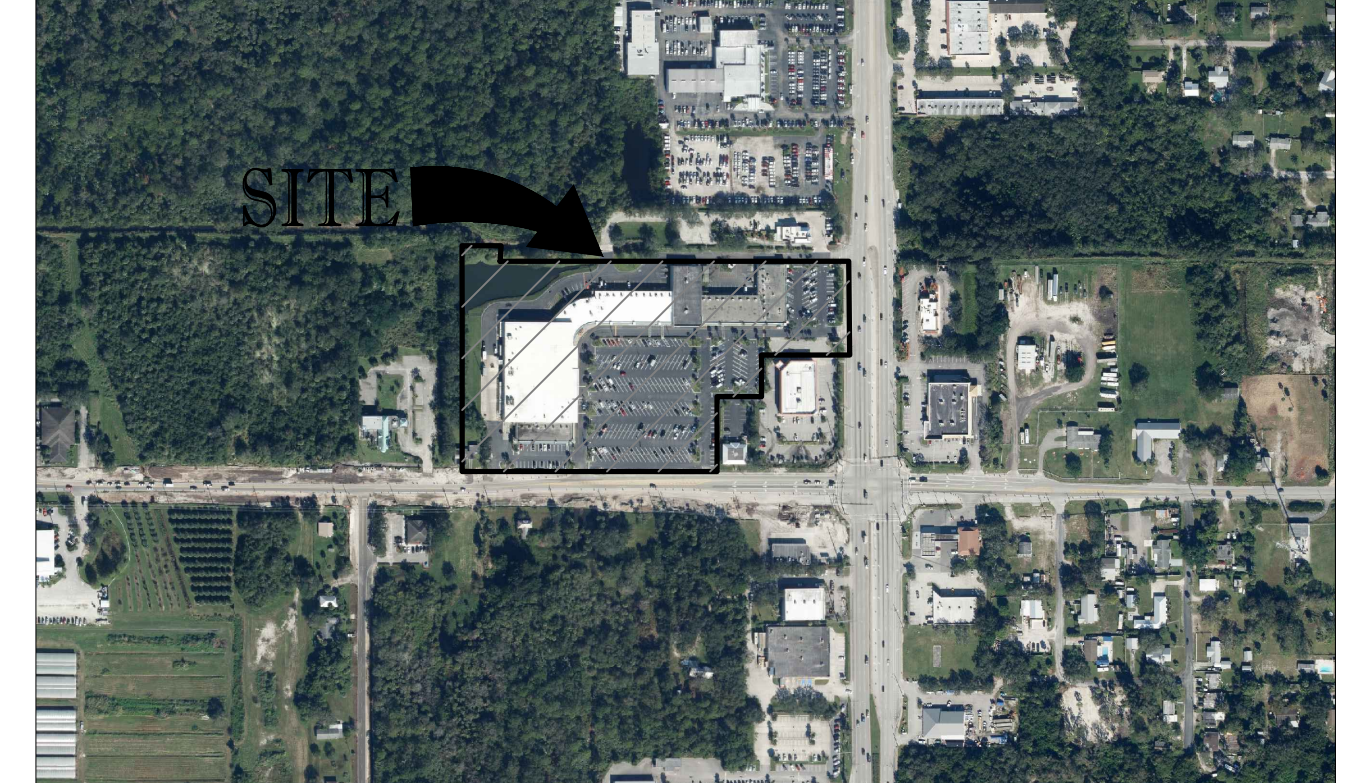
PLEASE REFER TO SHEET L-1.0 FOR TREE DISPOSITION CHART, AND SHEET L-2.1 FOR LANDSCAPE DETAILS & NOTES.

UNLESS OTHERWISE NOTED, ALL AREAS LABELED AS "SOD" TO BE STENOTAPHRUM SECUNDATUM, V. FLORITAM SOLID SOD. ALL AREAS OF EXISTING SOD THAT ARE DISTURBED SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION WITH SAME SPECIES

LIMITS OF SCOPE

LOCATION MAP

SCALE: 1" = 500'



PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CALDBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
	LI	7	Delmon Holly	Ilex cassine	45 gal	2.5" DBH	12' Ht	5-6'	Yes	High	5 CT
	LI	13	Crape Myrtle	Lagerstemia indica 'Tuskegee'	65 gal	2.5"	12' Ht	6'	No	High	5 CT
	MG	1	Magnolia 'Bianchard'	Magnolia grandiflora	B & B	2.5" DBH	12' Ht	5-6'	Yes	High	6 CT
	QV	5	Southern Live Oak	Quercus virginiana	45 gal	2.5" DBH	12' Ht	5-6'	Yes	High	5.5 CT
PALM TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CALDBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
	SFR	3	Cabbage Palmetto	Sabal palmetto	B & B		As Noted on Sheet L-1.0	varies	Yes	High	Relocated
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
	CR	8	'Queen Emma' Cinnamon	Cinnam augustum 'Queen Emma'	15 gal	As Shown	48"	48"	No	Medium	Full to base
	MYC	186	Wax Myrtle	Myrica cerifera	-	30"	36"	24-30"	Yes	High	Full to base
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
	HAP	65	Fine Bush	Hamelia patens 'compacta'	n/a	24"	18-24"	18-24"	Yes	High	Full to base
	JAS	17	Southern Wax Jasmine	Jasminum simplicifolium	n/a	24"	16"	16"	No	Medium	Full to base
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
	FIM	116	Green Island Ficus	Ficus microcarpa 'Green Island'	1 gal	YES	14-16"	14-16"	No	Medium	
	LAN	57	Gold Mound Lantana	Lantana camara 'Gold Mound'	1 gal	16"	12-14' Ht	14-16"	Yes	High	Full to base

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REVISIONS:

REV.	DATE	COMMENT	BY:

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PROJECT No.: FJ190027  
 DRAWN BY: JMG  
 CHECKED BY: JMG  
 DATE: 11/19/2021  
 CAD I.D.: FJ190027 - LANDSCAPE PLAN

PROJECT:  
**TOWNE CENTER PLAZA MIDWAY CURE PLAN**  
 FOR  
**TS PIERCE SC Co., Ltd.**

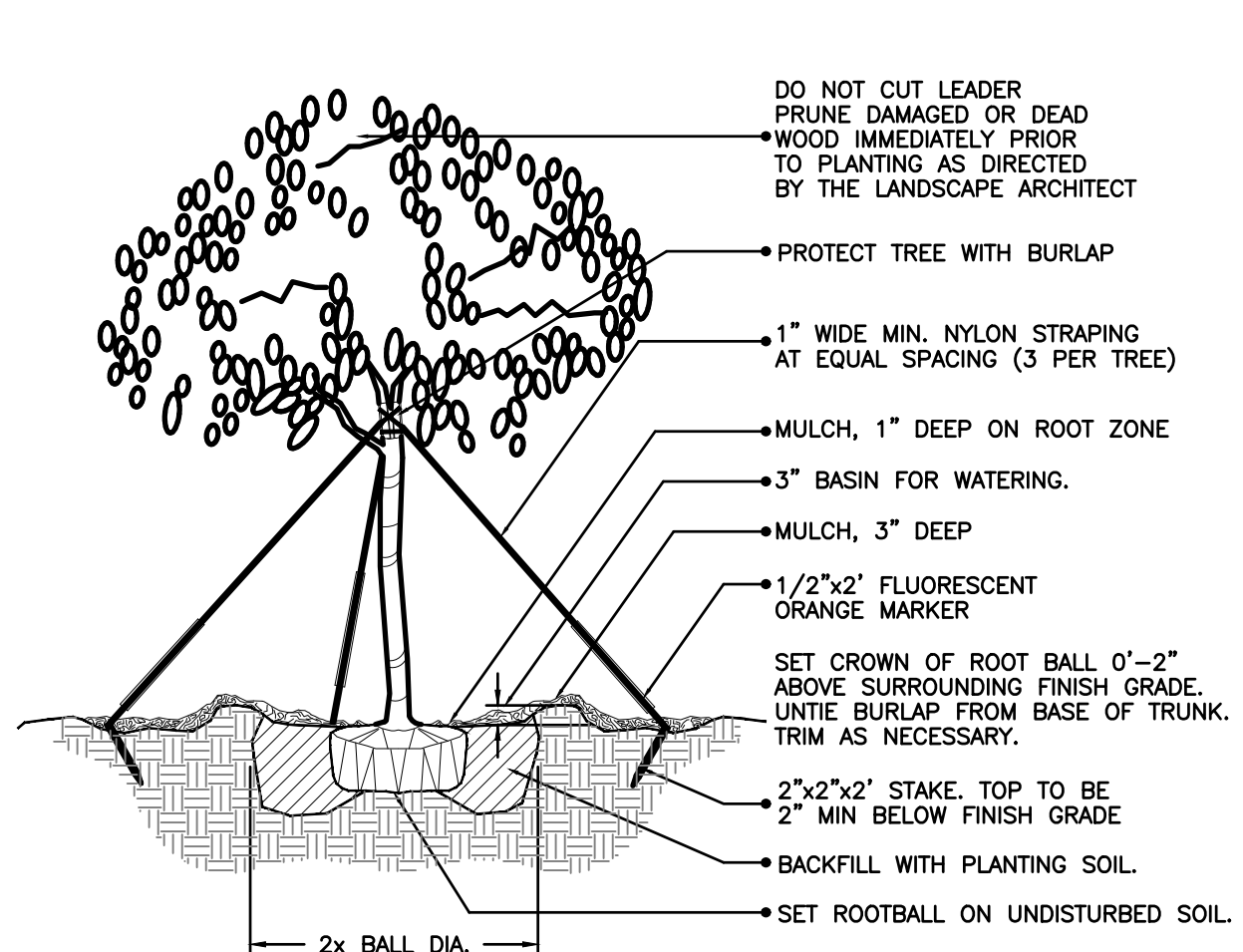
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 FLORIDA LICENSE NO. 18666871  
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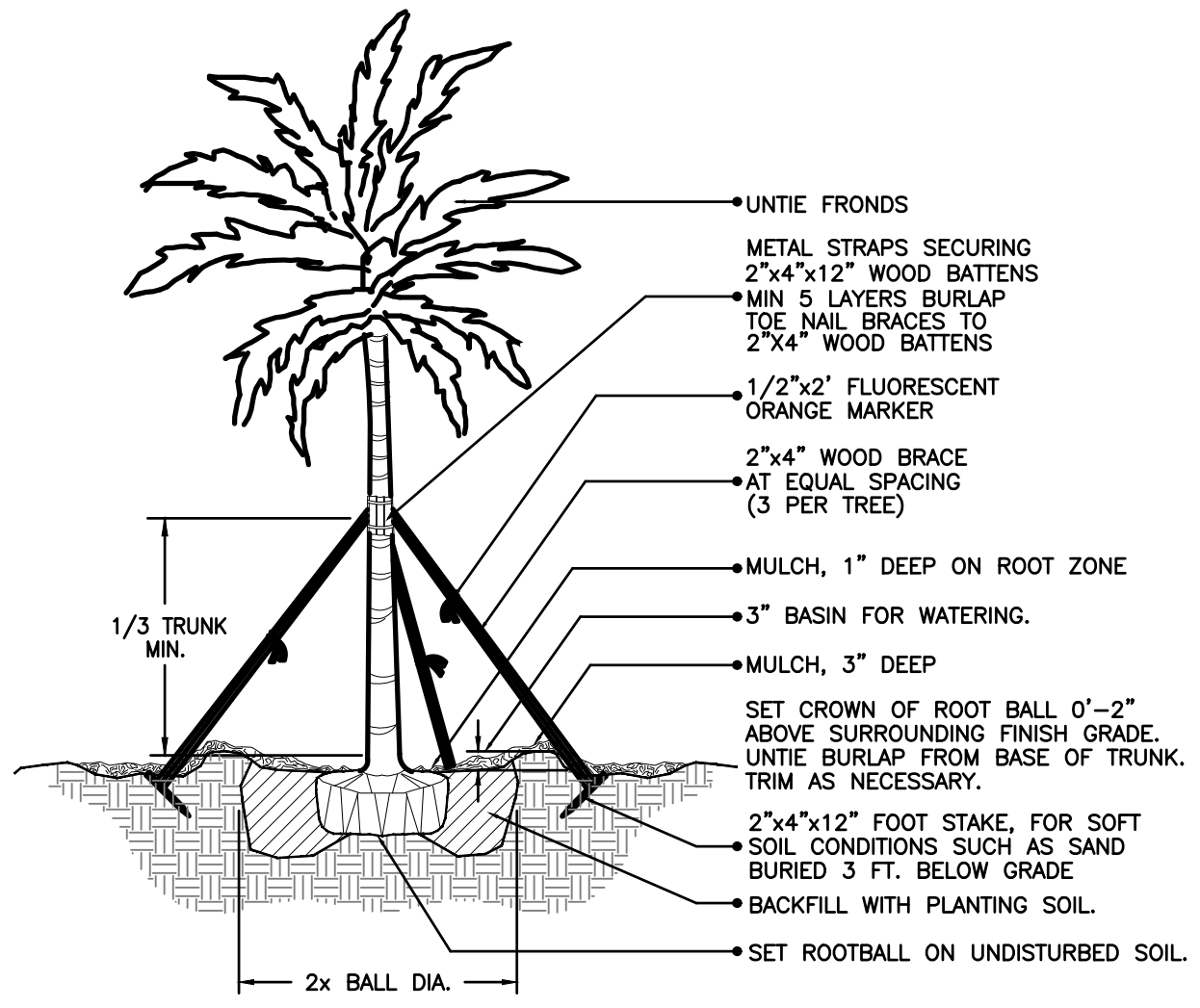
SHEET TITLE:  
**LANDSCAPE PLAN**  
 SHEET NUMBER:  
**L-2.0**

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. GROSSWIRTH, LA666871 ON 2019-12-09



(2" cal. and over)  
LARGE TREE PLANTING DETAIL

NTS.



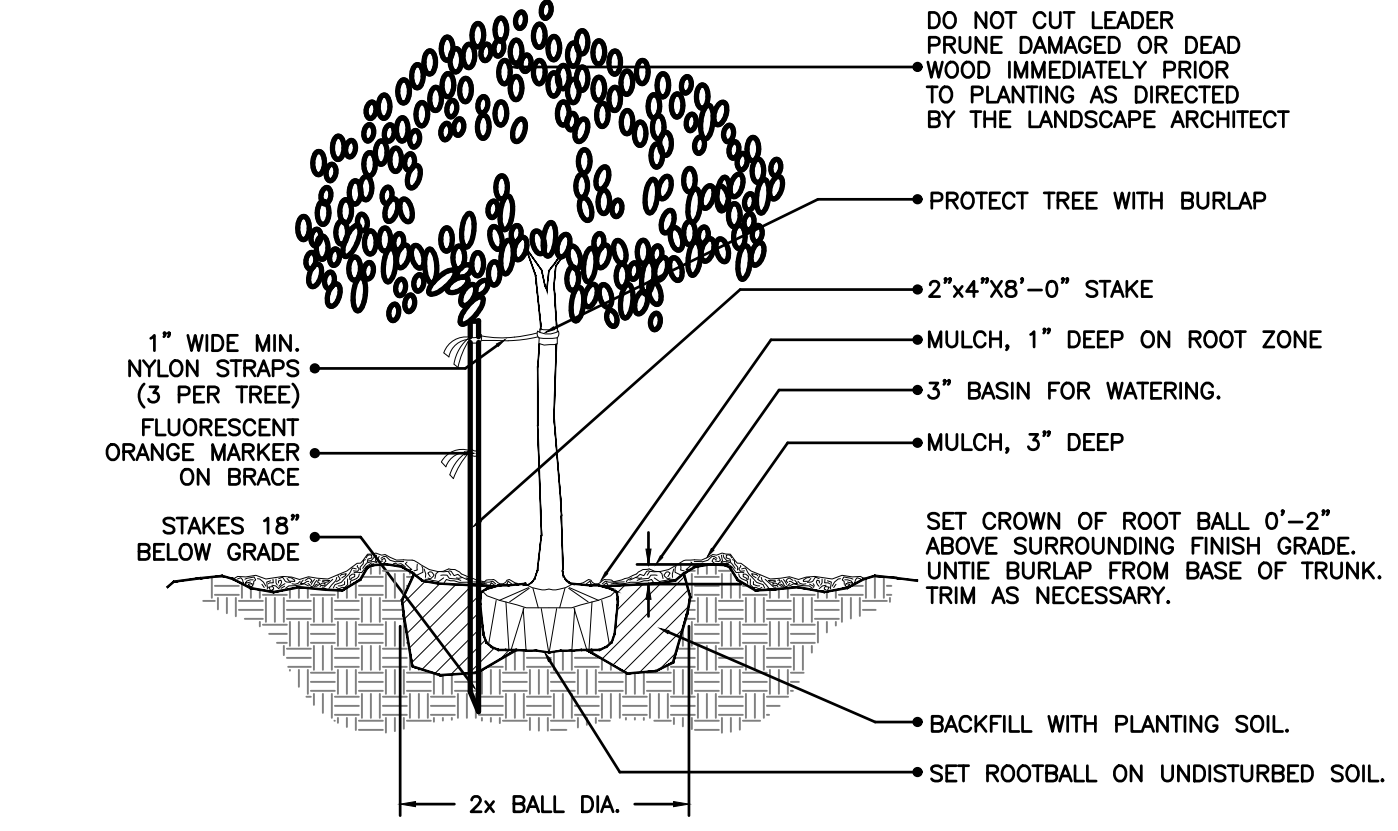
LARGE PALM PLANTING DETAIL

NTS.

**GENERAL NOTES:**

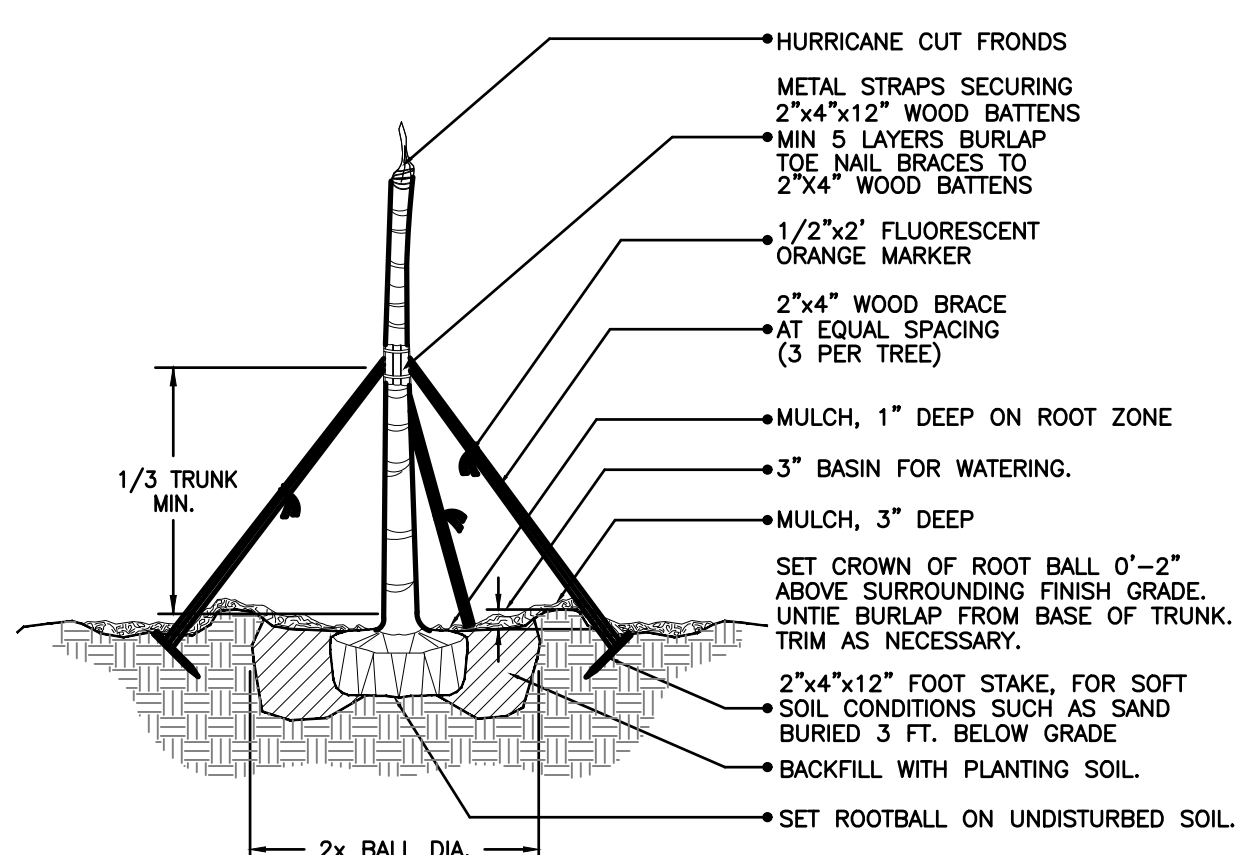
1. PLANT MATERIAL: All plant material shall be Florida #1 or better as established by "Grades and Standards for Nursery Plants" of the state of Florida, Department of Agriculture.
2. All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
3. Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, topsoil, fertilizer, etc. shall be included in the unit cost of the plants.
4. Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or plant list, the plan takes precedence.
5. All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded eucalyptus or formulch grade 'B' or better.
6. The Planting Plan shall be installed in compliance with all existing codes and applicable deed restrictions.
7. SOD: All areas not used for buildings, vehicular use areas, walks or planting beds shall be grassed. Grassing shall extend to any abutting street pavement edge and to the mean waterline of any abutting canal, lake or waterway.
8. PLANTING SOIL: All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas and 2" for sodded grass areas.
9. Planting soil to be a weed-free mixture of 50% sand, 40% muck, and 10% Canadian peat. All plant material to receive planting soil as per details.
10. Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
11. Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4110 Two Full Business Days prior to digging for underground utility locations.
12. Contractor shall be responsible for providing final grading of all associated planting areas.
13. After final grade area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.
14. All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 8).
15. No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
16. Contractor shall stake & guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during warranty period and removal & disposal of staking after establishment period.
17. Fertilizer for grass areas shall be NPK 16-4-8 @ 12.5 lbs/1000 s.f. or 545 lbs/acre. Nitrogen 50% slow release form 4 fertilizer to include secondary micronutrients.
18. SUBSTITUTIONS AND CHANGES: All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Landscape Architect, the owner and governing municipality.

19. WATERING: All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition Contractor will continue watering of plant material until substantial completion and as needed thereafter for a period of 2 months.
20. All new plant material shall be guaranteed for 1 year from time of final acceptance of project. Any plant material not in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10 days of notification. For all replacement plant material, the warranty period shall be extended an additional 45 days beyond the original warranty period. All trees that lean or are blown over, caused by winds less than 15 mph will be re-set and braced by the Contractor at no additional cost to the Owner.
21. The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown submitted.
22. No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
23. Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
24. Root-prune all trees a minimum of (8) weeks prior to planting.
25. All landscaped areas will be irrigated by an underground, automatic, rust-free irrigation system providing 100% coverage and 100% spray overlap. The system shall be maintained in good working order and designed to minimize water on impervious surfaces and not overspray walkways. A rain sensor device shall be installed to override the irrigation cycle of the system when adequate rainfall has occurred.
26. All plant material planted within the sight distance triangle areas (see plan) shall provide unobstructed cross-visibility at a horizontal level between 30 inches and 8 feet above adjacent street grade.
27. No canopy trees shall be planted within 12 feet of a light pole. No palm species shall be planted within 6 feet of a light pole.
28. Ground cover plantings shall provide not less than 50 percent coverage immediately upon planting and 100 percent coverage within 6 months after planting.
29. Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.
30. In all pedestrian areas, all trees and palms shall be maintained to allow for clear passage at an 8 foot clear trunk.
31. All landscape material shall be setback a minimum of 10' from any Fire Hydrant.



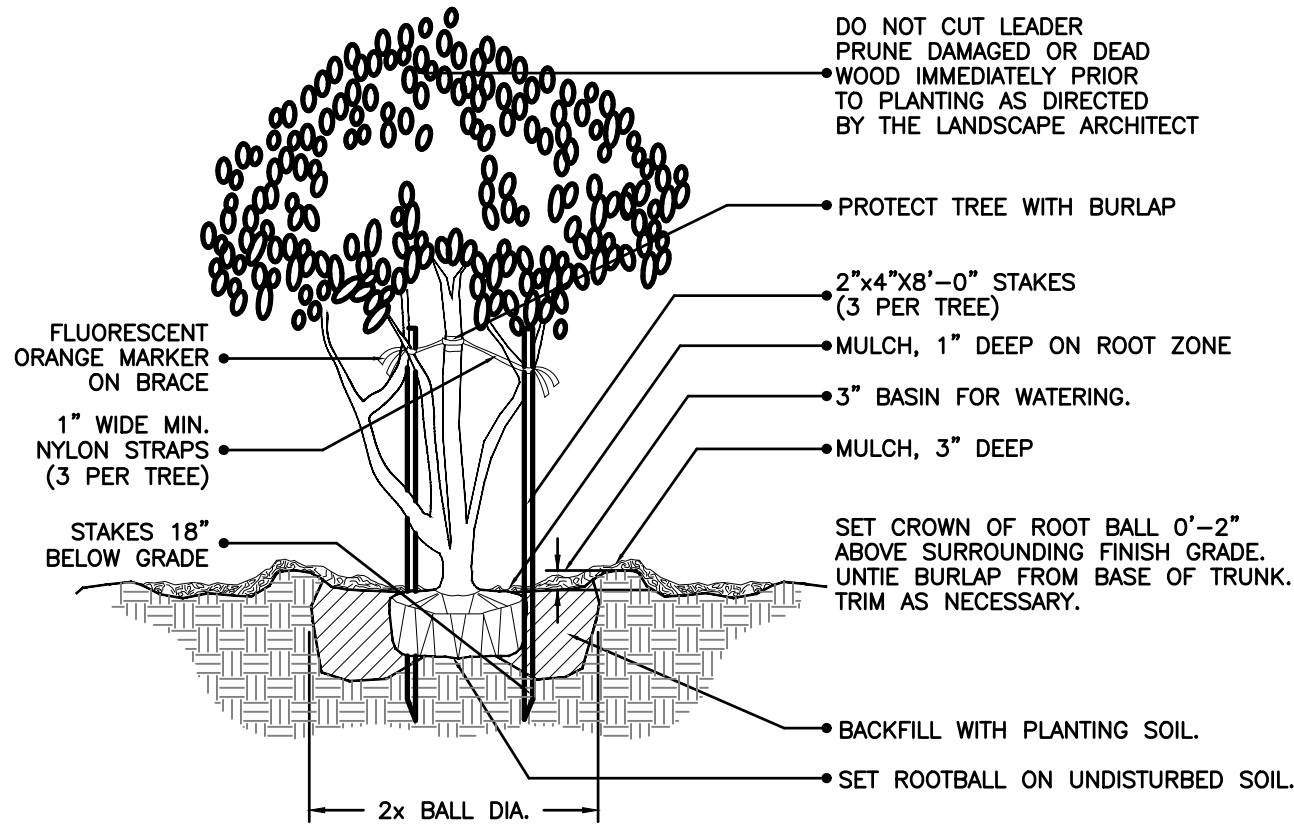
(2" cal. and under)  
SMALL TREE PLANTING DETAIL

NTS.



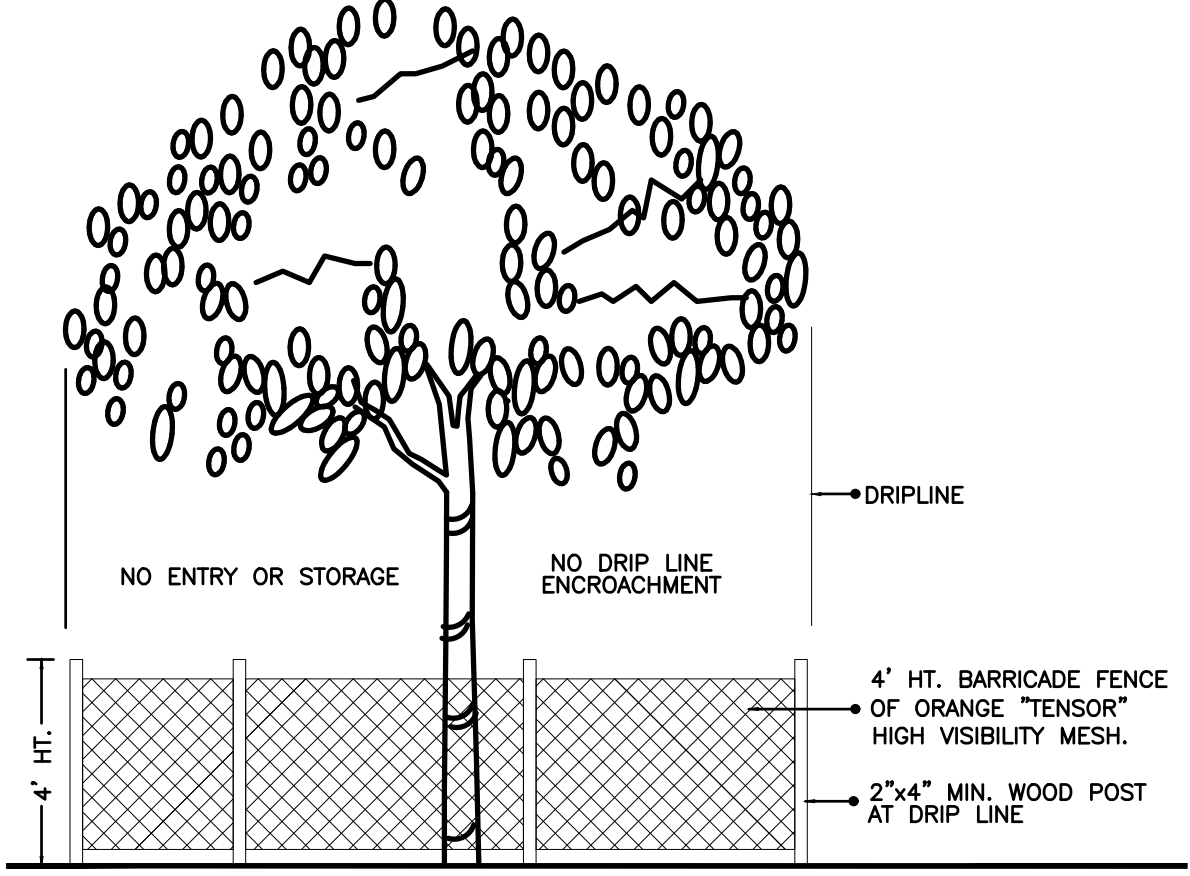
CIGARED SABAL PALM PLANTING DETAIL

NTS.



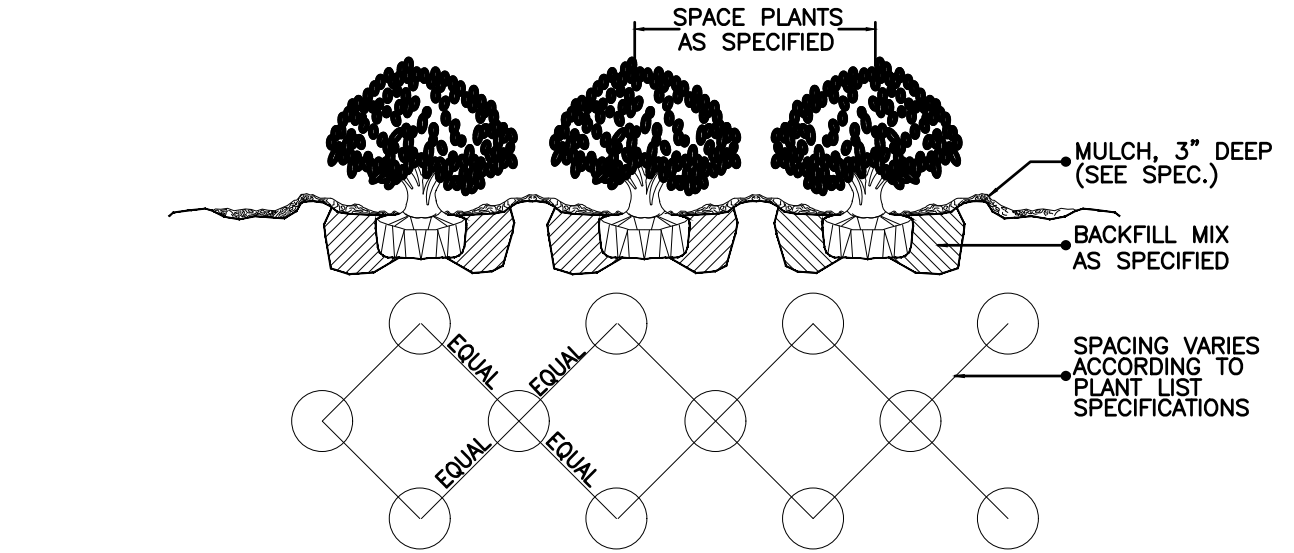
MULTI- TRUNK AND SMALL TREE  
(2" cal. and under) PLANTING DETAIL

NTS.



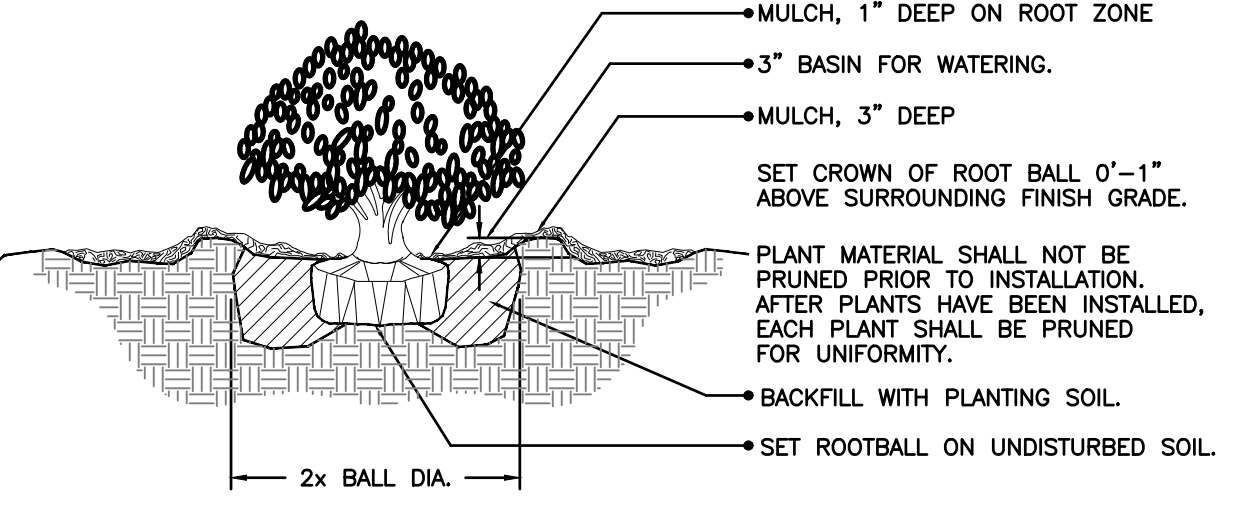
TREE PRESERVATION BARRICADE FENCING DETAIL

NTS.



SHRUB / GROUNDCOVER  
SPACING / PLANTING DETAIL

NTS.



SHRUB PLANTING DETAIL

NTS.

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MIDWAY CURE PLAN**

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CITY OF FORT PIERCE  
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www.ThomasEngineeringGroup.com

**MICHAEL D. GROSSWIRTH**

REGISTERED LANDSCAPE ARCHITECT  
FLORIDA BUSINESS # 18666871  
FLORIDA BUSINESS # 18666871

SHEET TITLE:  
**LANDSCAPE DETAILS &  
NOTES**

SHEET NUMBER:  
**L-2.1**

Printed on Friday, November 08, 2019, 6:00 AM by Daniela Martinez

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. GROSSWIRTH, LA666871 ON 2019-11-08

**Technical Review Committee -  
Teleconference**

**1. e.**

Meeting Date: 12/17/2020

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**REQUESTED ACTION**

Annexation – 2398 Peters Road – 2 Parcels

**LOCATION**

At or Near 2398 Peters Road (2 Parcels)

**RESPONSIBLE STAFF**

Brandon C. Creagan, MCRP, LEED Green Associate, Planner

**RECOMMENDATION**

Review & Provide Comments

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**Attachments**

TRC Packet

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**Form Review**

Form Started By: Brandon Creagan  
Final Approval Date: 12/03/2020

Started On: 12/03/2020 05:24 PM



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**To:** JACK ANDREWS, PE, CITY ENGINEER  
MIKE REALS, FP PUBLIC WORKS MANAGER  
CHIEF HOBLEY-BURNEY, FP POLICE DEPARTMENT  
PAUL THOMAS, FP BUILDING OFFICIAL  
JAMES CARNES, PE, FPUA ENGINEERING (WATER/WASTEWATER)  
PAUL LAGUERRE, PE, FPUA ENGINEERING (ELECTRIC)  
ROD REED, PLS, SLC SURVEYING  
GRANT CHAMBERS, PE, SLC ENGINEERING  
LESLIE OLSON, AICP, SLC PLANNING & DEVELOPMENT DIRECTOR  
CAPTAIN PAUL LANGEL, SLC FIRE DISTRICT  
PEGGY ARRAIZ, FP CODE ENFORCEMENT  
PETER BUCHWALD, AICP, SLC TRANSPORTATION PLANNING ORGANIZATION  
MURRIAH DECKLE, AICP, SLC TRANSIT SERVICES

**FROM:** BRANDON CREAGAN, LEED GREEN ASSOCIATE, PLANNER

**RE:** TECHNICAL REVIEW PROJECT# 20-02000006

**DATE:** DECEMBER 3, 2020

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### **Annexation – 2398 Peters Road – 2 Parcels**

Attached is an Application for Voluntary Annexation for 2 properties located at or near 2398 Peters Road. The properties are 18.70 acres combined and currently have a St. Lucie County Zoning of Residential Single Family, 2 Dwelling Units/Acre (RS-2), it also has a St. Lucie County Future Land Use of Mixed Use (MXD). Once annexed the City would assign a Zoning of Residential Single Family, 2 Units/Acre (E-2) and assign a Future Land Use of Mixed Use (MXD). A portion of Parcel ID 2324-122-0001-000-3 is zoned CG, General Commercial. The applicant has plans to bring a Future Land Use Map Amendment, Zoning Atlas Map Amendment, & Development Review forward upon the completion of the annexation for an RV sales & service business development. The parcel ID for the lot is 2324-122-0001-000-3 and 2324-123-0000-000-9.

Please review and provide comments on the project. Please send all comments to my email [Bcreagan@cityoffortpierce.com](mailto:Bcreagan@cityoffortpierce.com) or through interoffice mail to the Planning Department. If you have comments, please respond by December 15, 2020.

Please do not hesitate to contact me should you require any additional information at 772-467-3742.

Thank you.

Brandon Creagan



## APPLICATION FOR ANNEXATION

Annexation applications will require the adoption of an ordinance which will require a public meeting before the Planning Board and two public hearings before the City Commission.

### Application submission shall include the following:

- **TRC (\*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

### In addition to a complete application, packets shall include:

- Warranty Deed
- Current Survey (completed within the last 12 months)

1. Address: Peters Road (TBD) and 2398 Peters Road

2. Legal description of real property for which annexation is being requested:  
2398 Peters Road: 24 35 39 S 125 FT OF W 375 FT OF SW 1/4 OF NW 1/4 OF NE 1/4-LESS W 25 FT- (1.00 AC) (OR 1762-3000)

Peter Rd (TBD): 24 35 39 THAT PART OF W 1/2 OF NW 1/4 OF NE 1/4 LYG WLY OF W R/W I-95-LESS W 25 FT AND LESS N 40.5 FT AND LESS 125 FT X 375 FT IN SW COR- (17.70 AC) (OR 1828-2810)

Property Tax ID: 2324-122-0001-000-3 and 2324-123-0000-000-9

3. Size of described property: 18.70 acres

4. Project description: Construction of 39,200 commercial building (National RV Sales & Service business) with associated site improvements

5. Current St. Lucie County Future Land Use Designation: MXD

6. Current St. Lucie County Zoning: RS-2 and CG

7. Is this a Historic property? No

8. Appraised value: \$ 9,000,000.00 - \$ 11,000,000.00 at buildout

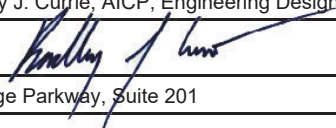
9. Name of Owner(s): R.V. Development, LLC

Signature of Owner(s):  (Authorized Agent)

Mailing Address: 547 Wash Roberts Lane

City Mc Minnville State TN Zip 37110

Phone 480-285-9382 Fax \_\_\_\_\_

10. Name of Representative: Bradley J. Currie, AICP, Engineering Design & Construction, Inc.  
 Signature of representative:   
 Mailing Address: 10250 SW Village Parkway, Suite 201  
 City) Port St. Lucie State FL Zip 34987  
 Phone 772-462-2455 Fax 772-408-4208  
 E-mail: bradcurrie@edc-inc.com

**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

<b>OFFICE USE:</b>		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	

**PROJECT NARRATIVE & COVER LETTER**  
**Project Hurricane - Peters Road**  
 Annexation Application  
 October 26, 2020

**REQUEST**

On behalf of the Petitioner, Engineering Design & Construction, Inc. is requesting approval of an annexation application for 18.70 +/- acres currently located in St. Lucie County, Florida for a proposed RV Sales & Service Center with associated site improvements. The subject parcels are noted below and is located west of I-95 and north of Okeechobee Boulevard in St. Lucie County, Florida.

**SITE CHARACTERISTICS & PROJECT HISTORY**

The subject properties are located west of I-95 and north of Okeechobee Boulevard, currently in the jurisdiction of St. Lucie County. The parcels can be identified in the below table:

<b>Parcel ID:</b>	<b>Address:</b>	<b>Acreage:</b>	<b>FLU:</b>	<b>Zoning:</b>
2324-122-0001-000-3	Peters Road	17.70	MXD	RS-2 / CG
2324-123-0000-000-9	2398 Peters Road	1.00	MXD	RS-2

As stated, these parcels are currently in the jurisdiction of St. Lucie County and have an existing Future Land Use designation of Mixed Use (MXD) and are located in the Residential (RS-2) and General Commercial (CG) Zoning designation.

North of the subject property is right-of-way owned by North St. Lucie River Water Control District (NSLRWCD) followed by an undeveloped residential parcel. The undeveloped parcel has a St. Lucie County Future Land Use designation of Residential Urban (RU) and an underlying Zoning designation of Residential (RS-2).

To the west of the subject property lies the right-of-way of Peters Road followed by residential parcels. These parcels have a St. Lucie County Future Land Use designation of Mixed Use (MXD) and an underlying Zoning designation of Residential (RS-2).

South of the subject parcel is an undeveloped commercial parcel. This parcel has a Fort Pierce Future Land Use designation of General Commercial (CG) and an underlying Zoning designation of Commercial (C-3).

To the east of the subject property lies the right-of-way of Interstate 95 followed by developed and undeveloped parcels. The parcels to the northeast are located in the City of Fort Pierce and have a Future Land Use designation of Low Density Residential (RL) and an underlying Zoning designation of Planned Development (PD). To the southwest are developed parcel located in the jurisdiction of St. Lucie County. These parcels have a Future Land Use Designation of Residential Urban (RU) and an underlying Zoning designation of Residential (RS-2)

The attached package includes the Application for Annexation, agent authorization, warranty deed and a current survey as required.

***Based on the above justification and attached information, the Petitioner respectfully requests approval of this request.***

Z:\EDC-2020\20-298 - Lazydays RV\ENGINEERING\Documents\Submittal Documents\Justification Statement\2020-10-26\_Project\_Hurricane\_Annexation\_Justification\_Statement\_20-298.docx

Giovanna E Harrell  
Box 24

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY  
File Number: 2294957 OR BOOK 1828 PAGE 2810  
Recorded: 10/24/03 16:00

Prepared by and return to:  
Chester B. Griffin, Esquire  
Neill Griffin Fowler Tierney Neill & Marquis - Chartered  
Post Office Box 1270  
Fort Pierce, Florida 34954  
Courthouse Box #50

\* DOC ASSUMP: \$ 0.00  
\* DOC Tax : \$ 12,250.70  
\* Not Tax : \$ 0.00

Parcel ID Number: 2324-122-0001-0003 ; 2313-432-0000-000/4  
2324-121-0000-000/3

[Space Above for Recording]

### WARRANTY DEED

This Warranty Deed made this 24<sup>th</sup> day of Sept October, 2003, by CHESTER B. GRIFFIN and RICHARD V. NEILL, hereinafter called the grantor, to R. V. DEVELOPMENT, LLC, a Florida limited liability corporation, hereinafter called the grantee, whose address is: 2560 SE 12th Street, Pompano Beach, Florida 33062.

Wherever used herein, the terms "grantor" and "grantee" shall include singular and plural, heirs, legal representatives, and assigns of individuals; and the successors and assigns of corporations, wherever the context so admits or requires.

WITNESSETH: That the said grantor, for and in consideration of the sum of \$10.00, in hand paid by the said grantee, the receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the said grantee, and the grantee's heirs and assigns forever, the following described land, situated, lying, and being in St. Lucie County, Florida, to wit:

SEE EXHIBIT "A" ATTACHED HERETO

THE PROPERTY BEING CONVEYED HEREIN DOES NOT CONSTITUTE THE HOMESTEAD PROPERTY OF ANY OF THE GRANTORS.

Subject to restrictions, reservations and easements of record, if any, and taxes subsequent to 2002.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2002; zoning ordinances and rights of way for public roads.

In Witness Whereof, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered  
in our presence:

Susan G. Spee  
Print Name of Witness: Susan G. Spee  
Witness as to Both

Chester B. Griffin  
CHESTER B. GRIFFIN

Marcia L. Heffelfinger  
Print Name of Witness: MARCIA L. HEFFELFINGER  
Witness as to Both

Richard V. Neill  
RICHARD V. NEILL

STATE OF FLORIDA  
COUNTY OF ST. LUCIE

The foregoing was acknowledged before me this 24<sup>th</sup> day of Sept October, 2003, by CHESTER B. GRIFFIN and RICHARD V. NEILL,  who are personally known to me or  who produced their drivers license as identification.



Marcia L. Heffelfinger  
Print Name of Notary: MARCIA L. HEFFELFINGER  
NOTARY PUBLIC - STATE OF FLORIDA  
MY COMMISSION EXPIRES:

**Exhibit "A"**

That portion of the West 1/2 of the SW 1/4 of the SE 1/4, lying West of the Westerly right of way line of I-95, of Section 13, Township 35 South, Range 39 East, lying and being in St. Lucie County, Florida, less and except road rights of way for I-95; Graham Road; Copenhaver Road and less canal rights of way for NSLRDD Canal No. 37 on South line.

**AND**

The West 3/4 of the North Half of the Northwest Quarter of the Northeast Quarter, Less road and canal rights of way for I-95; White Road, AND ALSO, the Southwest Quarter of the Northwest Quarter of the Northeast Quarter, Less road rights of way for I-95 and Less the South 125 feet of the West 375 feet thereof, all lying and being in Section 24, Township 35 South, Range 39 East, St. Lucie County, Florida.

\* Doc Assump: \$ 0.00  
\* Doc Tax : \$ 1,400.00  
\* Int Tax : \$ 0.00

THIS INSTRUMENT PREPARED BY AND RETURN TO:

Douglas E. Gonano, Esq.  
GONANO & HARRELL  
1600 S. FEDERAL HIGHWAY, #200  
FT. PIERCE, FLORIDA 34950-5194  
Property Appraisers Parcel Identification (Folio) Numbers: 2324-123-0000-000/9

Space Above This Line For Recording Data

THIS WARRANTY DEED, made the 25th day of July, 2003 by Kenneth C. Cope and Joyce A. Cope, his wife, herein called the Grantors, to R.V. Development, L.L.C., a Florida limited liability company, whose post office address is 2560 SE 12th Street, Pompano Beach, Florida 33062, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantors, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in ST. LUCIE County, State of Florida, viz.:

Begin at the SW corner of the SW1/4 of the NW1/4 of the NE1/4 of Section 24, Township 35 South, Range 39 East; thence run North 125 feet; thence East 375 feet; thence South 125 feet; thence West 375 feet to point of beginning, less and excepting therefrom all existing rights of ways for public road and drainage canals. All lying and being in St. Lucie County, Florida.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantors hereby covenant with said Grantee that the Grantors are lawfully seized of said land in fee simple; that the Grantors have good right and lawful authority to sell and convey said land, and hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2002.

IN WITNESS WHEREOF, the said Grantors have signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Stacy Ewing Consalvo  
Witness #1 Signature  
Stacy Ewing Consalvo  
Witness #1 Printed Name

Kenneth C. Cope  
Kenneth C. Cope  
2398 Peters Road, Fort Pierce, Florida 34950

[Signature]  
Witness #2 Signature  
Richard McClure  
Witness #2 Printed Name

Joyce A. Cope  
Joyce A. Cope  
2398 Peters Road, Fort Pierce, Florida 34950

STATE OF FLORIDA  
COUNTY OF ST. LUCIE

The foregoing instrument was acknowledged before me this 25th day of July, 2003 by Kenneth C. Cope and Joyce A. Cope, his wife, who are personally known to me or have produced FL Drivers License as identification.

SEAL

Stacy Ewing Consalvo  
Notary Public

Printed Notary Name



Stacy Ewing Consalvo  
MY COMMISSION # 0012441 EXPIRES  
May 28, 2005  
BONDED THRU TROY FARM INSURANCE, INC

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY  
File Number: 2243740 OR BOOK 1762 PAGE 3000  
Recorded: 07/30/03 09:07

R.V. Development, LLC  
547 Wash Roberts Lane  
Mc Minnville, TN 37110

**AGENT CONSENT FORM**

Project Name: Peters Road Annexation

Parcel ID: 2324-122-0001-000-3 and 2324-123-0000-000-9

BEFORE ME THIS DAY PERSONALLY APPEARED JAMES A WYNNE III, WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to Engineering Design & Construction, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 5th day of October 2020, by James A. Wynne III (Name of Person Acknowledging) who is personally known to me or who has produced Personally Known (type of identification) as identification and who did (did not) take an oath.

Sheila Butcher  
Notary Signature

[Signature]  
Owner's Signature

Sheila Butcher  
Printed Name of Notary

JAMES A WYNNE III  
Owner's Name

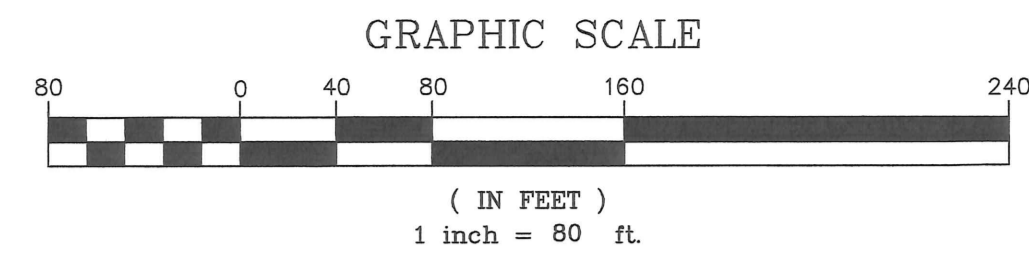


547 WASH ROBERTS LANE  
Street Address

13 MINNVILLE, TN 37110  
City, State, Zip

07-27-2021  
My commission expires

EMAIL: budwynne@aol.com  
Telephone / Email



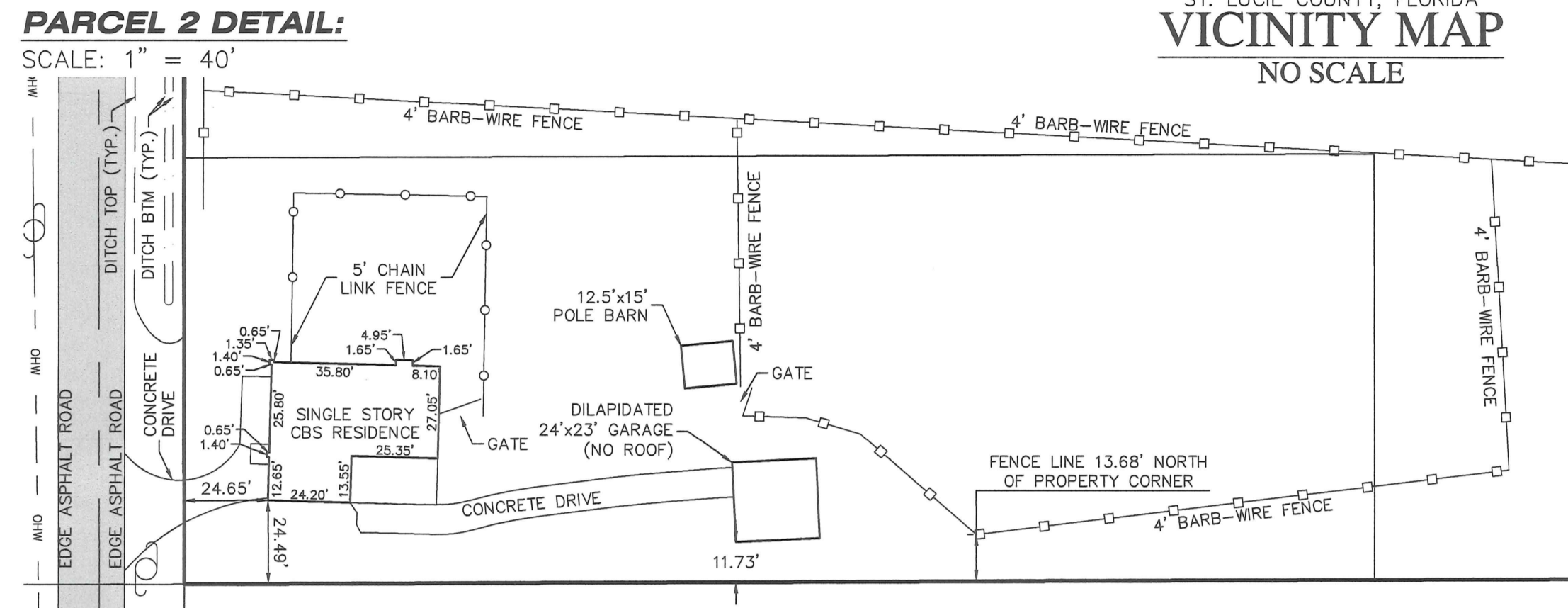
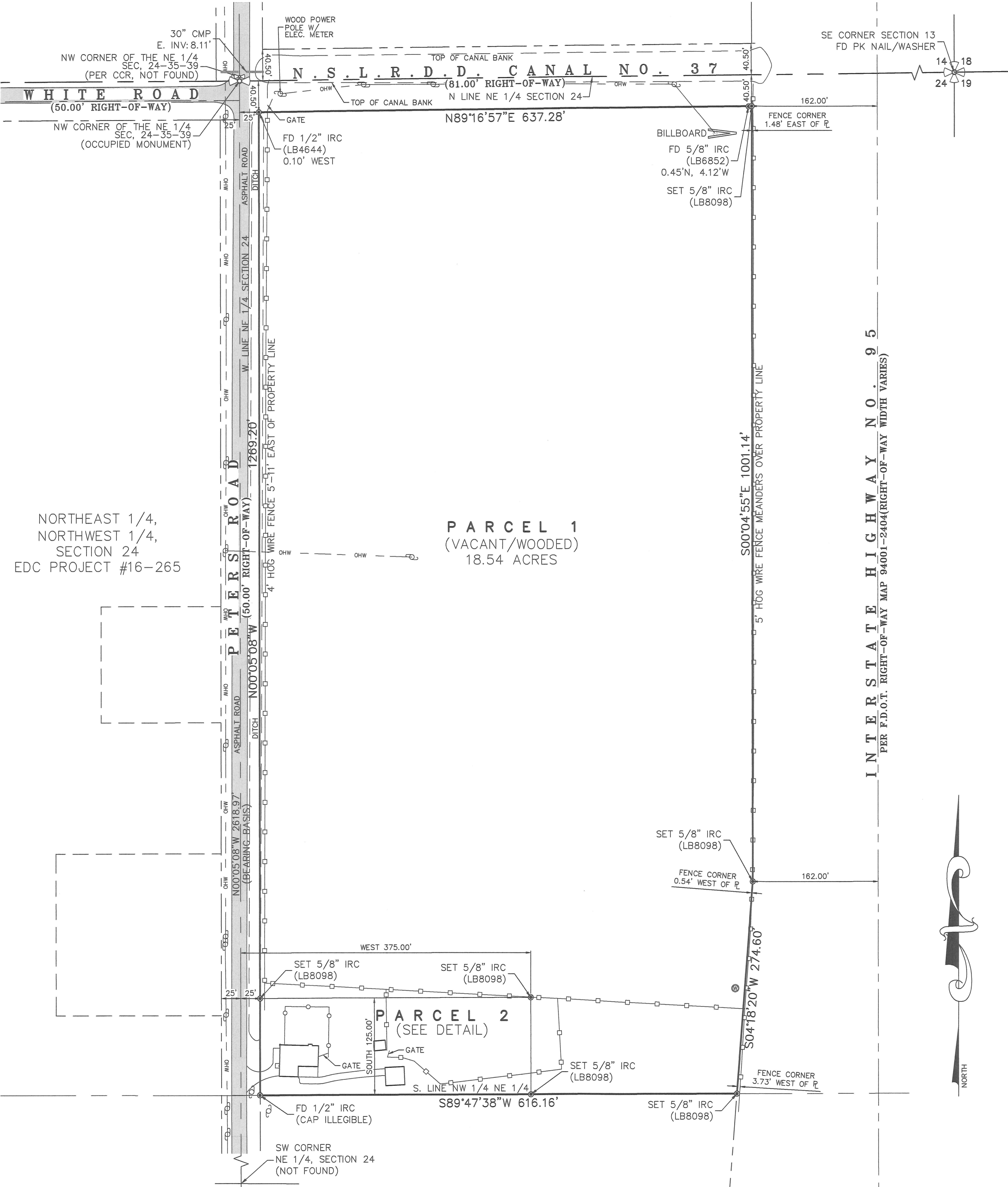
# BOUNDARY SURVEY FOR: PROJECT HURRICANE



10250 VILLAGE PARKWAY  
UNIT 201  
PORT ST. LUCIE, FL 34987  
772-462-2455  
www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 8935  
L.B. CERTIFICATE OF AUTHORIZATION 8098

DRAWN BY	DATE
CHECKED BY	DATE
FIELD CREW	DATE
FILE NUMBER	DATE
LAYOUT	DATE
PROBING	DATE
SCALE	DATE
REVISION PROJECT NAME	DATE



### SYMBOL & ABBREVIATION LEGEND:

⊕ AIR RELEASE VALVE	⊕ DECORATIVE LIGHT POST	⊕ FPL MANHOLE	☆ METAL LIGHT POST	P.T. POINT OF TANGENCY
AL ARC LENGTH	(D) DEED	SO FT. SQUARE FEET	MP MONITORING WELL	P.O.T. POINT OF TERMINUS
ASPH ASPHALT	D.B. DEED BOOK	GAS ⓧ GAS VALVE	⊕ NATIONAL GEODETIC SURVEYOR	PVC POLYVINYL CHLORIDE
BFP BACK FLOW PREVENTER	Ⓢ DIAMETER (DIA.)	GIS GEOGRAPHIC INFORMATION SYSTEMS	NGVD29 NATIONAL GEODETIC SURVEYOR	PORT SAINT LUCIE, FLORIDA
BM BENCHMARK (BM)	Ⓢ DRAINAGE MANHOLE	GND GROUND LIGHT	N/D NON DESCRIPT NAIL	PLS PROFESSIONAL LAND SURVEYOR
BKE BKE BACK	Ⓢ DUCTILE IRON PIPE	GUY WIRE ANCHOR	N.R. NON RADIAL	R RADIUS
CATV CABLE RISER	E EAST/EASTING	HOV HOG WIRE FENCE	NAV088 NORTH AMERICAN NAVIGATION	RSE RANGE
(C) CALCULATED	EW EDGE OF WATER	HDPE HIGH DENSITY POLYETHYLENE PIPE	N. NORTH OR NORTHING	REAL TIME KINEMATIC
CB CATCH BASIN	EBH ELECTRIC BOX	HWF HYDRANT	IN INCH	RHW RECLAIMED WATER VALVE
CD CENTERLINE	EBH ELECTRIC HAND HOLE (EHH)	IN INVERT	IR INCH	REREGISTERED LAND SURVEYOR
CFP CERTIFIED CORNER RECORD	EM ELECTRICAL METER	IP IRON PIPE	IR/C IRON ROD AND CAP	REINFORCED CONCRETE PIPE
CLP CHAIN LINK FENCE	EL/ELEV. ELEVATION	IRON ROD	IR/C IRON ROD AND CAP	R/W RIGHT-OF-WAY
CHD CHORD	FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	R/C RIGHT OF WAY
CO CLEAN OUT	F.O. FIBER OPTIC	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	R/S SANITARY MANHOLE
COM RISER COMMUNICATION RISER	F.O.H. FIBER OPTIC HAND HOLE	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	SV SANITARY VALVE
CONC CONCRETE	F.O.M. FIBER OPTIC MARKER	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	SV SANITARY VALVE
CONC CONCRETE LIGHT POST	F.F.E. FIELD MEASURED ELEVATION	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	SEC SECTION
CM CONCRETE MONUMENT	FDOT FLORIDA DEPARTMENT OF TRANSPORTATION	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	SEC SECTION
CPP CONCRETE POWER POLE (CPP)	FPL FLORIDA POWER AND LIGHT	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	SEC SECTION
CPW CONCRETE POWER POLE W/STREET LIGHT	FT FOOT	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	SEC SECTION
CS CONCRETE SIGNAL LIGHT POLE	FM FORCE MAIN	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	SEC SECTION
CMR CORRUGATED METAL PIPE	FND FOUND	IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	SEC SECTION
CUI CURB INLET		IR/C IRON ROD AND CAP	IR/C IRON ROD AND CAP	SEC SECTION

### SURVEYORS NOTES AND REPORT:

- REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF ENGINEERING, DESIGN AND CONSTRUCTION, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- THE LAST DATE OF FIELD WORK WAS OCTOBER 5, 2020.
- CURRENT DESCRIPTION(S) SHOWN HEREON PROVIDED BY: THE CLIENT. A TITLE SEARCH FOR THIS PROPERTY HAS NOT BEEN ABSTRACTED TO SHOW MATTERS OF RECORD SUCH AS EASEMENTS OR OTHER ENCUMBRANCES OR RESTRICTIONS.
- PARCELS CONTAIN A TOTAL OF 18.54 ACRES, MORE OR LESS.
- THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (61G17-6 F.A.C.), IS "RESIDENTIAL." THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 10,000 FEET. THIS SURVEY EXCEEDS THE REQUIRED DISTANCE ACCURACY.
- THIS BOUNDARY SURVEY HAS BEEN REFERENCED TO THE FLORIDA STATE PLANE BOUNDARY SYSTEM-EAST ZONE, NAD 83 (1990).
- SUB-SURFACE IMPROVEMENTS INCLUDING UNDERGROUND UTILITIES, UTILITY SERVICES, WERE NOT LOCATED AS PART OF THIS SURVEY.
- REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
- BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 24, ST. LUCIE COUNTY, FLORIDA PER THE LINE LABELED HERON AS (BEARING BASIS) AND ALL OTHER BEARINGS ARE RELATIVE THERETO. DISTANCES ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION, OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
- THE OWNERSHIP OF PERIMETER FENCES, WALLS, HEDGES AND LANDSCAPING, IF ANY, SHOWN HEREON ARE NOT KNOWN AND ARE NOT LISTED AS ENCROACHMENTS. THEIR RELATIVE LOCATION IS SHOWN IN RELATION TO THE BOUNDARY LINES SHOWN.
- THE SURVEY MAP SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.
- THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATE IN AN AREA OF MINIMAL FLOOD HAZARD AT THIS TIME PURSUANT TO F.E.M.A. FIRM NUMBER 12111C0167J, HAVING AN EFFECTIVE DATE OF FEBRUARY 16, 2012. FOR APPROXIMATE DELINEATION OF THE FLOOD ZONE LIMITS, REFER TO AFOREMENTIONED FIRM PANELS.

### LEGAL DESCRIPTION:

PARCEL 1:  
THE WEST 3/4 OF THE NORTH HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER LESS ROAD AND CANAL RIGHT OF WAY FOR I-95; WHITE ROAD, AND ALSO, THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, LESS ROAD RIGHT OF WAY FOR I-95 AND LESS THE SOUTH 125 FEET OF THE WEST 375 FEET THEREOF, ALL LYING AND BEING IN SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA.

PARCEL 2:  
THE SOUTH 125 FEET OF THE WEST 375 FEET OF SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA.

CONTAINING 18.54 ACRES, MORE OR LESS.

MICHAEL T. OWEN PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION # 9556  
SIGNATURE DATE: 10-30-2020

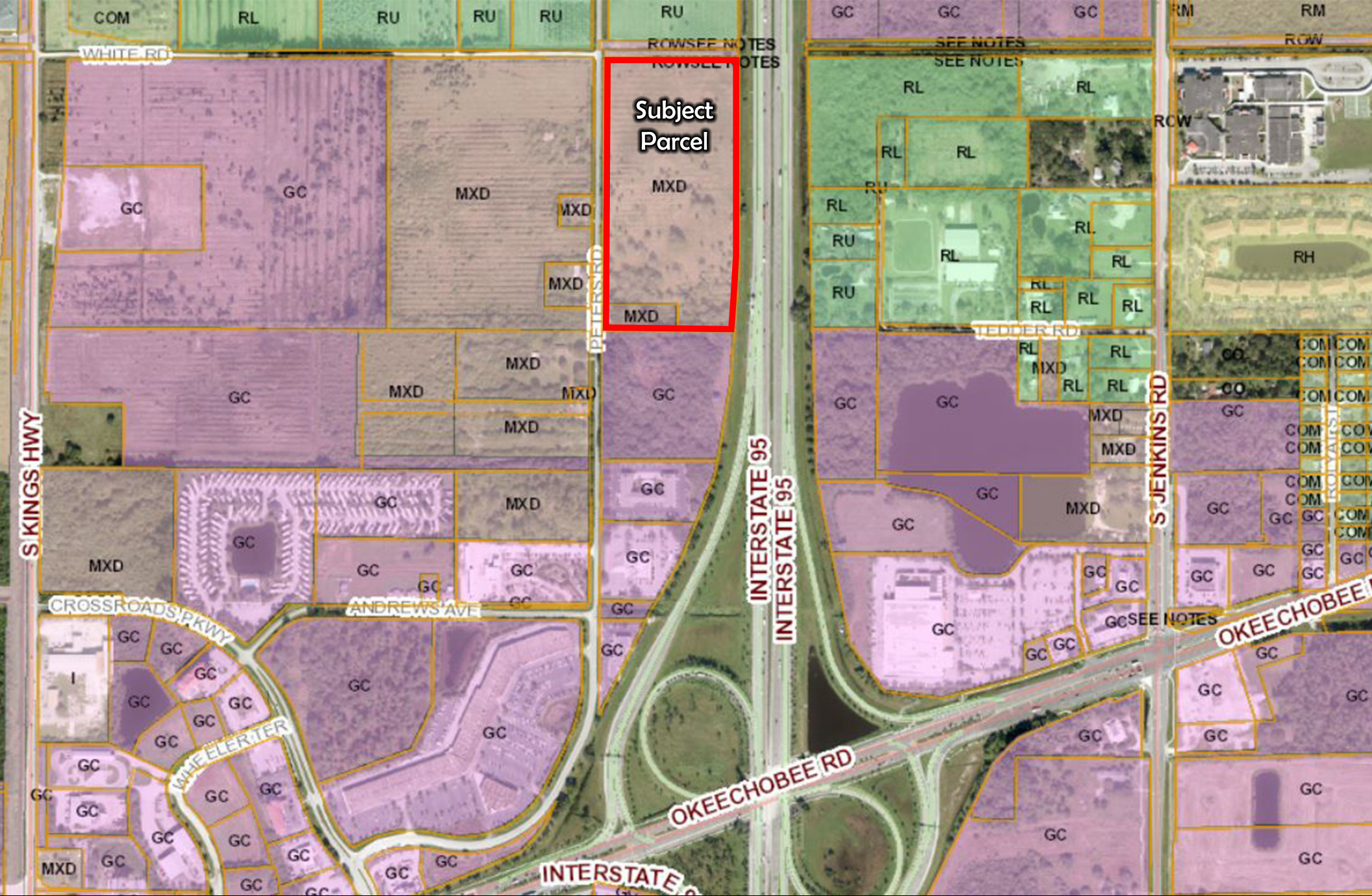
BOUNDARY SURVEY  
FOR: PROJECT HURRICANE  
LAND LYING IN THE NW 1/4 OF THE NE 1/4 OF  
SEC. 24, TOWNSHIP. 35 SOUTH, RGE. 39 EAST  
ST. LUCIE COUNTY, FLORIDA

10250 VILLAGE PARKWAY  
UNIT 201  
PORT ST. LUCIE, FL 34987  
772-462-2455

20-298

1 OF 1

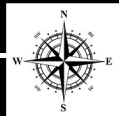
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# RV Development, LLC

Future Land Use

St. Lucie County, FL





# Project Hurricane

Current Zoning

Fort Pierce, FL

