

BOARD OF ADJUSTMENT AGENDA

Board of Adjustment Regular Meeting - Thursday, May 27, 2021 - 2:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **APPROVAL OF MINUTES**
 - a. Minutes from the April 22, 2021 meeting
6. **PUBLIC HEARING**
 - a. Variance from Minimum Side Setback - Hayek Residence - 1111 Fernandina Street
 - b. Variance From Side Setback & Special Exception for Expansion of Nonconforming Structure - Chicas Residence - 1907 Fulton Drive
 - c. Variances For Fence Height & Front Yard Setback - Jacquin Residence - 1363 Bayshore Drive
7. **ELECTION OF CHAIR AND VICE-CHAIR**
8. **DISCUSSION / OTHER BUSINESS**
9. **COMMENTS FROM THE PUBLIC**
10. **ADJOURNMENT**

Any person seeking to appeal any decision by the Board of Adjustment with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact the Planning Department at (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board of Adjustment

Meeting Date: 05/27/2021

Information

REQUESTED ACTION

Minutes from the April 22, 2021 meeting

LOCATION

N/A

RESPONSIBLE STAFF

N/A

RECOMMENDATION

N/A

Attachments

Board of Adjustment Minutes 4/22/21

Form Review

Form Started By: Alicia Rosenthal

Started On: 04/26/2021 12:36 PM

Final Approval Date: 04/26/2021

DRAFT



CITY OF FORT PIERCE
BOARD OF ADJUSTMENT

Board of Adjustment Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY BOARD OF ADJUSTMENT HELD ON THURSDAY, **APRIL 22, 2021, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.**

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Charles Hayek; Darryl Bey; Bill Nunn, Chairman

Absent: James Crist

Staff Present: Rebeca Guerra, Assistant Planning Director
Alicia Rosenthal, Executive Assistant

4. CONSIDERATION OF ABSENCES

Motion was made by Charles Hayek, and seconded by Darryl Bey to approve the absence of Mr. Crist.

AYE: Darryl Bey, Charles Hayek, Chairman Bill Nunn
Passed

5. APPROVAL OF MINUTES

a. Minutes from the February 25, 2021 meeting

Motion was made by Charles Hayek, and seconded by Darryl Bey to approve the minutes from the February 25, 2021 meeting.

AYE: Charles Hayek, Darryl Bey, Chairman Bill Nunn
Passed

6. PUBLIC HEARING

a. Variance - Parry Residence - 2203 S. Indian River Drive

The clerk introduced the Variance for the Parry Residence located at 2203 South Indian River Drive.

Chairman Nunn read the Quasi-Judicial Hearing procedures.

Before commencing this Quasi-Judicial Hearing, Chairman Nunn explained to the Board of Adjustment that they serve in both a legislative and quasi-judicial role. When acting as a legislative body, the Board engages in law-making activity by passing laws and establishing policies. When acting as a quasi-judicial body, the Board applies those laws and policies and is held to stricter procedural requirements. Quasi-judicial proceedings are less formal than proceedings before a circuit court but are more formal than the normal Board meeting. Quasi-judicial proceedings must follow basic standards of notice and due process; and, decisions must be made based on competent substantial evidence. Therefore, Board members have a duty to conduct the quasi-judicial proceedings more like judges than legislators. That is why the Commission has established the uniform procedures for quasi-judicial hearings that will be followed today.

Chairman Nunn called the proceeding to order.

The clerk confirmed the City complied with advertisement and notice requirements.

Chairman Nunn inquired with the Board regarding ex-parte communications and asked the Clerk to call the roll:

Mr. Hayek– no

Mr. Bey - no

Chairman Nunn - no

Chairman Nunn opened the public hearing.

The clerk was asked to swear in those wanting to speak during this Quasi-Judicial hearing. Individuals in the audience intending to speak on this item were asked to stand, raise their right hand, and administered an oath to tell the truth, the whole truth, and nothing but the truth. Those that were sworn in were asked to clearly state their name for the record and confirm they were sworn in at such time as they were asked to come forward to testify.

Staff Presentation:

Rebeca Guerra, Assistant Planning Director, gave an overview of the application. The applicant is requesting the Board of Adjustment approve a Variance from Section 125-188(b)(2)b. to allow for a side setback of 8 feet in lieu of the Code-required fifteen (15) feet in order to install a whole-house generator. The subject site has a lot size of 21,808 or 0.5 acres. The minimum lot size in the E-1 Zone is 1 acre, which makes this lot at least half as big as the majority of properties in the immediate area. Moreover, as this home and the lot it sits on were created first in the early 1900's and then in the 1920's, they are considered to be a legal nonconforming structure and a legal nonconforming lot as the construction of the home and the creation of the lot pre-date the City of Fort Pierce's Code for the E-1 Zone which was in 1981. The proposed whole-house generator would sit on the south side of the property approximately eight feet from the property line. The neighbor to the south which immediately abuts the subject site has submitted a letter indicating his support for the

generator's location and the necessary variance needed in order for the installation to occur in the requested area. A copy of this letter has been provided. The site plan provided for the generator meets all other applicable codes contained in Chapter 125 of City Code. If the Variance is approved, the location of the whole-house generator will not appear to adversely affect traffic flow, safety and control, pedestrian safety, and convenience or visibility at any street intersections, drives, rights-of-way, curb cuts or crosswalks. The Technical Review Committee did not have any comments or objections regarding the placement of the generator. Ms. Guerra stated the applicant received two letters of support from neighboring properties that voiced no objections.

Board questions for Staff: None

Applicant questions for Staff: None

Applicant presentation: John Parry, owner, sworn, provided the Board with a brief history of his home.

Board questions for Applicant: None

Public comment: None

Chairman Nunn, seeing no one else, closed the public hearing.

Motion was made by Charles Hayek, and seconded by Darryl Bey **to approve the Variance.**

AYE: Charles Hayek, Darryl Bey, Chairman Bill Nunn
Passed

7. DISCUSSION / OTHER BUSINESS

8. COMMENTS FROM THE PUBLIC

There were no comments from the public.

9. ADJOURNMENT

Planning Board of Adjustment

Meeting Date: 05/27/2021

Information

REQUESTED ACTION

Variance from Minimum Side Setback - Hayek Residence - 1111 Fernandina Street

LOCATION

1111 Fernandina Street
Fort Pierce, FL 34949

Parcel ID: 2401-431-0002-000-5

RESPONSIBLE STAFF

Rebeca Guerra, AICP, LEED-AP, CPD, Assistant Planning Director

RECOMMENDATION

Approval.

Attachments

Staff Report

Aerial Map

Application & Supporting Documents

Letters of Support

Public Notification Certification

Form Review

Form Started By: Rebeca Guerra
Final Approval Date: 05/20/2021

Started On: 05/20/2021 11:45 AM



TO: Members of the City of Fort Pierce Board of Adjustment

FROM: Rebeca Guerra, AICP, LEED-AP, CPD, Assistant Planning Director

RE: **Application for Variance**
Exceed Minimum Side Yard Setback
1111 Fernandina Street

MEETING DATE: May 27, 2021

STAFF REPORT

Owner/Applicant: Charles C. Hayek & Kathleen A. Gilmartin
 1111 Fernandina Street
 Fort Pierce, FL 34949

Requested Action: Variance from Section 125-192(b)(2)b. to allow for a two (2) foot side yard setback in lieu of the Code-minimum seven (7) feet.

Location: 1111 Fernandina Street

Parcel ID: 2401-431-0002-000-5

Zoning: Single-Family Intermediate Density Zone (R-2)

Future Land Use: Low Density Residential (RL)

Parcel Size: 0.67 acres/29,000 Square Feet

Proposed Side Setback: 2 feet

Surrounding Zoning:

North	East	South	West
R-2	R-2	R-2	Indian River

Staff Analysis:

In accordance with Article II of Chapter 125 of the City Code, the applicant is requesting the Board of Adjustment approve a Variance from 125-192(b)(2)b. to allow for a side setback of two (2) feet in lieu of the Code-required seven (7) feet in order to install a whole-house generator.

The proposed whole-house generator would sit on the northern side of the property approximately two feet from the property line. The neighbor to the north which immediately abuts the subject site has submitted a letter indicating their support for the generator's location and the necessary variance needed in order for the installation to occur in the requested area. A copy of this letter has been provided.

The applicant has indicated that the generator's placement has been dictated by the location of the existing electric panel and gas tank along the northern side of the house. Moving the generator closer to the street or in the back yard, they reason, would make electrical and other connections difficult due to the distance and size of wiring needed. Moreover, its proposed location would be obscured by a 5½-foot CBS wall and a hedge of 18-foot Areca Palms.

The site plan provided for the generator meets all other applicable codes contained in Chapter 125 of City Code. If the Variance is approved, the location of the whole-house generator will not appear to adversely affect traffic flow, safety and control, pedestrian safety, and convenience or visibility at any street intersections, drives, rights-of-way, curb cuts or crosswalks. The Technical Review Committee did not have any comments or objections regarding the placement of the generator.

Variance Criteria:

The following criteria are specified in City Code 125-100, which must be satisfied in order for a variance to be granted:

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.
2. The special conditions and circumstances do not result from the actions of the applicant.
3. The literal interpretation of the provision of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant.
4. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.
5. The granting of the variance will be in harmony with the general intent and purpose of the ordinance and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The owner's response to the above criteria is attached to the submittal pack with the application.

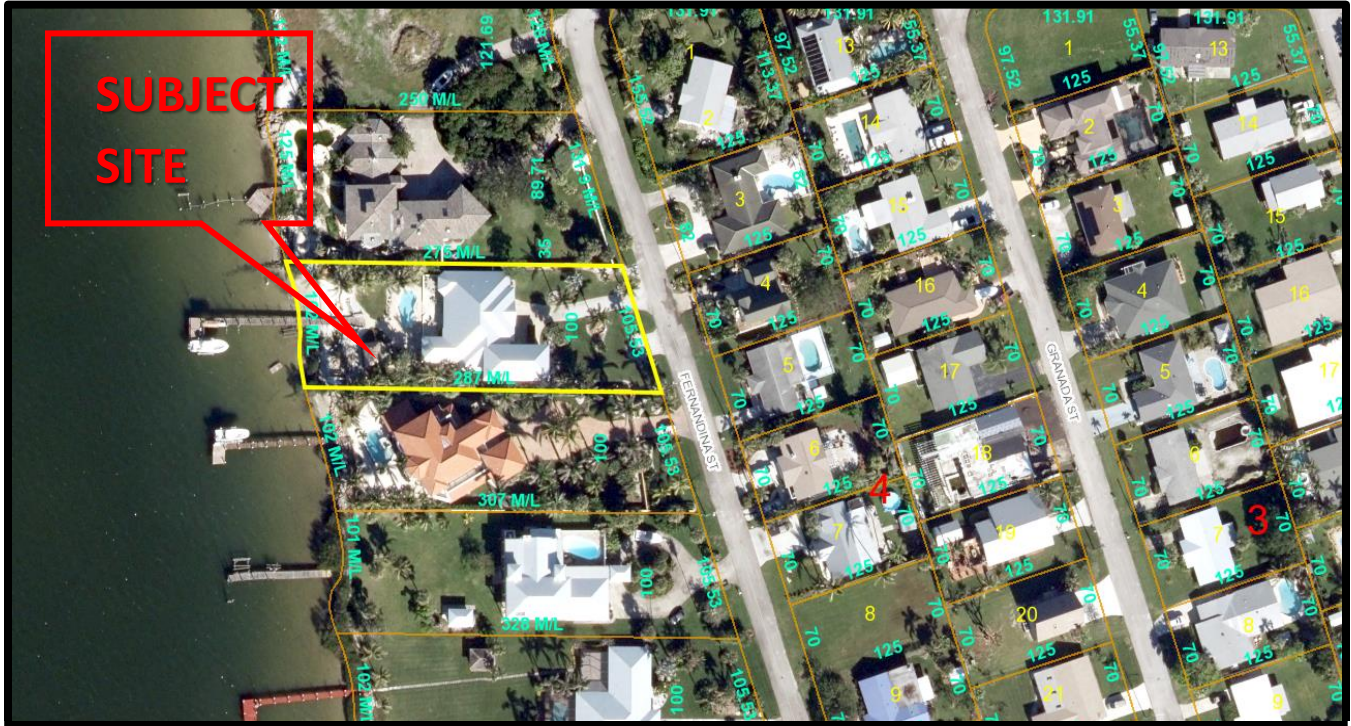
Property Owner Response Survey:

A total of six (6) notifications were mailed to abutting property owners. As of May 20, 2021, two (2) letters of support have been received, and none in objection. An update will be provided at the Board of Adjustment meeting.

Staff Recommendation:

Staff recommends that the Board of Adjustment APPROVE a Variance from Section 125-192(b)(2)b. to allow for a side setback of two (2) feet in lieu of the Code-required seven (7) feet.

Aerial Map



Application for Variance
1111 Fernandina Street
Aerial Map





VARIANCE

Property address or Location 1111 Fernandina Street
 Parcel ID #(s) 2401-431-0002-000-5
 Project description locate whole house generator in side yard

Charles Hayek and Kathleen Gilmartin

Property Owner(s)
 1111 Fernandina Stree

Street Address
 Fort Pierce FL 34949

 City State Zip
 772-828-1080

 Phone Number
 cchawk77@aol.com

 Email Address

Charles Hayek

Applicant/Representative, Title, Company
 same as owner

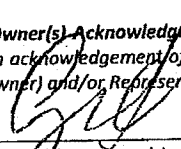
Street Address

 City State Zip

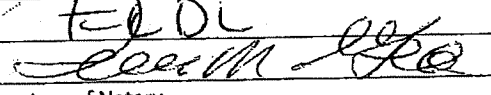
 Phone Number

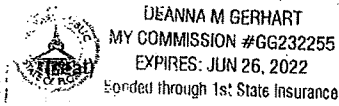
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Property Owner(s) Signature(s)


STATE OF FL COUNTY St. Lee
 The foregoing instrument was acknowledged before me this 19 day of March, 2021, by
Charles Hayek who is personally known to me or has produced

FD DL as identification.

 Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3737

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Fees _____ Control # _____ B. Permit # _____

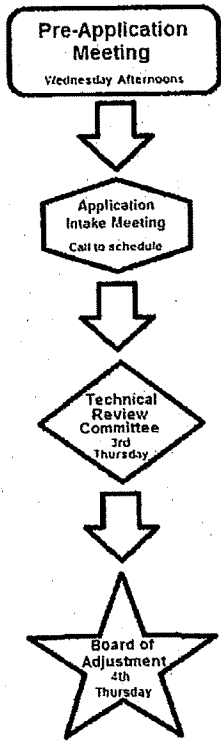
Intake Date Stamp

VARIANCE

Submit eight (8) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- Site plan, to scale, including all relevant improvements:
 - Existing & proposed structures
 - Landscaping & parking,
 - Fencing, signs, etc.
- As-built Survey
- Criteria Narrative
- Complete, notarized application

Application Outlook



Description of request: locate whole house generator on side yard next to house within the 7' setback

Reason for request: there is no other adequate place to put the generator

Existing Use : residential Date Property was Purchased: 2014

Alterations made to the site since purchase: new house built

Has a request for this variance been denied in the past? Yes No

If yes, what has changed since the denial? _____

Criteria:

In order to determine whether your request for Variance meets all the criteria in Section 22-108 of the City Code, please answer the following questions. Please provide answers of questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.
2. Do special conditions or circumstances result from actions other than that of yours? Please explain
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.
4. What is the minimum variance that would give the reasonable use of the land, building, or structure?
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare:

ANSWERS TO QUESTIONS ON APPLICATION

1 As the frequency and severity of storms in our area has increased dramatically, it is important to have a back-up system in the event of power loss. To prepare for storms, we are trying to install a whole house generator system that will meet our needs. The ideal location of the generator is in the area on the side of the garage to be near both the electric panel and gas tank. From the pictures submitted, you can see that the generator will be hidden due to the large wall on my neighbor's side and the landscaping in the front of our house.

2 Due to the various codes of the placement of a gas generator such as distance from openings or gas tank, the placement would either be in the front yard closer to the street or way in the back making electrical connections difficult due to the distance and size of wire needed.

3 As the area in question is bordered by a gate and walls on both sides, the area is not easily accessed nor visible from the street. The placement of the generator will not visually impact my neighbor as there is both a 5 ½' CBS wall and a hedge of Areca palms of approximately 18' in height.

4. The distance between the wall and our house is 8 feet. The generator needs to be 18" from a structure and it is 24" wide, making the distance to the generator 4 ½". However, accordingly to the installer, if the unit was placed 18" from the wall it could be positioned so that the exhaust and noise is expelled to the front yard, lessening the impact to our neighbor. That would be the preferable location but if the board does not approve that we will ask for a 2 ½' variance which will put the unit 18" from our house but the noise and exhaust will be more noticeable to our neighbor.

5. As the generator, if allowed to be placed in our side yard, would not be visible from the street therefore the impact to the general public would be extremely minimal. We have some elderly friends that share our house in times of emergency making the generator more necessary than ever.



THE SUNRISE CITY
FORT PIERCE
 PLANNING DEPARTMENT *Florida*

May 14, 2021

Dear Property Owner(s):

The property owners, Charles C. Hayek and Kathleen A. Gilmartin, are requesting approval of a Variance from Section 125-192(b)(2)b. to allow for a two (2) foot side yard setback in lieu of the Code-minimum seven (7) feet. This Variance seeks to allow for the placement of a whole-house generator.

The property is located at 1111 Fernandina Street, and is zoned R-2, Single Family Intermediate Density. The Parcel ID of the site is 2401-431-0002-000-5, and legal description of the property is: 1 35 40 N 100 FT OF S 615 FT OF N 1/2 OF GOVT LOT 8 LYG W OF FERNANDINA ST (0.67 AC) (OR 3416-2323).

A public hearing is scheduled before the Board of Adjustment of the City of Fort Pierce, Florida, at their meeting on **Thursday, May 27, 2021**, which begins at **2:00 p.m.** in the City Hall Commission Chambers, 100 North U.S. 1, Fort Pierce, Florida. You are provided the opportunity to attend the public hearing and to speak in favor of, or in opposition to, the requested **Variance**. Whether you attend the meeting or not, it is requested that you please complete the form below and return it so it is received by **12 p.m. on Thursday, May 27, 2021**. Methods of returning your ballot are identified below. Each ballot returned will be tabulated and reported to the Board of Adjustment. If you have any inquiries, or would like to review the complete application, please contact Rebeca Guerra at (772) 467-3739 or at rguerra@cityoffortpierces.com. Furthermore, published agenda packets for each Board of Adjustment meeting are provided a few days in advance at the following web address: <http://cityoffortpierces.com/223/Agendas-Minutes>.

Thank you for your contribution.

Sincerely,

Rebeca A. Guerra, AICP, LEED-AP, CPD
 Assistant Planning Director

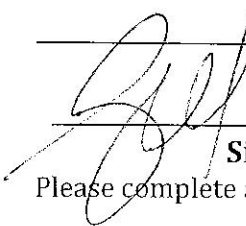
Variance - 1111 Fernandina Street (Hayek Residence)

I approve

I disapprove

Comments:

This is important for hurricane preparedness


 Signature

5-18-21
 Date

Please complete and return ballot to:

Mail
 City of Fort Pierce
 Planning Department
 100 N. US Hwy 1
 Fort Pierce, FL 34950

or

Fax
 (772) 466-5808

or

Email
rguerra@cityoffortpierces.com


20 APRIL 2021


1114 FERNANDINA STREET
FT PIERCE FLORIDA 34949

To whom it may concern

Matt Jones and Carla Smith, who live at 1117 FERNANDINA STREET, FT PIERCE, FLORIDA, which is on the south side of Charlie Hayek and Kathy Gilmartin's residential property do give our consent for a variance to install a generator on the setback.

Respectfully,


Matthew JONES


CARLA S SMITH



PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: Hayek Side Setback Variance

NOTICES PROVIDED PURSUANT TO: Section 125-37 & 125-103 of the Fort Pierce Code of Ordinances

NOTICE BY NEWSPAPER: Monday, May 10, 2021

NOTICE BY MAIL: Friday, May 14, 2021

NOTICE BY SIGNS: N/A

VERIFIED BY: Rebeca A. Guerra

TITLE: Assistant Planning Director

SIGNATURE:

DATE: 5/20/2021

Planning Board of Adjustment

Meeting Date: 05/27/2021

Information

REQUESTED ACTION

Variance From Side Setback & Special Exception for Expansion of Nonconforming Structure - Chicas Residence - 1907 Fulton Drive

LOCATION

1907 Fulton Drive
Fort Pierce, FL 34950-3941

Parcel ID: 2409-712-0079-000-1

RESPONSIBLE STAFF

Rebeca Guerra, AICP, LEED-AP, CPD, Assistant Planning Director

RECOMMENDATION

Approval.

Attachments

Staff Report

Aerial Map

Application & Supporting Documents

Letters of Support

Public Notification Certification

Form Review

Form Started By: Rebeca Guerra
Final Approval Date: 05/20/2021

Started On: 05/20/2021 03:42 PM



TO: Members of the City of Fort Pierce Board of Adjustment

FROM: Rebeca Guerra, AICP, LEED-AP, CPD, Assistant Planning Director

RE: **Application for Variance & Special Exception To Encroach Front Yard Setback & Expand Nonconforming Structure**

1907 Fulton Drive

MEETING DATE: May 27, 2021

STAFF REPORT

Owner/Applicant: Jose Angel Chicas-Andrade & Elena Maria Chicas
 1907 Fulton Drive
 Fort Pierce, FL 34950-3941

Requested Action: Variance from Section 125-193(b)(2)a. to allow for a seventeen (17) foot front yard setback in lieu of the Code-minimum twenty-five (25) feet & a Special Exception to allow for the expansion of a legal nonconforming structure, consistent with Sections 125-72 and 125-73.

Location: 1907 Fulton Drive

Parcel ID: 2409-712-0079-000-1

Zoning: Single-Family Moderate Density Zone (R-3)

Future Land Use: Low Density Residential (RL)

Parcel Size: 0.29 acres/12,500 Square Feet

Proposed Side Setback: 17 feet

Surrounding Zoning:

North	East	South	West
R-3	R-3	R-3	R-3

Staff Analysis:

In accordance with Article II of Chapter 125 of the City Code, the applicants are requesting the Board of Adjustment approve a Variance from Section 125-193(b)(2)a. to allow for a seventeen (17) foot front yard setback in lieu of the Code-minimum twenty-five (25) feet for the construction of an addition to the existing single-family home. Additionally, a Special Exception to allow for the expansion of a legal nonconforming structure is also being requested.

The existing home, which was originally constructed in 1952, was built with a 17-foot setback from the front property line. The City's Code, first adopted in 1981, requires a minimum 25-foot setback from the front property line. The discrepancy between both distances makes the existing single-family home a "legal nonconforming structure." Any enlargement or expansion of a legal nonconforming structure requires a Special Exception, consistent with Sections 125-72 and 125-73.

The proposed addition would be located within the area currently used as a carport. The carport is aligned along the same façade as the house itself. The applicants are seeking to keep the overall façade plane uniform in order to maintain consistency with the architectural style and design of their home. Parking which would have been provided under the carport will now be made available via an extended driveway and paved area sufficient for more than two vehicles.

The site plan provided for the addition meets all other applicable codes contained in Chapter 125 of City Code. If the variance and special exception are approved, the location of the addition will not appear to adversely affect traffic flow, safety and control, pedestrian safety, and convenience or visibility at any street intersections, drives, rights-of-way, curb cuts or crosswalks. The Technical Review Committee did not have any comments or objections regarding the request.

Variance Criteria:

The following criteria are specified in City Code 125-100, which must be satisfied in order for a variance to be granted. The owner's response to the above criteria is attached to the submittal pack with the application.

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.
2. The special conditions and circumstances do not result from the actions of the applicant.
3. The literal interpretation of the provision of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant.
4. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.
5. The granting of the variance will be in harmony with the general intent and purpose of the ordinance and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

Special Exception Criteria:

The following criteria are specified in City Code 125-73, which must be satisfied in order for a special exception to be granted:

1. The granting of the special exception will not adversely affect the public interests.
2. Such enlargement or alteration is in harmony with the purpose and intent of this chapter and all amendments thereof.
3. The enlargement or alteration, if allowed, will not violate any height, yard, setback, area, or density limitations imposed by the zoning district in which the property is located, or if the enlargement or alteration would increase such violation, such enlargement or alteration would not adversely affect traffic flow, safety and control, pedestrian safety and convenience or visibility at any street intersections, drives, rights-of-way, curbcuts, or crosswalks.

4. Such enlargements or alteration shall be compatible with adjacent properties and other properties within that zoning district.
5. If in a commercial, business, or industrial zone, that adequate buffers are provided between such structures and adjacent residential areas.
6. That adequate off-street parking shall be provided for any multifamily, commercial, industrial, or business use upon the property.
7. The enlargement or alteration will not increase gross floor area of the principal structure by more than 50 percent.
8. The use of the structure prior to, and subsequent to, the granting of the request for the special exception shall be a semi-restricted use or permitted conditional use within the district in which the property is located.
9. There will be adequate availability and access to, and for, public utilities as may be required.

Property Owner Response Survey:

A total of nine (9) notifications were mailed to abutting property owners. As of May 20, 2021, three (3) letters of support have been received, and none in objection. An update will be provided at the Board of Adjustment meeting.

Staff Recommendation:

Staff recommends that the Board of Adjustment APPROVE the following:

1. A Variance from Section 125-193(b)(2)a. to allow for a seventeen (17) foot front yard setback in lieu of the Code-minimum twenty-five (25) feet.
2. A Special Exception to allow for the expansion of a legal nonconforming structure, consistent with Sections 125-72 and 125-73.

Aerial Map



Application for Variance & Special Exception
1907 Fulton Drive
Aerial Map





RECEIVED

MAR 15 2021

CITY OF FORT PIERCE
PLANNING & ZONING

VARIANCE

Property address or Location 1907 Fulton Drive Fort Pierce, FL 34950

Parcel ID #(s) 2409-712-0079-000-1

Project description Adding an addition to home including living area, bedroom and bathroom to where it was previously a carport

Jose Chicas-Andrade, Elena Chicas owner

Property Owner(s) 1907 Fulton Drive Applicant/Representative, Title, Company _____

Street Address Fort Pierce FL 34950 Street Address _____

City 34950 State FL Zip _____

Phone Number 772-979-3046 Phone Number _____

Email Address elena.chicas@yahoo.com Email Address _____

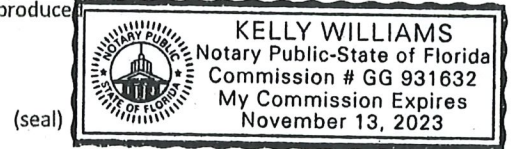
Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

[Signature] Jose Angel Chicas A.
Property Owner(s) Signature(s) _____

STATE OF FLORIDA COUNTY ST. LUCIE
The foregoing instrument was acknowledged before me this 12 day of MARCH, 20 21, by

Elena Chicas who is personally known to me or has produced
Dr. Use. # as identification.

Kelly Williams
Signature of Notary _____



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3737

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____

Intake Planner _____

Planner Assigned _____

Approved By _____ Date _____

Comments _____

Intake Date Stamp _____

VARIANCE

Submit eight (8) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- Site plan, to scale, including all relevant improvements:
 - Existing & proposed structures
 - Landscaping & parking,
 - Fencing, signs, etc.
- As-built Survey
- Criteria Narrative
- Complete, notarized application

Description of request: REDUCTION OF FRONT YARD SET-BACK

Reason for request: EXISTING RESIDENCE IS NON-CONFORMING AND THE PROPOSED ADDITION DOES NOT EXTEND BEYOND THE EXISTING STRUCTURE.

Existing Use: single family residential Date Property was Purchased: _____

Alterations made to the site since purchase: REMOVED EXISTING CARPORT AS REQUIRED FOR PROPOSED ADDITION

Has a request for this variance been denied in the past? Yes No

If yes, what has changed since the denial? N/A

Application Outlook



Criteria:

In order to determine whether your request for Variance meets all the criteria in Section 22-108 of the City Code, please answer the following questions. Please provide answers of questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.
2. Do special conditions or circumstances result from actions other than that of yours? Please explain
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.
4. What is the minimum variance that would give the reasonable use of the land, building, or structure?
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare:

1. My home was built in 1952 so it was built on a 17-foot setback rather than a 25-foot setback that is required today. So, therefore my building is a legal non-conforming building.
2. Yes, special circumstances result from the fact that I was not the owner in 1952. I just recently purchased this home in 2017, so understandably I had no control over this.
3. If my home was built according to the code for the zoning district it would cause undue hardship because the home I would be creating wouldn't look continuous from the street. I would have to draw up the building plans with an additional 8-foot setback from the original line that was originally there when I demolished the carport, which would make the overall building appearance not look cohesive and awkward.
4. The minimum variance is that 8-foot variance in order to have the addition and the existing house line the same.
5. I am not asking for any other variances. All I am doing is keeping the same line of construction that I already have with the house that exist.
6. I am asking that you please take into consideration my plea and allow me to build onto my home in order to make my family comfortable. I understand the regulations have since changed since 1952, but I truly believe this is a special exception considering I am not adding onto the the lines that were already there. Thank you!



Special Exception

Property address or Location 1907 Fulton Drive Fort Pierce, FL 34950

Parcel ID #(s) 2409-712-0079-000-1

Project description Adding an addition to home including living area, bedroom and bathroom to where it was previously a carport

Jose Chicas-Andrade, Elena Chicas owner

Property Owner(s)

1907 Fulton Drive

Street Address

Fort Pierce, FL 34950

City State Zip

772-979-3046

Phone Number

elena.chicas@yahoo.com

Email Address

Applicant/Representative, Title, Company

Street Address

City State Zip

Phone Number

Email Address

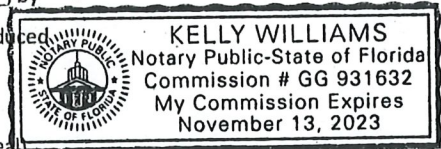
Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

[Signature] Jose Angel Chicas-A.
Property Owner(s) Signature(s)

STATE OF FLORIDA Florida COUNTY ST. LUCIE
The foregoing instrument was acknowledged before me this 12 day of MARCH, 20 21, by

Elena Chicas who is personally known to me or has produced
DR. USE # as identification.

[Signature]
Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____

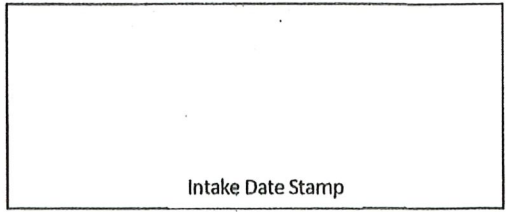
Fees _____ Control # _____ B. Permit # _____

Intake Planner _____

Planner Assigned _____

Approved By _____ Date _____

Comments _____



SPECIAL EXCEPTION

Submit eight (8) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- Site plan, to scale, including all relevant improvements:
 - Existing & proposed structures
 - Landscaping & parking,
 - Fencing, signs, etc.

- As-built Survey

For Duplex:

- Verification of zoning prior to 1985 from City Clerk
- Complete, notarized application

Special Exception Type:

- Enlargement or Alteration of a Non-Conforming Structure
- Duplex as Special Exception

1667 INCLUDED ORIGINAL CARPORT THAT HAS BEEN REMOVED FOR THE ADDITION.

Structure	Size (sq. ft.)	Height	Use	Residential Units
Existing	1667'	10'	RESIDENTIAL	1
Proposed	1722 S.F.	13'	RESIDENTIAL	1

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
RESIDENTIAL	→		

Application Outlook



DATE	02/09/21
REVISION	REVISED DRAWING
APPROVED BY:	R. KEMERSON
DRAWN BY:	B. K.
DATE	02/09/21
REVISION	REVISED DRAWING

DATE	02/09/21
SCALE	1" = 20'
DATE	02/09/21
REVISION	REVISED DRAWING

JOB NUMBER:	21-2018
SHEET:	1 OF 1

LEGAL DESCRIPTION: LOT 3 AND 4, BLOCK 6, TUCKER TERRACE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 54 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
ADDRESS: 1907 FULTON DRIVE
 FORT PIERCE, FL 34950

NOTES:
 SUBJECT TO ANY APPLICABLE EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS OF RECORD.
 A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN MADE BY THIS OFFICE.
 ELEVATIONS ARE IN FEET AND WERE ESTABLISHED BY GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) USING REAL TIME KINEMATICS (RTK) USING FLORIDA DEPARTMENT OF TRANSPORTATION - FLORIDA PERMANENT REFERENCE NETWORK (FRTN) WITH REDUNDANCY OF MEASUREMENTS PERFORMED. VERTICAL ACCURACY IS 1/10000 PLUS OR MINUS. ALL HORIZONTAL MEASUREMENTS ARE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD 83).

BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN, ALONG THE SOUTH-EASTERLY RIGHT OF WAY LINE OF FULTON DRIVE, SAID BEARING BEING N 45°00'00" E. ALL OTHER BEARINGS ARE RELATIVE THERETO.
 PROPERTY LIES F.T.R.M. ZONE "Y". PER MAP NUMBER 121110179K DATED 02/19/20, FLOOD ZONES ARE APPROXIMATE AS SCALED FROM FLOOD INSURANCE RATE MAPS.

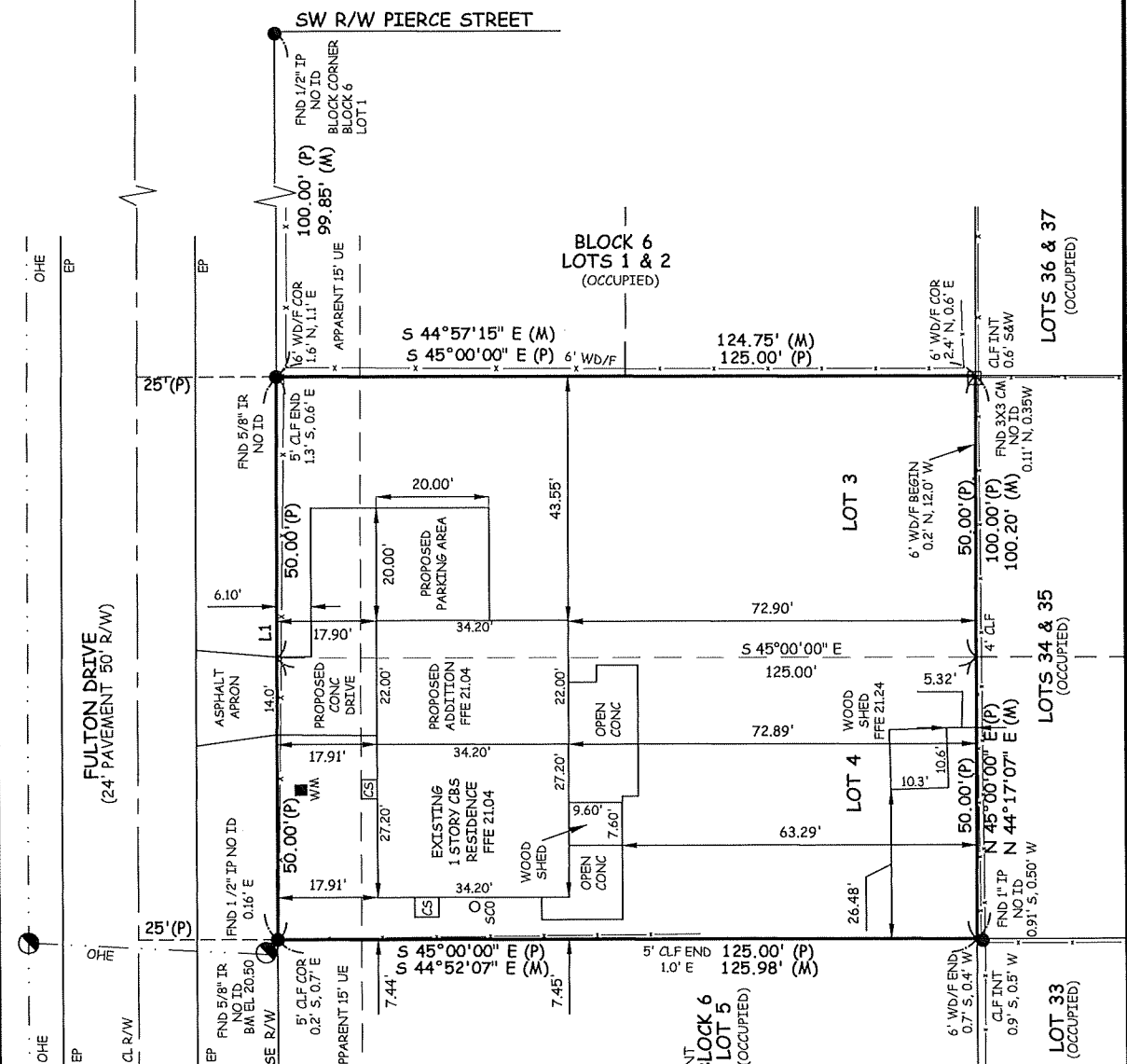
IN ACCORDANCE WITH CHAPTER 51-17.051, ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.
 THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY, THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
 NOT VALID WITHOUT THE ORIGINAL STENOGRAPHIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

LEGAL DESCRIPTION FROM WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1436, PAGE 2524, ST. LUCIE COUNTY PUBLIC RECORDS.
 THE EXPECTED USE OF THE SURVEY AND MAP IS RESIDENTIAL.
 PUBLIC WATER & SEWER AVAILABLE.
 LOTS CONTAINS 12,500 SQUARE FEET.
 THERE APPEARS TO BE A 15' UTILITY EASEMENT ALONG THE FRONT LINES OF THE PLAT BUT THERE IS NO CLARIFICATION VERIFYING THE WIDTH OF SAID EASEMENT.
 ORIGINAL BOUNDARY SURVEY FIELD DATE: 06-13-05.
 UPDATE BOUNDARY & TOPOGRAPHIC SURVEY FIELD DATE: 02-04-21.

CERTIFIED TO: JOSE ANGEL CHICAS-ANDRADE; ELENA MARIA CHICAS

Robert F KemerSON
 Professionally Registered Professional Surveyor
 No. 005, unaffiliated
 Date: 02/09/21
 008: cemb@robertf.kemerSON.com
 Date: 2021.05.04 11:21:49 -0400

ROBERT F. KEMERSON
 PROFESSIONAL SURVEYOR AND MAPPER
 STATE OF FLORIDA (PSM)#6285



LINE CHART

L1 BEARING BASIS
 N 45°00'00" E 100.00' (P&M)

- LEGEND**
- BM = BENCHMARK
 - CBS = CONCRETE BLOCK STRUCTURE
 - CE = COVERED ENTRY
 - CLF = CHAIN LINK FENCE
 - CL = CENTERLINE
 - CM = CONCRETE MONUMENT
 - CONC = CONCRETE
 - COR = CORNER
 - COV = COVERED
 - CS = CONCRETE SLAB
 - CU = CURB & UTILITY EASEMENT
 - DEL = DELINEATION
 - BL = EDGE OF PAVEMENT
 - FEE = FINISH FLOOR ELEVATION
 - FND = FOUND
 - ID = IDENTIFICATION
 - INT = INTERSECTION
 - IP = IRON PIPE
 - IR = IRON ROD
 - LI = LINE INFORMATION
 - LB = LICENSED BUSINESS
 - MB = MEASURED DISTANCE
 - OHE = OVERHEAD ELECTRIC
 - P = PLAT DISTANCE
 - PSM = PROFESSIONAL SURVEYOR AND MAPPER
 - R&C = IRON ROD & CAP
 - R/W = RIGHT OF WAY
 - SCO = SANITARY CLEAN OUT
 - UE = UTILITY EASEMENT
 - WD/F = WOOD FENCE
 - WM = WATER METER
 - W = WOOD POWER POLE



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT *Florida*



May 14, 2021

Dear Property Owner(s):

The property owners, Jose Angel Chicas-Andrade and Elena Maria Chicas, are requesting approval of a Variance from Section 125-193(b)(2)a. to allow for a seventeen (17) foot front yard setback in lieu of the Code-minimum twenty-five (25) feet for the construction of an addition to the existing single-family home. They are also seeking approval of a Special Exception to allow for the expansion of a legal nonconforming structure, consistent with Sections 125-72 and 125-73. The proposed addition will not exceed the existing nonconformance, but rather, seeks to align with the northwestern façade of residence.

The property is located at 1907 Fulton Drive, and is zoned R-3, Single-Family Moderate Density Zone. The Parcel ID of the site is 2409-712-0079-000-1, and legal description of the property is: TUCKER TERRACE BLK 6 LOTS 3 AND 4 (OR 4072-1408).

A public hearing is scheduled before the Board of Adjustment of the City of Fort Pierce, Florida, at their meeting on **Thursday, May 27, 2021**, which begins at **2:00 p.m.** in the City Hall Commission Chambers, 100 North U.S. 1, Fort Pierce, Florida. You are provided the opportunity to attend the public hearing and to speak in favor of, or in opposition to, the requested **Variance**. Whether you attend the meeting or not, it is requested that you please complete the form below and return it so it is received by **12 p.m. on Thursday, May 27, 2021**. Methods of returning your ballot are identified below. Each ballot returned will be tabulated and reported to the Board of Adjustment. If you have any inquiries, or would like to review the complete application, please contact Rebeca Guerra at (772) 467-3739 or at rguerra@cityoffortpierce.com. Furthermore, published agenda packets for each Board of Adjustment meeting are provided a few days in advance at the following web address: <http://cityoffortpierce.com/223/Agendas-Minutes>.

Thank you for your contribution.

Sincerely,

Rebeca A. Guerra, AICP, LEED-AP, CPD
Assistant Planning Director

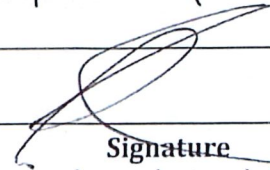
Variance - 1907 Fernandina Drive (Chicas Residence)

I approve 0

I disapprove 0

Comments:

They are great neighbors and have been around this area for over 15 years. They are very clean and friendly people


Signature

05/18/21
Date

Please complete and return ballot to:

Mail
City of Fort Pierce
Planning Department
100 N. US Hwy 1
Fort Pierce, FL 34950

or

Fax
(772) 466-5808

or

Email
rguerra@cityoffortpierce.com

Variance - 1907 Fernandina Drive (Chicas Residence)

I approve

I disapprove 0

Comments:

They are trying to make their property nicer. I approve this variance. It would like to see improvement in the neighborhood.

RECEIVED



MAY 20 2021

5/18/21

Date

Please complete and return ballot to:

Mail

City of Fort Pierce

Planning Department

100 N. US Hwy 1

Fort Pierce, FL 34950

or

(772) 466-5808

Fax

CITY OF FORT PIERCE
PLANNING & ZONING

or

rguerra@cityoffortpierce.com

Email



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

May 14, 2021

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Thank you for your contribution.

Sincerely,

Rebeca A. Guerra, AICP, LEED-AP, CPD
Assistant Planning Director

Variance - 1907 Fernandina Drive (Chicas Residence)

I approve 0

I disapprove 0

Comments:

I have no problems with them getting it approved.

Signature

5/18/21
Date

Please complete and return ballot to:

Mail City of Fort Pierce or (772) 466-5808 or Email rguerra@cityoffortpierce.com
Planning Department
100 N. US Hwy 1
Fort Pierce, FL 34950



PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: Chicas Front Setback Variance & Special Exception For Nonconforming Structure

NOTICES PROVIDED PURSUANT TO: Section 125-37 & 125-103 of the Fort Pierce Code of Ordinances

NOTICE BY NEWSPAPER: Monday, May 10, 2021

NOTICE BY MAIL: Friday, May 14, 2021

NOTICE BY SIGNS: N/A

VERIFIED BY: Rebeca A. Guerra

TITLE: Assistant Planning Director

SIGNATURE:

DATE: 5/20/2021

Planning Board of Adjustment

Meeting Date: 05/27/2021

Information

REQUESTED ACTION

Variances For Fence Height & Front Yard Setback - Jacquin Residence - 1363 Bayshore Drive

LOCATION

1363 Bayshore Drive
Fort Pierce, FL 34949-3083

Parcel ID: 2401-603-0001-000-5

RESPONSIBLE STAFF

Rebeca Guerra, AICP, LEED-AP, CPD, Assistant Planning Director

RECOMMENDATION

Denial of a variance from Section 125-322(c)(1)a. to allow for a six (6) foot high fence to be erected within the front yard in lieu of the Code-maximum of four (4) feet.

Denial of a variance from Section 125-191(c)(1)a. to allow for a front setback of one (1) foot in lieu of the Code-required twenty-five (25) feet.

Attachments

Staff Report

Aerial Map

Application

Site Plan & Elevations

Public Notification Certification

Form Review

Form Started By: Rebeca Guerra

Started On: 05/20/2021 07:17 PM

Final Approval Date: 05/20/2021



TO: Members of the City of Fort Pierce Board of Adjustment

FROM: Rebeca Guerra, AICP, LEED-AP, CPD, Assistant Planning Director

RE: **Application for Two (2) Variances
 Allow For 6-Foot Front Yard Fence
 Encroach Front Yard Setback
 1363 Bayshore Drive**

MEETING DATE: May 27, 2021

STAFF REPORT

Owner/Applicant: Michael Jacquin & Casi Jacquin
 P.O. Box 4343
 Fort Pierce, FL 34948

Requested Actions: Variance from Section 125-322(c)(1)a. to allow for a six (6) foot high fence to be erected within the front yard in lieu of the Code-maximum of four (4) feet.

Variance from Section 125-191(c)(1)a. to allow for a front setback of one (1) foot in lieu of the Code-required twenty-five (25) feet.

Location: 1363 Bayshore Drive

Parcel ID: 2401-603-0001-000-5

Zoning: Single-Family Low Density Zone (R-1)

Future Land Use: Low Density Residential (RL)

Parcel Size: 0.52 acres/22, 596 Square Feet

Proposed Fence Height: 6 feet

Proposed Front Setback: 1 foot

Surrounding Zoning:

North	East	South	West
R-1	Indian River	R-4A	R-4A

Staff Analysis:

In accordance with Article II of Chapter 125 of the City Code, the applicant is requesting the Board of Adjustment approve a variance from Section 125-322(c)(1)a. to allow for a six (6) foot high fence/wall to be erected within the front yard in lieu of the Code-maximum of four (4) feet and a variance from Section 125-191(c)(1)a. to allow for a front setback of one (1) foot in lieu of the Code-required twenty-five (25) feet. The

fence/wall will have an approximately 35-square foot big, 12-foot-high covered structure attached. It is this accessory structure that will have the one (1) foot setback from the front property line.

The first variance is requested in order to erect a 6 (six) foot tall masonry fence/wall approximately four feet from the front property line. The proposed fence/wall will be completely opaque and run the length of the western property line, wrapping ten feet along both sides, and interrupted by an eighteen-foot wide, aluminum double-door entrance gate. The homes along Bayshore Drive, in contrast, are all open and unenclosed by fencing of any kind, save for the property facing the subject site which has a 4-foot high, vinyl-coated, open chain link fence. The proposed fence/wall would be the only single-family home to have this kind of structure, making it both inconsistent and incompatible with the immediate area and development style. This area of South Hutchinson Island gives the sense of an open, airy neighborhood with an inviting sense of community. The proposed fence/wall lends itself to more of an enclosed, compound-type situation that is distinctly different in sight and feeling. The subject site has no discernable special circumstances or hardships which would justify a variance being granted. In fact, there is an approximately 100-foot distance from the front property line to the front façade of the three-car garage where the fence/wall may be relocated. Additionally, the fence/wall may be reduced to four feet in height and remain in its proposed location should the applicants still wish to enclose the entirety of their front yard. Lastly, if the variance is approved, the location of the fence/wall (and attached accessory structure) will appear to adversely affect traffic flow, safety and control, pedestrian safety, and convenience or visibility of the driveway, rights-of-way, and other curb cuts.

The second variance is for the approximately 35-square foot, 12-foot-high covered structure that would be attached to the proposed fence/wall. The applicants are proposing to locate the structure one (1) foot from the front property line. Although the application has indicated that the structure is a "guardhouse," after speaking with one of the applicants, it will actually be used as a covered, pedestrian walk-through which may also be utilized for temporary storage. As indicated previously, the subject site has no discernable special circumstances or hardships which would justify this variance being granted. And as also stated before, the proposed structure would be the only single-family home to have this kind of construction, making it both inconsistent and incompatible with the immediate area and development style. If the applicants wish to have a covered pedestrian walk-through onto their property, a gated, roofed opening (like an arbor, pergola, etc.) could be incorporated into the proposed fence/wall which would be more in keeping with the neighborhood's overall aesthetic. Staff would be willing to support such a covered opening, up to 7 feet in height, as an alternative with a variance.

Variance Criteria:

The following criteria are specified in City Code 125-100, which must be satisfied in order for a variance to be granted:

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.
2. The special conditions and circumstances do not result from the actions of the applicant.
3. The literal interpretation of the provision of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant.
4. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.
5. The granting of the variance will be in harmony with the general intent and purpose of the ordinance and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The owner's response to the above criteria is attached to the submittal pack with the application.

Property Owner Response Survey:

A total of six (6) notifications were mailed to abutting property owners. As of May 20, 2021, no letters of support or objection have been received. An update will be provided at the Board of Adjustment meeting.

Staff Recommendations:

Staff recommends that the Board of Adjustment DENY a Variance from Variance from Section 125-322(c)(1)a. to allow for a six (6) foot high fence to be erected within the front yard in lieu of the Code-maximum of four (4) feet.

Staff recommends that the Board of Adjustment DENY Variance from Section 125-191(c)(1)a. to allow for a front setback of one (1) foot in lieu of the Code-required twenty-five (25) feet.

Aerial Map

1363 Bayshore Drive



Application for Variance
1363 Bayshore Drive
Aerial Map





VARIANCE

Property address or Location 1363 Bayshore Drive, Fort Pierce, FL 34949

Parcel ID #(s) 240-603-0001-000-5

Project description New residential home with construction of Fence and a Guard House.

Michael & Casi Jacquin
Property Owner(s)
 17370 Pineapple Lane
 Street Address
 Fort Pierce FL 34945
 City State Zip
 772-216-8899
 Phone Number
 michael.jacquin@pjsi.com
 Email Address

Paul Jacquin & Sons, Inc
Applicant/Representative, Title, Company
 7348 Commercial Circle
 Street Address
 Fort Pierce FL 34951
 City State Zip
 772-465-2475
 Phone Number
 michael.jacquin@pjsi.com; valerie.davis@pjsi.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Property Owner(s) Signature(s)

STATE OF FL - St. Lucie COUNTY

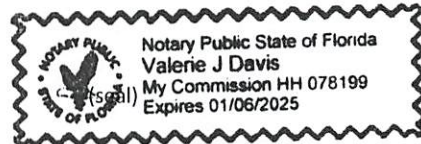
The foregoing instrument was acknowledged before me this 17th day of February, 2021, by

Michael E. Jacquin who is personally known to me or has produced

as identification.

Valerie J Davis

Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3737

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____

Intake Planner _____

Planner Assigned _____

Approved By _____ Date _____

Comments _____

Fees _____ Control # _____ B. Permit # _____

Intake Date Stamp _____

VARIANCE

Submit eight (8) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- Site plan, to scale, including all relevant improvements:
 - Existing & proposed structures
 - Landscaping & parking,
 - Fencing, signs, etc.
- As-built Survey
- Criteria Narrative
- Complete, notarized application

Description of request: Install an approx. 6' high fence and entry feature at
property line.

Reason for request: To save trees and be consistent with other new
developments in the area.

Existing Use : Home Date Property was Purchased: June 10, 2020

Alterations made to the site since purchase: Demo and start construction of new home.

Has a request for this variance been denied in the past? Yes No

If yes, what has changed since the denial? _____

Application Outlook

Pre-Application Meeting
Wednesday Afternoons



Application Intake Meeting
Call to schedule



Technical Review Committee
3rd Thursday



Board of Adjustment
4th Thursday

Criteria:

In order to determine whether your request for Variance meets all the criteria in Section 22-108 of the City Code, please answer the following questions. Please provide answers of questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.
2. Do special conditions or circumstances result from actions other than that of yours? Please explain
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.
4. What is the minimum variance that would give the reasonable use of the land, building, or structure?
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare:

Variance Narrative per City Code

1363 Bayshore Dr, Fort Pierce, FL 34949

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.
Property in pie shape, therefore trying to maintain as much area inside fence for dogs, trees, and open space.
2. Do special conditions or circumstances result from actions other than that of yours?
Please explain:
Property shape is a special condition.
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.
My wish is to save trees and maintain harmony within the neighborhood.
4. What is the minimum variance that would give the reasonable use of the land, building, or structure?
Please see plans for better understanding of design.
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the public welfare:
I have letters from adjacent property owners(see attached). They are all in agreement this will not impair but improve their properties.

Patrick E. MacRae
1358 Bayshore Drive
Fort Pierce, FL 34949
attorneymacrae@yahoo.com
(727) 642-3676

Michael & Casi Jacquin
1363 Bayshore Drive
Fort Pierce, FL, 34949

Dear Mr. & Mrs. Jacquin,

I have reviewed your plans to construct a fence and entry structure on Bayshore Drive in front of your home that is under construction. I feel the fence and structure have harmony with the neighborhood and will add value to the overall street appearance as well as property values. I do not have a problem with the fence height or setback as this will allow for existing trees to remain.

Please accept this as my approval for your new fence and structure.

Sincerely,


Patrick MacRae

Robert & Donna Benton

1365 Bayshore Drive
Fort Pierce, FL 34949
772-370-5741/772-519-6786

February 11, 2021

Michael and Casi Jacquin
1363 Bayshore Drive
Fort Pierce, FL. 34949

Dear Mr. and Mrs. Jacquin,

We have reviewed your plans to construct a fence and entry structure on Bayshore Drive in front of your home that is under construction. We feel the fence and structure have harmony with the neighborhood and will add value to the overall street appearance as well as property value. We are in agreement with the fence height street side and the waiver of the setback as this will allow for the existing Oak tree to remain.

Please accept this as our approval for your new fence and structure in the front of your property.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bob and Donna Benton", is written over a faint, light blue circular stamp or watermark.

Bob and Donna Benton

2-16-2021

Colonnades Members INC. Executive Board

1140 Bayshore Drive

Fort Pierce, FL. 34949

Dear Mr. & Mrs. Jacquin,

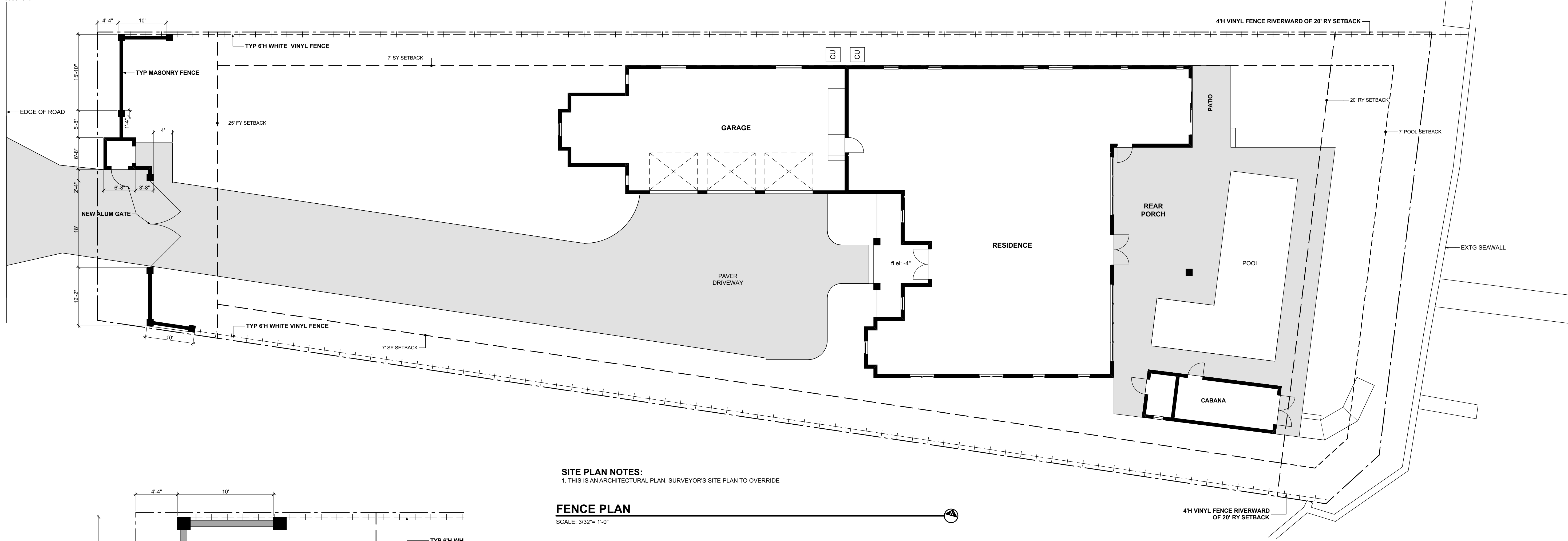
I have reviewed your plans to construct a fence and entry structure on Bayshore Drive in front of your home that is under construction. I feel the fence and structure have harmony with the neighborhood and will added value to the overall street appearance as well as property values. I do not have a problem with the fence height or setback as this will allow for existing trees to remain.

Please accept this as our approval for your new fence and structure.

Sincerely,

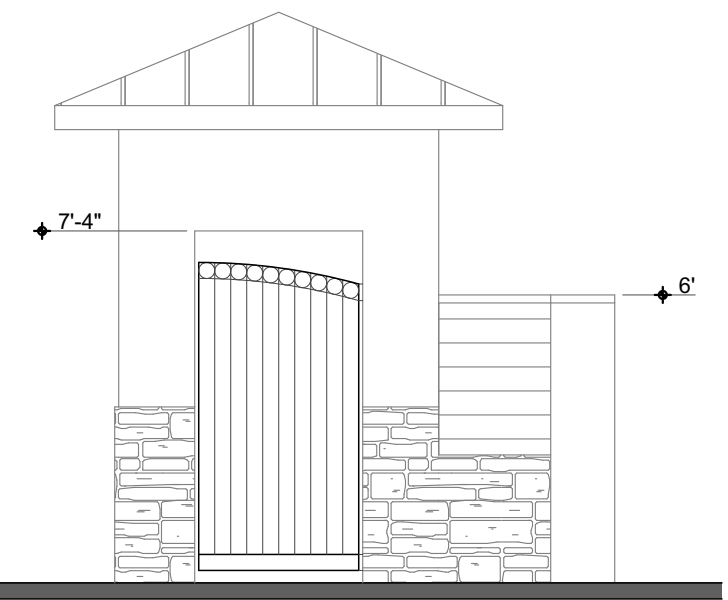
Colonnades Members INC. Executive Board

President Mike Oyler

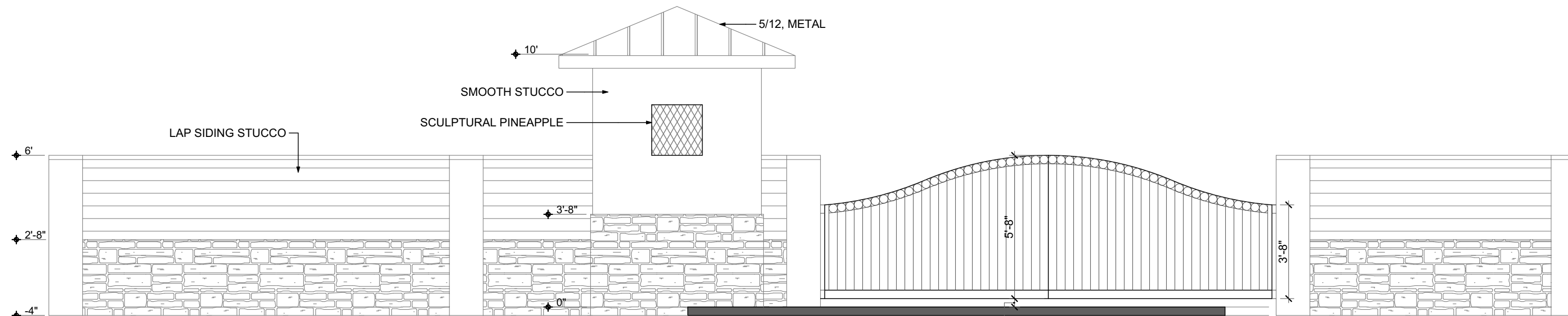


SITE PLAN NOTES:
 1. THIS IS AN ARCHITECTURAL PLAN, SURVEYOR'S SITE PLAN TO OVERRIDE

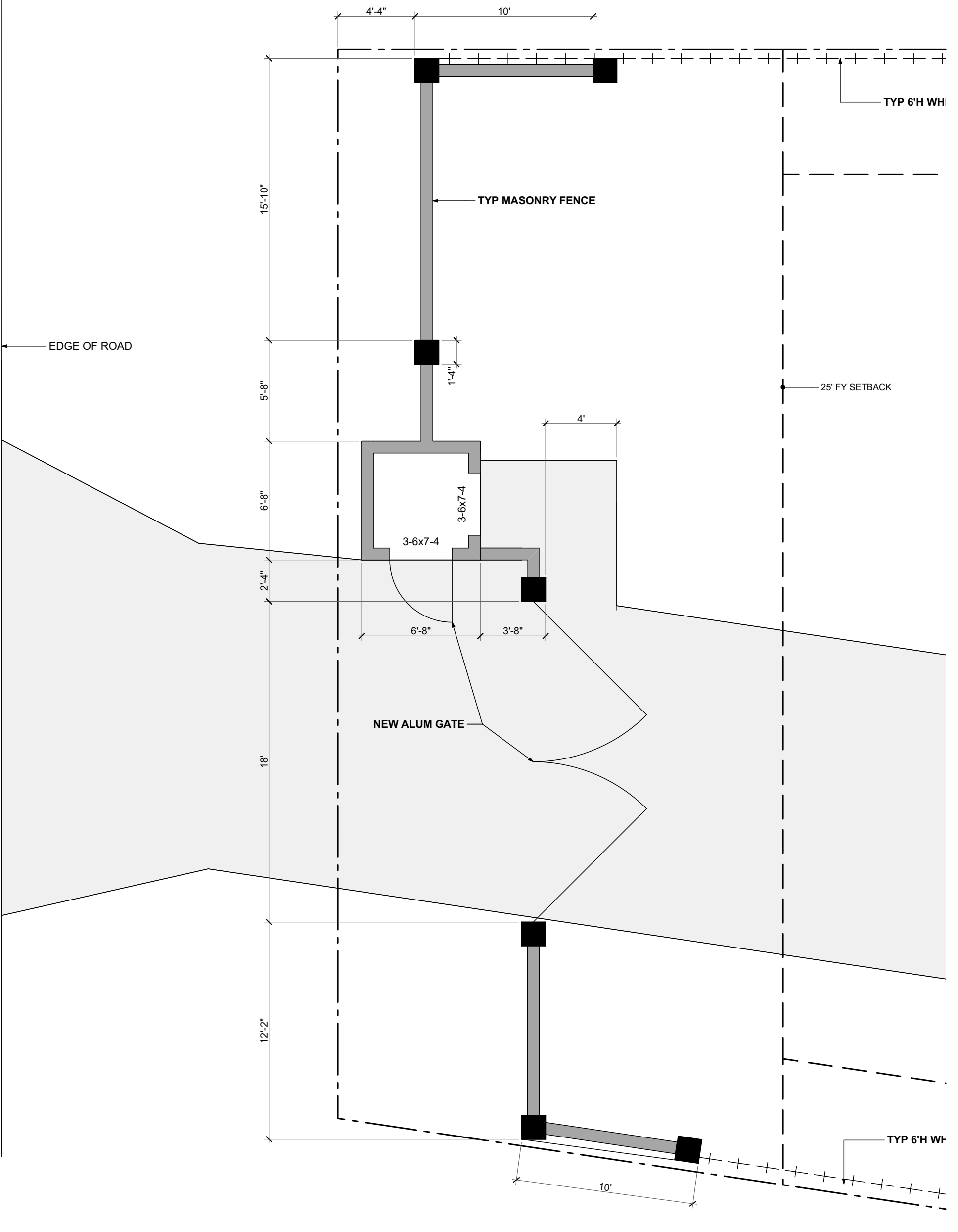
FENCE PLAN
 SCALE: 3/32" = 1'-0"



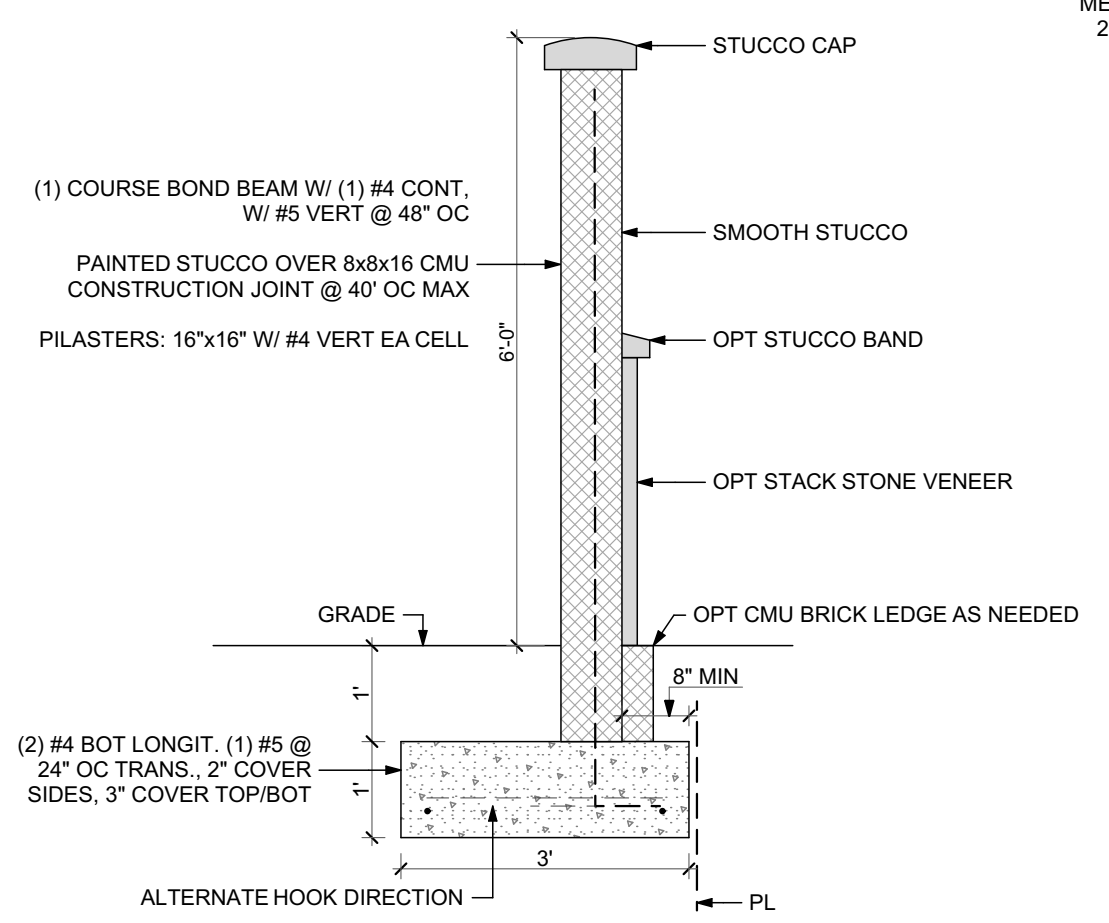
SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



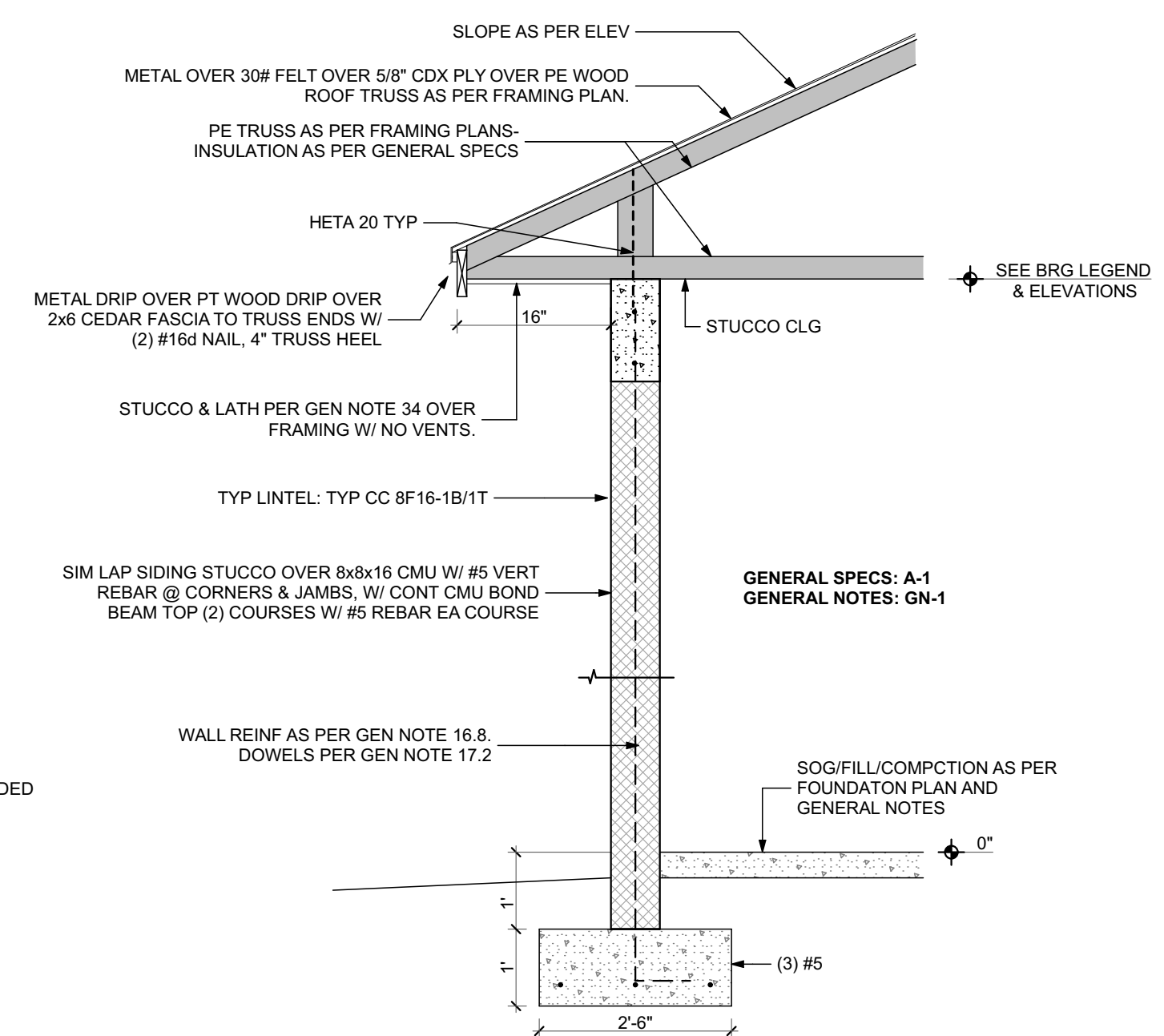
STREET ELEVATION
 SCALE: 1/4" = 1'-0"



FENCE/GATE PLAN
 SCALE: 3/16" = 1'-0"



TYP MASONRY FENCE DETAIL
 SCALE: NTS



TYP GUARDGATE WALL DETAIL
 SCALE: NTS

ID	DATE	COMMENT

fence

2/1/21

SHEET
1 of 2

© ALL IDEAS, DESIGNS, PLANS AND ARRANGEMENTS INDICATED ON THIS SHEET ARE THE PROPERTY OF FL DESIGN BUILD INSPECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR THIS SPECIFIC PROJECT.

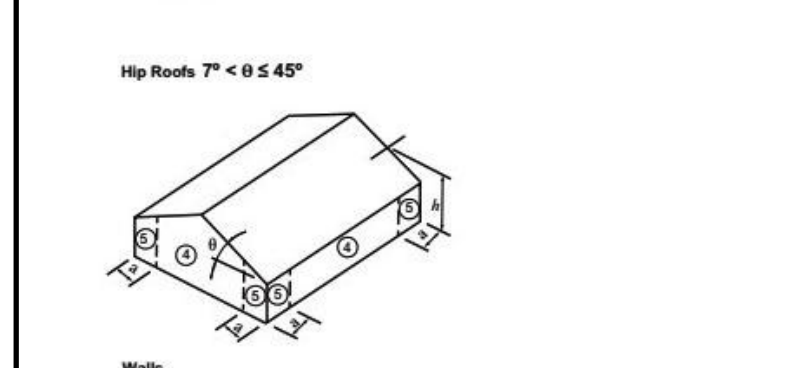
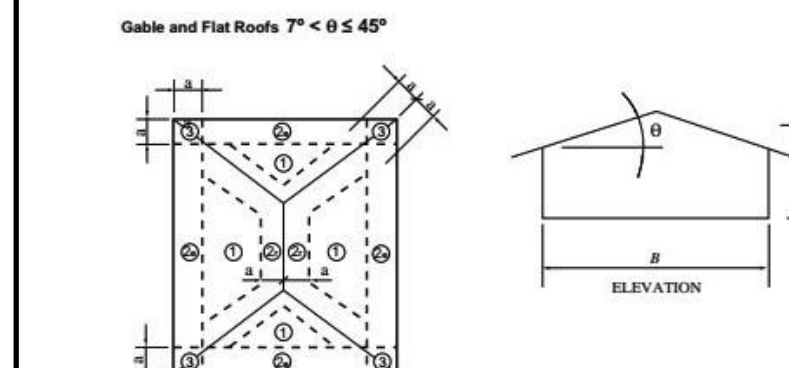
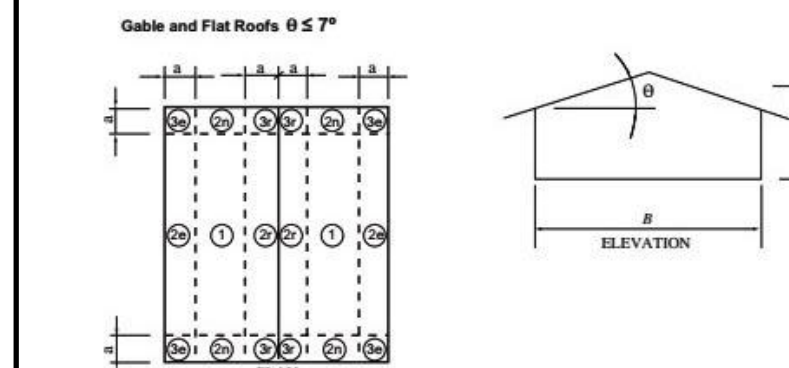
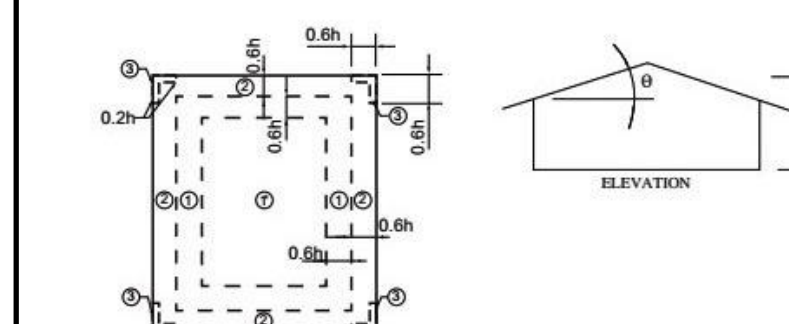
BASIS OF STRUCTURAL DESIGN:

SOIL BEARING: 2500 psf (assumed)
WIND: 160mph (alt. risk cat 2, exp C, wind borne debris region, .18 enclosed design
FROST DEPTH: 12"
- THE STRUCTURAL DESIGN APPROACH FOR MASONRY, ROLLED STEEL, AND LIGHT WEIGHT STEEL IS WORKING STRESS DESIGN. THE DESIGN APPROACH FOR REINFORCED CONCRETE IS ULTIMATE STRENGTH DESIGN. THE DESIGN SERVICE LOADS ARE AS FOLLOWS:
ROOF LIVE LOAD 20 PSF
ROOF DEAD LOAD 7 PSF TC (metal)
ROOF WIND LOAD (SEE DRAWINGS)
CEILING DEAD LOAD 10 PSF BC
WALL WIND LOADS (SEE DRAWINGS)
FLOOR DEAD LOADS 15 PSF TC, 5 PSF BC
FLOOR LIVE LOADS SEE BELOW
FLOOR LIVE LOADS:
Uninhabitable attics without storage 10 psf
Uninhabitable attics with limited storage 20 psf
Habitable attics and attics served with fixed stairs 30 psf
Balconies (exterior) and decks 40 psf
Fire escapes 40 psf
Guardrails and handrails 200 lb
Guardrail in-fill components 50 plf
Passenger vehicle garages 50 psf
Rooms other than sleeping rooms 40 psf
Sleeping rooms 30 psf
Stairs 40 psf

WIND PRESSURES (asd)

COMPONENT AND CLADDING LOADS... FROM TABLE FBC R301.2(2)

Table with columns: ZONE, EFFECTIVE WIND AREA (SF), 160. Rows include Hip Roof > 20 to 27 deg, Wall, and adjustment factor used (1.21).



GENERAL NOTES- residential

- 1. CODE COMPLIANCE: 1. This project was designed under the following codes. The construction documents cannot reference all of the codes required for the construction of this building...
2. ALL GENERAL NOTES: 2.1. THE FOLLOWING SPECIFICATIONS ARE MINIMUM REQUIREMENTS TO SUPPLEMENT THE DRAWINGS...
3. ARCHITECT & CONTRACTOR RELATIONSHIP: 3.1. UNLESS CONTRACTED DIRECTLY BY CONTRACTOR, THE ARCHITECT AND CONTRACTOR ARE NOT IN A CONTRACTUAL RELATIONSHIP...
4. WORKMANSHIP: 4.1. ALL WORK SHALL BE PERFORMED IN THE BEST AND MOST PROFESSIONAL MANNER...
5. COORDINATION: 5.1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK FOR ALL TRADES...
7. CONDITIONS NOT DETAILLED: 7.1. CONSTRUCTION DOCUMENTS CANNOT DETAIL EVERY CONDITION OR INSTRUCT THE CONTRACTOR ON HOW TO PERFORM THE WORK...
8. VERIFY SITE INFORMATION: 8.1. CONTRACTOR TO VERIFY ALL SITE INFORMATION AND ASSUMPTIONS...
9. PRIOR TO ANY EXCAVATION WORK: 9.1. THE CONTRACTOR SHALL LOCATE ANY AND ALL UTILITIES IN OR UNDER CONSTRUCTION...
10. DIMENSIONS: 10.1. DIMENSIONS ON ARCHITECTURAL DRAWINGS MAY BE "ROUGH" OR "FINISH"...
11. HEIGHT ELEVATIONS: 11.1. BUILDING HEIGHT ELEVATIONS TYPICALLY USE THE MAIN FLOOR SLAB AS ELEVATION 0'-0"...
12. AMBIGUITY: 12.1. IN THE EVENT OF ANY AMBIGUITY OR QUESTION WITH REGARD TO THE INTENT OF THE DOCUMENTS...
13. FLORIDA PRODUCT APPROVALS / SUBMITTALS / SHOP DRAWINGS: 13.1. THE SUBMITTALS REQUIRED FOR THIS PROJECT...
14. GENERAL STRUCTURAL: 14.1. CONCRETE SHALL BE DESIGNED BY ARCHITECT OR ENGINEER...
15. CAST-IN-PLACE CONCRETE: 15.1. ARCHITECT OR ENGINEER OF RECORD TO BE NOTIFIED IN WRITING PRIOR TO POUR...
21. WOOD FRAMING: 21.1. ALL STRUCTURAL (LOAD BEARING) LUMBER SHALL BE SYP V OR DOUGLASS FIR...
22. PLYWOOD SHEATHING: 22.1. ALL PLYWOOD SHALL BE C-D OR C-C SHEATHING...
23. WALLS: 23.1. ALL WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL...
24. FLOORING: 24.1. ALL FLOORING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL...

- 16. CONCRETE MASONRY: 16.1. CMU DESIGNED AND TO BE IN ACCORDANCE ACI 530-13/ASCE 5-13/TMS 402-13...
23. PE TRUSSES: 23.1. FIELD VERIFY WITH ARCHITECT EXACT LOCATION AND CONFIGURATION BEFORE MODIFYING EXISTING TRUSSES...
24. CONNECTORS/FASTENERS: 24.1. CONNECTORS BY SIMPSON OR APPROVED SIMILAR TO BE HDG OR ZMAK COATED...
26. EXTERIOR DOORS AND WINDOWS: 26.1. INSTALL OVERHEAD DOORS (INCLUDING BUCKS), EXTERIOR DOORS, AND WINDOWS AS PER MFR'S SPECIFICATION...
27. ELECTRICAL & LIGHTING NOTES: 27.1. PLANS ARE SCHEMATIC EXACT LAYOUT/SIZING OF CIRCUITS, RECEPTACLES, FIXTURES, AND ELECTRICAL CONTRACTOR TO VERIFY...
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- ABBREVIATIONS:
AH ANCHOR BOLT
AC AIR CONDITIONER
AHU AIR HANDLING UNIT
AC ACoustICAL TILE
B.M. BENCH MARK
BM BEAM
BC BOTTOM CHORD
BLK BLOCK
BO BY OWNER
BOTT BOTTOM
BPP BOTTOM PLATE
CJ CONTROL (CONSTRUCTION) JOINT
CL CENTER OF LINE
CLR CEILING
CLR CLEAR
CMU CONCRETE MASONRY UNIT
COL CONNECTOR
COL COLUMN
CONC CONCRETE
CONT CONTINUOUS
CU CONDENSING UNIT OR COPPER
CW COLD WATER CONNECTION
D NAIL SIZE (PENNY)
DA DRINKING FOUNTAIN
DIA DIAMETER
DIM DIMENSION
DISP DISPOSAL
DI DOWN
DR DRYER
DLR DETAIL
DRW DRAWING
E EACH
EJ EXISTING
EA EXPANSION JOINT
EL BUILDING ELEVATION
ELECT ELECTRICAL
ELEV ELEVATION OR ELEVATION
EW EACH WAY
EWX ELECTRIC WATER COOLER
EXP EXPOSED
EXT EXTERIOR
EXTG EXISTING
F1 FOOTING #1
FA FASTENER
FE FIELD (FL FLOOR) DRAIN
FE FIRE EXTINGUISHER
FF FINISH FLOOR
FF FINISH
FL FLOOR
FR EXPANDED POLYSTYRENE
FP FIRE PROTECTION
FW FINISHED FLOOR
FT FOOTING
FTG FOOT (OR FEET)
GALV GALVANIZED
GFI GROUND FAULT INDICATOR
GSF GROSS SQUARE FEET
GWS GROSS WATER HEATER
GWB GYPSUM WALL BOARD
HB HOLE BIB
HC HOLLOW CORE
HDG HD DIPPED GALVANIZED
HORIZ HORIZONTAL
HTW HOT WATER
HWH HOT WATER HEATER
IN INCH
INT INTERIOR
JT JOINT
MAX MAXIMUM
MEC MECHANICAL
MFR MANUFACTURER
MIN MINIMUM
MO MASONRY OPENING
MW MICROWAVE
NSF NOT IN CONTRACT
NFC NOT TO SCALE
NFS NET SQUARE FEET
L1 LINTEL #1
L-F LINAL FOOT
OA OVERALL
OC ON CENTER
OAS OR APPROVED SIMILAR
PL PROPERTY LINE OR PLATE
PLY PLYWOOD
PT PRESSURE TREATED
PVC POLY VINYL CHLORIDE
R RADIUS
RA RETURN AIR
RCB REINFORCED CONCRETE BEAM
RCC REINFORCED CONCRETE COLUMN
RD ROOF DRAIN
REF REFRIGERATOR
REIN REINFORCING
REQ REQUIRED
RW RIGHT-OF-WAY
RTU ROOF TOP UNIT
S SIMPSON (MFR)
SBS STYRENE BUTADIENE STYRENE
SEL SITE ELEVATION
SEF SQUARE FOOT
SILR SILAR
SK SINK
SGK SLAB ON GRADE
SS STAINLESS STEEL
STAG STAGGERED
TBD TO BE DETERMINED
TC TOP CHORD
TME TO MATCH EXISTING
TOB TOP OF BEAM
TOP TOP OF COLUMN
TOF TOP OF SLAB
TP TOP PLATE
TYP TYPICAL OR TYPICAL
UN UNDER GROUND
UNLESS UNLESS NOT OTHERWISE
VB VAPOR BARRIER
VERT VERTICAL
VTR VENT THRU ROOF
W WITH
WA WASHER MACHINE
WP WATER PROOF
WOOD WOOD
WWF WELDED WIRE FABRIC/MESH
POUND OR NUMBER

- 21. FOUNDATIONS: 21.1. BUILDING AREA TO BE STRIPPED/CURBED OF SURFACE DEBRIS/VEGETATION...
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- 21. FOUNDATIONS: 21.1. BUILDING AREA TO BE STRIPPED/CURBED OF SURFACE DEBRIS/VEGETATION...
22. REINFORCING: 22.1. ALL REINFORCING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL...
23. WALLS: 23.1. ALL WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL...
24. FLOORING: 24.1. ALL FLOORING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL...
25. ROOFING: 25.1. ALL ROOFING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL...
26. EXTERIOR DOORS AND WINDOWS: 26.1. INSTALL OVERHEAD DOORS (INCLUDING BUCKS), EXTERIOR DOORS, AND WINDOWS AS PER MFR'S SPECIFICATION...
27. ELECTRICAL & LIGHTING NOTES: 27.1. PLANS ARE SCHEMATIC EXACT LAYOUT/SIZING OF CIRCUITS, RECEPTACLES, FIXTURES, AND ELECTRICAL CONTRACTOR TO VERIFY...
28. PLUMBING: 28.1. PLANS ARE SCHEMATIC ACTUAL LOCATION, MATERIAL, AND SIZE OF PIPES, DRAINS, AND VENTS SHALL BE DETERMINED BY A LICENSED PLUMBER...
31. FLAME SPREAD INDEX & SMOKE DEVELOPED INDEX: 31.1. FLAME SPREAD INDEX & SMOKE DEVELOPED INDEX: FINISHES TO COMPLY WITH THE BELOW...
32. CLIMATE & GEORGIA DESIGN CRITERIA: 32.1. WEATHERING: NEGLIGIBLE, TERMITES AREA VERY HEAVY...
33. MISC: 33.1. ROOF SYSTEM & FLASHING AS PER MFR INSTRUCTIONS...
34. FINISHES: 34.1. GWB-MOISTURE-RESISTANT GWB @ ALL WET AREAS...
35. EXTERIOR LATH AS PER FBC R703.7 (F + 1.8) 8000 PSI...
36. EXTERIOR T&G WOOD CEILING...
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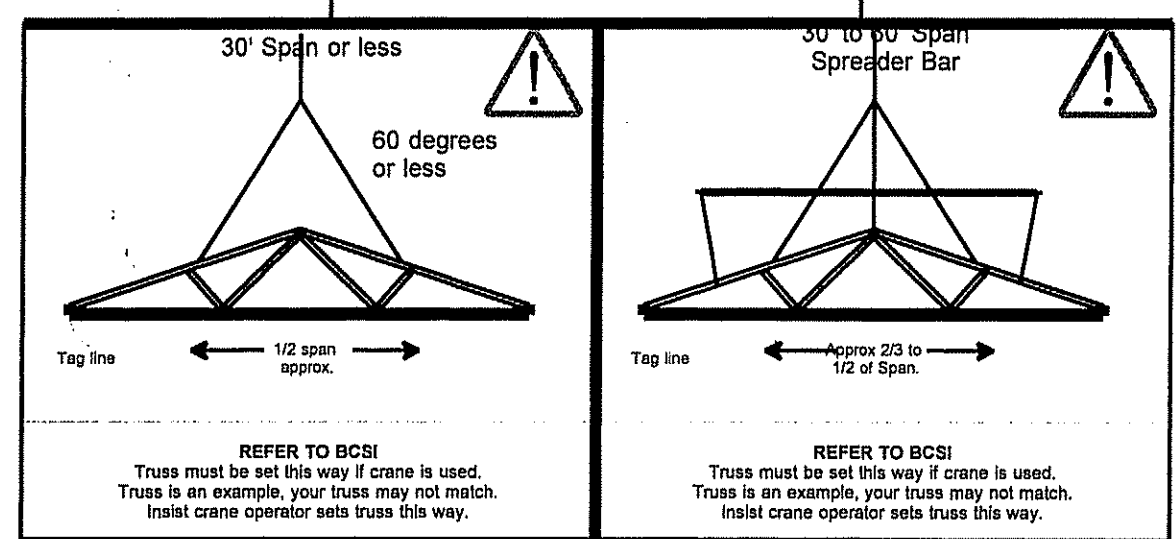
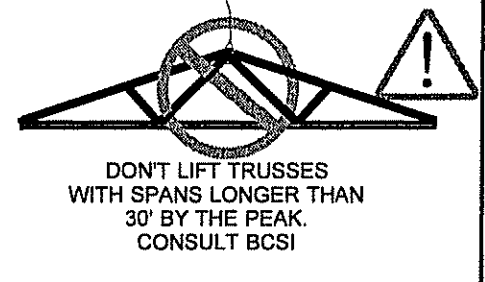
- 21. FOUNDATIONS: 21.1. BUILDING AREA TO BE STRIPPED/CURBED OF SURFACE DEBRIS/VEGETATION...
22. REINFORCING: 22.1. ALL REINFORCING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL...
23. WALLS: 23.

⚠ Do not stand on trusses until they are braced per BCSI & properly nailed to straps and hangers !!

=LIFE SAFETY WARNING
This symbol identifies Life Safety Warnings that should be read and given special attention to all persons installing trusses.

SPACING NOTE
All trusses are to be set 2'-0" on center except as noted.

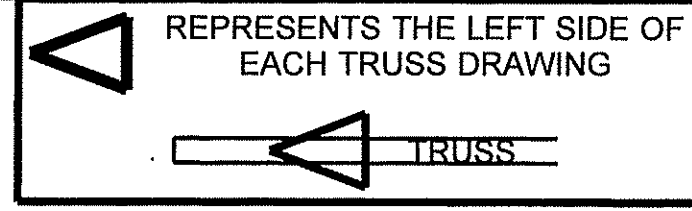
MULTIPLE PLY TRUSSES MUST BE FASTENED TOGETHER PER ENGINEERING BEFORE SETTING. REFER TO ENGINEERING DRAWING TO DETERMINE IF MULTIPLE PLY.



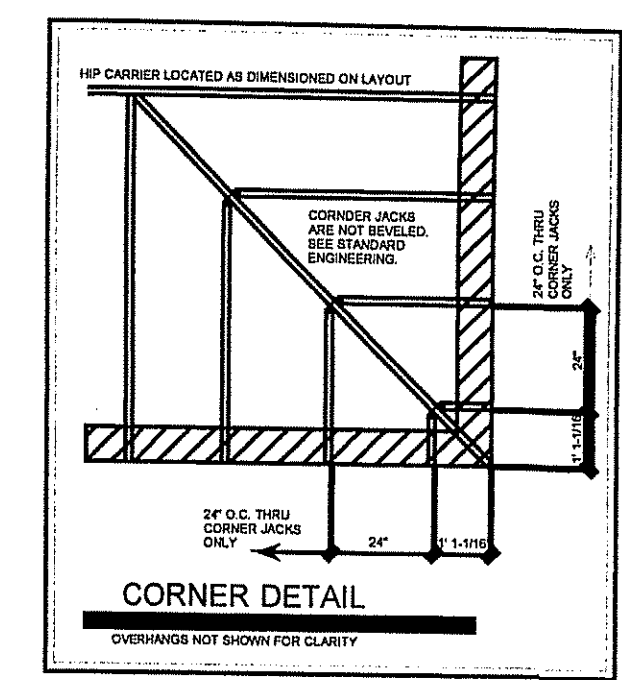
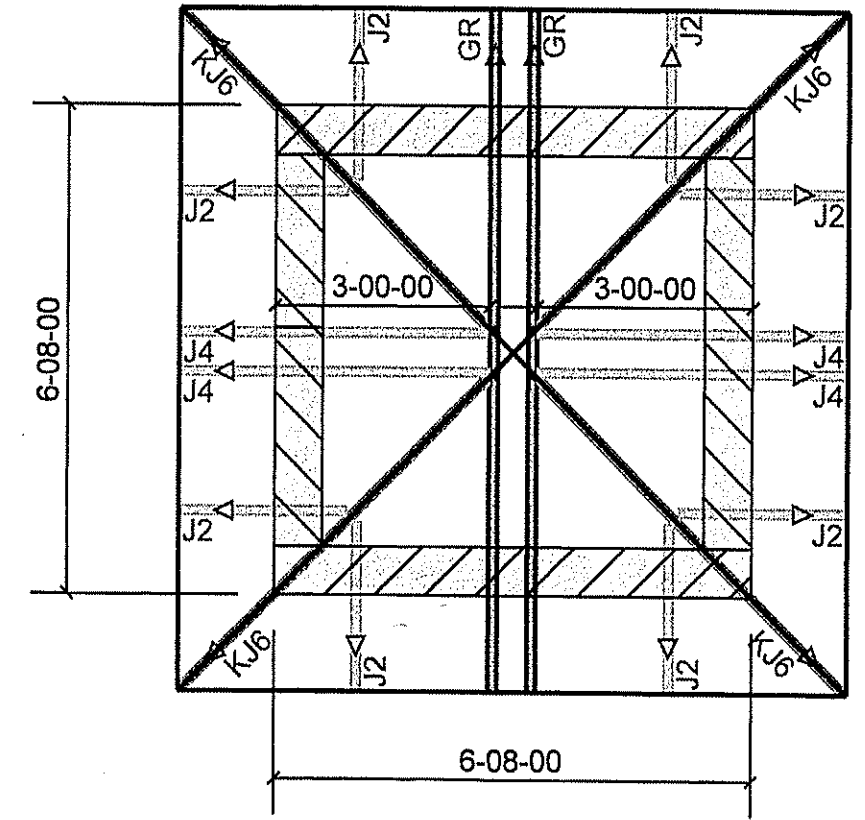
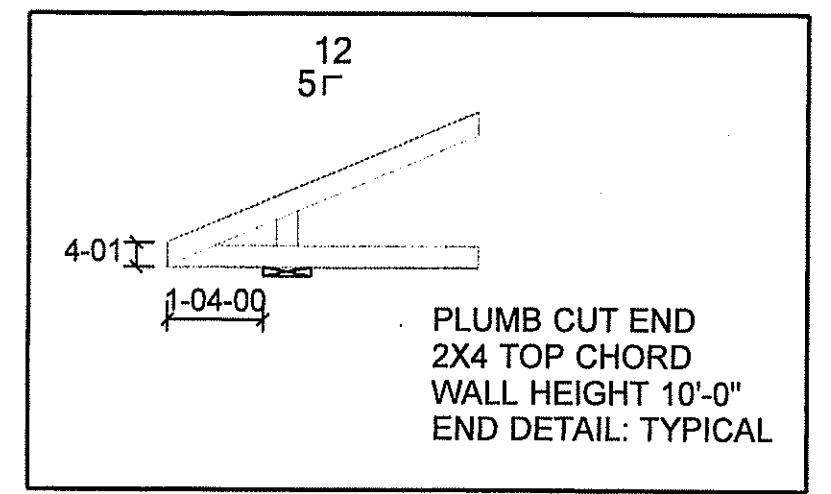
All load bearing walls, headers, beams, & lintels must be in place at indicated height before trusses are installed.

AIR HANDLER NOTE
Unless noted elsewhere on this layout, these trusses are not designed for air handlers in the roof or for any other A/C requirements. This may be in conflict with building code and A/C Design requirements. Consult with Building Department and A/C Contractor.

WARNING
The size of these trusses makes it necessary that they be set by a professional builder familiar with and experienced in the problems and dangers of setting large span trusses. The builder and erector should consult with an engineer licensed in Florida specializing in wood roof trusses about the safe erection of these trusses. The engineer should be at the job site when trusses are erected to provide supervision and advice.



SEAT PLATES BY CHAMBERS TRUSS



FABRICATION AGREEMENT
TRUSSES CANNOT BE STARTED UNTIL THIS AGREEMENT IS SIGNED & RETURNED

The undersigned acknowledges and agrees:

- Trusses will be made in strict accordance with this truss placement diagram layout, which is the sole authority for determining successful fabrication of the trusses.
- All dimensions in this layout have been verified by the undersigned.
- Unless written notice is provided by certified mail to Chambers Truss within ten (10) days of delivery the undersigned agrees that no backcharges will be allowed. In the event such written notice is furnished Chambers Truss shall have three (3) business days in which to begin repairs required, or to substitute other trusses, at Chambers option. After 10 days of delivery remedy will be according to Florida statute 558.
- The undersigned acknowledges receipt of "BCSI" summary sheet by TPI & WTCA.
- Delivery is to job site. It is the buyer's responsibility to make the job site suitable for delivery. Chambers Truss will be responsible for dump delivery only. The buyer is responsible for additional delivery expenses if Chambers Truss has to re-deliver because job site is not prepared for delivery or buyer is not prepared for delivery of trusses. Buyer is responsible to Chambers Truss for towing costs due to site conditions.
- Price as shown in paragraph 7 below is subject to change if any changes are made in this layout. A \$50 per hour fee for revisions may be charged by Chambers Truss.
- This is a PURCHASE ORDER to Chambers Truss of the sum agreed to, or if no agreement a reasonable price. Invoice will be made on delivery and paid within terms of net on delivery. Invoice may be made at scheduled date of delivery if buyer cannot accept delivery of fabricated trusses. The undersigned agrees to pay Chambers Truss reasonable attorney's fee for collections in event of payment not timely made. 1-1/2 % per month service charge will be added for all sums not paid within terms.
- Signature or initials anywhere on this sheet constitutes agreement to all terms herein.
- In consideration of Chambers Truss extending credit for this material the undersigned unconditionally guarantees payment when due of any and all indebtedness owed to Chambers Truss by any entity receiving material and the undersigned agrees to pay such indebtedness including attorney's fees, if default in payment for material be made by the recipient.
- In the event of any litigation concerning this agreement, the items furnished hereunder or payments referred to herein, the parties agree that the sole venue for any such action will be Saint Lucie County, Florida.
- Design responsibilities are per International Standard and Recommended Guidelines On Responsibilities For Construction Using Metal Plate Connected Wood Trusses ANSIT/PTWCA 4 - 2002b
- Warranty is per Chambers Truss Warranty attached.

DATED _____
SIGNED _____
FOR _____ TITLE _____

A spreader bar may be required per "BCSI" to prevent injury & damage.
Multiple ply trusses must be fastened together per engineering before they are set, failure to do so can result in roof collapse.
Temporary and permanent bracing are required and can save life and property and is the responsibility of the truss erector.
Study the contents of the information packet included on delivery before setting trusses.
Trusses must be set and braced per design to prevent injury & damage.
Trusses must be set plumb and square
Do not set bunks or stack of plywood, roofing material or any other concentrated loads on trusses, this can cause collapse.
DO NOT INSTALL TRUSSES USING THIS USE PLAN DELIVERED WITH TRUSSES TO SET TRUSSES

CHAMBERS TRUSS INC
3105 Oleander Avenue
Fort Pierce, Florida 34982-6423
800-551-5932
Fort Pierce 772-465-2012 Fax 772-465-8711
Vero Beach 772-569-2012 Stuart 772-286-3302
Web Site: CHAMBERSTRUSS.COM
Email: MAIL@CHAMBERSTRUSS.COM

MTEK VERSION 7.4.1-051

LOADING/DESIGN CRITERIA REDUCIBLE PER CODE SUCH AS SBC 1604E.1

DESIGN CRITERIA		ST. LUCIE FT. PIERCE	
County	ST. LUCIE		
Building Department	FT. PIERCE		
Wind Design Criteria	ASCE 2010		
Wind Design Method	MWFRS(Directional)/C-C hybrid Wind ASCE 7-10		
Roofing Material	Shingle or Shake		
Loading in PSF	Roof R.D.L.	Floor	
Top Chord Live	20	0	
Top Chord Dead	7	4.2	0
Bottom Chord Live	*10-Non Concurrent		0
Bottom Chord Dead	10	3	0
Total Load	47	7.2	0
Duration Factor	1.25		0
Wind Speed	170mph		
Top Chord C.B.	Sheathing by builder		
Bottom Chord C.B.	Sheathing by builder		
Highest Mean Height	15'		
Building Type	Enclosed		
Building Category	II: Non Restrictive		
Exposure Category	C>Open Terrain with scattered obstructions		
Miles from Ocean	5		
Conforms to Florida Building Code 2017			
R.D.L.=Restraining Dead Load C.B.=Continuous Bracing			

Verify DESIGN CRITERIA shown above with the building department and your engineer. Design Criteria is the responsibility of the Building Designer and/or Engineer of Record

Chambers Truss Inc. Drawing Name: 77145
SCALE: 3/8" = 1'-0"
18 total trusses, 4 unique designs
Designer: RAC Reviewed by: _____
Date: 11/23/20
FOR
PAUL JACQUIN & SONS
DESCRIPTION:
GATE HOUSE FOR 76930
Page 1 of 1 CUSTOMER INITIALS EACH PAGE _____
77145

DocuSigned by:
Frank Uehler
E055AF730E248E
2/2/2021



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

PUBLIC NOTIFICATION CERTIFICATION

PROJECT NAME: Jacquin Front Setback & Fence Variances

NOTICES PROVIDED PURSUANT TO: Section 125-37 & 125-103 of the Fort Pierce Code of Ordinances

NOTICE BY NEWSPAPER: Monday, May 10, 2021

NOTICE BY MAIL: Friday, May 14, 2021

NOTICE BY SIGNS: N/A

VERIFIED BY: Rebeca A. Guerra

TITLE: Assistant Planning Director

SIGNATURE:

DATE: 5/20/2021