

THE SUNRISE CITY  
**FORT PIERCE**  
 PLANNING DEPARTMENT  
*Florida*

**DEVELOPMENT REVIEW**

Property address or Location 1629 Thumb Point Drive Fort Pierce FL 34949  
 Parcel ID #(s) 2401-700-0002-000-0  
 Project description New three story single family residence with max height of 32'9 1/4"

Richard and Diane Slater  
 Property Owner(s)  
355 S Ocean Drive Apt 301  
 Street Address  
Fort Pierce FL 34949  
 City State Zip  
407 756 9734  
 Phone Number  
rjsailing@gmail.com  
 Email Address

Michael A Smith Architect  
 Applicant/Representative, Title, Company  
1420 Dauphin Lane  
 Street Address  
Orlando FL 32803  
 City State Zip  
407 644 9388  
 Phone Number  
michaelasmitharchitect@yahoo.com  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

Diane Slater *Richard Slater*  
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY  
 The foregoing instrument was acknowledged before me this 17 day of February, 2021, by

Diane & Richard Slater who is personally known to me or has produced  
Florida Drivers License as identification.

Kristie F. Miranda  
 Signature of Notary



**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

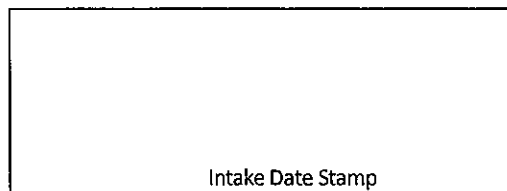
Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_

Intake Planner \_\_\_\_\_

Planner Assigned \_\_\_\_\_

Approved By \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_



# DEVELOPMENT REVIEW

## General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type		
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment
<input type="checkbox"/> Conceptual Development Plan	<input type="checkbox"/> Minor Amendment	

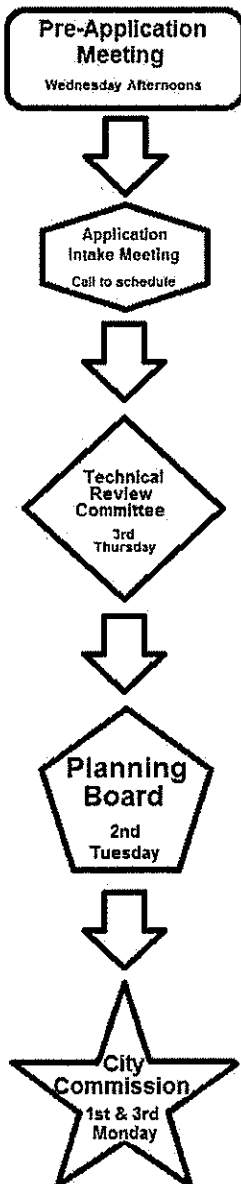
## Site Information:

Non-Residential: Proposed Sq. Ft.: \_\_\_\_\_ Residential: Proposed Units: \_\_\_\_\_

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West

## Application Outlook



## Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



### Design Review

Property address or Location 1629 Thumb Point Drive Fort Pierce Fl 34949  
 Parcel ID #(s) 2401-700-0002-000-0  
 Project Description New three story single family residences with max height 32'9 1/4"

Richard and Diane Slater  
 Property Owner(s)  
355 S Ocean Drive Apt 301  
 Street Address  
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Michael A Smith Architect  
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 Phone Number  
michaelsasmitharchitect@yahoo.com  
 Email Address

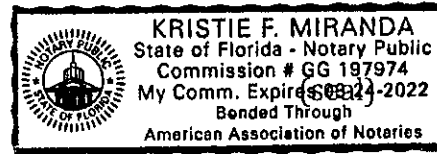
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Diane Slater Richard Slater  
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY  
 The foregoing instrument was acknowledged before me this 17 day of February 2021, by

Diane & Richard Slater who is personally known to me or has produced  
Florida Drivers License as identification.

[Signature]  
 Signature of Notary



**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_

Intake Date Stamp

# **Design Review Application Checklist**

## **(City Code of Ordinances 22-59)**

### Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

### Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

Detailed Project Narrative  
1629 Thumb Point Drive  
Fort Pierce, Florida 34949

Our design goal is to create a coastal contemporary, single family home with consideration and appreciation of this location's natural beauty. We have obtained the services of Michael A. Smith, Architect, and associated engineers to ensure that the structure meets our needs, is properly built, and assimilates into the neighborhood and surrounding environment. The home we have designed is under 3000 square feet in living area, with 3 bedrooms, 2 full baths and 2 half baths. It has architectural detail and metal roofing that makes it compatible with neighboring structures. Design elements include tabby stucco on the first floor and smooth stucco and lap siding on the second and third floor. The wrought iron gates allow those approaching the house to gaze through the breezeway to the backyard and water while also providing security and safety. The exterior color is a cream that leans toward gray on the smooth stucco with a tone darker cream / gray to accent the tabby and lap siding. Several windows have Bahamian shutters in a light blue as a third accent color.

We have also obtained the services of George Botner, Landscape Architect to provide us with a landscape that incorporates plants that will be drought and salt tolerant to reduce the need for irrigation and fertilizer.

We submit this conditional use application to ask for approval of our building's height at 32 feet 9 1/2 inches. This will allow us to meet our needs without increasing our footprint on the lot, and we feel it will assimilate into the neighborhood and be in keeping with the architecture and height of the surrounding homes.

Thank you for your attention to this matter. We look forward to speaking with you and addressing any questions you may have.

### Property Identification

Site Address: 1629 THUMB POINT DR  
 Sec/Town/Range: 01/35S/40E  
 Parcel ID: 2401-700-0002-000-0  
 Jurisdiction: Fort Pierce

Use Type: 0000  
 Account #: 188497  
 Map ID: 24/01S  
 Zoning: SF Low Den

### Ownership

Richard J Slater  
 Diane Slater  
 355 S Ocean DR Apt 301  
 Fort Pierce, FL 34949



### Legal Description

SUSAN D. CULVERHOUSE ESTATES (PB 89-21) LOT 2 (0.279 AC - 12,153 SF)

### Current Values

Just/Market Value: \$309,700  
 Assessed Value: \$309,700  
 Exemptions: \$0  
 Taxable Value: \$309,700

### Total Areas

Finished/Under Air (SF): 0  
 Gross Sketched Area (SF): 0  
 Land Size (acres): 0.28  
 Land Size (SF): 12,153

**Property taxes are subject to change upon change of ownership.**

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: SLC Tax Collector's Office   
 Download TRIM for this parcel: Download PDF

## Building Design Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	170

Sources/links:

### Sale History

Date:	Oct 5, 2020
Book/Page:	4487 / 1190
Sale Code:	0111
Deed:	WD
Grantor:	Culverhouse Jr John B
Price:	\$100
Date:	Oct 5, 2020
Book/Page:	4487 / 1190
Sale Code:	0111
Deed:	WD
Grantor:	Culverhouse Sr John B
Price:	\$100

### Special Features and Yard Items

Type	Qty	Units	Year Blt
SEAWALL CONC	1	110.16	1999
CHAINLINK 4'	1	70	2005

### Current Year Values

Current Values Breakdown	Current Year Exemption Value Breakdown
Building:	\$1,300
Land:	\$308,400
Just/Market:	\$309,700
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$309,700
Exemption(s):	\$0
Taxable:	\$309,700

### Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	0.4	Fort Pierce Stormwater Charge	\$27.60

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office ☐.

### Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2020	\$309,700	\$309,700	\$0	\$309,700

### Permits

Number	Issue Date	Description	Amount	Fee
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Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.  
 © Copyright 2021 Saint Lucie County Property Appraiser. All rights reserved.

This Instrument Prepared By and Return to:  
FRANK H. FEE, III, ESQ. of  
FEE, YATES & FEE, PLLC  
426 Avenue A  
Fort Pierce, FL 34950

Property Appraiser's Parcel Identification (Folio Number):

2401-700-0002-000-0

THIS CONVEYANCE IS MADE PURSUANT TO A CONFIRMED  
BANKRUPTCY PLAN AND AS SUCH IT IS NOT SUBJECT TO  
FLORIDA DOCUMENTARY TAXES BEYOND THE MINIMUM  
PURSUANT TO THE PROVISIONS OF RULE 12B-4.015(15) F.A.R.  
SEE AFFIDAVIT OF BANKRUPTCY COUNSEL FILED  
IMMEDIATELY FOLLOWING THIS DEED.

## WARRANTY DEED

THIS WARRANTY DEED, made the 5<sup>th</sup> day of October, 2020, by JOHN B. CULVERHOUSE a/k/a JOHN B. CULVERHOUSE, SR., a single adult, and JOHN B. CULVERHOUSE, JR., a single adult, as joint tenants with right of survivorship, whose post office address is 1635 Thumbpoint Drive, Fort Pierce, Florida, 34949, hereinafter called the Grantor, to RICHARD JOSEPH SLATER and DIANE SLATER, husband and wife, whose post office address is 1 Shadow Lane, Maitland, Florida, 32751, hereinafter called the Grantee.

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to the instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, That the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee all that certain land, situate in St. Lucie County, Florida, viz:

Lot 2 of SUSAN D. CULVERHOUSE ESTATES, according to the plat thereof on file in Plat Book 89, page 21 of the Public Records of St. Lucie County, Florida.

SUBJECT TO restrictions, reservations, limitations and easements of record, if any; this reference to said restrictions shall not operate to reimpose the same, and taxes for the current and subsequent years.

Grantor, JOHN B. CULVERHOUSE a/k/a JOHN B. CULVERHOUSE, SR., recites that he has heretofore, and now, claims that his constitutional homestead comprises all of Lot 30 and a portion of Lot 29 of Thumbpoint, as per plat thereof recorded in Plat Book 10, page 70, of the St. Lucie County Public Records, but that no part of his claimed homestead effects or encroaches upon re-platted Lot 2 of Susan B. Culverhouse Estates, conveyed by this deed.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD**, the same in fee simple forever.

**AND** the Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2019.

**IN WITNESS WHEREOF**, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

*Lisa L. Bolton*

Witness Signature  
Lisa L. Bolton

Printed Name  
Hope R. Pollock

Witness Signature  
Hope R. Pollock

Printed Name  
[WITNESSES AS TO BOTH GRANTORS]

*John B. Culverhouse, Sr.*

JOHN B. CULVERHOUSE a/k/a JOHN B. CULVERHOUSE, SR.

*John B. Culverhouse, Jr.*

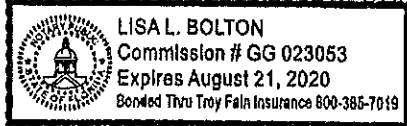
JOHN B. CULVERHOUSE, JR.

STATE OF FLORIDA  
COUNTY OF ST. LUCIE

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared by means of physical presence **JOHN B. CULVERHOUSE a/k/a JOHN B. CULVERHOUSE, SR. and JOHN B. CULVERHOUSE, JR.** known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, and an oath was not taken. (Check one:)  
 Said person(s) is/are personally known to me.  Said person(s) provided the following type of identification: \_\_\_\_\_

Witness my hand and official seal in the County and State last aforesaid this 5<sup>th</sup> day of October, 2020.

NOTARY RUBBER STAMP SEAL



*Lisa L. Bolton*

Notary Signature  
Lisa L. Bolton

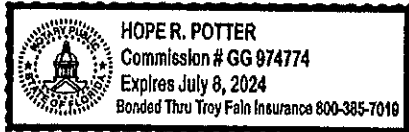
Printed Notary Name

STATE OF FLORIDA  
COUNTY OF ST. LUCIE

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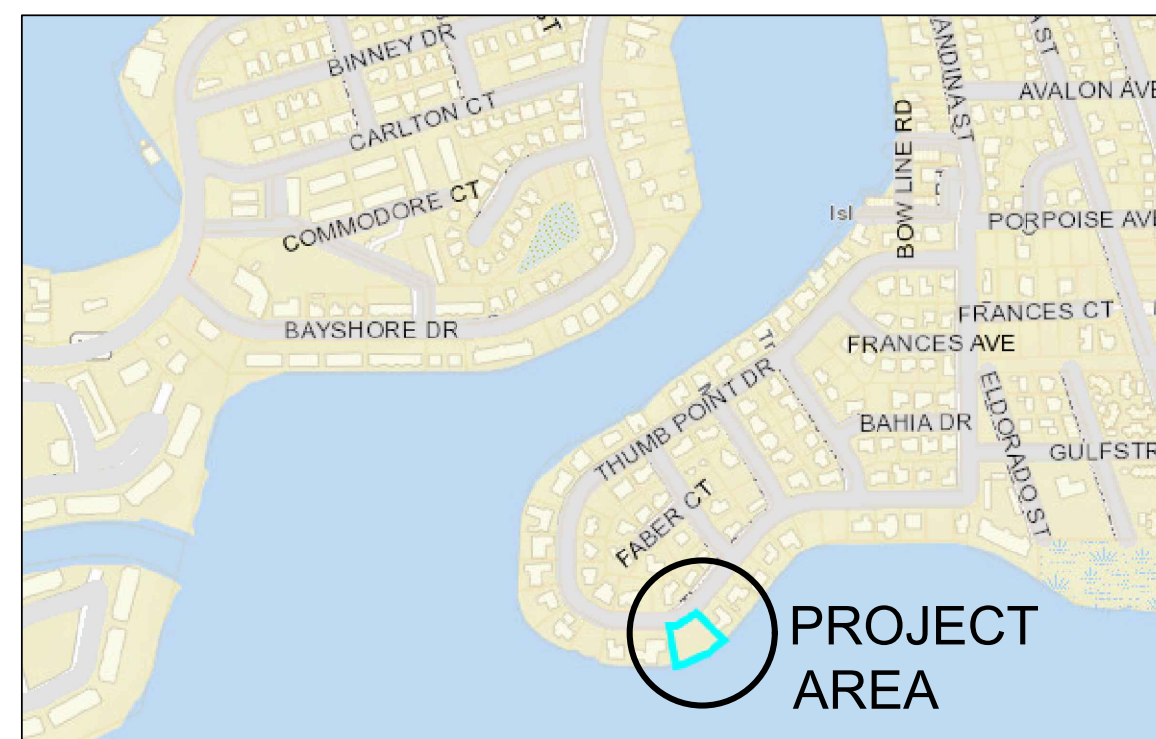
NOTARY RUBBER STAMP SEAL



Hope R. Potter  
Notary Signature  
Hope R Potter  
Printed Notary Name

**LEGAL DESCRIPTION**

LOT 2, SUSAN D. CULVERHOUSE ESTATES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 89, PAGE 21, OF THE PUBLIC RECORDS OF INDIAN RIVER COUNTY, FLORIDA.



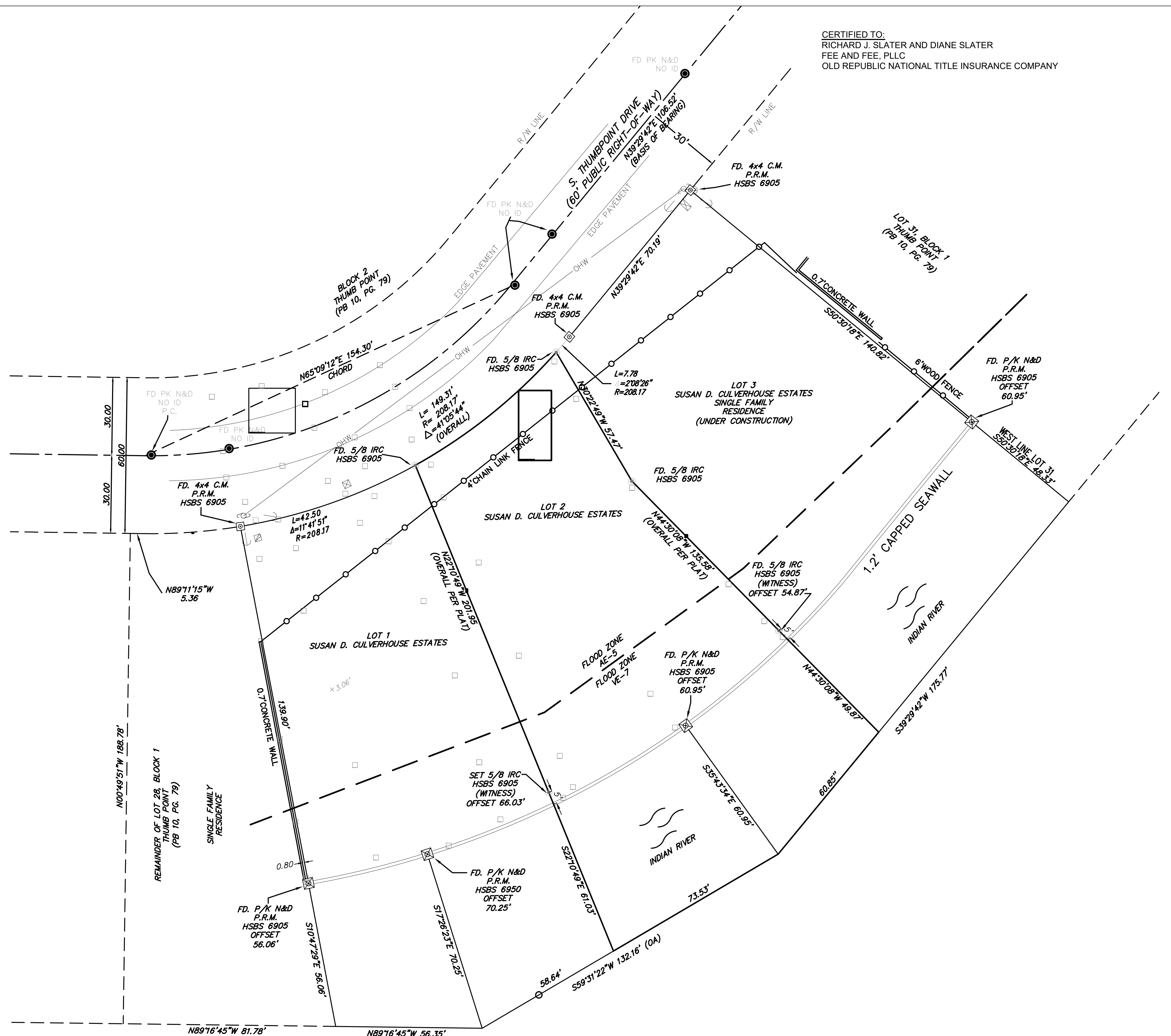
CERTIFIED TO:  
RICHARD J. SLATER AND DIANE SLATER  
FEE AND FEE, PLLC  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

**Report of Survey:**

- TYPE OF SURVEY: BOUNDARY
- THIS SURVEY PERFORMED BY:  
MERIDIAN LAND SURVEYORS LB#6905  
1717 INDIAN RIVER BLVD. SUITE 201  
VERO BEACH, FLORIDA
- PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE:  
MATTHEW CROWLEY P.S.M. #7214
- THIS SURVEY MEETS ALL APPLICABLE REQUIREMENTS OF THE FLORIDA MINIMUM TECHNICAL STANDARDS AS CONTAINED IN 5J-17, FLORIDA ADMINISTRATIVE CODE.
- ELEVATIONS AND DIMENSIONS SHOWN HEREON ARE MEASURED IN FEET AND DECIMAL PARTS THEREOF.
- THE LAST DATE OF FIELD WORK WAS: 08/27/20
- BUILDING SETBACK LINES, IF SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION, BUT ARE NOT CERTIFIED TO. THE SETBACKS MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
- THE BEARING BASE FOR THIS SURVEY IS A GRID BEARING OF S39°29'42"W, ALONG THE CENTERLINE OF S. THUMBPOINT DRIVE
- THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR LOCATION OF ANY UNDERGROUND IMPROVEMENTS: UTILITIES, FOUNDATIONS, OR ENCROACHMENTS, EXCEPT AS SHOWN.
- NO INSTRUMENTS OF RECORD REGARDING EASEMENTS, RIGHT-OF-WAYS, OR OWNERSHIP WERE SUPPLIED TO THIS SURVEYOR, EXCEPT AS SHOWN.
- NO TITLE OPINION OR GUARANTEE IS EXPRESSED OR IMPLIED.
- UNLESS A COMPARISON IS SHOWN, PLAT VALUES AND MEASURED VALUES ARE THE SAME.
- LEGAL DESCRIPTION IS AS PROVIDED BY THE CLIENT.
- UNLESS OTHERWISE INDICATED, FOUND MONUMENTATION. IS UNIDENTIFIED.
- THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE "AE", ELEV. = 5.0', AND FLOOD ZONE "VE", ELEV. = 7.0', PER FLOOD INSURANCE RATE MAP #12111C0183 J, DATED FEBRUARY 16, 2012.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

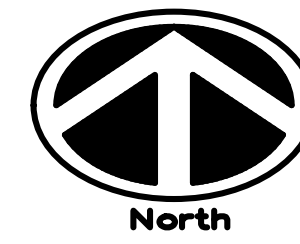
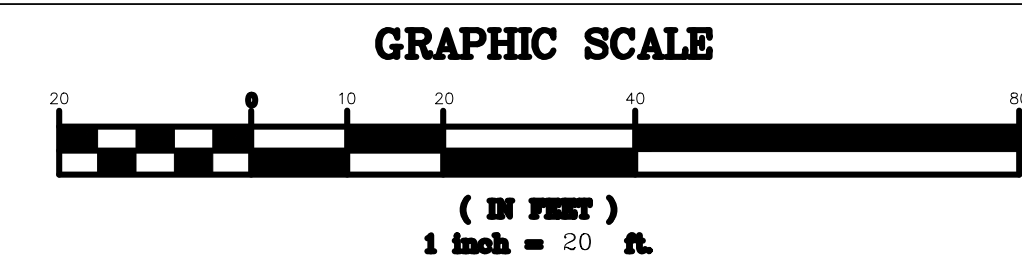
**Legend & Abbreviations:**  
(symbols not scaleable for size)

PLS - PROFESSIONAL LAND SURVEYOR	☒ - CABLE TV BOX
PSM - PROFESSIONAL SURVEYOR & MAPPER	☒ - CENTERLINE
LB - LAND SURVEYING BUSINESS	☒ - (CM) CONCRETE MONUMENT
CL - CENTERLINE	☒ - CONCEPTUAL DRAINAGE
R - RADIUS	☒ - CURB INLET
L - LENGTH	☒ - DELTA ANGLE
Δ - DELTA ANGLE	☒ - DRAINAGE MANHOLE
E/P - EDGE OF PAVEMENT	☒ - ELECTRIC BOX
B/C - BACK OF CURB	☒ - GATE VALVE
B.M. - BENCHMARK	☒ - GUY WIRE
POC - POINT OF COMMENCEMENT	☒ - HYDRANT
POB - POINT OF BEGINNING	☒ - IRON PIPE
PCP - PERMANENT CONTROL POINT	☒ - IRON ROD & CAP
IP - IRON PIPE	☒ - IRRIGATION VALVE
PRM - PERMANENT REFERENCE MONUMENT	☒ - LIGHT POST
PRM - PERMANENT REFERENCE MONUMENT	☒ - MITERED END SECTION
IP - IRON PIPE	☒ - (PCP) PERMANENT CONTROL POINT
IP - IRON PIPE	☒ - (PRM) PERMANENT REFERENCE MONUMENT
IP - IRON PIPE	☒ - PROPOSED GRADE
IP - IRON PIPE	☒ - SANITARY MANHOLE
IP - IRON PIPE	☒ - SANITARY SERVICE
IP - IRON PIPE	☒ - SEPTIC TANK
IP - IRON PIPE	☒ - STREET SIGN
IP - IRON PIPE	☒ - SURFACE INLET
IP - IRON PIPE	☒ - TELEPHONE SERVICE
IP - IRON PIPE	☒ - TYPICAL ELEVATION
IP - IRON PIPE	☒ - WATER METER
IP - IRON PIPE	☒ - WELL
IP - IRON PIPE	☒ - WOOD UTILITY POLE
IP - IRON PIPE	☒ - STREET LIGHT
IP - IRON PIPE	☒ - CONCRETE POWER POLE



**MERIDIAN**  
LAND SURVEYORS  
1717 INDIAN RIVER BLVD. SUITE 201  
VERO BEACH, FL. 32960 LB#6905  
PHONE: 772-794-1213, FAX: 772-794-1096  
EMAIL: MLS6905LB@GMAIL.COM

PROJECT# 18-061-2  
DATE: 08/21/20  
F.B. 334 PG. 76  
DRAWN BY: NIL  
CHECKED BY: M.C.  
SCALE: 1"=20'  
SHEET 1 OF 1



PLAT OF SURVEY FOR  
**RICK SLATER**

REVISIONS			
NO.	DATE	DESCRIPTION	BY

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER NAMED BELOW.

MATTHEW CROWLEY, PROFESSIONAL SURVEYOR AND MAPPER #7214



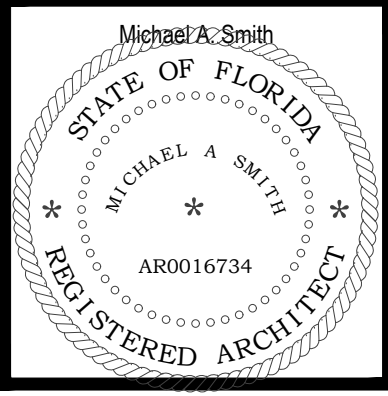
SHEET  
OF SHEETS

**MICHAEL A. SMITH**  
ARCHITECT  
1420 Dauphin Ln  
Orlando FL 32803  
tel 407 644 9388  
AR0016734

A Beach Cottage  
for  
**The Slater's**  
Thumb Pt. Drive Ft. Pierce Florida

COVER

PRELIMINARY
ISSUED FOR
PROJECT NUMBER
24 FEB 2021
DATE
COVER
FILE NAME
DRAWN BY
CHECKED BY
APPROVED BY
REVISION
REVISION

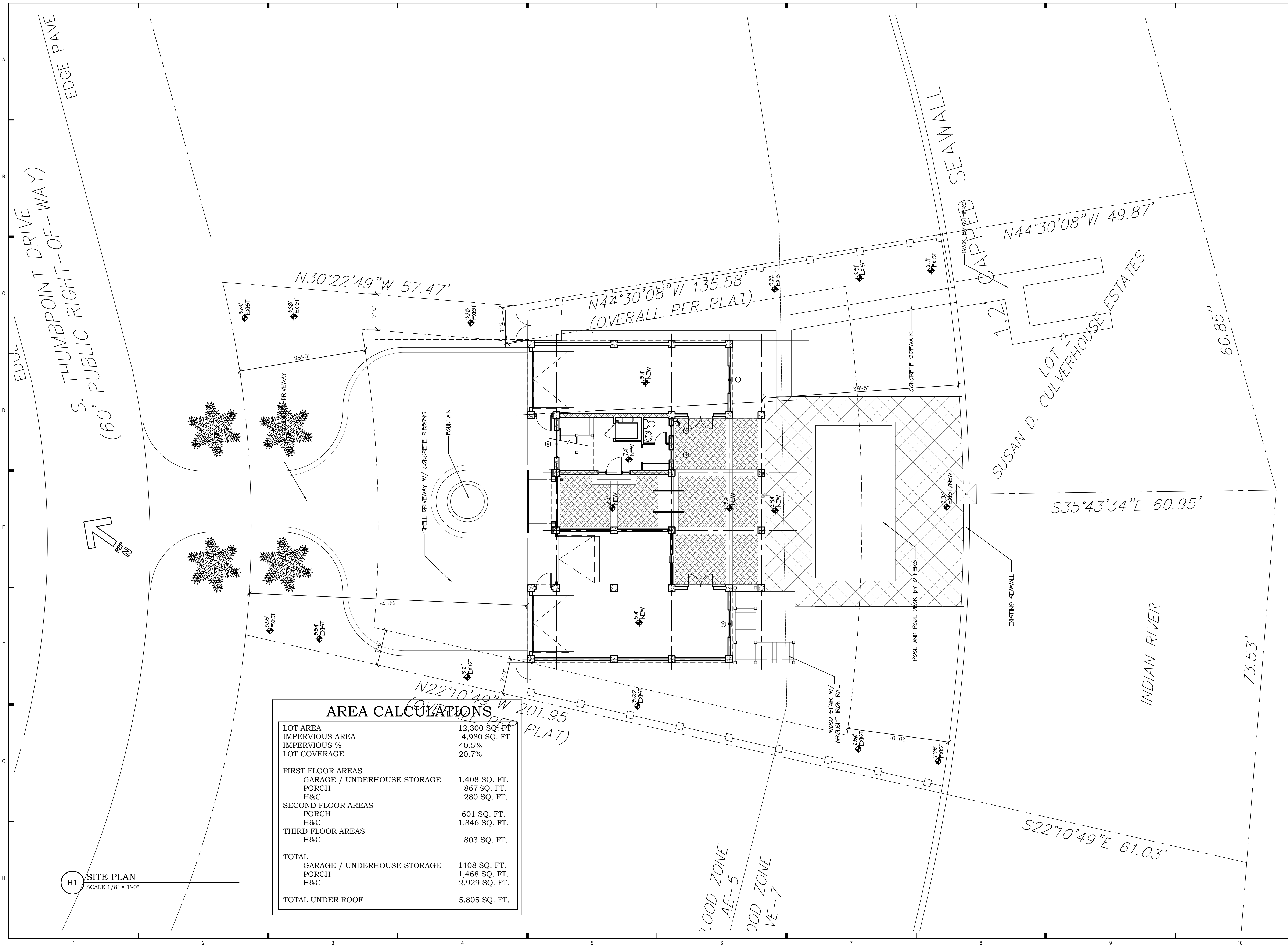
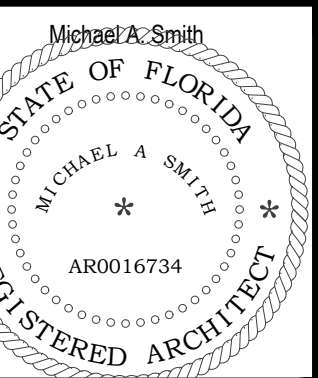


MICHAEL A. SMITH  
ARCHITECT

1420 Dauphin Ln  
Orlando FL 32803  
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AR0016734

A Beach Cottage  
for  
**The Slater's**  
Thumb Pt. Drive Ft. Pierce Florida

PRELIMINARY
ISSUED FOR
PROJECT NUMBER
24 FEB 2021
DATE
A1
FILE NAME
DRAWN BY
CHECKED BY
APPROVED BY
REVISION
REVISION



**AREA CALCULATIONS**  
(OVERALL PER PLAT)

LOT AREA	12,300 SQ. FT.
IMPERVIOUS AREA	4,980 SQ. FT.
IMPERVIOUS %	40.5%
LOT COVERAGE	20.7%
<b>FIRST FLOOR AREAS</b>	
GARAGE / UNDERHOUSE STORAGE	1,408 SQ. FT.
PORCH	867 SQ. FT.
H&C	280 SQ. FT.
<b>SECOND FLOOR AREAS</b>	
PORCH	601 SQ. FT.
H&C	1,846 SQ. FT.
<b>THIRD FLOOR AREAS</b>	
H&C	803 SQ. FT.
<b>TOTAL</b>	
GARAGE / UNDERHOUSE STORAGE	1408 SQ. FT.
PORCH	1,468 SQ. FT.
H&C	2,929 SQ. FT.
<b>TOTAL UNDER ROOF</b>	<b>5,805 SQ. FT.</b>

H1 SITE PLAN  
SCALE 1/8" = 1'-0"

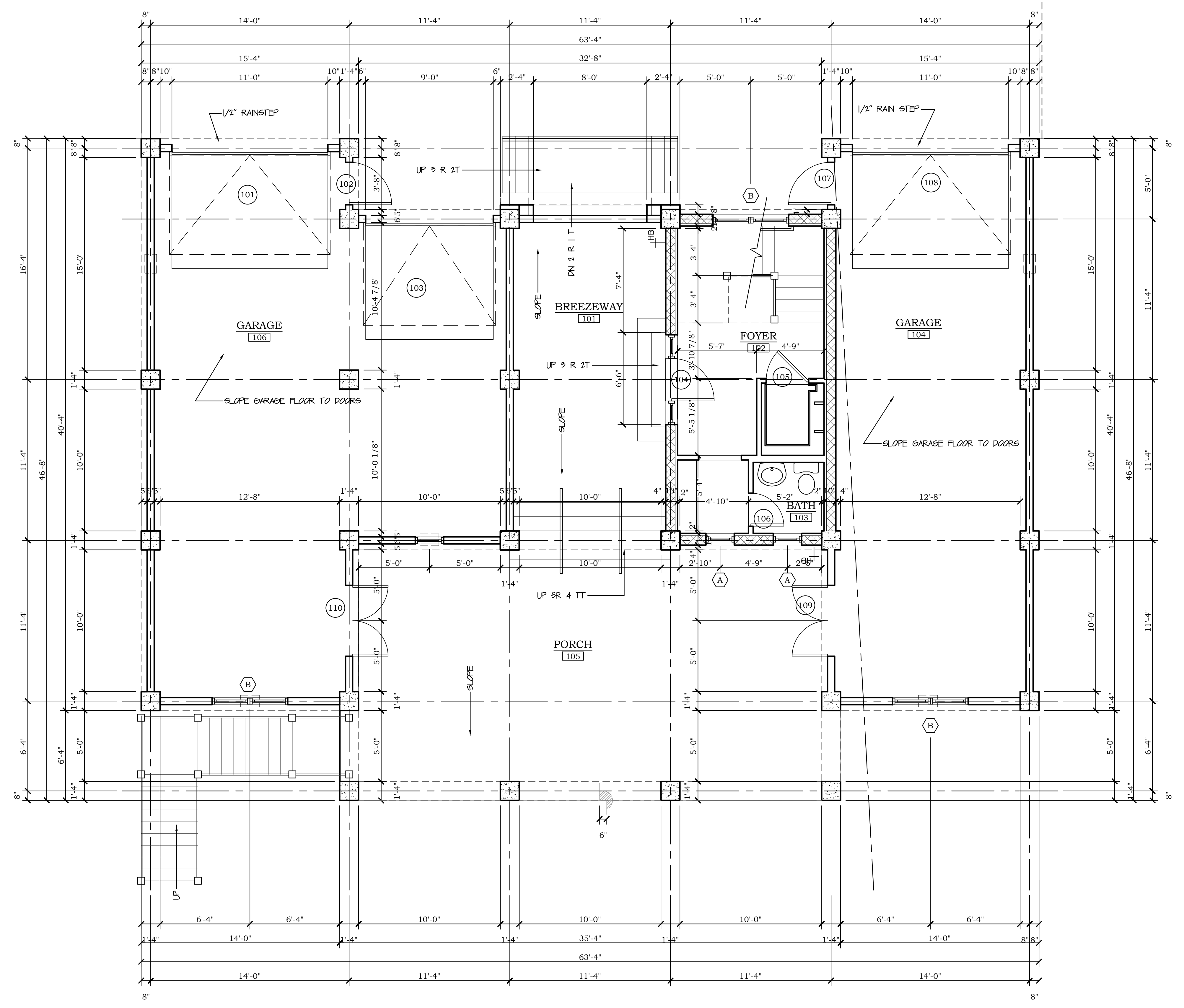
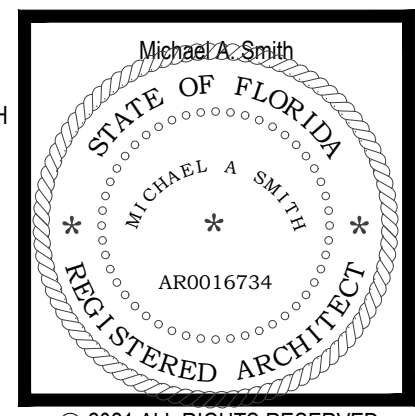
LOOD ZONE  
AE-5  
OOD ZONE  
VE-7

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AR0016734

A Beach Cottage  
for  
**The Slater's**  
Thumb Pt. Drive Ft. Pierce Florida

GROUND FLOOR PLAN

PRELIMINARY
ISSUED FOR
PROJECT NUMBER
24 FEB 2021
DATE
A2
FILE NAME
DRAWN BY
CHECKED BY
APPROVED BY
REVISION
REVISION



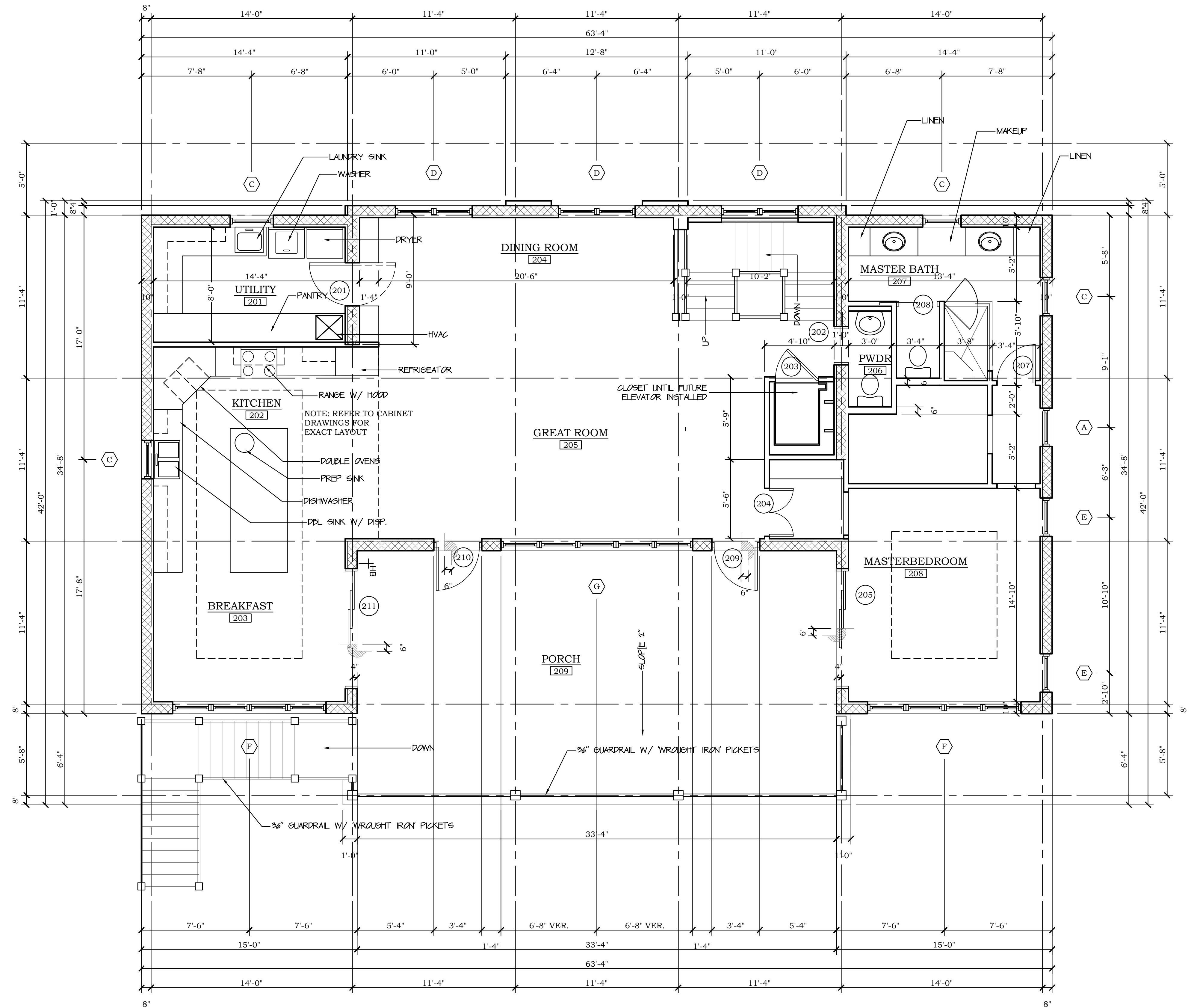
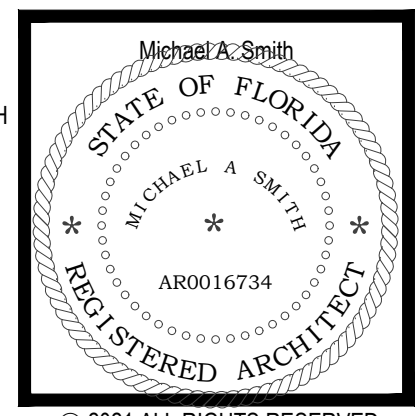
**H1** GROUND FLOOR PLAN  
1/4" = 1'-0"

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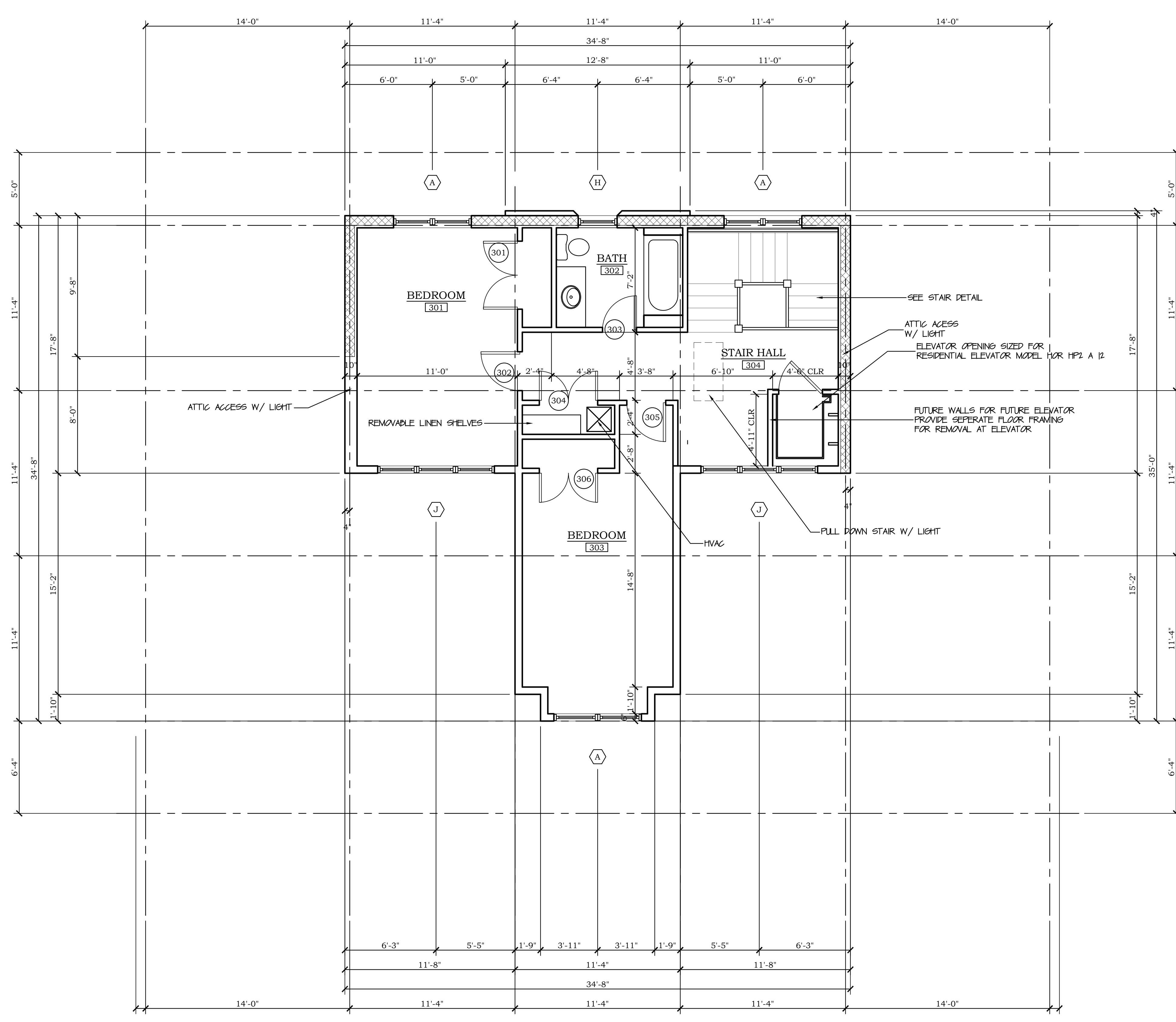
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SECOND FLOOR PLAN

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**H1** SECOND FLOOR PLAN  
1/4" = 1'-0"



H1 THIRD FLOOR PLAN  
1/4" = 1'-0"

**HOR HP2 A 12** 950R, LH RAIL, IN-LINE OPENING, ACCORDION GATE, 12 SQ. FT. LUXURY LIFT TRACTION (LLT)

**NOTES:**

- IF PLATFORM SIZE IS REDUCED, THEN THE BLOCKING IS TO BE POSITIONED SUCH THAT IT IS CENTERED ON THE PLATFORM. (PLATFORM DEPTH / 2) + 2" = CENTERLINE OF RAIL BLOCKING OFF OF INSIDE FRONT WALL. (MIN. 28" DIMENSION)
- CAR TO WALL (CTW) DIMENSION IS 3-1/2" MIN.
- HOISTWAY DOORS & FRAMES MUST BE INSTALLED TO COMPLY WITH THE AUTHORITY HAVING JURISDICTION REQUIREMENTS. THESE DIMENSIONS VARY. CONSULT YOUR RESIDENTIAL ELEVATORS SALES REPRESENTATIVE FOR DETAILS PRIOR TO CONSTRUCTION.
- HOISTWAY DOORS TO BE SOLID CORE (BY OTHERS.)
- CLEAR CAB DIMENSIONS BASED ON A 3/4" FLAT WALL CAB DESIGN.
- MIN. CLEARANCE TO ALLOW FOR MOTOR/ BRAKE/ GEARBOX

*All Traction Elevators require an access panel for emergency lowering. Access panel size and location must be discussed with your Residential Elevators Sales Representative prior to construction.*

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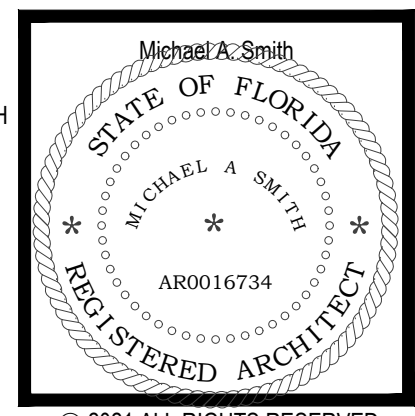
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THIRD FLOOR PLAN

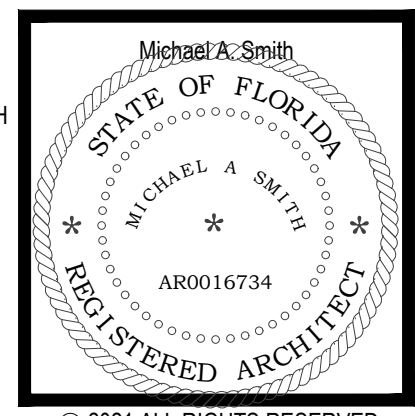
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A Beach Cottage  
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Thumb Pt. Drive Ft. Pierce Florida

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## TITANIUM® PSU30

### Self Adhered Underlayment

#### PSU30 INSTALLATION INSTRUCTIONS

Titanium® PSU30 is designed as a secondary water barrier for use on steep slope roofs (2:12 or greater) under asphalt shingles, composite shingles, metal, concrete and clay tile, slate, and wood shakes. Titanium® PSU30 may also be used on slopes down to 3/12 under standing seam metal roof panels, and lapped, nonsoldered-seam metal roofs with applied lap sealant.

**CAUTION**  
Read and understand all instructions and precautions before applying Titanium® PSU30 underlayment. Check local building codes prior to application of this product. Follow the recommendations of the roof covering manufacturer, Asphalt Roofing Manufacturers Association (for asphalt shingles), Tile Roof Institute (for clay or concrete roof tiles), and the Metal Roofing Alliance (for metal roof panels).

**DECK PREPARATION**  
Titanium® PSU30 underlayment should be applied on roofs having slopes of 2:12 or greater except as noted above. This product can be applied on new construction or when re-roofing, provided existing roofing has been removed. The deck must be clean, smooth and dry before applying Titanium® PSU30 underlayment. Remove all old roofing down to the deck or in new construction, apply over the new deck. Sweep the deck surface to remove dirt and debris. Replace any damaged or rotted deck boards.

**Deck Edge Preparation**  
Along eaves, install metal drip edge under the Titanium® PSU30 underlayment unless otherwise directed by local building codes. Along rakes, apply Titanium® PSU30 underlayment first, and put drip edge on top.

**For Tile Roof Applications**  
Please see the table below for tile loading limitations. Loading of tile outside the parameters of this table requires installation of loading battens prior to tile loading.

Tiles in Stack	Tile Pattern	Tile Type	Maximum Roof Pitch
10	10 Linear	Flat	5:12
10	10 Linear	Profiled	6:12

Note: When installing Titanium® PSU30 underlayment over the entire roof deck, proper ventilation is required. Consult a design professional and local building codes for ventilation requirements.

**For Metal Panel Applications**  
Slopes 2:12 and greater  
Follow standard installation instructions below

**Slopes 1/12 - less than 2:12**  
Follow standard installation instructions below with the following modifications: End Laps must be min. 6 feet apart in adjacent courses. All end laps must be minimum 6 inches wide. Apply min. 6 inch wide bed of ASTM D4586 compliant roof cement at end of underlayment piece and set overlying piece into roof cement, applying firm pressure on entire end lap.

- INSTALLATION**
1. Ensure that decking substrate is acceptable to roof covering manufacturer.
  2. Unroll Titanium® PSU30 underlayment and cut into manageable lengths no more than 15 - 20 feet.
  3. Allow it to relax for 3-5 minutes before installing.
  4. Retroll each section.
  5. Start at the eaves, laying the Titanium® PSU30 parallel to the eaves edge, with the lower edge of the Titanium® PSU30 flush with the outside of the primed drip edge. The lower edge of the underlayment is the edge that does not have a selvage edge.
  6. After installation of each piece, remove the release lining from the selvage and, if necessary, secure with nails installed in the selvage spaced 6 inches on center. This fastening is required when Titanium® PSU30 is installed on slopes of 3:12 or greater. Consult local building codes for fastener requirements.
  7. The entire roof surface should be rolled after installation of the Titanium® PSU30 using a minimum 40 lb. roller. Hand rolling over the selvage and directly above the selvage using a minimum 4 inches wide, minimum 10 lb. roller is recommended.
  8. Overlap at least 6 inches when the ends of two rolls meet. To ensure good adhesion at the end lap, apply a minimum 6 inches width of a solvent-based asphaltic primer that complies with ASTM D41 across the width of the sheet using a roller, brush, or aerosol primer. As an alternative, asphalt roof cement that complies with ASTM D4586 may be used, approximately 1/8 inch thick (excessive roof cement can have an adverse reaction to the product). Apply heavy hand pressure or use a roller along the seam overlapping the next roll.
  9. End laps should be offset a minimum of 6 feet on adjacent courses.
  10. Along a valley, Titanium® PSU30 underlayment can be cut lengthwise for easier handling. For maximum protection, the roll width should remain intact and extend 18 inches on either side of the valley. Remove the release backing and press Titanium® PSU30 underlayment into place, working from the center of the valley or ridge outward in each direction. Always apply valleys starting at the low point and work upward. If an overlap is needed, be sure to overlap the previous piece by minimum 4 inches. Titanium® PSU30 underlayment should be applied in valleys before installing eave applications with membranes.

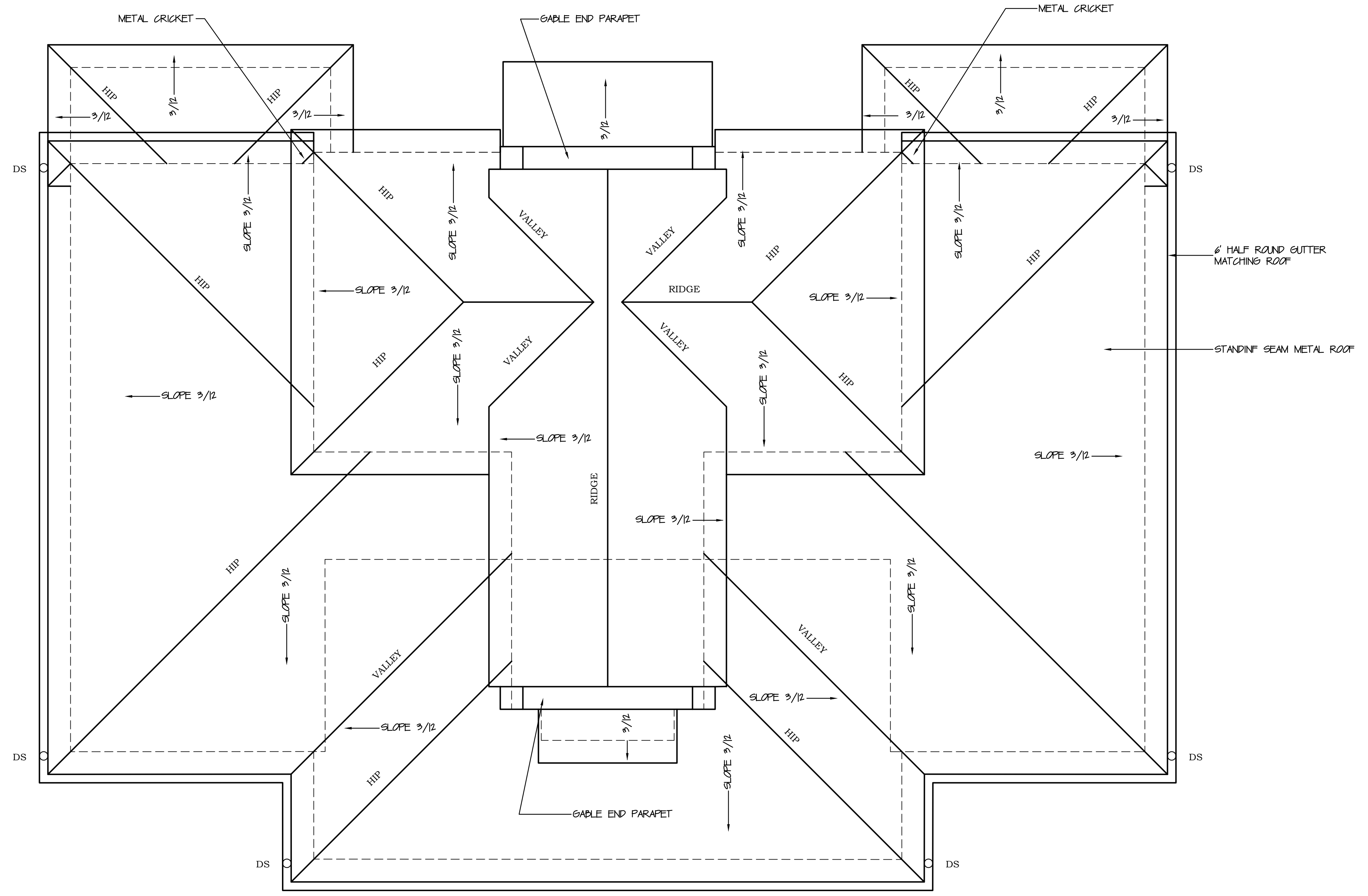
For further detail on various installation methods, please call 1-800-500-5000 (1-800-765-3464)

#### PRECAUTIONS

1. Cover Titanium® PSU30 underlayment with finish roof covering. Do not allow Titanium® PSU30 underlayment to remain uncovered. Exposure to sun and weather for more than 180 days may adversely affect this product's performance.
2. Titanium® PSU30 underlayment should be installed by a professional roofing contractor.
3. Titanium® PSU30 underlayment is a moisture and vapor barrier. The spaces under the covered deck area and the attic space must be ventilated in accordance with local building codes.
4. Titanium® PSU30 underlayment is intended for exterior roof application only and is not intended for use on vertical surfaces.
5. Apply Titanium® PSU30 underlayment directly to the wood deck. Do not apply any underlayment beneath Titanium® PSU30 unless required to do so by local codes.
6. Roof coverings should not be installed over wrinkled or buckled Titanium® PSU30 underlayment.
7. Use extreme caution when installing Titanium® PSU30 underlayment. The Titanium® PSU30 underlayment surface may be slippery even when dry. Use of fall protection is highly recommended. Consult OSHA for guidelines on fall protection (29 CFR 1926.500).
8. For best results, apply Titanium® PSU30 underlayment when the air temperature is over 40°F (5°C) and rising, but below 100°F (38°C). When temperatures are under 40°F (5°C), Titanium® PSU30 underlayment will not fully adhere. Store at room temperature prior to installing product in cold weather. If applied in temperatures above 100°F (38°C), or exposed to direct sunlight, the release backing may become difficult to remove. If this situation should occur, move the product into a shaded area until the Titanium® PSU30 underlayment is cool. Once cooled, the release backing can be easily removed.
9. Store Titanium® PSU30 underlayment in a dry, well-ventilated area. Stand Titanium® PSU30 underlayment upright. Do not store at 90°F (32°C) or warmer for extended periods of time. Do not store in direct sunlight.
10. When applying Titanium® PSU30 underlayment, always follow local building codes and the roof covering manufacturer's instructions for installation of this product.
11. When working on the roof, use all necessary safety precautions and guidelines in accordance with proper roofing trade practices.

**Titanium® PSU30 Self Adhered Underlayment**  
Charleston, SC • Mission, BC • Montréal, QC  
E-mail: answers@owenscorning.com  
www.choosetitanium.com  
Toll Free: 800 567 9727

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**H1 ROOF PLAN**  
1/4" = 1'-0"

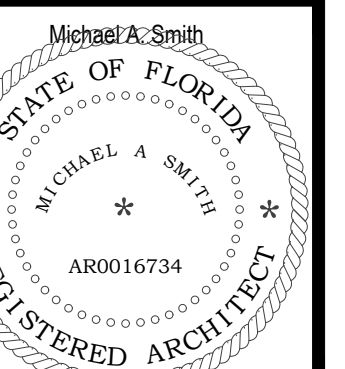
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ARCHITECT

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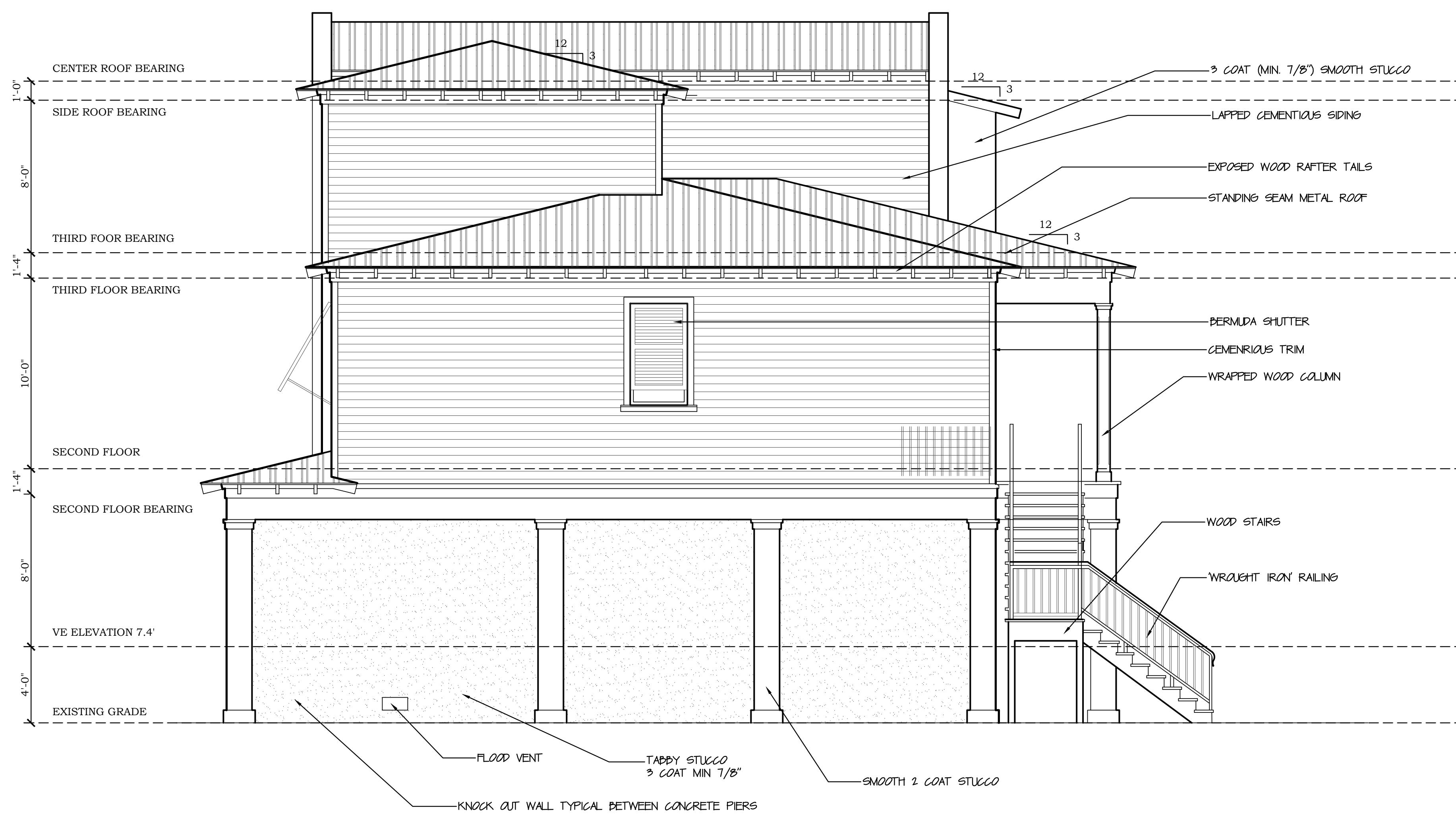
A Beach Cottage  
for  
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Thumb Pt. Drive Ft. Pierce Florida

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ELEVATIONS



D1 FRONT ELEVATION  
1/4" = 1'-0"



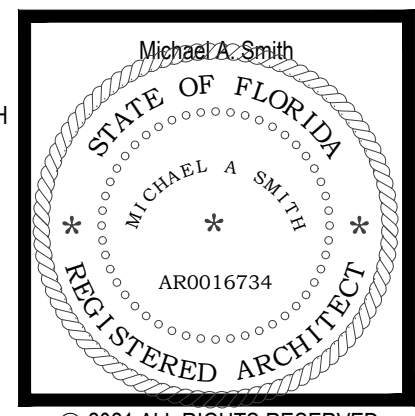
H1 SIDE ELEVATION  
1/4" = 1'-0"

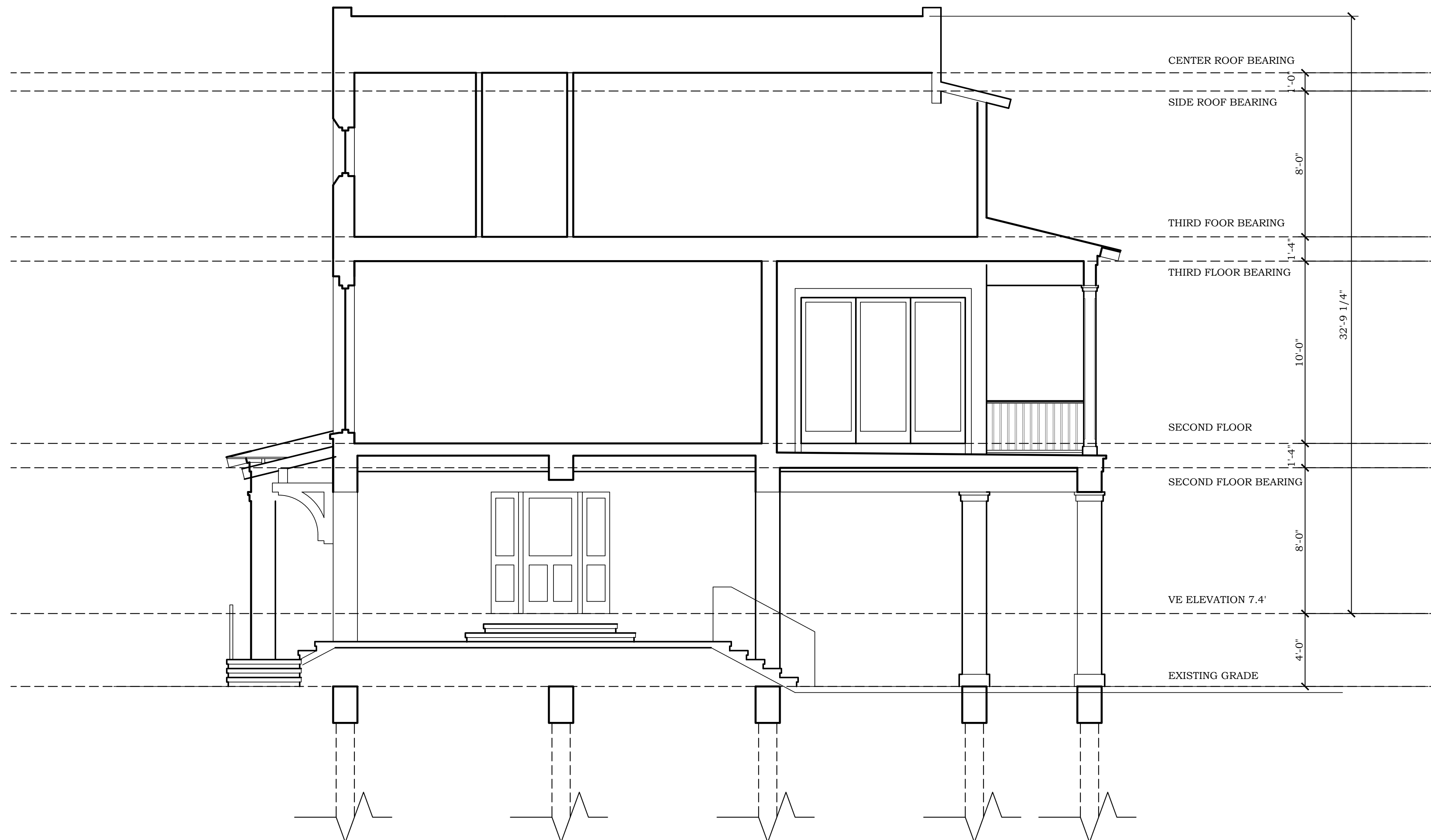
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**ELEVATIONS**

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D1 BUILDING SECTION  
1/4" = 1'-0"

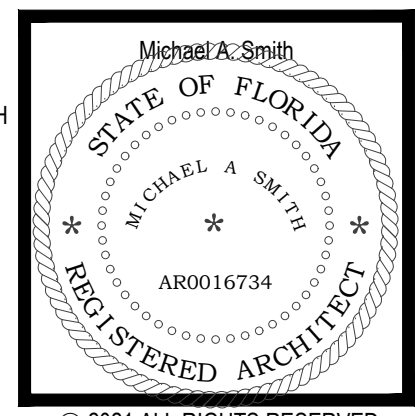
SHEET  
**A8**  
OF SHEETS

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A Beach Cottage  
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BUILDING SECTION

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# RICHARD & DIANE SLATER RESIDENCE

1629 THUMB POINT DRIVE  
FORT PIERCE, FLORIDA

## IRRIGATION SPECIFICATIONS

### SYSTEM DESCRIPTION:

This is an automatic irrigation system. Water supply is a 1" Municipal Water meter (shown on plans). The system consists of FOUR (4) ZONES Flow rate is a minimum of 35 GPM to the valves, which the Contractor shall verify with the City.

### WATER SOURCE:

Shall be a 3/4" Municipal Water Meter - with 1" PVB. Back flow device shall be code compliant. Contractor is responsible for Code requirements.

### SYSTEM PIPE:

All pipe shall be Class 200 PVC or heavier. System Main shall be Sch.40 PVC pipe. All fittings shall be solvent weld Sch.40 fittings unless otherwise indicated in these specifications. Do not use SxMIP adapters except for shrub risers. Class 200 PVC main line pipe. Main shall be pressure tested with all valves in place and prior to backfilling. Test shall be 100 PSI for one hour. Loss of 10 PSI within the hour shall constitute failure. Solvent weld fittings and pipe ends shall be cleaned with an all purpose PVC Pipe cleaner prior to applying glue. Main shall have a minimum of 24" of cover. All other pipe, laterals, etc. shall have a minimum 12" of cover. Backfill shall be free of debris and sharp objects. No rock larger than 3/4" shall be in contact with PVC pipe anywhere. All pipe above ground, with the exception of shrub risers, shall be galvanized, copper, bronze or ductile iron, and shall be painted with a flat black epoxy water proof paint. Shrubs risers shall be Sch.40 or Sch.80 PVC and shall be painted with flat black epoxy paint.

### 1. Assembly for Solvent Weld PVC pipe:

- Cut square with PVC cutter, and deburr the cut prior to assembly.
- Clean PVC pipe with PVC cleaner prior to assembly.
- Use gray, heavy bodied, slow drying, high strength glue.
- Keep out of service for the length of time as specified by the Manufacturer of the PVC glue.

### SLEEVES:

All pipe under paving (walks, planter walls and drives, etc.) shall be sleeved with Sch. 40 PVC pipe. Sleeves shall extend beyond the edge of pavement and shall be marked. The water line shall be installed in sleeve prior to installation of the sleeve. Cap ends of water line during construction to prevent debris from entering. Sleeves under roads shall have a minimum cover of 18 inches.

### SPRINKLERS:

All sprinklers shall be the type referred to in the Irrigation Key and shall be attached to the lateral with either flexible line (swing pipe) or a PVC swing joint such as those manufactured by Lasco, Rainbird or Dura Industries, specifically for irrigation use, being constructed with components utilizing Acme threads and o-ring seals. Pressure rating shall be 200 PSI, or greater, as stated by the manufacturer. Sprinklers using more than 4 GPM shall be connected utilizing PVC swing joints. Barbed fittings shall be same size as sprinkler inlet. Sprinklers shall be set flush with final grade and absolutely vertical. Use Stainless Steel risers on all rotor heads.

1. Spray heads shall be Rainbird 1806, 6" pop-up heads with Rainbird MPR series 5, 8,10 or 15 nozzles, unless otherwise specified in these drawings.

2. Spray heads in shrub beds shall be shrub adapters on Sch.40 risers. Height to be established by landscape architect. This plan requires 18" risers. Risers shall NOT be used next to paved areas and pedestrian walks where they are exposed to damage. In these areas use 12" pop-ups. Paint shrub risers with water proof black epoxy paint.

### CONTROLLER:

RAINBIRD ESP-TM2 - 6 station controller to operate 4 sections + master valve. Controller shall be located in the main building (garage) where specified by the Owner. Grounding shall be equal to - or better than the manufacturer's recommendation. It shall also comply with the National Electrical Code. Both of these requirements preclude using the building or electrical supply line for grounding purposes. UL approved Ground Rod shall be utilized unless otherwise specified, or if the minimum resistance reading cannot be made. If minimum grounding cannot be made, utilize grounding plates until specified resistance is met.

### RAIN SHUT-OFF DEVICE

Install a rain shut-off device out of the range of the sprinklers as per State DER requirements. Use Rainbird WR2 Series Wireless Sensor. Submit manufacturers equipment sheet prior to installation of any such device.

### ELECTRIC CONTROL VALVES:

RAINBIRD PGA24V electric control valves. All valves shall be housed in 16" x 12" rectangular Carson 1419B valve boxes or larger, and installed as per details. Control Valve shall be rated at 150 PSI or higher. Use bottom inlet whenever possible.

### CONTROL WIRE:

Control wire shall be UL approved, solid core, PE or PVC covered irrigation control wire. SIZE: Use a minimum of 14 gage control and 12 gage bond wire. All splices and connections shall be made at pull boxes or valve boxes. (No field splices). Communication wire shall be as recommended by manufacturer. All splices shall be made with 3M brand DBY - 6 Direct Burial Splice Kit. All wire to be encased in UL approved PVC conduit. All wire to be brought back to controller. Wire pull boxes shall be 10" round Ametek or other approved boxes. Wire which is not rated for direct burial shall be installed in water tight conduit with water tight junction boxes.

### MAINTENANCE:

It is the contractors responsibility to maintain the system, repairing leaks, repairing broken heads, adjusting sprinkler heads, flushing system, etc. until final acceptance by the Owner. Contractor shall instruct Owners maintenance personnel as to maintenance requirements for this irrigation system. Site shall be cleaned daily of trash and debris.

### AS-BUILT DRAWINGS:

Contractor shall provide "as-built" drawings showing all changes. All valves and changes of direction on the main line shall have GPS coordinates noted on the as-built drawings. Controller program shall be part of this submission.

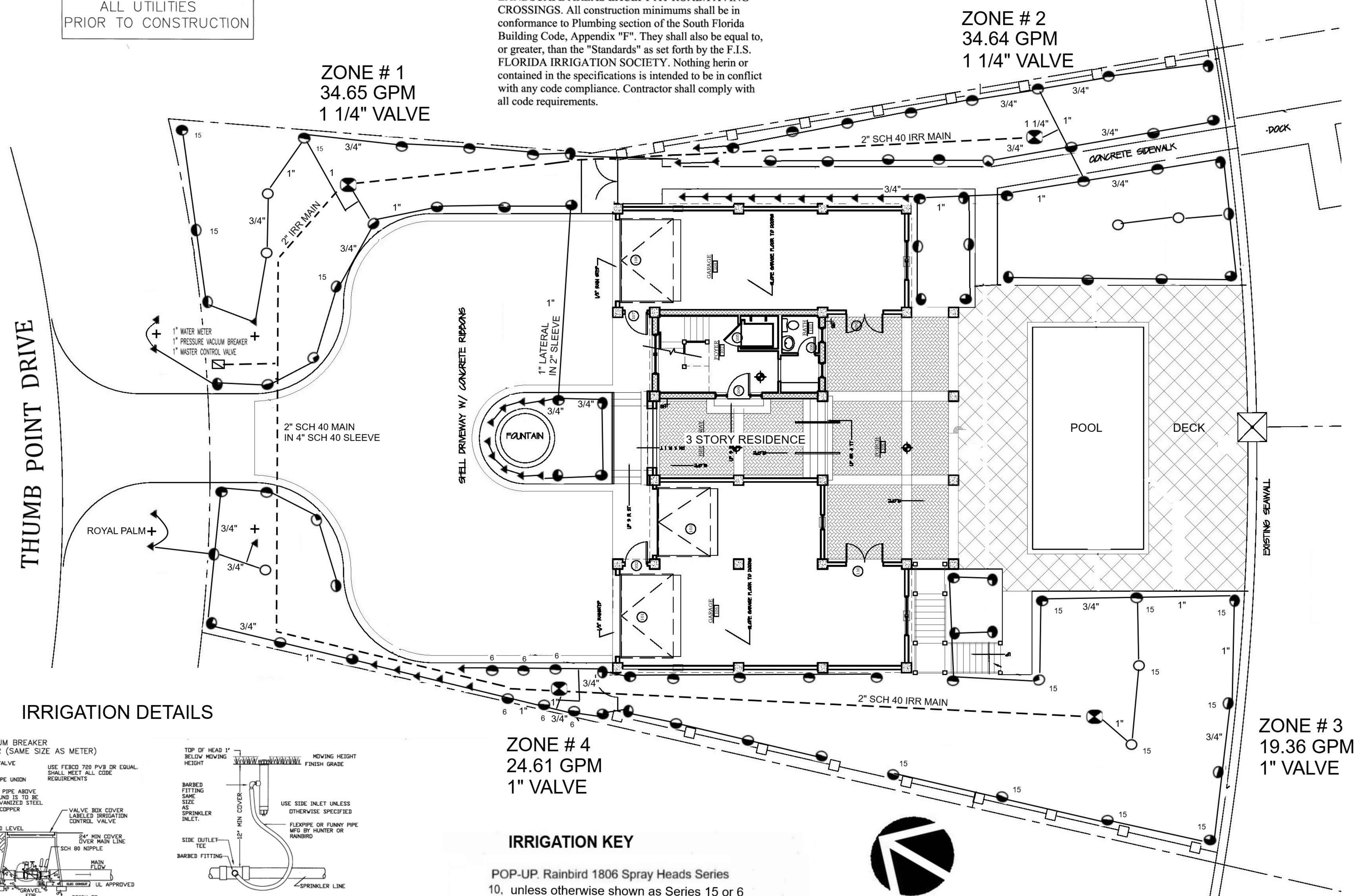
### GUARANTEE:

The entire system shall be guaranteed for a period on one year from the time of final acceptance. All manufacturers written warranties and guarantees, as well as "as-built" drawings, maintenance and operational information, shall be turned over to the Owner prior to, and is a condition of final acceptance. Guarantee period shall not commence until all of the documents have been turned over to the Owners representative.

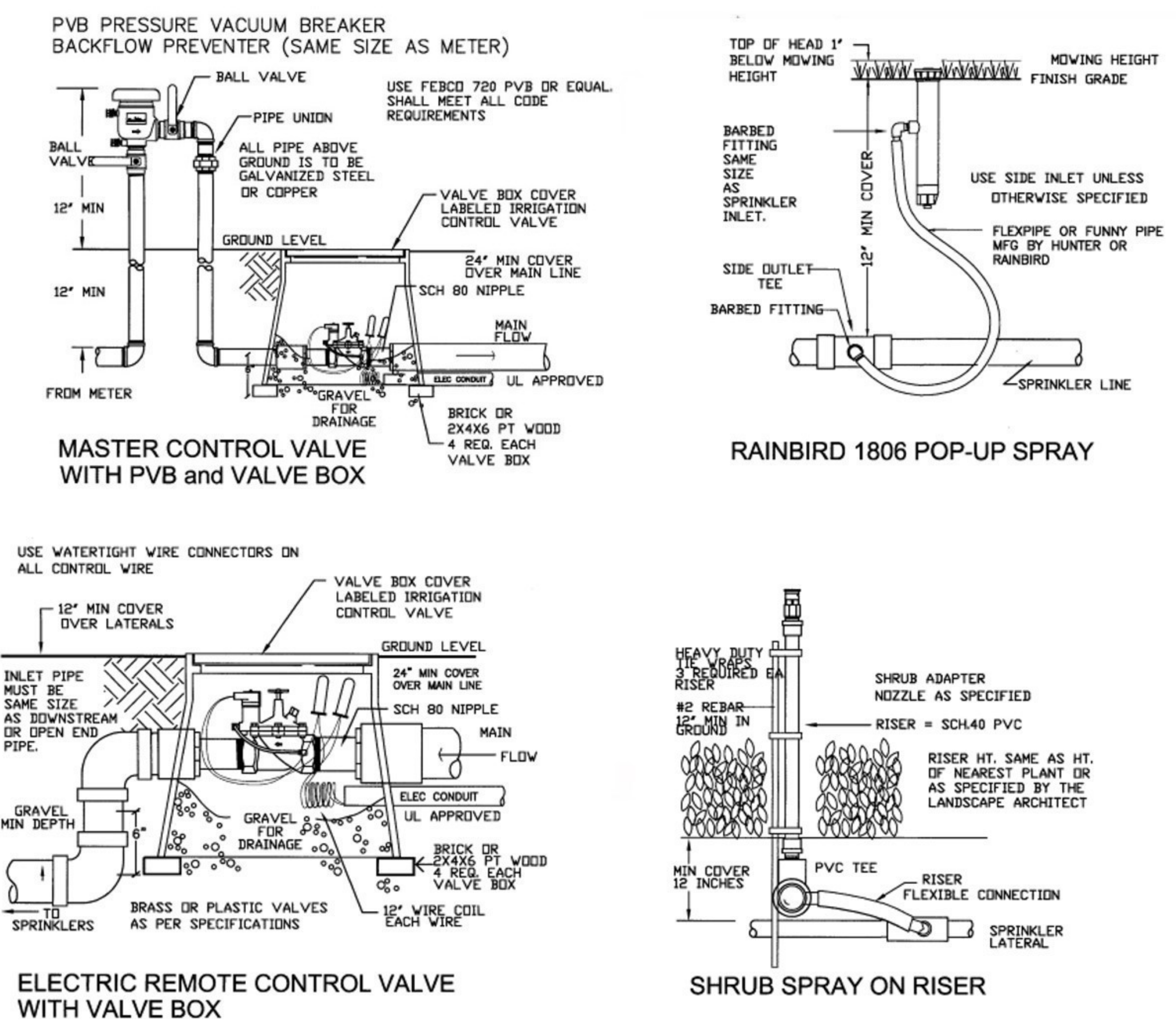
CONTRACTOR TO  
VERIFY LOCATION OF  
ALL UTILITIES  
PRIOR TO CONSTRUCTION

### NOTE:

IRRIGATION PLANS ARE SCHEMATIC IN NATURE ALL VALVES AND PIPES SHALL BE LOCATED IN LANDSCAPE AREAS EXCEPT AT ROAD/PAVING CROSSINGS. All construction minimums shall be in conformance to Plumbing section of the South Florida Building Code, Appendix "F". They shall also be equal to, or greater, than the "Standards" as set forth by the F.I.S. FLORIDA IRRIGATION SOCIETY. Nothing herein or contained in the specifications is intended to be in conflict with any code compliance. Contractor shall comply with all code requirements.



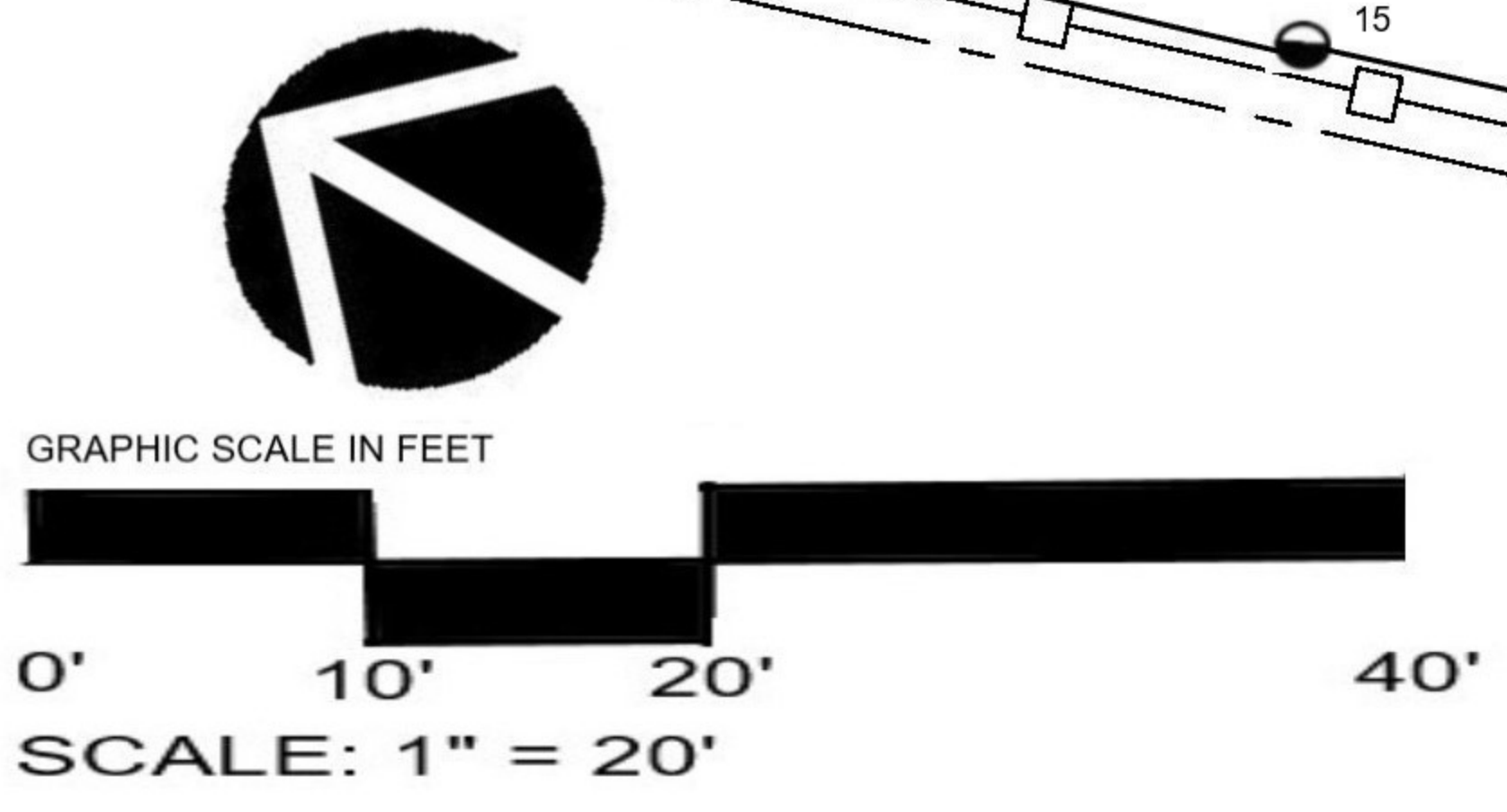
## IRRIGATION DETAILS



ZONE # 4  
24.61 GPM  
1" VALVE

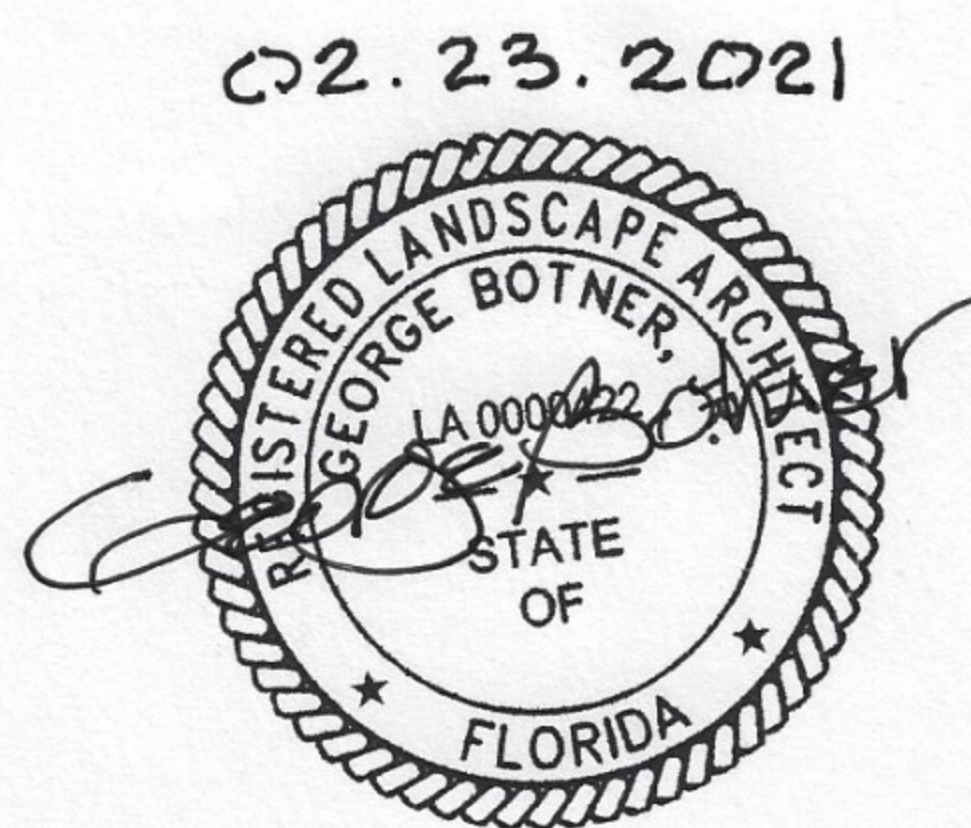
### IRRIGATION KEY

- POP-UP Rainbird 1806 Spray Heads Series 10, unless otherwise shown as Series 15 or 6
- FULL CIRCLE Rainbird A17H Shrub Nozzle
- ◐ 3/4 CIRCLE/ADJUSTABLE Rainbird A17AP Shrub Nozzle
- ◑ HALF CIRCLE Rainbird A17H Shrub Nozzle
- ◒ QUARTER CIRCLE Rainbird A17Q Shrub Nozzle
- ◔ BUBBLER Rainbird 5CSTB. To be used with Shrub Adapter PABS
- 15 or 6 = RADIUS OF THROW
- ⊗ 24 VOLT ELECTRIC CONTROL VALVE



PREPARED BY:  
**GEORGE BOTNER PLA AICP**  
LANDSCAPE ARCHITECTS & PLANNERS  
4320 SE COVE LAKE CIRCLE, SUITE 104, STUART, FL 34997. (772) 221-9558 CELL: (954) 798-7158  
botnerg@aol.com www.georgebotner.com

FL LA # 0000422



# RICHARD & DIANE SLATER RESIDENCE

1629 THUMB POINT DRIVE  
FORT PIERCE, FLORIDA

FEBRUARY 20, 2021

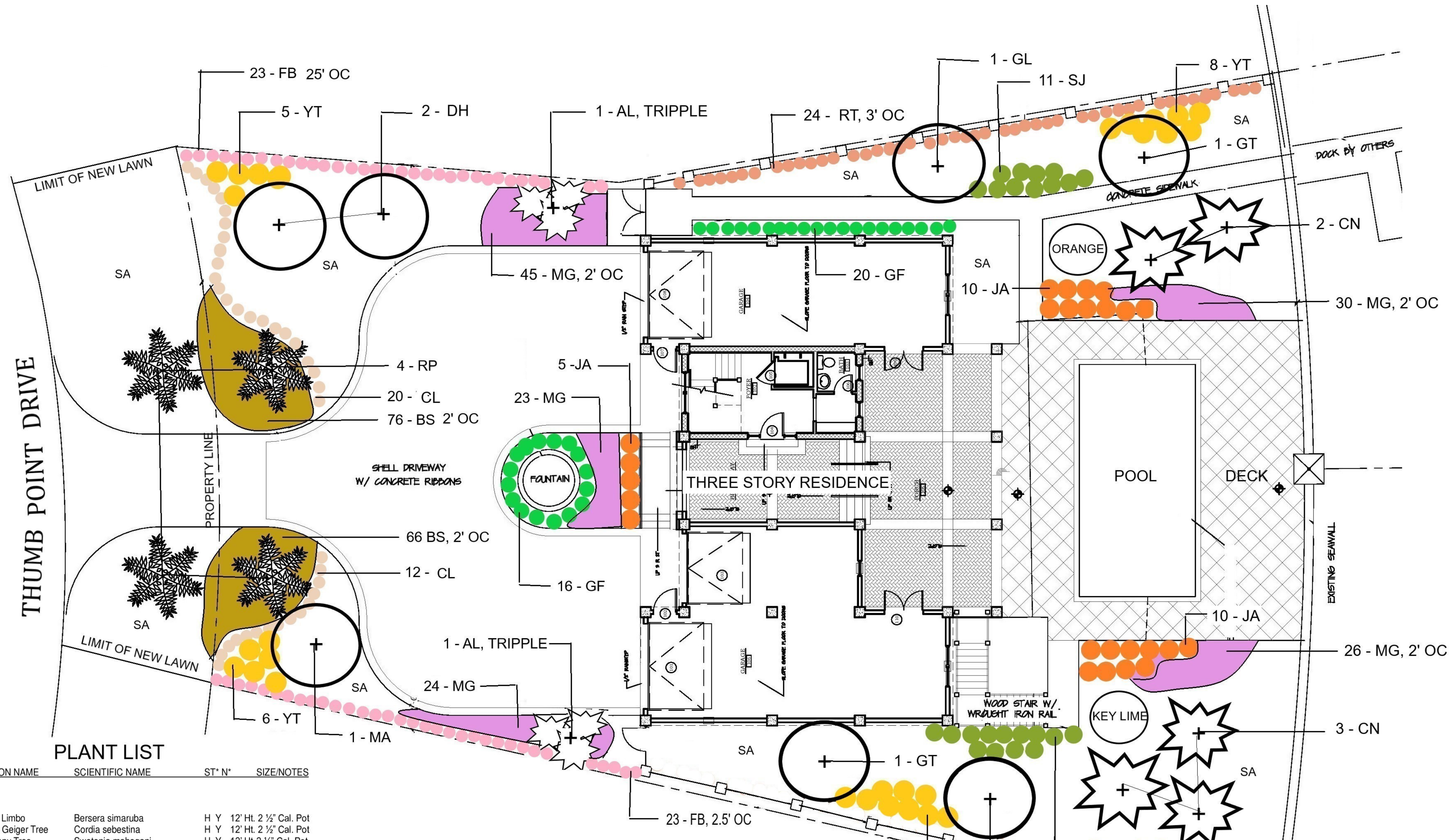
# PLANTING PLAN

## PLANTING SPECIFICATIONS

- All plant materials shall be Florida Number 1 as provided in the most current edition of the "Grades and Standards for Nursery Plants, Parts I & II" prepared by the state Department of Agriculture and Consumer Services.
- All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
- Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, Topsoil, Fertilizer, etc. shall be included in the unit cost of the plants.
- Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or Plant List, the plan takes precedence.
- All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded bark of eucalyptus or Floramulch grade "B" or better. Refer to the Plant List for the specified mulch type. Alternative mulch material is required to be approved by Landscape Architect.
- The Planting Plan shall be installed in compliance with all existing codes and applicable deed restrictions.
- PLANTING SOIL:** All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas.
- Planting soil to be a weed-free mixture of 50% sand and 50% much or other organic planting material suitable to the Landscape Architect.
- Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
- Contractor shall be responsible for providing final grading of all associated planting areas.
- After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off site.
- All planting holes to be hand dug except where machine dug holds will not adversely affect or damage utilities or improvements (see note 7).
- No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
- Contractor shall stake and guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during the Warranty Period and removal and disposal of staking after the establishment period.
- Fertilizer is required for plantings and shall be NPK 16-4-8 at 12.5 lbs/1000 s.f. or 345 lbs/acre. Nitrogen 50% slow release form and fertilizer to include secondary/minor micronutrients.
- SUBSTITUTIONS AND CHANGES:** All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Landscape Architect, the Owner and governing municipality.
- WATERING:** All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed and thereafter for a period of 2-months.
- All new plant material shall be guaranteed for 1-year from time of final acceptance of the project. Any plant material not in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10-days of notification. For all replacement plant material, the warranty period shall be extended an additional 45-days beyond the original warranty period. All trees that lean or are blown over, caused by winds less than 75-MPH, will be re-set and braced by the contractor at no additional cost to the Owner.
- The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown submitted.
- No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
- Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
- Root prune all field grown trees a minimum of 8-weeks prior to planting.

## GENERAL REQUIREMENTS

- All dimensions 6" and less are exaggerated for illustrative purposes only.
- Plant containers shall be removed prior to planting. If plants are not container grown, remove a minimum of the top 1/3 of burlap, fabric, or wire mesh. Never lift or handle the tree by the trunk.
- The uppermost root on all trees shall be covered by no more than 1" of soil. Use hand tools to carefully remove all excess soil. The top of root ball shall be set 1" - 2" above finish grade and set plumb to the horizon. If planting pit is too deep, remove the tree and firmly pack additional soil in the bottom of the planting pit to raise the rootball. After positioning the tree in the planting pit slice through rootballs with 3 or 4 vertical slices (top to bottom) equally distributed around the tree.
- Backfill shall be loosened existing soil. Remove rocks, sticks, or other deleterious material greater than 1" in any direction prior to backfilling. Water and tamp to remove air pockets. If existing soils contain excessive sand, clay, or other material not conducive to proper plant growth, contact Landscape Architect prior to planting.
- Soil rings shall be constructed of existing soil at the outer edge of the planting pit, with a height of 3" and gently sloping sides. Do not pile soil on top of rootball.
- Mulch shall be a 3" deep layer placed to the edge of the trunk flare, around the base of shrub, or solidly around groundcover. Never pile mulch against the plant trunk. Allow air to meet trunk of all plants.
- Straps shall be a minimum 1" wide nylon or polypropylene. All wood stakes or anchors shall be located beyond the edge of soil ring and located below finished grade, unless otherwise specified. Remove above ground guying systems at the end of the establishment period.

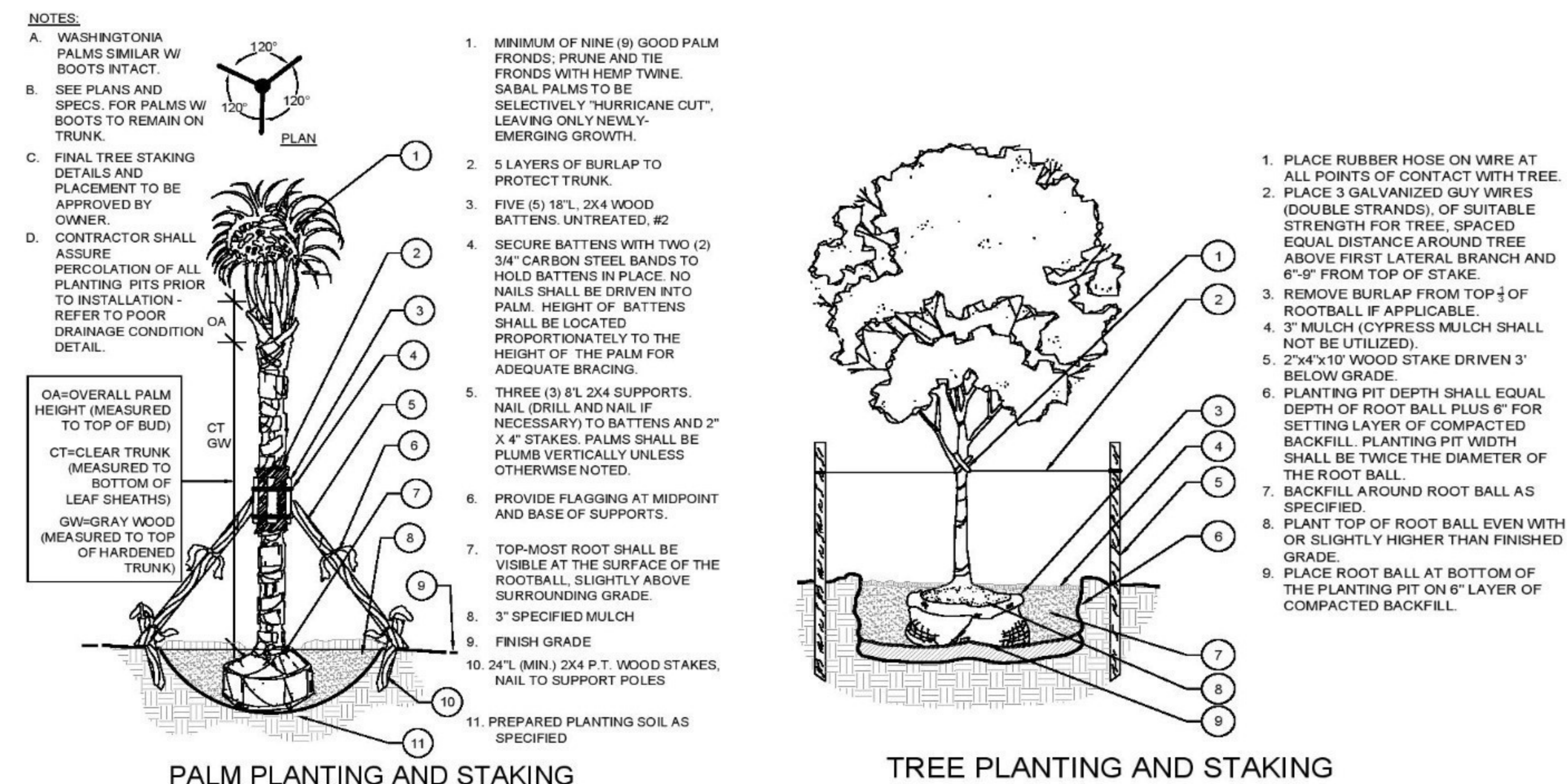


## PLANT LIST

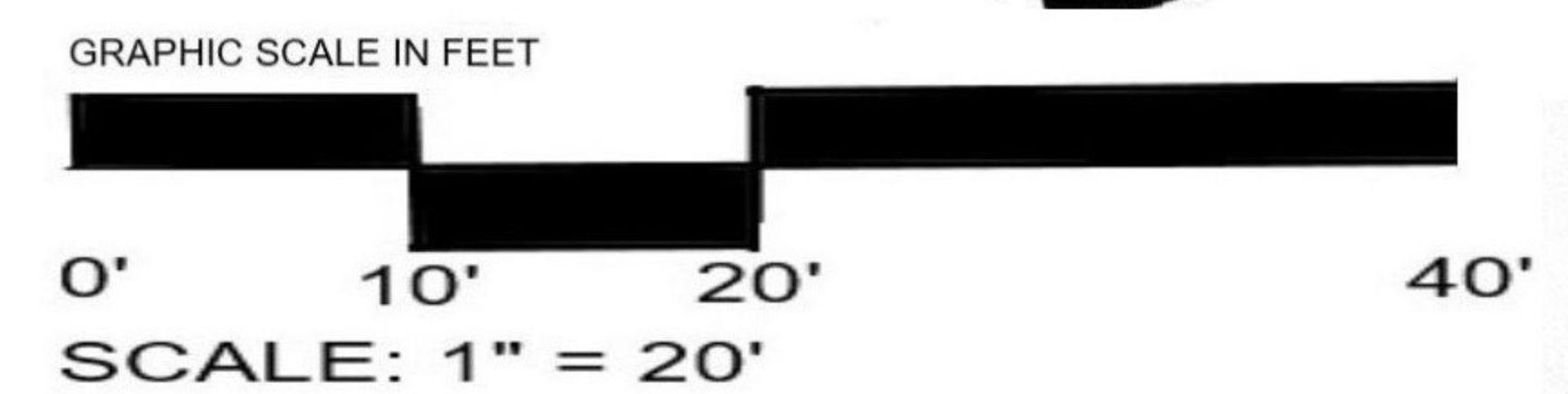
KEY	QTY	COMMON NAME	SCIENTIFIC NAME	ST' N'	SIZE/NOTES
<b>TREES</b>					
GL	1	Gumbo Limbo	Bersera simaruba	H Y	12' Ht. 2 1/2" Cal. Pot
GT	2	Orange Geiger Tree	Cordia sebestina	H Y	12' Ht. 2 1/2" Cal. Pot
MA	2	Mahogany Tree	Swetenia mahogany	H Y	12' Ht. 2 1/2" Cal. Pot
DH	2	Dahoon Holly	Ilex cassine	H Y	12' Ht. 2 1/2" Cal. Pot
<b>PALMS</b>					
AL	2	Alexander Palm, Tripplle	Ptychosperma elegans	M N	10' CT, Tripplle, B&B
CN	5	Maypan Coconut Palm	Cocos nucifera 'Maypan'	H N	5'-8' CT, B&B
RP	4	Royal Palm	Roystonea regia	M Y	5' GW, Matched
<b>SHRUBS</b>					
CL	32	Clusia Dwarf	Clusia guttifera	H N	3 Gal. 24" Ht.
FB	45	Firebush	Hamelia patens 'Compacta'	H Y	3 Gal. 24" Ht.
JA	25	Jatropha 'Compacta'	Jatropha integerrima 'Compacta'	M N	7 Gal. 30" Ht.
RT	24	Cocoplum 'Red Tip'	Chrysobalanus icaco 'Red Tip'	H Y	3 Gal. 24" Ht.
SJ	24	Star Jasmine	Jasminum nitidum	M N	3 Gal. 24" Ht.
YT	38	Yesterday, Today, Tomorrow	Brunfelsia grandiflora	M N	7 Gal. 30" Ht.
<b>GROUNDCOVERS, LAWN GRASS</b>					
BS	142	Beach (Dune) Sunflower	Helianthus debilis	H N	1 Gal.
GF	36	Green Island Ficus	Ficus microcarpus	M N	1 Gal.
MG	148	Muhly Grass	Muhlenbergia capillaris	H Y	1 Gal.
SA	-	St. Augustine 'Palmetto'	Stenotaphrum s. 'Palmetto'	H N	Solid Sod

\*Notes: ST = Salt Tolerance, High or Medium  
N = Florida Native, Yes or No

## PLANTING DETAILS



- PLACE RUBBER HOSE ON WIRE AT ALL POINTS OF CONTACT WITH TREE.
- PLACE 3 GALVANIZED GUY WIRES (DOUBLE STRANDED) OF SUITABLE STRENGTH FOR TREE. SPACED EQUAL DISTANCE AROUND TREE ABOVE FIRST LATERAL BRANCH AND 6" FROM TOP OF STAKE.
- REMOVE BURLAP FROM TOP 2" OF ROOTBALL IF APPLICABLE.
- 3" MULCH (CYPRESS MULCH SHALL NOT BE UTILIZED).
- 2"x4"x10' WOOD STAKE DRIVEN 3" BELOW GRADE.
- PLANTING PIT DEPTH SHALL EQUAL DEPTH OF ROOT BALL PLUS 8" FOR SETTING LAYER OF COMPACTED BACKFILL. PLANTING PIT WIDTH SHALL BE TWICE THE DIAMETER OF THE ROOT BALL.
- BACKFILL AROUND ROOT BALL AS SPECIFIED.
- PLANT TOP OF ROOT BALL EVEN WITH OR SLIGHTLY HIGHER THAN FINISHED GRADE.
- PLACE ROOT BALL AT BOTTOM OF THE PLANTING PIT ON 1" LAYER OF COMPACTED BACKFILL.



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