

CITY PLANNING BOARD

BOARD AGENDA

Planning Board Regular Meeting - Monday, May 10, 2021 - 2:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **APPROVAL OF MINUTES**
 - a. Minutes from the April 12, 2021 meeting
6. **NEW BUSINESS**
 - a. Annexation - 2261 Peters Road - Six (6) Parcels - Kings Highway Commerce Park
 - b. Conditional Use - Lucky 7 Arcade - 1702 Delaware Avenue
 - c. Conditional Use - Dwelling Rental - 1578 Thumb Point Drive
 - d. Text Amendment - Chapter 125-187 - Vehicle Sales / Service / Repair

7. **COMMENTS FROM THE PUBLIC**

Any person who wishes to comment on any subject may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Chair, as this section of the Agenda is limited to thirty minutes. The Planning Board will not be able to take any official actions under Comments from the Public. Speakers will address the Board and the Public with respect. Inappropriate language will not be tolerated.

8. **DIRECTOR'S REPORT**

9. **BOARD COMMENTS**

10. **ADJOURNMENT**

Any person seeking to appeal any decision by the Planning Board with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based. Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board

5. a.

Meeting Date: 05/10/2021

Information

REQUESTED ACTION

Minutes from the April 12, 2021 meeting

LOCATION

N/A

RESPONSIBLE STAFF

N/A

RECOMMENDATION

N/A

Attachments

Planning Board Minutes 4/12/21

Form Review

Form Started By: Alicia Rosenthal

Started On: 04/19/2021 12:24 PM

Final Approval Date: 04/19/2021

DRAFT



CITY OF FORT PIERCE PLANNING BOARD

Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON MONDAY, **APRIL 12, 2021**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Mr. Albury left the meeting at 2:55 PM.

Present: Harold Albury; Bob Burdge; Nichelle Clemons; Michael Broderick; Marcia Baker; Gloria Johnson-Scott; Frank Creyaufmiller, Chairman

Staff Present: Rebeca Guerra, Assistant Planning Director
Alicia Rosenthal, Executive Assistant
Brandon Creagan, Planner
Jennifer Hofmeister, Planning Director
Tanya Earley, Assistant City Attorney
Vennis Gilmore, Planner

4. **CONSIDERATION OF ABSENCES**

All members were in attendance.

5. **APPROVAL OF MINUTES**

a. Minutes from the March 8, 2021 meeting

Motion was made by Marcia Baker, and seconded by Nichelle Clemons to approve the minutes from the March 8, 2021 meeting.

AYE: Bob Burdge, Nichelle Clemons, Michael Broderick, Marcia Baker, Gloria Johnson-Scott, Harold Albury, Chairman Frank Creyaufmiller

Passed

6. NEW BUSINESS

a. Conditional Use with New Construction - Slater Residence - 1629 Thumb Point Drive

Mr. Gilmore gave an overview of the application and answered questions from the Board on residential and South Beach overlay height restrictions. Mr. Gilmore stated the request for an additional five (5) feet in height is for the desired interior design.

Richard Slater, applicant, provided the Board with additional information on why he wants to live in Fort Pierce on the waterfront.

Motion was made by Marcia Baker, and seconded by Bob Burdge to forward a recommendation of approval to the City Commission.

AYE: Nichelle Clemons, Michael Broderick, Marcia Baker, Gloria Johnson-Scott, Harold Albury, Bob Burdge, Chairman Frank Creyaufmiller

Passed

b. Development Review & Design Review - Bobcat of Treasure Coast - 4405 Prosperity Drive

Mr. Creagan gave an overview of the site plan and answered questions from the Board on sidewalks. He stated the current building is 5,667 square feet and the retail expansion will be 1,875 square feet and the porch expansion will be 1,125 square feet. He noted the equipment wash area will be 2,400 square feet.

Alejandra Molina-Jackson, Architect, stated the project has been approved through the county and the applicant will be providing appealing landscaping and lighting.

Motion was made by Bob Burdge, and seconded by Michael Broderick to forward a recommendation of approval to the City Commission.

AYE: Michael Broderick, Marcia Baker, Gloria Johnson-Scott, Harold Albury, Bob Burdge, Nichelle Clemons, Chairman Frank Creyaufmiller

Passed

7. COMMENTS FROM THE PUBLIC

There were no comments from the public.

8. DIRECTOR'S REPORT

Ms. Guerra and Mr. Broderick provided an update on the progress of the Short Term Rental Task Force Committee. Mr. Broderick noted that the City Commission will have to decide whether to keep the current Conditional Use process with an enhanced registration or abandon the Conditional Use process, which will allow short term dwelling rentals in the E-1 zoning district.

It was highlighted that the registration fees will come from the original application, renewals and the property manager registration. The goal of the fee is to properly fund staff positions to manage and enforce the process.

Chairman Creyaufmiller stated the Conditional Use process for short term dwelling rentals is broken and he suggested creating means of certification before an application can be considered.

Mr. Burdge suggested the renter pay a fee to the city in case Code Enforcement has to come out to the property.

Ms. Guerra stated the state restrictions on dwelling rentals for the City of Fort Pierce cannot be touched.

Ms. Guerra stated the State's restrictions on dwelling rentals limits the means by which the City of Fort Pierce can amend its current regulations for that use.

Board discussion ensued.

9. BOARD COMMENTS

Mr. Burdge asked if four hours of ethics training was needed to fill out the Financial Disclosure form and Ms. Earley stated the training was required for elected officials and not for volunteers on an advisory Board.

10. ADJOURNMENT

Planning Board

6. a.

Meeting Date: 05/10/2021

Information

REQUESTED ACTION

Annexation - 2261 Peters Road - Six (6) Parcels - Kings Highway Commerce Park

LOCATION

2261 Peters Road [six-(6) Parcels]

Parcel IDs:

1. 2324-241-0004-000-0
2. 2324-211-0001-000-6
3. 2324-214-0002-000-2
4. 2324-214-0001-000-5
5. 2324-241-0002-000-6
6. 2324-241-0003-000-3

RESPONSIBLE STAFF

Brandon C. Creagan, MCRP, LEED Green Associate, Planner

RECOMMENDATION

Approve

Attachments

Staff Report
Application & Supporting Documents
Aerial Map
Future Land Use Map
Zoning Map
TRC Comments

Form Review

Form Started By: Brandon Creagan
Final Approval Date: 05/04/2021

Started On: 05/03/2021 02:52 PM



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Jennifer Hofmeister, AICP, LCAM, Planning Director

FROM: Brandon C. Creagan, MCRP, LEED Green Associate, Planner

RE: **Application for Annexation
2261 Peters Road – Six (6) Parcels**

BOARD DATE: May 10, 2021

STAFF REPORT

**Property Owner/
Applicant** R.V. Development, LLC/Great American RV Prop LLC
547 Wash Roberts Lane
McMinnville, TN 37110

Grady Sapp
2421 Peters Road
Fort Pierce, FL 34945

Representative Jeff H. Iravani, Inc
1934 Commerce Lane, Suite 5
Jupiter, Florida 33458

Requested Action: Approval of a Voluntary Application for Annexation for six (6) parcels of land

Site Location: 2261 Peters Road Fort Pierce, Florida

Parcel ID: 2324-241-0004-000-0, 2324-211-0001-000-6, 2324-214-0002-000-2, 2324-214-0001-000-5, 2324-241-0002-000-6, & 2324-241-0003-000-3

Parcel Size: 17.83 acres

Current Future Land Use: Mixed Use (MXD)

Current Zoning: Single Family, 2 du/acre (RS-2)

Proposed Future Land Use: General Commercial (GC)

Proposed Zoning: Single Family, two (2) units per acre (E-2)

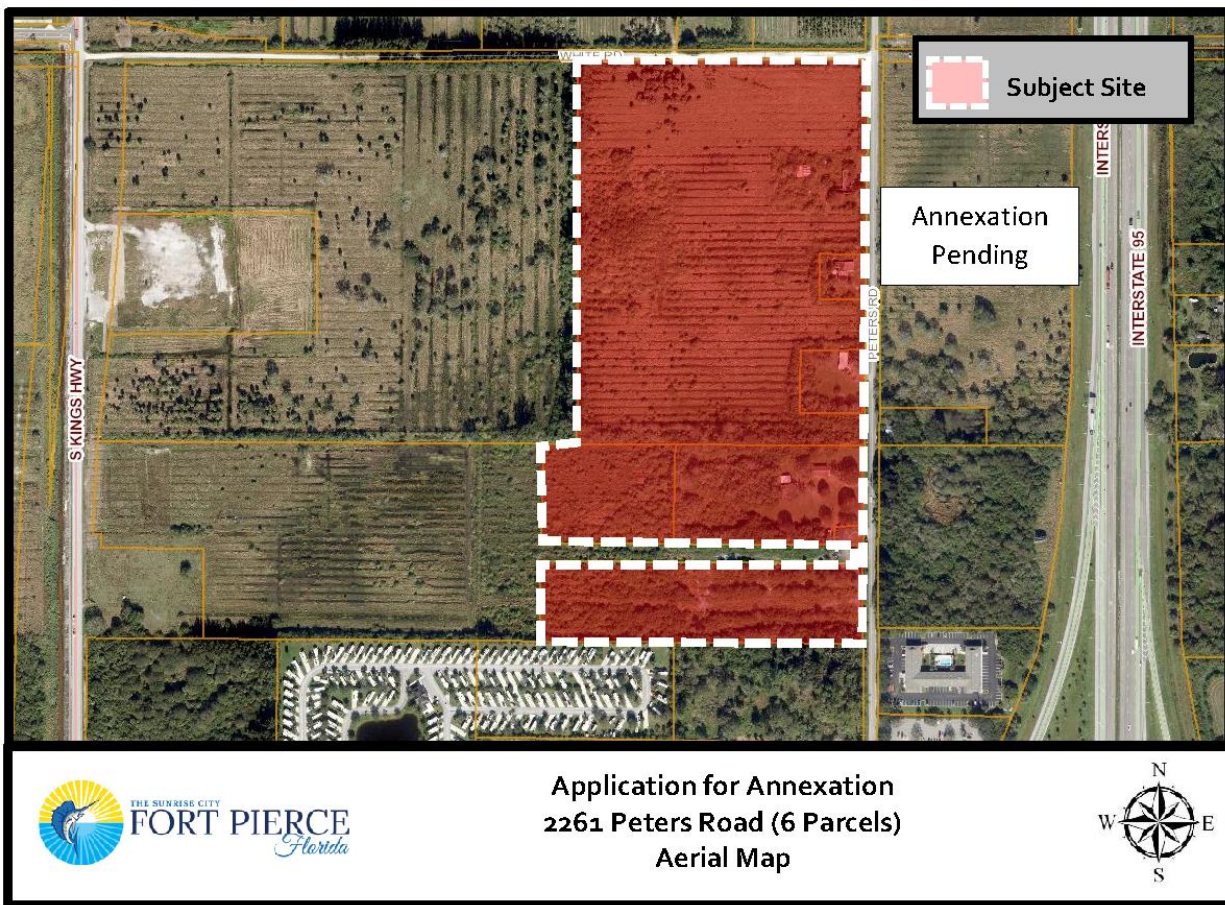
Utilities: FPUA

	North	East	South	West
Surrounding FLU:	RL (FP) RU (SLC)	MXD (SLC)	GC (FP)	GC (FP)
Surrounding Zoning:	E-2 (FP) AR-1 (SLC)	RS-2 (SLC)	C-3 (FP)	C-3 (FP)

Staff Analysis:

Request

The applicant is requesting a voluntary annexation of a property at 2192 Copenhaver Road in Fort Pierce, Florida. The parcel IDs are 2324-241-0004-000-0, 2324-211-0001-000-6, 2324-214-0002-000-2, 2324-214-0001-000-5, 2324-241-0002-000-6, & 2324-241-0003-000-3.



The subject properties have a St. Lucie County Future Land Use designation of Mixed Use (MXD) and a zoning designation of Single Family, 2 du/acre (RS-2). To ensure consistency with Policy 1.11.5 of the City's Comprehensive Plan, the proposed Future Land Use designation is General Commercial (GC) with a zoning classification of Single Family, two (2) units per acre (E-2).

The applicant has submitted a Zoning Atlas Map Amendment application to change the property to Commercial Parkway (CP-1) from Single Family, two (2) units per acre (E-2) once annexation is complete.

There are also applications for Development Review that have been submitted for a warehouse /flex space development. Pursuant to Comprehensive Plan policy 1.11.5 "properties annexed shall receive a land use designation compatible with the County land use designation, unless otherwise approved by the City Commission."

Staff has confirmed that the property is located within unincorporated St. Lucie County and is contiguous to the Fort Pierce City municipal boundary and within the FPUA service area. The subject proposed voluntary annexation is also consistent with Chapter 171.044, F.S., whereas the property is contiguous to a municipality and reasonably compact; and the annexation will not result in the creation of an enclave.

The current combined taxable value of the properties is \$319,542. Should the Application for Annexation be approved it could create a new source of ad-valorem tax revenue annually to the City of Fort Pierce if developed, depending on the millage rate per year, which currently is 6.9000. Currently the properties are vacant.

Comprehensive Plan

Staff has reviewed the Comprehensive Plan and finds the proposed annexation is consistent with the following Objectives and Policies:

Objective 1.11 of the Comprehensive Plan: "Annex properties within the Fort Pierce Utilities Authority Boundary in an orderly manner that promotes efficiency of public service provision and economic vitality of the City."

The property is within the FPUA service boundary. Policy 1.11.1 of the City Comprehensive Plan: "The City shall evaluate proposed annexations within the urban service boundary based upon the following criteria:

1. The ability of the City to provide public services at a level equal to or better than that available from the current service providers;
2. The ability of the City to provide public services at the City's adopted levels of service;
3. Whether the annexation would eliminate an unincorporated island or could be expanded to eliminate an unincorporated island; and
4. Whether the annexation would eliminate an irregularity or irregularities in the City's boundaries, thereby improving service delivery".

The subject property is in an area that consists of properties that are within both the St. Lucie County and the City of Fort Pierce jurisdictions. These properties abut property to the south and west that are within the City limits. The properties to the east are also being brought into the City limits through the voluntary annexation process. The annexation of this property would assist in the City's effort to eliminate jurisdictional irregularities along the City's boundary and provide more efficient public services. The applicant is requesting that the City of Fort Pierce Future Land Use be designated as General Commercial (GC) upon annexation as the current County Future Land Use of Mixed Use (MXD) is not compatible with their development submittal and thus not compatible with the Comprehensive Plan. Policy 1.11.5 of the Comprehensive Plan guides that the City Commission does have the ability to grant this request to designate an alternative Future Land Use to maintain consistency with our Comprehensive Plan.

The Zoning proposed allows for the map amendment to be changed to the County compatible Zoning of Single Family, two (2) units per acre (E-2). The applicant has submitted applications to change the properties to a zoning district that is compatible with the General Commercial (GC) Future Land Use. Thereby, the requested Future Land Use and Zoning Designations of GC and E-2, respectively, would be consistent with Policy 1.11.5. Pursuant to the Future Land Use Element of the Comprehensive Plan, annexations are reviewed for fiscal impacts, the effect upon adopted level of service standards for public facilities, and the elimination of the municipal boundary irregularities to improve service delivery.

Public Notification

In accordance with Policy Section 4.1.1 of the Joint Planning Agreement between the City of Fort Pierce and St. Lucie County, the City Planning Department will provide notice of this annexations by mail to the St. Lucie County Administrator's Office on or before May 22, 2021, no fewer than thirty (30) days prior to the first reading of this annexation by the City Commission.

Technical Review Committee

All affected Departments have reviewed the submittals and provided comments regarding the proposed voluntary annexation application based on compliance with the requirements of the City Code and Comprehensive Plan and have no objections. The comments generated from the technical review and any responses by the applicant have been provided.

Staff Recommendation

As proposed, the annexation meets the standards of the City's Comprehensive Plan, specifically Policy Section 1.11 regarding annexations. Planning Staff recommends that the Planning Board recommend approval of the proposed annexation along with the Future Land Use designation of GC and the Zoning designation of E-2.



APPLICATION FOR ANNEXATION

Annexation applications will require the adoption of an ordinance which will require a public meeting before the Planning Board and two public hearings before the City Commission.

Application submission shall include the following:

- **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

In addition to a complete application, packets shall include:

- Warranty Deed
- Current Survey (completed within the last 12 months)

1. Address: S Kings HWY

2. Legal description of real property for which annexation is being requested:
See attached property appraiser information

Property Tax ID: 2324-241-0004-000-0

3. Size of described property: 10.29

4. Project description: Warehouse and Distribution

5. Current St. Lucie County Future Land Use Designation: FLU MXD

6. Current St. Lucie County Zoning: RS-2

7. Is this a Historic property? No

8. Appraised value: \$668,850

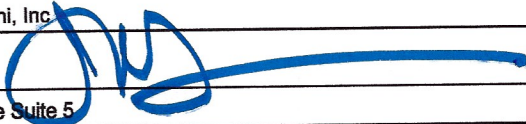
9. Name of Owner(s): Great American RV Prop, LLC

Signature of Owner(s): JAMES A WYNNE III, MANAGING PARTNER

Mailing Address: 547 Wash Roberts Lane

City MCMinnville State Tennessee Zip 37110

Phone 5615756030 954-214-4553 Fax 5615756088 N/A

10. Name of Representative: Jeff H. Irvani, Inc.
Signature of representative: 
Mailing Address: 1934 Commerce Lane Suite 5
City) Jupiter State FL Zip 33458
Phone 561-575-6030 Fax 561-575-6088
E-mail: jhi@bellsouth.net

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

OFFICE USE:		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	

Great American RV Prop, LLC
547 Wash Roberts LN
McMinnville, TN 37110

February 16, 2021

Parcel ID # 2324-241-0004-000-0
Kings Highway Commerce Park
Southeast corner of Kings Highway and White Road
Fort Pierce, Florida

To Whom It May Concern:

Great American RV Prop, LLC, the owner of the above referenced parcels, hereby authorizes Jeff H. Irvani, Inc to be the applicant to obtain all the required site and subdivision plans approvals and civil permits for the above referenced project.

Sincerely,

Signature: _____

Name: _____

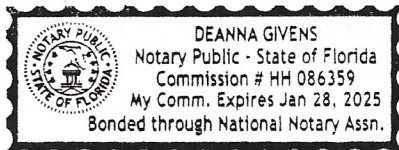
Title: _____

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 19th day of February, 2021, by James A. Myrre II who is personally known to me (or) produced a drivers' license as identification and who did (did not) take an oath.

Deanna Givens
Notary Public

Seal

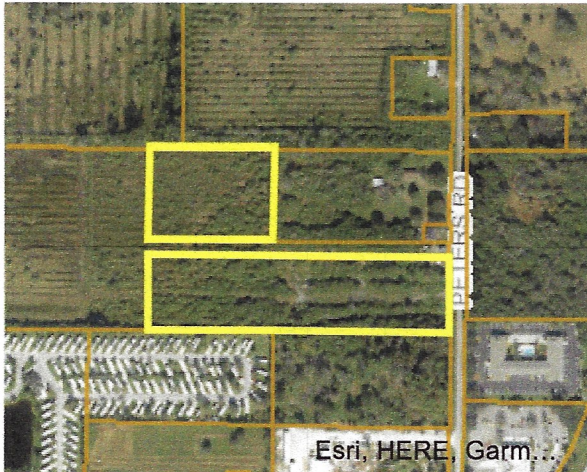




Saint Lucie County Property Appraiser
Michelle Franklin CFA

Report generated: Tuesday, February 16, 2021

Parcel Report



Parcel

PARCELNO: 2324-241-0004-000-0
Property ID: 153212
Owner1: Great American RV Prop LLC
SiteAddress: S KINGS HWY

PARCELNO: 2324-241-0004-000-0
Property ID: 153212
Owner1: Great American RV Prop LLC
SiteAddress: S KINGS HWY

Owner

Owner1: Great American RV Prop LLC
Owner2:
Owner3:
MailingAddress: %Bud Wynne 547 Wash Roberts Ln McMinnville, TN 37110-4971

Owner1: Great American RV Prop LLC
Owner2:
Owner3:
MailingAddress: %Bud Wynne 547 Wash Roberts Ln McMinnville, TN 37110-4971

Legal Description

LegalDescription: 24 35 39 W 455.58 FT OF E 1118.54 FT OF N 1/2 OF S 1/2 OF NW 1/4 AND W 1088.54 FT OF E 1118.54 FT OF S 264.18 FT OF S 1/2 OF N 1/2 OF S 1/2 OF NW 1/4 OF SEC (10.29 AC) (OR 1798-2252)

LegalDescription: 24 35 39 W 455.58 FT OF E 1118.54 FT OF N 1/2 OF S 1/2 OF NW 1/4 AND W 1088.54 FT OF E 1118.54 FT OF S 264.18 FT OF S 1/2 OF N 1/2 OF S 1/2 OF NW 1/4 OF SEC (10.29 AC) (OR 1798-2252)

Overview

PrimaryLandUse: 6000 - GRZNG SLD CP
DistrictGroup: 0002 - Saint Lucie County
Subdivision: Metes and Bounds
Just/Market Value: \$668,850
FinishedArea:
Acres: 10.29
TotalArea: 448,232

PrimaryLandUse: 6000 - GRZNG SLD CP
DistrictGroup: 0002 - Saint Lucie County
Subdivision: Metes and Bounds
Just/Market Value: \$668,850
FinishedArea:
Acres: 10.29
TotalArea: 448,232

Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2020	\$668,850	\$0	\$668,850	\$0	\$2,830	\$0	\$2,830	\$0	\$666,020
2019	\$668,850	\$0	\$668,850	\$0	\$2,830	\$0	\$2,830	\$0	\$666,020
2018	\$668,850	\$0	\$668,850	\$0	\$2,830	\$0	\$2,830	\$0	\$666,020

Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

Special Assessments

Description	Start Year	Units	Amount
North St. Lucie Water Management District	2013	10.29	\$190.36

Improvements

Building Sequence:	1
Bedrooms:	0
Bathrooms:	0
Building Type:	-
Story Height:	
No of Living Units:	
Total Finished Area:	0
Gross Sketched Area:	0
Year Built:	
Effective Year:	
Primary Roof Cover:	
Primary Roof Structure:	
Primary Wall:	
A/C %:	0

Land Lines

Line Number	Units	Unit Type
1	10.29	MACR
2	10.29	CACR

Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
09/12/2003	\$375,000	XX00	WD	Blake Glenn M	1798-2252	Clerk of Courts
02/25/2000	\$526,300	XX01	TR	Wolf William L	1282-194	Clerk of Courts

Photos



Grady Sapp
2421 Peters Road
Fort Pierce, FL 34945

February 16, 2021

RE: Parcel ID # 2324-241-0002-000-6

Kings Highway Commerce Park
Southeast corner of Kings Highway and White Road
Fort Pierce, Florida

To Whom It May Concern:

Grady Sapp, the owner of the above referenced parcel, hereby authorizes Jeff H. Irvani, Inc to be the applicant to obtain all the required site and subdivision plans approvals and civil permits for the above referenced project.

Sincerely,

Signature: [Handwritten Signature]

Name: Grady Sapp

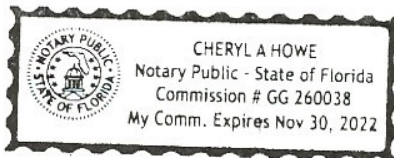
Title: owner

STATE OF FLORIDA
COUNTY OF PALM BEACH St Lucie

The foregoing instrument was acknowledged before me this 26th day of February, 2021, by Grady Sapp who is personally known to me (or) produced a drivers' license as identification and who did (did not) take an oath.

[Handwritten Signature]
Notary Public

Seal





APPLICATION FOR ANNEXATION

Annexation applications will require the adoption of an ordinance which will require a public meeting before the Planning Board and two public hearings before the City Commission.

Application submission shall include the following:

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In addition to a complete application, packets shall include:

- Warranty Deed
- Current Survey (completed within the last 12 months)

1. Address: 2421 Peters Road, Fort Pierce, FL

2. Legal description of real property for which annexation is being requested:
See attached property appraiser information

Property Tax ID: 2324-241-0002-000-6

3. Size of described property: 4.64

4. Project description: Warehouse and Distribution

5. Current St. Lucie County Future Land Use Designation: FLU MXD

6. Current St. Lucie County Zoning: RS-2

7. Is this a Historic property? No

8. Appraised value: \$401,400

9. Name of Owner(s): Grady Sapp

Signature of Owner(s): X *Grady Sapp*

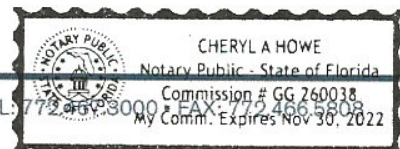
Mailing Address: 2421 Peters Road

City Fort Pierce State Florida Zip 34945

Phone 5615756030 Fax 5615756088

*Grady Sapp - owner
State of: Florida
County of: St. Lucie 2/16/21*

Cheryl A Howe



10. Name of Representative: Jeff H. Irvani, Inc

Signature of representative: _____

Mailing Address: 1934 Commerce Lane Suite 5

City) Jupiter

State FL

Zip 33458

Phone 561-575-6030

Fax 561-575-6088

E-mail: jhi@bellsouth.net

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

OFFICE USE:

DATE RECEIVED: _____

Signed: _____

File Number: _____

Check No: _____

Receipt No: _____

TRC Review: _____

Planning Board Review: _____

City Commission: _____

Ordinance No: _____

Date Approved: _____

**RV Development, LLC
547 Wash Roberts LN
McMinnville, TN 37110**

February 16, 2021

RE: Parcel ID #'s

2324-211-0001-000-6

2324-214-0001-000-5

2324-214-0002-000-2

2324-241-0003-000-3

Kings Highway Commerce Park

Southeast corner of Kings Highway and White Road

Fort Pierce, Florida

To Whom It May Concern:

RV Development, LLC, the owner of the above referenced parcels, hereby authorizes Jeff H. Irvani, Inc to be our authorized agent to obtain all the required annexation, rezoning, site plan approvals & civil related permits and to sign on our behalf on all applicable applications for the above referenced project.

Sincerely,

Signature: _____

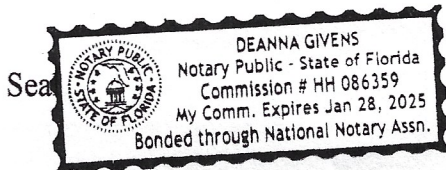
Name: _____

Title: _____

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 19th day of February, 2021, by James A Wynne II who is personally known to me (or) produced a drivers' license as identification and who did (did not) take an oath.

Deanna Givens
Notary Public





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- Current Survey (completed within the last 12 months)

1. Address: See attached property appraiser information

2. Legal description of real property for which annexation is being requested:
See attached property appraiser information

Property Tax ID: See attached property appraiser information

3. Size of described property: 28.58 acres

4. Project description: Warehouse and Distribution

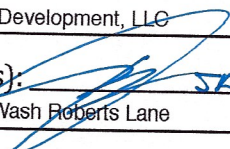
5. Current St. Lucie County Future Land Use Designation: FLU MXD

6. Current St. Lucie County Zoning: RS-2

7. Is this a Historic property? No

8. Appraised value: 4 Parcel appraised value is \$1,917,100

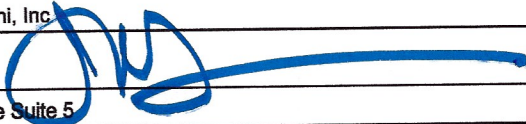
9. Name of Owner(s): RV Development, LLC

Signature of Owner(s):  JAMES A WYNNE III, MANAGING PARTNER

Mailing Address: 547 Wash Roberts Lane

City MC Minnville State Tennessee Zip 37110

Phone 5615756030 - 954-214-4553 Fax 5615756088 - N/A

10. Name of Representative: Jeff H. Irvani, Inc.
Signature of representative: 
Mailing Address: 1934 Commerce Lane Suite 5
City) Jupiter State FL Zip 33458
Phone 561-575-6030 Fax 561-575-6088
E-mail: jhl@bellsouth.net

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

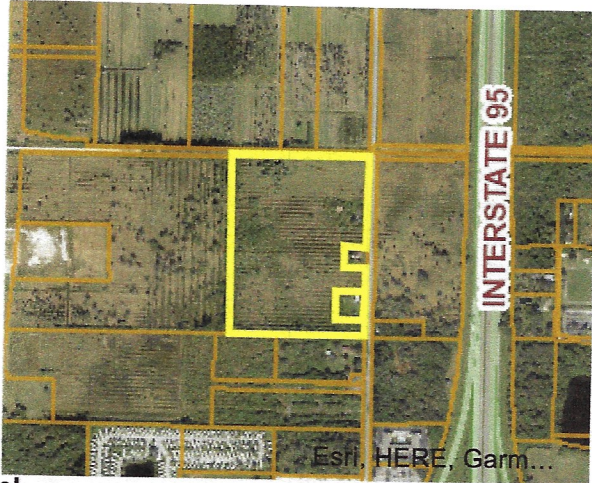
OFFICE USE:		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	



Saint Lucie County Property Appraiser
-Michelle Franklin CFA

Report generated: Tuesday, February 16, 2021

Parcel Report



Parcel

PARCELNO: 2324-211-0001-000-6
Property ID: 14253
Owner1: RV Development LLC
SiteAddress: 2261 PETERS RD

Owner

Owner1: RV Development LLC
Owner2:
Owner3:
MailingAddress: %Bud Wynne 547 Wash Roberts Ln McMinnville, TN 37110-4971

Legal Description

LegalDescription: 24 35 39 E 3/4 OF NE 1/4 OF NW 1/4-LESS TRACT 150 FT X 155 FT AS IN DBK 206-141 AND IN OR 492-1228 AND LESS TRACT 208.71 FTX 208.71 FT AS IN DBK 207-165 AND LESS N 35 FT AND LESS E 25 FT- (26.91 AC) (OR 1868-2876 thru 2879 ERROR IN LEGAL)

Overview

PrimaryLandUse: 6000 - GRZNG SLD CP
DistrictGroup: 0002 - Saint Lucie County
Subdivision: Metes and Bounds
Just/Market Value: \$1,634,000
FinishedArea: 1,946
Acres: 26.91
TotalArea: 1,172,199.6

Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2020	\$1,634,000	\$2,200	\$1,629,600	\$2,200	\$83,735	\$0	\$83,735	\$2,790	\$1,547,475
2019	\$1,633,300	\$1,500	\$1,629,600	\$2,200	\$83,589	\$0	\$83,589	\$2,236	\$1,547,475
2018	\$1,632,300	\$1,600	\$1,629,600	\$1,100	\$83,456	\$0	\$83,456	\$1,369	\$1,547,475

Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

Special Assessments

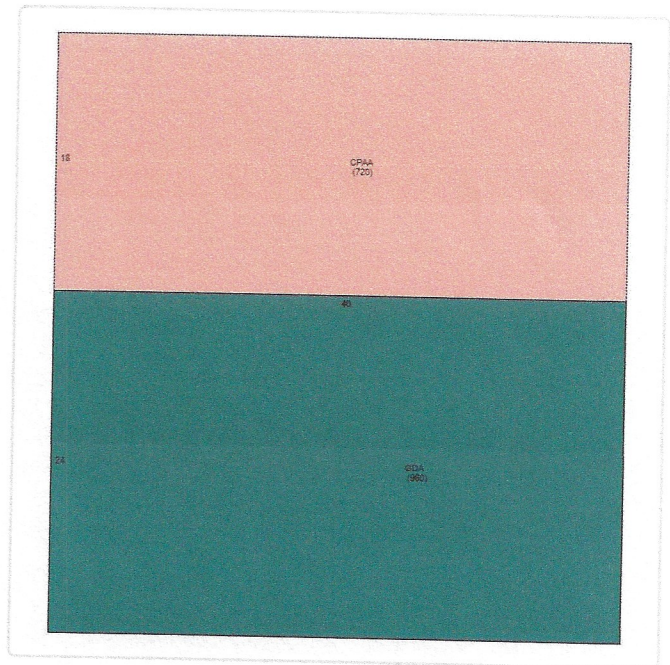
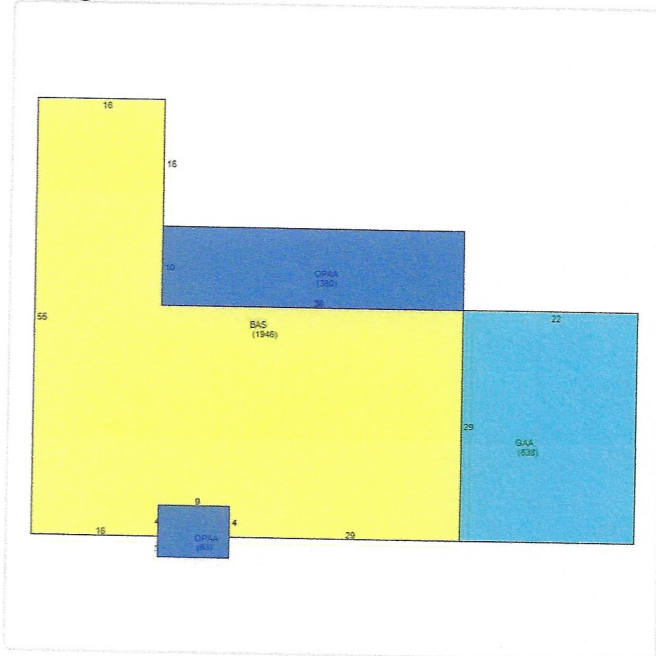
Description	Start Year	Units	Amount
North St. Lucie Water Management District	2013	26.91	\$497.84
County Solid Waste	2009	12	\$276.14

Improvements

Building Sequence: 1
Bedrooms: 0
Bathrooms: 2
Building Type: HD- -
Story Height: 1 Story
No of Living Units: 1
Total Finished Area: 1,946
Gross Sketched Area: 3,027
Year Built: 1966
Effective Year: 1966
Primary Roof Cover: Fibrglss Shg
Primary Roof Structure: Gable
Primary Wall: CB Stucco
A/C %: 0

Building Sequence: 2
Bedrooms: 0
Bathrooms: 0
Building Type: DGAR - Detached Garage
Story Height: 1 Story
No of Living Units: 0
Total Finished Area: 0
Gross Sketched Area: 1,680
Year Built: 1966
Effective Year: 1926
Primary Roof Cover: Fibrglss Shg
Primary Roof Structure: Gable
Primary Wall: CB Stucco
A/C %:

Building Sketches



Sub Area

Building Sequence	Sketch Area Code	Description	Finished Area	Gross Area
1	OPAA	Open Porch Attached Average	0	443
1	GAA	Garage Attached Average	0	638
1	BAS	BASE AREA	1,946	1,946
2	GDA	Garage Detached Average	0	960
2	CPAA	Carport Attached Average	0	720

SFYI

Description	Units	Year Built
RESIDENTIAL SWIMMING POOL AVG QUALITY/MODERATE TRI	330	1977
POOL DECK AVERAGE QUALITY	510	1977

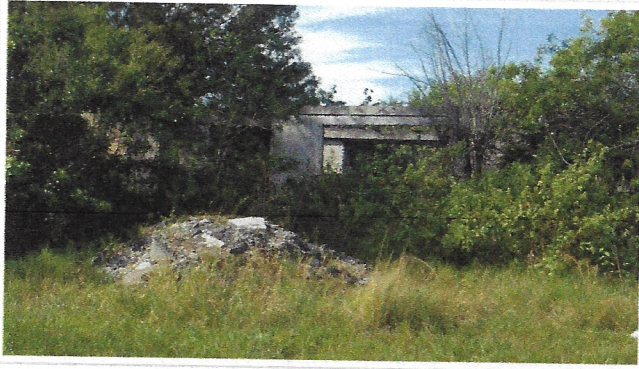
Land Lines

Line Number	Units	Unit Type
1	25.91	MACR
2	1	Acre
3	25.91	CACR

Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
12/22/2003	\$168,200	XX04	WD	Fuller Melanie	1868-2879	Clerk of Courts
12/22/2003	\$168,200	XX04	WD	Fuller Melanie	1868-2878	Clerk of Courts
12/22/2003	\$168,200	XX04	WD	Fuller Melanie	1868-2877	Clerk of Courts
12/22/2003	\$168,200	XX04	WD	Fuller Melanie	1868-2876	Clerk of Courts
02/13/2003	\$0	XX01	PB	Vachon (EST) Rita C	1667-231	Clerk of Courts
01/01/1900	\$0					Clerk of Courts

Photos





Saint Lucie County Property Appraiser
Michelle Franklin CFA

Report generated: Tuesday, February 16, 2021

Parcel Report



Parcel

PARCELNO: 2324-214-0001-000-5
Property ID: 14255
Owner1: R V Development Llc
SiteAddress: 2315 PETERS RD

Owner

Owner1: R V Development Llc
Owner2:
Owner3:
MailingAddress: %Bud Wynne 547 Wash Roberts Ln McMinnville, TN 37110-4971

Legal Description

LegalDescription: 24 35 39 FROM INTERIOR 1/4 SEC COR RUN N ALG E LI OF NW 1/4 1790.5 FT, TH W 25 FT FOR POB, TH RUN W 155 FT, TH N 150 FT, TH E 155 FT, TH S 150 FT TO POB (0.53 AC) (OR 1828-2808)

Overview

PrimaryLandUse: 0100 - SF Res
DistrictGroup: 0002 - Saint Lucie County
Subdivision: Metes and Bounds
Just/Market Value: \$57,800
FinishedArea: 1,962
Acres: 0.53
TotalArea: 23,086.8

Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2020	\$57,800	\$4,800	\$53,000	\$0	\$45,786	\$0	\$45,786	\$12,014	\$0
2019	\$57,700	\$4,700	\$53,000	\$0	\$41,624	\$0	\$41,624	\$16,076	\$0
2018	\$57,800	\$4,800	\$53,000	\$0	\$37,840	\$0	\$37,840	\$19,960	\$0

Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)
[Download TRIM notice for this parcel](#)

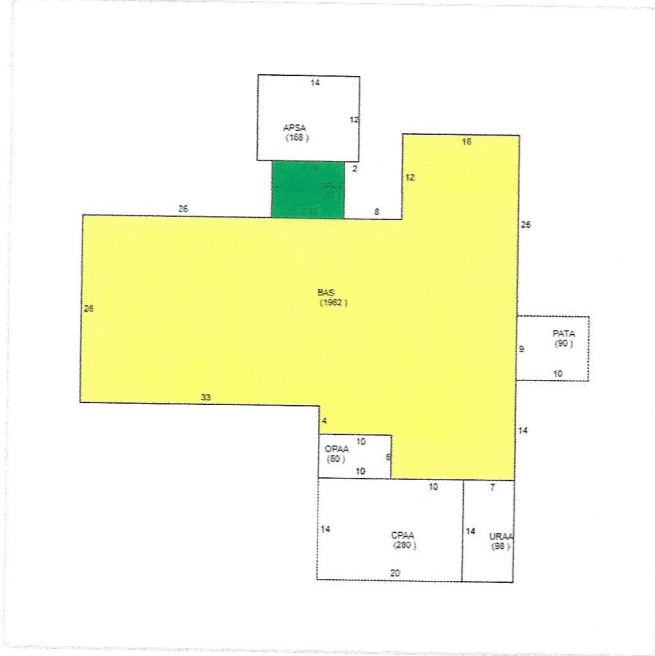
Special Assessments

Description	Start Year	Units	Amount
North St. Lucie Water Management District	2013	0.53	\$25.00
County Solid Waste	2009	12	\$276.14

Improvements

Building Sequence: 1
Bedrooms: 3
Bathrooms: 2
Building Type: HD -
Story Height: 1 Story
No of Living Units: 1
Total Finished Area: 1,962
Gross Sketched Area: 2,738
Year Built: 1956
Effective Year: 1956
Primary Roof Cover: Roll Comp
Primary Roof Structure: Flat/Shed
Primary Wall: Conc Block
A/C %: 100

Building Sketches



Sub Area

Building Sequence	Sketch Area Code	Description	Finished Area	Gross Area
1	URAA	Utility Room Attached Average	0	98
1	SPAA	Screen Porch Attached Average	0	80
1	PATA	Patio Average (Plain Slab)	0	90
1	OPAA	Open Porch Attached Average	0	60
1	CPAA	Carport Attached Average	0	280
1	BAS	BASE AREA	1,962	1,962
1	APSA	Aluminium Porch (Screen) Average	0	168

Land Lines

Line Number	Units	Unit Type
1	0.53	Acre

Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
09/26/2003	\$90,000	XX00	WD	Swiatocha Frances A	1828-2808	Clerk of Courts
03/01/1986	\$65,000	XX00	CV		493-822	Clerk of Courts

Photos





Saint Lucie County Property Appraiser
Michelle Franklin CFA

Report generated: Tuesday, February 16, 2021

Parcel Report



Parcel

PARCELNO: 2324-214-0002-000-2
Property ID: 14256
Owner1: RV Development LLC
SiteAddress: 2371 PETERS RD

Owner

Owner1: RV Development LLC
Owner2:
Owner3:
MailingAddress: %Bud Wynne 547 Wash Roberts Ln McMinnville, TN 37110-4971

Overview

PrimaryLandUse: 0100 - SF Res
DistrictGroup: 0002 - Saint Lucie County Metes and Bounds
Subdivision: Metes and Bounds
Just/Market Value: \$152,000
FinishedArea: 1,450
Acres: 1
TotalArea: 43,560

Legal Description

LegalDescription: 24 35 39 FROM SE COR OF NE 1/4 OF NW 1/4 RUN N 100 FT, TH W 30 FT FOR POB, TH CONT W 208.71 FT, TH N 208.71 FT, TH E 208.71 FT, TH S 208.71 FT TO POB (1.00 AC) (OR 1959-2516)

Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2020	\$152,000	\$77,000	\$75,000	\$0	\$126,578	\$0	\$126,578	\$25,422	\$0
2019	\$154,300	\$79,300	\$75,000	\$0	\$115,071	\$0	\$115,071	\$39,229	\$0
2018	\$150,000	\$75,000	\$75,000	\$0	\$104,610	\$0	\$104,610	\$45,390	\$0

Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

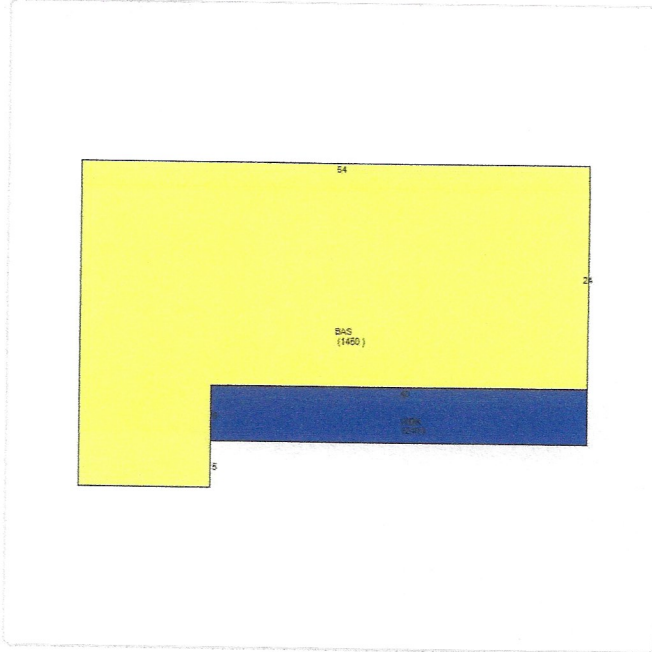
Special Assessments

Description	Start Year	Units	Amount
North St. Lucie Water Management District	2013	1	\$25.00
County Solid Waste	2009	12	\$276.14

Improvements

Building Sequence: 1
Bedrooms: 3
Bathrooms: 1
Building Type: HC- -
Story Height: 1 Story
No of Living Units: 1
Total Finished Area: 1,450
Gross Sketched Area: 1,690
Area:
Year Built: 1957
Effective Year: 1987
Primary Roof Cover: Metal
Primary Roof: Gable
Structure:
Primary Wall: CB Stucco
A/C %: 0

Building Sketches



Sub Area

Building Sequence	Sketch Area Code	Description	Finished Area	Gross Area
1	WDK	WOOD DECK	0	240
1	BAS	BASE AREA	1,450	1,450

Land Lines

Line Number	Units	Unit Type
1	1	Acre

Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
04/30/2004	\$235,000	XX00	WD	Norvell John W	1959-2516	Clerk of Courts
09/18/1992	\$55,000	XX00	WD	Norvell William G	808-792	Clerk of Courts
03/01/1984	\$38,500	XX00	CV		426-1709	Clerk of Courts

Photos

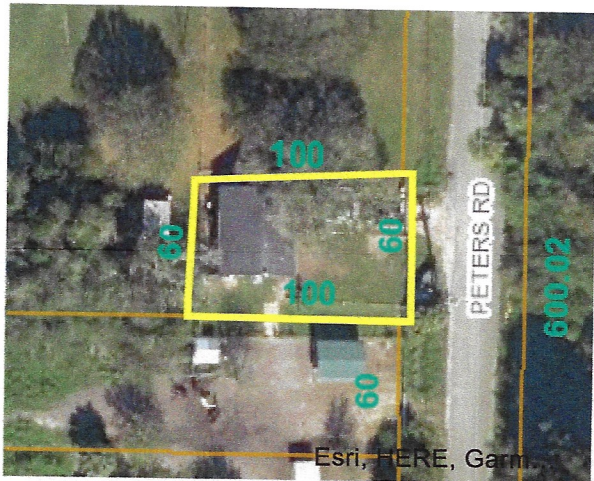




Saint Lucie County Property Appraiser
-Michelle Franklin CFA

Report generated: Tuesday, February 16, 2021

Parcel Report



Parcel

PARCELNO: 2324-241-0003-000-3
Property ID: 14263
Owner1: RV Development LLC
SiteAddress: 2449 PETERS RD

Owner

Owner1: RV Development LLC
Owner2:
Owner3:
MailingAddress: %Bud Wynne 547 Wash Roberts Ln McMinnville, TN 37110-4971

Overview

PrimaryLandUse: 0100 - SF Res
DistrictGroup: 0002 - Saint Lucie County
Subdivision: Metes and Bounds
Just/Market Value: \$73,300
FinishedArea: 912
Acres: 0.14
TotalArea: 6,098.4

Legal Description

LegalDescription: 24 35 39 S 60 FT OF E 125 FT OF N 1/2 OF NE 1/4 OF SE 1/4 OF NW 1/4-LESS E 25 FT FOR RD R/W- (0.14 AC) (OR 2398-108) (ERRONEOUS LEGAL)

Value History

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2020	\$73,300	\$59,300	\$14,000	\$0	\$60,613	\$0	\$60,613	\$12,687	\$0
2019	\$76,000	\$62,000	\$14,000	\$0	\$55,103	\$0	\$55,103	\$20,897	\$0
2018	\$68,500	\$54,500	\$14,000	\$0	\$50,094	\$0	\$50,094	\$18,406	\$0

Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)
[Download TRIM notice for this parcel](#)

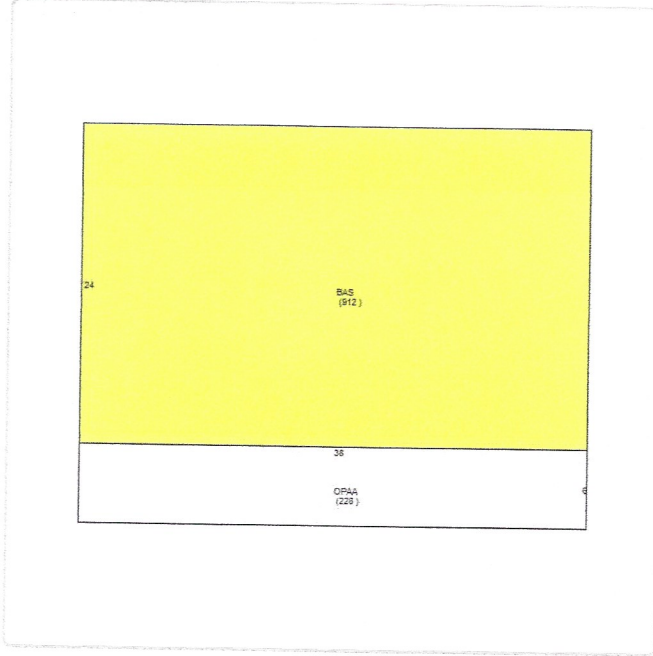
Special Assessments

Description	Start Year	Units	Amount
North St. Lucie Water Management District	2013	0.14	\$25.00
County Solid Waste	2009	12	\$276.14

Improvements

Building Sequence: 1
Bedrooms: 2
Bathrooms: 1
Building Type: HC- -
Story Height: 1 Story
No of Living Units: 1
Total Finished Area: 912
Gross Sketched Area: 1,140
Year Built: 1995
Effective Year: 1995
Primary Roof Cover: Fibrglss Shg
Primary Roof: Gable
Structure:
Primary Wall: Wood/Sheath
A/C %: 100

Building Sketches



Sub Area

Building Sequence	Sketch Area Code	Description	Finished Area	Gross Area
1	OPAA	Open Porch Attached Average	0	228
1	BAS	BASE AREA	912	912

Land Lines

Line Number	Units	Unit Type
1	0.14	Acre

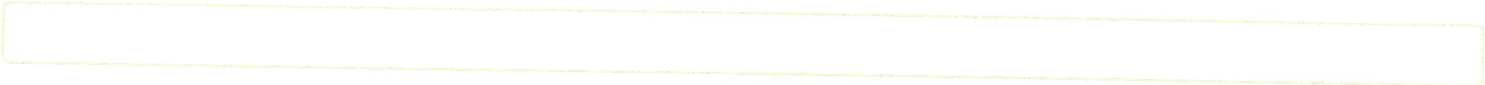
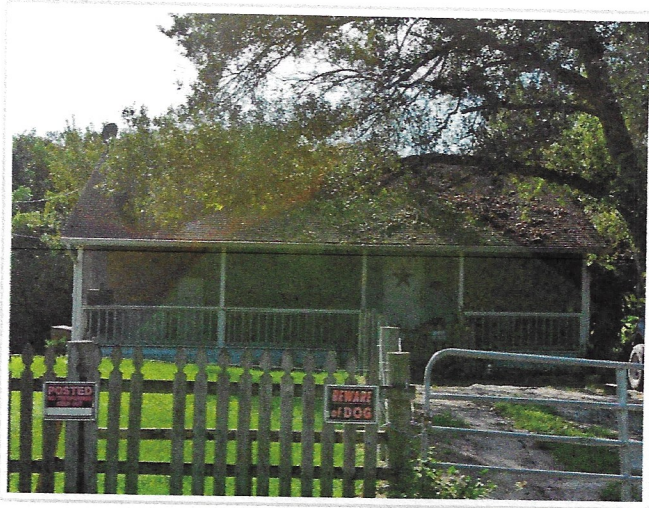
Permits

Permit Number	Issue Date	Description
C94-01621	04/05/1994	Residential New Construction
0000158	07/01/1971	RP Tag for Mobile Home

Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
10/17/2005	\$205,000	XX00	WD	Browning Bertie L	2398-108	Clerk of Courts
01/01/1900	\$0				-	Clerk of Courts

Photos





Jeff H. Iravani, Inc.
Consulting Engineers
1934 Commerce Lane, Suite 5
Jupiter, Florida 33458
Tel: (561) 575-6030 Fax: (561) 575-6088
Email: JHI@bellsouth.net Website: www.JHIinc.com

February 26, 2021

City of Ft. Pierce
Planning Department
P.O. Box 1480
Fort Pierce, FL 34950

Attn: Brandon C. Creagan, MCRP, LEED
Planner

Re: **Kings Highway Commerce Park
Request for Annexation**

JHI Project No. 2101-1355

Parcel ID#’s 2324-211-0001-000-6 RV Development, LLC
2324-214-0002-000-2 “
2324-241-0003-000-3 “
2324-211-0001-000-5 “
2324-241-0004-000-0 Great American RV Prop LLC
2324-241-0002-000-6 Sapp (LF EST) Grady

Dear Mr. Creagan,

Please consider the attached application to annex the above parcels into City of Ft. Pierce.
Also attached are the authorizations from the above property owners.

Pursuant to Policy 1.11.5 of the Future Land Use Element of the City's Comprehensive Plan, we are requesting that the above properties be annexed in with a General Commercial Land Use Designation, as being compatible with the County's land use designation and consistent with the adjoining properties in the City.

The property that is the subject of the applications currently have an agricultural tax exemption. We are requesting that the annexation ordinance and/or zoning ordinance provide that as long as the classifications and exemptions are consistent with the standards set forth by the St. Lucie County Property Appraiser, nothing in the ordinance(s) is intended to, or shall be construed as, a revocation or abrogation of the land's current St. Lucie County Property Appraiser's tax classifications and exemptions.

Brandon C. Creagan, MCRP, LEED
Kings Highway Commerce Park
February 25, 2021

Please see attached applications, authorization letters and warranty deeds for the above parcels.

The authorization from Grady Sapp's parcel is forthcoming.

Thank you.

J H Iravani

Jeff H. Iravani, P.E.
President

LEGAL DESCRIPTION

"A"
 21-020
 PCN 2324-241-0004-000-0
 OFFICIAL RECORDS BOOK 1798 PAGE 2252

PARCEL I:
 THE WEST 455.58 FEET OF THE EAST 111.8.54 FEET OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 24, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA.

AND PARCEL II:
 THE WEST 1088.54 FEET OF THE EAST 1118.54 FEET OF THE SOUTH 264.18 FEET OF THE SOUTH HALF OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA.

"B"
 PCN 2324-211-0001-000-6
 OFFICIAL RECORDS BOOK 1868 PAGE 2879

THE EAST THREE QUARTERS (3/4) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION TWENTY-FOUR (24) TOWNSHIP THIRTY FIVE (35) SOUTH RANGE THIRTY-NINE (39) EAST, CONTAINING APPROXIMATELY 26.9 ACRES.

"C"
 PCN 2324-214-0002-000-2
 OFFICIAL RECORDS BOOK 1959 PAGE 2516

FROM THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 100 FEET; THENCE RUN WEST 25 FEET TO THE POINT OF BEGINNING; CONTINUE WEST 213.71 FEET; THENCE NORTH 208.71 FEET; THENCE EAST 213.71 FEET; THENCE SOUTH 208.71 FEET TO THE POINT OF BEGINNING.

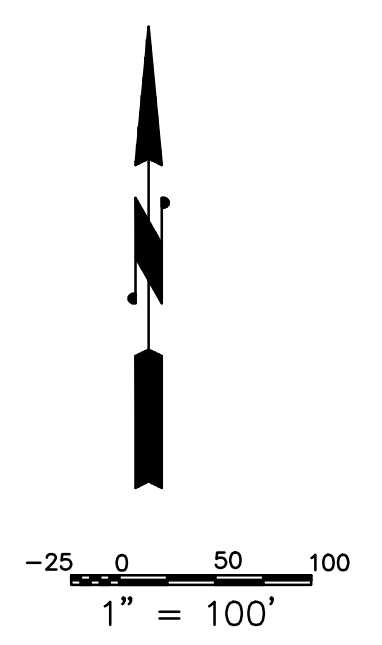
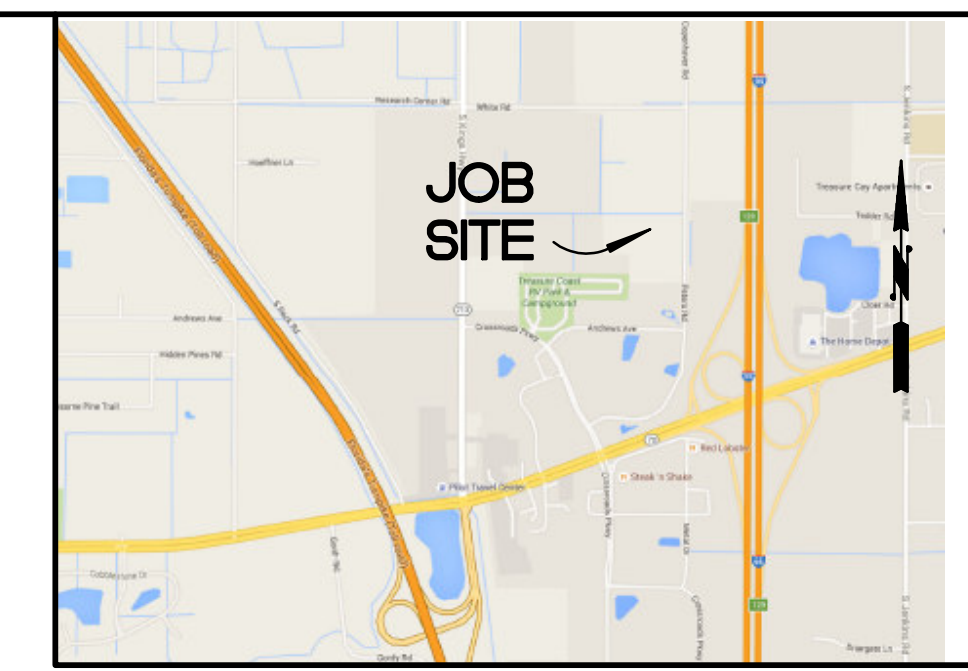
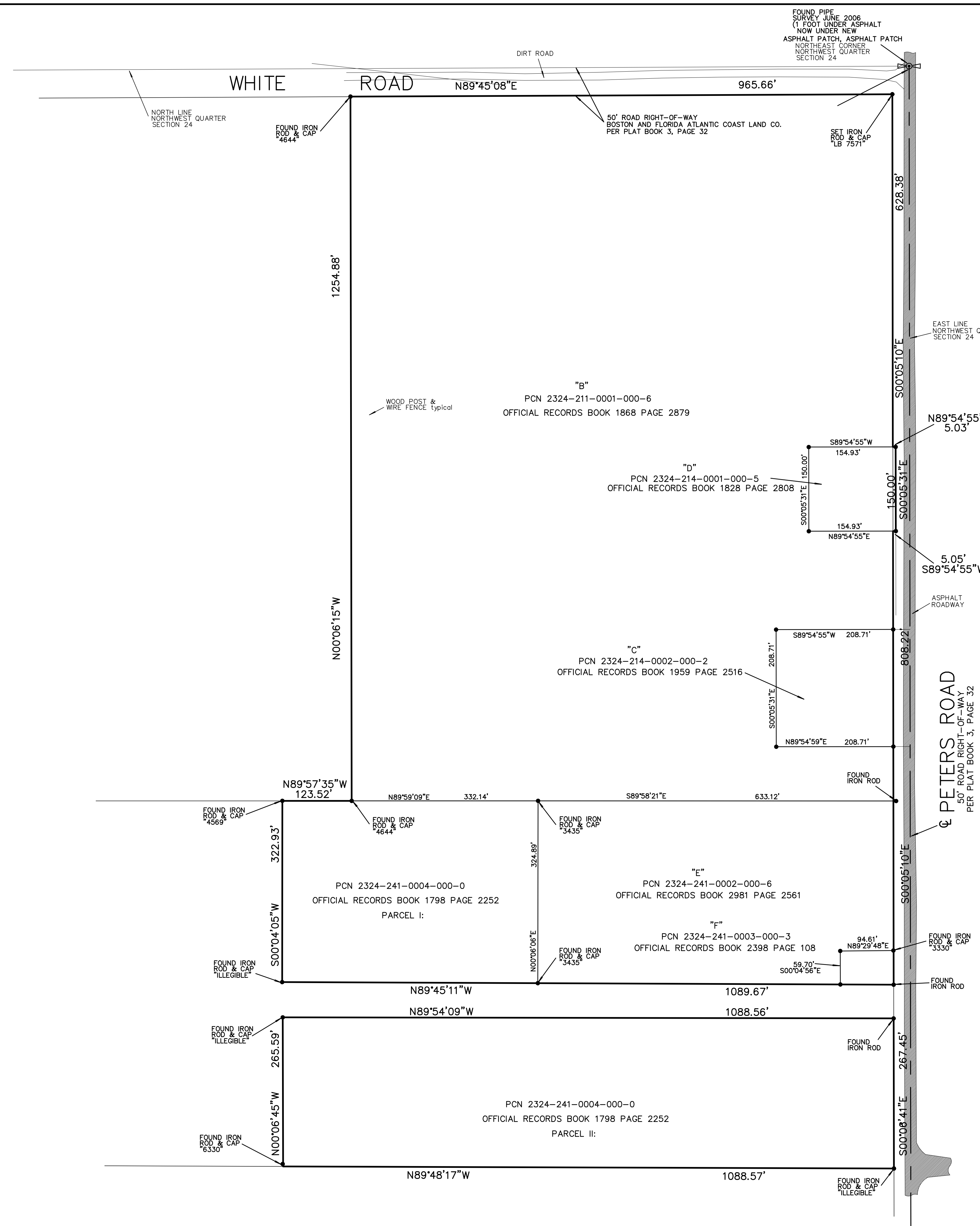
"D"
 PCN 2324-214-0001-000-5
 OFFICIAL RECORDS BOOK 1828 PAGE 2808

FROM THE INTERIOR QUARTER CORNER OF SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, RUN NORTH ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 1790.5 FEET; THENCE WEST 25 FEET TO THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING RUN WEST 155 FEET; THENCE NORTH 150 FEET; THENCE EAST 155 FEET; THENCE SOUTH 150 FEET TO THE POINT OF BEGINNING; BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA.

"E"
 PCN 2324-241-0002-000-6
 OFFICIAL RECORDS BOOK 2981 PAGE 2561

THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, LESS THE SOUTH 60 FEET OF THE EAST 125 FEET AND LESS THE EAST 30 FEET, SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, LYING AND BEING IN ST. LUCIE COUNTY, FLORIDA.

"F"
 PCN 2324-241-0003-000-3
 OFFICIAL RECORDS BOOK 2398 PAGE 108; ERRONEOUS LEGAL DESCRIPTION PER ST. LUCIE COUNTY, CLERK OF THE COURT) DESCRIPTION PER THIS OFFICE THE SOUTH 60.00 FEET OF THE EAST 125 FEET OF THE PER DESCRIPTION DESCRIBED IN OFFICIAL RECORDS BOOK 718, PAGE 2723 ALL TOGETHER CONTAINING 42.668 ACRES MORE OR LESS



MAGELLAN SURVEYING & MAPPING, INC.
 PROFESSIONAL LAND SURVEYORS
 LICENSED BUSINESS
 450 S. OLD DUNE HIGHWAY, SUITE 10
 JUPITER, FLORIDA 33468
 561-746-8745 FAX 561-746-9632 E-mail info@magellansurveying.com

Boundary Survey

Prepared For: **KINGS HIGHWAY DEVELOPMENT PARTNERS**

Drawn by RES	Date Of Survey	Scale
Field: TF F.B.178 Pg37	FEBRUARY 23, 2021	1" = 100'
REVISIONS:		Drawing Number
		21-020

RONALD E. STOTLER
 PROFESSIONAL SURVEYOR AND MAPPER
 CERTIFICATE NO. 3026
 STATE OF FLORIDA

* Doc Assump: \$ 0.00
* Doc Tax : \$ 1,645.00
* Int Tax : \$ 0.00

THIS INSTRUMENT PREPARED BY AND RETURN TO: Box 34

Douglas E. Gonano, Esq.
GONANO & HARRELL
1600 S. FEDERAL HIGHWAY, #200
FT. PIERCE, FLORIDA 34950-5194
Property Appraisers Parcel Identification (Folio) Numbers: 2324-214-0002-000/2

Space Above This Line For Recording Data

THIS WARRANTY DEED, made the 30th day of April, 2004 by John W. Norvell and Deborah H. Norvell, his wife, herein called the Grantor, to R.V. Development, LLC, a Florida limited liability company whose post office address is 2560 SE 12th Street, Pompano Beach, Florida 33062, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in ST. LUCIE COUNTY, State of Florida, viz.:

From the Southeast corner of the Northeast quarter of the Northwest quarter of Section 24, Township 35 South, Range 39 East, St. Lucie County, Florida; thence run North 100 feet; thence run West 25 feet to the Point of Beginning; continue West 213.71 feet; thence North 208.71 feet; thence East 213.71 feet; thence South 208.71 feet to the Point of Beginning.

Subject to the right of way for Peters Road and reservations, restrictions, easements and rights of way of record, if any, provided this reference shall not operate to reimpose the same.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2003.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Elizabeth K Jorgensen
Witness #1 Signature
Elizabeth K Jorgensen
Witness #1 Printed Name

John W. Norvell
John W. Norvell
2371 Peters Road, Fort Pierce, Florida 34945

Richard McClure
Witness #2 Signature
Richard McClure
Witness #2 Printed Name

Deborah H. Norvell
Deborah H. Norvell
2371 Peters Road, Fort Pierce, Florida 34945

**STATE OF FLORIDA
COUNTY OF ST. LUCIE**

The foregoing instrument was acknowledged before me this 30th day of April, 2004 by John W. Norvell and Deborah H. Norvell, his wife, who are personally known to me or have produced their drivers license as identification.

SEAL

Elizabeth K Jorgensen
Notary Public

Printed Notary Name



Elizabeth K Jorgensen
MY COMMISSION # DD079507 EXPIRES
January 25, 2006
BONDED THRU TROY FARM INSURANCE, INC.

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
File Number: 2397518 OR BOOK 1959 PAGE 2516
Recorded: 05/06/04 12:49

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
File Number: 2271016 OR BOOK 1798 PAGE 2252
Recorded: 09/15/03 15:31

Prepared by
Roberta Carter, an employee of
First American Title Insurance Company
109 North Second St.
Fort Pierce, Florida 34950
(772) 464-7837

* DOC ASSUMP: \$ 0.00
* DOC Tax : \$ 2,625.00
* Int Tax : \$ 0.00

Return to: Grantee

File No.: 1083-226013

WARRANTY DEED

This indenture made on **September 12, 2003 A.D.**, by

Glenn M. Blake and Frances P. Blake, husband and wife

whose address is: **1575 48th Avenue, Vero Beach, FL 32966**
hereinafter called the "grantor", to

Great American RV Properties LLC

whose address is: **2560 SE 12th Street, Pompano Beach, FL 33062**
hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **St. Lucie County, Florida**, to-wit:

Parcel I:

The West 455.58 feet of the East 1118.54 feet of the North Half of the North Half of the South Half of the Northwest Quarter of Section 24, Township 35 South, Range 39 East, St. Lucie County, Florida.

AND PARCEL II:

The West 1088.54 feet of the East 1118.54 feet of the South 264.18 feet of the South Half of the North Half of the South Half of the Northwest Quarter of Section 24, Township 35 South, Range 39 East, St. Lucie County, Florida.

Parcel Identification Number: **2324-232-0000-000/4**

OR BOOK 1798 PAGE 2253

For the consideration hereinbefore set forth, Grantors do additionally grant and convey unto Grantee and easement and right-of-way for the purpose of ingress and egress across the following described tract of land:

The North 60 feet of the West 1088.54 feet of the East 1118.54 feet of the South $\frac{1}{2}$ of the North $\frac{1}{2}$ of the South $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ of Section 24, Township 35 South, Range 39 East, St. Lucie County, Florida.

The easement herein granted shall be deemed appurtenant to and run with the ownership of Parcel I and Parcel II and their respective heirs, successors and assigns in title to all or part of Parcel I and Parcel II. Grantors reserve and retain the right to convey similar rights and easements to such other persons as Grantors may deem proper.

Grantors also retain, reserve, and shall continue to enjoy use of the surface of such property for any and all purposes which do not interfere with and prevent the use by Grantee of the within easement, including the right to build and use the surface of the herein granted easement for drainage ditches and private streets, roads, driveways, alleys, walks, gardens, lawns, planting or parking areas, and other like uses and/or to dedicate all or any part of the property affected by this easement to any city for use as a public street, road, or alley. If the Grantors, or any of Grantors' successors or assigns, shall dedicate all or any part of the property affected by this easement, the Grantee, and its successors and assigns shall execute all instruments that may be necessary or appropriate to effectuate such dedication, without, however, extinguishing the easement rights herein granted.

OR BOOK 1798 PAGE 2254

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2002.

In Witness Whereof, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

Glenn M. Blake
Glenn M. Blake

Frances P. Blake
Frances P. Blake

Signed, sealed and delivered in our presence:

Roberta Carter
Witness Signature

Print Name: Roberta Carter

Terry T. Torres
Witness Signature

Print Name: Terry T. Torres

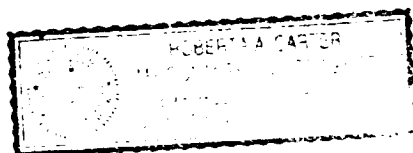
State of **Florida**

County of **St. Lucie**

The Foregoing Instrument Was Acknowledged before me on **September 12, 2003**, by **Glenn M. Blake and Frances P. Blake, husband and wife** who is/are personally known to me or who has/have produced a valid driver's license as identification.

Roberta A. Carter
NOTARY PUBLIC

Notary Print Name _____
My Commission Expires: _____



* Doc Assump: \$ 0.00
* Doc Tax : \$ 630.00
* Int Tax : \$ 0.00

THIS INSTRUMENT PREPARED BY AND RETURN TO:

Douglas E. Gonano, Esq.
GONANO & HARRELL
1600 S. FEDERAL HIGHWAY, #200
FT. PIERCE, FLORIDA 34950-5194
Property Appraisers Parcel Identification (Folio) Numbers: 2324-214-0001-000/5

Space Above This Line For Recording Data

THIS WARRANTY DEED, made the 26th day of September, 2003 by Frances A. Swiatocha, a single woman, herein called the Grantor, to R.V. Development, L.L.C., a Florida limited liability company whose post office address is 2650 SE 12th Street, Pompano Beach, Florida 33062, hereinafter called the Grantee:
(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in ST. LUCIE County, State of Florida, viz.:

From the Interior Quarter Section Corner of Section 24, Township 35 South, Range 39 East, run North along the East line of the Northwest 1/4 of said Section 1790.5 feet; thence West 25 feet to the Point of Beginning; from said Point of Beginning run West 155 feet; thence North 150 feet; thence East 155 feet; thence South 150 feet to the Point of Beginning; being a part of the Northeast 1/4 of the Northwest 1/4 of Section 24, Township 35 South, Range 39 East, St. Lucie County, Florida.

Subject to restrictions, reservations, easements and rights of way of record, if any.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2002.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Stacy Ewing Consalvo
Witness #1 Signature
Stacy Ewing Consalvo
Witness #1 Printed Name

Frances A. Swiatocha
Frances A. Swiatocha
2315 Peters Road, Fort Pierce, Florida

Valerie M. Canant
Witness #2 Signature
VALERIE M. CANANT
Witness #2 Printed Name

STATE OF FLORIDA
COUNTY OF ST. LUCIE

The foregoing instrument was acknowledged before me this 26th day of September, 2003 by Frances A. Swiatocha who is personally known to me or has produced Florida drivers license as identification.

SEAL

Stacy Ewing Consalvo
Notary Public

Printed Notary Name



Stacy Ewing Consalvo
MY COMMISSION # DD121441 EXPIRES
May 28, 2006
BONDED TRUSTEES FARM INSURANCE, INC.



Stacy Ewing Consalvo
MY COMMISSION # DD121441 EXPIRES
May 28, 2006
BONDED TRUSTEES FARM INSURANCE, INC.

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
File Number: 2326041 OR BOOK 1868 PAGE 2876
Recorded: 12/26/03 08:23

(E)
Box 34
THIS INSTRUMENT PREPARED BY AND RETURN TO:
Douglas E. Gonano, Esq.
GONANO & HARRELL
1600 S. FEDERAL HIGHWAY, #200
FT. PIERCE, FLORIDA 34950-5194
Property Appraisers Parcel Identification (Folio) Numbers: 2324-211-0001-000/6

Space Above This Line For Recording Data

THIS WARRANTY DEED, made the 22nd day of December, 2003 by Melanie Fuller, a married woman, herein called the Grantor, to R.V. Development, LLC, a Florida limited liability company whose post office address is 2560 SE 12th Street, Pompano Beach, Florida 33062, hereinafter called the Grantee.
(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee Grantor's undivided one-fourth interest in certain land situate in ST. LUCIE County, State of Florida, viz.:

The East Three Quarters (3/4) of the Northeast Quarter (NE 1/4) of the Northwest Quarter (NW 1/4) of Section Twenty-four (24) Township Thirty-five(35) South Range Thirty-nine (39) East, containing approximately 26.9 acres.

Grantor hereby certifies that the above property does not constitute the homestead of Grantor nor is it contiguous thereto.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenant with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2003.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Julia S. Price
Witness #1 Signature

JULIA S. PRICE
Witness #1 Printed Name

Brenda L. Sharpton
Witness #2 Signature

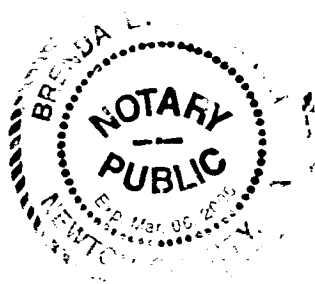
BRENDA L. SHARPTON
Witness #2 Printed Name

Melanie Fuller
Melanie Fuller
1465 Cherokee Trail, Conley, GA 30288

STATE OF GEORGIA
COUNTY OF DEKALB

The foregoing instrument was acknowledged before me this 19 day of December, 2003, by Melanie Fuller, a married woman, who is personally known to me or has produced GA DL 049000545 as identification.

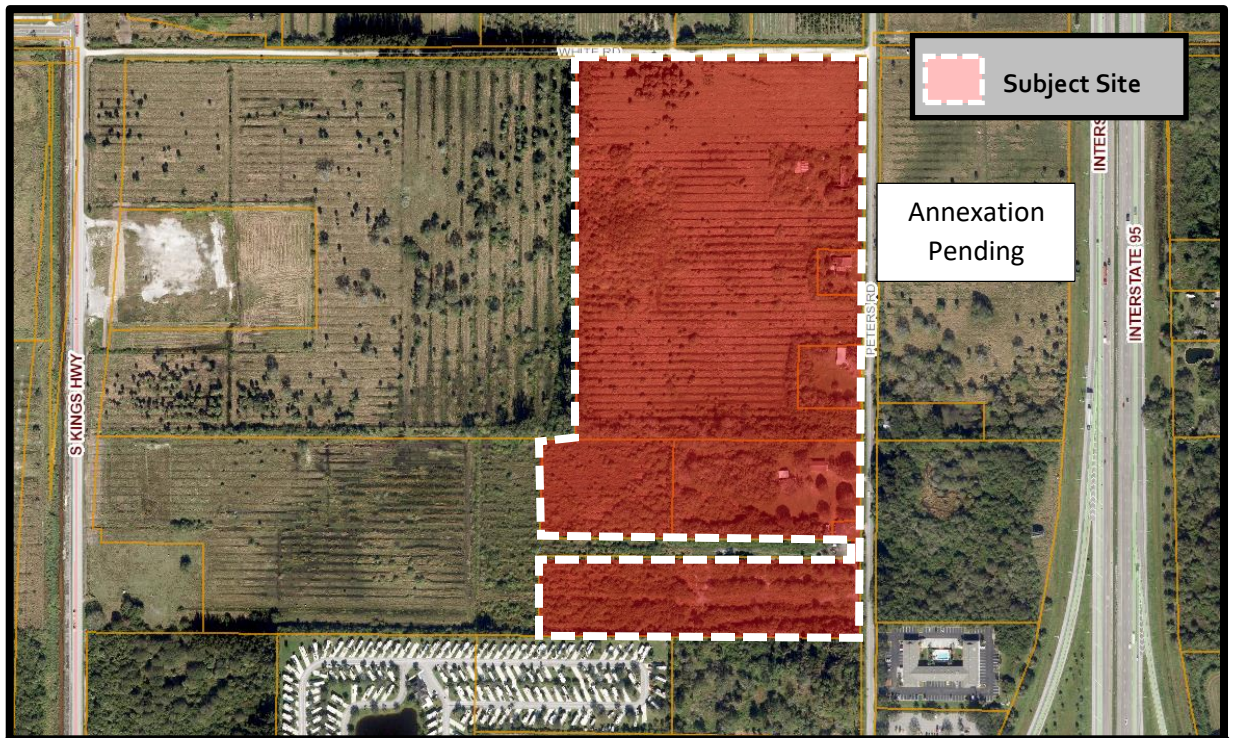
SEAL




Brenda L. Sharpton
Notary Public

BRENDA L. SHARPTON
Printed Notary Name

* Doc Fee: \$ 0.00
* Doc Tax: \$ 1,177.40
* Int Tax: \$ 0.00



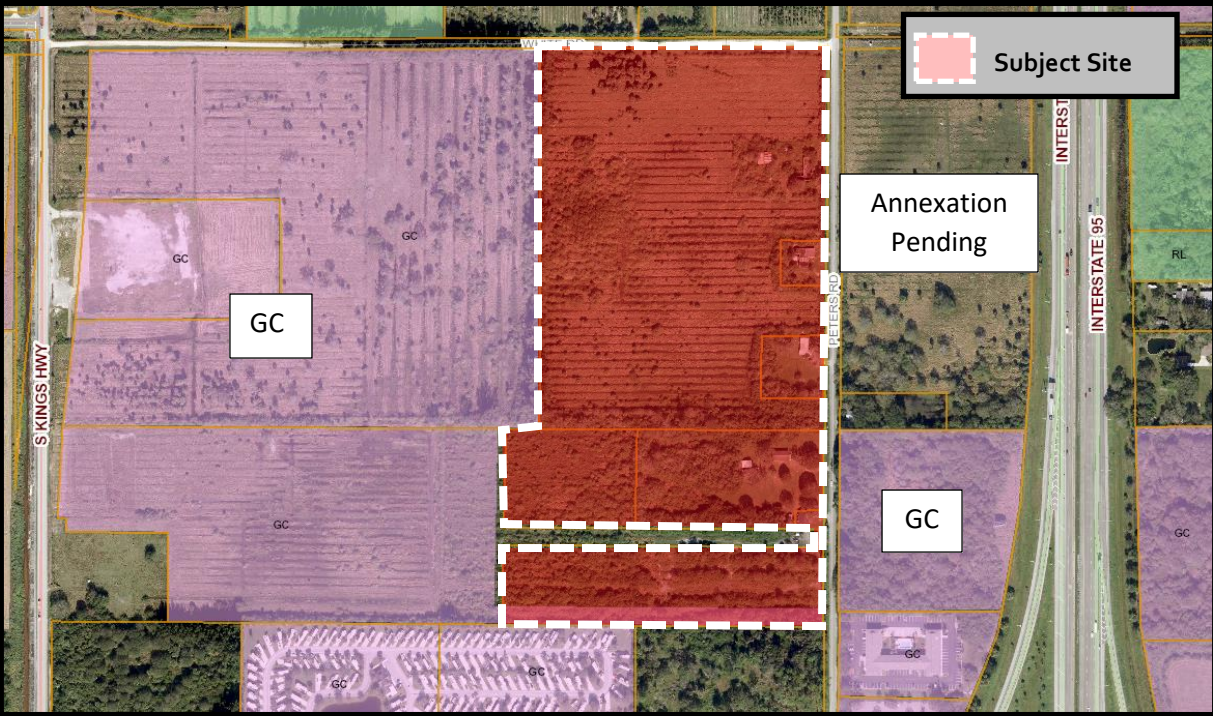
 Subject Site


Annexation
Pending



Application for Annexation
2261 Peters Road (6 Parcels)
Aerial Map





 Subject Site

Annexation
Pending


GC

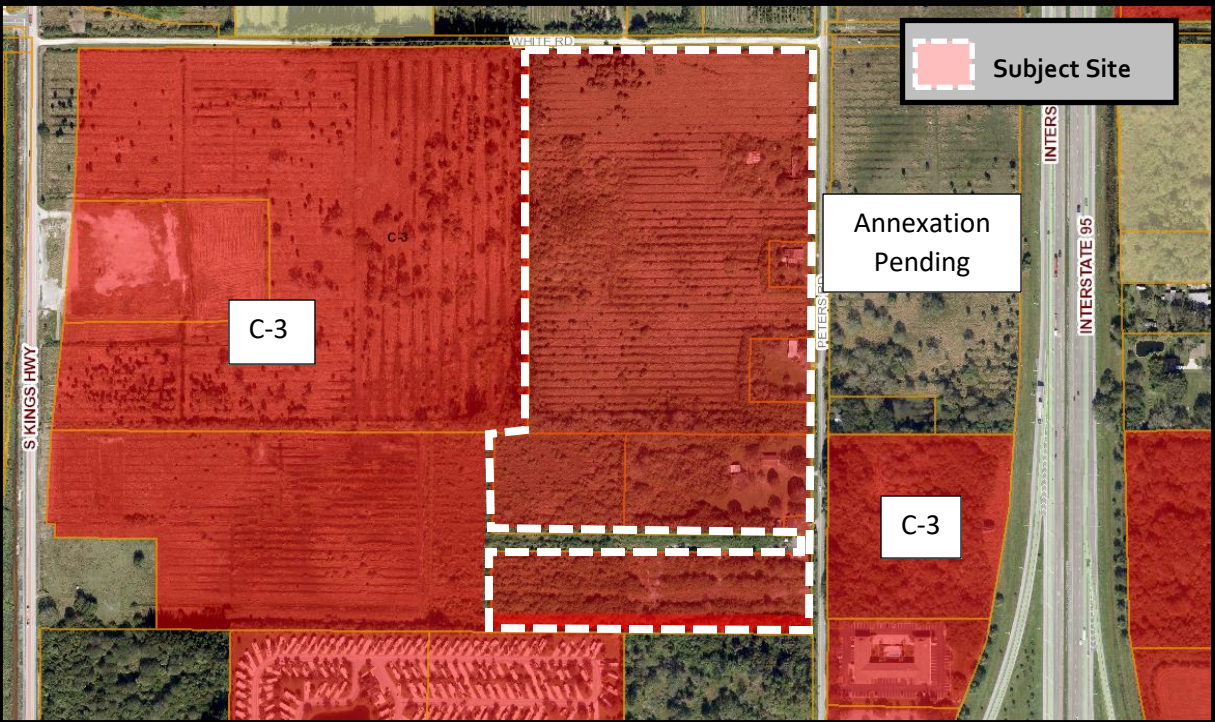
GC



Application for Annexation
2261 Peters Road (6 Parcels)
Future Land Use Map



 Subject Site



Application for Annexation
2261 Peters Road (6 Parcels)
Zoning Map





March 17, 2021

Jeff H. Iravani
1934 Commerce Lane, Unit 5
Jupiter, FL 33458

**Subject: Annexation – Kings Highway Commerce Park – Multiple Parcels
 Technical Review Project # 21-02000002**

Fort Pierce Planning:

1. The St. Lucie County Future Land Use is Mixed Use (MXD) and the Zoning is Single Family, 2 du/acre (RS-2). As such once annexed into the City it will be given our Future Land Use of General Commercial (GC) & Zoning of Residential Single Family, two units per acre (E-2).
2. Applications have also been filed for a Zoning Atlas Map Amendment to change the properties from Single Family, two units per acre (E-2) to Commercial Parkway (CP-1) after the properties have been annexed into the City. The rezoning would not move forward to Planning Board until the Annexations have gone to first reading by the City Commission.

Please provide a written response to all TRC comments and provide an electronic submittal of materials (complete submittal packet). The presented review is specific to the proposed facility. Please contact me should you have any questions regarding the project at (772) 467-3742 or by e-mail: bcreagan@cityoffortpierce.com.

Sincerely,

Brandon Creagan, MCRP, LEED Green Associate

Planner



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

RECEIVED

MAR 17 2021

TO : Brandon Creagan, Planner

FROM : John R. Andrews, P.E., City Engineer

JRA

CITY OF FORT PIERCE
PLANNING & ZONING

**RE : Annexation – Kings Highway Commerce Park – Multiple Parcels
TRC No. 21-02000002**

DATE : March 17, 2021

This is to advise you that we have completed the review of the following documents as received by this office on March 4, 2021:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Annexation Application | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|--|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of Annexation | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

JRA/jra

\\2500FS01\City Hall Share 01\Engineering\ENGINEERING\Site Development Projects\Annexations\March 2021\Submittal No. 1 - 030521\Submittal Items\Annexation Approval - 031721.docx



**BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM**

Meeting Date: 3.18.21
Property Address: Annexation – Kings Highway Commerce Park – Multiple Parcels

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 7th Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
 - Accessible route
 - Handicapped parking spaces
 - Means of egress
- 7. Change of Use required
 - to include a signed and sealed Life Safety Plan
 - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

Additional Comments/Requirements:

Building Official's or Representative's Signature _____

Date: _____

3/15/21



THE SUNRISE CITY
FORT PIERCE
POLICE DEPARTMENT
"In Honor We Serve"

Florida

Technical Review Committee meeting

March 18, 2021

Case # 21-02000002

Planner: Brandon Creagan

Annexation

Six parcels, at or near 2261 Peters Rd., Ft. Pierce

Comments:

No comments at this time.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.

Information

REQUESTED ACTION

Conditional Use - Lucky 7 Arcade - 1702 Delaware Avenue

LOCATION

1702 Delaware Avenue

RESPONSIBLE STAFF

Vennis Gilmore, Planner

RECOMMENDATION

The proposed use offers a provision of Arcade Amusement Center representing a limited commercial use that is compatible with the surrounding neighborhood and is generally consistent with the City's Comprehensive Plan and Land Development Code with appropriate restrictions. Therefore, Staff recommends **APPROVAL** with the following seven (7) conditions:

1. Per City Code 125-325. – Amusement Arcades and Arcade Amusement Centers.(2)(f):
Amusement arcades or arcade amusement centers shall provide bicycle racks within enough stalls to accommodate one bicycle for each five game machines located within the premises. Bicycle racks shall be located as close as practical to the entrance of the facility and shall not be located in a manner that obstructs any entrances, exits, sidewalks, driveways, or parking areas. **Install a bicycle rack with a minimum of 10 bicycle spaces.**
2. Per City Code Section 125 . 325. – Amusement Arcades and Arcade Amusement (1)(f):
Alcohol sales or consumption shall be prohibited in amusement arcades and arcade amusement centers. Alcohol sales or consumption shall also be prohibited in the attached restaurant.
3. Please adhere to City Code Section 125 – 325. – Amusement Arcades and Arcade Amusement.
4. Per City Code Section 123.-6. – Required Bond., Provide a completion certification by the landscape architect, a landscape cost estimate sheet, and a security bond, certified deposit (CD), cashier's check or a certified check upon a solvent local bank conditioned to secure 100 percent of the supply and installation cost of the landscaping improvements required. **A Landscape Bond, Itemized Cost Estimate, and Certified Letter of Completion by Certified Florida Landscape Architect must be provided prior to receiving Certificate of Occupancy.**
5. Per City Code 125-325. – Amusement Arcades and Arcade Amusement Centers.(2)(i):
Landscaping must comply with requirements of the city's landscaping ordinance prior to the issuance of a business tax receipt. The applicant must submit a Landscape Plan with new trees and plantings that meet city code standards.
6. Per City Code 125-325. – Amusement Arcades and Arcade Amusement

Centers.(2)(h): **Lighting for parking lots must satisfy lighting requirements of section 125-315(g)(1) prior to the issuance of a business tax receipt. Commercial uses require a minimum average of two footcandles for parking areas.**

7. Per City Code 125-325. – Amusement Arcades and Arcade Amusement Centers.(1)(c): No arcade amusement center shall be located within 1,250 feet of another arcade amusement center. Such distance shall be measured from closest property line to closest property line. **Approval of a Waiver of Distance Application from the Gateway Plaza Arcade, which is located at 2051 S. US Highway 1, must be approved prior to Conditional Use Approval.**

8. Per City Code Section 125-317. – Sidewalks - (b)Applicability. In order to provide continual access for pedestrians, sidewalks and sidewalk linkages shall be required to be provided by the property owner or permit applicant when one of the following events occur:

(4) Plans submitted for site plan, conditional use, PUD/PUR, and subdivision review. Plans shall reflect all proposed sidewalk improvements. **Include a sidewalk connection to the Building from sidewalk along Delaware Ave to the entrance.**

9. Provide a separate gated entrance to the refuse collection area for employee access.

10. Provide a sidewalk connection (sidewalk striping) to the refuse collection gated entrance.

11. Per City Code Section 123-37. – General Landscaping Requirements - (10) Screening of refuse collection areas. Refuse and recycling dumpsters utilized by multifamily residential complexes, in commercial, industrial and institutional facilities shall be screened from view on all sides and shall be gated. Gates may be left open only on scheduled pick-up days and must be closed following pick up. Such screening shall consist of a six-foot-high masonry wall or wooden fence. In addition, when feasible, one shrub or hedge shall be planted at two-foot centers along the outside perimeter of the screen. Dumpsters shall be located in an area that minimizes public view. This subsection shall apply to dumpsters servicing structures built on or after June 1, 1996.

12. No Parking in the 8,361 square foot grass area to the west.

13. Per City Code Section 22-56.-Definitions: Adult entertainment *establishment* means an adult theater, an adult bookstore, an adult performance establishment, a commercial physical contact parlor or an escort service operated for commercial or pecuniary gain, regardless of whether such establishment is permitted under this article. Whether or not an adult entertainment establishment is operated for commercial or pecuniary gain shall not depend upon actual profit or loss. An establishment which has a permit issued through this article shall be presumed to be operated for commercial or pecuniary gain. An establishment with an adult entertainment permit shall be presumed to be

an adult entertainment establishment. **Adult Entertainment per the City of Fort Pierce definition is not allowed, however an Arcade Amusement Center with entertainment for adults 18 years of age and older is permitted through Conditional Use Approval.**

14. A Lot Combination and Unity of Title of Parcel ID: 2409-314-0027-000-0 and Parcel ID: 2409-314-0024-000-9, to provide continual access for a sustainable commercial site must be completed.

Attachments

staff report

Application & Supporting Documents

Aerial Map

FLU Map

Zoning Map

TRC Comments

Form Review

Form Started By: Vennis Gilmore

Started On: 05/03/2021 06:10 PM

Final Approval Date: 05/04/2021



TO: City of Fort Pierce Planning Board

THROUGH: Jennifer Hofmeister, AICP, LCAM, Planning Director

FROM: Vennis Gilmore, Planner

RE: **Lucky 7 Arcade**
1702 Delaware Avenue

BOARD DATE: May 10, 2021

STAFF REPORT

Owner: Alvaro Campuzano
 184 U Vista CT
 Fort Pierce, FL 34947

Applicant: Reginald B. Sessions, Attorney
 201 S 2nd Street, Suite 211
 Fort Pierce, FL 34950

Applicant's Request: Approval of a Conditional Use with No New Construction and Design Review to operate a 5,898 sq ft Amusement Arcade Center with 50 arcade machines

Location(s): 1702 Delaware Avenue

Parcel ID(s): 2409-314-0027-000-0, 2409-314-0024-000-9

Future Land Use: General Commercial (GC)
Current Zoning: General Commercial Zone (C-3)

Surrounding FLU:

North	East	South	West
RM	GC/RL	GC	GC/RM

Surrounding Zoning:

North	East	South	West
C-3	C-3/R-3	C-3	R-4

Utilities: FPUA

Acres: 1.28

Staff Analysis:

Request

In accordance with Sections 125-187, 125-237, 125-325, and 125-314 of the City Code, the applicant is requesting the review and approval of a Conditional Use with No New Construction and Design Review to operate a 5,898 sq ft Amusement Arcade Center with 50 arcade machines. The approximately 1.28 acres property is located just northwest of Delaware Avenue and S. 17th Street. The subject site is surrounded by commercial uses to the south and east and residential uses to the north, east, and west. The building where the proposed use will be located was formerly a restaurant and bar. The property has a Future Land Use of General Commercial (GC) and is zoned General Commercial Zone (C-3).

The proposed Arcade Amusement Center is specifically dedicated for the amusement of adults. The project's floor plan will consist of a cashier front desk area, (2) seating areas, (3) storage areas, (4) restrooms, and 30 arcade machines stations. Hours of operation will be Sunday through Saturday from 8am-12am. There will be 5-10 staff members present at all times. A proposed restaurant with a separate entrance will share the same building and parking lot. This proposed restaurant will not serve alcohol.

Future Land Use & Zoning

The GC Future Land Use designation provides for higher intensity commercial developments or horizontal and vertical mixed-use developments. Uses allowed within this designation include multifamily residential, intensive and general commercial, retail, service, offices, tourist/entertainment facilities, hotels/motels, parks and recreation, along with compatible public, quasi-public, and special uses. This land use designation allows for a maximum density of 15 dwelling units per acre and a maximum FAR of 1.0. Development shall include either commercial or mixed uses fronting major roadway corridors with higher intensity near major intersections. Residential uses may comprise up to 20 percent of the total floor area of the General Commercial future land use designation.

The subject site is located within the C-3, which is intended to provide for a broad variety of business activities including shoppers' goods stores, convenience goods and service establishments, offices and tourist/entertainment facilities. Many public and semi-public uses are also appropriate. Compared to the C-4 zone, this district is more suitable for uses requiring a high degree of accessibility to vehicular traffic, low intensity uses on large tracts of land, most repair services and small warehousing and wholesaling operations. Although this zone should be located along or near arterial or collector streets, it is not the intent of this district to encourage the extension of strip commercial areas. Instead it should promote concentrations of commercial activities.

Parking

Pursuant to City Code Section 125-325 (2)(l)(f), Design Standards, Amusement Arcade Centers shall provide 0.75 parking spaces for each arcade gaming machine and shall provide bicycle racks within enough stalls to accommodate one bicycle for each five game machines located within the premises. Bicycle racks shall be located as close as practical to the entrance of the facility and shall not be located in a manner that obstructs any entrances, exits, sidewalks, driveways, or parking areas. The required parking is 56 parking spaces with three (3) designated handicap parking spaces. The subject site plan

features 56 parking spaces with three (3) designated handicap parking spaces. The submitted site plan indicates the proposed location of the required bicycle rack with 10 bicycle stalls. The required bicycle rack will be a condition of approval.

Design Review

The proposed use will operate within an existing one (1)-story building with approximately 7,900 square feet. The structures design will continue its existing wood panel siding and mansard flat-roof system. The painted wood panel wall exterior is currently painted a rust-orange color. Currently, the applicant does not plan to make any changes to the exterior of the subject building. If the applicant intends to make any changes, they will be required per City Code Section 125-314 to submit for proposed exterior elevations for administrative approval.

Landscaping

The applicant has not submitted an updated Landscape Plan demonstrating that new trees and plantings will comply with the requirements of the City's landscaping ordinance.

Conditional Use

As stated in City Code Section 125-235, the purpose of the Conditional Use process is to allow, when desirable, uses that would not be appropriate generally or without restriction throughout a particular zoning district, but which, if controlled as to number, area, location, or relation to the neighborhood, would not adversely affect the public health, safety, comfort, good order, appearance, convenience, and the general welfare.

Technical Review Committee

All affected departments have reviewed the proposed Conditional Use and Design Review with regards to the requirements of the City Code. Findings from the review by corresponding departments and the associated responses by the applicant are provided.

Staff Recommendation:

The proposed use offers a provision of Arcade Amusement Center representing a limited commercial use that is compatible with the surrounding neighborhood and is generally consistent with the City's Comprehensive Plan and Land Development Code with appropriate restrictions. Therefore, Staff recommends **APPROVAL** with the following seven (7) conditions:

1. Per City Code 125-325. – Amusement Arcades and Arcade Amusement Centers.(2)(f):
Amusement arcades or arcade amusement centers shall provide bicycle racks within enough stalls to accommodate one bicycle for each five game machines located within the premises. Bicycle racks shall be located as close as practical to the entrance of the facility and shall not be located in a manner that obstructs any entrances, exits, sidewalks, driveways, or parking areas.
Install a bicycle rack with a minimum of 10 bicycle spaces.

2. Per City Code Section 125 . 325. – Amusement Arcades and Arcade Amusement (1)(f): **Alcohol sales or consumption shall be prohibited in amusement arcades and arcade amusement centers. Alcohol sales or consumption shall also be prohibited in the attached restaurant.**
3. Please adhere to City Code Section 125 – 325. – Amusement Arcades and Arcade Amusement.
4. Per City Code Section 123.-6. – Required Bond., Provide a completion certification by the landscape architect, a landscape cost estimate sheet, and a security bond, certified deposit (CD), cashier's check or a certified check upon a solvent local bank conditioned to secure 100 percent of the supply and installation cost of the landscaping improvements required. **A Landscape Bond, Itemized Cost Estimate, and Certified Letter of Completion by Certified Florida Landscape Architect must be provided prior to receiving Certificate of Occupancy.**
5. Per City Code 125-325. – Amusement Arcades and Arcade Amusement Centers.(2)(i): **Landscaping must comply with requirements of the city's landscaping ordinance prior to the issuance of a business tax receipt. The applicant must submit a Landscape Plan with new trees and plantings that meet city code standards.**
6. Per City Code 125-325. – Amusement Arcades and Arcade Amusement Centers.(2)(h): **Lighting for parking lots must satisfy lighting requirements of section 125-315(g)(1) prior to the issuance of a business tax receipt. Commercial uses require a minimum average of two footcandles for parking areas.**
7. Per City Code 125-325. – Amusement Arcades and Arcade Amusement Centers.(1)(c): No arcade amusement center shall be located within 1,250 feet of another arcade amusement center. Such distance shall be measured from closest property line to closest property line. **Approval of a Waiver of Distance Application from the Gateway Plaza Arcade, which is located at 2051 S. US Highway 1, must be approved prior to Conditional Use Approval.**
8. Per City Code Section 125-317. – Sidewalks - (b)Applicability. In order to provide continual access for pedestrians, sidewalks and sidewalk linkages shall be required to be provided by the property owner or permit applicant when one of the following events occur:

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9. Provide a separate gated entrance to the refuse collection area for employee access.
10. Provide a sidewalk connection (sidewalk striping) to the refuse collection gated entrance.

11. Per City Code Section 123-37. – General Landscaping Requirements - (10) Screening of refuse collection areas. Refuse and recycling dumpsters utilized by multifamily residential complexes, in commercial, industrial and institutional facilities shall be screened from view on all sides and shall be gated. Gates may be left open only on scheduled pick-up days and must be closed following pick up. Such screening shall consist of a six-foot-high masonry wall or wooden fence. In addition, when feasible, one shrub or hedge shall be planted at two-foot centers along the outside perimeter of the screen. Dumpsters shall be located in an area that minimizes public view. This subsection shall apply to dumpsters servicing structures built on or after June 1, 1996.
12. No Parking shall be permitted within the 8,361 square foot grass area to the west.
13. Per City Code Section 22-56.-Definitions: Adult entertainment *establishment* means an adult theater, an adult bookstore, an adult performance establishment, a commercial physical contact parlor or an escort service operated for commercial or pecuniary gain, regardless of whether such establishment is permitted under this article. Whether or not an adult entertainment establishment is operated for commercial or pecuniary gain shall not depend upon actual profit or loss. An establishment which has a permit issued through this article shall be presumed to be operated for commercial or pecuniary gain. An establishment with an adult entertainment permit shall be presumed to be an adult entertainment establishment. **Adult Entertainment per the City of Fort Pierce definition is not allowed, however an Arcade Amusement Center with entertainment for adults 18 years of age and older is permitted through Conditional Use Approval.**
14. A Lot Combination and Unity of Title of Parcel ID: 2409-314-0027-000-0 and Parcel ID: 2409-314-0024-000-9, to provide continual access for a sustainable commercial site must be completed.

Lucky 7 Arcade Inc.

Ph:(772)708-1028 Email:Shreiteh88@gmail.com

1702 Delaware Ave. Fort Pierce FL, 34950

To whom it may concern,

Lucky 7 Arcade Inc. is intended for amusement only; it is a place where people can come and have fun and distract themselves. we will serv soft drinks and snacks for our customers to enjoy while they play. we will be open daily from 8:00am to 12:00am, there will be no alcohol served in this location. We will have approximately 5-10 employees including helping staff. If you have any questions please feel free to contact me at (772)708-1028 thank you.

A handwritten signature in black ink, appearing to read "Ahmad Alamy". The signature is written in a cursive style with a long, sweeping tail on the final letter.



Conditional Use – No New Construction

Property address or Location 1702 Delaware Ave. Fort Pierce FL 34950
 Parcel ID #(s) 2409-314-0027-000-0
 Project description Arcade and Restaurant.

Alvaro Campuzano
 Property Owner(s)
184 N Visto Ct
 Street Address
Fort Pierce FL 34950
 City State Zip
(954) 410-2279
 Phone Number
alcampuz43@gmail.com
 Email Address

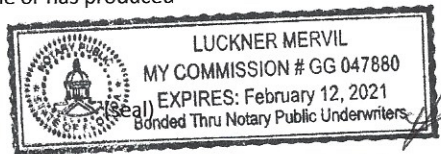
Maria Alvarez
 Applicant/Representative, Title, Company
145 New Dorchester St
 Street Address
Port St Lucie FL 34983
 City State Zip
(772) 708-1028
 Phone Number
Shreiteh88@gmail.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

x [Signature]
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY
 The foregoing instrument was acknowledged before me this 27 day of May, 2020, by
Campuzano Alvaro who is personally known to me or has produced
[Signature] Driver's license as identification.

[Signature]
 Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Intake Date Stamp



CONDITIONAL USE: NO NEW CONSTRUCTION

Submit one original, seven (7) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- If no site improvements are required:
 - As-built survey
 - Floor plan of existing building(s)
- If parking and drainage improvements are required:
 - As-built survey;
 - Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage;
 - Lighting plan
- Complete, notarized application

Application Type:

- Conditional Use: No new construction with no site improvements
- Conditional Use: No new construction with parking and drainage improvements

Site Information:

Building Size _____ Parking Spaces: _____

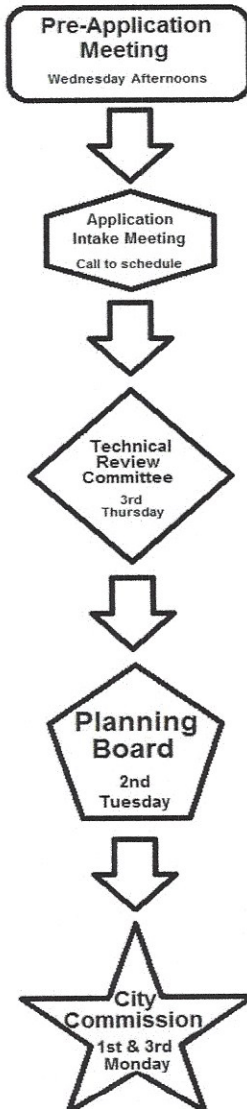
Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West

The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 22-75, shall be reviewed as a unit in accordance with the requirements of section 22-58 except that:

- (1) The city commission shall hold a public hearing in accordance with the provisions of section 22-143 prior to acting on the application for conditional use.
- (2) In the event the city planning board disapproved the application for conditional use or in case of a protest against said application signed by twenty (20) per cent of the owners within five hundred (500) feet of the area included in said application, such application shall not be approved except by a four-fifths vote by the city commission.
- (3) In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.

Application Outlook





Design Review

Property address or Location 1702 Delaware Ave. Fort Pierce FL 34950
 Parcel ID #(s) 2469-314-0027-000-0
 Project Description Arcade and Restaurant

Alvaro Campuzano
 Property Owner(s)
184 N Vista Ct.
 Street Address
Fl. Pierce FL 34947
 City State Zip
954 410 22 79
 Phone Number
alcampu43@gmail.com
 Email Address

Maria Alvarez
 Applicant/Representative, Title, Company
145 NW Dorchester St
 Street Address
Port St Lucie FL 34983
 City State Zip
(772) 708-1028
 Phone Number
Shreikh88@gmail.com
 Email Address

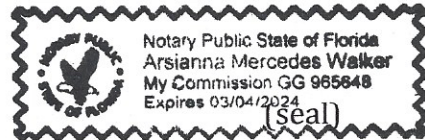
Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

[Signature]
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- St COUNTY
 The foregoing instrument was acknowledged before me this 4th day of June, 2021, by

Alvaro Campuzano who is personally known to me or has produced
Driver License as identification.

[Signature]
 Signature of Notary



TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____
 Intake Planner _____
 Planner Assigned _____
 Approved _____ Date _____
 Comments _____

Intake Date Stamp

Design Review Application Checklist

(City Code of Ordinances 22-59)

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

Property Identification

Site Address: 1702 DELAWARE AVE Use Type: 2100 Parcel ID: 2409-314-0027-000-0 Jurisdiction: Fort Pierce Account #: 20973 Map ID: 24/09N Sec/Town/Range: 09/35S/40E Zoning: General Co

Ownership

Delaware Avenue And S 18th Street LLC
Alvaro Campuzano
184 U Vista CT
Fort Pierce, FL 34947

Legal Description

9 35 40 FROM SE COR OF NE 1/4 OF SW 1/4 RUN N 30 FT, TH W 50 FT FOR POB, TH CONT W 185 FT, TH N 140 FT, TH E 52 FT, TH N 79.75 FT, TH E 163 FT, TH S 189.75 FT, TH SW 42 FT M/L TO POB

Current Values

Just/Market: \$293,600 Assessed: \$293,600
Exemptions: \$0 Taxable: \$293,600

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2020	\$293,600	\$293,600	\$0	\$293,600
2019	\$295,400	\$295,400	\$0	\$295,400
2018	\$366,400	\$366,400	\$0	\$366,400

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
08-07-2019	4305 / 2561	0338	WD	Rico Miguel	\$225,000
10-08-2007	2889 / 2654	XX03	QC	Rico Miguel	\$100
04-27-2000	1295 / 2715	XX02	WD	Quandt Laverne W	\$350,000

Primary Building Information

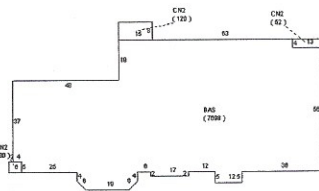
Finished Area of this building: 7,698 SF
Gross Sketched Area: 7,900 SF

Exterior Data

View: Roof Cover: Dim Shingle Roof Structure: Hip Building Type: REST
Year Built: 1977 Frame: Grade: Y_C Effective Year: 1977
Primary Wall: Cypress BB Story Height: 1 Story No. Units: 1 Secondary Wall:

Interior Data

Bedrooms: 0 A/C %: 100% Electric: MAXIMUM Primary Int Wall:
Full Baths: 0 Heated %: 100% Heat Type: FrcdHotAir Avg Hgt/Floor: 0
Half Baths: 0 Sprinkled %: 0% Heat Fuel: ELEC Primary Floors: Tile-Quarry



Total Areas

Finished/Under Air (SF):	7,698
Gross Sketched Area (SF):	7,900
Land Size (acres):	0.98
Land Size (SF):	42,608
Total Building Count:	1

Special Features and Yard Items

Type	Qty	Units	Year Blt
ASP2 LOW	1	22535	1970
CEMENT CURB	1	132	1977
SINGLE LIGHT	1	1	1977
DOUBLE LIGHT	1	1	1977
SINGLE LIGHT	1	2	1995
WOOD FEN 6'	1	56	2002

Property Identification

Site Address:	1702 DELAWARE AVE
Parcel ID:	2409-314-0027-000-0
Account #:	20973
Map ID:	24/09N
Use Type:	2100
Zoning:	General Co
City/County:	Fort Pierce

Ownership

Delaware Avenue And S 18th Street LLC
 Alvaro Campuzano
 184 U Vista CT
 Fort Pierce, FL 34947

Legal Description

9 35 40 FROM SE COR OF NE 1/4 OF SW 1/4 RUN N 30 FT, TH W 50 FT FOR POB, TH CONT W 185 FT, TH N 140 FT, TH E 52 FT, TH N 79.75 FT, TH E 163 FT, TH S 189.75 FT, TH SW 42 FT M/L TO POB

Current Values

Just/Market Value:	\$293,600
Assessed Value:	\$293,600
Exemptions:	\$0
Taxable Value:	\$293,600



Total Areas

Finished/Under Air (SF):	7,698
Gross Sketched Area (SF):	7,900
Land Size (acres):	0.98
Land Size (SF):	42,608

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
 Download TRIM for this parcel: [Download PDF](#)

Sale History

Date:	Aug 7, 2019
Book/Page:	4305 / 2561
Sale Code:	0338
Deed:	WD
Grantor:	Rico Miguel
Price:	\$225,000
Date:	Oct 8, 2007
Book/Page:	2889 / 2654
Sale Code:	XX03
Deed:	QC
Grantor:	Rico Miguel
Price:	\$100
Date:	Apr 27, 2000
Book/Page:	1295 / 2715

Sale Code:	XX02
Deed:	WD
Grantor:	Quandt Laverne W
Price:	\$350,000
Date:	Nov 18, 1994
Book/Page:	0940 / 2585
Sale Code:	XX02
Deed:	WD
Grantor:	BUSHMANS CORP
Price:	\$445,800
Date:	Jun 28, 1994
Book/Page:	0915 / 2540
Sale Code:	XX02
Deed:	QC
Grantor:	RIVERSIDE SUN CORP
Price:	\$557,000
Date:	May 20, 1992
Book/Page:	0791 / 0422
Sale Code:	XX02
Deed:	WD
Grantor:	
Price:	\$500,000

Building Information (1 of 1)

Finished Area: 7,698 SF

Gross Sketched Area: 7,900 SF

Exterior Data

View:
 Building Type: REST
 Grade: Y_C
 Story Height: 1 Story

Roof Cover: Dim Shingle
 Year Built: 1977
 Effective Year: 1977
 No. Units: 1

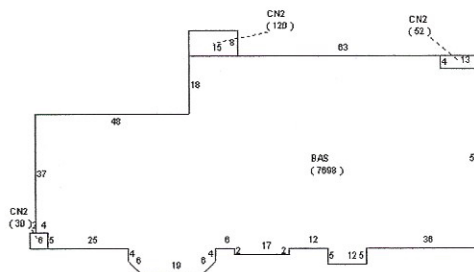
Roof Structure: Hip
 Frame:
 Primary Wall: Cypress BB
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 100%

Electric: MAXIMUM
 Heat Type: FredHotAir
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Tile-Quarry
 Sprinkled %: 0%



Special Features and Yard Items

Type:	ASP2 LOW
Quantity:	1
Units:	22535
Year Built:	1970
Type:	CEMENT CURB
Quantity:	1
Units:	132
Year Built:	1977
Type:	SINGLE LIGHT
Quantity:	1
Units:	1
Year Built:	1977
Type:	DOUBLE LIGHT
Quantity:	1
Units:	1
Year Built:	1977
Type:	SINGLE LIGHT
Quantity:	1
Units:	2
Year Built:	1995
Type:	WOOD FEN 6'
Quantity:	1
Units:	56
Year Built:	2002

Current Year Values

Current Values Breakdown

Building:	\$144,500
Land:	\$149,100
Just/Market:	\$293,600
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$293,600
Exemption(s):	\$0
Taxable:	\$293,600

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	17.6	Fort Pierce Stormwater Charge	\$1,214.40

This does not necessarily represent the total Special Assesments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office ☐.

Historical Values

Permits

Number:	F01-000175
Issue Date:	Feb 12, 2001
Description:	Demolition
Amount:	\$1,000
Fee:	\$0
Number:	F01-000255
Issue Date:	Jun 13, 2001
Description:	Alterations/Remodeling
Amount:	\$20,000
Fee:	\$0
Number:	F01-000255
Issue Date:	Jun 13, 2001
Description:	Heat and Air Conditioning
Amount:	\$0
Fee:	\$0
Number:	F01-000601
Issue Date:	May 8, 2001
Description:	Roof
Amount:	\$15,400
Fee:	\$0
Number:	F98-001481
Issue Date:	Nov 25, 1998
Description:	Roof
Amount:	\$1,800
Fee:	\$1,800
Number:	F01-0255
Issue Date:	Nov 21, 2001
Description:	Alterations/Remodeling
Amount:	\$0
Fee:	\$75
Number:	F01-1624
Issue Date:	Dec 10, 2001
Description:	Alterations/Remodeling
Amount:	\$0
Fee:	\$75
Number:	F02-0855
Issue Date:	Jun 13, 2002
Description:	Fence
Amount:	\$500
Fee:	\$75
Number:	BP13-1894
Issue Date:	Jun 18, 2013
Description:	Electric
Amount:	\$1,000
Fee:	\$155

Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

Vennis Gilmore

From: Reginald B. Sessions, Attorney at Law <sessionslawfirm@aol.com>
Sent: Tuesday, February 16, 2021 4:17 PM
To: Vennis Gilmore
Subject: 1702 Delaware Ave

SECURITY WARNING: This email originated outside of the City of Fort Pierce systems. Please use caution when clicking links or opening attachments. For questions or concerns please contact IT immediately. .

NOTICE OF REPRESENTATION

Hello Mr. Gilmore,

This office has been retained by Maria Alvarez regarding the conditional use application for future purposes pertaining to all correspondence, emails or phone communications pertinent to the below mentioned address. Our client has forwarded me your emails regarding the proposed Arcade/ Restaurant located at 1702 Delaware Ave. Fort Pierce, Florida 34950. We look forward to hearing from you and also corresponding with you regarding the current state of affairs as it relates to this matter.

On behalf of the Law Offices of Reginald B Sessions we look forward to hearing from you soon to expeditiously resolve this matter.

Sincerely,

Trena Washington, Legal Assistant

201 South 2nd Street, Suite 211
Fort Pierce, FL 34950
Office 772-595-0060
Cell 772-971-3958
sessionslawfirm@aol.com

Reginald B. Sessions, Esquire

201 South 2nd Street, Suite 211
Fort Pierce, FL 34950
Office 772-595-0060
Cell 772-971-3958
sessionslawfirm@aol.com

PROPOSED ARCADE/RESTAURANT
 1702 DELAWARE AVE
 FORT PIERCE, FLORIDA 34950



AERIAL SITE
 (N.T.S.)



GOOGLE ELEVATION
 (N.T.S.)

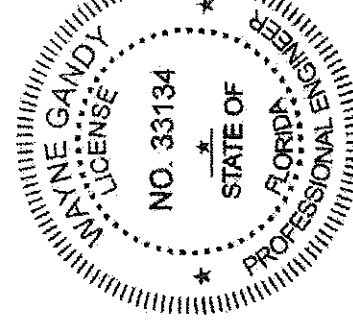


AERIAL LOCATION MAP
 (N.T.S.)

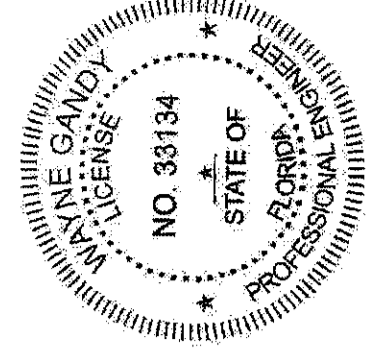
DESIGNENGINEERING LLC.

<p>PROPOSED ARCADE / RESTAURANT 1702 DELAWARE AVE FORT PIERCE, FLORIDA 34950</p>	<p>CONSULTING ENGINEERS WAYNE GANDY, P.E. 83134 6923 FOREST CITY RD. ORLANDO, FL. 32810 Phone: (203) 514-4221</p>	<p>720 S.O.B.T. Orlando, FL. 32805 Fax: 772-201-2850 Ph. 203-514-4221 E-MAIL: DESIGNENGINEERING7@GMAIL.COM</p>
<p>DATE: _____ DRAWN BY: _____ SCALE: AS SHOWN</p> <p>FR: _____ WG: _____</p>		
<p>MECH/ELECT/PLUMB/ENERGY ACCESSIBILITY/LIFE SAFETY AND FIRE CODE IMPROVED CONSTRUCTION 180MPH WIND SPEED 2 BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE</p> <p>MEETS OR EXCEEDS RESISTANCE AND CURRENT FBC.</p>		

DESIGNENGINEERING LLC. ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2014 FLORIDA BUILDING CODE AND 5TH ADDITIONS 2014. MECH/ELECT/PLUMB/ENERGY ACCESSIBILITY/LIFE SAFETY AND FIRE CODE IMPROVED CONSTRUCTION 180MPH WIND SPEED 2 BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE. DATE: _____ DRAWN BY: _____ SCALE: AS SHOWN. FR: _____ WG: _____ CONSULTING ENGINEERS WAYNE GANDY, P.E. 83134 6923 FOREST CITY RD. ORLANDO, FL. 32810 Phone: (203) 514-4221. PROPOSED ARCADE / RESTAURANT 1702 DELAWARE AVE FORT PIERCE, FLORIDA 34950.



SHEET NO
A-1
 OF SHEETS



SHEET NO
A-2
OF SHEETS

Ph. 203-514-4221
720 S.O.B.T. ORLANDO, FL. 32805
Fax. 772-201-2850
Fine Engineering Design
E-MAIL: DESIGNENGINEERING7@GMAIL.COM

SCALE
AS SHOWN
WG
FR
DRAWN BY
DATE:

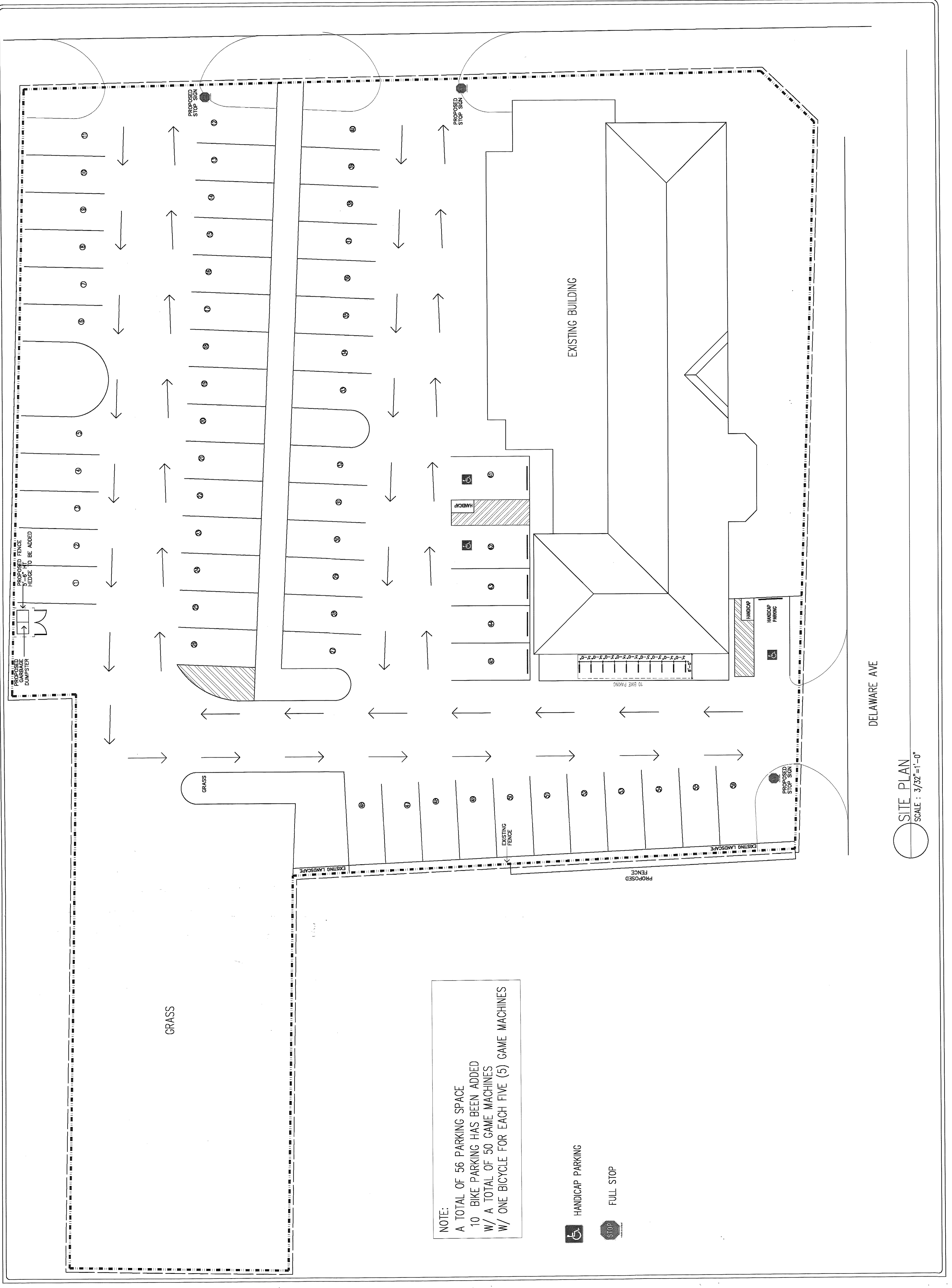
CONSULTING ENGINEERS
WAYNE GANDY, P.E. 38134
6923 FOREST CITY RD.
ORLANDO, FL. 32810
Phone: (203) 514-4221

PROPOSED ARCADE / RESTAURANT
1702 DELAWARE AVE
FORT PIERCE, FLORIDA 34950

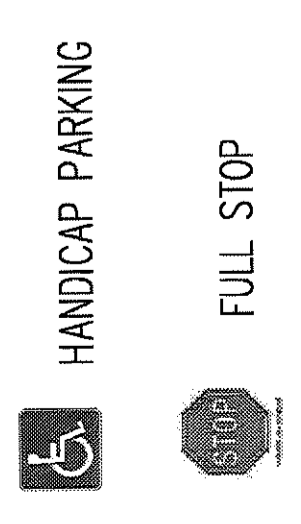
ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2014 FLORIDA BUILDING CODE AND 5TH ADDITONS 2014 MECHANICAL, PLUMB, ENERGY, ACCESSIBILITY, LIFE SAFETY AND FIRE CODE UNPROTECTED CONSTRUCTION 160MPH WIND SPEED, 2. BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE SHALL WITH AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB AND THE OFFICE SHALL BE RESPONSIBLE FOR ANY CHANGES THAT HAVE PROCEEDED OVER SUCH ENGINEERING CONCEPTS THAT BE HINDERED BY REVISION FROM THE DRAWINGS AND CONDITIONS SHOWN BY THESE DRAWINGS.

DESIGNENGINEERING LLC.

17TH ST



NOTE:
A TOTAL OF 56 PARKING SPACE
10 BIKE PARKING HAS BEEN ADDED
W/ A TOTAL OF 50 GAME MACHINES
W/ ONE BICYCLE FOR EACH FIVE (5) GAME MACHINES



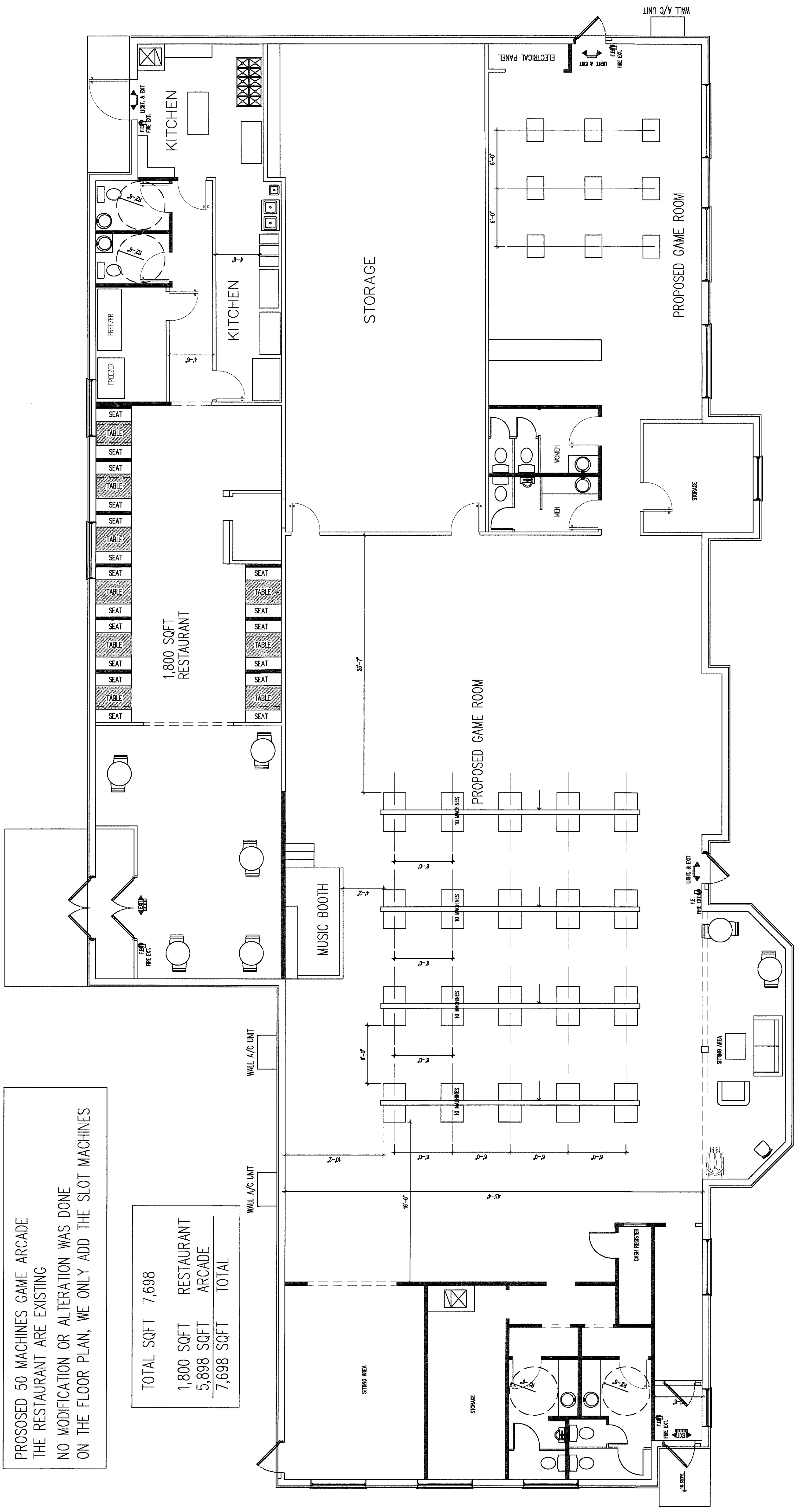
SITE PLAN
SCALE : 3/32"=1'-0"

DELAWARE AVE

NOTE: AS BUILT FLOOR PLAN

PROPOSED 50 MACHINES GAME ARCADE
 THE RESTAURANT ARE EXISTING
 NO MODIFICATION OR ALTERATION WAS DONE
 ON THE FLOOR PLAN, WE ONLY ADD THE SLOT MACHINES

TOTAL SQFT	7,698
1,800 SQFT RESTAURANT	
5,898 SQFT ARCADE	
7,698 SQFT TOTAL	



FLOOR PLAN
 SCALE : 3/16" = 1' - 0"

ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2014 FLORIDA BUILDING CODE AND 5TH ADDITONS 2014
 MECH. ELECT. PLUMB. ENERGY, ACCESSIBILITY, LIFE SAFETY AND FIRE CODE
 UNPROTECTED CONSTRUCTION 180MPH WIND SPEED, 2. BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE
 MEETS OR EXCEEDS RESISTANCE AND CURRENT IBC.

DESIGNENGINEERING LLC.

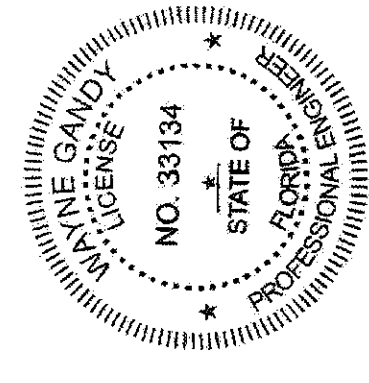
SCALE AS SHOWN
 WG
 FR
 DRAWN BY
 DATES:

CONSULTING ENGINEERS
 WAYNE GANDY, P.E. 93134
 5923 FOREST CITY RD.
 ORLANDO, FL. 32810
 Phone: (209) 514-4221

PROPOSED ARCADE / RESTAURANT
 1702 DELAWARE AVE
 FORT PIERCE, FLORIDA 34950

Ph. 203-514-4221
 E-MAIL: DESIGNENGINEERING7@GMAIL.COM
 720 S.O.B.T. ORLANDO, FL. 32805
 Fax. 772-201-2850
 Fine Engineering Design

SHEET NO
A-3
 OF SHEETS



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Z = Luminaire Mounting Height

Expanded Luminaire Location Summary	
LumNo	Label
1	C-2
2	C-2
3	C-2
4	C-2
5	C-2
6	C-2
7	C-2
8	C-2
9	C-2
10	C-2
11	D-2
12	C-2
13	D-2
14	D-2
Total Quantity: 14	

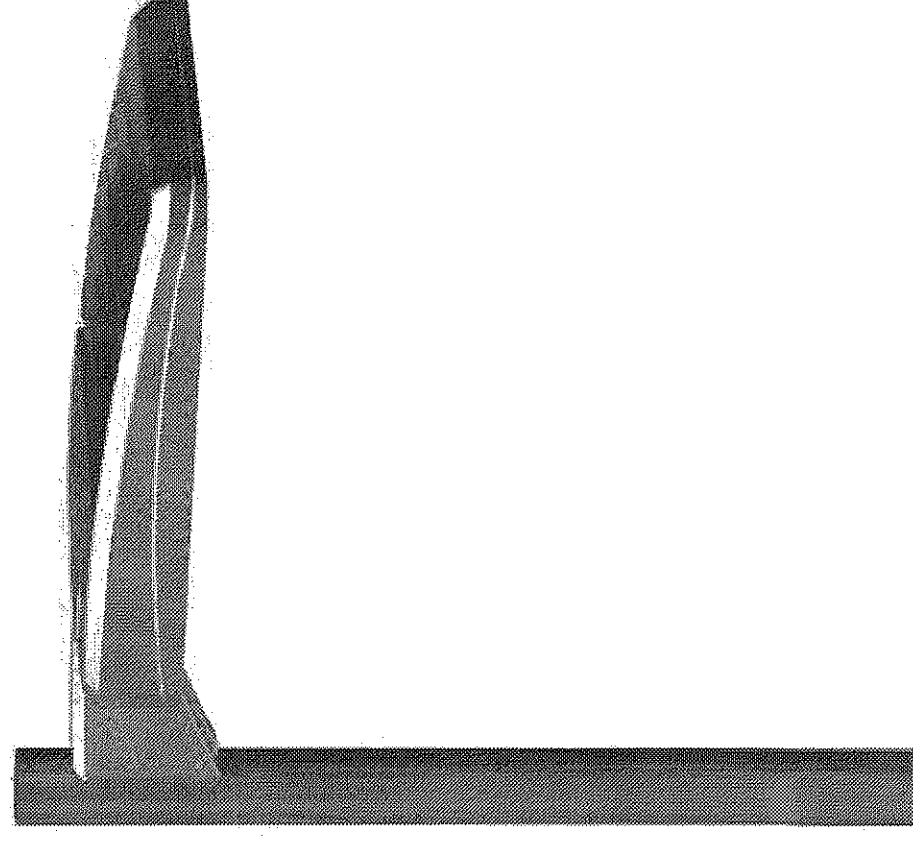
Luminaire Schedule

Symbol	Qty	Label	Description	Lum. Watts	Arm	Arrangement	BUG Rating	Tag	Filename
—	11	C-2	SEPA275	60	2	SINGLE	B1-U0-G2	4	VP-S-36L-80-4K7
—	3	D-2	SEPA275	60	2	SINGLE	B1-U0-G2	2-BC	VP-S-36L-80-4K7

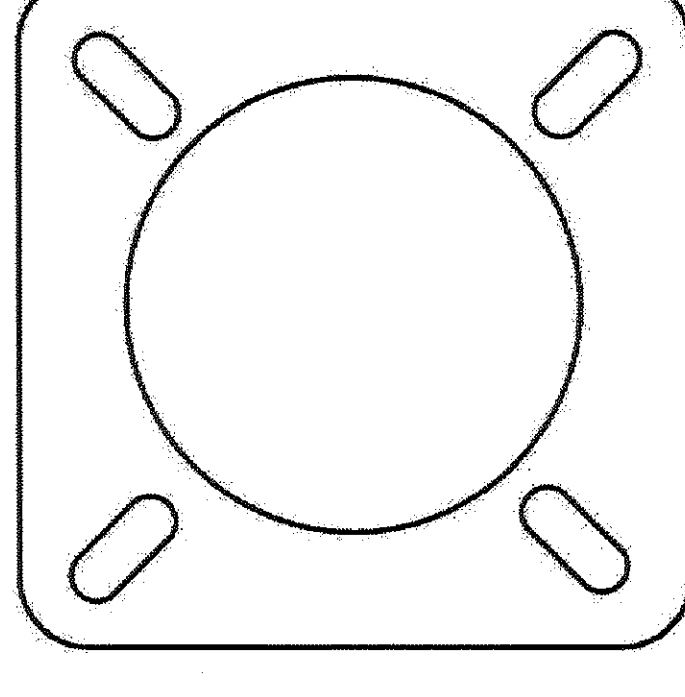
Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking_Top	Illuminance	Fc	2.03	4.7	0.5	4.06	9.40

Project Fixtures



Important Note:
Bolt Down Poles Require
Special Foundation Orientation
As Shown Below



SOUTH

The calculations provided in this report are predicted lighting levels based on the above described input data and characteristics. All information should be reviewed for accuracy, understanding and agreement with all information. Any discrepancies should be noted and the preparer of this report immediately advised to clarify or change as required.

Actual lighting levels may vary from this report due to a variety of circumstances, such as: reflectances, voltage variations, objects blocking or redirecting light, different mounting heights, installation, lamp and ballast tolerances, etc. Room is considered completely empty unless noted otherwise above. Unless specifically stated otherwise, predicted foot candles are not a recommendation of lighting levels.

Solar Electric Power Company (SEPCO) assumes no responsibility for any such variances and will not be held responsible for lighting levels different from predicted levels in this report. Recipient of this report, or someone designated by recipient, must verify that lighting fixtures physically fit within the specified location(s). Catalog numbers of lighting fixtures may not be complete as all conditions may not be known.

PROPERTY OF SOLAR ELECTRIC POWER COMPANY (SEPCO)
THESE DRAWING ARE THE SOLE AND EXCLUSIVE PROPERTY OF SEPCO,
AND SHALL NOT BE USED, REPRODUCED, OR DISCLOSED TO ANY THIRD PARTY
FOR ANY PURPOSE, WITHOUT THE EXPRESS WRITTEN CONSENT OF
SOLAR ELECTRIC POWER COMPANY

1702 Delaware Ave

Drawn By: Bud Straszewski

Checked By:

Date: 12/21/2020

Scale:

Date Comments

Revisions

1521 SE Palm Court, Stuart, FL 34994
p (772) 220-6615 f (772) 220-8616

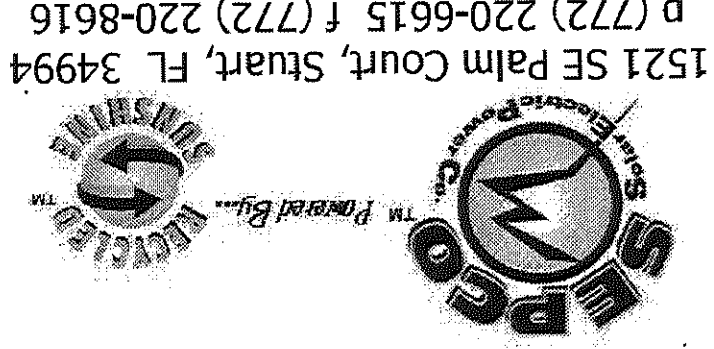


1702 Delaware Ave

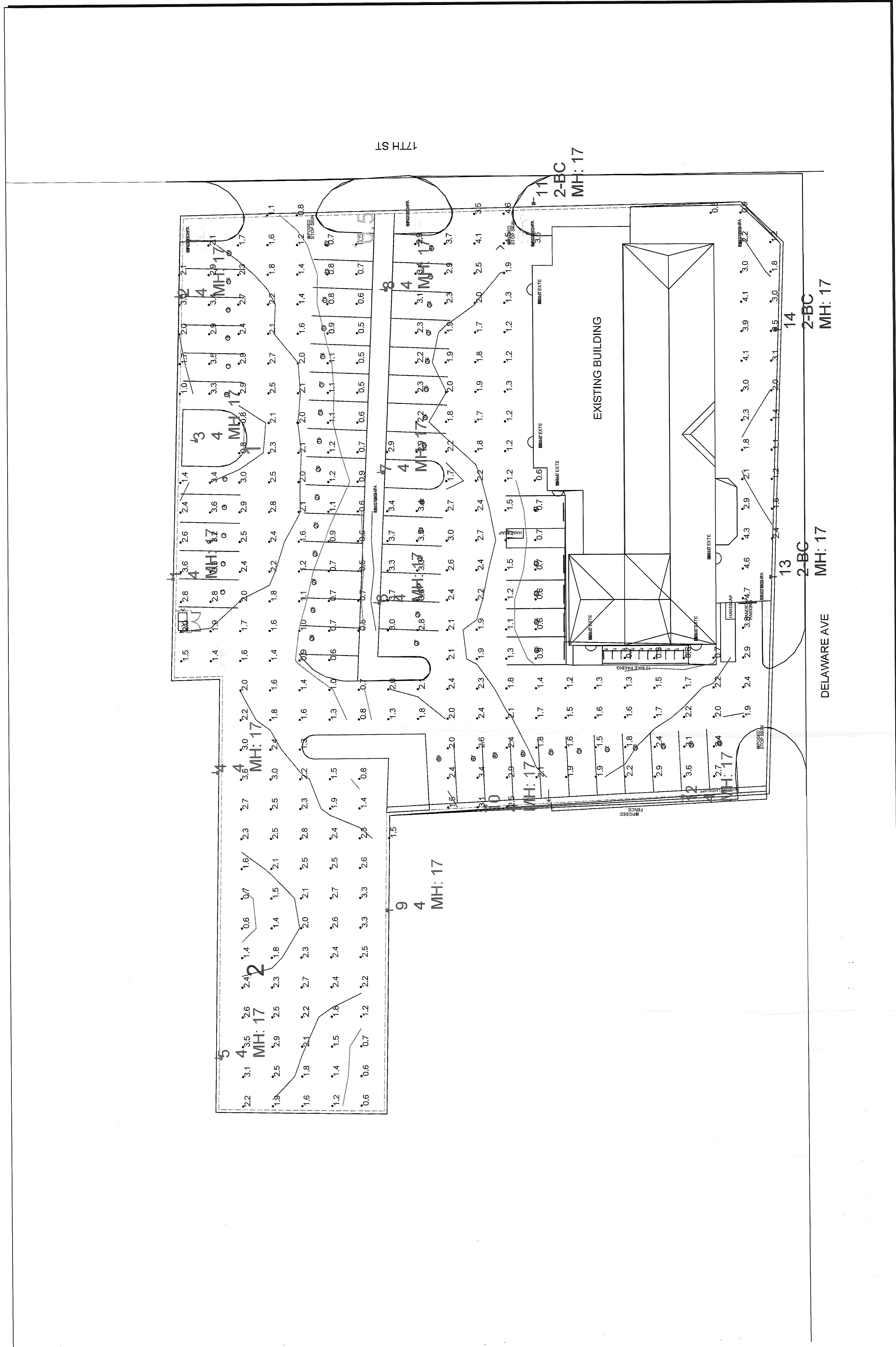
Drawn By: Bud Straszewski
 Checked By:
 Date: 12/1/2020
 Scale:

Revisions

#	Date	Comments



1521 SE Palm Court, Stuart, FL 34994
 P (772) 220-6615 F (772) 220-8616



1702 Delaware Ave

Drawn By: Bud Straszewski

Checked By:

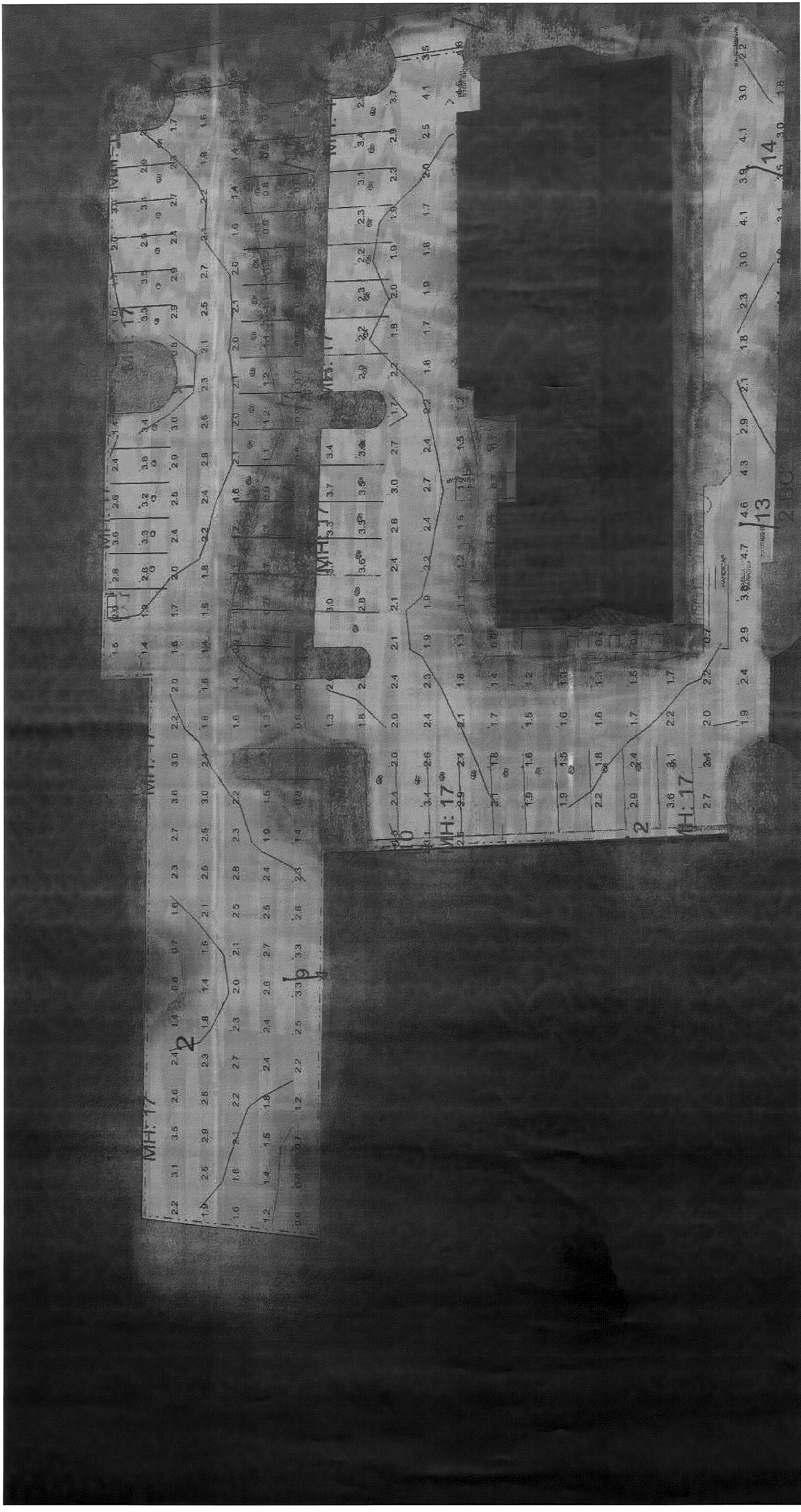
Date: 12/21/2020

Scale:

Revisions

#	Date	Comments

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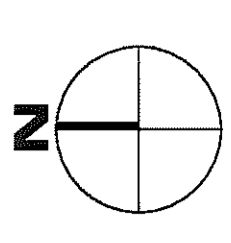
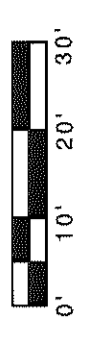


DELEWARE AVE
1 702 DELAWARE AVENUE
FORT PIERCE, FL 34950

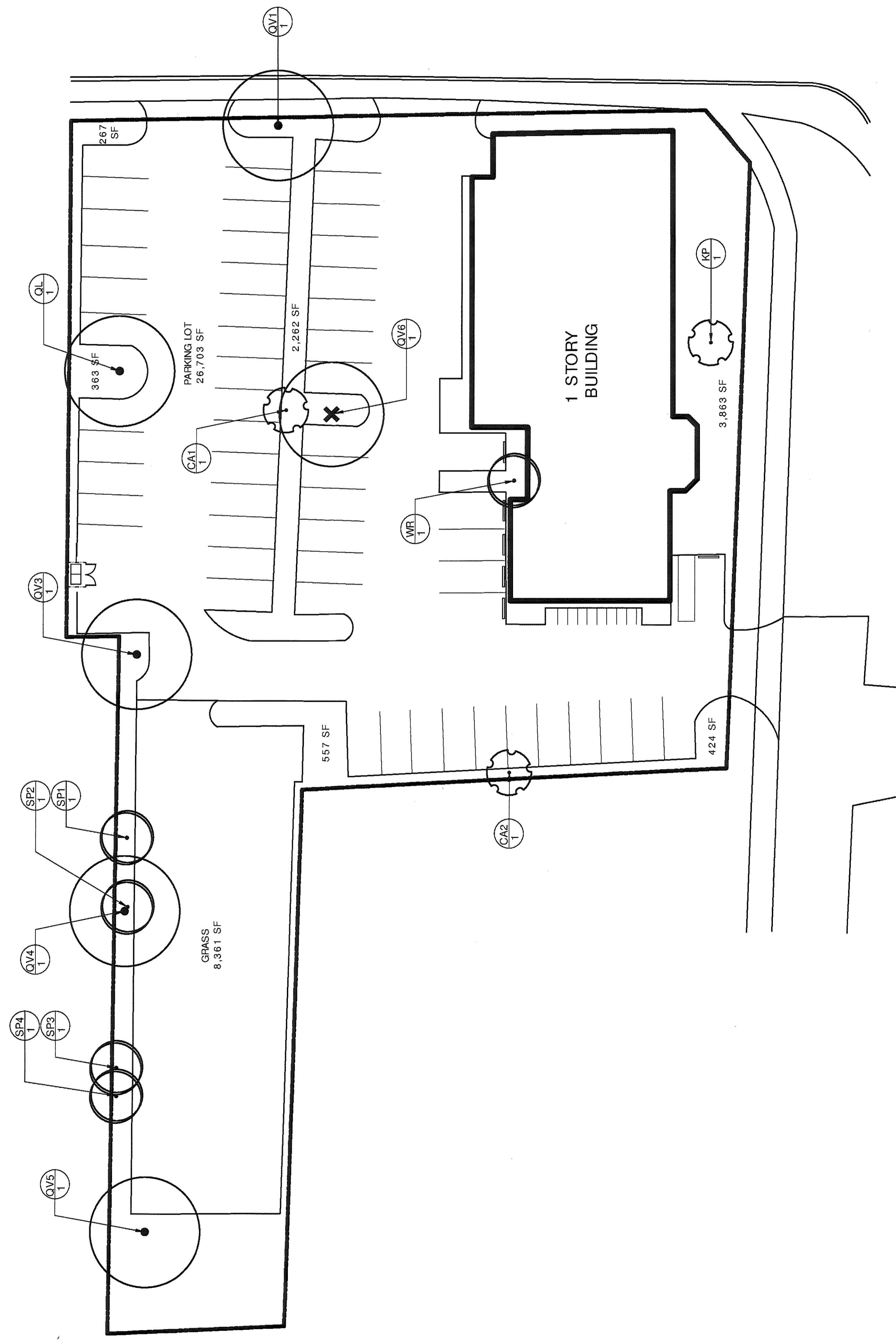
DATE: 3/24/21
 DESIGNER: MH
 CAD: MV
 PROJECT NO: 21-031

DRAWING NAME:
TREE
DISPOSITION
PLAN

REVISIONS: RT
 SCALE: 1" = 20'-0"



SHEET NO: 01
 OF 03



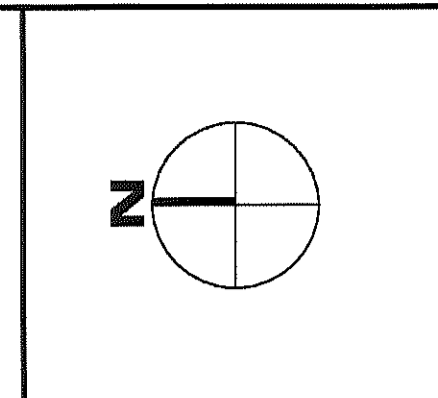
- EXISTING PLANT SYMBOL KEY**
- EXISTING TREE/PALM TO REMAIN
 - ▲ EXISTING TREE/PALM TO BE RELOCATED ON SITE
 - ✕ EXISTING TREE/PALM TO BE REMOVED
 - ▨ EXISTING VEGETATION TO REMAIN
 - ▧ EXISTING VEGETATION TO BE RELOCATED ON SITE
 - ▩ EXISTING VEGETATION TO BE REMOVED

DELEWARE AVE
 1702 DELAWARE AVENUE
 FORT PIERCE, FL 34950

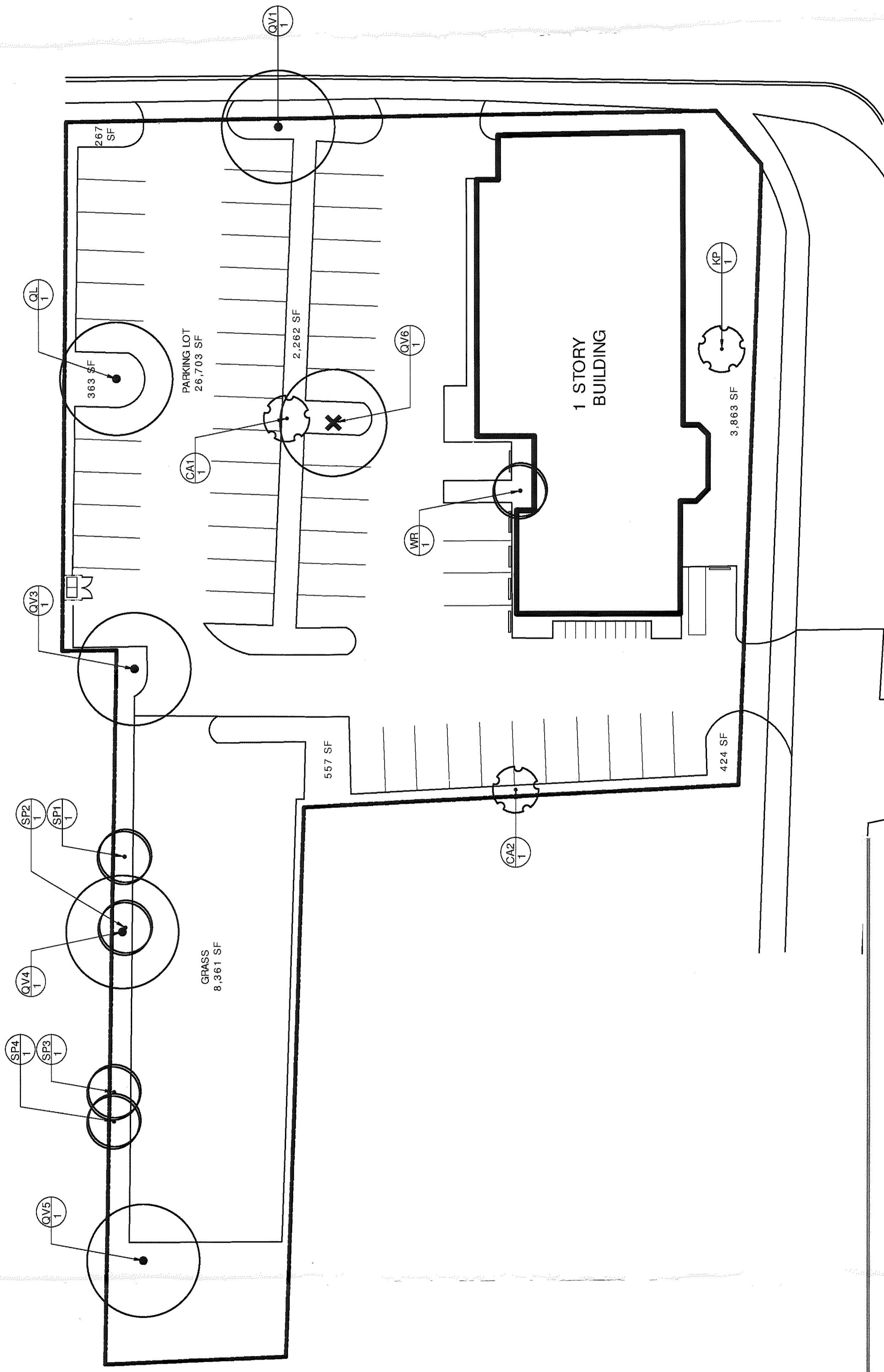
DATE: 3/24/21
 DESIGNER: MH
 CAD: MV
 PROJECT NO.: 21-031

DRAWING NAME:
**TREE
 DISPOSITION
 PLAN**

REVISIONS: R1
 SCALE: 1" = 20'-0"



SHEET NO.: 01
 OF 03



EXISTING PLANT KEY

SYM	QTY	BOTANICAL NAME	COMMON NAME	DIMENSIONS (HT X SPR, DBH)
PALMS				
SP1	1	Sabal Palmetto	Cabbage Palm	22' HT x 16' SPR
SP2	1	Sabal Palmetto	Cabbage Palm	18' HT x 16' SPR
SP3	1	Sabal Palmetto	Cabbage Palm	18' HT x 16' SPR
SP4	1	Sabal Palmetto	Cabbage Palm	20' HT x 16' SPR
WR	1	Washingtonia robusta	Washington Palm	30' HT x 16' SPR
TREES				
CA1	1	Cupaniopsis anacardioides	Carrotwood	16' HT x 9' SPR; 12" CAL
CA2	1	Cupaniopsis anacardioides	Carrotwood	20' HT x 16' SPR; 16" CAL
KP	1	Kigelia pinnata	Sausage Tree	18' HT x 30' SPR; 20" CAL
QL	1	Quercus laurifolia	Laurel Oak	26' HT x 48' SPR; 96" CAL
QV1	1	Quercus virginiana	Live Oak	18' HT x 24' SPR; 30" CAL
QV2	1	Quercus virginiana	Live Oak	32' HT x 50' SPR; 72" CAL
QV3	1	Quercus virginiana	Live Oak	33' HT x 60' SPR; 114" CAL
QV4	1	Quercus virginiana	Live Oak	28' HT x 30' SPR; 60" CAL
QV5	1	Quercus virginiana	Live Oak	36' HT x 72' SPR; 108" CAL
QV6	1	Quercus virginiana	Live Oak	24' HT x 36' SPR; 82" CAL

PLANT & MATERIALS LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING	REMARKS
CE	10	Conocarpus erectus	Green Buttonwood	FG: 12' HT x 5' SPR; 5 CT; 2.5' CAL	A.S.	Florida #1
QV	8	Quercus virginiana	Live Oak	FG: 12' HT x 5' SPR; 5 CT; 2.5' CAL	A.S.	Florida #1
ACCENTS, SHRUBS, GROUNDCOVERS AND VINES						
CI	236	Chrysobalanus icaco 'Red Tip'	Cocoplum	3 Gal; 24" x 12"	3' O.C.	Florida #1
SAG	83	Schefflera arboricola 'Green'	Green Arboricola	3 Gal; 24" x 12"	3' O.C.	Florida #1
LMS	35	Liriodendron 'Super Blue'	Liriodendron 'Super Blue'	1 Gal; 12"	1.5' O.C.	Florida #1
SOD, MULCH, GRAVEL & OTHER MATERIALS						
(SF)	(UNITS)					
6324	13	Stenotaphrum secundatum 'Floristam'	St. Augustine 'Floristam'	500 sf		Quantity is estimate. Must be field measured and verified by contractor.
5257	438	Mulch	Mulch	12" #1 @ 3"		Quantity is estimate. Must be field measured and verified by contractor.

Landscape Specifications

1. General Landscape Requirements

Landscape contract work includes, but is not limited to, soil preparation, fine or finish grading, furnishing and installing plant material, watering, staking, guying and mulching.

The landscape contractor shall not make any changes and/or substitutions without the authorization of the owner and the landscape architect.

Prior to construction, the landscape contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of work. Locations of existing buried utility lines shown on the plans are based upon the best available information and considered approximate. It shall be the responsibility of the contractor to verify the locations of utility lines and adjacent to the work area to protect all utility lines during the construction period to repair any and all damage to utilities, structures, site appurtenances, etc. Which occurs as a result of construction activities.

The landscape contractor shall be responsible for all permits.

Sod and irrigation shall be installed in any adjacent right of way between the sidewalk and the curb.

Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without resulting in shock.

Contractor shall not mark or scar the trunk in any fashion.

Plants shall be watered as necessary or within 24 hours after notification by the landscape architect.

The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions.

Major adjustments to the layout are to be approved by the landscape architect.

Sabal palms may be hurricane cut.

Do not allow air pockets to form when backfilling plant materials. All trees shall be spiked in utilizing water and a tree bar.

The landscape contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until completion of contract or acceptance by the landscape architect.

Settled plants shall be reset to proper grade, planting saucers restored, and defective work corrected.

The landscape contractor shall at all times keep the premises free from accumulation of waste materials or debris caused by his crews during the performance of the work.

Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers and all equipment from the project site.

All labor and material for soil amendments and fertilizer that is required to insure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material, shall be included in the contractor's bid to perform the work represented in this plan set.

Irrigation

All areas shall be fully irrigated in accordance with the requirements of the Town of Jupiter.

The irrigation system shall be designed to provide 100% overlap coverage to all landscape and sod areas.

The irrigation system shall be equipped with a rain sensor/cut off switch in accordance with state and local requirements.

It is the sole responsibility of the landscape contractor to ensure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

Plant Size and Quality

Trees, palms, shrubs, groundcovers:

Plant species and sizes shall conform to those indicated on the drawings. nomenclature shall conform to Standard Plant Names, 1942 edition.

All sizes shown for plant material on the plans are to be considered minimums. All plant materials must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I & II, Latest Edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise.

All plants shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.

All trees shall have a straight trunk and full head and meet all requirements specified.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold.

All plant material shall be healthy, vigorous and free of pests and disease.

All plant material shall be container grown or balled and burlapped as indicated in the plant list.

An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.

Soil & Planting Mixture

Standard planting mixture for planting beds shall be one (1) part recycled organic material added to three (3) parts existing native soil.

Standard planting mixture for annual beds shall be (1) part potting soil, (1) part peat moss and fertilized with Osmocote 15-9-12 Slow Release Fertilizer.

Replacement soil shall be used as specified to replace existing soils that are determined by the landscape architect to be unsuitable for planting, i.e. Road base, pavement, etc.

All shrubs, trees and ground cover will have improved soil as per planting soil notes.

The soils shall be placed in the hole during planting. Top dressing only is not acceptable.

Mulch

All planting areas shall be completely mulch as specified. All mulch is to be applied to a depth of 3", except as otherwise noted.

Fertilizer

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Staking

All plastic fabric shall be removed from plant material at time of installation.

All trees must be staked as shown on the planting details within 24 hours of planting.

Stakes to remain for a minimum of 9 months, but no longer than 18 months. Contractor is responsible for maintenance and removal of the stakes.

Root Barrier

19.5" 'Bio barrier' root barrier shall be provided for shade trees planted within six (6') feet of public curbs, sidewalks or public right of ways.

All root barriers shall be installed in accordance with the manufacturer's recommendations.

Planting Trees & Palms

Excavate pit as per planting details.

Backfill around the ball with standard planting mixture and slightly compact, water thoroughly as layers are placed to eliminate voids and air pockets. Build a 6" high berm of standard planting mixture beyond the edge of excavation. Apply 3" (after settlement) of mulch except within 6" of the trunk.

Prune trees to remove damaged branches, improve natural shape and thin out structure.

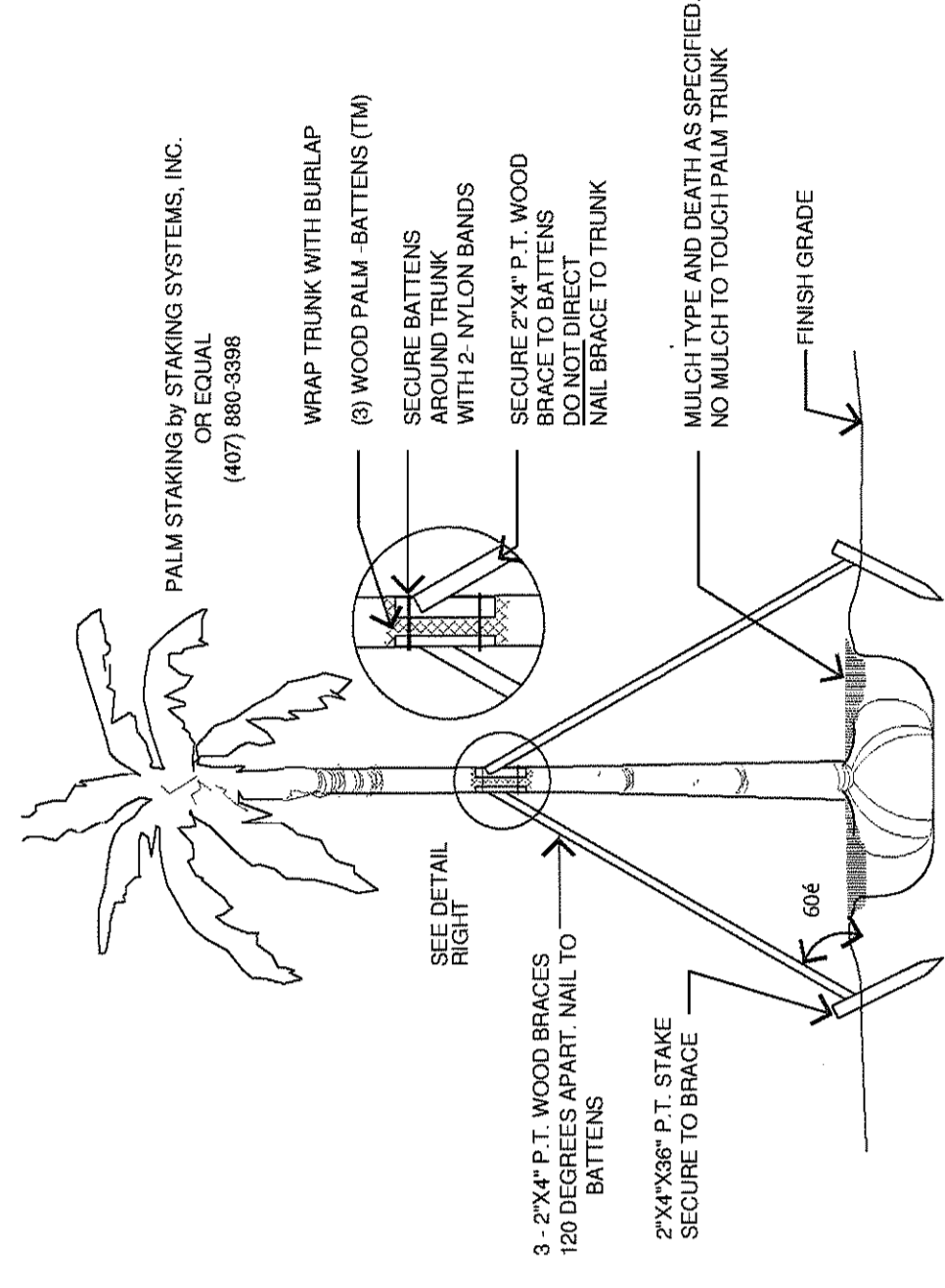
Do not remove more than 15% of branches.

Do not prune back terminal leader.

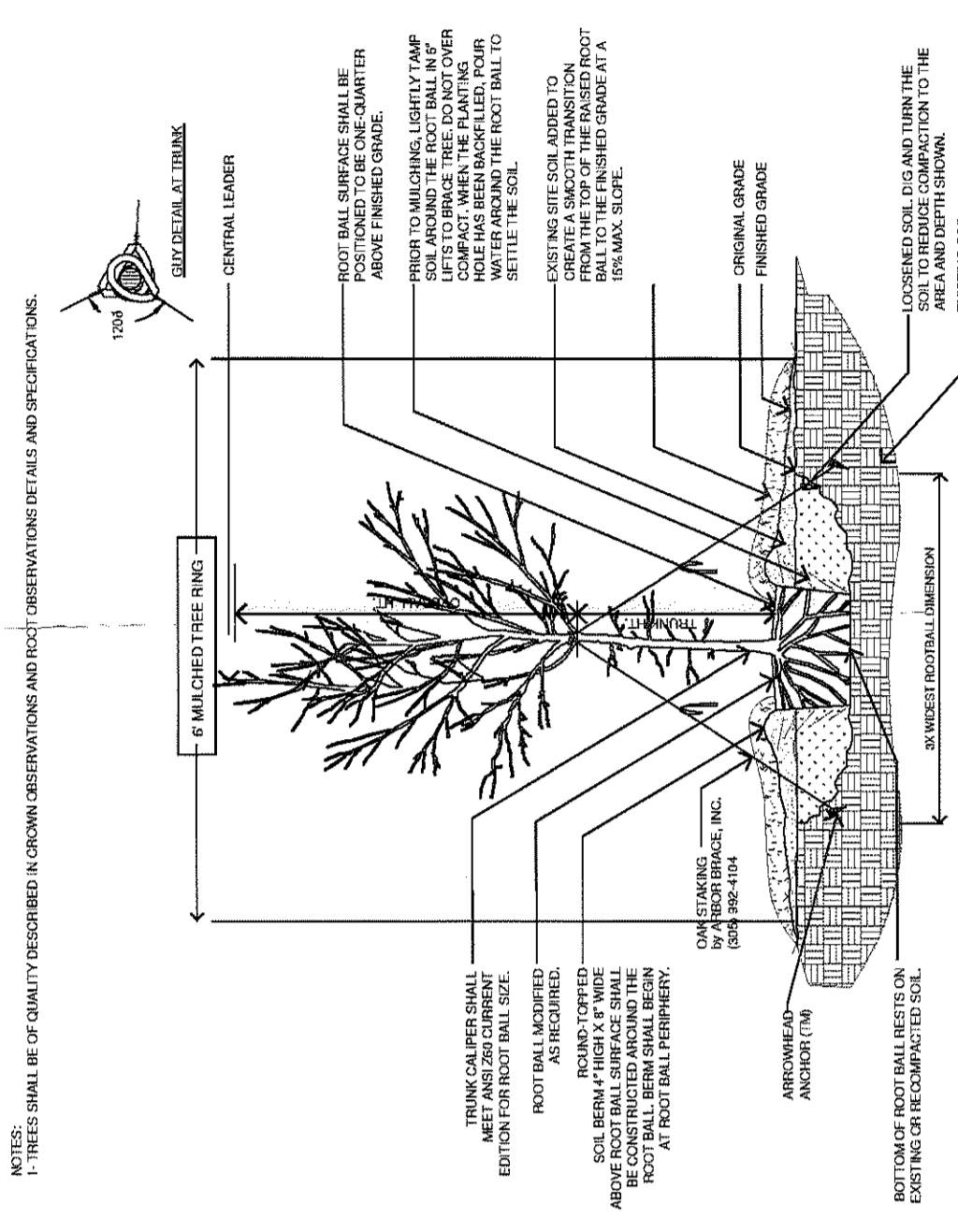
Guy and stake tree in accordance with the staking details immediately after planting.

All trees must be guyed or staked as shown in the details.

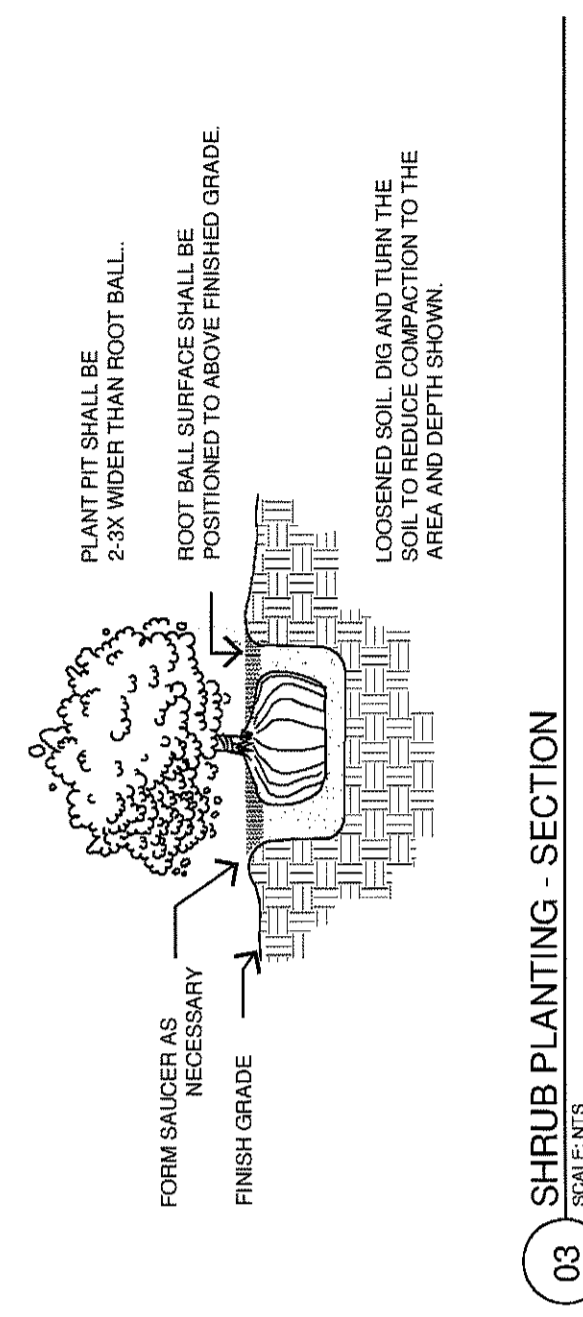
Trees to be relocated shall be root pruned and protected during construction.



01 PALM STAKING - SECTION
SCALE: 1/8"



02 TREE PLANTING - STAKING & PRUNING - SECTION
SCALE: 1/8"



03 SHRUB PLANTING - SECTION
SCALE: 1/8"

DELEWARE AVE
1702 DELAWARE AVENUE
FORT PIERCE, FL 34950

DATE: 3/24/21
DESIGNER: MH
CAD: MV
PROJECT NO.: 21-031

DRAWING NAME:
LANDSCAPE
DETAILS &
SPECIFICATIONS

REVISIONS: R1
SCALE: N.T.S.

SHEET NO.: 03
OF 03

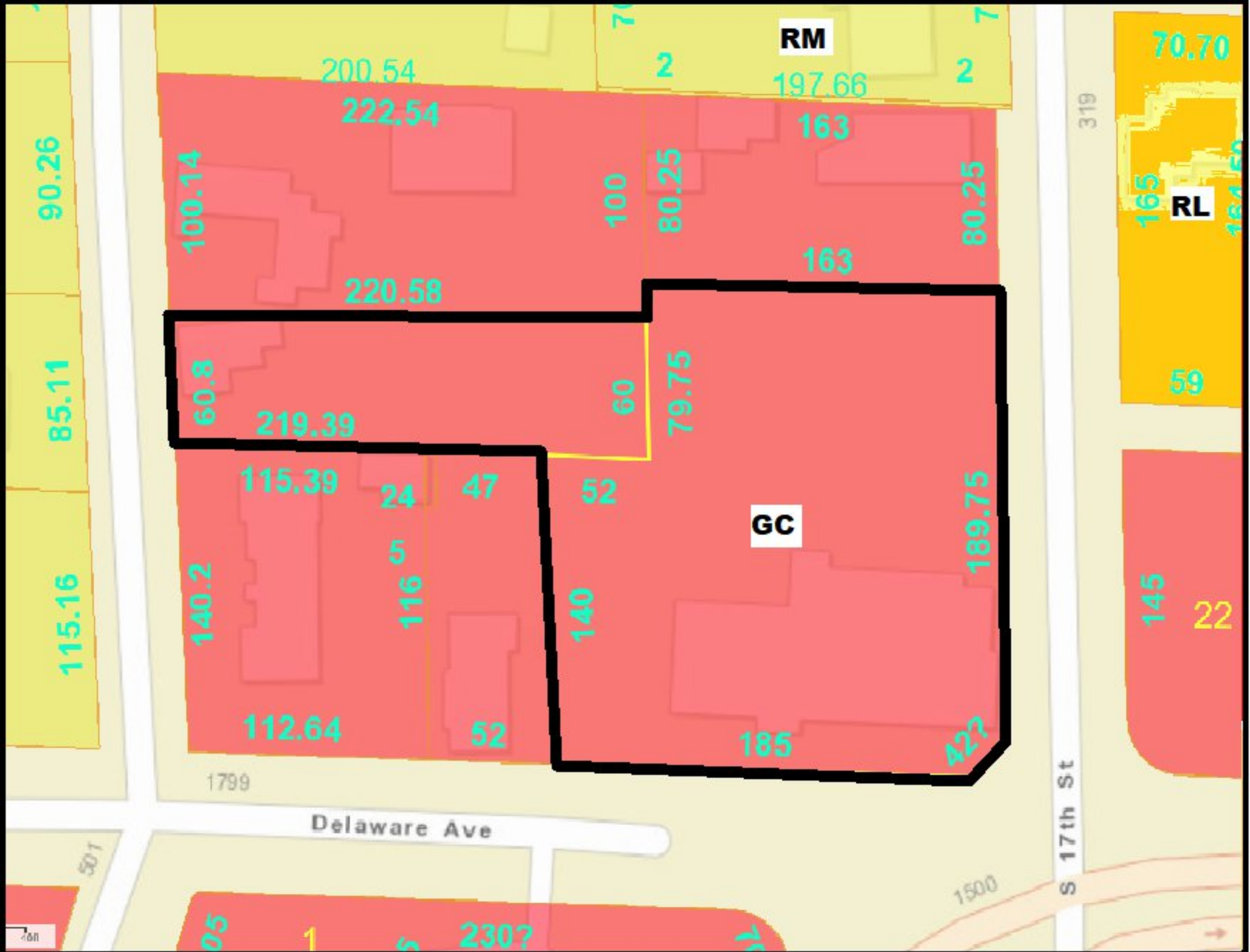


Lucky 7 Arcade
1702 Delaware Avenue

Aerial Map



THE SUNRISE CITY
FORT PIERCE
Florida



Legend

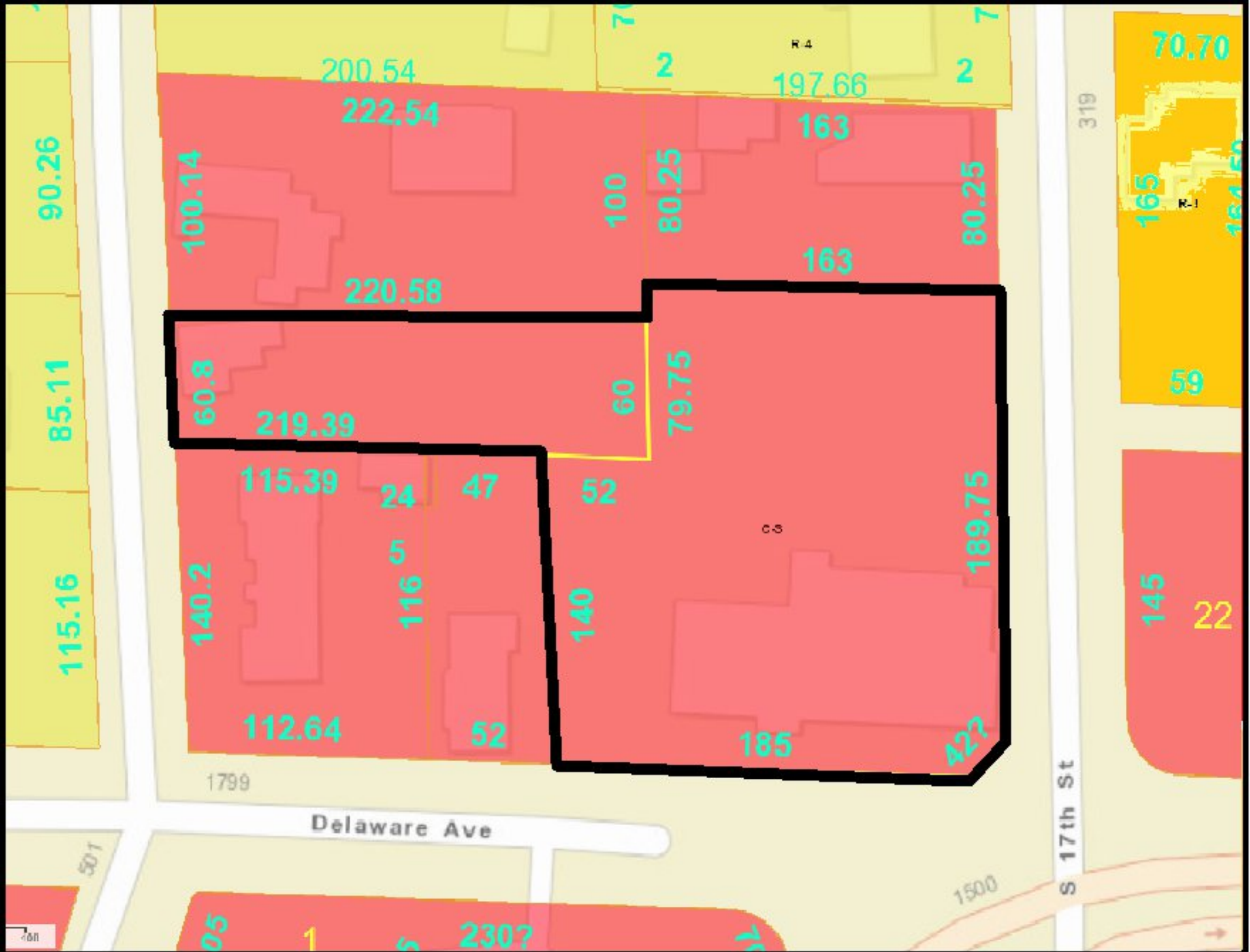
-  Subject Site
-  **GC, General Commercial**
-  **RL, Low Density Residential**
-  **RM, Medium Density Residential**

FLU Map

Lucky 7 Arcade
1702 Delaware Avenue



THE SUNRISE CITY
FORT PIERCE
Florida



Legend

- Subject Site
- C-3, General Commercial Zone
- R-3, Single-Family Moderate Density Zone
- R-4, Medium Density Residential Zone

Zoning Map

**Lucky 7 Arcade
1702 Delaware Avenue**



THE SUNRISE CITY
FORT PIERCE
Florida



April 15, 2021

Maria Alvarez
145 NW Dorchester Street
Port St Lucie, FL 34983

Subject: 1702 Delaware Avenue – TRC Comments for April 15, 2021 conference call

Fort Pierce Planning Department

1. Per City Code Section 125-317. – Sidewalks - (b)Applicability. In order to provide continual access for pedestrians, sidewalks and sidewalk linkages shall be required to be provided by the property owner or permit applicant when one of the following events occur:

(4)Plans submitted for site plan, conditional use, PUD/PUR, and subdivision review. Plans shall reflect all proposed sidewalk improvements. **Include a sidewalk connection to the Building from sidewalk along Delaware Ave to the entrance.**
2. Provide a separate gated entrance to the refuse collection area for employee access.
3. Provide a sidewalk connection (sidewalk striping) to the refuse collection gated entrance.
4. Per City Code Section 123-37. – General Landscaping Requirements - (10) Screening of refuse collection areas. Refuse and recycling dumpsters utilized by multifamily residential complexes, in commercial, industrial and institutional facilities shall be screened from view on all sides and shall be gated. Gates may be left open only on scheduled pick-up days and must be closed following pick up. Such screening shall consist of a six-foot-high masonry wall or wooden fence. In addition, when feasible, one shrub or hedge shall be planted at two-foot centers along the outside perimeter of the screen. Dumpsters shall be located in an area that minimizes public view. This subsection shall apply to dumpsters servicing structures built on or after June 1, 1996.
5. A Lot Combination and Unity of Title of Parcel ID: 2409-314-0027-000-0 and Parcel ID: 2409-314-0024-000-9, to provide continual access of a sustainable commercial site must be completed.
6. City Code Section 125 . 325. – Amusement Arcades and Arcade Amusement (1)(f): **Alcohol sales or consumption shall be prohibited in amusement arcades and arcade amusement centers.**
7. Please adhere to all regulation within City Code Section 125 – 325. – Amusement Arcades and Arcade Amusement.
8. Per City Code Section 123.-6. – Required Bond., Provide a completion certification by the landscape architect, a landscape cost estimate sheet, and a security bond, certified deposit (CD), cashier's check or a certified check upon a solvent local bank conditioned to secure 100 percent of the supply and installation cost of the landscaping improvements required. **A Landscape Bond, Itemized Cost**

Estimate, and Certified Letter of Completion by Certified Florida Landscape Architect must be provided prior to receiving Certificate of Occupancy.

9. Per City Code Section 125-315. – Off-Street Parking and Loading. (j)Lighting, Commercial uses require a minimum average of two footcandles for parking areas.
10. **Per City Code 125-325. – Amusement Arcades and Arcade Amusement Centers.(2)(f): Amusement arcades or arcade amusement centers shall provide bicycle racks within enough stalls to accommodate one bicycle for each five game machines located within the premises.** Bicycle racks shall be located as close as practical to the entrance of the facility and shall not be located in a manner that obstructs any entrances, exits, sidewalks, driveways, or parking areas. **Install a bicycle rack with a minimum of 10 bicycle stalls.**
11. Per City Code Section 125 . 325. – Amusement Arcades and Arcade Amusement (1)(f): **Alcohol sales or consumption shall be prohibited in amusement arcades and arcade amusement centers.**
12. **Per City Code 125-325. – Amusement Arcades and Arcade Amusement Centers.(2)(i): Landscaping must comply with requirements of the city's landscaping ordinance prior to the issuance of a business tax receipt.**
13. No Parking in the 8,361 square foot grass area to the west.
14. Per City Code Section 22-56.-Definitions: Adult entertainment *establishment* means an adult theater, an adult bookstore, an adult performance establishment, a commercial physical contact parlor or an escort service operated for commercial or pecuniary gain, regardless of whether such establishment is permitted under this article. Whether or not an adult entertainment establishment is operated for commercial or pecuniary gain shall not depend upon actual profit or loss. An establishment which has a permit issued through this article shall be presumed to be operated for commercial or pecuniary gain. An establishment with an adult entertainment permit shall be presumed to be an adult entertainment establishment. **Adult Entertainment per the City of Fort Pierce definition is not allowed, however an Arcade Amusement Center with entertainment for adults 21 years of age and older is permitted through Conditional Use Approval.**

**BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM**

Meeting Date: 4.15.21
Property Address: Conditional Use & Design Review – Lucky 7 Arcade – 1702 Delaware Avenue

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 7th Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
 - Accessible route
 - Handicapped parking spaces
 - Means of egress
- 7. Change of Use required
 - to include a signed and sealed Life Safety Plan
 - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

Additional Comments/Requirements:

Building Official's or Representative's Signature _____ Date: 4/9/21



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

To : Vennis Gilmore, Planner

FROM : John R. Andrews, P.E., City Engineer

**RE : Conditional Use – 1702 Delaware Avenue
TRC No. 21-0400002**

DATE : April 9, 2021

RECEIVED

APR 12 2021

CITY OF FORT PIERCE
PLANNING & ZONING

This is to advise you that we have completed the review of the following documents as received by this office on April 5, 2021:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Conditional Use Application | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|---|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of Conditional Use | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached advisory comment

ENGINEERING ADVISORY COMMENT:

1. This approval is based on the information provided that no new site improvements are proposed other than site lighting and landscaping.

JRA/tst/tst



THE SUNRISE CITY
FORT PIERCE
POLICE DEPARTMENT
"In Honor We Serve"

Florida

Technical Review Committee meeting

April 15, 2021

Case # 21-04000002

Planner: Vennis Gilmore

Conditional Use and Development Review

1702 Delaware Avenue, Ft. Pierce (Lucky 7 Arcade)

Comments:

No comments at this time.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.



Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 x3473

Technical Review Committee Meeting

April 15, 2021

TECHNICAL REVIEW PROJECT # 21-04000002

Conditional Use & Design Review – Lucky 7 Arcade – 1702 Delaware Avenue

Comments

FPUA W/WW Engineering: This building is presently served with Water and Wastewater Service by Fort Pierce Utilities Authority. If water utility service modification is required, please contact Lugey Dawson @ 466-1600 ext. 3428 to discuss in further detail.

FPUA Electric & Gas Engineering: Approved

If the owner/applicant should have any questions, please contact Sal Scimeca.

Sal Scimeca

Engineering Technician II

Electric and Gas Engineering

1701 S. 37th Street, Fort Pierce, FL 34947

sscimeca@fpua.com

Office: (772)466-1600 Ext. 6957



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

www.fpua.com



April 14, 2021

PROJECT: 1702 Delaware – Lucky 7 Arcade
REF: TRC App. #21-04000002
TO: Vennis Gilmore, Jennifer Hofmeister
FROM: David Hays

The following comments are offered by SLC Public Works Department:

1. No written response to previous comments was provided.
2. Previous comment offered: *If the trip count is 10% or more than previous use (grandfathered), please let us know to further evaluate any driveway connections or potential for turn lanes.* No information has been provided to support this request.
3. For discussion regarding these comments, please contact me at 772-462-1491, haysd@stlucieco.org or Grant Chambers at 772-462-2741, chambersg@stlucieco.org.

Cc: Alicia Rosenthal



BUREAU OF FIRE PREVENTION

SITE PLAN REVIEW

TO: Site Plan Applicant

SITE PLAN: Lucky 7 Arcade-1702 Delaware Avenue

REVIEW DATE: 1/14/2021, 4/2/2021

PLANNER: V. GILMORE

REVIEWED BY: Captain Wayne Boyer

Site Plan Approved: _____

Site Plan Approved with conditions: X

Site Plan Approval withheld pending written acknowledgement of conditions: _____

Site Plan Rejected: _____

The Following Revisions Are Necessary:

- 1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfcd.com>**
- 2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.**
- 3. Please send the Fire District electronic plans for the site and buildings.**
- 4. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.**
- 5. Fire hydrants (shall be) are provided for buildings other than detached one-and-two-family dwellings IAW both of the following 1) The maximum distance to a fire**

"Our Family Serving Yours"

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392

Telephone: (772) 621-3400 Fax: (772) 621-3500

www.slcfcd.com



hydrant from the closest point in the building shall not exceed 400 feet. 2) The maximum distance between fire hydrants shall not exceed 500 feet. NFPA 1:18.5.3. Please provide fire flow calculations for hydrants.

6. An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4. See "Needed NFPA Fire Flow Calculator Spreadsheet".
7. Per NFPA 1114 Chapter 9, Section 1.3. Prior to the final occupancy of any building, the permitted water supply for fire protection, including fire hydrants and fire suppression systems, shall be installed, tested, and acceptable to the AHJ (SLCFD).
8. Be advised, although there is no new construction planned for this project it will be subject to a New Business Inspection and possibly a Change of Occupancy Review. The project will have to meet all of the Occupancy requirements at that time to be in compliance with the currently adopted version of the Florida Fire Prevention Codes.
9. **The Fire District reserves the right for future comments at the site plan & building construction phase.**

Vennis Gilmore

From: SANDERS, MARVIN E. <marvin.sanders@stlucieschools.org>
Sent: Monday, April 05, 2021 11:39 AM
To: Vennis Gilmore
Cc: Alicia Rosenthal
Subject: Lucky 7 Arcade – 1702 Delaware Avenue Conditional Use & Design Review –

SECURITY WARNING: This email originated outside of the City of Fort Pierce systems. Please use caution when clicking links or opening attachments. For questions or concerns please contact IT immediately. .

The St. Lucie County School District has reviewed the above reference project and have we do not have any comments or concerns.

Please feel free to contact me if you have any questions.

Marty E. Sanders, P.E.
Growth Management, Land Acquisition & Inter-Governmental Relations
School Board of St. Lucie County
9461 Brandywine Lane, Room 2-303
Port St. Lucie, FL 34986



9461 Brandywine Ln
Port St Lucie, FL 34986



office 772.429.7547
cell 772.216.5755



Information

REQUESTED ACTION

Conditional Use - Dwelling Rental - 1578 Thumb Point Drive

LOCATION

1578 Thumb Point Drive
Fort Pierce, FL 34949

Parcel ID: 2401-605-0001-000-1

RESPONSIBLE STAFF

Rebeca A. Guerra, AICP, LEED-AP, Assistant Planning Director

RECOMMENDATION

The proposed use presents the provision for short-term lodging accommodations to the public, representing a limited commercial use that is compatible with the surrounding neighborhood, and is generally consistent with the City's Land Development Code and Comprehensive Plan with appropriate restrictions. Therefore, staff recommends APPROVAL, subject to the following five (5) Conditions of Approval:

1. The property manager for the vacation rental shall be available at all times to resolve complaints or violations of city code. Said manager shall reside in St. Lucie County and shall be registered with the City of Fort Pierce.
2. Guide booklets (available from Code Enforcement) shall be provided to renters regarding local rules and public service resources, to minimize conflicts.
3. The applicant shall file for and obtain St. Lucie County and City of Fort Pierce Business Tax Licenses within thirty (30) days of issuance of a license from the Florida Department of Business & Professional Regulation.
4. There shall be a limitation of no more than (2) vehicles for the rental unit.
5. The City of Fort Pierce Business Tax License number shall be included on all advertising.

Attachments

Staff Report
Application & Supporting Documents
Aerial Map
FLU Map

Form Review

Form Started By: Rebeca Guerra
Final Approval Date: 05/04/2021

Started On: 05/03/2021 09:03 PM



TO: City of Fort Pierce Planning Board

FROM: Rebeca A. Guerra, AICP, LEED-AP, Assistant Planning Director

RE: **Conditional Use Approval with No New Construction–
 Estes Dwelling Rental – 1578 Thumb Point Drive**

MEETING DATE: May 10, 2021

STAFF REPORT

Owner/ Applicant: Christy & Timothy Estes
 1578 Thumbpoint Drive
 Fort Pierce, FL 34949

Applicant’s Request: Approval of a Conditional Use to operate a Dwelling Rental, offering lodging for less than six (6) months. The minimum rental period is less than 30 days.

Location(s): 1578 Thumb Point Drive

Parcel ID: 2401-605-0001-000-1

Future Land Use: Low Density Residential (RL)

Current Zoning: Single-Family Low Density Residential Zone (R-1)

Surrounding FLU:

North	East	South	West
RL	RL	RL	RL

Surrounding Zoning:

North	East	South	West
PUR	R-2	R-2	R-1

Utilities: FPUA

Staff Analysis:

Request

In accordance with Sections 125-187 and 125-236 of the City Code, the applicant is requesting review and approval of a Conditional Use to operate a Dwelling Rental located at 1578 Thumb Point Drive. The proposed Conditional Use will offer lodging of less than six (6) months with a minimum stay of less than 30 days.

There are two (2) structures on the property. The applicant is proposing to only rent the detached accessory structure (above garage residence). According to the St. Lucie County Property Appraiser, the approximately 816-square foot rental unit has three (3) bedrooms and one (1) bath.



The subject site is surrounded by single family residences to the south, east, and west and attached residential units to the north. The subject site has a Future Land Use designation of Low Density Residential (RL) with a compatible zoning designation of Single-Family Intermediate Density Zone (R-2). Per City Code Section 125-187. – Allowed Uses; Dwelling Rentals are classified as a Conditional Use in the R-1 zoning district.

Dwelling Rentals

Pursuant to City Code Section 125-3. – Definitions - Generally, the rental of any dwelling unit for less than six (6) months, is classified as a “Dwelling Rental (dwelling unit),” and defined as follows: “One or more rooms connected together in a building, constituting a separate, independent housekeeping establishment, other than a motel/hotel, for purposes of rental on a daily, weekly or longer basis.”

The State of Florida provides further classification of a dwelling that is rented for periods of less than one (1) month. Pursuant to Florida State Statute 509.242, declaring the use a “Vacation Rental,” defines such use as any unit that is also a transient public lodging establishment but that is not a timeshare project, which is rented to guests more than three (3) times in a calendar year for periods of less than 31 days or one (1) calendar month, whichever is less, or which is advertised or held out to the public as a place regularly rented to guests. A dwelling rental, as locally defined, is also a “Vacation Rental” if the duration of stays are less than 31 days.

Table 1 presents general characteristics to clarify Dwelling Rentals, and the transitioning threshold for Vacation Rentals.

Table 1 – Dwelling and Vacation Rental Definitions

	Dwelling Rental	Vacation Rental
<i>Length of Stay</i>	Less than six (6) months	30 days or less
<i>Lodging Type(s)</i>	Non-Transient (more than 30 days)	Transient Lodging
<i>State License Requirement</i>	If rented 30 days or less (Vacation Rental)	Division of Hotels and Restaurants – Vacation Rental
<i>Public lodging establishment (ADA & Misc. Regulations)</i>	If rented 30 days or less (Vacation Rental)	Public lodging establishment

Future Land Use and Zoning

The Low Density Residential (RL) designation is intended for parcels that are best suited for lower density residential uses. The predominant development typology will consist of single family detached housing but can also contain duplexes and multifamily residences. Limited commercial uses intended to serve the neighborhood shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools, and daycare facilities shall also be allowed. This land use category ranges in density from one to six and one-half dwelling units per acre.

The R-1 Zoning District is compatible with the RL Future Land Use designation. This district is designed mainly for areas of single-family dwellings with an average net density of less than five (5) units per acre for conventional developments. In addition to housing, various public facilities and other nonresidential uses are permitted under the conditions and safeguards referred to in this section. Areas in this classification should have public water and sewer service.

Parking

Pursuant to City Code Section 125- (d)b, motels, hotels, and resort hotels shall provide 1.6 spaces for each unit 500 square feet or larger.

Conditional Use

As stated in City Code Section 125-235, the purpose of the Conditional Use process is to allow, when desirable, uses that would not be appropriate generally or without restriction throughout a particular zoning district, but which, if controlled as to number, area, location, or relation to the neighborhood, would not adversely affect the public health, safety, comfort, good order, appearance, convenience, and the general welfare.

Technical Review Committee

All affected departments have reviewed the proposed Conditional Use with regards to the requirements of the City Code and have no objections.

Staff Recommendation

The proposed use presents the provision for short-term lodging accommodations to the public, representing a limited commercial use that is compatible with the surrounding neighborhood, and is generally consistent with the City's Land Development Code and Comprehensive Plan with appropriate restrictions. Therefore, staff recommends **APPROVAL**, subject to the following five (5) Conditions of Approval:

1. The property manager for the vacation rental shall be available at all times to resolve complaints or violations of city code. Said manager shall reside in St. Lucie County and shall be registered with the City of Fort Pierce.
2. Guide booklets (available from Code Enforcement) shall be provided to renters regarding local rules and public service resources, to minimize conflicts.
3. The applicant shall file for and obtain St. Lucie County and City of Fort Pierce Business Tax Licenses within thirty (30) days of issuance of a license from the Florida Department of Business & Professional Regulation.
4. There shall be a limitation of no more than (2) vehicles for the rental unit.
5. The City of Fort Pierce Business Tax License number shall be included on all advertising.



Conditional Use – No New Construction

Property address or Location 1578 Thumbpoint Dr, Ft Pierce FL
 Parcel ID #(s) _____
 Project description Apartment to rent for short term rentals

<u>Christy + Tim Estes</u>	<u>same</u>
Property Owner(s)	Applicant/Representative, Title, Company
<u>1578 Thumbpoint Dr</u>	_____
Street Address	Street Address
<u>Ft Pierce FL 34949</u>	_____
City State Zip	City State Zip
<u>786 709 0479</u>	_____
Phone Number	Phone Number
<u>Cal Estes 2015@gmail.com</u>	_____
Email Address	Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Property Owner(s) Signature(s) _____

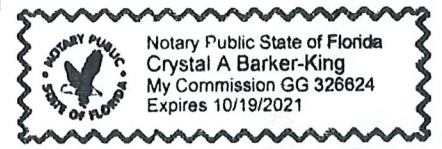
STATE OF FLORIDA -- COUNTY _____
 The foregoing instrument was acknowledged before me this 18 day of March, 2021, by

Christy + Tim Estes who is personally known to me or has produced _____ as identification.

Crystal Barker King
 Signature of Notary

physical approval

(seal)

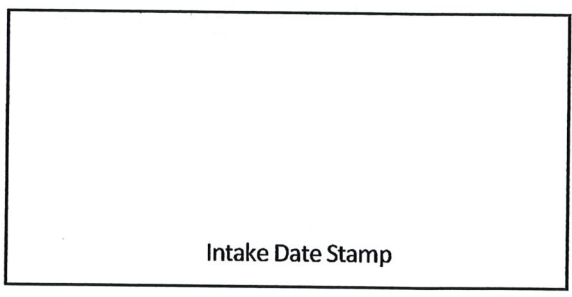


INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____



CONDITIONAL USE: NO NEW CONSTRUCTION

Submit one original, seven (7) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- If no site improvements are required:
 - As-built survey
 - Floor plan of existing building(s)
- If parking and drainage improvements are required:
 - As-built survey;
 - Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage;
 - Lighting plan
- Complete, notarized application

Application Type:

- Conditional Use: No new construction with no site improvements
- Conditional Use: No new construction with parking and drainage improvements

Site Information:

Building Size _____ Parking Spaces: _____

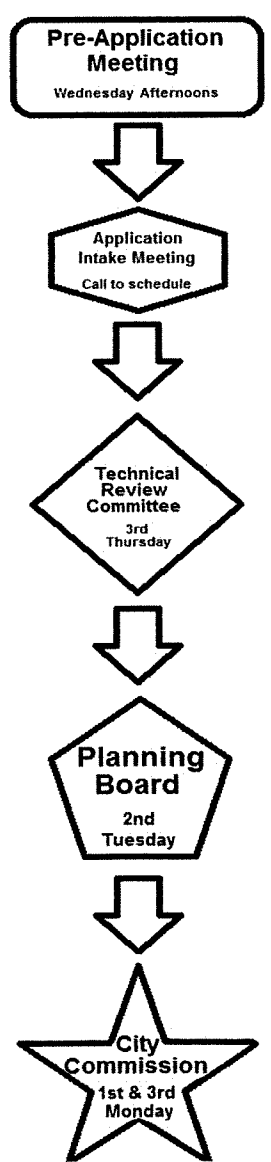
Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West

The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 22-75, shall be reviewed as a unit in accordance with the requirements of section 22-58 except that:

- (1) The city commission shall hold a public hearing in accordance with the provisions of section 22-143 prior to acting on the application for conditional use.
- (2) In the event the city planning board disapproved the application for conditional use or in case of a protest against said application signed by twenty (20) per cent of the owners within five hundred (500) feet of the area included in said application, such application shall not be approved except by a four-fifths vote by the city commission.
- (3) In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.

Application Outlook





Cali Estes - The Addictions Coach
 TheAddictionsAcademy.com
 PH: 800.706.0318



The Addictions Academy

Property Rules and management program for 1578 Thumb Point Drive Apartment Rental. We plan to live on site and manage the unit directly. I have experience managing units, as my father is a Broker.

Rules and Regulations

- No more than 2 cars on the property
- Pool and hot tub hours are 9 am to 9 pm
- No smoking, no drugs
- No parties, events, or other large gatherings
- Alcohol consumed in fenced area only and over 21 only
- No loud noises, music
- No kids in front of property at any time –
- No pets, excluding service animals.
- No congregating at front of house

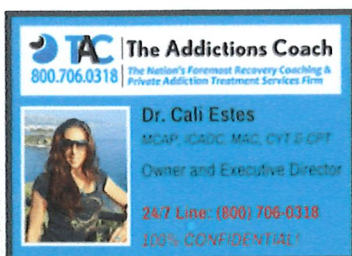
*We will handle the trash with our trash.

*We reserve the right to turn a renter away or cancel a booking due to violation of rules above.

*Each renter will sign an agreement upon arrival agreeing to the above Rules and Regulations



Dr. Cali Estes, MCAP, ICADC, MAC



The Addictions Coach
 800.706.0318 | The Nation's Foremost Recovery Coaching & Private Addiction Treatment Services Firm

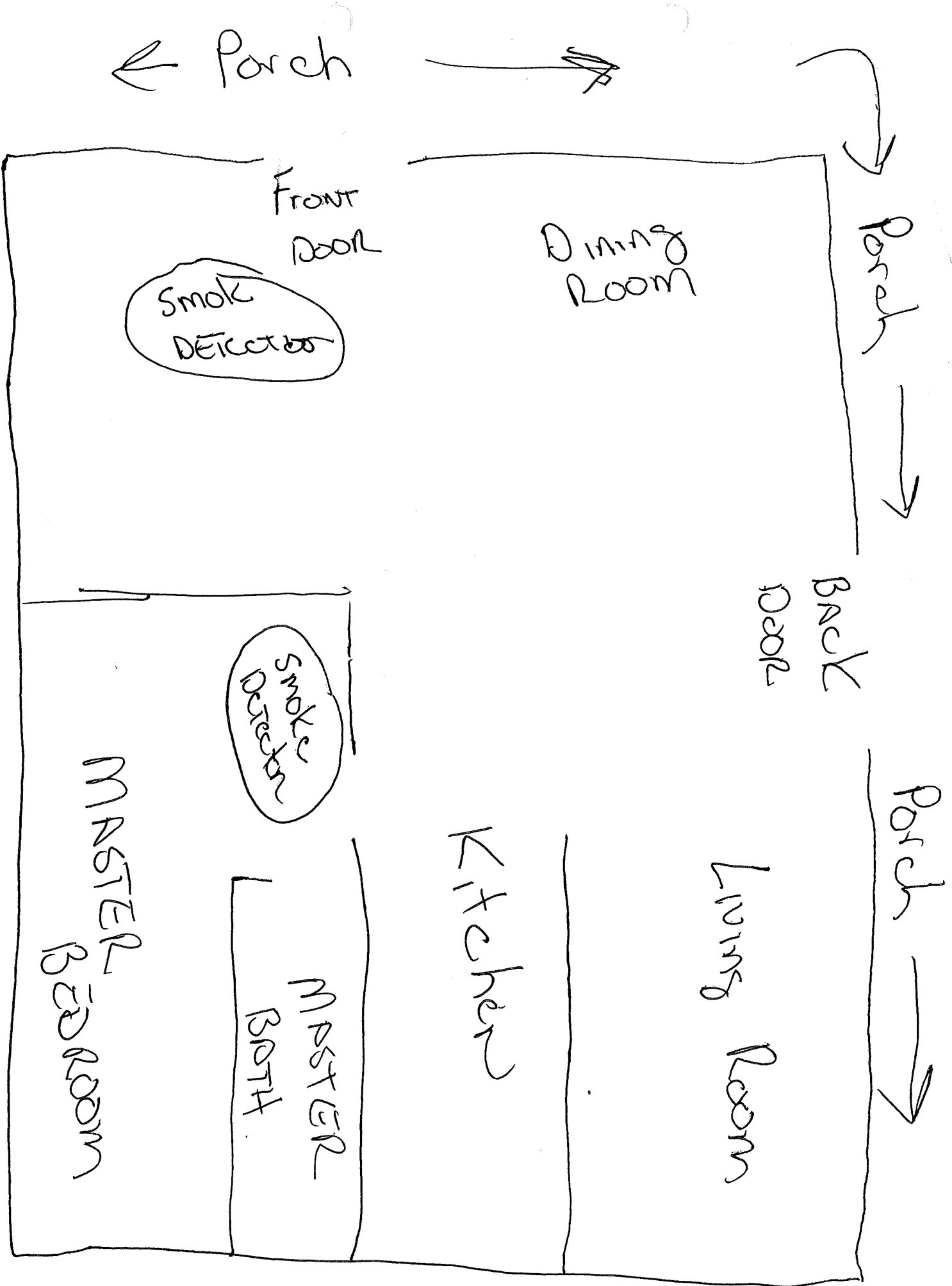
Dr. Cali Estes
 MCAP, ICADC, MAC, CYT & CRT
 Owner and Executive Director

24/7 Line: (800) 706-0318
 100% CONFIDENTIAL

350 South Miami Ave
 Miami Fl 33130
 1.800.706.0318

PHONE 1.800.706.0318
 CELL 786.709.0479
 EMAIL Caliestes2015@gmail.com
 WEBSITE www.TheAddictionsCoach.com

1578 THUMB POINT DRIVE Fort Pecos 34949



Subject Photo Page

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL Zip Code 34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



Subject Front

1578 Thumb Point Dr
Sales Price 775,000
Gross Living Area 2,267
Total Rooms 5
Total Bedrooms 3
Total Bathrooms 3.0
Location N;Res;
View N;Res;
Site 26000 sf
Quality Q3
Age 50



Subject Rear



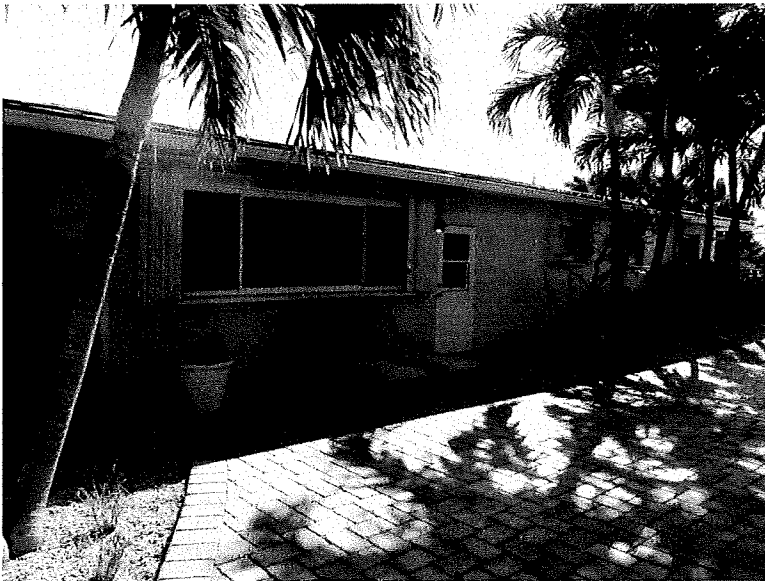
Subject Street

PHOTOGRAPH ADDENDUM

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				
				Zip Code	34949



EAST SIDE OF SUBJECT



WEST SIDE OF SUBJECT



FLORIDA ROOM

PHOTOGRAPH ADDENDUM

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL Zip Code 34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



FAMILY ROOM



DINING AREA



KITCHEN

PHOTOGRAPH ADDENDUM

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL Zip Code 34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



MASTER BEDROOM



MASTER BATHROOM



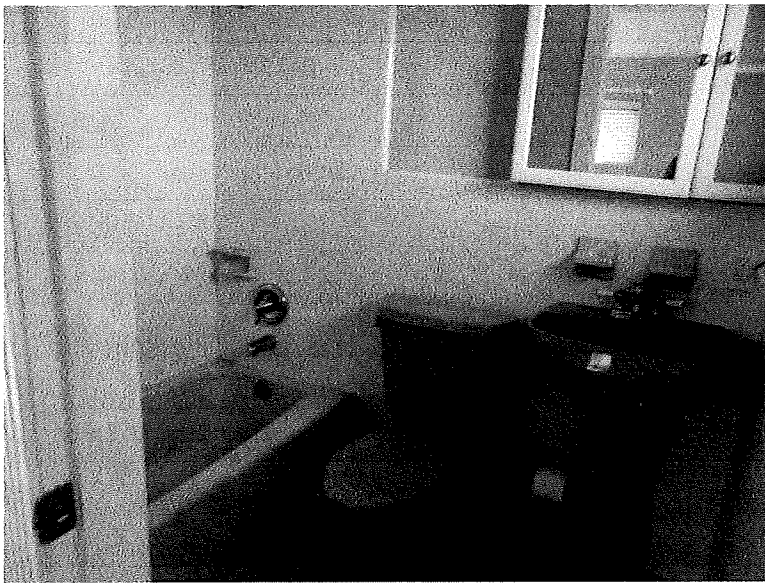
MASTER BATHROOM

PHOTOGRAPH ADDENDUM

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL Zip Code 34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



BEDROOM



BATHROOM



BEDROOM

PHOTOGRAPH ADDENDUM

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL Zip Code 34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



BATHROOM



LIVING ROOM



LAUNDRY AREA

PHOTOGRAPH ADDENDUM

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL Zip Code 34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



FRONT OF DETACHED GARAGE AND APARTMENT



REAR OF DETACHED GARAGE AND APARTMENT



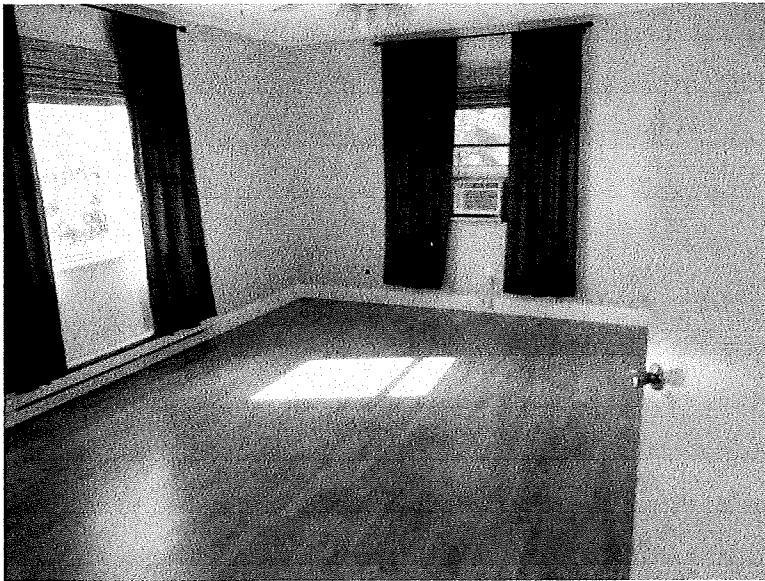
WEST SIDE OF DETACHED GARAGE AND APARTMENT

PHOTOGRAPH ADDENDUM

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL
				Zip Code	34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



EAST SIDE OF DETACHED
GARAGE AND APARTMENT



BEDROOM



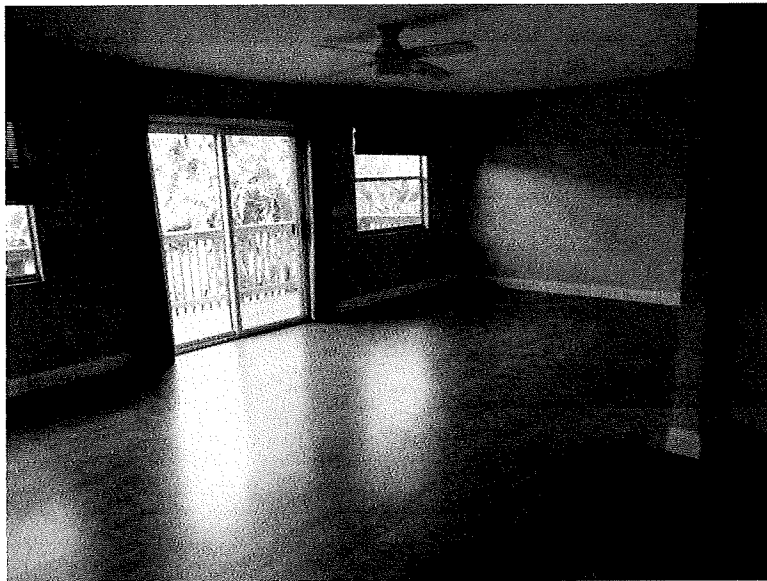
BATHROOM

PHOTOGRAPH ADDENDUM

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL
				Zip Code	34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



KITCHEN



LIVING ROOM/DINING AREA



BATHROOM IN DETACHED GARAGE

PHOTOGRAPH ADDENDUM

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL Zip Code 34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



POOL/SPA
MLS

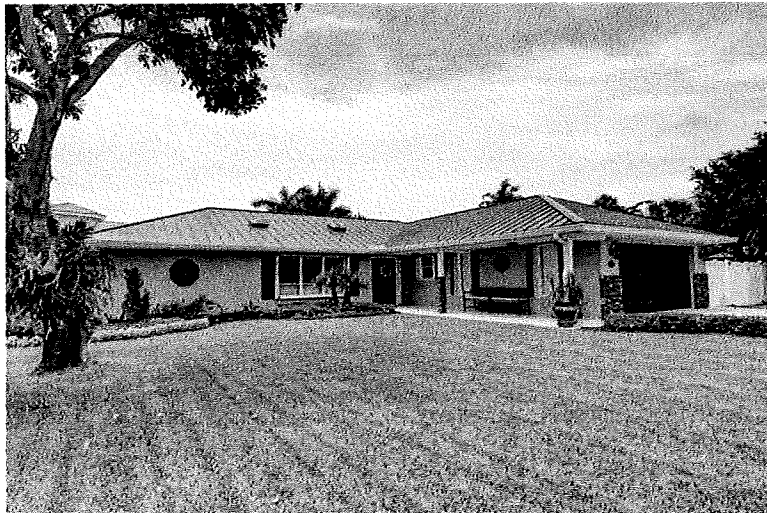
Comparable Photo Page

Borrower	CHRISTY LEE ESTES				
Property Address	1578 Thumb Point Dr				
City	Fort Pierce	County	St Lucie	State	FL Zip Code 34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS				



Comparable 1

1610 THUMB POINT DR
 Prox. to Subject 0.35 MILES SW
 Sale Price 532,000
 Gross Living Area 2,211
 Total Rooms 8
 Total Bedrooms 3
 Total Bathrooms 3.0
 Location N;Res;
 View N;Res;
 Site 12,184 sf
 Quality Q3
 Age 19



Comparable 2

1507 FABER CT
 Prox. to Subject 0.31 MILES SW
 Sale Price 525,000
 Gross Living Area 2,065
 Total Rooms 6
 Total Bedrooms 3
 Total Bathrooms 2.0
 Location N;Res;
 View N;Res;
 Site 15,056 sf
 Quality Q3
 Age 43



Comparable 3

2005 MIMOSA AVE
 Prox. to Subject 1.21 MILES SE
 Sale Price 530,000
 Gross Living Area 2,970
 Total Rooms 9
 Total Bedrooms 4
 Total Bathrooms 4.5
 Location N;Res;
 View N;Res;
 Site 13,504 sf
 Quality Q3
 Age 32

Comparable Photo Page

Borrower	CHRISTY LEE ESTES						
Property Address	1578 Thumb Point Dr						
City	Fort Pierce	County	St Lucie	State	FL	Zip Code	34949
Lender/Client	ANGEL OAK MORTGAGE SOLUTIONS						



Comparable 4

1128 FERNANDINA ST
 Prox. to Subject 0.57 MILES SE
 Sale Price 585,000
 Gross Living Area 2,227
 Total Rooms 7
 Total Bedrooms 4
 Total Bathrooms 2.0
 Location N;Res;
 View N;Res;
 Site 8,750 sf
 Quality Q3
 Age 46



Comparable 5

1602 THUMB POINT DR
 Prox. to Subject 0.33 MILES SW
 Sale Price 469,000
 Gross Living Area 1,581
 Total Rooms 5
 Total Bedrooms 2
 Total Bathrooms 2.0
 Location N;Res;
 View N;Res;
 Site 10,390 sf
 Quality Q3
 Age 38

Comparable 6

Prox. to Subject
 Sale Price
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location
 View
 Site
 Quality
 Age

AERIAL MAP

1578 THUMB POINT DRIVE



FUTURE LAND USE MAP

1578 THUMB POINT DRIVE



ZONING MAP

1578 THUMB POINT DRIVE





April 14, 2021

Christy & Tim Estes
1578 Thumb Point Drive
Fort Pierce, FL 34949
caliestes2015@gmail.com

Subject: Technical Review Committee (TRC) Comments for Dwelling Rental - 1578 Thumb Point Drive Conditional Use Application

Dear Dr. Estes,

Below please find a summary of the comments for the City of Fort Pierce TRC meeting:

Fort Pierce Planning Department

1. The property manager for the vacation rental shall be available at all times to resolve complaints or violations of city code. Said manager shall reside in St. Lucie County and shall be registered with the City of Fort Pierce.
2. Guide booklets (available from Code Enforcement) shall be provided to renters regarding local rules and public service resources, to minimize conflicts:
3. The applicant shall file for and obtain St. Lucie County and City of Fort Pierce Business Tax Licenses within thirty (30) days of issuance of a license from the Florida Department of Business & Professional Regulation.
4. There shall be a limitation of no more than two vehicles per dwelling rental unit.
5. The City of Fort Pierce Business Tax License number shall be included on all advertising.
6. Note that all fees for advertising, mailing, and signs shall be paid upfront with the application fees. These fees can be found on the City website under the Planning Departments page under "*Public Notice Fee.*"

Fort Pierce Engineering Department

1. No comment.

Fort Pierce Code Enforcement Division

1. No comments from Code Enforcement.

Fort Pierce Building Department

1. Vacation rental properties, including SFR used as transient rentals, shall be regulated through the DBPR, Florida Statute 509.242(c), Florida Administrative Code 61A-43 and will be amended by any future legislation or directives from the State of Florida.
2. Fire Sprinkler requirements are deferred to Fire Marshall pursuant to Florida Administrative Code 69A-43.

Fort Pierce Police Department

1. No comment.

Fort Pierce Utility Authority

W/WW Engineering:

1. Location is presently a water and wastewater customer of FPUA. If fire protection is required, this service **MUST** be supplied via a dedicated "stand-alone" fire suppression device. Please contact Lugey Dawson @ (772) 466-1600 extension 3428 if this modification is required.

Electric & Gas Engineering:

1. If the owner/applicant has any questions, please contact Sal Scimeca at (772)466-1600 extension 6957.

St. Lucie County Public Works

1. No comment.

St. Lucie County Public Schools

1. No comment.





THE SUNRISE CITY
FORT PIERCE
POLICE DEPARTMENT
"In Honor We Serve"

Florida

Technical Review Committee meeting

April 15, 2021

Case # 21-40000008

Planner: Rebeca Guerra

Conditional Use, no new construction

1578 Thumbpoint Dr., Ft. Pierce (Estes Dwelling)

Comments:

No comments at this time.

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.





**BUILDING DEPARTMENT
TECHNICAL REVIEW COMMITTEE (TRC)
COMMENT FORM**

Meeting Date: 4.15.21
Property Address: Conditional Use With No New Construction - Estes Dwelling Rental - 1578 Thumb Point Drive

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 7th Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
 - Accessible route
 - Handicapped parking spaces
 - Means of egress
- 7. Change of Use required
 - to include a signed and sealed Life Safety Plan
 - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

Additional Comments/Requirements:

Building Official's or Representative's Signature _____ Date: 4/9/21

Rebeca Guerra

From: WBoyer@slcfd.org
Sent: Monday, April 5, 2021 3:21 PM
To: Rebeca Guerra
Subject: Hayek and Chicas Residences-TRC

SECURITY WARNING: This email originated outside of the City of Fort Pierce systems. Please use caution when clicking links or opening attachments. For questions or concerns please contact IT immediately. .

The fire district has no comments to these projects.

Take care,



Captain Wayne Boyer, M.S., FO, MIFireE, CFEI
Water Supply Officer
Community Risk Reduction Division
St. Lucie County Fire District
Office: 772-621-3322 | Mobile: 772-631-8877
5160 NW Milner Drive
Port St. Lucie, FL 34983

Rebeca Guerra

From: SANDERS, MARVIN E. <marvin.sanders@stlucieschools.org>
Sent: Monday, April 5, 2021 12:13 PM
To: Rebeca Guerra
Cc: Alicia Rosenthal
Subject: 21-12000006 Chicas Residence 2409-712-0079-000-1 Variance and Special Exception

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The St. Lucie County School District has reviewed the above reference project and we do not have any comments or concerns.

Please feel free to contact me if you have any questions.

Marty E. Sanders, P.E.
Growth Management, Land Acquisition & Inter-Governmental Relations
School Board of St. Lucie County
9461 Brandywine Lane, Room 2-303
Port St. Lucie, FL 34986



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Fort Pierce Utilities Authority
Water/Wastewater Engineering
1701 South 37th Street
Fort Pierce, FL 34947
772.466.1600 x3473

Technical Review Committee Meeting

April 15, 2021

TECHNICAL REVIEW PROJECT # 21-40000008

Conditional Use – Estes Dwelling Rental – 1578 Thumb Point Drive

Comments

FPUA W/WW Engineering: Location is presently a water and wastewater customer of FPUA. If fire protection is required, this service MUST be supplied via a dedicated “stand-alone” fire suppression device. Please contact Lugey Dawson @ (772) 466-1600 extension 3428 if this modification is required.

FPUA Electric & Gas Engineering: No comment



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Planning Board

6. d.

Meeting Date: 05/10/2021

Information

REQUESTED ACTION

Text Amendment - Chapter 125-187 - Vehicle Sales / Service / Repair

LOCATION

N/A

RESPONSIBLE STAFF

Rebeca A. Guerra, AICP, LEED-AP, CPD, Assistant Planning Director

RECOMMENDATION

Approval.

Attachments

Staff Report

Proposed Text Amendment

Form Review

Form Started By: Rebeca Guerra

Started On: 05/03/2021 08:57 PM

Final Approval Date: 05/04/2021



TO: City of Fort Pierce Planning Board

FROM: Rebeca A. Guerra, AICP, LEED-AP, CPD, Assistant Planning Director

RE: Amendment to Chapter 125-187: Use Table.
VEHICLE REPAIR/SALES/STORAGE

MEETING DATE: May 10, 2021

MEMO

The City of Fort Pierce Planning Department is seeking to modify the Use Table found within Section 125-187 in order to require Conditional Use approval for Vehicle Repair, Vehicle/Boat Sales & Rentals, and Vehicle Storage.

Additionally, Staff is eliminating the distinction between Vehicle Repair, “General” and “Limited,” as the zoning allowances of such uses will be the same for both.

Finally, the Vehicle Repair use category is proposed to be renamed to “Vehicle Repair & Wash” as car washes and the like are not currently identified as specific, permittable uses within the Use Table.

The Technical Review Committee (TRC) reviewed this item on April 15, 2021, and had no objections.

Staff recommends that the Planning Board recommend **APPROVAL** of the proposed Text Amendment.

Attachment:
Proposed text amendment

