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**TO:** TECHNICAL REVIEW COMMITTEE  
**FROM:** VENNIS GILMORE, PLANNER  
**RE:** TECHNICAL REVIEW PROJECT# 20-07000019  
**MEETING DATE:** DECEMBER 17, 2020

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**Minor Site Plan Amendment – Towne South Plaza (Winn Dixie) – 4901 S. US Highway 1**

The above referenced **Minor Site Plan Amendment** is being submitted for your review and comments. The request seeks to adjust their parking lot after the expansion of East Midway Road. The subject site is zoned General Commercial Zone (C-3) with a General Commercial (GC). The subject site location has approximately a total of 10.87 acres.

Please review and provide two copies of comments on the project. Please send all comments to the following emails [vgilmore@cityoffortpierce.com](mailto:vgilmore@cityoffortpierce.com), [arosenthal@cityoffortpierce.com](mailto:arosenthal@cityoffortpierce.com), or through interoffice mail to the Planning Department. If you have comments please respond in a timely manner before the date of the Technical Review Committee Meeting.

Please do not hesitate to contact me should you require any additional information at 772-467-3741.

Thank you.

Vennis Gilmore, Planner



## DEVELOPMENT REVIEW

Property address or Location 4901 US HIGHWAY 1

Parcel ID #(s) 3403-244-0000-000-6

Project description PROP. LOADING DOCK TO EXISTING WINN-DIXIE; PARKING LOT MODIFICATIONS AND SEWER MAIN RE-ROUTING

Ts Pierce Sc Co Ltd

**Property Owner(s)**

PO Box 11229

Street Address

Knoxville TN 37939

City State Zip

954-629-2224

Phone Number

steve@keltonpm.com

Email Address

Jason M. Gunther, P.E., Thomas Engineering Group

**Applicant/Representative, Title, Company**

125 West Indiantown Road, Suite 206

Street Address

Jupiter FL 33458

City State Zip

561-203-7503

Phone Number

jgunther@thomaseg.com

Email Address

**Property Owner(s) Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

**TS PIERCE SC CO., LTD.,**  
a Florida limited partnership

STATE OF FLORIDA --

COUNTY Palm Beach

The foregoing instrument was acknowledged before me this 7<sup>th</sup> day of January, 2020 By: by

Steven Levin

who is personally known to me or has produced

TS Pierce Corp.,  
a Florida corporation, General Partner

By: [Signature]  
Steven Levin, Vice President

[Signature] as identification.

Signature of Notary



KELLY A. RUIZ  
Commission # GG 190257  
Expires June 27, 2022  
Bonded Thru Budget Notary Services

**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual
				Non-Contributing None

Pre-Application Meeting Date \_\_\_\_\_

Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_

Intake Planner \_\_\_\_\_

Planner Assigned \_\_\_\_\_

Approved By \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Intake Date Stamp

# DEVELOPMENT REVIEW

## General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan	<input checked="" type="checkbox"/> Minor Amendment		

Site Information:

Non-Residential: Proposed Sq. Ft.: 562 Residential: Proposed Units: N/A

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
FAST FOOD RESTAURANT	VACANT/ COMMERCIAL	COMMERCIAL	COMMERCIAL

## Application Outlook



## Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)





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## Detail by Entity Name

Florida Limited Partnership  
TS PIERCE SC CO., LTD.

### Filing Information

<b>Document Number</b>	A95000001827
<b>FEI/EIN Number</b>	59-3344432
<b>Date Filed</b>	11/27/1995
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	CONTRIBUTION CHANGE
<b>Event Date Filed</b>	01/03/1996
<b>Event Effective Date</b>	NONE

### Principal Address

2300 NW Corporate Blvd  
Suite 135  
BOCA RATON, FL 33431

Changed: 03/18/2016

### Mailing Address

P.O. BOX 11229  
KNOXVILLE, TN 37939

Changed: 04/17/2002

### Registered Agent Name & Address

CLIFFORD L. WALTERS  
802 11TH STREET WEST  
BRADENTON, FL 34205

Name Changed: 12/26/1996

Address Changed: 12/26/1996

### General Partner Detail

#### **Name & Address**

Document Number P95000090053

**TS PIERCE CORP.**

2300 NW Corporate Blvd  
Suite 135  
BOCA RATON, FL 33431

### Annual Reports

<b>Report Year</b>	<b>Filed Date</b>
2018	03/15/2018
2019	03/05/2019
2020	03/31/2020

### Document Images

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## Detail by Entity Name

Florida Profit Corporation  
TS PIERCE CORP.

### Filing Information

**Document Number** P95000090053  
**FEI/EIN Number** 59-3344425  
**Date Filed** 11/27/1995  
**State** FL  
**Status** ACTIVE

### Principal Address

2300 NW Corporate Blvd  
Suite 135  
BOCA RATON, FL 33431

Changed: 03/21/2016

### Mailing Address

P O BOX 11229  
KNOXVILLE, TN 37939

Changed: 04/06/2001

### Registered Agent Name & Address

WALTERS, CLIFFORD L  
802 11ST STREET WEST  
BRADENTON, FL 34250

### Officer/Director Detail

#### **Name & Address**

Title VSD

RICE, SUZANNE L  
8902 Dale Mabry Highway  
Suite 200  
TAMPA, FL 33614

Title VSD

**LEVIN, STEVEN**

2300 NW Corporate Blvd  
Suite 135  
BOCA RATON, FL 33431

Title T

LEVIN, JILL  
5410 HOMBERG DR STE A  
KNOXVILLE, TN 37919

**Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2018	03/15/2018
2019	03/07/2019
2020	03/30/2020

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<a href="#">05/01/1996 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>

* Doc Assump:	:\$	0.00
* Doc Tax	:::\$	33600.00
* Int Tax	:::\$	0.00

This Instrument Prepared By:  
 Nancy J. Hammer, Esquire  
 Metropolitan Life Insurance Company  
 303 Perimeter Center North, Suite 600  
 Atlanta, Georgia 30346

Parcel ID# \_\_\_\_\_  
 Grantee's Taxpayer ID# \_\_\_\_\_

STATE OF GEORGIA  
 COUNTY OF DEKALB

SPECIAL WARRANTY DEED

THIS DEED, made as of the 30 day of November, 1995, by and between METROPOLITAN LIFE INSURANCE COMPANY, a New York corporation (the "Grantor"), and TS PIERCE SC CO., LTD., a Florida limited partnership (the "Grantee"), whose mailing address is: c/o RMC Realty Companies, Ltd., 1733 West Fletcher Avenue, Tampa, Florida 33612, wherever used, the terms "Grantor" and "Grantee" include the singular or plural, as the context requires, and the respective heirs, legal representatives and assigns of individuals, and the successors and assigns of trustees, corporations and partnerships.

W I T N E S S E T H:

That Grantor, for and in consideration of the purchase price and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, by these presents does grant, bargain and sell, alien, remise, release, convey, transfer and confirm to the Grantee in fee simple forever, that certain tract or parcel of land more particularly described in Exhibit "A" attached hereto (the "Property") and by this reference incorporated herein, subject only to those matters set forth in Exhibit "B" attached hereto and incorporated herein by reference; however, reference herein shall not be deemed to reimpose same.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining and every right, title or interest, legal or equitable, of the Grantor of, in and to the same.

TO HAVE AND TO HOLD the same unto the Grantee in fee simple; and the said Grantor hereby warrants the title to said property, and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against none other.

JoAnne Holman, Clerk of the Circuit Court - St. Lucie County  
 File Number: **1437328** OR BOOK **0986** PAGE **2867**  
 Recorded: 12-01-95 11:41 A.M.

Return To: *Mail*  
 Barbara Ann Held, Esq.  
 Bialock, Landers, Walters & Vogler, P.A.  
 802 11th St. W.  
 Bradenton, Florida 34205

**SECTION 506 BUILDING AREA MODIFICATIONS  
ALLOWABLE AREA CALCULATION - WD 2355 BUILDING**

MERCANTILE (M) OCCUPANCY  
TYPE II-B CONSTRUCTION -SPRINKLERED - UNPROTECTED

ALLOWABLE HEIGHT IS 55.0' PER TABLE 503 FBC  
EXISTING / PROPOSED HEIGHT IS 39.1' AND THEREFORE COMPLIES

ALLOWABLE AREA (Aa)  
Aa = ( At + ( At x If ) + ( At x Is ) )

MERCANTILE = 12,500 S.F. (TABLE 503 TYPE II-B)  
At = 12,500

If = ( F / P - 0.25 ) x W / 30  
F = 574.66  
P = 924.66  
W = 26.33

If = (574.66 / 924.66 - 0.25) = 0.3714824 X 26.33 / 30 = 0.3260377  
Is = 3 (FOR BUILDING NO MORE THAN ONE STORY PER 506.3 FBC)

Aa = ( 12,500 + ( 12,500 x 0.3260377 ) + ( 12,500 x 3 ) )  
Aa = ( 12,500 + 4,644 + 37,500 )  
Aa = 54,644 S.F. (ALLOWABLE AREA)

ACTUAL AREA = 48,426 S.F.

**EXTERIOR PAINTING NOTES**

1. ALL EXISTING AND NEW CEMENT STUCCO WALL SURFACES SHALL BE PREPARED AND PAINTED WITH PRIMER/SEALER PLUS TWO COATS SEMI-GLOSS LATEX EXTERIOR PAINT.
2. ALL EXISTING AND NEW EIFS WALL OR SOFFIT SURFACES SHALL BE PREPARED AND PAINTED WITH PRIMER/SEALER PLUS TWO COATS SATIN LATEX EXTERIOR PAINT.
3. ALL EXISTING AND NEW CEMENT STUCCO CEILING/SOFFIT SURFACES SHALL BE PREPARED AND PAINTED WITH PRIMER/SEALER PLUS TWO COATS SATIN LATEX EXTERIOR PAINT.
4. ALL NEW CONCRETE COLUMN BASE IMPACT CURBS SHALL BE PREPARED AND PAINTED WITH TWO COATS OF PIGMENTED CONCRETE SEALER.
5. ALL EXISTING AND NEW FOAM TRIM BANDING AND/OR CORNICES SHALL BE PREPARED, PRIMED, AND PAINTED WITH TWO COATS SEMI-GLOSS LATEX EXTERIOR PAINT.
6. ALL EXISTING AND NEW METAL CAPS, FLASHINGS, AND DRIPS, SHALL BE PREPARED AND PAINTED WITH PRIMER AND TWO COATS OF EXTERIOR LATEX SEMI-GLOSS ENAMEL.
7. PAINTING CONTRACTOR SHALL SUBMIT A DETAILED PAINTING SPECIFICATION, PREPARED BY THE PAINT MANUFACTURER, WHICH SPECIFIES ALL PROCEDURES AND MATERIALS TO BE USED ON THIS PROJECT. THIS SPECIFICATION SHALL BE SUBMITTED FOR APPROVAL BY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH ANY WORK.
8. APPROVED MANUFACTURERS INCLUDE SHERWIN-WILLIAMS, ICI, BENJAMIN MOORE, AND PORTER PAINT. OTHER PAINT MANUFACTURERS NEED TO BE APPROVED PRIOR TO THE BID.
9. ALL NEW CONCRETE COLUMN BASE CAPS SHALL BE PREPARED AND PAINTED WITH MASONRY PRIMER AND TWO COATS OF EXTERIOR LATEX SEMI-GLOSS ENAMEL, OR OTHER FINISHES AS SELECTED BY THE OWNER.
10. ALL EXTERIOR WALLS, DOORS, RAIN-WATER LEADERS, GUTTERS, DRIP EDGES, DEVICES, ETC. ON THE EAST REAR FACING SIDE, NORTH FACING SIDES, AND SOUTH FACING SIDES OF THE ENTIRE 2450 BUILDING, SHALL BE PAINTED.
11. ALL EXISTING AND NEW STEEL PIPE BOLLARDS AND EXISTING TRAFFIC GUARDRAILS ARE TO BE PAINTED USING EPOXY PAINT AND PRIMER- SAFETY YELLOW

**DESIGN BASIS PRODUCT SPECIFICATIONS AND NOTES**

- 1.) MIAMI DADE COUNTY NOA'S OR STATE OF FLORIDA PRODUCT APPROVALS PROVIDED AS PART OF THE BID PACKAGE ARE TO BE USED AS THE DESIGN BASIS FOR THOSE PRODUCTS OR SYSTEMS; INSTALLATION OF THOSE PRODUCTS OR SYSTEMS SHALL BE IN ACCORDANCE WITH THE DETAILING APPROVED IN THE NOA, AS ADAPTED FOR THE SPECIFIC CONDITIONS OF THIS PROJECT.
- 2.) ALL COLOR AND MATERIAL SELECTION ARE TO BE BY THE OWNER. THE CONTRACTOR SHALL PROVIDE COLOR SELECTION SAMPLES AND CHARTS OFFERING THE FULL RANGE OF COLORS AND MATERIALS SELECTIONS AVAILABLE FOR A GIVEN PRODUCT THE SELECTION WILL NOT BE LIMITED TO ONLY THE MOST COMMONLY AVAILABLE COLORS.
- 3.) DESIGN BASIS FOR NEW METAL WALL COPING/CAP FLASHING, AND DRIP EDGES, SHALL BE AS MANUFACTURED BY OMG, INC.: "DRIP EDGE FASCIA"; MIAMI-DADE PRODUCT APPROVAL NOA 18-0612.06, EXPIRES 10-18-2022. ANY PROPOSED SUBSTITUTIONS MUST BE APPROVED PRIOR TO BIDDING AND WILL NOT BE ALLOWED AFTER THE BIDS ARE RECEIVED.
- 4.) DESIGN BASIS FOR TPO ROOFING SYSTEM SHALL BE GAF EVERGUARD TOP ROOFING SYSTEMS OVER STEEL DECKS; 80 MIL EVERGUARD EXTREME TPO; WITH TPO COATED FLASHINGS; MIAMI-DADE NOA 18-0523.05, EXPIRES 07-13-2023. ANY PROPOSED SUBSTITUTIONS MUST BE SUBMITTED AND REQUESTED PRIOR TO THE BID BEING SUBMITTED AND MUST INCLUDE SUPPORTING MIAMI DADE PRODUCT APPROVAL NOA PRINT-OUT SHOWING THE PROPOSED SUBSTITUTE SYSTEM MEETS OR EXCEEDS THAT SPECIFIED.
- 5.) DESIGN BASIS FOR POLYISO ROOF INSULATION SHALL BE "GAF ENERGYGUARD POLYISO" OVER STEEL DECKS; 80 MIL EVERGUARD TPO; WITH TPO COATED FLASHINGS; MIAMI-DADE NOA 18-0523.05, EXPIRES 07-13-2023. ANY PROPOSED SUBSTITUTIONS MUST BE SUBMITTED AND REQUESTED PRIOR TO THE BID BEING SUBMITTED AND MUST INCLUDE SUPPORTING MIAMI DADE PRODUCT APPROVAL NOA PRINT-OUT SHOWING THE PROPOSED SUBSTITUTE SYSTEM MEETS OR EXCEEDS THAT SPECIFIED.
- 6.) DESIGN BASIS FOR ROOF INSULATION COVERBOARD SHALL BE "SECUROCK ROOF BOARDS" OVER POLYISO INSULATION STEEL DECKS; AS MANUFACTURED BY UNITED STATES GYPSUM CORPORATION 550 WEST ADAMS STREET CHICAGO, IL 60661; MIAMI-DADE NOA 15-0709.10, EXPIRES 10-13-2020. ANY PROPOSED SUBSTITUTIONS MUST BE SUBMITTED AND REQUESTED PRIOR TO THE BID BEING SUBMITTED AND MUST INCLUDE SUPPORTING MIAMI DADE PRODUCT APPROVAL NOA PRINT-OUT SHOWING THE PROPOSED SUBSTITUTE SYSTEM MEETS OR EXCEEDS THAT SPECIFIED.
- 7.) DESIGN BASIS FOR SINGLE OUT-SWING IMPACT RESISTANT EXTERIOR HOLLOW METAL DOORS AND FRAMES SHALL BE "SERIES 16GACOSD-1" 16 GA. OUTSWING COMMERCIAL STEEL DOORS W/WO PANIC EXIT DEVICE- IMPACT", AS MANUFACTURED BY QUALITY ENGINEERED PRODUCTS, INC. 4506 QUALITY LANE TAMPA, FL 33634; MIAMI-DADE CO. PRODUCT APPROVAL 19-0507.03, EXPIRES 01-30-2024.
- 8.) DESIGN BASIS FOR DOUBLE OUT-SWING IMPACT RESISTANT EXTERIOR HOLLOW METAL DOORS AND FRAMES SHALL BE "SERIES 16 GA. OUTSWING DOUBLE FLUSH STEEL DOORS-IMPACT" COMMERCIAL STEEL DOORS, AS MANUFACTURED BY QUALITY ENGINEERED PRODUCTS, INC. 4506 QUALITY LANE TAMPA, FL 33634; MIAMI-DADE CO. PRODUCT APPROVAL 17-1102.01, EXPIRES 10-13-2020.
- 9.) DESIGN BASIS FOR INSULATED STEEL ROLLING DOOR, AS MANUFACTURED BY THE COOKSON COMPANY 1901 SOUTH LITCHFIELD ROAD GOODYEAR, AZ 85338; MIAMI-DADE CO. PRODUCT APPROVAL 18-0125.07, EXPIRES 07-09-2020.
- 10.) DESIGN BASIS FOR ROD SUPPORTED CANOPY SYSTEMS SHALL BE AS MANUFACTURED BY MAPES INDUSTRIES "LUMISHADE" WITH OPTIONAL GUTTER SYSTEM; PRE-FINISHED ALUMINUM CONSTRUCTION; FULL RANGE OF AVAILABLE COLORS AS SELECTED BY OWNER. MAPES INDUSTRIES P.O. BOX 80069 2929 CORNHUSKER HIGHWAY LINCOLN, NEBRASKA 68504 (402) 466-1985. CANOPY SYSTEM TO BE PRE-ENGINEERED BY THE MANUFACTURER TO SATISFY ALL DEEMED TO COMPLY REQUIREMENTS OF THE FLORIDA BUILDING CODE- 6TH EDITION 2017 FOR 160 MPH WIND SPEED AND WIND LOADS SPECIFIED ON DWG. S-0, AND SHALL PREPARE WHATEVER ENGINEERING CALCULATIONS AND SUPPORTING SHOP DRAWINGS AND DETAILS ARE REQUIRED BY THE BUILDING DEPARTMENT.

**GENERAL CONSTRUCTION NOTES**

- 1.) GENERAL CONTRACTOR SHALL SUBMIT IN WRITING TO OWNER THAT ALL PENETRATIONS THRU WALLS (INTERIOR AND EXTERIOR) AND ROOF BY TRADES HAVE BEEN PROPERLY SEALED BY FOAM OR BY OTHER MEANS. THIS SHALL BE PERFORMED PRIOR TO FINAL INSPECTIONS.
- 2.) ALL DIMENSIONS SHOWN ON THIS PLAN ARE TAKEN FROM THE ROUGH FACE OF MASONRY WALL UNLESS OTHERWISE NOTED.
- 3.) ALL FASTENERS, CONNECTORS, STRAPS, BOLTS, ETC., IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE TYPE 304 STAINLESS STEEL.
- 4.) CONTRACTORS ARE TO PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PROVIDE A COMPLETE, APPROVED, AND FINISHED USER PROJECT WITHOUT DELAY AND EXTRA EXPENSES. EACH CONTRACTOR AND SUB-CONTRACTOR IS RESPONSIBLE FOR HIS OWN CONDITIONS PRIOR TO, DURING, AND AT COMPLETION OF HIS SPECIFIC WORK.
- 5.) ALL CONSTRUCTION AND SAFETY MEASURES TO COMPLY WITH LATEST CITY OF FT. PIERCE ADOPTED APPLICABLE CODES AND REGULATIONS, INCLUDING:  
A: FLORIDA BUILDING CODE -SIXTH EDITION (2017)  
B: NATIONAL ELECTRIC CODE (LATEST ADOPTED EDITION)  
C: NFPA (NATIONAL FIRE PROTECTION ASS'N) APPLICABLE CODES  
D: CITY OF MARGATE CODE AMENDMENTS  
E: FLA. ACCESSIBILITY CODE & CIVIL RIGHTS A.D.A. REGULATIONS  
F: ALL OTHER REQUIREMENTS AND AUTHORITIES HAVING JURISDICTION.
- 6.) STANDARD A.I.A. GENERAL CONDITIONS APPLY TO ALL PROJECT TRADES AND DISCIPLINES UNLESS OTHERWISE NOTED.
- 7.) NOTIFY THE ARCHITECT OF ANY DEVIATION TO THE CONTRACT DOCUMENT PRIOR TO BID SUBMITTAL FOR MODIFICATION APPROVAL.
- 8.) ALL CLEAN UP, SAFETY AND DUST AND NOISE CONTROL ARE THE GENERAL CONTRACTOR'S RESPONSIBILITY.
- 9.) ALL FIRE RATED WALLS, FLOOR & CEILING PENETRATIONS MUST BE SEALED WITH SAFING OR APPROVED MATERIAL.
- 10.) ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL BE ACCEPTABLE TO LOCAL AUTHORITIES.
- 11.) GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT, INCLUDING ALL DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 12.) GENERAL CONTRACTOR SHALL USE 18 GA. GALV. METAL STUDS @ 16" O.C. EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS, OR AS SPECIFIED IN THE STRUCTURAL DRAWINGS.
- 13.) NEW CONCRETE SIDEWALKS MUST BE LEVEL TO WITHIN 1/8" IN 10'-0" OR CONTRACTOR SHALL REPAIR AND/OR REPLACE THE DEFECTIVE SLABS. TOPPING SHALL ONLY BE USED AS SPECIALLY NOTED ON PLAN, AND ONLY THE MANUFACTURER SPECIFIED MAY BE USED.
- 14.) ALL WALL PENETRATIONS THRU EXTERIOR WALLS AND ROOF SHALL BE SEALED AIR TIGHT AND MADE WEATHER AND "RODENT PROOF". THIS SHALL INCLUDE ALL OPENINGS FOR PLUMBING AND ELECTRICAL LINES.
- 15.) ALL FASTENERS CONNECTING DISSIMILAR METALS SHALL BE TYPE 304 STAINLESS STEEL AND SHALL HAVE ISOLATION GASKETS. SIMILAR METALS SHALL BE SEPARATED WITH ISOLATION GASKETS CONT., AT ALL SURFACES.
- 16.) ALL METAL FLASHINGS, FRAMES, ANGLES, CAPS, ETC. INSTALLED OVER PRESSURE TREATED WOOD MUST BE ISOLATED USING 30# BUILDERS FELTS CONTINUOUS ON ENTIRE SURFACE. THIS CONDITION IS FOUND AT WINDOW BUCKS, NAILERS, ETC. PROVIDE 90# FELT BETWEEN CONCRETE OR MASONRY OR WOOD SILLS, JAMBS, HEADS, NAILERS, OR SLEEPERS, AND THEN USE UNTREATED LUMBER INSTEAD OF PRESSURE TREATED LUMBER IS ACCEPTABLE.
- 17.) CARE AND SPECIAL PROCEDURES MUST BE TAKEN TO ENSURE SECURITY AND WEATHER TIGHTNESS OF THE ROOF INCLUDING ANY TEMPORARY TARPS, ETC. AS MAY BE REQUIRED TO ENSURE THAT THE ROOF IS WATERTIGHT THROUGHOUT THE CONSTRUCTION PROCESS.
- 18.) CONTRACTOR SHALL PROTECT, BY COVERING OR OTHER MEANS, ALL EXISTING SIDEWALKS, CURBS, AND STOREFRONT WINDOWS & DOORS, FROM ALL ASPECTS OF CONSTRUCTION INCLUDING DEMOLITION, CEMENT STUCCO APPLICATION, CONCRETE WORK, CMU WORK, AND PAINTING. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ANY CLEANING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DONE TO THE SATISFACTION OF THE OWNER, OR SUBJECT ITEM SHALL BE CLEANED, RE-FINISHED, OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- 19.) CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS REQUIRED TO CUT, REMOVE, AND REPLACE CONCRETE SLABS, CONCRETE PAVEMENT, ASPHALT PAVEMENT, CMU WALLS, CEMENT STUCCO, GWB WALLS, ETC., TO ALLOW FOR INSTALLATION OF NEW WORK. AFTER INSTALLATION ALL SURFACES SHALL BE RESTORED TO MATCH THE ORIGINAL CONDITION PRIOR TO CUTTING. AFTER COMPLETION OF ALL NEW WORK, RESTORE ASPHALT PAVEMENT AND BASE, IN AREA SURROUNDING THAT WORK TO MATCH EXISTING. BLEND ASPHALT PATCHES TO BE SMOOTH TO ADJOINING EXISTING ASPHALT, AFTER HEAVY ROLLING OR TAMPING, AND MAINTAIN EXISTING SLOPE IN ASPHALT AWAY FROM BUILDING.
- 20.) SOILS BENEATH IN-FILL SLABS SHALL BE CLEAN, COMPACTED, TERMITE TREATED FILL; ACHIEVE MINIMUM 95% MODIFIED PROCTOR COMPACTING WITH FILL PLACED IN MAXIMUM 12" LIFTS; CONTRACTOR SHALL PROVIDE SUITABLE MEANS FOR COMPACTING SOILS SO AS TO ACHIEVE A MINIMUM SOIL BEARING PRESSURE OF 2,000 PSF; REFER ALSO TO STRUCTURAL NOTES AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 21.) THE CONTRACTOR SHALL RELOCATE ANY EXISTING UTILITY ACCESS COVERS, BOXES, VALVES, ETC. IF ANY WILL BE MADE INACCESSIBLE BY THE SCOPE OR THE NEW WORK, THEY SHALL BE RELOCATED. THE CONTRACTOR SHALL EXAMINE THE EXISTING CONDITIONS PRIOR TO BIDDING AND SHALL INCLUDE ALL NECESSARY WORK WHETHER SHOWN ON THESE DRAWINGS OR NOT.
- 22.) GENERAL CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL BY THE BUILDING DEPARTMENT AND THE ARCHITECT FOR ALL PRE-MANUFACTURED ALUM. CANOPIES. THIS WILL INCLUDE THE CONSTRUCTION OF THE CANOPIES THEMSELVES, AND ALL REQUIRED ATTACHMENTS, SUPPORTS, AND ANCHORS.
- 23.) ALL SHOPPING CENTER TENANTS SHALL REMAIN OPEN DURING THE DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL WORK, INCLUDING THE STAGING OF MATERIALS, TEMPORARY FENCING, TEMPORARY PEDESTRIAN TUNNELS, TEMPORARY TRAFFIC DIVERSION AND SIGNAGE, TEMPORARY PEDESTRIAN SIGNAGE, ETC., WITH TENANTS, THE OWNER'S REPRESENTATIVE, AND THE PROPERTY MANAGER.
- 24.) THE CONTRACTOR SHALL HOLD A PRE-WORK MEETING WITH ALL TENANTS, THE OWNER'S REPRESENTATIVE, AND THE PROPERTY MANAGER, TO ENSURE THAT THE PROPOSED WORK SCHEDULE IS ACCEPTABLE TO ALL TENANTS AND THE OWNER.
- 25.) SCOPE OF ANY POSSIBLE ASBESTOS IDENTIFICATION, SURVEY, AND REMOVAL IS ADDRESSED IN THE ASBESTOS BUILDING SURVEY NOTES ON DWG. D-2. ALL IDENTIFICATION AND REMOVAL OF ANY ASBESTOS CONTAINING MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ASBESTOS BUILDING SURVEY, THE STATE OF FLORIDA, AND THE EPA. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE ASBESTOS BUILDING SURVEY AND THE PROJECT, AND ALL MATERIALS TO BE DEMOLISHED, AND SHALL NOTIFY THE OWNER OF ANY SUSPICIOUS OR QUESTIONABLE MATERIALS NOT INCLUDED IN THE REPORT, PRIOR TO ANY DEMOLITION.
- 26.) PROVIDE ALL NECESSARY P.T. WOOD BLOCKING AS MAY BE REQUIRED WHERE NEW SILL PLATES ARE INSTALLED OVER EXISTING BEAM AND ROOF EDGE TO ENSURE FULL SUPPORT OF THE NEW METAL STUD BOTTOM TRACK IN ALL CONDITIONS.
- 27.) CONTRACTOR SHALL WALK THE SITE AND IDENTIFY ANY AND ALL MISC. ITEMS THAT ARE REQUIRED TO BE RELOCATED DUE THE THE SCOPE OF THIS PROJECT, INCLUDING ANY SPEAKERS, FIRE ALARM SYSTEM STROBES OR HORNS, ETC. ANY WORK REQUIRED TO ACHIEVE THE RELOCATION AND RECONNECTION OF THESE ITEMS SHALL BE INCLUDED IN THE BASE BID. WHETHER SHOWN ON THE DRAWINGS OR NOT.
- 28.) CONTRACTOR SHALL REPAIR ANY ASPHALT PAVEMENT DAMAGED DURING CONSTRUCTION OR AS A RESULT OF THE WORK, INCLUDING THE BASE IF NECESSARY, TO MATCH EXISTING.
- 29.) SCOPE OF ANY POSSIBLE ASBESTOS IDENTIFICATION, SURVEY, AND REMOVAL IS NOT ADDRESSED IN THESE CONSTRUCTION DOCUMENTS. AN ASBESTOS SURVEY FOR THE EXISTING BUILDING HAS NOT BEEN PERFORMED. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE PROJECT AND ALL MATERIALS TO BE DEMOLISHED AND SHALL NOTIFY THE OWNER OF ANY SUSPICIOUS OR QUESTIONABLE MATERIALS. IT IS THE RESPONSIBILITY OF THE OWNER TO UNDERTAKE AN ASBESTOS SURVEY TO IDENTIFY ANY HAZARD IN SUCH MATERIALS. PRIOR TO ANY DEMOLITION WORK OR EXPOSURE. ANY ASBESTOS CONTAINING MATERIALS MUST BE REMOVED FROM AFFECTED AREAS WHERE SCOPE OF WORK DISTURBS EXISTING ASBESTOS AND/OR WHERE ASBESTOS IS DISCOVERED IN POOR CONDITION. ASBESTOS ABATEMENT SHALL BE IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES, STATUTES, ENVIRONMENTAL REGULATIONS, LAWS ETC. AS WELL AS HEALTH PROTECTIVE REQUIREMENTS.
- 30.) SEE ALSO DWG. D-1 FOR GENERAL DEMOLITION NOTES.
- 31.) SEE ALSO DWG. A-4 FOR PAVEMENT CONSTRUCTION NOTES AND ADDITIONAL GENERAL NOTES.

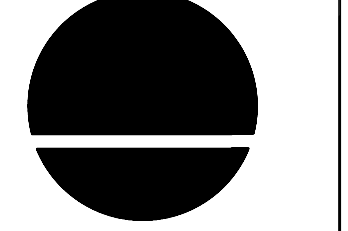


**Southeastern Grocers, LLC.**  
Store Design Department  
8928 Professional Parkway Bldg. 200  
Jacksonville, FL 32256  
Phone: 904.765.9000  
Email: storedesign@segrocers.com  
Internet: www.segrocers.com

DRN. BY	DESCRIPTION	DATE	NO.

**REVISIONS**

**ISLAND DESIGNS, INC.**  
ARCHITECTS & PLANNERS  
11911 U.S. HIGHWAY ONE SUITE 205  
NORTH PALM BEACH, FL 33408  
561-799-5204 FAX 561-799-5205  
CORP. NO. AA-0001104 CHARLES J. LETIZIA AR 9045



RECEIVING ADDITION  
BUILDING AREA MODIFICATIONS CALC.  
GENERAL CONSTRUCTION NOTES  
DESIGN BASIS PRODUCTS  
EXTERIOR PAINTING NOTES

PROJECT LOCATION: TOWN SOUTH PLAZA 4967 SOUTH U.S. 1 AND MIDWAY ROAD FT. PIERCE, FL
---

DRAWN BY:	CJL
DATE:	2-27-20
CHECKED BY:	-
DATE:	-
DIVISION:	<b>MIA</b>
LOCATION NAME:	-
SITE NO.:	-
STORE NO.:	<b>2355</b>
RECORD NO.:	<b>3791</b>
DRAWING	OF
C-2	C-2
SHEET	OF
2	20

### Property Identification

Site Address: 4901 US HIGHWAY 1  
Parcel ID: 3403-244-0000-000-6  
Account #: 38750  
Map ID: 34/03N  
Use Type: 1600  
Zoning: General Co  
City/County: Fort Pierce

### Ownership

Ts Pierce Sc Co Ltd  
% Southern Mgmt & Dev LP  
PO Box 11229  
Knoxville, TN 37939

### Legal Description

03 36 40 THAT PART OF E 1/2 OF SW 1/4 OF SE 1/4 OF NW 1/4 AND THAT PART OF SE 1/4 OF SE 1/4 OF NW 1/4 AND THAT PART OF S 647 FT OF LOT 21 WHITE CITY S/D LYG N OF MIDWAY RD AS IN PB 20-17 AND OR 459-1004-LESS US #1 AND CANAL #17 AND LESS AS IN OR 519-2635, 550-882 AND 3089-1863- (10.87 AC) (OR 986-2867)

### Current Values

Just/Market Value: \$5,112,100  
Assessed Value: \$5,112,100  
Exemptions: \$0  
Taxable Value: \$5,112,100

### Property taxes are subject to change upon change of ownership.

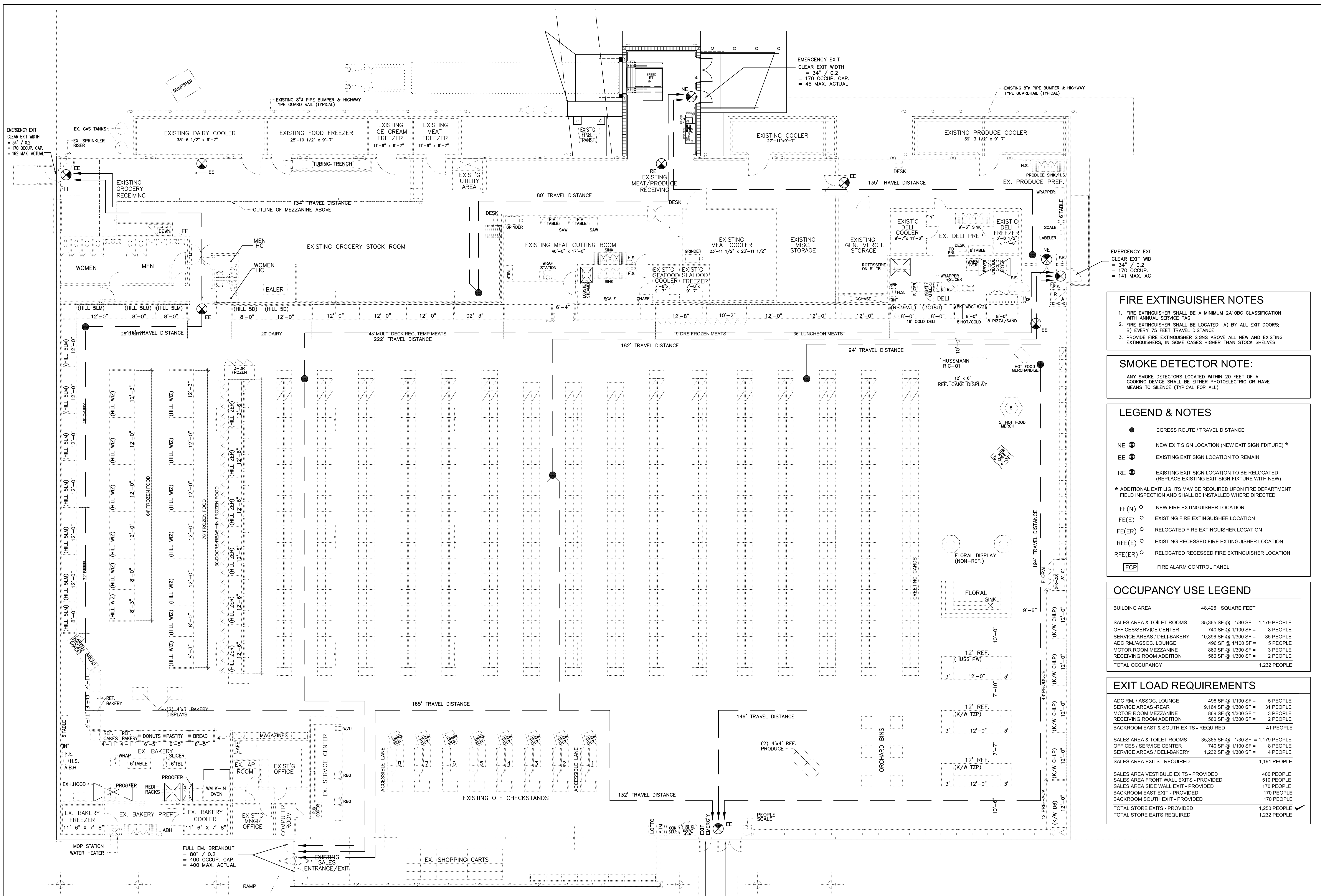
- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.



### Total Areas

Finished/Under Air (SF): 106,188  
Gross Sketched Area (SF): 113,165  
Land Size (acres): 10.87  
Land Size (SF): 473,497

Taxes for this parcel: [SLC Tax Collector's Office](#)   
Download TRIM for this parcel: [Download PDF](#)



**FIRE EXTINGUISHER NOTES**

- FIRE EXTINGUISHER SHALL BE A MINIMUM 2A10BC CLASSIFICATION WITH ANNUAL SERVICE TAG
- FIRE EXTINGUISHER SHALL BE LOCATED: A) BY ALL EXIT DOORS; B) EVERY 75 FEET TRAVEL DISTANCE.
- PROVIDE FIRE EXTINGUISHER SIGNS ABOVE ALL NEW AND EXISTING EXTINGUISHERS, IN SOME CASES HIGHER THAN STOCK SHELVES

**SMOKE DETECTOR NOTE:**

ANY SMOKE DETECTORS LOCATED WITHIN 20 FEET OF A COOKING DEVICE SHALL BE EITHER PHOTOELECTRIC OR HAVE MEANS TO SILENCE (TYPICAL FOR ALL)

**LEGEND & NOTES**

- EGRESS ROUTE / TRAVEL DISTANCE
- NE ⊗ NEW EXIT SIGN LOCATION (NEW EXIT SIGN FIXTURE) \*
- EE ⊗ EXISTING EXIT SIGN LOCATION TO REMAIN
- RE ⊗ EXISTING EXIT SIGN LOCATION TO BE RELOCATED (REPLACE EXISTING EXIT SIGN FIXTURE WITH NEW)

\* ADDITIONAL EXIT LIGHTS MAY BE REQUIRED UPON FIRE DEPARTMENT FIELD INSPECTION AND SHALL BE INSTALLED WHERE DIRECTED

- FE(N) ○ NEW FIRE EXTINGUISHER LOCATION
- FE(E) ○ EXISTING FIRE EXTINGUISHER LOCATION
- FE(ER) ○ RELOCATED FIRE EXTINGUISHER LOCATION
- RFE(E) ○ EXISTING RECESSED FIRE EXTINGUISHER LOCATION
- RFE(ER) ○ RELOCATED RECESSED FIRE EXTINGUISHER LOCATION
- FCP □ FIRE ALARM CONTROL PANEL

**OCCUPANCY USE LEGEND**

BUILDING AREA	48,426 SQUARE FEET
SALES AREA & TOILET ROOMS	35,365 SF @ 1/30 SF = 1,179 PEOPLE
OFFICES/SERVICE CENTER	740 SF @ 1/100 SF = 8 PEOPLE
SERVICE AREAS / DELI-BAKERY	10,396 SF @ 1/300 SF = 35 PEOPLE
ADC RM./ASSOC. LOUNGE	496 SF @ 1/100 SF = 5 PEOPLE
MOTOR ROOM MEZZANINE	869 SF @ 1/300 SF = 3 PEOPLE
RECEIVING ROOM ADDITION	560 SF @ 1/300 SF = 2 PEOPLE
<b>TOTAL OCCUPANCY</b>	<b>1,232 PEOPLE</b>

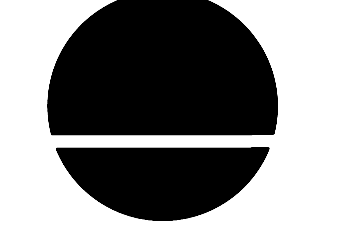
**EXIT LOAD REQUIREMENTS**

ADC RM. / ASSOC. LOUNGE	496 SF @ 1/100 SF = 5 PEOPLE
SERVICE AREAS-REAR	9,164 SF @ 1/300 SF = 31 PEOPLE
MOTOR ROOM MEZZANINE	869 SF @ 1/300 SF = 3 PEOPLE
RECEIVING ROOM ADDITION	560 SF @ 1/300 SF = 2 PEOPLE
BACKROOM EAST & SOUTH EXITS - REQUIRED	41 PEOPLE
SALES AREA & TOILET ROOMS	35,365 SF @ 1/30 SF = 1,179 PEOPLE
OFFICES / SERVICE CENTER	740 SF @ 1/100 SF = 8 PEOPLE
SERVICE AREAS / DELI-BAKERY	1,232 SF @ 1/300 SF = 4 PEOPLE
SALES AREA EXITS - REQUIRED	1,191 PEOPLE
SALES AREA VESTIBULE EXITS - PROVIDED	400 PEOPLE
SALES AREA FRONT WALL EXITS - PROVIDED	510 PEOPLE
SALES AREA SIDE WALL EXIT - PROVIDED	170 PEOPLE
BACKROOM EAST EXIT - PROVIDED	170 PEOPLE
BACKROOM SOUTH EXIT - PROVIDED	170 PEOPLE
<b>TOTAL STORE EXITS - PROVIDED</b>	<b>1,250 PEOPLE</b> ✓
<b>TOTAL STORE EXITS REQUIRED</b>	<b>1,232 PEOPLE</b>

**REVISIONS**

NO.	DATE	DESCRIPTION

ISLAND DESIGNS, INC.  
 ARCHITECTS & PLANNERS  
 11911 U.S. HIGHWAY ONE SUITE 205  
 NORTH PALM BEACH, FL 33408  
 561-799-5204 FAX 561-799-5205  
 CORP. NO. AA-0001104 CHARLES J. LETIZIA AR 9045

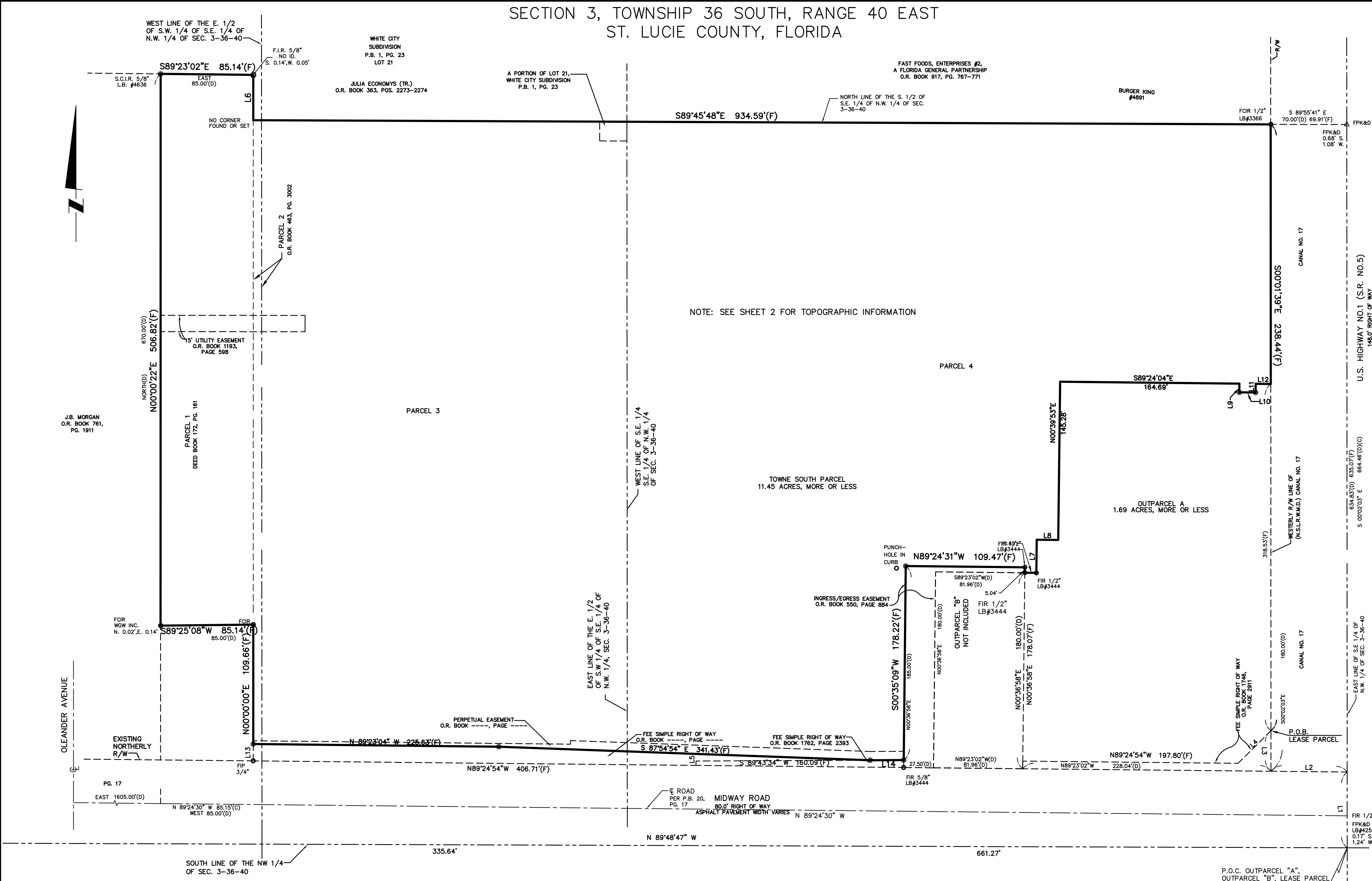


RECEIVING ADDITION  
 LIFE SAFETY PLAN

PROJECT LOCATION:  
 TOWN SOUTH PLAZA  
 4967 SOUTH U.S. 1  
 AND MIDWAY ROAD  
 FT. PIERCE, FL

DRAWN BY: CJL  
 DATE: 2-27-20  
 CHECKED BY: -  
 DATE: -  
 DIVISION: MIA  
 LOCATION NAME: -  
 SITE NO.: -  
 STORE NO.: 2355  
 RECORD NO.: 3791  
 DRAWING OF LS-1 LS-1  
 SHEET OF 3 20

SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA



NOTE: SEE SHEET 2 FOR TOPOGRAPHIC INFORMATION

LINE	BEARING	LENGTH
L1	N00°02'03"W	69.60'
L2	N89°24'54"W	69.99'
L3	S00°01'39"E	37.26'
L4	N45°12'45"E	42.52'
L5	N00°35'08"E	4.00'
L6	S00°00'22"W	41.62'
L7	S00°34'42"W	30.48'
L8	S89°29'42"E	19.79'
L9	N00°35'56"E	8.00'
L10	S89°24'04"E	15.00'
L11	N00°35'56"E	8.00'
L12	S89°24'04"E	13.86'
L13	N00°00'00"E	15.46'
L14	S89°43'34"E	30.73'

SPOT ELEVATION  
SANITARY MANHOLE #2611  
RIM = 12.57  
I.E. = 8.74 (8" P.V.C.)SW  
I.E. = 9.00 (8" P.V.C.)W  
I.E. = 8.74 (8" P.V.C.)NE

SURVEYOR'S NOTES:

- This is a Boundary and Limited Topographic Survey, made on the ground under the supervision of a Florida Registered Surveyor and Mapper, and exceeds the minimum technical standard for horizontal and vertical accuracy for this property's expected use.
- Bearings are based on the East line of the Southeast 1/4 of the Northwest 1/4 of Section 3, Township 36 South, Range 40 East being South 00°02'03" East (Assumed).
- This survey was conducted for the purpose of a Boundary and Limited Topographic Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity.
- This survey was conducted without the benefit of an abstract of title, therefore, there may be other easements, rights-of-way, setback lines, agreements, reservations, restrictions, or other similar matters of public record, not depicted on this survey.
- No underground utilities, underground encroachments, building foundations were observed as a part of this Survey, unless otherwise shown. Shrubs were not located, unless otherwise shown.
- Trees 4" and greater, at breast high measure, were located and identified by common name. The location of each tree was determined at the point where the tree trunk meets natural ground. No determination of the leaning of the tree, or other unusual formation of the tree, was made as a part of this survey. No determination of tree canopy, or drip line, was made as a part of this survey. Clumps of trees, grouped together in such a way as to make individual location impractical, were located as a group and identified as such.
- Elevations shown hereon are referred to the North American Vertical Datum of 1988, using NGS Benchmark System, stainless steel rod stamped "X 403 1991", located at the intersection of U.S. Highway 1 and Midway Road, 216.2 feet north of the road centerline of Midway Road and 182.7 feet south of the centerline of the driveway for Towne Plaza South, Elevation = 12.71 feet. Conversion to N.G.V.D.'29: N.A.V.D.'88 + 1.50' = N.G.V.D.'29.
- The property shown hereon falls within Flood Zone "X", as shown on the Flood Insurance Rate Map, Community Panel Number 12011C0277J and 12111C0189J, effective date of 2/16/2012.
- This survey not valid without the signature and the original raised seal of a Florida licensed Surveyor and Mapper.

LEGAL DESCRIPTION: AS FURNISHED BY CLIENT

**PARCEL 1:**  
THAT CERTAIN PARCEL OF LAND DESCRIBED IN RECORDED IN DEED BOOK 172, PAGE 161 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 1605 FEET EAST OF THE CENTER OF OLANDER AVENUE AND MIDWAY ROAD, ACCORDING TO THE MAP OF WHITE CITY (P.B. 1, PG. 23), THENCE NORTH 670 FEET, THENCE EAST 85 FEET, THENCE SOUTH 670 FEET, THENCE WEST 85 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT  
ANY PORTION OF THE ABOVE DESCRIBED LAND USED AS A PUBLIC ROAD OR FOR DRAINAGE CANAL ALL LYING AND BEING IN SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, LESS AND EXCEPTING THE SOUTHERLY 150.00 FEET THEREOF LYING NORTHERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF MIDWAY ROAD AS RECORDED IN PLAT BOOK 20, PAGE 17 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; ALSO DESCRIBED IN RESOLUTION NO. 89-34 OF THE BOARD OF COUNTY COMMISSIONERS OF ST. LUCIE COUNTY AND RECORDED IN OFFICIAL RECORDS BOOK 329, PAGE 2333 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

TOGETHER WITH PARCEL 2:  
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING BETWEEN THE EAST LINE OF THE ABOVE DESCRIBED PARCEL AND THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3, LYING SOUTHERLY OF THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3 AND LYING NORTHERLY OF THE NORTH RIGHT-OF-WAY LINE OF SAID MIDWAY ROAD.

TOGETHER WITH PARCEL 3:  
THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING NORTHERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF SAID MIDWAY ROAD. THE ABOVE DESCRIBED PARCEL INCLUDES A PORTION OF LOT 21 OF AFORESAID MAP OF WHITE CITY, MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE NORTH 17.71 FEET OF THE EAST 23 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3.

TOGETHER WITH PARCEL 4:  
THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3, LYING NORTHERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF SAID MIDWAY ROAD AND WESTERLY OF THE WESTERLY RIGHT-OF-WAY LINE OF THE NORTH SAINT LUCIE RIVER WATER MANAGEMENT DISTRICT (N.S.L.R.W.M.D.) CANAL NO. 17.

LESS AND EXCEPT OUTPARCELS "A" AND "B", MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
OUTPARCEL "A"  
A PARCEL OF LAND LYING IN SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 3; THENCE ALONG THE EAST BOUNDARY OF SAID NORTHWEST 1/4, NORTH 00°02'03" WEST, 69.60 FEET; THENCE DEPARTING SAID EAST BOUNDARY, NORTH 89°24'54" WEST, 69.99 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF N.S.L.R.W.M.D. CANAL #7; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, NORTH 00°01'39" WEST, 37.26 FEET TO THE POINT OF BEGINNING OF THE HERON DESCRIBED PARCEL; SAID POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF MIDWAY ROAD, AS DESCRIBED IN OFFICIAL RECORDS BOOK 1746, PAGE 2911, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, AND ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, SOUTH 45°12'45" WEST, 42.52 FEET; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, NORTH 89°24'54" WEST, 197.80 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE, NORTH 00°36'58" EAST, 176.07 FEET; THENCE NORTH 89°25'18" EAST, 10.65 FEET; THENCE NORTH 00°34'42" EAST, 30.48 FEET; THENCE SOUTH 89°29'42" EAST, 19.79 FEET; THENCE NORTH 00°39'53" EAST, 145.28 FEET; THENCE SOUTH 89°24'04" EAST, 154.89 FEET; THENCE SOUTH 00°35'56" WEST, 8.00 FEET; THENCE SOUTH 89°24'04" EAST, 15.00 FEET; THENCE NORTH 00°35'56" EAST, 8.00 FEET; THENCE SOUTH 89°24'04" EAST, 13.86 FEET TO A POINT ON THE AFORESAID WESTERLY RIGHT-OF-WAY LINE OF THE N.S.L.R.W.M.D. CANAL #7; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 00°01'39" WEST, 37.26 FEET TO THE POINT OF BEGINNING.

OUTPARCEL "B"  
A PORTION OF THE SOUTH ONE-HALF (S 1/2) OF THE SOUTHWEST ONE-QUARTER (SE 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST (SE) CORNER OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE NORTH 00°02'03" WEST ALONG THE EAST LINE OF SAID NORTHWEST ONE-QUARTER (NW 1/4), A DISTANCE OF 69.62 FEET; THENCE NORTH 89°23'02" WEST, 298.04 FEET TO THE POINT OF BEGINNING, FROM SAID POINT OF BEGINNING CONTINUE NORTH 89°23'02" WEST 81.96 FEET; THENCE NORTH 00°36'58" EAST, 180.00 FEET; THENCE SOUTH 89°23'02" EAST, 81.96 FEET; THENCE SOUTH 00°36'58" WEST, 180.00 FEET TO THE POINT OF BEGINNING.

ALSO KLESS AND EXCEPT:  
A PORTION OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT A FOUND P.K. NAIL WITH DISC STAMPED "R.W. HERR, PLS 4907" MARKING THE WEST ONE-QUARTER (W 1/4) CORNER OF SAID SECTION 3; THENCE NORTH 00°11'02" WEST, 48.16 FEET ALONG THE WEST LINE OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 3 TO A POINT ON THE BASELINE OF SURVEY OF COUNTY ROAD 712 (MIDWAY ROAD) AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR ITEM/SEGMENT NO. 234402, SECTION 94530-2510; THENCE SOUTH 89°25'55" EAST, 1,638.39 FEET ALONG SAID BASELINE OF SURVEY; THENCE NORTH 00°17'15" EAST, 40.00 FEET ALONG A LINE AT A RIGHT ANGLE TO THE LAST DESCRIBED COURSE TO THE NORTH EXISTING RIGHT OF WAY LINE OF SAID COUNTY ROAD 712 (MIDWAY ROAD) AND THE POINT OF BEGINNING; THENCE NORTH 00°17'15" EAST, 15.45 FEET; THENCE SOUTH 89°40'58" EAST, 226.47 FEET; THENCE SOUTH 89°45'45" EAST, 341.27 FEET TO SAID NORTH EXISTING RIGHT OF WAY LINE OF COUNTY ROAD 712 (MIDWAY ROAD); THENCE SOUTH 89°25'41" WEST, 160.25 FEET ALONG SAID NORTHERLY EXISTING RIGHT OF WAY LINE; THENCE NORTH 89°42'45" WEST, 406.39 FEET CONTINUING ALONG SAID NORTHERLY EXISTING RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

P.O.C. OUTPARCEL "A",  
S.E. CORNER OF  
OF THE N.W. 1/4  
OF SEC. 3-36-40

No.	DESCRIPTIONS	DATE	BY
REVISIONS			

BOUNDARY AND LIMITED TOPOGRAPHIC SURVEY  
TOWNE SOUTH PLAZA  
ST. LUCIE COUNTY, FLORIDA

**JMPACT** SURVEYING AND MAPPING, INC.  
L.B. #7934  
7815 NORTH DALE MABRY HIGHWAY, SUITE 107, TAMPA, FL. 33614  
Phone: (813) 644-6570  
E-Mail: psm5931@msn.com  
www.impactsurveyingandmapping.com

Date Signed: \_\_\_\_\_  
Last Date of Field Survey: 10-16-19

David F. Peach, P.S.M.  
Registered Surveyor and Mapper  
State of Florida No. 5931

RELEASE DATE: 11/01/2019  
PARTY CHIEF: J.P.  
FIELD BOOK: 39  
PAGE: 65

CAD FILE: 2019-8309 BNDY  
JOB NUMBER: 2019-83-09  
SHEET 1 of 2

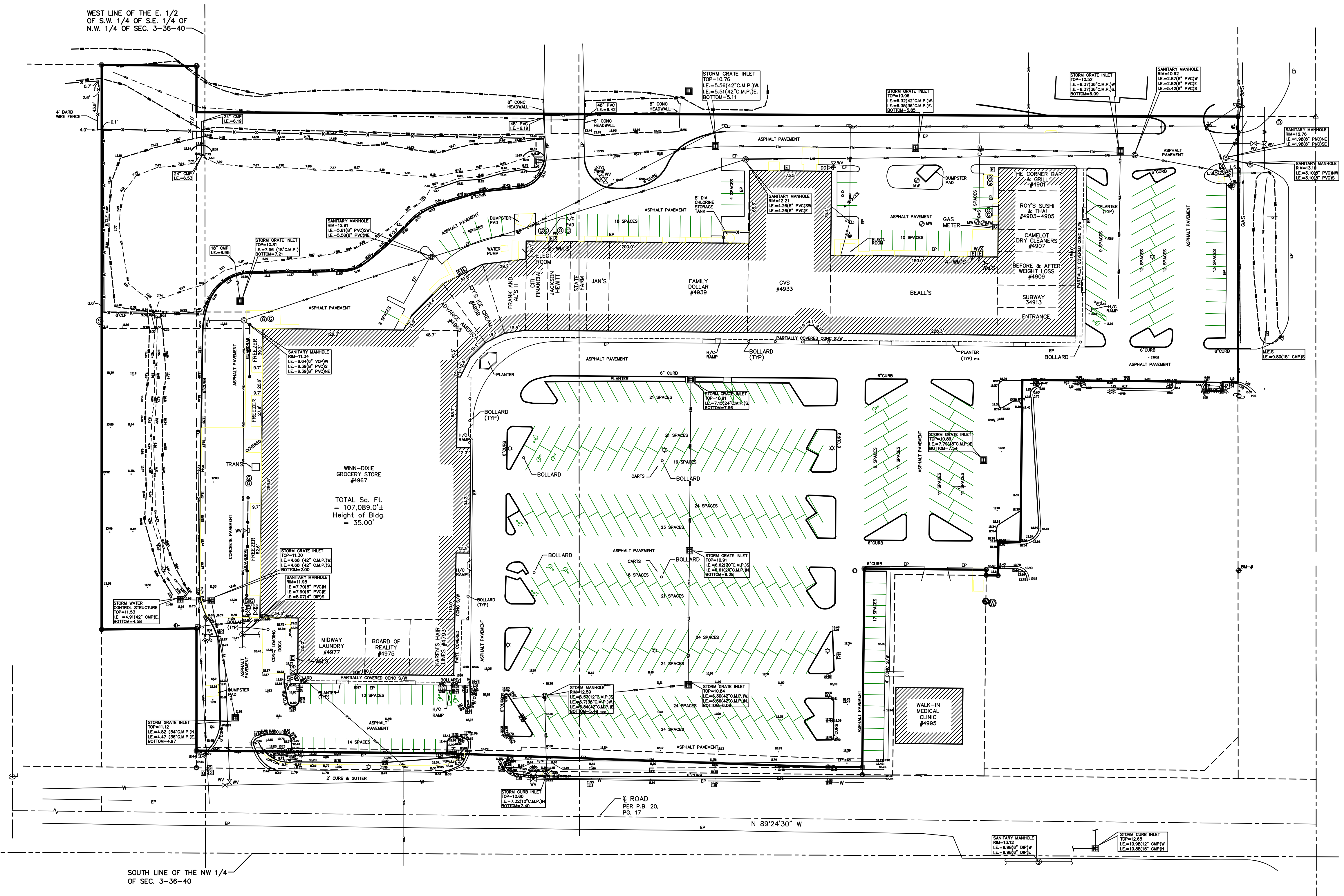
SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA

LEGEND

- FOUND CORNER-AS NOTED
- SET CAPPED IRON ROD
- FOUND P.K. NAIL & DISK
- CONC. POWER POLE
- STEEL LIGHT POLE
- STEEL SIGNAL SUPPORT POLE
- GUY ANCHOR
- ELEC METER
- ELEC RECEPTACLE
- GAS UG MARKER
- GAS METER
- WATER VALVE
- WATER BACK FLOW PREVENTOR
- FIRE HYDRANT
- WATER WELL
- MONITOR WELL
- SAN. MANHOLE
- GREASE TRAP
- SAN. LIFT STATION
- SAN. UG MARKER
- STORM MANHOLE
- STORM INLET-GRATE-CENTER
- STORM CONTROL STRUCTURE
- STORM MITERED END SECTION
- SIGN-SINGLE
- TRAFFIC CONTROL BOX
- HANDICAP PARKING
- DENOTES CONCRETE SLAB
- DENOTES OVERHANG COVERED AREA
- DENOTES BUILDING AREA
- F.C.I.R. FOUND CAPPED IRON ROD-AS NOTED
- S.C.I.R. SET CAPPED IRON ROD 5/8"-LB#4636
- F.I.R. FOUND IRON ROD-AS NOTED
- F.I.P. FOUND IRON PIPE-AS NOTED
- F.P.K.&D. FOUND P.K. NAIL & DISC
- O.R. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- D.B. DEED BOOK
- P.G. PAGE
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- P.O.T. POINT OF TERMINATION
- L.B. LICENSED BUSINESS
- P.L.S. PROFESSIONAL LAND SURVEYOR
- P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
- BLDG. BUILDING
- F.F. FINISHED FLOOR
- S/W SIDEWALK
- EP EDGE OF PAVEMENT
- B.O.C. BACK OF CURB
- CONC. CONCRETE
- C.L.F. CHAIN LINK FENCE
- M.E.S. MITERED END SECTION
- R.C.P. REINFORCED CONCRETE PIPE
- C.M.P. CORRUGATED METAL PIPE
- P.V.C. POLYVINYL CHLORIDE PIPE
- D.I.P. DUCTILE IRON PIPE
- S SANITARY SEWER
- FM SANITARY FORCE MAIN
- W WATER LINE
- GAS GAS LINE
- TRANS. ELECTRIC TRANSFORMER
- OHW OVERHEAD WIRE
- UGE UNDERGROUND ELECTRIC LINE
- UGT UNDERGROUND TELEPHONE LINE
- T.O.B. TOP OF BANK
- T.O.S. TOE OF SLOPE
- E.W. EDGE OF WATER
- TYP. TYPICAL
- N.T.S. NOT TO SCALE
- SPOT ELEVATION
- I.E. INVERT ELEVATION

SANITARY MANHOLE #2611  
RM = 12.57  
I.E. = 8.74 (8" P.V.C.)SW  
I.E. = 9.00 (6" P.V.C.)W  
I.E. = 8.74 (8" P.V.C.)NE

LINE	BEARING	LENGTH
L1	N00°35'08"E	4.00'
L2	S89°24'42"E	19.79'
L3	N00°34'42"E	30.48'
L4	N89°25'18"W	10.65'
L5	S45°12'45"W	42.52'
L6	N00°00'00"E	40.09'
L7	S00°35'56"W	8.00'
L8	S89°24'04"E	15.00'
L9	N00°35'56"E	8.00'
L10	S89°24'04"E	13.86'



WEST LINE OF THE E. 1/4 OF S.W. 1/4 OF S.E. 1/4 OF N.W. 1/4 OF SEC. 3-36-40

SOUTH LINE OF THE NW 1/4 OF SEC. 3-36-40

No.	DESCRIPTIONS	DATE	BY

BOUNDARY AND LIMITED TOPOGRAPHIC SURVEY  
TOWNE SOUTH PLAZA  
ST. LUCIE COUNTY, FLORIDA

**JMPACT** SURVEYING AND MAPPING, INC.  
L.B. #7934  
7815 NORTH DALE MABRY HIGHWAY, SUITE 107, TAMPA, FL. 33614  
Phone: (813) 644-6570  
E-Mail: psm5931@msn.com  
www.impactsurveyingandmapping.com

DRAWN BY: DFP  
CHECKED BY: DFP  
SCALE: 1"=50'

RELEASE DATE: 11/01/2019  
PARTY CHIEF: J.P.  
FIELD BOOK: 39  
PAGE: 65

CAD FILE: 2019-8309BNDY  
JOB NUMBER: 2019-8309  
SHEET 2 of 2



## Design Review

Property address or Location 4901 US HIGHWAY 1  
 Parcel ID #(s) 3403-244-0000-000-6  
 Project Description PROP. PARKING LOT MODIFICATIONS AND SEWER MAIN RE-ROUTING

Ts Pierce Sc Co Ltd  
 Property Owner(s)  
 PO Box 11229  
 Street Address  
 Knoxville TN 37939  
 City State Zip  
 954-629-2224  
 Phone Number  
 steve@keltonpm.com  
 Email Address

Jason M. Gunther, P.E., Thomas Engineering Group  
 Applicant/Representative, Title, Company  
 125 West Indiantown Road, Suite 206  
 Street Address  
 Jupiter FL 33458  
 City State Zip  
 561-203-7503  
 Phone Number  
 jgunther@thomaseg.com  
 Email Address

**TS PIERCE SC CO., LTD.,**  
 a Florida limited partnership  
 By **TS Pierce Corp,**  
 a Florida corporation, General Partner

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.*

Property Owner(s) Signature(s)  
 Steven Levin, Vice President

STATE OF FLORIDA -- COUNTY  
 The foregoing instrument was acknowledged before me this 20 day of July, 2020, by  
Steven LEVIN who is personally known to me or has produced

Wasallo  
 Signature of Notary



LISDAYSE VASALLO HERNANDEZ  
 Commission # GG 301731  
 Expires March 19, 2023(seal)  
 Bonded Thru Budget Notary Services

### TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_

Intake Date Stamp

# Design Review Application Checklist

## (City Code of Ordinances 22-59)

### Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

### Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

# SITE DEVELOPMENT DRAWINGS FOR: TOWNE SOUTH PLAZA

CITY OF FORT PIERCE  
ST. LUCIE COUNTY, FL  
SECTION 03, TOWNSHIP 36 S, RANGE 40 E

## VICINITY \ AERIAL MAP

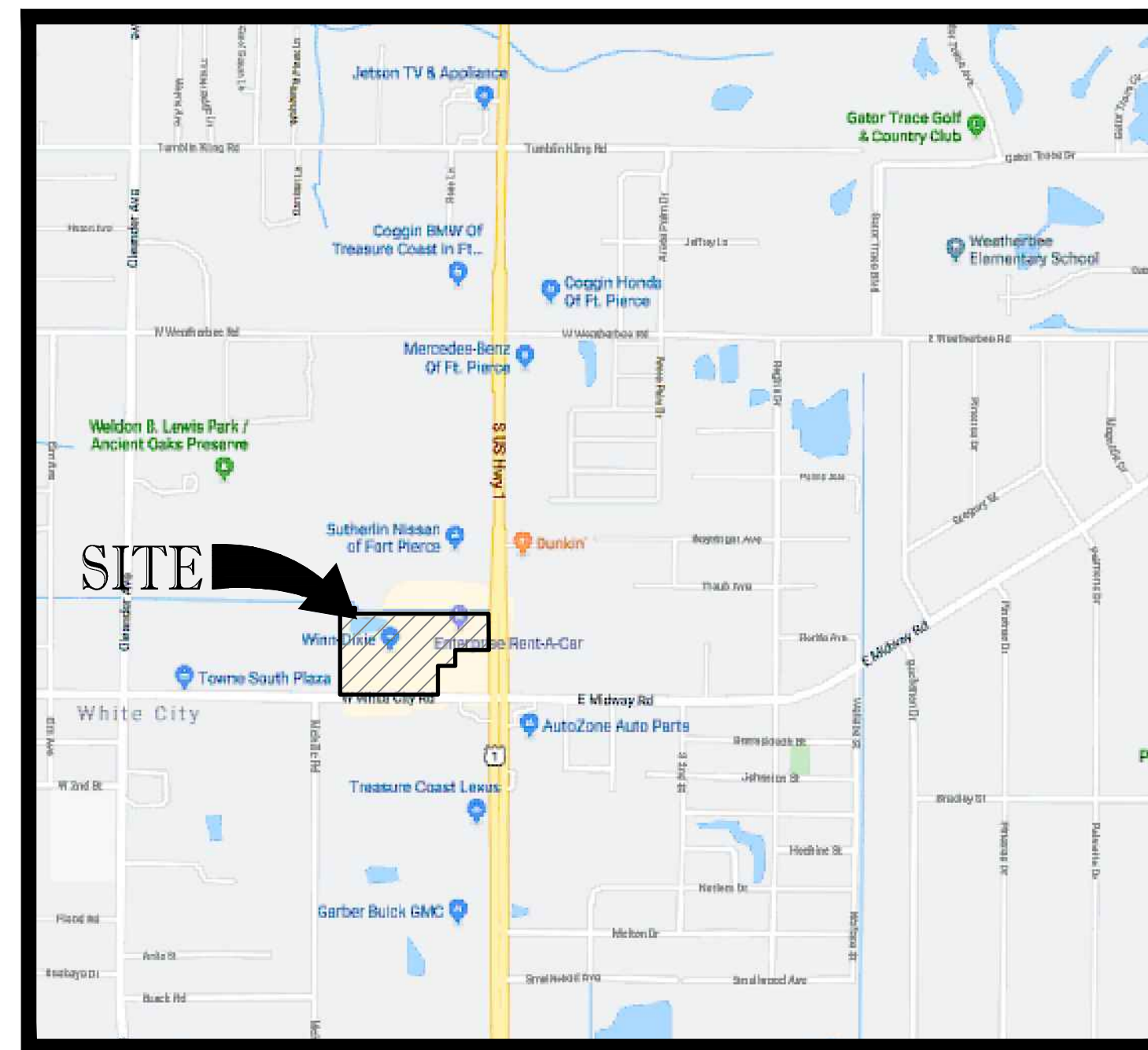
SCALE: 1"=500'



COPYRIGHT 2018 LABINS

## LOCATION MAP

SCALE: 1" = 1,000'



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## SHEET INDEX

### PLANS BY THOMAS ENGINEERING:

COVER SHEET	C-01
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DEMOLITION PLAN	C-03
EROSION CONTROL PLAN	C-04
SITE PLAN	C-05
PAVING, GRADING & DRAINAGE PLAN	C-06
WATER, SEWER AND UTILITIES PLAN	C-07
SEWER PROFILE	C-08
UTILITIES DETAILS	C-09 - C-10

## LEGAL DESCRIPTION

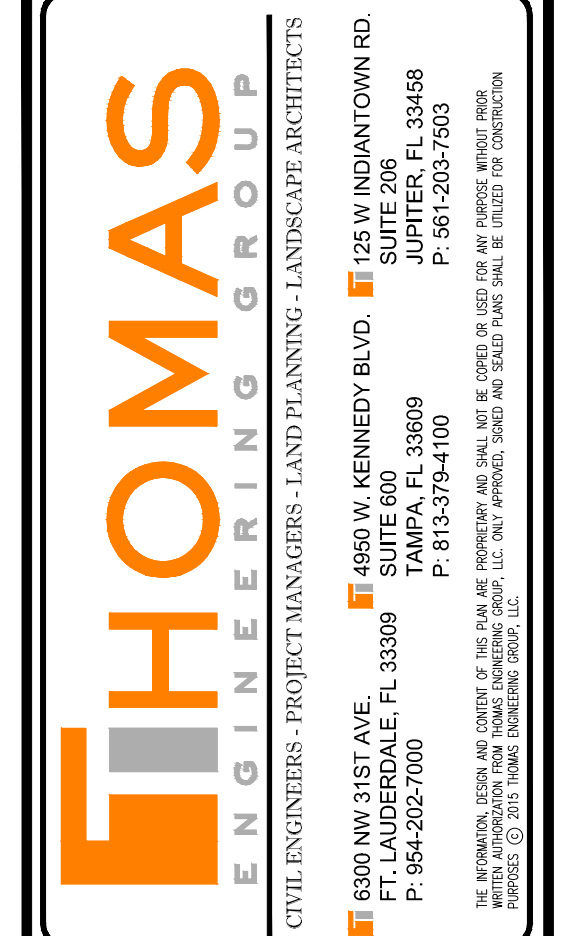
AS FURNISHED BY CLIENT

PARCEL 1:  
THAT CERTAIN PARCEL OF LAND DESCRIBED IN RECORDED IN DEED BOOK 172, PAGE 161 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 1605 FEET EAST OF THE CENTER OF DEANDER AVENUE AND MIDWAY ROAD, ACCORDING TO THE MAP OF WHITE CITY (P.B. 1, PG 23), THENCE NORTH 670 FEET, THENCE EAST 85 FEET, THENCE SOUTH 670 FEET, THENCE WEST 85 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT:  
ANY PORTION OF THE ABOVE DESCRIBED LAND USED AS A PUBLIC ROAD OR FOR DRAINAGE CANAL, ALL LYING AND BEING IN SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, LESS AND EXCEPTING THE SOUTHERLY 150.00 FEET THEREOF LYING NORTHERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF MIDWAY ROAD AS RECORDED IN PLAT BOOK 20, PAGE 17 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; ALSO DESCRIBED IN RESOLUTION NO. 80-34 OF THE BOARD OF COUNTY COMMISSIONERS OF SAINT LUCIE COUNTY AND RECORDED IN OFFICIAL RECORDS BOOK 329, PAGE 2333 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.  
TOGETHER WITH PARCEL 2:  
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING BETWEEN THE EAST LINE OF THE ABOVE DESCRIBED PARCEL AND THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3, LYING SOUTHERLY OF THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 3 AND LYING NORTHERLY OF THE NORTH RIGHT- OF-WAY LINE OF SAID MIDWAY ROAD.  
TOGETHER WITH PARCEL 3:  
THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LYING NORTHERLY OF THE NORTHERLY RIGHT-OF-WAY LINE OF SAID MIDWAY ROAD. THE ABOVE DESCRIBED PARCEL INCLUDES A PORTION OF LOT 21 OF AFORESAID MAP OF WHITE CITY, MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE NORTH 17.71 FEET OF THE EAST 25 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 3.  
TOGETHER WITH PARCEL 4:  
THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 3, LYING NORTHERLY OF THE NORTHERLY RIGHT- OF-WAY LINE OF SAID MIDWAY ROAD AND WESTERLY OF THE WESTERLY RIGHT- OF-WAY LINE OF THE NORTH SAINT LUCIE RIVER WATER MANAGEMENT DISTRICT (N.S.L.R.W.M.D.) CANAL NO. 17.  
LESS AND EXCEPT OUTPARCELS "A" AND "B", MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
OUTPARCEL "A"  
A PARCEL OF LAND LYING IN SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 3; THENCE ALONG THE EAST BOUNDARY OF SAID NORTHWEST 1/4, NORTH 00°02'03" WEST, 69.60 FEET; THENCE DEPARTING SAID EAST BOUNDARY, NORTH 89°24'54" WEST, 69.99 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF N.S.L.R.W.M.D. CANAL #17; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, NORTH 00°01'39" WEST, 37.26 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL, SAID POINT LYING ON THE NORTHERLY RIGHT OF WAY LINE OF MIDWAY ROAD, AS DESCRIBED IN OFFICIAL RECORDS BOOK 1746, PAGE 2911, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE DEPARTING SAID WESTERLY RIGHT OF WAY LINE, AND ALONG SAID NORTHERLY RIGHT OF WAY LINE, SOUTH 45°12'45" WEST, 42.52 FEET; THENCE CONTINUE ALONG SAID NORTHERLY RIGHT OF WAY LINE, NORTH 89°24'54" WEST, 197.80 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, NORTH 00°36'58" EAST, 173.03 FEET; THENCE SOUTH 89°25'18" EAST, 10.65 FEET; THENCE NORTH 00°34'42" EAST, 30.48 FEET; THENCE SOUTH 89°23'42" EAST, 19.79 FEET; THENCE NORTH 00°39'53" EAST, 145.28 FEET; THENCE SOUTH 89°24'04" EAST, 164.69 FEET; THENCE SOUTH 00°35'36" WEST, 8.00 FEET; THENCE SOUTH 89°24'04" EAST, 15.00 FEET; THENCE NORTH 00°35'56" EAST, 8.00 FEET; THENCE SOUTH 89°24'04" EAST, 13.86 FEET TO A POINT ON THE AFORESAID WESTERLY RIGHT OF WAY LINE OF THE N.S.L.R.W.M.D. CANAL #17; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, SOUTH 00°01'39" EAST, 318.53 FEET TO THE POINT OF BEGINNING.  
OUTPARCEL "B"  
A PORTION OF THE SOUTH ONE-HALF (S 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST (SE) CORNER OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE NORTH 00°02'03" WEST ALONG THE EAST LINE OF SAID NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 3 TO A POINT ON THE BASELINE OF SURVEY OF COUNTY ROAD 712 (MIDWAY ROAD) AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR ITEM/SEGMENT NO. 2314402, SECTION 34530-2510; THENCE NORTH 89°42'55" EAST, 1,638.39 FEET ALONG SAID BASELINE OF SURVEY; THENCE NORTH 00°17'15" EAST, 40.00 FEET ALONG A LINE AT A RIGHT ANGLE TO THE LAST DESCRIBED COURSE TO THE NORTH EXISTING RIGHT OF WAY LINE OF SAID COUNTY ROAD 712 (MIDWAY ROAD) AND THE POINT OF BEGINNING; THENCE NORTH 00°17'15" EAST, 15.48 FEET; THENCE SOUTH 89°40'58" EAST, 225.47 FEET; THENCE SOUTH 88°12'45" EAST, 341.27 FEET TO SAID NORTH EXISTING RIGHT OF WAY LINE OF COUNTY ROAD 712 (MIDWAY ROAD); THENCE SOUTH 89°25'41" WEST, 180.25 FEET ALONG SAID NORTHERLY EXISTING RIGHT OF WAY LINE; THENCE SOUTH 00°17'15" WEST, 4.00 FEET CONTINUING ALONG SAID NORTH EXISTING RIGHT OF WAY LINE; THENCE NORTH 89°42'45" WEST, 406.39 FEET CONTINUING ALONG SAID NORTHERLY EXISTING RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

PREPARED BY



PEBORTH PROFESSIONAL PLAZA  
125 W. INDIANTOWN RD. SUITE 205  
JUPITER, FL. 33458  
PH: (561) 203-7503  
FX: (561) 203-7721  
www.ThomasEngineeringGroup.com



REV.	DATE	COMMENT	BY



PROJECT No.:	FJ190027
DRAWN BY:	JMG
CHECKED BY:	JMG
DATE:	
CAD I.D.:	FJ190027 - COVER

TOWNE SOUTH PLAZA  
MIDWAY CURE PLAN

FOR  
TS PIERCE SC Co., Ltd.

CITY OF FORT PIERCE  
FLORIDA



PEBORTH PROFESSIONAL PLAZA  
125 W. INDIANTOWN RD. SUITE 205  
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SHEET TITLE:  
COVER SHEET

SHEET NUMBER:  
C-01

## GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- BOUNDARY SURVEY - IMPACT SURVEYING AND MAPPING, DATED 11/01/2019.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

2. ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) CODE (42 U.S.C. SEC. 1201 ET SEQ. AND 42 U.S.C. SEC. 4151 ET SEQ.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THE BOUNDARY SURVEY PREPARED BY IMPACT SURVEYING AND MAPPING, DATED 11/01/2019 SHALL BE CONSIDERED A PART OF THESE PLANS.

8. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO THOMAS ENGINEERING GROUP BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THOMAS ENGINEERING GROUP IF ANY ACTUAL DIFFERENCES FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

9. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE STARTING OF CONSTRUCTION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.

10. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.

11. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.

12. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.

14. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.

15. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL, INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION, THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

16. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

17. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

18. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.

19. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME THOMAS ENGINEERING GROUP, AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH THOMAS ENGINEERING GROUP WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS THOMAS ENGINEERING GROUP AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

20. THOMAS ENGINEERING GROUP WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THOMAS ENGINEERING GROUP'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT THOMAS ENGINEERING GROUP HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THOMAS ENGINEERING GROUP WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. THOMAS ENGINEERING GROUP WILL NOT BE REQUIRED TO REVIEW NEW SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

21. NEITHER THE PROFESSIONAL ACTIVITIES OF THOMAS ENGINEERING GROUP, NOR THE PRESENCE OF THOMAS ENGINEERING GROUP OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION / PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATION, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. THOMAS ENGINEERING GROUP AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THOMAS ENGINEERING GROUP SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

22. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.

23. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL, EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM SHOULD BE INCLUDED IN THE CONTRACTOR'S PRICE.

24. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

25. CONTRACTOR SHALL CONFIRM ADA ACCESSIBILITY PRIOR TO INSTALLING FINISHING COURSES OF SIDEWALKS AND PARKING AREAS.

26. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A RECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.

27. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED) PRIOR TO CERTIFICATE OF OCCUPANCY, THESE EASEMENTS SHALL BE SKETCHED, DESCRIBED, AND RECORDED AT THE SOLE COST OF THE CONTRACTOR.

28. CONTRACTOR SHALL PROVIDE MINIMUM 48 HOUR NOTICE TO ENGINEER AND APPLICABLE AGENCIES FOR SCHEDULING INSPECTIONS.

29. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND CITY OF FORT PIERCE FOR THE FOLLOWING: CATCH BASINS, FIRE HYDRANTS, VALVES, AND ALL REQUIRED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

30. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.

31. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH MUT.C.D. AND FOOT STANDARDS AND INDEX 806, LATEST EDITION, AND APPROVED BY CITY OF FORT PIERCE AND ST. LUCIE COUNTY WHERE APPLICABLE PRIOR TO IMPLEMENTATION.

32. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

33. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE THE BE LEFT OPEN DURING NIGHTIME HOURS WITHOUT EXPRESS PERMISSION FROM CITY OF FORT PIERCE.

34. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE, ALL RESTORED TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY'S TRAFFIC ENGINEERING STANDARDS.

## SANITARY SEWER NOTES:

A. GENERAL:

1. DISTANCE AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.

B. MATERIALS:

1. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH FUSH-ON RUBBER GASKET JOINTS. (2" SHALL BE DR-25)

2. DUCTILE IRON PIPE (DIP) SHALL BE CEMENT OR POLYURETHANE INSULATED AND SHALL HAVE A COAL TAR EPOXY COATING, MANUFACTURED IN ACCORDANCE WITH ANSIIAWWA C151/A21.51-89 OR LATEST REVISION. MINIMUM WALL THICKNESS CLASS 52 (4" / 12" & CLASS 51 (14" / 20" UNLESS OTHERWISE SPECIFIED).

3. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.

C. INSTALLATION:

1. PIPE AND FITTINGS:

a. SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UNI-BELL PLASTICS PIPE ASSOCIATION'S RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE."

b. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSIIAWWA C600-93 OR LATEST REVISION.

c. BEDDING AND INITIAL BACKFILL OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK (PER CITY OF FORT PIERCE ENGINEERING STANDARDS).

3. SERVICE:

a. MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED ON THE FLORIDA BUILDING CODE.

b. SERVICE LATERALS SHALL TERMINATE AT A DEPTH 30" BELOW FINISHED GRADE OR AS INDICATED ON PLUMBING PLAN.

c. EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.

d. THE END OF EACH SERVICE CONNECTION SHALL BE PAINTED WITH A 2"x4" TREATED STAKE PAINTED RED, EXTENDING 18" (MIN) ABOVE GRADE.

e. CONTRACTOR SHALL ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG, AT PROJECT COMPLETION, CUT BACK TO FINISHED GRADE.

f. CONNECTION OF SERVICES TO BUILDINGS PLUMBING SHALL BE COORDINATED WITH THE CITY'S BUILDING DEPARTMENT, PLUMBING SECTION.

D. TESTING:

- AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
- AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.
- MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT. NO VISIBLE LEAKAGE ALLOWED.
- SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN ATWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED AND ALL LINES SHALL BE T.V. INSPECTED.
- SANITARY SEWER SHALL BE TELEVISED AND LAMPED AT DEVELOPER'S EXPENSE. PRIOR TO FINAL ACCEPTANCE, OWNER / CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO CERTIFICATION TO ANY AGENCY.
- VISIBLE INFILTRATION LEAKAGE INTO MANHOLES, AND SEWER PIPE SHALL NOT BE PERMITTED.

## WATER DISTRIBUTION AND/OR SANITARY SEWER FORCE MAIN SYSTEM

A. GENERAL:

- NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS, FOR THE WATER AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE CITY OF FORT PIERCE UTILITY AUTHORITY AND THE ST. LUCIE COUNTY HEALTH DEPARTMENT.
- BEDDING AND INITIAL BACKFILL FOR MAINS SHALL BE SAND WITH NO ROCK (PER CITY OF FORT PIERCE UTILITY AUTHORITY STANDARDS MANUAL LATEST EDITION).
- USE "DETECTO" TAPE ON ALL PVC MAINS (18" ABOVE), AND USE "NON-DETECTO" TAPE ON ALL D.I.P. MAINS (18" ABOVE).
- SEPARATION REQUIREMENTS SHALL BE PER THE CITY FORT PIERCE UTILITY AUTHORITY STANDARDS.
- CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF FORT PIERCE UTILITY AUTHORITY STANDARDS AND SPECIFICATIONS.

B. MATERIALS:

- DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 UP TO 12" SIZE & CLASS 51 FOR 14" AND LARGER WITH INTERIOR CEMENT LINING AND EXTERIOR ZINC CHROMIUM COATED OUTSIDE. WATER MAIN & EPOXY LINED & COATED FORCE MAIN MANUFACTURED IN ACCORDANCE WITH ANSIIAWWA C151/A21.51-91 OR LATEST REVISION. THE PIPE SHALL BE WITHSTAND A WINDING RING TEST. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PREURE PIPE CONFORMING TO ANSIIAWWA C900-89 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE O.D. (PVC ON-SITE ONLY).
- FITTINGS FOR MAINS 4" AND LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO ANSIIAWWA C110/A21.10-93 OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS, AND ALL FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME MATERIALS AS THE PIPE & USE MEGALUG SERIES 1100 RESTRAINED JOINT ADAPTERS.
- VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED AND GUNTED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSIIAWWA C509-87 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.

a. GATE VALVES 4" AND LARGER SHALL BE MUELLER A-2360-20, RESILIENT SEATED GATE VALVES SHALL BE AMERICAN 500/2500 LINE OR CLOW F-6100, CONFORMING TO ANSIIAWWA C509-87.

b. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.

c. GATE VALVES SHALL BE PER THE CITY OF FORT PIERCE UTILITY AUTHORITY.

5. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL PER CITY OF FORT PIERCE.

6. VALVE BOXES SHALL BE TYLER/JUNION 461-S OR APPROVED EQUAL PER CITY OF FORT PIERCE.

7. RETAINER GLANDS SHALL CONFORM TO ANSIIAWWA C111/A21.11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING, CLOW CORPORATION MODEL F-1058 OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.

8. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90, NO SUBSTITUTIONS ALLOWED.

9. FIRE HYDRANTS SHALL HAVE A 5 1/4" MAIN VALVE OPENING, PUMPER NOZZLE TO BE 18" FROM FINISH GRADE. ALL HYDRANTS SHALL BE INSTALLED WITH ANCHORING VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSIIAWWA C502-85 (OR LATEST REVISION). HYDRANTS SHALL BE AMERICAN DARLING B-84-B, BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OF NEAREST DRIVING LANE FOR FIRE HYDRANTS.

C. SERVICE CONNECTION:

1. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

2. CURB STOPS SHALL BE MUELLER OR APPROVED EQUAL.

3. METER STOPS SHALL BE 90° LOCK WING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-62. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT "O" RING CONNECTION AGAINST THE MAIN. METER STOPS SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

4. SERVICE PIPING SHALL BE POLYETHYLENE TUBING.

D. INSTALLATION:

1. GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE BY USING ONE OF THE FOLLOWING METHODS:

a. METHOD A PER ST. LUCIE COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW ONE.

b. METHOD B PER ST. LUCIE COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.

c. METHOD C APPROVED BY THE ST. LUCIE COUNTY PUBLIC HEALTH UNIT, WHICH INVOLVES A TAP WITH ONE GATE VALVE REQUIRING DISINFECTION OF THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE TEST.

2. BEDDING:

BEDDING AND INITIAL BACKFILL OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK (PER CITY OF FORT PIERCE UTILITY AUTHORITY STANDARDS).

3. PVC PIPE:

a. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS.

b. PVC PIPE SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER

c. DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18" ABOVE THE PIPE, COLOR SIDE UP.

4. DUCTILE PIPE:

a. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSIIAWWA C600-99 OR LATEST REVISION.

b. D.I.P. SHALL BE INSTALLED WITH A MINIMUM OF 30" COVER.

c. "NON-DETECTOR" TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL D.I.P. MAINS APPROXIMATELY 18" ABOVE THE MAIN COLOR SIDE UP.

5. VALVES:

a. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER" CAST IN THE COVER, A BRASS DISK INDICATING, SIZE, TYPE, KIND & OPERATOR INSTRUCTIONS SHALL BE INSTALLED ADJACENT TO VALVE BOX.

b. MAIN VALVES SHALL BE LOCATED ON AN EXTENSION OF THE RIGHT-OF-WAY LINE UNLESS DIMENSIONED OTHERWISE.

c. MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES. HYDRANT VALVES SHALL BE INSTALLED AS CLOSE TO THE MAIN AS POSSIBLE. VALVES LOCATED IN UNPAVED AREAS OR IN PARKING STALLS REQUIRE A REFLECTIVE PAVEMENT MARKER ON THE CENTER OF THE NEAREST LANE OF PAVEMENT, WHITE REFLECTORS FOR THE WATER MAIN VALVES, GREEN REFLECTORS FOR FORCE MAIN VALVES, & THE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR NUT TO FINAL GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 18 INCHES.

6. SERVICE:

a. COVER OVER SERVICE LINES SHALL BE 18" MINIMUM, 36" MAXIMUM BELOW FINISHED GRADE AND 36" UNDER PAVEMENT.

b. SERVICES UP TO 2" SHALL BE POLYETHYLENE TUBING PER CITY OF FORT PIERCE UTILITY AUTHORITY.

c. METER STOPS SHALL HAVE 8" TO 10" COVER AS REQUIRED FOR PROPER METER/BOX INSTALLATION.

d. WATER SERVICES UNDER PAVEMENT SHALL BE ENCASED IN A SCHEDULE 80 PVC SLEEVE FOR THE FULL LENGTH OF THE PAVEMENT AND FOR 2' BEYOND THE EDGES. 3/4" SLEEVE DIAMETER SHALL BE TWICE THE DIAMETER OF THE SERVICE PIPE.

e. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE, PAINTED BLUE EXTENDING 18" (MINIMUM) ABOVE GRADE UNLESS INDICATED OTHERWISE.

E. TESTING

1. BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSIIAWWA C600-89 OR LATEST REVISION. THE PRESSURE TEST SHALL NOT VARY MORE THAN ±5 P.S.I. DURING THE TEST.

2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY OF FORT PIERCE UTILITY AUTHORITY AND THE ENGINEER OF RECORD.

3. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSIIAWWA C651-92, 150 PSI MINIMUM STARTING TEST PRESSURE, WITH BACTERIOLOGICAL SAMPLES APPROVED BY THE ST. LUCIE COUNTY PUBLIC HEALTH DEPARTMENT.

4. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1500' MAXIMUM FOR LINES GREATER THAN 150' IN LENGTH. PROVIDE A MINIMUM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SEGMENTS. SAMPLE POINTS MUST BE APPROVED BY ST. LUCIE COUNTY HEALTH DEPARTMENT.

5. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = \frac{S \cdot D \cdot P \cdot 0.5}{148000}$$

IN WHICH:  
L EQUALS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.  
S EQUALS LENGTH OF PIPE (LINEAR FEET),  
D EQUALS NOMINAL DIAMETER OF PIPE (INCHES) AND  
P EQUALS THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH).

2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.

3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.

4. DENSITY TESTS ON THE BASE AND STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND CITY OF FORT PIERCE, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.

5. DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO CITY OF FORT PIERCE, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

6. LABORATORY PROCTOR COMPACTION TESTS (1-T80) SHALL BE PERFORMED ON ALL MATERIAL, SUB-GRADE AND BASE. LIME/ROCK BEARING RATINGS, SIEVE ANALYSIS AND DENSITIES REQUIRED BY THE CONTRACT DOCUMENTS SHALL BE SUBMITTED TO THE CITY OF FORT PIERCE.

A. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.

ALL CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).

B. A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

## STORM DRAINAGE:

A. GENERAL:

1. CATCH BASIN GRATES AND RIM ELEVATIONS AS SHOWN ON PLANS SHALL BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.

2. DISTANCES AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.

B. MATERIALS:

1. ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-478 AND 64T UNLESS OTHERWISE NOTED IN THE PLANS. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER. THE MINIMUM WALL AND SLAB THICKNESS SHALL BE 8 INCHES AND THE MINIMUM REINFORCING SHALL BE NO. 4 BARS @ 12 INCHES EACH WAY UNLESS OTHERWISE INDICATED. CONCRETE SHALL BE MINIMUM OF fc=3750 PSI AT 28 DAYS.

C. INSTALLATION:

1. PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE. PIPE JOINTS SHALL BE WRAPPED IN FILTER FABRIC.

2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED IN LAYERS NOT TO EXCEED 6 INCHES TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON PLANS.

3. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.

4. THE CONTRACTOR SHALL NOTIFY CITY OF FORT PIERCE ENGINEERING DEPARTMENT, FOOT AND THE ENGINEER OF RECORD AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.

5. THE CONTRACTOR SHALL WRAP EACH JOINT WITH FILTER FABRIC.

## PAVING:

A. GENERAL:

1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIME/ROCK BASE.

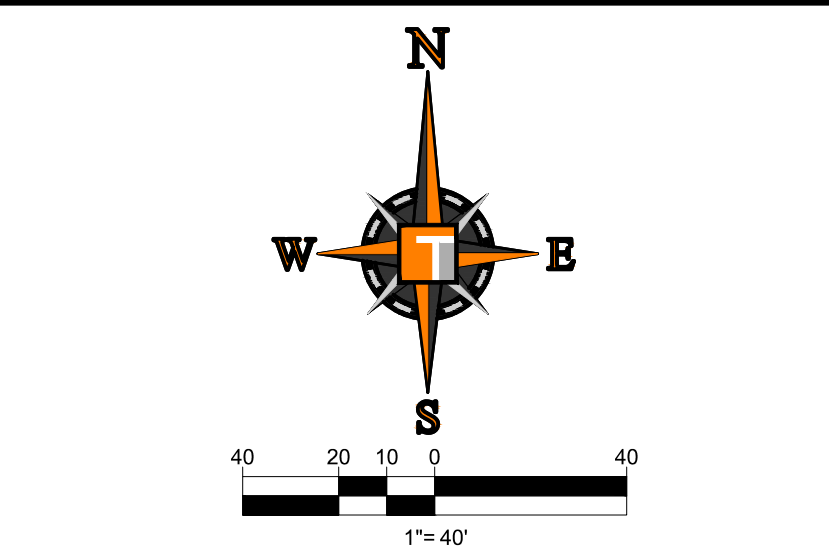
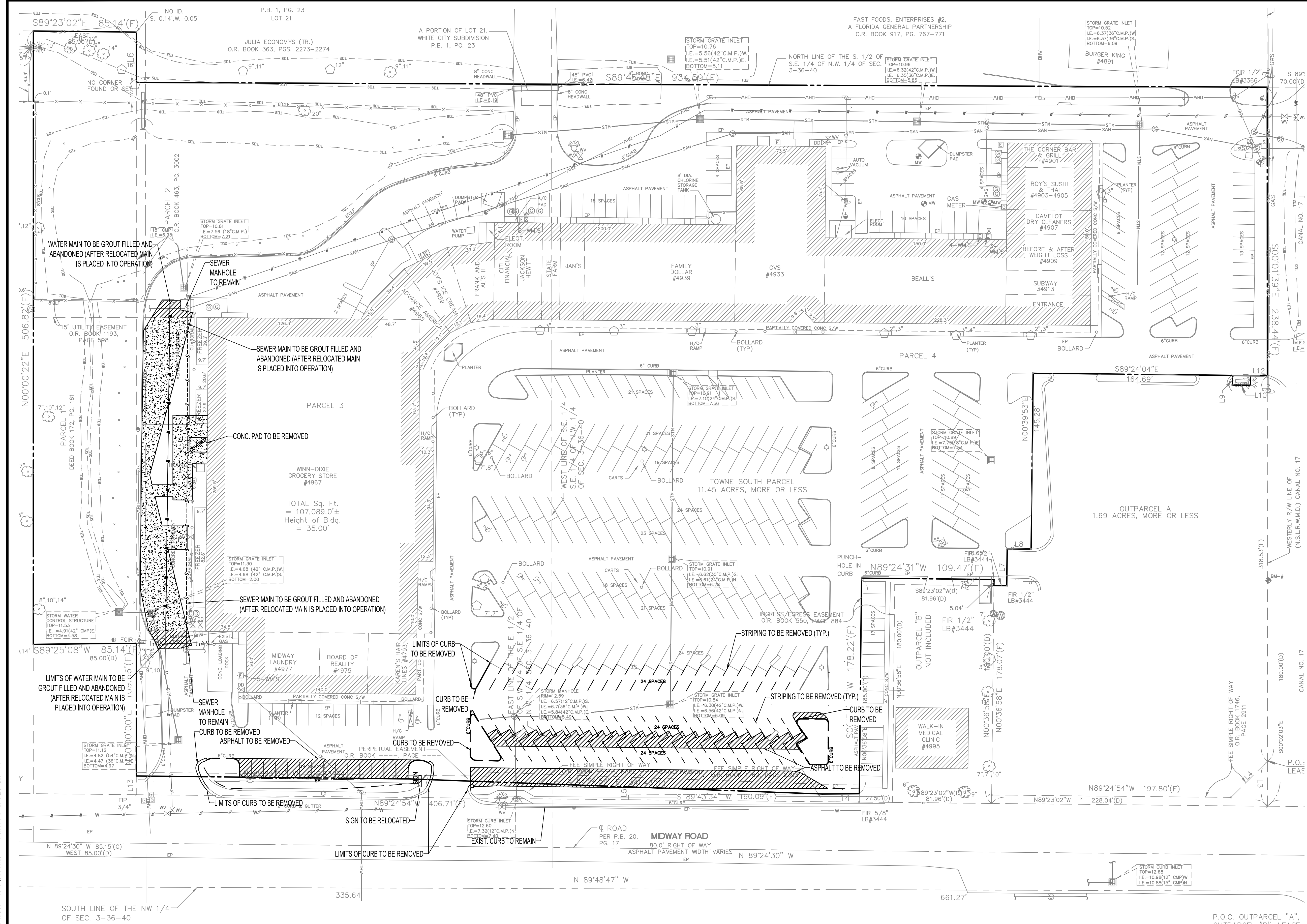
2. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.

3. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.

4. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD. PRIME AND TACK COAT FOR BASE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF SECTIONS 300-1 THROUGH 300-7 OF FOOT STANDARDS AND SPECIFICATIONS.

B. MATERIALS:

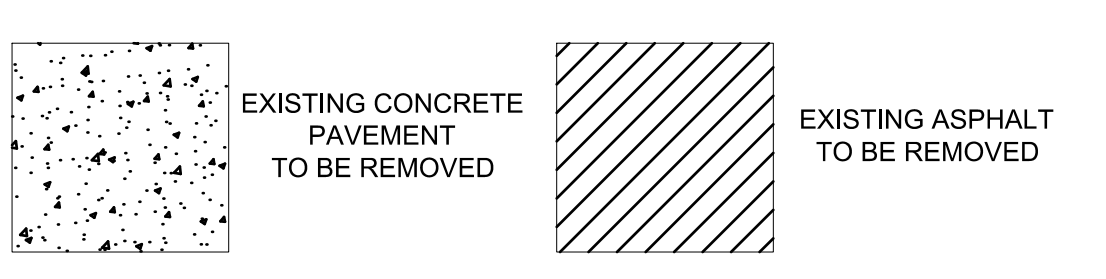
1. LIME/ROCK BASE: (ASPHALT VEHICULAR PAVERS AREAS) LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM 6" THICKNESS AND COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180 (LR 100), OTHER



**DEMOLITION NOTES:**

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY: IMPACT SURVEYING AND MAPPING, INC. 7815 NORTH DALE MABRY HIGHWAY SUITE 107 TAMPA, FL 33614 DATED: 11/01/2019
- THOMAS ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THOMAS ENGINEERING GROUP, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TO:
  - THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
  - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
  - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
  - A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE.
  - SAFETY OR SUPERVISION, CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY.
  - TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
  - IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
  - EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
  - CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
  - USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
  - CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.

**HATCH LEGEND**



- NOTES**
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
  - ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH CITY OF FORT PIERCE AND LOCAL UTILITY COMPANY REQUIREMENTS. ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
  - CONTRACTOR SHALL REFER TO CONSTRUCTION PHASING PLANS FOR ORDER OF REMOVAL OF ANY UTILITIES AND/OR STRUCTURES.
  - EXISTING WATER SERVICES TO EXISTING RETAIL SPACE SHALL NOT BE REMOVED UNTIL PROPOSED WATER SERVICES ARE INSTALLED AND RELEASE FOR USE BY FORT PIERCE UTILITY AUTHORITY.
- CONTRACTOR SHALL REFER TO LANDSCAPING PLAN FOR TREE REMOVAL

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 F: 813-379-1100  
 4860 W. KENNEDY BLVD., SUITE 107 TAMPA, FL 33609  
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REV.	DATE	COMMENT	BY

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PROJECT No.:	FJ190027
DRAWN BY:	JMG
CHECKED BY:	JMG
DATE:	FJ190027 - DEMOLITION PLAN
CAD ID.:	

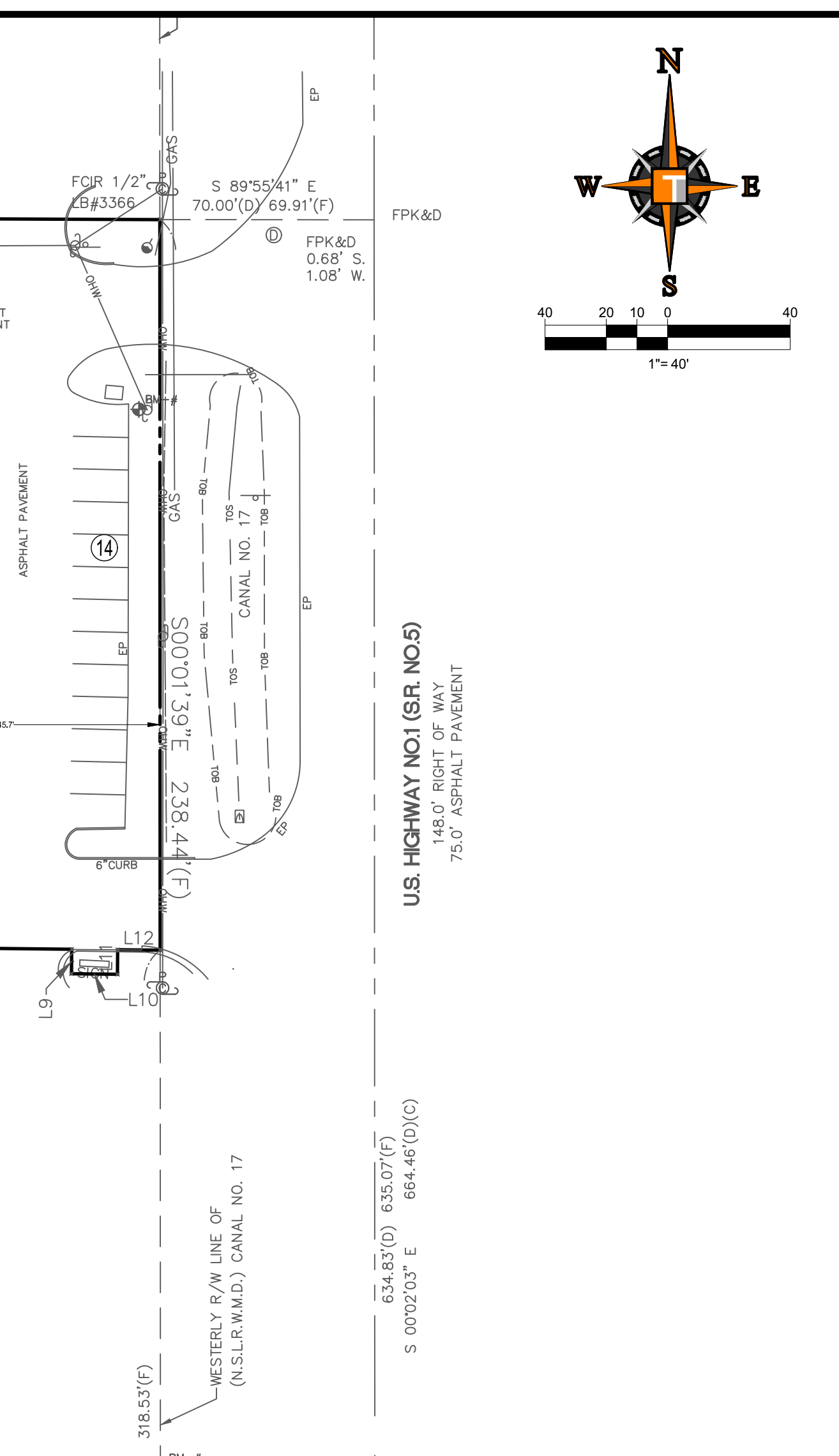
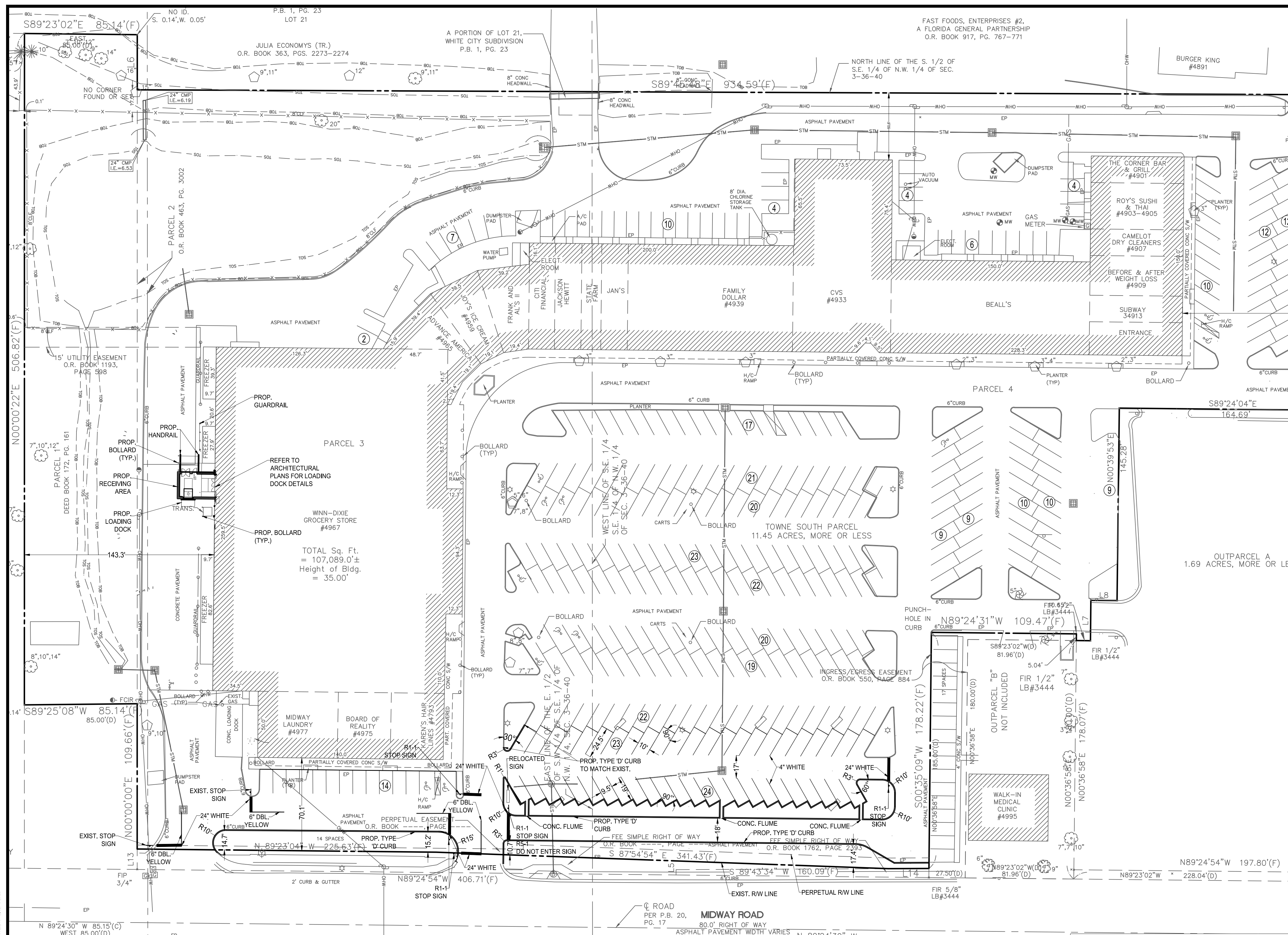
**TOWNE SOUTH PLAZA MIDWAY CURE PLAN**  
 FOR  
**TS PIERCE SC Co., Ltd.**  
 CITY OF FORT PIERCE  
 FLORIDA

**THOMAS ENGINEERING GROUP**  
 PEPWORTH PROFESSIONAL PLAZA  
 125 W. INDIANTOWN RD., SUITE 202  
 PH: (813) 203-7503  
 FX: (813) 203-7721  
 www.ThomasEngineeringGroup.com

**JASON M. GUNTER**  
 No. 58629  
 PROFESSIONAL ENGINEER  
 November 16, 2020  
 CIVIL ENGINEERING LICENSE  
 FLORIDA BUSINESS LICENSE No. 27528

SHEET TITLE:  
**DEMOLITION PLAN**  
 SHEET NUMBER:  
**C-03**





**DEVELOPMENT REGULATIONS**

**APPLICANT/ OWNER:** TS PIERCE SC CO., LTD  
**PO BOX 11229**  
**KNOXVILLE, TN 37939**

**LOCAL JURISDICTION:** CITY OF FORT PIERCE  
**ST. LUCIE COUNTY**  
**3403-244-0000-006**

**PARCEL ID:** 12111C0189J (02/16/2012)  
**CURRENT USE:** RETAIL  
**PROPOSED USE:** RETAIL  
**FUTURE LAND USE DESIGNATION:** GC GENERAL COMMERCIAL  
**ZONING DESIGNATION:** C3 GENERAL COMMERCIAL

**FEMA FLOOD ZONE:** ZONE X PER FLOOD PANELS:  
 12111C0189J (02/16/2012)  
 12111C0277J (02/16/2012)

DEVELOPMENT STANDARDS	REQUIRED	PROPOSED
MIN. LOT AREA (S.F.)	10,000	492,672 S.F. 11.31 AC
MIN. LOT WIDTH (FEET)	70	585
MIN. LOT DEPTH (FEET)	90	1019
MIN. SET BACKS:		
FRONT - EAST (FEET)	25	145.70
SIDE - NORTH (FEET)	15	50.60
SIDE - SOUTH (FEET)	15	70.10
REAR - WEST (FEET)	15	143.30
MAX. HEIGHT (FEET)	65'	35'
MAX. F.A.R.	0.60	0.22
MIN. PERVIOUS AREA (%)	20	25%

SITE AREA	EXISTING		PROPOSED		CHANGE	
	S.F.	AC	S.F.	AC	S.F.	AC
IMPERVIOUS						
BUILDING	107,243	2.46	107,805	2.47	562	0.01
PAVEMENT/ SIDEWALK	264,044	6.06	259,272	5.95	(4,773)	(0.11)
TOTAL	371,287		367,077	8.43	(4,211)	(0.10)
PERVIOUS						
TOTAL	121,385	2.79	125,595	2.88	4,211	0.10

PARKING DATA	EXISTING		PROPOSED	
	EXISTING	PROPOSED	EXISTING	PROPOSED
TOTAL PARKING (1/ 250 S.F.)	392	357		
HANDICAPPED PARKING	15	15		
LOADING SPACE	1	1		

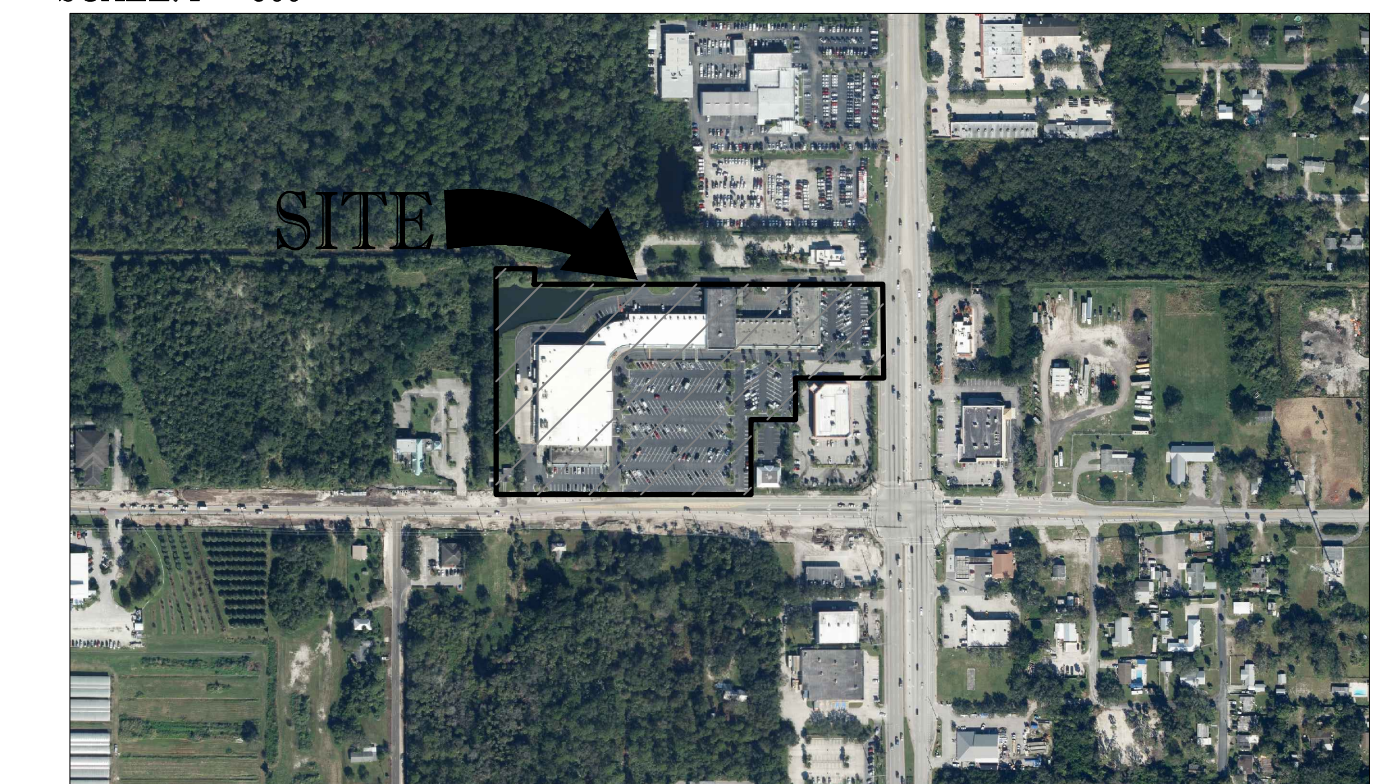
**NOTES:**

- ALL CONSTRUCTION SHALL COMPLY WITH SECTIONS 17 AND 22 OF THE CITY OF FORT PIERCE CODE OF ORDINANCES.
- ALL TRUNCATED DETECTABLE SURFACES SHALL BE CAST IN PLACE (ADHESIVE NOT PERMITTED) AND BE BRICK RED IN COLOR. ALL RAMPS AND FLUSH CONNECTIONS WITHIN PUBLIC RIGHT-OF-WAY OR ROAD EASEMENTS SHALL INCLUDE TRUNCATED DETECTABLE SURFACE 24" IN DEPTH CONSISTENT WITH FDOT INDEX #304.

SHOPPING CENTER USES		
TYPE	USE	S.F. *
RESTAURANT	THE CORNER BAR & GRILL	1409
RESTAURANT	ROY'S SUSHI & THAI	2453
BUSINESS SERVICE	CAMELOT DRY CLEANERS	1406
MEDICAL	BEFORE & AFTER WEIGHT LOSS	2104
RESTAURANT	SUBWAY	1402
OFFICE	ENTERPRICE CAR RENTAL	1753
RETAIL	BEALL'S	10522
RETAIL	CVS	10656
CONVENIENCE	FAMILY DOLLAR	9985
RETAIL	JAN'S	154
OFFICE	STATE FARM	1191
OFFICE	JACKSON HEWITT	1600
OFFICE	CITI FINANCIAL	1651
RESTAURANT	FRANK & AL'S II	1863
RESTAURANT	JOY'S ICE CREAM	1886
OFFICE	ADVANCE AMERICA	2059
SUPERMARKET	WINN DIXIE	48426
SALON	KAREN'S HAIR	1860
OFFICE	BOARD OF REALTY	1859
BUSINESS SERVICE	MIDWAY LAUNDRY	3005
TOTAL AREA		107243

\* AREA BREAKDOWN HAS BEEN CALCULATED USING THE PICTORIAL PARTITION WALLS SHOWN ON PLANS.

**LOCATION MAP**  
 SCALE: 1" = 500'



- STRIPING NOTES:**
- PARKING STALL STRIPES SHALL BE 4" WHITE PAINT.
  - STOP BARS SHALL BE 24" WHITE THERMOPLASTIC.
  - SIGNAGE SHALL BE HIGH INTENSITY.
  - DOUBLE YELLOW CENTER LINE STRIPING SHALL BE 6" THERMOPLASTIC.

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**REVISIONS:**

REV.	DATE	COMMENT	BY

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**PROJECT No.:** FJ190027  
**DRAWN BY:** JMG  
**CHECKED BY:** JMG  
**DATE:**  
**CAD L.D.:** FJ190027 - SITE PLAN

**PROJECT:**

**TOWNE SOUTH PLAZA**  
**MIDWAY CURE PLAN**

FOR

**TS PIERCE SC Co., Ltd.**

CITY OF FORT PIERCE  
 FLORIDA

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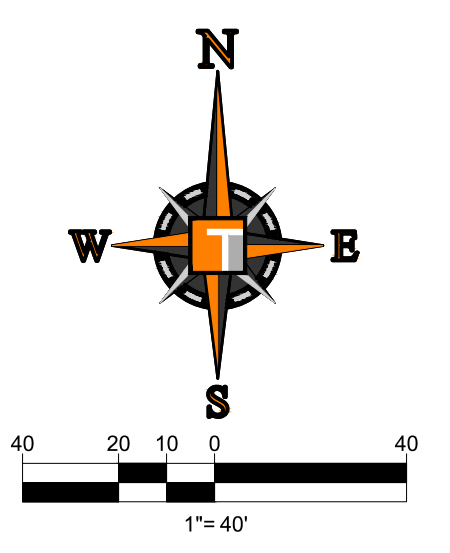
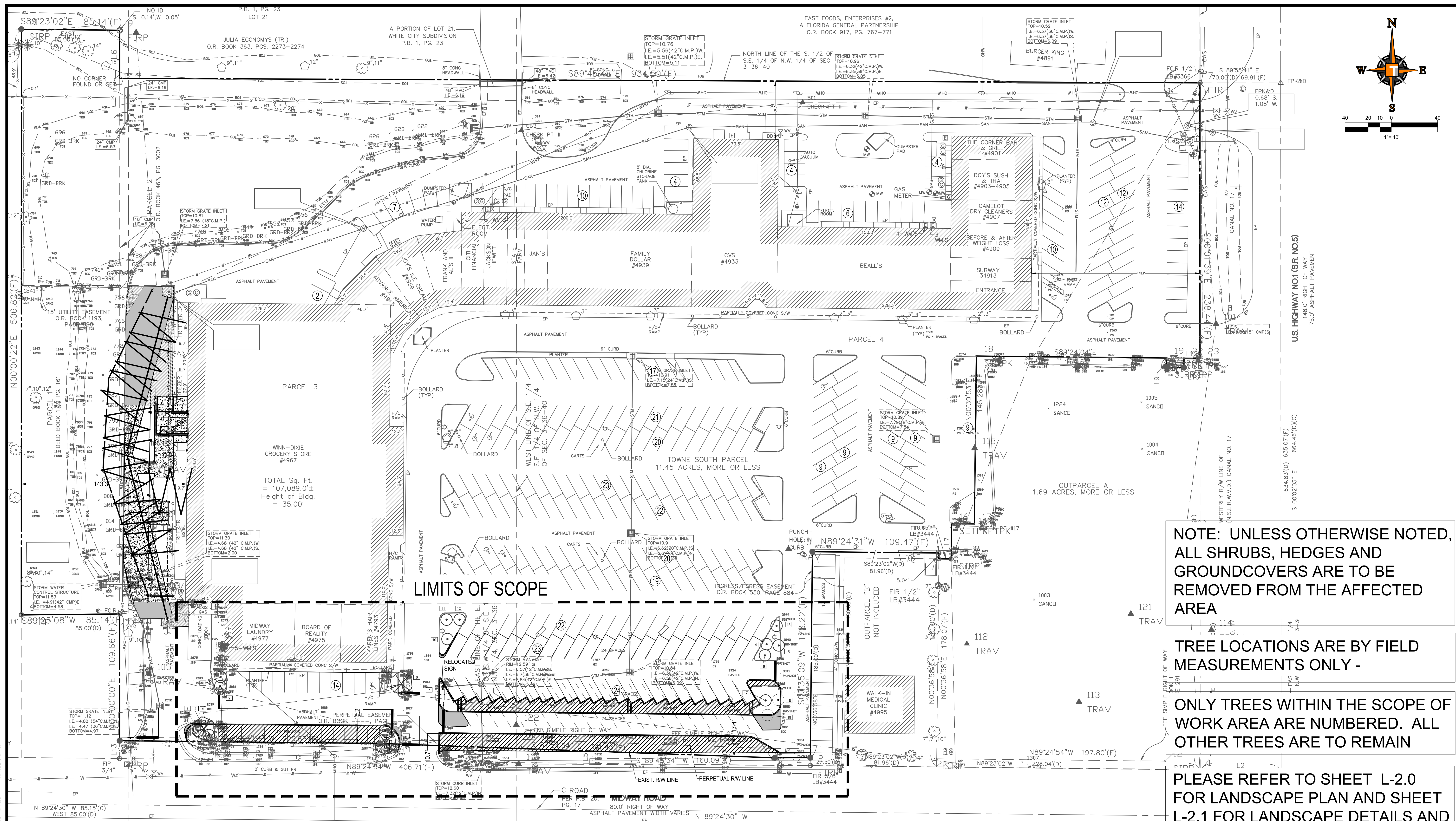
**JASON M. GUNTHER**  
 No. 58629  
 PROFESSIONAL ENGINEER  
 FLORIDA LICENSE NO. 6825  
 FLORIDA BOARD OF PROFESSIONAL ENGINEERS, No. 27528

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C-05**

Printed on Friday, November 05, 2020, 5:58 AM by Corbin Marnett





TOTAL Sq. Ft. = 107,089.0'±  
Height of Bldg. = 35.00'

LIMITS OF SCOPE

NOTE: UNLESS OTHERWISE NOTED, ALL SHRUBS, HEDGES AND GROUNDCOVERS ARE TO BE REMOVED FROM THE AFFECTED AREA

TREE LOCATIONS ARE BY FIELD MEASUREMENTS ONLY -

ONLY TREES WITHIN THE SCOPE OF WORK AREA ARE NUMBERED. ALL OTHER TREES ARE TO REMAIN

PLEASE REFER TO SHEET L-2.0 FOR LANDSCAPE PLAN AND SHEET L-2.1 FOR LANDSCAPE DETAILS AND NOTES-INCLUDING TREE PROTECTION..

LOCATION MAP

SCALE: 1" = 500'



EXISTING TREE DISPOSITION CHART - AFFECTED AREA ONLY

TOWN SOUTH PLAZA - FT PIERCE, FL

TREE NO.	BOTANICAL NAME	COMMON NAME	HT (FT)	SPR (FT)	CANOPY (SQ.FT.)	CAL INS. @ DBH	CONDITION	DISPOSITION	COMMENTS
1	Sabal palmetto	Cabbage Palm	30	10	79	12	70%	REMAIN	
2	Sabal palmetto	Cabbage Palm	30	10	79	12	70%	REMAIN	
3	Sabal palmetto	Cabbage Palm	25	10	79	12	70%	REMAIN	
4	Ilex cassina	Dahoon Holly	18	12	113	4	75%	REMAIN	
5	Sabal palmetto	Cabbage Palm	30	10	79	12	70%	REMAIN	
6	Ilex cassina	Dahoon Holly	12	10	79	3	70%	REMAIN	
7	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	Relocate	
8	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	REMAIN	
9	Magnolia grandiflora	Southern Magnolia	15	8	90	4	75%	REMAIN	
10	Sabal palmetto	Cabbage Palm	20	10	79	14	70%	REMAIN	
11	Sabal palmetto	Cabbage Palm	25	10	79	14	70%	REMAIN	
12	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	REMAIN	
13	Sabal palmetto	Cabbage Palm	18	10	79	12	70%	REMAIN	
14	Sabal palmetto	Cabbage Palm	18	10	79	10	70%	REMAIN	
15	Sabal palmetto	Cabbage Palm	18	10	79	10	70%	REMAIN	
16	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	REMAIN	
17	Sabal palmetto	Cabbage Palm	20	10	79	12	70%	REMAIN	
18	Sabal palmetto	Cabbage Palm	15	10	79	10	70%	Relocate	
19	Sabal palmetto	Cabbage Palm	18	10	79	10	70%	Relocate	

TOTAL DBH ON SITE: 11  
TOTAL DBH TO BE RELOCATED OR REMAIN: 11  
TOTAL DBH TO BE REMOVED: 0  
TREES REPLACED INCH/INCH: 0" REQUIRED  
PALMS REPLACED AT 1:1: 0 PALMS REQUIRED

SEE LANDSCAPE PLAN SHEET L-2.0

ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD). CONVERSION TO N.G.V.D. '29: N.A.V.D. '88 + 1.50' = N.G.V.D. '29

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PROJECT No.: FJ190027  
DRAWN BY: JMG  
CHECKED BY: JMG  
DATE: 11/13/2020  
CAD L.D.: FJ190027 - LANDSCAPE PLAN

PROJECT: TOWNE CENTER PLAZA MIDWAY CURE PLAN  
FOR: TS PIERCE SC Co., Ltd.

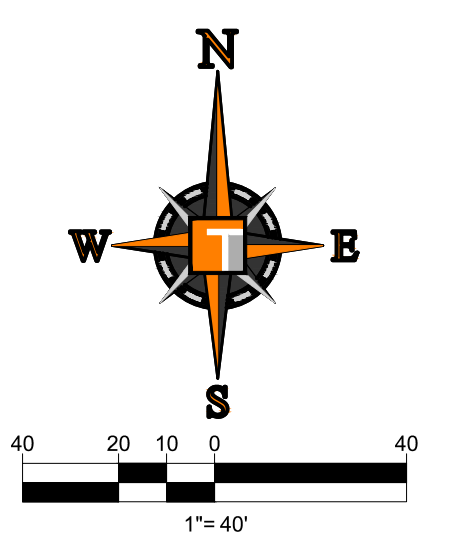
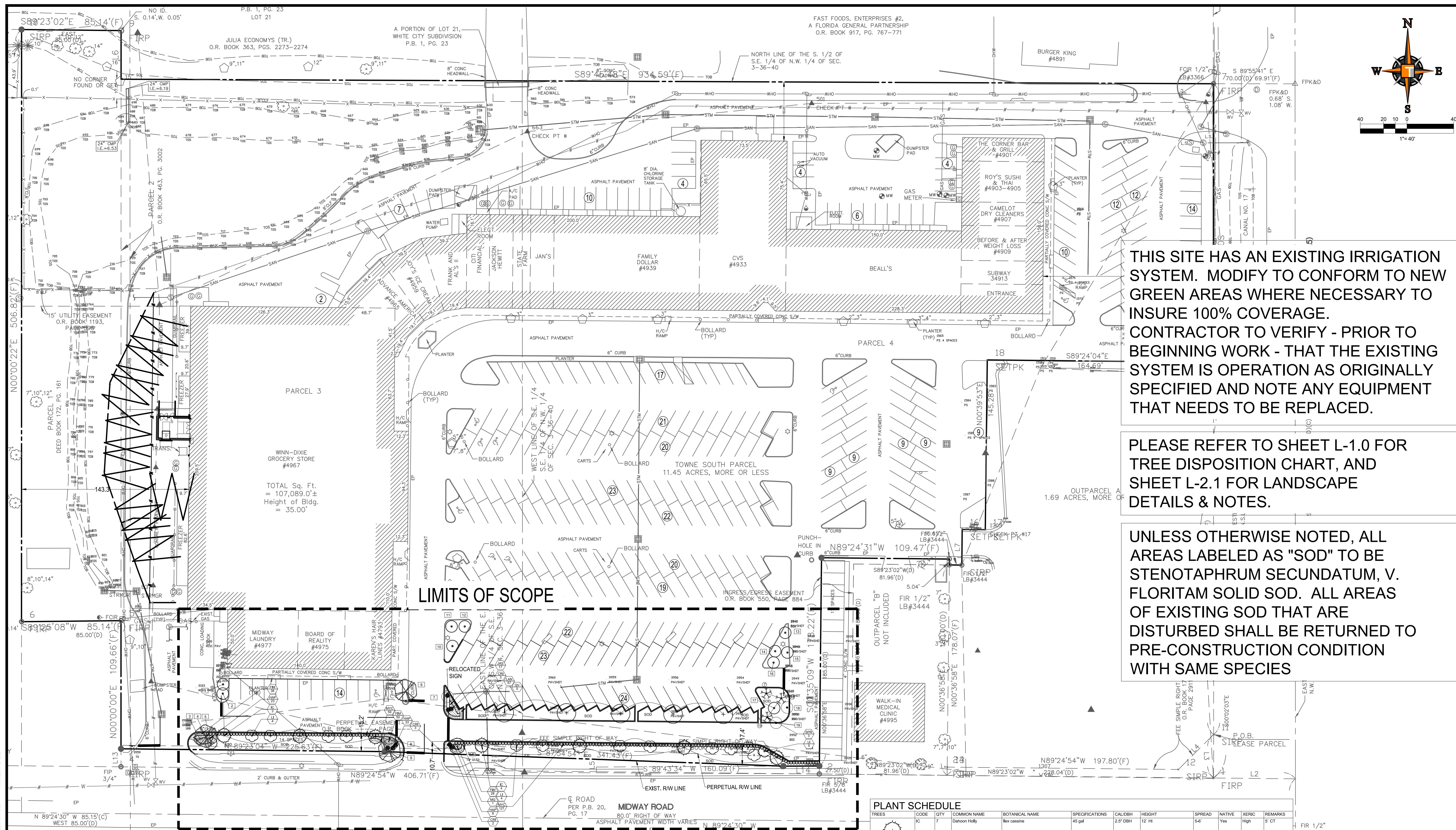
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**MICHAEL D. GROSSWIRTH**  
LA 666871  
STATE  
REGISTERED LANDSCAPE ARCHITECT  
FLORIDA BUSINESS CERT. AUTH. No. 27528

SHEET TITLE: TREE DISPOSITION PLAN  
SHEET NUMBER: L-1.0

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. GROSSWIRTH, LA666871 ON 2019-12-09



THIS SITE HAS AN EXISTING IRRIGATION SYSTEM. MODIFY TO CONFORM TO NEW GREEN AREAS WHERE NECESSARY TO INSURE 100% COVERAGE. CONTRACTOR TO VERIFY - PRIOR TO BEGINNING WORK - THAT THE EXISTING SYSTEM IS OPERATION AS ORIGINALLY SPECIFIED AND NOTE ANY EQUIPMENT THAT NEEDS TO BE REPLACED.

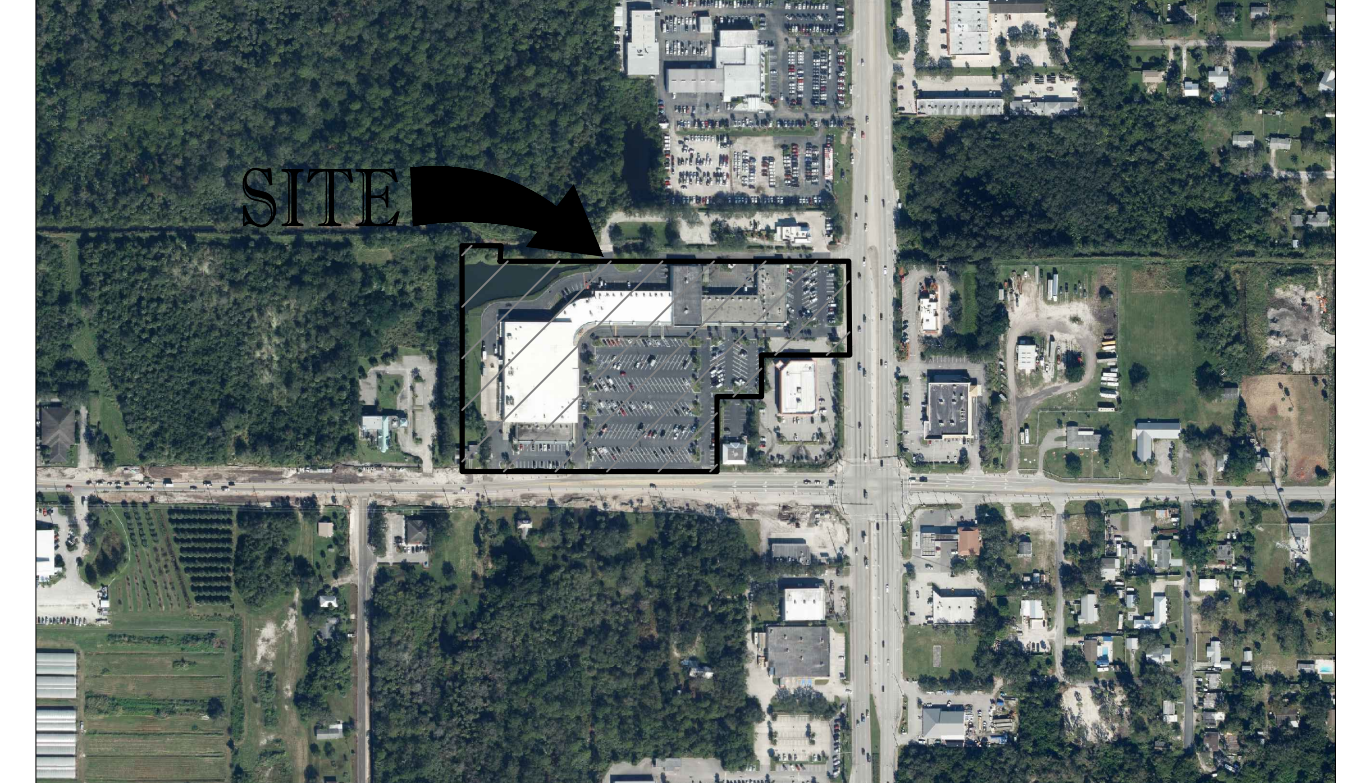
PLEASE REFER TO SHEET L-1.0 FOR TREE DISPOSITION CHART, AND SHEET L-2.1 FOR LANDSCAPE DETAILS & NOTES.

UNLESS OTHERWISE NOTED, ALL AREAS LABELED AS "SOD" TO BE STENOTAPHRUM SECUNDATUM, V. FLORITAM SOLID SOD. ALL AREAS OF EXISTING SOD THAT ARE DISTURBED SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION WITH SAME SPECIES

LIMITS OF SCOPE

LOCATION MAP

SCALE: 1" = 500'



PLANT SCHEDULE											
TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CALDBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
(Symbol)	LI	7	Delmon Holly	<i>Ilex cassine</i>	45 gal	2.5" DBH	12' Ht	5-6'	Yes	High	5 CT
(Symbol)	LI	13	Crape Myrtle	<i>Lagerstemia indica</i> 'Tuskegee'	65 gal	2.5"	12' Ht	6'	No	High	5 CT
(Symbol)	MG	1	Magnolia 'Bianchard'	<i>Magnolia grandiflora</i>	B & B	2.5" DBH	12' Ht	5-6'	Yes	High	6 CT
(Symbol)	QV	5	Southern Live Oak	<i>Quercus virginiana</i>	45 gal	2.5" DBH	12' Ht	5-6'	Yes	High	5.5 CT
PALM TREES											
CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CALDBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
SFR	3	Cabbage Palmetto	<i>Sabal palmetto</i>	B & B		As Noted on Sheet L-1.0	varies		Yes	High	Relocated
SHRUBS											
CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
CR	8	'Queen Emma' Cinnam	<i>Cinnam augustum</i> 'Queen Emma'	15 gal	As Shown	48"				Medium	Full to base
MYC	186	Wax Myrtle	<i>Myrica cerifera</i>			30"	36"	24-30"	Yes	High	Full to base
SHRUB AREAS											
CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
HAP	65	Fine Bush	<i>Hamelia patens</i> 'compacta'	n/a	24"	18-24"	18-24"		Yes	High	Full to base
JAS	17	Southern Wax Jasmine	<i>Jasminum simplicifolium</i>	n/a	24"	16"			No	Medium	Full to base
GROUND COVERS											
CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
FIM	116	Green Island Ficus	<i>Ficus microcarpa</i> 'Green Island'	1 gal	YES	14-16"	14-16"		No	Medium	
LAN	57	Gold Mound Lantana	<i>Lantana camara</i> 'Gold Mound'	1 gal		18"	12-14' Ht	14-16"	Yes	High	Full to base

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REVISIONS:			
REV.	DATE	COMMENT	BY:

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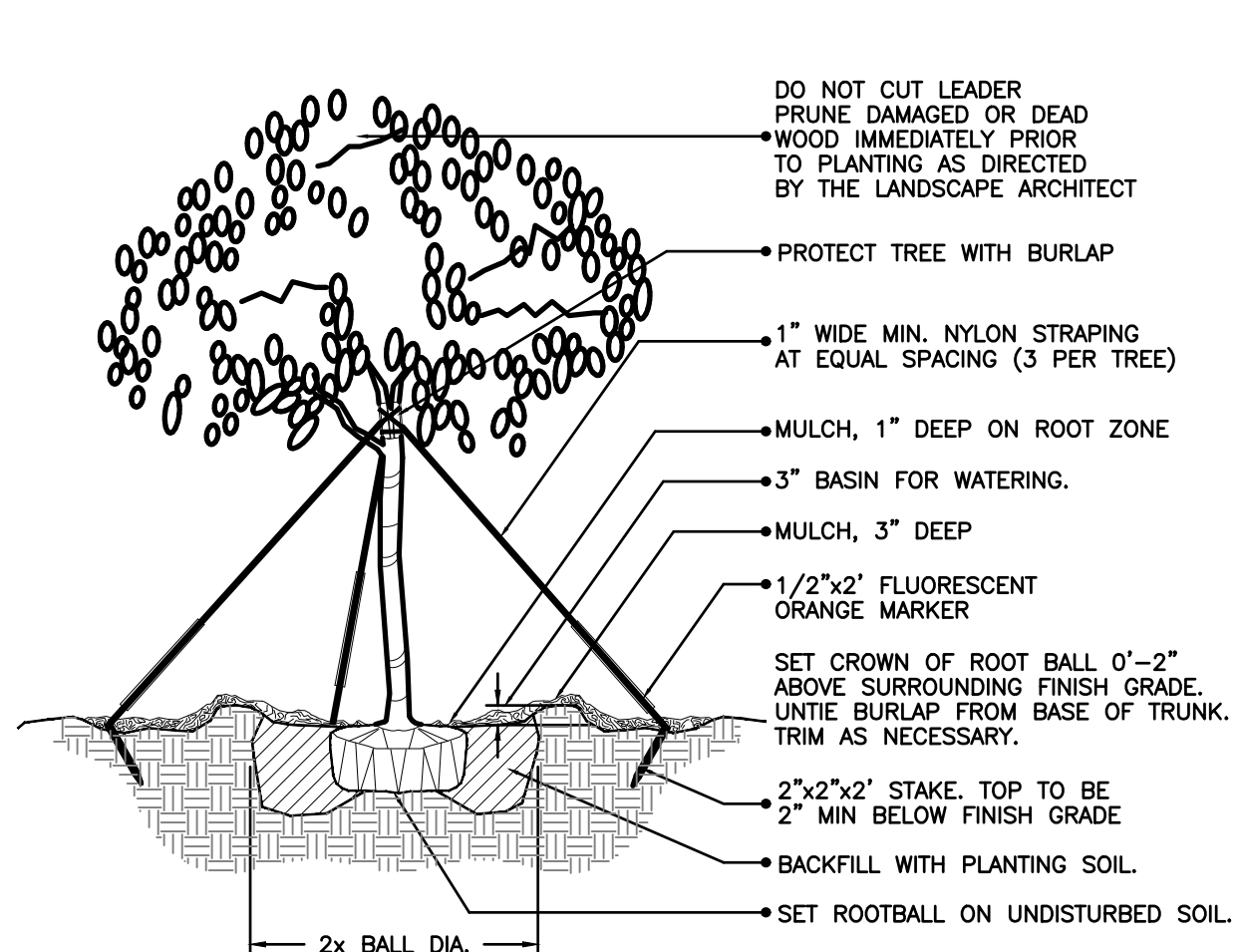
CITY OF FORT PIERCE FLORIDA

**THOMAS ENGINEERING GROUP**  
 PEPWORTH PROFESSIONAL PLAZA  
 125 W. INDIANTOWN RD., SUITE 206  
 JUPITER, FL 33458  
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 www.ThomasEngineeringGroup.com

**MICHAEL D. GROSSWIRTH**  
 STATE OF FLORIDA  
 REGISTERED LANDSCAPE ARCHITECT  
 LICENSE NO. LA 6666871  
 EXPIRES 12/31/2025  
 FLORIDA BUSINESS CERTIFICATE OF AUTH. No. 27528

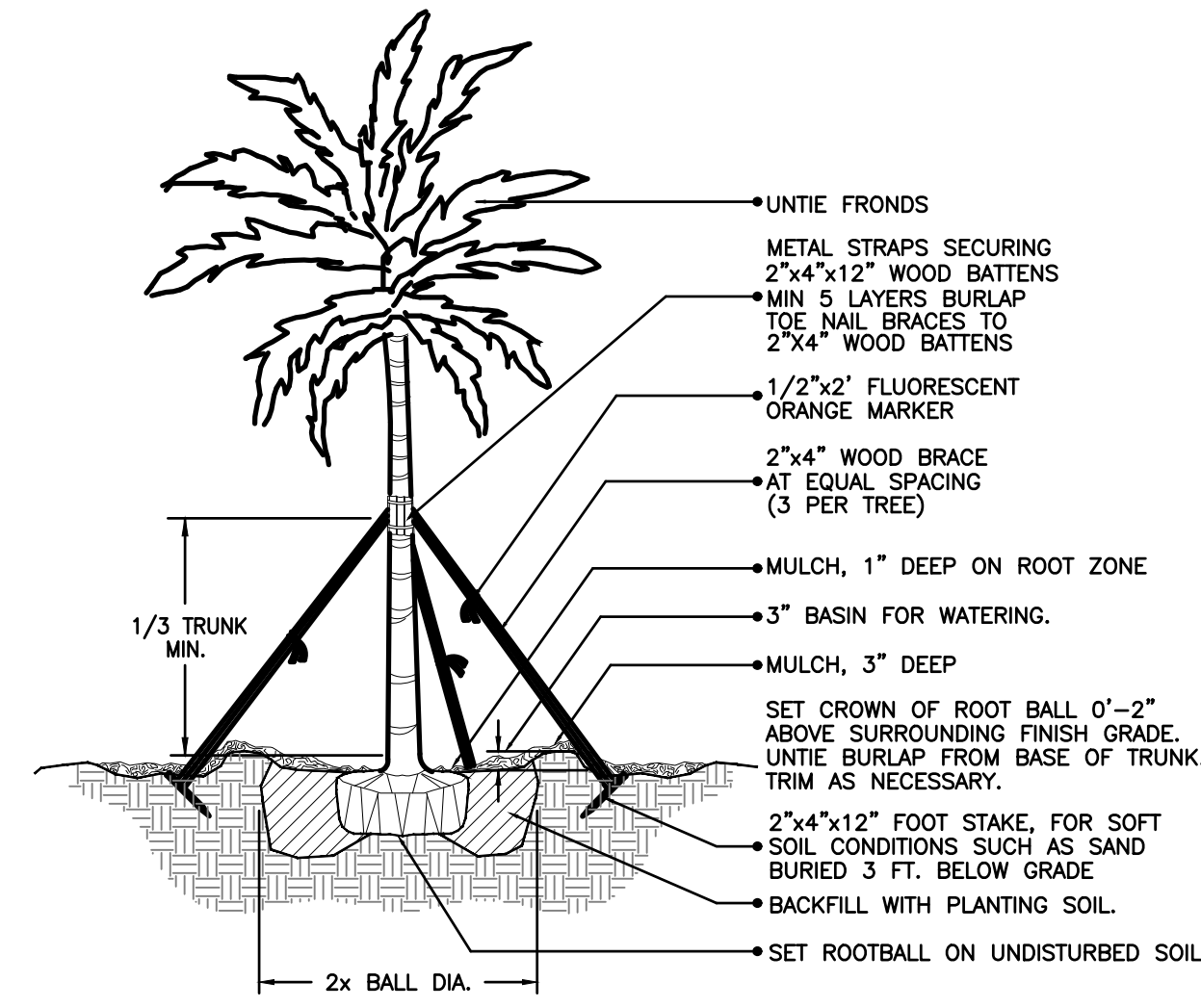
SHEET TITLE: LANDSCAPE PLAN  
 SHEET NUMBER: L-2.0

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. GROSSWIRTH, LA6666871 ON 2019-12-09



(2" cal. and over)  
**LARGE TREE PLANTING DETAIL**

NTS.



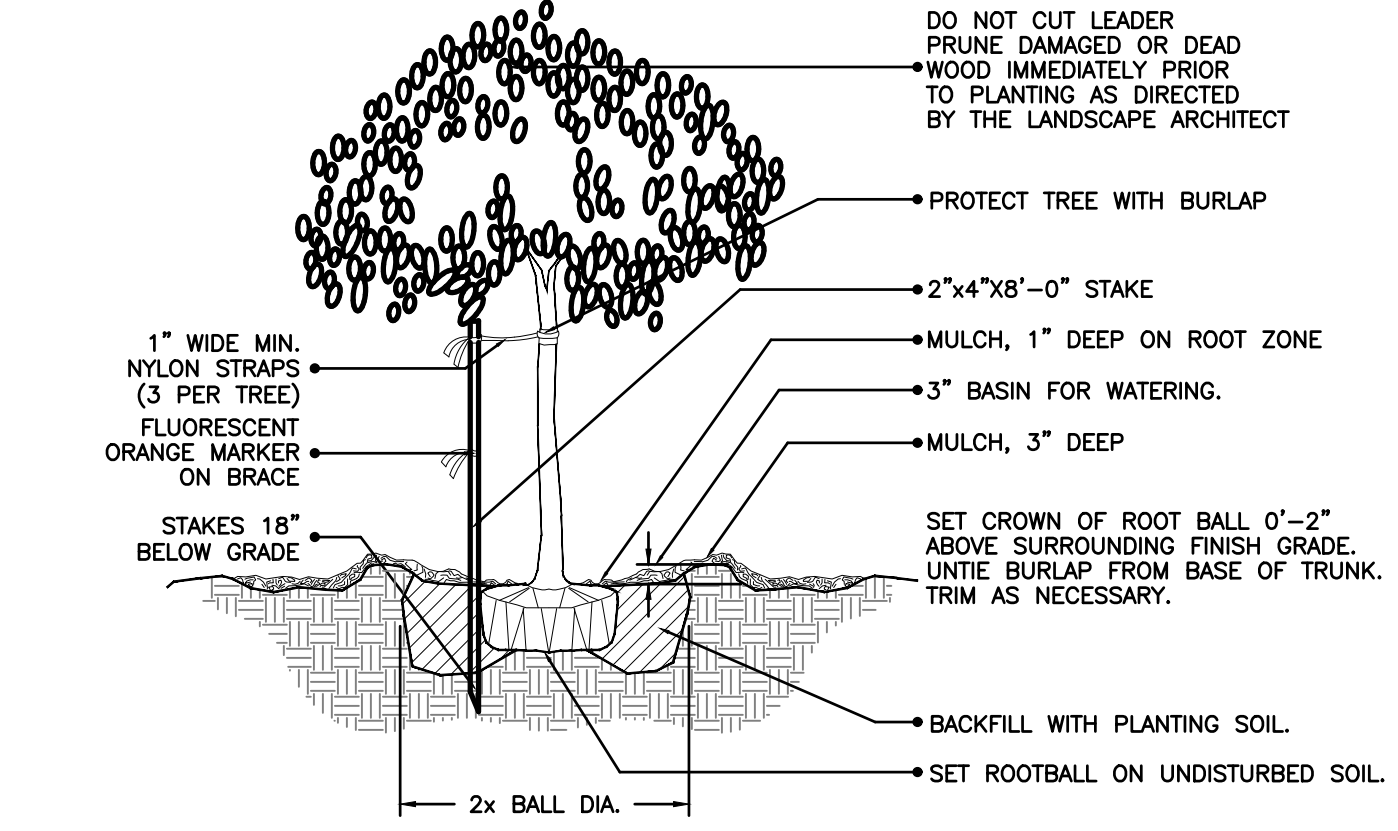
**LARGE PALM PLANTING DETAIL**

NTS.

**GENERAL NOTES:**

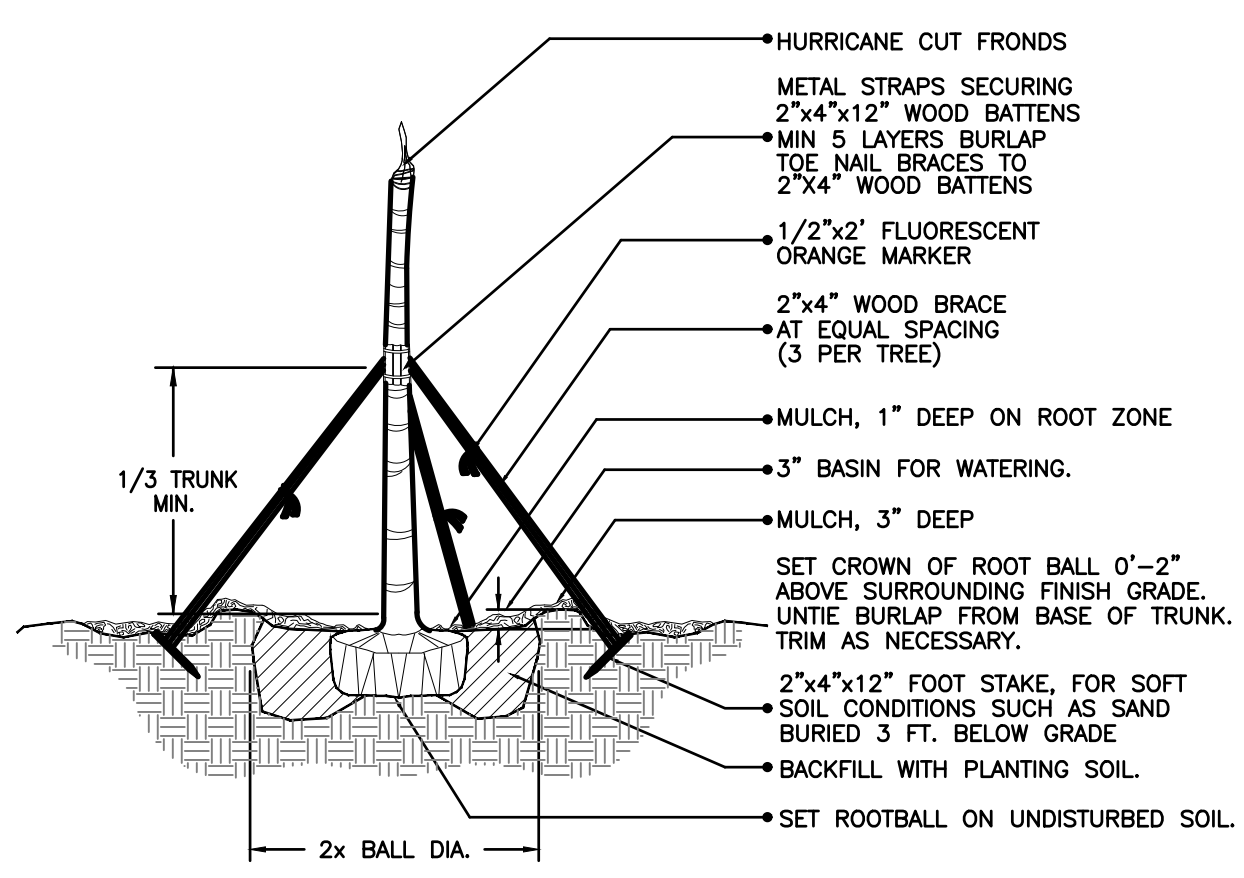
1. PLANT MATERIAL: All plant material shall be Florida # or better as established by "Grades and Standards for Nursery Plants" of the state of Florida, Department of Agriculture.
2. All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
3. Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, topsoil, fertilizer, etc. shall be included in the unit cost of the plants.
4. Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or plant list, the plan takes precedence.
5. All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded eucalyptus or formulch grade 'B' or better.
6. The Planting Plan shall be installed in compliance with all existing codes and applicable deed restrictions.
7. SOD: All areas not used for buildings, vehicular use areas, walks or planting beds shall be grassed. Grassing shall extend to any abutting street pavement edge and to the mean waterline of any abutting canal, lake or waterway.
8. PLANTING SOIL: All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas and 2" for sodded grass areas.
9. Planting soil to be a weed-free mixture of 50% sand, 40% muck, and 10% Canadian peat. All plant material to receive planting soil as per details.
10. Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
11. Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4110 Two Full Business Days prior to digging for underground utility locations.
12. Contractor shall be responsible for providing final grading of all associated planting areas.
13. After final grade area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.
14. All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 8).
15. No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
16. Contractor shall stake & guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during warranty period and removal & disposal of staking after establishment period.
17. Fertilizer for grass areas shall be NPK 16-4-8 @ 12.5 lbs/1000 s.f. or 545 lbs/acre. Nitrogen 50% slow release form 4 fertilizer to include secondary micronutrients.
18. SUBSTITUTIONS AND CHANGES: All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Landscape Architect, the owner and governing municipality.

19. WATERING: All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition Contractor will continue watering of plant material until substantial completion and as needed thereafter for a period of 2 months.
20. All new plant material shall be guaranteed for 1 year from time of final acceptance of project. Any plant material not in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10 days of notification. For all replacement plant material, the warranty period shall be extended an additional 45 days beyond the original warranty period. All trees that lean or are blown over, caused by winds less than 15 mph will be re-set and braced by the Contractor at no additional cost to the Owner.
21. The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown submitted.
22. No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
23. Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
24. Root-prune all trees a minimum of (8) weeks prior to planting.
25. All landscaped areas will be irrigated by an underground, automatic, rust-free irrigation system providing 100% coverage and 100% spray overlap. The system shall be maintained in good working order and designed to minimize water on impervious surfaces and not overspray walkways. A rain sensor device shall be installed to override the irrigation cycle of the system when adequate rainfall has occurred.
26. All plant material planted within the sight distance triangle areas (see plan) shall provide unobstructed cross-visibility at a horizontal level between 30 inches and 8 feet above adjacent street grade.
27. No canopy trees shall be planted within 12 feet of a light pole. No palm species shall be planted within 6 feet of a light pole.
28. Ground cover plantings shall provide not less than 50 percent coverage immediately upon planting and 100 percent coverage within 6 months after planting.
29. Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.
30. In all pedestrian areas, all trees and palms shall be maintained to allow for clear passage at an 8 foot clear trunk.
31. All landscape material shall be setback a minimum of 10' from any Fire Hydrant.



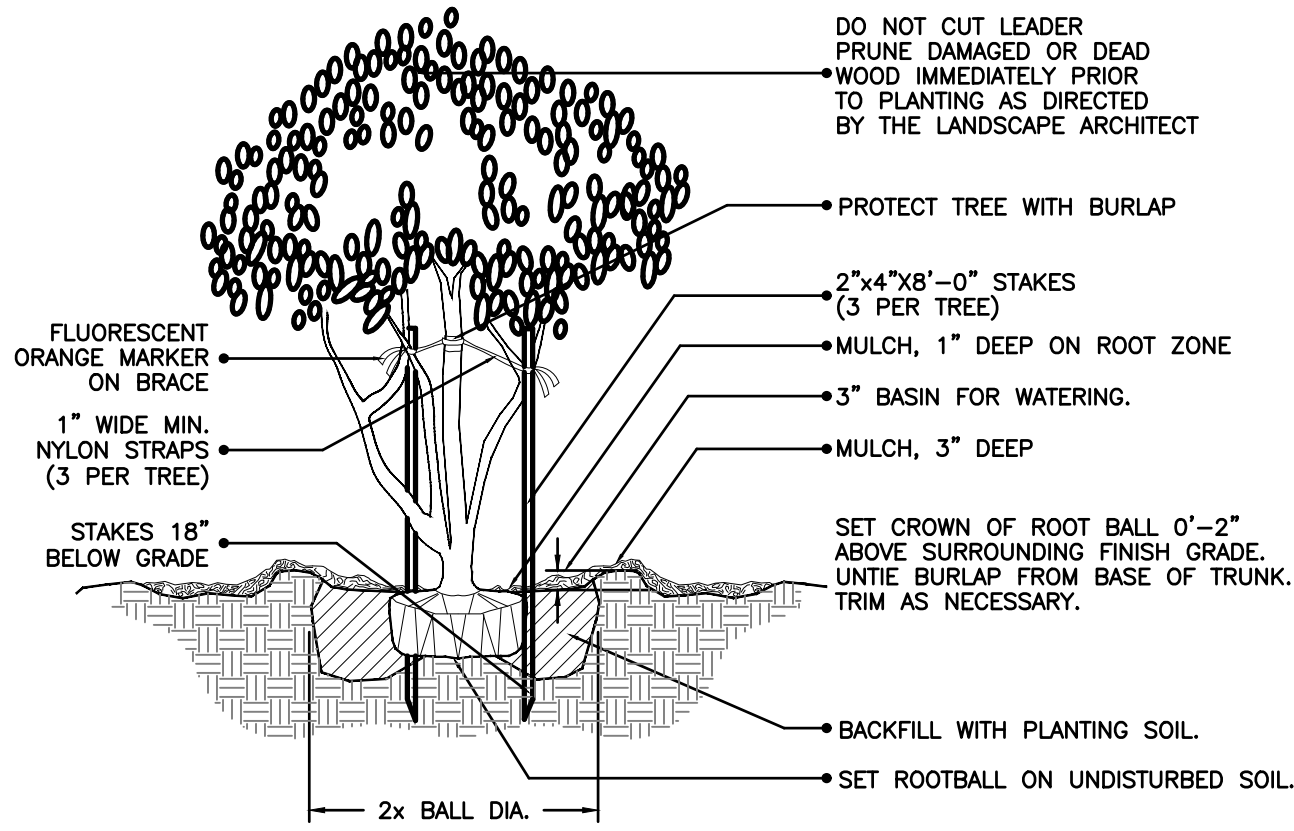
(2" cal. and under)  
**SMALL TREE PLANTING DETAIL**

NTS.



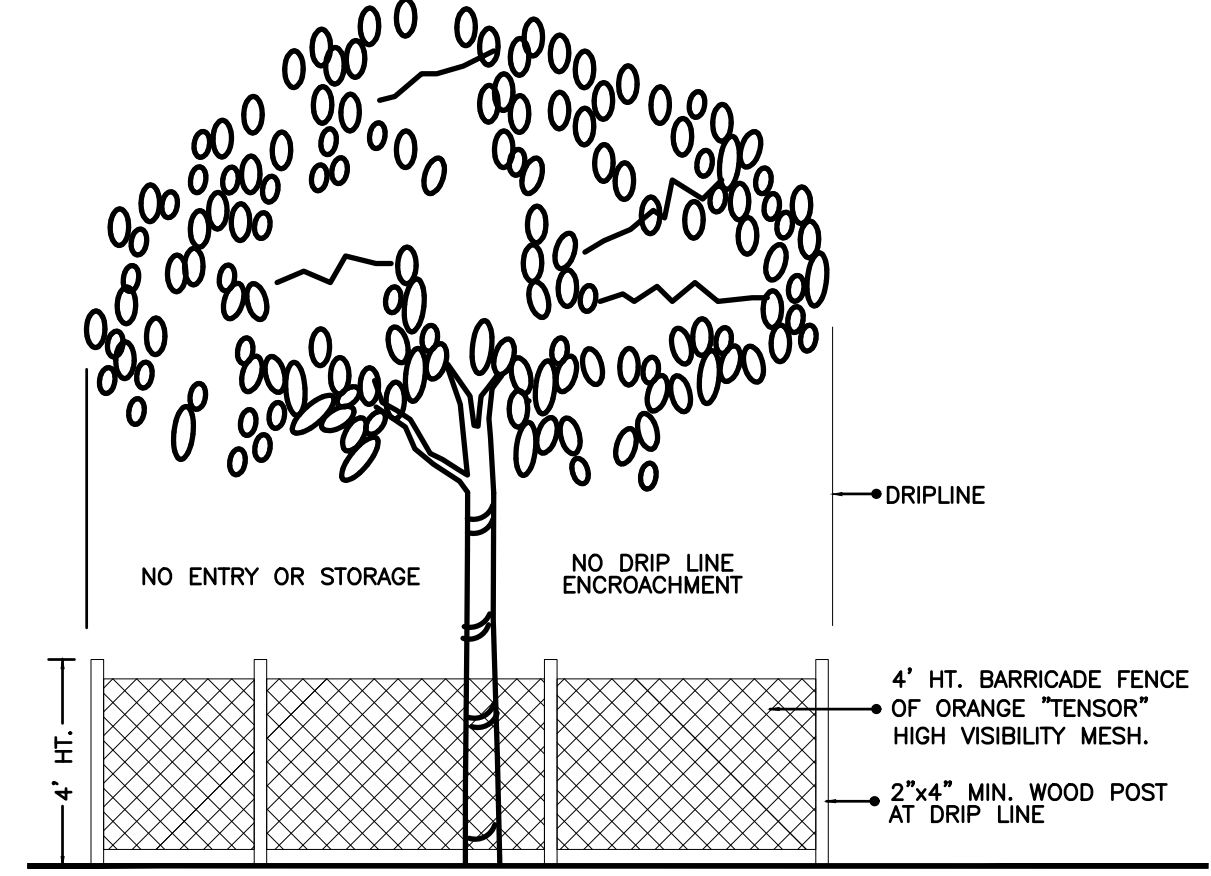
**CIGARED SABAL PALM PLANTING DETAIL**

NTS.



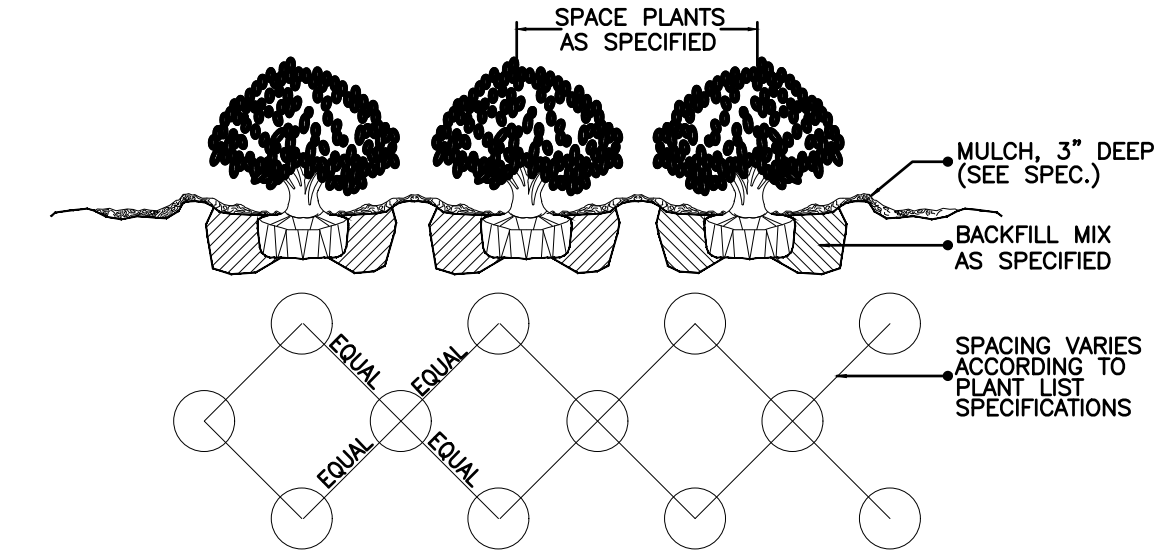
**MULTI- TRUNK AND SMALL TREE (2" cal. and under) PLANTING DETAIL**

NTS.



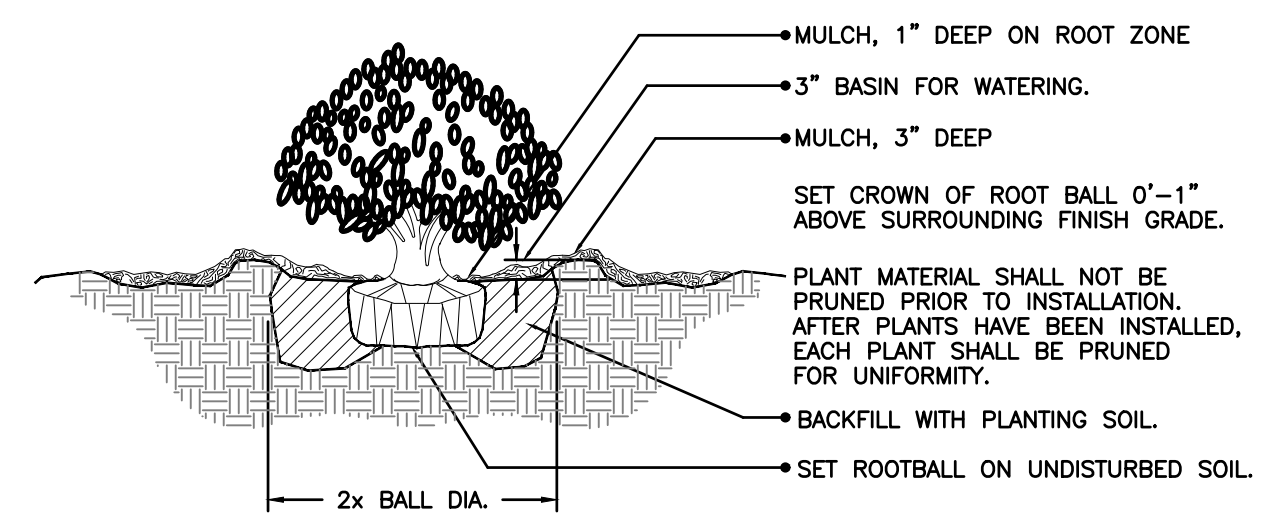
**TREE PRESERVATION BARRICADE FENCING DETAIL**

NTS.



**SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL**

NTS.



**SHRUB PLANTING DETAIL**

NTS.

ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD). CONVERSION TO N.G.V.D. '29: N.A.V.D. '88 + 1.50' = N.G.V.D. '29

**THOMAS ENGINEERING GROUP**  
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 561-203-7503

REVISIONS:			
REV.	DATE	COMMENT	BY

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PROJECT No.: FJ190027  
 DRAWN BY: JMG  
 CHECKED BY: JMG  
 DATE: 11/15/2019  
 CAD L.D.: FJ190027 - LANDSCAPE PLAN

PROJECT:  
**TOWNE CENTER PLAZA MIDWAY CURE PLAN**

FOR  
**TS PIERCE SC Co., Ltd.**

CITY OF FORT PIERCE  
 FLORIDA

**THOMAS ENGINEERING GROUP**  
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SHEET TITLE:  
**LANDSCAPE DETAILS & NOTES**

SHEET NUMBER:  
**L-2.1**

Printed on Friday, November 08, 2019, 6:00 AM by Daniela Martinez

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. GROSSWIRTH, LA6666871 ON 2019-11-08