



To: JACK ANDREWS, PE, CITY ENGINEER
MIKE REALS, FP PUBLIC WORKS MANAGER
CHIEF HOBLEY-BURNEY, FP POLICE DEPARTMENT
PAUL THOMAS, FP BUILDING OFFICIAL
JAMES CARNES, PE, FPUA ENGINEERING (WATER/WASTEWATER)
PAUL LAGUERRE, PE, FPUA ENGINEERING (ELECTRIC)
ROD REED, PLS, SLC SURVEYING
GRANT CHAMBERS, PE, SLC ENGINEERING
LESLIE OLSON, AICP, SLC PLANNING & DEVELOPMENT DIRECTOR
DIVISION CHIEF PAUL LANGEL, SLC FIRE DISTRICT
PEGGY ARRAIZ, FP CODE ENFORCEMENT
PETER BUCHWALD, AICP, SLC TRANSPORTATION PLANNING ORGANIZATION
MURRIAH DECKLE, AICP, SLC TRANSIT SERVICES

FROM: BRANDON CREAGAN, LEED GREEN ASSOCIATE, PLANNER

RE: TECHNICAL REVIEW PROJECT# 21-07000007

DATE: APRIL 30, 2021

Development Review – Surfside Quadraplex – Parcel ID: 2412-501-0132-000-3

This is an application for a Development Review, Subdivision, Design Review, and a Variance. This will be a quadraplex development with associated site improvements. The current zoning on the property is Hutchinson Island Medium Density Residential (R-4A) with a Future Land Use of Hutchinson Island Residential (HIR). The property size is approximately 0.54 acres. The parcel ID is 2412-501-0132-000-3.

Please review and provide comments on the project. Please send all comments to my email Bcreagan@cityoffortpierce.com or through interoffice mail to the Planning Department. If you have comments, please respond by May 18, 2021.

Please do not hesitate to contact me should you require any additional information at 772-467-3742.

Thank you.

Brandon Creagan



DEVELOPMENT REVIEW

Property address or Location Surfside Drive, Fort Pierce, FL
 Parcel ID #(s) 2412-501-0132-000-3
 Project description Four (4) Multi-Family Units

Surfside Land, LLC
Property Owner(s)
9481 Campi Drive
Street Address
Lake Worth FL 33467-6998
City State Zip
361-703-7755
Phone Number
ramy.gali@gmail.com; daniel.kecskes@gmail.com
Email Address

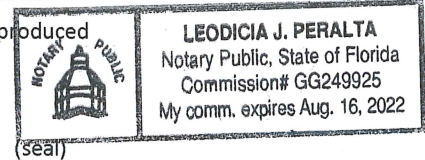
Schulke, Bittle & Stoddard, LLC c/o Jodah B. Bittle, P.E.
Applicant/Representative, Title, Company
1717 Indian River Boulevard, Suite 201
Street Address
Vero Beach FL 32960
City State Zip
772-770-9622
Phone Number
jbittle@sbsengineers.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

[Signature]
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY Palm Beach
 The foregoing instrument was acknowledged before me this 27 day of APRIL, 2021 by
RAMY R. GALI who is personally known to me or has produced
DL PL as identification.

[Signature]
 Signature of Notary

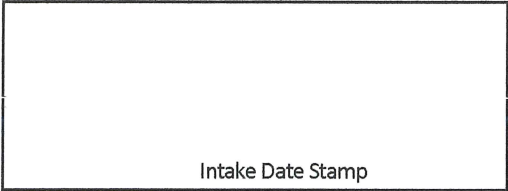


INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____



DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type	
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Conditional Use with New Const.
<input type="checkbox"/> Conceptual Development Plan	<input type="checkbox"/> Major Amendment
	<input type="checkbox"/> Minor Amendment

Site Information:

Non-Residential: Proposed Sq. Ft.: _____ Residential: Proposed Units: **4**

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
Condominium	Vacant / Residential	N/A	Vacant / Residential

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



Design Review

Property address or Location Surfside Drive, Fort Pierce, FL
 Parcel ID #(s) 2412-501-0132-000-3
 Project Description Four (4) Multi-Family Units

Surfside Land, LLC
Property Owner(s)
9481 Campi Drive
Street Address
Lake Worth FL 33467-6998
City State Zip
561-703-7758
Phone Number
ramy.gali@gmail.com; daniel.kecskes@gmail.com
Email Address

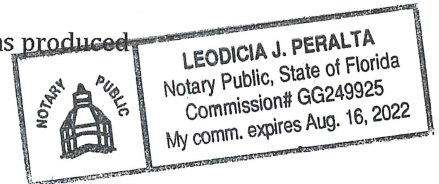
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[Signature]
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY Palm Beach
 The foregoing instrument was acknowledged before me this 22 day of APRIL 2021, by
RAMY R. GALI who is personally known to me or has produced
DL FL as identification.

[Signature]
 Signature of Notary

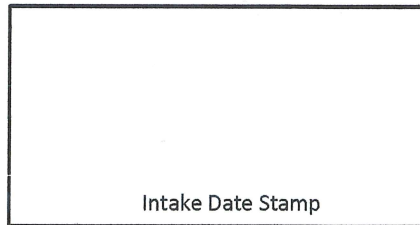


(seal)

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____
 Intake Planner _____
 Planner Assigned _____
 Approved _____ Date _____
 Comments _____



Intake Date Stamp

Design Review Application Checklist

(City Code of Ordinances 22-59)

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



Subdivision

Property address or Location Surfside Drive, Fort Pierce, FL
 Parcel ID #(s) 2412-501-0132-000-3
 Project description Four (4) Multi-Family Units

Property Owner(s)
 Surfside Land, LLC
 Street Address
 9481 Campi Drive
 City State Zip
 Lake Worth, FL 33467-6998
 Phone Number
561-703-7755
 Email Address
 ramy.gali@gmail.com; daniel.kecskes@gmail.com

Applicant/Representative, Title, Company
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 Street Address
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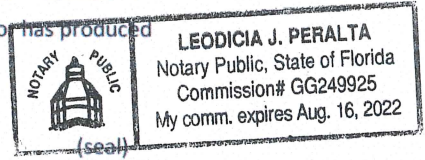
[Handwritten Signature]

Property Owner(s) Signature(s) _____

STATE OF FLORIDA -- COUNTY Palm Beach
 The foregoing instrument was acknowledged before me this 22 day of APRIL, 2021, by

Ramy R-Gali who is personally known to me or has produced DL FL as identification.

Signature of Notary [Handwritten Signature]



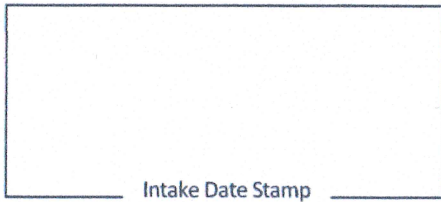
INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

To BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____

Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____



SUBDIVISION: PRELIMINARY PLAT

Please submit one (1) original and thirteen (13) hard copies and one (1) CD of the following:

- Preliminary Plat prepared by a surveyor registered in the State of Florida meeting the requirements of Sections 18-5, & 18-10 (a) (1-3) & (c)
- A copy of the deed
- Signed and sealed survey
- Concurrency application, complete
- Complete, notarized application

SUBDIVISION: INFRASTRUCTURE PLAN REVIEW

Please submit one (1) original and four (4) hard copies and one (1) CD of the following, stamped by a state of Florida registered engineer meeting the requirements of 18-10 (a) (4) :

- Street construction plans
- Electric Infrastructure plans
- Water & Sewer system construction plans
- Gas Infrastructure plans
- Stormwater Retention plans
- Complete, notarized application

SUBDIVISION: FINAL PLAT

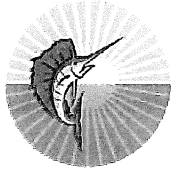
Please submit one (1) original and thirteen (13) hard copies and one (1) CD of the following:

- A copy of the deed
- Signed and sealed survey
- Final Plat stamped by a state of Florida registered surveyor meeting the requirements of 18-5, & 18-10 (b & c):
- Complete, notarized application

SUBDIVISION: MINOR REPLAT

Please submit one (1) original and thirteen (13) hard copies and one (1) CD of the following:

- A copy of the deed
- As-built survey of original parcel stamped by a registered surveyor in the State of Florida
- Scaled drawing, stamped by a registered surveyor in the State of Florida, of surveyed parcel indicating
 - proposed lots, including acreage, square footage, & dimensions.
 - any & all easements, rights-of-way, or similar instruments found on or adjacent to the subject property
- Complete, notarized application



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Condo	HIR	R-4A
South	Vacant - Residential	HIR	R-1
East	N/A	N/A	N/A
West	Vacant - Residential	HIR	R-4A

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	HIR	R-4A	8 units / acre	0.94	X & VE-8
**Proposed	HIR	R-4A	4.3 units / acre	0.94	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum 1,040
Current Zoning/FLU	Total gallons per day 1,040
**Proposed Zoning/FLU	Total gallons per day 1,040
**Change in Demand	Total gallons per day 1,040

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum 1,040
Current Zoning/FLU	Total gallons per day 1,040
**Proposed Zoning/FLU	Total gallons per day 1,040
**Change in Demand	Total gallons per day 1,040

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people	2.21	2.21	0
Urban District	5 acres per 1,000 people	2.21	2.21	0
Community	2.5 acres per 1,000 people	2.21	2.21	0
Neighborhood	1.36 acres per 1,000 people	2.21	2.21	0

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name	Lawnwood Elem. / Dan McCarty Middle	Lincoln Park Academy
City	Ft. Pierce	Ft. Pierce
Distance	N/A	N/A
Current Zoning/FLU Enrollment Demand	0.58	0.25
**Proposed Zoning/FLU Enrollment Demand	0.58	0.25
**Change in Demand	0.00	0.00

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	2
**Proposed Zoning/FLU	2
*Change in Demand	2

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact	No volume discharge increase proposed
---------------	---------------------------------------

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU	32	4 / 6
**Proposed Zoning/FLU	32	4 / 6
*Change in Demand	Trips - 32	Trips - 4/6
Impact to Capacity	Deminimus	

IV. Project Description

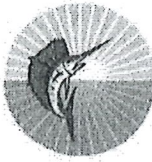
PHASING		
Is this project (phase) part of a larger project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.		
Total Project: Residential Units:	Single Family:	Multifamily:
Non-residential (square footage):		
Mixed-use (describe use):		
(If this is a single phase project, name it Phase I – Total)		

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family	1	4	0.94	11/1/2021	11/1/2022
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? N/A
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)
- C. Exemptions Requested: N/A

** Complete section if requesting a change in zoning, future land use, or expanding



VARIANCE

Property address or Location Surfside Drive, Fort Pierce, FL
 Parcel ID #(s) 2412-501-0132-000-3
 Project description Four (4) Multi-Family Units

Surfside Land, LLC
Property Owner(s)
9481 Campi Drive
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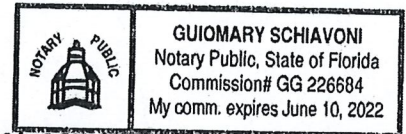
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Property Owner(s) Signature(s)

STATE OF FL -- COUNTY Palm Beach
 The foregoing instrument was acknowledged before me this 26 day of April, 2021, by
Ramy Gali who is personally known to me or has produced
FL Driver License as identification.

[Signature]
 Signature of Notary

(seal)



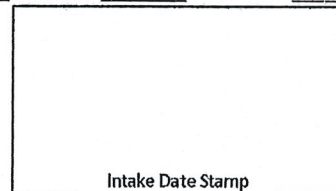
INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3737

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Fees _____ Control # _____ B. Permit # _____



Intake Date Stamp

VARIANCE

Submit eight (8) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- Site plan, to scale, including all relevant improvements:
 - Existing & proposed structures
 - Landscaping & parking,
 - Fencing, signs, etc.
- As-built Survey
- Criteria Narrative
- Complete, notarized application

Description of request: 6' Building setback instead of 10' along north property line

Reason for request: The above variance request is needed in order to construct the proposed four (4) multi-family units

Existing Use : Vacant Date Property was Purchased: July 23, 2020

Alterations made to the site since purchase: N/A

Has a request for this variance been denied in the past? Yes No

If yes, what has changed since the denial? _____

Application Outlook

Pre-Application Meeting
Wednesday Afternoons

Application Intake Meeting
Call to schedule

Technical Review Committee
3rd Thursday

Board of Adjustment
4th Thursday

Criteria:

In order to determine whether your request for Variance meets all the criteria in Section 22-108 of the City Code, please answer the following questions. Please provide answers of questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.
2. Do special conditions or circumstances result from actions other than that of yours? Please explain
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.
4. What is the minimum variance that would give the reasonable use of the land, building, or structure?
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare:

April 30, 2021

Revised: May 3, 2021

Brandon Creagan, MCRP, LEED Green Associate
Planner
City of Fort Pierce
100 North US Highway 1
Fort Pierce, FL 34950

RE: Surfside Quadplex
Variance Criteria Questions

In response to the variance criteria questions listed on Page 2 of the application, we offer the following responses:

1. Describe those conditional peculiarities to the specific property and not applicable to other lands, structures or buildings in the same zoning district.
 - a. Building Setback Variance: Uniquely & atypically narrow for Multi Family parcel. The lot is also decreased by Coastal Construction Control Line, "VE" Flood Zone and Seaward limits of construction restrictions for this lot. Therefore, to make a comfortable width for the residences we must decrease the setback from 10' to 6'. Only requesting on North Side with the minimum variance possible and placed in the least obtrusive location for the adjacent lots.
2. Do special conditions or circumstances result from actions other than that of yours? Please explain.
 - a. Building Setback Variance: Uniquely & atypically narrow for Multi Family parcel. The lot is also decreased by Coastal Construction Control Line, "VE" Flood Zone and Seaward limits of construction restrictions for this lot. Therefore, to make a comfortable width for the residences we must decrease the setback from 10' to 6'. Only requesting on North Side with the minimum variance possible and placed in the least obtrusive location for the adjacent lots.
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.
 - a. Building Setback Variance: Uniquely & atypically narrow for Multi Family parcel. The lot is also decreased by Coastal Construction Control Line, "VE" Flood Zone and Seaward limits of construction restrictions for this lot. Therefore, to make a comfortable width for the residences we must decrease the setback from 10' to 6'. Only requesting on North Side with the minimum variance possible and placed in the least obtrusive location for the adjacent lots.

4. What is the minimum variance that would give the reasonable use of the land, building or structure?
 - a. Building Setback Variance: The variance from 10' to 6' is the least amount required for this site. We are placing this Variance on one side due to the adjacent property to the north being setback so far from this property.

5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare
 - a. Building Setback Variance: The 60 feet side setback property to north Building spacing remains much more than 20 foot Code intention. We are proposing a privacy wall and enhances landscaping on BOTH Sides. Eliminate pedestrians cutting through, damaging the Dune Ecosystem; Allows floor plans that are not so narrow as to be marginally functionally obsolete. Helps to Provide closure to a longstanding Developmental challenge unique to this property that has precluded and prevented needed infill for 20 years or longer

Project will provide solution to "dead end sidewalk" danger & liability.

Project will add more than 3 Million dollars to the Tax Roles of the-City & County, potentially totaling an additional \$75,000-\$100,000 annual Ad Valorem Property Tax Revenue increase, compounding to Millions over the next few decades.

If you have any questions, please contact me at our office. Thank you.

Sincerely,



Jodah B. Bittle, P.E.



28 APRIL 2021

SURFSIDE QUADPLEX TOWNHOME PROJECT

The 1700 Surfside Townhomes project is a multi-family development that includes 4 townhome type dwelling units and are 4 stories high. This project is a fee simple ownership located on a vacant oceanfront lot at the North end of Surfside Drive just East of South Ocean Drive, Fort Pierce, Florida.

The ground floor has the car garages facing Surfside Drive with one driveway for the 2 north units and another driveway for the 2 south units. Above that ground level are 3 floors consisting of the townhome dwelling units. There will be stair access to the roofs where there will be patio areas.

The property is zoned R4A and this property is being designed with consideration of transitioning from multifamily condominiums to the North and single-family homes to the South. The proposed development is located seaward of the coastal construction control line and is being designed in accordance with rules and regulations of 62B-33 Florida Administrative Code. Since the project is seaward of the coastal construction control line a conditional use approval will be required from the City of Fort Pierce.

The existing project to the north of this project are 4-story condominium residential apartment buildings with parking on the ground level of the building. The existing property to the south of this project is a single-family single story residential structure.

This development will have a contemporary design style and includes secured garage parking and an elevated swimming pool for each unit. The developer intends to begin construction as soon as all the required permits have been secured.

April 30, 2021

Brandon Creagan, MCRP, LEED Green Associate
Planner
City of Fort Pierce
100 North US Highway 1
Fort Pierce, FL 34950

Subject: **Surfside Quadplex**
Parcel ID: 2412-501-0132-000-3 – Pre-Application Comments
March 3rd, 2021 Conference Call

Dear Mr. Creagan,

Enclosed, please find the following documents to complete the plat and conditional use submittal package for the above referenced project and a response to the March 3rd Pre-Application comments:

1. City of Fort Pierce Design Review Application (1 original, 2 copies)
2. City of Fort Pierce Development Review / Conditional Use Application with New Construction (1 original, 2 copies)
3. City of Fort Pierce Subdivision – Preliminary Plat Application (1 original, 2 copies)
4. City of Fort Pierce – Variance Application (1 original, 2 copies)
5. Concurrency – Capacity Analysis
6. Application Fee of \$1,710.00 for Design Review, Development Review / Conditional Use with New Construction and Preliminary Plat
7. Application Fee of \$1,000.00 for Variance
8. SLC Property Record Card (3 copies)
9. Three (3) sets of civil plans with lighting plan
10. Warranty Deed (3 copies)
11. S&S Survey (3 originals)
12. S&S Landscape Plan (3 originals)
13. S&S Architectural Plans (3 originals)

Fort Pierce Planning:

1. A landscape plan shall be provided at the time of application that is signed and sealed by a Florida Registered Landscape Architect pursuant to City Code 123-37, General Landscaping requirements. **A landscape plan that is signed and sealed by a Florida Registered Landscape Architect is included with this submittal package.**
2. A lighting plan or photometric survey shall be provided at the time of application that complies with lighting on the beach pursuant to City Code 16-28. **A lighting plan is included with this submittal package. A photometric plan is not required for this project.**
3. A Design Review application shall be submitted with the application pursuant to City Code 125-314. **Please see attached Design Review application.**

4. Alongside the Design Review application, an Application for Development Review / Conditional Use with New Construction will need to be provided as this property is seaward of the Coastal Construction Control Line (CCCL). **Please see attached Application for Development Review / Conditional Use with New Construction.**
5. As this is seaward of the CCCL, approval will also need to be obtained by the FDEP. **Acknowledged.**
6. To be able to utilize the zoning designation of Planned Development (PD) the project has to provide some sort of public benefit and the designs whether they are the architectural renderings or landscape package must go above and beyond what typically would be required by code. Planned Developments should not be used as the sole purpose of avoiding development or zoning regulations. An example of a public benefit could be a pedestrian beach access path. **The project is not being submitted as a Planned Development.**
7. If a Planned Development is sought, an Application for Zoning Atlas Map Amendment will also need to be submitted. **The project is not being submitted as a Planned Development.**
8. If this PD is to be for townhomes a plat will also be required. **The project is not being submitted as a Planned Development. We are submitting a plat for this project.**
9. What is your timeline for application submission? **As soon as possible.**
10. Note that all fees for advertising, mailing and signs shall be paid upfront with the application fees. These fees can be found on the City website under the Planning Departments page under "*Public Notice Fee*". The City also temporarily reduced some application fees and those can be found under the link "*Fee Schedule – Temporarily Reduced Fees Expire 11/30/2020*". **Acknowledged.**

Fort Pierce Engineering:

1. The proposed Planned Development depicts two 2-way drives which will service four residential development. In accordance with Code requirements (Section 125-316) the minimum driveway separation for 2-way driveways servicing a multi-family development is 50' along a local road. This 50' shall be measured from edge of driveway to edge of driveway along the R/W line. It appears that a spacing of 10' +/- is proposed. **We have submitted a variance for this issue.**
2. According to the Code (Section 125-316) driveway setbacks from side property lines shall be a minimum of 25'. The submitted site plan does not appear to meet this criterion. **We have submitted a variance for this issue.**
3. The proposed building will encroach 4' into the required 10' building setback on the west side, will a request for a Variance be submitted? **We have submitted a variance for this issue.**
4. How will on-site stormwater run-off be treated? **We are proposing an exfiltration trench for stormwater runoff.**

5. The development encroaches seaward of the CCCL and therefore an FDEP permit is required prior to any construction. **Acknowledged. An FDEP permit will be obtained prior to any construction.**

Fort Pierce Code Enforcement

1. No Comment at this time. **Acknowledged.**

FPUA

1. W/WW Engineering:
 - Water is available to serve the proposed multifamily development. Sewer is not readily available and would require a main extension from either sewer manhole 14-14 or 14-10 which are highlighted on the attached FPUA utility map. It will be the responsibility of the developer to check the existing manhole inverts to see if an extension is a possibility. The inverts listed below are to be verified in the field. Please submit 3 complete sets of Utility Construction plans along with a completed plan review and commercial service application to Water and Wastewater Engineering at 1701 S 37th Street, Fort Pierce, FL 34947. For more information, please contact: Lugey Dawson at 772-466-1660 ext. 3428
Acknowledged. Utility Construction plans will be submitted under separate cover to the Water and Wastewater Engineering Department.

2. Electric & Gas Engineering: Approved.
 - Electric service is available from the SW corner (FPI 10771) of the parcel. Please provide electric load information for the new service(s) and AutoCAD drawing.
Acknowledged.

Customer will be responsible for all conduits and secondary conductors (if there is two or more propose services, customer to provide and install the service wire). For more information and project coordination, please contact:

- Sal Scimeca
Engineering Technician II
Electric and Gas Engineering
1701 S. 37th Street, Fort Pierce, FL 34947
sscimeca@fpua.com
Office: (772) 466-1600 ext. 6957

Fort Pierce Building Comments:

1. This project must be designed and constructed in compliance with the FBC Building volume requirements. **Acknowledged. This project is designed and will be constructed in compliance with the FBC Building volume requirements.**
2. This project is east of CCCL, and must comply additionally with FBC Building, Ch. 3109 and DEP requirements. This will require Deep Pile Foundation, etc. **Acknowledged.**
3. This project requires Automatic Sprinkler System throughout. **Acknowledged.**

Fort Pierce Urban Forester:

1. Submit a Tree Mitigation Survey and Landscape Plan for review at time of application. **A tree mitigation survey and landscape plan are included with this submittal package for review.**

St. Lucie County Erosion District

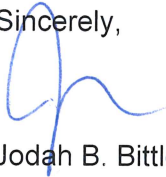
1. The subject property includes a previously recorded perpetual easement associated with the Fort Pierce Shore Protection Project, a federally authorized beach project. This project includes periodic beach nourishment adjacent to the subject property. In some instances, construction is required landward of the Erosion Control Line (ECL). As this property is positioned at the southernmost terminus of the federal beach project, beach fill placement will be limited to project end tapers, which fill placement transitions into the existing dune. Please be advised that structures seaward of the elevation 9.0' contour (NAD 27) are generally discouraged because of potential impact with future beach construction. **Acknowledged.**

If in event structures are proposed within the area describer above (at a later date), the applicant should contact Joshua Revord, St. Lucie County's Sr. Coastal Engineer (772-462-1269) to discuss preliminary plans prior to design and / or permitting facts.

2. The subject project is seaward of the Costal Construction Control Line (CCCL) and requires a CCCL permit from the Florida Department of Environmental Protection. Please be advised that projects seaward of the CCCL require no net loss of sand within the proposed parcel, to preserve beach dune integrity. **Acknowledged. A CCCL permit from the Florida Department of Environmental Protection will be obtained.**

Upon your review, should you have any questions, or require further information, please do not hesitate to contact me at our office. Thank you.

Sincerely,



Jodah B. Bittle, P.E.

This Document Prepared By and Return to:
Christopher J. Twohey, PA
844 SE Ocean Blvd. Suite A
Stuart, Florida 34994

Parcel ID Number: 2412-501-0132-000/3

Warranty Deed

This Indenture, Made this 23rd day of July, 2020 A.D., Between
L & K Developers, LLC, an Illinois limited liability company
of the County of Cook, State of Illinois, grantor, and
Surfside Land, LLC, a Florida limited liability
whose address is: 9481 Campi Dr., Lake Worth, FL 33467
of the County of Palm Beach, State of Florida, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of
TEN DOLLARS (\$10)

and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby
acknowledged, has granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns
forever, the following described land, situate, lying and being in the County of Saint Lucie
State of Florida to wit:

**Lot 13, Block 11, SURFSIDE UNIT ONE, according to the Plat thereof, as recorded in Plat Book 10, Page
17, Public Records of Saint Lucie County, Florida.**

SUBJECT TO:

1. Taxes for the year 2020, and all subsequent years;
2. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
3. Restrictions and matters appearing on the Plat or otherwise common to the subdivision; and
4. Public utility easements of record, if any.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons
whomsoever.

Warranty Deed - Page 2

Parcel ID Number: 2412-501-0132-000/3

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness
Notary

Eileen M. Keating
Printed Name:
Witness

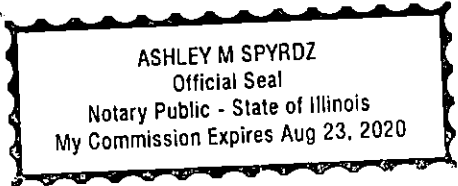
Robert A. Bosco
Printed Name:
Witness

L & K Developers, LLC
By: Robert H. Lohens (Seal)
Robert H. Lohens, Member
P.O. Address: 1237 S. Delphis Ave., Park Ridge, IL 60068

State of Illinois
County of Cook

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 23 day of July, 2020, by Robert H. Lohens, Member of L & K Developers, LLC, an Illinois limited liability company on behalf of the limited liability company who is personally known to me or who has produced his driver's license as identification.

Ashley M. Spyrdz
Printed Name:
Notary Public Ashley Spyrzdz
My Commission Expires: 8/23/2020



1700 Surfside Quadplex Dune Vegetation Protection

As Design Build Construction Manager for, and on behalf of Surfside Land LLC,

I, Steven M. Weaver Sr., as President of RealTime Property Development Services Inc. CGC15005490, as discussed with COFP Planning Brandon Creagan, per the attached email correspondence, in regards to 1700 Surfside Drive, have confirmed that the necessary Vegetation Information is contained on the attached FDEP compliant Comprehensive Survey performed by Karner Surveying, and the Dune Protection, and Stormwater Prevention Plan are contained within the attached SBS Engineers Conditional Use Civil Engineering PlanSet. The building area to be disturbed will be well West of the dune vegetation. The Project will be conducted in accordance City and FDEP regulatory Permits, as well as with all Federal, State & Local Laws.

Steven M. Weaver Sr.
RealTime Property Development Services Inc. CGC 1505490

RE: 1700 Surfside Quadplex

Tue, Apr 20, 2021 1:50 pm **Brandon Creagan** (bcreagan@cityoffortpierce.com) To: you [Details](#)
Both of your questions would be fine, move forward as you described.

Best Wishes,
Brandon

Brandon C. Creagan, MCRP, LEED Green Associate | Planner | City of Fort Pierce
Planning Department
Phone: 772-467-3742 Fax: 772-466-5808 100 North U.S. 1 Fort Pierce, FL 34950

From: realtimelfa@aol.com
Sent: Tuesday, April 20, 2021 1:13 PM
To: [Brandon Creagan](#)
Subject: 1700 Surfside Quadplex

SECURITY WARNING: This email originated outside of the City of Fort Pierce systems. Please use caution when clicking links or opening attachments. For questions or concerns please contact IT immediately. .

Good Afternoon Brandon,
I have looked through several conditional use files for residential builds on Surfside and do not see Environmental Impact reports.
The dune vegetation will be noted on the Site plan, and the Survey, and appropriate protection is REQUIRED by the FDEP Permit Conditions, and we will be protecting all of it as per all City & State regulations.
Can we utilize an owners statement or would a waiver be possible for this requirement considering the location and the FDEP parallel protective regulations?
Thank You for your consideration of this matter.

Separately, our Traffic Impact Statement / Letter will be authored/calculated by a State Registered Architect with knowledge and fluency with the ITE Trip Generation Manual, Volume 10.

Steven M. Weaver Sr.
RealTime Property Development Services Inc. CGC 1505490
Commercial/Waterfront/Investment Properties Development
Direct: (386) 405-0286 - VM / Office: (772) 344-7100

Property Identification

Site Address: Surfside DR Parcel ID: 2412-501-0132- Account #: 24058 Sec/Town/Range: 07/35S/41E
 Use Type: 0000 Jurisdiction: Fort Pierce Map ID: 25/07N Zoning: HI Medium

Ownership

Surfside Land LLC
 9481 Campi DR
 Lake Worth, FL 33467

Legal Description

SURFSIDE-UNIT ONE- BLK 11 LOT 13(0.54 AC)

Current Values

Just/Market: \$405,300 Assessed: \$405,300
 Exemptions: \$0 Taxable: \$405,300

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2020	\$405,300	\$405,300	\$0	\$405,300
2019	\$452,000	\$452,000	\$0	\$452,000
2018	\$435,800	\$435,800	\$0	\$435,800

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
07-23-2020	4454 / 2102	0001	WD	L and K Developers	\$567,500
02-04-2016	3834 / 2662	0001	WD	Marchiori Frank A	\$490,000
04-21-2005	2242 / 2471	XX00	WD	Consalo Augustus	\$1,075,000

Primary Building Information

Finished Area of this building: 0 SF
 Gross Sketched Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:	Building Type:
Year Built: N/A	Frame:	Grade:	Effective Year: N/A
Primary Wall:	Story Height:	No. Units: 0	Secondary Wall:

Interior Data

Bedrooms: 0	A/C %: 0%	Electric:	Primary Int Wall:
Full Baths: 0	Heated %: N/A%	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Sprinkled %: 0%	Heat Fuel:	Primary Floors:



Image
 or
 Sketch
 unavailable
 for display

Total Areas

Finished/Under Air (SF):	0
Gross Sketched Area (SF):	0
Land Size (acres):	0.54
Land Size (SF):	23,500
Total Building Count:	1

Special Features and Yard Items

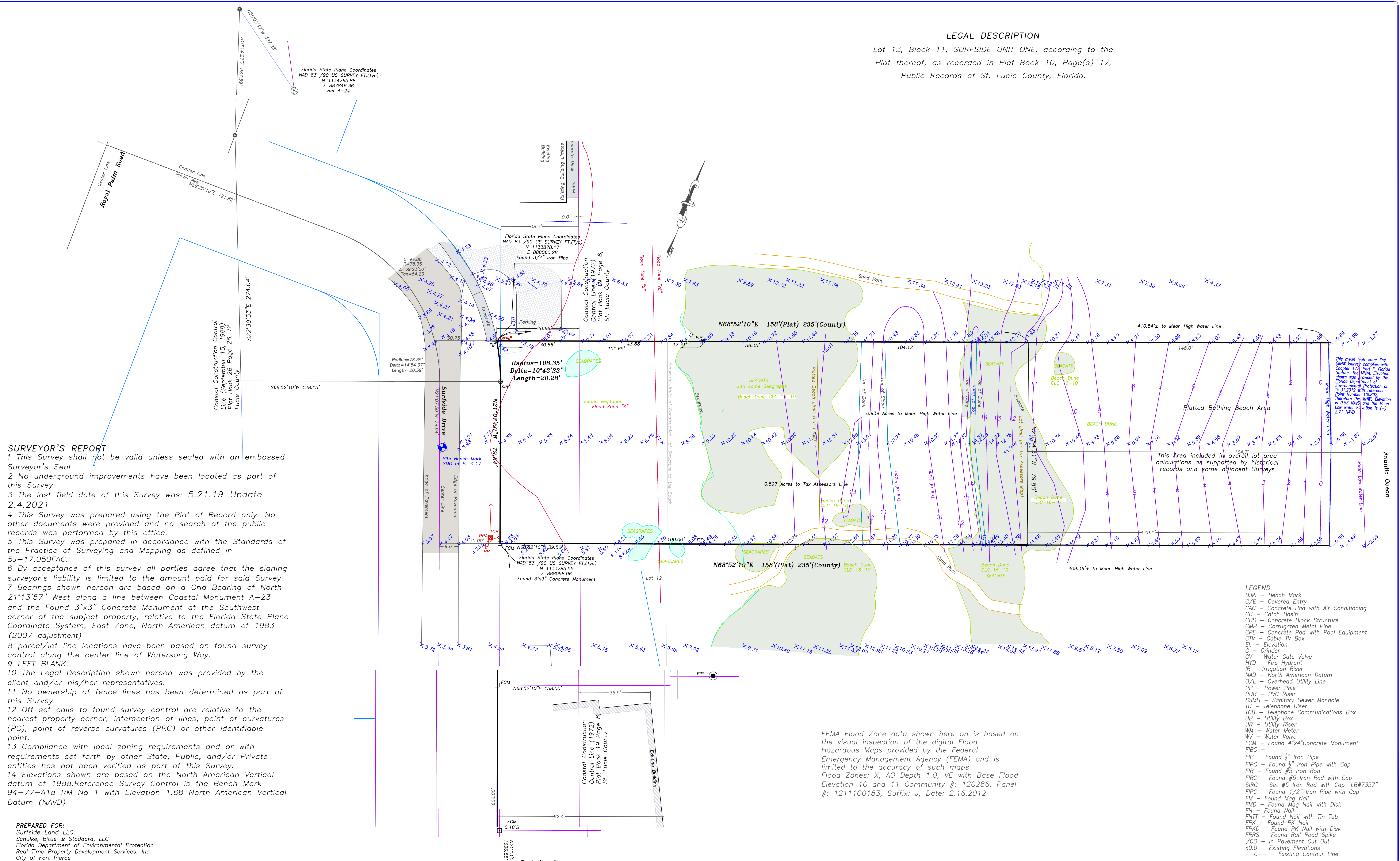
Type	Qty	Units	Year Blt
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LEGAL DESCRIPTION
 Lot 13, Block 11, SURFSIDE UNIT ONE, according to the
 Plat thereof, as recorded in Plat Book 10, Page(s) 17,
 Public Records of St. Lucie County, Florida.

SURVEYOR'S REPORT
 1 This Survey shall not be valid unless sealed with an embossed Surveyor's Seal
 2 No underground improvements have been located as part of this Survey.
 3 The last field date of this Survey was: 5.21.19 Update 2.4.2021
 4 This Survey was prepared using the Plat of Record only. No other documents were provided and no search of the public records was performed by this office.
 5 This Survey was prepared in accordance with the Standards of the Practice of Surveying and Mapping as defined in 5J-17.050FAC.
 6 By acceptance of this survey all parties agree that the signing surveyor's liability is limited to the amount paid for said Survey.
 7 Bearings shown hereon are based on a Grid Bearing of North 21°13'57" West along a line between Coastal Monument A-23 and the Found 3"x3" Concrete Monument at the Southwest corner of the subject property, relative to the Florida State Plane Coordinate System, East Zone, North American datum of 1983 (2007 adjustment)
 8 parcel/lot line locations have been based on found survey control along the center line of Watersong Way.
 9 LEFT BLANK.
 10 The Legal Description shown hereon was provided by the client and/or his/her representatives.
 11 No ownership of fence lines has been determined as part of this Survey.
 12 Off set calls to found survey control are relative to the nearest property corner, intersection of lines, point of curvatures (PC), point of reverse curvatures (PRC) or other identifiable point.
 13 Compliance with local zoning requirements and or with requirements set forth by other State, Public, and/or Private entities has not been verified as part of this Survey.
 14 Elevations shown are based on the North American Vertical datum of 1988. Reference Survey Control is the Bench Mark 94-77-A18 RM No 1 with Elevation 1.68 North American Vertical Datum (NAVD)

PREPARED FOR:
 Surfside Land LLC
 Schulke, Brittle & Stoddard, LLC
 Florida Department of Environmental Protection
 Real Time Property Development Services, Inc.
 City of Fort Pierce

Prepared By: Regina C. Karner, PSM#4363
 Karner Surveying, Inc. LB#7357



FEMA Flood Zone data shown here on is based on the visual inspection of the digital Flood Hazardous Maps provided by the Federal Emergency Management Agency (FEMA) and is limited to the accuracy of such maps.
 Flood Zones: X, AO Depth 1.0, VE with Base Flood Elevation 10 and 11 Community #: 120286, Panel #: 12111C0183, Suffix: J, Date: 2.16.2012

- LEGEND**
- B.M. - Bench Mark
 - C/E - Covered Entry
 - CAC - Concrete Pad with Air Conditioning
 - CB - Catch Basin
 - CBS - Concrete Block Structure
 - CMP - Corrugated Metal Pipe
 - CPE - Concrete Pad with Pool Equipment
 - CTV - Cable TV Box
 - EL - Elevation
 - G - Grinder
 - GV - Water Gate Valve
 - HYD - Fire Hydrant
 - IR - Irrigation Riser
 - NAD - North American Datum
 - O/L - Overhead Utility Line
 - PP - Power Pole
 - PUR - PVC Riser
 - SSMH - Sanitary Sewer Manhole
 - TR - Telephone Riser
 - TCB - Telephone Communications Box
 - UB - Utility Box
 - UR - Utility Riser
 - WM - Water Meter
 - WV - Water Valve
 - FCM - Found 4"x4" Concrete Monument
 - FIBC - Found 1/2" Iron Pipe
 - FIPC - Found 1/2" Iron Pipe with Cap
 - FIR - Found #5 Iron Rod
 - FIRC - Found #5 Iron Rod with Cap
 - SIRC - Set #5 Iron Rod with Cap "LB#7357"
 - FIPC - Found 1/2" Iron Pipe with Cap
 - FM - Found Mag Nail
 - FMD - Found Mag Nail with Disk
 - FN - Found Nail
 - FNIT - Found Nail with Tin Tab
 - FPK - Found PK Nail
 - FPKD - Found PK Nail with Disk
 - FRRS - Found Rail Road Spike
 - /CO - In Pavement Cut Out
 - x0.0 - Existing Elevations
 - 0-- - Existing Contour Line

Prepared For: Surfside Land LLC St. Lucie County Florida	KARNER SURVEYING, INC. Residential & Commercial Surveying Services 2740 SW Martin Downs Blvd.#333, Palm City, FL 34990 Phone: (772)288 7206 Fax: (772)223 8181 WWW.KARNERSURVEYING.COM karnerc@comcast.net	Sheet Title: Boundary Survey Sheet No.: 1 of 1 Date: 5/21/19 Scale: AS SHOWN Drawing No.: 1902-53 Date: 10/27/18 Rev No.:
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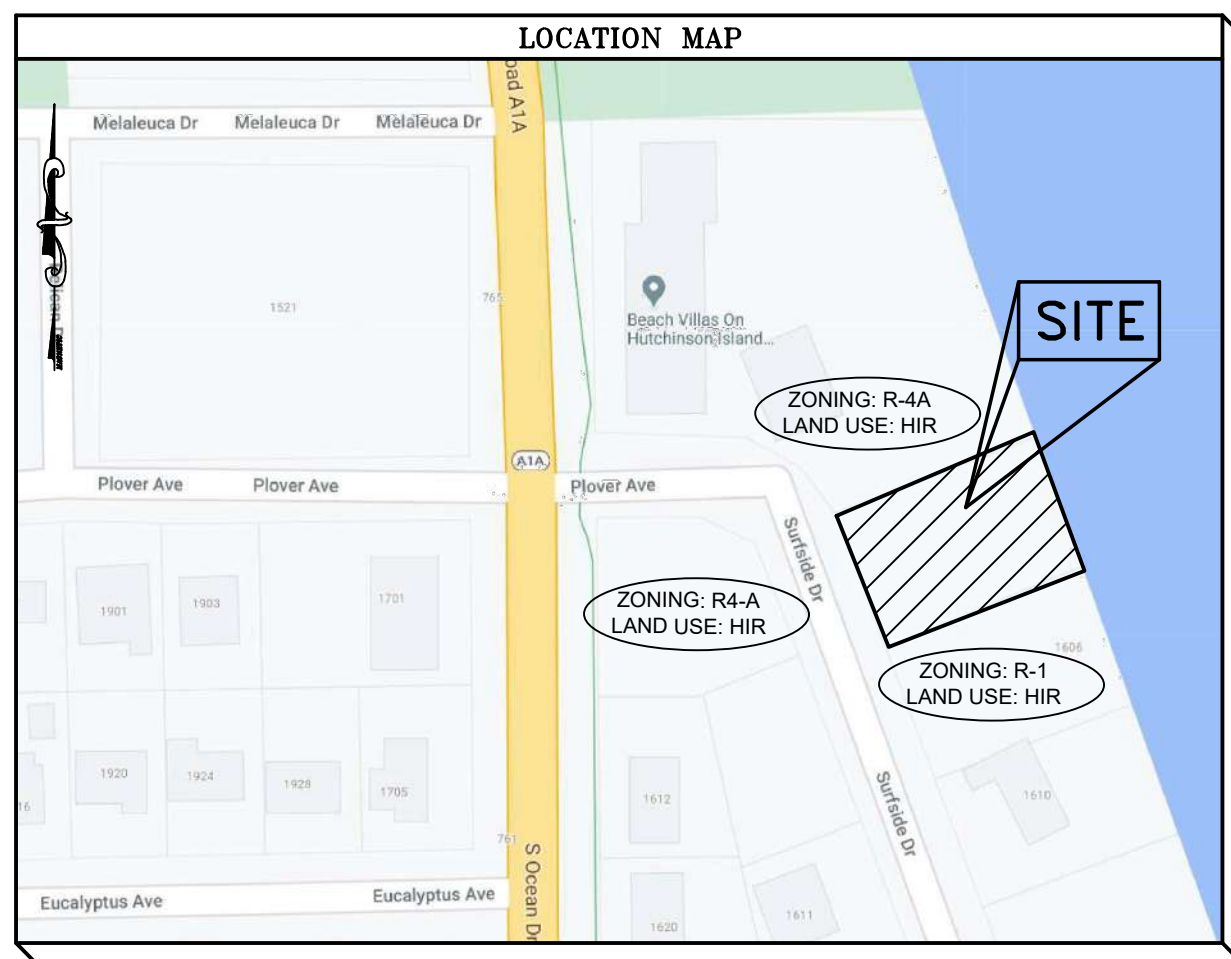
CONDITIONAL USE SITE PLAN/ PRELIMINARY PLAT

FOR

SURFSIDE QUAD PLEX

SECTION 07, TOWNSHIP 35 S, RANGE 41 E
CITY OF FT. PIERCE, FLORIDA

LEGAL DESCRIPTION
SURFSIDE - UNIT ONE - BLK 11 LOT 13



DRAWING INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS AND POLLUTION PREVENTION
3	POLLUTION PREVENTION DETAILS
4	SOIL BORINGS
5	PRELIMINARY PLAT
6	SITE PLAN
7	PAVING, GRADING AND DRAINAGE PLAN
8	CROSS SECTIONS
9-12	MISCELLANEOUS DETAILS
13	LIGHTING PLAN
14	AERIAL
ATTACHED	SURVEY LANDSCAPE PLAN ARCHITECTURAL PLAN

SITE DATA		
OWNER/DEVELOPER	SURFSIDE LAND LLC 9481 CANAL DR LAKE WORTH, FL 33467-6998	
ENGINEER	SCHULKE, BITTLE & STODDARD, L.L.C. JUDAH B. BITTLE, P.E. 57398 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FL 32960 (772) 770-9622	
SURVEYOR	KARNER SURVEYING, INC. REGINA KARNER, PSM #4363 2740 SW MARTIN DOWNS BLVD. #333 PALM CITY, FL 34960 PH. (772) 288-7206	
EXISTING USE	UNDEVELOPED	
PROPOSED USE	FOUR (4) MULTI-FAMILY UNITS	
PROJECT LOCATION	SECOND LOT FROM THE CORNER OF SR A-1-A AND SURFSIDE DRIVE	
SITE ADDRESS	SURFSIDE DRIVE, FT. PIERCE, FL	
PARCEL I.D. NUMBER	2412-501-0132-000-3	
CURRENT LAND USE	HIR (HUTCHINSON ISLAND RESIDENTIAL)	
CURRENT ZONING	R-4A (HUTCHINSON ISLAND MEDIUM DENSITY RESIDENTIAL)	
PROPOSED ZONING	R-4A (HUTCHINSON ISLAND MEDIUM DENSITY RESIDENTIAL)	
DEVELOPMENT PARAMETERS	EXISTING	PROPOSED
	R-4A ZONING	DEVELOPMENT
	5,000 SF PER UNIT	40,902 SF
MIN. LOT AREA	75'	100'
MIN. OVERALL LOT WIDTH	70'	235'
MIN. INTERIOR LOT DEPTH	25'	25.9'
MIN. YARD SETBACKS:		
FRONT (WEST)	10'	6.0'
SIDE (NORTH)	10'	10.0'
SIDE (SOUTH)	20'	327.1'
REAR (WEST)	40%	10.7%
MAX. LOT COVERAGE BY BLDGS	25%	83.2%
MIN. OPEN SPACE	75%	16.8%
MAX. IMPERVIOUS AREA	8 UNITS/ACRE	4.3 UNITS/ACRE
MAXIMUM DENSITY	45'	45'
MAX. BLDG. HEIGHT		
AREA CALCULATIONS:		
SITE AREAS:	EXISTING	PROPOSED
DEVELOPABLE AREA:	40,902 SF	0.94 AC
IMPERVIOUS AREA:	6,882 SF	0.16 AC
BUILDING AREA:	4,387 SF	0.10 AC
PAVING AREA:	1,708 SF	0.04 AC
CONCRETE PAVEMENT AREA:	787 SF	0.02 AC
PERVIOUS AREA:	34,020 SF	0.78 AC
GREEN SPACE:	34,020 SF	0.78 AC
NATIVE VEGETATION/PRESERVATION:		
SEE SURVEY FOR DUNE VEGETATION		
PARKING CALCULATIONS:		
REQUIRED: 2 SPACE PER UNIT		
PROVIDED: 8 INTERIOR DRIVEWAY PARKING SPACES		
PROVIDED: 8 INTERIOR DRIVEWAY PARKING SPACES		
AVERAGE DAILY TRIPS:		
PROPOSED USE: PER ITE 9TH EDITION TRIP GENERATION MANUAL, LAND USE 230		
4 MULTI-FAMILY UNITS X 7.78 TRIPS/UNIT = 31.1 OR 32 TRIPS		
CONSTRUCTION SCHEDULE:		
DATE OF COMMENCEMENT: 1/22	DATE OF COMPLETION: 1/23	
VARIANCES FOR THIS PROJECT:		
1. REQUIRED: 10 FOOT SETBACK FROM NORTH PROPERTY LINE		
PROPOSED: 6 FOOT BUILDING SETBACK FROM NORTH PROPERTY LINE		
2. REQUIRED: 50 FOOT SETBACK BETWEEN DRIVEWAYS		
PROPOSED: 20.5 FOOT SETBACK BETWEEN DRIVEWAYS		
3. REQUIRED: 25 FOOT SETBACK FOR DRIVEWAYS FROM PROPERTY LINES		
PROPOSED: 15.5 FOOT SETBACK FOR DRIVEWAYS FROM PROPERTY LINES		
GENERAL NOTES	<p>1. PROPOSED PUBLIC WATER SUPPLY - FT. PIERCE UTILITY AUTHORITY</p> <p>2. PROPOSED PUBLIC SEWER - FT. PIERCE UTILITY AUTHORITY</p> <p>3. GARBAGE IS HANDLED WITH CANS STORED IN THE UNITS, NO DUMPSTER PROPOSED.</p> <p>4. THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE X, X (2%), & VE-8 PER FLOOD INSURANCE RATE MAP #12111C0183 J, DATED FEBRUARY 15TH, 2012.</p> <p>5. ALL CONSTRUCTION ON SITE TO BE DONE PER ALL CITY OF FT. PIERCE STANDARDS AND SPECIFICATIONS.</p> <p>6. ALL UTILITY CONSTRUCTION ON SITE TO BE DONE PER F.U.A. UTILITY STANDARDS AND SPECIFICATIONS, LATEST EDITION.</p> <p>7. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE M.U.T.C.O. FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS, AND CITY OF FT. PIERCE TYPICAL PAVEMENT MARKINGS AND SIGNING DETAILS. IN ADDITION, ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED IN THERMO-PLASTIC.</p> <p>8. EXISTING DRIVES AND/OR INTERSECTIONS SHOWN ARE WITHIN THE 300' RADIUS REQUIRED FROM THE PROPOSED SITE.</p> <p>9. THE EXISTING SPEED LIMIT FOR SEAWAY DRIVE IS 35 M.P.H.</p> <p>10. ALL PROPOSED TRAFFIC CONTROL DEVICES SHOWN ON SITE TO BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.</p> <p>11. THE SITE LIGHTING (SOURCE OF ILLUMINATION) CANNOT BE VISIBLE FROM THE SITE.</p> <p>12. ANY NUISANCE/EXOTIC PLANTS IN THE DEVELOPED AREA WILL BE REMOVED.</p> <p>13. AT INTERSECTIONS, WALLS, FENCES, PLANTS OR SIGHT OBSTRUCTIONS OF ANY KIND OVER 18" IN HEIGHT ARE PROHIBITED WITHIN THE SITE DISTANCE TRIANGLE AS REQUIRED BY FDOT INDEX 546, 2014 EDITION.</p> <p>14. ANY DISTURBED AREAS ON SITE OR IN THE COUNTY RIGHT-OF-WAY TO BE SODED.</p> <p>15. RUN-OFF FROM ROOF TO BE DIRECTED TO STORMWATER SYSTEM.</p> <p>16. ALL LIGHTS MUST MEET THE FOLLOWING CRITERIA: - ALL POLES MUST BE BLACK OR BRONZE - ALL LIGHTS MUST BE DIRECTED DOWNWARD, WITH A 90 DEG. CUT-OFF - LIGHTS MUST NOT CAUSE GLARE ONTO ADJACENT R/W OR PROPERTIES.</p> <p>17. ALL STOP SIGNS (R-1) SHALL BE 30"</p> <p>18. NO DETERAERING BETWEEN 8 PM AND 6 AM WITHOUT CITY OF FT PIERCE APPROVAL.</p> <p>19. AN ENTRANCE GATE IS PROPOSED FOR THIS SITE.</p> <p>20. CITY OF FT. PIERCE OR FDOT MAY HAVE UNDERGROUND CONDUIT FOR TRAFFIC SIGNAL INTERCONNECTIONS IN THIS AREA AS WELL AS OTHER TRAFFIC SIGNAL EQUIPMENT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT SUNSHINE STATE ONE CALL SYSTEM AT 1-800-432-8770 FOR LOCATIONS OF THIS EQUIPMENT AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION.</p> <p>21. ALL SOLID, NON-BREAKAWAY OBJECTS (GATE POSTS/COLUMNS, BOLLARDS, STREET LIGHT POLES, ETC.) ALONGSIDE INTERIOR STREETS AND DRIVING AISLES SHALL BE LOCATED OUTSIDE THE CLEAR ZONE FOR STREETS AND DRIVING AISLES WITH A DESIGN SPEED OF 25 MPH OR LESS. THE MINIMUM CLEAR ZONE IS 2.5 FEET FROM THE FACE OF THE CURB (TYPE 'D' OR 'T'), OR 6 FEET FROM THE EDGE OF THE TRAVEL LANE. THIS APPLIES TO PUBLIC AND PRIVATE PROPERTY.</p> <p>22. THE BEARING BASE FOR THIS SURVEY IS A GRID BEARING OF S46°30'43"W, ALONG THE NORTH R/W LINE OF SEAWAY DRIVE AND BASED ON FOUND MONUMENTATION.</p> <p>23. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. THE BENCHMARK IS CGS MONUMENT G 231 1965, ELEVATION 4.47 NAVD. SECONDARY BENCHMARK IS AS SHOWN HEREON. THE CONVERSION TO NAVD29 IS BY ADDING 1.499 FT.</p> <p>24. ALL CONSTRUCTION WILL COMPLY WITH SECTIONS 17 AND 22 OF THE CITY OF FT. PIERCE CODE OF ORDINANCES.</p> <p>25. ANY ABANDONED FLOW WELLS FOUND ON SITE SHALL BE PLUGGED PURSUANT TO D.O.H. AND SWMD REGULATIONS.</p> <p>26. ALL PAVEMENT MARKINGS IN THE RIGHT-OF-WAY SHALL BE 90 MIL., EXTRUDED TYPE, ALKID BASE THERMOPLASTIC.</p> <p>27. ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH THE FDOT STANDARD INDEX 17346, 2014 EDITION.</p> <p>28. ALL STOP SIGNS SHALL BE HIGH INTENSITY RETRO-REFLECTIVITY</p> <p>29. ALL UTILITIES MUST BE PLACED UNDERGROUND.</p> <p>30. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.</p> <p>31. FPE SPRINKLER SYSTEM IS PROPOSED FOR THIS BUILDING.</p>	

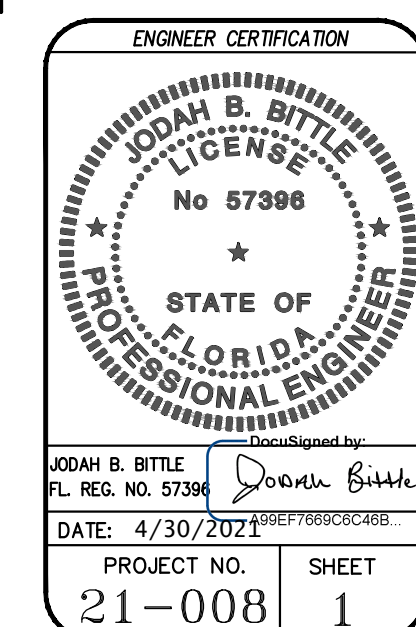
CONSTRUCTION NOTES	
1. SUBMITTALS	
A. PRODUCT DATA AND SHOP DRAWINGS	FOR ALL SITE WORK CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT PRODUCT DATA IN THE FORM OF MANUFACTURERS' CUT SHEETS AND CATALOG DATA FOR ALL PRODUCTS, MATERIAL AND EQUIPMENT CLEARLY INDICATING THE SPECIFIC PART OR PRODUCT CATALOG NUMBER(S) FOR APPROVAL.
B. UTILITIES	THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PRODUCTS, MATERIALS AND EQUIPMENT REQUIRED TO BE FABRICATED, OR WHEN STANDARD PUBLISHED PRODUCT DATA IS NOT SUITABLE FOR USE.
C. PAVING AND GRADING	ALL PIPE, FITTINGS, VALVES, OTHER MISCELLANEOUS APPURTENANCES, CONTROLS, PUMP STATION EQUIPMENT, COMPONENTS AND STRUCTURES, AND ALL OTHER UTILITY SYSTEM PRODUCTS, MATERIALS AND COMPONENTS AND SIMILAR CONTROLS.
D. DRAINAGE	ALL PIPE, FITTINGS, AND COMPONENTS THEREOF: STRUCTURES, FRAMES, GRATES, LIDS, GASKETS, FASTENERS, COUPLINGS AND SIMILAR, AND ALL OTHER DRAINAGE SYSTEM PRODUCTS, MATERIALS, AND COMPONENTS AND SIMILAR CONTROLS.
E. SIGNING AND PAVEMENT MARKINGS	THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PRODUCTS, MATERIALS AND EQUIPMENT REQUIRED TO BE FABRICATED, OR WHEN STANDARD PUBLISHED PRODUCT DATA IS NOT SUITABLE FOR USE.
F. IRRIGATION	ALL PIPE, FITTINGS, VALVES, OTHER MISCELLANEOUS APPURTENANCES, CONTROLS, PUMP STATION EQUIPMENT, COMPONENTS AND STRUCTURES, AND ALL OTHER UTILITY SYSTEM PRODUCTS, MATERIALS AND COMPONENTS AND SIMILAR CONTROLS, WELLS, AND/OR OTHER IRRIGATION SOURCES. THE CONTRACTOR SHALL SUBMIT AN IRRIGATION COORDINATION DRAWING, INDICATING CONTRACTOR PROPOSED LOCATION OF MAIN LINES, SECONDARY LINES, HEAD LOCATIONS, WELL, PUMP, CONTROL PANEL, SENSORS, CONTROL VALVE AND VALVE LOCATIONS. THIS DRAWING SHOULD CLEARLY DEPICT ADJUSTMENTS OR CHANGES THE CONTRACTOR PROPOSES. THE DRAWINGS SHALL INDICATE ALL PROPOSED SUBSTITUTIONS OF SIZE, MATERIAL, AND/OR MANUFACTURER.
G. AS-BUILTS	THE CONTRACTOR SHALL PROVIDE THE OWNER WITH OPERATION AND MAINTENANCE MANUALS FOR ALL OPERABLE EQUIPMENT (PUMP STATIONS AND CONTROLS, AUTOMATIC CONTROL VALVES, AND OTHER AUTOMATED EQUIPMENT, CONTROL PANELS, ETC.). OPERATION AND MAINTENANCE MANUALS SHALL BE SUBMITTED AS A PRE-REQUISITE TO THE PROJECT BEING DEEMED SUBSTANTIALLY COMPLETE.
H. WARRANTY	THE CONTRACTOR SHALL PROVIDE ALL WARRANTIES, CERTIFICATIONS, GUARANTIES, AND WARRANTY BONDS AS SPECIFIED IN THE CONTRACT DOCUMENTS AND PERMIT CONDITIONS INCLUDING: - UTILITY MAINTENANCE BOND - FOR ALL PUBLIC WATER AND SEWER UTILITIES INFRASTRUCTURE - (25% OF CONTRACT VALUE) - ENGINEERING MAINTENANCE BOND - FOR ALL PAVING, GRADING, AND DRAINAGE IMPROVEMENTS AND INFRASTRUCTURE (25% OF CONTRACT VALUE)
I. OWNER TRAINING	THE CONTRACTOR SHALL INCLUDE 2 HOURS OF OWNER TRAINING (FOR EACH WATER, SEWER, DRAINAGE, AND IRRIGATION SYSTEMS) FOR ALL OPERABLE EQUIPMENT AND SHALL INCLUDE THE TIME FOR INITIAL ADJUSTMENTS OF EQUIPMENT AND TIME FOR ONE FOLLOW-UP VISIT AND ADJUSTMENTS OF EQUIPMENT 60 DAYS AFTER END USER HAD OPERATIONAL TIME WITH THE EQUIPMENT.

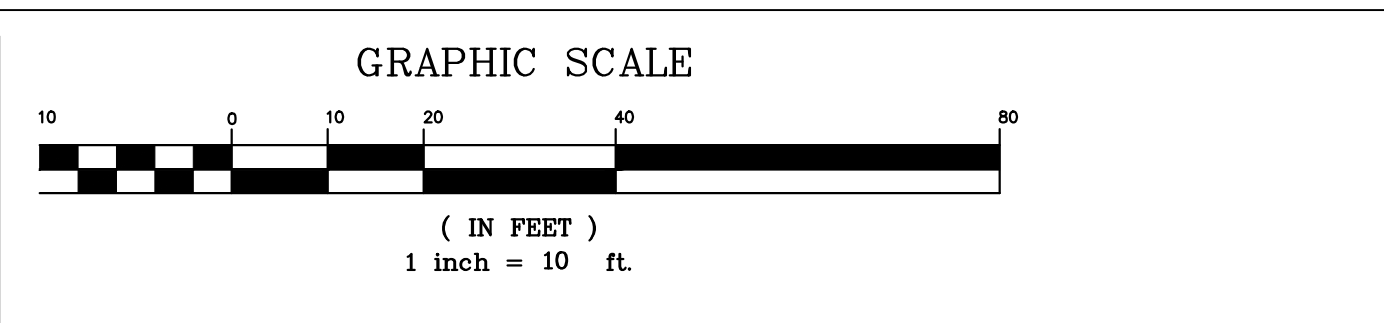
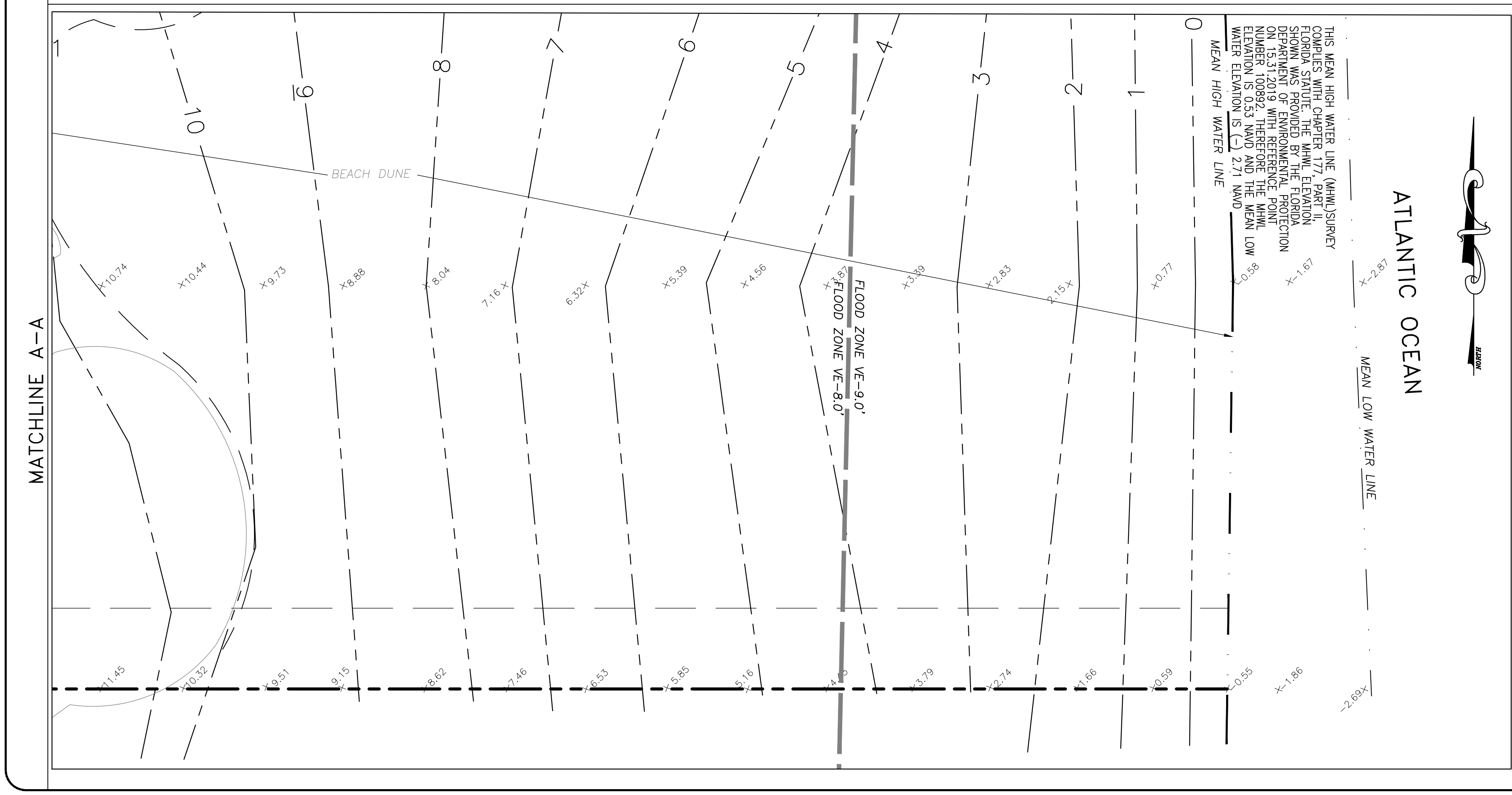
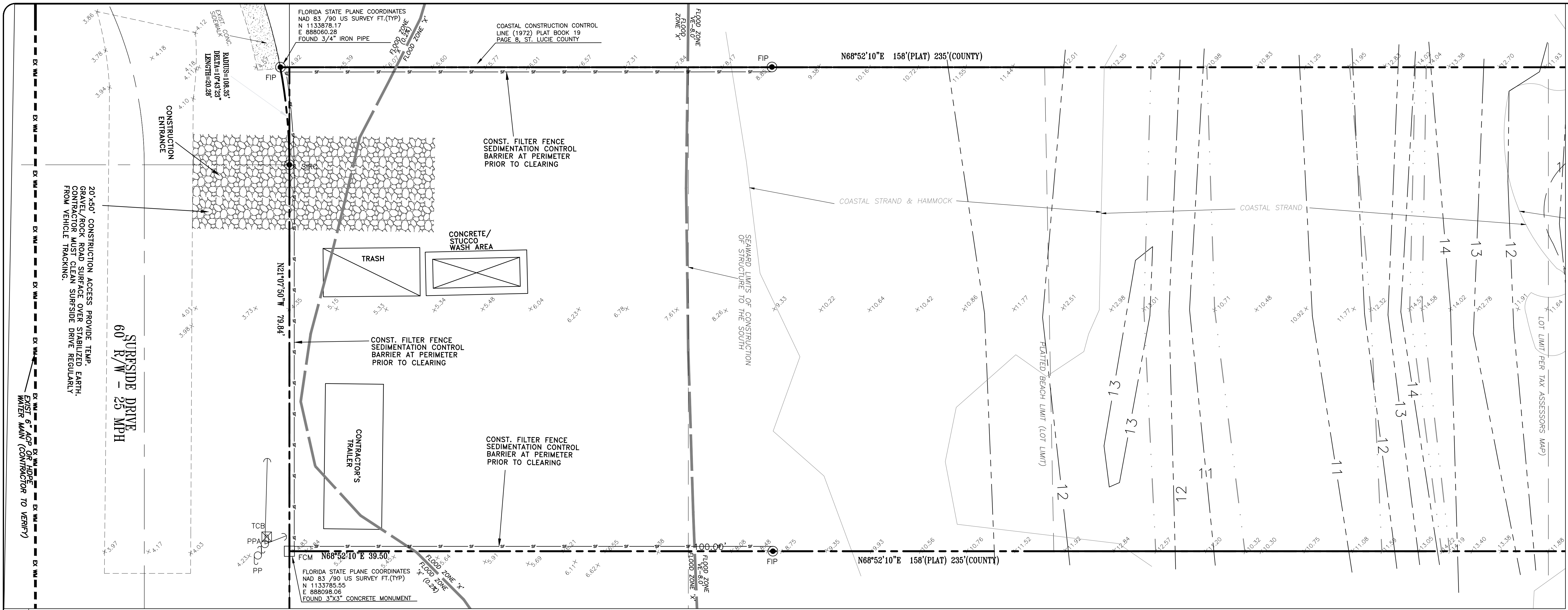
SCHULKE, BITTLE & STODDARD, L.L.C.

CIVIL & STRUCTURAL ENGINEERING • LAND PLANNING • ENVIRONMENTAL PERMITTING

CERTIFICATION OF AUTHORIZATION NO.: 00008668

1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
TEL 772 / 770-9622 FAX 772 / 770-9496 EMAIL info@sbsengineers.com





- EROSION CONTROL NOTES**
1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
 2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
 3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
 6. AFTER ANY SIGNIFICANT RAINFALL (2" OR GREATER) SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
 7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
 8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
 9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
 10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
 12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION.
 14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, IN ADDITION TO THESE PLANS.
 15. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN-OFF OR DEWATERING ACTIVITIES.
 16. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY REQUIREMENTS. POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAYBE NECESSARY AT CONTRACTORS EXPENSE. NOT TO BE POSTED ON SITE.
 17. NO TURBID DISCHARGE, TURBIDITY READINGS ARE REQUIRED ONCE A WEEK AND MUST BE REPORTED TO THE PROJECT ENGINEER.
 18. DEWATERING ACTIVITIES:
 - A. DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
 - B. CONTRACTOR MUST HAVE OR OBTAIN A TRANSFERABLE SJRWMD CONSUMPTIVE USE PERMIT KNOWN AS A "NOTICED GENERAL PERMIT FOR SHORT TERM CONSTRUCTION DEWATERING" UNLESS DEWATERING ACTIVITIES WILL RESULT IN LESS THAN 300,000 GPD FOR 30 DAYS OR LESS.
 - C. NO HYDRAULIC PUMPS MAY BE USED FOR DEWATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA. DEWATERING EXISTING STORMWATER RETENTION AREAS (POND/LAKES) MAY BE EXEMPT FROM THIS CONDITION. CONTRACTOR TO CONFIRM WITH SJRWMD.
 - D. NO TURBID DISCHARGE, TURBIDITY READINGS ARE REQUIRED ONCE A WEEK AND MUST BE REPORTED TO THE PROJECT ENGINEER AND TO CITY OF FT. PIERCE.
 20. SEE ADDITIONAL DETAILS, SPECIFICATIONS AND REQUIREMENTS OF SHEET 4, 11-13.

- STORMWATER POLLUTION PREVENTION PLAN**
- A SITE PLAN MUST BE DEVELOPED AND MUST CONTAIN, AT A MINIMUM, THE FOLLOWING INFORMATION:
1. DRAINAGE PATTERNS - SEE SURVEY AND DRAINAGE PLAN SHEET 3 & 7.
 2. APPROXIMATE SLOPES AFTER MAJOR GRADING ACTIVITIES - SEE SHEET 7.
 3. AREAS OF SOIL DISTURBANCE - SEE SHEETS 2, AND THIS SHEET.
 4. OUTLINE ALL AREAS THAT ARE NOT TO BE DISTURBED - N/A.
 5. LOCATION OF ALL MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS - THIS SHEET.
 6. THE LOCATION OF EXPECTED STABILIZATION PRACTICES - THIS SHEET.
 7. NO WETLANDS AND SURFACE WATERS.
 8. LOCATIONS WHERE STORMWATER MAY DISCHARGE TO A SURFACE WATER OR MS4 - SEE SHEET 7.
- DESCRIBE THE NATURE OF THE CONSTRUCTION ACTIVITY: DEMOLITION, LAND CLEARING, EARTHWORK, PAVING AND UTILITY WORK FOR BUILDING, PARKING AND SITE IMPROVEMENTS.
- DESCRIBE THE INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:
1. SITE PREPARATION AND STABILIZE CONSTRUCTION ENTRANCE.
 2. INSTALL SILT FENCE AROUND PERIMETER OF SITE. INSTALL TURBIDITY BARRIERS AT ALL OUTFALL LOCATIONS. CLEAR LAND. CONSTRUCT BERM ON PERIMETER AND TEMPORARY SWALES AS SHOWN ON PLANS. BERM SHALL BE CONSTRUCTED USING INITIAL IMPORTED FILL MATERIAL. THE BERM AND SWALE SHALL BE SEEDED.
- TOTAL AREA OF THE SITE: 0.94 ACRES
 TOTAL AREA OF THE SITE TO BE DISTURBED: 0.25 ACRES
- EXISTING DATA DESCRIBING THE SOIL OR QUALITY OF ANY STORMWATER DISCHARGE: SEE SOIL BORINGS BY SHEETS 2. NO DISCHARGE FROM DISTURBED AREAS IS ANTICIPATED.
- DRAINAGE AREA SIZE FOR EACH DISCHARGE POINT: ENTIRE SITE = 0.25 ACRES
- LATITUDE AND LONGITUDE OF THE SITE:
 LATITUDE = N 27° 27' 04" N
 LONGITUDE = W 80° 17' 05" W

NOTES:

1. THIS PLAN (SHEETS 4 AND 5), COPY OF FDP NO.1 (STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES) AND ALL REQUIRED INSPECTION REPORTS, TESTS, AND ALL OTHER DOCUMENTATION SHALL BE KEPT AT THE PROJECT SITE.
2. THE FOLLOWING CERTIFICATION SHALL BE COMPLETED BY ALL CONTRACTORS/SUB-CONTRACTORS RESPONSIBLE FOR ANY PORTION OF THE IMPLEMENTATION OF THE S.W.P.P.P.

CERTIFICATION:

I CERTIFY UNDER THE PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

SWPPP DESCRIPTION OF WORK/ RESPONSIBILITY	NAME TITLE	CONTRACTOR OR SUB CONTRACTOR (NAME, ADDRESS, PHONE)	NAME/SIGNATURE TO CERTIFICATION	DATE
			_____ DATE	
			_____ DATE	
			_____ DATE	
			_____ DATE	

REVISION

NO.	DATE	DESCRIPTION

MARK

NO.	DATE	DESCRIPTION

DESIGNED JBB
CHECKED JBB
SCALE 1"=10'
DATE 04/16/21
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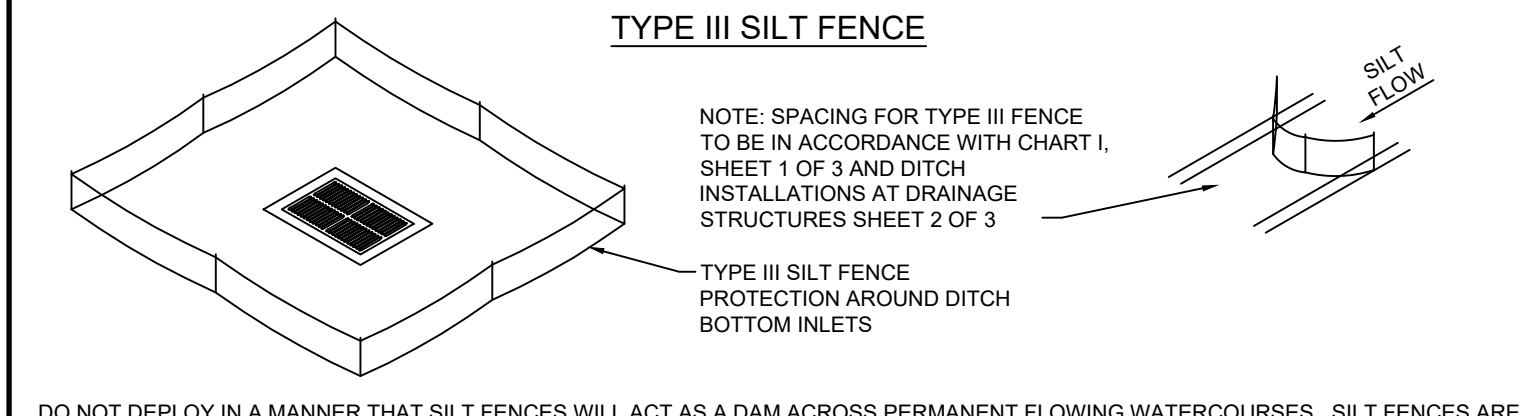
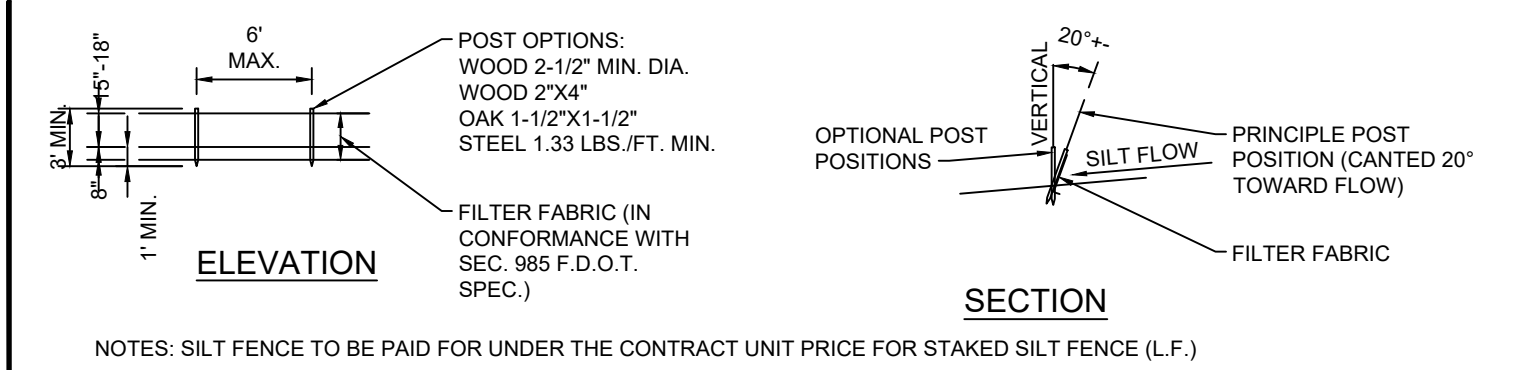
SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 000086668
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 WEBSITE https://www.sbsengineers.com

EXISTING CONDITIONS/ DEMOLITION AND POLLUTION PREVENTION PLAN

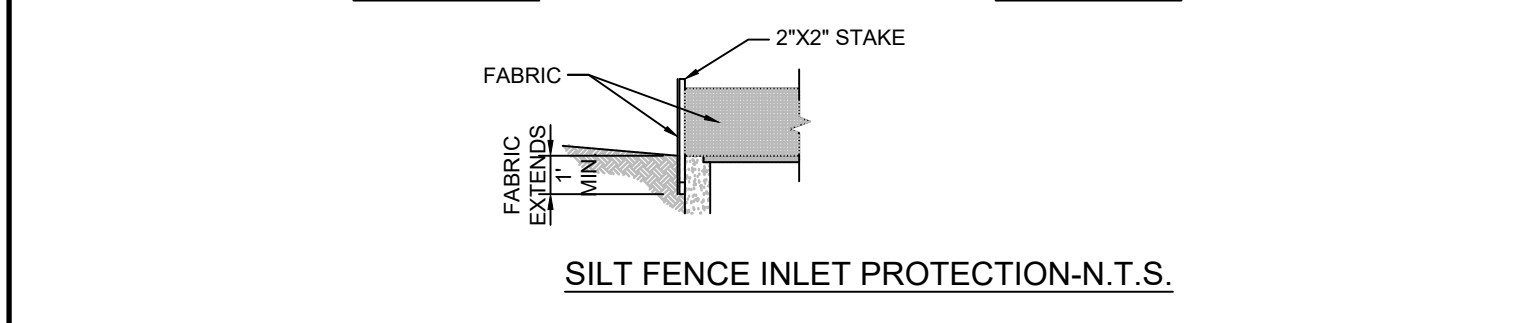
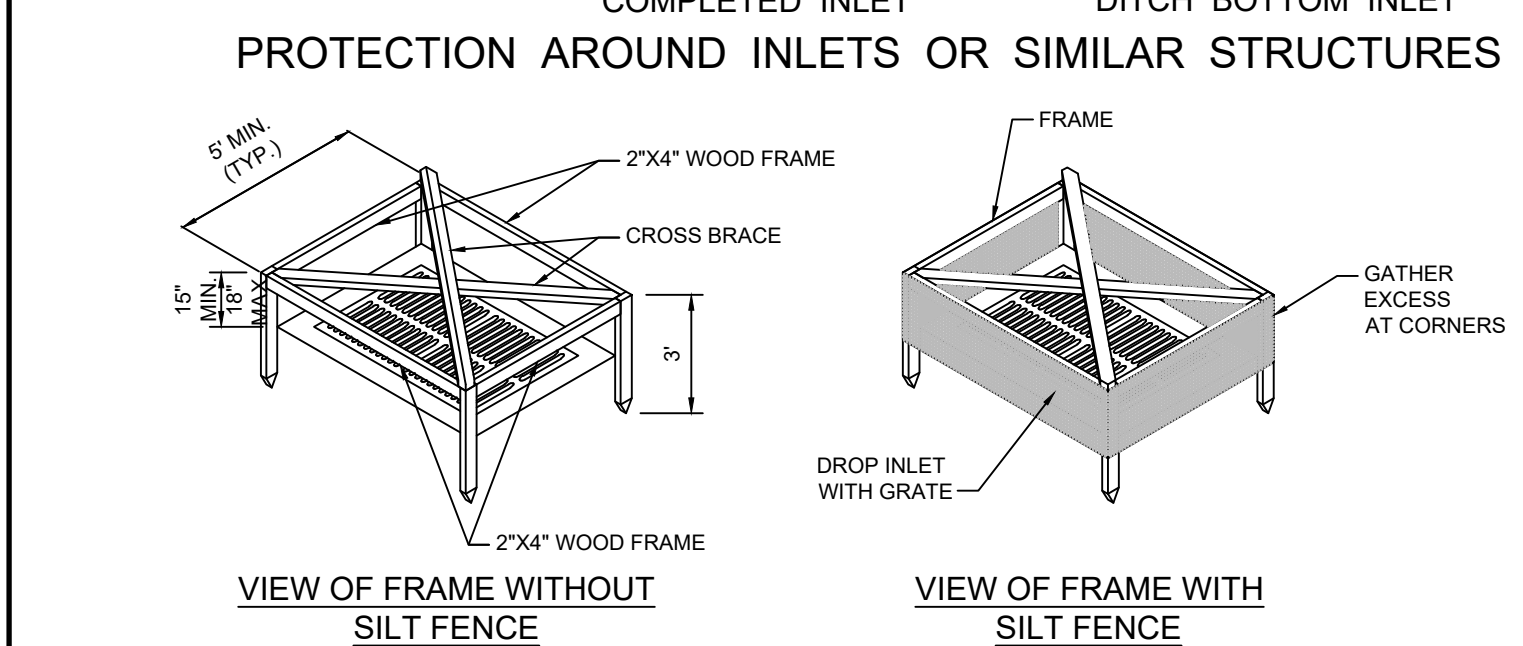
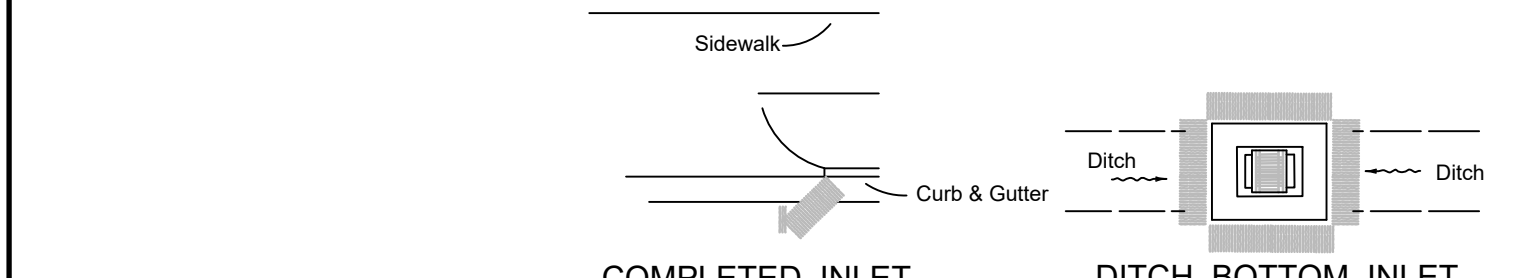
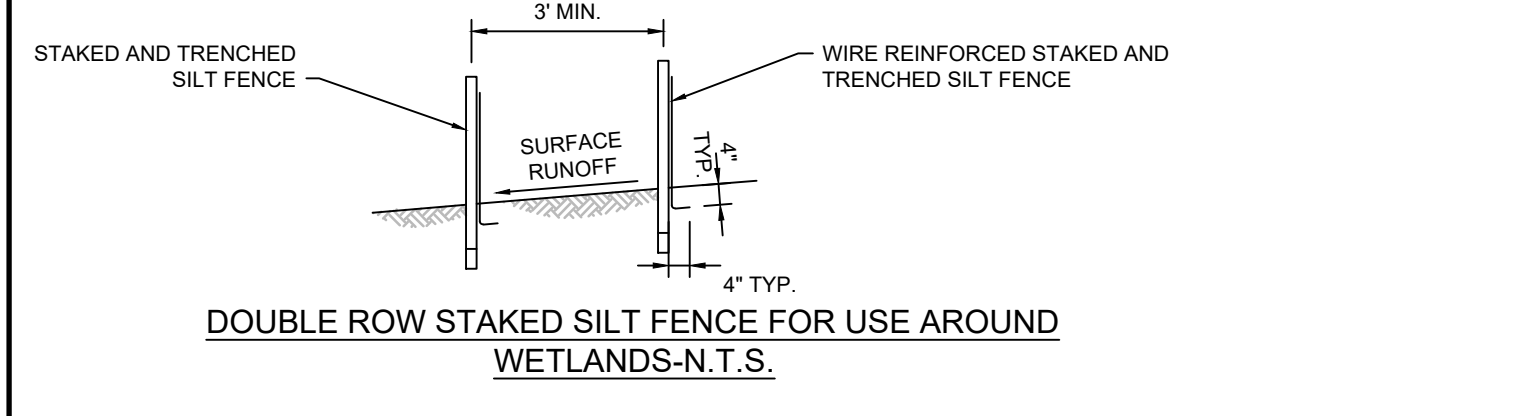
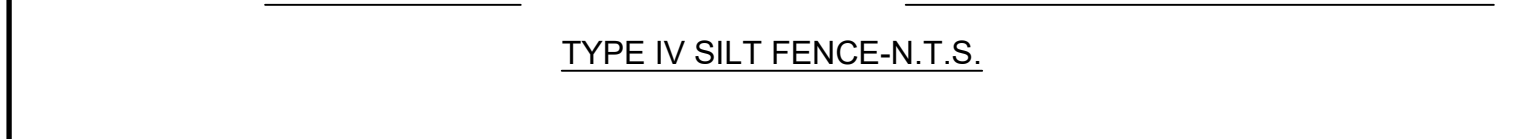
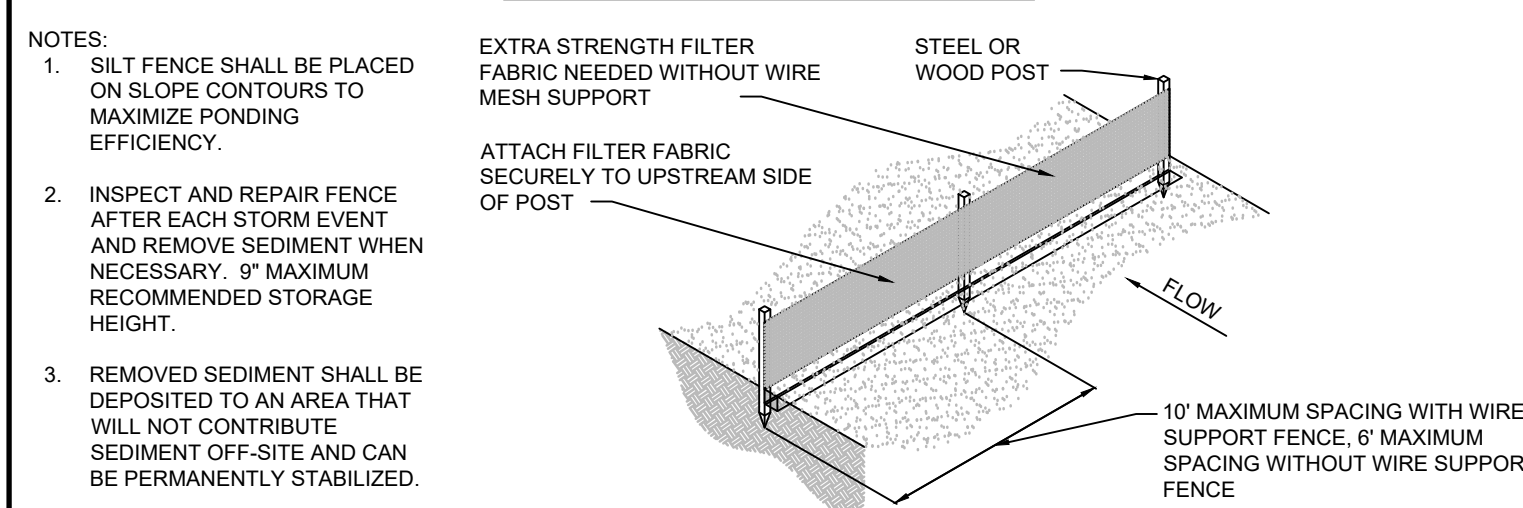
SURFSIDE QUAD PLEX

ENGINEER CERTIFICATION

JUDAH B. BITTLE
 P.L. REG. NO. 57398
 DATE: 4/30/2021
 PROJECT NO. 21-008
 SHEET 2



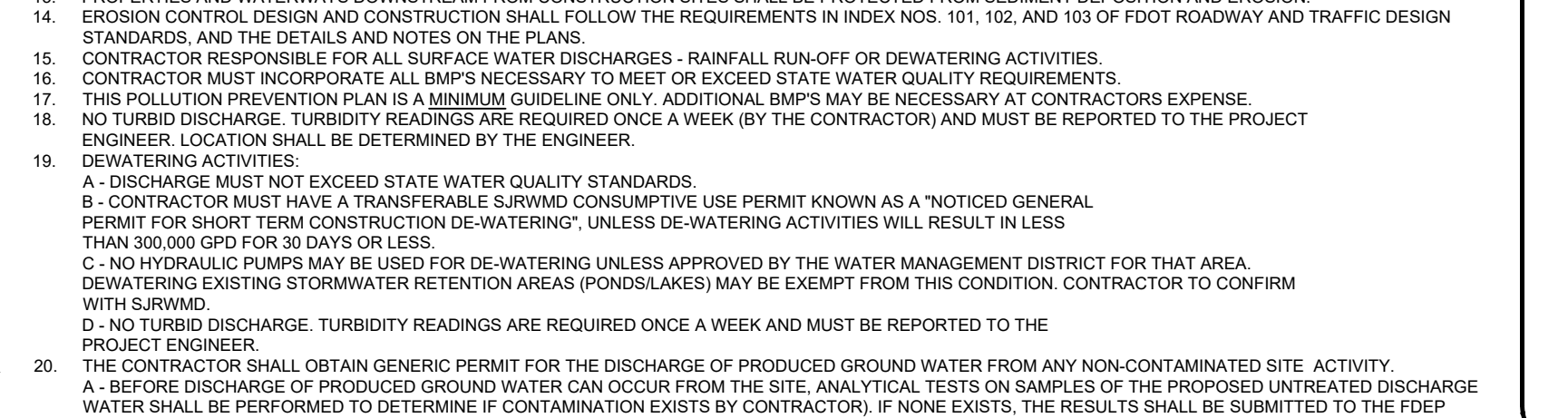
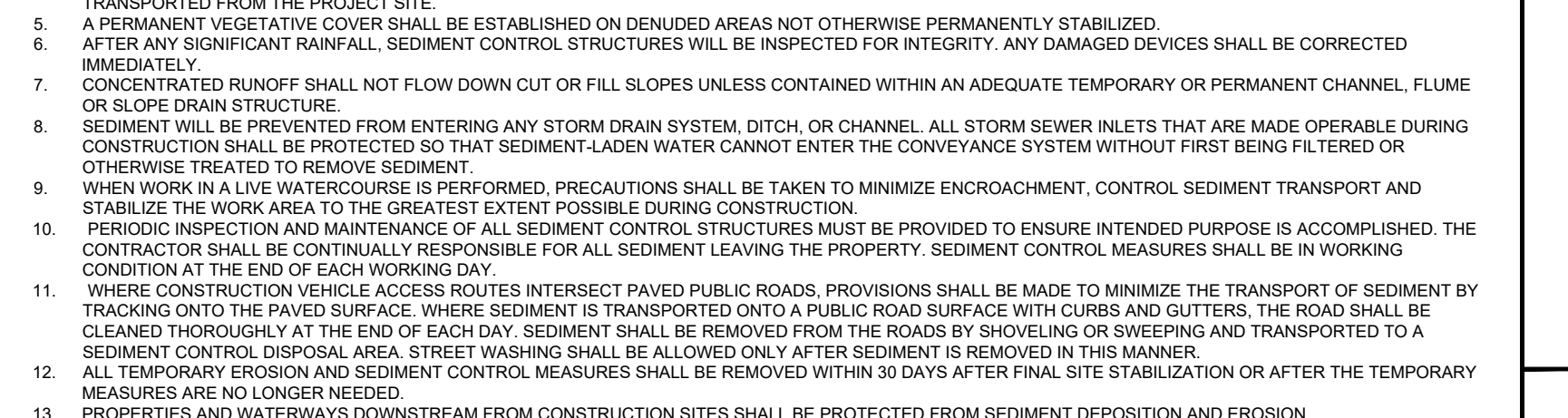
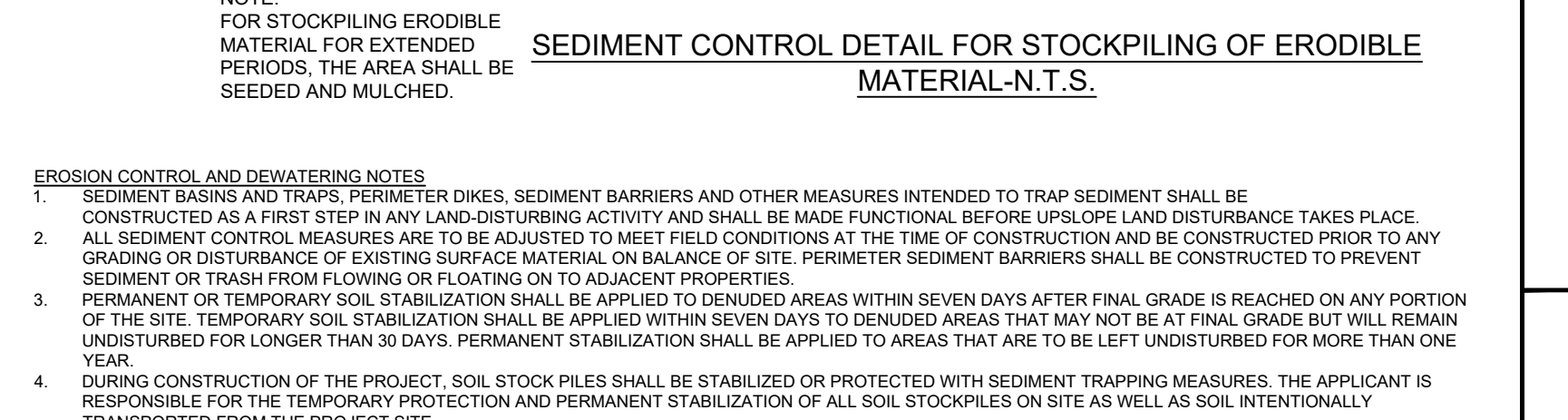
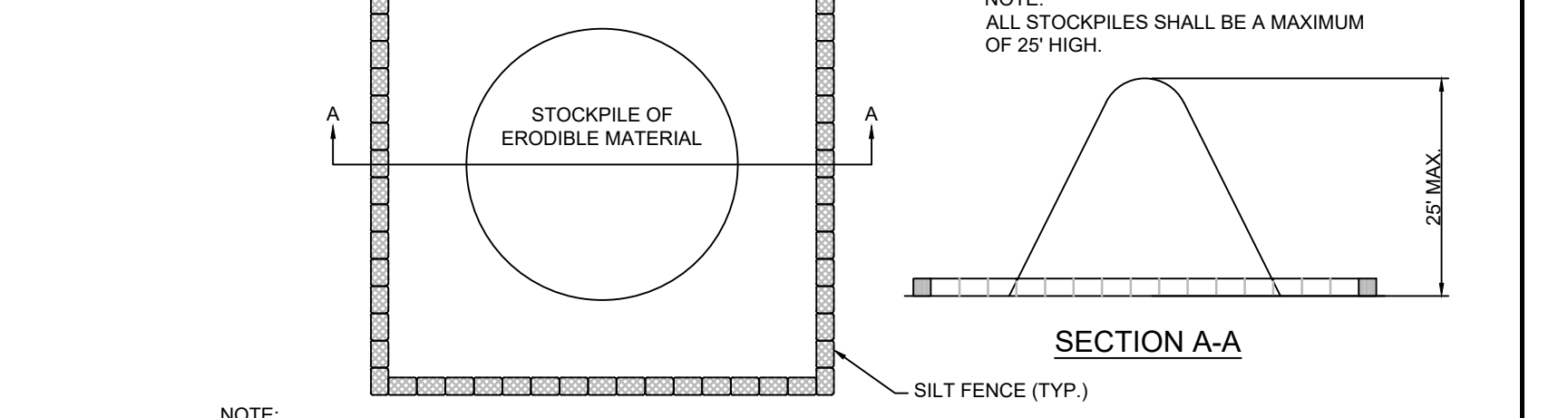
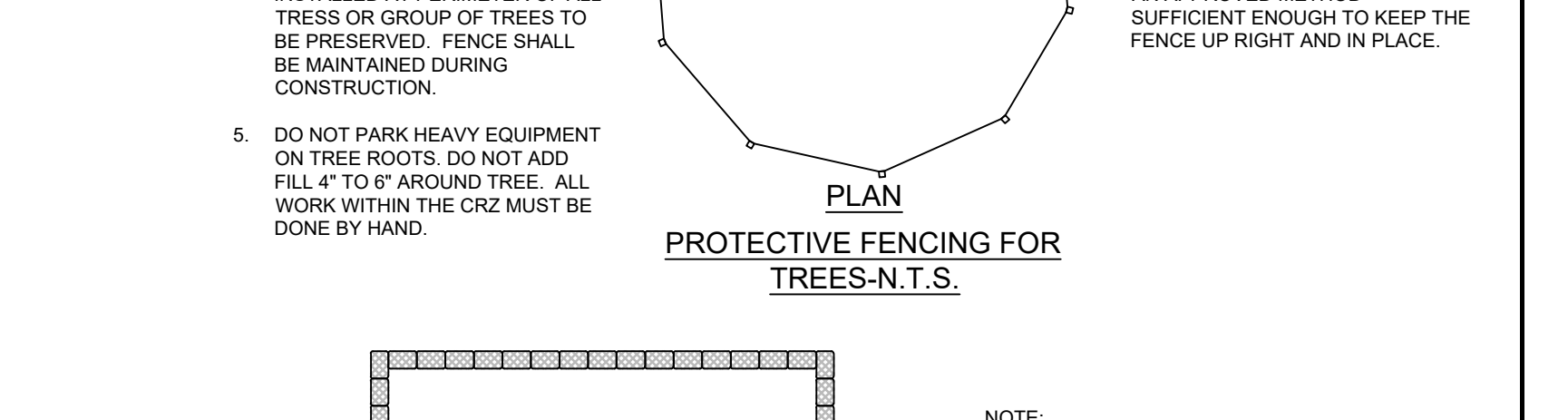
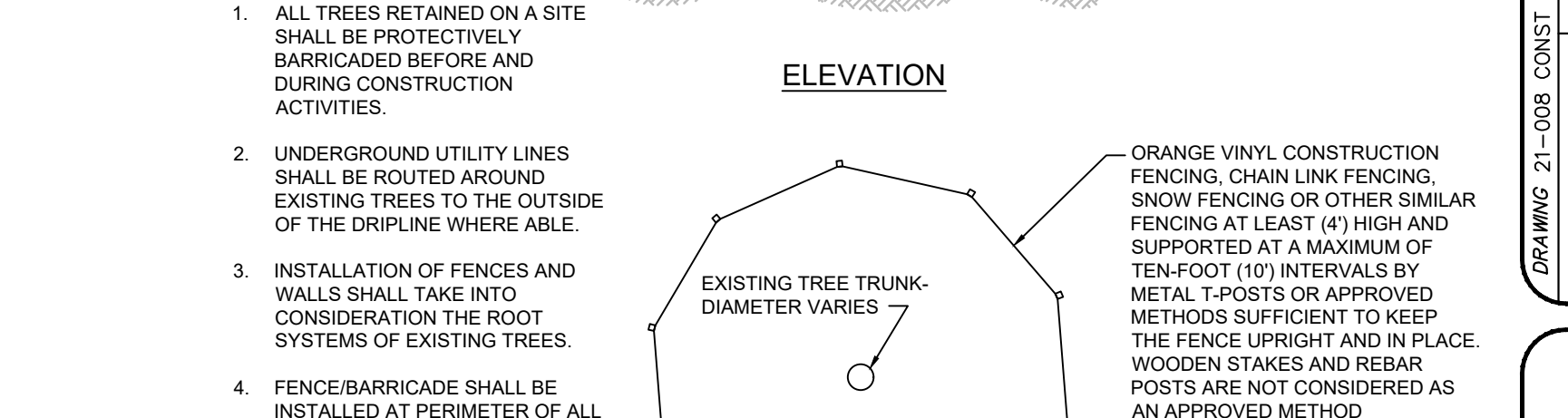
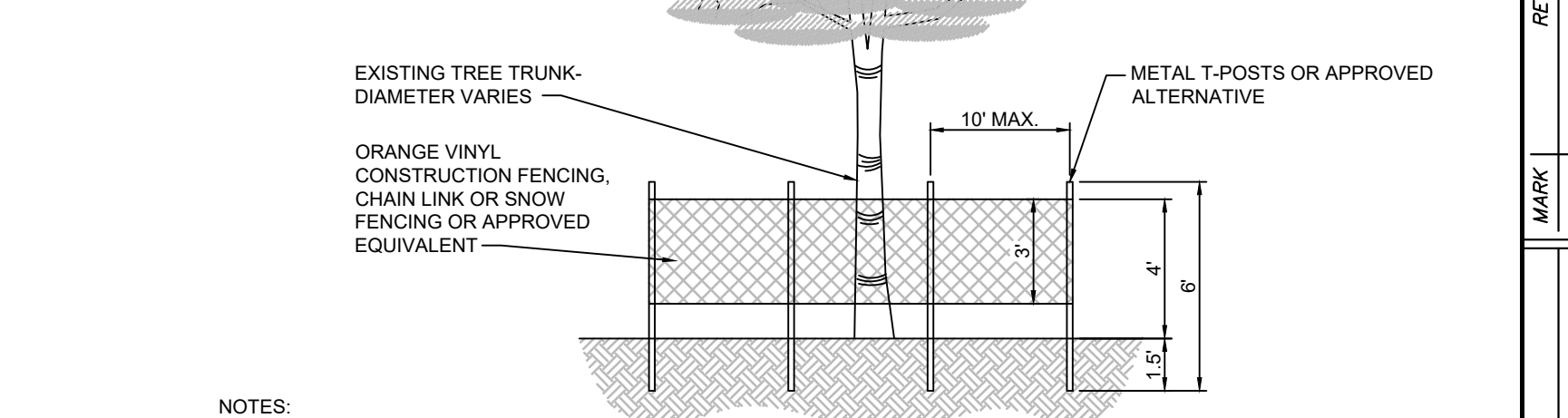
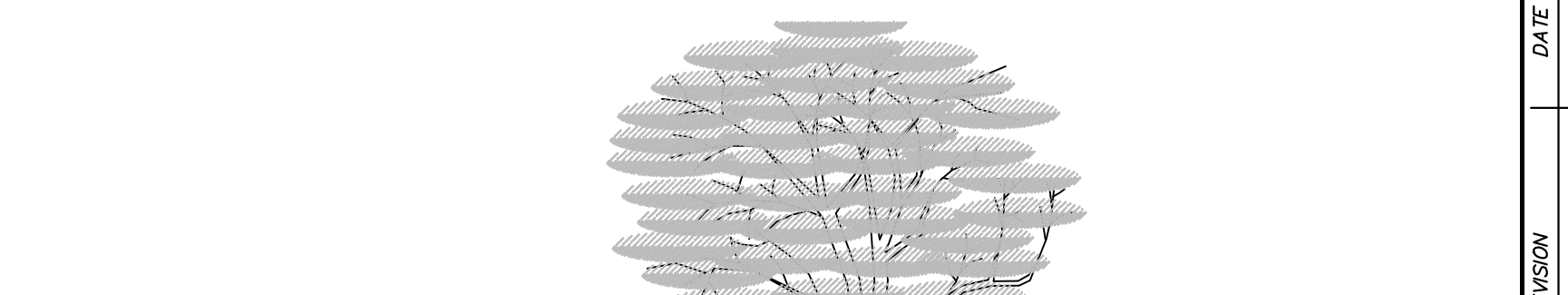
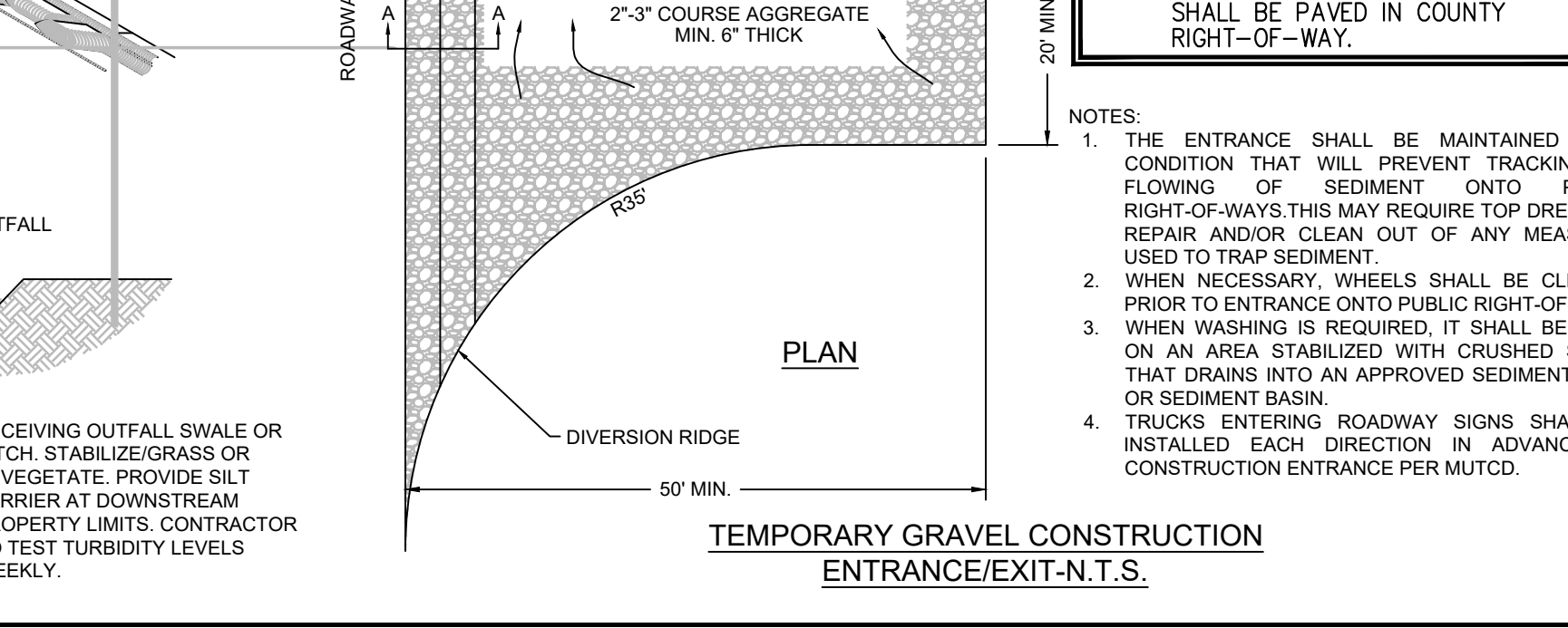
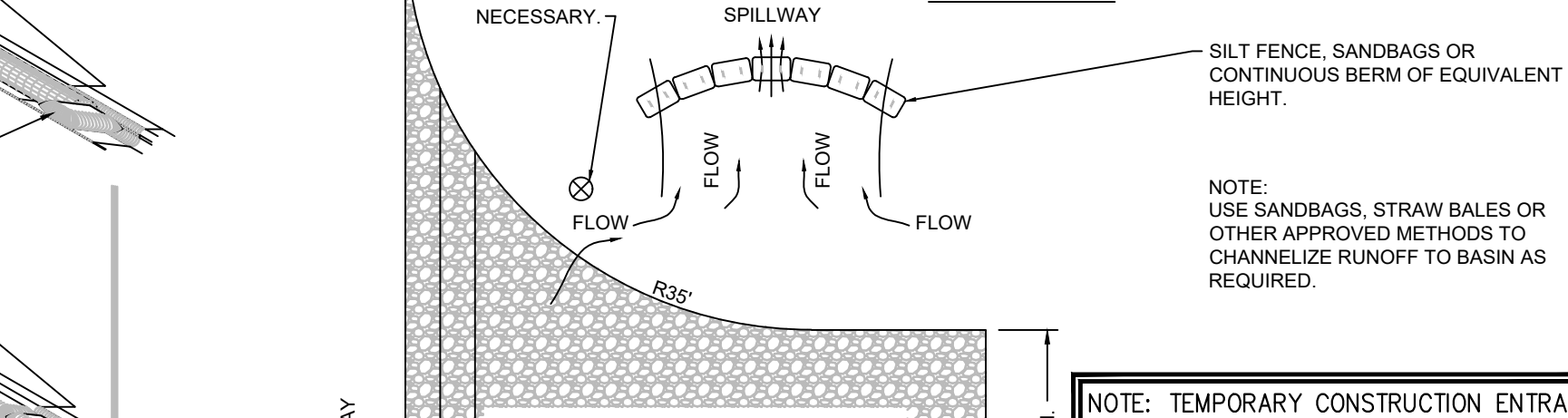
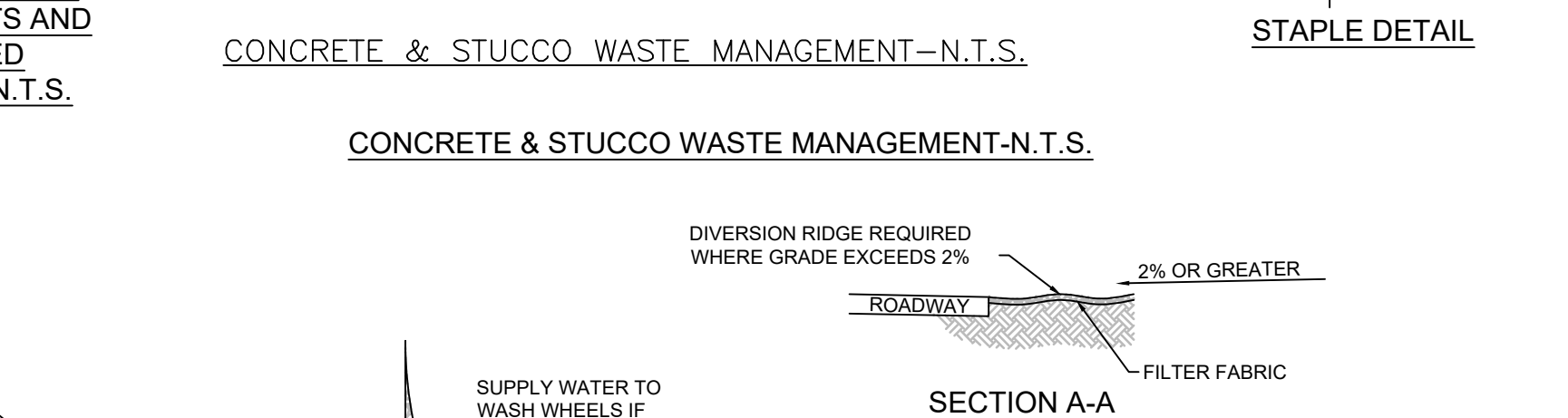
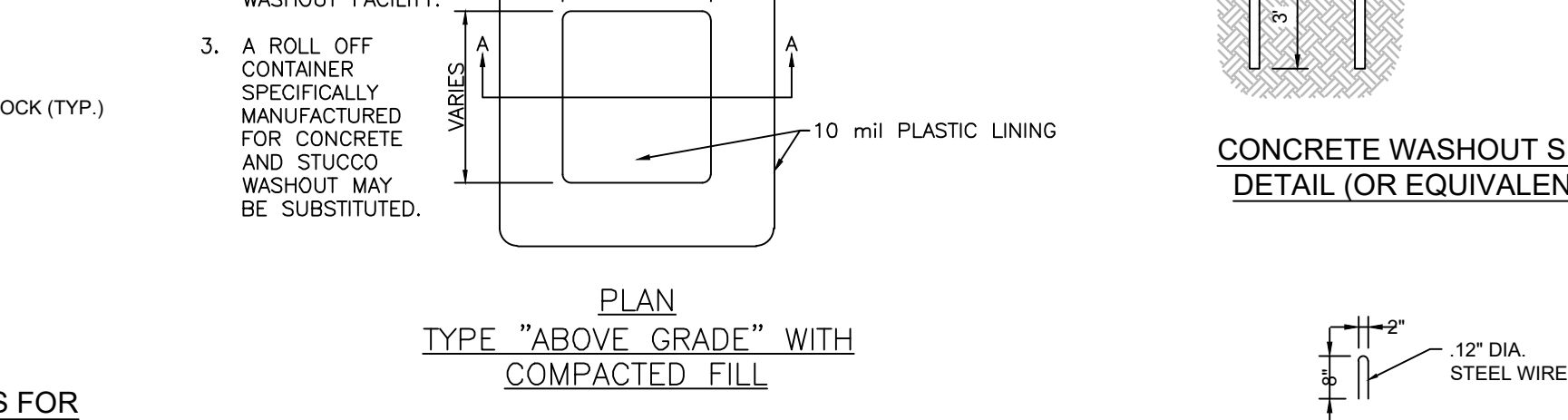
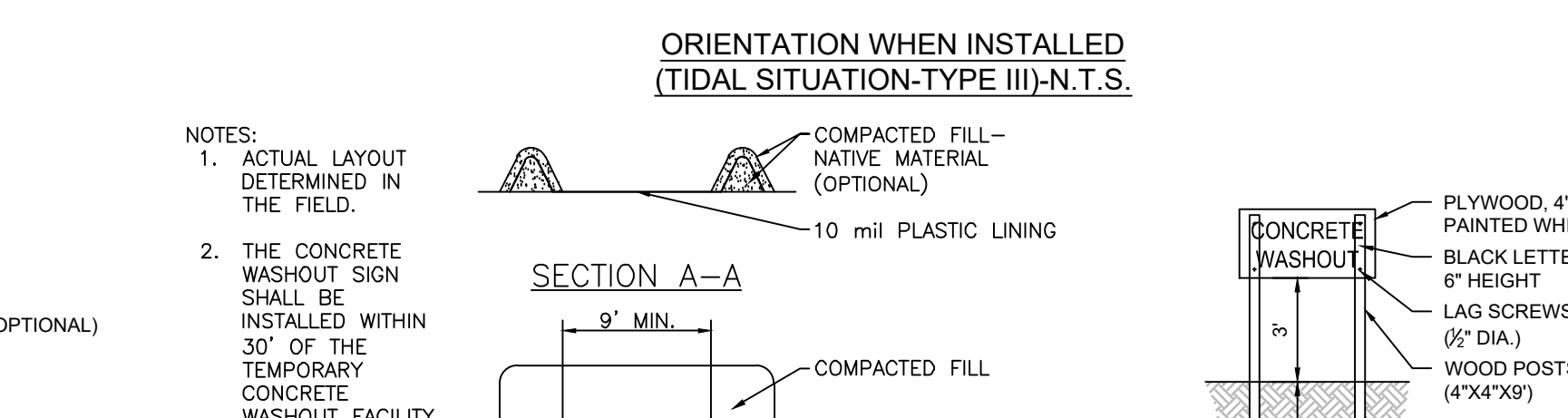
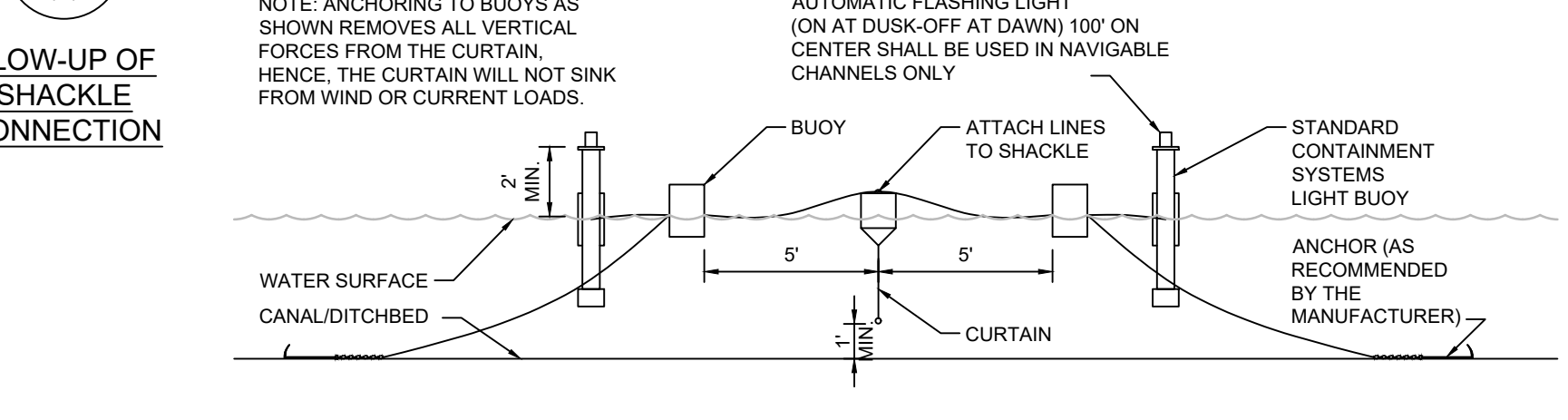
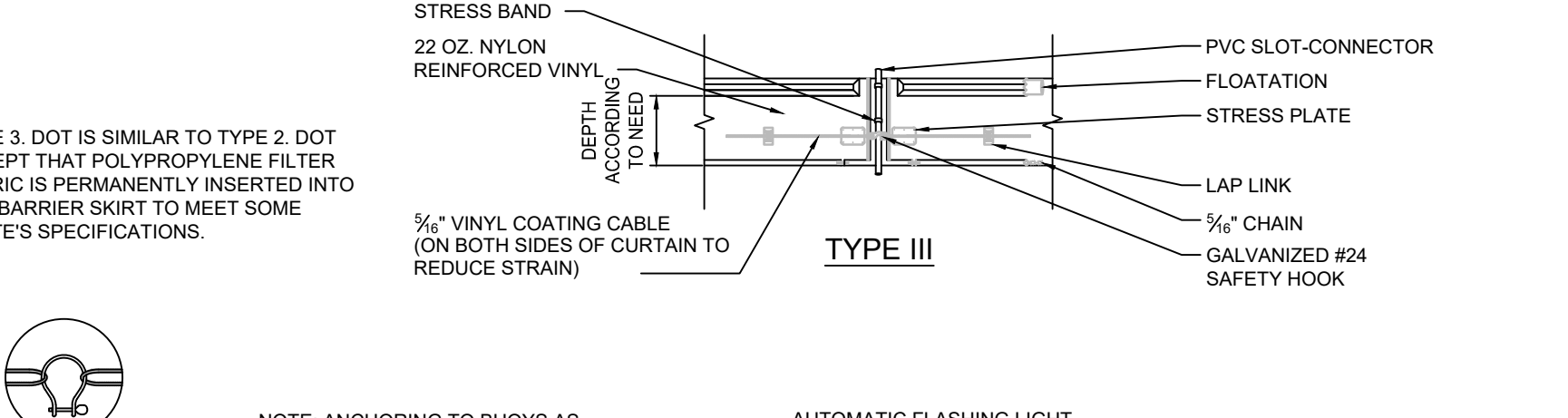
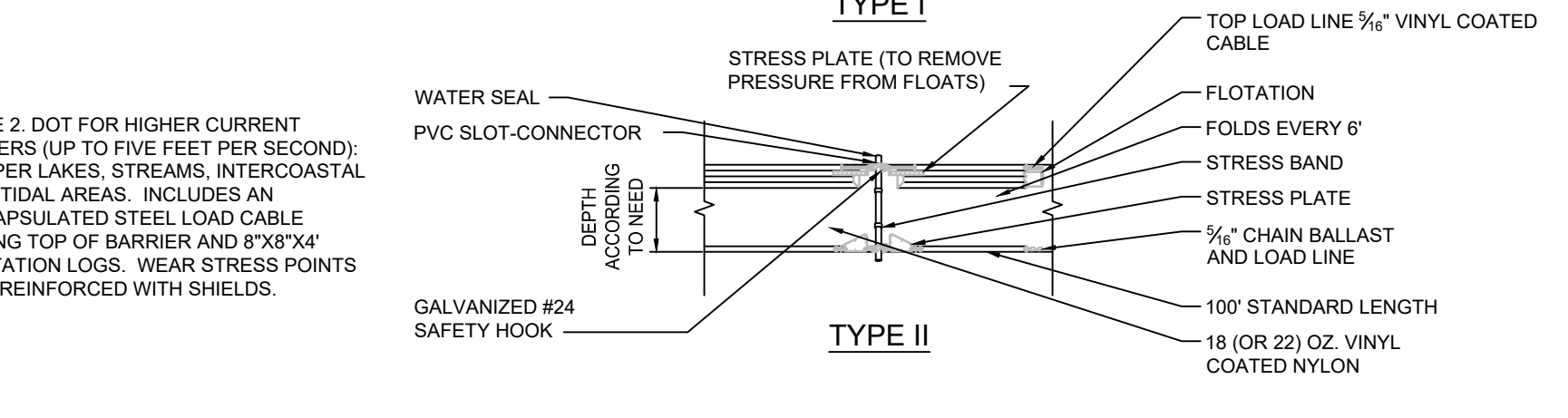
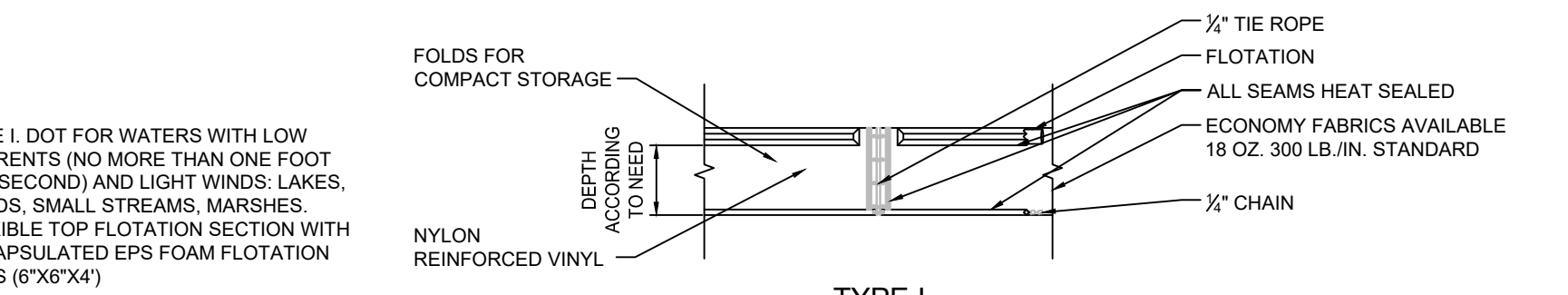
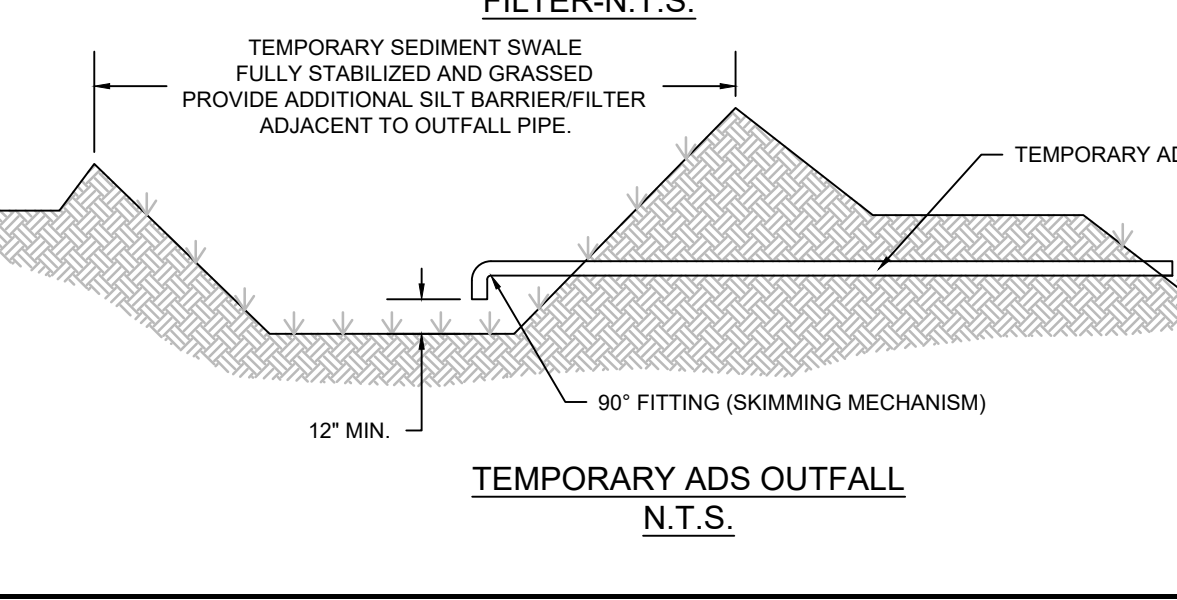
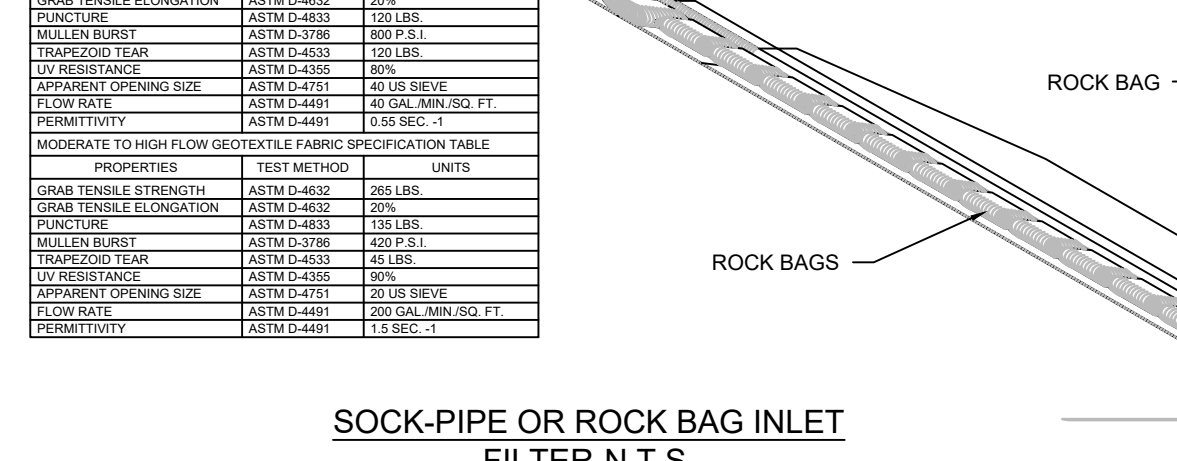
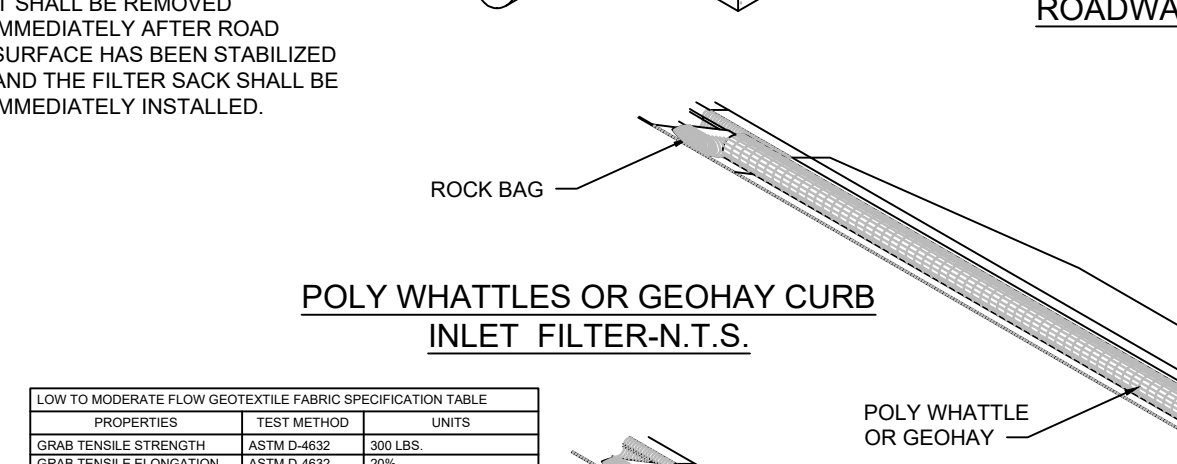
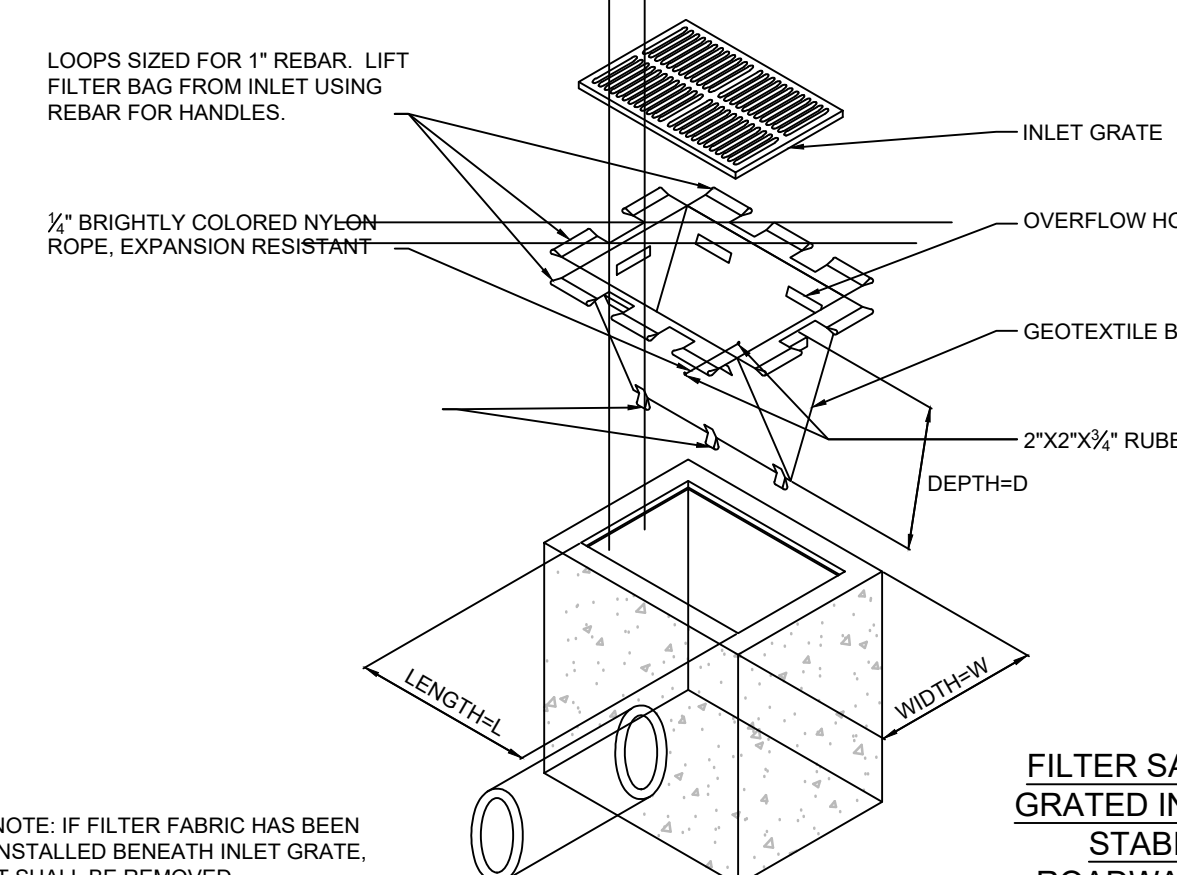
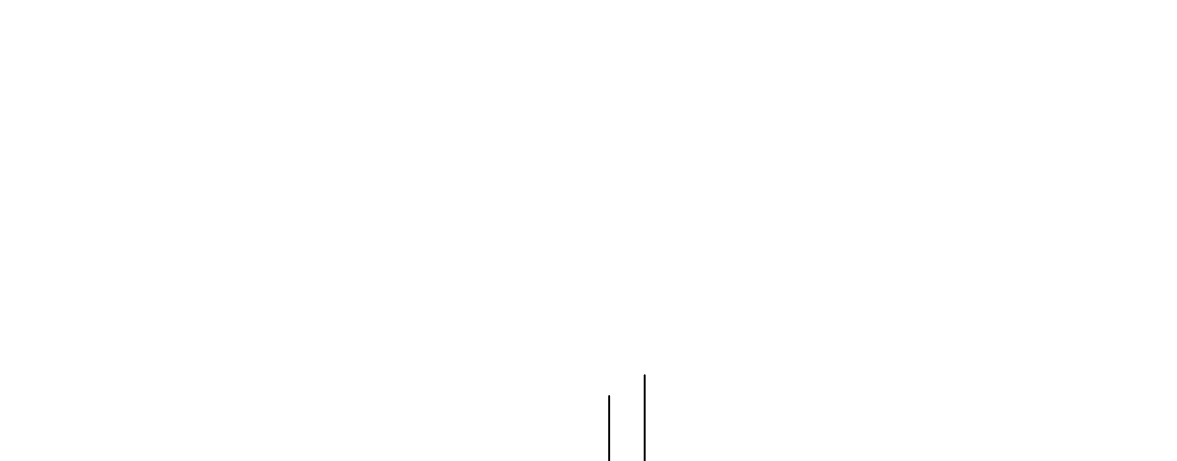
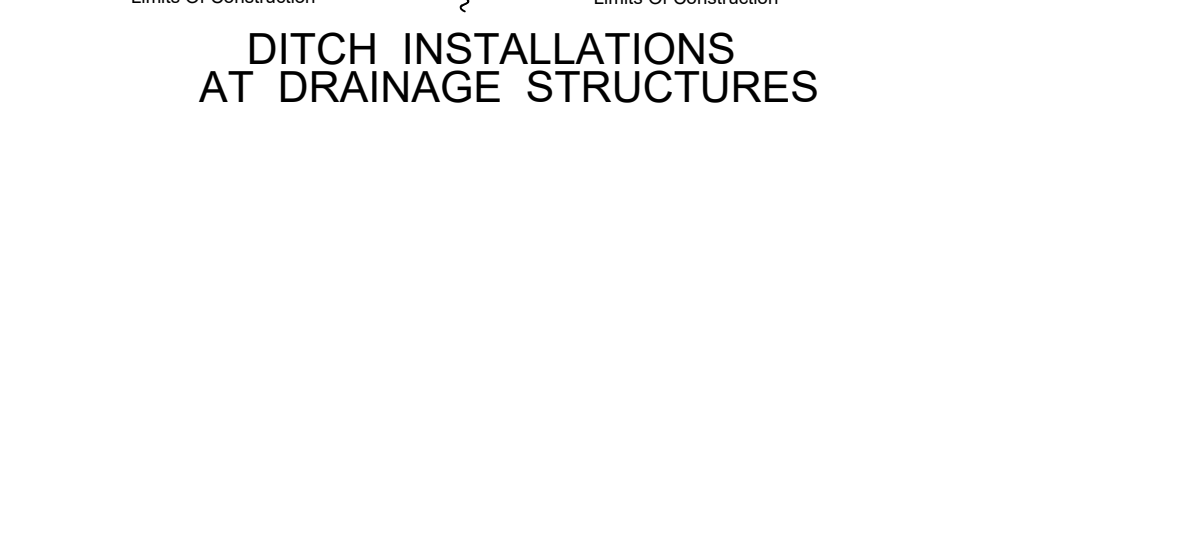
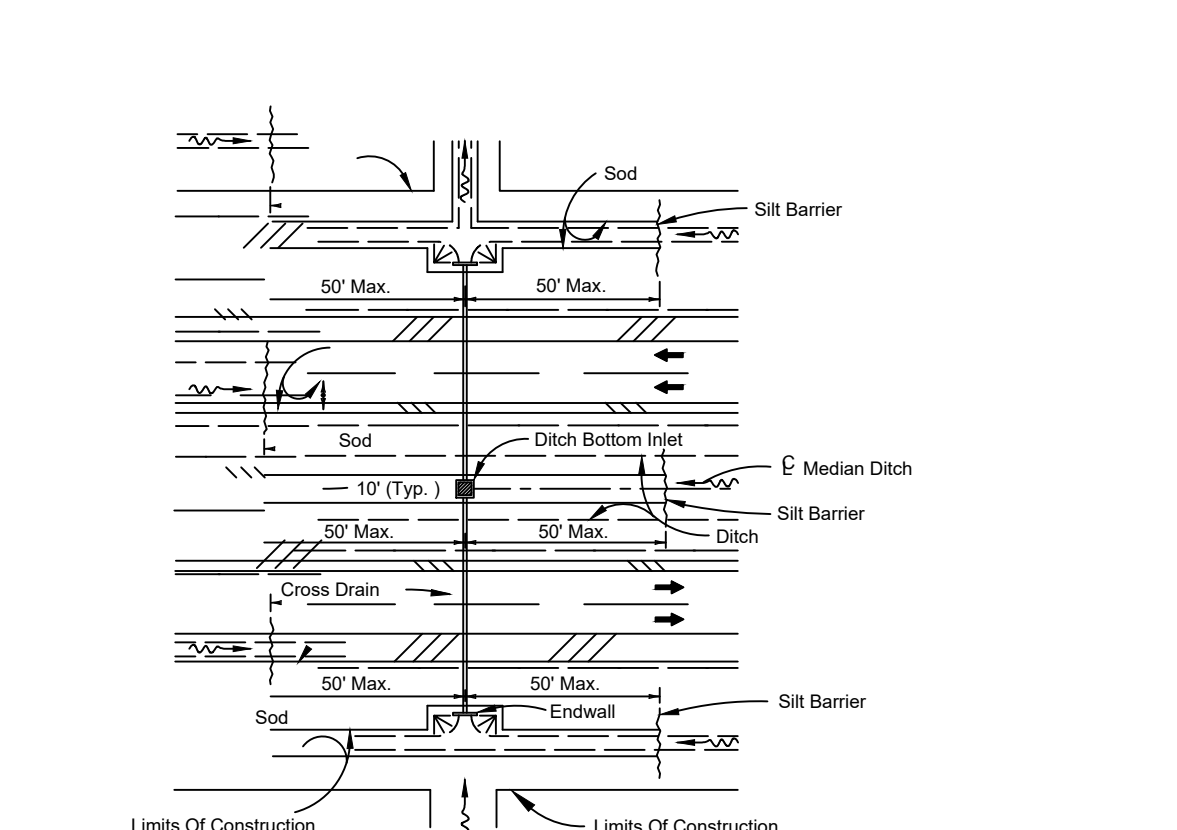
DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



- All turbidity, erosion, and sedimentation controls shall be in accordance with 'Best Management Practices' as described in the Florida Land Development Manual: A Guide to Sound Land and Water Management.
- Reference F.D.O.T. Index #102.

EROSION CONTROL DETAILS
N.T.S.

NOTES:
WETLAND PROTECTION PLAN
a. SILT FENCE MUST BE INSTALLED BY HAND ALONG SURVEYED CONSERVATION EASEMENT BOUNDARIES (AT TOE OF SLOPE-SEE SECTIONS EE, (I,O) PRIOR TO CONSTRUCTION.
b. NO TURBID DISCHARGE TO WETLANDS IS PERMITTED.
c. ALL STOCKPILE AND/OR CONSTRUCTION STAGING AREAS MUST BE LOCATED 100 FT. FROM WETLANDS.



EROSION CONTROL AND DEWATERING NOTES

- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPLAND LAND DISTURBANCE TAKES PLACE.
- ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. ON BALANCE OF SITE, PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
- AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.
- SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAIN SYSTEM, DITCH, OR CHANNEL. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT. CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION.
- EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NOS. 101, 102, AND 103 OF FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, AND THE DETAILS AND NOTES ON THE PLANS.
- CONTRACTOR RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES - RAINFALL RUN-OFF OR DEWATERING ACTIVITIES.
- CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY REQUIREMENTS.
- THIS POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTORS EXPENSE.
- NO TURBID DISCHARGE. TURBIDITY READINGS ARE REQUIRED ONCE A WEEK (BY THE CONTRACTOR) AND MUST BE REPORTED TO THE PROJECT ENGINEER. LOCATION SHALL BE DETERMINED BY THE ENGINEER.
- DEWATERING ACTIVITIES:
A - DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
B - CONTRACTOR MUST HAVE A TRANSFERABLE S/R/MD CONSUMPTIVE USE PERMIT KNOWN AS A "NOTICED GENERAL PERMIT FOR SHORT TERM CONSTRUCTION DEWATERING" UNLESS DEWATERING ACTIVITIES WILL RESULT IN LESS THAN 300,000 GPD FOR 30 DAYS OR LESS.
C - NO HYDRAULIC PUMPS MAY BE USED FOR DE-WATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA. DEWATERING EXISTING STORMWATER RETENTION AREAS (POND/LAKES) MAY BE EXEMPT FROM THIS CONDITION. CONTRACTOR TO CONFIRM WITH S/R/MD.
D - NO TURBID DISCHARGE. TURBIDITY READINGS ARE REQUIRED ONCE A WEEK AND MUST BE REPORTED TO THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL OBTAIN A STATE OF FLORIDA GENERAL PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY. A - BEFORE DISCHARGE OF PRODUCED GROUND WATER CAN OCCUR FROM THE SITE. ANALYTICAL TESTS ON SAMPLES OF THE PROPOSED UNTREATED DISCHARGE WATER SHALL BE PERFORMED TO DETERMINE IF CONTAMINATION EXISTS BY CONTRACTOR. IF NONE EXISTS, THE RESULTS SHALL BE SUBMITTED TO THE DEP INDUSTRIAL WASTEWATER PERMITTING WITHIN ONE WEEK OF COMMENCEMENT OF DISCHARGE (C.O. ALI KAZI, P.E., 3319 MAGUIRE BLVD. SUITE 232, ORLANDO, FL 32803), WITH A LETTER NOTIFYING THE AGENCY THAT DEWATERING ACTIVITIES WILL COMMENCE PURSUANT TO 62G21-300(2) F.A.C. AND THE SITE QUALIFIES FOR THE GENERAL PERMIT.
B - THE FACILITY IS AUTHORIZED TO DISCHARGE PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY WHICH DISCHARGES BY A POINT SOURCE TO SURFACE WATERS OF THE STATE AS DEFINED IN CHAPTER62-620, F.A.C., ONLY IF THE REPORTED VALUES FOR THE PARAMETERS LISTED IN TABLE 1 DO NOT EXCEED ANY OF THE LISTED SCREENING VALUES.
C - MINIMUM REPORTING REQUIREMENTS FOR ALL PRODUCED GROUND WATER DISCHARGES: THE EFFLUENT SHALL BE SAMPLED (BY CONTRACTOR) BEFORE THE COMMENCEMENT OF DISCHARGE, AND THEN EVERY SIX (6) MONTHS FOR THE LIFE OF THE PROJECT TO MAINTAIN CONTINUED COVERAGE UNDER THIS GENERAL PERMIT. SAMPLES TAKEN IN COMPLIANCE WITH THE PROVISIONS OF THIS PERMIT SHALL BE TAKEN PRIOR TO ACTUAL DISCHARGE OR MIXING WITH THE RECEIVING WATERS. THE EFFLUENT SHALL BE SAMPLED FOR THE PARAMETERS LISTED ON TABLE 1.
D - IF ANY OF THE ANALYTICAL TEST RESULTS EXCEED THE SCREENING VALUES LISTED IN TABLE 1, EXCEPT TOC, THE DISCHARGE IS NOT AUTHORIZED BY THIS PERMIT. IF T.O.C. IS EXCEEDED BECAUSE OF NATURALLY OCCURRING ORGANIC COMPOUNDS, THE RESULT AND EXPLANATION FOR THE HIGH READING MUST BE SUBMITTED TO THE DEP FOR REVIEW AND ISSUANCE OF AN EXEMPTION.
E - IF ANY SCREENING VALUES (OTHER THAN TOC) EXCEED THE THRESHOLDS, THEN A GENERAL PERMIT CANNOT BE ISSUED, AND A SEPARATE INDIVIDUAL WASTEWATER PERMIT APPLICATION MUST BE SUBMITTED AT LEAST 90 DAYS PRIOR TO DATE OF DISCHARGE. THE ENGINEER OF RECORD MUST BE NOTIFIED IF THIS OCCURS.
F - THE CONTRACTOR SHALL OBTAIN A STATE OF FLORIDA GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, AND SHALL ADHERE TO ALL CONDITIONS OF THE PERMIT, INCLUDING INSPECTIONS, REPORTING RECORD KEEPING AND CERTIFICATIONS.

Parameter	Fresh Waters	Coastal Waters
Total Organic Carbon (TOC)	10.0 mg/L	10.0 mg/L
251 Standard Units	0.025	0.025
Total Recoverable Mercury	0.012 µg/L	0.025 µg/L
Total Recoverable Cadmium	0.3 µg/L	0.3 µg/L
Total Recoverable Copper	2.0 µg/L	2.0 µg/L
Total Recoverable Lead	0.03 mg/L	0.03 mg/L
Total Recoverable Zinc	66.6 µg/L	60.0 µg/L
Total Recoverable Chromium (Hex)	11.0 µg/L	50.0 µg/L
Benzo(a)pyrene	1.0 µg/L	1.0 µg/L
Naphthalene	100.0 µg/L	100.0 µg/L

DATE	REVISION

MARK	DRAWN	JOB

DESIGNED	CHECKED	DATE
		04/16/21

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 00009668
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772-770-9622 FAX 772-770-9496 EMAIL jlbittle@sbsengineers.com
 WEBSITE https://www.sbsengineers.com

STORMWATER POLLUTION PREVENTION DETAILS

SURFSIDE QUAD PLEX

ENGINEER CERTIFICATION
 JOAH B. BITTLE
 No 57398
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 PROJECT NO. 21-008 SHEET 3

SPECIFICATIONS - CLEARING/GRADING/PAVING/DRAINAGE/UTILITY CONSTRUCTION
GENERAL
AS NOTED THAT THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISIONS, BE USED WHERE APPLICABLE FOR ROAD WORK...

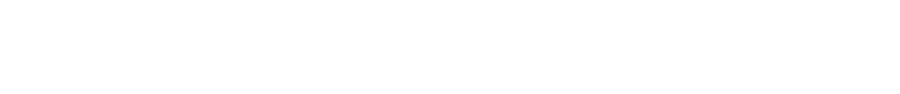
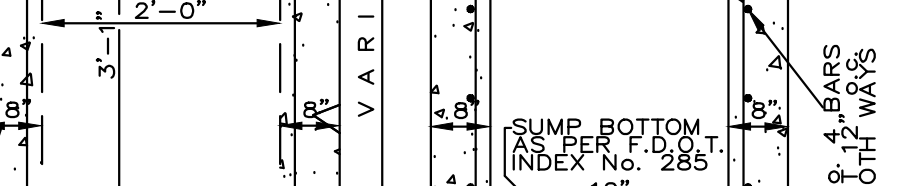
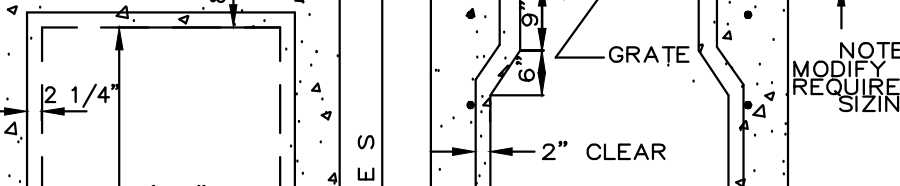
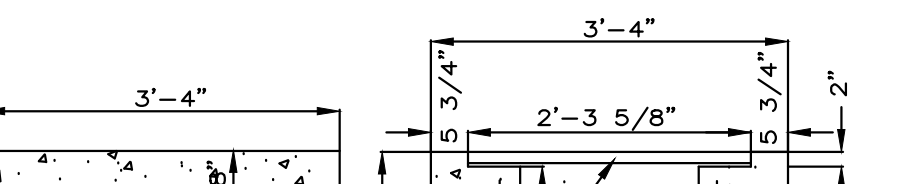
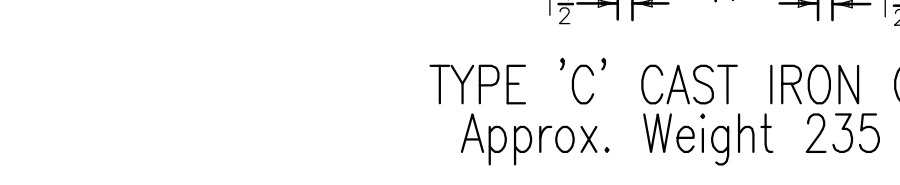
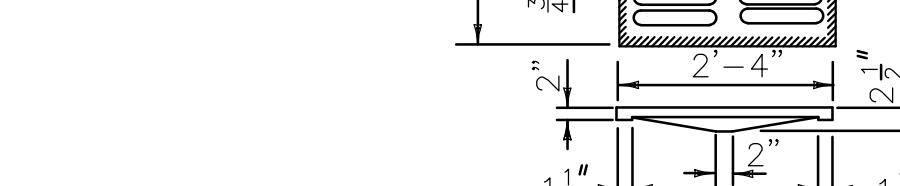
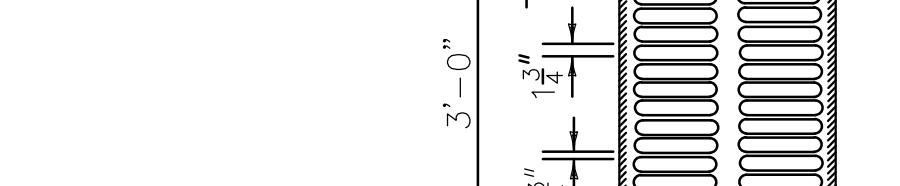
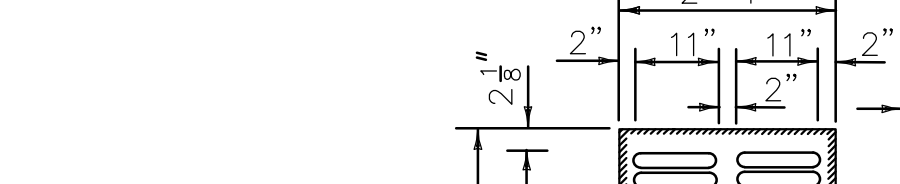
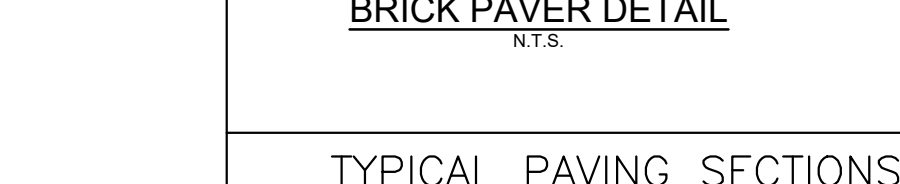
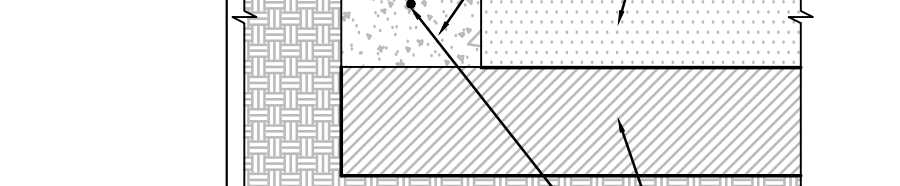
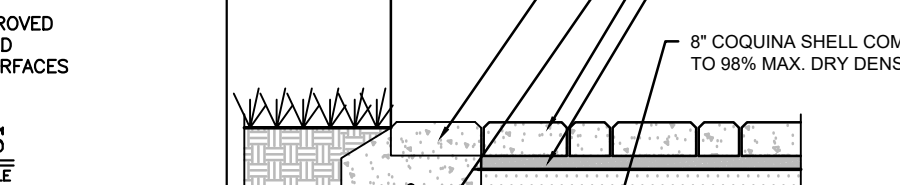
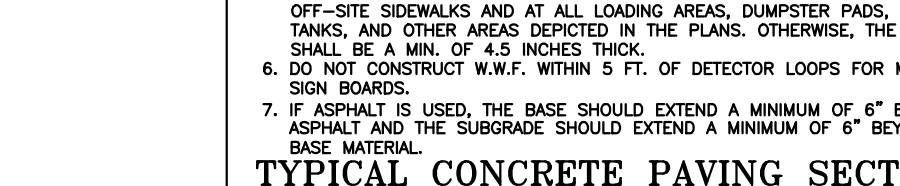
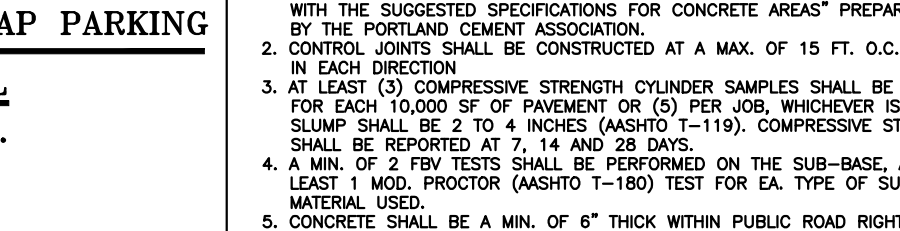
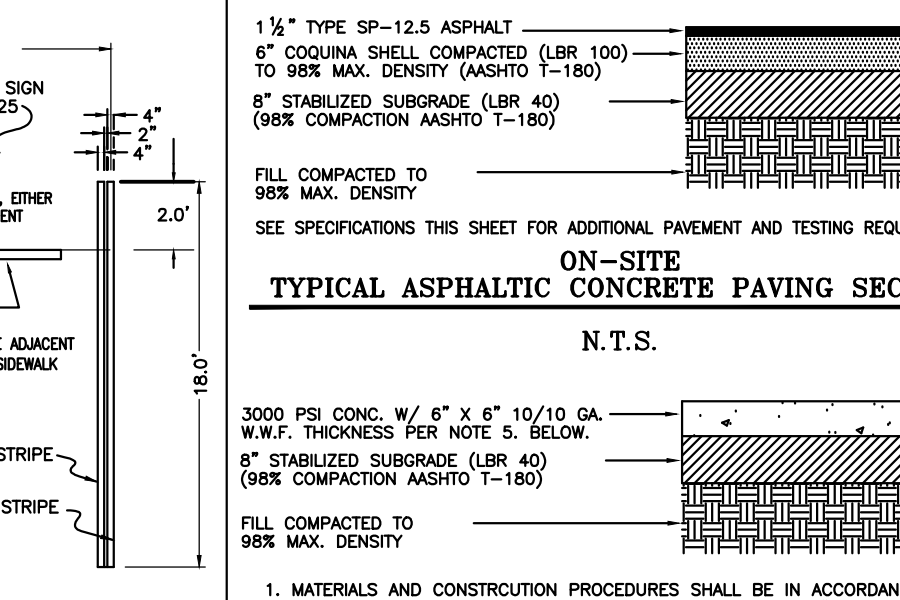
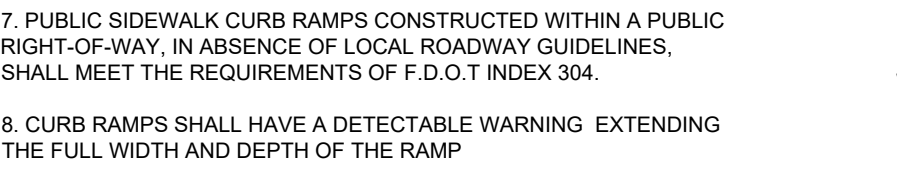
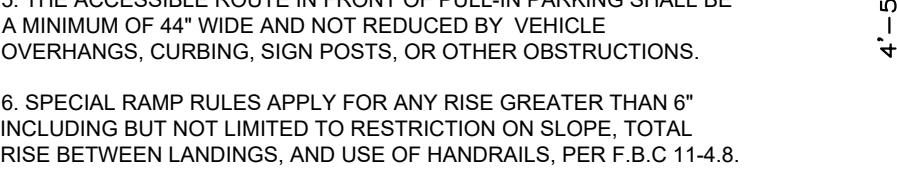
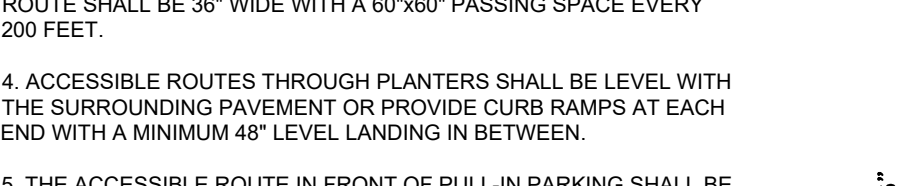
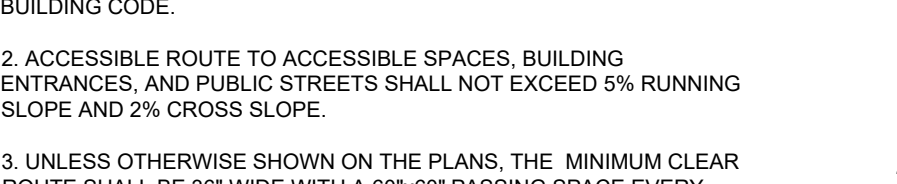
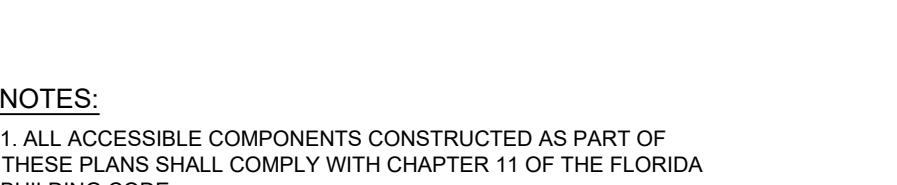
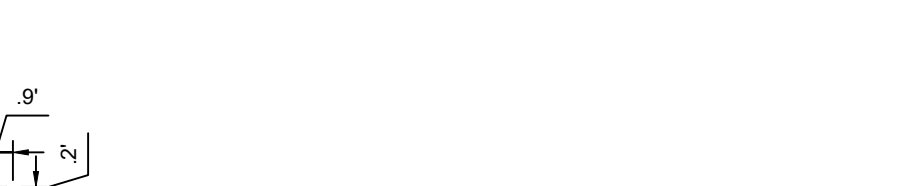
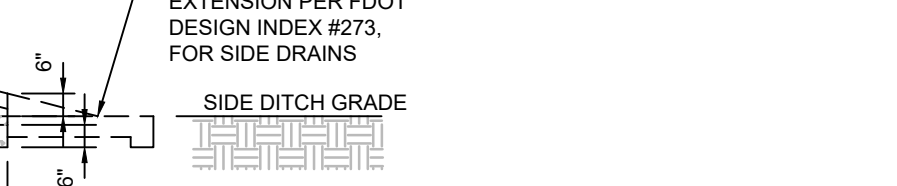
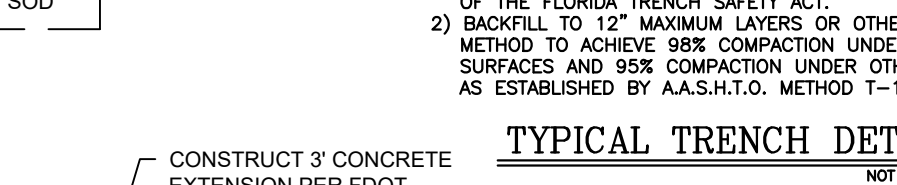
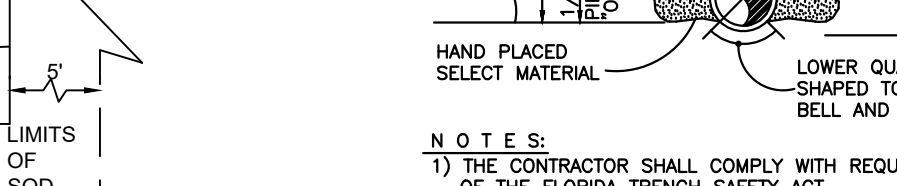
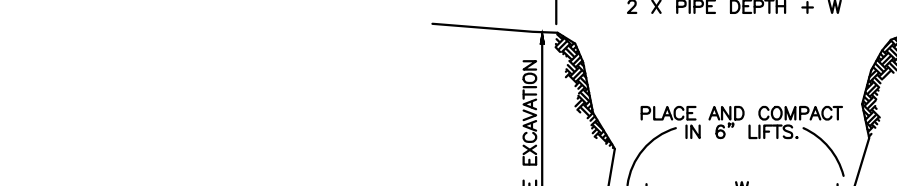
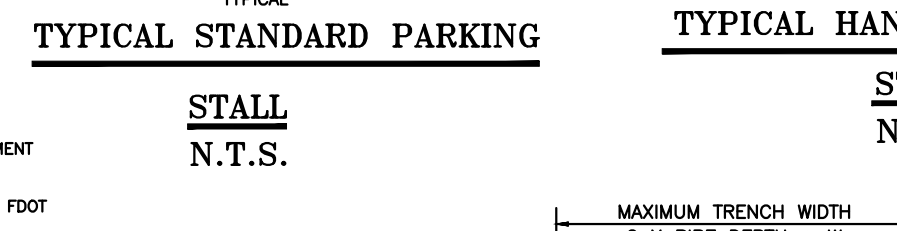
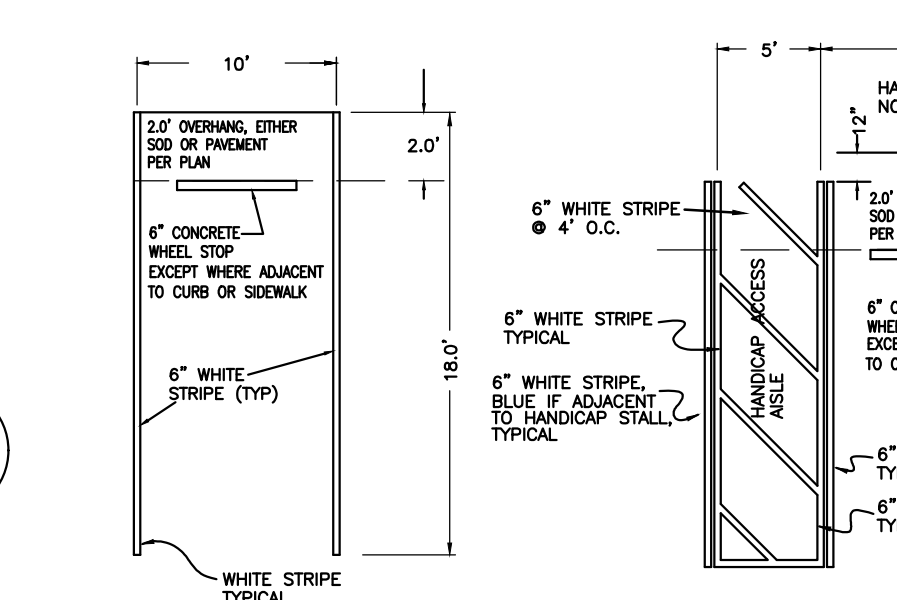
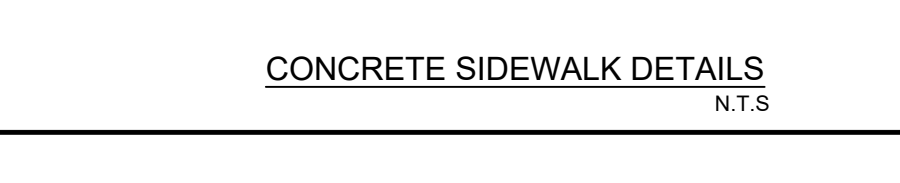
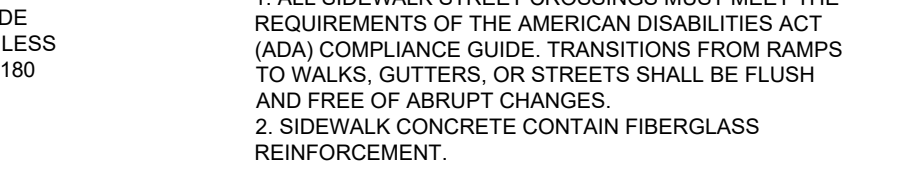
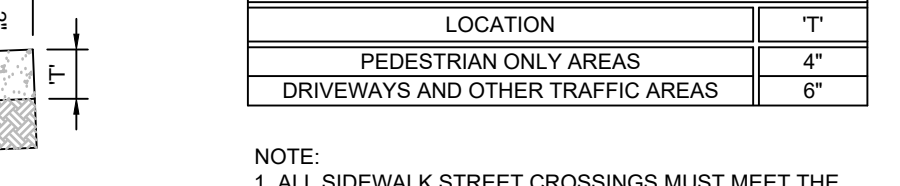
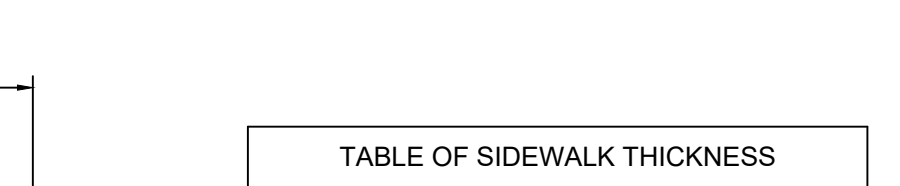
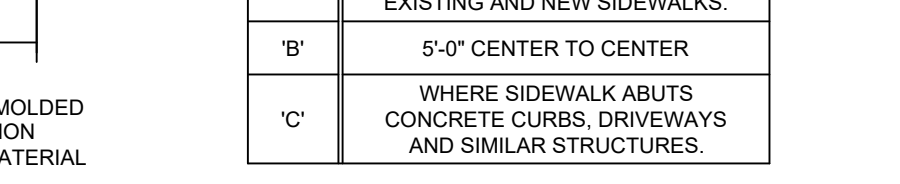
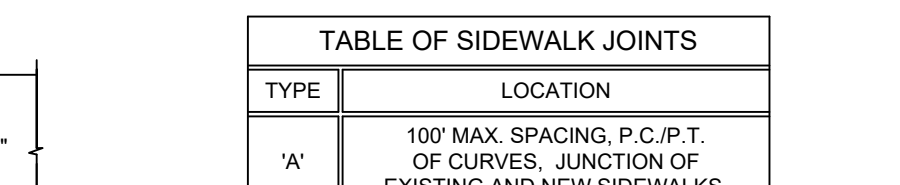
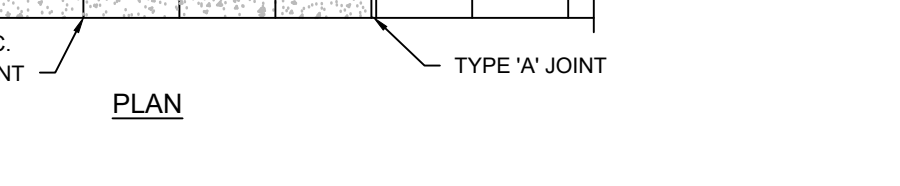
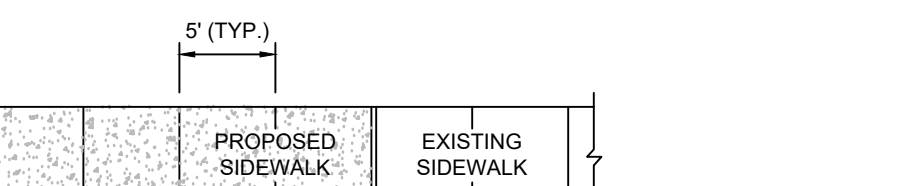
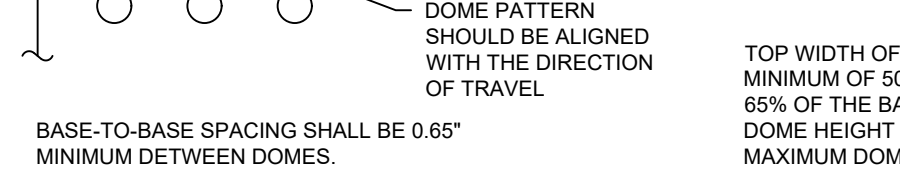
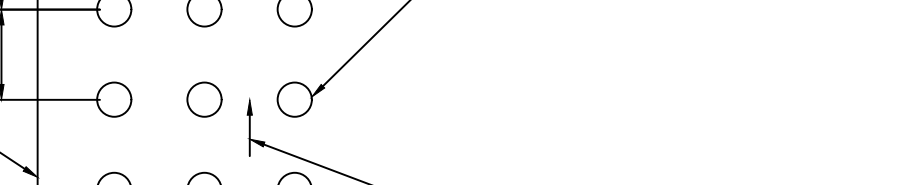
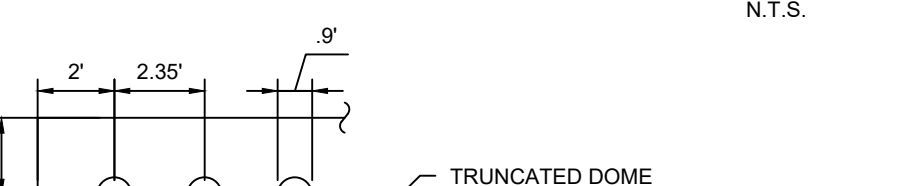
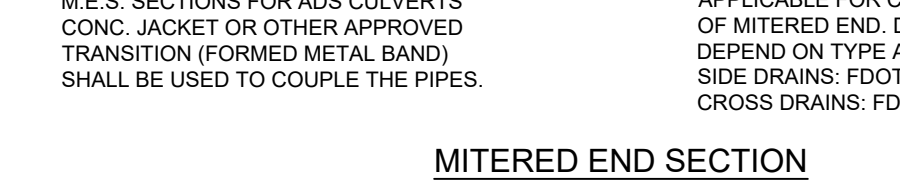
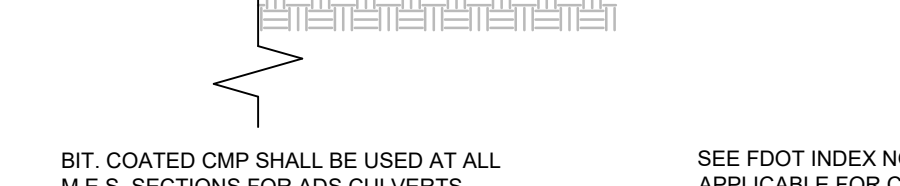
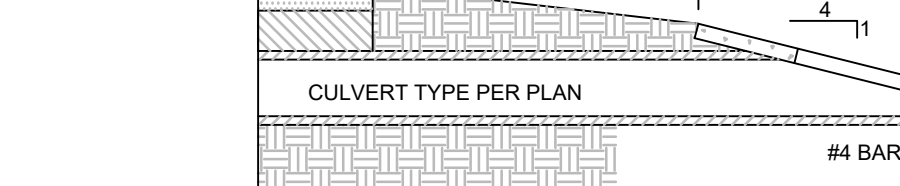
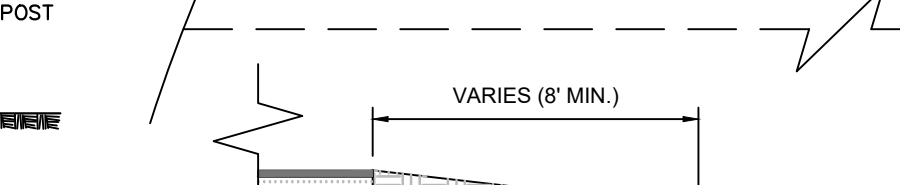
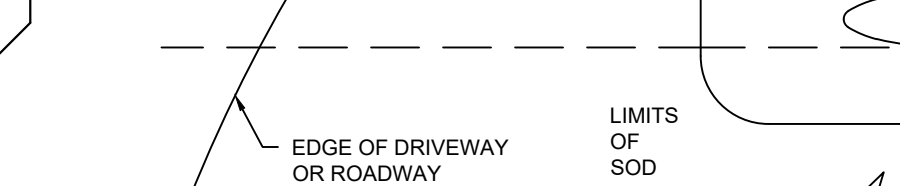
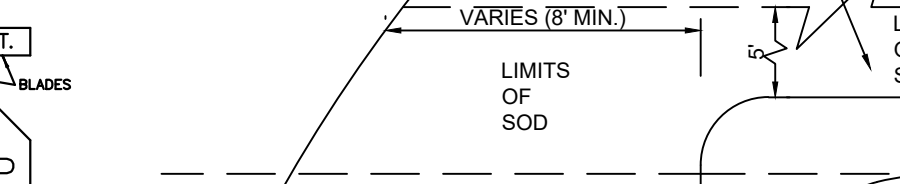
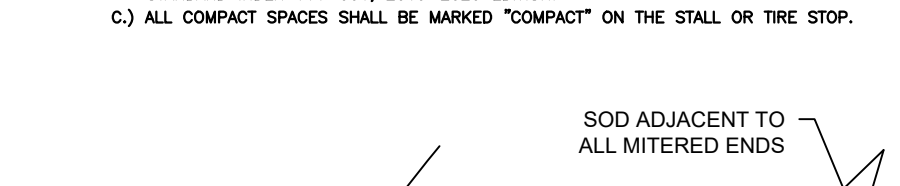
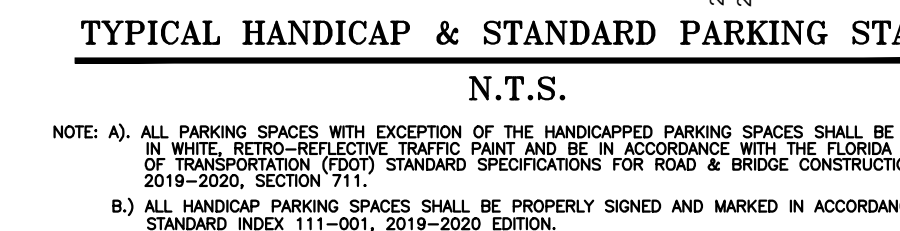
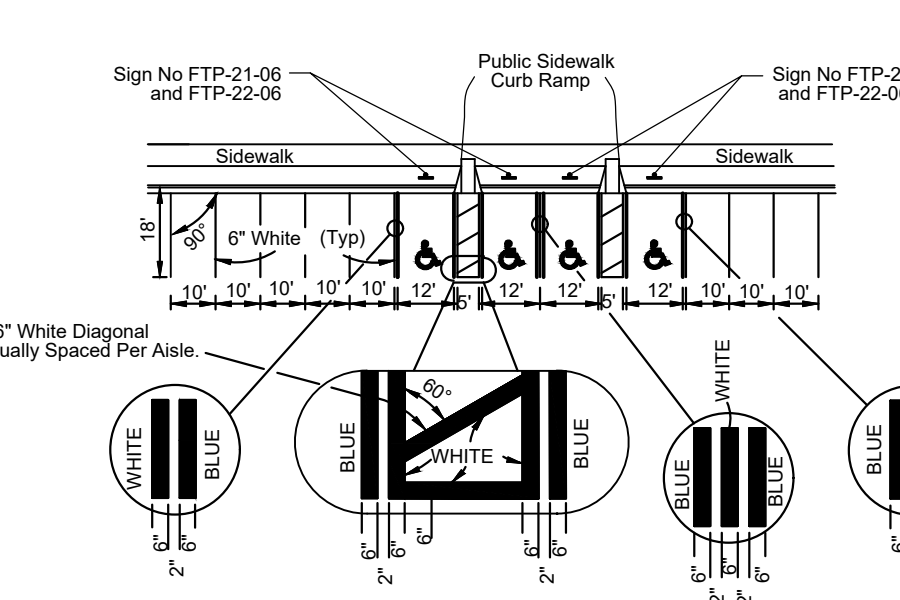
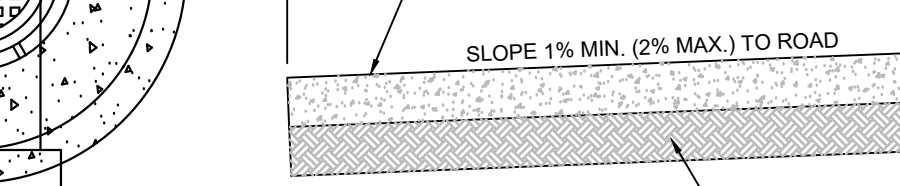
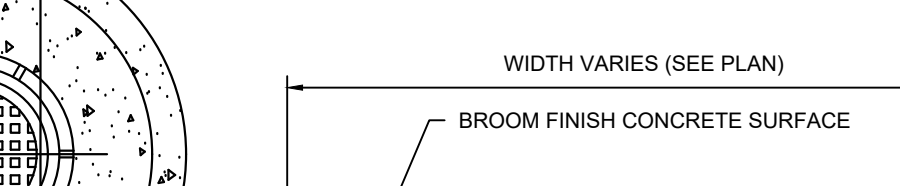
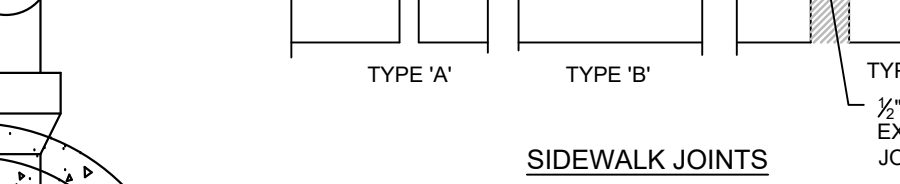
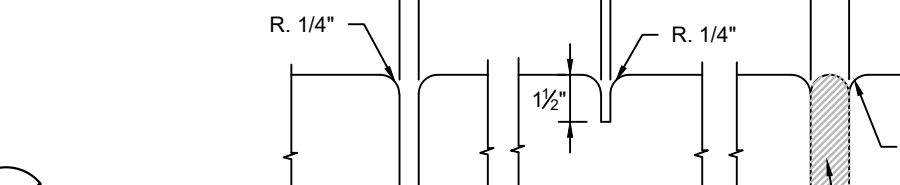
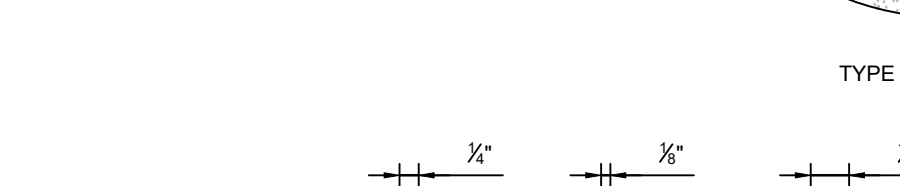
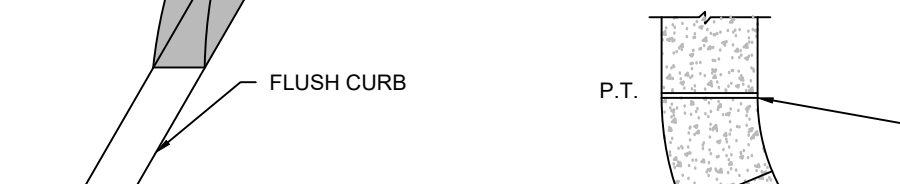
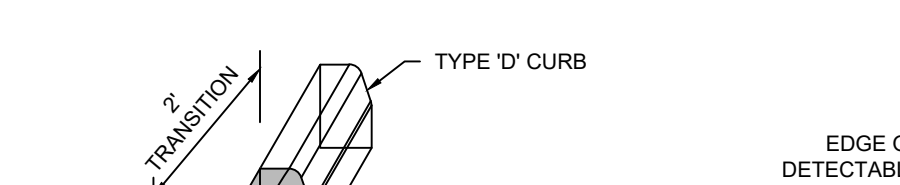
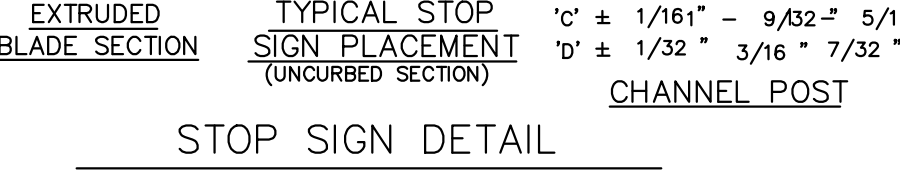
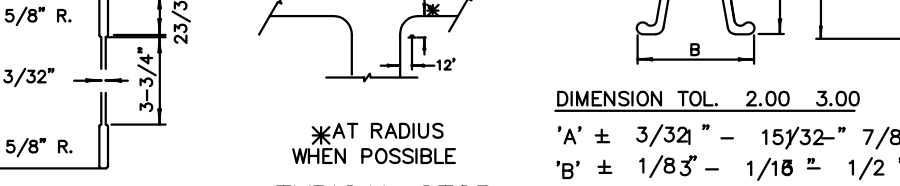
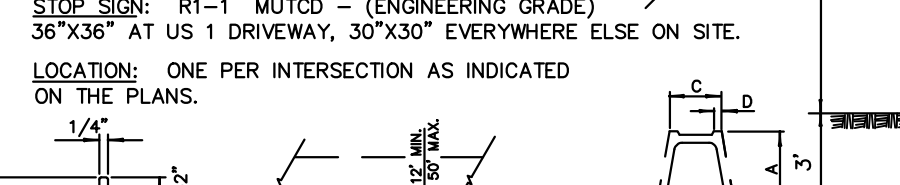
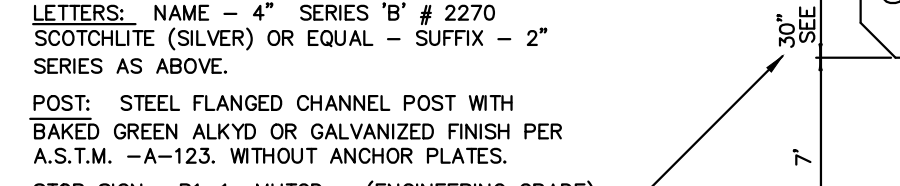
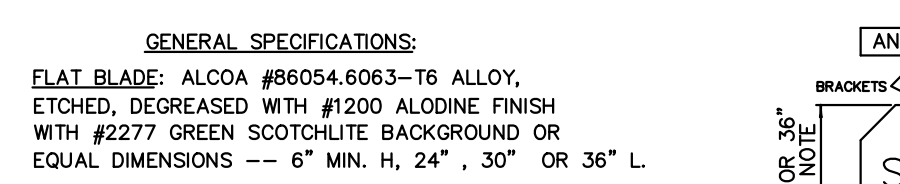
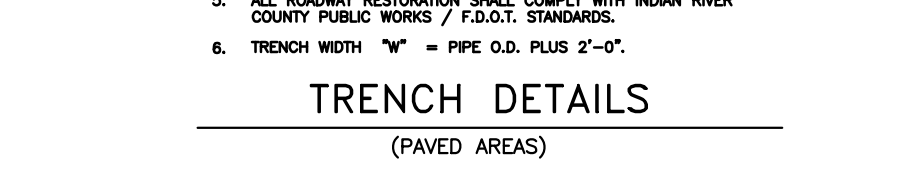
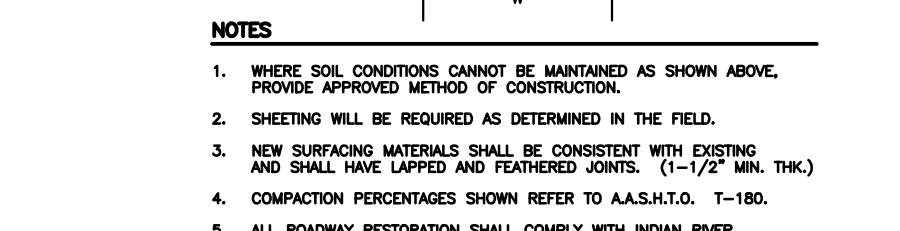
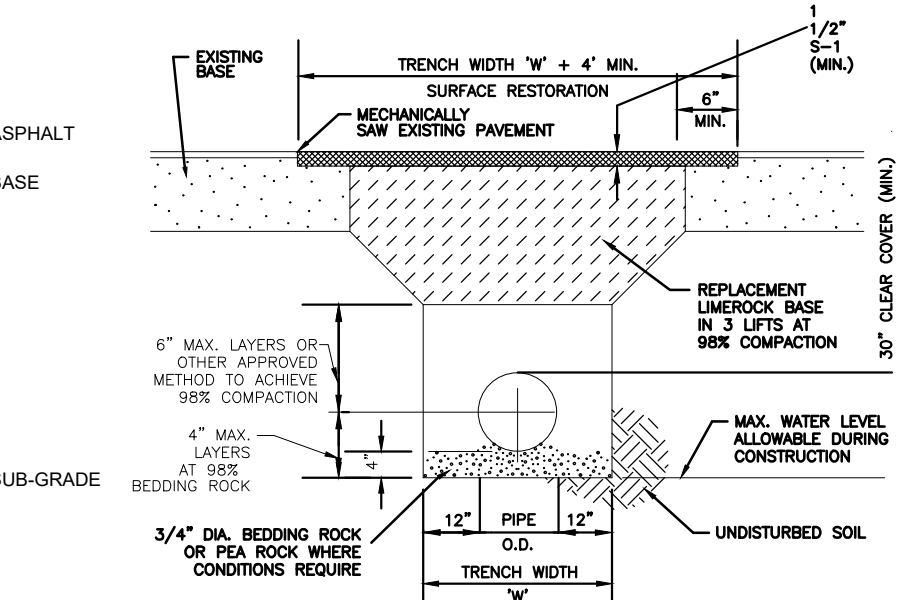
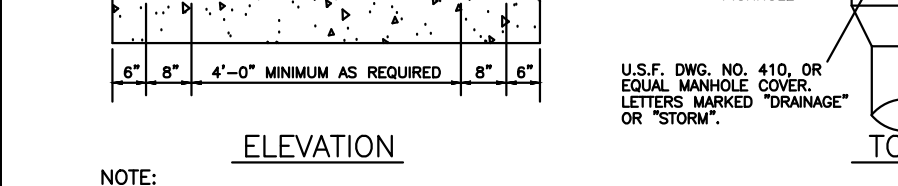
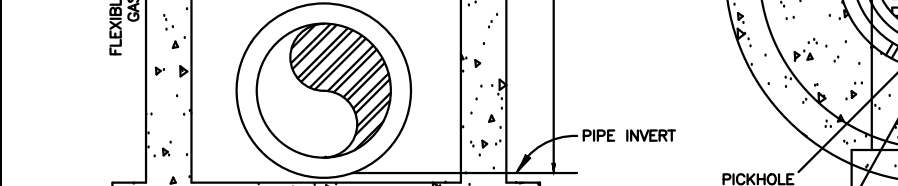
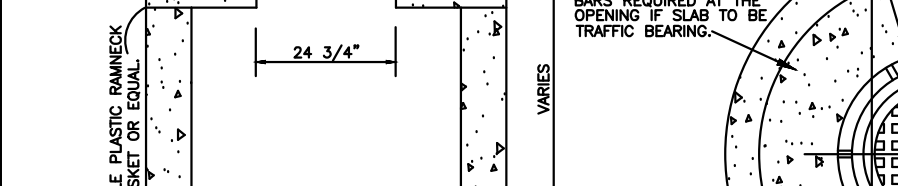
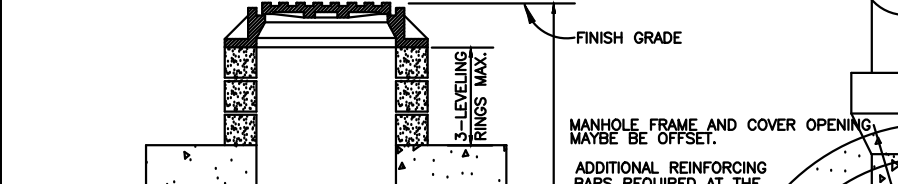
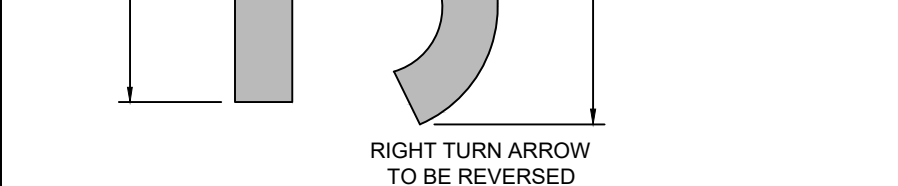
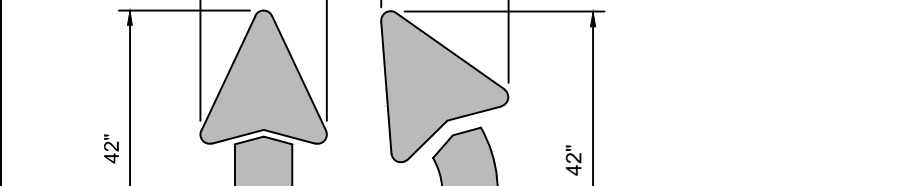
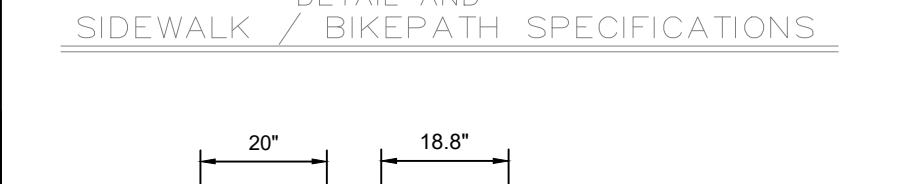
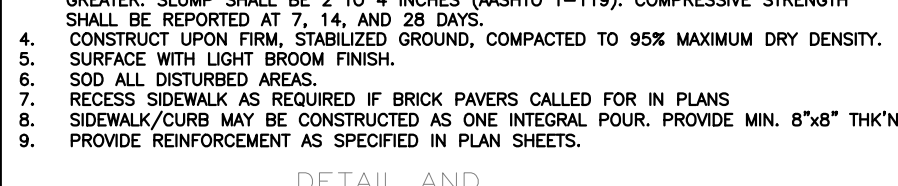
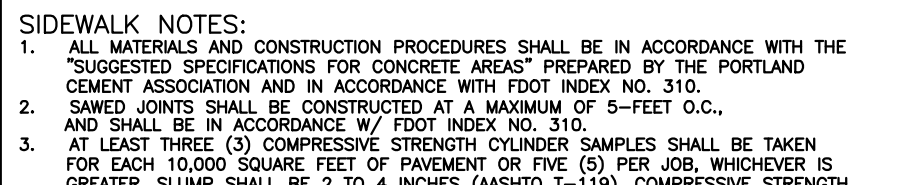
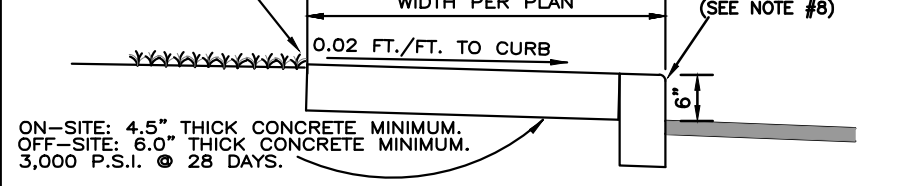
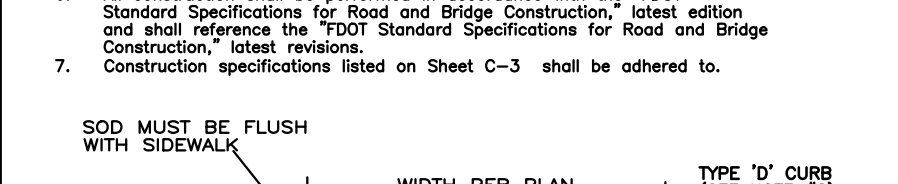
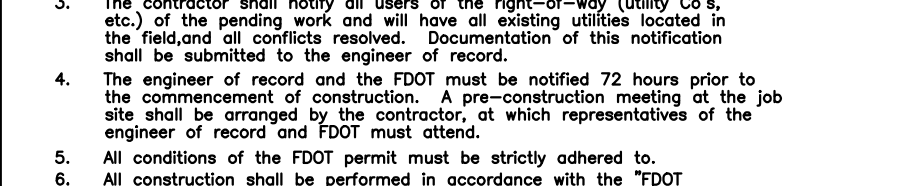
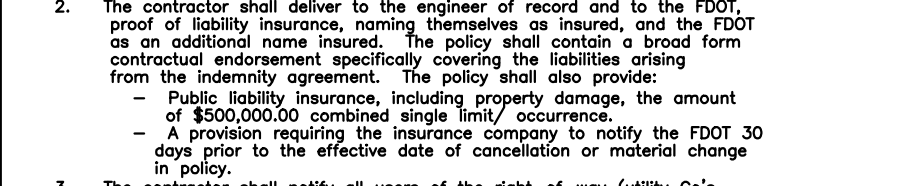
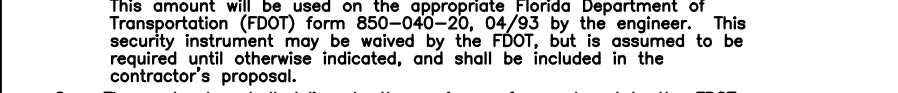
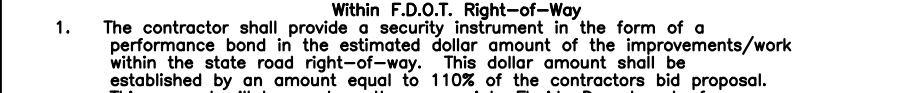
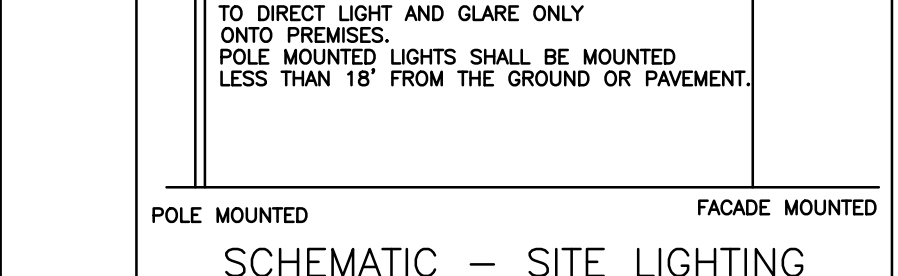
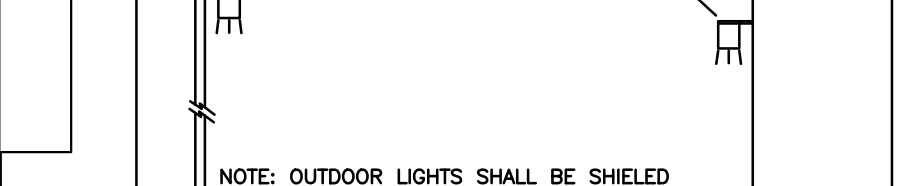
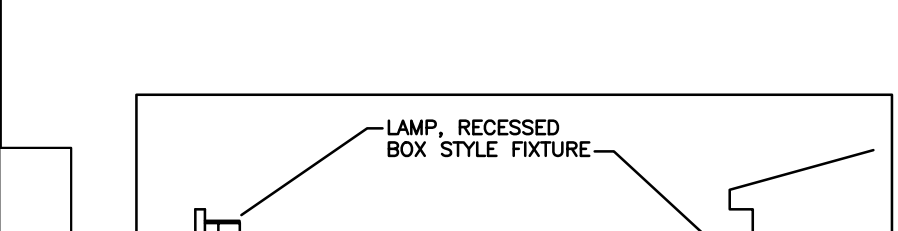
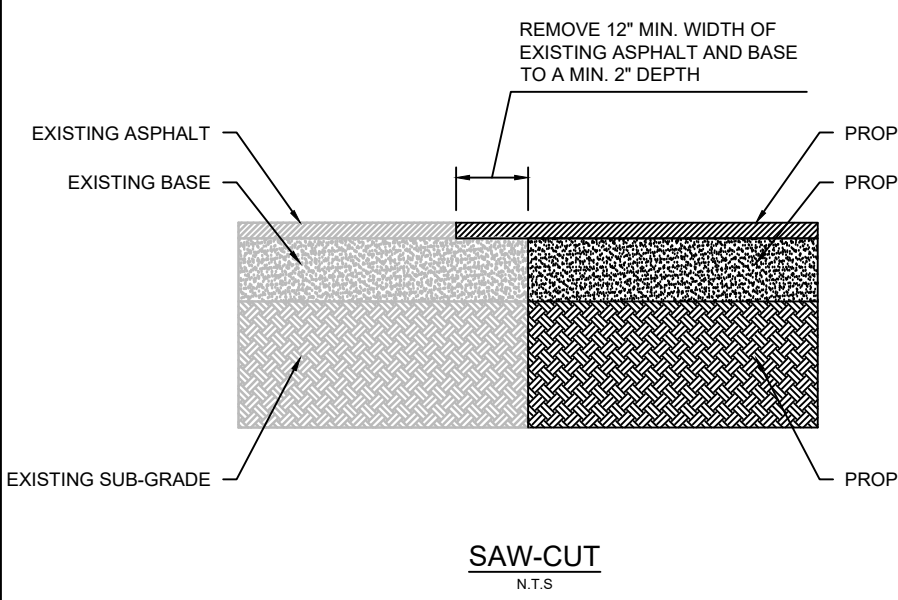


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ON-SITE TYPICAL ASPHALTIC CONCRETE PAVING SECTION
N.T.S.

TYPICAL CONCRETE PAVING SECTION
N.T.S.

BRICK PAVEMENT DETAIL
N.T.S.

TYPICAL PAVING SECTIONS
N.T.S.

TRUNCATED DOMES DETAIL
N.T.S.

2' CURB TRANSITION
N.T.S.

ON-SITE PAVEMENT MARKING ARROWS
N.T.S.

TYPICAL DRAINAGE JUNCTION MANHOLE
N.T.S.

TABLE OF SIDEWALK JOINTS

TABLE OF SIDEWALK THICKNESS

TYPE 'C' CAST IRON GRATE
Approx. Weight 235 Lbs.

CONCRETE SIDEWALK DETAILS
N.T.S.

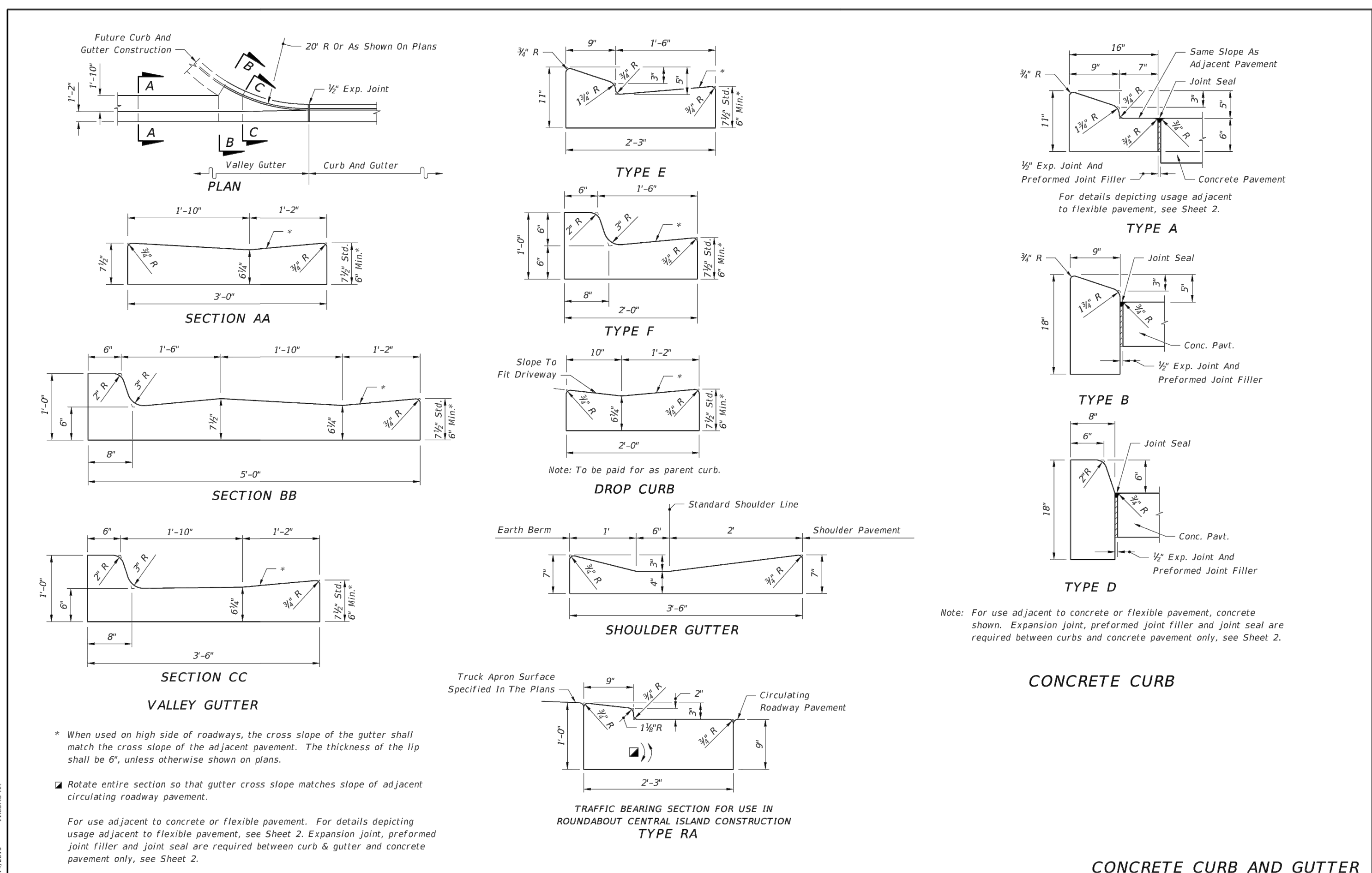
TRAFFIC BEARING TYPE 'C' INLET DETAIL

ENGINEER CERTIFICATION
JODAH B. BITTLE & STODDARD, L.L.C.

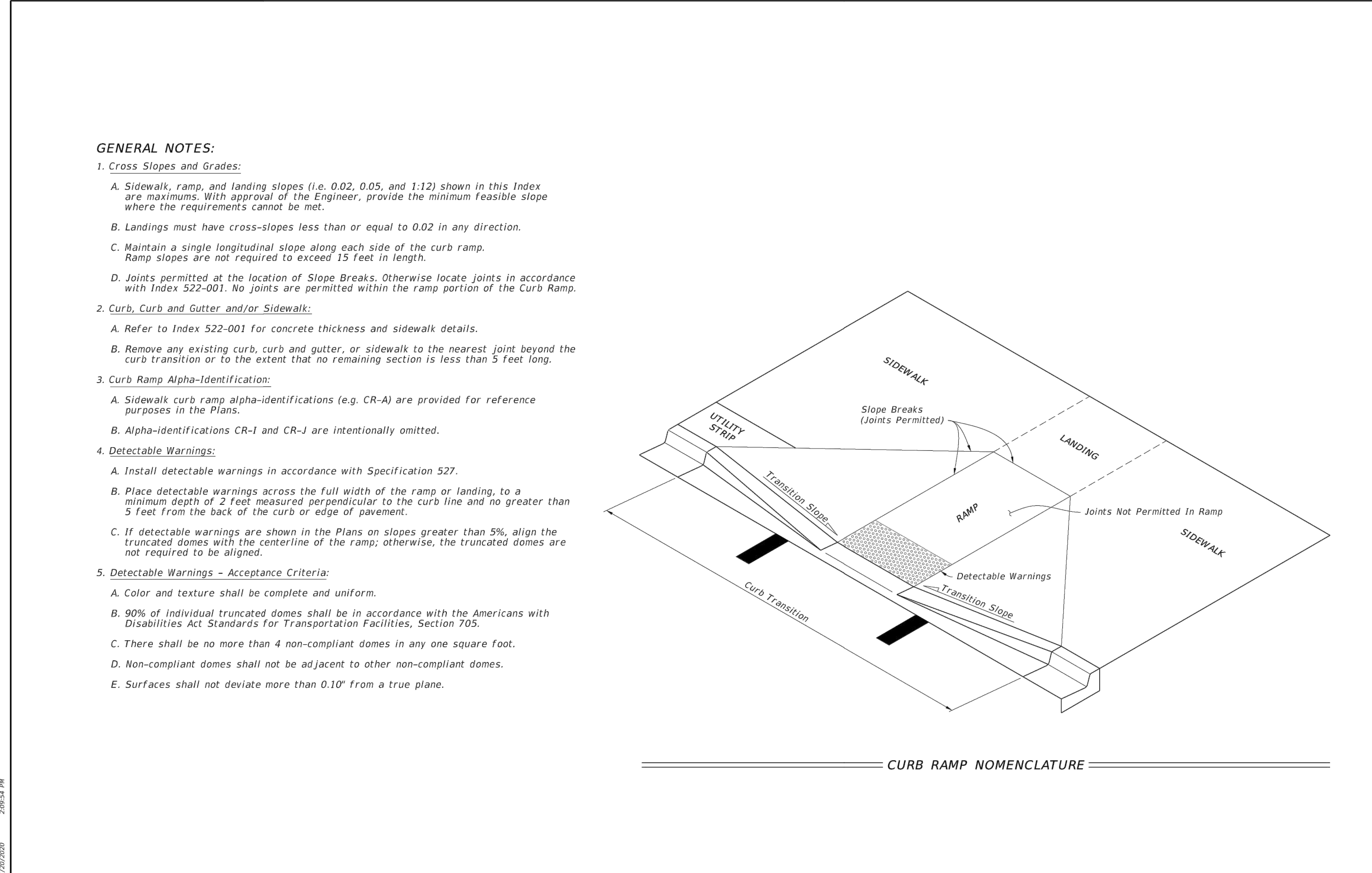
PROJECT NO. 21-008 SHEET 09

DATE: 4/30/2021

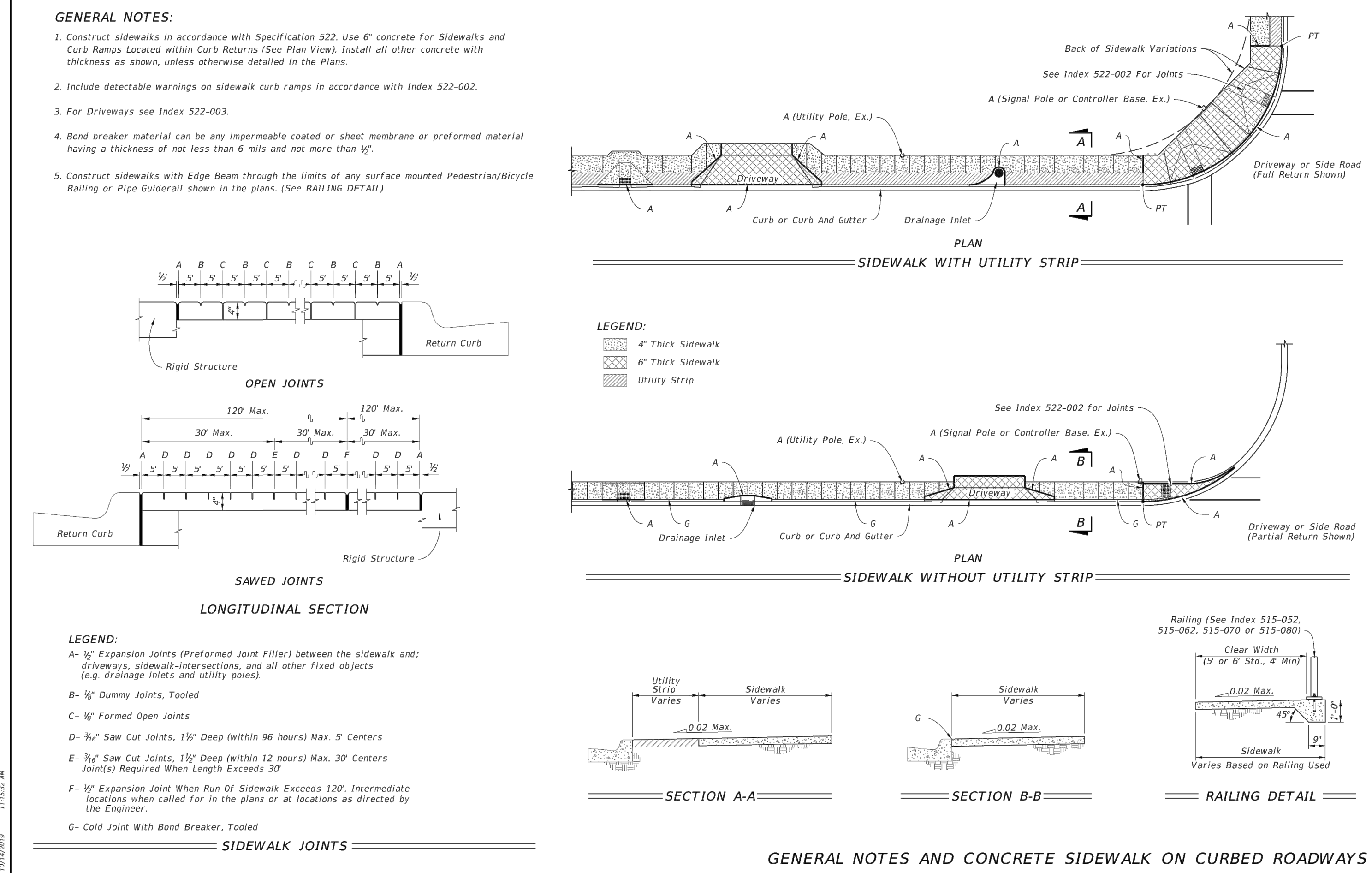
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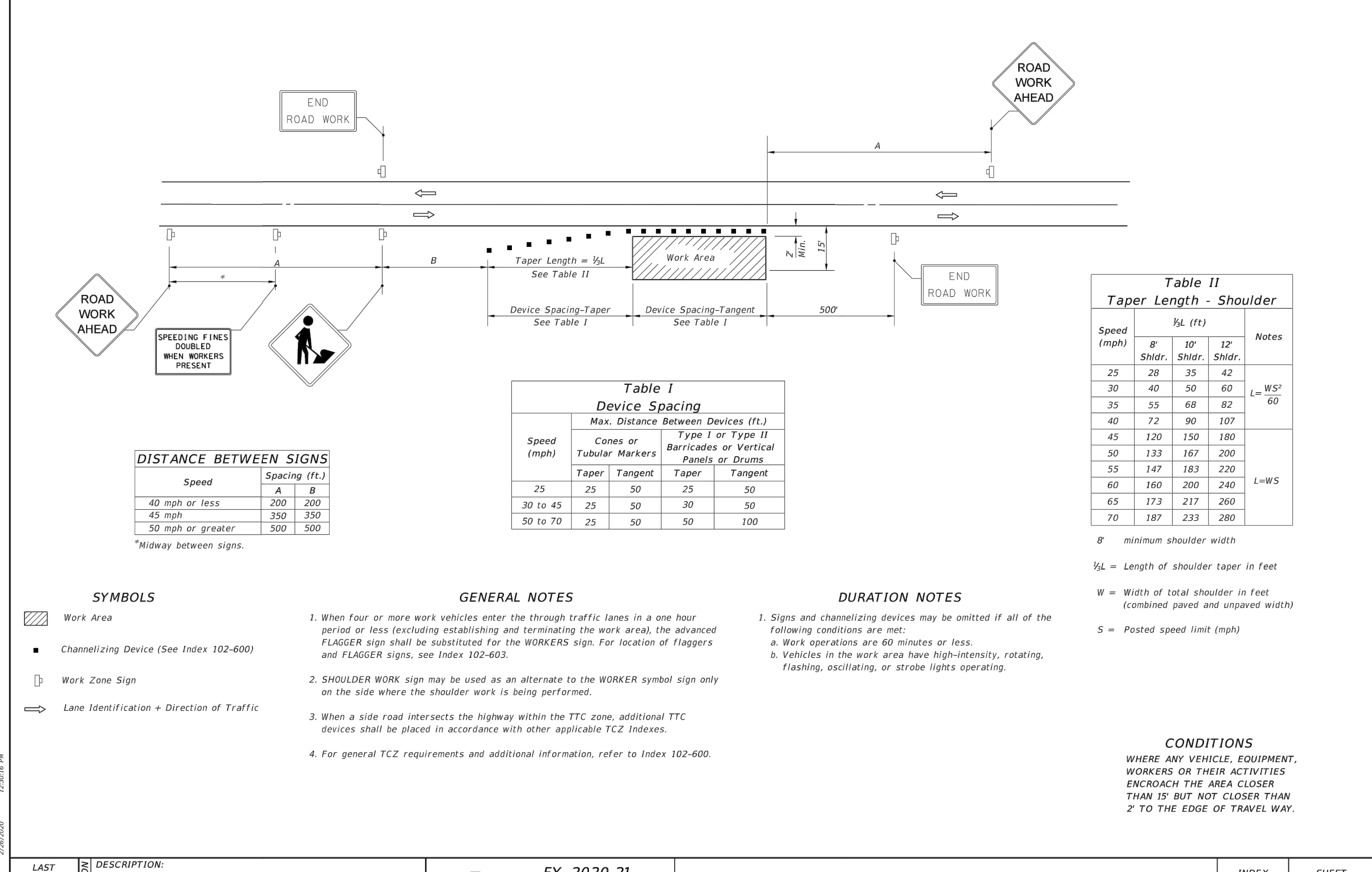
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				520-001	1 of 2



LAST REVISION 11/01/19	DESCRIPTION:	FDOT	FY 2020-21 STANDARD PLANS	INDEX	SHEET
				522-002	1 of 7



LAST REVISION 11/01/18	DESCRIPTION:	FDOT	FY 2020-21 STANDARD PLANS	INDEX	SHEET
				522-001	1 of 2



LAST REVISION 11/01/17	DESCRIPTION:	FDOT	FY 2020-21 STANDARD PLANS	INDEX	SHEET
				102-602	1 of 1

DATE	
REVISION	
MARK	
DESIGNED	JBB
CHECKED	JBB
SCALE	NTS
DATE	04/16/21
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 WEBSITE https://www.sbsengineers.com

MISCELLANEOUS DETAILS
 SURFSIDE QUAD PLEX

ENGINEER CERTIFICATION
 JOAH B. BITTLE
 FL REG. NO. 57396
 No 57396
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

PROJECT NO.	SHEET
21-008	10

FORT PIERCE UTILITIES AUTHORITY WATER DISTRIBUTION NOTES

- 1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
2. WATER MAINS WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC) SHALL CONFORM TO AWWA C-900 OR C-905...
3. WATER MAIN, WHERE SPECIFIED AS DUCTILE IRON PIPE, SHALL CONFORM TO ANSI/AWWA C151/A21.51...
4. POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR OR WHITE IN COLOR WITH BLUE STRIPES...
5. FITTINGS SHALL BE DUCTILE IRON CONFORMING TO ANSI/AWWA C-110/A21.10...
6. GATE VALVES SHALL BE MUELLER RESILIENT SEAT, KENNEDY KEN-SEAL, AMERICAN OR APPROVED...
7. WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS...
8. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL...
9. THE CONTRACTOR SHALL NOTIFY FPUA ENGINEERING AND CITY/COUNTY/FDOT ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION...
10. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, FPUA, AND CITY/COUNTY/FDOT ENGINEER SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION...
11. TRAFFIC CONTROL, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND APPROVED BY THE CITY ENGINEER...
12. MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND CITY/COUNTY/FDOT ENGINEER...
13. DISTURBED AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS...
14. EXISTING UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR...
15. WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AWWA C-651 FOR DISINFECTION...
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING UTILITIES AND DRAINAGE...
17. THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER INCLUDING LOCATIONS OF VALVES, FITTINGS, SERVICE CONNECTIONS, BLOWOFFS, AIR RELEASE VALVES, AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT, AS REQUIRED BY THE UTILITIES ENGINEER...
18. THE CONTRACTOR SHALL TAP EXISTING LINES UNDER THE SUPERVISION OF THE FORT PIERCE UTILITIES AUTHORITY ONLY AFTER TESTING AND DISINFECTION HAS BEEN COMPLETED AND APPROVED ON THE TAPPING VALVE AND SLEEVE...
19. WATER MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN MULTI STRANDED WIRE (BLUE IN COLOR) AND IDENTIFICATION TAPE WITH "WATER" MARKED ON TAPE, PERMANENTLY ATTACHED TO THE TOP OF THE WATER MAIN IN ACCORDANCE WITH THE FORT PIERCE UTILITIES AUTHORITY SPECIFICATIONS...
20. SERVICE TAPS SHALL BE PLACED APPROXIMATELY TEN FEET AWAY FROM GATE VALVES, AS SHOWN, FOR TESTING, FOLLOWING TESTING AND STERILIZATION OF WATER LINE. CONTRACTOR SHALL PLACE A BRASS PLUG IN CORPORATION STOPS AND CURB STOPS SHALL BE REMOVED FROM TESTING LOCATIONS...
21. MECHANICAL RESTRAINTS TO BE USED ON ALL FITTINGS AND PLACED IN ACCORDANCE WITH MANUFACTURER'S OR ENGINEER'S RECOMMENDATIONS (WHICHEVER IS MORE STRINGENT) AND FPUA REQUIREMENTS...
22. ALL MAINS SHALL BE TESTED AT A MINIMUM OF 150 PSI. TESTING METHODS SHALL CONFORM TO AWWA C-600 - 2 HR MINIMUM TEST...
23. PRIOR TO ANY TESTING, ALL MAINS 6" IN DIA. AND LARGER SHALL HAVE A SWAB PASSED THRU THE ENTIRE LENGTH OF THE LINE...
24. A MINIMUM SIX FEET AND PREFERABLY TEN FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES...
25. WHERE A WATER MAIN IS TO BE INSTALLED BELOW A STORM DRAIN PIPE, A MINIMUM OF 6 INCHES OF VERTICAL CLEARANCE BETWEEN PIPES SHALL BE CONSTRUCTED OF DIP AT THE CROSSING...
26. CONTRACTOR SHALL COMPLY WITH FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

FORT PIERCE UTILITIES AUTHORITY WATER DISTRIBUTION NOTES CONTINUED

- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING UTILITIES AND DRAINAGE...
17. THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER INCLUDING LOCATIONS OF VALVES, FITTINGS, SERVICE CONNECTIONS, BLOWOFFS, AIR RELEASE VALVES, AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT, AS REQUIRED BY THE UTILITIES ENGINEER...
18. THE CONTRACTOR SHALL TAP EXISTING LINES UNDER THE SUPERVISION OF THE FORT PIERCE UTILITIES AUTHORITY ONLY AFTER TESTING AND DISINFECTION HAS BEEN COMPLETED AND APPROVED ON THE TAPPING VALVE AND SLEEVE...
19. WATER MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN MULTI STRANDED WIRE (BLUE IN COLOR) AND IDENTIFICATION TAPE WITH "WATER" MARKED ON TAPE, PERMANENTLY ATTACHED TO THE TOP OF THE WATER MAIN IN ACCORDANCE WITH THE FORT PIERCE UTILITIES AUTHORITY SPECIFICATIONS...
20. SERVICE TAPS SHALL BE PLACED APPROXIMATELY TEN FEET AWAY FROM GATE VALVES, AS SHOWN, FOR TESTING, FOLLOWING TESTING AND STERILIZATION OF WATER LINE...
21. MECHANICAL RESTRAINTS TO BE USED ON ALL FITTINGS AND PLACED IN ACCORDANCE WITH MANUFACTURER'S OR ENGINEER'S RECOMMENDATIONS...
22. ALL MAINS SHALL BE TESTED AT A MINIMUM OF 150 PSI...
23. PRIOR TO ANY TESTING, ALL MAINS 6" IN DIA. AND LARGER SHALL HAVE A SWAB PASSED THRU THE ENTIRE LENGTH OF THE LINE...
24. A MINIMUM SIX FEET AND PREFERABLY TEN FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES...
25. WHERE A WATER MAIN IS TO BE INSTALLED BELOW A STORM DRAIN PIPE, A MINIMUM OF 6 INCHES OF VERTICAL CLEARANCE BETWEEN PIPES SHALL BE CONSTRUCTED OF DIP AT THE CROSSING...
26. CONTRACTOR SHALL COMPLY WITH FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

L = SWD / 1/2
L = LEAKAGE IN GPH
L = LENGTH OF PIPE IN FEET
D = PIPE DIAMETER IN INCHES
P = TESTING PRESSURE IN PSI

Table with 4 columns: DATE, REVISION, DRAWN, CHECKED. Includes title block for WATER DISTRIBUTION G-1 NOTES.

Table with 4 columns: DATE, REVISION, DRAWN, CHECKED. Includes title block for WATER DISTRIBUTION G-1 NOTES.

FORT PIERCE UTILITIES AUTHORITY WASTEWATER CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY...
2. GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE SDR-26, GREEN OR WHITE IN COLOR...
3. THE MANHOLE BASE SHALL BE SET ON A FIRM, DRY AND STABLE OR COMPACTED BASE FOUNDATION...
4. WASTEWATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPUA DESIGN AND CONSTRUCTION STANDARDS...
5. A 1% MINIMUM SLOPE SHALL BE MAINTAINED ON ALL SANITARY SERVICE LATERALS...
6. THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER...
7. MAINTAIN SIX FEET AND PREFERABLY 10 FEET HORIZONTAL DISTANCE BETWEEN WATER MAINS AND SEWER MAINS AS A MINIMUM...
8. WASTEWATER FORCE MAINS, WASTEWATER COLLECTION LINES, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS...
9. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, AND FPUA/CITY/COUNTY/FDOT SHALL BE MANDATORY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION...
10. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL...
11. TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS...
12. CONTRACTOR SHALL NOTIFY FORT PIERCE UTILITIES AUTHORITY 48 HOURS PRIOR TO COMMENCING CONSTRUCTION...
13. WASTEWATER FORCE MAIN SHALL BE POLYVINYL CHLORIDE CONFORMING TO AWWA C-900...
14. WASTEWATER FORCE MAIN SHALL BE GREEN IN COLOR...
15. FITTINGS SHALL BE DUCTILE IRON, CONFORMING TO ANSI/AWWA C-110/A21.10 CLASS 250 MIN. AND INTERIOR EPOXY COATED...
16. WASTEWATER FORCE MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN WIRE (GREEN IN COLOR) PERMANENTLY ATTACHED TO THE TOP OF THE FORCE MAIN WITH LOCATOR TAPE MARKED "SEWER" ON TAPE...
17. MINIMUM COVER SHALL BE 36 INCHES, PIPES WITH COVER LESS THAN 30 INCHES SHALL REQUIRE PRIOR APPROVAL...
18. EACH SERVICE LATERAL WILL BE MARKED WITH A LOCATOR BALL AS MANUFACTURED BY 3M CORPORATION...
19. ALL MANHOLES SHALL HAVE SEWER RAIN GUARDS INSTALLED AS REQUIRED BY FPUA ENGINEER...
20. THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

Table with 4 columns: DATE, REVISION, DRAWN, CHECKED. Includes title block for WASTEWATER CONSTRUCTION NOTES FPUA REQUIREMENTS G-2 CONSTRUCTION NOTES.

STANDARD SEPARATION STATEMENT FOR WATER / SEWER CONFLICTS

- 1. SANITARY SEWER, FORCE MAINS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS...
2. WASTEWATER FORCE MAINS, WASTEWATER COLLECTION LINES, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS...
3. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING...
4. A MINIMUM 3-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF STORM SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS...
5. A MINIMUM 6-FOOT, AND PREFERABLE 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER...
6. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 6 INCHES IN PARALLEL INSTALLATIONS...
7. ALL DIP SHALL BE PRESSURE CLASS 250 MIN. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN ENGINEER.

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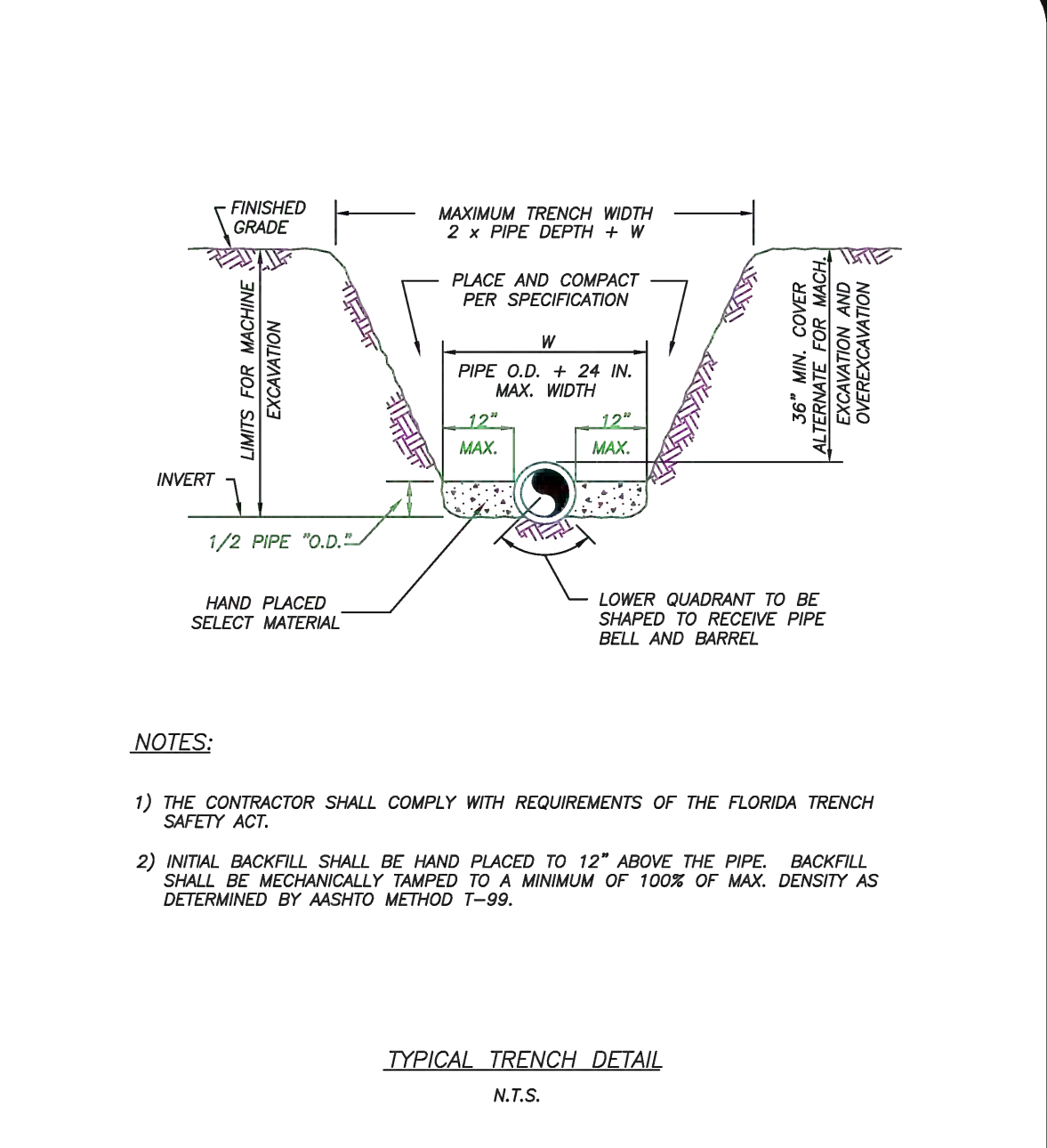


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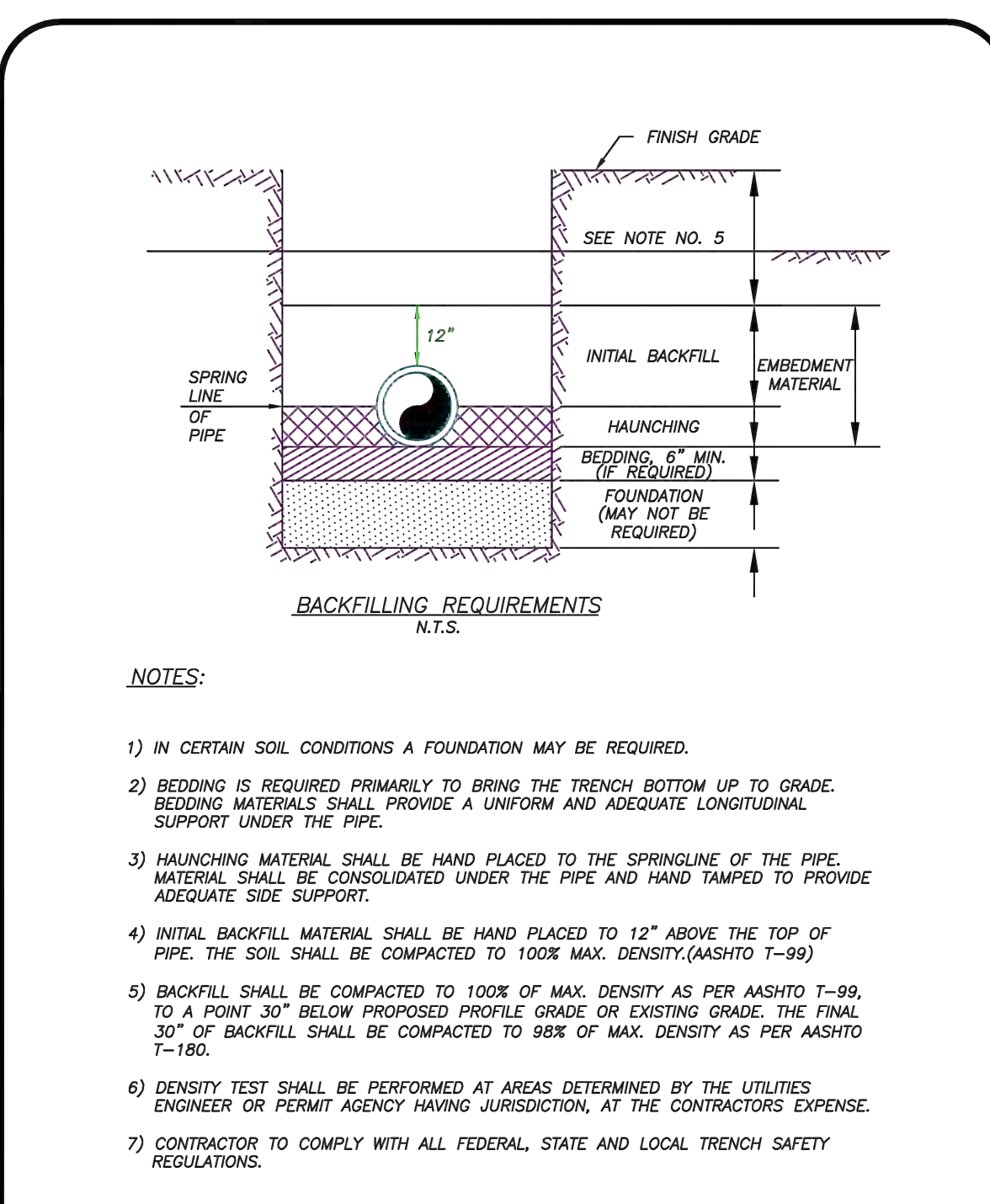


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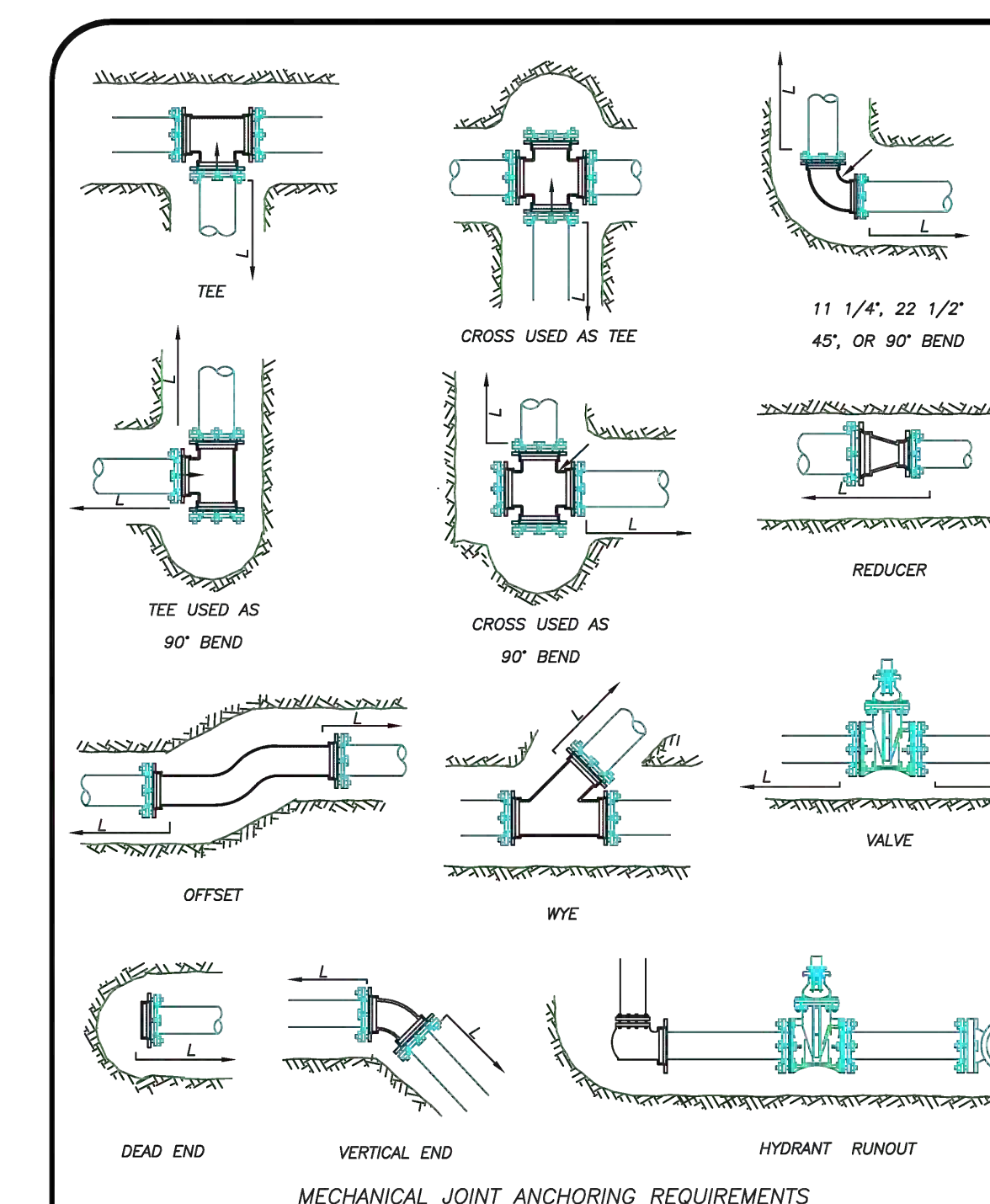


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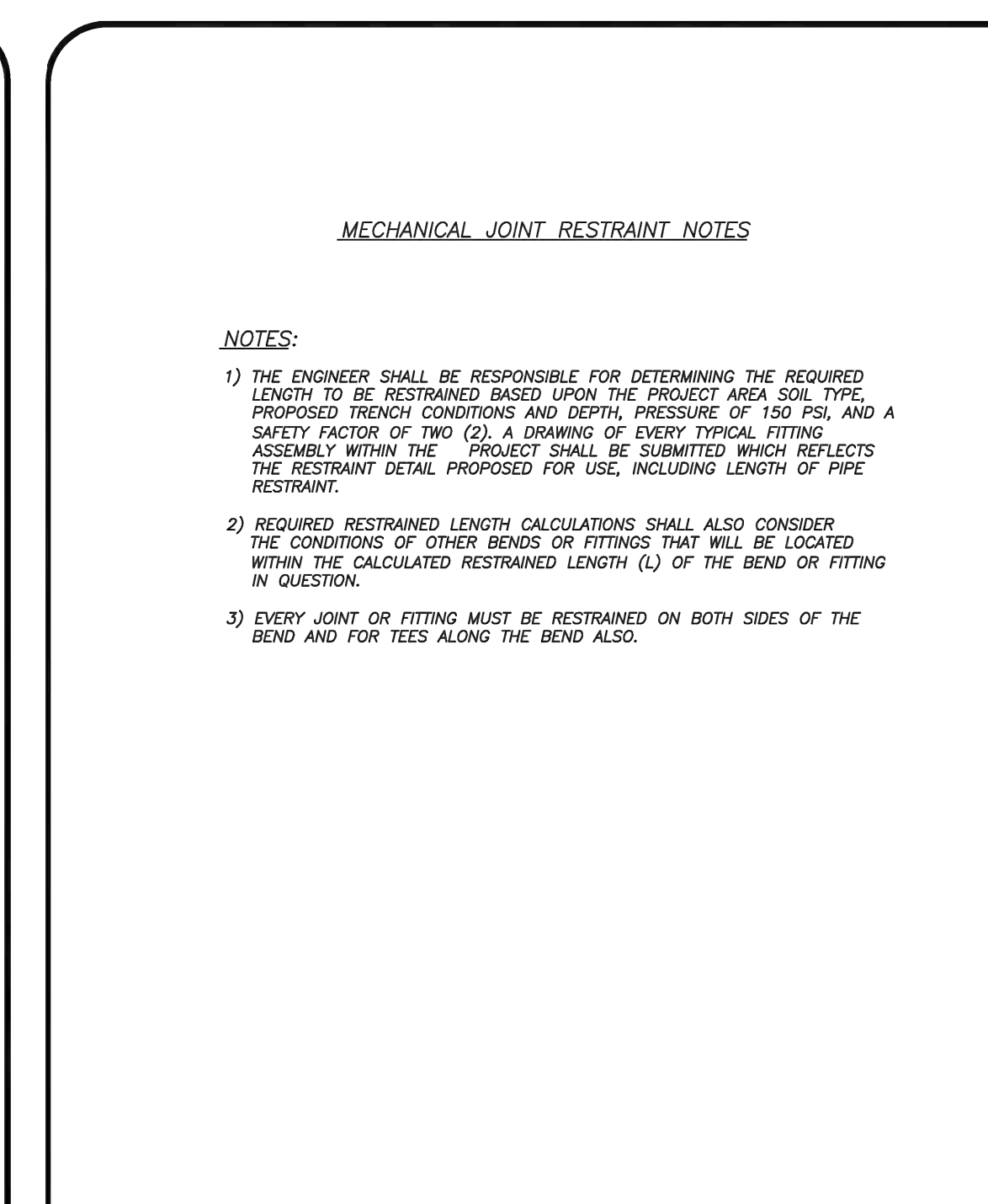


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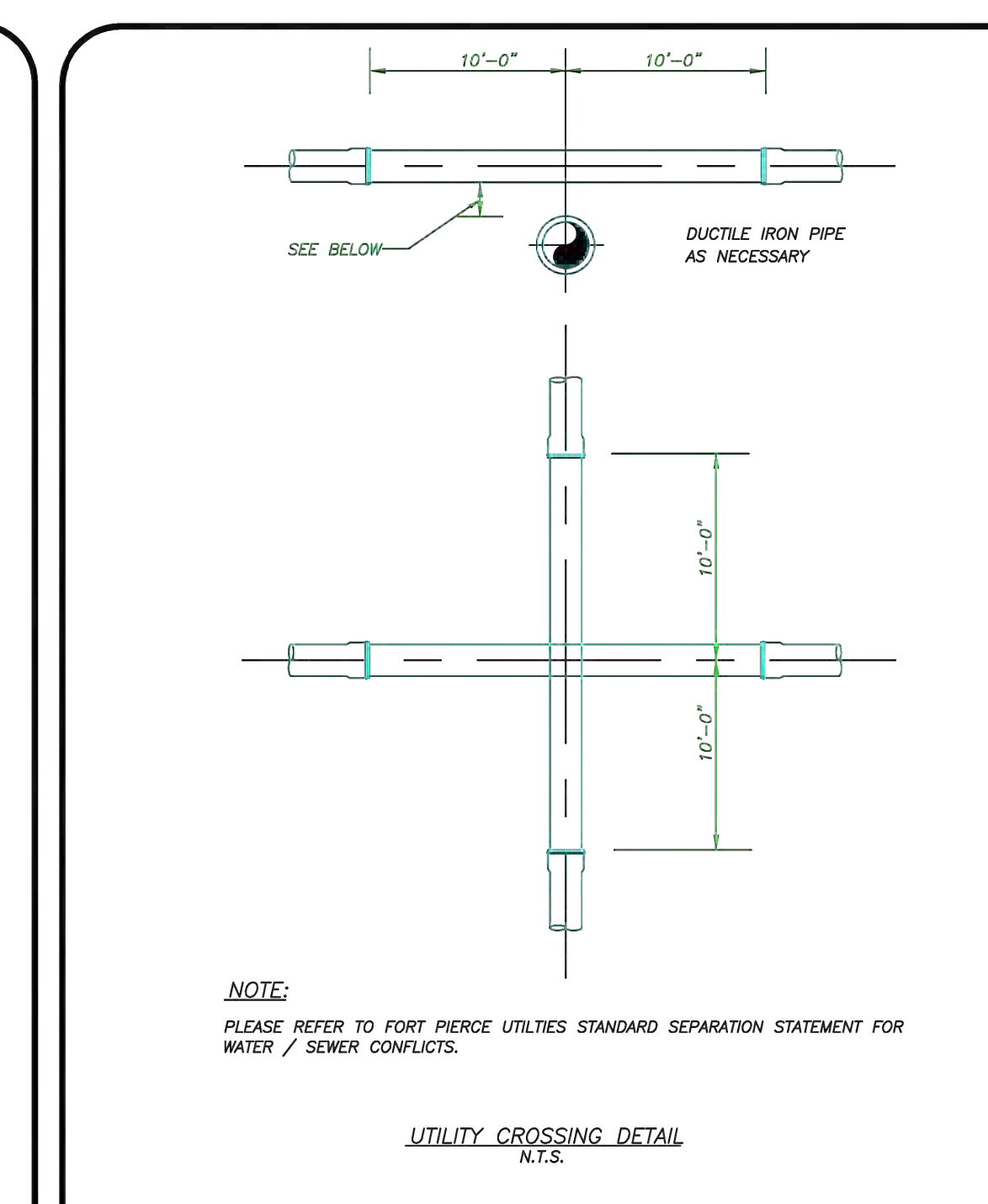


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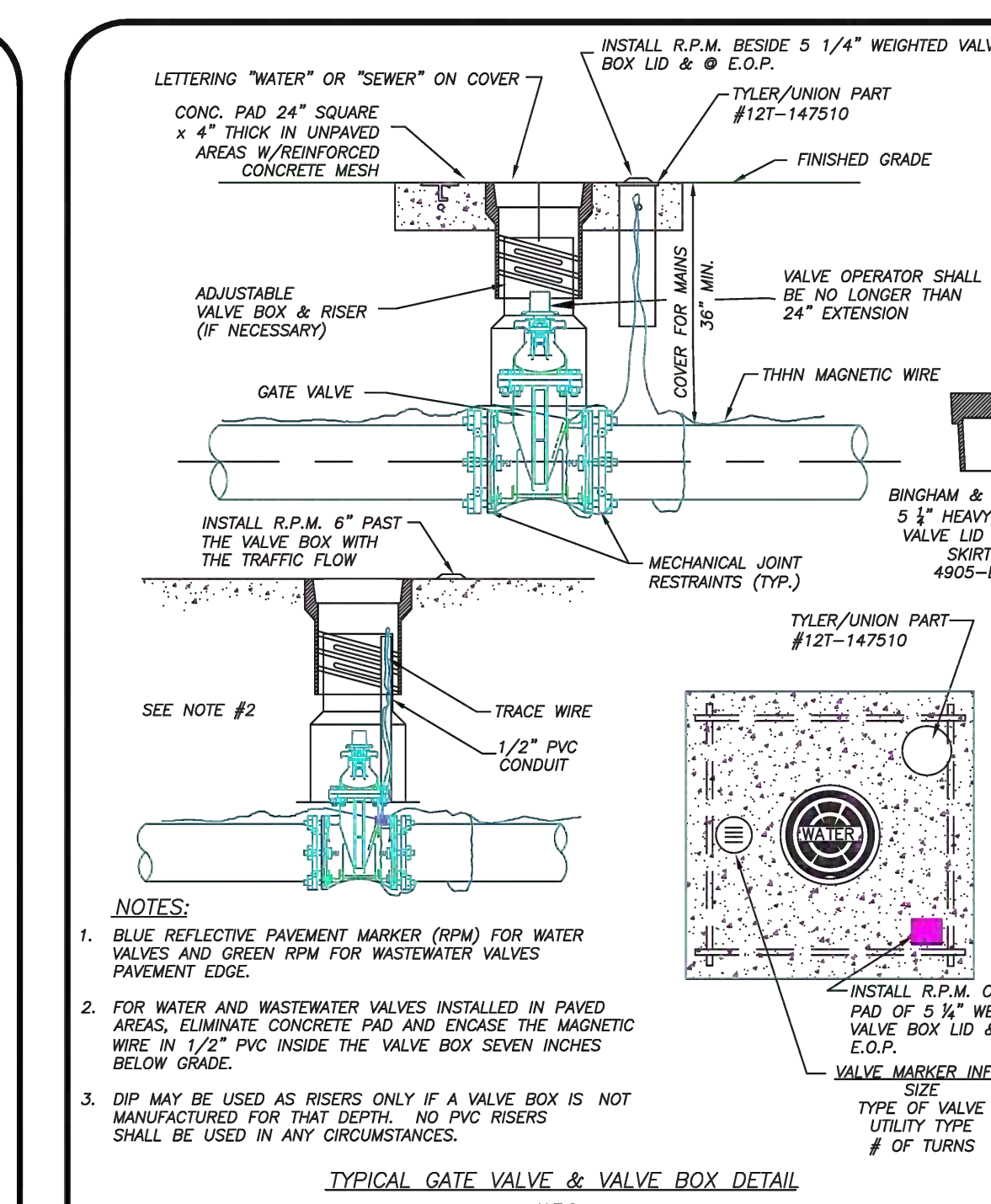


Table with 4 columns: DATE, REVISION, DRAWN, CHECKED. Includes title block for TYPICAL GATE VALVE & VALVE BOX DETAIL M-6.

Vertical table with columns: DATE, REVISION, MARK, DRAWING, CHECKED, DATE, SCALE, NOTES.

SCHULKE, BITTLE & STODDARD, L.L.C. CIVIL & STRUCTURAL ENGINEERING LAND PLANNING ENVIRONMENTAL PERMITTING. CERTIFICATION OF AUTHORIZATION NO.: 000086688. 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32980.

MISCELLANEOUS DETAILS

SURFSIDE QUAD PLEX

Professional Engineer seal for JODAH B. BITTLE, No. 57398, State of Florida. Includes project number 21-008 and sheet number 11.

NOTES:

- WHERE DIRECTIONAL DRILLING LENGTHS EXCEED 750 LINEAR FEET AND/OR HDPE PIPE DIAMETER EXCEED 12 INCHES, A SECOND LENGTH OF TRACE WIRE SHALL BE INSTALLED.
- TRACE WIRE SHALL CONFORM TO THE FOLLOWING SPECIFICATION:
 MANUFACTURER - COPPERHEAD INDUSTRIES, LLC
 PART NUMBER - 12458-EHS-500 / 12458-EHS-1000 / 12458-EHS-2500
 PART NUMBER DESCRIPTION - 12 (AWG), 45 (JACKET MIL), B (JACKET COLOR: B=BLUE, G=GREEN, ETC.) - EHS (EXTRA HIGH STRENGTH-HARD DRAWN / 1150# BREAKING LOAD STRENGTH) - 500 (WIRE LENGTH IN FEET)

DIRECTIONAL BORE WIRE ATTACHMENT		M-16	
DATE: 03-09	DESIGN: J.C.	SCALE: 1/8\"/>	
DESIGNED BY: J.C.	COMPUTER FILE #:	DATE: 03/09/2010	BY: J.C.
DRAWN BY: J.C.	SCALE: 1/8\"/>		
APPROVED: J.C.	DATE: 2010	SHEET: 1 OF 1	

TERMINAL CLEANOUT DETAIL (COMMERCIAL)
(N.T.S.)

TERMINAL CLEANOUT DETAIL WASTEWATER		S-4B	
DATE: 03-09	DESIGN: J.C.	SCALE: 1/8\"/>	
DESIGNED BY: J.C.	COMPUTER FILE #:	DATE: 03/09/2010	BY: J.C.
DRAWN BY: J.C.	SCALE: 1/8\"/>		
APPROVED: J.C.	DATE: 2010	SHEET: 2 OF 3	

GRINDER STATION CONNECTION
(N.T.S.)

NOTES:

- FORFE MAN CONNECTION SHALL CONSIST OF A 2" TAPPING SADDLE, 2" STAINLESS STEEL NIPPLE AND 2" THREADED RESILIENT SEAT GATE VALVE.
- GREEN 10 GAUGE THIN WIRE SHALL BE ATTACHED TO THE SERVICE LINE.
- WHERE SERVICES UNDER PAVEMENT ARE REQUIRED, THE POLYETHYLENE TUBING SHALL BE INSTALLED WITHIN SCHEDULE 40 PVC CASING PIPE.
- MINIMUM COVER IN UNPAVED AREAS SHALL BE 30", IN PAVED AREAS OR PLANNED ROADWAYS OR SWALES MIN. COVER SHALL BE 36".

GRINDER STATION CONNECTION		S-16	
DATE: 03-09	DESIGN: J.C.	SCALE: 1/8\"/>	
DESIGNED BY: J.C.	COMPUTER FILE #:	DATE: 03/09/2010	BY: J.C.
DRAWN BY: J.C.	SCALE: 1/8\"/>		
APPROVED: J.C.	DATE: 2010	SHEET: 1 OF 1	

GENERAL POLICY

WHERE COST JUSTIFIED AND OPERATIONALLY FEASIBLE, IT IS THE GENERAL POLICY OF THE F.P.U.A. TO PROVIDE WATER, ELECTRIC, SEWER AND GAS SERVICE FROM THE STREET SIDE OF A PIECE OF PROPERTY, DEPENDING ON FACTORS SUCH AS LOCATION OF EXISTING SUPPLY SOURCE FACILITIES, REAR OR SIDE LOT LINE SUPPLY MAY BE AUTHORIZED, BUT ONLY WITH PRIOR APPROVAL FROM THE F.P.U.A.

WATER METER PLACEMENT
(N.T.S.)

NOTES:

- THE PREFERRED POINT OF CONNECTION TO THE F.P.U.A. WATER METER, AREA (C) SHALL BE LOCATED IN THE CORNER OF THE PROPERTY, SELECTED BY THE F.P.U.A. AS THE BEST LOCATION FOR THE WATER METER. EVERY EFFORT WILL BE MADE TO SELECT THE CORNER WHERE TWO WATER SERVICES AND METERS CAN BE CONNECTED.
- IF PHYSICAL BARRIERS OR OTHER OBSTACLES PREVENT THE CONNECTION OF THE BUILDING SERVICE LINE TO THE F.P.U.A. WATER SERVICE, WITHIN AREA (C), THE F.P.U.A. ENGINEERING DEPARTMENT MAY AUTHORIZE THE CONNECTION ALONG THE PORTION OF THE R/W LINE MARKED AREA (D), OR ALONG THE PROPERTY LINES MARKED AREA (E).
- HORIZONTAL SEPARATION OF WATER AND WASTEWATER SERVICES SHOULD BE A MINIMUM OF 6 FEET AND PREFERABLY 10 FEET.
- ALL METERS SHALL BE INSTALLED IN AN UNRESTRICTED AREA FOLLOWING EASE OF ACCESS AND PROVIDING ADEQUATE PROTECTION.
- THE F.P.U.A. SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE WATER LATERAL WITHIN THE EASEMENT OR RIGHT-OF-WAY, UP TO THE POINT OF CONNECTION.

WATER METER PLACEMENT POLICY		W-1	
DATE: 03-09	DESIGN: J.C.	SCALE: 1/8\"/>	
DESIGNED BY: J.C.	COMPUTER FILE #:	DATE: 03/09/2010	BY: J.C.
DRAWN BY: J.C.	SCALE: 1/8\"/>		
APPROVED: J.C.	DATE: 2010	SHEET: 1 OF 1	

TYPICAL MULTIPLE WATER SERVICE CONNECTION (COMMERCIAL)
(N.T.S.)

NOTES:

- BLUE 10 GAUGE THIN WIRE SHALL BE ATTACHED TO THE SERVICE LINE AND RAN TO OUTER METERS ONLY.
- WHERE SERVICES UNDER PAVEMENT ARE REQUIRED, THE POLYETHYLENE TUBING SHALL BE INSTALLED WITHIN SCHEDULE 40 PVC CASING PIPE.
- ALL METER SIZES SHALL REQUIRE LOCKABLE METER VALVE. (CURB STOP)
- MINIMUM COVER IN UNPAVED AREAS SHALL BE 30", IN PAVED AREAS OR PLANNED ROADWAYS OR SWALES MIN. COVER SHALL BE 36".
- POLY SERVICE LINE SHALL VARY IN SIZE PER COMMERCIAL USE.
- F.P.U.A. SHALL REMOVE METER BOXES AND INSTALL STAND PIPES AT THE TIME OF CONNECTION.

TYPICAL MULTIPLE WATER SERVICE CONNECTION (COMMERCIAL)		W-4A	
DATE: 03-09	DESIGN: J.C.	SCALE: 1/8\"/>	
DESIGNED BY: J.C.	COMPUTER FILE #:	DATE: 03/09/2010	BY: J.C.
DRAWN BY: J.C.	SCALE: 1/8\"/>		
APPROVED: J.C.	DATE: 2010	SHEET: 1 OF 1	

WATER METER/BACKFLOW PREVENTER ASSEMBLY DOMESTIC SERVICE (COMMERCIAL)
(N.T.S.)

NOTES:

- LANDSCAPING REQUIRED PER CITY OF FORT PIERCE OR ST. LUCIE COUNTY ORDINANCE. NO PLANTS OR TREES WITHIN 18" AROUND METER OR BACKFLOW. NO SOLDER JOINTS.
- ASSEMBLY TO BE 29" FROM FINISH GRADE TO CENTERLINE OF THE FLANGED 90° BEND.

WATER METER/BACKFLOW PREVENTER ASSEMBLY DOMESTIC SERVICES (METER SIZE 2" OR LESS)		W-8	
DATE: 03-09	DESIGN: J.C.	SCALE: 1/8\"/>	
DESIGNED BY: J.C.	COMPUTER FILE #:	DATE: 03/09/2010	BY: J.C.
DRAWN BY: J.C.	SCALE: 1/8\"/>		
APPROVED: J.C.	DATE: 2010	SHEET: 1 OF 1	

DATE	
REVISION	
MARK	
DESIGNED	J.C.
CHECKED	J.C.
SCALE	1/8\"/>
DATE	04/16/21
PROJECT	1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
ENGINEER	JOBAD B. BITTLE
PROFESSIONAL ENGINEER	NO. 57396
STATE OF	FLORIDA
PROJECT NO.	21-008
SHEET	12

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING LAND PLANNING ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 0008668
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772-770-9496 FAX 772-770-9496 EMAIL jbittle@sbsengineers.com
 WEBSITE https://www.sbsengineers.com

MISCELLANEOUS DETAILS

SURFSIDE QUAD PLEX

ENGINEER CERTIFICATION

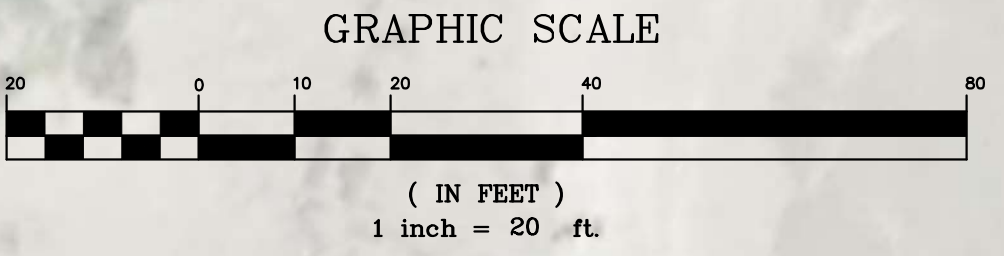
JOHAD B. BITTLE
 FL. REG. NO. 57396
 DATE: 4/30/2021
 PROJECT NO. 21-008
 SHEET 12



COASTAL CONSTRUCTION CONTROL LINE (SEPTEMBER 15, 1988) PLAT BOOK 26, PAGE 26, ST. LUCIE COUNTY

SURFSIDE DRIVE of R/W - 25' W.R.

COASTAL CONSTRUCTION CONTROL LINE (1972) PLAT BOOK 19, PAGE 8, ST. LUCIE COUNTY



DESIGNED	BY	DATE

DESIGNED	BY	DATE

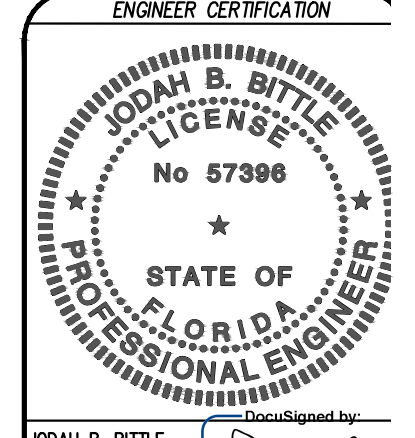
DESIGNED	BY	DATE

DESIGNED	BY	DATE

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING LAND PLANNING ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 00008668
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32980
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 WEBSITE https://www.sbsengineers.com

MISCELLANEOUS
 DETAILS

SURFSIDE
 QUAD PLEX



JOAH B. BITTLE
 FL. REG. NO. 57398
 DATE: 4/30/2021
 PROJECT NO. 21-008 SHEET 14

Landscape Data

Landscape Strip Adjacent to Public R.O.W

Ten (10) feet wide minimum landscape Strip.
One (1) tree for each three hundred (300) square feet of required landscaped area.

Surfside Drive (West) : 54 LF x 10 = 540 sf

Trees Required: (540 sf / 300) = 2 Trees
Trees Provided: = 3 Trees

Landscape Strip Adjacent to Other Property

Ten (10) feet wide minimum landscape Strip.
One (1) tree for each three hundred (200) square feet of required landscaped area.

North Property Line : 84 LF x 10 = 840 sf

Trees Required: (840 sf / 200) = 4 Trees
Trees Provided: = 6 Trees

South Property Line : 84 LF x 10 = 840 sf

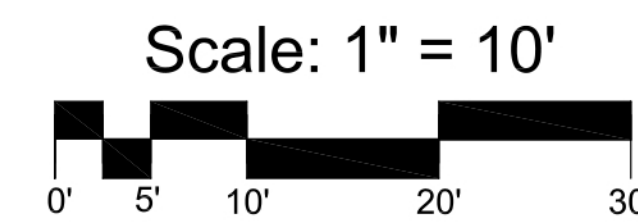
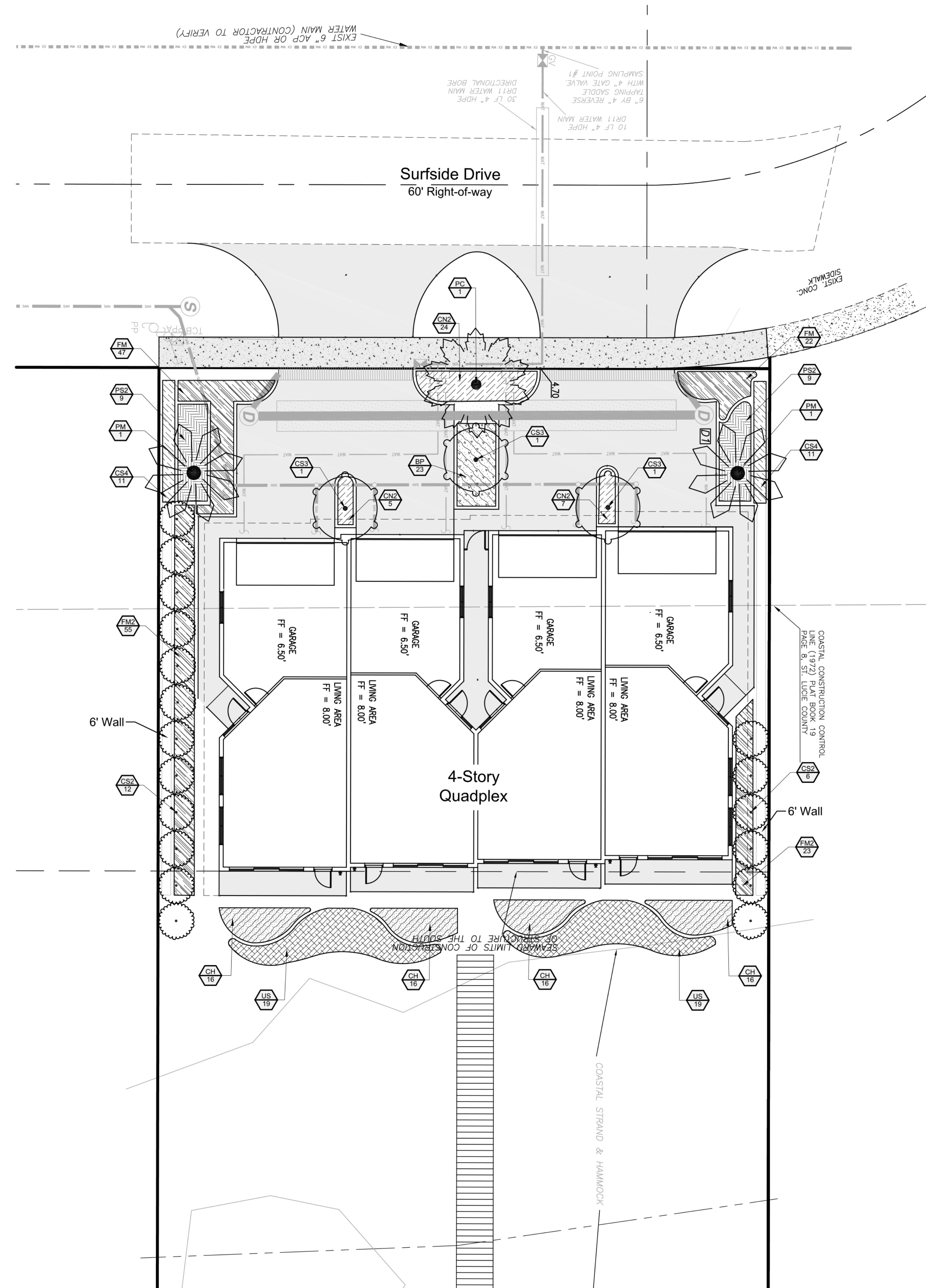
Trees Required: (840 sf / 200) = 4 Trees
Trees Provided: = 12 Trees

Interior Vehicular Use Areas

Trees Required: = 3 Trees
Trees Provided: = 3 Trees

Fort Pierce Landscape Notes

- Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2.", State of Florida, Department of Agriculture, Tallahassee.
- All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
- Grass sod shall be clean and free of weeds, pests and diseases.
- Planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be generally indigenous to the locale, free of debris, roots, clay, stones, plants or other foreign materials. The planting soil shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department.
- Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.
- All landscaping must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.
- No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
- To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views.
- Any irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
- Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris.
- Vegetation required shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees.
- Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.
- No person shall, directly or indirectly, cut down, substantially alter, destroy, remove, relocate, damage or authorize any such act involving a protected tree situated on land within the city, without first obtaining a tree removal permit.
- Removal, trimming, pruning or alteration of any tree or vegetation in an existing utility easement or public right-of-way, provided such work is done by or under the control of the operating utility company and said company has received all necessary licenses or permits to provide utility service within the easement.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled "Plant the Right Tree in the Right Place". For existing or proposed utilities, no tree shall be planted where it could, at a mature height conflict with overhead power lines.
 - Large trees (height at maturity of more than 30') shall be planted no closer than a horizontal distance of 30' from the nearest overhead power line.
 - Medium height trees (height at maturity between 20' and 30') shall be offset at least 20' and small trees (height at maturity of less than 20') require no offset.
 - No tree shrubs, hedges or vines shall be planted within 5' of an existing or proposed utility pole, guy wire or pad-mounted transformer.
 - Palms should be planted at a distance equal to or greater than the average frond length plus two (2) feet from power lines.



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LA 0000905

Florida Surfside Quadplex City of Fort Pierce Landscape Plan



Job No. 2021-12
Drawn By EB
Checked By MH
Approved By MH
Submittal Dates 4-30-21

Revision Dates

LP-1

Landscape Notes / Specifications

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL THE REQUIREMENTS STATED UNDER DIVISION 1 - GENERAL REQUIREMENTS AND CONDITIONS AS WELL AS THE SPECIFIC CRITERIA OUTLINED HEREIN AND ON THE LANDSCAPE DRAWINGS INCLUDING ADDENDA AS MAY BE ISSUED BY THE OWNER.

2. THE SCOPE OF WORK FOR THE LANDSCAPE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL TASKS ASSOCIATED WITH THE LANDSCAPE AND IRRIGATION INSTALLATION AS SHOWN ON THE DRAWINGS OR NOTED HEREIN. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR REASONABLE ACCESS TO POWER AND POTABLE WATER SOURCES AS REQUIRED.

3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING ALL WORK (INCLUDING DELIVERY, STORAGE AND DISPOSAL OF THEIR MATERIALS) IS PERFORMED IN COMPLIANCE WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK.

4. THE LANDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PROJECT MANAGER HAS A COMPLETE, CURRENT SET OF DOCUMENTS ON-SITE AT ALL TIMES.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH EXISTING SITE CONDITIONS AND NOTIFYING THE OWNER IN WRITING OF ANY CONCERNS PRIOR TO COMMENCEMENT OF WORK. THIS EVALUATION SHOULD INCLUDE, BUT IS NOT LIMITED TO, VERIFICATION OF SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS.

6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH PROJECT PLANS AND SCOPES OF WORK RELATED TO ASSOCIATED TRADES TO BE PERFORMED BY OTHERS IN ORDER TO IDENTIFY KEY COORDINATION ITEMS INCLUDING, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.

7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE EXECUTION OF THEIR WORK.

8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE AREA, MATERIALS AND EQUIPMENT WITHIN THE LIMITS OF WORK IN A SAFE, NEAT AND ORDERLY MANNER. EXCESS MATERIALS AND DEBRIS ARE TO BE REMOVED FROM THE WORK AREA NO LESS THAN WEEKLY OR AS DIRECTED BY THE GENERAL CONTRACTOR.

9. THE LANDSCAPE CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT ALL EXISTING SITE ROADS PARKING LOTS, CURBS AND UTILITIES FROM DAMAGE. THIS APPLIES NOT ONLY TO THE AREA WITHIN THE LIMITS OF WORK BUT ALSO ALONG ANY LOCAL ACCESS ROADS.

10. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC APPLICABLE TO ALL APPLICABLE CODES AND RECOGNIZE LOCAL PRACTICES.

11. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE THAT TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) ARE INSTALLED PRIOR TO BEGINNING EXCAVATION.

12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS AND THE PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.

13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE AGRONOMIC EVALUATION OF SOIL CHARACTERISTICS. EVALUATION MUST INCLUDE CHEMICAL ANALYSIS BY A QUALIFIED AGRICULTURAL SOILS TESTING LABORATORY (CERTIFIED IN THE STATE OF FLORIDA). SOILS SAMPLE SHOULD BE TAKEN IMMEDIATELY FOLLOWING COMPLETION OF ROUGH GRADING ACTIVITIES AND SHOULD BE COLLECTED AT A RATE OF ONE SAMPLE FOR EACH 6000 SQUARE FEET OF IMPACTED AREA, OR A TOTAL OF SIX, WHICHEVER IS GREATER. AT A MINIMUM THE CHEMICAL ANALYSIS OF THE SOIL SHOULD CONSIDER THE FOLLOWING:

- A. PERCENTAGE OF ORGANIC MATTER
- B. SALINITY
- C. PH
- D. LIME CONTENT
- E. MINERAL NUTRIENTS INCLUDING CONCENTRATIONS OF NITROGEN, PHOSPHOROUS, POTASSIUM, CALCIUM, MAGNESIUM, IRON, ZINC, MANGANESE, COPPER, SULFUR, AND MOLYBDENUM.
- F. POTENTIAL HAZARDS OR IMPEDIMENTS FOR PLANT GROWTH INCLUDING SALINITY, SODIUM CHLORIDE, BORON, IMPAIRED SOIL STRUCTURE OR DRAINAGE.
- F. SAND FRACTION ANALYSIS AS A PERCENTAGE PASSING THROUGH 1', 1/2', AND NO. 200 SIEVES

H. PERCOLATION RATE IN INCHES PER HOUR.
THE ANALYSIS SHOULD ALSO INCLUDE SPECIFIC RECOMMENDATIONS TO THE OWNER FOR ANY AMENDMENTS AND BACKFILL MIXES FOR OPTIMAL PLANT GROWTH TO BE MADE TO THE SOILS PRIOR TO PLANTING. THE CONTRACTOR SHOULD INCLUDE THE COST FOR SOIL AMENDMENTS. THE CONTRACTOR IS TO PROVIDE THE OWNER WITH COPIES OF ALL SOIL TESTING RESULTS. SUBMITTAL DOCUMENTATION MUST ALSO CONTAIN A GRAPHIC SITE PLAN DEPICTING LOCATIONS FROM WHICH EACH SAMPLE WAS DRAWN.

14. THE LANDSCAPE CONTRACTORS BASE BID FOR SOIL PREPARATION IS TO INCLUDE THE FOLLOWING WITH THE UNDERSTANDING THAT MIX DESIGN MAY NEED TO BE ADJUSTED BASED ON OUTCOME OF AGRONOMIC TESTING.

- A. TREES: 100% SITE SOIL WITH SLB TRIPLE SUPER PHOSPHATE PER CU YD.
- B. SHRUBS: 100% SITE SOIL WITH OSMOCOTE CONTROLLER RELEASE FERTILIZER (14-14-14) PER MANUFACTURER'S RECOMMENDATION.

C. THE SOILS TEST RESULTS TAKE PRECEDENCE OVER THE ITEMS NOTED IN A AND B ABOVE.

15. SHOULD OWNER AND LANDSCAPE CONTRACTOR AGREE WITH THE RECOMMENDATION OF THE TESTING AGENCY TO FURTHER AMEND THE SOILS THE CONTRACTOR'S CONTRACT WILL BE ADJUSTED ACCORDINGLY. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT SAMPLES OF AMENDED SOILS TO BE RE-TESTED TO CONFIRM COMPLIANCE WITH RECOMMENDATIONS FOLLOWING THE SAME PROCEDURES AS THE ORIGINAL TESTS.

16. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF EACH PLANT MATERIAL REQUIRED TO ADEQUATELY COVER THE AREA SHOWN ON THE LANDSCAPE PLANS AT THE PRESCRIBED SPACING AND NOTIFYING THE OWNER IMMEDIATELY OF ANY PERCEIVED DISCREPANCIES FOR RESOLUTION. THE PLANT SPACING CONTROLS BED LAYOUT, NOT THE PLANT QUANTITY FOR THAT PARTICULAR BED.

FINE GRADING NOTES

1. FINISHED GRADE IN PLANTING AREAS SHALL BE HELD 3" BELOW THE FINISHED ELEVATIONS SHOWN FOR ALL ADJACENT HORIZONTAL SURFACES.
2. ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINING SOIL. FILL SHALL BE CLEAN AND FREE OF ALL MATERIALS HARMFUL TO PLANT GROWTH AND DELETERIOUS MATERIAL SUCH AS ROCKS (LARGER THAN 2" DIA.), COMPACTED CLAY, ROADBED OR SURFACING MATERIAL, MUCK, ROOTS AND BRANCHES, ETC.
3. THE LANDSCAPE CONTRACTOR IS TO ENSURE THAT THEIR WORK DOES NOT ADVERSELY IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.

INSTALLATION NOTES

1. PLANT AND LANDSCAPE MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, AS GIVEN IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, AS PREPARED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES.
2. A 3" THICK LAYER OF ORGANIC NON-CYPRESS MULCH SHALL BE APPLIED TO ALL LANDSCAPE AND PLANTING AREAS.
3. ALL EXOTIC VEGETATION TO BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. THIS PLAN HAS BEEN DESIGNED TO MEET WITH THE TREE PLANTING REQUIREMENTS CONTAINED WITHIN THE PFL DOCUMENT ENTITLED "PLANT THE RIGHT TREE IN THE RIGHT PLACE."
5. FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD, AT MATURE HEIGHT, CONFLICT WITH OVERHEAD POWER LINES. LARGE TREES | HEIGHT AT MATURITY OF MORE THAN THIRTY (30) FEET | SHALL BE PLANTED NO CLOSER THAN A HORIZONTAL DISTANCE OF THIRTY (30) FEET FROM THE NEAREST OVERHEAD POWER LINE. MEDIUM HEIGHT TREE | HEIGHT AT MATURITY BETWEEN TWENTY (20) AND THIRTY (30) FEET | SHALL BE OFFSET AT LEAST TWENTY (20) FEET AND SMALL TREES | HEIGHT AT MATURITY OF LESS THAN (20) FEET | REQUIRE NO OFFSET.
6. NO TREE, SHRUBS, HEDGES OR VINES SHALL BE PLANTED WITHIN FIVE (5) FEET OF ANY EXISTING OR PROPOSED UTILITY POLE, GUY WIRE OR PAD MOUNTED TRANSFORMER. PALMS SHOULD BE PLANTED AT A DISTANCE EQUAL TO OR GREATER THAN THE AVERAGE FRONT LENGTH PLUS TWO (2) FEET FROM POWER LINES.
7. WETLAND BUFFERS, BUFFER PROTECTION AREAS, AND UPLAND PRESERVE AREAS SHALL BE PROTECTED FROM EXCAVATION, CONSTRUCTION, AND OTHER BUILDING MAINTENANCE ACTIVITIES.
8. TREES TO REMAIN DURING CONSTRUCTION SHALL BE PROTECTED AND BARRICADED. SEE TREE PROTECTION NOTE.
9. FERTILIZER SHALL BE COMPLETE WITH APPROXIMATELY THE FOLLOWING RATIO: 3N-1P-3K (+1MG FOR PALMS ONLY)
10. TREES AND PALMS ARE TO BE PLANTED IN ACCORDANCE TO LANDSCAPE PLAN. GOOD HORTICULTURAL PRACTICES MUST BE OBSERVED.
11. TREES AND PALMS ARE TO BE PLANTED IN THE RIGHT-OF-WAY (ROW) AT A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB AT LOCATIONS IDENTIFIED ON THE LANDSCAPE PLAN. AWARDED BIDDER SHALL STAKE AND/OR PAINT PLANTING LOCATIONS IN THE FIELD. UPON APPROVAL BY THE CUSTOMER, THESE AREAS SHALL BE SPRAYED WITH AN APPROVED HERBICIDE AND MAINTAINED WEED-FREE FOR THE DURATION OF THE PROJECT.
12. EXCAVATE PLANTING HOLES WITH VERTICAL SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. MAKE EXCAVATIONS TWICE AS WIDE AS THE ROOT BALL DIAMETER AND SLIGHTLY LESS (TWO INCHES) THAN THE DISTANCE BETWEEN THE TOP-MOST ROOT BALL IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. ALTERNATIVELY, EXCAVATE THE HOLE SLIGHTLY WIDER THAN THE ROOT BALL AND PLACE THE ROOT BALL IN THE HOLE SO THE TOP-MOST ROOT IS EVEN WITH OR SLIGHTLY (2 INCHES) HIGHER THAN THE SURROUNDING LANDSCAPE GRADE. THEN, LOOSEN THE SURROUNDING SOIL OUT TO A DIAMETER EQUAL TO TWICE THE DIAMETER OF THE ROOT BALL. FINALLY, PUSH THE LOOSENED SOIL TOWARD THE ROOT BALL TO FILL THE HOLE.

13. IF WATER FILLS THE BOTTOM OF THE PLANTING HOLE, ADD SOIL TO THE BOTTOM OF THE HOLE UNTIL THE WATER IS COVERED. PACK THIS ADDED SOIL FIRMLY. PLACE THE ROOT BALL ON THIS PACKED, SOLID SOIL, NOT IN WATER. NO PART OF THE ROOT BALL SHALL BE PLACED IN WATER. IF NECESSARY, BRING IN SOIL SIMILAR TO SITE SOIL TO COVER THE SIDES OF THE ROOT BALL, CREATING A RAISED MOUND. THE BASE OF THE MOUND (I.E. THE OUTER DIAMETER) CREATED SHALL BE AT LEAST SIX TIMES THE DIAMETER OF THE ROOT BALL.
14. WHEN PLANTING ON A SLOPE, THE TOP-MOST MAIN ROOT IN THE ROOT BALL SHALL BE EVEN WITH THE GRADE ON THE UPHILL SIDE OF THE TREE. SITE SOIL WILL NEED TO BE ADDED ON THE DOWNHILL SIDE TO COVER THE SIDES OF THE ROOT BALL AND TO CONSTRUCT THE SOIL BERM TO HOLD WATER. THE AMOUNT OF SOIL ADDED ON THE DOWNHILL SIDE WILL DEPEND ON THE SLOPE AND SIZE OF THE ROOT BALL.
15. REMOVE ALL WOOD, PLASTIC, OR GARBAGE FROM THE ROOT BALL. SET PLANTS IN CENTER OF HOLES WITH THE TOP-MOST ROOT IN THE ROOT BALL AT THE SAME HEIGHT OR SLIGHTLY (2 INCHES) HIGHER THAN FINISHED LANDSCAPE GRADES AND PLUMB THE TREE SO THE TRUNK IS VERTICAL. BACKFILL FIELD SOIL AROUND SIDES OF ROOT MASS AND WORK EACH LAYER TO SETTLE AND ELIMINATE VOIDS AND AIR POCKETS. MATERIAL MUST BE WATERED IN AS PLANTED. PROVIDE APPROXIMATELY 5 GALLONS OF WATER PER INCH OF TRUNK CALIPER TO THE ROOT BALL ONCE ALL BACKFILL IS FILLED IN AROUND THE ROOT BALL.
16. PROVIDE A 2-3" HIGH SOIL BERM AROUND THE EDGE OF ROOT BALL TO FORM A SHALLOW SAUCER TO COLLECT WATER. THE WATERING SAUCER, REGARDLESS OF HOLE SIZE, IS TO BE AT EDGE OF ROOT BALL. ALTERNATIVELY, COBRA EDGING IS TO BE INSTALLED AT THE EDGE OF THE ROOT BALL.
17. BROADCAST OVER THE ROOT BALL AND BACKFILL SOIL, AT THE RECOMMENDED RATE, A BROAD-SPECTRUM PRE-EMERGENT HERBICIDE PRIOR TO MULCHING.
18. APPLY A CONTROLLED-RELEASE FERTILIZER TO THE SOIL SURFACE UNDER THE MULCH AT 1LB NITROGEN PER 1000 FT² PRIOR TO MULCHING. NO OTHER AMENDMENTS ARE NECESSARY.
19. ON TREES UP TO 4" CALIPER, APPLY A THREE (3)-INCH LAYER OF MULCH TO AN EIGHT (8)-FOOT DIAMETER CIRCULAR AREA AROUND THE TRUNK. ON LARGER CALIPER TREES, APPLY A TWO (2)-FOOT DIAMETER MULCH AREA FOR EACH INCH OF TRUNK CALIPER. NO MULCH SHALL BE APPLIED TO THE INNER HALF OF THE ROOT BALL SURFACE.
20. TREES AND PALMS ARE TO BE SECURED BY AWARDED BIDDER AS SHOWN IN EXHIBITS A-C. (NOTE: STAKING IS OPTIONAL FOR MORE PROTECTED LOCATIONS).
21. A REPRESENTATIVE WILL INSPECT TREES AND PALMS DURING INSTALLATION. MATERIAL THAT IS IN SHOCK OR HAS BEEN DAMAGED DURING INSTALLATION SHALL BE REPLACED BY AWARDED BIDDER WITHIN FIVE (5) WORKING DAYS FROM NOTIFICATION.
22. REMOVE FROM WORK SITE ALL EXCESS MATERIALS (E.G., SOIL, DEBRIS AND EQUIPMENT) DAILY THROUGH DURATION OF PROJECT. DAMAGES RESULTING FROM INSTALLATION SHALL BE REPAIRED BY AWARDED BIDDER.
23. PRUNING: IF THERE IS A DOUBLE LEADER IN THE TOP HALF OF THE TREE, SHORTEN ONE, BY ABOUT ONE-HALF, BACK TO A LIVE BRANCH THAT POINTS AWAY FROM THE TREE AND IS AT LEAST ONE-THIRD THE DIAMETER OF THE CUT LEADER. REMOVE BROKEN PORTIONS OF DAMAGED BRANCHES BACK TO A LIVE LATERAL BRANCH.

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22. REMOVE ALL STRING OR WIRE STRUNG AROUND THE TRUNK. REMOVE ALL STRAPS, ROPE AND STRIP USED TO LIFT THE ROOT BALL. REMOVE ALL BURLAP AND WIRE FROM THE TOP OF THE ROOT BALL.

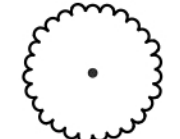
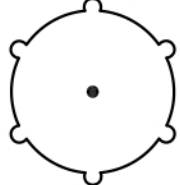
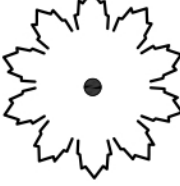
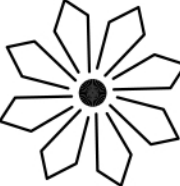
ACCEPTANCE NOTES

1. INSPECTION TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE CUSTOMER REPRESENTATIVE UPON AWARDED BIDDERS REQUEST. PROVIDE NOTIFICATION A MINIMUM OF FIVE (5) WORKING DAYS BEFORE REQUESTED INSPECTION DATE.

PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN SATISFIED AND PLANT MATERIALS ARE IN A HEALTHY, VIGOROUS CONDITION.

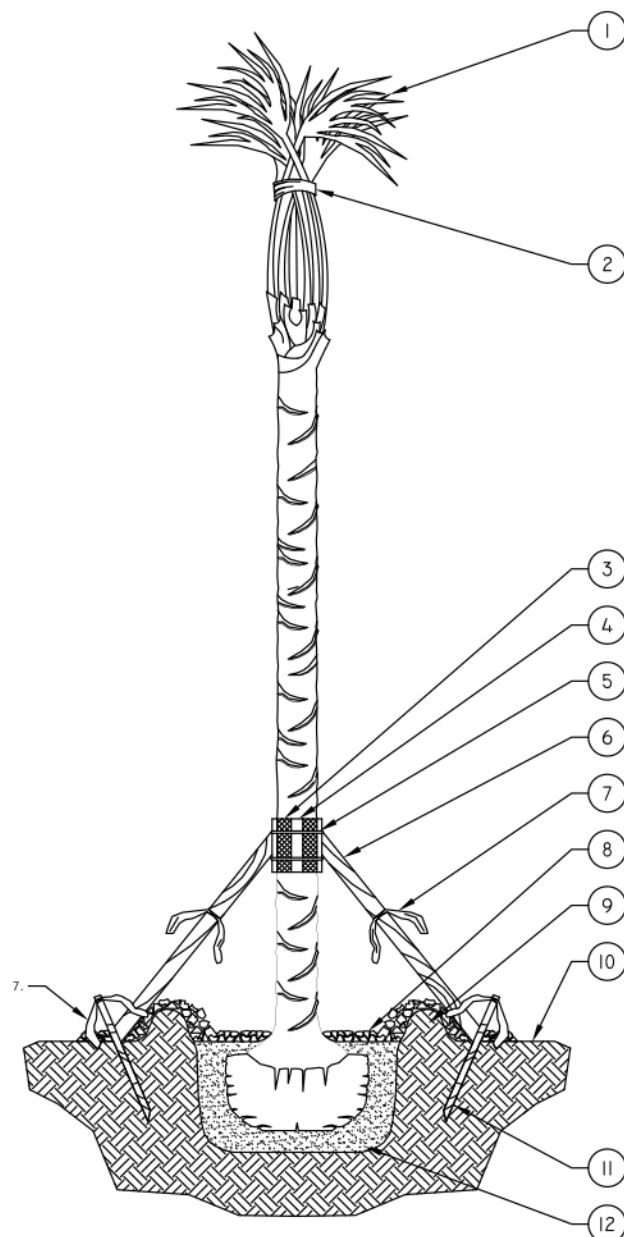
2. THE CUSTOMER REPRESENTATIVE WILL PREPARE A "PUNCH LIST" OF THOSE ITEMS, WHICH MUST BE CORRECTED BEFORE RE-INSPECTION FOR FINAL ACCEPTANCE. THE REPRESENTATIVE WILL DETERMINE AN APPROPRIATE TIME PERIOD FOR CORRECTIONS. AWARDED BIDDER MUST REQUEST RE-INSPECTION TWO (2) WORKING DAYS IN ADVANCE.

PLANT SCHEDULE

TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
	CS2	18	Small Leaf Clusia / Clusia guttifera	8' - 10' Ht. x 4' - 5' Spr, Std., 4 - 5' ct.	Yes
	CS3	3	Silver Buttonwood / Conocarpus erectus sericeus	2.5" DBH, 12' Ht. x 5' Spr. Min., Std., 5' ct.	Yes
PALMS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE
	PC	1	Canary Island Date Palm / Phoenix canariensis	7' - 8' CT. Single Specimen	No
	PM	2	Date Palm / Phoenix dactylifera `Medjool`	12' - 13' CT, Single Specimen, Diamond Cut	No

PLANT SCHEDULE

SHRUB AREAS	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE	SPACING
BP	23	Purple Bougainvillea / Bougainvillea spectabilis `Purple`	3 gal., 16" - 18" Ht, Full, Compact Shrub form	No	24" o.c.
CH	64	Horizontal Cocoplum / Chrysobalanus icaco `Horizontalis`	3 gal., 12"-14" HT x 12"-14" Spr., Full	Yes	24" o.c.
CN2	36	Dwarf Pitch Apple / Clusia rosea `Nana`	3 gal., 12 - 14" HT. x 12 - 14" Spr., Full	No	24" o.c.
CS4	22	Silver Buttonwood / Conocarpus erectus sericeus	3 gal., 24" Ht. Min.	Yes	24" o.c.
FM2	78	Green Island Ficus / Ficus microcarpa `Green Island`	3 gal., 12 - 14" HT. x 12 - 14" Spr., Full	No	24" o.c.
FM	69	Green Island Ficus / Ficus microcarpa `Green Island`	3 gal., 12 - 14" HT. x 12 - 14" Spr., Full	No	20" o.c.
PS2	18	White Fountain Grass / Pennisetum setaceum `White`	3 gal., 36" o.c.	Yes	36" o.c.
US	38	Sea Oats / Uniola paniculata	3 gal., 24" Ht. Min.	Yes	36" o.c.



PALM TREE PLANTING

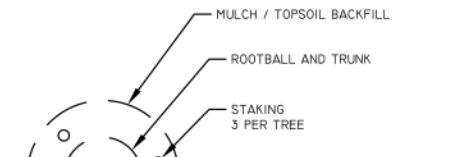
N.T.S.

NOTES:

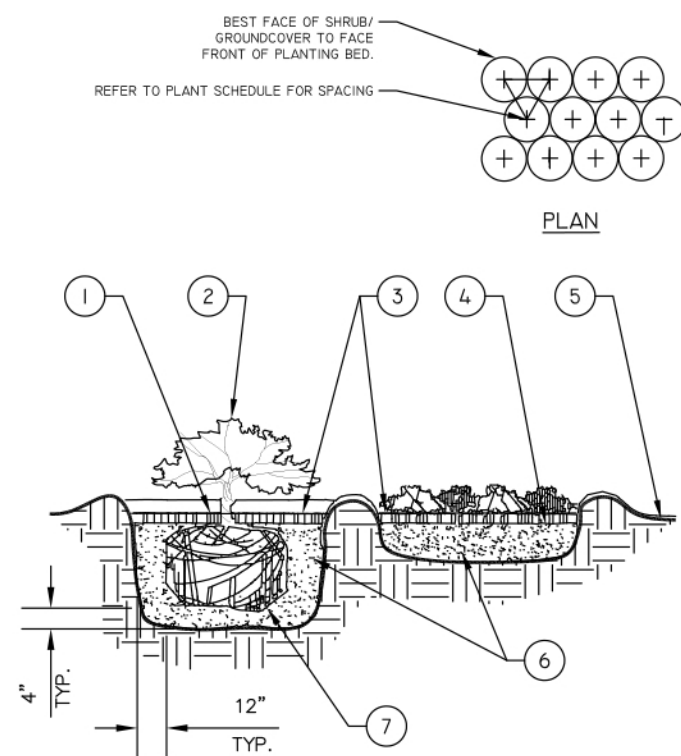
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

1. MINIMUM OF NINE (9) GOOD PALM FRONDS
2. PRUNE AND THE FRONDS WITH HEMP TWINE. CABBAGE PALMS TO BE "HURRICANE CUT"
3. 5 LAYERS OF BURLAP TO PROTECT TRUNK.
4. FIVE 2" X 4" X 18" WOOD BATTENS.
5. SECURE BATTENS WITH 2-5/16" CARBON STEEL BANDS TO HOLD BATTENS IN PLACE. NO NAILS SHALL BE DRIVEN INTO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
6. ATTACH 3-2" X 4" X 8" (DRILL AND NAIL IF NECESSARY) TO BATTENS AND 2" X 4" STAKES. FLAG AT MIDPOINT AND AT BASE.

7. PROVIDE FLAGGING
8. 3" MULCH
9. BERM SOIL TO HOLD WATER
10. FINISH GRADE
11. 2" X 4" X 24" (MIN) P.T. WOOD STAKES (TYP.) NAIL TO SUPPORT POLES.
12. PREPARED PLANTING SOIL MIX AS SPECIFIED. COMPACT BENEATH ROOT BALL.



PLAN

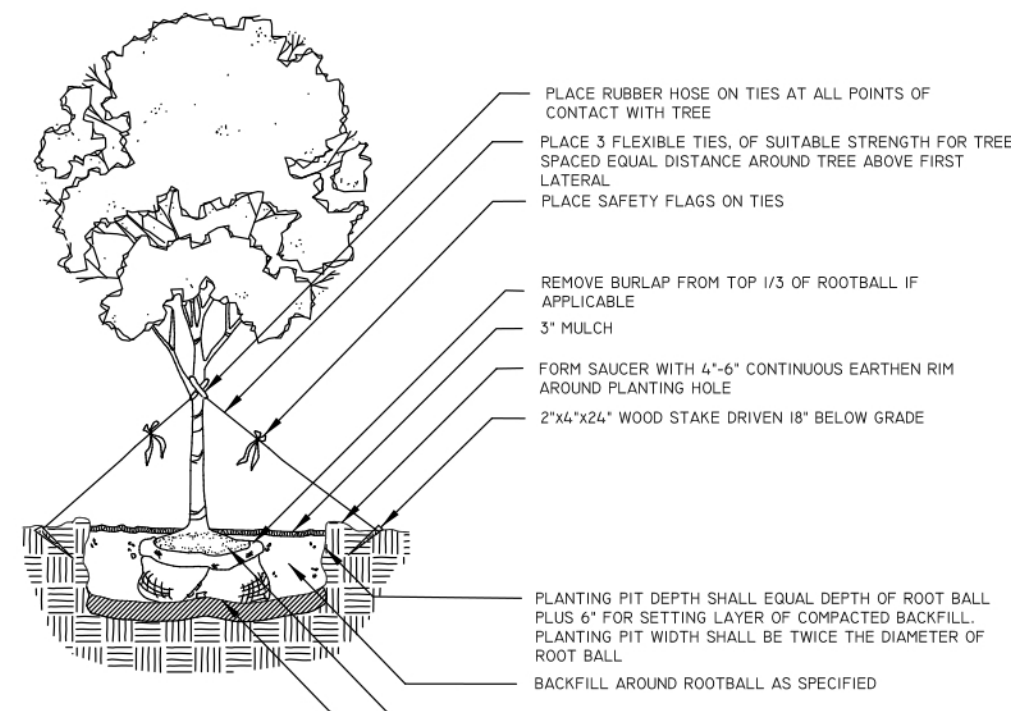


SECTION

SHRUB/GROUNDCOVER PLANTING

N.T.S.

1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
2. WHEN USED IN MASSES- PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT.
3. 3" MULCH AS SPECIFIED.
4. EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
5. 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
6. PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED IN THE PLANTING SPECIFICATION.
7. SCARIFY ROOTBALL SIDES AND BOTTOM.



TREE PLANTING DETAIL

N.T.S.



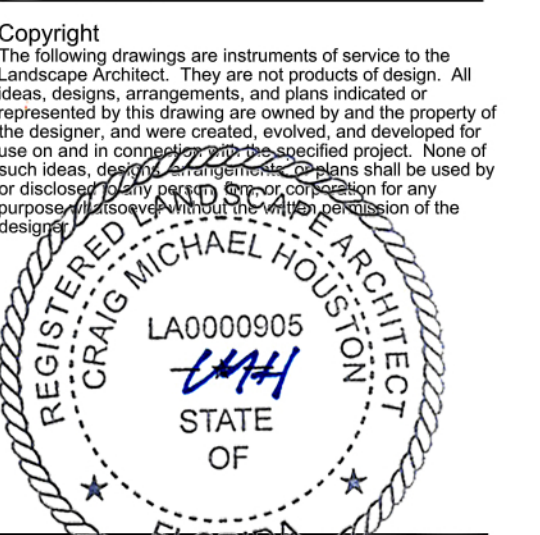
50 E. Ocean Blvd., Suite 101
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T 772.678.7200
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LA 0000905

Florida

Surfside Quadplex
City of Fort Pierce
Landscape Specifications



Job No. 2021-12
Drawn By _____ EB
Checked By _____ MH
Approved By _____ MH
Submittal Dates 4-30-21

Revision Dates _____

LP-2

JAMES E.
GILGENBACH
ARCHITECT



ARCHITECTURE
&
PLANNING
FL AR-7457

28 APRIL 2021

Brandon Creagan, Senior Planner
City of Fort Pierce, Planning Department
100 N US Highway #1
Fort Pierce, FL 34954

RE: Traffic Statement for proposed Surfside Quadplex
1700 Surfside Drive, Fort Pierce, FL

Dear Mr. Creagan:

Proposed project is a 4-unit Multi-Family Residential Quadplex. The Facility will feature Modern Architecture, Turtle Friendly Lighting, Space saving onsite Underground Exfiltration storm water collection and storage, Salt Tolerant Attractive Landscaping consistent with the surrounding Streetscape, and potential Sidewalk interconnectivity to the Condominium public Sidewalk to the North.

Existing Traffic Conditions:

Existing Property is vacant. No access is available. Per the 10th Edition of the ITE Trip Generation Manual, we utilized the coefficients associated with proposed Use Type Multi Family Residential, (Use Type 220) of 7.78 Trips Per Day, Per Unit, resulting in a calculated Estimated number of Daily Trips of (4) x 7.78 per day of 31.1 (32) Trips per day. Surrounding area roads and parking lots do not appear to be at or near capacity.

Traffic Distribution from Proposed Development:

Per Site Access requirements and accepted Best Practices, the North project entry is proposed to be located about 15 feet South of the North West property corner, along city residential street Surfside Drive. Approximately 80% of Trips are expected to arrive from or depart to the North, towards the intersection with SR A1A.

Traffic Statement Summary:

Based on Concurrency Management Chapter 22-217, Average Peak traffic conditions are conducted during weekday hours from 6 a.m. -9 a.m. for AM counts and 4 p.m. -7 p.m. for PM counts.

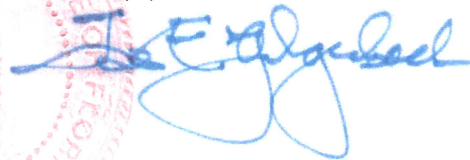
Based on the attached ITE Manual Hourly breakdown for our specific Use Type 220 Multi Family, and 32 Trips per day for the 4 Units, the Average Hourly Total Entering & Exiting A.M. Trip ITE estimation is 12% of that, or 4 Trips, and the Average Hourly Total Entering & Exiting P.M. Trip ITE estimation is 17 % of that, or 6 Trips.

Accordingly, this facility will generate a change in current trip volume of less than 1%. Number of inbound and outbound trips will remain essentially unchanged. The area arterial and secondary roadway system will remain at its current Level of Service.

The project has de minimis impacts on roadway links within a 1-mile radius and is in compliance with the Concurrency Plan of the City of Fort Pierce.

If you have any questions concerning this matter, please feel free to call me.

Sincerely yours,



Mr. James E. Gilgenbach
Architect AR7457
9009 One Putt Place
Port St Lucie, FL 34986
(561) 809-8491
jegarch@comcast.net

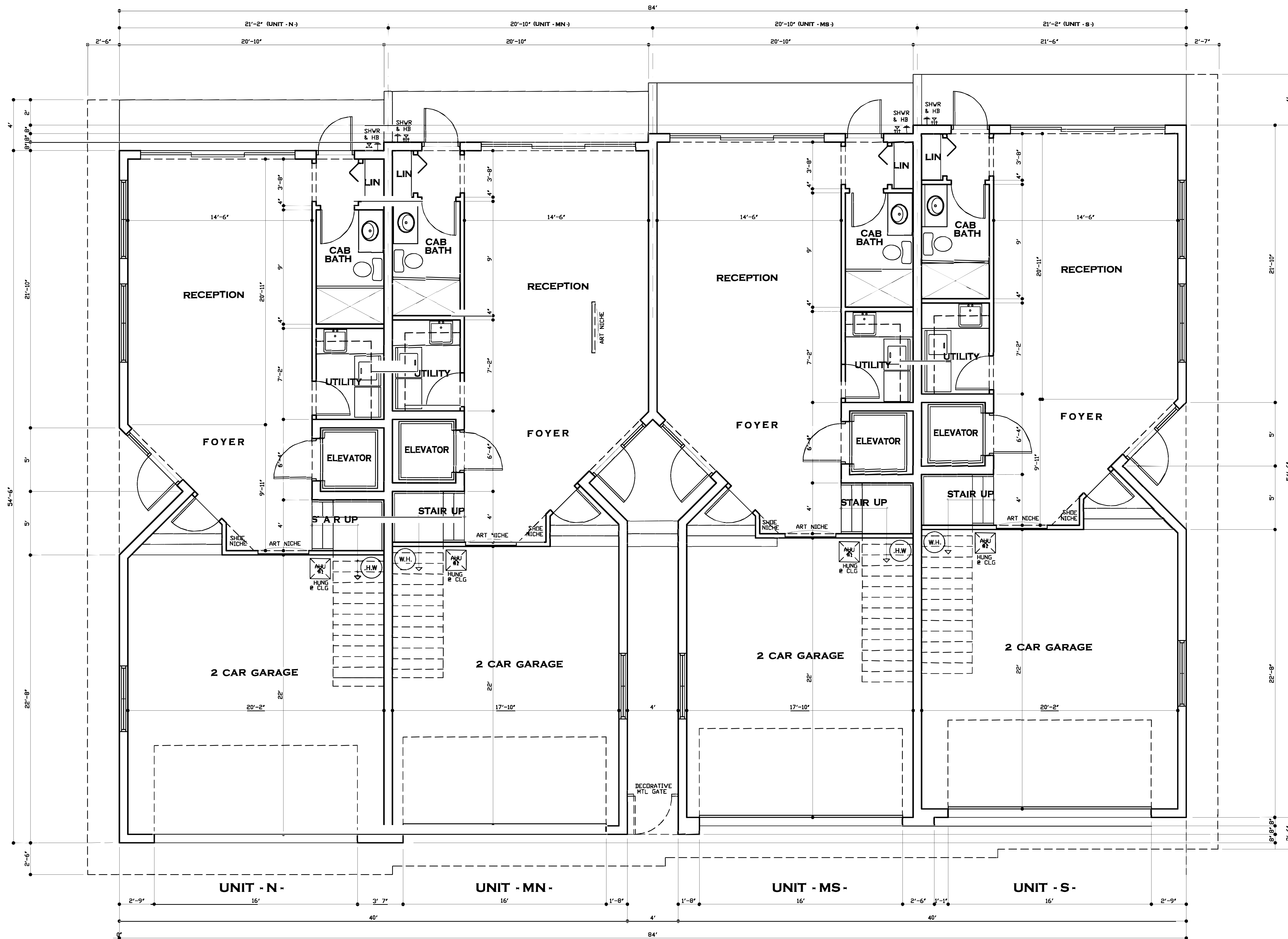
Hourly Distribution of Entering and Exiting Vehicle Trips by Land Use

Source: ITE *Trip Generation Manual* , 10th Edition

Land Use Code **220**
 Land Use **Multifamily Housing (Low-Rise)**
 Setting **General Urban/Suburban**
 Time Period **Weekday**
 Trip Type **Vehicle**
 # Data Sites **9**

% of 24-Hour Traffic

Time	Entering	Exiting
12-1 AM	0.7	0.3
1-2 AM	0.4	0.1
2-3 AM	0.3	0.3
3-4 AM	0.3	0.4
4-5 AM	0.4	1.0
5-6 AM	0.1	2.6
(12%) 6-7 AM	1.1	5.8
7-8 AM	2.6 AV=2.6 %	12.9 AV=9.3 %
8-9 AM	4.0	9.1
9-10 AM	3.9	7.2
10-11 AM	3.9	4.7
11-12 PM	4.9	5.5
12-1 PM	5.6	5.4
1-2 PM	4.8	4.9
2-3 PM	5.9	6.0
3-4 PM	8.3	5.2
(17%) 4-5 PM	10.0	5.1
5-6 PM	11.4 AV=10%	6.7 AV=6.1%
6-7 PM	9.5	6.3
7-8 PM	7.1	4.3
8-9 PM	5.7	3.5
9-10 PM	4.7	1.4
10-11 PM	2.9	1.0
11-12 AM	1.5	0.4



**UNIT - N -
AREA CALCS:**

FIRST FLR.:	622 S.F.
SECOND FLR.:	1006 S.F.
THIRD FLR.:	1186 S.F.
FOURTH FLR.:	1154 S.F.
TOTAL LIVING:	3968 S.F.
GARAGE:	507 S.F.
TOTAL:	4475 S.F.

**UNIT - MN -
AREA CALCS:**

FIRST FLR.:	611 S.F.
SECOND FLR.:	990 S.F.
THIRD FLR.:	1136 S.F.
FOURTH FLR.:	1136 S.F.
TOTAL LIVING:	3873 S.F.
GARAGE:	453 S.F.
TOTAL:	4326 S.F.

**UNIT - MS -
AREA CALCS:**

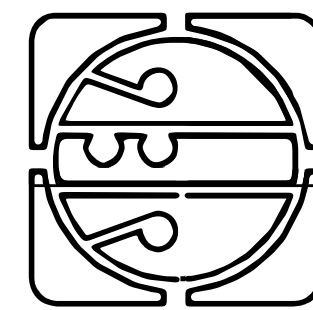
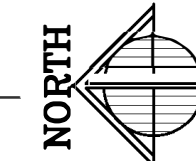
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SECOND FLR.:	990 S.F.
THIRD FLR.:	1136 S.F.
FOURTH FLR.:	1136 S.F.
TOTAL LIVING:	3873 S.F.
GARAGE:	453 S.F.
TOTAL:	4326 S.F.

**UNIT - S -
AREA CALCS:**

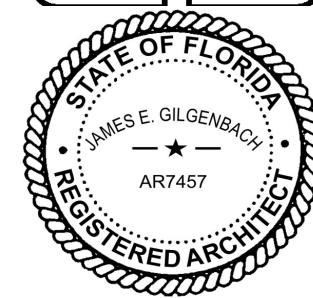
FIRST FLR.:	622 S.F.
SECOND FLR.:	1006 S.F.
THIRD FLR.:	1186 S.F.
FOURTH FLR.:	1154 S.F.
TOTAL LIVING:	3968 S.F.
GARAGE:	507 S.F.
TOTAL:	4475 S.F.

**FIRST FLOOR LEVEL
ARCHITECTURAL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



JAMES E. GILGENBACH & PLANNING
 ARCHITECTURE & PLANNING
 9009 ONE PUTT PLACE
 PORT ST LUCIE, FLORIDA 34986
 (561) 809 - 8491



REVISIONS:

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL BE PROTECTED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.
 3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL...
 4. ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR.
 5. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

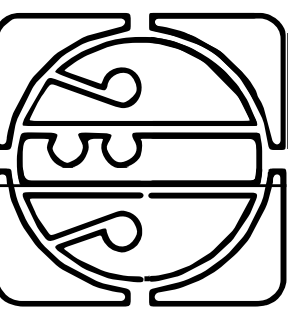
NEW 4 UNIT TOWNHOMES
SURFSIDE TOWNHOMES
 SURFSIDE DRIVE, FORT PIERCE, FLORIDA
 LOT 13, BLOCK 11, SURFSIDE UNIT ONE
 ST LUCIE COUNTY, FLORIDA

DATE: 28 APR '21
 PROJECT NO: 21 - A20
 SHEET: A1
 of 8

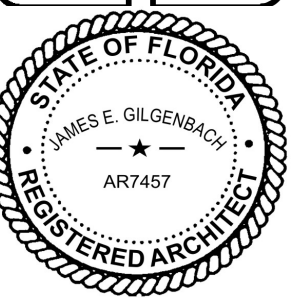


**SECOND FLOOR LEVEL
ARCHITECTURAL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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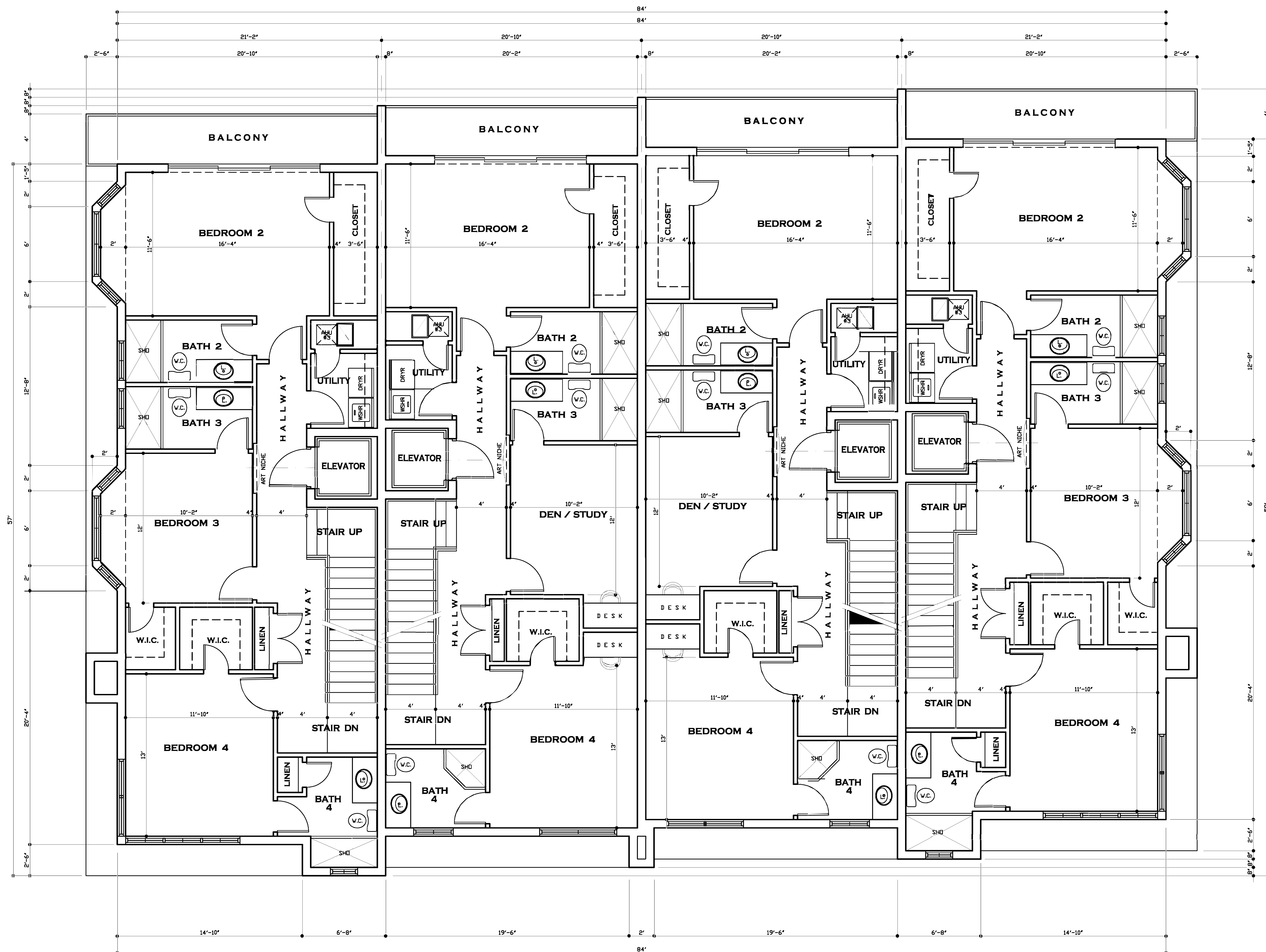


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 3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 4. ALL MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNLESS OTHERWISE SPECIFIED BY ARCHITECT.
 5. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

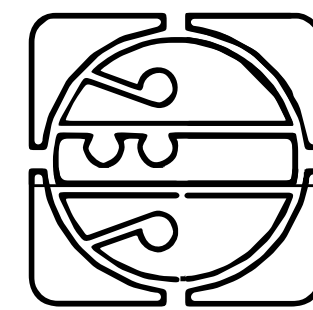
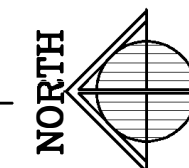
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DATE: 28 APR '21
 PROJECT NO: 21 - A20
 SHEET: 8
A2

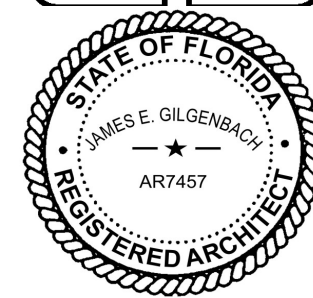


**THIRD FLOOR LEVEL
ARCHITECTURAL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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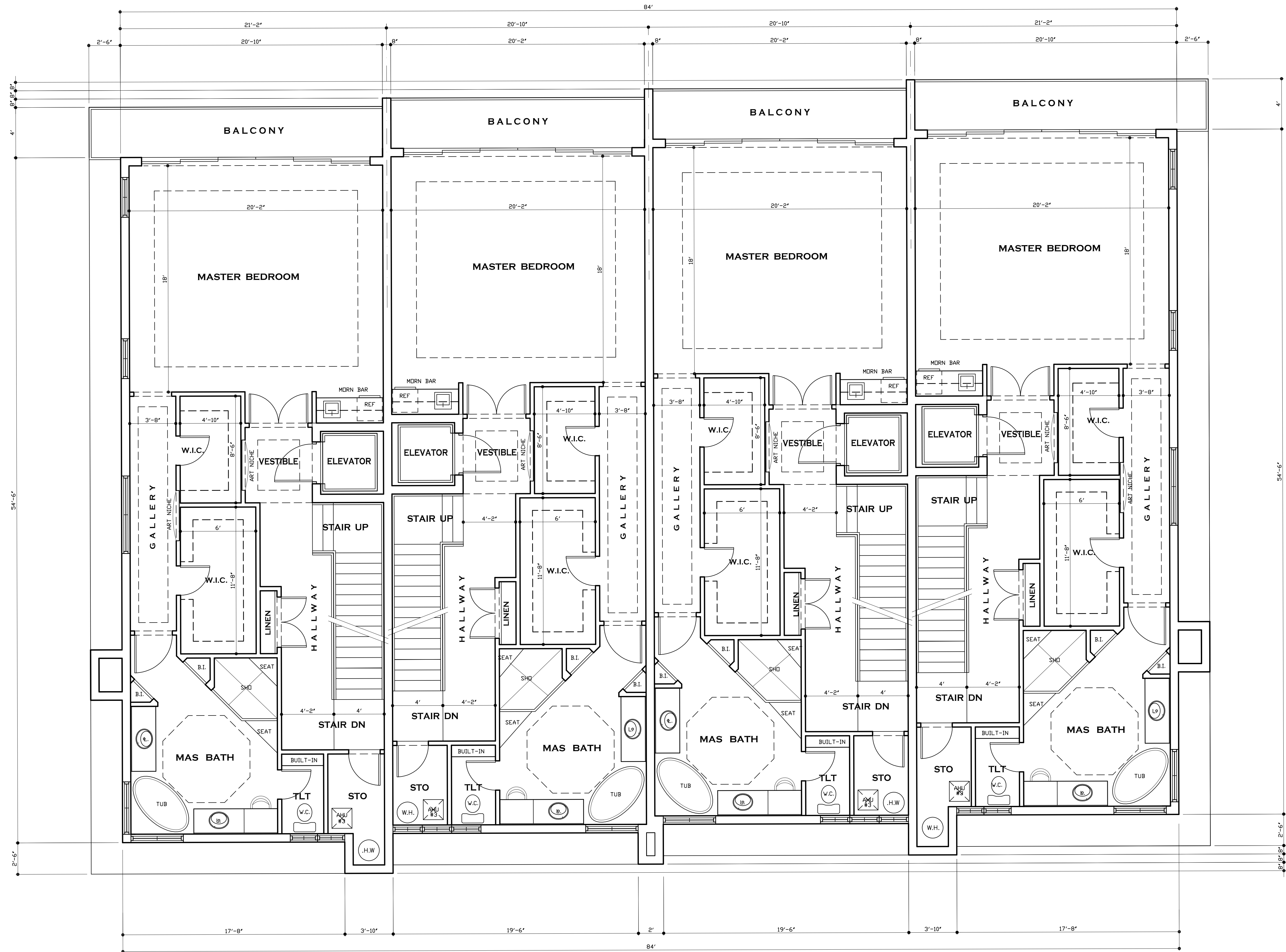


REVISIONS:

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.
 3. CONSTRUCTION SHALL BE PROTECTED UNTIL SHOWN OTHERWISE.
 4. ALL MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL...
 5. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

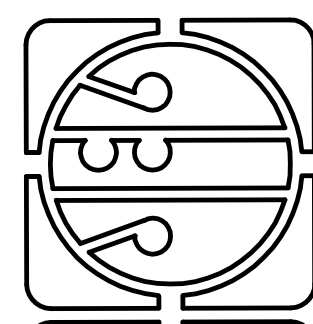
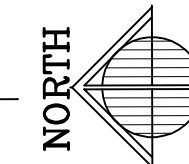
NEW 4 UNIT TOWNHOMES
SURFSIDE TOWNHOMES
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 FORT PIERCE,
 ST LUCIE COUNTY,
 FLORIDA
 LOT 13, BLOCK 11, SURFSIDE UNIT ONE

DATE: 28 APR '21
 PROJECT NO: 21 - A20
 SHEET: of 8 **A3**

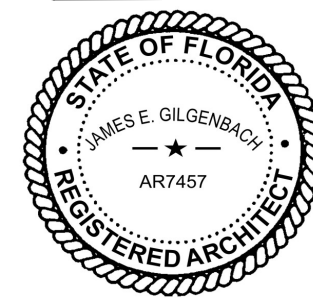


**FOURTH FLOOR LEVEL
ARCHITECTURAL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



JAMES E. GILGENBACH & PLANNING
 ARCHITECTURE & PLANNING
 9009 ONE PUTT PLACE
 (561) 809 - 8491
 PORT ST LUCIE
 FLORIDA 34986

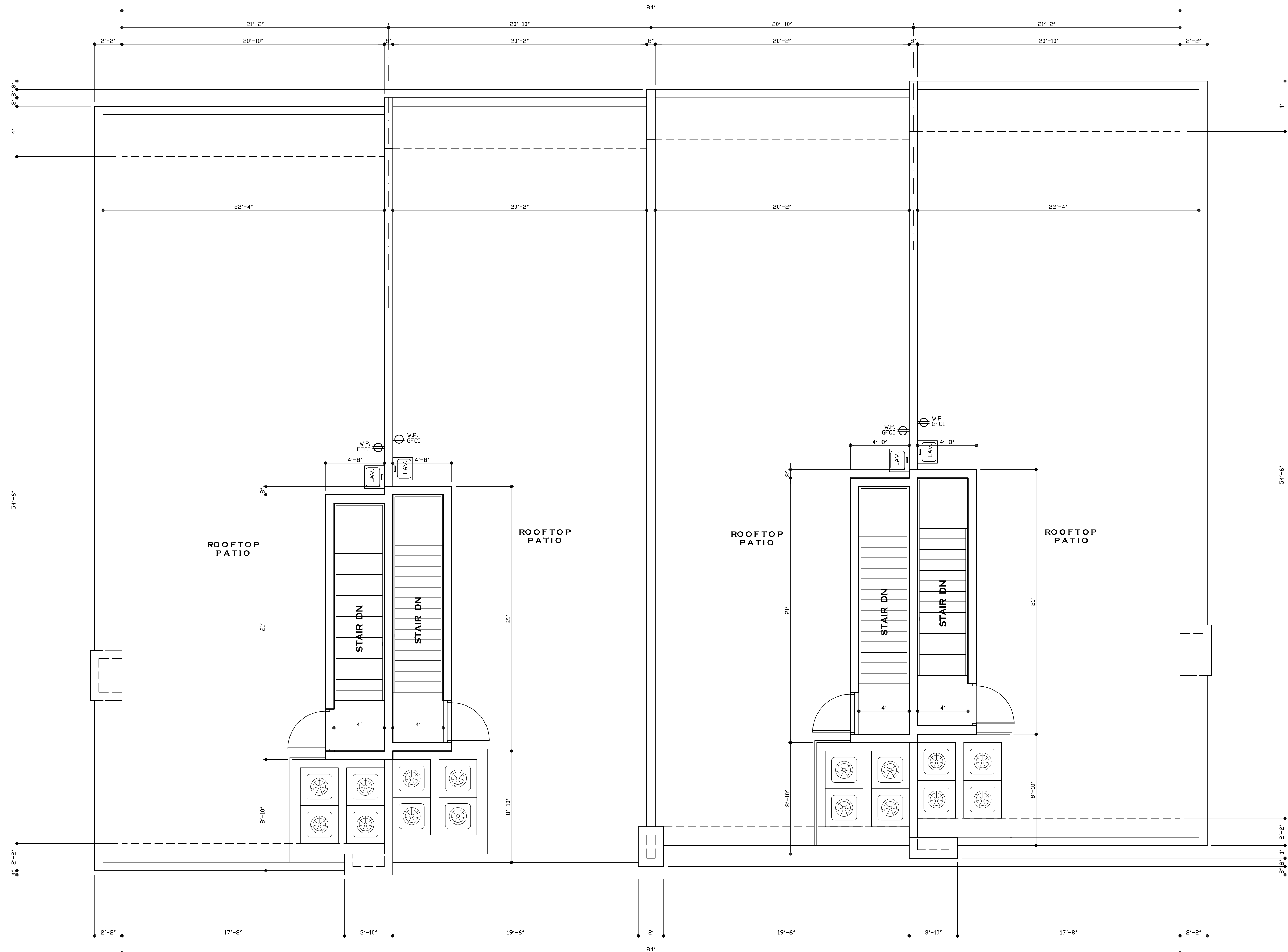


REVISIONS:

1. DRAWINGS ARE NOT TO BE
 SCALED. WRITTEN DIMENSIONS
 HAVE PRECEDENCE OVER ALL
 SCALED DIMENSIONS.
 2. CONTRACTOR TO VERIFY ALL
 DIMENSIONS & ADVISE ARCHITECT
 OF ANY DISCREPANCIES.
 CONSTRUCTION SHALL NOT PROCEED
 UNTIL SAID DISCREPANCIES HAVE
 BEEN RESOLVED BY ARCHITECT.
 3. NO MATERIALS OR SYSTEMS ARE
 TO BE FABRICATED UNTIL
 ALL DIMENSIONS HAVE BEEN
 VERIFIED BY THE CONTRACTOR.
 4. SHOP DRAWINGS HAVE BEEN
 REVIEWED & ACCEPTED BY THE
 ARCHITECT.

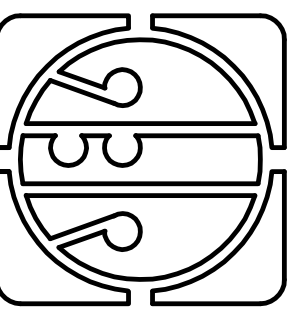
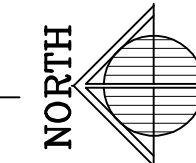
NEW 4 UNIT TOWNHOMES
SURFSIDE TOWNHOMES
 SURFSIDE DRIVE,
 LOT 13, BLOCK 11, SURFSIDE UNIT ONE
 FORT PIERCE, ST LUCIE COUNTY, FLORIDA

DATE: 28 APR '21
 PROJECT NO: 21 - A20
 SHEET: of 8 **A4**

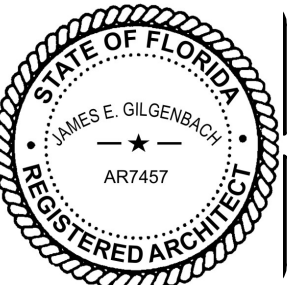


**ROOFTOP LEVEL
ARCHITECTURAL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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REVISIONS:

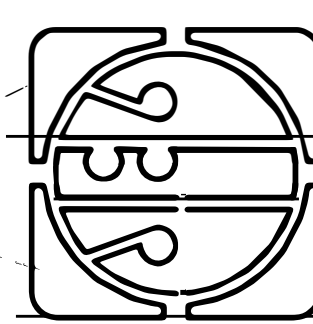
1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.
 3. CONSTRUCTION SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.
 4. ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR.
 5. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

NEW 4 UNIT TOWNHOMES
SURFSIDE TOWNHOMES
 SURFSIDE DRIVE, FORT PIERCE, FLORIDA
 LOT 13, BLOCK 11, SURFSIDE UNIT ONE
 ST LUCIE COUNTY, FLORIDA

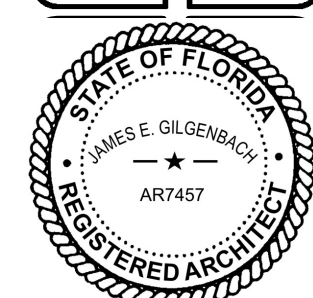
DATE: 28 APR '21
 PROJECT NO: 21 - A20
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FRONT ELEVATION WEST
 SCALE: 1/4" = 1'-0"



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 ARCHITECTURE
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 PORT ST LUCIE
 FLORIDA 34986



REVISIONS:

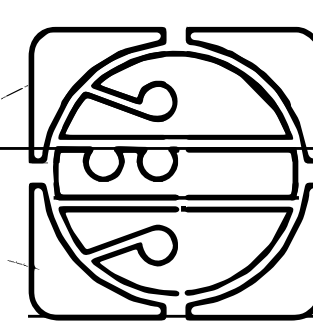
1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRIORITY OVER ALL SCALED DIMENSIONS.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.
 3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR.
 4. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

NEW 4 UNIT TOWNHOMES
SURFSIDE TOWNHOMES
 602 INDIAN RIVER DRIVE, LOT 3, LYING EAST OF STATE RD 707
 FORT PIERCE, ST LUCIE COUNTY, FLORIDA

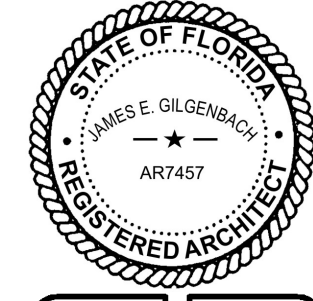
DATE: 28 APR '21
 PROJECT NO: 21 - A20
 SHEET: of 8
A6



REAR ELEVATION EAST
 SCALE: 1/4" = 1'-0"



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 ARCHITECTURE
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 (561) 809 - 8491
 PORT ST LUCIE
 FLORIDA 34986



REVISIONS:

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL BE PROTECTED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.
 3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR.
 4. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

NEW 4 UNIT TOWNHOMES
SURFSIDE TOWNHOMES
 602 INDIAN RIVER DRIVE, LOT 3, LYING EAST OF STATE RD 707
 FORT PIERCE, ST LUCIE COUNTY, FLORIDA

DATE: 28 APR '21
 PROJECT NO: 21 - A20
 SHEET: A7
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