



# CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE

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## AGENDA

Regular Meeting of the Fort Pierce Technical Review Committee to be held Thursday, November 18, 2021 at 2:00 p.m. in the William D. Dannahower, 2nd Floor Conference Room, 100 North U.S. Highway 1.

1. **Call to Order**
2. **Roll Call**
3. **New Business:**
  - a. Annexation - McNeil Road - 2419-422-0003-000-9
  - b. Rezoning - N. US Highway 1 and Seaway Drive - Parcel ID - 2403-717 -0011-000-4
  - c. Site Plan and Conditional Use - U-Haul - 3602 S. US Highway 1
4. **Public Comments**
5. **Staff Comments**
6. **Adjournment**

**Technical Review Committee - 2 PM**

**3. a.**

Meeting Date: 11/18/2021

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**REQUESTED ACTION**

Annexation - McNeil Road - 2419-422-0003-000-9

**LOCATION**

2419-422-0003-000-9

**RESPONSIBLE STAFF**

Jennifer Hofmeister- Drew

**RECOMMENDATION**

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**Attachments**

McNeil Road Annexation

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**Form Review**

Form Started By: Alicia Rosenthal  
Final Approval Date: 11/04/2021

Started On: 11/04/2021 05:50 PM



THE SUNRISE CITY

**FORT PIERCE**  
PLANNING DEPARTMENT *Florida*

TO: Technical Review Committee

FROM: Jennifer Hofmeister-Drew, AICP, LCAM, Planning Director

**RE: Technical Review Project #21-020000010**

Meeting Date: November 18, 2021

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### **McNeil Road Annexation Request Application**

The proposed annexation is being proposed to combine the properties immediately to the north and south which are already within the incorporated limits of the City as part of a plan of development for a multifamily apartment project that is being requested to in order to develop the site pursuant to City Code regulations

Please send all comments to the following emails: [jhofmeister@cityoffortpierce.com](mailto:jhofmeister@cityoffortpierce.com) and [arosenthal@cityoffortpierce.com](mailto:arosenthal@cityoffortpierce.com) or through interoffice mail to the Planning Department. If you have questions, please do not hesitate to contact me should you require any additional information at 772-467- 3730 or 772-353-9036.

Thank you.



Strategic management of land development design, entitlements and permitting.

October 25, 2021

Ms. Jennifer Hofmeister-Drew, AICP, LCAM  
Planning Director  
Planning Department  
City of Fort Pierce  
100 North US1  
Fort Pierce, Florida 34950  
(772) 467-3730

Re: McNeil Road Residential – Annexation of 2.98-acre parcel  
Parcel ID: 2419-422-0003-000-9  
Transmittal Letter

Dear Ms. Hofmeister-Drew:

Please accept the enclosed items listed below being submitted in support of a request for an annexation of the above-referenced property (the “Property”) into the City of Fort Pierce. The Property is proposed to be combined with the properties immediately to the north and south which are already within the incorporated limits of the City as part of a plan of development for a multifamily apartment project. The future land use and rezoning applications for the Property and for the adjacent properties will be submitted under separate cover concurrently with the site plan application for the new multifamily project.

Enclosed are nine (9) copies of the documents listed below:

- ❖ Completed Application for Annexation
- ❖ Deed for Property
- ❖ Aerial of Property with land use and zoning information
- ❖ Property Appraiser aerial with property information
- ❖ Survey of Property

Also enclosed are a check for the \$630 application fee and a disk with digital copies of the items listed above.

Should you have any questions or require additional information, please do not hesitate to contact me. We look forward to working with the City on this application.

Best regards,

Michael J. Sanchez, AICP  
Principal

c. Treasure Coast Land Development, LLC



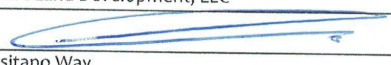
## APPLICATION FOR ANNEXATION

Annexation applications will require the adoption of an ordinance which will require a public meeting before the Planning Board and two public hearings before the City Commission.


**Application submission shall include the following:**

- **TRC** (\*Initial Submission): One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board**: One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission**: One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

**In addition to a complete application, packets shall include:**

- Warranty Deed
  - Current Survey (completed within the last 12 months)
1. Address: No address. East side of McNeil Road approximately 1/4 mile south of Okeechobee Road
  2. Legal description of real property for which annexation is being requested:  
See attached legal description.
- Property Tax ID: 2419-422-0003-000-9
3. Size of described property: 3.04 acres
  4. Project description: Annexation of property to allow for development of property in conjunction with properties immediately to the north and south.
  5. Current St. Lucie County Future Land Use Designation: Commercial (COM)
  6. Current St. Lucie County Zoning: Commercial Office (CO)
  7. Is this a Historic property? No
  8. Appraised value: \$77,900 (according to SLC Property Appraiser)
  9. Name of Owner(s): Treasure Coast Land Development, LLC
- Signature of Owner(s): 
- Mailing Address: 19008 SW Positano Way
- City Port St. Lucie State FL Zip 34986
- Phone (561) 568-8045 Fax \_\_\_\_\_

10. Name of Representative: Michael Sanchez/Managed Land Entitlements

Signature of representative: 

Mailing Address: 3710 Buckeye Street, Suite 100

City) Palm Beach Gardens State FL Zip 33410

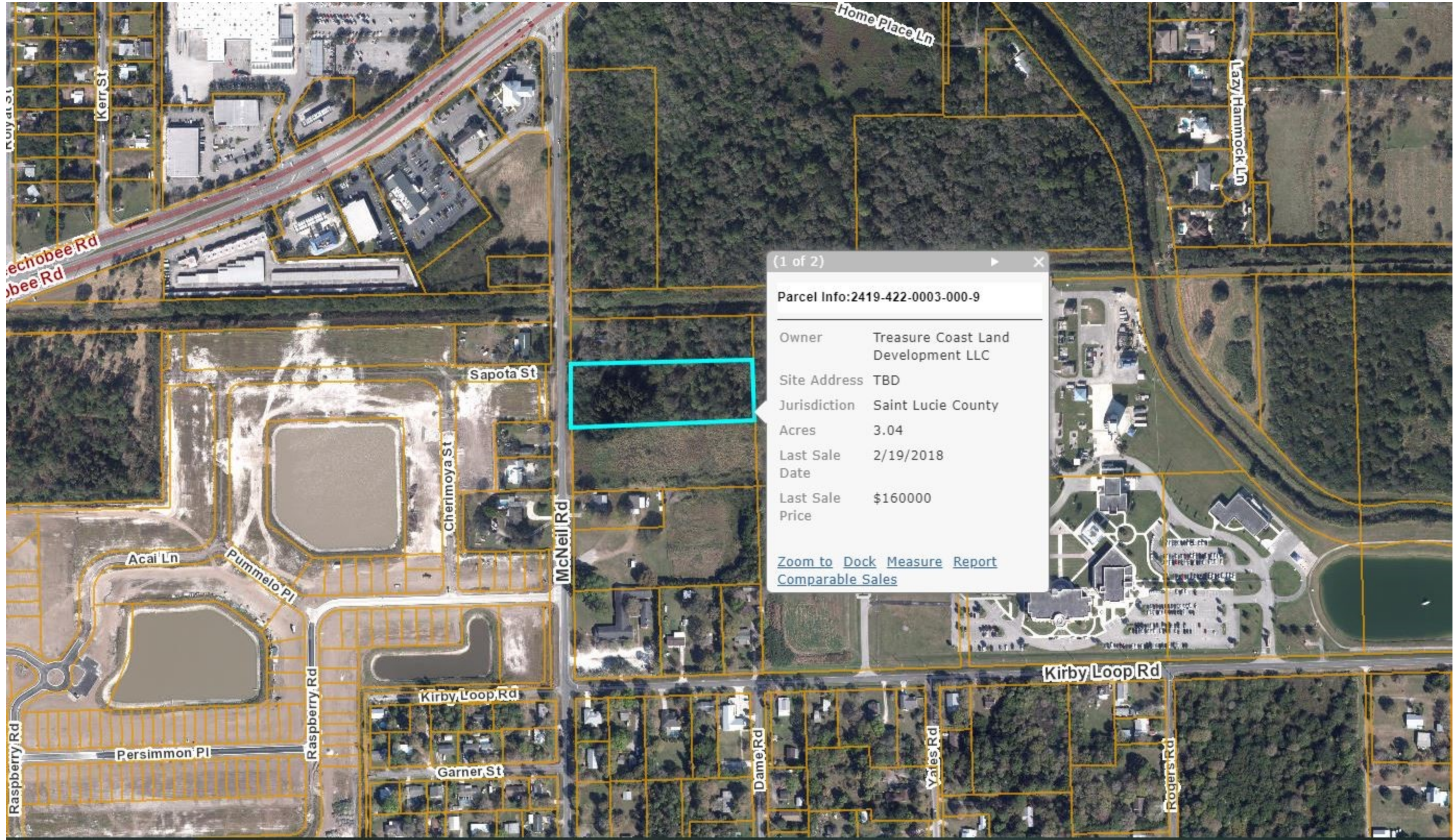
Phone (561) 568-8045 Fax \_\_\_\_\_

E-mail: michael@mylandentitlements.com

**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

<b>OFFICE USE:</b>		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	





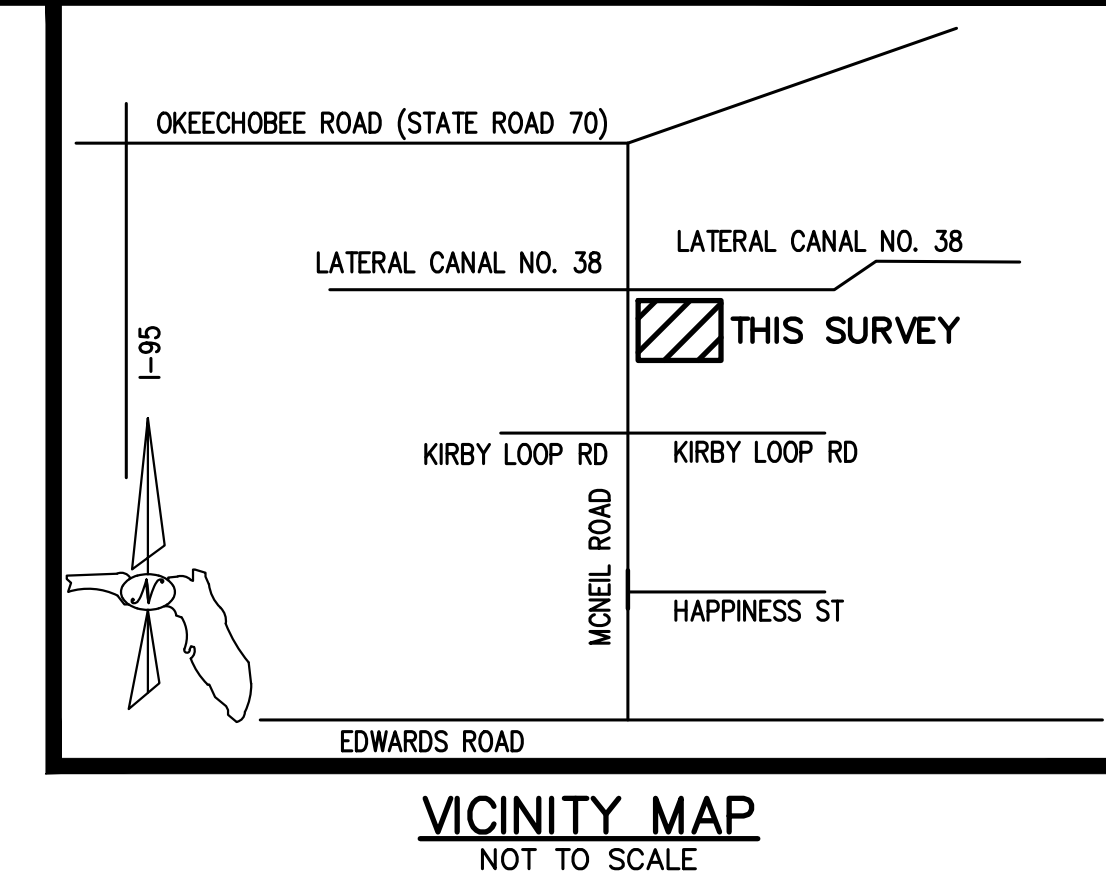
(1 of 2) [Close]

**Parcel Info:** 2419-422-0003-000-9

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Owner	Treasure Coast Land Development LLC
Site Address	TBD
Jurisdiction	Saint Lucie County
Acres	3.04
Last Sale Date	2/19/2018
Last Sale Price	\$160000

[Zoom to](#) [Dock](#) [Measure](#) [Report](#)  
[Comparable Sales](#)



**LEGAL DESCRIPTION:**

PARCEL 2: 2419-422-0003-000/9  
 THE NORTH ONE-HALF OF THE FOLLOWING DESCRIBED PROPERTY:  
 COMMENCING AT A POINT IN THE NW 1/4 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 19,  
 TOWNSHIP 35 SOUTH, RANGE 40 EAST IN ST. LUCIE COUNTY, FLORIDA, WHERE THE EAST  
 RIGHT-OF-WAY LINE OF MCNEIL ROAD INTERSECTS THE SOUTH RIGHT-OF-WAY LINE OF  
 CANAL (LATERAL) NO. 38 OF THE NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT (F/K/A  
 THE NORTH ST. LUCIE RIVER DRAINAGE DISTRICT); THENCE RUN SOUTH ALONG THE EAST  
 RIGHT-OF-WAY LINE OF MCNEIL ROAD 150 FEET TO THE INTERSECTION OF SAID EAST  
 RIGHT-OF-WAY WITH THE NORTH LINE OF PARCEL 2 OF THAT CERTAIN LAND CONVEYED TO  
 NORMA SCAMBLER AND FLOYD SCAMBLER, HER HUSBAND, BY VIRTUE OF THAT CERTAIN  
 WARRANTY DEED DATED NOVEMBER 27, 1963 AND RECORDED IN O.R. BOOK 75, PAGE 618, OF  
 THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA (NORMA SCAMBLER PROPERTY) AND  
 THE POINT OF BEGINNING; THENCE CONTINUE SOUTH ALONG THE EAST RIGHT-OF-WAY LINE  
 OF MCNEIL ROAD FOR A DISTANCE OF 420 FEET, MORE OR LESS, TO THE SOUTH LINE OF THE  
 NW 1/4 OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 19; THENCE RUN EAST ALONG  
 SAID SOUTH LINE FOR A DISTANCE OF 634 FEET, MORE OR LESS, TO THE EAST LINE OF THE  
 NW 1/4 OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 19; THENCE RUN NORTH ALONG  
 THE SAID EAST LINE FOR A DISTANCE OF 420 FEET, MORE OR LESS, TO THE INTERSECTION OF  
 SAID EAST LINE WITH THE SOUTH LINE OF THE NORMA SCAMBLER PROPERTY; THENCE RUN  
 WEST ALONG THE SOUTH LINE OF THE NORMA SCAMBLER PROPERTY 631 FEET; MORE OR  
 LESS, TO THE EAST RIGHT-OF-WAY LINE OF MCNEIL ROAD AND THE POINT OF BEGINNING.

**SURVEY REPORT:**

- THIS IS A BOUNDARY SURVEY, PREPARED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THE STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17.051 THROUGH 5J-17.053, FLORIDA ADMINISTRATIVE CODE.  
THE FIELDWORK WAS COMPLETED ON MARCH 30, 2021.
- THE SURVEY WAS BASED ON OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY IN FILE NO 18-29479C, POLICY NUMBER OXFL-08643015, DATED FEBRUARY 22, 2018 AND POLICY NUMBER OXFL-08630748, DATED JANUARY 5, 2018. NO EASEMENTS OR OTHER ENCUMBRANCES WERE NOTED IN EITHER POLICY.
- BEARINGS ARE BASED ON N01°11'43"W (GRID, NAD 83, 2011 ADJUSTMENT) ALONG THE WEST LINE OF THE SE 1/4 OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 19 EAST.
- THE LEGAL DESCRIPTION IS RECORDED IN OFFICIAL RECORD BOOK 4100, PAGE 1564 AND OFFICIAL RECORD BOOK 4084, PAGE 689 IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY.
- AREA = 129942 SQUARE FEET (2.98 ACRES), MORE OR LESS.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT. EASEMENTS, RESTRICTIONS, AND OTHER ITEMS OF RECORD SHOWN ARE PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY IN FILE NO 18-29479C, POLICY NUMBER OXFL-08643015, DATED FEBRUARY 22, 2018 AND POLICY NUMBER OXFL-08630748, DATED JANUARY 5, 2018. NO EASEMENTS OR OTHER ENCUMBRANCES WERE NOTED IN EITHER POLICY.  
NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY BROWN & PHILLIPS, INC.  
THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SUREY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY.
- ALL DISTANCES ARE MEASURED UNLESS NOTED OTHERWISE.  
  
ALL FIELD-MEASURED DIMENSIONS ALONG THE BOUNDARY WERE IN SIGNIFICANT AGREEMENT WITH THE PLAT, DEED, AND/OR CALCULATED VALUES.
- ALL FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED THE ACCURACY REQUIREMENTS OF 1:10,000.
- THE EXPECTED HORIZONTAL AND VERTICAL PRECISION OF ITEMS SHOWN ON THIS SURVEY ARE AS FOLLOWS:  
A. BOUNDARY LINES - 0.10'  
B. TOPOGRAPHIC FEATURES - 0.20'  
C. ELEVATIONS ON CONSTRUCTED HARD SURFACES (PAVEMENT, CONCRETE, ETC.) - 0.05'  
D. ELEVATIONS ON NATURAL SURFACES (GROUND, DIRT, ETC.) - 0.10'
- THE PROPOSED USE OF THE SUBJECT PROPERTY IS FOR DEVELOPMENT.
- THE CONTRACTED PURPOSE OF THIS SURVEY IS TO PROVIDE BOUNDARY FOR ANNEXATION. THIS SURVEY IS NOT VALID FOR ANY OTHER USE.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY WAS PREPARED FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE: TREASURE COAST LAND DEVELOPMENT, LLC.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=40', ON A 24x36" SHEET.
- SOME TOPOGRAPHIC FEATURES MAY BE EXAGGERATED IN SCALE FOR CLARITY. THE CENTER OF THE SYMBOL OF SUCH FEATURES IS THE CORRECT LOCATION.
- FLOOD ZONE INFORMATION OBTAINED FROM FEMA WEBSITE:  
"https://msc.fema.gov/portal/home"  
EFFECTIVE FLOOD ZONE (FEBRUARY 2012): "X"

- ABBREVIATIONS:**  
 P.O.C. - POINT OF COMMENCEMENT  
 P.O.B. - POINT OF BEGINNING  
 P.B. - PLAT BOOK  
 ORB - OFFICIAL RECORD BOOK  
 D.B. - DEED BOOK  
 PG. - PAGE  
 R/W - RIGHT-OF-WAY  
 GPS - GLOBAL POSITIONING SYSTEM  
 RTK - REAL TIME KINEMATIC  
 TOB - TOP OF BANK  
 TOS - TOE OF SLOPE  
 HDW - HEADWALL  
 INV. - INVERT  
 CONC. - CONCRETE  
 (D) - DEED DIMENSION  
 (M) - MEASURED DIMENSION  
 C - CENTERLINE  
 IR - IRON ROD  
 IR/C - IRON ROD WITH CAP AS NOTED  
 C.M. - 4"x4" CONCRETE MONUMENT  
 N/D - NAIL & DISK  
 PK - PARKER KALON  
 NAD - NORTH AMERICAN DATUM  
 LB - LICENSED BUSINESS  
 CMP - CORRUGATED METAL PIPE  
 RCP - REINFORCED CONCRETE PIPE  
 EL. - ELEVATION  
 F.F. - FINISHED FLOOR ELEVATION  
 FNC - FENCE  
 F/K/A - FORMERLY KNOW AS

LEGEND	
ANTENNA POLE	✳
BENCHMARK	⊕
ELECTRIC BOX	⊞
GUY ANCHOR	←
MAILBOX	✉
METAL POST	⊘
MITERED END	⊞
SIGN	⌂
WATER METER	⊞
WATER VALVE	⊞
WOOD POWER POLE	⊞
FOUND IR/C	○
NAIL & DISK	⊙
SET IR/C "BROWN & PHILLIPS"	●
FOUND C.M.	□
OAK TREE	🌳
PALM TREE	🌴
PINE TREE	🌲
UNKNOWN TREE	🌳
ASPHALT	▒
CONCRETE	▒

**BROWN & PHILLIPS, INC.**  
 PROFESSIONAL SURVEYING SERVICES  
 CERTIFICATE OF AUTHORIZATION # LB 6473  
 1860 OLD OKEECHOBEE ROAD, SUITE 509, WEST PALM BEACH, FLORIDA 33409 561-615-3988

DATE	REVISIONS	#

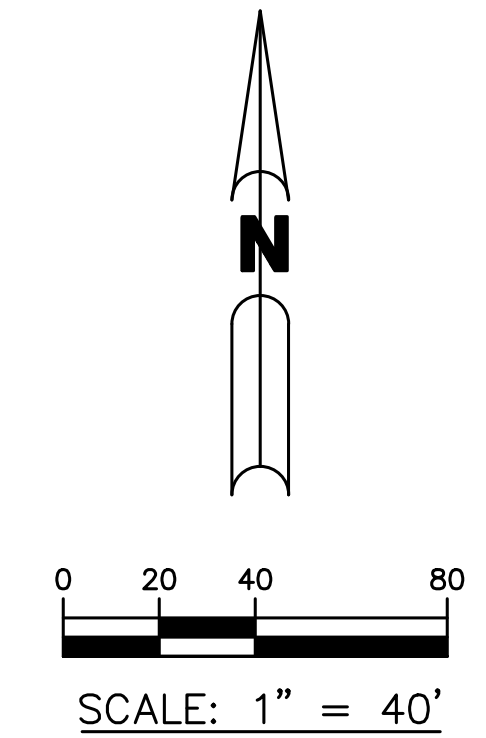
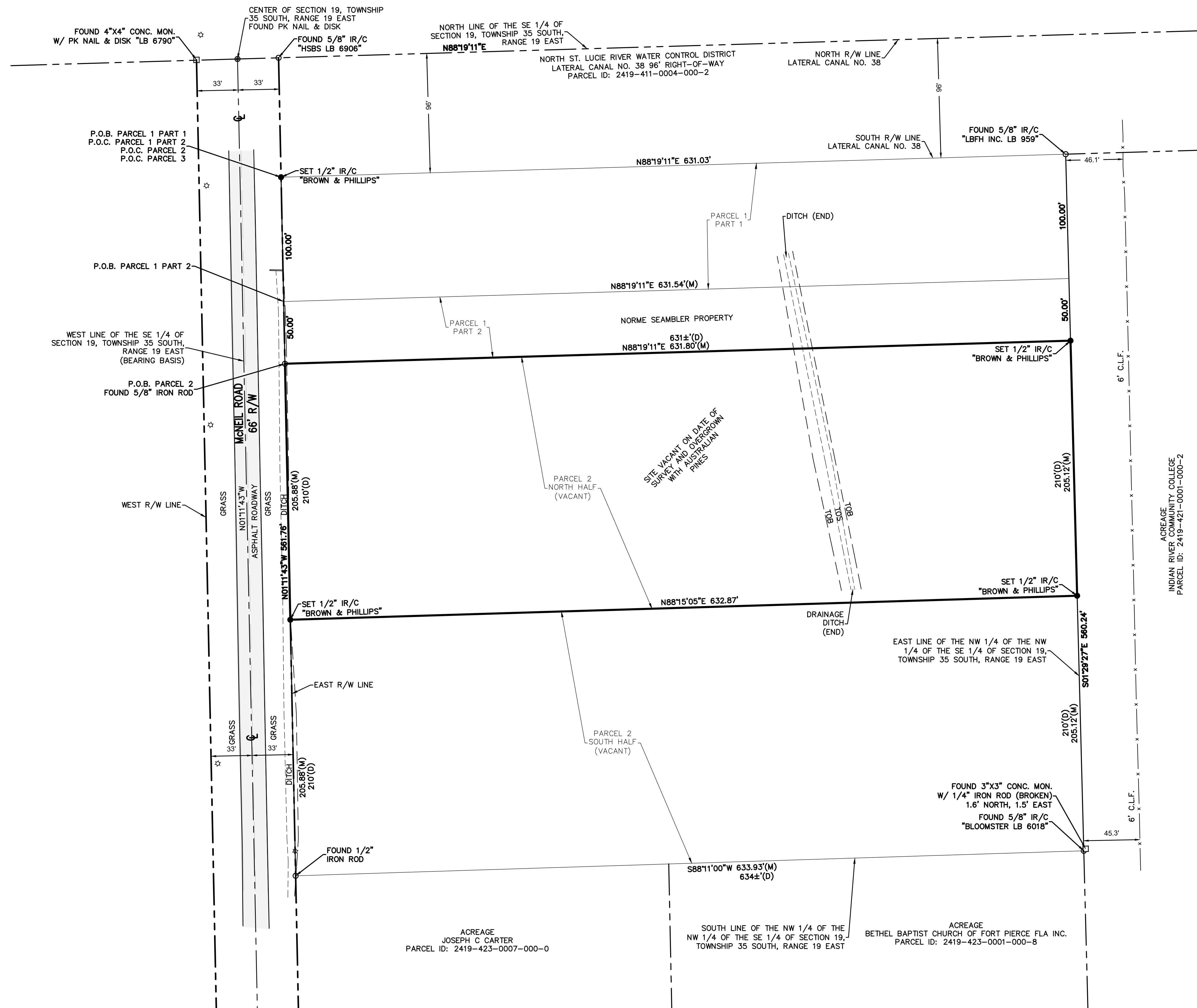
BOUNDARY SURVEY

2602 McNEIL ROAD  
 FT. PIERCE, FL

DRAWN: JP  
 CHECKED: JEP  
 F.B. 21-1  
 PAGES: 1-10

PROJ. No. 21-018E  
 SCALE: 1"=40'  
 DATE: 03/30/2021  
 SHEET 1 OF 2

JOHN E. PHILLIPS III  
 PROFESSIONAL LAND SURVEYOR  
 STATE OF FLORIDA No. 4826  
 DATE: \_\_\_\_\_



LEGEND	
ANTENNA POLE	☆
BENCHMARK	⊕
ELECTRIC BOX	⊠
GUY ANCHOR	←
MAILBOX	⊞
METAL POST	⊙
MITERED END	⊞
SIGN	⊞
WATER METER	⊞
WATER VALVE	⊞
WOOD POWER POLE	☆
FOUND IR/C	○
NAIL & DISK	⊙
SET IR/C "BROWN & PHILLIPS"	●
FOUND C.M.	⊞
OAK TREE	⊞
PALM TREE	⊞
PINE TREE	⊞
UNKNOWN TREE	⊞
ASPHALT	▨
CONCRETE	▨

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EL. - ELEVATION  
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**BROWN & PHILLIPS, INC.**  
PROFESSIONAL SURVEYING SERVICES  
CERTIFICATE OF AUTHORIZATION # LB 6473  
1860 OLD OKEECHOBEE ROAD, SUITE 509, WEST PALM BEACH, FLORIDA 33409 561-615-3988

DATE	REVISIONS	#

**BOUNDARY SURVEY**

**2602 McNEIL ROAD  
FT. PIERCE, FL**

DRAWN: JP  
CHECKED: JEP  
F.B. 21-1  
PAGES: 1-10

PROJ. No. 21-018E  
SCALE: 1"=40'  
DATE: 03/30/2021  
SHEET 2 OF 2

S:\2021 drawing files\21-018E\21-018E McNeil Road Boundary Survey of Parcel 2 (north half).dwg. 10/15/2021 3:34:53 PM

Instrument Prepared By | Please Return To:  
COMMUNITY LAND TITLE & RESEARCH  
Attn: Sally J. Booth, Owner, Closing Manager  
2400 SE Veterans Memorial Parkway, Suite 214  
Port St. Lucie, FL 34952 | Phone (772) 337-3335  
Closing File Number: 18-29479C  
Florida Documentary Stamps \$1,120.00  
Parcel Tax ID: 2419-422-0001-000/5

SPACE ABOVE THIS LINE FOR RECORDING DATA

# WARRANTY DEED

**THIS WARRANTY DEED**, made the 20th day of February, 2018 by **Glenn Scambler and Jane E. Scambler, husband and wife**, whose address is: 4 Splitrail Circle, Tequesta, FL 33469, hereinafter called the **Grantor**, to **Treasure Coast Land Development LLC, a Florida limited liability company**, whose address is: 2125 SW Cape Cod Drive, Port St. Lucie, FL 34953, hereinafter called the **Grantee**:

(Wherever used herein the terms "Grantor" and "Grantee" include singular and plural, heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**WITNESSETH:** That the Grantor for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, remises, releases, conveys and confirms unto the Grantee all that certain land lying and being in ST. LUCIE County, State of Florida, to wit:

**SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF**

Property Address: 2602 McNeil Road, Fort Pierce, FL 34981

SUBJECT TO ALL RESTRICTIONS, RESERVATIONS, CONDITIONS, EASEMENTS AND DEDICATIONS OF RECORD AND TAXES FOR THE YEAR 2018 AND THEREAFTER.

**TOGETHER**, with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD**, the same in fee simple forever.

**AND**, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes and assessments accruing subsequent to 2017.

**IN WITNESS WHEREOF**, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]  
1<sup>st</sup> Witness Signature ↑

Print Witness Name: ORLANDO T. ARMSTRONG

[Signature]  
2<sup>nd</sup> Witness Signature ↑

Print Witness Name: CHRIS CHATTERTON

[Signature]  
Glenn Scambler

[Signature]  
Jane E. Scambler

STATE OF FLORIDA  
COUNTY OF Falm Beach

The foregoing instrument was acknowledged before me this 19<sup>th</sup> day of February, 2018, by Glenn Scambler and Jane E. Scambler who is personally known to me or has produced \_\_\_\_\_ as identification.

SEAL



[Signature]  
JOYCE M. BEGGS  
NOTARY PUBLIC  
STATE OF FLORIDA  
Comm# FF168793  
Expires 10/27/2018

**EXHIBIT "A"****LEGAL DESCRIPTION**

File Number: 18-29479C

**Parcel 1: 2419-422-0001-000/5**

**Part 1:** Beginning at a point in the NW 1/4 of the NW 1/4 of the SE 1/4 of Section 19, Township 35 South, Range 40 East in St. Lucie County, Florida, where the East right-of-way line of McNeil Road intersects the South right-of-way line of Lateral 38 of the North St. Lucie River Drainage District, thence run South along the East right-of-way line of McNeil Road for a distance of 100 feet, thence run East to the East line of the NW 1/4 of the NW 1/4 of the SE 1/4 of said Section 19, thence run North along said East line to the South right-of-way line of Lateral 38, thence run West along the said South right-of-way line of Lateral 38 to the Point of Beginning.

**Part 2:** Beginning at a point in the NW 1/4 of the NW 1/4 of the SE 1/4 of Section 19, Township 35 South, Range 40 East in St. Lucie County, Florida, where the East right-of-way line of McNeil Road intersects the South right-of-way line of Lateral 38 of the North St. Lucie River Drainage District, thence run South 100 feet along the East right-of-way line of McNeil Road for a Point of Beginning; thence continue South along the East right-of-way line of McNeil Road for a distance of 50 feet, thence turn and run East to the East line of the NW 1/4 of the NW 1/4 of the SE 1/4 of said Section 19, thence turn and run North along the East line for a distance of 50 feet, thence turn and run West to the Point of Beginning.

**Parcel 2: 2419-422-0003-000/9**

The North one-half of the following described property:

Commencing at a point in the NW 1/4 of the NW 1/4 of the SE 1/4 of Section 19, Township 35 South, Range 40 East in St. Lucie County, Florida, where the East right-of-way line of McNeil Road intersects the South right-of-way line of Canal (Lateral) No. 38 of the North St. Lucie River Water Control District (f/k/a The North St. Lucie River Drainage District); thence run South along the East right-of-way line of McNeil Road 150 feet to the intersection of said East right-of-way with the South line of Parcel 2 of that certain land conveyed to Norma Scambler and Floyd Scambler, her husband, by virtue of that certain Warranty Deed dated November 27, 1963 and recorded in O.R. Book 75, Page 618, of the Public Records of St. Lucie County, Florida (Norma Scambler Property) and the Point of Beginning; thence continue South along the East right-of-way line of McNeil Road for a distance of 420 feet, more or less, to the South line of the NW 1/4 of the NW 1/4 of the SE 1/4 of said Section 19; thence run East along said South line for a distance of 634 feet, more or less, to the East line of the NW 1/4 of the NW 1/4 of the SE 1/4 of said Section 19; thence run North along the said East line for a distance of 420 feet, more or less, to the intersection of said East line with the South line of the Norma Scambler Property; thence run West along the South line of the Norma Scambler Property 631 feet; more or less, to the East right-of-way line of McNeil Road and the Point of Beginning.

*"Experience the Difference"*

www.COMMUNITYLANDTITLE.net

**Technical Review Committee - 2 PM**

**3. b.**

Meeting Date: 11/18/2021

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**REQUESTED ACTION**

Rezoning - N. US Highway 1 and Seaway Drive - Parcel ID - 2403-717 -0011-000-4

**LOCATION**

N US Highway 1 & Seaway Drive

**RESPONSIBLE STAFF**

Vennis Gilmore, Senior Planner

**RECOMMENDATION**

N/A

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**Attachments**

TRC Packet

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**Form Review**

Form Started By: Vennis Gilmore  
Final Approval Date: 11/04/2021

Started On: 11/04/2021 04:35 PM



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TO : Technical Review Committee

FROM : Vennis Gilmore, Senior Planner

RE : Technical Review Project #: 21-0600009

TRC Date: November 18th, 2021

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**Zoning Atlas Amendment – Angelos Rezoning  
– N US Highway 1 & Seaway Drive**

Attached are resubmittal documents for a Zoning Atlas Amendment (Rezoning).

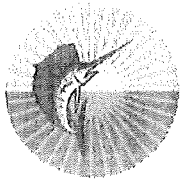
Please review and provide comments on this submittal.

Please send all comments to the following emails [vgilmore@cityoffortpierce.com](mailto:vgilmore@cityoffortpierce.com), [arosenthal@cityoffortpierce.com](mailto:arosenthal@cityoffortpierce.com), [planning\\_dl@cityoffortpierce.com](mailto:planning_dl@cityoffortpierce.com), and/or through interoffice mail to the Planning Department. If you have comments, please respond as soon as possible.

Please do not hesitate to contact me should you require any additional information or clarification at 772-467-3741 or by email.

Thank You,

Vennis Gilmore  
Senior Planner



## Application for Zoning Atlas Map Amendment

### Application submission shall include the following:

- **TRC (\*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

### In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a ½ mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- \*\*\* Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other \_\_\_\_\_

1. Property Address/Location: Seaway Dr./US1
2. Property Tax ID(s): 2403-717-0011-000-4
3. Total Acreage: .11
4. Existing Future Land Use Designation: General Commercial
5. Existing Zoning Classification: Marine Commercial
6. Proposed Zoning Classification: General Commercial C-3
7. Other applications being submitted concurrent with this application, if any: \_\_\_\_\_

8. Describe the existing uses, improvements and structures on the amendment lands: Vacant

9. Are there any identified or possible historical structures on the amendment lands? None

10. The reason for making this request: Applicant wishes to make economic use of the property by installing an off premises sign.

**11. CAPACITY ANALYSIS**

**I. Site Data:**

	Existing Use	Future Land Use	Zoning
North	N/A		
South	Vacant	General Commercial	PUR
East	N/A		
West	N/A		

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	General Commercial	Marine Commercial			
Proposed	General Commercial	General Commercial (C-3)			N/A

**II. Public Facilities Information:**

<b>A. Potable Water:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6 = persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning	Total gallons per day
Proposed Zoning	Total gallons per day
Change in Demand	Total gallons per day - N/A

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning	Total gallons per day
Proposed Zoning	Total gallons per day
Change in Demand	<b>Total gallons per day - N/A</b>

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name		
City		
Distance		
Current Zoning Enrollment Demand		
Proposed Zoning Enrollment Demand		
Change in Demand		

<b>E. Solid Waste:</b> 2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units	
Demand Analysis	Maximum
Current Zoning	
Proposed Zoning	
Change in Demand	

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year - 1 day storm event)

<b>Impact</b>	
---------------	--

**III. Transportation Analysis**

<b>G. Traffic</b>		
Most recent ITE Code for use; HCM Roadway Capacity		
	<b>AADT</b>	<b>AM/PM Peak Hour Trips</b>
<b>Demand Analysis</b>	Maximum	Maximum
<b>Current Zoning</b>		
<b>Proposed Zoning</b>		
<b>Change in Demand</b>	Trips	Trips
<b>Impact to Capacity</b>		

12. Name of Owner(s): Peter G. Angelos Holdings LLC  
 Mailing Address: 2400 S Ocean Dr. Apt. 332  
 City Fort Pierce State FL Zip 34949  
 Phone # 888-202-2402  
 E-mail: \_\_\_\_\_

13. Name of Applicant: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 Phone # \_\_\_\_\_ Fax # \_\_\_\_\_  
 E-mail: \_\_\_\_\_

14. Name of Representative: Gieseler & Gieseler P.A. - Nicholas M. Gieseler  
 Mailing Address: 789 S. Federal Hwy, Suite 301  
 City Stuart State FL Zip 34994  
 Phone # 888-202-2402 Fax # \_\_\_\_\_  
 E-mail: nmg@gieselerlaw.com

**15. Applicant Acknowledgements (Owner's signature must be notarized)**

I certify that: (Check One)

I (we) do hereby certify that I (we) own in fee simple the above referenced described property for which a change in Zoning Classification is requested.

I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

Applicant's Signature

Date

789 S. Federal Hwy, Suite 301

Stuart, FL

34994

Address

State

Zip

888-202-2402

nmg@gieselerlaw.com

Phone

Fax

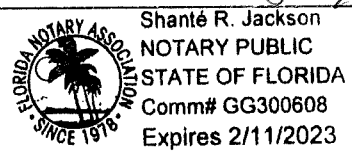
E-mail Address

16. **Property Owners Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

PETER G. ANGELOS 772-579-7801  
Property Owner's Name (Please Print) Phone

2400 S. Ocean Dr. C-332 Ft Pierce FL 34949  
Address State Zip

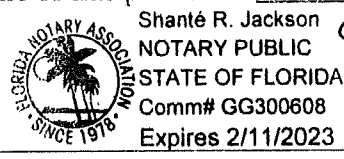
*Peter G. Angelos*  
Property Owner's Signature Date 8.4.21



STATE OF FLORIDA)  
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this 4th day of August, 2021, by Peter Angelos who is personally known to me or has produced Florida Driver's License as ident

*Shanté R. Jackson*  
Signature of Notary (seal)



OFFICE USE:  
DATE RECEIVED: \_\_\_\_\_ Signed: \_\_\_\_\_  
File Number: \_\_\_\_\_ Check No: \_\_\_\_\_ Receipt No: \_\_\_\_\_  
TRC Review: \_\_\_\_\_ Planning Board Review: \_\_\_\_\_ City Commission: \_\_\_\_\_  
Ordinance No: \_\_\_\_\_ Date Approved: \_\_\_\_\_

789 S. Federal Hwy, Suite 301

Stuart, FL

34994

Address

State

Zip

888-202-2402

nmg@gieselerlaw.com

Phone

Fax

E-mail Address

16. **Property Owners Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

Property Owner's Name (Please Print)

Phone

Address

State

Zip

Property Owner's Signature

Date

STATE OF FLORIDA)  
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_ who is personally known to me or has produced \_\_\_\_\_ as ide

Signature of Notary

(seal)

<b>OFFICE USE:</b>		
DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	

STATE OF FLORIDA  
COUNTY OF St. Lucie

**ACKNOWLEDGEMENT**

The foregoing instrument was acknowledged before me on this 18<sup>th</sup> day of May, 2021, by PETER G. ANGELOS by means of  physical presence or  online notarization, and who produced Florida Drivers License as identification, and who did take an oath.

IN WITNESS WHEREOF, I hereunto set my hand and official seal:



GLEND A. J. ROBINSON  
NOTARY PUBLIC  
STATE OF FLORIDA  
Comm# GG158884  
Expires 11/12/2021

Notary Public, State of Florida

My Commission Expires: 11-12-2021

Glenda J. Robinson  
NOTARY PUBLIC

Notary Printed Name: Glenda J. Robinson

My Commission Expires: 11-12-2021

NOTARY SEAL

**G & G**  
GIESELER & GIESELER

May 17, 2021

Mr. Peter Angelos  
Peter G. Angelos Holdings LLC  
2400 S. Ocean Dr. Apt. 332  
Fort Pierce, Florida 34949

RE: **Authorization to Act as Agent**  
**Fort Pierce Rezoning Application – Parcel ID 2403-717-0011-000-4**

Mr. Angelos:

Our firm is pleased to represent you in seeking a rezoning from the City of Fort Pierce. The rezoning application requires the property owner to provide written authorization for a third-party, such as our law firm, to act on your behalf. As such, we have provided this letter, your signature on which below shall serve as written authorization, giving Gieseler & Gieseler power of attorney to act as your agent in submitting the variance application for the referenced property.

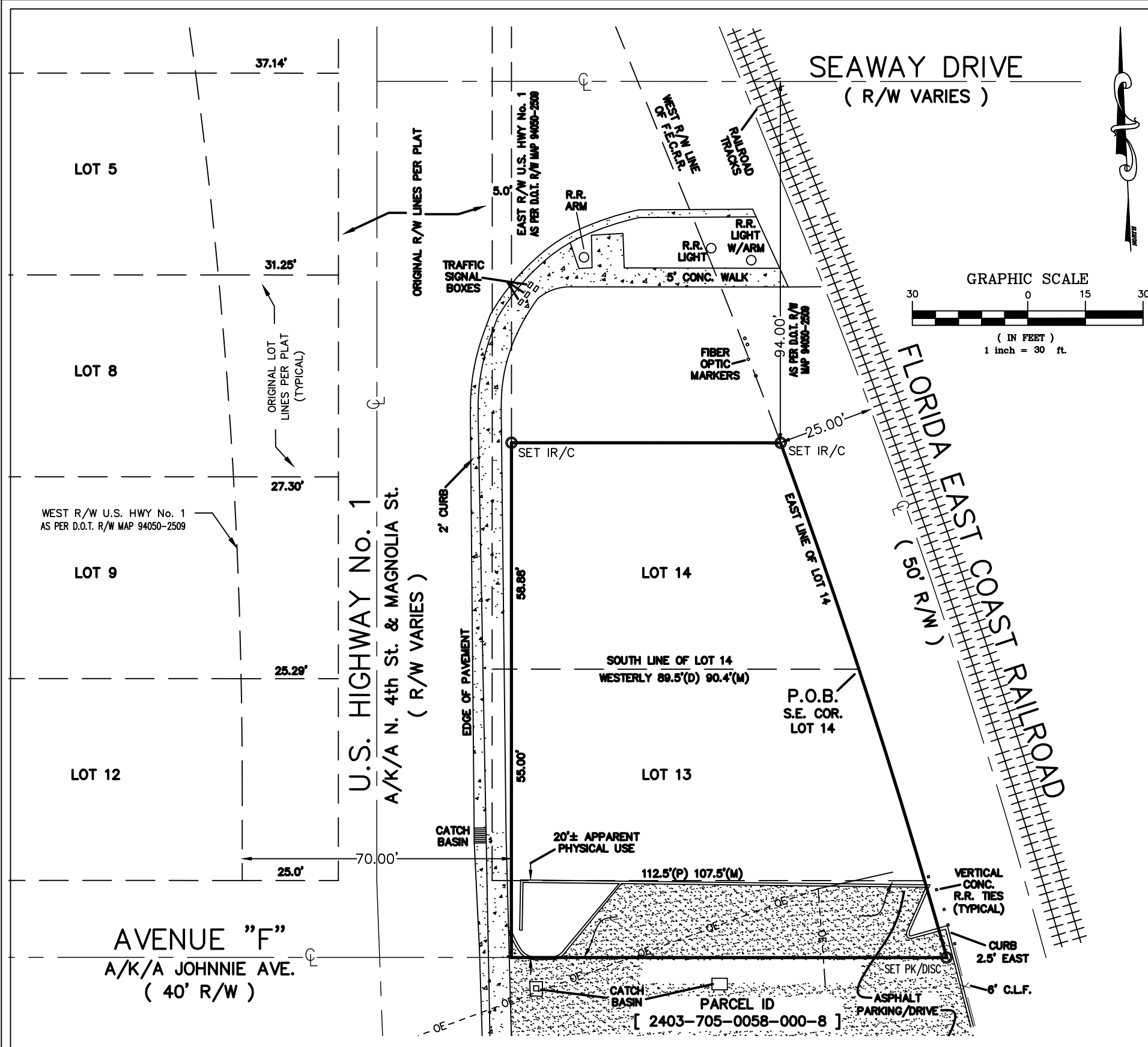
Sincerely,

s/ **Nicholas M. Gieseler**

Nicholas M. Gieseler  
GIESELER & GIESELER P.A.

Agreed to and authorized this 18<sup>th</sup> day of May, 2021:

  
**PETER G. ANGELOS**



**LEGAL DESCRIPTION**

LOT 13, BLOCK 2, FULTZ' S RESUBDIVISION, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 36, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, AND THE NORTH 20 FEET OF THE VACANT AVENUE "F" ADJACENT ON THE SOUTH. AND, THAT PART OF LOT 14, BLOCK 2, FULTZ' S RESUBDIVISION, ACCORDING TO THE PLAT, AS RECORDED IN PLAT BOOK 3, PAGE 36, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, IN SECTION 3, TOWNSHIP 35 SOUTH, RANGE 40 EAST, DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTHEAST CORNER OF SAID LOT 14, THENCE WESTERLY ALONG SOUTH LINE OF LOT 14 A DISTANCE OF 89.5 FEET, THENCE NORTH 00° 00' 37" EAST A DISTANCE OF 58.88 FEET, THENCE SOUTH 89° 58' 58" EAST A DISTANCE OF 70.02 FEET TO THE EAST LINE OF SAID LOT 14, THENCE SOUTHEASTERLY ALONG THE EAST LINE OF SAID LOT 14 TO THE POINT OF BEGINNING.

**PARCEL #s**

2403-717-00010-000-7 and 2403-717-0011-000-4

**Property Address:**

624 North U.S. Highway No. 1

**LEGEND & ABBREVIATIONS**

BM	DENOTES BENCHMARK	O.R.	DENOTES OFFICIAL RECORDS BOOK
BB	DENOTES BEARING BASE	P.B.	DENOTES PLAT BOOK
PG	DENOTES PAGE	P.G.	DENOTES PAGE
P.U.E.	DENOTES PRIVATE UTILITY EASEMENT	P.D.E.	DENOTES PRIVATE DRAINAGE EASEMENT
P.S.M.	DENOTES PROFESSIONAL SURVEYOR & MAPPER	P.S.M.	DENOTES PROFESSIONAL SURVEYOR & MAPPER
P.L.S.	DENOTES PROFESSIONAL LAND SURVEYOR	P.C.C.	DENOTES POINT OF COMPOUND CURVATURE
P.D.	DENOTES POINT OF CURVATURE	P.T.	DENOTES POINT OF TANGENCY
(P)	DENOTES PLAT DATA		
P.C.P.	DENOTES PERMANENT CONTROL POINT		
R	DENOTES RADIUS		
R/W	DENOTES RIGHT OF WAY		
SAN.	DENOTES SANITARY		
U.E.	DENOTES UTILITY EASEMENT		
W.M.T.	DENOTES WATER MANAGEMENT TRACT		
MAG/D	DENOTES SET MAG NAIL AND DISK		
Δ	DENOTES INCLUDED ANGLE		
ELEV.	DENOTES ELEVATION		
EOW	DENOTES EDGE OF WATER		
N.A.V.D.	DENOTES NORTH AMERICAN VERTICAL DATUM		
☆	DENOTES AREA LIGHT		
⊕	DENOTES WOOD POWER POLE		
⊕	DENOTES CONCRETE POWER POLE		
⊕	DENOTES GUY WIRE		
⊕	DENOTES STREET SIGN		
⊕	DENOTES WATER VALVE		

**GENERAL NOTES**

- 1) The last date of field work was 8/28/2018.
- 2) Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- 3) Reproductions of this map are not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.
- 4) Lands shown hereon were not abstracted by this office for rights-of-way, easements of record, ownership, abandonment's, deed restrictions, or Murphy Act Deeds. This information should be obtained through appropriate title verification.
- 5) All above ground fixed improvements, if any, have been located and shown hereon.
- 6) Underground foundations and improvements were not located as part of this survey.
- 7) Flood Note: By graphic plotting only, this property is in Zone "X", according to the Flood Insurance Rate Map, Community Panel No. 12111C0179 J, effective date February 16, 2012. The exact designation can only be determined by an elevation certificate.
- 8) The bearings shown hereon are based on D.O.T. R/W MAP #94050-2509 and are referenced to the centerline of Seaway Drive having a bearing of S89°58'58"E and all bearings are relative thereto.
- 9) No easements are shown hereon other than those depicted on the plat. No search of the public records has been performed to find additional easements that may exist.

THOMAS P. KIERNAN  
PROFESSIONAL SURVEYOR & MAPPER  
FLORIDA CERTIFICATE NO. 6199

SIGNATURE DATE

Boundary Survey  
For: Peter Angelos

File: 18-184  
Date: 08/30/2018  
FB: 18-06/37  
SCALE: 1:30  
DRAWN BY: JDJ  
FIELD: 08/28/2018

**CULPEPPER & TERPENING, INC**  
CONSULTING ENGINEERS | LAND SURVEYORS

2980 SOUTH 25th STREET  
FORT PIERCE, FLORIDA 34981  
PHONE 772-464-3537 • FAX 772-464-9497  
www.ct-eng.com  
STATE OF FLORIDA CERTIFICATION No. LB 4286

**PREPARED BY AND RETURN TO:**

David N. Sowerby, Esquire  
DAVID N. SOWERBY, P.L.  
2940 South 25th Street  
Fort Pierce, Florida 34981

PARCEL I.D. Nos.: 2403-717-0010-000-7;  
2403-717-0011-000-4; 2507-707-01042-000-9;  
1436-601-0034-000-4; and 2429-233-0001-050-1.

[Space Above This Line For Recording Data]

**This conveyance is a transfer of unencumbered real property by the owners to an artificial entity whose ownership is identical to the ownership of the real property and is exempt from payment of documentary stamp tax in accordance with F.S. §201.0201 and Crescent Miami Center, LLC v. Florida Department of Revenue, 902 So.2d 913 (Fla. 2005).**

## STATUTORY WARRANTY DEED

THIS INDENTURE, made this 8<sup>th</sup> day of February, 2018 by and between **PETER G. ANGELOS, a/k/a PETER ANGELOS**, a single adult, whose post office address is 2400 S. Ocean Drive, Apt. 332, Fort Pierce FL 34949, (hereinafter "Grantor"), and **PETER G. ANGELOS HOLDINGS, LLC**, a Florida limited liability company, whose mailing address is 2400 S. Ocean Drive, Apt. 332, Fort Pierce FL 34949 (hereinafter "Grantee").

**WITNESSETH:** That the said Grantor, for and in consideration of the sum of \$10.00, has granted, bargained and sold to the said Grantee and Grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in the County of St. Lucie, State of Florida, to wit:

**Parcel 1:** Lot 13, Block 2, FULTZ'S RESUBDIVISION, as per Plat thereof recorded in Plat Book 3, Page 36, Public Records of St. Lucie County, Florida, and the North 20 feet of the vacant Avenue "F" adjacent on the South. AND, that part of Lot 14, Block 2, FULTZ'S RESUBDIVISION, according to the Plat, as recorded in Plat Book 3, Page 36, of the Public Records of St. Lucie County, Florida, in Section 3, Township 35 South, Range 40 East, described as follows: Begin at the Southeast corner of said Lot 14, thence Westerly along South line of Lot 14 a distance of 89.5 feet, thence North 00° 00' 37" East a distance of 58.88 feet, thence South 89° 58' 58" East a distance of 70.02 feet to the East line of said Lot 14, thence Southeasterly along the East line of said Lot 14 to the Point of Beginning. (Parcel Nos. 2403-717-0010-000-7 and 2403-717-0011-000-4)

**Parcel 2:** Condominium Parcel No. 3944 of BEACHTREE I, according to the Declaration of Condominium thereof, as recorded in O.R. Book 296, Page 1438, together with all amendments thereto, Public Records of St. Lucie County, Florida. (Parcel No. 2507-707-0142-000-9)

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

### Property Identification

Site Address: N US HIGHWAY 1  
 Sec/Town/Range: 03/35S/40E  
 Parcel ID: 2403-717-0011-000-4  
 Jurisdiction: Fort Pierce

Use Type: 1000  
 Account #: 16199  
 Map ID: 24/03S  
 Zoning: Marine Com

### Ownership

Peter G Angelos Holdings LLC  
 2400 S Ocean DR Apt 332  
 Fort Pierce, FL 34949-8018

### Legal Description

FULTZ'S S/D BLK 2 BEG AT SE COR LOT 14 RUN WLY ALG S LI 89.5 FT, TH N 00 DEG 00 MIN 37 SEC E 58.88 FT, TH S 89 DEG 58 MIN 58 SEC E 70.02 FT TO E LI OF LOT 14, TH SELY TO POB (OR 1102-1330 THRU 1338; 3421-2427; 4096-586)

### Current Values

Just/Market Value: \$21,100  
 Assessed Value: \$21,100  
 Exemptions: \$0  
 Taxable Value: \$21,100



### Total Areas

Finished/Under Air (SF): 0  
 Gross Sketched Area (SF): 0  
 Land Size (acres): 0.11  
 Land Size (SF): 4,696

**Property taxes are subject to change upon change of ownership.**

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)  
 Download TRIM for this parcel: [Download PDF](#)

## Building Design Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

Sources/links:

### Sale History

Date:	Feb 8, 2018
Book/Page:	4096 / 0586
Sale Code:	0330
Deed:	WD
Grantor:	Angelos Peter G
Price:	\$100
Date:	Jul 24, 2012
Book/Page:	3421 / 2427
Sale Code:	0316
Deed:	QC
Grantor:	Angelos Peter G
Price:	\$100

Date:	Aug 26, 1997
1102 / 1330	Book/Page:
XX02	Sale Code:
WD	Deed:
Brower Belva L	Grantor:
\$30,000	Price:
Date:	May 15, 1995
Book/Page:	0959 / 0020
Sale Code:	XX01
Deed:	PB
Grantor:	G L Ayers
Price:	\$100
Date:	Oct 1, 1983
Book/Page:	0414 / 2135
Sale Code:	XX01
Deed:	CV
Grantor:	
Price:	\$32,500
Date:	Jan 1, 1980
Book/Page:	0325 / 0069
Sale Code:	XX00
Deed:	CV
Grantor:	
Price:	\$25,000
Date:	Oct 1, 1979
Book/Page:	0319 / 1385
Sale Code:	XX01
Deed:	CV
Grantor:	
Price:	\$0

### Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

#### Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: N/A	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

#### Interior Data

Bedrooms: 0	Electric:	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors:
A/C %: 0%	Heated %: N/A%	Sprinkled %: 0%



Image  
or  
Sketch  
unavailable  
for display

### Special Features and Yard Items

Type Qty Units Year Blt


#### Current Year Values

##### Current Values Breakdown

Building:	\$0
Land:	\$21,100
Just/Market:	\$21,100
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$21,100
Exemption(s):	\$0
Taxable:	\$21,100

##### Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown				
Start Year	AssessCode	Units	Description	Amount
1999	0041	0.3	Fort Pierce Stormwater Charge	\$20.70

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

#### Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2020	\$21,100	\$21,100	\$0	\$21,100
2019	\$21,100	\$21,100	\$0	\$21,100
2018	\$21,100	\$21,100	\$0	\$21,100

#### Permits

Number	Issue Date	Description	Amount	Fee
--------	------------	-------------	--------	-----

Notice: This does not necessarily represent all the permits for this property.  
 Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.  
 © Copyright 2021 Saint Lucie County Property Appraiser. All rights reserved.

**Technical Review Committee - 2 PM**

**3. c.**

Meeting Date: 11/18/2021

---

**REQUESTED ACTION**

Site Plan and Conditional Use - U-Haul - 3602 S. US Highway 1

**LOCATION**

3602 S. US Highway 1

**RESPONSIBLE STAFF**

Vennis Gilmore, Senior Planner

**RECOMMENDATION**

N/A

---

**Attachments**

TRC Packet

---

**Form Review**

Form Started By: Vennis Gilmore  
Final Approval Date: 11/04/2021

Started On: 11/04/2021 04:09 PM



---

TO : Technical Review Committee

FROM : Vennis Gilmore, Senior Planner

RE : Technical Review Project #: 21-07000023

TRC Date: November 18th, 2021

---

**Conditional Use with New Construction/Site Plan & Design Review – U-Haul  
– 3602 S US Highway 1**

Attached are resubmittal documents for a Conditional Use with New Construction/Site Plan & Design Review.

Please review and provide comments on this submittal.

Please send all comments to the following emails [vgilmore@cityoffortpierce.com](mailto:vgilmore@cityoffortpierce.com), [arosenthal@cityoffortpierce.com](mailto:arosenthal@cityoffortpierce.com), [planning\\_dl@cityoffortpierce.com](mailto:planning_dl@cityoffortpierce.com), and/or through interoffice mail to the Planning Department. If you have comments, please respond as soon as possible.

Please do not hesitate to contact me should you require any additional information or clarification at 772-467-3741 or by email.

Thank You,

Vennis Gilmore  
Senior Planner



**DEVELOPMENT REVIEW**

Property address or Location 3602 S. US Highway 1  
 Parcel ID #(s) 2434121000500006; 243412300010004; 243412300020001  
 Project description Uhual Moving and Storage of Fort Pierce

Cal Conner, U-Haul Co of Florida  
**Property Owner(s)**  
2311 ANGEL OLIVA SENIOR ST.  
 Street Address  
Tampa FL 33605  
 City State Zip  
561-638-9088  
 Phone Number  
cal\_conner@uhaul.com  
 Email Address

Jeffery W. Banker, Highland Engineering, Inc.  
**Applicant/Representative, Title, Company**  
415 Citrus Tower Boulevard  
 Street Address  
Clermont FL 34711  
 City State Zip  
407-275-7877  
 Phone Number  
jbanker@heifl.com  
 Email Address

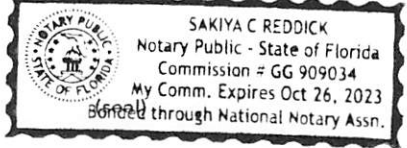
*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

[Signature]  
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY Brevard 3rd day of June, 2021, by

Cal Conner who is personally known to me or has produced

[Signature] as identification.

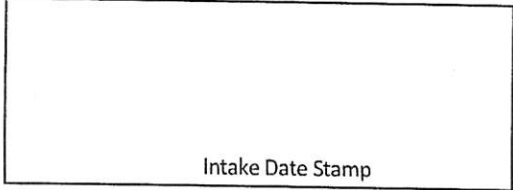


**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_  
 Intake Planner \_\_\_\_\_  
 Planner Assigned \_\_\_\_\_  
 Approved By \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_





# DEVELOPMENT REVIEW

## General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type	
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.
<input type="checkbox"/> Conceptual Development Plan	<input type="checkbox"/> Major Amendment
	<input type="checkbox"/> Minor Amendment

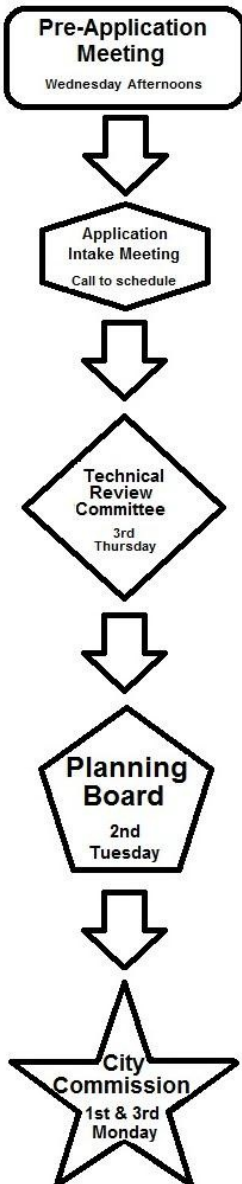
Site Information:

Non-Residential: Proposed Sq. Ft.: \_\_\_\_\_ Residential: Proposed Units: \_\_\_\_\_

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West

## Application Outlook



## Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



## CONCURRENCY CAPACITY ANALYSIS

### I. Site Data:

	Existing Use	Future Land Use	Zoning
<b>North</b>	Mobil Home Park	RM - Medium Density	R4 - Medium Density
<b>South</b>	Self Storage	GC- General Commercial	C3 - General Commercial
<b>East</b>	Undeveloped	RM - Medium Density	R4 - Medium Density
<b>West</b>	Commercial	GC- General Commercial	C3 - General Commercial

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
<b>Current</b>	GC	GC	Vacant	5.51	N/A
<b>**Proposed</b>	GC	GC	93,861 Gross	5.51	N/A

### II. Public Facilities Information:

<b>A. Potable Water:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day vacant
**Proposed Zoning/FLU	Total gallons per day 50 GPD
**Change in Demand	Total gallons per day 50 GPD

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day vacant
**Proposed Zoning/FLU	Total gallons per day 50 GPD
**Change in Demand	Total gallons per day 50 GPD

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people	0	0	0
Urban District	5 acres per 1,000 people	0	0	0
Community	2.5 acres per 1,000 people	0	0	0
Neighborhood	1.36 acres per 1,000 people	0	0	0

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name	N/A	N/A
City	N/A	N/A
Distance	N/A	N/A
Current Zoning/FLU Enrollment Demand	N/A	N/A
**Proposed Zoning/FLU Enrollment Demand	N/A	N/A
**Change in Demand	N/A	N/A

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	vacant
**Proposed Zoning/FLU	6 yard
*Change in Demand	6 yard

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

<b>Impact</b>	No increase in discharge from property due to onsite dry retention basin.
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**III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)**

<b>G. Transportation Analysis: Complete ITE Trip Generation Data Form</b>		
Most recent ITE Code for use; HCM Roadway Capacity		
	<b>AADT</b>	<b>AM/PM Peak Hour Trips</b>
<b>Demand Analysis</b>	Maximum	Maximum
<b>Current Zoning/FLU</b>	0	0
<b>**Proposed Zoning/FLU</b>	9	3
<b>*Change in Demand</b>	Trips 9	Trips 3
<b>Impact to Capacity</b>		

**IV. Project Description**

<b>PHASING</b>	
Is this project (phase) part of a larger project?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units:	Single Family: Multifamily:
Non-residential (square footage): 93,861 sf. of U-Box warehouse storage	
Mixed-use (describe use):	
(If this is a single phase project, name it Phase I – Total)	

<b>RESIDENTIAL DATA</b>					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
U-Box Warehouse Storage	1	93,861	5.51	1/1/2022	9/1/2022

A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No

- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_
2. What is the current use of the structure to be demolished or re-used? \_\_\_\_\_
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

\*\* Complete section if requesting a change in zoning, future land use, or expanding



**DESIGN REVIEW**

**Property Information**

Property address or Location 3602 S. US Highway 1  
 Parcel ID #(s) 243412100050006; 243412300010004; 243412300020001  
 Project description Uhaul Moving and Storage of Fort Pierce

**Property Owner(s) Information**

Cal Conner, Uhaul Co of Florida

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**Property Owner(s)**  
 2311 ANGEL OLIVA SENIOR ST.

---

Street Address  
 Tampa FL 33605

---

City State Zip  
 561-638-9088

---

Phone Number  
 cal\_conner@uhaul.com

---

Email Address

Jeffery W. Banker, Highland Engineering, Inc.

---

**Applicant/Representative, Title, Company**  
 415 Citrus Tower Boulevard

---

Street Address  
 Clermont FL 34711

---

City State Zip  
 407-275-7877

---

Phone Number  
 jbanker@heifl.com

---

Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

  
 \_\_\_\_\_  
 Property Owner(s) Signature(s)

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**  
 CALL 772.467.3737 OR E-MAIL [PLANNING\\_DL@CITYOFFORTPIERCE.COM](mailto:PLANNING_DL@CITYOFFORTPIERCE.COM)  
 For more information, please refer to the website:  
<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

## **Design Review Application Checklist** **(City Code of Ordinances 125-314)**

### **Submittal for Administrative Approval**

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

### **Submittal for Board Approval**

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

Prepared by:

D. Bradley Hester, Esq.  
Joseph D. Ort, P.L.  
1305 E. Plant Street  
Winter Garden, FL 34787

Return to:

Sarah Buvala  
First American Title Insurance Company  
National Commercial Services  
2425 E. Camelback Road, Suite 300  
Phoenix, AZ 85016

Parcel ID Nos.: 2434-121-0005-000-6;  
2434-123-0001-000-4; and  
2434-123-0002-000-1;

**SPECIAL WARRANTY DEED**

**THIS SPECIAL WARRANTY DEED**, made the 5 day of August, 2019, by **SPS PROPERTIES, INC.**, a Florida corporation, whose address is 2575 North Orange Blossom Trail, Kissimmee, FL 34744 (the "Grantor") to and in favor of **U-HAUL CO. OF FLORIDA**, a Florida corporation, whose address is 2311 Angel Oliva Senior Street, Tampa, FL 33605 (the "Grantee");

(Whenever used herein the terms Grantor and Grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trust and trustees.)

**WITNESSETH**, that Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration paid to Grantor by Grantee, the receipt and sufficiency whereof is hereby acknowledged, has granted, bargained and sold to Grantee, and Grantee's successors and assigns forever, the following described land, situate, lying and being in Saint Lucie County, Florida, to wit:

**SEE EXHIBIT "A" ATTACHED HERETO.**

**SUBJECT TO** real estate taxes and assessments for the year 2019 and subsequent years, which are not yet due and payable, and covenants, conditions, easements, and restrictions of record; provided, however reference thereto shall not serve to reimpose same.

**TOGETHER** with all the tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD** in fee simple forever.

**AND** Grantor hereby covenants and warrants to said Grantee, and its successors and assigns, that Grantor is lawfully seized of said land; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under Grantor.

(The Grantor's signature is on the following page.)

IN WITNESS WHEREOF, Grantor has caused these presents to be duly authorized in its name and by those thereunto duly authorized, the day and year first above written.

SPS PROPERTIES, INC., a Florida corporation

By: J.R.D. / S  
Jamison R. Daniels, President

[Signature]  
Witness #1 Signature  
Andreas Hochstetler  
Print Name

[Signature]  
Witness #2 Signature  
WILLIAM A. RANNEY  
Print Name

STATE OF FLORIDA

COUNTY OF Manatee

The foregoing instrument was acknowledged before me in the State and County set forth above this 1<sup>st</sup> day of August, 2019, by Jamison R. Daniels, as President of SPS Properties, Inc., a Florida corporation, on behalf of the corporation. He is  personally known to me or  produced \_\_\_\_\_ as evidence of identification.

[AFFIX NOTARY SEAL]



[Signature]  
Notary Public Signature  
Teresa M. Martin  
Typed or Printed Notary Name  
Notary Public-State of Florida  
Commission No.: GG 304105

**EXHIBIT "A"**

The West 660 feet of the South 198 feet of the North 726 feet of the NW 1/4 of the NE 1/4 of Section 34, Township 35 South, Range 40 East, St. Lucie County, Florida, excepting however, the West 78 feet thereof.

The North 1/2 of the South 99 feet of the North 825 feet of the NW 1/4 of the NE 1/4 of Section 34, Township 35 South, Range 40 East, St. Lucie County, Florida, excepting therefrom all rights of way for public roads.

The South 1/2 of the South 99 feet of the North 825 feet of the NW 1/4 of the NE 1/4 of Section 34, Township 35 South, Range 40 East, St. Lucie County, Florida, excepting therefrom all rights of way for public roads.

TOGETHER WITH that portion of that certain property described in Official Records Book 319, Page 1602, lying North of that line of realignment as more particularly described in Official Records Book 1234, Page 2802.

LESS AND EXCEPTING that portion of that certain property described in Official Records Book 527, Page 1985, lying South of that line of realignment, as more particularly described In Quit Claim Deed recorded in Official Records Book 1234, Page 2806, all as recorded in the Public Records of St. Lucie County, Florida.

# ALTA / NSPS TOPOGRAPHIC SURVEY

Tree Table

Tree ID#	Species	Type	Trunk Diameter	Canopy Diameter	Tree ID#	Species	Type	Trunk Diameter	Canopy Diameter
23	OAK	DT	25"	80.0	82	OAK	DT	25"	40.0
24	OAK	DT	28"	40.0	85	OAK	DT	25"	40.0
25	OAK	DT	23"	80.0	86	PALM	DT	14"	20.0
26	OAK	DT	20"	80.0	87	OAK	DT	13"	30.0
27	OAK	DT	36"	80.0	90	OAK	DT	30"	60.0
28	OAK	DT	40"	100.0	92	OAK	DT	12"	40.0
42	OAK	DT	25"	40.0	95	OAK	DT	8"	20.0
43	OAK	DT	23"	50.0	99	PALM	DT	15"	20.0
45	OAK	DT	40"	80.0	99	OAK	DT	12"	50.0
49	OAK	DT	20"	70.0	101	OAK	DT	15"	50.0
52	OAK	DT	6"	20.0	102	OAK	DT	10"	30.0
53	UNKNOWN	DT	50"	60.0	105	OAK	DT	33"	80.0
55	OAK	DT	23"	80.0	116	PALM	DT	18"	20.0
56	OAK	DT	50"	60.0	119	PINE	CT	25"	40.0
57	OAK	DT	23"	70.0	121	PALM	DT	28"	20.0
60	OAK	DT	20"	30.0	122	PALM	DT	23"	20.0
62	OAK	DT	30"	80.0	124	PALM	DT	15"	20.0
63	PALM	DT	20"	20.0	146	PALM	DT	18"	20.0
67	OAK	DT	25"	60.0	195	PALM	DT	25"	20.0
68	OAK	DT	20"	60.0	382	OAK	DT	15"	30.0
69	PALM	DT	20"	20.0	509	PALM	DT	16"	20.0
70	OAK	DT	35"	70.0	1059	PALM	DT	12"	20.0
74	PALM	DT	18"	20.0	1060	PALM	DT	13"	20.0
75	PALM	DT	18"	20.0	1061	OAK	DT	20"	30.0
76	OAK	DT	26"	60.0	1062	OAK	DT	10"	30.0
77	OAK	DT	18"	40.0	1063	OAK	DT	15"	30.0
78	OAK	DT	14"	50.0	1064	OAK	DT	11"	30.0
79	OAK	DT	36"	60.0	1065	PALM	DT	13"	20.0
					1154	PALM	DT	23"	20.0

### Schedule A Description

THE LAND DESCRIBED BELOW AND SHOWN IN THIS SURVEY ARE THE SAME AS THAT RECORDED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT # NCS-947698-PH1 WITH AN EFFECTIVE DATE OF JANUARY 30, 2019 AT 8:00 AM.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ST. LUCIE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE WEST 660 FEET OF THE SOUTH 198 FEET OF THE NORTH 726 FEET OF THE NW 1/4 OF THE NW 1/4 OF SECTION 34, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, EXCEPTING HOWEVER, THE WEST 78 FEET THEREOF.

THE NORTH 1/2 OF THE SOUTH 99 FEET OF THE NORTH 825 FEET OF THE NW 1/4 OF THE NW 1/4 OF SECTION 34, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, EXCEPTING THEREFROM ALL RIGHTS OF WAY FOR PUBLIC ROADS.

THE SOUTH 1/2 OF THE SOUTH 99 FEET OF THE NORTH 825 FEET OF THE NW 1/4 OF THE NW 1/4 OF SECTION 34, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, EXCEPTING THEREFROM ALL RIGHTS OF WAY FOR PUBLIC ROADS.

TOGETHER WITH THAT PORTION OF THAT CERTAIN PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 527, PAGE 1983, LYING NORTH OF THAT LINE OF REALIGNMENT AS MORE PARTICULARLY DESCRIBED IN QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 1234, PAGE 2806, ALL AS RECORDED IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

LESS AND EXCEPTING THAT PORTION OF THAT CERTAIN PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 527, PAGE 1983, LYING SOUTH OF THAT LINE OF REALIGNMENT, AS MORE PARTICULARLY DESCRIBED IN QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 1234, PAGE 2806, ALL AS RECORDED IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

### Schedule B - Section II

9. PERPETUAL EASEMENT AND RIGHT OF WAY GRANTED TO THE STATE OF FLORIDA FOR HIGHWAY PURPOSES BY WARRANTY DEED RECORDED IN DEED BOOK 72, PAGE 7, AS AFFECTED BY QUIT CLAIM DEED RECORDED IN DEED BOOK 191, PAGE 313 AND QUIT CLAIM DEED RECORDED IN DEED BOOK 192, PAGE 53, OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA. (DOES NOT AFFECT SUBJECT PROPERTY)

10. EASEMENT GRANTED TO ST. LUCIE COUNTY, FOR DRAINAGE DITCH PURPOSES, RECORDED AUGUST 6, 1981 IN DEED BOOK 97, PAGE 432, OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA. (DOES NOT AFFECT SUBJECT PROPERTY)

11. CITY ORDINANCE NO. K-232, RELATED TO ANNEXATION, RECORDED AUGUST 7, 2003 IN OFFICIAL RECORDS BOOK 1789, PAGE 2130, OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA. (AFFECTS, CONTAINS NO PLOTTABLE ITEMS)

### As Surveyed Description

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN SECTION 34, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, AND IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4;

THENCE RUN SOUTH ALONG SAID WESTERLY QUARTER QUARTER SECTION LINE, S 00°41'59" W, A DISTANCE OF 528.18';

THENCE LEAVING SAID QUARTER QUARTER SECTION LINE, RUN S 89°58'31" E, A DISTANCE OF 78.03' TO A SET 1/2" REBAR (NIX FL 7057) ON THE EASTERLY RIGHT OF WAY OF US HIGHWAY 1 (VARIABLE PUBLIC RIGHT OF WAY), BEING THE POINT OF BEGINNING;

THENCE LEAVING SAID RIGHT OF WAY, RUN S 89°58'31" E, A DISTANCE OF 581.59' TO A FOUND 5/8" REBAR (JBROWN 4049);

THENCE RUN S 00°34'38" W, A DISTANCE OF 199.49' TO A SET 1/2" REBAR (NIX FL 7057);

THENCE RUN S 89°50'03" E, A DISTANCE OF 673.07' TO A SET 1/2" REBAR (NIX FL 7057) ON THE EASTERLY LINE OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4;

THENCE RUN SOUTH ALONG SAID EASTERLY QUARTER QUARTER SECTION LINE, S 00°41'59" W, A DISTANCE OF 98.50' TO A SET 1/2" REBAR (NIX FL 7057);

THENCE LEAVING SAID QUARTER QUARTER SECTION LINE, RUN N 89°52'50" W, A DISTANCE OF 1255.08' TO A POINT ON THE EASTERLY RIGHT OF WAY OF US HIGHWAY 1 FROM WHICH A FOUND 1/2" REBAR BEARS WEST 1.17' AND NORTH 0.98';

THENCE RUN ALONG SAID RIGHT OF WAY, N 00°42'00" E, A DISTANCE OF 297.52' TO THE POINT OF BEGINNING, CONTAINING 239,878 S.F., 5.507 ACRES MORE OR LESS.

### Miscellaneous Notes:

MN1. SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.

MN2. DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.

MN3. AT THE TIME OF THE ALTA SURVEY THERE WAS OBSERVABLE EVIDENCE OF EARTH WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

MN4. AT THE TIME OF THE ALTA SURVEY THERE WERE NO CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION OR OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS.

MN5. AT THE TIME OF THE ALTA SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.

MN6. TOTAL NUMBER OF PARKING SPACES IS 8, WHICH INCLUDES 8 REGULAR PARKING SPACES, AND 0 DESIGNATED HANDICAPPED SPACES.

MN7. THERE IS EVIDENCE OF ENCROACHMENTS.

MN8. FIELD WORK WAS COMPLETED ON APRIL 22, 2019.

MN9. THE BASIS OF BEARING FOR THIS SURVEY IS THE NORTH PROPERTY LINE, BEARING S 89°58'51" E, BASED ON GRID NORTH FOR FLORIDA COORDINATE SYSTEM, EASTERN ZONE, NAD83. -LATITUDE = 27°23'39.9660", LONGITUDE = -80°19'07.6764", CONVERGENCE ANGLE = 0°18.3919466" -DISTANCES SHOWN ON PLAT ARE GRID. COMBINED SCALE FACTOR (GRID TO GROUND) = 1.0000037240

MN10. ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING (NAVD 1988 DATUM).

MN11. THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR GREENE COUNTY, MISSOURI, FIRM PANEL #1211100189J DATED 02/16/2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

MN12. THERE IS NO EVIDENCE OF ANY DELINEATED WETLAND AREAS, PER THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY WEBSITE. NO MARKERS FROM A FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST WERE OBSERVED DURING THE COURSE OF THE ALTA SURVEY.

MN13. ALL OFFSITE EASEMENTS OR SERVITUDES PROVIDED TO OR OBTAINED BY THE SURVEYOR AS A PART OF THE SURVEY ARE PLOTTED AND SHOWN HEREON.

MN14. IN REGARDS TO ALTA TABLE ITEM 10(A), NO VISIBLE CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT, NECESSARY PERMISSIONS WERE NOT PROVIDED.

MN15. THE NEAREST INTERSECTING STREET IS THAT OF US HIGHWAY 1 AND E SOUTH MARKET AVENUE, INTERSECTION BEING LOCATED APPROXIMATELY 520' FROM THE SE CORNER OF THE SUBJECT PROPERTY.

Not To Scale



Sign Detail

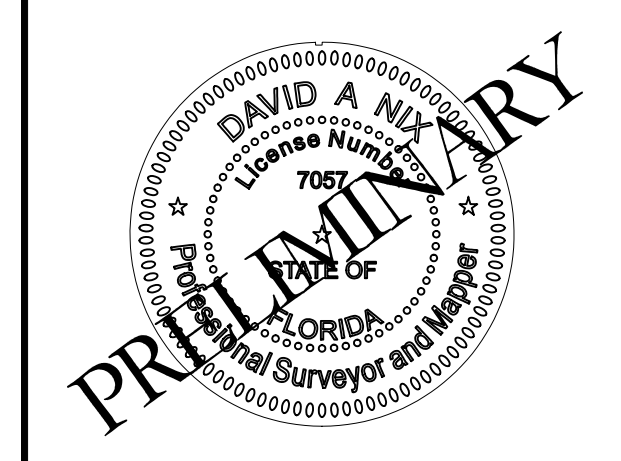
- SET FOUND MONUMENT
- COMPUTED POINT
- NEW OR FORMALLY
- PARKING SPACE
- CENTERLINE OF ROAD
- RIGHT OF WAY
- MEASURED/CALCULATED DIMENSION
- RECORDED DIMENSION
- SANITARY SEWER
- MANHOLE
- WATER VALVE
- GAS METER
- ELECTRICAL BOX
- ELECTRIC METER
- LIGHT
- POWER POLE
- GUY WIRE
- TELEVISION PEDESTAL
- TELEVISION PEDESTAL
- MAILBOX
- KEYPAD
- GENERATOR
- AC UNIT
- SIGN
- DRAINAGE INLET
- MONITORING WELL
- WATER METER
- GAS VALVE
- FIRE HYDRANT
- YARD HYDRANT
- DRAINAGE MANHOLE
- BOLLARD
- HANDICAP SPACE
- TREE IDENTIFIER
- POLYURETHANE CHLORIDE PIPE
- REINFORCED CONCRETE PIPE
- CORRUGATED METAL PIPE
- OVERHEAD DOOR
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- TOP OF ASPHALT
- TOP OF CONCRETE
- TOP OF GULCH
- BACK OF CURB
- FLOWLINE
- GAS UTILITY LINE SAG
- NATURAL GROUND
- CROWN OF ROAD
- FINISHED FLOOR
- TOP OF BANK
- BOTTOM OF BANK
- SIDEWALK
- RAMP

- BOUNDARY LINE
- CENTERLINE
- RIGHT OF WAY
- EASEMENT
- BUILDING SET BACK
- WATER LINE
- OVERHEAD POWER LINE
- SEWER LINE
- DRAINAGE PIPE

### Legend of Symbols & Abbreviations

TO: AMERCO REAL ESTATE COMPANY, A NEVADA CORPORATION; U-HAUL CO OF FLORIDA, A FLORIDA CORPORATION; U-HAUL CO. OF FLORIDA 10, LLC, FIRST AMERICAN TITLE INSURANCE COMPANY.

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DAVID A. NIX  
SURVEYOR LICENSE # 7057  
IN THE STATE OF FLORIDA  
DATE OF PLAT OR MAP: 5/1/2019

BLEW & ASSOCIATES, PA  
FAYETTEVILLE, ARKANSAS 72703  
479-443-4508  
SURVEY@BLEWINC.COM

### Surveyor's Certification

BLEW & ASSOCIATES, PA  
CIVIL ENGINEERS & LAND SURVEYORS  
3825 N. SHILOH DR.  
FAYETTEVILLE, ARKANSAS 72703  
OFFICE: 479.443.4506  
FAX: 479.582.1883  
www.BLEWINC.com

DRAWN BY & DATE	REVIEWED BY	SUBMITTED BY
MH-5/1/19	DN	DR
COUNTY & STATE	JOB NUMBER	
ST. LUCIE COUNTY, FLORIDA	19-1560	
LOCATION	3602, 3610, & 3612 HWY. 1, FORT PIERCE, FL	
FOR THE USE AND BENEFIT OF:	AMERCO	

DRAWING EXHIBIT  
(SEE SHEETS 2 & 3  
FOR SURVEY DRAWING)

### Current Zoning Information

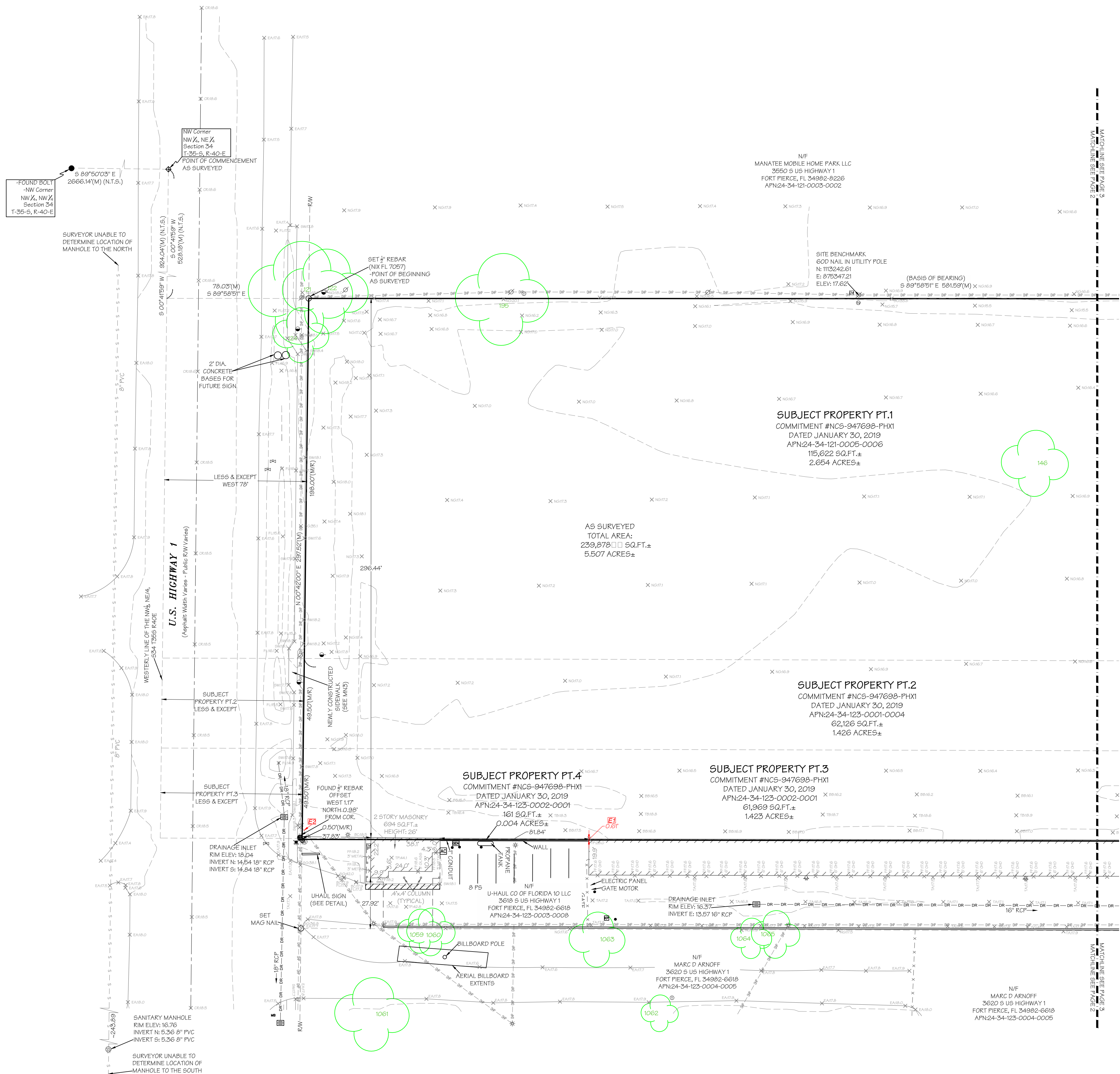
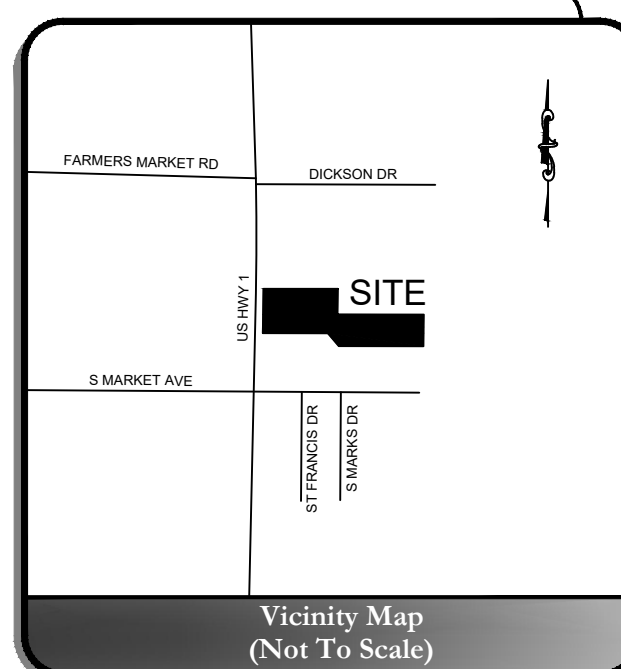
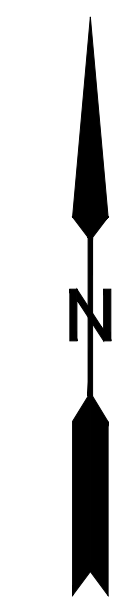
AT THE TIME OF THE SURVEY ZONING REPORT WAS NOT PROVIDED  
CURRENT ZONING: C3, GENERAL COMMERCIAL

### Potential Encroachments

- BUILDING APPEARS TO ENCR OACH OVER PROPERTY LINE BY AS MUCH AS 0.61'
- UTILITY LINE APPEARS TO PASS THROUGH PROPERTY WITHOUT THE BENEFIT OF AN EASEMENT.

DATE	REVISION
5-15-19	CLIENT COMMENTS -MH

# ALTA / NSPS TOPOGRAPHIC SURVEY



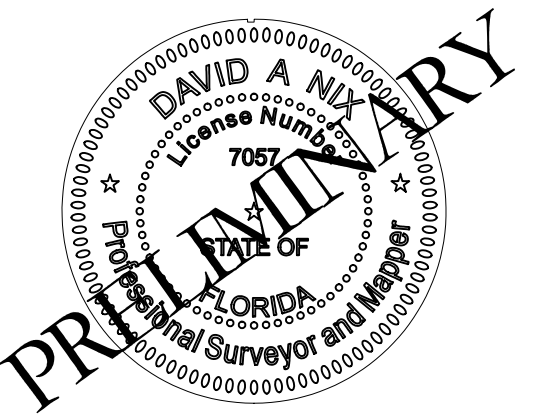
Tree Table

Tree ID#	Species	Type	Trunk Diameter	Canopy Diameter
23	OAK	DT	25"	80.0
24	OAK	DT	28"	40.00
25	OAK	DT	23"	80.0
26	OAK	DT	20"	60.0
27	OAK	DT	36"	80.0
28	OAK	DT	40"	100.0
42	OAK	DT	25"	40.0
43	OAK	DT	23"	50.0
45	OAK	DT	40"	80.0
49	OAK	DT	20"	70.0
52	OAK	DT	6"	20.0
53	UNKNOWN	DT	30"	60.0
55	OAK	DT	23"	60.0
56	OAK	DT	30"	80.0
57	OAK	DT	23"	70.0
60	OAK	DT	20"	30.0
62	OAK	DT	30"	80.0
63	PALM	DT	20"	20.0
67	OAK	DT	25"	60.0
68	OAK	DT	20"	60.0
69	PALM	DT	20"	20.0
70	OAK	DT	35"	70.0
74	PALM	DT	18"	20.0
75	PALM	DT	15"	20.0
76	OAK	DT	26"	60.0
77	OAK	DT	18"	40.0
78	OAK	DT	14"	50.0
79	OAK	DT	36"	60.0
82	OAK	DT	25"	40.0
85	OAK	DT	25"	40.0
86	PALM	DT	14"	20.0
87	OAK	DT	13"	30.0
90	OAK	DT	30"	60.0
92	OAK	DT	12"	40.0
93	OAK	DT	8"	20.0
98	PALM	DT	15"	20.0
99	OAK	DT	12"	20.0
101	OAK	DT	15"	50.0
102	OAK	DT	10"	30.0
105	OAK	DT	33"	80.0
116	PALM	DT	18"	20.0
119	PINE	CT	25"	40.0
121	PALM	DT	28"	20.0
122	PALM	DT	23"	20.0
124	PALM	DT	15"	20.0
146	PALM	DT	18"	20.0
195	PALM	DT	25"	20.0
382	OAK	DT	15"	30.0
509	PALM	DT	16"	20.0
1059	PALM	DT	12"	20.0
1060	PALM	DT	13"	20.0
1061	OAK	DT	20"	30.0
1062	OAK	DT	10"	30.0
1063	OAK	DT	15"	30.0
1064	OAK	DT	11"	30.0
1065	PALM	DT	13"	20.0
1154	PALM	DT	23"	20.0

Legend of Symbols & Abbreviations

TO: AMERCO REAL ESTATE COMPANY, A NEVADA CORPORATION; U-HAUL CO OF FLORIDA, A FLORIDA CORPORATION; U-HAUL CO. OF FLORIDA 10, LLC; FIRST AMERICAN TITLE INSURANCE COMPANY;

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DAVID A. NIX  
SURVEYOR LICENSE # 7057  
IN THE STATE OF FLORIDA  
DATE OF PLAT OR MAP: 5/11/2019

BLEW & ASSOCIATES, PA  
3825 N. SHILOH DRIVE  
FAYETTEVILLE, ARKANSAS 72703  
479-443-4508  
SURVEY@BLEWINC.COM

Surveyor's Certification

BLEW & ASSOCIATES, PA  
CIVIL ENGINEERS & LAND SURVEYORS

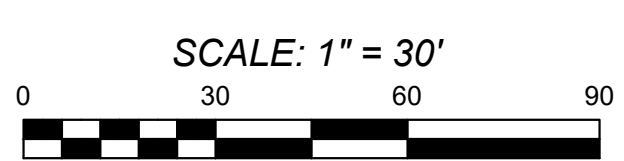
3825 N. SHILOH DR.  
FAYETTEVILLE, ARKANSAS 72703  
OFFICE: 479.443.4506  
FAX: 479.582.1883  
www.BLEWINC.com

DRAWN BY & DATE	REVIEWED BY	ISSUED BY
MH- 5/1/19	DN	DR
COUNTY & STATE	JOB NUMBER	
ST. LUCIE COUNTY, FLORIDA	19-1560	

LOCATION: 3602, 3610, & 3612 HWY. 1, FORT PIERCE, FL

FOR THE USE AND BENEFIT OF: AMERCO

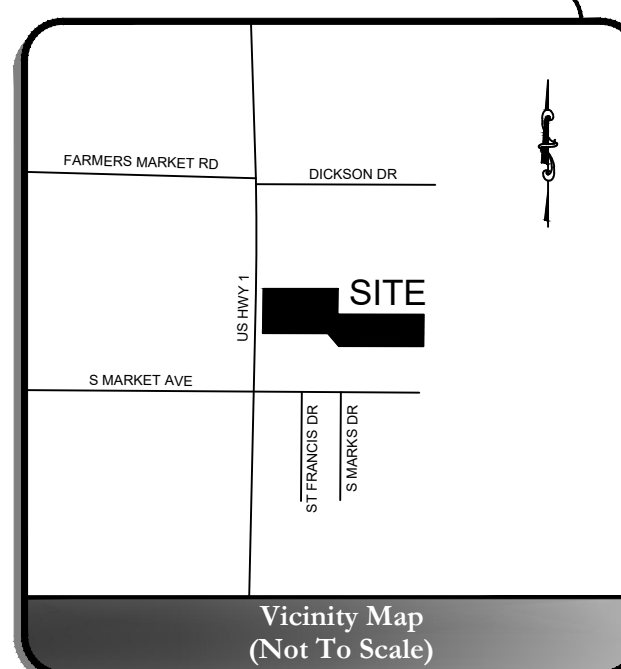
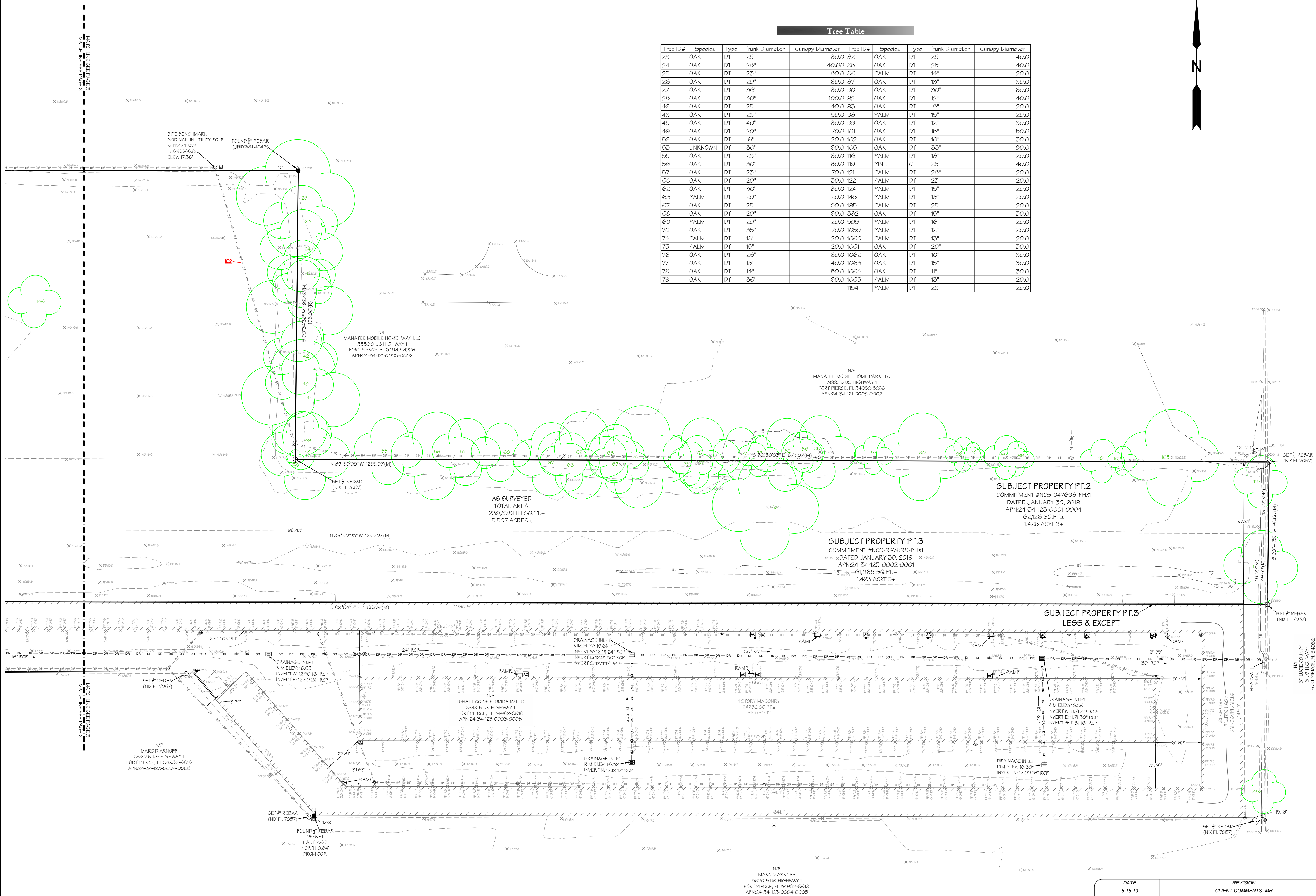
DATE	REVISION
5-15-19	CLIENT COMMENTS -MH



# ALTA / NSPS TOPOGRAPHIC SURVEY

Tree Table

Tree ID#	Species	Type	Trunk Diameter	Canopy Diameter	Tree ID#	Species	Type	Trunk Diameter	Canopy Diameter
23	OAK	DT	25"	80.0	82	OAK	DT	25"	40.0
24	OAK	DT	28"	40.0	85	OAK	DT	25"	40.0
25	OAK	DT	23"	80.0	86	PALM	DT	14"	20.0
26	OAK	DT	20"	60.0	87	OAK	DT	13"	30.0
27	OAK	DT	36"	80.0	90	OAK	DT	30"	60.0
28	OAK	DT	40"	100.0	92	OAK	DT	12"	40.0
42	OAK	DT	25"	40.0	93	OAK	DT	8"	20.0
43	OAK	DT	23"	50.0	98	PALM	DT	15"	20.0
45	OAK	DT	40"	80.0	99	OAK	DT	12"	30.0
49	OAK	DT	20"	70.0	101	OAK	DT	15"	50.0
52	OAK	DT	6"	20.0	102	OAK	DT	10"	30.0
53	UNKNOWN	DT	30"	60.0	105	OAK	DT	33"	80.0
55	OAK	DT	23"	60.0	116	PALM	DT	18"	20.0
56	OAK	DT	30"	80.0	119	FINE	CT	25"	40.0
57	OAK	DT	23"	70.0	121	PALM	DT	28"	20.0
60	OAK	DT	20"	30.0	122	PALM	DT	23"	20.0
62	OAK	DT	30"	80.0	124	PALM	DT	15"	20.0
63	PALM	DT	20"	20.0	146	PALM	DT	18"	20.0
67	OAK	DT	25"	60.0	195	PALM	DT	25"	20.0
68	OAK	DT	20"	60.0	582	OAK	DT	15"	30.0
69	PALM	DT	20"	20.0	509	PALM	DT	16"	20.0
70	OAK	DT	35"	70.0	1059	PALM	DT	12"	20.0
74	PALM	DT	18"	20.0	1060	PALM	DT	13"	20.0
75	PALM	DT	15"	20.0	1061	OAK	DT	20"	30.0
76	OAK	DT	26"	60.0	1062	OAK	DT	10"	30.0
77	OAK	DT	18"	40.0	1063	OAK	DT	15"	30.0
78	OAK	DT	14"	60.0	1064	OAK	DT	11"	30.0
79	OAK	DT	36"	60.0	1065	PALM	DT	13"	20.0
					1154	PALM	DT	23"	20.0



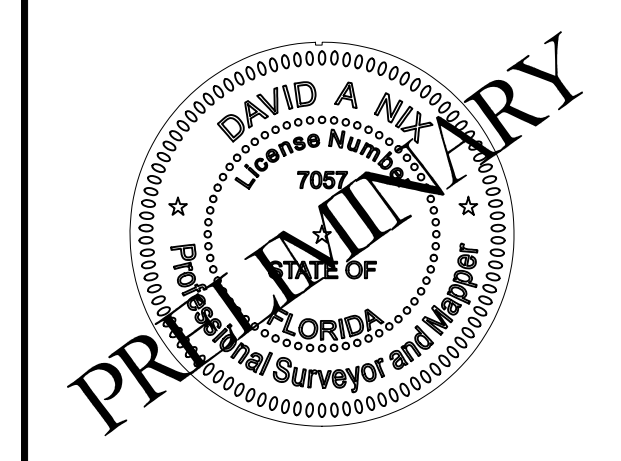
- Legend of Symbols & Abbreviations**
- SET/FOUND MONUMENT
  - ⊕ COMPUTED POINT
  - N/F NOW OR FORMALLY
  - PS PARKING SPACE
  - CL CENTERLINE OF ROAD
  - R/W RIGHT-OF-WAY
  - M MEASURED/CALCULATED DIMENSION
  - (D) RECORDED DIMENSION
  - ⊙ SANITARY SEWER
  - ⊙ MANHOLE
  - ⊙ WATER VALVE
  - ⊙ GAS METER
  - ⊙ ELECTRICAL BOX
  - ⊙ ELECTRIC METER
  - ⊙ LIGHT
  - ⊙ POWER POLE
  - ⊙ GUY WIRE
  - ⊙ TELEPHONE PEDESTAL
  - ⊙ TELEVISION PEDESTAL
  - ⊙ MAILBOX
  - ⊙ GENERATOR
  - ⊙ SIGN
  - ⊙ NO UNIT
  - ⊙ DRAINAGE INLET
  - ⊙ MONITORING WELL
  - ⊙ WATER METER
  - ⊙ GAS VALVE
  - ⊙ FIRE HYDRANT
  - ⊙ YARD HYDRANT
  - ⊙ DRAINAGE MANHOLE
  - ⊙ BOLLARD
  - ⊙ HANDICAP SPACE
  - ⊙ CLEAN-OUT
  - ⊙ TREE IDENTIFIER
  - EA: EDGE OF ASPHALT
  - EC: EDGE OF CONCRETE
  - TA: TOP OF ASPHALT
  - TC: TOP OF CONCRETE
  - TO: TOP OF GRAVEL
  - TL: TOP OF CURB
  - FC: FINISHED FLOOR
  - DC: BACK OF CURB
  - FL: FLOWLINE
  - ⊙⊙ UTILITY LINE SAG
  - ⊙⊙ NATURAL GROUND
  - ⊙⊙ CROWN OF ROAD
  - ⊙⊙ FINISHED FLOOR
  - ⊙⊙ TOP OF BANK
  - ⊙⊙ BOTTOM OF BANK
  - ⊙⊙ SIDEWALK
  - ⊙⊙ RAMP

**Legend of Symbols & Abbreviations**

- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- - - FENCE
- - - EASEMENT
- - - BUILDING SET BACK
- - - WATER LINE
- - - OVERHEAD POWER LINE
- - - SEWER LINE
- - - DRAINAGE PIPE

TO: AMERCO REAL ESTATE COMPANY, A NEVADA CORPORATION; U-HAUL CO OF FLORIDA, A FLORIDA CORPORATION; U-HAUL CO OF FLORIDA 10 LLC, FIRST AMERICAN TITLE INSURANCE COMPANY.

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DAVID A. NIX  
SURVEYOR LICENSE # 7057  
IN THE STATE OF FLORIDA  
DATE OF PLAT OR MAP: 5/1/2019

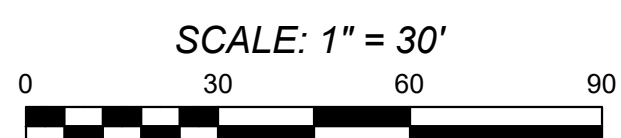
BLEW & ASSOCIATES, PA  
3825 N. SHILOH DRIVE  
FAYETTEVILLE, ARKANSAS 72703  
479-443-4508  
SURVEY@BLEWINC.COM

Surveyor's Certification

**BLEW & ASSOCIATES, PA**  
CIVIL ENGINEERS & LAND SURVEYORS

3825 N. SHILOH DR.  
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DRAWN BY & DATE	REVISION BY	REVISION DATE
MH- 5/1/19	DN	DR
COUNTY & STATE	JOB NUMBER	
ST. LUCIE COUNTY, FLORIDA	19-1560	
LOCATION	3602, 3610, & 3612 HWY. 1, FORT PIERCE, FL	
FOR THE USE AND BENEFIT OF:	AMERCO	



DATE	REVISION
5-15-19	CLIENT COMMENTS -MH



**Saint Lucie County Property Appraiser  
Michelle Franklin CFA**

Report generated: Friday, August 6, 2021

**Parcel Report**



**Parcel**

**PARCELNO:** 2434-121-0005-000-6  
**Property ID:** 33243  
**Owner1:** U-Haul Co of Florida  
**SiteAddress:** 3602 S US HIGHWAY 1

**Owner**

**Owner1:** U-Haul Co of Florida  
**Owner2:**  
**Owner3:**  
**MailingAddress:** 2311 Angel Oliva Senior ST  
 Tampa, FL 33605-3800

**Overview**

**PrimaryLandUse:** 1000 - Vac Comm  
**DistrictGroup:** 0022 - Fort Pierce  
**Subdivision:** Metes and Bounds  
**Just/Market Value:** \$261,000  
**FinishedArea:**  
**Acres:** 2.634  
**TotalArea:** 114,743

**Legal Description**

**LegalDescription:** 34 35 40 W 660 FT OF S 198  
 FT OFN 726 FT OF NW 1/4 OF  
 NE 1/4-LESS RD- (2.65 AC)

**Value History**

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2020	\$261,000	\$0	\$261,000	\$0	\$261,000	\$0	\$261,000	\$0	\$0
2019	\$200,800	\$0	\$200,800	\$0	\$200,800	\$0	\$200,800	\$0	\$0
2018	\$200,800	\$0	\$200,800	\$0	\$200,800	\$0	\$200,800	\$0	\$0

**Tax Links**

- [SLC Tax Collector's Office taxes for this parcel](#)
- [Download TRIM notice for this parcel](#)

**Special Assessments**

Description	Start Year	Units	Amount
Fort Pierce Stormwater Charge	2004	7.2	\$496.80

## Improvements

<b>Building Sequence:</b>	1
<b>Bedrooms:</b>	0
<b>Bathrooms:</b>	0
<b>Building Type:</b>	-
<b>Story Height:</b>	
<b>No of Living Units:</b>	
<b>Total Finished Area:</b>	0
<b>Gross Sketched Area:</b>	0
<b>Year Built:</b>	
<b>Effective Year:</b>	
<b>Primary Roof Cover:</b>	
<b>Primary Roof Structure:</b>	
<b>Primary Wall:</b>	
<b>A/C %:</b>	0

## Land Lines

Line Number	Units	Unit Type
1	114,743	SqFt

## Permits

Permit Number	Issue Date	Description
C45999	03/31/1988	Demolition
C46000	03/31/1988	Demolition
C46001	03/31/1988	Demolition

## Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
08/01/2019	\$875,000	0205	SP	SPS Properties Inc	4304-2086	<a href="#">Clerk of Courts</a>
05/17/2007	\$1,270,000	XX00	WD	Van Dyke LLC	2820-1273	<a href="#">Clerk of Courts</a>
03/16/2003	\$275,000	XX02	WD	Curtis Ronald J	1677-525	<a href="#">Clerk of Courts</a>
05/01/1985	\$250,000	XX02	CV		466-1829	<a href="#">Clerk of Courts</a>

## Photos





**Saint Lucie County Property Appraiser  
Michelle Franklin CFA**

Report generated: Friday, August 6, 2021

**Parcel Report**



**Parcel**

**PARCELNO:** 2434-123-0001-000-4  
**Property ID:** 33244  
**Owner1:** U-Haul Co of Florida  
**SiteAddress:** 3610 S US HIGHWAY 1

**Owner**

**Owner1:** U-Haul Co of Florida  
**Owner2:**  
**Owner3:**  
**MailingAddress:** 2311 Angel Oliva Senior ST  
 Tampa, FL 33605-3800

**Overview**

**PrimaryLandUse:** 1000 - Vac Comm  
**DistrictGroup:** 0022 - Fort Pierce  
**Subdivision:** Metes and Bounds  
**Just/Market Value:** \$141,700  
**FinishedArea:**  
**Acres:** 1.2  
**TotalArea:** 52,272

**Legal Description**

**LegalDescription:** 34 35 40 N 1/2 OF S 99 FT OF  
 N 825 FT OF NW 1/4 OF NE  
 1/4-LESS RD R/W- (1.43 AC)

**Value History**

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2020	\$141,700	\$0	\$141,700	\$0	\$141,700	\$0	\$141,700	\$0	\$0
2019	\$109,000	\$0	\$109,000	\$0	\$109,000	\$0	\$109,000	\$0	\$0
2018	\$109,000	\$0	\$109,000	\$0	\$109,000	\$0	\$109,000	\$0	\$0

**Tax Links**

- [SLC Tax Collector's Office taxes for this parcel](#)
- [Download TRIM notice for this parcel](#)

**Special Assessments**

Description	Start Year	Units	Amount
Fort Pierce Stormwater Charge	2004	3.8	\$262.20

## Improvements

<b>Building Sequence:</b>	1
<b>Bedrooms:</b>	0
<b>Bathrooms:</b>	0
<b>Building Type:</b>	-
<b>Story Height:</b>	
<b>No of Living Units:</b>	
<b>Total Finished Area:</b>	0
<b>Gross Sketched Area:</b>	0
<b>Year Built:</b>	
<b>Effective Year:</b>	
<b>Primary Roof Cover:</b>	
<b>Primary Roof Structure:</b>	
<b>Primary Wall:</b>	
<b>A/C %:</b>	0

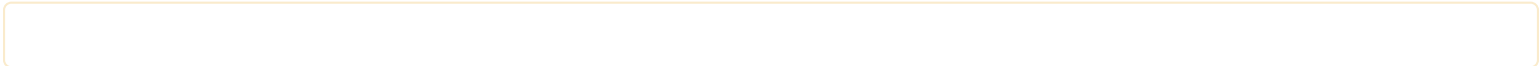
## Land Lines

<b>Line Number</b>	<b>Units</b>	<b>Unit Type</b>
1	62,290	SqFt

## Sales History

<b>Sale Date</b>	<b>Sale Price</b>	<b>Sale Code</b>	<b>Deed Type</b>	<b>Grantor</b>	<b>Book Page</b>	<b>View Document</b>
08/01/2019	\$875,000	0205	SP	SPS Properties Inc	4304-2086	<a href="#">Clerk of Courts</a>
11/04/2012	\$50,000	0205	WD	Van Dyke LLC	3453-568	<a href="#">Clerk of Courts</a>
03/16/2003	\$275,000	XX02	WD	Curtis Ronald J	1677-525	<a href="#">Clerk of Courts</a>
05/01/1985	\$250,000	XX02	CV		466-1829	<a href="#">Clerk of Courts</a>

## Photos





**Saint Lucie County Property Appraiser  
Michelle Franklin CFA**

Report generated: Friday, August 6, 2021

**Parcel Report**



**Parcel**

**PARCELNO:** 2434-123-0002-000-1  
**Property ID:** 33245  
**Owner1:** U-Haul Co of Florida  
**SiteAddress:** 3612 S US HIGHWAY 1

**Owner**

**Owner1:** U-Haul Co of Florida  
**Owner2:**  
**Owner3:**  
**MailingAddress:** 2311 Angel Oliva Senior ST  
 Tampa, FL 33605-3800

**Overview**

**PrimaryLandUse:** 1000 - Vac Comm  
**DistrictGroup:** 0022 - Fort Pierce  
**Subdivision:** Metes and Bounds  
**Just/Market Value:** \$141,700  
**FinishedArea:**  
**Acres:** 1.43  
**TotalArea:** 62,272

**Legal Description**

**LegalDescription:** 34 35 40 FROM NE COR OF NW 1/4 OF NE 1/4, TH S ALG E LI OF 1/4 1/4 SEC LI 775.5 FT TO POB: TH S ALG E LI 49 FT, TH SWLY TO E R/W LI OF US1 PT BEING 0.5 FT S OF A LI 825 FT S OF N LI OF NE 1/4 OF SEC, TH N ALG E R/W LI US1 50 FT, TH NELY TO POB- (1.43 AC)

**Value History**

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2020	\$141,700	\$0	\$141,700	\$0	\$141,700	\$0	\$141,700	\$0	\$0
2019	\$109,000	\$0	\$109,000	\$0	\$109,000	\$0	\$109,000	\$0	\$0
2018	\$109,000	\$0	\$109,000	\$0	\$109,000	\$0	\$109,000	\$0	\$0

## Tax Links

[SLC Tax Collector's Office taxes for this parcel](#)

[Download TRIM notice for this parcel](#)

## Improvements

<b>Building Sequence:</b>	1
<b>Bedrooms:</b>	0
<b>Bathrooms:</b>	0
<b>Building Type:</b>	-
<b>Story Height:</b>	
<b>No of Living Units:</b>	
<b>Total Finished Area:</b>	0
<b>Gross Sketched Area:</b>	0
<b>Year Built:</b>	
<b>Effective Year:</b>	
<b>Primary Roof Cover:</b>	
<b>Primary Roof Structure:</b>	
<b>Primary Wall:</b>	
<b>A/C %:</b>	0

## Sales History

Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
08/01/2019	\$875,000	0205	SP	SPS Properties Inc	4304-2086	<a href="#">Clerk of Courts</a>
11/04/2012	\$50,000	0205	WD	Van Dyke LLC	3453-568	<a href="#">Clerk of Courts</a>
03/16/2003	\$275,000	XX02	WD	Curtis Ronald J	1677-525	<a href="#">Clerk of Courts</a>
11/30/1986	\$67,500	XX00	CV		527-1985	<a href="#">Clerk of Courts</a>
08/01/1981	\$46,000	XX00	CV		361-2442	<a href="#">Clerk of Courts</a>

## Photos



## Special Assessments

Description	Start Year	Units	Amount
Fort Pierce Stormwater Charge	2004	4.1	\$282.90

## Land Lines

Line Number	Units	Unit Type
1	62,290	SqFt

# ***U-Haul Company of Eastern Florida***

4703 Babcock St. NE, Palm Bay, FL. 32905  
Office (561) 638-9088 Fax (772) 78101531

July 22, 2021

To: City of Fort Pierce, Florida  
Planning Department

Re: 3602 S US Highway 1 – Project Narrative

To whom it may concern.

With over 40 years of successful business operations within the City of Fort Pierce, U-Haul Company of Eastern Florida is seeking to expand its business to better serve its customers.

As President of U-Haul Company of Eastern Florida, I agree with our Fort Pierce business plan that would allow us to expand and grow our Moving & Storage services within the surrounding communities for many years ahead. The 5.508 acres parcel located at 3602 S US Highway 1 was purchased in August of 2019 with the landowner allowing us as their tenant to obtain the entitlement approvals which include a Conditional Use Permit (CUP) needed to develop this property.

## **Location map of property below**



Our business and development plan will be to build a 38,888 square foot warehouse building and parking area used for our UBox container program. U-Haul strives to make moving and storing convenient and easy for our customers. We achieve this by offering a wide range of self-

storage options to choose from, one of which is our U-Box container program. The UBox container is a revolution in how you can move. A UBox container fits about a room and a half of household items. Customers can pick-up their U-Box from a U-Haul location or have the U-Box delivered to their doorstep where it can be filled with household items at their leisure. When the U-Box is packed and ready, customers can return the U-Box to a location or have it picked up and delivered to any of our self-storage locations throughout the US and Canada. U-Boxes are temporarily stored within our warehouse until the customer decides they are ready to pick up their items or have them returned to them. In the interim, customers can schedule access their items as needed from our location. Hours of operations are 8 AM to 4PM Monday thru Sunday.

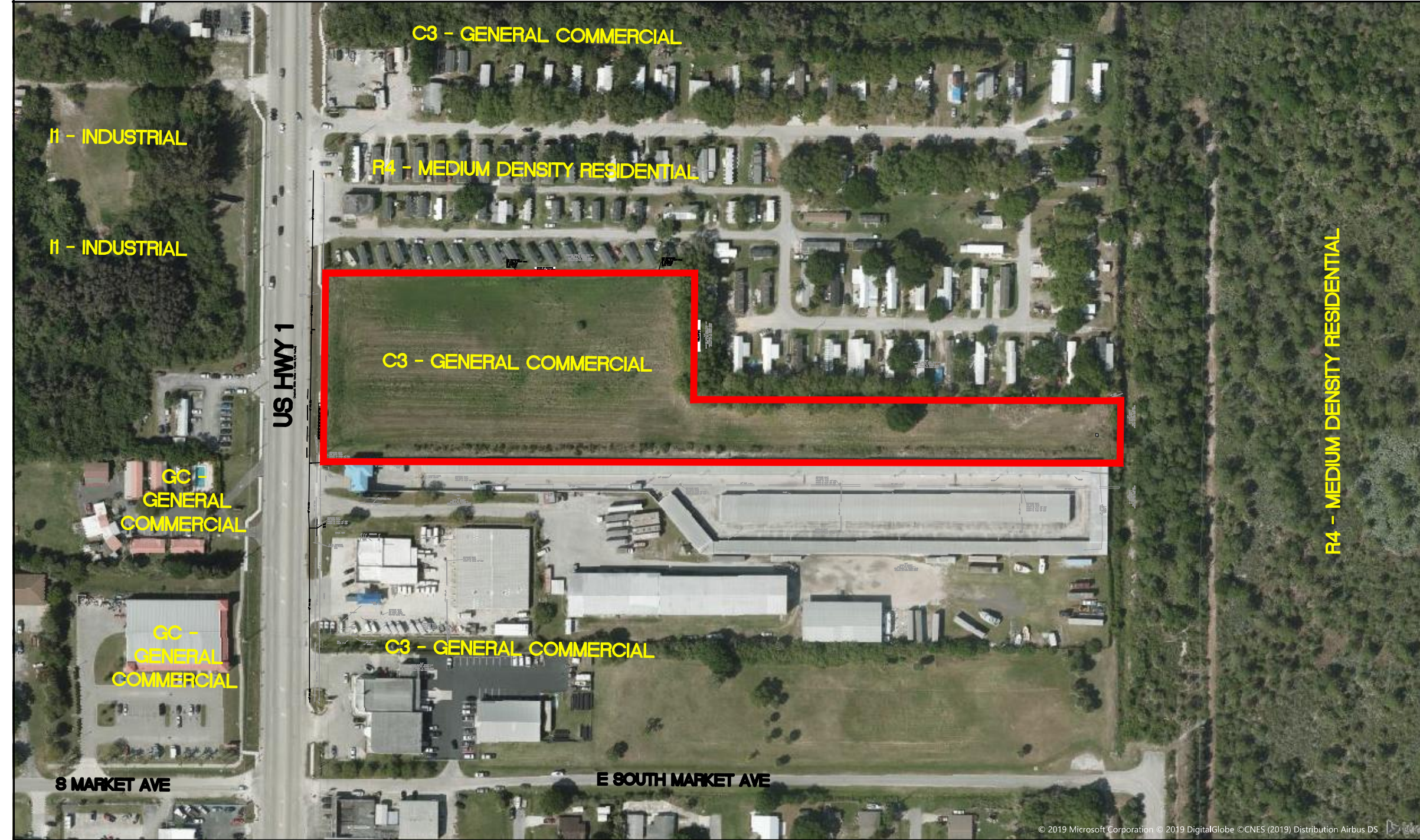


We ask you to consider our request for approval of the Conditional Use Permit (CUP) needed to develop the warehouse building located at 3602 S US Highway 1.

Sincerely

Cal Conner, President  
U-Haul Company of Eastern Florida.

LOCATION/ZONING MAP



CONCEPTUAL SITE PLAN  
UHAUL OF FORT PIERCE  
FORT PIERCE, FLORIDA

SITE PLAN KEYNOTES

- ① PROJECT ID SIGN
- ② BIKE RACK ON CONCRETE PAD
- ③ CHAIN LINK GATE
- ④ PROPOSED 5' W. CONCRETE SIDEWALK
- ⑤ CONCRETE WHEEL STOP
- ⑥ HANDICAP PARKING SIGN
- ⑦ RISER ROOM
- ⑧ DOCK AREA
- ⑨ TRUCK WELL
- ⑩ TRUCK DISPLAY AREA
- ⑪ TYPE "D" CONCRETE CURB
- ⑫ HEAVY DUTY ASPHALT PAVEMENT - 2" TYPE "S-III" ASPHALT (FDOT MIX) OVER 12" CRUSHED CONCRETE

SITE DATA

ZONING INFORMATION

TOTAL ACREAGE OF TRACT: 5.51 ACRES  
 PROJECT NAME: U-HAUL OF FORT PIERCE  
 MUNICIPALITY: CITY OF FORT PIERCE, ST. LUCIE COUNTY  
 PROJECT ADDRESS: 3602 S. US-1 FORT PIERCE, FL 34982  
 ZONE: C3 - GENERAL COMMERCIAL  
 FUTURE LAND USE: GENERAL COMMERCIAL (GC)

ADJACENT ZONING:

N- R4 - MEDIUM DENSITY  
 E- R4 - MEDIUM DENSITY  
 S- C3 - GENERAL COMMERCIAL  
 W- C3 - GENERAL COMMERCIAL / I1 - LIGHT INDUSTRIAL

PERMITTED USES:

SELF-SERVICE STORAGE (CUP)  
 AUTO RENTAL  
 VEHICLE STORAGE (CUP)

SETBACKS:

FRONT YARD: 25 FT  
 SIDE YARD: 0 FT / 15 FT IF ABUTTING RESIDENTIAL  
 REAR YARD: 0 FT / 15 FT IF ABUTTING RESIDENTIAL

HEIGHT LIMIT:

65 FT

MAX LOT COVERAGE:

60% ALLOWED / 25% PROPOSED

PARKING:

SELF-STORAGE = 1 SPACE / 600 FT GFA = 81 SP REQUIRED  
 TOTAL PARKING PROVIDED = 25 SPACES - REQUEST WAIVER

BICYCLE PARKING PER CITY CODE 125-315 (f)(1)(a):

1 SPACE PER 10 MOTOR VEHICLE SPACES (M.V.S.) REQUIRED  
 TOTAL MOTOR VEHICLE SPACES (M.V.S.) = 25 SPACES  
 25 MVS / 10 = 3 BICYCLE SPACES REQUIRED  
 TOTAL BICYCLE SPACES PROVIDED = 3 SPACES

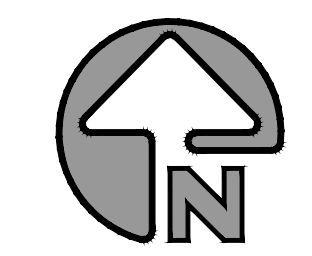
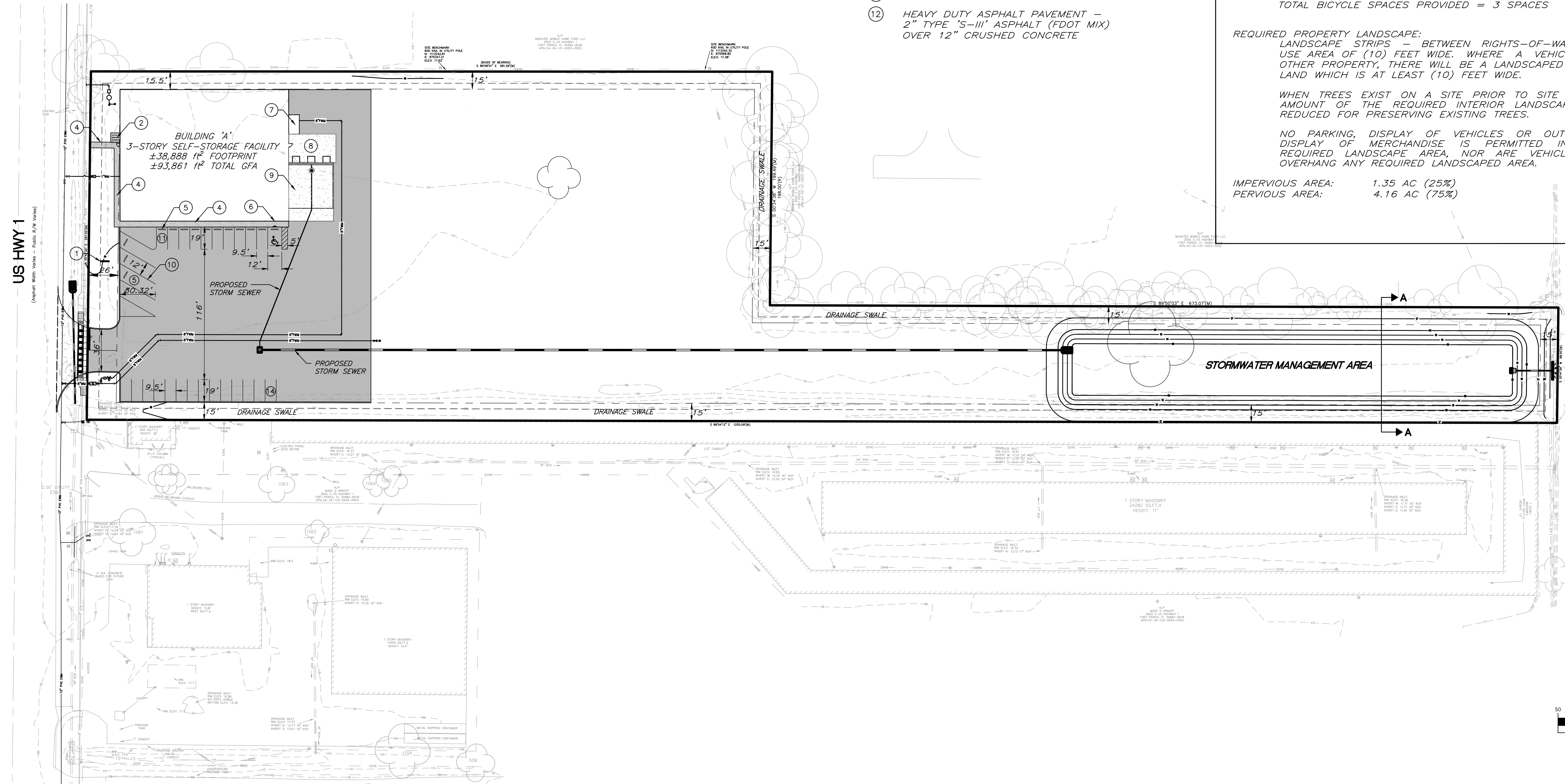
REQUIRED PROPERTY LANDSCAPE:

LANDSCAPE STRIPS BETWEEN RIGHTS-OF-WAY AND VEHICULAR USE AREA OF (10) FEET WIDE. WHERE A VEHICULAR USE ABUTS OTHER PROPERTY, THERE WILL BE A LANDSCAPED STRIP OF LAND WHICH IS AT LEAST (10) FEET WIDE.

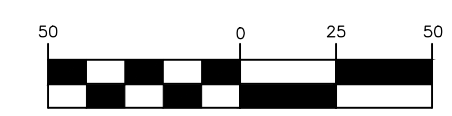
WHEN TREES EXIST ON A SITE PRIOR TO SITE DEVELOPMENT, THE AMOUNT OF THE REQUIRED INTERIOR LANDSCAPED AREA MAY BE REDUCED FOR PRESERVING EXISTING TREES.

NO PARKING, DISPLAY OF VEHICLES OR OUTSIDE STORAGE OR DISPLAY OF MERCHANDISE IS PERMITTED IN OR OVER ANY REQUIRED LANDSCAPE AREA, NOR ARE VEHICLES PERMITTED TO OVERHANG ANY REQUIRED LANDSCAPED AREA.

IMPERVIOUS AREA: 1.35 AC (25%)  
 PERVIOUS AREA: 4.16 AC (75%)



GRAPHIC SCALE



( IN FEET )  
 1 inch = 50 ft.

U-HAUL OF FORT PIERCE

Concept Plan

**HEI**  
 HIGHLAND  
 ENGINEERING, INC.  
 79 West Ilwaco Street  
 Orlando, Florida 32806  
 Office 407-275-7877  
 Fax 407-275-7801  
 CA No. 27612

JOB No.: UHA-002  
 DESIGNED BY: J.B./J.K.  
 DRAWN BY: J.K.  
 APPROVED BY: J.B.  
 DATE: 04/16/2021  
 SHEET: 1 of 2

NOT FOR CONSTRUCTION  
 UNLESS SIGNED AND SEALED

JEFFERY W. BANKER, P.E.  
 REGISTRATION No. 64122

DATE:

APP'D BY: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 REV: \_\_\_\_\_

**DRAINAGE KEYNOTES**

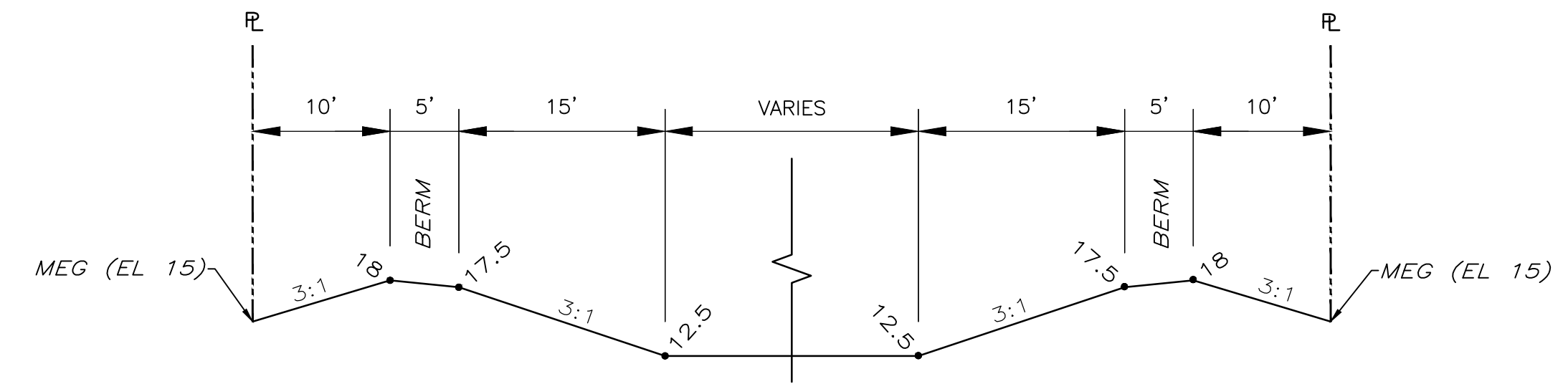
- 1 MITERED END SECTION
- 2 CONTROL STRUCTURE
- 3 STRAIGHT CONCRETE ENDWALL
- 4 CONNECT TO EXISTING INLET
- 5 TYPE 'C' INLET
- 6 SUMP PUMP

**UTILITIES KEYNOTES**

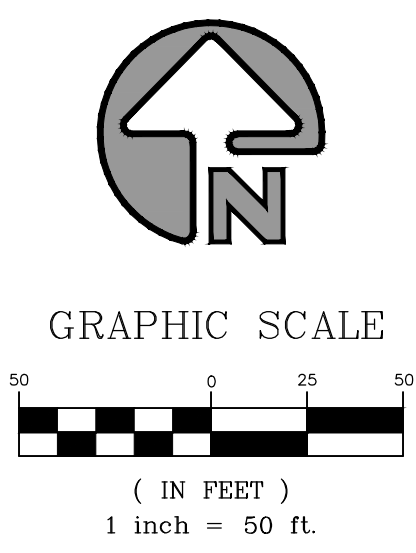
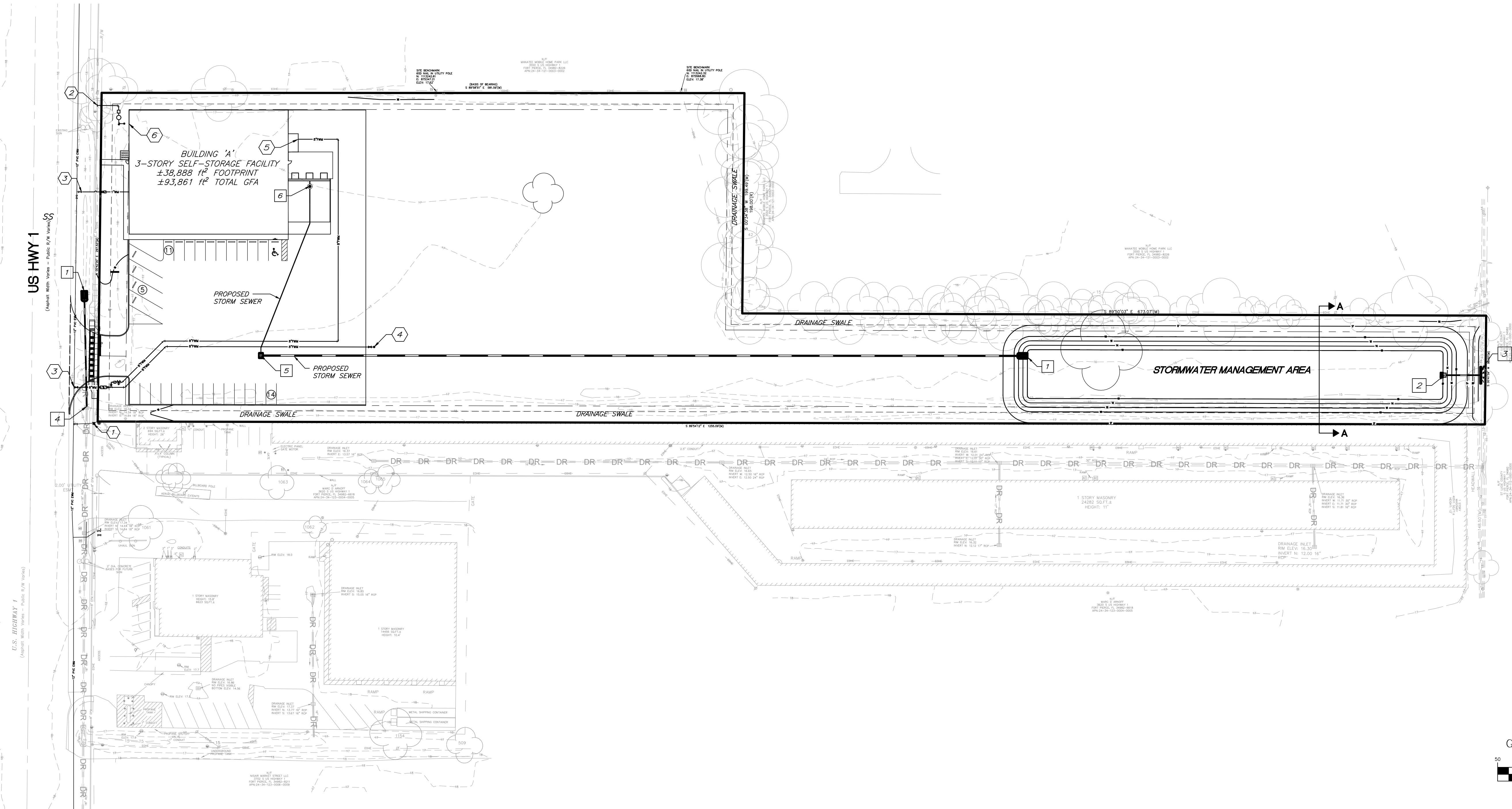
- 1 EXISTING FIRE HYDRANT
- 2 SANITARY SEWER CONNECTION POINT
- 3 CONNECT TO EXISTING 12" WATER MAIN
- 4 8" GATE VALVE AND BLOWOFF ASSEMBLY
- 5 CONNECT TO IN-BUILDING RISER
- 6 CONNECT TO IN-BUILDING PLUMBING

**NOTES**

1. ALL STORM DRAINAGE FACILITIES SHALL CONFORM TO CHAPTERS 17 AND 18 OF THE FORT PIERCE CODE OF ORDINANCES AND THE "STANDARD SPECIFICATIONS" ADOPTED BY THE CITY COMMISSION OF FEBRUARY 13, 1973.



**STORM WATER MANAGEMENT AREA CROSS SECTION**



REV.	DATE	DESCRIPTION	APP'D BY

**U-HAUL OF FORT PIERCE**  
Utility and Drainage Plan

**HEI**  
HIGHLAND  
ENGINEERING, INC.  
79 West Wilton Street  
Orlando, Florida 32806  
Office 407-275-7877  
Fax 407-275-7801  
CA No. 27612

JOB No.: UHA-002  
DESIGNED BY: J.B./J.K.  
DRAWN BY: J.K.  
APPROVED BY: J.B.  
DATE: 04/16/2021  
SHEET: **2 of 2**

NOT FOR CONSTRUCTION  
UNLESS SIGNED AND SEALED

JEFFERY W. BANKER, P.E.  
REGISTRATION No. 64122  
DATE:

# MOVING & STORAGE OF FORT PIERCE

3626 S US Hwy 1, Fort Pierce, FL 34982



# MOVING & STORAGE OF FORT PIERCE

3626 S US Hwy 1, Fort Pierce, FL 34982

MCBI STUCCO EMBOSSED IMP 3" THICK, PROVIDES SUPERIOR R18 INSULATION

HARDIE PLANK CEMENT SIDING, PROVIDES ARTICULATION, DEPTH AND TEXTURE TO THE BUILDING

ARCHITECTURAL POP OUTS PROVIDES ARTICULATION TO THE ELEVATION

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA.

STRUCTURAL AND ARCHITECTURAL EMPHASIS ON STREET FACING ENTRANCE

**MOVING & STORAGE OF FORT PIERCE**  
3626 S US Hwy 1, Fort Pierce, FL 34982



**WEST ELEVATION**  
Scale: 1" = 20'



**SOUTH ELEVATION**  
Scale: 1" = 20'



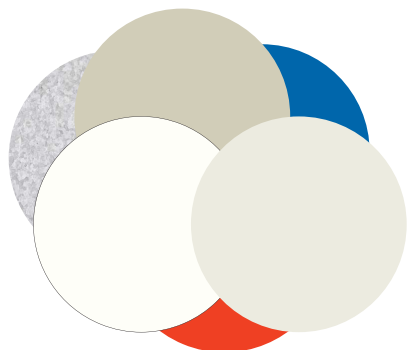
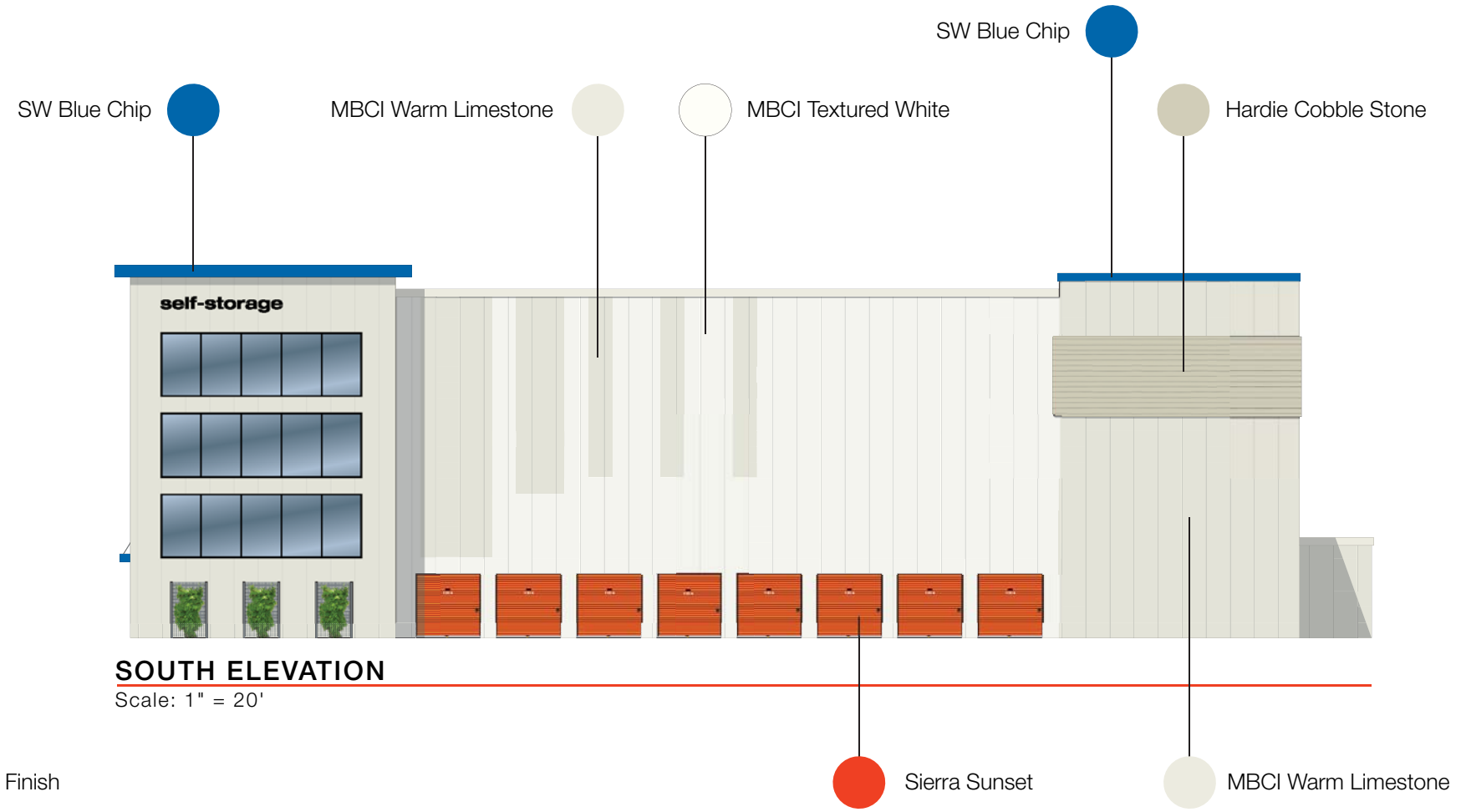
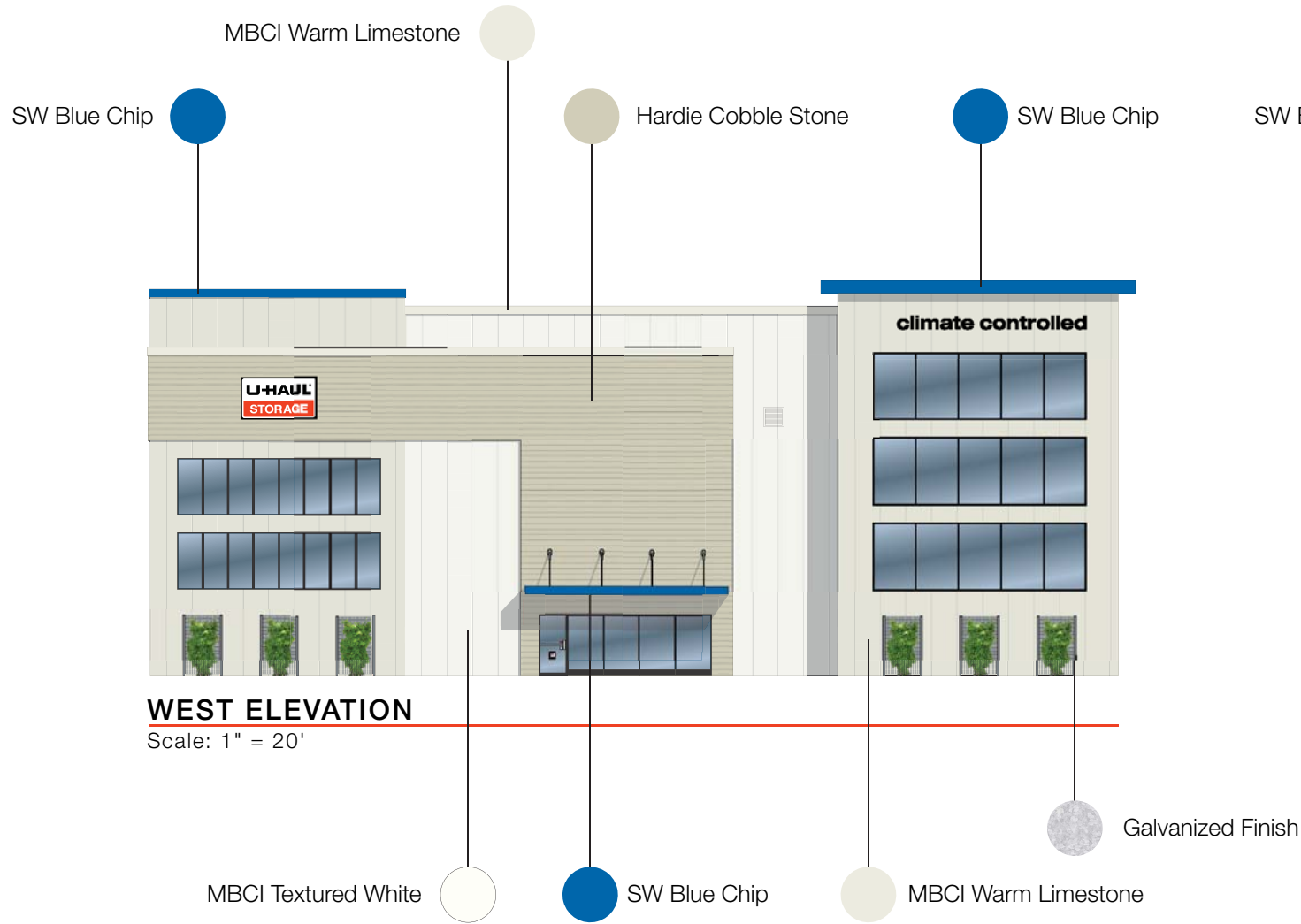
**EAST ELEVATION**  
Scale: 1" = 20'



**NORTH ELEVATION**  
Scale: 1" = 20'

# MOVING & STORAGE OF FORT PIERCE

3626 S US Hwy 1, Fort Pierce, FL 34982



# MOVING & STORAGE OF FORT PIERCE

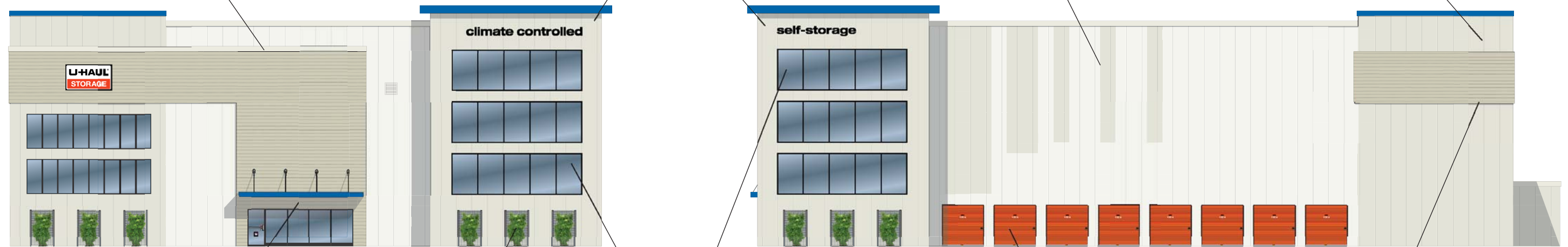
3626 S US Hwy 1, Fort Pierce, FL 34982

CHANGE IN MATERIALS TO PROVIDE ARTICULATION TO THE ELEVATION

ARCHITECTURAL POP OUTS PROVIDES ARTICULATION TO THE ELEVATION

CONTRASTING DETAIL PROVIDED BY USING TWO COLORS OF MBCI PANELING TO BREAK UP LARGE EXPANSE OF THE WALL

ARCHITECTURAL POP OUTS PROVIDES ARTICULATION TO THE ELEVATION



## WEST ELEVATION

Scale: 1" = 20'

## SOUTH ELEVATION

Scale: 1" = 20'

STRUCTURAL AND ARCHITECTURAL EMPHASIS ON STREET FACING ENTRANCE

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA.

ARCHITECTURAL DETAIL

CHANGE IN MATERIALS TO PROVIDE ARTICULATION TO THE ELEVATION

METAL TRELLIS GREEN SCREEN W/ LOCALLY SOURCED FOLIAGE

# MOVING & STORAGE OF FORT PIERCE

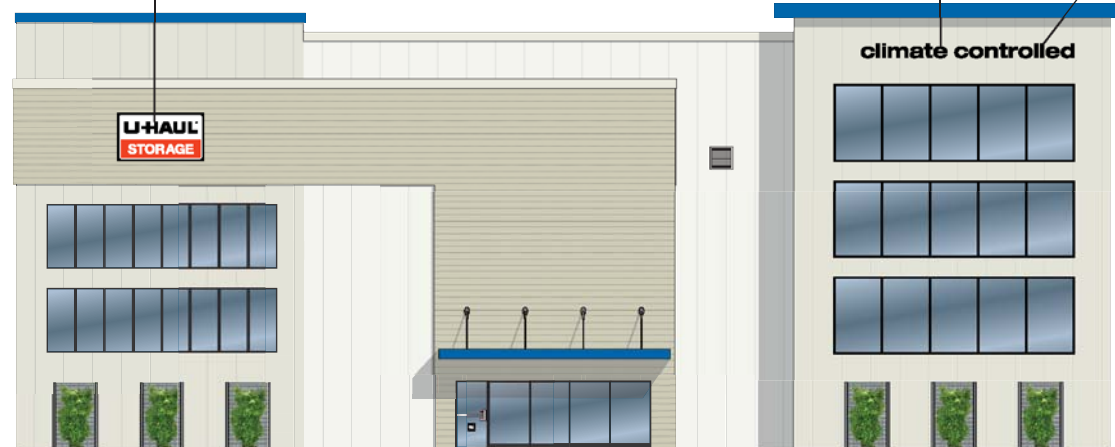
3626 S US Hwy 1, Fort Pierce, FL 34982

LIT CABINET SIGN

9'W X 5'H  
45 SQFT

22.18'W X 1.5'H  
33.27 SQFT

PLASTIC FORMED  
CHANNEL LETTERS

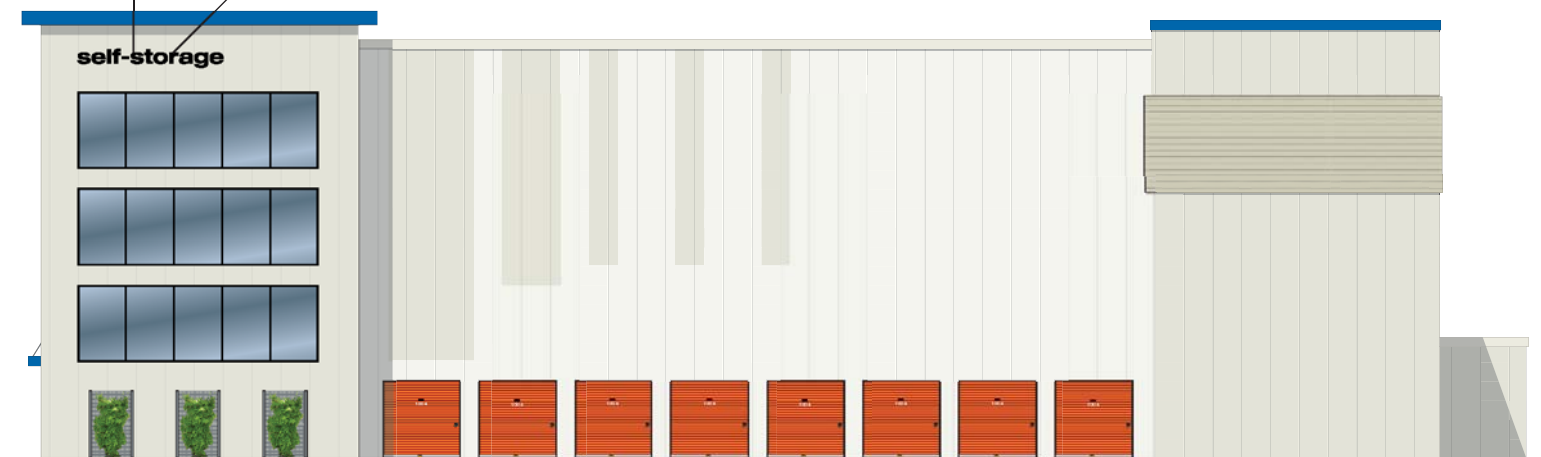


## WEST ELEVATION

Scale: 1" = 20'

15.14'W X 1.5'H  
22.71 SQFT

PLASTIC FORMED  
CHANNEL LETTERS



## SOUTH ELEVATION

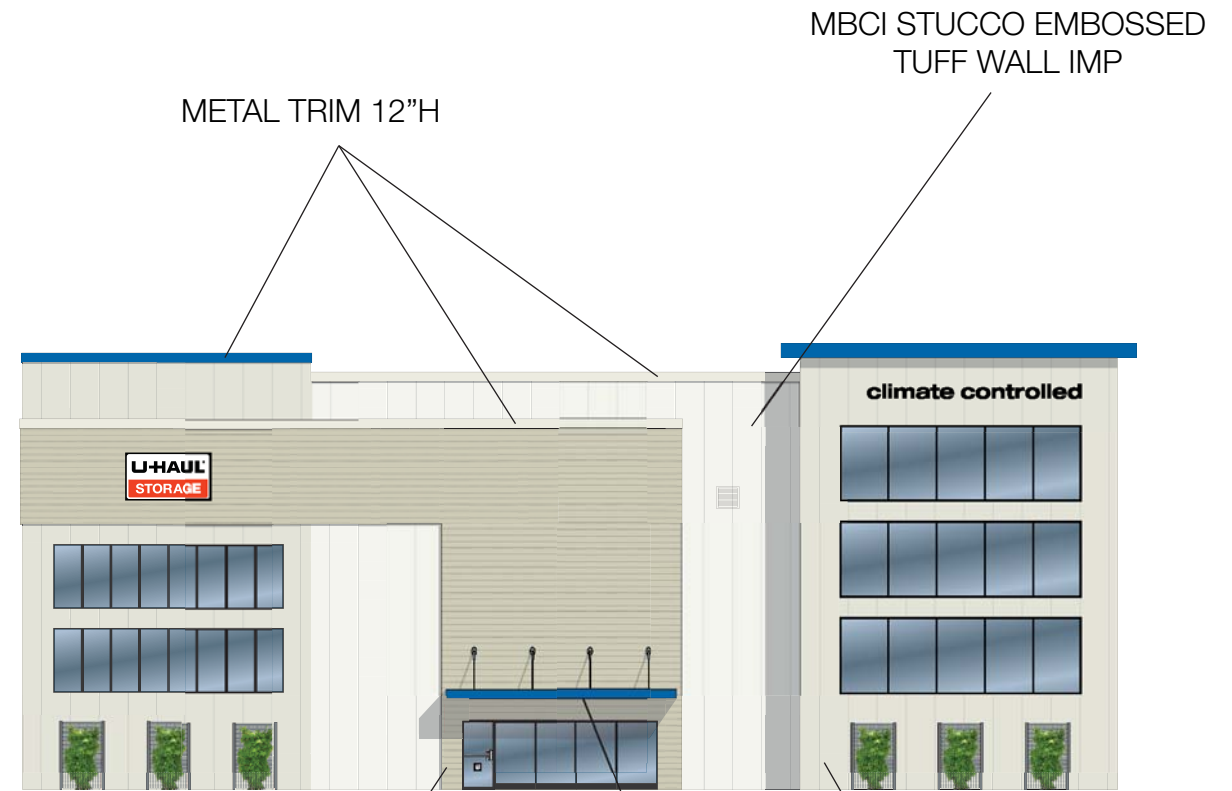
Scale: 1" = 20'

LIT CABINET SIGN EXAMPLE



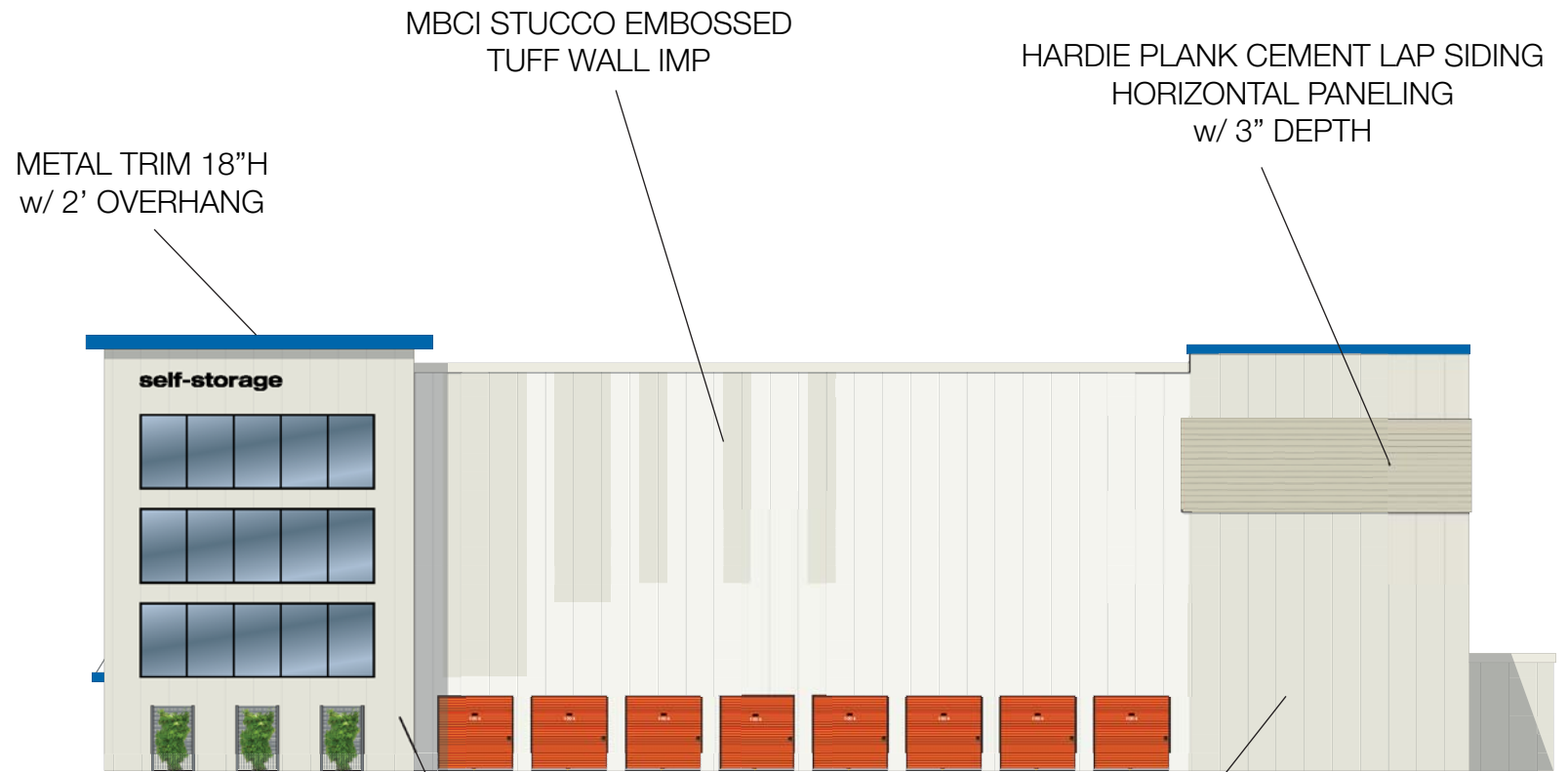
# MOVING & STORAGE OF FORT PIERCE

3626 S US Hwy 1, Fort Pierce, FL 34982



**WEST ELEVATION**

Scale: 1" = 20'



**SOUTH ELEVATION**

Scale: 1" = 20'

HARDIE PLANK CEMENT LAP SIDING  
HORIZONTAL PANELING  
w/ 3" DEPTH

MBCI STUCCO EMBOSSED  
TUFF WALL IMP

1'H x 24'W x 2'D METAL AWNING

2' FRAMED OUT  
ARTICULATED COENER

MBCI STUCCO EMBOSSED  
TUFF WALL IMP



**HARDIEPLANK® LAP SIDING**  
**SELECT CEDARMILL®**

Our natural cedar look has a soft texture that mimics wood.

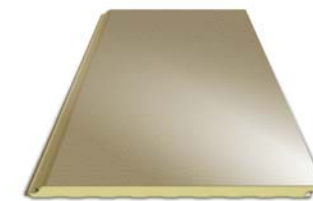


TEXTURED WHITE



WARM LIMESTONE

**TUFF WALL® / TUFF-CAST™**

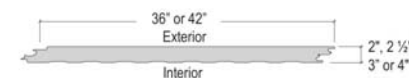


The Tuff Wall® and Tuff-Cast™ panels are designed for exterior applications where an aggregate look is preferred. The exterior skin of the panel is embossed flat, while the interior skin has the embossed light Mesa profile. Tuff Wall® has a finish similar to stucco, providing the masonry look many designers and communities desire. The Tuff-Cast™ exterior is finished with look of precast concrete.

*Product Specifications*

- Application: Wall (vertical and horizontal)
- Gauges: Exterior: 24, 22 | Interior: 26, 24, 22
- Widths: 36", 42"
- Thicknesses: 2", 2½", 3", 4", 5"½", 6"½"
- Length: 8'-0" to 32'-0" for horizontal textured  
8'-0" to 40'-0" for vertical textured
- Panel Attachment: Concealed Fastening System
- Standard Coatings: Applied Finishes only

\*5" and 6" CF Tuff-Cast and Tuff Wall available with Mesa, nominal ¼" deep profile only



# MOVING & STORAGE OF FORT PIERCE

3626 S US Hwy 1, Fort Pierce, FL 34982



# MOVING & STORAGE OF FORT PIERCE

3626 S US Hwy 1, Fort Pierce, FL 34982



HARDIE PLANK CEMENT SIDING, PROVIDES ARTICULATION, DEPTH AND TEXTURE TO THE BUILDING

ARCHITECTURAL POP OUTS PROVIDES ARTICULATION TO THE ELEVATION

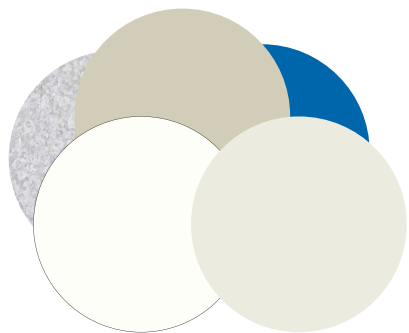
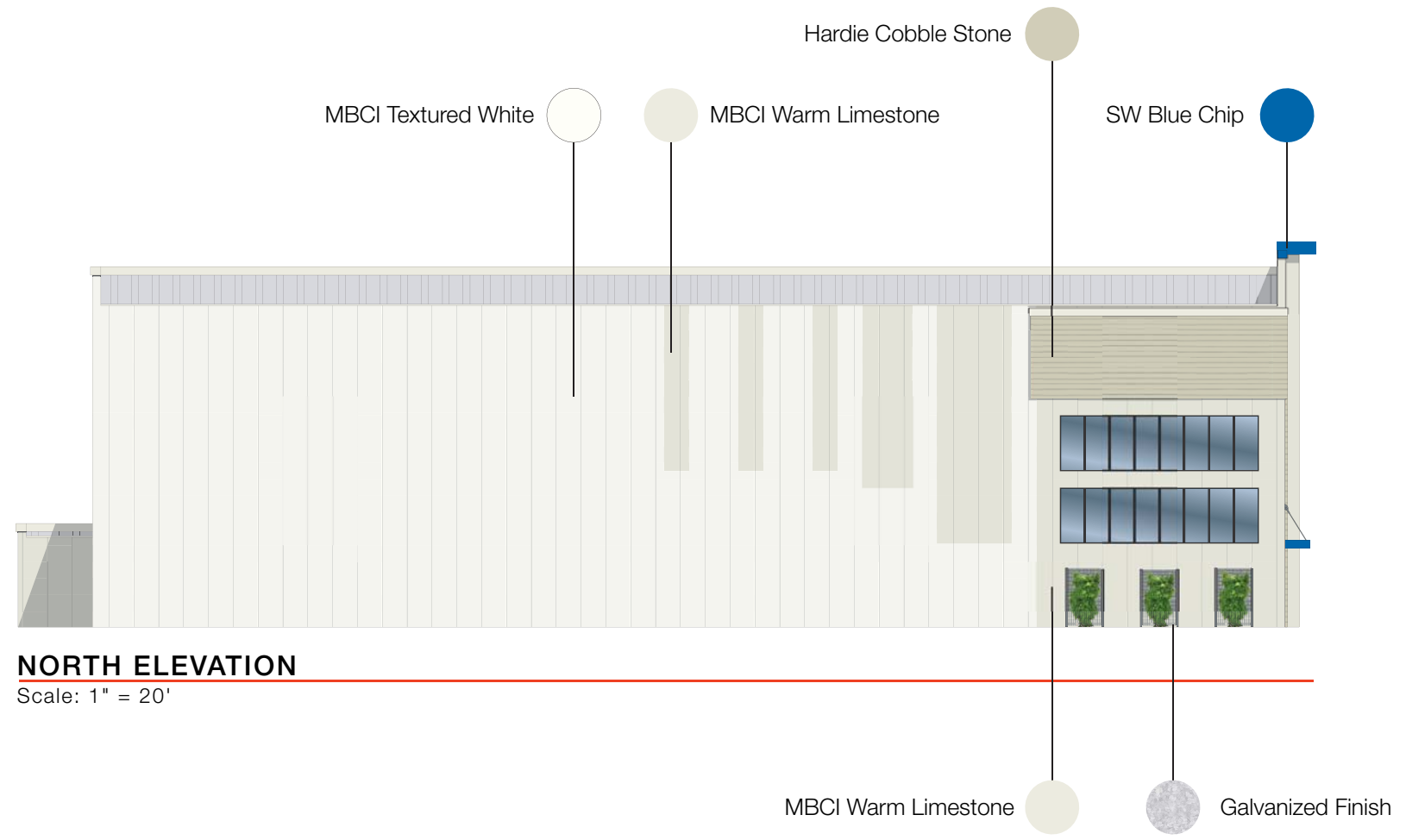
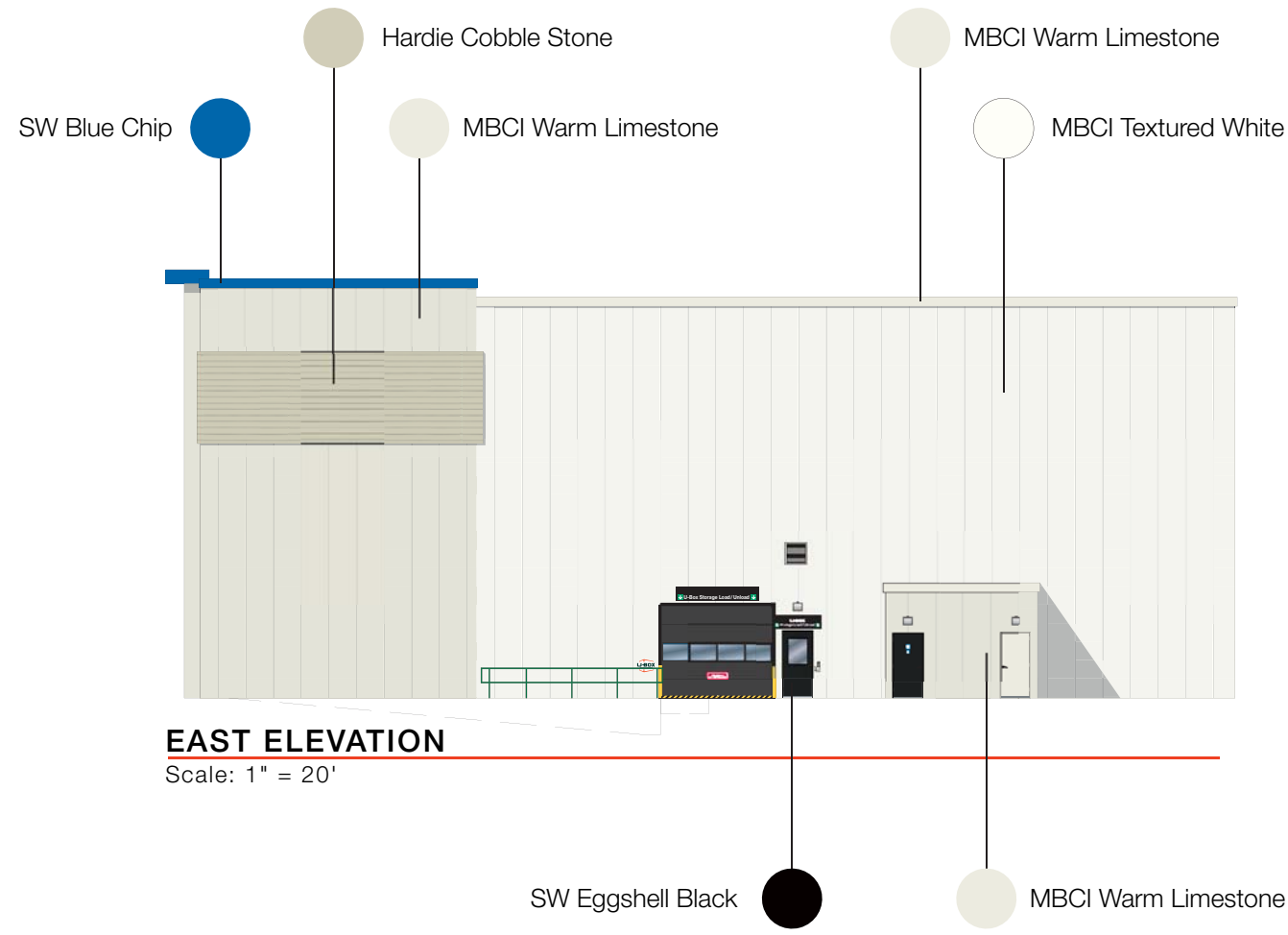
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ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA.

# MOVING & STORAGE OF FORT PIERCE

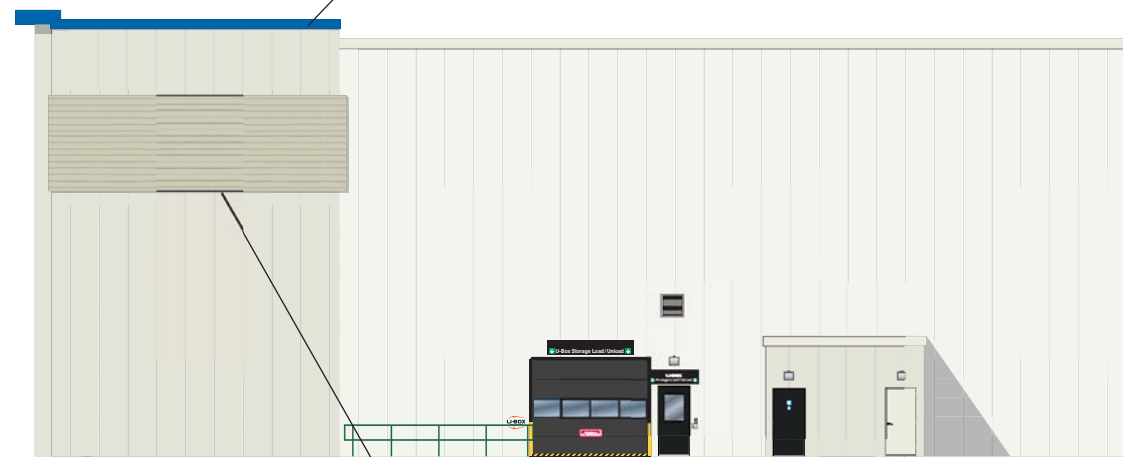
3626 S US Hwy 1, Fort Pierce, FL 34982



# MOVING & STORAGE OF FORT PIERCE

3626 S US Hwy 1, Fort Pierce, FL 34982

ARCHITECTURAL POP OUTS PROVIDES ARTICULATION TO THE ELEVATION

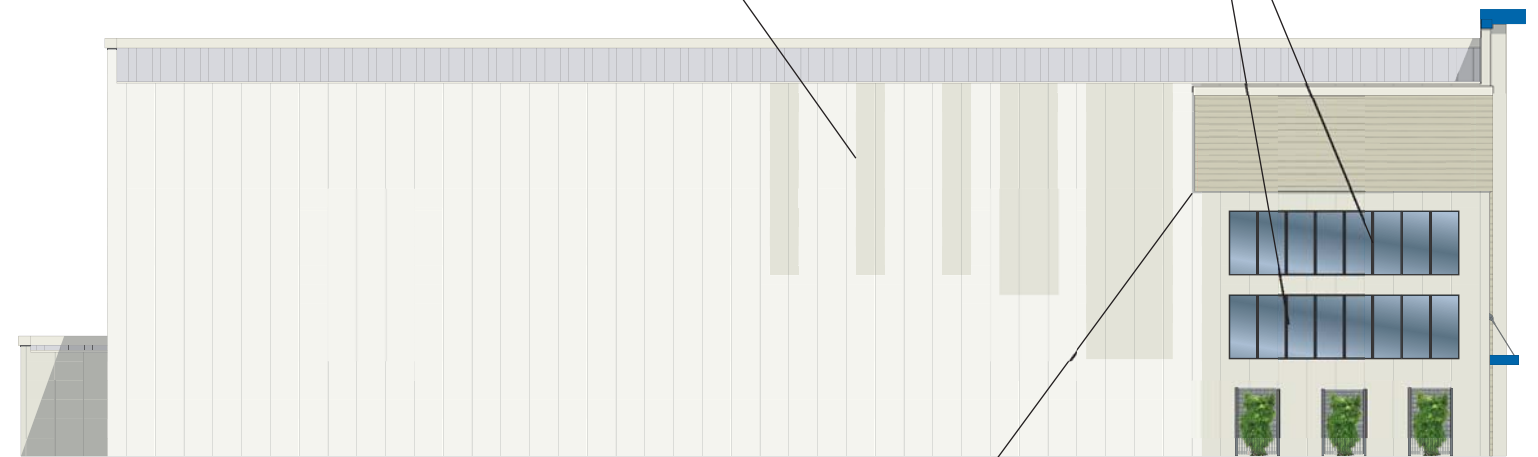


**EAST ELEVATION**

Scale: 1" = 20'

CHANGE IN MATERIALS TO PROVIDE ARTICULATION TO THE ELEVATION

CONTRASTING DETAIL PROVIDED BY USING TWO COLORS OF MBCI PANELING TO BREAK UP LARGE EXPANSE OF THE WALL



**NORTH ELEVATION**

Scale: 1" = 20'

CHANGE IN MATERIALS TO PROVIDE ARTICULATION TO THE ELEVATION

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA.

# MOVING & STORAGE OF FORT PIERCE

3626 S US Hwy 1, Fort Pierce, FL 34982

METAL TRIM 18"H  
w/ 2' OVERHANG

METAL TRIM 12"H

MBCI STUCCO EMBOSSED  
TUFF WALL IMP

HARDIE PLANK CEMENT LAP SIDING  
HORIZONTAL PANELING  
w/ 3" DEPTH

## EAST ELEVATION

Scale: 1" = 20'

## NORTH ELEVATION

Scale: 1" = 20'

HARDIE PLANK CEMENT LAP SIDING  
HORIZONTAL PANELING  
w/ 3" DEPTH

MBCI STUCCO EMBOSSED  
TUFF WALL IMP

MBCI STUCCO EMBOSSED  
TUFF WALL IMP



### HARDIEPLANK® LAP SIDING SELECT CEDARMILL®

Our natural cedar look has a soft texture that mimics wood.

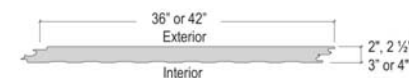
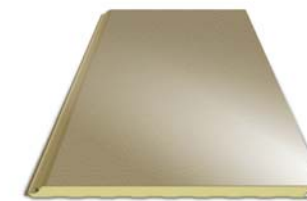


TEXTURED WHITE



WARM LIMESTONE

### TUFF WALL® / TUFF-CAST™



The Tuff Wall® and Tuff-Cast™ panels are designed for exterior applications where an aggregate look is preferred. The exterior skin of the panel is embossed flat, while the interior skin has the embossed light Mesa profile. Tuff Wall® has a finish similar to stucco, providing the masonry look many designers and communities desire. The Tuff-Cast™ exterior is finished with look of precast concrete.

#### Product Specifications

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- Gauges: Exterior: 24, 22 | Interior: 26, 24, 22
- Widths: 36", 42"
- Thicknesses: 2", 2 1/2", 3", 4", 5"±, 6"±

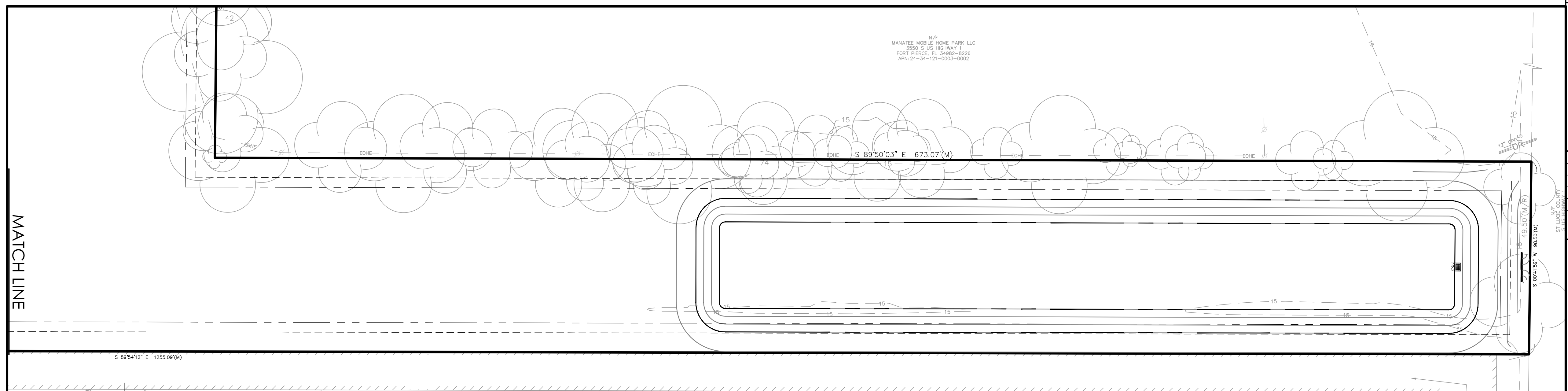
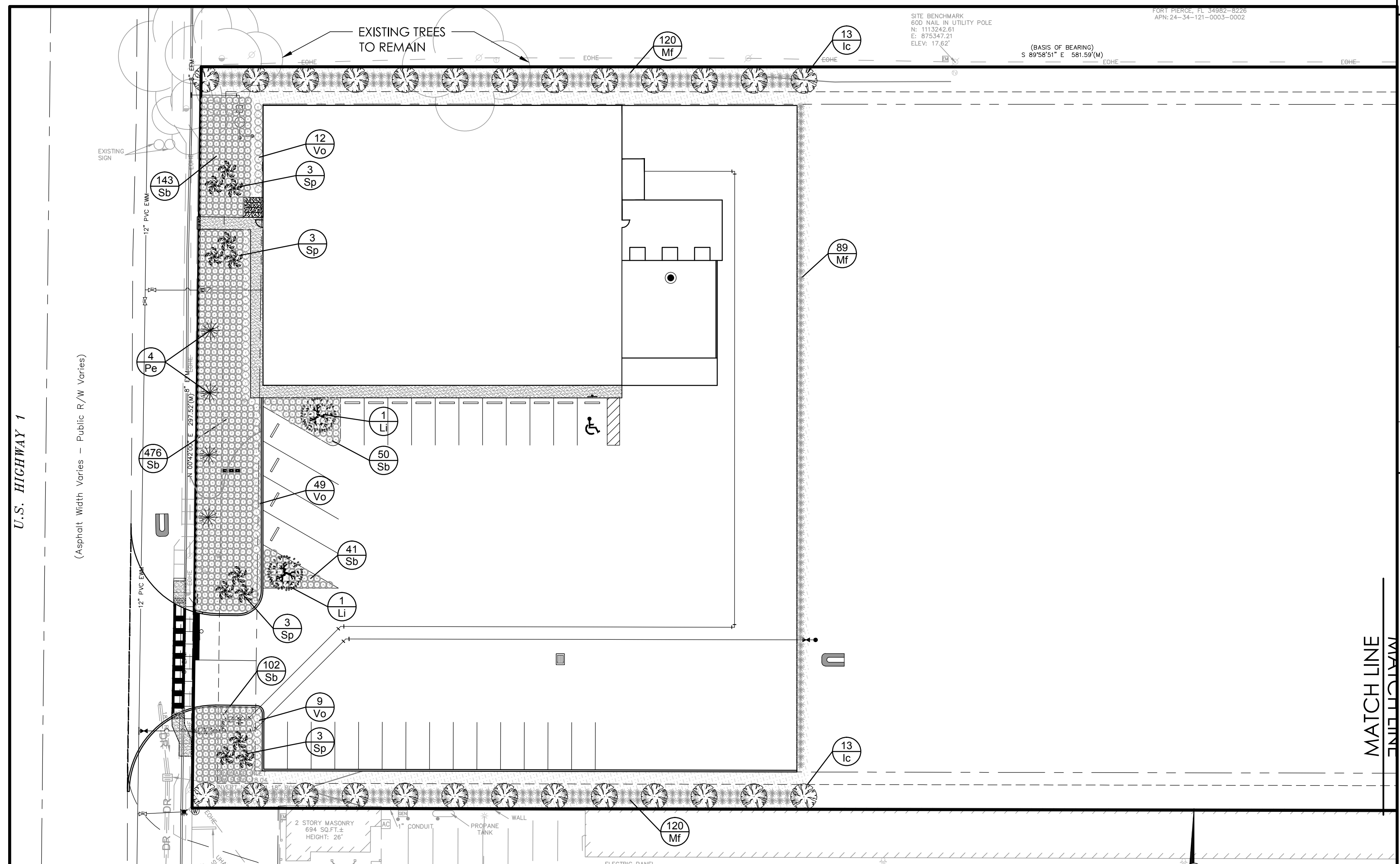
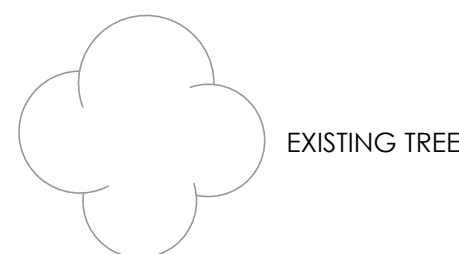
- Length: 8'-0" to 32'-0" for horizontal textured  
8'-0" to 40'-0" for vertical textured
- Panel Attachment: Concealed Fastening System
- Standard Coatings: Applied Finishes only

\*5" and 6" CF Tuff-Cast and Tuff Wall available with Mesa, nominal 1/8" deep profile only

# LANDSCAPE TABLE

Quantity	Symbol	Material	Specification	Installation Requirements	Notes	Required Use of Designated Supplier.
Determined in Field.		Soil Amendment.	<ul style="list-style-type: none"> <li>30% USDA white sand</li> <li>30% Class AA Compost</li> <li>30% Composted Pine Bark</li> <li>10% Peat Moss</li> </ul>	Topsoil must be amended prior to installation of all plant materials. Soil is to be amended in all planting areas.	See soil amendment installation requirements referenced in Installation Notes (No. 1).	Yes. Contractor must utilize Southeast Soils Inc. located at 1470 Cr 470, Okahumpka, Florida 34762. Contact Matt Bigler at (352) 323-8213.
SF		Sod	Bahia grass (Grade 1) ( <i>Paspalum notatum</i> )	Irrigated and free of weeds and pests.		Must be of highest quality – Grade I
14,229 total SF of planting area		Pine Straw	Pine Straw – balled or other.	4" – spread evenly.		No.
26	Ic	Dahoon Holly 'Nativa' – ( <i>Ilex Cassine 'Nativa' PPAF</i> )	Minimum 65-Gal container. Minimum 3" caliper. Minimum 12-ft HT x 6-ft SPRD.	See staking detail.		Yes. Contractor must utilize Cherry Lake Tree Farm located at 7836 Cherry Lake Road, Groveland, Florida 34736. (352) 429-2171.
4	Pe	Densa Slash Pine - ( <i>Pinus elliotii</i> var 'Densa')	Minimum 65-Gal container. Minimum 3" caliper. Minimum 12-ft HT x 6-ft SPRD.	See staking detail.		Yes. Contractor must utilize Cherry Lake Tree Farm located at 7836 Cherry Lake Road, Groveland, Florida 34736. (352) 429-2171.
2	Li	Natchez Crepe Myrtle – ( <i>Lagerstromia indica x fauriei</i> var. 'Natchez')	Single trunk. Minimum 65-Gal container. Minimum 3" caliper. Minimum 12-ft HT x 6-ft SPRD.	See staking detail.		Yes. Contractor must utilize Cherry Lake Tree Farm located at 7836 Cherry Lake Road, Groveland, Florida 34736. (352) 429-2171.
329	Mf	Simpson Stopper – ( <i>Myrcianthes fragrans</i> )	3 – Gal container. Minimum 30" HT. Minimum 18" SPRD. Full.	Installed 36" O.C.		No
70	Vo	Dwarf Walter's Viburnum ( <i>Viburnum obovatum</i> 'Ms. Schiller's Delight')	3 – Gal container. Minimum 30" HT. Minimum 18" SPRD. Full.	Installed 36" O.C.		No
12	Sp	Cabbage Palm – ( <i>Sabal Palmetto</i> ).	Min 12 HT. CT. Debooted. Hurricane Cut.	Installed 6' O.C. As indicated on plans.		Yes. Contractor must utilize Cherry Lake Tree Farm located at 7836 Cherry Lake Road, Groveland, Florida 34736. (352) 429-2171.
812	Sb	Cordgrass – ( <i>Spartina Bakeri</i> )	3-Gal container – Full. Minimum 30" HT X 16" SPRD.	Installed 2.5' O.C.		No

HT – Height  
 SPRD – Spread  
 GAL - Gallon



REVISION	DATE	DESCRIPTION

# U-HAUL FT. PIERCE

## LANDSCAPE PLAN

**PARKS CONSULTING SERVICES**

12135 Topaz Street  
 Clermont Florida 34711  
 sean@parksconsultingfl.com

JOB No. \_\_\_\_\_ J No. \_\_\_\_\_  
 DESIGN BY: \_\_\_\_\_ BY \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 APPROVED BY: O.A. Engineer  
 DATE: \_\_\_\_\_  
 SHEET: **L-01**

NOT FOR CONSTRUCTION  
 UNLESS SIGNED AND SEALED

Sean M Parks, AICP, GEP  
 DATE: \_\_\_\_\_

**GENERAL LANDSCAPE INSTALLATION NOTES:**

1.) CONTRACTOR IS REQUIRED TO UTILIZE SUPPLIERS AS SPECIFIED IN MATERIALS TABLE PROVIDED.

**SOIL PREPARATION**

1.) SOIL PREPARATION FOR A LANDSCAPE DESIGN IS A CRITICAL FACTOR IN CREATING A HEALTHY AND LONG-LASTING LANDSCAPE. THE TOP 18-INCHES OF THE SOIL IN ALL LANDSCAPE AREAS MUST BE:

- FREE OF ROOTS, CLODS, AND STONES. SOIL COMPONENTS MUST BE NO LARGER THAN 5/8 INCH IN THE GREATEST DIMENSION, FREE OF NOXIOUS WEEDS, STICKS, BRUSH AND OTHER INORGANIC LITTER.
- SOIL MUST BE CERTIFIED NEMATODE FREE OR OTHER UNDESIRABLE DISEASE ORGANISMS SUCH AS INSECTS AND PLANT PATHOGENS.
- SOIL SHALL BE FRIABLE AND HAVE SUFFICIENT STRUCTURE TO GIVE GOOD TILTH AND AERATION TO THE SOIL.
- ORGANIC MATTER SHALL BE PRESENT TO IMPART GOOD PHYSICAL SOIL PROPERTIES, BUT NOT BE EXCESSIVE TO CAUSE TOXICITY OR EXCESSIVE REDUCTION IN THE VOLUME OF SOIL DUE TO DECOMPOSITION OF ORGANIC MATTER.
- CONTRACTOR MUST DEMONSTRATE A SOIL PH RANGE OF 6 TO 7.

2.) THE SOIL AMENDMENT MIX MUST CONTAIN:

- 30% USDA WHITE SAND
- 30% CLASS AA COMPOST
- 30% COMPOSTED PINE BARK
- 10% PEAT MOSS

3.) THE CONTRACTOR SHALL USE DISCRETION WHEN ADDING SOIL AMENDMENTS AND TILLING OF SOIL WITHIN TEN (10) FEET OF THE LARGE EXISTING TREES SO AS TO NOT DAMAGE OR DESTROY THE TREE'S ROOT SYSTEM.

**PLANT INSTALLATION**

4.) REFER TO CIVIL ENGINEER'S UTILITY AND GRADING AND DRAINAGE PLANS FOR UTILITY LOCATION AND DRAINAGE INFORMATION. REFER TO CIVIL ENGINEER'S GRADING PLANS FOR GRADING INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE CIVIL ENGINEER FOR DIRECTION AS TO HOW TO PROCEED.

5.) VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT PARKS CONSULTING SERVICES OR THE CIVIL ENGINEER FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.

6.) PARKS CONSULTING SERVICES RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.

7.) VERIFY PLANT COUNTS AND SQUARE FOOTAGES: QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.

8.) CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.

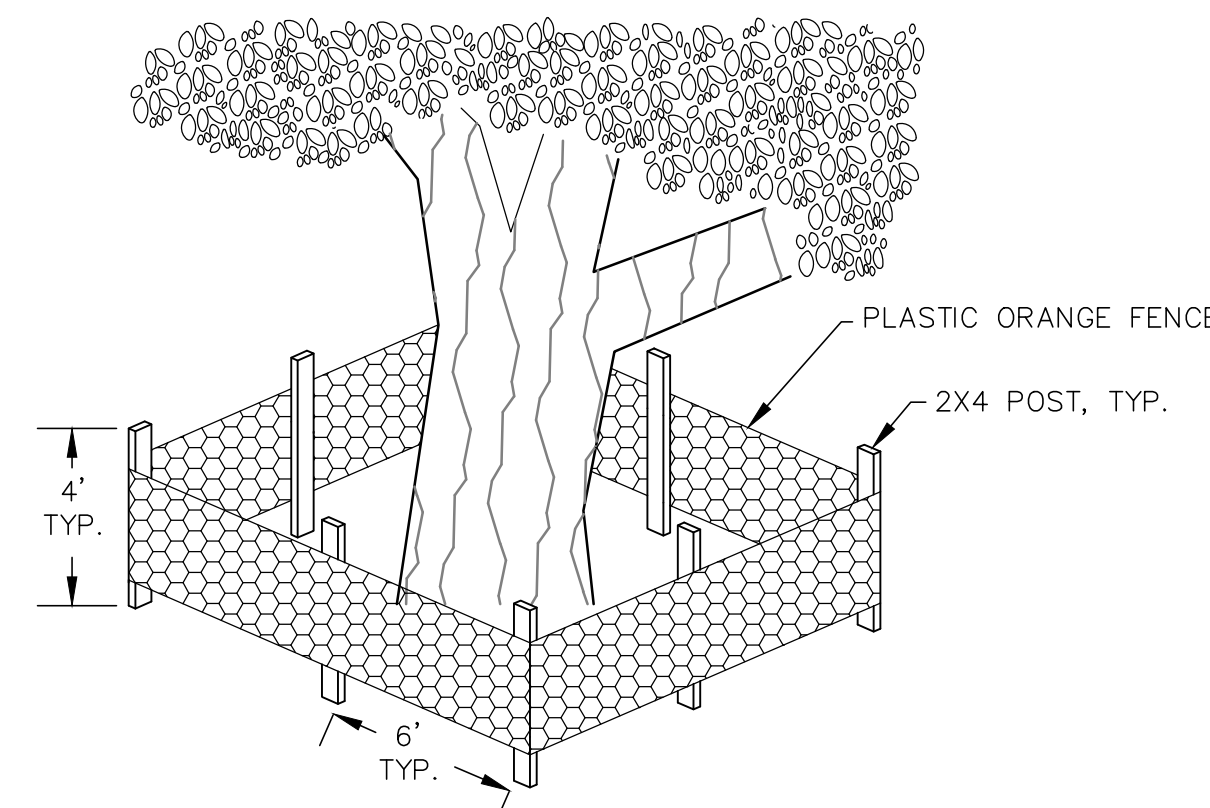
9.) PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.

10.) TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING.

11.) PLANT MATERIALS MUST BE FLORIDA NUMBER 1 GRADE OR BETTER, ACCORDING TO THE CURRENT EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS OF THE STATE DEPARTMENT OF AGRICULTURE.

**ADDITIONAL NOTES:**

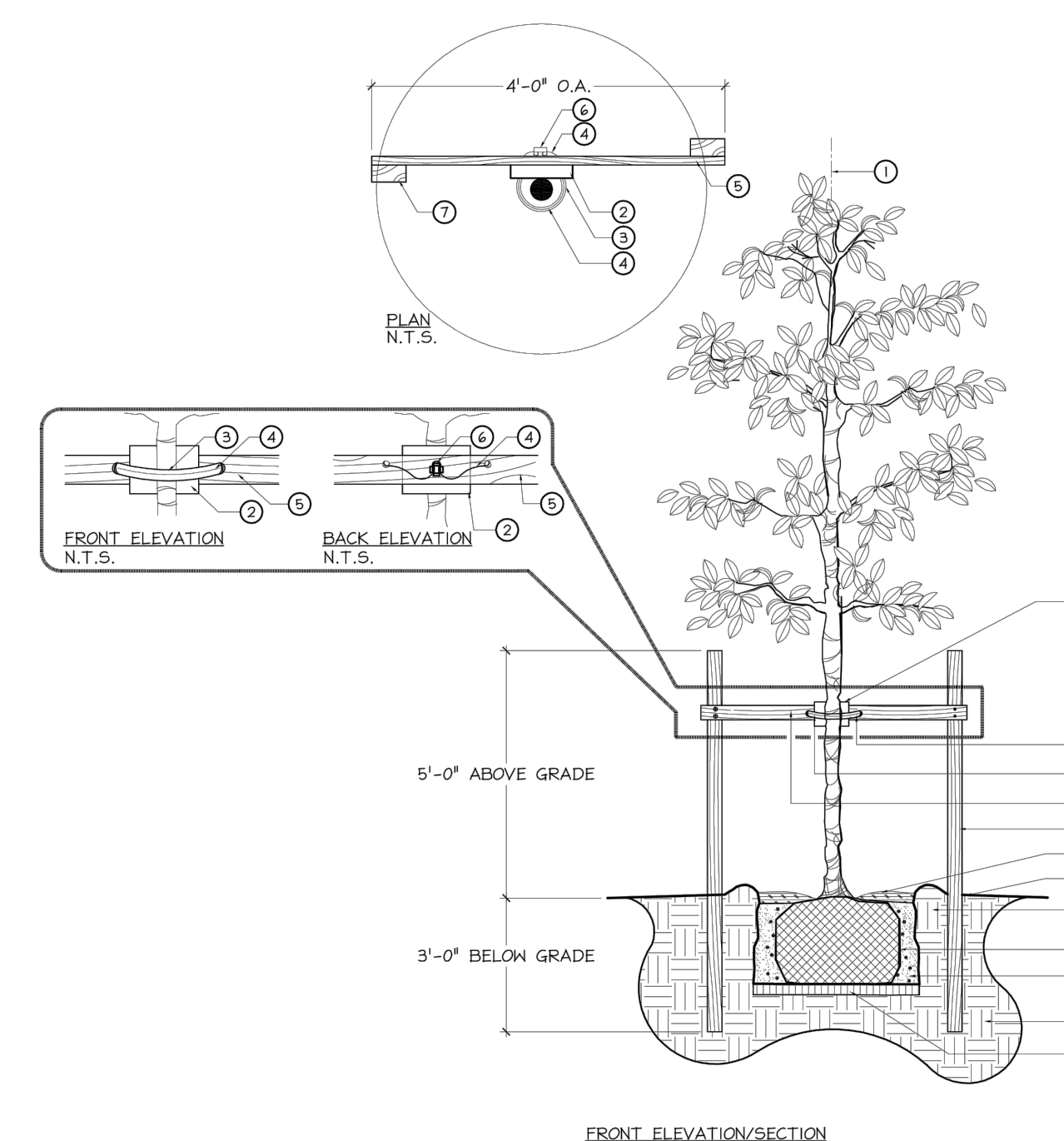
1. PROTECTED TREES OR GROUPS OF TREES SHALL BE CLEARLY MARKED BY FLAGGING, PAINTING OR OTHER MEANS. ALL PROTECTED TREES SHALL HAVE THE TRUNK AND ROOTS PROTECTED BY PROTECTIVE BARRIERS ERECTED PRIOR TO DEVELOPMENT ACTIVITY IN ACCORDANCE WITH THE FOLLOWING:
  - PROTECTIVE BARRIERS CONSTRUCTED OF WOOD RAILS, PIPE, CHAIN LINK FABRIC OR ORANGE PLASTIC SAFETY NETTING SHALL BE PLACED AROUND THE TREE OR TREES TO FORM A CONTINUOUS BARRICADE AT LEAST FOUR FEET HIGH. IDEALLY SUCH BARRIERS WILL FORM A PROTECTION ZONE DESCRIBED BY THE DRIP LINE.
  - SIGNS OR OTHER MARKINGS SHALL BE PLACED ON ALL SIDES OF THE PROTECTIVE BARRIER TO DESIGNATE THE PROTECTED AREA.
  - PROTECTIVE BARRIERS SHALL REMAIN IN PLACE UNTIL LANDSCAPE OPERATIONS BEGIN OR UNTIL CONSTRUCTION IN THE IMMEDIATE AREA HAS BEEN COMPLETED.
  - EXISTING STREET TREES LOCATED WITHIN RIGHTS-OF-WAY INTERIOR TO OR ADJACENT TO THE DEVELOPMENT SHALL HAVE PROTECTIVE BARRIERS BEFORE SITE WORK BEGINS.
  - TRENCHING FOR UNDERGROUND UTILITIES SHALL BE PROHIBITED INSIDE THE PROTECTIVE BARRIERS. IF UNDERGROUND UTILITIES MUST BE ROUTED THROUGH THE PROTECTED AREA, TUNNELING SHALL BE REQUIRED. ALL LANDSCAPE PREPARATION IN THESE AREAS SHALL BE CONDUCTED BY HAND, EXCEPT FOR MECHANICAL TUNNELING AS NEEDED.
2. NO VEHICLES, EQUIPMENT, MATERIALS OR FILL SHALL BE PLACED OR STORED WITHIN THE PROTECTED AREA.
3. WARRANTY - THE CONTRACTOR IS RESPONSIBLE FOR GROUND COVER AND SHRUB SURVIVAL FOR 90 DAYS AND TREE SURVIVAL FOR 1 YEAR.



NOTE:  
 1. FENCING TO FOLLOW DRIFLINE.  
 2. PROTECT EXISTING TREES ON MEMORY CARE SITE ADJACENT TO CONSTRUCTION AREA.

**TREE BARRIER DETAIL**

N.T.S.



TYP. MEDIUM TREE STAKING

(2 1/2" - 5" CAL.)  
 SCALE: N.T.S.

**U-HAUL FT. PIERCE  
 LANDSCAPE DETAILS**



12135 Topaz Street  
 Clermont Florida 34711  
 sean@parksconsultingfl.com

JOB No.:	J No.
DESIGN BY:	BY
DRAWN BY:	
APPROVED BY:	QA Engineer
DATE:	
SHEET:	L-02

NOT FOR CONSTRUCTION  
 UNLESS SIGNED AND SEALED

Sean M Parks, AICP, GEP  
 DATE: \_\_\_\_\_

REVISION	DATE	DESCRIPTION
△		
△		
△		
△		
△		

BY: \_\_\_\_\_

***U-Haul Company of Florida***  
**U-Haul Warehouse Storage of Fort Pierce**

**TRAFFIC IMPACT STATEMENT**  
**Prepared July 13, 2021**

**Narrative**

This project is located on the east side of South US Highway 1 between E. South Market Ave and Dickson Drive. The site is currently vacant. The proposed project is to build a 16,325 square foot warehouse building.

**Trip Generation - Existing Conditions**

Table 1a below indicates the estimated trips using ITE Trip Generation 10th Edition for the existing site conditions.

**TABLE 1a. Trip Generation – Existing Conditions**

ITE Code	Land Use Type	Size	PM Peak-Hour Trips In	PM Peak-Hour Trip Out	PM Peak-Hour Total Trips
	Vacant		0	0	0

**Trip Generation - Proposed Conditions**

Below are the estimated Total Trips, AM and PM Trips using Trip Generation 10th Edition for the proposed site conditions.

**ITE Code = 150   Land Use Type = Warehousing   Size = 16,325 SF**  
**AM Peak Hour Trips = 3 AM Trips with 2 In and 1 Out**  
**PM Peak Hour Trips = 3 PM Trips with 1 In and 2 Out**  
**Total Daily Trips = 9**

Based on the trip generation calculations, the proposed development would add 9 total trips to the adjacent thoroughfare network.

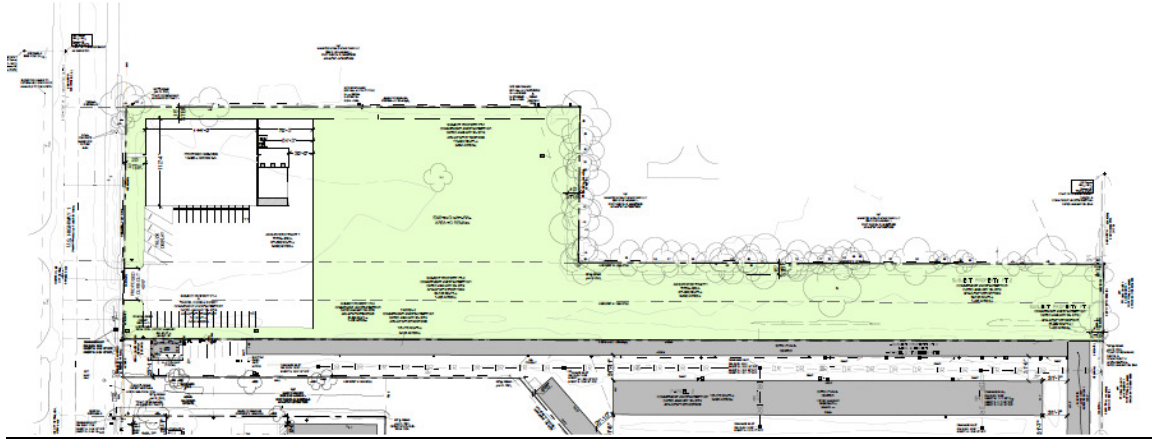
**Impact Area**

The significant impact area includes first-impacted thoroughfares and thoroughfares carrying project traffic equal to or greater than five percent (5%) of the PM peak hour service volume ("capacity") at adopted level of service (LOS). US 1 is the first-impacted thoroughfare and is included in the analysis.

The proposed development traffic does not meet the five (5%) percent threshold on the first-impacted road segment. This segment is expected to carry the most project traffic, and because

the five percent test is not met for it, it is assumed not to be met for any other road segments. Based on the analysis, the impacted segment of US 1 is expected to operate at or above the adopted LOS (Level of Service) D standard.

### **Proposed Site Plan**



### **Conclusion**

This development is not projected to create adverse transportation impacts on significantly impacted thoroughfare roadways. The link (US 1) from E. South Market Ave to Dickson Drive will be impacted with 3 Peak Hour trips and only 9 total daily trips.

David Pollock, Traffic Specialist  
602-263-6555

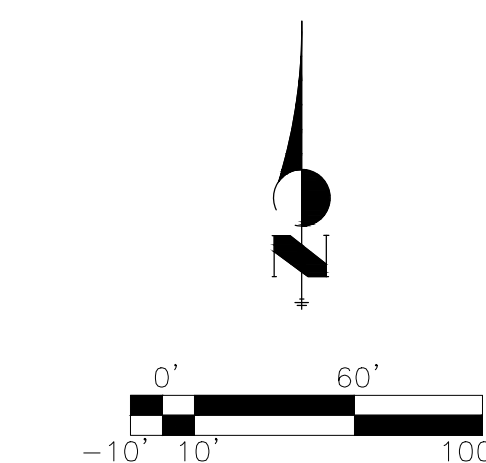
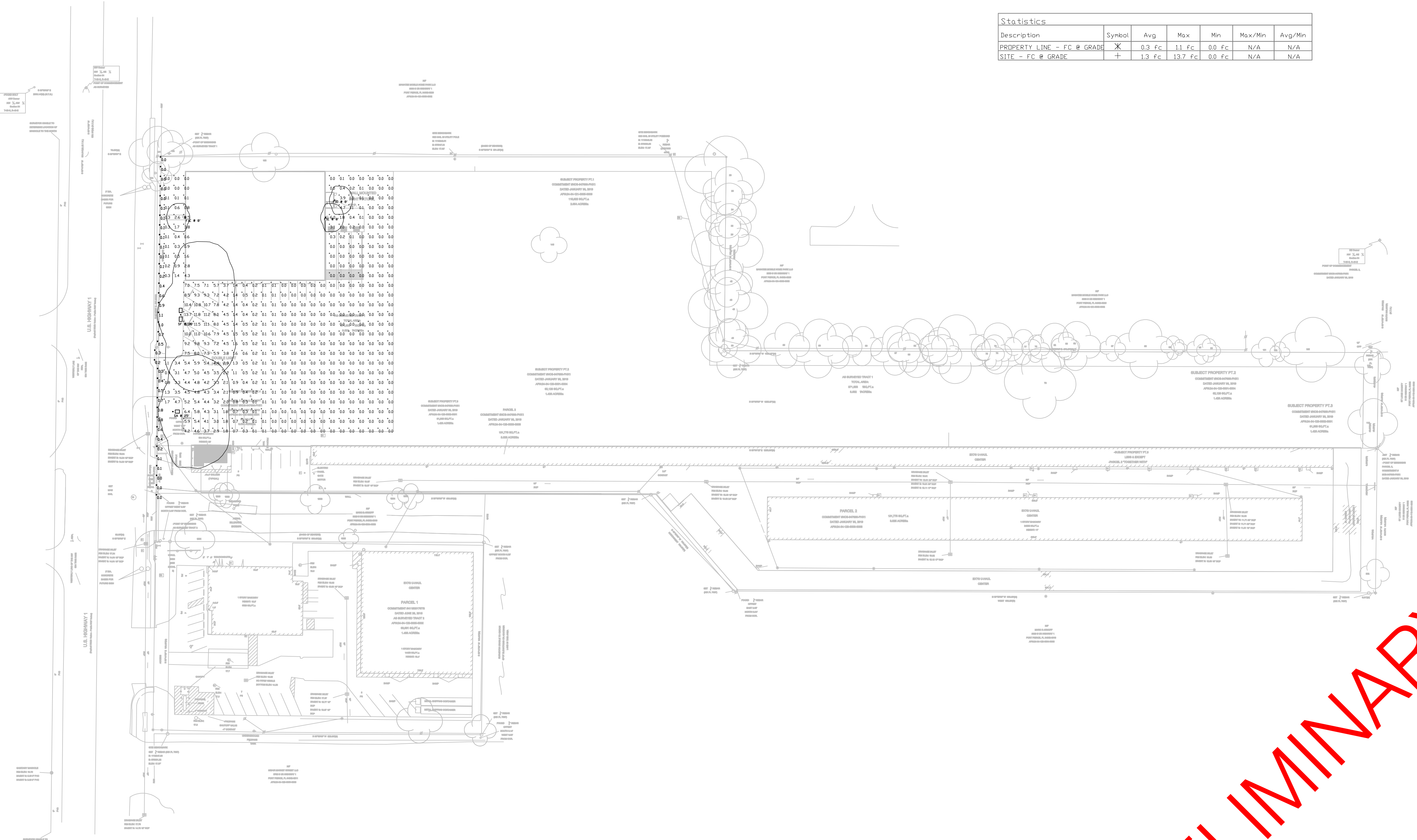


Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
☑	FIE	3	Lithonia Lighting	WST LED P1 40K VF MVDLT DBBXD EL	WST LED, Performance package 1, 4000 K, visual comfort forward throw, MVDLT	LED - 4000K COLD TEMP	WST_LED_P1_40K_VF_MVDLT.El	1639	0.95	12
☐	SA	1	Lithonia Lighting	DSX2 LED P4 40K T4M MVDLT HS DBBXD / SSS 22" POLE WITH 3' BASE	DSX2 LED P4 40K T4M MVDLT with houseside shield	LED - 4000K COLD TEMP	DSX2_LED_P4_40K_T4M_MVDLT_HS.El	25364	0.95	270
☐	SF	1	Lithonia Lighting	[...]	[...]	[...]	[...]	27211.65	0.95	508
☐			Lithonia Lighting	(2) DSX2 LED P12 40K T3S MVDLT HS L90 DBBXD / SSS 22" POLE WITH 3' BASE	TWIN-HEAD DSX2 LED P12 40K T3S MVDLT with houseside shield with optics rotated 90 degrees left	LED - 4000K COLD TEMP	DSX2_LED_P12_40K_T3S_MVDLT_HS_L90.El	27212	0.95	254
☐			Lithonia Lighting	(2) DSX2 LED P12 40K T3S MVDLT HS R90 DBBXD / SSS 22" POLE WITH 3' BASE	TWIN-HEAD DSX2 LED P12 40K T3S MVDLT with houseside shield with optics rotated 90 degrees right	LED - 4000K COLD TEMP	DSX2_LED_P12_40K_T3S_MVDLT_HS_R90.El	27212	0.95	254

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE - FC @ GRADE	X	0.3 Fc	1.1 Fc	0.0 Fc	N/A	N/A
SITE - FC @ GRADE	+	1.3 Fc	13.7 Fc	0.0 Fc	N/A	N/A



SCALE: 1" = 60' - 0"

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

PRELIMINARY DOCUMENTS - NOT FOR CONSTRUCTION. FOR INFORMATION ONLY

ARCHITECT LOGO:

**AMERCO**  
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT  
2727 NORTH CENTRAL AVENUE  
PHOENIX, ARIZONA 85004  
P: (602) 263-6502  
F: (602) 277-1026

SITE ADDRESS:  
U-HAUL OF FORT PIERCE  
3602 US HWY 1  
FORT PIERCE, FL 34982

SHEET CONTENTS:  
Preliminary  
Photometric Plan

781074

DRAWN: KMB  
CHECKED: NH  
DATE: 07/21/21

PH1  
781074A1H



EXUM ASSOCIATES, INC.

October 3, 2019

*Transmitted via e-mail*

Jeff Banker, P.E.  
Highland Engineering, Inc.  
Phone: 407-275-7877  
[jbanker@heifl.com](mailto:jbanker@heifl.com)

Re: Exum Associates Letter Report/Ecological Assessment for the Ft. Pierce U-Haul Site

Dear Jeff:

### *Introduction*

Exum Associates was contracted by you to assess wetlands and listed species that may occur on the approximately 5.5-acre site proposed for a future U-Haul facility. The property is located at 3602 US-1 South, in Fort Pierce, Florida. We reviewed remote data on the potential for occurrence of wetlands, current and historical aerial photography, soils and topography prior to conducting a site review on October 1, 2019. During this review, I evaluated the site for potential habitat for state- or federally-listed species of wildlife and to determine whether there are wetlands on the property. This letter report summarizes our conclusions.

### *Ecological Setting*

Based on a review of aerial photography over the last 25 years, the canopy vegetation that was present in 1990 was removed about 12 years ago, and the site has been maintained by mowing ever since (see **Appendix 1: Historic Aerial Photography**). There is also frequent disturbance with vehicles driving down the southern edge of the property and the equipment used for mowing has cut ruts through the portion of the property closer to US 1. Therefore, today's current condition would be characterized as a ruderal (highly disturbed) grassland.

Land use in the vicinity is predominantly high intensity urban. US 1, a major transportation arterial, lies immediately west of the site, and commercial and residential development occur to the north and south. Just east of the site is an approximately 120-acre parcel with an extensive area of wetlands in the interior. It lies adjacent to the Savannas Outdoor Recreation Area and Savannas Preserve State Park which total more than 7500 acres of wetland and estuarine habitat within the Indian River Lagoon (see **Appendix 2: Conservation Lands in the Vicinity of the Site**). These areas provide habitat for a diverse array of wildlife and plants, but the site is more effected by the high intensity uses to the north, west and south, and the extent of habitat alteration the site has undergone over the past few decades.

### *Existing Conditions*

Soils were mapped by ATC in their geotechnical investigation for the property. Underlying soils include Ankona sand (Soil Map Unit #2), Lawnwood sand (21), Tantile sand (44) and Waveland fine sand (50). None of these soils are hydric (wetland) indicators based on the Hydric Soils Handbook. Based on the Soil Survey of St. Lucie County all these are poorly drained soils that would have been historically vegetated by slash pine with saw palmetto (*Serenoa repens*) and threeawn grass (*Aristida stricta*) in the understory.



Prevalent vegetation on site reflects the complete removal of natural habitats on site. Most of the plants on site are invasive, exotic species with a few native, early-successional plants. The invasive exotic species include: Durban crowfootgrass (*Dactyloctenium aegyptium*), sandbur (*Cenchrus* sp.), smutgrass (*Sporobolus indicus*), *Cyperus* of several different species, an ornamental palm, largeflower Mexican clover (*Richardia grandiflora*) and tropical Mexican clover (*R. brasiliensis*), Johnsongrass (*Sorghum halepense*), bahiagrass (*Paspalum notatum*), St. Augustinegrass (*Stenotaphrum secundatum*), creeping oxeye (*Sphagneticola trilobata*), torpedograss (*Panicum repens*), wild petunia (*Ruellia* sp.), rose natalgrass (*Melinis repens*), caesarweed (*Urena lobata*), and castorbean (*Ricinus communis*). Native, ruderal species that have established on site include: sensitive brier (*Mimosa quadrivalvis*), starrush whitetop (*Rhynchospora colorata*), broomsedge bluestem (*Andropogon virginicus*) and bushy bluestem (*A. glomeratus*), beggarticks (*Bidens alba*), hairawn muhly (*Muhlenbergia capillaris*), common ragweed (*Ambrosia artemisiifolia*), manyflower marshpennywort (*Hydrocotyle umbellata*), earleaf greenbrier (*Smilax auriculata*) and muscadine (*Vitis rotundifolia*),

The property includes a small area of upland forest along the northern fringe with live oak (*Quercus virginiana*) and laurel oak (*Q. laurifolia*) in the canopy and primarily Brazilian pepper (*Schinus terebinthifolia*) in a dense midstory. A slash pine (*Pinus elliottii*) canopy exists at the extreme eastern edge of the property.

A drainage canal appears to exist just east of the property, but if it is on-site, this conveyance system would need to be sustained. It would be considered a surface water, but there are some native wetland plants including swamp rosemallow (*Hibiscus grandiflorus*) and swamp fern (*Telmatoblechnum serrulatum*) along the edge. The highly invasive Japanese climbing fern (*Lygodium japonicum*) also occurs in abundance along the banks of the canal.

Wildlife detected near the site were urban-adapted species including blue-jay (*Cyanocitta cristata*), yellow-bellied sapsucker (*Sphyrapicus varius*), red-bellied woodpecker (*Melanerpes carolinus*), and northern mockingbird (*Mimus polyglottos*) that were heard or seen off-site to the north and east of the property. Mourning dove (*Zenaida macroura*) and eastern mole (*Scalopus aquaticus*) were detected on site.

Of the listed species with potential to occur on site, only a few species have a remote likelihood. Species that require extensive areas of uninterrupted natural or agricultural habitat have no potential to occur on site due to the fragmented characteristics of the area. There are no wetlands that would provide habitat for wading birds or amphibians, no scrub or sandhill communities that support listed species of reptiles, and no mature forests that provide habitat for various cavity-nesting birds. Since gopher tortoises (*Gopherus polyphemus*) occasionally persist in highly-altered flatwoods habitats, I traversed numerous transects in a zigzag pattern across the property to search for their telltale burrows. I found no evidence of gopher tortoises or their burrows on site.

### *Summary and Conclusions*



EXUM ASSOCIATES, INC.

The site is highly altered from its original condition, it exists in an intensely urbanized corridor with very little native vegetation in the vicinity. The site is disturbed by vehicle use, mowing, and deposition of some construction debris and household trash. In short, there is very little potential for use of the site by wildlife, particularly listed species.

The site apparently holds water during major rain events, as evidenced by the ruts from mowing and, particularly, the presence of starrush whitetop and torpedo grass. Based on the lack of any hydric soils, and the lack of wetlands on the databases we reviewed, the site does not appear to have had any natural wetlands, and the appearance of these two wetland species is likely due to poor drainage and compaction from soil disturbance.

We appreciate the opportunity to provide these services and would be happy to answer any questions that you may have about our assessment.

Sincerely,

A handwritten signature in cursive script that reads "Jay H. Exum". The signature is written in black ink and is positioned above the printed name and title.

Jay H. Exum, Ph.D.  
Principal Ecologist



## Appendix 1: Historic Aerial Photography









CENTER  
LANE  
ONLY

71 Pierce State  
Farmers Market

↑ N

SITE





ARNOFF  
MOVING & STORAGE

Two Sides  
Two Lives

Your Storage Price

1001

1003

1005

1011

1009

← N

SITE TO SOUTH

← N

SITE



← N

SITE



→ N

SITE



→ N

SITE

