

BOARD OF ADJUSTMENT AGENDA

Board of Adjustment Regular Meeting - Thursday, June 23, 2022 - 2:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **APPROVAL OF MINUTES**
 - a. Minutes from the April 28, 2022 meeting
6. **PUBLIC HEARINGS**
 - a. Variance Application - Blackman Residence - 1627 Thumb Point Drive
7. **DISCUSSION / OTHER BUSINESS**
8. **COMMENTS FROM THE PUBLIC**
9. **ADJOURNMENT**

Any person seeking to appeal any decision by the Board of Adjustment with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact the Planning Department at (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board of Adjustment

Meeting Date: 06/23/2022

Information

REQUESTED ACTION

Minutes from the April 28, 2022 meeting

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Board of Adjustment Minutes 4/28/22

Form Review

Form Started By: Alicia Rosenthal

Final Approval Date: 05/04/2022

Started On: 05/03/2022 01:04 PM

DRAFT



CITY OF FORT PIERCE BOARD OF ADJUSTMENT

Board of Adjustment Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY BOARD OF ADJUSTMENT HELD ON THURSDAY, **APRIL 28, 2022**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: KeAndrea Davis; Charles Hayek; James Crist; Darrell Drummond; Jaimebeth Galinis, Chair

Staff Present: Vennis Gilmore, Senior Planner
Alicia Rosenthal, Planning and Development Organizer

Attendees: Lance Lilly, Senior Planner
Fran Ross, Board Attorney

4. CONSIDERATION OF ABSENCES

All Board members were in attendance.

5. APPROVAL OF MINUTES

a. Minutes from the March 24, 2022 meeting

Motion was made by Charles Hayek, and seconded by KeAndrea Davis to approve the minutes from the March 24, 2022 meeting.

AYE: James Crist, KeAndrea Davis, Charles Hayek, Chair Jaimebeth Galinis

Other: Darrell Drummond (ABSTAIN)

Passed

6. PUBLIC HEARINGS

a. Variance - Lexus Billboard - 5121 S. US Highway 1

The clerk introduced the Variance for the Lexus Billboard located at 5121 S. US Highway 1.

The chair asked the Board attorney to explain the Quasi-Judicial Hearing procedures.

Before commencing this Quasi-Judicial Hearing, the clerk, explained to the Board of Adjustment that they serve in both a legislative and quasi-judicial role. When acting as a legislative body, the Board engages in law-making activity by passing laws and establishing policies. When acting as a quasi-judicial body, the Board applies those laws and policies and is held to stricter procedural requirements. Quasi-judicial proceedings are less formal than proceedings before a circuit court but are more formal than the normal Board meeting. Quasi-judicial proceedings must follow basic standards of notice and due process; and, decisions must be made based on competent substantial evidence. Therefore, Board members have a duty to conduct the quasi-judicial proceedings more like judges than legislators. That is why the Commission has established the uniform procedures for quasi-judicial hearings that will be followed today.

The Chair called the proceeding to order.

The clerk confirmed the City complied with advertisement and notice requirements.

The Chair inquired with the Board regarding ex-parte communications and asked the Clerk to call the roll:

Ms. Davis- no
Mr. Hayek - yes
Mr. Crist - yes
Mr. Drummond - no
Chair Galinis - yes

The Chair opened the public hearing.

The clerk was asked to swear in those wanting to speak during this Quasi-Judicial hearing. Individuals in the audience intending to speak on this item were asked to stand, raise their right hand, and administered an oath to tell the truth, the whole truth, and nothing but the truth. Those that were sworn in were asked to clearly state their name for the record and confirm they were sworn in at such time as they were asked to come forward to testify.

Staff Presentation:

Lance Lilly, Senior Planner, gave an overview of the application. The applicant is requesting a 25-foot variance to increase in the allowable off-premises sign height of 25 feet to 50 feet. Per the applicant, the 25-foot variance is being requested in order to achieve the required visibility. The recommendation of Staff is to grant approval of the requested variance for the proposed 25-foot variance to increase in the allowable off-premises sign height of 25 feet to 50 feet; based upon the justification presented by the applicant with respect to the criteria for granting a Variance specified in Section 125-100.

Board questions for Staff: Mr. Drummond asked if surrounding businesses have higher signs than code allows for. Mr. Drummond asked if a code change has been made for sign height in C-3 zoning. Chair Galinis asked if there is any value to the city by increasing the height of

the sign. Mr. Drummond asked if the sign on the property was originally in the county and annexed into the city. Mr. Drummond asked how staff reached the decision to recommend approval. Mr. Drummond asked if the vision of the city was to have all the signs at 25 feet.

Applicant questions for Staff: None

Applicant presentation: Donald Cuozzo, Applicant Representative, sworn, provided history on the off-premise sign. He stated there was a static sign on the property for years, and it was changed to a digital sign and to meet code it was reduced to 25 feet. Mr. Cuozzo said there are existing signs on US Highway 1 that are 50 feet in height. He noted that since the building is 65 feet and the landscaping is higher than 25 feet, the 25-foot sign is hard to see. Mr. Cuozzo stated that the sign is used for the Lexus dealership and the owner of the dealership allows non-profit organizations to advertise for free. Mr. Cuozzo explained that the sign cannot be moved up on the property due to an FPL line and the height of the car carrier.

Board questions for Applicant: Ms. Davis ask if there are any 50 foot signs within a close radius to the proposed location. Mr. Drummond asked what the conditions are that are peculiar to the property and are not applicable to other lands, structures or buildings in the same zoning district. Mr. Hayek asked if the sign is important to the business of Lexus.

Public comment: None

Applicant final comment: Mr. Cuozzo stated he is requesting the additional height of the sign due to the angle, existing building and landscaping height.

The Chair, seeing no one else, closed the public hearing.

Motion was made by Darrell Drummond, and seconded by KeAndrea Davis to approve the proposed 25-foot variance to increase in the allowable off-premises sign height of 25 feet to 50 feet.

AYE: Darrell Drummond, KeAndrea Davis, Charles Hayek, James Crist, Chair Jaimebeth Galinis

Passed

7. DISCUSSION / OTHER BUSINESS

8. COMMENTS FROM THE PUBLIC

There were no comments from the public.

9. ADJOURNMENT

Planning Board of Adjustment

Meeting Date: 06/23/2022

Information

REQUESTED ACTION

Variance Application - Blackman Residence - 1627 Thumb Point Drive

LOCATION

1627 Thumb Point Drive (Parcel ID: 2401-700-0001-000-3)

RESPONSIBLE STAFF

Maria Lewicka, AICP, Historic Preservation Planner
Technical Review Committee

RECOMMENDATION

Based upon the justification presented by the applicant with respect to the criteria for granting a Variance specified in Section 125-100, the Board may:

- Grant the requested variance
- Grant the requested variance with conditions or recommendations
- Deny the requested variance

Attachments

Staff report and supporting documents

Application & Supporting Documents

Form Review

Form Started By: Maria Lewicka

Started On: 06/15/2022 11:44 AM

Final Approval Date: 06/15/2022



TO: Members of the City of Fort Pierce Board of Adjustment

THROUGH: Vennis Gilmore, Acting Planning Director

FROM: Maria Lewicka, Historic Preservation Planner

RE: **Application for Variance**
Blackman Residence – 1627 Thumb Point Drive

DATE: June 14, 2022

STAFF REPORT

Owners: Huey & Karen Blackman
411 Baker Avenue
Altamonte Springs, FL 32714

Requested Action: The applicant is requesting variance to deviate from City Code 125-191(b)(3) to allow for an increase of maximum allowed 25 percent of the lot coverage to 31 percent.

Location: 1627 Thumb Point Drive

Parcel ID(s): 2401-700-0001-000-3

Future Land Use: RL, Low Density Residential

Current Zoning: R-1, Single-Family Low Density Zone

Total Acreage: 11,979 SF, approx. 0.28 acre

Staff Analysis:

Variance Request

The applicant is requesting variance to deviate from City Code 125-191(b)(3) to allow for an increase of maximum allowed 25 percent of the lot coverage to 31 percent. The proposed first level area calculation show total 3737 square feet when only 2994 square feet is allowed.

Existing Conditions

The subject property has a Future Land Use designation of Low Density Residential (RL) with a compatible zoning district classification of Single-Family Low Density Residential Zone (R-1). The property is located west of the intersection of Faber Avenue and Thumb Point Drive. The subject property is surrounded by single family residences to the north, east, west and the Indian River to the south. The proposed new residence will include three (3) bedrooms, three (3) full baths, two (2) half baths, office, and playroom on the upper-primary level (3690 square feet), and two (2) garages, a workshop and storage area on the first level (3737 square feet).

Variance Criteria

The following criteria are specified in Section 125-100 of the City Code, which must be satisfied in order for a variance to be granted:

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;

Applicant Response:

This is a unique variance because this was one large lot and has been vacant for many years, and it was just recently split/divide into two small lots which our lot is one of the smallest on the street. Therefore, it is causing us to get a variance to have all the living area on the second floor which is 3260 SF, and the Lower Level is SF 3737. The approximately SF of the lot is 11,918.04. Our house is designed to sit inside the backsets and boundaries of the site plan, and it is just a little over the 25 percent of the site plan.

One of my wife main concerns is to build a house high and dry with all the living space on the second level. My in laws/wife's parents have lived in Fort Pierce 41 years. We purchased a condo 2017 in Harbour Isle to be close to them and for our retirement. Due to the size of our family growing, we sold it. Our main concerns are to have living space to be high and dry if a storm comes through. Many years ago, there was a sailboat in their parking lot at my in laws condo down the street. We lifted the house 3 feet about the existing grade and designed the house where the first floor is all garage and storage, along with the second floor to be all living space. The house is a 3-bedroom home with an office and a playroom, which on the bedroom will be set up for my mother-in-law due to my father-in-law passing away last September 2021. This project was not in a rush, but after my father-in-law passed away in September 2021, it is now rapidly accelerated to complete this home so my wife can help take care of her mother at the age of 87.

2. The special conditions and circumstances do not result from the actions of the applicant;

Applicant Response:

Special condition and circumstance is built this house high and dry, and all living area on second floor. Also my wife can be a caretaker for her mother, which we had to add an elevator so her

mother can get to the second floor. We have already made major improvements to the lot and safety to the area by rebuilding the seawall.

3. The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;

Applicant Response:

This is a unique variance because this was one large lot and has been vacant for many years, and it was just recently split/divide into two small lots which our lot is one of the smallest on the street. Therefore, it is causing us to get a variance to have all the living area on the second floor which is 3260 SF, and the Lower Level is SF 3737. The approximately SF of the lot is 11,918.04. Our house is designed to sit inside the backsets and boundaries of the site plan, and it is just a little over the 25 percent of the site plan.

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4. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and

Applicant Response:

The variance requested is the minimum variance required to have all living space on second floor (3260 SF).

5. The granting of the variance will be in harmony with the general intent and purpose of the ordinance and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

Applicant Response:

The granting of this variance does not impair the intent of the zoning ordinance and is not harmful to the general public interests. The house is designed with a two story coastal look which will

enhance the value of the neighbor. Our house is designed to sit inside the backsets and boundaries of the site plan, and it is just a little over the 25 percent of the site plan.

Neighboring Property Owners Response

A total of four (4) notifications were mailed to abutting property owners. As of the preparation of this memorandum, no responses have been received. An updated recording of responses will be provided to the Board at the hearing.

Technical Review Committee

All affected departments have reviewed the proposed Variance with regards to the requirements of the City Code. The following comments have been provided:

Engineering Comments

Revise the two one-way driveways to provide a minimum width of 12' as per City of Fort Pierce Code of Ordinances Section 125-316. This section also specifies that a minimum spacing of 40' shall be maintained between the driveways.

Staff Recommendation

Based on applicant responses to the criteria specified in Section 125-100 of the City Code, the Board of Adjustment may:

- Grant the requested variance to deviate from City Code 125-191(b)(3) to allow for an increase of maximum allowed 25 percent of the lot coverage to 31 percent; based upon the justification presented by the applicant with respect to the criteria for granting a Variance specified in Section 125-100.
- Grant the requested variance with conditions or recommendations
- Deny the requested variance



May 23, 2022

Dear Property Owners:

The property owners Huey & Karen Blackman have requested for approval the following: one (1) variance to deviate from Section 125-191(b)(3). to allow for an increase of seven (7) percent in lot coverage from the standard single-family lot coverage of twenty-five (25) percent in the R-1, Single-Family Low-Density Zone. The subject variance would allow thirty-two (32) percent log coverage as opposed to the maximum of twenty-five (25) percent lot coverage, per Code.

The subject property is located at 1627 Thumb Point Drive, and is in the R-1, Single-Family Low-Density Zone. The Parcel ID of the site is 2401-700-0001-000-3, and legal description of the property is: SUSAN D. CULVERHOUSE ESTATES (PB 89-21) LOT 1 (0.275 AC - 11,979 SF). The subject property is approximately 0.28 acres.

A public hearing is scheduled before the Planning Board of Adjustment of the City of Fort Pierce, Florida, at their meeting on **Thursday, June 23rd, 2022**, which begins at **2:00 p.m.** in the City Hall Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida. You are provided the opportunity to attend the public hearing and to speak in favor of, or in opposition to, the requested **Variance**. If you have any inquiries, or would like to review the complete application, please contact me at (772) 467-3738, (772-467-3737), or mlewicka@cityoffortpierce.com. Furthermore, published agenda packets for each Board of Adjustment meeting are provided a few days in advance at the following web address: <http://cityoffortpierce.com/223/Agendas-Minutes>.

Sincerely,

Vennis Gilmore

Vennis Gilmore
Planning Supervisor

Variance – Blackman Residence – 1627 Thumb Point Drive

No. 9

Phone

772-467-3738 or 772-467-3737

Email

mlewicka@cityoffortpierce.com

Text of Ad: 05/26/2022

**PUBLIC NOTICE
CITY OF FORT PIERCE
BOARD OF ADJUSTMENT**

NOTICE IS HEREBY GIVEN that the Board of Adjustment of the City of Fort Pierce, pursuant to Section 125-37 & 125-103 of the Fort Pierce Code of Ordinances, will hold a public hearing on Thursday, June 23, 2022, at 2:00 p.m., in the City Hall Commission Chambers, 100 N. U.S. 1, Fort Pierce, Florida.

The public hearing will be on the consideration of the following Variance request:

1. One (1) Variance request submitted by the property owners Huey & Karen Blackman have requested for approval the following: one (1) variance to deviate from Section 125-191(b)(3). to allow for an increase of seven (7) percent in lot coverage from the standard single-family lot coverage of twenty-five (25) percent in the R-1, Single-Family Low-Density Zone. The subject variance would allow thirty-two (32) percent lot coverage as opposed to the maximum of twenty-five (25) percent lot coverage, per Code.

The subject property is located at 1627 Thumb Point Drive, and is in the R-1, Single-Family Low-Density Zone. The Parcel ID of the site is 2401-700-0001-000-3, and legal description of the property is: SUSAN D. CULVERHOUSE ESTATES (PB 89-21) LOT 1 (0.275 AC - 11,979 SF). The subject property is approximately 0.28 acres.


Any person seeking to appeal the decision of the Board of Adjustment of the City of Fort Pierce, Florida, as to the foregoing, is advised that a record of the proceedings is required in any such appeal, and any such person may need to ensure that a verbatim record of proceedings is made including the testimony and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

Dated this 26th day of May 2022

PUB: June 7, 2022
TCN5277406

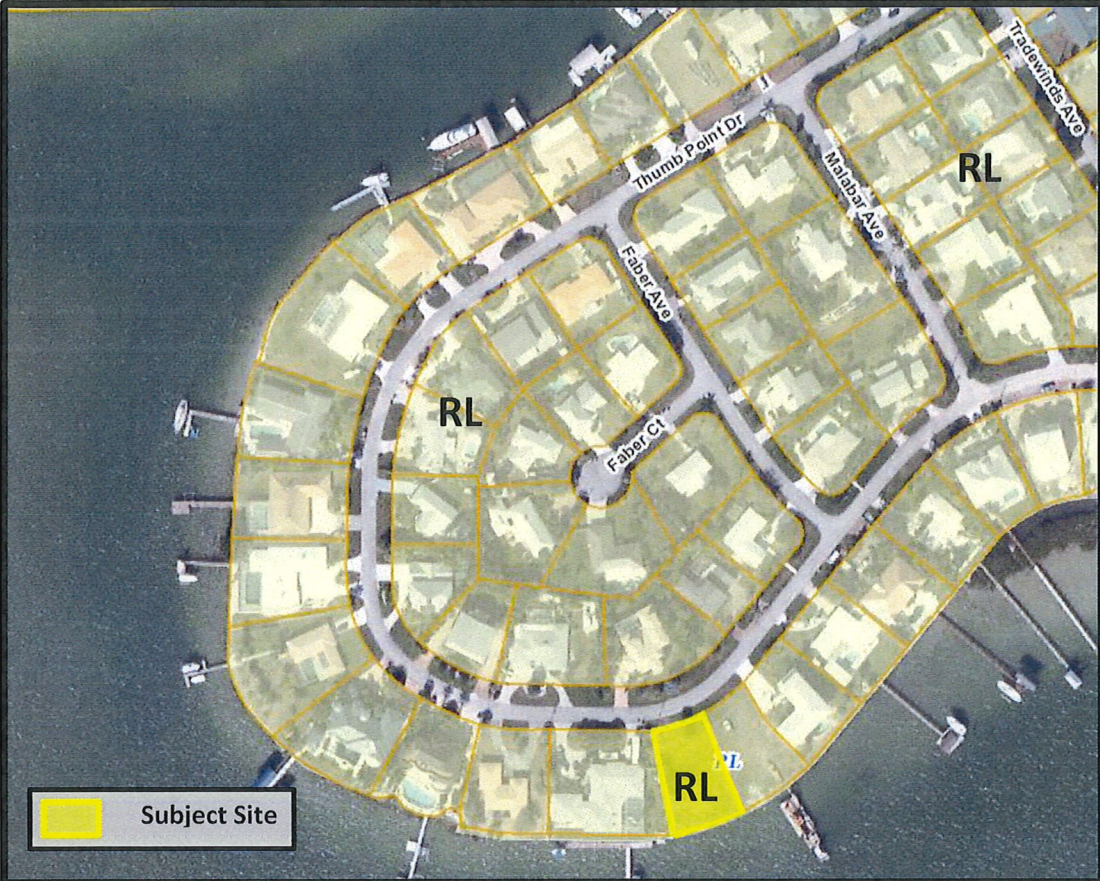


 Subject Site



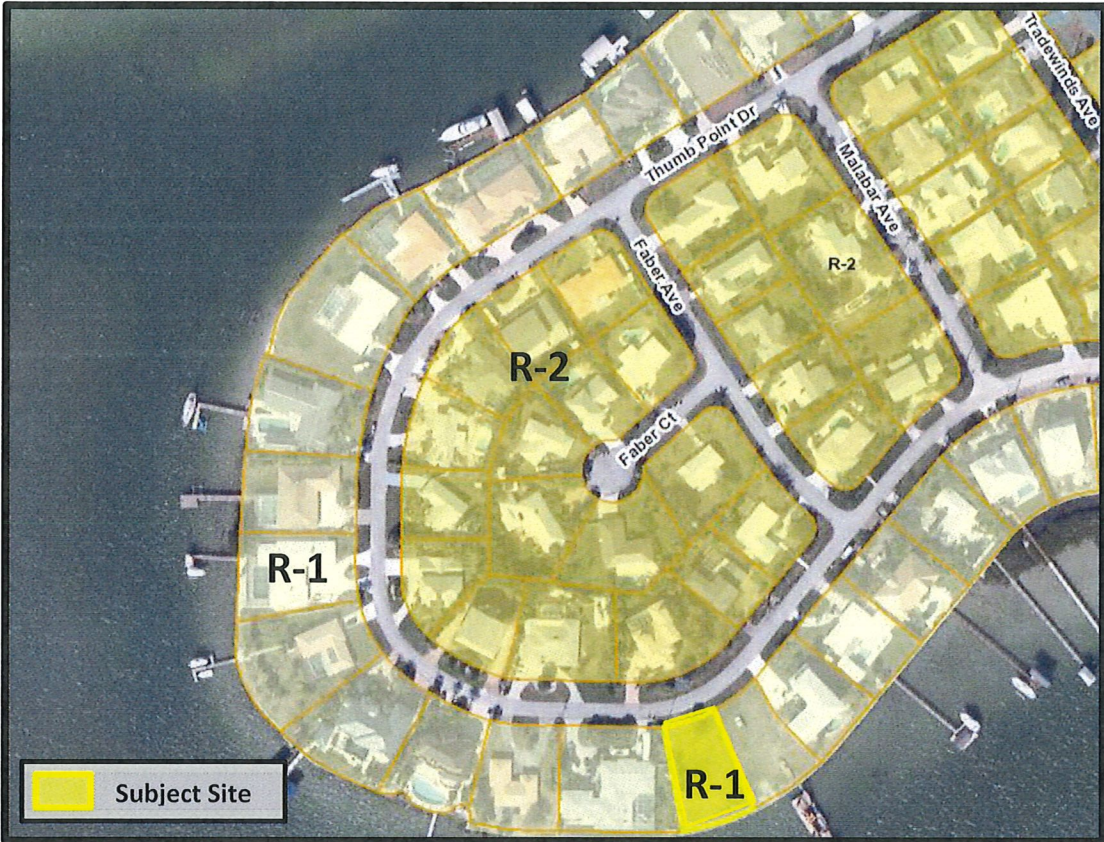
Application for Conditional Use w/New Construction
1627 Thumb Point Drive
Location Map





Application for Conditional Use w/New Construction
1627 Thumb Point Drive
Future Land Use Map





Application for Conditional Use w/New Construction
1627 Thumb Point Drive
Zoning Map





RECEIVED

MAY 26 2022

CITY OF FORT PIERCE
PLANNING & ZONING

To : **Planning Department**

FROM : **John R. Andrews, P.E., City Engineer**

RE : **Blackman Residence Variance – 1627 Thumb Point Drive
TRC No. 22-12000002**

DATE : **May 26, 2022**

This is to advise you that we have completed the review of the following documents as received by this office on May 25, 2022:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Variance Application | <input type="checkbox"/> Construction Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Executed Construction Contract |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- Recommend w/ Conditions Do Not Recommend

- Variance Approval Building Permit C/O

Developer, Owner, Engineer, Contractor, and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering conditions of approval

ENGINEERING COMMENTS:

1. Revise the two one-way driveways to provide a minimum width of 12' as per the City of Fort Pierce Code of Ordinances Section 125-316. This section also specifies that a minimum spacing of 40' shall be maintained between the driveways.

JRA/TST/tt



VARIANCE

Property Information

Property address or Location

1627 Thumb Point Drive

Parcel ID #(s)

2401-700-0001-000-3

Project description

New SF personel Home

Reason for request

Need Variance to put propose plan on this lot

Existing Use: vacant lot

Date Property was Purchased: Sept 2020

Alterations made to the site since purchase: new seawall

Has a request for this variance been denied in the past? Yes No

If yes, what changed since the denial?

Huey & Karen Blackman

Property Owner(s)

411 Baker Ave

Street Address

Altamonte Springs FL 32714

City State Zip

407-509-7266

Phone Number

Huey.Blackman@bldr.com

Email Address

Applicant/Representative, Title, Company

Street Address

City State Zip

Phone Number

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Huey W Blackman Karen G Blackman
 Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

Huey and Karen Blackman Residences

1627 Thumb Point Drive

Fort Pierce, Florida 34949

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

This is a unique variance because this was one large lot and has been vacant for many years, and it was just recently split/divide into two small lots which our lot is one of the smallest on the street. Therefore it is causing us to get a variance to have all the living area on the second floor which is 3260 SF, and the Lower Level is SF 3737, The approximately SF of the lot is 11,918.04. Our house is designed to sit inside the backsets and boundaries of the site plan, and it is just a little over the 25 percent of the site plan.

One of my wife main concerns is to build a house high and dry with all the living space on the second level. My in laws/wife's parents have lived in Fort Pierce 41 years. We purchased a condo 2017 in Harbour Isle to be close to them and for our retirement. Due to the size of our family growing, we sold it. Our main concerns are to have living space to be high and dry if a storm comes through. Many years ago there was a sailboat in their parking lot at my in laws condo down the street. We lifted the house 3 feet about the existing grade, and designed the house where the first floor is all garage and storage, along with the second floor to be all living space. The house is a 3 bedroom home with an office and a playroom, which on the bedroom will be set up for my mother in law due to my father in law passing away last September 2021. This project was not in a rush, but after my father in law passed away in September 2021, it is now rapidly accelerated to complete this home so my wife can help take care of her mother at the age of 87.

2. Do special conditions or circumstances result from actions other than that of yours? Please explain

Special condition and circumstance is built this house high and dry, and all living area on second floor. Also my wife can be a caretaker for her mother, which we had to add an elevator so her mother can get to the second floor. We have already made major improvements to the lot and safety to the area by rebuilding the seawall.

3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

This is a unique variance because this was one large lot and has been vacant for many years, and it was just recently split/divide into two small lots which our lot is one of the smallest on the street. Therefore it is causing us to get a variance to have all the living area on the second floor which is 3260 SF, and the Lower Level is SF 3737, The approximately SF of the lot is 11,918.04. Our house is designed to sit inside the backsets and boundaries of the site plan, and it is just a little over the 25 percent of the site plan.

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4. What is the minimum variance that would give the reasonable use of the land, building, or structure?

The variance requested is the minimum variance required to have all living space on second floor (3260 SF).

5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare:

The granting of this variance does not impair the intent of the zoning ordinance and is not harmful to the general public interests. The house is designed with a two story coastal look which will enhance the value of the neighbor. Our house is designed to sit inside the backsets and boundaries of the site plan, and it is just a little over the 25 percent of the site plan. .

Sincerely,

Huey and Karen Blackman

Huey Blackman

From: Huey Blackman <kblackma@icloud.com>
Sent: Monday, May 9, 2022 10:45 AM
To: Huey Blackman
Subject: 5 questions completed for variance

Follow Up Flag: Flag for follow up
Flag Status: Flagged

RECEIVED
MAY 11 2022
CITY OF FORT PIERCE
PLANNING & ZONING

EXTERNAL MESSAGE This email from kblackma@icloud.com originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

> Criteria:

> To determine whether your request for Variance meets all the criteria
> in Section 125-100 of the City Code, please answer the following
> questions. Please provide answers to the questions on separate pages:

>
> 1. Describe those conditions peculiar to the specific property and not
> applicable to other lands, structures, or buildings in the same zoning district.

My in laws/wife's parents have lived in Fort Pierce 41 years. We purchased a condo 2017 in Harbour Isle to be close to them and for our retirement. Due to the size of our family growing, we sold it. Our main concerns is to have living space to be high and dry if a storm comes through. Many years ago there was a sailboat in their parking lot at my in laws condo down the street. We lifted the house 3 feet above the existing grade, and designed the house where the first floor is all garage and storage, along with the second floor to be all living space. The house is a 3 bedroom home with an office and a playroom, which one of the bedroom will be set up for my mother in-law due to my father in-law passing away last September 2021. This project was not in a rush, but after my father in-law passed away in September 2021, it is now rapidly accelerated to complete this home so my wife can help take care of her mother at the age of 87.

>
> 2. Do special conditions or circumstances result from actions other
> than that of yours? Please explain.

Yes- getting the house completed so we can take care of my mother in-law. So this will allow my wife to be close to her mother since her health is declining because the death of her husband whom she was married to for 63 years.

>
> 3. Identify any undue hardships or deprivation of commonly enjoyed
> property rights that would result in the literal interpretation of the code for the zoning district.

I do not see any hardship at all of our home in our surrounding area and no code for the zoning district.

>
> 4. What is the minimum variance that would give the reasonable use of
> the land, building, or structure?

The propose plan is the least we can make it so that the living area to be all on the second floor.

>
> 5. Explain how the variance request would not impair the intent of the
> zoning ordinance or be detrimental to the general public welfare.

Our house is designed to set inside of all of the back settings and boundaries of the plot plan. It is just a little over the 25 percent plot plan because it is due to all the living being on the second level.

Sent from my iPhone

BLACKMAN RESIDENCE

1627 THUMB POINT DRIVE FORT PIERCE, FL

FEBRUARY 02, 2022
PLANTING PLAN

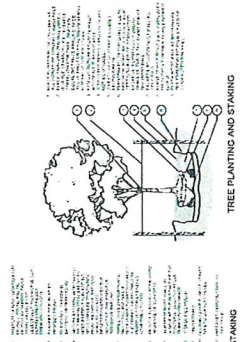
PLANTING SPECIFICATIONS

- All plant materials shall be Florida Number 1 as provided in the most current edition of the "Grades and Specifications for Nursery Plants, Part 1 & 1i" prepared by the State Department of Agriculture and Consumer Services.
- All trees, shrubs and groundcovers shall be of the size as specified in the Plant List.
- Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities.
- Whoever there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or Plant List, the plan takes precedence.
- All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded mulch.
- Alternative media material is required to be approved by Landscape Architect. Specified mulch types.
- The Planting Plan shall be installed in compliance with all existing codes and applicable deed restrictions.
- SOIL: All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover.
- Planting soil to be a weed-free mixture of 50% sand and 50% topsoil or other organic planting material suitable to the Landscape Architect.
- Contractor is responsible for determining all utility locations and installing facilities so as to not interfere with any existing or proposed utilities. Contractor shall be responsible for repairing or installing additional soil to the Owner.
- Contractor shall be responsible for providing final grading of all associated planting areas. Final grading shall be completed prior to planting. All trees and shrubs shall be planted in a minimum of 6" depth and all rock and foreign inorganic materials removed from the planting area.
- All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements. (See note 7).
- Contractor shall stake and guy all trees and palms at time of planting as per the appropriate detail.
- Contractor is responsible for the maintenance and/or repair of all staking and guying during the Nursery Period and removal and disposal of staking after the establishment period.
- Contractor shall provide and apply fertilizer to all trees and shrubs at 12 month intervals. Nitrogen 50% slow release form and fertilizer to include secondary/minor micronutrients.
- SUBSTITUTIONS AND CHANGES: All substitutions and changes shall be approved in writing prior to installation. Any discrepancy between plans, site and specifications shall be brought to the attention of the Owner immediately. All substitutions shall be made in accordance with the Planting Plan. All plant materials shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed thereafter for a period of 2 months.
- Contractor shall be responsible for the maintenance and/or repair of all staking and guying during the Nursery Period and removal and disposal of staking after the establishment period. Any plant material not in a healthy growing condition will be replaced by the contractor at no additional cost to the Owner within 10-days of notification. For all replacement plant material, the warranty period shall be extended an additional 45-days beyond the original warranty period. All trees that lean or are damaged in any way shall be replaced by the contractor at no additional cost to the Owner.
- The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown.
- No plant materials will be accepted showing evidence of cabb, chain marks, equipment scars, or other damage.
- Plant materials will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
- Root pruning of all ground trees a minimum of 8-weeks prior to planting.

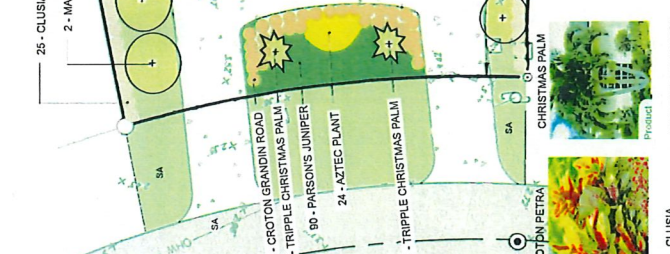
GENERAL REQUIREMENTS

- All dimensions 6" and less are exaggerated for illustrative purposes only.
- For all dimensions 6" and less are exaggerated for illustrative purposes only.
- The unpainted end on all trees shall be covered by no more than 1" of soil. Use hand tools to carefully remove all excess soil. The top of root ball shall be set 1" - 2" above finish grade and soil shall be compacted around the rootball. All trees shall be planted in a hole that is 2" larger than the rootball. The bottom of the planting pit for trees shall be compacted. All trees shall be planted on all trees through rootballs with 3 or 4 vertical slots (top to bottom) equally distributed around the tree.
- Ballcils shall be loosened existing soil. Remove rocks, sticks, or other deleterious material greater than 1" in any direction prior to backfilling. Water and tamp to remove air pockets. If existing soils are poor, amend with topsoil. Contractor shall be responsible for providing final grading of all associated planting areas. Final grading shall be completed prior to planting. All trees and shrubs shall be planted in a minimum of 6" depth and all rock and foreign inorganic materials removed from the planting area.
- Soil rings shall be constructed of existing soil at the outer edge of the planting pit, with a height of 3" and gently sloping sides. Do not pile soil on top of rootball.
- Mulch shall be a 3" deep layer placed to the edge of the trunk flare, around the base of shrub, or around groundcover. Never pile mulch against the plant trunk. Allow 2" to meet trunk of all plants.
- Strops shall be a minimum 1" wide nylon or polypropylene. All wood stakes or anchors shall be located beyond the edge of soil ring and coated below finished grade, unless otherwise specified. Remove above ground guying systems at the end of the establishment period.

PLANTING DETAILS

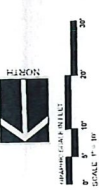


PLANT LIST	SYMBOL	QUANTITY	PLANT NAME	SIZE	PLANTING LOCATION
1	1	1	1 - LIVE OAK	12 H. x 2" DBH	SA
2	2	2	2 - QUEEN PALMS	12 H. x 2" DBH	SA
3	3	3	3 - PALMS	12 H. x 2" DBH	SA
4	4	4	4 - FIREBUSH	12 H. x 2" DBH	SA
5	5	5	5 - YESTERDAY	12 H. x 2" DBH	SA
6	6	6	6 - MUILY GRASS	12 H. x 2" DBH	SA
7	7	7	7 - ROYAL PALM	12 H. x 2" DBH	SA
8	8	8	8 - WALTERS VIBURNUM	12 H. x 2" DBH	SA
9	9	9	9 - AZTEC PLANT	12 H. x 2" DBH	SA
10	10	10	10 - CROCOTON PETRA	12 H. x 2" DBH	SA
11	11	11	11 - CROCOTON GRANDIN ROAD	12 H. x 2" DBH	SA
12	12	12	12 - LOROPETALUM RUBRUM	12 H. x 2" DBH	SA
13	13	13	13 - AZTEC PLANT	12 H. x 2" DBH	SA
14	14	14	14 - DWARF WHITE FOUNTAIN GRASS	12 H. x 2" DBH	SA
15	15	15	15 - DOUBLE ROEBELENI PALM	12 H. x 2" DBH	SA
16	16	16	16 - 3 - LADY PALM	12 H. x 2" DBH	SA
17	17	17	17 - MULTI STEM RED SISTER TI PLANT	12 H. x 2" DBH	SA
18	18	18	18 - DOUBLE EUROPEAN FAN PALM	12 H. x 2" DBH	SA
19	19	19	19 - 25 - LIROPE BIG BLUE	12 H. x 2" DBH	SA
20	20	20	20 - 3 - LADY PALM	12 H. x 2" DBH	SA
21	21	21	21 - DOUBLE ROEBELENI PALM	12 H. x 2" DBH	SA
22	22	22	22 - DWARF WHITE FOUNTAIN GRASS	12 H. x 2" DBH	SA
23	23	23	23 - 14 - MIGNOLIA	12 H. x 2" DBH	SA
24	24	24	24 - 2 - CLUSIA	12 H. x 2" DBH	SA
25	25	25	25 - 1 - YESTERDAY	12 H. x 2" DBH	SA
26	26	26	26 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
27	27	27	27 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
28	28	28	28 - 25 - CLUSIA	12 H. x 2" DBH	SA
29	29	29	29 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
30	30	30	30 - 1 - YESTERDAY	12 H. x 2" DBH	SA
31	31	31	31 - 2 - FOXTAIL PALMS	12 H. x 2" DBH	SA
32	32	32	32 - 3 - PALMS	12 H. x 2" DBH	SA
33	33	33	33 - 2 - QUEEN PALMS	12 H. x 2" DBH	SA
34	34	34	34 - 10 - CROCOTON PETRA	12 H. x 2" DBH	SA
35	35	35	35 - 24 - AZTEC PLANT	12 H. x 2" DBH	SA
36	36	36	36 - 8 - WALTERS VIBURNUM	12 H. x 2" DBH	SA
37	37	37	37 - 32 - AZTEC PLANT	12 H. x 2" DBH	SA
38	38	38	38 - 17 - LOROPETALUM RUBRUM	12 H. x 2" DBH	SA
39	39	39	39 - 7 - WALTERS VIBURNUM	12 H. x 2" DBH	SA
40	40	40	40 - 54 - AZTEC PLANT	12 H. x 2" DBH	SA
41	41	41	41 - 7 - WALTERS VIBURNUM	12 H. x 2" DBH	SA
42	42	42	42 - 11 - CROCOTON GRANDIN ROAD	12 H. x 2" DBH	SA
43	43	43	43 - 2 - QUEEN PALMS	12 H. x 2" DBH	SA
44	44	44	44 - 10 - CROCOTON PETRA	12 H. x 2" DBH	SA
45	45	45	45 - 10 - CROCOTON PETRA	12 H. x 2" DBH	SA
46	46	46	46 - 2 - FOXTAIL PALM	12 H. x 2" DBH	SA
47	47	47	47 - 1 - PINK TABERBUJA	12 H. x 2" DBH	SA
48	48	48	48 - 6 - FIREBUSH	12 H. x 2" DBH	SA
49	49	49	49 - 25 - CLUSIA	12 H. x 2" DBH	SA
50	50	50	50 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
51	51	51	51 - 1 - YESTERDAY	12 H. x 2" DBH	SA
52	52	52	52 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
53	53	53	53 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
54	54	54	54 - 25 - CLUSIA	12 H. x 2" DBH	SA
55	55	55	55 - 1 - YESTERDAY	12 H. x 2" DBH	SA
56	56	56	56 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
57	57	57	57 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
58	58	58	58 - 25 - CLUSIA	12 H. x 2" DBH	SA
59	59	59	59 - 1 - YESTERDAY	12 H. x 2" DBH	SA
60	60	60	60 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
61	61	61	61 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
62	62	62	62 - 25 - CLUSIA	12 H. x 2" DBH	SA
63	63	63	63 - 1 - YESTERDAY	12 H. x 2" DBH	SA
64	64	64	64 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
65	65	65	65 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
66	66	66	66 - 25 - CLUSIA	12 H. x 2" DBH	SA
67	67	67	67 - 1 - YESTERDAY	12 H. x 2" DBH	SA
68	68	68	68 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
69	69	69	69 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
70	70	70	70 - 25 - CLUSIA	12 H. x 2" DBH	SA
71	71	71	71 - 1 - YESTERDAY	12 H. x 2" DBH	SA
72	72	72	72 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
73	73	73	73 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
74	74	74	74 - 25 - CLUSIA	12 H. x 2" DBH	SA
75	75	75	75 - 1 - YESTERDAY	12 H. x 2" DBH	SA
76	76	76	76 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
77	77	77	77 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
78	78	78	78 - 25 - CLUSIA	12 H. x 2" DBH	SA
79	79	79	79 - 1 - YESTERDAY	12 H. x 2" DBH	SA
80	80	80	80 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
81	81	81	81 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
82	82	82	82 - 25 - CLUSIA	12 H. x 2" DBH	SA
83	83	83	83 - 1 - YESTERDAY	12 H. x 2" DBH	SA
84	84	84	84 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
85	85	85	85 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
86	86	86	86 - 25 - CLUSIA	12 H. x 2" DBH	SA
87	87	87	87 - 1 - YESTERDAY	12 H. x 2" DBH	SA
88	88	88	88 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
89	89	89	89 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
90	90	90	90 - 25 - CLUSIA	12 H. x 2" DBH	SA
91	91	91	91 - 1 - YESTERDAY	12 H. x 2" DBH	SA
92	92	92	92 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
93	93	93	93 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
94	94	94	94 - 25 - CLUSIA	12 H. x 2" DBH	SA
95	95	95	95 - 1 - YESTERDAY	12 H. x 2" DBH	SA
96	96	96	96 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA
97	97	97	97 - 1 - ROYAL PALM	12 H. x 2" DBH	SA
98	98	98	98 - 25 - CLUSIA	12 H. x 2" DBH	SA
99	99	99	99 - 1 - YESTERDAY	12 H. x 2" DBH	SA
100	100	100	100 - 2 - TREE LIGUSTRUM	12 H. x 2" DBH	SA



SEAL
FL REG NO: 0000422

PREPARED BY:
GEORGE BOTNER PLA AICP
LANDSCAPE ARCHITECTS & PLANNERS
4201 ST. COVE LAKE CIR. SUITE 104, STUART, FL 34997
PHONE: (772) 221-9538
CELL: (954) 798-7159
WWW.GEORGEBOTNER.COM



3-21-21	AS
4-15-21	AS
10-11-21	AS
1-22-22	AS
2-2-22	AS

407-592-9233
 11000
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HURY + KARPZ BLACKMAN
 RESIDENCE

DATE	
SCALE	
PROJECT	
NO.	

1 OF 18

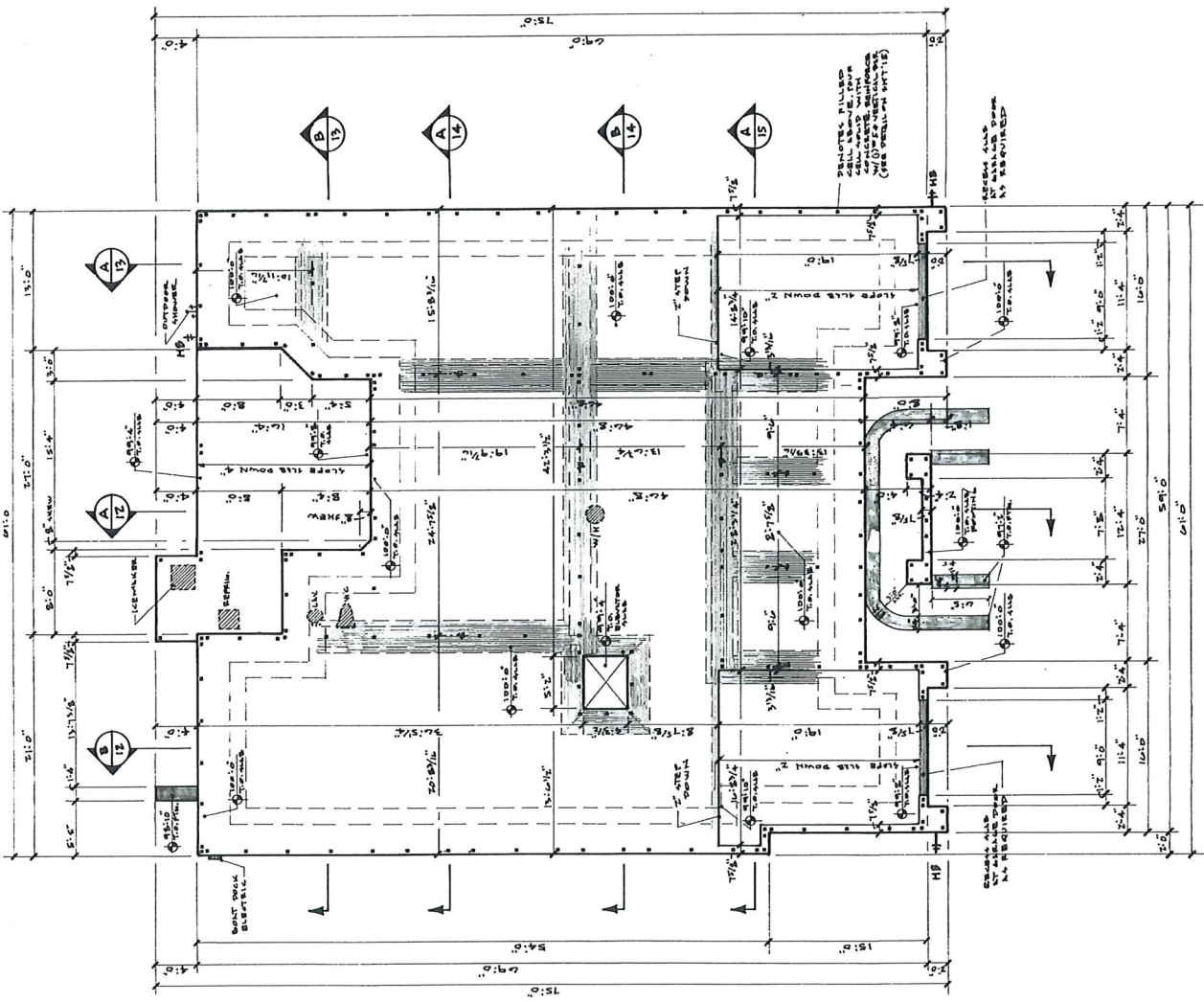
- NOTES:**
- 1) SEE ATTACHED SHEETS FOR REVISIONS AND
 - 2) CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF 3000 PSI
 - 3) CONSTRUCTION SHALL HAVE A MINIMUM STRENGTH OF 3000 PSI
 - 4) CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF 3000 PSI
 - 5) CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF 3000 PSI
 - 6) REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF 3000 PSI
 - 7) USE APPROVED MATERIALS AND METHODS FOR ALL CONSTRUCTION
 - 8) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF 3000 PSI
 - 9) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF 3000 PSI
 - 10) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF 3000 PSI

SPECIAL NOTE

SEE ATTACHED SHEETS FOR REVISIONS AND
 CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE
 MINIMUM STANDARDS OF 3000 PSI

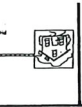


FOOTING • SLAB PLAN
 SCALE 1/4"=1'-0"



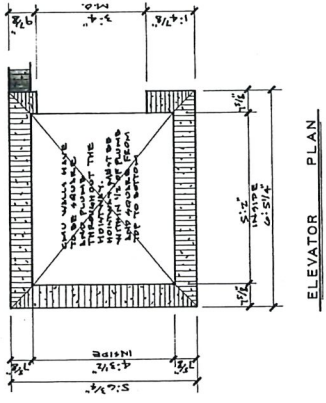
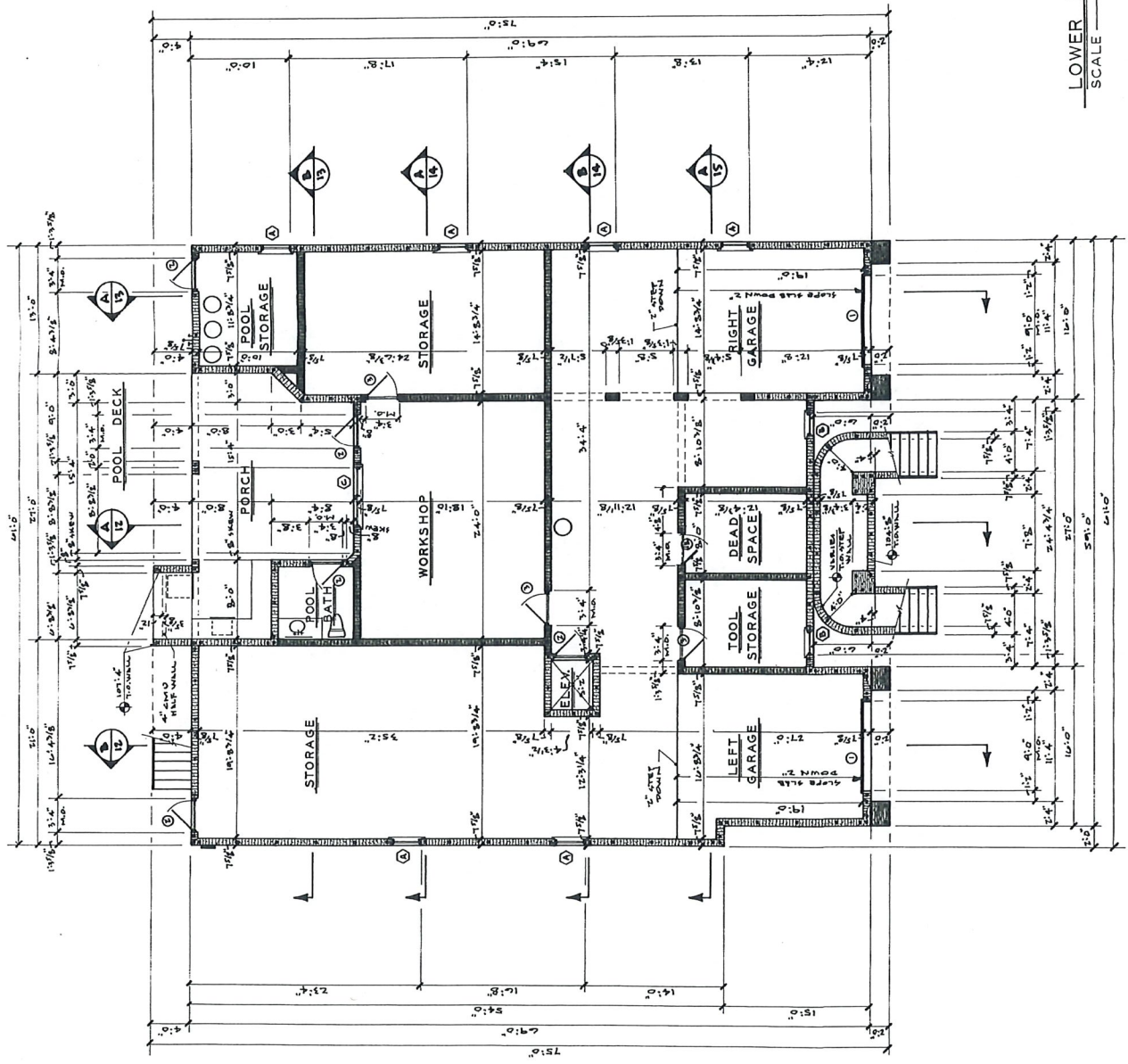
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10-11-21	AS
1-23-22	AS
2-2-22	AS

- NOTES:
- 1) WINDOW MARK "O" SEE SHEET L-10 FOR WINDOW
 - 2) WINDOW MARK "X" SEE SHEET L-10 FOR WINDOW
 - 3) WINDOW MARK "D" SEE SHEET L-10 FOR WINDOW
 - 4) WINDOW MARK "S" SEE SHEET L-10 FOR WINDOW
 - 5) WINDOW MARK "T" SEE SHEET L-10 FOR WINDOW
 - 6) WINDOW MARK "B" SEE SHEET L-10 FOR WINDOW
 - 7) WINDOW MARK "C" SEE SHEET L-10 FOR WINDOW
 - 8) WINDOW MARK "E" SEE SHEET L-10 FOR WINDOW
 - 9) WINDOW MARK "F" SEE SHEET L-10 FOR WINDOW
 - 10) WINDOW MARK "G" SEE SHEET L-10 FOR WINDOW
 - 11) WINDOW MARK "H" SEE SHEET L-10 FOR WINDOW
 - 12) WINDOW MARK "I" SEE SHEET L-10 FOR WINDOW
 - 13) WINDOW MARK "J" SEE SHEET L-10 FOR WINDOW
 - 14) WINDOW MARK "K" SEE SHEET L-10 FOR WINDOW
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 - 26) WINDOW MARK "W" SEE SHEET L-10 FOR WINDOW
 - 27) WINDOW MARK "X" SEE SHEET L-10 FOR WINDOW
 - 28) WINDOW MARK "Y" SEE SHEET L-10 FOR WINDOW
 - 29) WINDOW MARK "Z" SEE SHEET L-10 FOR WINDOW



RESIDENCE
FOR
HURY & KAREN BLACKMAN

DATE	3-21-21
SCALE	1/4"=1'-0"
NOTED	



ELEVATOR PLAN

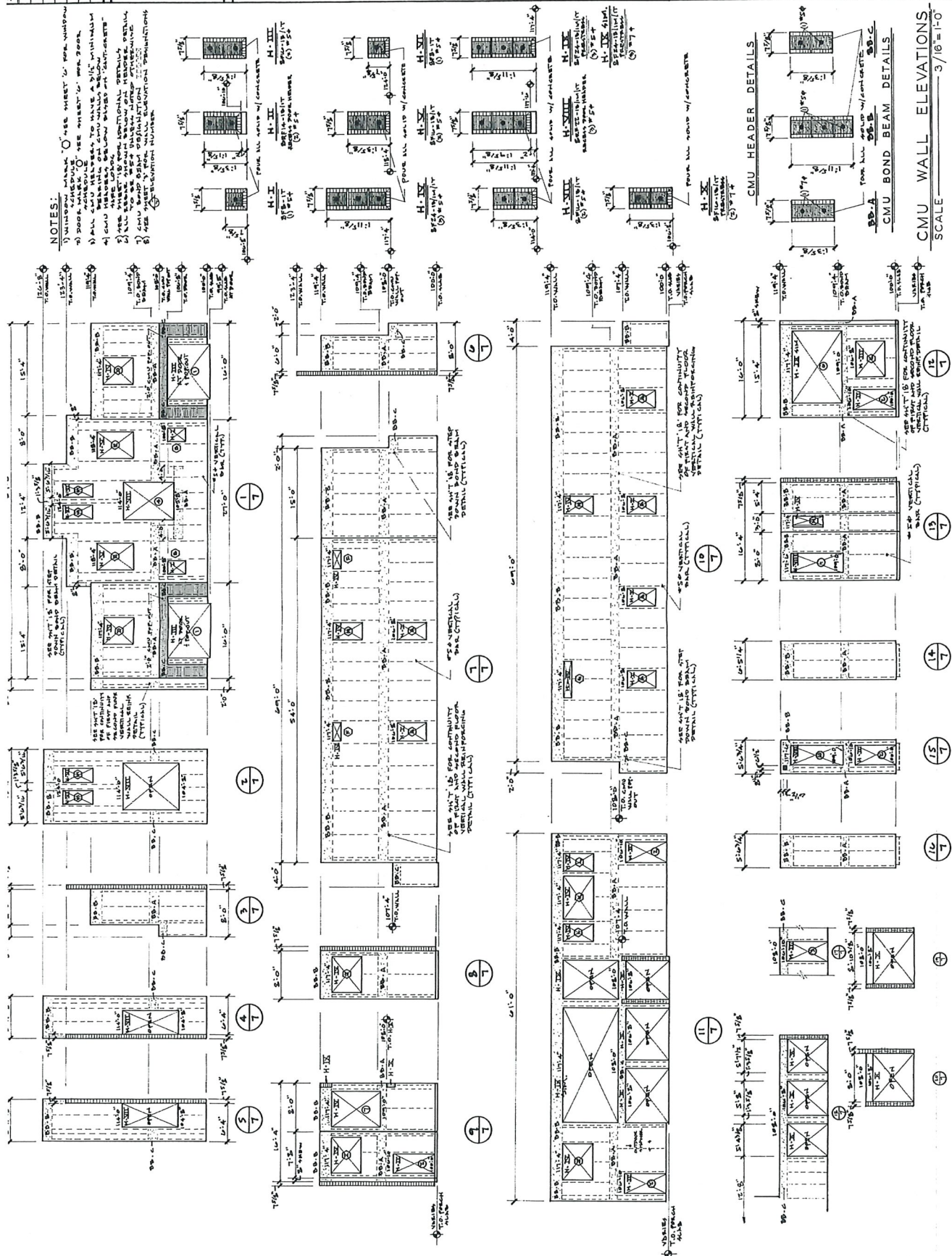


LOWER LEVEL DIMENSIONAL FLOOR PLAN
SCALE 1/4"=1'-0"

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3	10-1-13	ISSUED FOR PERMITS
4	10-1-13	ISSUED FOR PERMITS
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8	10-1-13	ISSUED FOR PERMITS
9	10-1-13	ISSUED FOR PERMITS
10	10-1-13	ISSUED FOR PERMITS

PROJECT NO. 07-992-9235
 A. L. ROBERTS
 ARCHITECT
 1000 N. 10TH ST.
 DENVER, CO 80202

RESIDENCE
 FOR
KAREN BLACKMAN
 HCPY + KAREN BLACKMAN



CMU WALL ELEVATIONS
 SCALE 3/16" = 1'-0"
 7 OF 18

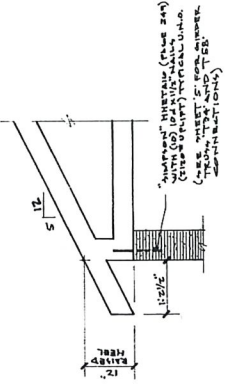
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3	12-11-14	12-11-14
4	12-11-14	12-11-14
5	12-11-14	12-11-14

Mod 407-992-9235
 A. K. ROSEN
 ARCHITECT
 1000 W. 10TH ST.
 ANCHORAGE, AK 99501

HURY & KAREN BLACKMAN
 ARCHITECTS
 1000 W. 10TH ST.
 ANCHORAGE, AK 99501

9 OF 18

- NOTES:**
1. ALL ROOF SHEATHING SHALL BE INSTALLED WITH GRAIN PERPENDICULAR TO THE TRUSS CHORDS. THE TRUSS CHORDS SHALL BE MAINTAINED AT ALL TIMES.
 2. ALL ROOF SHEATHING SHALL BE INSTALLED WITH GRAIN PERPENDICULAR TO THE TRUSS CHORDS. THE TRUSS CHORDS SHALL BE MAINTAINED AT ALL TIMES.
 3. ALL ROOF SHEATHING SHALL BE INSTALLED WITH GRAIN PERPENDICULAR TO THE TRUSS CHORDS. THE TRUSS CHORDS SHALL BE MAINTAINED AT ALL TIMES.
 4. ALL ROOF SHEATHING SHALL BE INSTALLED WITH GRAIN PERPENDICULAR TO THE TRUSS CHORDS. THE TRUSS CHORDS SHALL BE MAINTAINED AT ALL TIMES.
 5. ALL ROOF SHEATHING SHALL BE INSTALLED WITH GRAIN PERPENDICULAR TO THE TRUSS CHORDS. THE TRUSS CHORDS SHALL BE MAINTAINED AT ALL TIMES.

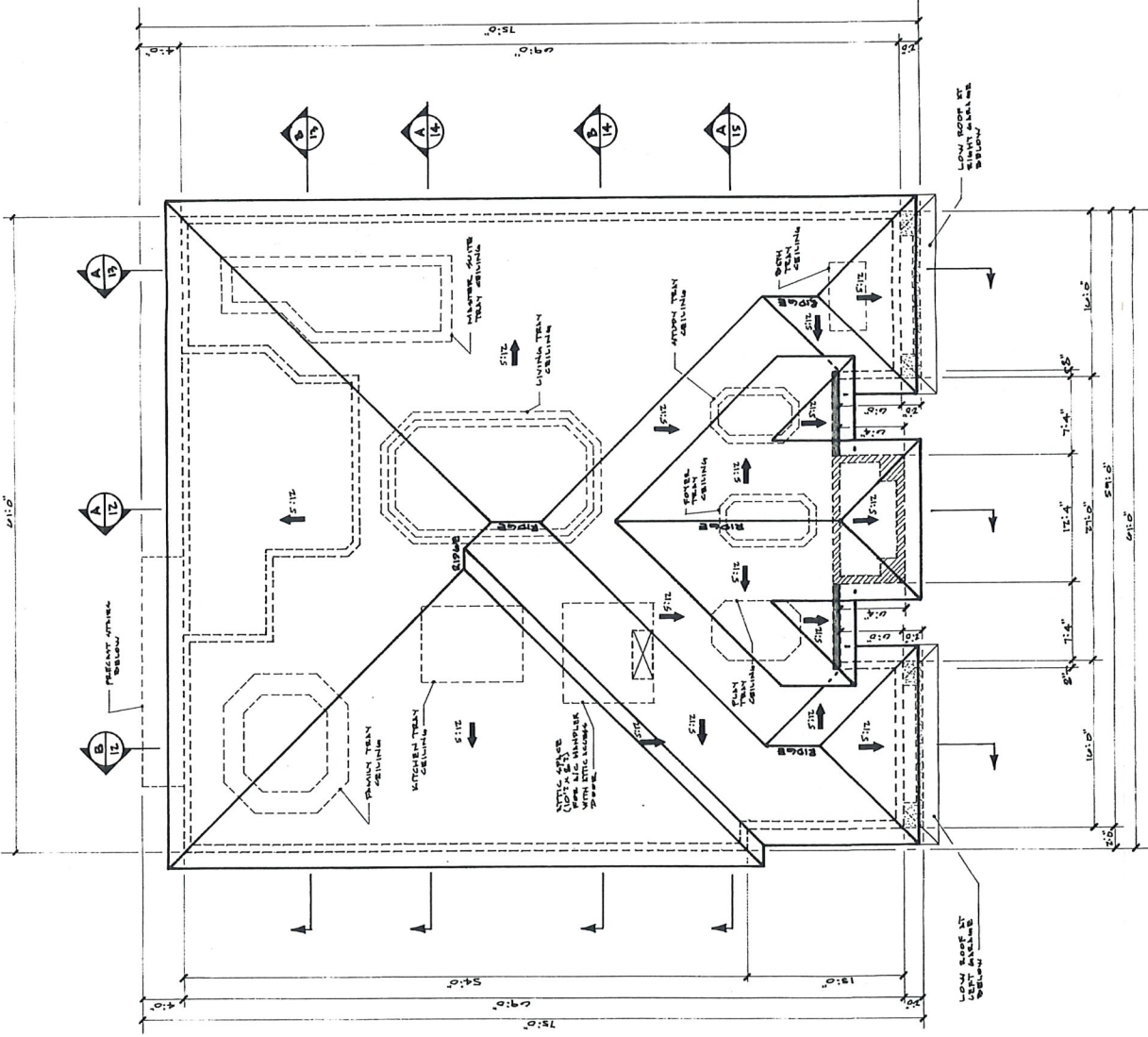


BEARING TRUSS END

ROOF VENT TABULATIONS
 ALL ROOF VENT TABULATIONS SHALL BE UNID. THROUGHOUT ENTIRE ROOF. NO ROOF VENT TABULATIONS SHALL BE REQUIRED.

MINIMUM ROOF SHEATHING THICKNESS

Minimum Sheathing Thickness, Inches	WIND SPEED									
	15 mph	20 mph	25 mph	30 mph	35 mph	40 mph	45 mph	50 mph	55 mph	60 mph
Minimum Sheathing Thickness, Inches	1/4	3/8	1/2	5/8	3/4	1	1 1/8	1 1/4	1 1/2	1 3/4
Minimum Sheathing Thickness, Inches	1/4	3/8	1/2	5/8	3/4	1	1 1/8	1 1/4	1 1/2	1 3/4
Minimum Sheathing Thickness, Inches	1/4	3/8	1/2	5/8	3/4	1	1 1/8	1 1/4	1 1/2	1 3/4
Minimum Sheathing Thickness, Inches	1/4	3/8	1/2	5/8	3/4	1	1 1/8	1 1/4	1 1/2	1 3/4



ROOF PLAN
 SCALE 1/4"=1'-0"

HURY + KARPEN BLACKMAN
 ARCHITECTS
 1000 15th St, N
 Minneapolis, MN 55412
 Phone: 612-338-3333

RESIDENCE #

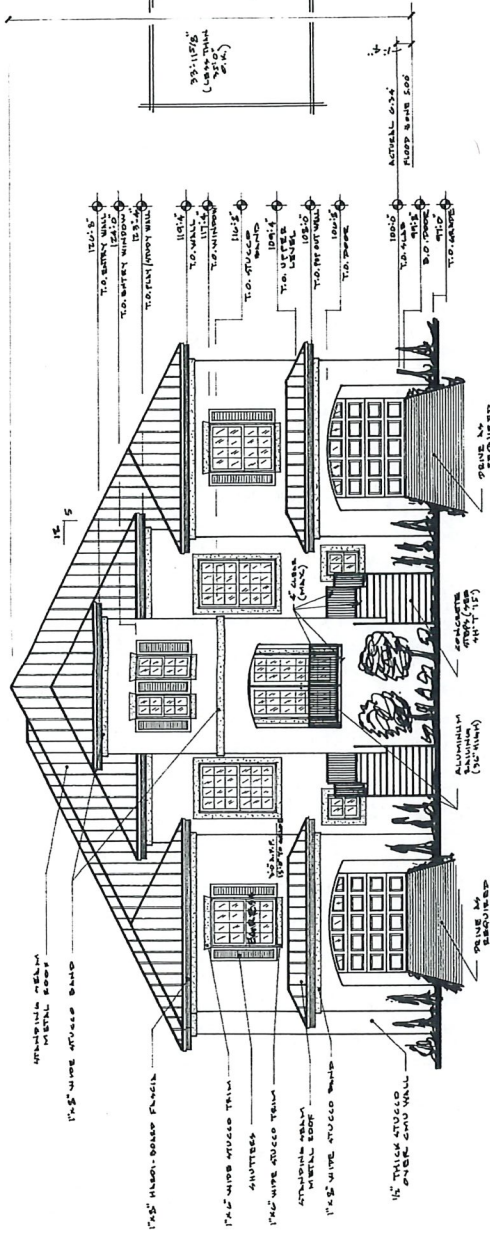
10 OF 18

DATE	12-12-14
BY	AK
REVISION	
NOTES	

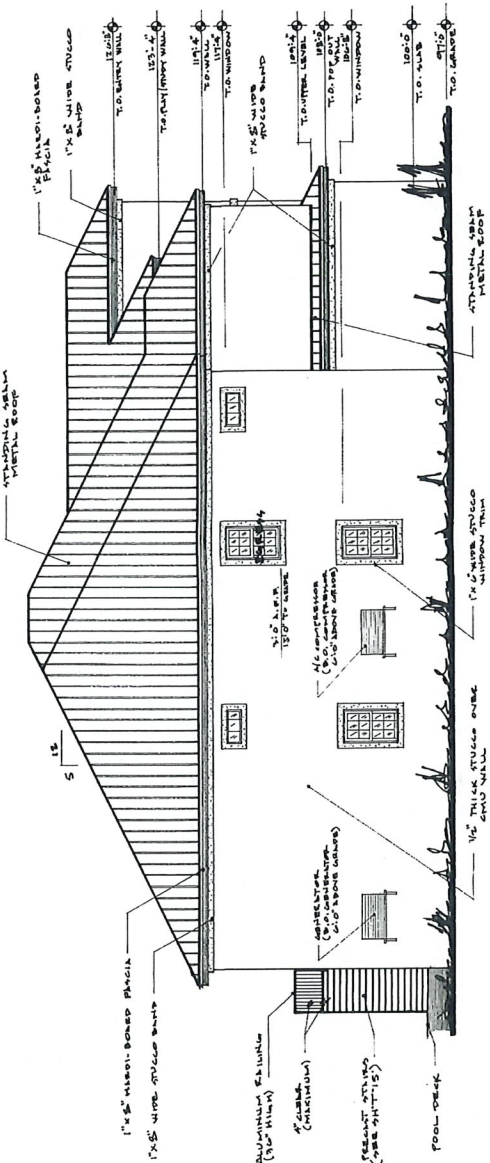
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2	12-12-14	REVISED PER COMMENTS
3	12-12-14	REVISED PER COMMENTS
4	12-12-14	REVISED PER COMMENTS
5	12-12-14	REVISED PER COMMENTS

35'-11 1/2" (35'-0" TO TOP OF ROOF) + 11'-2" (TO TOP OF WALL) = 46'-3" TOTAL HEIGHT TO TOP OF ROOF

35'-11 1/2" (35'-0" TO TOP OF ROOF) + 11'-2" (TO TOP OF WALL) = 46'-3" TOTAL HEIGHT TO TOP OF ROOF

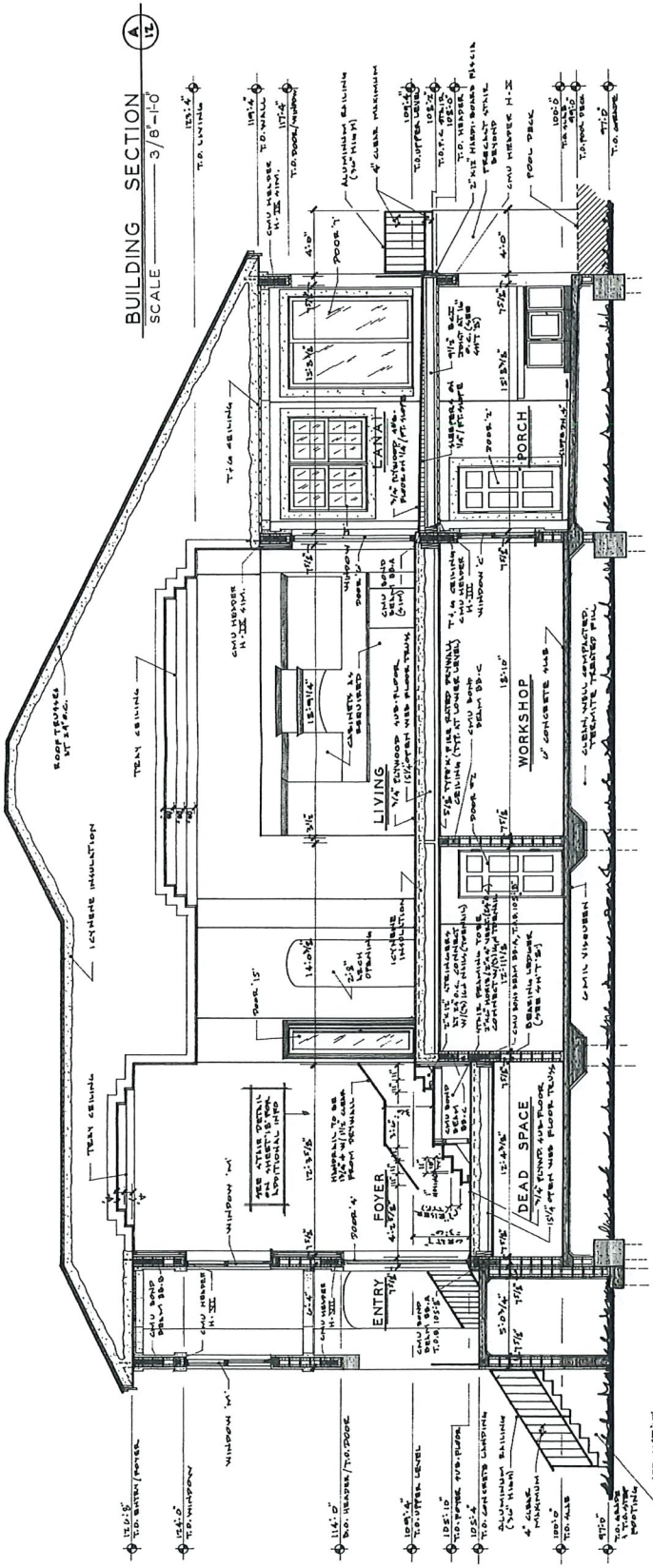


NORTH ELEVATION
 SCALE 1/4"=1'-0"

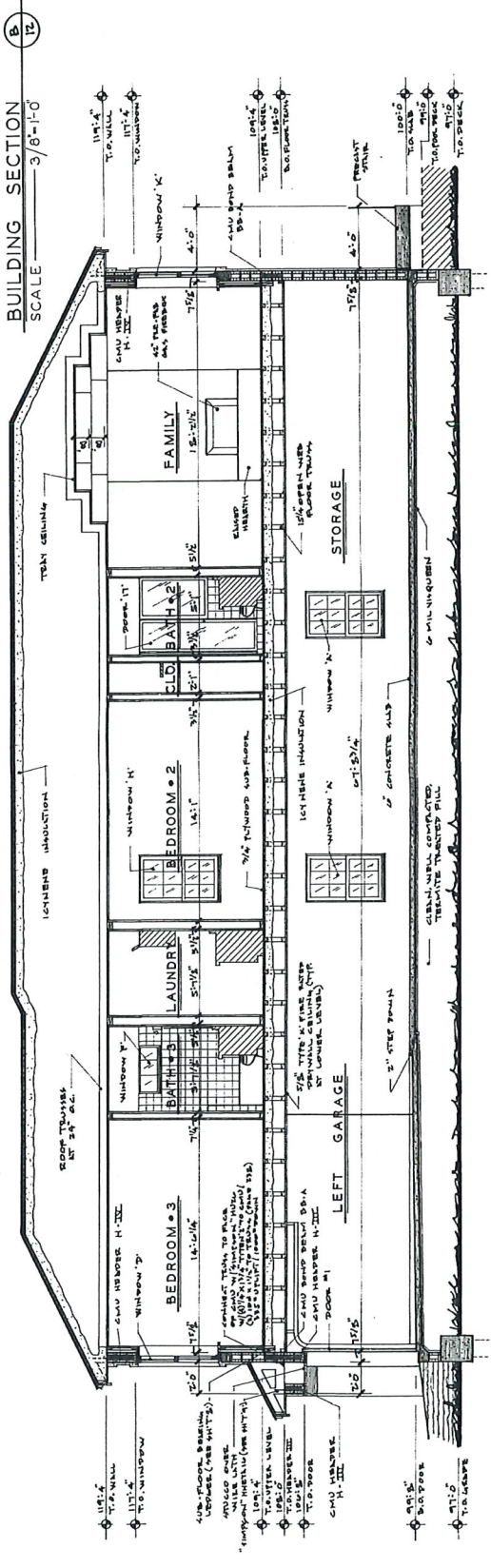


EAST ELEVATION
 SCALE 1/4"=1'-0"

BUILDING SECTION A
SCALE 3/8"=1'-0"



BUILDING SECTION B
SCALE 3/8"=1'-0"



1	12-11-11	12-11-11
2	12-11-11	12-11-11
3	12-11-11	12-11-11
4	12-11-11	12-11-11
5	12-11-11	12-11-11
6	12-11-11	12-11-11
7	12-11-11	12-11-11
8	12-11-11	12-11-11
9	12-11-11	12-11-11
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12	12-11-11	12-11-11
13	12-11-11	12-11-11
14	12-11-11	12-11-11
15	12-11-11	12-11-11
16	12-11-11	12-11-11
17	12-11-11	12-11-11
18	12-11-11	12-11-11
19	12-11-11	12-11-11
20	12-11-11	12-11-11

HURY & KAPLAN ARCHITECTS
P.L.L.C.
1000 N. 17th St., Suite 100
Tampa, FL 33601
Tel: 813-251-1111
Fax: 813-251-1112
www.huryandkaplan.com

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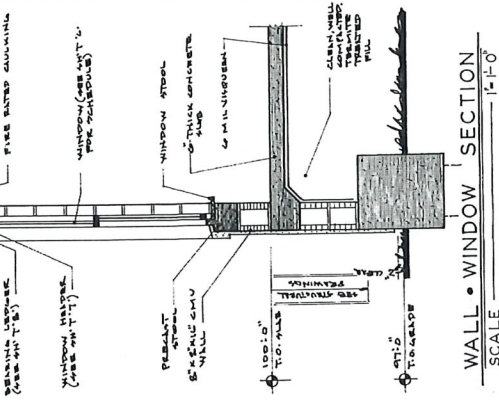
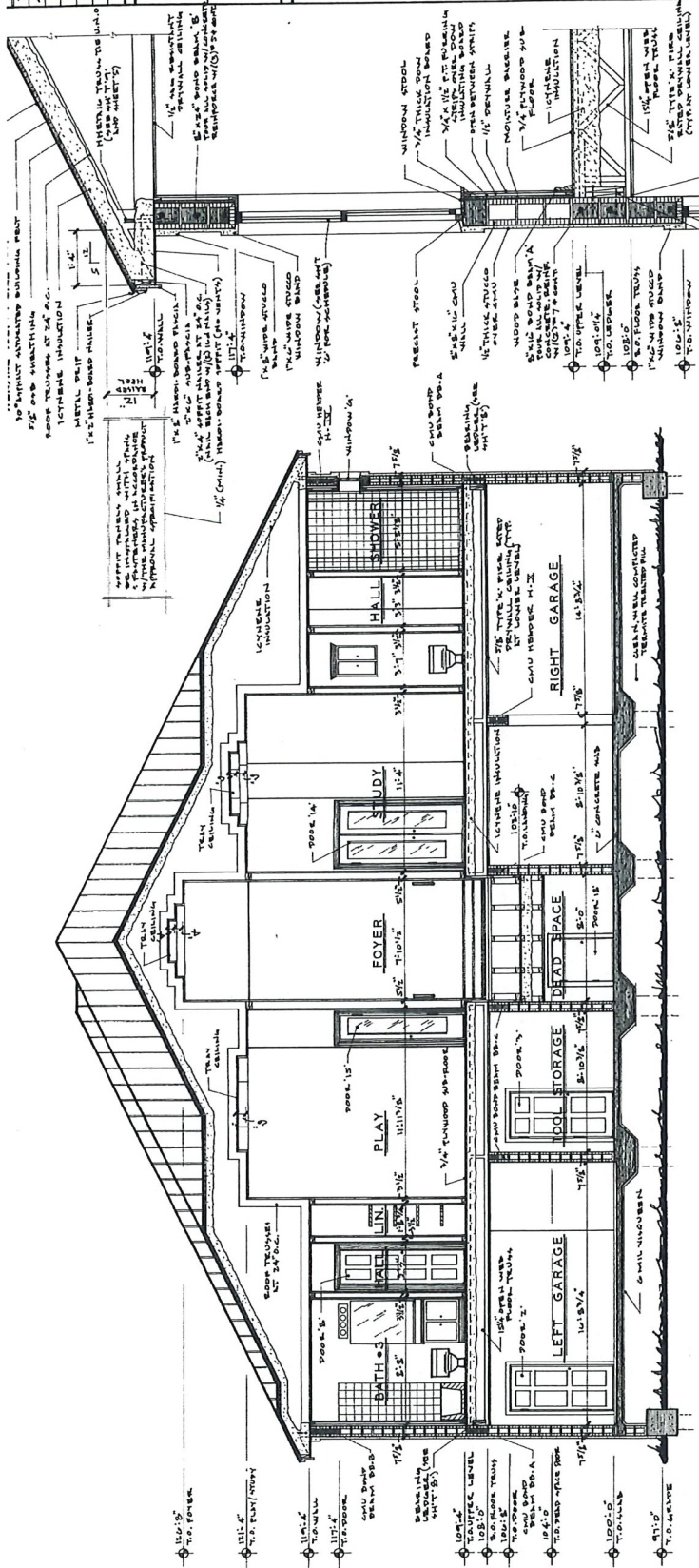
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407-52-9233
 A. J. KREMER
 ARCHITECT
 1111 11th Street
 San Francisco, Calif.

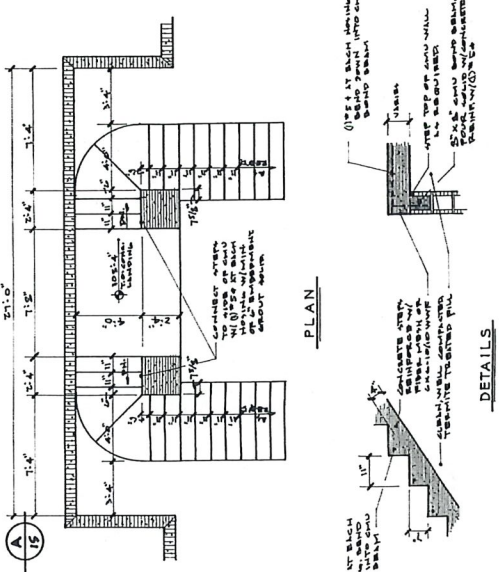
RESIDENCE #
 HERY & KAREZ BLACKMAN

REVISION	DATE	BY	NOTED
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

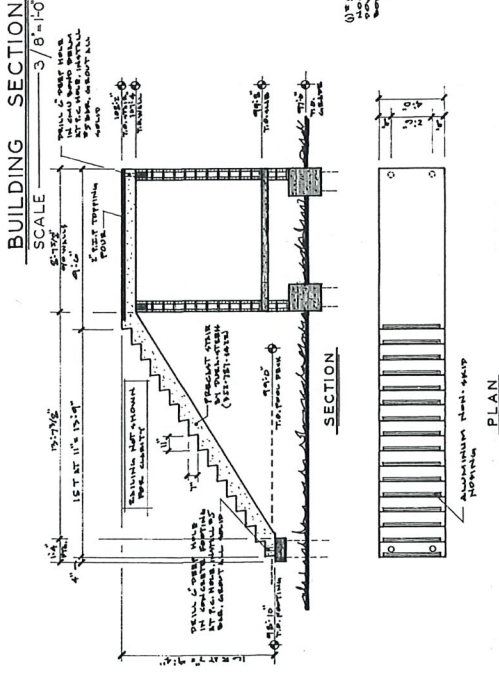
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WALL WINDOW SECTION
 SCALE 1/4"=1'-0"



NORTH ENTRY STEP DETAIL
 DETAILS



BUILDING SECTION
 SCALE 3/8"=1'-0"

SOUTH STAIR DETAIL
 PLAN

1-15-11	ACT
4-15-11	ACT
10-15-11	ACT
1-25-12	N
2-25-12	N

Model No. 407-592-9235

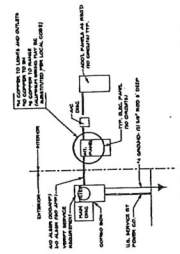


RESIDENCE
 FOR
 HUEY + KAREN BLACKMAN

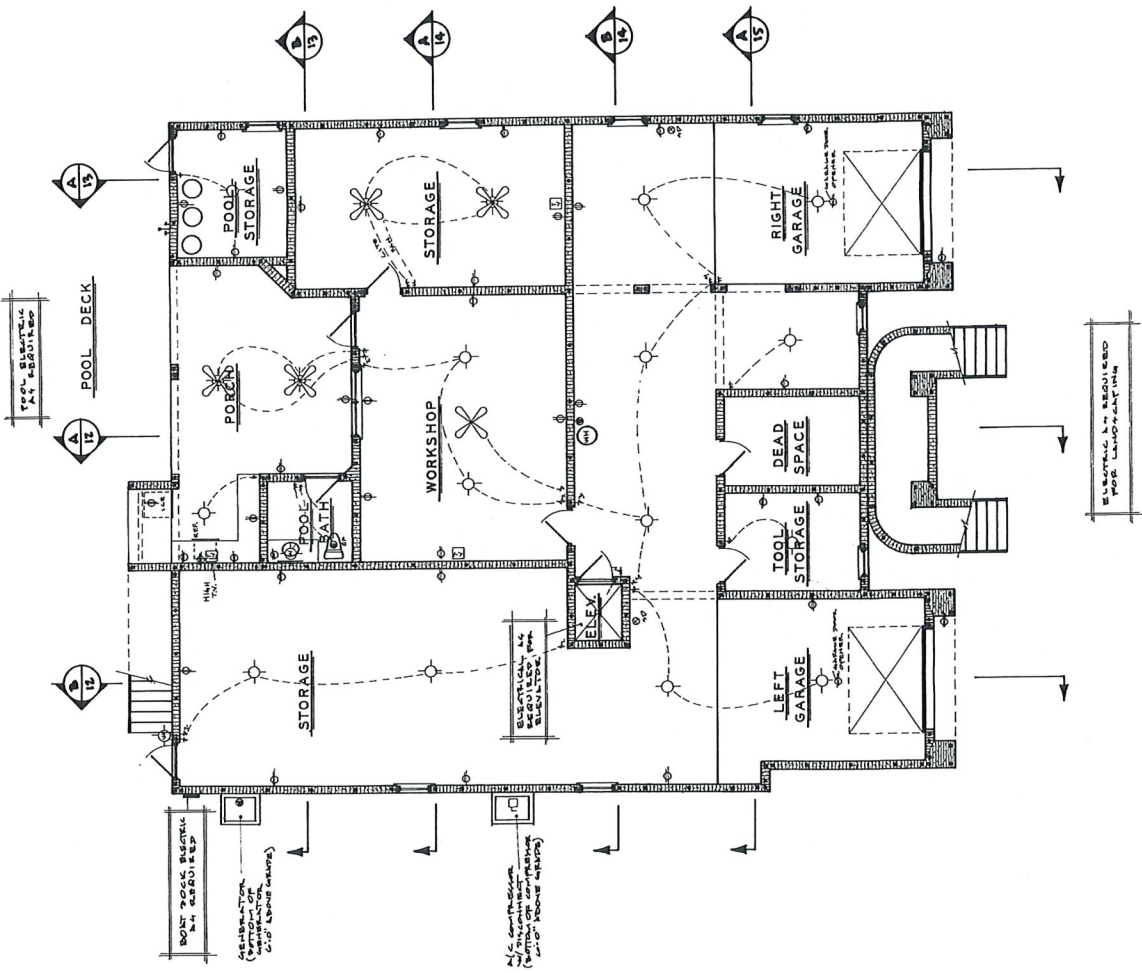
DATE	NOTED
DATE	NOTED
DATE	NOTED

18 OF 18

- NOTES:**
- 1) ALL ELECTRICAL WORK IS TO BE COMPLETED WITHIN 30 DAYS OF THE DATE OF THE PERMIT.
 - 2) ALL ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH THE 2011 CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 3) ALL ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH THE 2011 CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 4) ALL ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH THE 2011 CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 5) ELECTRICAL RISER TO BE A MINIMUM OF 3'-0" ABOVE FLOOR BY COVER LEVEL.



ELECTRICAL RISER DIAGRAM



LOWER LEVEL ELECTRICAL FLOOR PLAN
SCALE 1/4"=1'-0"



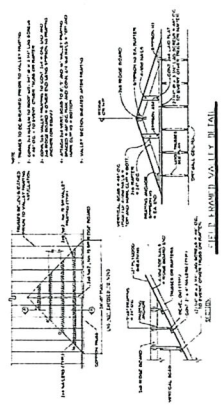
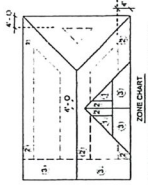
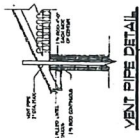
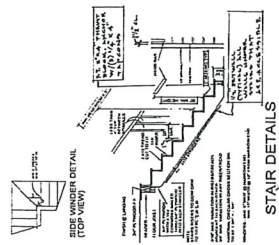
FLOOR SHEATHING
 3/4" TAG PLYWOOD GLUE NAIL
 USE 80 NAILS @ O.C. EDGES
 80 NAILS @ O.C. INTERIOR

WALL SHEATHING
 1/2" CDX PLYWOOD @ 7/16" OSB
 USE 80 NAILS @ O.C. EDGES
 80 NAILS @ O.C. INTERIOR

MISCELLANEOUS DETAILS

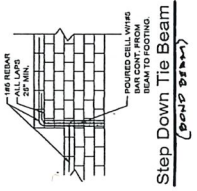
MATERIAL SCHEDULE

NO.	DESCRIPTION	QUANTITY	UNIT
1	3/4" TAG PLYWOOD		SQ. FT.
2	1/2" CDX PLYWOOD		SQ. FT.
3	7/16" OSB		SQ. FT.
4	2x4 STUDS		LF
5	2x6 STUDS		LF
6	2x8 STUDS		LF
7	2x10 STUDS		LF
8	2x12 STUDS		LF
9	2x14 STUDS		LF
10	2x16 STUDS		LF
11	2x18 STUDS		LF
12	2x20 STUDS		LF
13	2x22 STUDS		LF
14	2x24 STUDS		LF
15	2x26 STUDS		LF
16	2x28 STUDS		LF
17	2x30 STUDS		LF
18	2x32 STUDS		LF
19	2x34 STUDS		LF
20	2x36 STUDS		LF
21	2x38 STUDS		LF
22	2x40 STUDS		LF
23	2x42 STUDS		LF
24	2x44 STUDS		LF
25	2x46 STUDS		LF
26	2x48 STUDS		LF
27	2x50 STUDS		LF
28	2x52 STUDS		LF
29	2x54 STUDS		LF
30	2x56 STUDS		LF
31	2x58 STUDS		LF
32	2x60 STUDS		LF
33	2x62 STUDS		LF
34	2x64 STUDS		LF
35	2x66 STUDS		LF
36	2x68 STUDS		LF
37	2x70 STUDS		LF
38	2x72 STUDS		LF
39	2x74 STUDS		LF
40	2x76 STUDS		LF
41	2x78 STUDS		LF
42	2x80 STUDS		LF
43	2x82 STUDS		LF
44	2x84 STUDS		LF
45	2x86 STUDS		LF
46	2x88 STUDS		LF
47	2x90 STUDS		LF
48	2x92 STUDS		LF
49	2x94 STUDS		LF
50	2x96 STUDS		LF
51	2x98 STUDS		LF
52	2x100 STUDS		LF



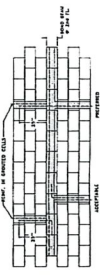
ROOF DETAILS

HUEY + KARPEN BLACK MAN



HEADER SCHEDULE

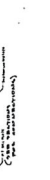
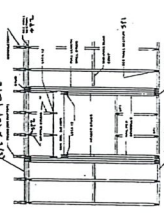
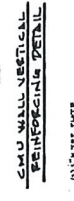
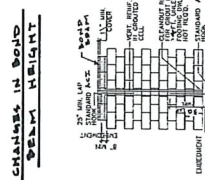
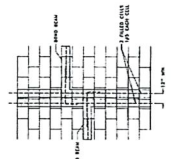
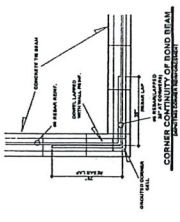
SPACING	NON-BEARING WALL	NON-BEARING WALL
8" TO 12" @ 8"	2-2X4S	2-2X4S
12" TO 16"	2-2X6S	2-2X6S
16" TO 20"	2-2X8S	2-2X8S
20" TO 24"	2-2X10S	2-2X10S
24" TO 28"	2-2X12S	2-2X12S
28" TO 32"	2-2X14S	2-2X14S
32" TO 36"	2-2X16S	2-2X16S
36" TO 40"	2-2X18S	2-2X18S
40" TO 44"	2-2X20S	2-2X20S
44" TO 48"	2-2X22S	2-2X22S
48" TO 52"	2-2X24S	2-2X24S
52" TO 56"	2-2X26S	2-2X26S
56" TO 60"	2-2X28S	2-2X28S
60" TO 64"	2-2X30S	2-2X30S
64" TO 68"	2-2X32S	2-2X32S
68" TO 72"	2-2X34S	2-2X34S
72" TO 76"	2-2X36S	2-2X36S
76" TO 80"	2-2X38S	2-2X38S
80" TO 84"	2-2X40S	2-2X40S
84" TO 88"	2-2X42S	2-2X42S
88" TO 92"	2-2X44S	2-2X44S
92" TO 96"	2-2X46S	2-2X46S
96" TO 100"	2-2X48S	2-2X48S
100" TO 104"	2-2X50S	2-2X50S
104" TO 108"	2-2X52S	2-2X52S
108" TO 112"	2-2X54S	2-2X54S
112" TO 116"	2-2X56S	2-2X56S
116" TO 120"	2-2X58S	2-2X58S
120" TO 124"	2-2X60S	2-2X60S
124" TO 128"	2-2X62S	2-2X62S
128" TO 132"	2-2X64S	2-2X64S
132" TO 136"	2-2X66S	2-2X66S
136" TO 140"	2-2X68S	2-2X68S
140" TO 144"	2-2X70S	2-2X70S
144" TO 148"	2-2X72S	2-2X72S
148" TO 152"	2-2X74S	2-2X74S
152" TO 156"	2-2X76S	2-2X76S
156" TO 160"	2-2X78S	2-2X78S
160" TO 164"	2-2X80S	2-2X80S
164" TO 168"	2-2X82S	2-2X82S
168" TO 172"	2-2X84S	2-2X84S
172" TO 176"	2-2X86S	2-2X86S
176" TO 180"	2-2X88S	2-2X88S
180" TO 184"	2-2X90S	2-2X90S
184" TO 188"	2-2X92S	2-2X92S
188" TO 192"	2-2X94S	2-2X94S
192" TO 196"	2-2X96S	2-2X96S
196" TO 200"	2-2X98S	2-2X98S
200" TO 204"	2-2X100S	2-2X100S



LIMITING HEIGHT OF STUDS

STUD SIZE	MAX. HEIGHT
2x4	10'
2x6	12'
2x8	14'
2x10	16'
2x12	18'
2x14	20'
2x16	22'
2x18	24'
2x20	26'
2x22	28'
2x24	30'
2x26	32'
2x28	34'
2x30	36'
2x32	38'
2x34	40'
2x36	42'
2x38	44'
2x40	46'
2x42	48'
2x44	50'
2x46	52'
2x48	54'
2x50	56'
2x52	58'
2x54	60'
2x56	62'
2x58	64'
2x60	66'
2x62	68'
2x64	70'
2x66	72'
2x68	74'
2x70	76'
2x72	78'
2x74	80'
2x76	82'
2x78	84'
2x80	86'
2x82	88'
2x84	90'
2x86	92'
2x88	94'
2x90	96'
2x92	98'
2x94	100'
2x96	102'
2x98	104'
2x100	106'

ALL STUDS TO BE AIR AT ALL EXTERIOR INTERFACES WITH THE ROOF/FLOOR



WALL DETAILS

FOOTING DETAILS

