

SAVANNAH PRESERVE

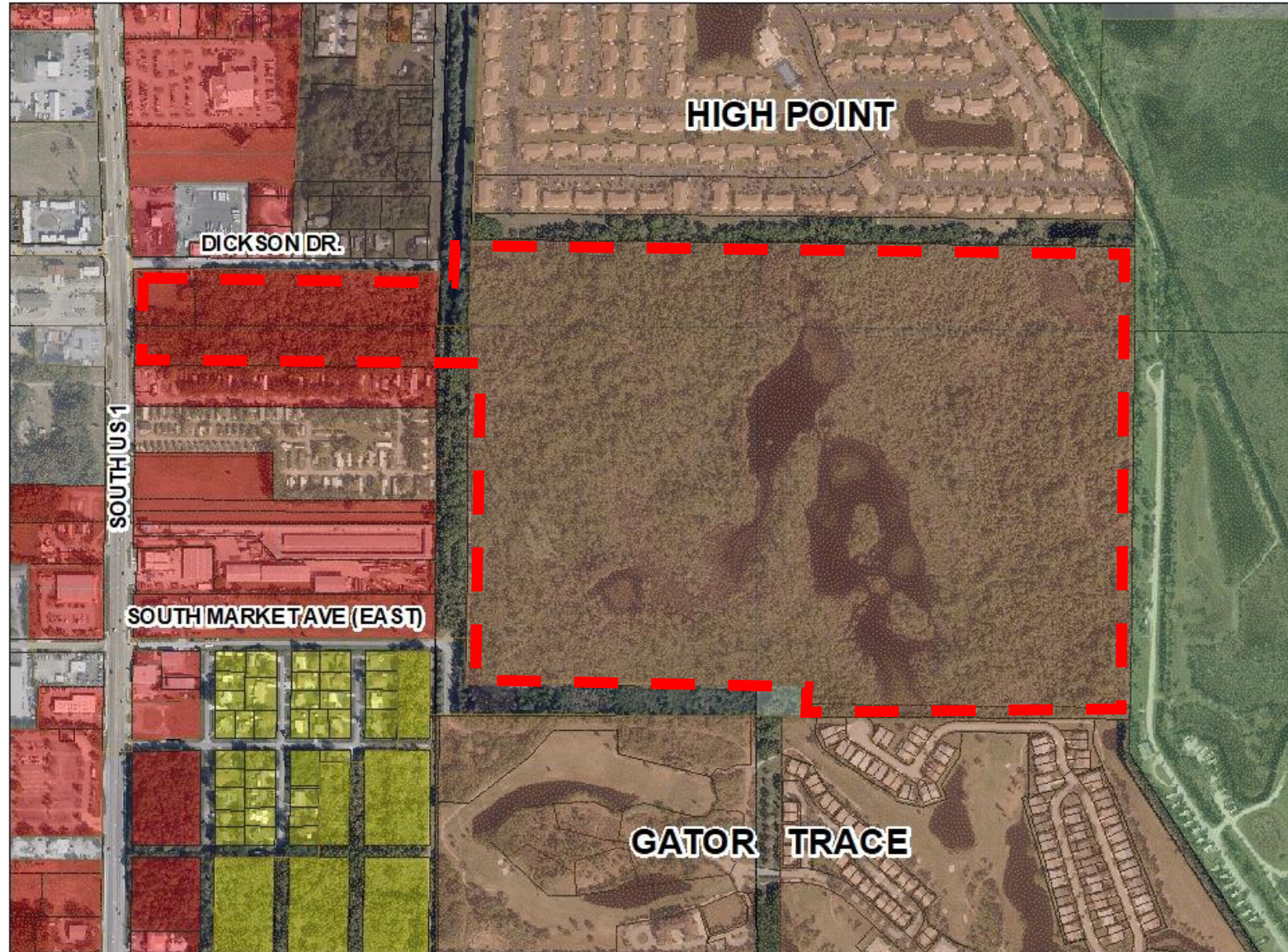
BY

KOLTERLAND



SAVANNAH PRESERVE

KOLTERLAND



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KOLTERLAND


Legend

 Municipalities

FTP LAND USE

FUTURE_LAN


 CG

 I

 OSC

 RH

 RL

 RM

SLC FUTURE LAND USE

FLUCode

 COM

 IND

 RH

 RM

 RU



SAVANNAH PRESERVE

KOLTERLAND


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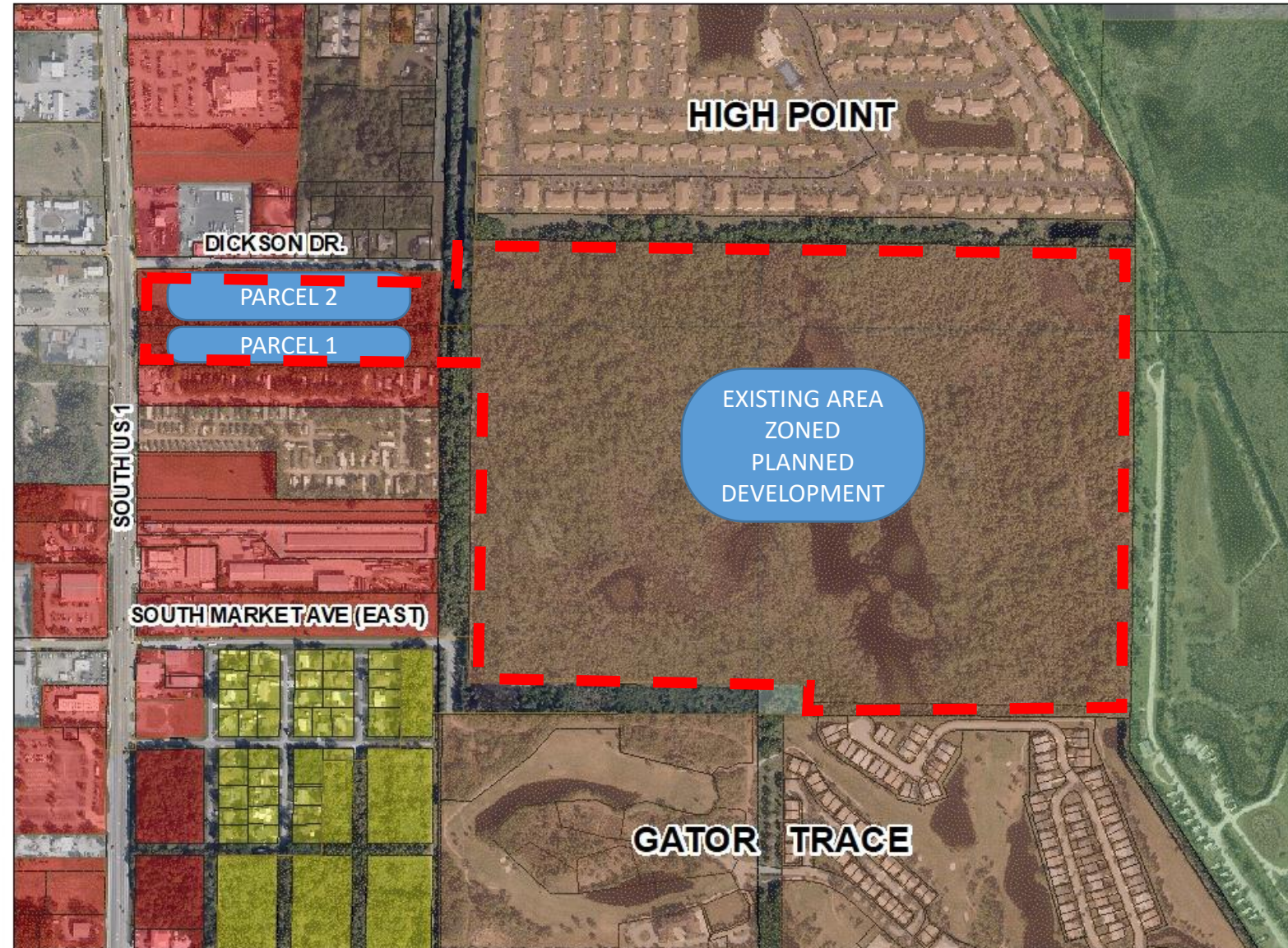
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
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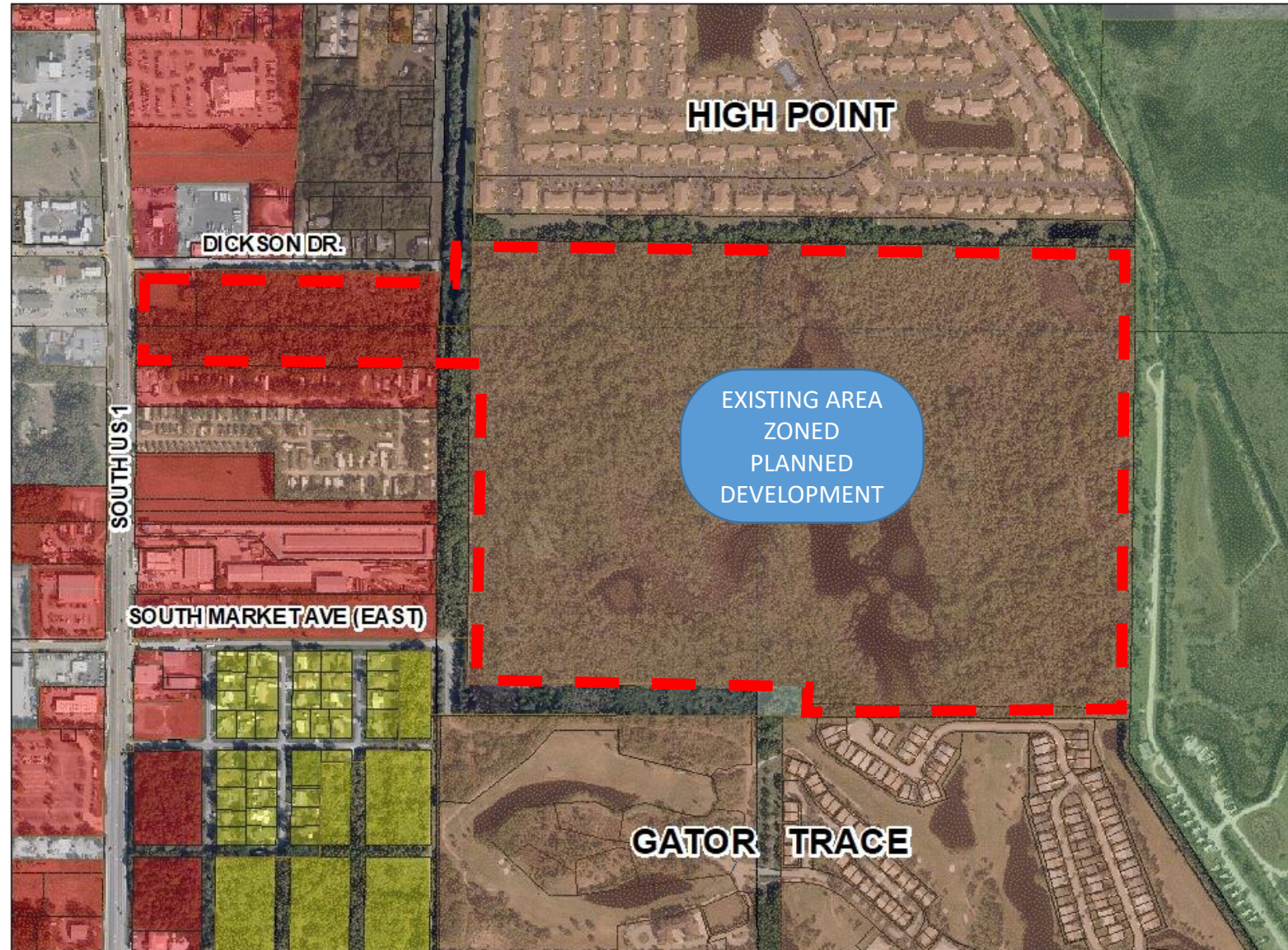
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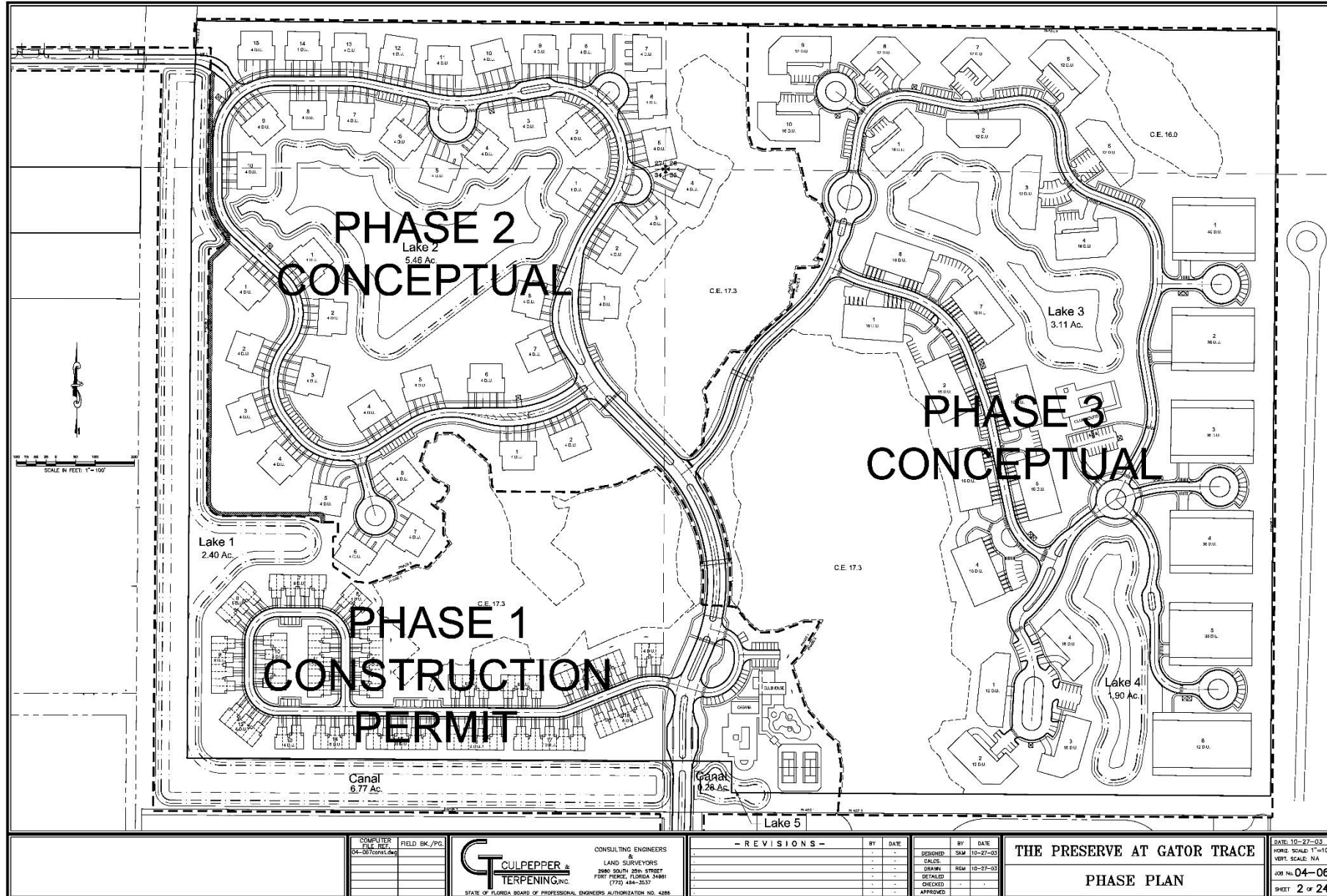
 RM

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SAVANNAH PRESERVE

KOLTERLAND



- 850 units (maximum)
- Highest density along the Savannahs
- Multi-Buildings in excess of 3 floors.
- Access via Gator Trace Blvd.
- Emergency Access In Northwest corner
- Extensive Wetland Impacts

COMPUTER FILE: 04-067.consl.dwg	FIELD BK./PG.

GT CULPEPPER & TERPENING INC.

CONSULTING ENGINEERS & LAND SURVEYORS
 2800 SOUTH 25th STREET
 FORT PIERCE, FLORIDA 34901
 (772) 464-3237

STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

- REVISIONS -		BY	DATE

DESIGNED	BY	DATE
SKM	SKM	10-27-03
DRAWN	RM	10-27-03
CHECKED		
APPROVED		

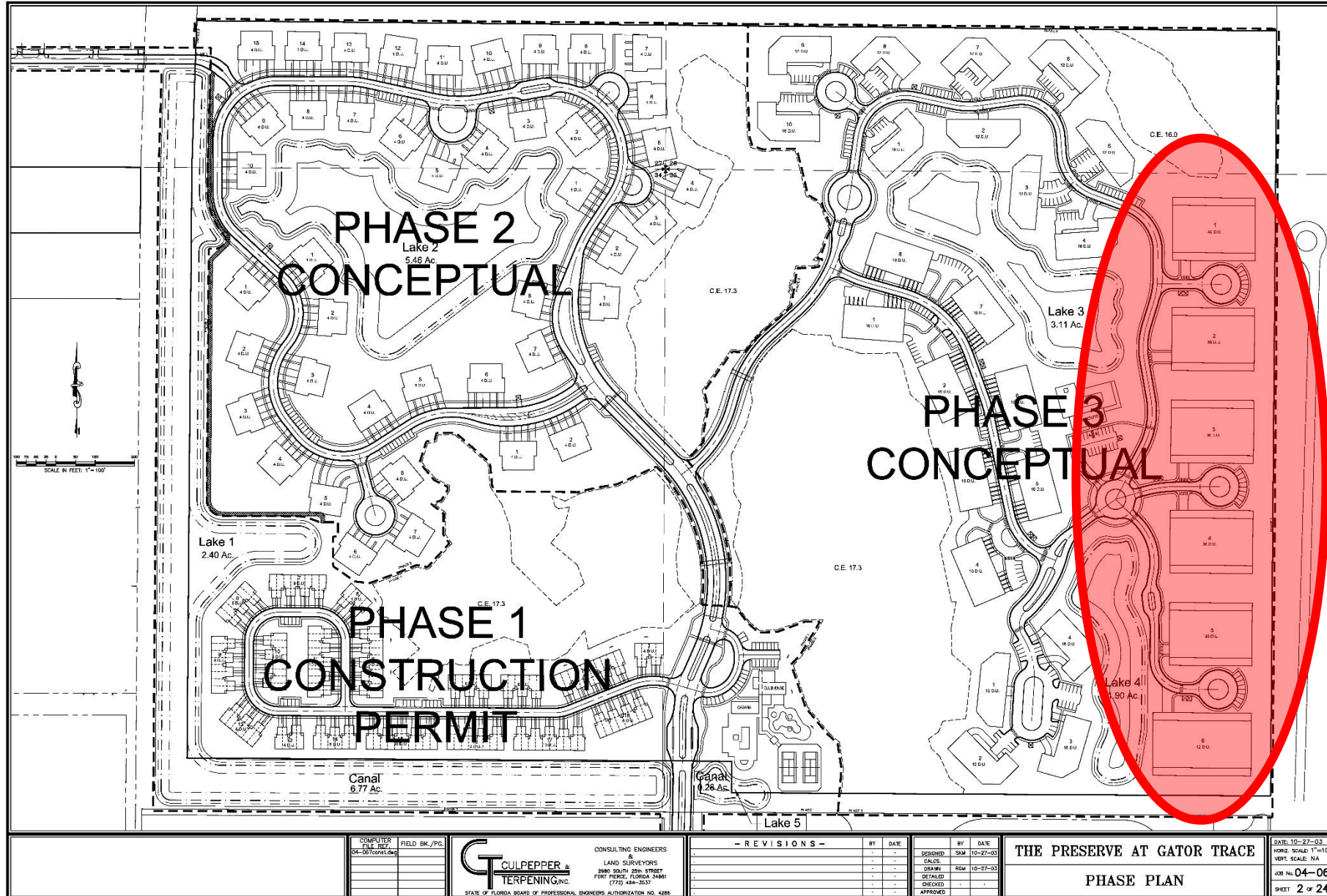
THE PRESERVE AT GATOR TRACE

PHASE PLAN

DATE: 10-27-03
WORK SCALE: 1"=100'
VERT. SCALE: N/A
JOB No. 04-067
SHEET 2 of 24

SAVANNAH PRESERVE

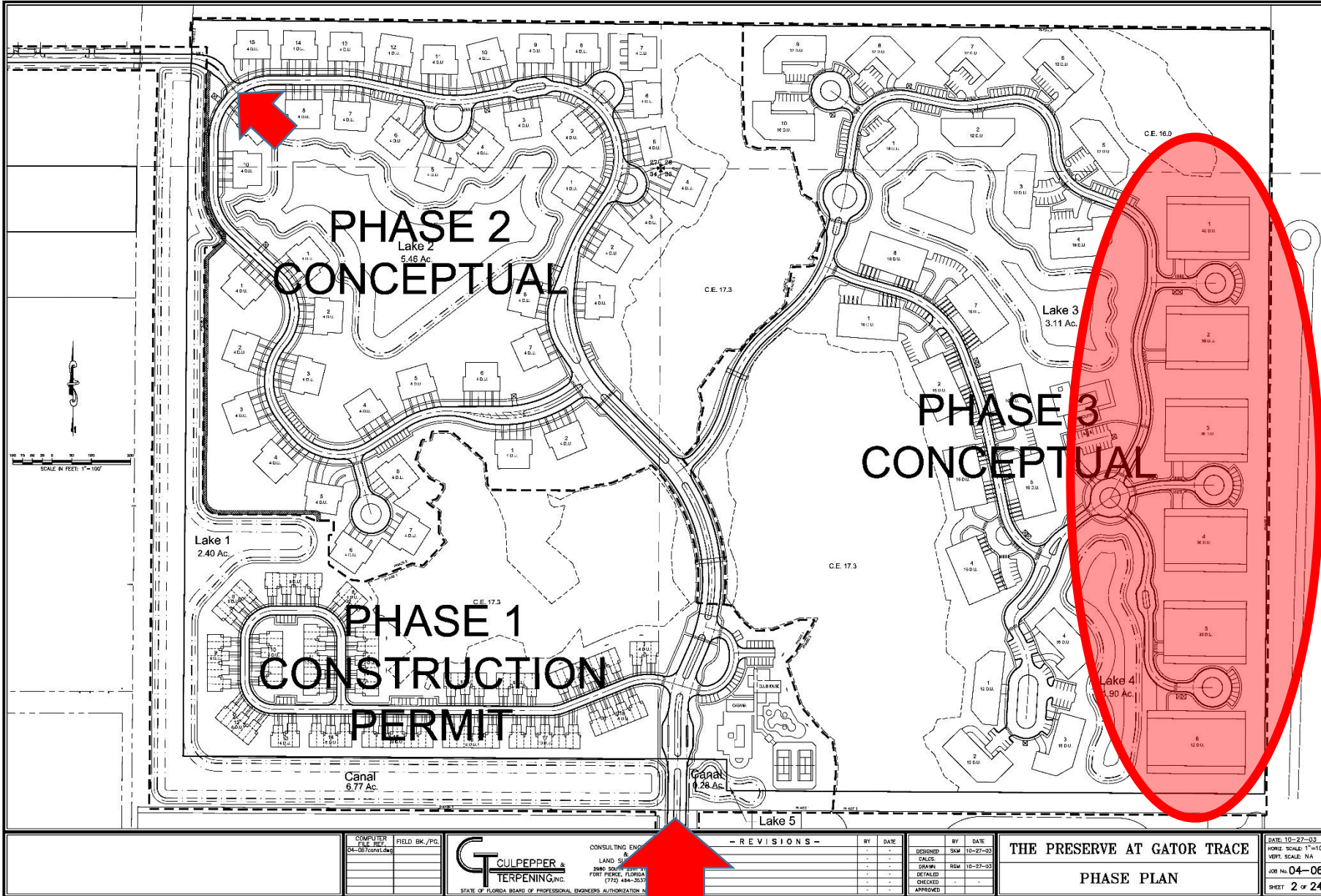
KOLTERLAND



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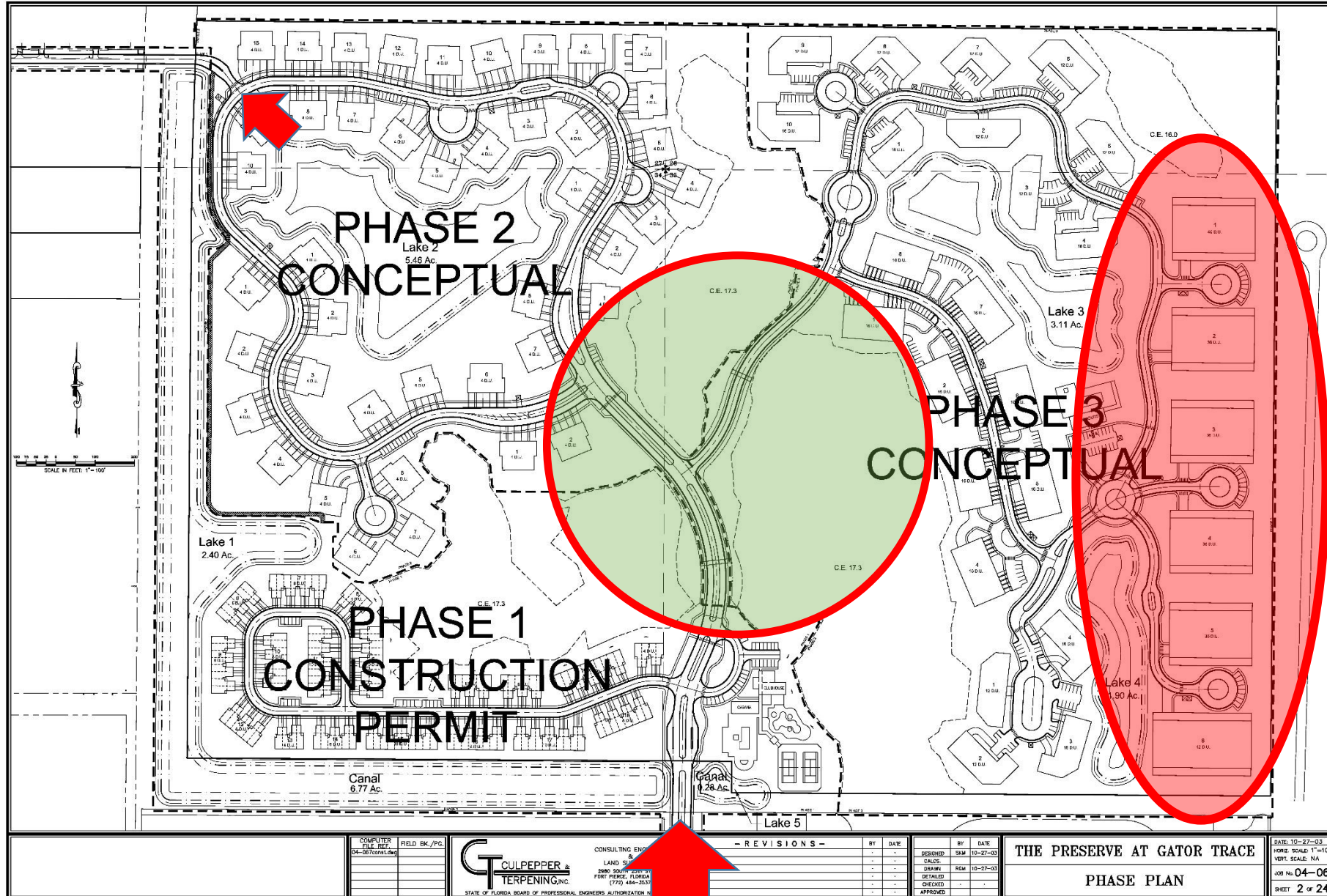


- 850 units (maximum)
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COMPUTER FILE: 04-067.consl.dwg	FIELD BK./PG.	 CONSULTING ENGINEERS & ARCHITECTS 2800 SOUTH FEDERAL ROAD FORT PIERCE, FLORIDA 34946 (772) 464-3232	- REVISIONS -		BY	DATE	DESIGNED	SKM	10-27-03	THE PRESERVE AT GATOR TRACE PHASE PLAN	DATE: 10-27-03
			BY	DATE	CALC.			10-27-03	WORK SCALE: 1"=100'		JOB No. 04-067
				DRAWN			10-27-03		SHEET 2 of 24		
				DETAILED							
				CHECKED							
				APPROVED							

SAVANNAH PRESERVE

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
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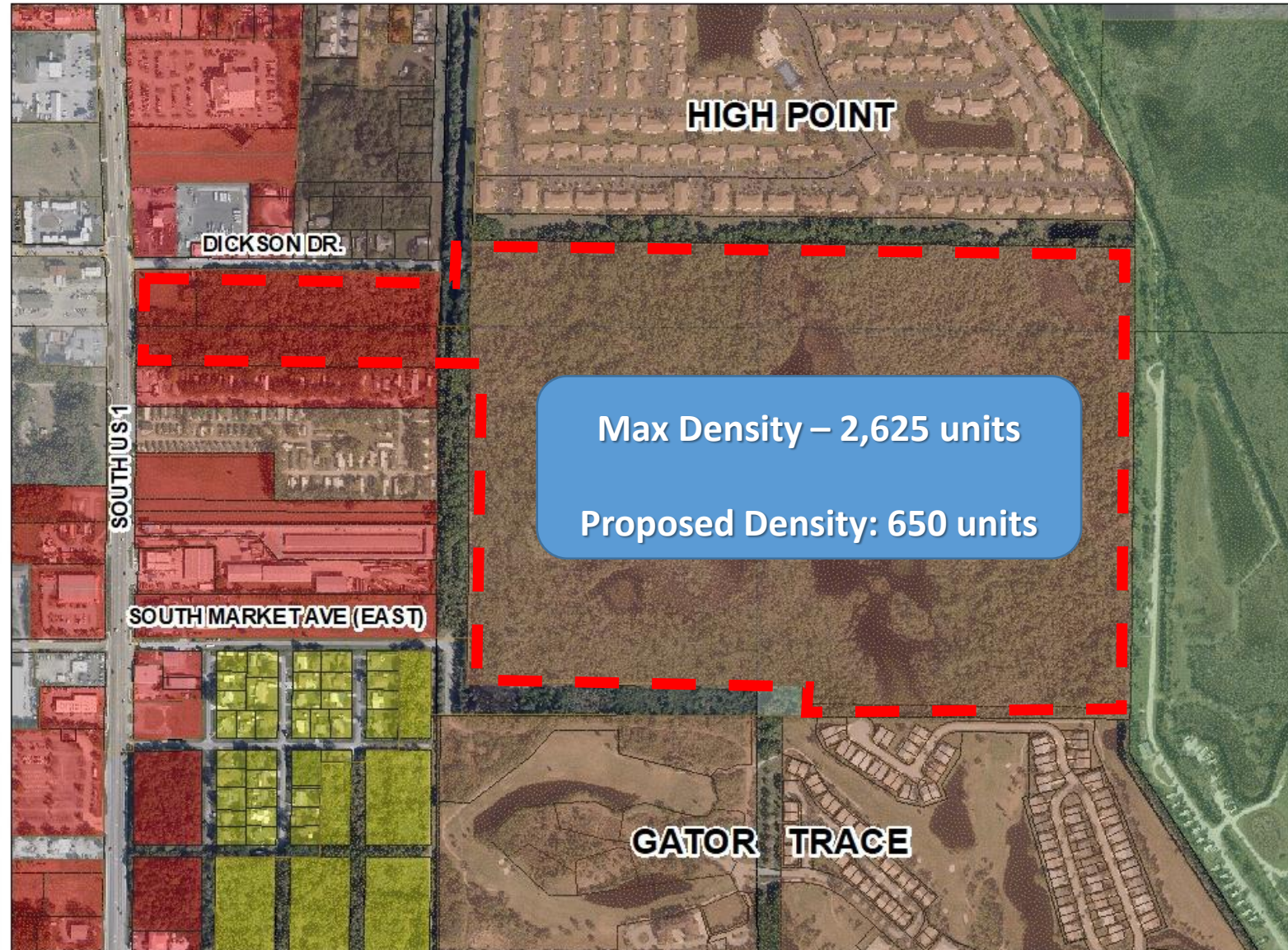
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
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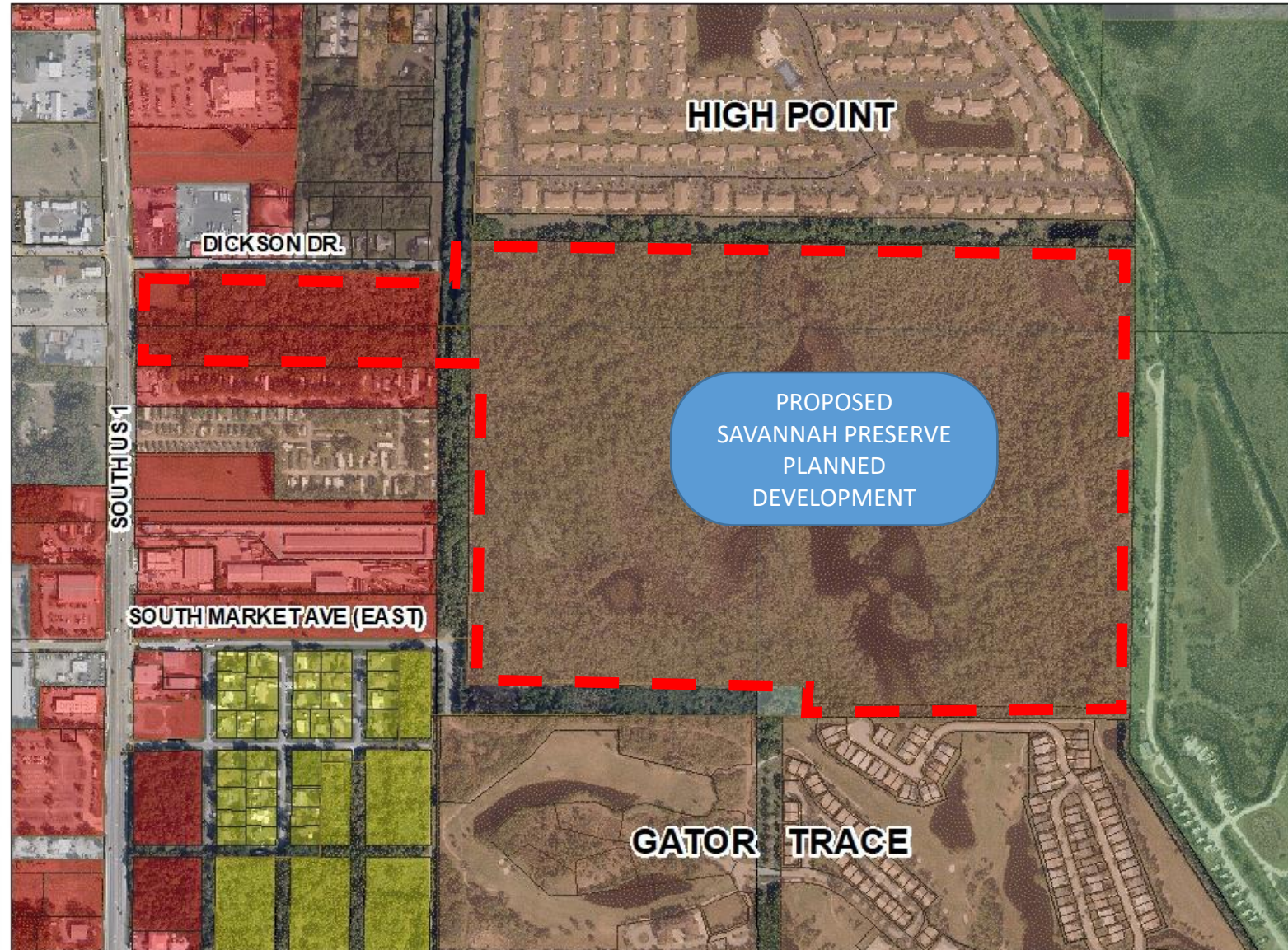
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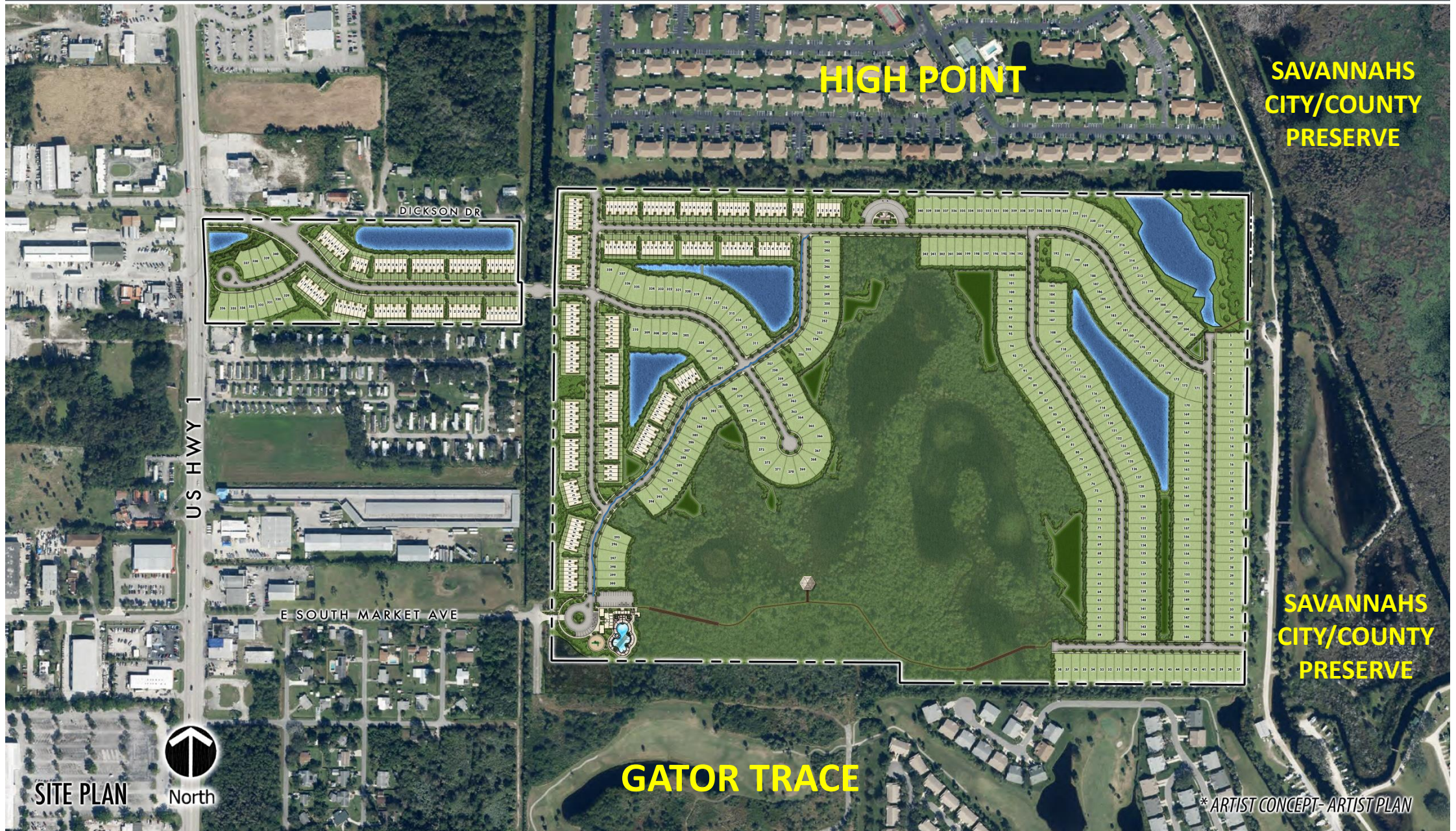
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HIGH POINT

**SAVANNAHS
CITY/COUNTY
PRESERVE**

DICKSON DR

US HWY 1

E SOUTH MARKET AVE

GATOR TRACE

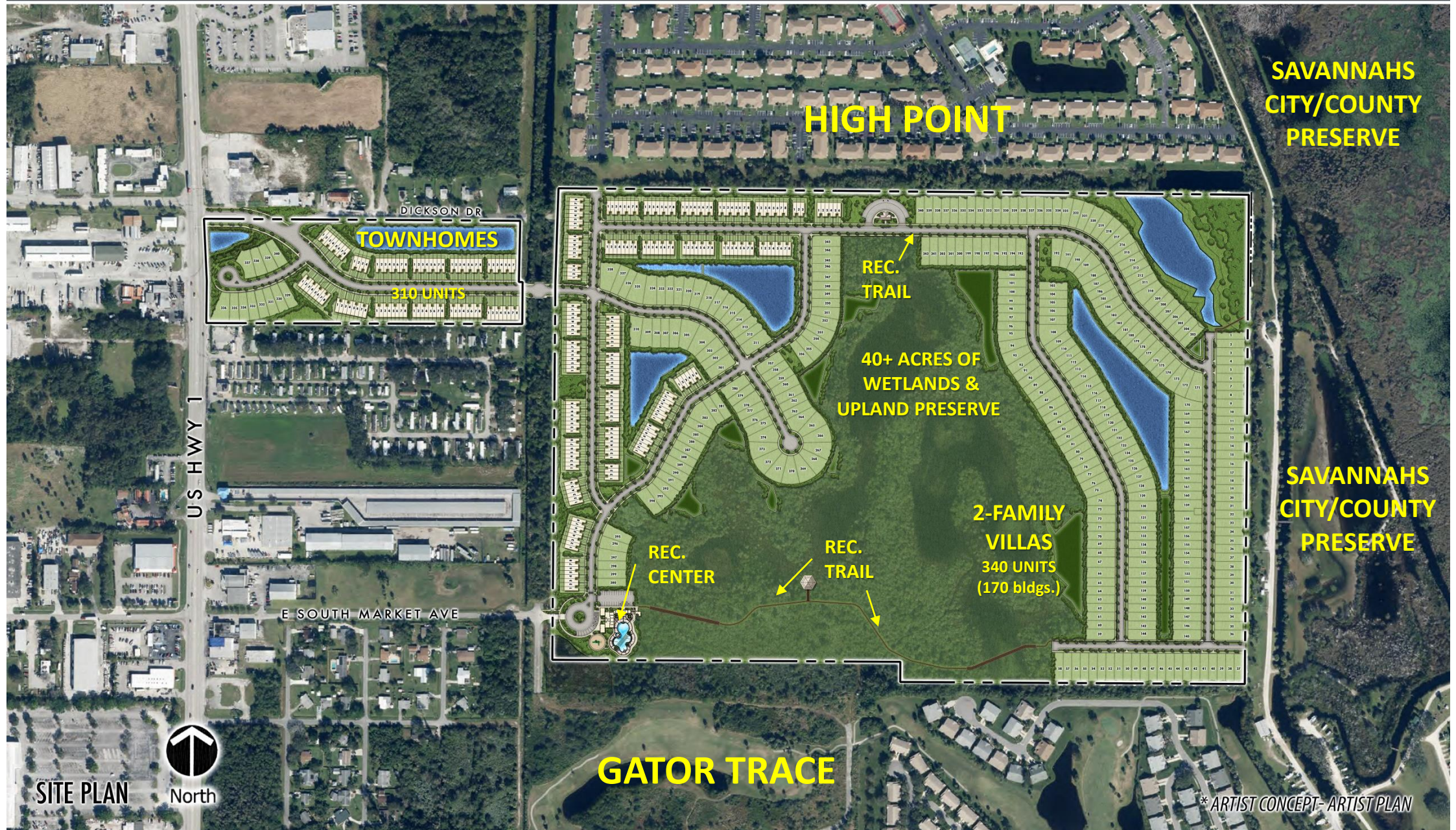
**SAVANNAHS
CITY/COUNTY
PRESERVE**

SITE PLAN



North

* ARTIST CONCEPT- ARTIST PLAN



SITE PLAN



North

* ARTIST CONCEPT - ARTIST PLAN





HIGH POINT

TOWNHOMES
310 UNITS

REC. TRAIL

40+ ACRES OF WETLANDS & UPLAND PRESERVE

REC. CENTER

REC. TRAIL

2-FAMILY VILLAS
340 UNITS

SAVANNAHS CITY/COUNTY PRESERVE

EAST COAST GREENWAY

CONNECTION TO REGIONAL PARKS AND TRAILS

SAVANNAHS CITY/COUNTY PRESERVE

CONNECTION TO REGIONAL PARKS AND TRAILS

GATOR TRACE

SITE PLAN



North

* ARTIST CONCEPT - ARTIST PLAN

SAVANNAH PRESERVE

KOLTERLAND

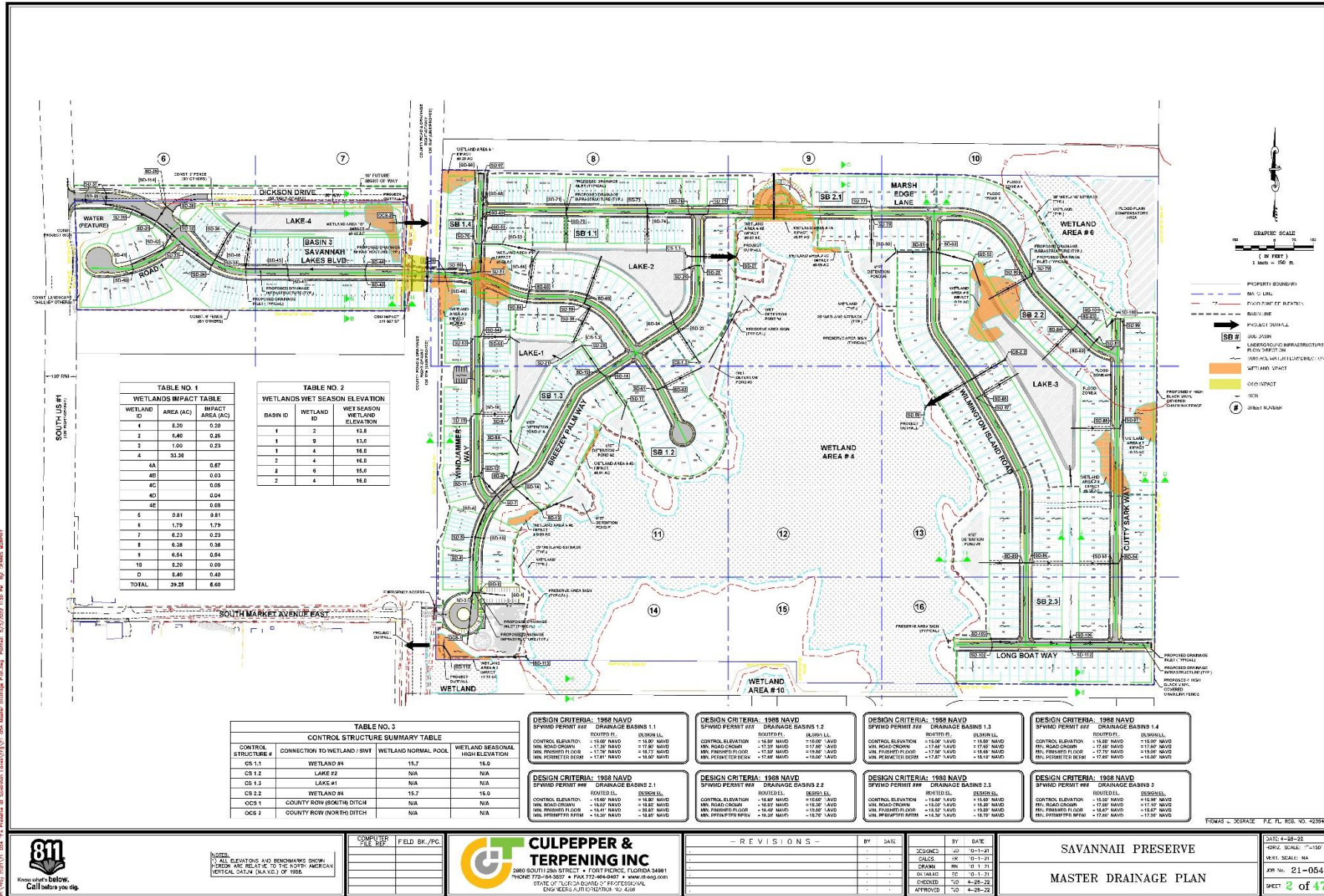


TABLE NO. 1
WETLANDS IMPACT TABLE

WETLAND ID	AREA (AC)	IMPACT AREA (AC)
1	0.20	0.20
2	6.40	0.26
3	1.00	0.23
4	31.38	0.67
4A		0.03
4B		0.03
4C		0.05
4D		0.04
5	0.81	0.81
6	1.79	1.79
7	0.23	0.23
8	0.38	0.38
9	0.54	0.54
10	0.20	0.09
D	0.40	0.40
TOTAL	39.25	6.60

TABLE NO. 2
WETLANDS WET SEASON ELEVATION

WETLAND ID	WETLAND #	WET SEASON WETLAND ELEVATION
1	2	15.8
1	9	13.0
1	4	16.0
2	4	16.0
2	6	16.0
2	4	16.0

TABLE NO. 3
CONTROL STRUCTURE SUMMARY TABLE

CONTROL STRUCTURE #	CONNECTION TO WETLAND / SWF	WETLAND NORMAL POOL	WETLAND SEASONAL HIGH ELEVATION
CS 1.1	LAKE #2	15.7	15.0
CS 1.2	LAKE #2	N/A	N/A
CS 1.3	LAKE #1	N/A	N/A
CS 2.2	WETLAND #6	15.7	16.0
OCS 1	COUNTY ROW (BOTH) DITCH	N/A	N/A
OCS 2	COUNTY ROW (NORTH) DITCH	N/A	N/A

DESIGN CRITERIA: 1988 NAVD
SPWWD PERMIT #11 DRAINAGE BASINS 1.1

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.30' NAVD	-16.90' NAVD
MIN. FINISHED FLOOR	-17.30' NAVD	-17.30' NAVD
MIN. PERIMETER BEAM	-17.81' NAVD	-18.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWWD PERMIT #11 DRAINAGE BASINS 1.2

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.30' NAVD	-17.00' NAVD
MIN. FINISHED FLOOR	-17.30' NAVD	-17.30' NAVD
MIN. PERIMETER BEAM	-17.81' NAVD	-18.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWWD PERMIT #11 DRAINAGE BASINS 1.3

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.30' NAVD	-17.00' NAVD
MIN. FINISHED FLOOR	-17.30' NAVD	-17.30' NAVD
MIN. PERIMETER BEAM	-17.81' NAVD	-18.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWWD PERMIT #11 DRAINAGE BASINS 1.4

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.30' NAVD	-17.00' NAVD
MIN. FINISHED FLOOR	-17.30' NAVD	-17.30' NAVD
MIN. PERIMETER BEAM	-17.81' NAVD	-18.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWWD PERMIT #11 DRAINAGE BASINS 2.1

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-16.30' NAVD	-16.00' NAVD
MIN. FINISHED FLOOR	-16.30' NAVD	-16.30' NAVD
MIN. PERIMETER BEAM	-16.80' NAVD	-16.80' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWWD PERMIT #11 DRAINAGE BASINS 2.2

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-16.30' NAVD	-16.00' NAVD
MIN. FINISHED FLOOR	-16.30' NAVD	-16.30' NAVD
MIN. PERIMETER BEAM	-16.80' NAVD	-16.80' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWWD PERMIT #11 DRAINAGE BASINS 2.3

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-16.30' NAVD	-16.00' NAVD
MIN. FINISHED FLOOR	-16.30' NAVD	-16.30' NAVD
MIN. PERIMETER BEAM	-16.80' NAVD	-16.80' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWWD PERMIT #11 DRAINAGE BASINS 3

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.30' NAVD	-17.00' NAVD
MIN. FINISHED FLOOR	-17.30' NAVD	-17.30' NAVD
MIN. PERIMETER BEAM	-17.81' NAVD	-18.00' NAVD



NOTES:
1. ALL ELEVATIONS AND DIMENSIONS SHOWN HEREIN ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.

COMPUTER
FIELD BK./PC.

CULPEPPER & TERPENING INC.
2080 SOUTH DIXIE STREET • FORT PIERCE, FLORIDA 34981
PHONE 772-64-5857 • FAX 772-64-8487 • WWW.C&T-INC.COM
STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTH. #12327-00-0168

REVISIONS

NO.	DESCRIPTION	BY	DATE
1	SCHEMATIC	JD	10-11-21
2	CALC.	RY	10-11-21
3	CRANK	RM	10-11-21
4	FINAL	TD	10-11-21
5	CHECKED	TD	4-28-22
6	APPROVED	TD	4-28-22

SAVANNAH PRESERVE
MASTER DRAINAGE PLAN

DATE: 4-28-22
SCALE: 1"=150'
JOB NO: 21-054
SHEET 2 OF 47



SAVANNAH PRESERVE

KOLTERLAND

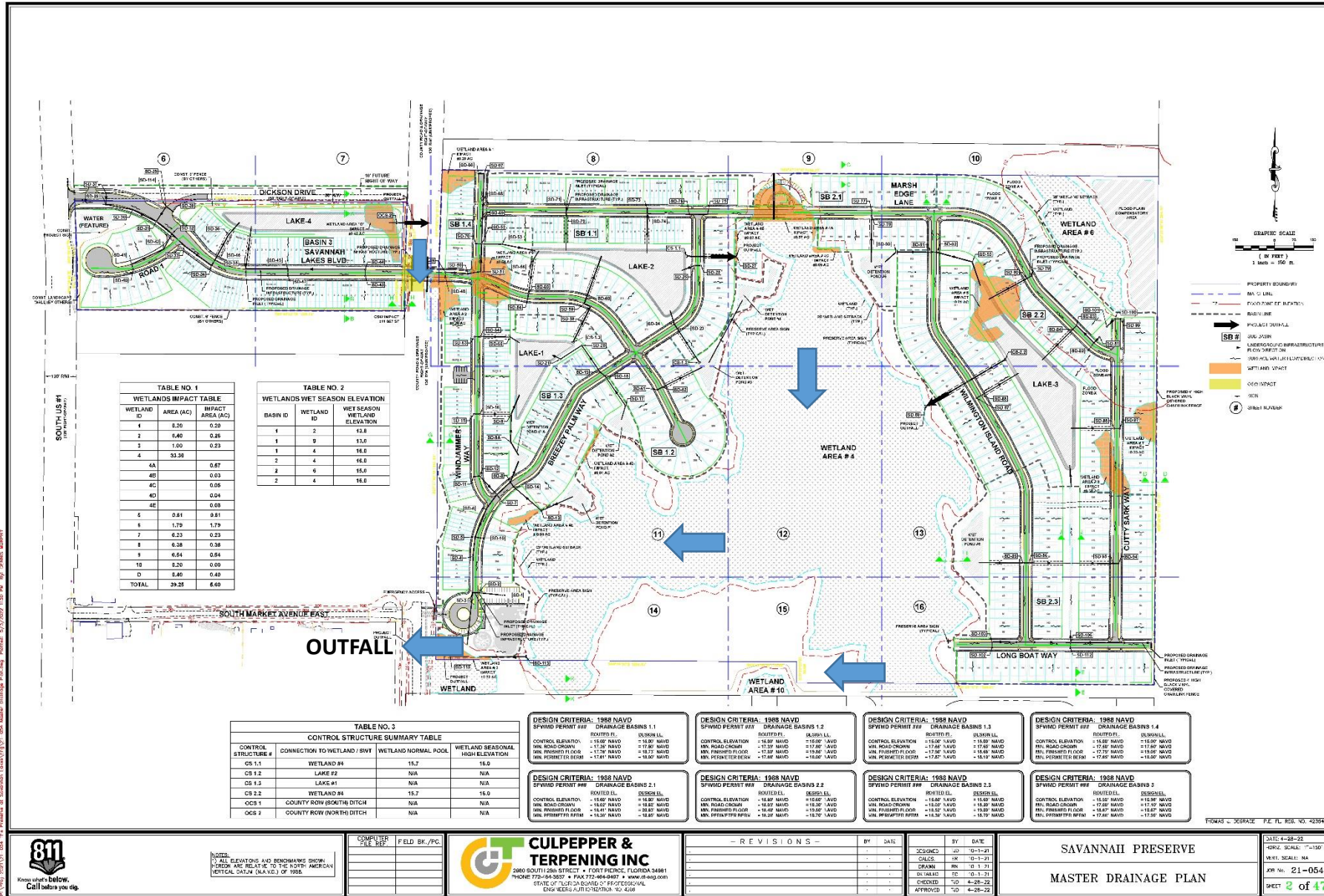


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CS 2.2	WETLAND #6	15.7	16.0
OCS 1	COUNTY ROW (NON THY DITCH)	N/A	N/A
OCS 2	COUNTY ROW (NON THY DITCH)	N/A	N/A

DESIGN CRITERIA: 1988 NAVD
SPWING PERMIT #11 DRAINAGE BASINS 1.1

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.50' NAVD	-16.00' NAVD
MIN. FINISHED FLOOR	-17.50' NAVD	-15.80' NAVD
MIN. PERIMETER BEAM	-17.80' NAVD	-16.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWING PERMIT #11 DRAINAGE BASINS 1.2

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.50' NAVD	-15.00' NAVD
MIN. FINISHED FLOOR	-17.50' NAVD	-15.80' NAVD
MIN. PERIMETER BEAM	-17.80' NAVD	-16.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWING PERMIT #11 DRAINAGE BASINS 1.3

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.50' NAVD	-15.00' NAVD
MIN. FINISHED FLOOR	-17.50' NAVD	-15.80' NAVD
MIN. PERIMETER BEAM	-17.80' NAVD	-16.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWING PERMIT #11 DRAINAGE BASINS 1.4

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.50' NAVD	-15.00' NAVD
MIN. FINISHED FLOOR	-17.50' NAVD	-15.80' NAVD
MIN. PERIMETER BEAM	-17.80' NAVD	-16.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWING PERMIT #11 DRAINAGE BASINS 2.1

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-16.00' NAVD	-16.00' NAVD
MIN. FINISHED FLOOR	-16.00' NAVD	-16.00' NAVD
MIN. PERIMETER BEAM	-16.00' NAVD	-16.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWING PERMIT #11 DRAINAGE BASINS 2.2

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-16.00' NAVD	-16.00' NAVD
MIN. FINISHED FLOOR	-16.00' NAVD	-16.00' NAVD
MIN. PERIMETER BEAM	-16.00' NAVD	-16.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWING PERMIT #11 DRAINAGE BASINS 2.3

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-16.00' NAVD	-16.00' NAVD
MIN. FINISHED FLOOR	-16.00' NAVD	-16.00' NAVD
MIN. PERIMETER BEAM	-16.00' NAVD	-16.00' NAVD

DESIGN CRITERIA: 1988 NAVD
SPWING PERMIT #11 DRAINAGE BASINS 3

CONTROL ELEVATION	ROUDED ILL.	DESIGN ILL.
MIN. ROAD CROWN	-17.50' NAVD	-15.00' NAVD
MIN. FINISHED FLOOR	-17.50' NAVD	-15.80' NAVD
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STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTH. #12124704-00-0168

REVISIONS

NO.	DATE	BY	DATE	BY
1	10-1-21	SC	10-1-21	SC
2	10-1-21	SC	10-1-21	SC
3	10-1-21	SC	10-1-21	SC
4	10-1-21	SC	10-1-21	SC
5	10-1-21	SC	10-1-21	SC
6	10-1-21	SC	10-1-21	SC
7	10-1-21	SC	10-1-21	SC
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87	10-1-21	SC	10-1-21	SC
88	10-1-21	SC	10-1-21	SC
89	10-1-21	SC	10-1-21	SC
90	10-1-21	SC	10-1-21	SC
91	10-1-21	SC	10-1-21	SC
92	10-1-21	SC	10-1-21	SC
93	10-1-21	SC	10-1-21	SC
94	10-1-21	SC	10-1-21	SC
95	10-1-21	SC	10-1-21	SC
96	10-1-21	SC	10-1-21	SC
97	10-1-21	SC	10-1-21	SC
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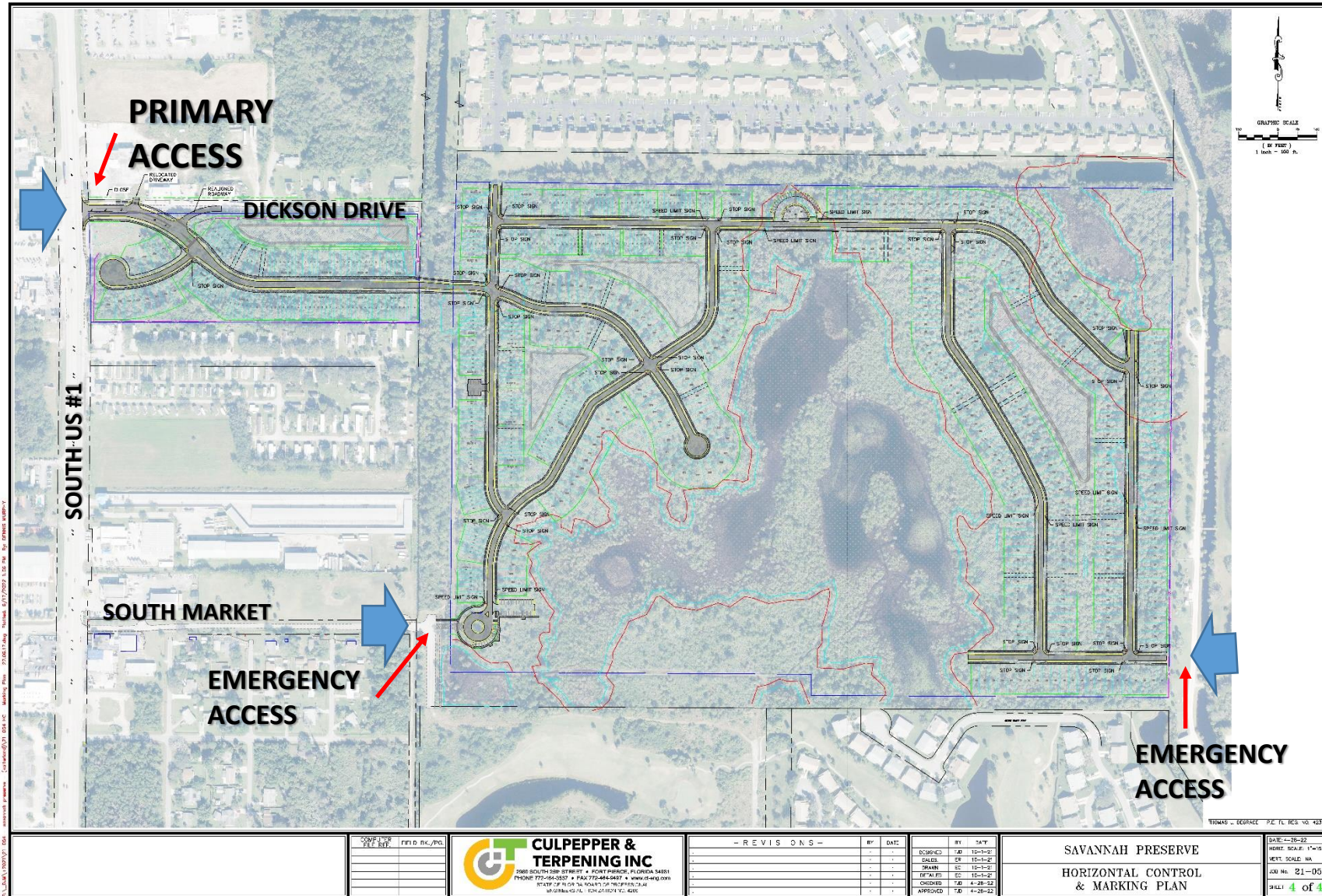
SAVANNAH PRESERVE
MASTER DRAINAGE PLAN

SHEET 2 OF 47



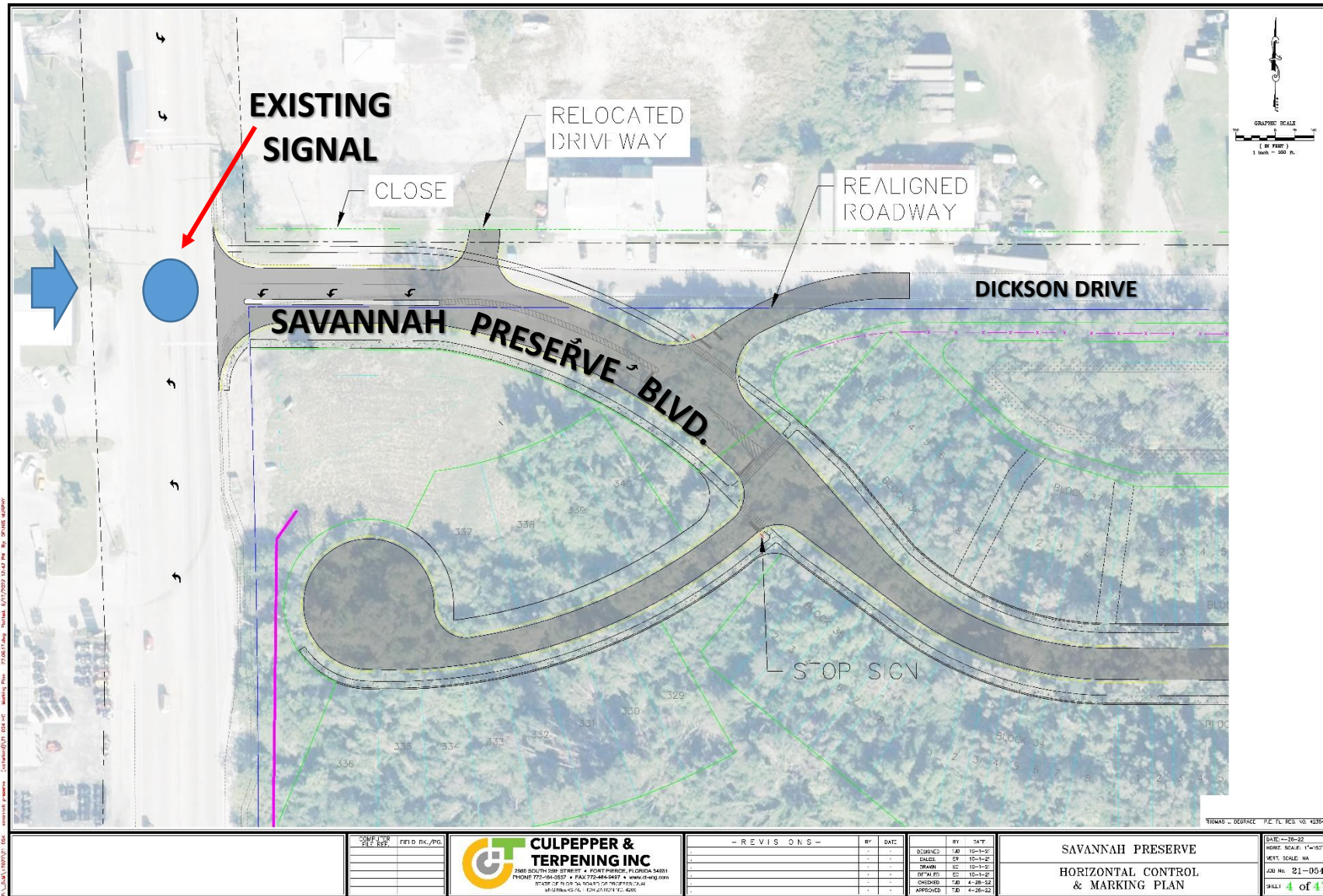
SAVANNAH PRESERVE

KOLTERLAND



SAVANNAH PRESERVE

KOLTERLAND



SAVANNAH PRESERVE - C:\Users\jterpening\OneDrive\Documents\SAVANNAH PRESERVE - 10/17/2023 10:42 PM By: J. TERPENING, M.SURVEYOR

DATE	BY	DATE	BY


CULPEPPER & TERPENING INC.
 3981 BUCKINGHAM STREET • SUITE 100 • PALM BEACH, FLORIDA 33481
 PHONE 772-961-8837 • FAX 772-466-6487 • WWW.C&T-INC.COM
 10/17/2023 10:42 PM By: J. TERPENING, M.SURVEYOR

- REVISIONS -		BY	DATE

DATE	BY	DATE	BY

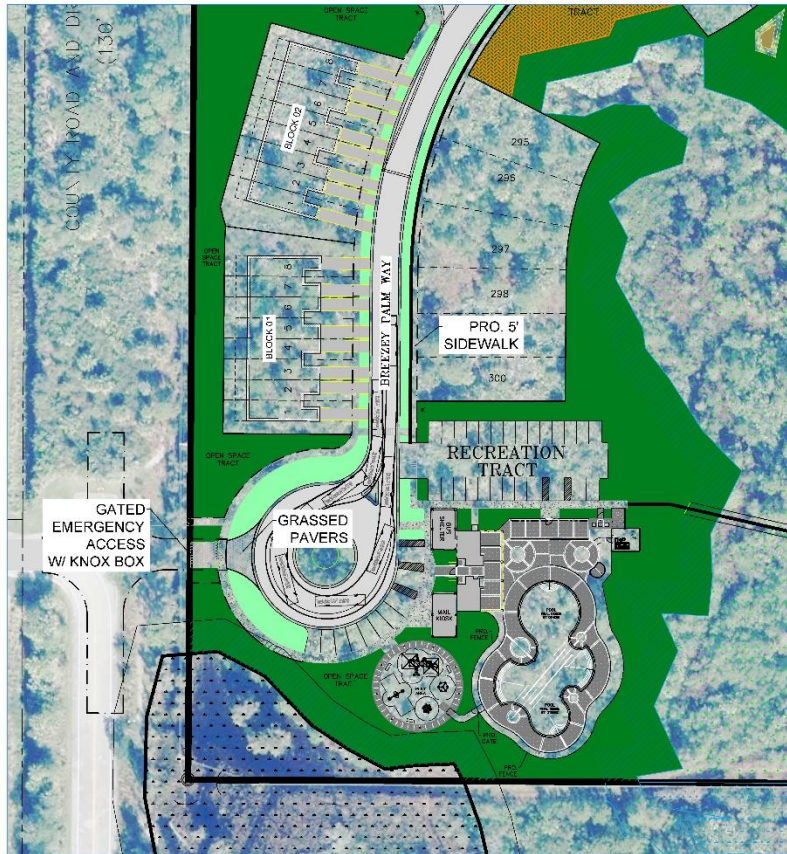
SAVANNAH PRESERVE
 HORIZONTAL CONTROL
 & MARKING PLAN

DATE: 10-28-22
 HORZ. SCALE: 1"=100'
 SHEET NO. 21-054
 SHEET 4 of 47

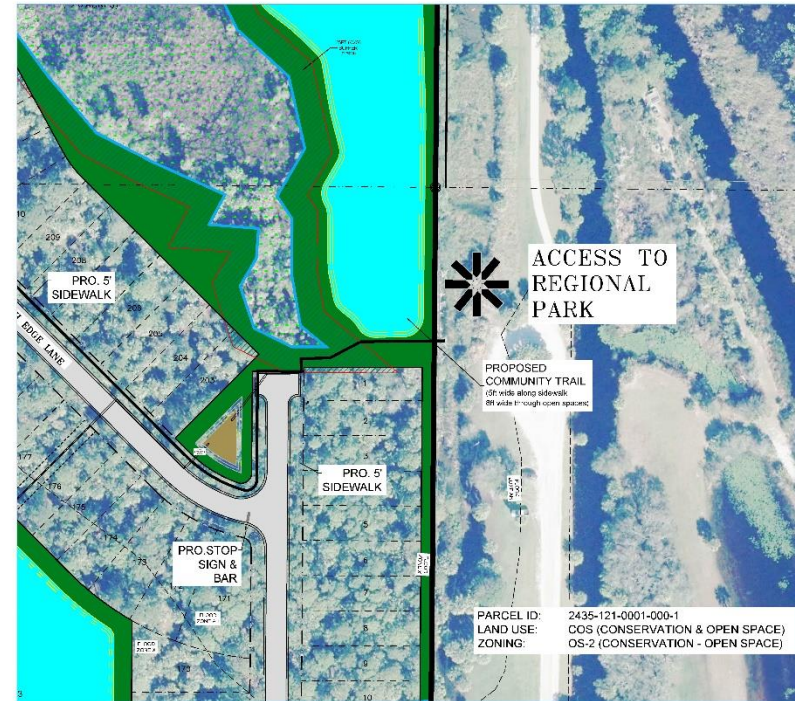
SAVANNAH PRESERVE

KOLTERLAND

PROJECT RECREATION AREA (CONCEPT)
(SCALE 1:40)



SAVANNAH'S PARKS ACCESS
(SCALE 1:50)



PARGEL ID: 2435-121-0001-000-1
LAND USE: OCS (CONSERVATION & OPEN SPACE)
ZONING: OS-2 (CONSERVATION - OPEN SPACE)

KOLTERLAND

COMPUTER FILE #/2	FILE #/R./P/L

CULPEPPER & TERPENING INC
2080 HOLLY SPRING DRIVE • FORT WORTH, TX 76104
PHONE 772-464-3037 • FAX 772-464-9497 • www.c-t.com
2716 COLLETTA DRIVE, SUITE 100, AUSTIN, TX 78702

- REVISIONS -			
NO.	DESCRIPTION	BY	DATE
1	CONVERT SITE PLAN TO MP LISTS MIX	DJM	02.03.01
2	REVISE PROJECT AREA POINTS	DJM	01.06.00
3	REVISE PROJECT AREA POINTS (PROF)	DJM	21.06.17
4	REVISE PROJECT PRODUCTS (add 1st side sign)	DJM	01.07.00
5	REVISE PROJECT PRODUCTS (add 2nd side sign)	DJM	01.07.00
6	REVISE PROJECT PRODUCTS (add 3rd side sign)	DJM	01.07.00

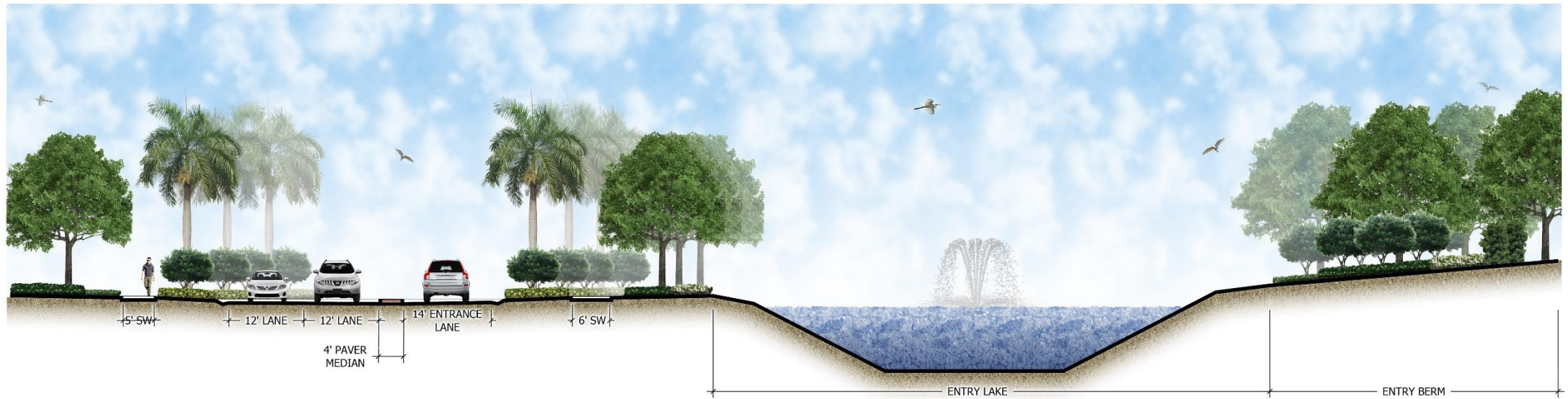
NO.	DESCRIPTION	BY	DATE

SAVANNAH PRESERVE
SITE PLAN - AREA DETAILS

DATE: 04-21-01
HORIZ. SCALE: 1/8"=1'
JOB No. 21-054
SHEET 6 of 6



REVISED PER CITY PDP REVIEW COMMENTS - DEC 2001
REVISED PER CITY PDP REVIEW COMMENTS - JAN 2002



ENTRY CROSS SECTION

** ARTIST CONCEPT- ARTIST PLAN*



TYPICAL TOWNHOMES
FLAMINGO BUILDING

LANDSCAPE
BUFFER

TYPICAL VILLA
CRAFTSMAN

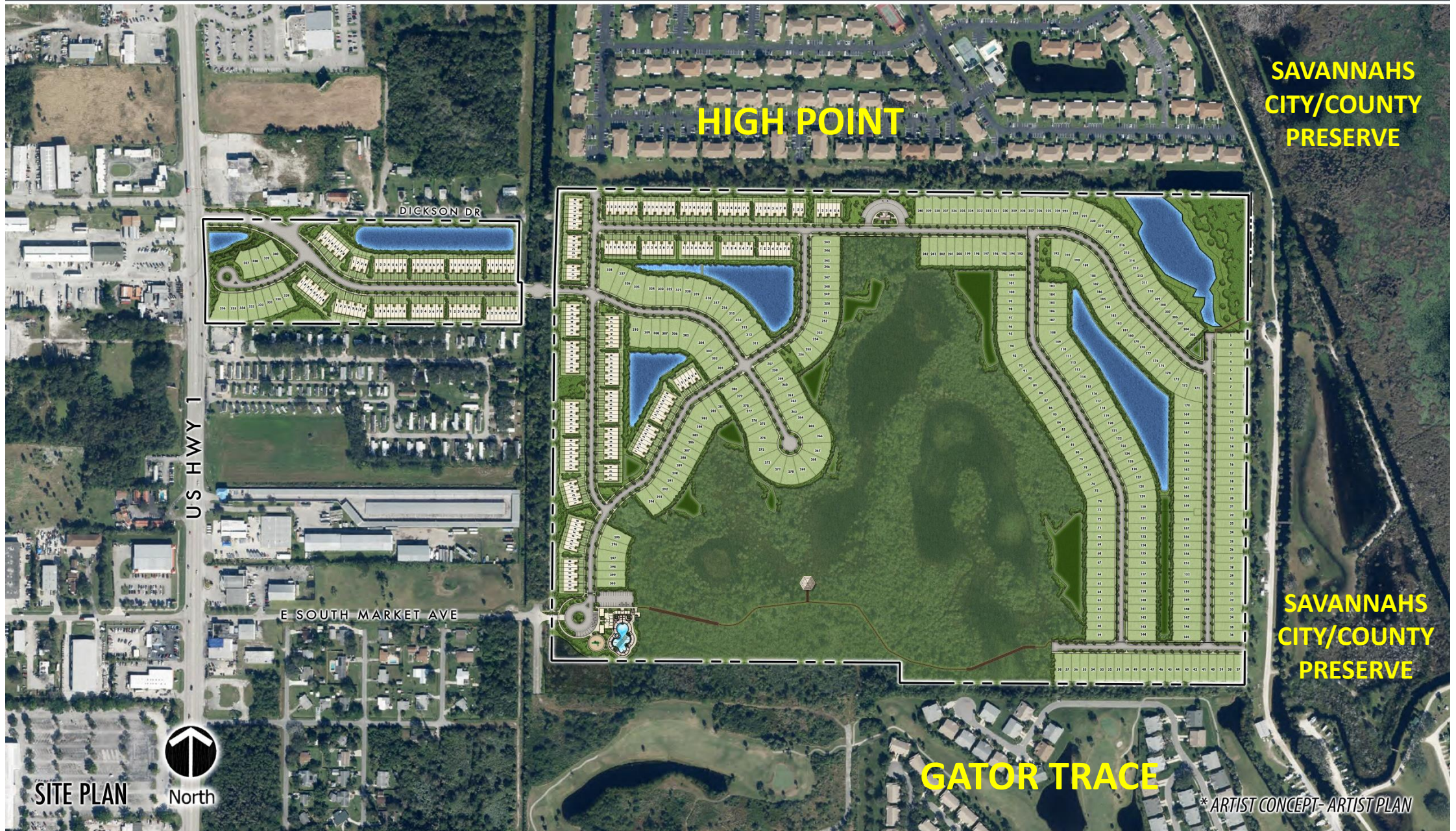
** ARTIST CONCEPT- ARTIST PLAN*











HIGH POINT

**SAVANNAHS
CITY/COUNTY
PRESERVE**

DICKSON DR

US HWY 1

E SOUTH MARKET AVE

**SAVANNAHS
CITY/COUNTY
PRESERVE**

GATOR TRACE

SITE PLAN



North

* ARTIST CONCEPT- ARTIST PLAN

SAVANNAH PRESERVE

KOLTERLAND

TRAFFIC:

- No L.O.S. issues -

Table 3. PM Peak Hour Roadway Significant Analysis

Roadway	From	To	Lanes	Generalized Service Capacity	Assign	Peak Hour Peak Direction	Significance	Significant Impact (Y/N)
US 1	Virginia	Edwards	4	2,000	35%	99	4.94%	YES
	Edwards	Project Site	4	2,000	55%	155	7.76%	YES
	Project Site	Weatherbee	4	2,000	40%	113	5.64%	YES
	Weatherbee	Midway	4	2,000	40%	113	5.64%	YES
	Midway	Easy	4	2,000	20%	56	2.82%	YES
Edwards	25th Street	US 1	4	1,700	20%	56	3.32%	YES
Farmers Market	Oleander	US 1	2	704	5%	14	2.00%	YES
Midway	St James	Oleander	4	1,700	20%	56	3.32%	YES
	Oleander	US 1	4	1,700	10%	28	1.66%	YES

Table 4. Pre-development 2026 PM Peak Hour Roadway Analysis

Roadway	From	To	Dir	Lanes	Service Capacity	Peak Hour Existing Traffic	Count	PSCF	Count Year	Growth Rate	Traffic Growth	2026 Background Traffic	Meets Service Volume
US 1	Virginia	Edwards	NB	4	2,000	1,237	FDOT	1.00	2020	2.0%	156	1,393	YES
	Virginia	Edwards	SB	4	2,000	1,373	FDOT	1.00	2020	2.0%	173	1,546	YES
	Edwards	Project Site	NB	4	2,000	1,246	MEP	1.18	2021	2.0%	153	1,623	YES
	Edwards	Project Site	SB	4	2,000	1,403	MEP	1.18	2021	2.0%	172	1,828	YES
	Project Site	Weatherbee	NB	4	2,000	1,242	MEP	1.18	2021	2.0%	153	1,618	YES
	Project Site	Weatherbee	SB	4	2,000	1,402	MEP	1.18	2021	2.0%	172	1,827	YES
	Weatherbee	Midway	NB	4	2,000	1,212	MEP	1.00	2020	2.0%	153	1,365	YES
	Weatherbee	Midway	SB	4	2,000	1,450	MEP	1.00	2020	2.0%	183	1,633	YES
	Midway	Easy	NB	6	3,020	1,317	FDOT	1.00	2020	2.0%	166	1,483	YES
	Midway	Easy	SB	6	3,020	1,661	FDOT	1.00	2020	2.0%	210	1,871	YES
Edwards	25th Street	US 1	EB	4	1,700	693	SLC	1.11	2021	2.0%	80	849	YES
	25th Street	US 1	WB	4	1,700	596	SLC	1.11	2021	2.0%	69	730	YES
Farmers Market Road	Oleander	US 1	EB	2	704	61	MEP	1.18	2021	2.0%	7	79	YES
	Oleander	US 1	WB	2	704	62	MEP	1.18	2021	2.0%	8	81	YES
Midway*	St James	Oleander	EB	4	1,700	758	FDOT	1.00	2021	2.0%	79	837	YES
	St James	Oleander	WB	4	1,700	799	FDOT	1.00	2021	2.0%	83	882	YES
	Oleander	US 1	EB	4	1,700	758	FDOT	1.00	2018	2.0%	130	888	YES
	Oleander	US 1	WB	4	1,700	799	FDOT	1.00	2018	2.0%	137	936	YES

*Midway volumes based on FDOT AADT of 17,300 times K (.09) and D (51.3)

**US 1 volumes based on FDOT AADT of 29000 times K (.09) and D (52.6)

Table 5. Post-development 2026 PM Peak Hour Roadway Analysis

Roadway	From	To	Dir	Lanes	Service Capacity	2026 Background Traffic	Assign	Project Traffic	2026 Total Traffic	Meets Service Volume
US 1	Virginia	Edwards	NB	4	2,000	1,393	35%	58	1,451	YES
	Virginia	Edwards	SB	4	2,000	1,546	35%	99	1,645	YES
	Edwards	Project Site	NB	4	2,000	1,623	55%	91	1,714	YES
	Edwards	Project Site	SB	4	2,000	1,828	55%	155	1,983	YES
	Project Site	Weatherbee	NB	4	2,000	1,618	40%	113	1,731	YES
	Project Site	Weatherbee	SB	4	2,000	1,827	40%	66	1,893	YES
	Weatherbee	Midway	NB	4	2,000	1,365	40%	113	1,478	YES
	Weatherbee	Midway	SB	4	2,000	1,633	40%	66	1,699	YES
	Midway	Easy	NB	6	3,020	1,483	20%	56	1,539	YES
	Midway	Easy	SB	6	3,020	1,871	20%	33	1,904	YES
Edwards	25th Street	US 1	EB	4	1,700	849	20%	56	905	YES
	25th Street	US 1	WB	4	1,700	730	20%	33	763	YES
Farmers Market Road	Oleander	US 1	EB	2	704	79	5%	14	93	YES
	Oleander	US 1	WB	2	704	81	5%	8	89	YES
Midway	St James	Oleander	EB	4	1,700	837	20%	56	893	YES
	St James	Oleander	WB	4	1,700	882	20%	33	915	YES
	Oleander	US 1	EB	4	1,700	888	10%	38	916	YES
	Oleander	US 1	WB	4	1,700	936	10%	37	953	YES

All roadways within the study area are expected to operate acceptably as shown in Table 5.

Intersection Analysis

The intersections within the study area were evaluated in 2026 total (existing traffic plus background plus project) traffic conditions. This study analyzes the impacts to the following intersections:

- US 1 & Farmers Market Road/Dickson Drive (Driveway 1) – AM & PM

Data from the existing facilities within the study area were collected based on aerial photography and site observations. The counts were adjusted to peak season conditions using FDOT’s peak season adjustment factors.

US 1 & Farmers Market Road/Dickson Drive (Driveway 1)

MEP evaluated the US 1 & Farmers Market Road/Dickson Drive intersection in the existing, pre-development, and post-development conditions. With project traffic, the intersection is projected to be under capacity with all movements operating under capacity (v/c ratio less than 1.0). MEP obtained the 95th percentile queue from Synchro 10 for each turn-lane at the intersection and compared it to the existing turn-lane lane length. An existing 223-foot southbound left-turn lane exists on US 1 at this location. The projected 95th percentile southbound left-turn queue is 250 feet. Therefore, an extension of the turn lane to 250 feet plus 50 feet of taper is recommended. The applicant will reconstruct Dickson Drive to include one left-turn lane and construct one northbound right-turn lane. The intersection is projected to operate acceptably with the recommended improvements.

Table 6. US 1 & Farmers Market Intersection Level of Service

AM Level of Service (LOS)	PM Level of Service (LOS)	Adequate
LOS C	LOS C	YES

Existing signal timings shall be adjusted by the City of Fort Pierce Engineer with the intersection improvements. This analysis used optimal signal timing, consistent with the adjustments made with intersection improvements.

SAVANNAH PRESERVE

KOLTERLAND

TRAFFIC:

- No L.O.S. issues -

ENVIRONMENTAL:

- Submitted an EIS report
- Limited wetland impacts
- No sinkholes

SAVANNAH PRESERVE

KOLTERLAND

County's in Florida with high sinkhole risks:

- Pasco
 - Hillsborough
 - Pinellas
 - Polk
 - Seminole
- Hernando
Marion
Citrus
Orange
Lake

SAVANNAH PRESERVE

KOLTERLAND

TRAFFIC:

- No L.O.S. issues -

ENVIRONMENTAL:

- Submitted an EIS report
- Limited wetland impacts
- No sinkholes
- Wildlife

SAVANNAH PRESERVE

KOLTERLAND

TRAFFIC:

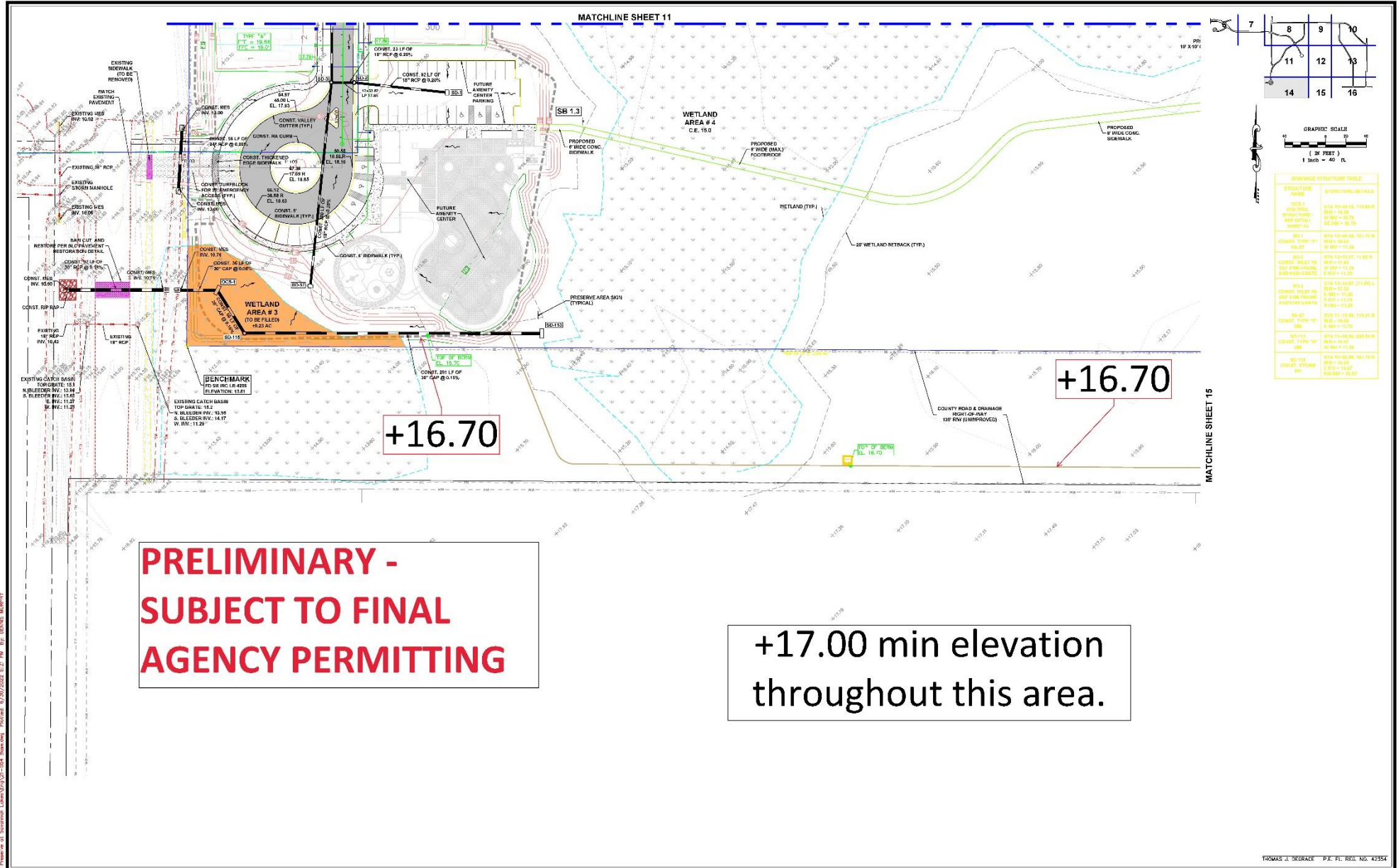
- No L.O.S. issues -

ENVIRONMENTAL:

- Submitted an EIS report
- Limited wetland impacts
- No sinkholes
- Wildlife

DRAINAGE:

- Requires permits from
 - SFWMD
 - City of Ft. Pierce
 - St. Lucie County



DRAINAGE STRUCTURE TABLE

STRUCTURE	TYPE	SIZE	INVERT ELEVATION	OUTLET ELEVATION	INLET ELEVATION	OUTLET ELEVATION
1	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
2	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
3	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
4	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
5	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
6	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
7	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
8	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
9	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
10	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
11	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
12	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
13	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
14	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
15	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70
16	MANHOLE	36" DIA. CONCRETE	16.70	16.70	16.70	16.70

**PRELIMINARY -
SUBJECT TO FINAL
AGENCY PERMITTING**

**+17.00 min elevation
throughout this area.**

6/20/2023 10:05 AM, Project: Savannah Preserve, 6/20/2023 10:05 AM, P. 01, 010101, 010101

THOMAS J. DEGRACE P.E. PL. REG. NO. 43351

NOTES
1) ALL ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.

COMPUTER FILE REF.	FIELD BK./PG.


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 9/ A/E/C/F - FLOWERS BLDG. 150-1580 AL
 LICENSE NO. A-19042 (FLORIDA)

- REVISIONS -		BY	DATE

BY	DATE
DESIGNED	10-1-21
CALCS	10-1-21
DRAWN	10-1-21
DETAILED	10-1-21
CHECKED	4-28-22
APPROVED	4-28-22

SAVANNAH PRESERVE
PAVING, GRADING, & DRAINAGE PLAN

DATE	SCALE
4-28-22	1"=40'

JOB No. 21-054
 SHEET 14 of 47



HIGH POINT

**SAVANNAHS
CITY/COUNTY
PRESERVE**

DICKSON DR

US HWY 1

E SOUTH MARKET AVE

Low Spot

**SAVANNAHS
CITY/COUNTY
PRESERVE**

GATOR TRACE

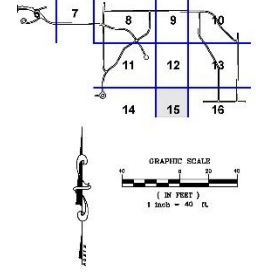
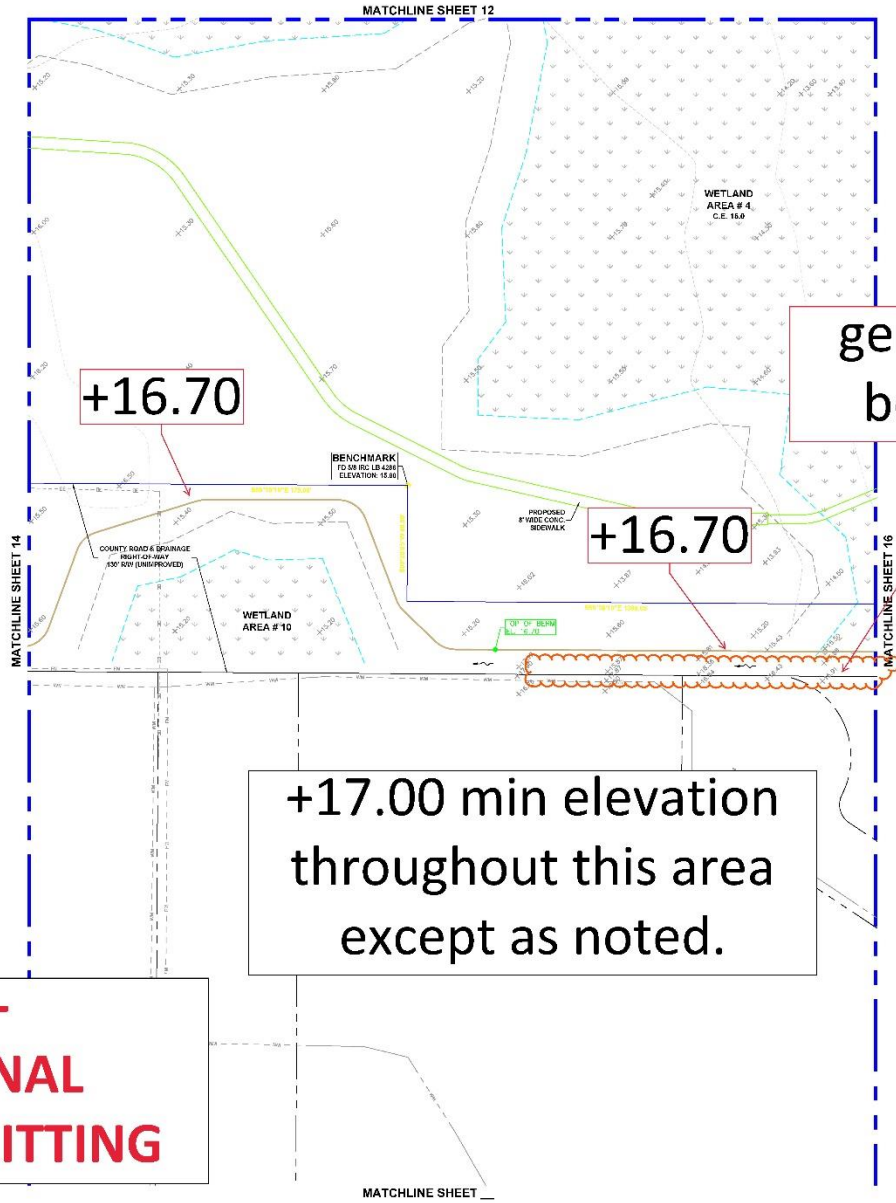
SITE PLAN



North

* ARTIST CONCEPT- ARTIST PLAN

P:\Projects\2021\21-054 - Savannah Preserve\21-054 - Savannah Preserve.dwg, 6/29/2022 4:27 PM, by: BENTLEY_M00017



+16.70

general area below +16

+16.70

+17.00 min elevation throughout this area except as noted.

PRELIMINARY - SUBJECT TO FINAL AGENCY PERMITTING

MATCHLINE SHEET

THOMAS J. DEGRAVE P.E. PL. REG. NO. 43351

NOTES:
 1) ALL ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.

COMPUTER FILE REF.	FIELD BK./PG.

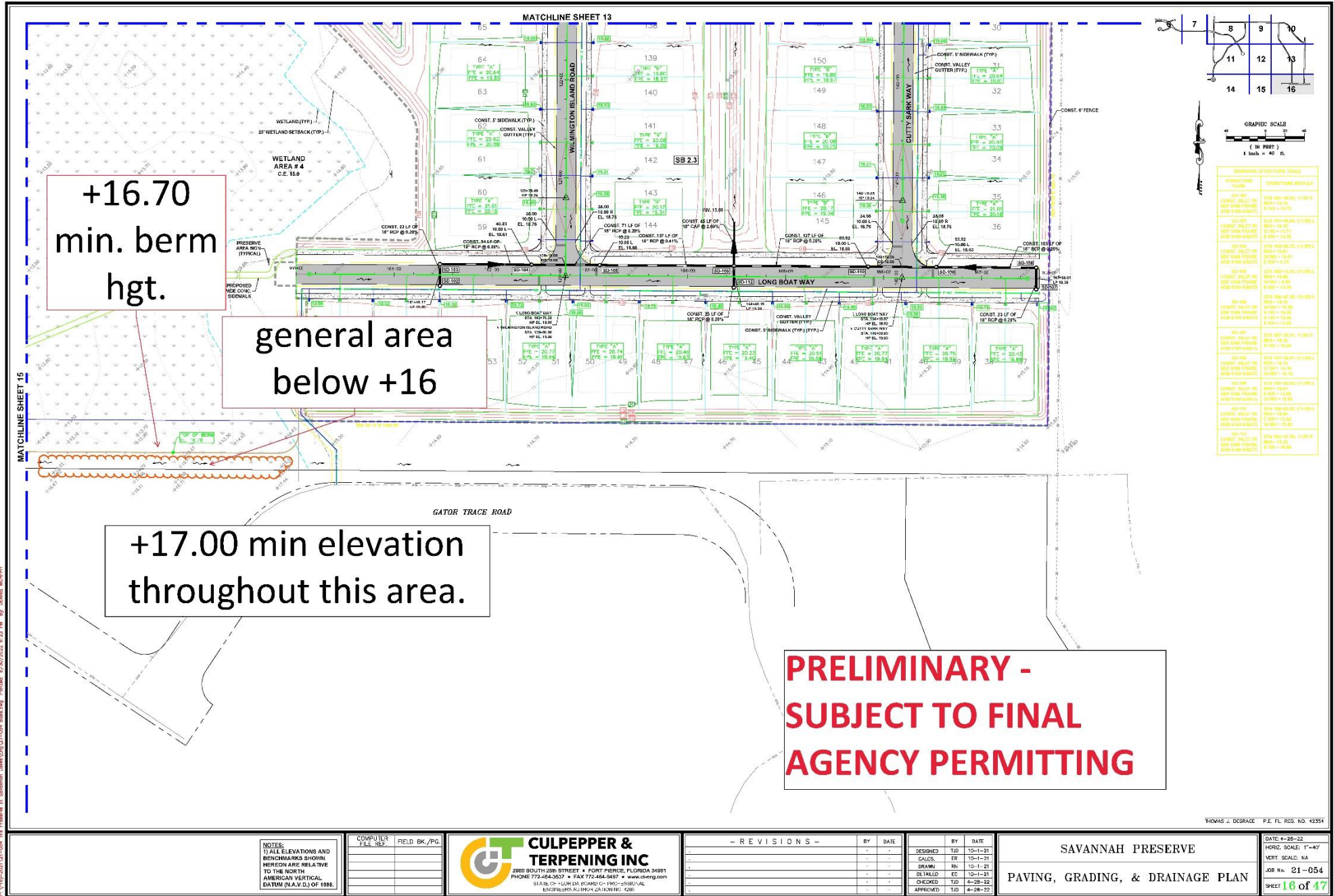
CULPEPPER & TERPENING INC.
 2880 SOUTH 28th STREET • FORT PIERCE, FLORIDA 34981
 PHONE 772-464-3637 • FAX 772-464-3487 • www.ct-eng.com
 9101 STATE ROAD 160 • FORT PIERCE, FLORIDA 34981
 ENCL. 2880 SOUTH 28th STREET

- REVISIONS -		BY	DATE

BY	DATE	
DESIGNED	TD	10-1-21
CALCS	SR	10-1-21
DRAWN	RN	10-1-21
DETAILED	EC	10-1-21
CHECKED	TD	4-28-22
APPROVED	TD	4-28-22

SAVANNAH PRESERVE
 PAVING, GRADING, & DRAINAGE PLAN

DATE: 4-28-22
HORIZ. SCALE: 1"=40'
VERT. SCALE: NA
JOB No. 21-054
SHEET 15 of 17



**+16.70
min. berm
hgt.**

**general area
below +16**

**+17.00 min elevation
throughout this area.**

**PRELIMINARY -
SUBJECT TO FINAL
AGENCY PERMITTING**

STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE DETAILS
SB-101	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-102	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-103	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-104	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-105	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-106	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-107	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-108	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-109	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-110	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-111	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-112	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-113	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-114	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-115	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-116	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-117	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-118	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-119	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-120	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-121	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-122	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-123	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-124	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-125	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-126	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-127	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-128	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-129	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.
SB-130	CONCRETE MANHOLE	24" DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT. 15' DIA. x 10'-0" HGT.

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NOTES:
 1) ALL ELEVATIONS AND
 BENCHMARKS SHOWN
 HEREON ARE RELATIVE
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 AMERICAN VERTICAL
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COMPUTER FILE REF.	FIELD BK./PG.

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 5116 CO. ROAD 100 • FORT CHARLIE, FLORIDA 34941
 ENGINEERING DIVISION

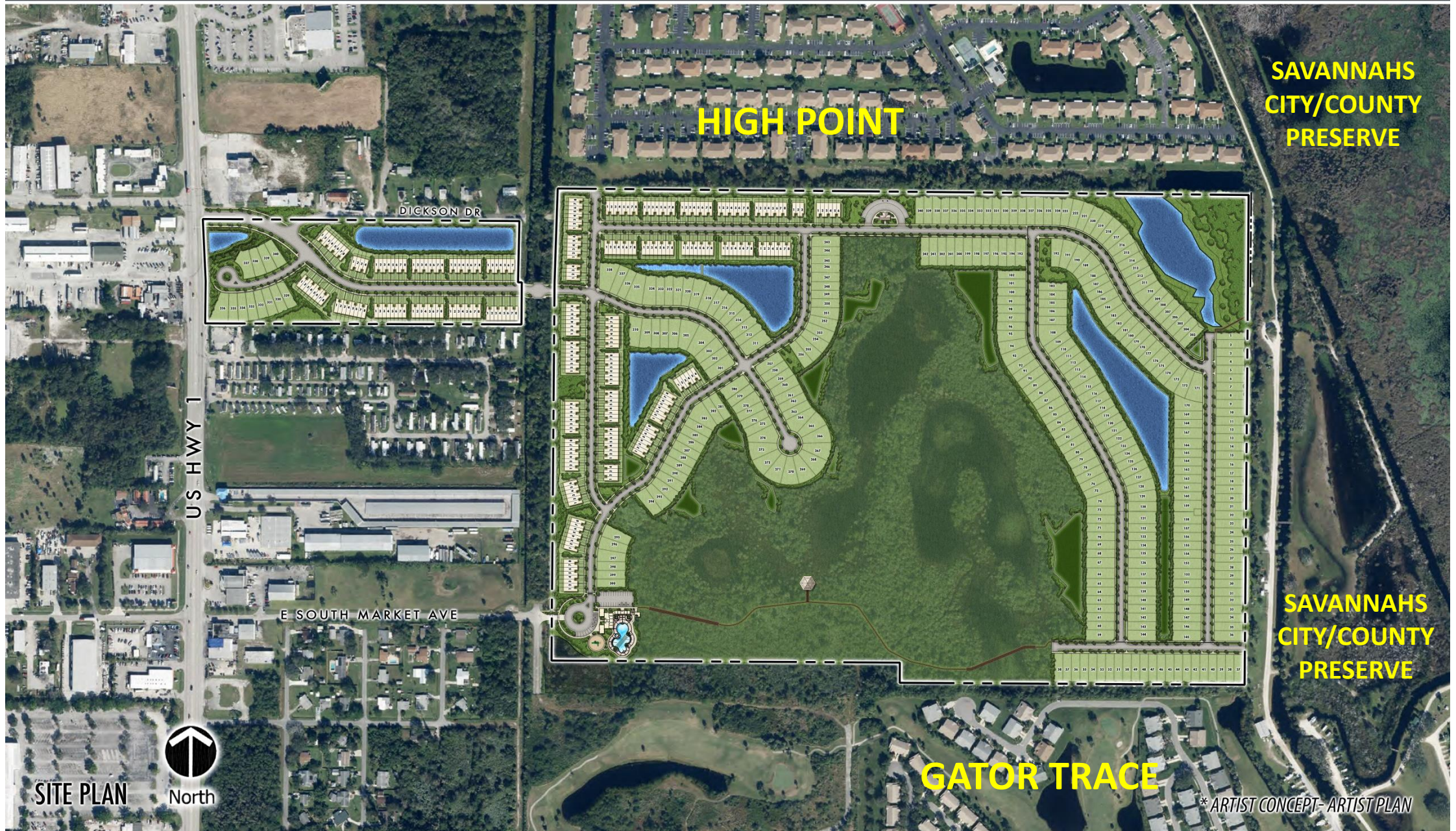
- REVISIONS -		BY	DATE

DESIGNED	BY	DATE
TJD	TJD	10-1-21
CHECKED <td>ER</td> <td>10-1-21</td>	ER	10-1-21
DRAWN <td>RN</td> <td>10-1-21</td>	RN	10-1-21
DATE PLOTTED <td>EC</td> <td>10-1-21</td>	EC	10-1-21
CHECKED <td>TJD</td> <td>4-28-22</td>	TJD	4-28-22
APPROVED <td>TJD</td> <td>4-28-22</td>	TJD	4-28-22

SAVANNAH PRESERVE
 PAVING, GRADING, & DRAINAGE PLAN

DATE: 4-28-22
 HORIZ. SCALE: 1"=40'
 VERT. SCALE: N/A
 JOB NO.: 21-054
 SHEET 16 OF 47

THOMAS J. DEGRACE P.E. FL. REG. NO. 42354



HIGH POINT

**SAVANNAHS
CITY/COUNTY
PRESERVE**

DICKSON DR

US HWY 1

E SOUTH MARKET AVE

**SAVANNAHS
CITY/COUNTY
PRESERVE**

GATOR TRACE

* ARTIST CONCEPT- ARTIST PLAN

SITE PLAN



North