

# **CITY OF FORT PIERCE**

## **CITY COMMISSION AGENDA**

Regular Meeting - Monday, August 1, 2022 - 6:00 p.m.

City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
  
2. **OPENING PRAYER**
  
3. **PLEDGE OF ALLEGIANCE**
  
4. **ROLL CALL**
  
5. **APPROVAL OF MINUTES**
  - a. Approval of Minutes from July 18, 2022 Regular Meeting
  
6. **PROCLAMATIONS**
  - a. Fort Pierce Farmers Market Week
  
7. **LETTERS TO COMMISSION**
  - a. Letter from Mark Music, President, MMPS Environmental, Inc. awarding Certificates of Appreciation to the Chief of Police and Fort Pierce Marine Unit in recognition of their service and support of the Annual Fort Pierce Inlet Cleanup Dive.
  
8. **ADDITIONS OR DELETIONS TO AGENDA AND APPROVAL OF AGENDA**

9. **COMMENTS FROM THE PUBLIC ON AGENDA ITEMS NOT REQUIRING PUBLIC HEARINGS**

Any person who wishes to comment on an agenda item which is not under Public Hearings on the Agenda may be heard at this time and must sign up to speak in advance. Please limit your comments to three (3) minutes or less, as directed by the Mayor, as this section of the Agenda is limited to thirty minutes. The City Commission will not be able to take any official actions under Comments from the Public. Speakers will address the Mayor, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

10. **MISCELLANEOUS REPORTS**

11. **CONSENT AGENDA**

- a. Approval of African-American Cultural and Historical Grant Award Agreement between the Florida Department of State and the City of Fort Pierce for the renovation of the Jackie L. Caynon Building for the Fort Pierce Highwaymen Museum in the amount of \$483,662.00.
- b. Approval of award of Bid No. 2022-018 for the Georgia Avenue Drainage Basin Water Quality Improvements to the sole bidder, Boromei Construction, Inc., in an amount not to exceed \$1,688,940.00.

12. **PUBLIC HEARINGS**

- a. Legislative Hearing - Ordinance 22-018: An Ordinance by the City Commission of the City of Fort Pierce, Florida; Rezoning the property generally located at or near 511 South Ocean Drive, from Hutchinson Island Medium Density Residential Zone (R4-A) to Planned Development (PD); providing for a severability clause; providing for repeal of ordinances or parts thereof in conflict herewith; and providing for an effective date. Subject Property: Parcel ID: 2401-502-0026-000-6. SECOND READING

13. **CITY COMMISSION**

- a. Resolution 22-R27 establishing polling places for the August 23, 2022 primary election.
- b. Submittal of applications to serve as an at-large member of the Planning Board.

- c. Submittal of applications to serve on the Police Officers Retirement Fund.

14. **COMMENTS FROM THE PUBLIC**

Any person who wishes to comment on any subject may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Mayor, as this section of the Agenda is limited to thirty minutes. The City Commission will not be able to take any official actions under Comments from the Public. Speakers will address the Mayor, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

15. **COMMENTS FROM THE CITY MANAGER**

- a. Reports

16. **COMMENTS FROM THE COMMISSION**

17. **ADJOURNMENT**

Immediately following adjournment, please move toward the doors and exit the chambers. This allows for the safe and courteous exit of all persons, and those on the dais. Conversations after the meeting should be held outside of chambers, in the foyer or elsewhere, but not in the commission chambers where lights will be out as soon as the chambers are empty.

Pursuant to Sec. 2-49, Fort Pierce Code of Ordinances, persons desiring to place an item on the agenda may make written request to the city manager no later than 5:00 p.m. fifteen (15) days preceding the regular city commission meeting. Such request must state the subject matter of the individual's appearance and should include any background materials pertinent to the issue. The city manager shall review the request to determine if the item might be handled administratively or whether the subject matter is an item of city business. If appropriate, the city manager shall submit the item for placement on the agenda to the city clerk no later than 5:00 p.m. ten (10) days preceding the regular city commission meeting. The mayor may impose a time limitation of five (5) minutes, or allow such additional time he or she determines necessary and appropriate for such person to make presentation. All reports, communications, ordinances, resolutions, contracts, documents or other materials to be submitted to the commission shall, no later than 12:00 noon on Wednesday prior to each meeting, be delivered to the city clerk and furnish each member thereof with a copy of the same prior to the regular meeting.

Pursuant to Section 286.0105, Florida Statutes, the City hereby advises you that if you or another person decide to appeal any decision made by the City Commission with respect to any matter considered at its meeting or hearing, that you or said person will need a record of the proceedings, and that for such purpose, affected persons may need to insure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the City for the introduction or admission into evidence of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.



**City Commission Regular Meeting - 6:00 pm**

**5. a.**

**Meeting Date:** 08/01/2022

**Re:** Minutes of July 18, 2022

**Submitted For:** Linda Cox, City Clerk, City Clerk

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**SUBJECT:**

Approval of Minutes from July 18, 2022 Regular Meeting

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**Attachments**

07.18.2022 Minutes

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**Form Review**

Form Started By: Latoya Ransom

Started On: 07/27/2022 03:14 PM

Final Approval Date: 07/27/2022

MINUTES OF A REGULAR MEETING OF THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, HELD IN THE CITY HALL COMMISSION CHAMBERS, 100 NORTH U.S. #1, FORT PIERCE, FLORIDA, AT 4:30P.M. ON MONDAY, JULY 18, 2022.

**1. CALL TO ORDER**

Mayor Hudson called the July 18, 2022, Regular Meeting of the City Commission to order at 4:30 P.M.

**2. OPENING PRAYER - Pastor Martin with Fort Pierce Haitian United Methodist Church**

**3. PLEDGE OF ALLEGIANCE**

**4. ROLL CALL**

Present: Commissioner Arnold Gaines; Commissioner Curtis Johnson, Jr.;  
Commissioner Thomas Perona; Mayor Linda Hudson

Absent: Commissioner Jeremiah Johnson

Staff Present: City Clerk Linda Cox  
City Manager Nicholas Mimms  
City Attorney Tanya Earley

Motion was made by Commissioner Thomas Perona, seconded by Commissioner Curtis Johnson, Jr. to excuse Commissioner Jeremiah Johnson from the July 18, 2022 Regular Meeting.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

**5. APPROVAL OF MINUTES**

- a. Approval of the minutes from the July 5, 2022 regular meeting.

Motion was made by Commissioner Curtis Johnson, Jr., seconded by Commissioner Arnold Gaines to approve the minutes of the July 5, 2022 Regular Meeting.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

**6. PROCLAMATIONS**

- a. Recognition of Fort Pierce Youth Council Graduating Seniors: Lilly Crawford (Lincoln Park Academy), Grace Fee (John Carroll), and Lishonda Franklin (Fort Westwood)

**7. LETTERS TO COMMISSION**

**8. ADDITIONS OR DELETIONS TO AGENDA AND APPROVAL OF AGENDA**

City Clerk Linda Cox requested that item 13a be pulled.

Motion was made by Commissioner Thomas Perona, seconded by Commissioner Arnold Gaines to approve the agenda as amended.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

**9. COMMENTS FROM THE PUBLIC ON AGENDA ITEMS NOT REQUIRING PUBLIC HEARINGS**

Any person who wishes to comment on an agenda item which is not under Public Hearings on the Agenda may be heard at this time and must sign up to speak in advance. Please limit your comments to three (3) minutes or less, as directed by the Mayor, as this section of the Agenda is limited to thirty minutes. The City Commission will not be able to take any official actions under Comments from the Public. Speakers will address the Mayor, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

**10. MISCELLANEOUS REPORTS**

- a. Presentation by St. Lucie County on Tax Abatement Referendum.

Mark Satterlee, Deputy County Administrator provided a presentation on the Tax Abatement Referendum including an explanation of the abatement tax, incentives, success stories, and its other benefits. Early voting begins August 13th - 20th and election day is August 23, 2022.

- b. Fort Pierce Utilities Authority update - Javier Cisneros, Director of Utilities

Javier Cisneros, Director of Utilities FPUA, Jacob Williams, General Manager and CEO of the FMPA, and Rachel Tenant Public Affairs and Sustainability Manager provided a detailed update on the FPUA including an overview of the electric industry rates and how the FPUA is communicating with its customers.

**11. CONSENT AGENDA**

- a. Approval of a Partial Release of Unity of Title near 2398 Peters Road.
- b. Authorize the Mayor, City Clerk and City Attorney to take all necessary actions to transfer the property held by the city for the use and benefit of Fort Pierce Utilities Authority in accordance with Resolution 22-R26 following the required advertisement.
- c. Approval of allocation of funding for Jaycee Park playground equipment and materials in an amount not to exceed \$650,475.00 (The Kiwanis Club has pledged \$300,000.00 toward this project).
- d. Approve letter to the Fort Pierce Utilities Authority offering the City's support and agreement to jointly submit a grant application for potential financial assistance from the State of Florida Resilient Florida Grant Program to offset the total project costs of the Wastewater Reclamation Facility relocation.

- e. Approval to enter into an Early Lease Renewal with the Yamaha Motor Corporation for 65 New Golf Carts for a 48 month Term beginning on December 1, 2022 in an amount not to exceed \$54,600 annually, with 5 carts from our current lease being owned by the City at no additional charge.

Commissioner Perona pulled item 11 c  
Commissioner Gaines pulled item 11 d

Motion was made by Commissioner Curtis Johnson, Jr., seconded by Commissioner Arnold Gaines to approve items 11a, 11b and 11 e of the Consent Agenda.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

As to item 11c

Commissioner Perona commented that the Sunrise Kiwanis Club has increased its funding efforts for the improvement of Jaycee Park with build dates in October 2022. Opportunities for support of finances and time are appreciated.

Motion was made by Commissioner Thomas Perona, seconded by Commissioner Curtis Johnson, Jr. to approve item 11c of the Consent Agenda.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

As to item 11d

Commissioner Gaines inquired if this is a new grant and once the grants are received will customers see a rate reduction. Javier Cisneros commented that the grant is to cover the remaining portion and any funds above that will be used to reduce rates.

Motion was made by Commissioner Arnold Gaines, seconded by Commissioner Curtis Johnson, Jr. to approve item 11d of the Consent Agenda.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

## 12. PUBLIC HEARINGS

- a. Legislative Hearing - Ordinance 22-017: An Ordinance by the City Commission of the City of Fort Pierce, Florida: Rezoning four parcels of land generally located on the east side of South US Highway 1 at the intersection of Dickson Drive and lying north of the existing Gator Trace Planned Development, from General Commercial (C-3) and Planned Development (PD) to Planned Development (PD), for the residential project to be known as Savannah Preserve; providing for a severability clause; providing for repeal of ordinances or parts thereof in conflict herewith; and providing for an effective date. SECOND READING

City Clerk Linda Cox introduced the Ordinance, read by title only, into the record

ORDINANCE NO. 22-017

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA: REZONING FOUR PARCELS OF LAND GENERALLY LOCATED ON THE EAST SIDE OF SOUTH US HIGHWAY 1 AT THE INTERSECTION OF DICKSON DRIVE AND LYING NORTH OF THE EXISTING GATOR TRACE PLANNED DEVELOPMENT, FROM GENERAL COMMERCIAL (C-3) AND PLANNED DEVELOPMENT (PD) TO PLANNED DEVELOPMENT (PD), FOR THE RESIDENTIAL PROJECT TO BE KNOWN AS SAVANNAH PRESERVE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

Mayor Hudson opened the public hearing.

Comments from the applicant

Dennis Murphy Culpepper and Terpening Inc. requested approval of the application.

David Earle, Ross, Earle and Bonan & Ensor representing Gator Trace Master Association reiterated the concerns for approval and addressed condition number six.

Bernard Bouffand - expressed concerns with flooding.

Cliff Savage - expressed concerns with drainage.

Aurora Matta - expressed concerns with drainage.

Timothy Miller – expressed drainage concerns.

Dennis Murphy addressed concerns from the public.

Mayor Hudson closed the public hearing.

Questions of staff:

Commissioner Curtis Johnson inquired of staff comments. Kevin Freeman, Planning Director, commented that construction plans are reviewed in detail and a close eye will be kept on stormwater and encouraging developers to meet regularly with South and North properties, and if changes are made staff will bring those changes to the Commission.

Mayor Hudson inquired that no drainage concerns exasperate the existing properties. Mr. Freeman expressed that the plans comply with the City's ordinance to protect its residents.

Commissioner Perona inquired if the requirements for number five and six would be defined, will the Commission have the opportunity to review, and is maintenance standard. Mr. Freeman expressed that any changes would come back before the Commission, at the moment the conditions do not mandate that they come before the Commission, and the maintenance agreement is mandated by Engineering.

Commissioner Gaines commented if conditions are not met the project does not move forward. Mr. Freeman explained that is correct unless it comes back before the Commission for an amendment to add or remove.

Motion was made by Commissioner Thomas Perona, seconded by Commissioner Curtis Johnson, Jr. to approve Ordinance No 22-017 with the following six conditions:

1. Civil Plans shall be reviewed and approved by all applicable City departments prior to the issuance of a site permit. The plans shall include details of any off-site improvements such as any stormwater control berm.
2. All required regulatory agency permits, including but not limited to the South Florida Water Management District and Army Corp of Engineers, shall be obtained by the applicant and copies provided to the City prior to the commencement of any development activities.
3. The applicant shall provide a conceptual stormwater design and an engineer's statement attesting that the PD's storm water system will be in compliance with all required stormwater treatment requirements.
4. The driveway at the entrance of Dickson Dr shall be realigned to provide access to parcels abutting to the north, (Parcel ID# 2427-801-0051-000-8 and

Parcel ID# 2427-801-0037-000-4).

5. The applicant shall provide confirmation of the approval of St. Lucie County for the location of the berm and stormwater discharge outfall into the Right of Way and Drainage easement (Parcel # 2434-112-0001-000-0), which bifurcates the site, also running along the southern boundary of the site prior to the commencement of any development activities.
6. The applicant shall provide confirmation of a maintenance agreement with St. Lucie County for the installation of the berm and, if applicable, the stormwater discharge outfall into the Right of Way and Drainage easement (Parcel # 2434-112-0001-000-0), which bifurcates the site, also running along the southern boundary of the site prior to the commencement of any development activities. The maintenance agreement shall be approved by the City Engineer and comply with Chapter 119 Stormwater Management and Site Development Technical Regulations of the City of Fort Pierce Code of Ordinances in perpetuity.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

Commissioner Gaines inquired if Commissioner Perona approved the six conditions.

Commissioner Perona commented that he wanted the portion about maintenance entered into the record.

Commissioner Gaines inquired of City Attorney Tanya Earley if the statement made by Commissioner Perona is sufficient for the record. City Attorney Earley advised that item six will be clarified, and that specific language be added to the motion.

Motion was made by Commissioner Thomas Perona, seconded by Commissioner Curtis Johnson, Jr. to approve Ordinance No 22-017 with condition number six and that any maintenance agreement must take into account chapter 119 of the City's Code of Ordinance, thereafter a maintenance agreement be approved by the City Engineer held in perpetuity for this development.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

- b. Quasi-Judicial Hearing Postponed from June 21, 2022 and July 5, 2022 - Review and approval of an application for Preliminary Plat, submitted by Property Owner(s) Karma Capital Investments, LP and Applicant, Kolter Land Partners, LLC (Culpepper & Terpening, Inc.), to subdivide approximately 132.7 acres of land (more or less) for The Preserve at Savannah Lakes Planned Development located at or near the east side of S US Highway 1 at the intersection of Dickson Drive and lying North of the existing Gator Trace Planned Development in Fort Pierce, FL. The Developer/Applicant is required to enter into an agreement with the City of Fort Pierce and post the appropriate bond regarding the completion of the outstanding site work during the Final Plat approval process. The property is currently zoned General Commercial (C-3) and Planned Development (PD) Parcel Control Numbers: 2427-433-0002-000-1, 2427-433-0001-000-4, 2434-121-0001-000-8, 2426-333-0015-000-5.

Mayor Linda Hudson asked all present to listen carefully to what City Attorney Tanya Earley would read regarding Quasi-Judicial Hearings.

Tanya Earley, City Attorney, reviewed the quasi-judicial hearing rules and procedures and notified the Commission that two petitions to intervene were received and granted.

Mayor Linda Hudson called the proceeding to order.

City Clerk Linda Cox confirmed the City complied with the advertisement and notice requirements.

Mayor Linda Hudson inquired with the Commission regarding ex-parte communications and asked City Clerk to call the roll:

Commissioner Arnold Gaines - Yes

Commissioner Curtis Johnson Jr.- Yes

Commissioner Thomas Perona- Yes

Mayor Hudson - Yes

City Clerk Linda Cox swore in those wanting to speak during this Quasi-Judicial hearing.

Staff Presentation:

Vennis Gilmore, Senior Planner presented the review and approval of an application for Preliminary Plat, submitted by Property Owner(s) Karma Capital Investments, LP and Applicant, Kolter Land Partners, LLC (Culpepper & Terpening, Inc.), to subdivide approximately 132.7 acres of land (more or less) for The Preserve at Savannah Lakes Planned Development located at or near the east side of S US Highway 1 at the intersection of Dickson Drive and lying North of the existing Gator Trace Planned Development. Staff

recommends APPROVAL to the City Commission with one (1) condition:

Prior to the submittal of the Final Plat address all the City of Fort Pierce Engineering Comments on the Plat document.

Mr. Kevin Freeman, Planning Director, commented that the PD conditions will be added to the preliminary plat.

Mayor Hudson inquired if it would have to go back to the planning board. Mr. Freeman indicated that it would go back to the planning board if changes were made.

Commissioner Gaines inquired on the location of the berm as it appears to have moved from south to north. Mr. Gilmore clarified that the location of the berm was recommended by the planning board.

Commissioner Curtis Johnson inquired if the change to PD that was just approved, and its conditions must go before the planning board. Mr. Freeman explained that was not included in the condition, but it is within the power of the Commission to attach those to the preliminary plat.

Applicant questions of staff:

None

Party intervenor number 1:

David Earle, Ross, Earle, Bonan & Ensor on behalf of Gator Trace Master Property Owners Association, Inc. inquired if the preliminary plat is pending should it indicate natural and man-made features, the berm location and size of the nearest sewer to serve the subdivision and reflect the location and size of the nearest sewer and drainage lines. Mr. Freeman commented yes, the plat should indicate natural and man-made features, may not indicate the location of the berm, should indicate the location and size of the nearest water and sewer to serve the subdivision but does not reflect the nearest water sewer lines.

Party intervenor number 2:

John Carrigan, Ross, Earle, Bonan & Ensor on behalf of High Point of Fort Pierce Condominium Section II Association, Inc. Inquired if the June 21, 2022 report is the latest staff report, will ensure minimal impacts, include criteria met in Section

121 of the City Code of Ordinances, the application was recommended for approval, assessed drainage impacts, what was used to make this determination, can any member of staff indicate what was reviewed. Mr. Gilmore clarified that the report was the latest staff report which included criteria met in Section 121 of the City's Code of Ordinances, was recommended for approval, was reviewed by the city Engineering Department and was approved, and drainage impacts were assessed. Mr. Gilmore was unable to answer what was looked at. Mr. Freeman commented that he cannot speak for the internal review by the Engineering Department, but city Ordinances were considered, the review was done and was approved no information was provided to the Commission as they rely on the comments of Engineering to proceed with applications.

Follow-up questions of staff:

Mayor Hudson inquired on the process completed by Engineering. Mr. Gilmore explained nothing is brought before the Commission without Engineering approval.

Commissioner Curtis Johnson inquired if the plat was provided to Engineering and the type of information that goes to them. Mr. Freeman explained that the plat was provided to Engineering and that per Florida Statutes the plat must be prepared by a professional surveyor and conform with Chapter 177 of Florida Statutes the review is processed by Engineering and does not come back before the Board.

Commissioner Perona inquired if all the requirements had been met for this hearing. Mr. Freeman commented that they had been.

Mayor Hudson inquired if all the items were included that were previously mentioned or should they be included in this stage or the next. Mr. Freeman commented that everything should be reviewed at this stage. City Attorney Tanya Earley explained that the items in Chapter 121-10 (a)3 must be provided by the applicant which includes seventeen items.

Mr. Freeman explained that from a cursory review the items highlighted by intervenor number 1 conditions on the PD for the berm and sewer are not indicated or agreed upon.

Applicant presentation:

Dennis Murphy Culpepper and Terpening Inc. defined a plat as a map with lines depicting property line or egress that is why interpretive actions are being take versus practical, and the applicant is willing to provide any required documents to the Commission. Mr. Murphy addressed comments of the intervenor based on High Points permits from the 1970s -80's drainage does not impact them but is split, the berm will not be located to the north because of southern flow, feels that the preceding may be moving in a different direction.

Mayor Hudson inquired on the concerns with the southwest corner flooding in Gator Trace. Mr. Murphy explained that the concern is with the northwest corner and that there is no impact because the flow will move southward.

Commissioner Curtis Johnson inquired on what Mr. Murphy meant by "moving in a direction". Mr. Murphy explained that he believed the application would be deferred until a strict application is presented.

Intervener number 1 questions of applicant:

None

Intervener number 2 questions of applicant:

Has the applicant met with anyone from High Point regarding surface water management, if the Commission where to defer, would the applicant be willing to meet with representatives of High Point, have conditions on 3h and 3m been met. Mr. Murphy commented that no one had met with residents of High Point, the applicant will be willing to meet with representative of High Point, and 3h and 3m are not listed on the preliminary plat presented.

Commission questions of the applicant:

None

Intervener 1 presentation:

Mr. Earle had no presentation but had several comments and arguments. Section 121-10 plat specification item 3, applicant admitted specific items were not presented in the plat and affirms that the definition of a plat provided is inaccurate as the plat should contain conditions for development. Mr. Earle suggested that the application should not be approved as presented.

Intervener 2 presentation:

Mr. Carrigan commented that the Commission is not in the position to approve the application and referenced section 121-9 (a) 4 of the City's Code of Ordinance, competent substantial evidence and introduced Cliff Savage, High Point maintenance and landscaper to offer testimony.

City Attorney Tanya Earley commented that Intervener 1 only had an argument and wanted to ensure all sides can ask questions.

Mr. Carrigan reiterated that there is water flowing northward on southeast and southwest corners and must be addressed if the application is to be resubmitted and requested that tonight's testimony be considered for any conditions.

Staff questions of Intervener number 1:

None

Staff questions of Intervener number 2:

None

Applicant questions of Intervener 1:

None

Applicant questions of Intervener 2:

No questions of Intervener but questions of Cliff Savage.

Mr. Carrigan inquired had he been employed for thirty-eight years and aware of water flow issues. Mr. Savage indicated that he has been employed with High Point for thirty-eight years and the southwest corner of the property has issues with flood water moving from Gator Trace during major flooding events.

Questions of Intervener 1 to Intervener 2:

None

Questions of Intervener 2 to Intervener 1:

None

Commission follow-up questions for Intervener 1 and 2:

Commissioner Curtis Johnson requested a larger map to indicate the area of High Point 1, 2 and 3 and Gator Trace.

Mayor Hudson opened the public hearing.

Robbie Creswell -berm concerns

Patricia Gomes-flooding concerns

Mayor Hudson closed the public hearing.

Applicant comments:

Mr. Murphy requested that the Commission take no action at this time if a denial is forthcoming.

Intervener number 1:

David Earle, Ross, Earle, Bonan & Ensor on behalf of Gator Trace recommended disapproval of the application by the Commission.

Intervener number 2:

John Carrigan Earle, Ross, Earle, Bonan & Ensor on behalf of High Point recommended denial of the application by the Commission.

Applicant comments:

Request the application be withdrawn rather than disapproved.

City Attorney Tanya Earley referenced the code, procedures, and explained that a court would reference the plain language of the City's code, and that we can not advise the applicant.

The applicant Dennis Murphy withdrew the application.

Commissioner Perona requested of staff to address the issues and process made present. Mr. Freeman commented that he is actively reviewing procedures.

- c. Quasi-Judicial Hearing - Ordinance 22-018: An Ordinance by the City Commission of the City of Fort Pierce, Florida; Rezoning the property generally located at or near 511 South Ocean Drive, from Hutchinson Island Medium Density Residential Zone (R4-A) to Planned Development (PD); providing for a severability clause; providing for repeal of ordinances or parts thereof in conflict herewith; and providing for an effective date. Subject Property: Parcel ID: 2401-502-0026-000-6.  
FIRST READING

City Clerk Linda Cox introduced the Ordinance, read by title only, into the record

ORDINANCE NO. 22-018  
AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; REZONING THE PROPERTY GENERALLY LOCATED AT OR NEAR 511 SOUTH OCEAN DRIVE, FROM HUTCHINSON ISLAND MEDIUM DENSITY RESIDENTIAL ZONE (R4-A) TO PLANNED DEVELOPMENT (PD); PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

Mayor Linda Hudson called the proceeding to order.

City Clerk Linda Cox confirmed the City complied with the advertisement and notice requirements.

Mayor Linda Hudson inquired with the Commission regarding ex-parte communications and asked City Clerk to call the roll:

Commissioner Arnold Gaines - Yes  
Commissioner Curtis Johnson Jr.- No  
Commissioner Thomas Perona- Yes  
Mayor Hudson – Yes

Staff Presentation:

Vennis Gilmore, Senior Planner presented Ordinance 22-018: An Ordinance by the City Commission of the City of Fort Pierce, Florida; Rezoning the property generally located at or near 511 South Ocean Drive, from Hutchinson Island Medium Density Residential Zone (R4-A) to Planned Development (PD). Staff recommends APPROVAL to the City Commission.

Dennis Murphy Culpepper and Terpening Inc. presented Coral Sands at Hutchinson Island.

Commissioner Perona inquired on the maximum building height, is the private roadway gated, and if he owned the property across the street east of A1A. Phil Thompson, Developer, explained that the height is about thirty-eight feet which is within the maximum of City Code, the roadway is not gated but privately maintained, and he does not own the property east of A1A.

Commissioner Curtis Johnson inquired if the community is an HOA. Mr. Thompson commented that it is.

Mayor Hudson opened the public hearing.  
Seeing no one, she closed the public hearing.

Motion was made by Commissioner Thomas Perona, seconded by Commissioner Curtis Johnson, Jr. to approve Ordinance No 22-018.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

- d. Quasi-Judicial Hearing- Review and approval of a Major Amendment to a Site Plan (Development and Design Review) to construct a 34,065 square foot Retail Warehouse Expansion with associated site improvements at or near 4145 S US Highway 1, more specifically located at Parcel Control Number(s): 2434-314-0003-000-4, 2434-314-0005-000-8

City Clerk Linda Cox introduced the Review and Approval of a Major Amendment to a Site Plan.

Mayor Linda Hudson called the proceeding to order.

City Clerk Linda Cox confirmed the City complied with the advertisement and notice requirements.

Mayor Linda Hudson inquired with the Commission regarding ex-parte communications and asked City Clerk to call the roll:

Commissioner Arnold Gaines - No

Commissioner Curtis Johnson Jr.- No

Commissioner Thomas Perona- No

Mayor Hudson – No

Staff Presentation:

Ryan Altizer, Planner, presented the review and approval of a Major Amendment to a Site Plan (Development and Design Review) to construct a 34,065 square foot Retail Warehouse Expansion with associated site improvements at or near 4145 S US Highway 1. Staff recommends APPROVAL of the requested applications with the following conditions:

1. A completion certification by a landscape architect, cost estimate, and landscape bond pursuant to City Code 123-6 shall be required before the Final Certificate of Occupancy is approved for the site.

2. Bicycle Parking shall be provided at a ratio of 1 space per every 10 parking spaces pursuant to City Code 125-315 (f)(1)(a).

3. Provide an auto-turn movement showing how trucks will back into the new loading bays.

4. A Unity of Title with the St. Lucie County Clerk of Courts and a Parcel Combination with the St. Lucie County Property Appraiser shall be conducted before the issuance of a Building Permit.

Questions of Staff:

Commissioner Curtis Johnson inquired on the location of the access road and the maximum truck size for truck movement. Mr. Altizer commented that the access road is on Tumblin King Road for semi-truck entrance. Mr. Freeman explained the changes from the original plan to the amended plan.

Applicant Presentation:

Ryan Mclean, Project Manager, MBV Engineering, presented the amended changes to the site plan.

Questions of applicant:

None

Mayor Hudson opened the public hearing.

Seeing no one, she closed the public hearing.

Motion was made by Commissioner Arnold Gaines, seconded by Commissioner Curtis Johnson, Jr. to approve the review and approval of a Major Amendment to a Site Plan with four conditions.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

- e. Quasi-Judicial Hearing - Review and approval of an application for Preliminary Plat, submitted by Property Owner(s) Fort Pierce Redevelopment Agency and Applicant, OMCII LLC, to subdivide approximately 3 acres of land (more or less) for The Oaks at Moore's Creek (Phase II) located at or near 1206 Avenue B (Lot 1) and Lots 1-10 and 16-24, South of Moore's Creek and North of Avenue B in Fort Pierce, FL. The Developer/Applicant is required to enter into an agreement with the City of Fort Pierce and post the appropriate bond regarding the completion of the outstanding site work during the Final Plat approval process. The property is currently zoned Medium Density Residential (R-4) Parcel Control Number(s):  
2409-518-0001-000-8, 2409-517-0033-000-8, 2409-517-0032-000-1,  
2409-517-0031-000-4, 2409-517-0030-000-7, 2409-517-0029-000-7,  
2409-517-0028-000-0, 2409-517-0027-000-3, 2409-517-0026-000-6,  
2409-517-0025-000-9, 2409-517-0024-000-2, 2409-517-0038-000-3,  
2409-517-0041-000-7, 2409-517-0043-000-1, 2409-517-0044-000-8,  
2409-517-0045-000-5.

City Clerk Linda Cox introduced the Review and approval of an application for Preliminary Plat.

Mayor Linda Hudson called the proceeding to order.

City Clerk Linda Cox confirmed the City complied with the advertisement and notice requirements.

Mayor Linda Hudson inquired with the Commission regarding ex-parte communications and asked City Clerk to call the roll:

Commissioner Arnold Gaines - No

Commissioner Curtis Johnson Jr.- No

Commissioner Thomas Perona- No

Mayor Hudson – No

Staff Presentation:

Vennis Gilmore, Senior Planner presented the review and approval of an application for Preliminary Plat, submitted by Property Owner(s) Fort Pierce Redevelopment Agency and Applicant, OMCII LLC, to subdivide approximately 3 acres of land (more or less) for The Oaks at Moore's Creek (Phase II) located at or near 1206 Avenue B (Lot 1) and Lots 1-10 and 16-24, South of Moore's Creek and North of Avenue B in Fort Pierce, FL.

Questions of Staff:

None

Applicant presentation:

Corey O'Gorman, President, Place, was available for questions.

Commissioner Curtis Johnson inquired on the program for attainable housing.

Mr. O'Gorman explained that targeted sales are between 80-120% of median income with down payment assistance through the SHIP program. They are identifying buyers for prequalification on the four 3/2 models, but no price point is currently available.

Mayor Hudson opened the public hearing.

Seeing no one, she closed the public hearing.

Motion was made by Commissioner Curtis Johnson, Jr., seconded by Commissioner Arnold Gaines to approve the review and approval of an application for Preliminary Plat.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

### 13. CITY COMMISSION

- a. Resolution 22-R27 establishing polling places for the August 23, 2022 primary election.

PULLED AT THE REQUEST OF STAFF

- b. Resolution 22-R28 Setting the time of City Commission meetings on the first and third Monday of each month.

City Clerk Linda Cox introduced the Resolution, read by title only, into the record.

RESOLUTION NO. 22-R28

A RESOLUTION BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; SETTING THE TIME OF CITY COMMISSION MEETINGS; PROVIDING FOR AN EFFECTIVE DATE.

Mayor Hudson passed the gavel to Mayor Pro Tem Curtis Johnson.

Commissioner Gaines commented that Commissioner Jeremiah Johnson was not in favor of the change, in his absence, the meeting time should remain the same and inquired if the agenda items could be rearranged to accommodate the public hearings.

Commissioner Perona commented on consistency, time, staff, the community and prefers earlier rather than later.

Commissioner Curtis Johnson commented on the availability of public comments on the agenda twice and that he will maintain availability and approves the time change.

City Clerk Linda Cox commented that the agenda order is based on City Ordinance

Motion was made by Mayor Linda Hudson, seconded by Commissioner Thomas Perona to approve Resolution No. 22-R28.

AYE: Commissioner Curtis Johnson, Jr., Commissioner Thomas Perona, Mayor Linda Hudson

NAY: Commissioner Arnold Gaines

Passed

Mayor Hudson inquired on the effective date of the change. City Clerk Linda Cox explained that the advertisement must be met and can be changed from August 16, 2022 to August 15, 2022.

Commissioner Perona commented that the maximum amount of time must be given to the community to reflect the change.

Motion was made by Commissioner Thomas Perona, seconded by Mayor Linda Hudson to approve the effective date change to August 15, 2022.

AYE: Commissioner Arnold Gaines, Commissioner Curtis Johnson, Jr.,  
Commissioner Thomas Perona, Mayor Linda Hudson

Passed

Gavel was returned to Mayor Hudson.

**14. COMMENTS FROM THE PUBLIC**

Any person who wishes to comment on any subject may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Mayor, as this section of the Agenda is limited to thirty minutes. The City Commission will not be able to take any official actions under Comments from the Public. Speakers will address the Mayor, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

No comments

**15. COMMENTS FROM THE CITY MANAGER**

City Manager Nick Mimms – No comments  
City Clerk Linda Cox – No comments  
City Attorney Tanya Earley- No comments

**16. COMMENTS FROM THE COMMISSION**

Commissioner Perona - No comments

Commissioner Curtis Johnson, Jr. - No comments

Commissioner Gaines commented that the Commission hears the community.

Mayor Hudson commented on the importance of communication with the community.

**17. ADJOURNMENT**

Immediately following adjournment, please move toward the doors and exit the chambers. This allows for the safe and courteous exit of all persons, and those on the dais. Conversations after the meeting should be held outside of chambers, in the foyer or elsewhere, but not in the commission chambers where lights will be out as soon as the chambers are empty.

Mayor Linda Hudson adjourned the meeting at 8:55 P.M.

ATTEST:

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CITY CLERK

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MAYOR COMMISSIONER

**City Commission Regular Meeting - 6:00 pm**

**6. a.**

**Meeting Date:** 08/01/2022

**Re:** Fort Pierce Farmers Market Week

**Submitted For:** Linda Cox, City Clerk, City Clerk

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**SUBJECT:**

Fort Pierce Farmers Market Week

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**Attachments**

Fort Pierce Farmers Market Week

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**Form Review**

Form Started By: Linda Cox

Started On: 07/25/2022 09:39 AM

Final Approval Date: 07/25/2022



CITY OF FORT PIERCE, FLORIDA

PROCLAMATION

**WHEREAS,** Treasure Coast farmers and ranchers provide citizens with access to healthful, locally, and regionally produced foods through farmers markets, which are expanding and evolving to accommodate the demand for a diverse array of agricultural products; and

**WHEREAS,** farmers markets and other agricultural direct marketing outlets provide infrastructure to assist in the distribution of farm and value-added products, thereby contributing approximately \$9 billion each year to the U.S. economy; and

**WHEREAS,** farmers markets serve as significant outlets by which small-to-medium, new and beginning, and veteran agricultural producers market agricultural products, generating revenue that supports the sustainability of family farms and the revitalization of rural communities nationwide; and

**WHEREAS,** the City of Fort Pierce recognizes the importance of expanding agricultural marketing opportunities that assist and encourage the next generation of farmers and ranchers; generate farm income to help stimulate business development and job creation; build community connections through rural and urban linkages; and more;

**WHEREAS,** the Downtown Fort Pierce Farmers Market has been offering locally grown fresh produce, fruits, seafood, beef, poultry, and many other items that are products of local farmers, ranchers and others since 1997; and

**WHEREAS,** the Downtown Fort Pierce Farmers Market, a 501 c 3 not for profit organization, has been a venue for local musical artists, and locally prepared food, at Marina Square, every Saturday, year-round, rain or shine; and

**WHEREAS,** the Downtown Fort Pierce Farmers Market relocated to Lawnwood Stadium parking lot and converted to a drive through Market, in order to continue to provided fresh products to the citizens of the Treasure Coast area during the pandemic; and

**WHEREAS,** the Downtown Fort Pierce Farmers Market is a Saturday Morning tradition in Fort Pierce and annually ranks as one of the best farmers markets in Florida.

**NOW, THEREFORE,** to further awareness of farmers markets' contributions to the Treasure Coast, I, Linda Hudson, Mayor of the City of Fort Pierce do hereby proclaim the week of August 1-7, 2022, as

**Fort Pierce Farmers Market Week**

in conjunction with the observance of National Farmers Market Week. I call upon Fort Pierce citizens to celebrate farmers markets with appropriate observance and activities.

**IN WITNESS WHEREOF,** I have hereunto set my hand and caused the Official Seal of the City of Fort Pierce, Florida, to be affixed this 1<sup>st</sup> day of August 2022.

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MAYOR/COMMISSIONER



**City Commission Regular Meeting - 6:00 pm**

**7. a.**

**Meeting Date:** 08/01/2022

**Re:** Letter from Mark Music

**Submitted For:** Nick Mimms, City Manager, City Manager

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**SUBJECT:**

Letter from Mark Music, President, MMPS Environmental, Inc. awarding Certificates of Appreciation to the Chief of Police and Fort Pierce Marine Unit in recognition of their service and support of the Annual Fort Pierce Inlet Cleanup Dive.

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**Attachments**

Letter from Mark Music

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**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
City Manager	Nick Mimms	07/27/2022 10:53 AM
City Manager	Nick Mimms	07/27/2022 10:53 AM
Form Started By: Jennifer Robinson		Started On: 07/25/2022 09:54 AM
Final Approval Date: 07/27/2022		

MMPS Environmental, Inc.

Scientific, Environmental, Educational Research, and Habitat Restoration

www.mmpsenvironmental.com

Fort Pierce Police Chief Diane Hobley-Burney  
920 U.S. Highway 1  
Fort Pierce Florida 34950

June 25, 2022

Chief Hobley-Burney, in 2021 MMPS Environmental Inc. took over the Fort Pierce Inlet Cleanup dives from Marine Cleanup Initiative inc. On June 25, 2022, we had annual Fort Pierce Inlet Cleanup dives. This was a major undertaking by all involved, and I am pleased to announce that it was very successful.

The Fort Pierce Police Marine Unit was present and did a fantastic job of maintaining the peace and safety on the water. We could not have done this without your cooperation and dedication.

I would like to thank all the members of the Fort Pierce Police Marine Unit. They need to know what an outstanding job that they did and are doing.

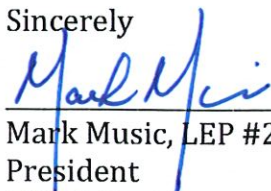
I personally supervised the dives and I personally saw what a great job that they did. There were no incidents, injuries, collisions, on the water or on the jetty. Everyone that attended had a great time and it is in no small part of the GREAT JOB that you and your Marine Unit did.

The Officers made sure that everyone was safe and even kept tabs on all of the divers. The Fort Pierce Police Marine Unit secured the Inlet. It was relief for me that there were so many looking after us and keeping us safe.

Thank you, Chief Hobley-Burney, and thank the Fort Pierce Police Marine Unit for doing an outstanding job!

With all sincerity Thank You, I am including a Certificate of Appreciation for you and the Fort Pierce Marine unit.

Sincerely



Mark Music, LEP #215

President

MMPS Environmental

2078 SE Camden Street

Port St Lucie Florida 34952

(772) 485-9178

# ***CERTIFICATE of APPRECIATION***

This Certificate is awarded to

---

*Diane Hobley-Burnry  
Chief of Police Fort Pierce,  
Florida*

In Recognition of their service and support of the Annual Fort Pierce Inlet Cleanup Dive  
Presented by MMPS Environmental Inc.

On this Twenty fifth Day of June in the year Two Thousand Twenty-two

Date: June 25, 2022

---

Mark Music, LEP #215  
President  
MMPS Environmental Inc.



MMPS ENVIRONMENTAL

*B+B*

# ***CERTIFICATE of APPRECIATION***

This Certificate is awarded to

---

## *Fort Pierce Marine Unit and the City of Fort Pierce*

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In Recognition of their service and support of the Annual Fort Pierce Inlet Cleanup Dive  
Presented by MMPS Environmental Inc.

On this Twenty fifth Day of June in the year Two Thousand Twenty-two

Date: June 25, 2022

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Mark Mujic, LEP #215  
President  
MMPS Environmental Inc.



MMPS ENVIRONMENTAL

*B+B*

**City Commission Regular Meeting - 6:00 pm**

**11. a.**

**Meeting Date:** 08/01/2022

**Re:** Approval of Grant Award Agreement between the Florida Department of State

**Submitted For:** Audria Moore-Wells, Special Projects Coordinator, City Manager

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**SUBJECT:**

Approval of African-American Cultural and Historical Grant Award Agreement between the Florida Department of State and the City of Fort Pierce for the renovation of the Jackie L. Caynon Building for the Fort Pierce Highwaymen Museum in the amount of \$483,662.00.

**SUMMARY:**

The City of Fort Pierce was awarded an African-American Cultural and Historical Grant from the Department of State for the renovation of the Jackie L. Caynon Building to create the City of Fort Pierce Florida Highwaymen Museum. The Highwaymen Museum Project was ranked fourth (4th) out of 152 grants reviewed by the African American Cultural and Historical Grants Team over a three-day period. The project received full funding in the amount of \$483,662. Funds will be used to transform the two-story, 3,200-square feet building located in the historical African American community of Lincoln Park to house valuable works of art. Work items include installing a new HVAC; fire suppression; security system; decorative security fencing; upgrading (5) exterior doors; renovating the kitchen and installing wood shutters; installing brick pavers; installing LED track lighting; removing and replacing the flooring on both floors; repair, patch, prime, paint interior walls; install custom window coverings in the main gallery, and install a new generator with a transfer switch.

**RECOMMENDATION:**

Staff recommends approval.

**ALTERNATIVES:**

Staff will proceed as directed by the City Commission

**RESPONSIBLE STAFF:**

Audria Moore-Wells, Special Projects Coordinator

**COORDINATED WITH:**

Nicholas C. Mimms, P.E., ICMA-CM  
Tanya Early, City Attorney  
Teri Abstein, Contracts & Grant Manager,  
FL. Department of State, Division of Arts & Culture

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**Fiscal Impact**

**Budgeted Y/N:** N

**Fiscal Year:** 2022  
**Account:** TBD  
**Amount:** \$483,662

**OTHER INFORMATION:**

Grant funding does not require a cash or in-kind match.

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**Attachments**

Grant Agreement

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**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
City Manager	Nick Mimms	07/12/2022 10:11 AM
City Manager	Nick Mimms	07/15/2022 11:59 AM
Form Started By: Jennifer Robinson		Started On: 07/06/2022 12:16 PM
Final Approval Date: 07/15/2022		

**GRANT AWARD AGREEMENT BETWEEN  
THE STATE OF FLORIDA, DEPARTMENT OF STATE  
AND  
City of Fort Pierce  
HD7SD9PNKNA5  
23.s.aa.900.084**

This Agreement is by and between the State of Florida, Department of State, hereinafter referred to as the “Department,” and the City of Fort Pierce hereinafter referred to as the “Grantee.”

The Grantee has been awarded an African-American Historical and Cultural Grant by the Department, grant number 23.s.aa.900.084 for the Project ‘FL Highwaymen & African-American Culture Project,’ in the amount of \$483,662 (“Grant Award Amount”). The Department enters into this Agreement and has the authority to administer this grant in accordance with Section 152 of the 2021-2022 General Appropriations Act and Section 197 of the 2022-23 General Appropriations Act.

Funding for this grant is provided by the federal Coronavirus State and Local Fiscal Recovery Funds (SLFRF) program established by the American Rescue Plan, Pub. L. No. 117-2 (ARPA), as authorized by the Department of the Treasury. Federal funds disbursed under this program may only be used in compliance with ARPA, Treasury’s regulations implementing the Act, applicable provisions of 2 CFR 200, Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards, and all other applicable federal statutes, regulations, and executive orders. For additional information about the SLFRF program, see the Assistance Listing in SAM.gov under assistance listing number (formerly known as CFDA number) 21.027.

In consideration of the mutual covenants and promises contained herein, the parties agree as follows:

**1. Grant Purpose.** This grant shall be used exclusively for the “FL Highwaymen & African-American Culture Project ,” the public purpose for which these funds were appropriated.

a. The Grantee shall perform the following **Scope of Work**:

Funds are to be used to transform an existing two-story, 3,200 square feet building located in the historical African American community of Lincoln Park to house The Florida Highwaymen Museum. Work items include: HVAC; fire suppression; security system; decorative security fencing; upgrade (5) exterior doors; renovate kitchen and install wood shutters; install brick pavers; install LED track lighting; remove and replace flooring on both floors; repair, patch, prime, paint interior walls; install custom window coverings in the main gallery; and install new generator with transfer switch.

All tasks associated with the Project shall meet the requirements set forth in this agreement.

b. The Grantee agrees to provide the following **Deliverables** and **Performance Measures** related to the Scope of Work for payments to be awarded.

#	Payment Type	Deliverable Description	Documentation	Payment Amount
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1	Fixed Price	Provide one (1) copy of the draft contract with a professional architectural/engineering consultant; one (1) copy of the project timeline to the Department for review and approval; one (1) copy of the Certificate of Completion for participation in the Grants Management Webinar demonstrating a 100/100 score on the AACH Grants Management Quiz; one (1) copy of the SAM.gov entity information form.	One (1) copy of the draft contract with a professional architectural/engineering consultant; one (1) copy of the project timeline to the Department for review and approval; one (1) Certificate of Completion demonstrating a 100/100 score on the AACH Grants Management Quiz; one (1) copy of the SAM.gov entity information form.	\$120,915
2	Fixed Price	Complete and submit a completed Application and Certificate for Payment (AIA Document G702) and Schedule of Contract Values (AIA Document G703), or their equivalents, showing at least thirty percent (30%) of the project completed for review and approval; Photographic documentation of installed project identification sign with Grant Funding Acknowledgement; documentation to support all paid expenditures including detailed paid invoices, bank records, and canceled checks.	One (1) copy of a completed Application and Certificate for Payment (AIA Document G702) and Schedule of Contract Values (AIA Document G703), or their equivalents, showing at least thirty percent (30%) of the project completed; Photographic documentation of installed project identification sign with Grant Funding Acknowledgement; documentation to support all paid expenditures including detailed paid invoices, bank records, and canceled checks.	\$120,915
3	Fixed Price	Complete and Submit one (1) copy of a completed Application and Certificate for Payment (AIA Document G702) and Schedule of Contract Values (AIA Document G703), or their equivalents, showing at least sixty percent (60%) of the project completed; documentation to support all paid expenditures including detailed paid invoices, bank records, and canceled checks.	One (1) copy of a completed Application and Certificate for Payment (AIA Document G702) and Schedule of Contract Values (AIA Document G703), or their equivalents, showing at least sixty percent (60%) of the project completed; documentation to support all paid expenditures including detailed paid invoices, bank records, and canceled checks.	\$120,916

4	Fixed Price	Complete and submit an Application and Certificate for Payment (AIA Document G702) and Schedule of Contract Values (AIA Document G703), or their equivalents, showing at least one hundred percent (100%) of the project completed, including all retainage amounts paid, for review and approval. In addition, a new/updated FMSF form (for previously extant structures over 50 years old) for the property and executed Restrictive Covenant filed with the County Clerk shall be submitted prior to final payment; a Single Audit Form shall be completed by the Grantee and submitted along with the Final Progress Report prior to final payment; documentation to support all paid expenditures including detailed paid invoices, bank records, and canceled checks.	One (1) copy of the completed Application and Certificate for Payment (AIA Document G702) and Schedule of Contract Values (AIA Document G703), or their equivalents, showing at least one hundred percent (100%) of the project completed, including all retainage amounts paid; One (1) copy of the new/updated FMSF form (for previously extant structures over 50 years old); One (1) copy of the executed Restrictive Covenant filed with the County Clerk; One (1) Single Audit Form; documentation to support all paid expenditures including detailed paid invoices, bank records, and canceled checks.	\$120,916
<b>Totals</b>				<b>\$483,662</b>

- c. The Grantee has provided an Estimated Project Budget based upon reasonable expenditures projected to accomplish the Grantee's Scope of Work and Deliverables outlined in the Agreement. The Budget provides details of how grant and match funds will be spent. All expenditures shall be in accordance with this budget (which is incorporated as part of this Agreement and entitled Attachment A) and must be incurred during the term of this Agreement, as stated in Section 2 of this Agreement.
- d. Should grant expenditures vary from the budgeted grant amount for any line item in Attachment A (Estimated Project Budget) by more than 20%, the Grantee shall be required to submit a proposal for revision of the Estimated Project Budget with a written explanation for the reason(s) for deviation(s) from the original Estimated Project Budget to the Division for review and written approval.

**2. Length of Agreement.** This Agreement shall begin on July 1, 2021, and shall end June 30, 2023, unless terminated in accordance with the provisions of Section 33 of this Agreement. Contract extensions will not be granted unless Grantee is able to provide substantial written justification and the Department approves such extension. The Grantee's written request for such extension must be submitted to the Department no later than thirty (30) days prior to the termination date of this Agreement and no amendment will be valid until a written amendment is signed by both parties as required in Section 7 and Section 15 of this Agreement.

**3. Contract Administration.** The parties are legally bound by the requirements of this Agreement. Each party's contract manager, named below, will be responsible for monitoring its performance under this Agreement, and will be the official contact for each party. Any notice(s) or other communications in regard to this agreement shall be directed to or delivered to the other party's contract manager by utilizing the information below. Any change in the contact information below shall be submitted in writing to the contract manager within 10 days of the change.

**For the Department :**  
Teri Abstein  
Florida Department of State  
R.A. Gray Building  
500 South Bronough Street  
Tallahassee, FL 32399

Phone: 850.245.6299  
Email: [teri.abstein@dos.myflorida.com](mailto:teri.abstein@dos.myflorida.com)

**For the Grantee:**

Contact: Audria Moore-Wells  
Address: 100 N US Highway 1 Fort Pierce Florida 34950  
Phone: 772.467.3184  
Email: [amoorewells@cityoffortpierce.com](mailto:amoorewells@cityoffortpierce.com)

4. **Grant Payments.** All grant payments are requested online via <https://dosgrants.com/> by submitting a payment request with documentation that the deliverable has been completed. The total grant award shall not exceed the Grant Award Amount, which shall be paid by the Department in consideration for the Grantee's minimum performance as set forth by the terms and conditions of this Agreement. Grant payment requests are not considered complete for purposes of payment until review of the deliverables for compliance with the terms and conditions of this Agreement by the appropriate Department staff is complete and approval of the deliverable given. The grant payment schedule is outlined below:
  - a. All payments will be made in the amounts identified with the Deliverables in Section 1 of this agreement.
  - b. All payments will be made in accordance with the completion of those Deliverables.
5. **Electronic Payments.** The Grantee can choose to use electronic funds transfer (EFT) to receive grant payments. All grantees wishing to receive their award through electronic funds transfer must submit a Direct Deposit Authorization form to the Florida Department of Financial Services (DFS). If EFT has already been set up for the organization, the Grantee does not need to submit another authorization form unless the organization has changed bank accounts. The authorization form is accessible at <http://www.myfloridacfo.com/Division/AA/Forms/DFS-A1-26E.pdf> where information pertaining to payment status is also available.
6. **Florida Substitute Form W-9.** A completed Substitute Form W-9 issued by DFS is required from any entity that receives a payment from the State of Florida that may be subject to 1099 reporting. DFS must have the correct Taxpayer Identification Number (TIN) and other related information in order to report accurate tax information to the Internal Revenue Service (IRS). To register or access a Florida Substitute Form W-9 visit <http://www.flvendor.myfloridacfo.com/>. **A copy of the Grantee's Florida Substitute Form W-9 must be submitted to the Department, as required, in advance of or with the executed Agreement.**
7. **Amendment to Agreement.** Either party may request modification of the provisions of this Agreement by contacting the Department to request an Amendment to the Contract. **Changes which are agreed upon shall be valid only when in writing, signed by each of the parties, and attached to the original of this Agreement.** If changes are implemented without the Department's written approval, the organization is subject to noncompliance, and the grant award is subject to reduction, partial, or complete refund to the State of Florida and termination of this agreement.
8. **Financial Consequences.** The Department shall apply the following financial consequences for failure to perform the minimum level of services required by this Agreement in accordance with Sections 215.971 and 287.058, *Florida Statutes*.
  - a. Payments will be withheld for failure to complete services as identified in the Scope of Work and Deliverables, provide documentation that the deliverable has been completed, or demonstrate the appropriate use of state or federal funds.
  - b. If the Grantee has spent less than the Grant Award Amount in state or federal funds to complete the Scope of Work, the final payment will be reduced by an amount equal to the difference between spent state or federal dollars and the Grant Award Amount.
  - c. The Division may reduce individual payments by 10% if the completed deliverable is not consistent with any applicable historic preservation standards as outlined in the Secretary of the Interior's Standards and Guidelines for Archaeology and Historic Preservation available online at <https://www.nps.gov/subjects/historicpreservation/standards.htm> or applicable industry standards.

The Department shall reduce total grant funding for the Project in direct proportion to any required match contributions not met by the end of the grant period. This reduction shall be calculated by dividing the actual match amount by the required match amount indicated in the Agreement and multiplying the product by the Grant Award Amount indicated in the Agreement. Pursuant to Section 17, Grantee shall refund to the Department any excess funds paid out prior to a reduction of total grant funding.

## 9. Additional Special Conditions.

a) For all projects involving **development activities**, the following special conditions apply:

- i. All project work shall be completed under the supervision of a licensed architect or licensed contractor.
- ii. All project work affecting a Historic Property must be in compliance with the **Secretary of the Interior's Standards and Guidelines for Archaeology and Historic Preservation** available online at: <https://www.nps.gov/subjects/historicpreservation/standards.htm>
- iii. The Grantee shall provide photographic documentation of the Project activity. Guidelines regarding the photographic documentation are available online at <https://dos.myflorida.com/historical/grants/special-category-grants/>
- iv. Architectural Services
  - A. All projects shall require contracting for architectural/engineering services.
  - B. The Grantee may request a waiver of this requirement from the Department if they believe that the architectural/engineering services are not needed for the Project. The Department shall make a recommendation to the Grantee after review of the proposed work.
- v. Architectural Documents and Construction Contracts

The Grantee shall submit the architectural services contract to the Department for review and approval prior to final execution. In addition, pursuant to *Section 267.031(5)(i), Florida Statutes*, the Grantee shall submit architectural planning documents to the Department for review and approval at the following stages of development:

- A. Upon completion of **schematic design**;
- B. Upon completion of **design development and outline specifications**; and
- C. Upon completion of **100% construction documents and project manual**, prior to execution of the construction contract.

- vi. For the construction phase of the Project, in addition to the review submissions indicated above, a copy of the construction contract must be submitted to the Department for review and approval prior to final execution. Department review and approval of said contracts shall not be construed as acceptance by or imposition upon the Department of any financial liability in connection with said contracts.
- vii. For projects involving ground disturbance (examples include: historic building or structure relocation, grading and site work, installation of sewer and water lines, subgrade foundation repairs or damp proofing, construction of new foundations and installation of landscape materials), the Grantee shall ensure that the following requirements are included in all contracts for architectural and engineering services:
  - A. Ground disturbance around historic buildings or elsewhere on the site shall be minimized, thus reducing the possibility of damage to or destruction of significant archaeological resources.
  - B. If an archaeological investigation of the Project site has not been completed, the architect or engineer shall contact the Department for assistance in determining the actions necessary to evaluate the potential for adverse effects of the ground disturbing activities on significant archaeological resources.
  - C. Significant archaeological resources shall be protected and preserved in place whenever possible. Heavy machinery shall not be allowed in areas where significant archaeological resources may be disturbed or damaged.
  - D. When preservation of significant archaeological resources in place is not feasible, a mitigation plan shall be developed in consultation with and approved by the Division of Historical Resources, Bureau of Historic Preservation's Compliance Review Section (contact information available online at [www.flheritage.com](http://www.flheritage.com)). The mitigation plan shall be implemented under the direction of an archaeologist meeting the *Secretary of the Interiors' Professional Qualification Standards for Archaeology*.

E. Documentation of archaeological investigation and required mitigation actions shall be submitted to the Compliance Review Section for review and approval. This documentation shall conform to the *Secretary of the Interior's Standards for Archaeological Documentation*, and the reporting standards of the Compliance Review Section set forth in *Chapter 1A-46, Florida Administrative Code*.

b) For all projects involving **survey activities**, the following special conditions apply:

- i. The Grantee shall submit survey contracts to the Department for review and approval prior to execution.
- ii. A 1A-32 permit must be obtained from the Division of Historical Resources, Bureau of Archaeological Research prior to the beginning of fieldwork conducted in state lands and a copy submitted to the Department, if applicable.
- iii. For historical structure and archaeological surveys, the Grantee shall follow the historic structure and archaeological survey guidelines as outlined in the documents found online at <https://dos.myflorida.com/historical/grants/small-matching-grants/>. The survey report shall conform to *Chapter 1A-46, Florida Administrative Code*.

c) Federal Coronavirus State and Local Fiscal Recovery Funds (SLFRF) program Grant Subrecipients must comply with the Federal Special Conditions contained in Attachment C.

**10. Credit Line(s) to Acknowledge Grant Funding.** Pursuant to Section 286.25, *Florida Statutes*, in publicizing, advertising, or describing the sponsorship of the program the Grantee shall include the following statement:

- a. "This project is sponsored in part by the Department of State and the State of Florida." Any variation in this language must receive prior approval in writing by the Department.
- b. All site-specific projects must include a Project identification sign, with the aforementioned language, that must be placed on site. The cost of preparation and erection of the Project identification sign are allowable project costs. Routine maintenance costs of Project signs are not allowable project costs. A photograph of the aforementioned sign must be submitted to the Department as soon as it is erected.

**11. Encumbrance of Funds.** The Grantee shall execute a binding contract for at least a part of the Scope of Work within six (6) months from the date of execution of this Agreement, except as allowed below.

- a. Extension of Encumbrance Deadline: The encumbrance deadline indicated above may be extended by written approval of the Department. To be eligible for this extension, the Grantee must demonstrate to the Department that encumbrance of grant funding and the required match by binding contract(s) is achievable by the end of the requested extended encumbrance period. The Grantee's written request for extension of the encumbrance deadline must be submitted to the Department no later than fifteen (15) days prior to the encumbrance deadline indicated above.
- b. Encumbrance Deadline Exception: For projects not involving contract services the Grantee and the Department shall consult on a case-by-case basis to develop an acceptable encumbrance schedule.

**12. Grant Reporting Requirements.** The Grantee must submit the following reports to the Department. All reports shall document the completion of any deliverables/tasks, expenses and activities that occurred during that reporting period. All reports on grant progress will be submitted online via <https://dosgrants.com/>. If the Grant Period end date set forth in Section 2 is extended in accordance with the requirements of Section 7 and Section 15 of this Agreement, additional quarterly progress reports shall be submitted until the expiration of the Grant Period.

- a. **First Project Progress Report** is due by July 15, 2022, for the period April 1 - June 30, 2022.
- b. **Second Project Progress Report** is due by October 15, 2022, for the period July 1 - September 30, 2022.
- c. **Third Project Progress Report** is due by January 15, 2023, for the period October 1 - December 31, 2022.
- d. **Fourth Project Progress Report** is due by April 15, 2023 for the period ending January 1 - March 31, 2023.

- e. **Fifth Project Progress Report** is due by July 15, 2023, for the period ending April 1 - June 30, 2023.
- f. **Final Report.** The Grantee must submit a Final Report to the Division within one month of the Grant Period End Date set forth in Section 2 above. All final reports must document the completion of all deliverables/tasks, expenses and activities that occurred by the Grant Period End Date. The Grantee may expend funds only for allowable costs resulting from obligations incurred during the specified agreement period. Expenditures of state or federal financial assistance must be in compliance with the laws, rules, and regulations applicable to expenditures of state and federal funds, including, but not limited to, this Agreement, the *Reference Guide for State Expenditures*, and 2 CFR Part 200.
- 13. Matching Funds.** Grantee is not required to provide matching funds if the Grant Award Amount is equal to or less than \$500,000. *However*, if the Grant Award Amount is greater than \$500,000, Grantee is required to provide a 50% match of the amount above \$500,000. The Grantee is responsible for any matching funds included in the budget in Attachment A, whether required or voluntary. The Grantee must submit documentation that the match requirements of this Agreement have been met and provide to the Department documentation evidencing expenses incurred to comply with this requirement.
- 14. Grant Completion Deadline.** The grant completion deadline is the end date of this Agreement set forth in Section 2 above. The Grant Completion Deadline is the date when all grant and any required matching funds have been paid out or incurred in accordance with the work described in the Scope of Work, detailed in the Estimated Project Budget. If the Grantee finds it necessary to request an extension of the Grant Completion Deadline, an Amendment to the Agreement must be executed as per Section 7, and the stipulations in Section 15 must be met.
- 15. Extension of the Grant Completion Deadline.** An extension of the completion date must be requested at least thirty (30) days prior to the end of the Grant Period and may not exceed six (6) months, unless the Grantee can clearly demonstrate extenuating circumstances: *provided, however*; that under no circumstances may this Agreement be extended beyond the period of performance for use of SLFRF funds, as set forth by the Department of the Treasury. An extenuating circumstance is one that is beyond the control of the Grantee, and one that prevents timely completion of the Project such as a natural disaster, death or serious illness of the individual responsible for the completion of the Project, litigation related to the Project, or failure of the contractor or architect to provide the services for which they were contracted to provide. An extenuating circumstance does not include failure to read or understand the administrative requirements of a grant or failure to raise sufficient matching funds. Changes to the original completion deadline shall be valid only when requested in writing, approved by the Department, and an Amendment to the Agreement has been executed by both parties and attached to the original of this Agreement. The Grantee must provide documentation that a portion of the grant funds and match contributions are encumbered and demonstrate to the satisfaction of the Department that project work is progressing at a rate such that completion is achievable within the extended Grant Period.
- 16. Non-allowable Grant Expenditures.** The Grantee agrees to expend all grant funds received under this agreement solely for the purposes for which they were authorized and appropriated. Expenditures (grant and match) shall be in compliance with applicable federal and state statutes, regulations, the program guidelines, and this agreement. The following categories of expenditures are non-allowable for expenditure of grant funds and as contributions to required match:
- Expenditures for work not included in the Scope of Work of the executed Grant Award Agreement;
  - Costs of goods and services not procured in accordance with procurement procedures set forth in the Grant Award Agreement and 2 CFR Part 200;
  - Expenses incurred or obligated prior to or after the Grant Period, as indicated in the Grant Award Agreement;
  - Expenditures of state or federal financial assistance not in compliance with the laws, rules, and regulations applicable to expenditures of state and federal funds as outlined in the Department of Financial Services' Reference Guide for State Expenditures (revised 11/1/2019) and 2 CFR Part 200.
  - Expenses associated with lobbying or attempting to influence Federal, State or local legislation, the judicial branch or any state agency;
  - For project activities directed at a Historic Property, expenditures for work not consistent with the applicable historic Preservation Standards as outlined in the Secretary of the Interior's Guidelines available at [www.nps.gov/tps/standards/treatment-guidelines-2017.pdf](http://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf), standards available at <http://www.nps.gov/tps/standards.htm> and [nps.gov/history/local-law/arch\\_stnds\\_0.htm](http://www.nps.gov/history/local-law/arch_stnds_0.htm) or applicable industry standards;
  - Costs for projects having as their primary purpose the fulfillment of Federal or State regulatory requirements, including costs of

consultation and mitigation measures required under Section 106 of the National Historic Preservation Act of 1966, as amended, or under Section 267.031, F.S.;

- h) Projects directed at activities or Real Properties that are restricted to private or exclusive participation or access, which shall include restricting access on the basis of sex, race, color, religion, national origin, disability, age, pregnancy, handicap or marital status;
  - i) Entertainment, food, beverages, plaques, awards or gifts;
  - j) Costs not documented in accordance with the provisions of the Grant Award Agreement;
  - k) Indirect costs including Grantee overhead, management expenses, general operating costs and other costs that are not readily identifiable as expenditures for the materials and services required to complete the work identified in the Scope of Work in the Grant Award Agreement. Examples of indirect costs include: rent/mortgage, utilities, janitorial services, insurance, accounting, internet service, monthly expenses associated to security systems, non-grant related administrative and clerical staffing, marketing and fundraising activities;
  - l) Administrative and project management expenditures such as expenditures that are directly attributable to management of the grant-assisted Project and meeting the reporting and associated requirements of the Grant Award Agreement;
  - m) Grantee operational support (i.e., organization salaries not directly related to grant activities; travel expenditures; per diem; or supplies);
  - n) Insurance costs (Exception: costs for builder's risk, workers' compensation and contractor's liability insurance);
  - o) Capital improvements to the interior of Religious Properties (Exception: repairs to elements of the structural system. Examples include: foundation repairs, repairs to columns, load bearing wall framing, roof framing, masonry repairs, window and exterior door repairs and restoration practices associated with the building envelope);
  - p) Accessibility improvements for Religious Properties;
  - q) Parking facilities, sidewalks, walkways, and trails that are the entire scope of work; landscaping; fabrication or design of exhibits; or commercial projects (coffee shops, cafés, and gifts shops as part of the facility are allowable);
  - r) Furniture and equipment unnecessary to furnish and operate a new or improved facility as part of a Fixed Capital Outlay project. Specific prior approval must be granted by the Department for all expenditures for furniture and equipment;
  - s) Costs associated with attending or hosting conferences, summits, workshops or presentations (Exception: municipal or county required public meetings necessary for completion of the grant assisted project);
  - t) Travel expenditures, including those of personnel responsible for items of work approved by the Department, administrative personnel, contracted or subcontracted employees, either for purposes of work on-site or research off-site; and
  - u) Tuition waivers, fees, and other non-grant related costs associated with employing students for grant projects.
- 17. Unobligated and Unearned Funds and Allowable Costs.** In accordance with Section 215.971, *Florida Statutes*, the Grantee shall refund to the State of Florida any balance of unobligated funds which has been advanced or paid to the Grantee. In addition, funds paid in excess of the amount to which the recipient is entitled under the terms and conditions of the agreement must be refunded to the state agency. Further, the recipient may expend funds only for allowable costs resulting from obligations incurred during the specified agreement period. Expenditures of state or federal financial assistance must be in compliance with the laws, rules, and regulations applicable to expenditures of state and federal funds, including, but not limited to, the *Reference Guide for State Expenditures* and 2 CFR Part 200.
- 18. Repayment.** All refunds or repayments to be made to the Department under this Agreement are to be made payable to the order of the "Department of State" and mailed directly to the following address: Florida Department of State, Attention: African-American Cultural and Historical Grant Program, Department of State, 500 South Bronough Street Tallahassee, FL 32399. In accordance with Section 215.34(2), *Florida Statutes*, if a check or other draft is returned to the Department for collection, Grantee shall pay to the Department a service fee of \$15.00 or five percent (5%) of the face amount of the returned check or draft, whichever is greater.
- 19. Single Audit Act.** The Grantee is required to complete a Single Audit Act certification form through the Department of State grants management system at <https://dosgrants.com/>. Each grantee, other than a grantee that is a State agency, shall submit to an audit pursuant to 2 CFR 200, Subpart F - Audit Requirements, and Section 215.97, *Florida Statutes*. See Attachment B for additional information regarding this requirement.
- 20. Retention of Accounting Records.** Financial records, supporting documents, statistical records, and all other records including electronic storage media pertinent to the Project shall be retained for a period of five (5) years after the close out of the grant. If any litigation or audit is initiated, or claim made, before the expiration of the five-year period, the records shall be retained until the litigation, audit, or claim has been resolved.

- 21. Obligation to Provide State Access to Grant Records.** The Grantee must make all grant records of expenditures, copies of reports, books, and related documentation available to the Department or a duly authorized representative of the State of Florida for inspection at reasonable times for the purpose of making audits, examinations, excerpts, and transcripts.
- 22. Obligation to Provide Public Access to Grant Records.** The Department reserves the right to unilaterally cancel this Agreement in the event that the Grantee refuses public access to all documents or other materials made or received by the Grantee that are subject to the provisions of Chapter 119, *Florida Statutes*, known as the *Florida Public Records Act*. The Grantee must immediately contact the Department's Contract Manager for assistance if it receives a public records request related to this Agreement.
- 23. Restrictive Covenants.** The Grantee and the Property Owner(s), if different, shall execute and file Restrictive Covenants with the Clerk of the Circuit Court in the county where the property is located, prior to initial release of grant funds. The Restrictive Covenants shall include at a minimum the following provisions:
- a. The Restrictive Covenants shall run with the title of the property, shall encumber the property and shall be binding upon the Grantee and the Property Owner(s), if different, and their successors in interest for ten (10) years from the date of the recordation of the Restrictive Covenants for projects involving improvements to Real Property.
  - b. The Grantee and Property Owner(s) shall permit the Department to inspect the property at all reasonable times to determine whether the Grantee and Property Owner(s) are in compliance with the terms of the Restrictive Covenants.
  - c. In the case of Historic Properties, the Grantee and Property Owner(s) shall maintain the property in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.
  - d. In the case of Cultural Facilities, the Grantee and Property Owner(s) shall maintain the property as a building which is be used primarily for the programming, production, presentation, exhibition or any combination of the above functions of any of the cultural disciplines defined in Section 265.283(7), Florida Statute. These disciplines include, but are not limited to music, dance, theatre, creative writing, literature, architecture, painting, sculpture, folk arts, photography, crafts, media arts, visual arts, programs of museums, and other such allied, major art forms.
  - e. The Grantee and Property Owner(s) agree that no modifications will be made to the property, other than routine repairs and maintenance, without advance review and approval of the plans and specifications by the Department.
  - f. The Restrictive Covenants shall contain the following amortization schedule of the repayment of grant funds, should the Grantee or Property Owner(s) or their successors in interest violate the Restrictive Covenants.
    - i. Amortization Schedule for projects involving improvements to Real Property:  
If the violation occurs within the first five (5) years of the effective date of these covenants, the Department shall be entitled to return of the entire grant amount. If the violation occurs after the first five (5) years, the Department shall be entitled to return of the entire grant amount, less 10% for each year past the first five (5).
  - g. Other provisions as agreed upon by the Department and the Grantee.
- 24. Noncompliance with Grant Requirements.** Any Grantee that has not submitted required reports or satisfied other administrative requirements for this grant or other grants from any other Florida Department of State (DOS) Division will be in noncompliance status and subject to the DOS Grants Compliance Procedure. Grant compliance issues must be resolved before a grant award agreement may be executed, and before grant payments for any DOS grant may be released.
- 25. Accounting Requirements.** The Grantee must maintain an accounting system that provides a complete record of the use of all grant funds as follows:
- a. The accounting system must be able to specifically identify and provide audit trails that trace the receipt, maintenance, and expenditure of state funds;

- b. Accounting records must adequately identify the sources and application of funds for all grant activities and must classify and identify grant funds by using the same budget categories that were approved in the grant application. If Grantee's accounting system accumulates data in a different format than the one in the grant application, subsidiary records must document and reconcile the amounts shown in the Grantee's accounting records to those amounts reported to the Department.
  - c. An interest-bearing checking account or accounts in a state or federally chartered institution may be used for revenues and expenses described in the Scope of Work and detailed in the Estimated Project Budget.
  - d. The name of the account(s) must include the grant award number;
  - e. The Grantee's accounting records must have effective control over and accountability for all funds, property, and other assets; and
  - f. Accounting records must be supported by source documentation and be in sufficient detail to allow for a proper pre-audit and post-audit (such as invoices, bills, and canceled checks).
- 26. Availability of Funds.** The State of Florida's performance and obligation to pay under this Agreement are contingent upon an annual appropriation by the Florida Legislature, or the United States Congress in the case of a federally funded grant. In the event that the state or federal funds upon which this Agreement is dependent are withdrawn, this Agreement will be automatically terminated and the Department shall have no further liability to the Grantee, beyond those amounts already released prior to the termination date. Such termination will not affect the responsibility of the Grantee under this Agreement as to those funds previously distributed. In the event of a state revenue shortfall, the total grant may be reduced accordingly.
- 27. Independent Contractor Status of Grantee.** The Grantee, if not a state agency, agrees that its officers, agents and employees, in performance of this Agreement, shall act in the capacity of independent contractors and not as officers, agents, or employees of the state. The Grantee is not entitled to accrue any benefits of state employment, including retirement benefits and any other rights or privileges connected with employment by the State of Florida.
- 28. Grantee's Subcontractors.** The Grantee shall be responsible for all work performed and all expenses incurred in connection with this Agreement. The Grantee may subcontract, as necessary, to perform the services and to provide commodities required by this Agreement. The Department shall not be liable to any subcontractor(s) for any expenses or liabilities incurred under the Grantee's subcontract(s), and the Grantee shall be solely liable to its subcontractor(s) for all expenses and liabilities incurred under its subcontract(s). The Grantee must take the necessary steps to ensure that each of its subcontractors will be deemed to be "independent contractors" and will not be considered or permitted to be agents, servants, joint ventures, or partners of the Department.
- 29. Liability.** The Department will not assume any liability for the acts, omissions to act, or negligence of, the Grantee, its agents, servants, or employees; nor may the Grantee exclude liability for its own acts, omissions to act, or negligence, to the Department.
- a. The Grantee shall be responsible for claims of any nature, including but not limited to injury, death, and property damage arising out of activities related to this Agreement by the Grantee, its agents, servants, employees, and subcontractors. The Grantee, other than a Grantee which is the State or the State's agencies or subdivisions, as defined in Section 768.28, *Florida Statutes*, shall indemnify and hold the Department harmless from any and all claims of any nature and shall investigate all such claims at its own expense. If the Grantee is governed by Section 768.28, *Florida Statutes*, it shall only be obligated in accordance with that Section.
  - b. Neither the state nor any agency or subdivision of the state waives any defense of sovereign immunity, or increases the limits of its liability, by entering into this Agreement.
  - c. The Department shall not be liable for attorney fees, interest, late charges or service fees, or cost of collection related to this Agreement.
  - d. The Grantee shall be responsible for all work performed and all expenses incurred in connection with the Project. The Grantee may subcontract as necessary to perform the services set forth in this Agreement, including entering into subcontracts with vendors for services and commodities; and provided that it is understood by the Grantee that the Department shall not be liable to the subcontractor for any expenses or liabilities incurred under the subcontract and that the Grantee shall be solely liable to the subcontractor for all expenses and liabilities incurred under the subcontract.
- 30. Strict Compliance with Laws.** The Grantee shall perform all acts required by this Agreement in strict conformity with all applicable laws

and regulations of the local, state and federal law.

**31. No Discrimination.** The Grantee may not discriminate against any employee employed under this Agreement, or against any applicant for employment because of race, color, religion, gender, national origin, age, pregnancy, disability or marital status. The Grantee shall insert a similar provision in all of its subcontracts for services under this Agreement.

**32. Breach of Agreement.** The Department will demand the return of grant funds already received, will withhold subsequent payments, and/or will terminate this agreement if the Grantee improperly expends and manages grant funds, fails to prepare, preserve or surrender records required by this Agreement, or otherwise violates this Agreement.

**33. Termination of Agreement.**

a. Termination by the Department. The Department will terminate or end this Agreement if the Grantee fails to fulfill its obligations herein. In such event, the Department will provide the Grantee a notice of its violation by letter, and shall give the Grantee fifteen (15) calendar days from the date of receipt to cure its violation. If the violation is not cured within the stated period, the Department will terminate this Agreement. The notice of violation letter shall be delivered to the Grantee's Contract Manager, personally, or mailed to his/her specified address by a method that provides proof of receipt. In the event that the Department terminates this Agreement, the Grantee will be compensated for any work completed in accordance with this Agreement, prior to the notification of termination, if the Department deems this reasonable under the circumstances. Grant funds previously advanced and not expended on work completed in accordance with this Agreement shall be returned to the Department, with interest, within thirty (30) days after termination of this Agreement. The Department does not waive any of its rights to additional damages, if grant funds are returned under this Section.

b. Termination for convenience. The Department or the Grantee may terminate the grant in whole or in part when both parties agree that the continuation of the Project would not produce beneficial results commensurate with the further expenditure of funds. The two parties will agree upon the termination conditions, including the effective date, and in the case of partial terminations, the portion to be terminated.

c. Termination by Grantee. The Grantee may unilaterally cancel the grant at any time prior to the first payment on the grant although the Department must be notified in writing prior to cancellation. After the initial payment, the Project may be terminated, modified, or amended by the Grantee only by mutual agreement of the Grantee and the Department. Request for termination prior to completion must fully detail the reasons for the action and the proposed disposition of the uncompleted work.

**34. Preservation of Remedies.** No delay or omission to exercise any right, power, or remedy accruing to either party upon breach or violation by either party under this Agreement, shall impair any such right, power or remedy of either party; nor shall such delay or omission be construed as a waiver of any such breach or default, or any similar breach or default.

**35. Non-Assignment of Agreement.** The Grantee may not assign, sublicense nor otherwise transfer its rights, duties or obligations under this Agreement without the prior written consent of the Department, which consent shall not unreasonably be withheld. The agreement transferee must demonstrate compliance with the requirements of the Project. If the Department approves a transfer of the Grantee's obligations, the Grantee shall remain liable for all work performed and all expenses incurred in connection with this Agreement. In the event the Legislature transfers the rights, duties, and obligations of the Department to another governmental entity pursuant to Section 20.06, *Florida Statutes*, or otherwise, the rights, duties, and obligations under this Agreement shall be transferred to the successor governmental agency as if it was the original party to this Agreement.

**36. Required Procurement Procedures for Obtaining Goods and Services.**

a. The Grantee shall provide maximum open competition when procuring goods and services related to the grant-assisted project. Procurement documentation supporting maximum open competition must be submitted to the Department for review and approval prior to execution of project contracts.

b. Grantee's procurement standards must be consistent with 2 C.F.R. §§ 200.317 – 200.327, as applicable. All procurement

transactions for goods or services must be conducted in a manner providing full and open competition, consistent with the standards outlined in 2 C.F.R. §200.320, which allows for non-competitive procurements only in circumstances where at least one of the four applicable conditions provided are met; *provided, however*, that 2 C.F.R. §200.320(c)(4) is not applicable to SLFRF program awards.

- 37. Conflicts of Interest.** The Grantee hereby certifies that it is cognizant of the prohibition of conflicts of interest described in Sections 112.311 through 112.326, *Florida Statutes*, and affirms that it will not enter into or maintain a business or other relationship with any employee of the Department of State that would violate those provisions. The Grantee further agrees to seek authorization from the General Counsel for the Department of State prior to entering into any business or other relationship with a Department of State Employee to avoid a potential violation of those statutes.
- 38. Binding of Successors.** This Agreement shall bind the successors, assigns and legal representatives of the Grantee and of any legal entity that succeeds to the obligations of the Department of State.
- 39. No Employment of Unauthorized Aliens.** The employment of unauthorized aliens by the Grantee is considered a violation of Section 274A (a) of the Immigration and Nationality Act. If the Grantee knowingly employs unauthorized aliens, such violation shall be cause for unilateral cancellation of this Agreement.
- 40. Severability.** If any term or provision of the Agreement is found to be illegal and unenforceable, the remainder will remain in full force and effect, and such term or provision shall be deemed stricken.
- 41. Americans with Disabilities Act.** All programs and facilities related to this Agreement must meet the standards of Sections 553.501-553.513, *Florida Statutes*, and the Americans with Disabilities Act of 1990 as amended (42 U.S.C. 12101, *et seq.*), which is incorporated herein by reference.
- 42. Governing Law.** This Agreement shall be construed, performed, and enforced in all respects in accordance with the laws and rules of Florida. Venue or location for any legal action arising under this Agreement will be in Leon County, Florida.

**43. Entire Agreement.** The entire Agreement of the parties consists of the following documents:

- a. This Agreement
- b. Estimated Project Budget (Attachment A)
- c. Single Audit Act Requirements and Exhibit I (Attachment B)
- d. Federal Special Conditions (Attachment C)
- e. Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion Lower Tier Covered Transactions (Attachment D)

**In acknowledgment of this grant, provided from funds appropriated in the Florida FY2021-22 General Appropriation Act, the Florida FY2022-23 General Appropriation Act and the federal Coronavirus State Fiscal Recovery Fund (Public Law 117-2), I hereby certify that I have read this entire Agreement, and will comply with all of its requirements.**

Department of State:	Grantee:
By: _____	By: _____
	Authorizing Official for the Grantee
Division Director _____	_____
Division of _____	Typed name and title
_____	_____
Date	Date

**ATTACHMENT A**

**Estimated Project Budget**

<b>Description</b>	<b>Grant Funds</b>	<b>Cash Match</b>	<b>In Kind Match</b>
<b>Other</b>			
HVAC Systems	\$21,450	\$0	\$0
Alarm System	\$81,596	\$0	\$0
Fencing	\$78,480	\$0	\$0
Building Pressure Wash	\$1,200	\$0	\$0
Exterior Building Painting	\$16,500	\$0	\$0
Brick Garden Pavers	\$32,500	\$0	\$0
LED Track Lights 1st Fl	\$12,000	\$0	\$0
Exterior Doors PGT Impact 1st Fl	\$10,000	\$0	\$0
Kitchen Wood Shutters	\$1,350	\$0	\$0
Removal & Replace Flooring 1st Fl	\$11,600	\$0	\$0
Windowsills 1st Fl	\$1,800	\$0	\$0
Repair Prime Patch Paint Walls 1st Fl	\$10,200	\$0	\$0
LED Track Lighting 2nd FL	\$18,750	\$0	\$0
Window Coverings 2nd Fl	\$7,200	\$0	\$0
2 Exterior Doors PGT Impact 2nd Fl	\$5,000	\$0	\$0
Removal & Replace Flooring 2nd Fl	\$11,600	\$0	\$0
Repair Patch Paint 2nd Fl	\$10,200	\$0	\$0
Generators	\$75,500	\$0	\$0
Install Fire Wet Water Suppression System	\$25,000	\$0	\$0
Install 6 Custom Window Coverings throughout 1st Floor	\$3,600	\$0	\$0
Remove Cabinet and Sink Repair , Patch, Paint area 2nd Floor	\$1,250	\$0	\$0

<b>Description</b>	<b>Grant Funds</b>	<b>Cash Match</b>	<b>In Kind Match</b>
Supply and Install 5 Windowsills 2nd F1	\$750	\$0	\$0
Elevator Repair	\$6,136	\$0	\$0
Kitchen Renovation	\$40,000	\$0	\$0
<i>Subtotals</i>	<i>\$483,662</i>	<i>\$0</i>	<i>\$0</i>
<b>Totals</b>	<b>\$483,662</b>	<b>\$0</b>	<b>\$0</b>

## ATTACHMENT B

### FEDERAL AND STATE OF FLORIDA SINGLE AUDIT ACT REQUIREMENTS

#### AUDIT REQUIREMENTS

The administration of resources awarded by the Department of State to the Grantee may be subject to audits and/or monitoring by the Department of State as described in this Addendum to the Grant Award Agreement.

#### MONITORING

In addition to reviews of audits conducted in accordance with 2 CFR 200, Subpart F - Audit Requirements, and section 215.97, Florida Statutes (F.S.), as revised (see AUDITS below), monitoring procedures may include, but not be limited to, on-site visits by Department of State staff, limited scope audits as defined by 2 CFR §200.425, or other procedures. By entering into this agreement, the recipient agrees to comply and cooperate with any monitoring procedures or processes deemed appropriate by the Department of State. In the event the Department of State determines that a limited scope audit of the recipient is appropriate, the recipient agrees to comply with any additional instructions provided by Department of State staff to the recipient regarding such audit. The recipient further agrees to comply and cooperate with any inspections, reviews, investigations, or audits deemed necessary by the Chief Financial Officer (CFO) or Auditor General.

#### AUDITS

##### **Part I: Federally Funded**

This part is applicable if the recipient is a state or local government or a nonprofit organization as defined in 2 CFR §200.90, §200.64, and §200.70.

1. A recipient that expends \$750,000 or more in federal awards in its fiscal year must have a single or program-specific audit conducted in accordance with the provisions of 2 CFR 200, Subpart F - Audit Requirements. EXHIBIT 1 to this agreement lists the federal resources awarded through the Department of State by this agreement. In determining the federal awards expended in its fiscal year, the recipient shall consider all sources of federal awards, including federal resources received from the Department of State. The determination of amounts of federal awards expended should be in accordance with the guidelines established in 2 CFR §§200.502-503. An audit of the recipient conducted by the Auditor General in accordance with the provisions of 2 CFR §200.514 will meet the requirements of this Part.
2. For the audit requirements addressed in Part I, paragraph 1, the recipient shall fulfill the requirements relative to auditee responsibilities as provided in 2 CFR §§200.508-512.
3. A recipient that expends less than \$750,000 in federal awards in its fiscal year is not required to have an audit conducted in accordance with the provisions of 2 CFR 200, Subpart F - Audit Requirements. If the recipient expends less than \$750,000 in federal awards in its fiscal year and elects to have an audit conducted in accordance with the provisions of 2 CFR 200, Subpart F - Audit Requirements, the cost of the audit must be paid from non-federal resources (i.e., the cost of such an audit must be paid from recipient resources obtained from other than federal entities).

The Internet web addresses listed below will assist recipients in locating documents referenced in the text of this agreement and the interpretation of compliance issues.

U.S. Government Printing Office [www.ecfr.gov](http://www.ecfr.gov)

##### **Part II: State Funded**

This part is applicable if the recipient is a nonstate entity as defined by section 215.97(2), F.S.

1. In the event that the recipient expends a total amount of state financial assistance equal to or in excess of \$750,000 in any fiscal year of such recipient (for fiscal years ending June 30, 2017, and thereafter), the recipient must have a state single or project-specific audit for such fiscal year in accordance with section 215.97, F.S.; Rule Chapter 69I-5, F.A.C., State Financial Assistance; and Chapters 10.550 (local governmental entities) and 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General. EXHIBIT 1 to this agreement lists the state financial assistance awarded through the Department of State by this agreement. In determining the state financial assistance expended in its fiscal year, the recipient shall consider all sources of state financial assistance, including state financial assistance received from the Department of State, other state agencies, and other nonstate entities. State financial assistance does not include federal direct or pass-through awards and resources received by a nonstate entity for federal program matching requirements.
2. For the audit requirements addressed in Part II, paragraph 1, the recipient shall ensure that the audit complies with the requirements of section 215.97(8), F.S. This includes submission of a financial reporting package as defined by section 215.97(2), F.S., and Chapters 10.550 (local governmental entities) and 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General.
3. If the recipient expends less than \$750,000 in state financial assistance in its fiscal year (for fiscal years ending June 30, 2017, and thereafter), an audit conducted in accordance with the provisions of section 215.97, F.S., is not required. If the recipient expends less than \$750,000 in state financial assistance in its fiscal year and elects to have an audit conducted in accordance with the provisions of section 215.97, F.S., the cost of the audit must be paid from the nonstate entity's resources (i.e., the cost of such an audit must be paid from the recipient's resources obtained from other than state entities).

The Internet web addresses listed below will assist recipients in locating documents referenced in the text of this agreement and the interpretation of compliance issues.

State of Florida Department of Financial Services (Chief Financial Officer)

<http://www.myfloridacfo.com/>

State of Florida Legislature (Statutes, Legislation relating to the Florida Single Audit Act) <http://www.leg.state.fl.us/>

### **Part III: Report Submission**

1. Copies of reporting packages for audits conducted in accordance with 2 CFR 200, Subpart F - Audit Requirements, and required by Part I of this agreement shall be submitted, when required by 2 CFR §200.512, by or on behalf of the recipient directly to each of the following:
  - A. The Department of State through the <https://dosgrants.com/> grants management system.
  - B. The Federal Audit Clearinghouse (FAC) as provided in 2 CFR §200.36 and §200.512.  
  
The FAC's website provides a data entry system and required forms for submitting the single audit reporting package. Updates to the location of the FAC and data entry system may be found at the OMB website.
2. Copies of financial reporting packages required by Part II of this agreement shall be submitted by or on behalf of the recipient directly to each of the following:
  - A. The Department of State through the <https://dosgrants.com/> grants management system.
  - B. The Auditor General's Office at the following address:

Auditor General  
Local Government Audits/342  
Claude Pepper Building, Room 401

111 West Madison Street  
Tallahassee, Florida 32399-1450

The Auditor General's website (<https://flauditor.gov/>) provides instructions for filing an electronic copy of a financial reporting package.

3. Any reports, management letters, or other information required to be submitted to the Department of State pursuant to this agreement shall be submitted timely in accordance with 2 CFR §200.512, section 215.97, F.S., and Chapters 10.550 (local governmental entities) and 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General, as applicable.
4. Recipients, when submitting financial reporting packages to the Department of State for audits done in accordance with 2 CFR 200, Subpart F - Audit Requirements, or Chapters 10.550 (local governmental entities) and 10.650 (nonprofit and for-profit organizations), Rules of the Auditor General, should indicate the date that the reporting package was delivered to the recipient in correspondence accompanying the reporting package.

#### **Part IV: Record Retention**

The recipient shall retain sufficient records demonstrating its compliance with the terms of the award(s) and this agreement for a period of five years from the date the audit report is issued, and shall allow the Department of State, or its designee, the CFO, or Auditor General access to such records upon request. The recipient shall ensure that audit working papers are made available to the Department of State, or its designee, the CFO, or Auditor General upon request for a period of at least three years from the date the audit report is issued, unless extended in writing by the Department of State.

**EXHIBIT 1**

**FEDERAL RESOURCES AWARDED TO THE RECIPIENT PURSUANT TO THIS AGREEMENT CONSIST OF THE FOLLOWING:**

Department of the Treasury, Coronavirus State and Local Fiscal Recovery Funds, Assistance Listing number (formerly known as CFDA number) 21.027. \$483,662

**COMPLIANCE REQUIREMENTS APPLICABLE TO THE FEDERAL RESOURCES AWARDED PURSUANT TO THIS AGREEMENT ARE AS FOLLOWS:**

As contained in 2 CFR Part 200 – Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards and 31 CFR Part 35, Subpart A – Coronavirus State and Local Fiscal Recovery Funds.

**STATE RESOURCES AWARDED TO THE RECIPIENT PURSUANT TO THIS AGREEMENT CONSIST OF THE FOLLOWING:**

Not applicable

**MATCHING RESOURCES FOR FEDERAL PROGRAMS:**

Not applicable.

**SUBJECT TO SECTION 215.97, FLORIDA STATUTES:**

Not applicable.

**COMPLIANCE REQUIREMENTS APPLICABLE TO STATE RESOURCES AWARDED PURSUANT TO THIS AGREEMENT ARE AS FOLLOWS:**

Not applicable.

## ATTACHMENT C

### FEDERAL SPECIAL CONDITIONS

In addition to the terms and conditions contained in this agreement and the program guidelines generally applicable to grants awarded by the Department, African-American Cultural and Historical Grants, as federal pass-through grants, are also subject to additional federal requirements for use of SLFRF funds. The SLFRF awards are generally subject to the requirements set forth in the Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards, 2 CFR Part 200 (the "Uniform Guidance"). In all instances, Applicant Organizations should review the Uniform Guidance requirements applicable to your organization's use of SLFRF funds, and SLFRF-funded projects.

The following sections provide a general summary of compliance responsibilities under applicable federal statutes and regulations, including the Uniform Guidance, as described in the 2020 OMB Compliance Supplement Part 3. Compliance Requirements (issued August 18, 2020). Note that the descriptions below are only general summaries and all recipients and subrecipients of SLFRF funds are advised to carefully review the Uniform Guidance requirements and any additional regulatory and statutory requirements applicable to the program.

Grantee, as a subrecipient of federal funds, should ensure they remain in compliance with all SLFRF Award Terms and Conditions.

1. **Allowable Costs/Cost Principles.** As outlined in the Uniform Guidance at 2 CFR Part 200, Subpart E regarding Cost Principles, allowable costs are based on the premise that a recipient is responsible for the effective administration of Federal awards, application of sound management practices, and administration of Federal funds in a manner consistent with the program objectives and terms and conditions of the award. As such, the Department will implement robust internal controls and effective monitoring of subrecipients to ensure compliance with the Cost Principles, which are important for building trust and accountability. SLFRF Funds may be, but are not required to be, used along with other funding sources for a given project. Note that SLFRF Funds may not be used for a non-Federal cost share or match where prohibited by other Federal programs, e.g., funds may not be used for the State share for Medicaid.
2. **Cash Management.** SLFRF payments made to recipients are not subject to the requirements of the Cash Management Improvement Act and Treasury's implementing regulations at 31 CFR part 205 or 2 CFR 200.305(b)(8)-(9). As such, recipients can place funds in interest-bearing accounts, do not need to remit interest to Treasury, and are not limited to using that interest for eligible uses under the SLFRF award.
3. **Equipment and Real Property Management.** Any purchase of equipment or real property with SLFRF funds (as approved by the Department) must be consistent with the Uniform Guidance at 2 CFR Part 200, Subpart D. Equipment and real property acquired under this program must be used for the originally authorized purpose. Consistent with 2 CFR 200.311 and 2 CFR 200.313, any equipment or real property acquired using SLFRF funds shall vest in the non-Federal entity. Any acquisition and maintenance of equipment or real property must also be in compliance with relevant laws and regulations.
4. **Period of Performance.** All SLFRF funds remain subject to statutory requirements that they must be used for costs incurred by the recipient during the period that begins on March 3, 2021, and ends on December 31, 2024, and that award funds for the financial obligations incurred by December 31, 2024 must be expended by December 31, 2026. Any funds not used must be returned to Treasury.
5. **Procurement, Suspension & Debarment.** Recipients are responsible for ensuring that any procurement using SLFRF funds, or payments under procurement contracts using such funds are consistent with the procurement standards set forth in the Uniform Guidance at 2 CFR 200.317 through 2 CFR 200.327, as applicable. The Uniform Guidance establishes in 2 CFR 200.319 that all procurement transactions for property or services must be conducted in a manner providing full and open competition, consistent with standards outlined in 2 CFR 200.320, which allows for non-competitive procurements only in circumstances where at least one of the conditions below is true: the item is below the micro-purchase threshold; the item is only available from a single source; the public exigency or emergency will not permit a delay from publicizing a competitive solicitation; or after solicitation of a number of sources, competition is determined inadequate. Recipients must have and use documented procurement procedures that are consistent with the standards outlined in 2 CFR 200.317 through 2 CFR 200.320. The Uniform Guidance requires an infrastructure for competitive

bidding and contractor oversight, including maintaining written standards of conduct and prohibitions on dealing with suspended or debarred parties. Your organization must ensure adherence to all applicable local, State, and federal procurement laws and regulations.

6. **Program Income.** Generally, program income includes, but is not limited to, income from fees for services performed, the use or rental of real or personal property acquired under Federal awards and principal and interest on loans made with Federal award funds. Program income does not include interest earned on advances of Federal funds, rebates, credits, discounts, or interest on rebates, credits, or discounts. Recipients of SLFRF funds should calculate, document, and record the organization's program income. Additional controls that your organization should implement include written policies that explicitly identify appropriate allocation methods, accounting standards and principles, compliance monitoring checks for program income calculations, and records. The Uniform Guidance outlines the requirements that pertain to program income at 2 CFR 200.307. Treasury intends to provide additional guidance regarding program income and the application of 2 CFR 200.307(e)(1), including with respect to lending programs.
7. **Reporting.** All recipients of federal funds must complete financial, performance, and compliance reporting. Expenditures may be reported on a cash or accrual basis, as long as the methodology is disclosed and consistently applied. Reporting must be consistent with the definition of expenditures pursuant to 2 CFR 200.1. Your organization should appropriately maintain accounting records for compiling and reporting accurate, compliant financial data, in accordance with appropriate accounting standards and principles. In addition, where appropriate, your organization needs to establish controls to ensure completion and timely submission of all mandatory performance and/or compliance reporting to the Department, for use in its required reporting to Treasury.
8. **SAM.gov Requirements.** All eligible recipients are also required to have an active registration with the System for Award Management (SAM) (<https://www.sam.gov>). To ensure timely receipt of funding, Treasury has stated that Non-entitlement Units of Government (NEUs) who have not previously registered with SAM.gov may do so after receipt of the award, but before the submission of mandatory reporting.
9. **Recordkeeping Requirements.** Generally, your organization must maintain records and financial documents for five years after all funds have been expended or returned to Treasury. Treasury may request transfer of records of long-term value at the end of such period. Wherever practicable, such records should be collected, transmitted, and stored in open and machine-readable formats. Your organization must agree to provide or make available such records to Treasury upon request, and to any authorized oversight body, including but not limited to the Government Accountability Office ("GAO"), Treasury's Office of Inspector General ("OIG"), and the Pandemic Relief Accountability Committee ("PRAC").
10. **Single Audit Requirements.** Recipients and subrecipients that expend more than \$750,000 in Federal awards during their fiscal year will be subject to an audit under the Single Audit Act and its implementing regulation at 2 CFR Part 200, Subpart F regarding audit requirements. Recipients and subrecipients may also refer to the Office of Management and Budget (OMB) Compliance Supplements for audits of federal funds and related guidance and the Federal Audit Clearinghouse to see examples and single audit submissions.
11. **Civil Rights Compliance.** Recipients of Federal financial assistance from the Treasury are required to meet legal requirements relating to nondiscrimination and nondiscriminatory use of Federal funds. Those requirements include ensuring that entities receiving Federal financial assistance from the Treasury do not deny benefits or services, or otherwise discriminate on the basis of race, color, national origin (including limited English proficiency), disability, age, or sex (including sexual orientation and gender identity), in accordance with the following authorities: Title VI of the Civil Rights Act of 1964 (Title VI) Public Law 88-352, 42 U.S.C. 2000d-1 et seq., and the Department's implementing regulations, 31 CFR part 22; Section 504 of the Rehabilitation Act of 1973 (Section 504), Public Law 93-112, as amended by Public Law 93-516, 29 U.S.C. 794; Title IX of the Education Amendments of 1972 (Title IX), 20 U.S.C. 1681 et seq., and the Department's implementing regulations, 31 CFR part 28; Age Discrimination Act of 1975, Public Law 94-135, 42 U.S.C. 6101 et seq., and the Department implementing regulations at 31 CFR part 23. In order to carry out its enforcement responsibilities under Title VI of the Civil Rights Act, Treasury will collect and review information from recipients to ascertain their compliance with the applicable requirements before and after providing financial assistance. Treasury's implementing regulations, 31 CFR part 22, and the Department of Justice (DOJ) regulations, Coordination of Non-discrimination in Federally Assisted Programs, 28 CFR part 42, provide for the collection of data and information from recipients (see 28 CFR 42.406). Treasury may request that recipients submit data for post-award compliance reviews, including information such as a narrative describing their Title VI compliance status.

12. **General Federal Regulations.** Recipients shall comply with the regulations listed in 2 CFR 200, 48 CFR 31, and 40 U.S.C. 1101 *et sequence*.
13. **Rights to Patents and Inventions Made Under a Contract or Agreement.** Rights to inventions made under this assistance agreement are subject to federal patent and licensing regulations, which are codified at Title 37 CFR Part 401 and Title 35 U.S.C. 200 through 212.
14. **Compliance with the Trafficking Victims Protection Act of 2000 (2 CFR Part 175).** Recipients, their employees, subrecipients under this award, and subrecipients' employees may not:
- i. Engage in severe forms of trafficking in persons during the period of time that the award is in effect;
  - ii. Procure a commercial sex act during the period of time that the award is in effect; or
  - iii. Use forced labor in the performance of the award or subawards under the award.
15. **Whistleblower Protection.** Recipients shall comply with U.S.C. §4712, Enhancement of Recipient and Subrecipient Employee Whistleblower Protection. This requirement applies to all awards issued after July 1, 2013 and effective December 14, 2016 has been permanently extended (Public Law (P.L.) 114-261).
- i. This award, related subawards, and related contracts over the simplified acquisition threshold and all employees working on this award, related subawards, and related contracts over the simplified acquisition threshold are subject to the whistleblower rights and remedies in the pilot program on award recipient employee whistleblower protections established at 41 U.S.C. 4712 by section 828 of the National Defense Authorization Act for Fiscal Year 2013 (P.L. 112-239).
  - ii. Recipients, their subrecipients, and their contractors awarded contracts over the simplified acquisition threshold related to this award, shall inform their employees in writing, in the predominant language of the workforce, of the employee whistleblower rights and protections under 41 U.S.C. 4712.
  - iii. The Recipient shall insert this clause, including this paragraph C, in all subawards and in contracts over the simplified acquisition threshold related to this award; best efforts should be made to include this clause, including this paragraph C in any subawards and contracts awarded prior to the effective date of this provision.
16. **Notification of Termination (2 CFR § 200.340).** In accordance with 2 CFR § 200.340, in the event that the Agreement is terminated prior to the end of the period of performance due to the Recipient's or subcontractor's material failure to comply with Federal statutes, regulations or the terms and conditions of this Agreement or the Federal award, the termination shall be reported to the Office of Management and Budget (OMB)-designated integrity and performance system, accessible through System for Award Management (SAM) currently the Federal Awardee Performance and Integrity Information System (FAPIS). The Non-Federal Entity will notify the Recipient of the termination and the Federal requirement to report the termination in FAPIS. See 2 CFR § 200.340 for the requirements of the notice and the Recipient's rights upon termination and following termination.
17. **Additional Lobbying Requirements.**
- i. The Recipient certifies that no funds provided under this Agreement have been used or will be used to engage in the lobbying of the Federal Government or in litigation against the United States unless authorized under existing law.
  - ii. The Lobbying Disclosure Act of 1995, as amended (2 U.S.C. §1601 *et seq.*), prohibits any organization described in Section 501(c)(4) of the Internal Revenue Code, from receiving federal funds through an award, grant (and/or subgrant) or loan unless such organization warrants that it does not, and will not engage in lobbying activities prohibited by the Act as a special condition of such an award, grant (and/or subgrant), or loan. This restriction does not apply to loans made pursuant to approved revolving loan programs or to contracts awarded using proper procurement procedures.
  - iii. Pursuant to 2 CFR §200.450 and 2 CFR §200.454(e), the Recipient is hereby prohibited from using funds provided by this

Agreement for membership dues to any entity or organization engaged in lobbying activities.

18. **Compliance with Assurances.** Recipients shall comply with any and all applicable assurances made by the Department or the Recipient to the Federal Government during the Grant application process.
19. **Federal Reporting Requirements (FFATA).** Grant Recipients awarded a new Federal grant greater than or equal to \$30,000 awarded on or after October 1, 2015, are subject to the FFATA the Federal Funding Accountability and Transparency Act (“FFATA”) of 2006. The FFATA legislation requires that information on federal awards (federal financial assistance and expenditures) be made available to the public via a single, searchable website, which is [www.USASpending.gov](http://www.USASpending.gov). The Grantee agrees to provide the information necessary, within one (1) month of execution, for the Department to comply with this requirement.
20. **2 CFR Part 200 Appendix 2 – Contract Provisions for Non-Federal Entity Contracts Under Federal Awards** In addition to other provisions required by the Federal agency or non-Federal entity, all contracts made by the non-Federal entity under the Federal award must contain provisions covering the following, as applicable.
  - i. Contracts for more than the simplified acquisition threshold, which is the inflation adjusted amount determined by the Civilian Agency Acquisition Council and the Defense Acquisition Regulations Council (Councils) as authorized by [41 U.S.C. 1908](#), must address administrative, contractual, or legal remedies in instances where contractors violate or breach contract terms, and provide for such sanctions and penalties as appropriate.
  - ii. All contracts in excess of \$10,000 must address termination for cause and for convenience by the non-Federal entity including the manner by which it will be effected and the basis for settlement.
  - iii. Equal Employment Opportunity. Except as otherwise provided under [41 CFR Part 60](#) all contracts that meet the definition of “federally assisted construction contract” in [41 CFR Part 60-1.3](#) must include the equal opportunity clause provided under [41 CFR 60-1.4\(b\)](#), in accordance with Executive Order 11246, “Equal Employment Opportunity” [60 FR 12319, 12935](#), [3 CFR Part, 1964-1965](#) Comp., p. 339), as amended by Executive Order 11375, “Amending Executive Order 11246 Relating to Equal Employment Opportunity,” and implementing regulations at [41 CFR part 60](#) “Office of Federal Contract Compliance Programs, Equal Employment Opportunity, Department of Labor.”
  - iv. Davis-Bacon Act, as amended ([40 U.S.C. 3141-3148](#)). When required by Federal program legislation, all prime construction contracts in excess of \$2,000 awarded by non-Federal entities must include a provision for compliance with the Davis-Bacon Act ([40 U.S.C. 3141-3144](#) and [3146-3148](#)) as supplemented by Department of Labor regulations ([29 CFR Part 5](#) “Labor Standards Provisions Applicable to Contracts Covering Federally Financed and Assisted Construction”). In accordance with the statute, contractors must be required to pay wages to laborers and mechanics at a rate not less than the prevailing wages specified in a wage determination made by the Secretary of Labor. In addition, contractors must be required to pay wages not less than once a week. The non-Federal entity must place a copy of the current prevailing wage determination issued by the Department of Labor in each solicitation. The decision to award a contract or subcontract must be conditioned upon the acceptance of the wage determination. The non-Federal entity must report all suspected or reported violations to the Federal awarding agency. The contracts must also include a provision for compliance with the Copeland “Anti-Kickback” Act ([40 U.S.C. 3145](#)), as supplemented by Department of Labor regulations ([29 CFR Part 3](#) “Contractors and Subcontractors on Public Building or Public Work Financed in Whole or in Part by Loans or Grants from the United States”). The Act provides that each contractor or subrecipient must be prohibited from inducing, by any means, any person employed in the construction, completion, or repair of public work, to give up any part of the compensation to which he or she is otherwise entitled. The non-Federal entity must report all suspected or reported violations to the Federal awarding agency.

**The Davis-Bacon Act requirements do not apply to projects funded solely with award funds from the SLFRF. Recipients may be otherwise subject to the requirements of the Davis-Bacon Act, when SLFRF award funds are used on a construction project in conjunction with funds from another federal program that requires enforcement of the Davis-Bacon Act.**
  - v. Contract Work Hours and Safety Standards Act ([40 U.S.C. 3701-3708](#)). Where applicable, all contracts awarded by the non-Federal entity in excess of \$100,000 that involve the employment of mechanics or laborers must include a provision for compliance with [40 U.S.C. 3702](#) and [3704](#), as supplemented by Department of Labor regulations ([29 CFR Part 5](#)). Under [40 U.S.C. 3702](#) of the Act, each contractor must be required to compute the wages of every mechanic and laborer on the basis of

- a standard work week of 40 hours. Work in excess of the standard work week is permissible provided that the worker is compensated at a rate of not less than one and a half times the basic rate of pay for all hours worked in excess of 40 hours in the work week. The requirements of [40 U.S.C. 3704](#) are applicable to construction work and provide that no laborer or mechanic must be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous. These requirements do not apply to the purchases of supplies or materials or articles ordinarily available on the open market, or contracts for transportation or transmission of intelligence.
- vi. Rights to Inventions Made Under a Contract or Agreement. If the Federal award meets the definition of “funding agreement” under [37 CFR § 401.2 \(a\)](#) and the recipient or subrecipient wishes to enter into a contract with a small business firm or nonprofit organization regarding the substitution of parties, assignment or performance of experimental, developmental, or research work under that “funding agreement,” the recipient or subrecipient must comply with the requirements of [37 CFR Part 401](#), “Rights to Inventions Made by Nonprofit Organizations and Small Business Firms Under Government Grants, Contracts and Cooperative Agreements,” and any implementing regulations issued by the awarding agency.
  - vii. Clean Air Act ([42 U.S.C. 7401-7671q](#)) and the Federal Water Pollution Control Act ([33 U.S.C. 1251-1387](#)), as amended - Contracts and subgrants of amounts in excess of \$150,000 must contain a provision that requires the non-Federal award to agree to comply with all applicable standards, orders or regulations issued pursuant to the Clean Air Act ([42 U.S.C. 7401-7671q](#)) and the Federal Water Pollution Control Act as amended ([33 U.S.C. 1251-1387](#)). Violations must be reported to the Federal awarding agency and the Regional Office of the Environmental Protection Agency (EPA).
  - viii. Debarment and Suspension (Executive Orders 12549 and 12689) - A contract award (see [2 CFR 180.220](#)) must not be made to parties listed on the governmentwide exclusions in the System for Award Management (SAM), in accordance with the OMB guidelines at [2 CFR 180](#) that implement Executive Orders 12549 (3 CFR part 1986 Comp., p. 189) and 12689 (3 CFR part 1989 Comp., p. 235), “Debarment and Suspension.” SAM Exclusions contains the names of parties debarred, suspended, or otherwise excluded by agencies, as well as parties declared ineligible under statutory or regulatory authority other than Executive Order 12549.
  - ix. Byrd Anti-Lobbying Amendment ([31 U.S.C. 1352](#)) - Contractors that apply or bid for an award exceeding \$100,000 must file the required certification. Each tier certifies to the tier above that it will not and has not used Federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any Federal contract, grant or any other award covered by [31 U.S.C. 1352](#). Each tier must also disclose any lobbying with non-Federal funds that takes place in connection with obtaining any Federal award. Such disclosures are forwarded from tier to tier up to the non-Federal award.
  - x. Procurement of Recovered Materials. A non-Federal entity that is a state agency or agency of a political subdivision of a state and its contractors must comply with section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act. The requirements of Section 6002 include procuring only items designated in guidelines of the Environmental Protection Agency (EPA) at [40 CFR part 247](#) that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition, where the purchase price of the item exceeds \$10,000 or the value of the quantity acquired during the preceding fiscal year exceeded \$10,000; procuring solid waste management services in a manner that maximizes energy and resource recovery; and establishing an affirmative procurement program for procurement of recovered materials identified in the EPA guidelines.
  - xi. Prohibition on Certain Telecommunications and video surveillance services or equipment. Recipients and subrecipients are prohibited from obligating or expending loan or grant funds to:
    - A. Procure or obtain;
    - B. Extend or renew a contract to procure or obtain; or
    - C. Enter into a contract (or extend or renew a contract) to procure or obtain equipment, services, or systems that uses covered telecommunications equipment or services as a substantial or essential component of any system, or as critical technology as part of any system. As described in [Public Law 115-232](#), section 889, covered telecommunications equipment is telecommunications equipment produced by Huawei Technologies Company or ZTE Corporation (or any subsidiary or affiliate of such entities).
      - 1. For the purpose of public safety, security of government facilities, physical security surveillance of critical infrastructure, and other national security purposes, video surveillance and telecommunications equipment produced by Hytera Communications Corporation, Hangzhou Hikvision Digital Technology Company, or Dahua Technology Company (or any subsidiary or affiliate of such entities).

2. Telecommunications or video surveillance services provided by such entities or using such equipment.
  3. Telecommunications or video surveillance equipment or services produced or provided by an entity that the Secretary of Defense, in consultation with the Director of the National Intelligence or the Director of the Federal Bureau of Investigation, reasonably believes to be an entity owned or controlled by, or otherwise connected to, the government of a covered foreign country.
- D. In implementing the prohibition under [Public Law 115-232](#), section 889, subsection (f), paragraph (1), heads of executive agencies administering loan, grant, or subsidy programs shall prioritize available funding and technical support to assist affected businesses, institutions and organizations as is reasonably necessary for those affected entities to transition from covered communications equipment and services, to procure replacement equipment and services, and to ensure that communications service to users and customers is sustained.
- E. See [Public Law 115-232](#), section 889 for additional information.
- F. See also 2 CFR [§ 200.471](#).
- xii. Domestic Preferences for Procurements.
- A. As appropriate and to the extent consistent with law, the non-Federal entity should, to the greatest extent practicable under a Federal award, provide a preference for the purchase, acquisition, or use of goods, products, or materials produced in the United States (including but not limited to iron, aluminum, steel, cement, and other manufactured products). The requirements of this section must be included in all subawards including all contracts and purchase orders for work or products under this award.
- B. For purposes of this section:
1. “Produced in the United States” means, for iron and steel products, that all manufacturing processes, from the initial melting stage through the application of coatings, occurred in the United States.
  2. “Manufactured products” means items and construction materials composed in whole or in part of non-ferrous metals such as aluminum; plastics and polymer-based products such as polyvinyl chloride pipe; aggregates such as concrete; glass, including optical fiber; and lumber.

**ATTACHMENT D**

**CERTIFICATION REGARDING  
DEBARMENT, SUSPENSION, INELIGIBILITY AND VOLUNTARY EXCLUSION  
LOWER TIER COVERED TRANSACTIONS**

This certification is required by the regulations implementing Executive Order 12549, Debarment and Suspension, 45 CFR 1183.35, Participants' responsibilities. The regulations were published as Part VII of the May 26, 1988 Federal Register (pages 19160-19211). Copies of the regulations may be obtained by contacting the person to which this proposal is submitted.

**(BEFORE COMPLETING CERTIFICATION, READ ATTACHED INSTRUCTIONS)**

1. The prospective lower tier participant certifies, by submission of this proposal, that neither it nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in this transaction by any federal department or agency.
2. Where the prospective lower tier participant is unable to certify to any of the statements in this certification, such prospective participant shall attach an explanation to this proposal.

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Name and Title of Authorized Representative

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Signature

Date

## INSTRUCTIONS FOR CERTIFICATION

1. By signing and submitting this proposal, the prospective lower tier participant is providing the certification set out below.
2. The certification in this clause is a material representation of fact upon which reliance was placed when this transaction was entered into. If it is later determined that the prospective lower tier participant knowingly rendered an erroneous certification, in addition to other remedies available to the federal government, the department or agency with which this transaction originated may pursue available remedies, including suspension and/or debarment.
3. The prospective lower tier participant shall provide immediate written notice to the person to which this proposal is submitted if at any time the prospective lower tier participant learns that its certification was erroneous when submitted or has become erroneous by reason of changed circumstances.
4. The terms “covered transaction,” “debarred,” “suspended,” “ineligible,” “lower tier covered transaction,” “participant,” “person,” “primary covered transaction,” “principal,” “proposal,” and “voluntarily excluded,” as used in this clause, have the meanings set out in the Definitions and Coverage sections of rules implementing Executive Order 12549. You may contact the person to which this proposal is submitted for assistance in obtaining a copy of those regulations.
5. The prospective lower tier participant agrees by submitting this proposal that, should the proposed covered transaction be entered into, it shall not knowingly enter into any lower tier covered transaction with a person who is debarred, suspended, declared ineligible, or voluntarily excluded from participation in this covered transaction, unless authorized by the department or agency with which this transaction originated.
6. The prospective lower tier participant further agrees by submitting this proposal that it will include the clause titled “Certification Regarding Debarment, Suspension, Ineligibility, and Voluntary Exclusion-Lower Tier Covered Transactions,” without modification, in all lower tier covered transactions and in all solicitations for lower tier covered transactions.
7. A participant in a covered transaction may rely upon a certification of a prospective participant in a lower tier covered transaction that it is not debarred, suspended, ineligible, or voluntarily excluded from the covered transaction, unless it knows that the certification is erroneous. A participant may decide the method and frequency by which it determines the eligibility of its principals. Each participant may, but is not required to, check the Non-procurement List.
8. Nothing contained in the foregoing shall be construed to require establishment of a system of records in order to render in good faith the certification required by this clause. The knowledge and information of a participant is not required to exceed that which is normally possessed by a prudent person in the ordinary course of business dealings.
9. Except for transactions authorized under paragraph 5 of these instructions, if a participant in a covered transaction knowingly enters into a lower tier covered transaction with a person who is suspended, debarred, ineligible, or voluntary excluded from participation in this transaction, in addition to other remedies available to the federal government, the department or agency with which this transaction originated may pursue available remedies, including suspension and/or debarment.

**City Commission Regular Meeting - 6:00 pm**

**11. b.**

**Meeting Date:** 08/01/2022

**Re:** Bid No. 2022-018

**Submitted For:** John Andrews, City Engineer, Engineering

---

**SUBJECT:**

Approval of award of Bid No. 2022-018 for the Georgia Avenue Drainage Basin Water Quality Improvements to the sole bidder, Boromei Construction, Inc., in an amount not to exceed \$1,688,940.00.

**SUMMARY:**

The City of Fort Pierce was the recipient of a \$1,188,000 Indian River Lagoon Water Quality Grant as approved and administered by South Florida Water Management District. The grant funding will be utilized to provide water quality improvements to the City of Fort Pierce 235-acre drainage basin known as Georgia Avenue Drainage Basin. Improvements will include the introduction of Best Management Practices (BMP) Treatment Trains at three (3) stormwater inflow points. Provided system enhancements will include the construction of a Bio-Swale, canal stabilization, installation of a Nutrient Separating Baffle Box, drainage control structure, and an aeration fountain installed within the limits of the lake located on the Indian Hill Golf Course property. These improvements are expected to result in an annual load reduction of 626 lbs of total nitrogen (TN) and 105 lbs of total phosphorous (TP) from entering the Indian River Lagoon.

The City received one response to the advertisement for bids. This bid was in the amount of \$1,771,220 and was submitted by Boromei Construction, Inc. Staff implemented cost-saving measures which resulted in Boromei Construction revising their bid down \$82,280 to \$1,688,940.

**RECOMMENDATION:**

Staff recommends award of the construction contract to Boromei Construction Inc.

**ALTERNATIVES:**

Re-bid the project

**RESPONSIBLE STAFF:**

Engineering

**COORDINATED WITH:**

Indian Hills Golf Course

---

**Fiscal Impact**

**Budgeted Y/N:** N/A

**Fiscal Year:** N/A  
**Account:** See Below  
**Amount:** \$1,688,940.00

**FISCAL IMPACT:**

Funding of the project shall be encumbered from the following accounts:

1. \$1,188,000 initially funded from SMU Contractual Services, Account No. 403-4300-538-3490 with 100% reimbursement by SFWMD
2. \$318,940 Surtax proceeds, Account No. 114-1111-519-6310
3. \$182,000 collected Stormwater Impact Fees, Account No. 109-1111-519-6310

---

**Attachments**

Boromei Revised Bid Form  
Bid Tabulation  
Boromei Bid  
Engineering Plans

---

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Finance Department	Johnna Morris	07/13/2022 10:06 AM
City Manager	Nick Mimms	07/15/2022 12:00 PM
Form Started By: Tracy Telle		Started On: 07/08/2022 01:44 PM
Final Approval Date: 07/15/2022		

BID NO. 2022-018  
BID RESPONSE FORM  
GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS

ITEM NO.	DESCRIPTION	UNITS	QUANTITY	UNIT PRICE	AMOUNT
	MOBILIZATION/PERMITS/ GENERAL CONDITIONS/ BONDS/DEWATERING/ GEOTECHNICAL TESTING				
101-1A	SURVEY (CONSTRUCTION LAYOUT)	LS	1	\$	\$ 150,000
101-1B	SURVEY (RECORD DRAWINGS)	LS	1	\$	\$ 25,000
101-1C	NPDES COMPLIANCE (EROSION CONTROL)	LS	1	\$	\$ 10,000
104		LS	1	\$	\$ 8,500
104-10	STAKED SILT FENCE	LF	3,400	\$ 2.00	\$ 6,800
104-11	FLOATING TURBIDITY BARRIER	LF	300	\$ 20.00	\$ 6,000
104-15	SOIL TRACKING PREVENTION DEVICE	EA	3	\$ 2,000	\$ 6,000
110-1-A	DEMOLITION/CLEARIN & GRUBBING	AC	2.7	\$ 20,000	\$ 54,000
120-1	REGULAR EXCAVATION	CY	1,500	\$ 40	\$ 60,000
120-6	EMBANKMENT	CY	500	\$ 35	\$ 17,500
120-9-3	BIO-SWALE EXOTIC VEGETATION REMOVAL	LS	1	\$	\$ 15,000
580-2	BIO-SWALE CHANNEL PLANTINGS	LS	1	\$	\$ 90,000
530-3-3A	BIO-SWALE CHANNEL ROCK	LS	1	\$	\$ 75,000
430-174- 136	PIPE CULVERT (36" RCP)	LF	64	\$ 300	\$ 19,200
430-536- 200	STRAIGHT CONCRETE ENDWALL	EA	1	\$ 30,000	\$ 30,000
455-35	SHEET PILE WEIR CONTROL STRUCTURE (INCLUDES CONCRETE CAP & 6" ADS BLEEDER PIPE)	EA	1	\$ 100,000	\$ 100,000
522-1	CONCRETE SIDEWALK (6" THICK W/ FIBERMESH)	SY	12	\$ 200	\$ 2,400
530-3-3B	RIPRAP (BANK & SHORE) (INCLUDES BEDDING STONE & FILTER FABRIC)	TN	3,000	\$ 110	\$ 330,000

**EXHIBIT "D"**  
**SECTION 016**

570-1-A	SOD/PERFORMANCE TURF PEDESTRIAN BRIDGE (INCLUDES BUILDING PERMIT AND FEES)	SY	25,000	\$4.00	\$ 100,000
9999-A	AERATION FOUNTAIN (INCLUDES ELECTRICAL SERVICE COMPLETE WITH BUILDING PERMIT AND FEES)	LS	1	\$	\$ 180,000
9999-B	GENERATION II BAFFLE BOX CONCRETE	EA	1	\$210,000	\$ 210,000
22	SIDEWALK/DRIVEWAYS W/ FINERMESH, 6" THICK	SY	340	\$	\$
23	ADA CURB RAMP W/ DETECTABLE WARNING (COMPLETE)	EA	8	\$	\$
<b>Subtotal Water Quality Improvement Bid</b>					
					\$ 1,535,400
Add 10% Construction Contingency for potential field change orders					
<b>TOTAL FINAL BID</b>					\$ 1,531,540
					\$ 1,488,940.00



THE SUNRISE CITY  
**FORT PIERCE**  
PURCHASING  
DEPARTMENT

**FORT PIERCE**  
*Florida*

TO: John Andrews, City Engineer  
THROUGH: Gelencia Carter, Purchasing Manager *GC*  
FROM: Monica Gonzales, Purchasing Specialist *MG*  
SUBJECT: Bid No. 2022-018~ Georgia Avenue Basin Water Quality Improvements  
DATE: June 9, 2022

City of Fort Pierce  
JUN 13 2022  
Engineering Dept.

To take precautionary measures and provide a more convenient way of responding to solicitations, the Purchasing Division has implemented an additional option for interested respondents to submit their response by email (E-Bidding). Also, the copy requirement has been modified. Interested respondents are now required to submit only one (1) original and one (1) copy along with a USB drive.

Attached is the tabulation sheet for the above referenced bid. **One (1) submittal was received, hand delivered.** A copy of the submittal received can be found in the **Interdepartmental Shared (R) Drive**, Purchasing, subject bid number, saved as "Submittal and the companies name" for your review. The file is available for review in the Purchasing Division.

**The invitation was sent to 521 vendors. Eighteen (18) vendors requested specifications with one (1) responding (5.56%) plus zero "No Bid" (5.56% total response).**

Recommendation to award memo should be forwarded to the Purchasing Division (copy to Director of Finance) prior to submitting an agenda item.

Expiration date is **August 8, 2022**. Commission approval must be completed by this date.

/mg

Attachment

cc: Johnna Morris, Director of Finance  
Tracy Telle, Assistant Engineer  
File



THE SUNRISE CITY  
**FORT PIERCE**  
 PURCHASING  
 DEPARTMENT

*Florida*

**CITY OF FORT PIERCE  
 TABULATION OF BIDS**

<b>BID ON:</b>	<b>GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS</b>
<b>BID NUMBER:</b>	<b>2022-018</b>
<b>DATE:</b>	06/09/22@ 3:00 PM
<b>RECOMMENDED AWARD:</b>	Pending

<b>RESPONSE</b>
1 of 18 = 5.56%
0 "No Bids"
Total = 5.56%

"Offers from the vendors listed herein are the only offers received timely as of the above opening date and time. All other offers submitted in response to this solicitation, if any, are hereby rejected as late."

<b>VENDOR NAME</b>	<b>TOTAL BID PRICE</b>	<b>BOND</b>
<i>Boromei Contruction, Inc</i> Okeechobee, FL	\$1,771.220.00	10%

**PLEASE NOTE:** COMMISSION MEETINGS ARE HELD THE FIRST AND THIRD MONDAY OF EVERY MONTH. CHECK THE CITY'S WEBSITE, [https://www.cityoffortpierce.com/223/Agendas- Minutes](https://www.cityoffortpierce.com/223/Agendas-Minutes) or CALL THE PURCHASING DIVISION, (772) 467-3102, WEDNESDAY PRIOR TO THE MEETINGS FOR RECOMMENDATION OF AWARD.

<b>CITY OF FORT PIERCE BIDDER'S CHECKLIST</b>
---

This checklist is provided to assist each Bidder in the preparation of their bid response. Included in this checklist are important requirements, which is the responsibility of each Bidder to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Bidder to read and comply with the Invitation to Bid in its entirety.

**Check "Yes" or "No" to each of the following:**

	<b>YES</b>	<b>NO</b>
Is Invitation to Bid cover page (page 1) completed, signed and attached?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is Bid Response Form completed, signed and attached?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
W-9 Form completed, signed and attached?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
All prices have been reviewed for mathematical accuracy, all price corrections initialed, and all price extensions and totals thoroughly checked.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Include proof of proper licensing as stated in bid documents.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Include proof of proper insurance as stated in bid documents.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Bid envelope is marked accordingly.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is Drug-Free Workplace form signed and enclosed?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Are two (2) complete bid packages included (one original and one electronic copy (PDF) on a USB Flash Drive)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is each Bid Addendum (when issued) signed and included?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**PLEASE SIGN AND RETURN WITH BID**  \_\_\_\_\_  
 Danny Boromei - President

**DELIVER TO:**

City of Fort Pierce, Purchasing Division  
 Room 101  
 100 North U.S. #1  
 Fort Pierce, FL 34950

**MAIL TO:**

City of Fort Pierce Purchasing Division,  
 Room 101  
 P.O. Box 1480  
 Fort Pierce, FL 34954-1480

**CITY OF FORT PIERCE**

**INVITATION TO BID  
 and  
 BIDDER ACKNOWLEDGMENT**

**Bid Writer:** Gelencia Carter, 772-467-3102

**Bid No:** 2022-018

**Pre-Bid Conference Date:**  
 10:00AM, THURSDAY, MAY 26, 2022

**Bid Title:** GEORGIA AVENUE BASIN WATER  
 QUALITY IMPROVEMENTS

**Pre-Bid Conference Location:**  
 City Hall, Commission Chambers  
 100 North U.S. Highway #1  
 Fort Pierce, FL 34950

**Bid Opening Location:**  
 Purchasing Division Conference Room, Room 101  
 100 North U.S. #1, 1st Floor  
 Ft. Pierce, Florida 34950

**Bid Due Date & Time:**  
 3:00 PM, THURSDAY, JUNE 9, 2022

If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.

**Bidder Name:**

Boromei Construction Inc.

*I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the bidder.*

**Mailing Address:**

420B NW 3rd Street

X   
 Authorized Signature (Manual)

**City, State, Zip Code:**

Okeechobee, FL 34972

**Typed or Printed Name:**

Danny Boromei

**Type of Entity (Select one):**

Corporation

Partnership

Proprietorship

**Title:** President

**Incorporated in the State of:** Florida **Year:** 2004

**Delivery in** 120/150 **days, After Receipt Order**

**Phone Number:** 863.623.4314

**Payment Terms:** Net 30 Days

**Fax Number:** 863.763.6337

**FEIN or SS Number:** 20-1321621

**E-Mail Address:** danny@boromeiconstruction.com

**Local Business:**  Y  N **MWBE:**  Y  N

**Bid Security is attached, when required, in the amount of \$** 177,122.00

**If returning as a "No Bid" state reason:**

F.O.B. DESTINATION

**THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID**

**PROPOSAL TO  
THE CITY OF FORT PIERCE**

**FOR**

**GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS**

NAME OF BIDDER: Boromei Construction Inc.

MAILING ADDRESS: 420B NW 3rd Street, Okeechobee, FL 34972

STREET ADDRESS: 420B NW 3rd Street, Okeechobee, FL 34972 (Zip Code)

PHONE NUMBER: 863.623.4314

To the: City of Fort Pierce

Pursuant to and in compliance with your notice inviting sealed proposals (Call for Bids), Instructions to Bidders, and the other documents relating thereto, the undersigned bidder, having familiarized himself with the terms of the Contract Documents, local conditions affecting the performance of the contract, and the cost of the Work at the place where the Work is to be done, hereby proposes and agrees to perform within the time stipulated in the Contract, including all of its component parts and everything required to be performed, and to provide and furnish any and all utility and transportation services necessary to perform the contract and complete in a workmanlike manner, all of the Work required in connection with the construction of said Work, all in strict conformity with the plans and/or details, specifications and other related Contract Documents included herein.

The undersigned Bidder acknowledges receipt of the following Addenda, which have been considered in preparation of this Bid:

No. <u>1</u>	Dated <u>5-18-2022</u>	No. <u>2</u>	Dated <u>5-26-2022</u>
No. <u>3</u>	Dated <u>6-2-2022</u>	No. _____	Dated _____
No. _____	Dated _____	No. _____	Dated _____

The undersigned Bidder agrees that the Work shall be achieve final construction within 150 calendar days according to the schedule and the Notice to Proceed set forth in these Documents.

The undersigned Bidder further agrees to pay liquidated damages as described herein and engineering and field inspection expenses, due to overtime work and avoidable delays, which shall be in addition to such other amounts for actual delay damages.

Bidder has stated all prices in numerals in accordance with Section 11.2 of the Instruction to Bidders in the blank space(s) provided for that purpose. Bidder has completed all portions of the Bid to avoid disqualification.

The undersigned, as Bidder, declares that the Bid is made in good faith; that this proposal is made without collusion with any person, firm, or corporation; and he proposes and agrees, if the proposal is accepted, that he will execute a contract with the City in the form set forth in the Contract Documents; that he will furnish the Contract Security Insurance Certificates; that he is aware that failure to properly comply with the requirements set out in the INSTRUCTIONS TO BIDDERS and elsewhere in the Contract Documents may result in a finding that the Bidder is non- responsive and a forfeiture of the



## BID FORMS

## EXHIBIT "D" SECTION 001

Work shall be completed, ready for final payment in accordance with Section 8 and 9 of the General Conditions.

Time is of the essence of this Contract and Contractor recognizes that the City will suffer financial loss if the Work, or portions authorized, is not completed within the number of days stated above. Accordingly, Contractor agrees to pay City the liquidated damages stated in the Agreement for each day after the time specified above that the Work is not complete in accordance with Sections 8 and 9 of the General Conditions and with the Agreement.

These liquidated damages are cumulative and additive and represent a reasonable estimate of City's expenses for extended delays. Furthermore, Contractor agrees to pay City expenses for inspection, engineering services, and administrative costs associated with such delay.

In addition to these amounts, there may be additional other amounts for delay damages incurred by City as a result of delays by Contractor. These actual delay damages will include, but not be limited to, delay damage settlements or awards, penalties, and professional fees incurred in connection with such settlements, awards, or penalties and fines imposed by regulatory agencies, contract damages, and loss of use.

### ACCOMPANYING THIS PROPOSAL IS Bidder's Bond

(Insert the word(s) "cashier's check," "bidder's bond," "certified check," or other security as provided by law, as the case may be), in an amount equal to at least 10% of the total amount of the bid, payable to the CITY OF FORT PIERCE the undersigned deposits above-named security as a proposal guarantee and agrees that it shall be forfeited to the City as liquidated damages in case this proposal is accepted by the City and the undersigned fails to execute a contract with the City as specified in the Contract Documents, accompanied by the required payment and faithful performance bonds, with sureties satisfactory to the City, and accompanied by the required certificates of insurance coverage and endorsements. Should the City be required to engage the services of an attorney in connection with the enforcement of this bid, bidder promises to pay City reasonable attorneys' fees and costs (including attorneys' fees and costs on appeals), incurred with or without suit.

The Work shall be performed under a State of Florida Contractor's License. Contract shall not be awarded unless proof of valid license(s) is provided, and license shall be appropriate for the nature of the Work.

The Bidder certifies that the following documents are included in the Bid and are complete:

1. Bid form, list of Addenda received, and authorized signatures.
2. Bid Bond with Power of Attorney attached.
3. Affidavit of Non-Collusion.
4. Trench Safety Act Form.

The Bidder further certifies that he will submit within ten (10) days of notification of the Apparent Successful Bidder:


1. List of Major Subcontractors
2. Payment Bond
3. Performance Bond

**BID FORMS**

**EXHIBIT "D"  
SECTION 001**

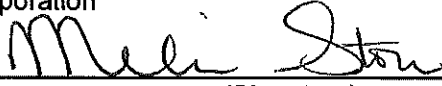
- 4. Agreement
- 5. Certificates of Insurance

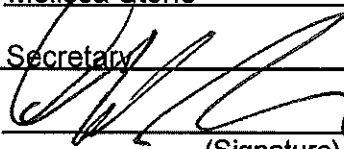
NOTE: If bidder is a corporation, the legal name of the corporation shall be set forth below, together with signature(s) of the officer or officers authorized to sign contracts on behalf of the corporation and corporate seal; if bidder is a partnership, the true name of the firm shall be set forth below with the signature(s) of the partner or partners authorized to sign contracts in behalf of the partnership; and if the bidder is an individual, his signature shall be placed below.

Bidder: Boromei Construction Inc.  
 (Type or Print)  
 By:   
 Name: Danny Boromei  
 Title: President  
 Dated: June 9, \_\_\_\_\_, 2022

(Corporate Seal)

Attest  
 If Corporation

By:   
 (Signature)  
 Name: Melissa Stone  
 Title: Secretary

Witnesses:   
 (Signature)

(If partnership  
 Or individual) \_\_\_\_\_  
 (Signature)

Contractor's License (State, Number, Expiration Date, Type of License)  
Florida - August 31, 2022 - General Contractor - CGC1508299

**END OF SECTION**



IN WITNESS WHEREOF, the above parties have executed this instrument under their several seals this 9th day of June, 2022, the name and corporate seal of each corporate party being hereto affixed, and these presents duly signed by its undersigned representative pursuant to authority of its governing body.

WITNESSES  
(if individual  
or partnership)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PRINCIPAL

Boromei Construction Inc.

By:

(Signature)

Name:

Danny Boromei Jr

Title: Danny Boromei Jr, President

ATTEST (if corporation)

By:

(Signature)

Name:

Melissa Stone

Title:

Corporate Secretary  
(Corporate Seal)

SURETY

Travelers Casualty and Surety Company of America

By:

(Signature)

Name:

Matthew T Smith

Title:

Attorney-in-Fact, E148192

(Surety Seal)

**EXHIBIT "D"**  
**SECTION 002**

Attach a certified copy of Power of Attorney appointing individual Attorney-in-Fact for execution of Bid Bond on behalf of Surety.

Any Claims under this bond may be addressed to:

Name of Surety Travelers Casualty and Surety Company of America

Mailing Address One Tower Square, Hartford, CT 06183

Street Address One Tower Square, Hartford, CT 06183

Name and Mailing and Street 5260 Summerlin Commons Way, # 302

Address of Agent or Fort Myers, FL 33907

Representative in Florida N/A

(if different than above) \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Telephone Number of Surety (239) 243-9729

and Agent or Representative \_\_\_\_\_

in Florida \_\_\_\_\_

**END OF SECTION**



**Travelers Casualty and Surety Company of America  
Travelers Casualty and Surety Company  
St. Paul Fire and Marine Insurance Company**

**POWER OF ATTORNEY**

**KNOW ALL MEN BY THESE PRESENTS:** That Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company are corporations duly organized under the laws of the State of Connecticut (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint **MATTHEW T SMITH** of **FORT MYERS Florida**, their true and lawful Attorney-in-Fact to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

**IN WITNESS WHEREOF**, the Companies have caused this instrument to be signed, and their corporate seals to be hereto affixed, this 17th day of January, 2019.



State of Connecticut

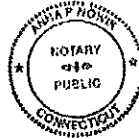
City of Hartford ss.

By:   
Robert L. Raney, Senior Vice President

On this the 17th day of January, 2019, before me personally appeared **Robert L. Raney**, who acknowledged himself to be the Senior Vice President of Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of said Companies by himself as a duly authorized officer.

**IN WITNESS WHEREOF**, I hereunto set my hand and official seal.

My Commission expires the 30th day of June, 2021



Anna P. Nowik, Notary Public

This Power of Attorney is granted under and by the authority of the following resolutions adopted by the Boards of Directors of Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company, which resolutions are now in full force and effect, reading as follows:

**RESOLVED**, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President, any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary may appoint Attorneys-in-Fact and Agents to act for and on behalf of the Company and may give such appointee such authority as his or her certificate of authority may prescribe to sign with the Company's name and seal with the Company's seal bonds, recognizances, contracts of indemnity, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said officers or the Board of Directors at any time may remove any such appointee and revoke the power given him or her; and it is

**FURTHER RESOLVED**, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President may delegate all or any part of the foregoing authority to one or more officers or employees of this Company, provided that each such delegation is in writing and a copy thereof is filed in the office of the Secretary; and it is

**FURTHER RESOLVED**, that any bond, recognizance, contract of indemnity, or writing obligatory in the nature of a bond, recognizance, or conditional undertaking shall be valid and binding upon the Company when (a) signed by the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary and duly attested and sealed with the Company's seal by a Secretary or Assistant Secretary; or (b) duly executed (under seal, if required) by one or more Attorneys-in-Fact and Agents pursuant to the power prescribed in his or her certificate or their certificates of authority or by one or more Company officers pursuant to a written delegation of authority; and it is

**FURTHER RESOLVED**, that the signature of each of the following officers: President, any Executive Vice President, any Senior Vice President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary, and the seal of the Company may be affixed by facsimile to any Power of Attorney or to any certificate relating thereto appointing Resident Vice Presidents, Resident Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding on the Company in the future with respect to any bond or understanding to which it is attached.

I, **Kevin E. Hughes**, the undersigned, Assistant Secretary of Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which remains in full force and effect.

Dated this 9th day of June, 2022.



Kevin E. Hughes, Assistant Secretary

**To verify the authenticity of this Power of Attorney, please call us at 1-800-421-3880.  
Please refer to the above-named Attorney-in-Fact and the details of the bond to which this Power of Attorney is attached.**

May 18, 2022

CITY OF FORT PIERCE  
GEORGIA AVENUE BASIN  
WATER QUALITY IMPROVEMENTS



BID NO. 2022-018

ADDENDUM NO. 1

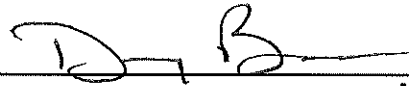
The purpose of this addendum is to change the time and location of the **Pre-Bid Conference**, which is stated **10:00 A.M., Thursday, May 26, 2022, in the Commission Chambers**, in the bid document. The time and location will be as follow:

**11:00 A.M, THURSDAY, MAY 26, 2022**  
**City Hall, Engineering First Floor Conference Room,**  
**100 North U.S. #1, Fort Pierce, FL**

All interested bidders are encouraged to attend this conference.

All other conditions of this bid remain the same.

Please acknowledge receipt of this addendum and include it with your submittal.

Signature:   
Manual

Signature: Danny Boromei  
Typed or Printed

Company Name: Boromei Construction Inc.

Address: 420B NW 3rd Street, Okeechobee, FL 34972

Date: June 9, 2022

/gm

May 26, 2021



CITY OF FORT PIERCE

GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS

BID NO. 2022-018


ADDENDUM NO. 2

The purpose of this addendum is to provide clarification of designated SHPO areas and what specific requirements need to be in place while excavating near these sites.

- 1. The bidder shall be cognizant of the SHPO work specifications noted on Plan Sheet 10 of 10 under the heading "SHPO Notes". The contractor shall include all costs in their bid for implementing the required services including materials and labor. Plan Sheet 3 of 10 (attached), has been revised to further clarify the SHPO limits and identify the requirements.**

All other conditions of this bid remain the same.

Please acknowledge receipt of this addendum and include it with your submittal.

Signature: 

Signature: Danny Boromei Manual

Company Name: Boromei Construction Inc. Typed or Printed

Address: 420B NW 3rd Street, Okeechobee, FL 34972

Date: June 9, 2022

June 2, 2021



CITY OF FORT PIERCE

GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS

BID NO. 2022-018


ADDENDUM NO. 3

The purpose of this addendum is to provide a copy of updated plan sheet number 5 of 10 as revised per the requirements of SFWMD.

1. **Sheet pile elevations for "Sheet Pile CS-1 Weir Detail" have been modified. This change resulted in an increase of the estimated vinyl sheeting from 450 SF to 800 SF.**

All other conditions of this bid remain the same.

Please acknowledge receipt of this addendum and include it with your submittal.

Signature: 

Manual

Signature: Danny Boromei

Typed or Printed

Company Name: Boromei Construction Inc.

Address: 420B NW 3rd Street, Okeechobee, FL 34972

Date: June 9, 2022

**Attachment: Plan Sheet 5 of 10**

BID NO. 2022-018  
BID RESPONSE FORM  
GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS

ITEM NO.	DESCRIPTION	UNITS	QUANTITY	UNIT PRICE	AMOUNT
101-1A	MOBILIZATION/PERMITS/ GENERAL CONDITIONS/ BONDS/DEWATERING/ GEOTECHNICAL TESTING	LS	1	\$	\$ 150,000
101-1B	SURVEY (CONSTRUCTION LAYOUT)	LS	1	\$	\$ 25,000
101-1C	SURVEY (RECORD DRAWINGS)	LS	1	\$	\$ 10,000
104	NPDES COMPLIANCE (EROSION CONTROL)	LS	1	\$	\$ 8,500
104-10	STAKED SILT FENCE	LF	3,400	\$ 2.00	\$ 6,800
104-11	FLOATING TURBIDITY BARRIER	LF	300	\$ 20.00	\$ 6,000
104-15	SOIL TRACKING PREVENTION DEVICE	EA	3	\$ 2,000	\$ 6,000
110-1-A	DEMOLITION/CLEARIN & GRUBBING	AC	2.7	\$ 20,000	\$ 54,000
120-1	REGULAR EXCAVATION	CY	1,500	\$ 40	\$ 60,000
120-6	EMBANKMENT	CY	500	\$ 35	\$ 17,500
120-9-3	BIO-SWALE EXOTIC VEGETATION REMOVAL	LS	1	\$	\$ 15,000
580-2	BIO-SWALE CHANNEL PLANTINGS	LS	1	\$	\$ 90,000
530-3-3A	BIO-SWALE CHANNEL ROCK	LS	1	\$	\$ 75,000
430-174- 136	PIPE CULVERT (36" RCP)	LF	64	\$ 300	\$ 19,200
430-536- 200	STRAIGHT CONCRETE ENDWALL	EA	1	\$ 30,000	\$ 30,000
455-35	SHEET PILE WEIR CONTROL STRUCTURE (INCLUDES CONCRETE CAP & 6" ADS BLEEDER PIPE)	EA	1	\$ 100,000	\$ 100,000
522-1	CONCRETE SIDEWALK (6" THICK W/ FIBERMESH)	SY	12	\$ 200	\$ 2,400
530-3-3B	RIPRAP (BANK & SHORE) (INCLUDES BEDDING STONE & FILTER FABRIC)	TN	3,000	\$ 110	\$ 330,000

**EXHIBIT "D"**  
**SECTION 016**

570-1-A	SOD/PERFORMANCE TURF	SY	25,000	\$ 4.00	\$ 100,000
9999-A	PEDESTRIAN BRIDGE (INCLUDES BUILDING PERMIT AND FEES)	LS	1	\$	\$ 180,000
9999-B	AERATION FOUNTAIN (INCLUDES ELECTRICAL SERVICE COMPLETE WITH BUILDING PERMIT AND FEES)	LS	1	\$	\$ 40,000
9999-C	GENERATION II BAFFLE BOX	EA	1	240,000 \$	\$ 240,000
22	CONCRETE SIDEWALK/DRIVEWAYS W/ FINERMESH, 6" THICK	SY	340	\$ 120	\$ 40,800
23	ADA CURB RAMP W/ DETECTABLE WARNING (COMPLETE)	EA	8	\$ 500	\$ 4,000
Subtotal Water Quality Improvement Bid					\$ 1,610,200
Add 10% Construction Contingency for potential field change orders					\$ 161,020
<b>TOTAL FINAL BID</b>					\$ 1,771,220

## BIDDER'S QUESTIONNAIRE

All questions must be answered, and the data given must be clear and comprehensive. This statement must be notarized. If necessary, questions may be answered on separate attached sheets. The Bidder may submit any additional information he desires. Qualifications Questionnaire must be submitted with the Proposal.

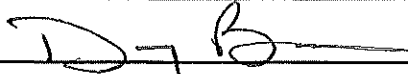
1. Name of Bidder. Boromei Construction Inc.
2. Permanent Main Office address. 420B NW 3rd Street, Okeechobee, FL 34972
3. When organized? 2004
4. If a corporation, where incorporated? Florida
5. How many years have you been engaged in construction under this present firm or trade name? 18 Years
6. Contracts on hand: (Schedule of these, showing gross amount of each contract and the appropriate anticipated dates of completion). See Attached List
7. General character of work performed by you. Water and Wastewater
8. Have you ever failed to complete any work awarded to you? If so, where, and why? None
9. Have you ever defaulted on a contract? If so, where, and why? None
10. List the more important contracts recently completed by you, stating approximate gross costs of each and the month and year completed. Include the name and telephone number of contact in company for which you provided work. See Attached List
11. List your major equipment available for this contract. See Attached List
12. Experience in general construction work similar in scope to this project. (If additional space is needed or required, it may be attached to this sheet.) See Attached List
13. Background and experience of the principal members of your company, including the officers. See Attached Resume
14. Give bank reference. See Attached
15. You will furnish a detailed financial statement and, upon request, any other information that may be required by the City of Fort Pierce. See Attached
16. The Undersigned hereby authorizes and requests any person, firm, or corporation to furnish any information requested by the City of Fort Pierce in the County of St. Lucie in verification of the recitals comprising this Bidder's Qualifications Questionnaire.

Dated at \_\_\_\_\_ this 9th \_\_\_\_\_ day of June \_\_\_\_\_, 2022.

EXHIBIT "D"  
SECTION 010

Contractor:

Boromei Construction Inc.

By 

Danny Boromei

(Name & Title)

County of Okeechobee  
State of Florida

Danny Boromei, being duly sworn, deposes and says that he is President of Boromei Construction Inc., and that the answers to the foregoing questions and all statements contained therein are true and correct.

Subscribed and sworn to before me this 9th day of June, 2022.

  
Notary Public

My Commission Expires:

\_\_\_\_\_

(Seal)



MELISSA ANN STONE  
Commission # HH 197338  
Expires February 24, 2026  
Bonded Thru Budget Notary Services

END OF SECTION

LIST OF CURRENT PROJECTS

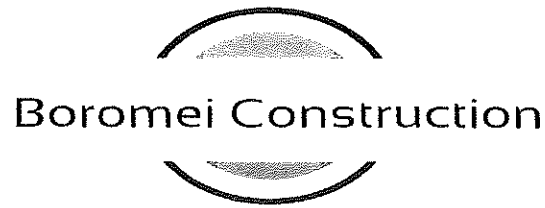
Question # 6

Contract Amount	Project Type & Location	Anticipated Completion Date	Name, Address, Contact Person & Tel. # of Owner
\$ 841,500.00	Sewer Screening System for Detention Center in Manatee County	Oct-22	Manatee County Florida 1112 Manatee Avenue West, Bradenton, FL 34205, Anthony Benetiz P. 941.708.7450
\$ 602,797.00	Wekiwa Springs State Park - Youth Camp Office in Apopka, FL	Mar-23	Florida Department of Environmental Protection 3800 Commonwealth Blvd. MS520, Tallahassee, FL 32399 Bill Brown P. 407.553.4365
\$ 444,255.00	Lake DOT Alum Treatment System Tank Replacement in Orlando, FL	May-23	City of Orlando 400 South Orange Avenue, Orlando, FL 32802, Richard H. Davis P. 407.246.4049
\$ 394,041.00	Rottenberger (Viewing Platform) in Palm Beach County	Mar-23	Florida Fish and Wildlife Commission 1875 E. Orange Ave. Tallahassee, FL 32311, Cyndi Voltz P. 352.685.6195
\$ 319,949.00	Replacement of Sandloader System (Main Water Treatment Plant) in Palm Springs, FL	Oct-22	Village of Palm Springs 226 Cypress Lane Palm Springs, FL 33461, Paul Ward P. 561.965.4013
\$ 188,184.00	Master Lift Station Traveling Bridge Crane	Nov-22	Loxahatchee River Environmental Control District, 2500 Jupiter Park Drive, Jupiter FL 33458, Sheetal Patel, P. 561.401.4036
\$ 213,698.00	Hilochee Pole Barn in Lake County	Oct-22	Florida Fish and Wildlife Commission 1875 E. Orange Ave. Tallahassee, FL 32311, Cyndi Voltz P. 352.685.6195
\$ 621,802.00	Highlands Hammock State Park - Electrical and Plumbing Upgrades in Sebring, FL	May-23	Department of Environmental Protection 3900 Commonwealth Blvd. MS 520, Tallahassee, FL 32399, Alyssa Skehan P. 850.245.2466

LIST OF RECENTLY COMPLETED PROJECTS

Question # 10

Contract Amount	Project Type & Location	Month/Year Completed	Name, Address, Contact Person & Tel. # of Owner
\$ 354,122.00	Fleet Maintenance Fuel Tank Replacement in Atamonte Springs, FL	May-22	City of Atamonte Springs 225 Newburyport Avenue Atamonte Springs, FL 32701 Michael Mulvihill P. 407.571.8915
\$ 431,845.00	Arslin Sports Complex Shade Structures (South Side) in Palm Beach County	Apr-22	City of Miramar 2300 Civic Center Place Miramar, FL 33025, Billy Neal P. 954.602.3344
\$ 427,032.00	Sebastian Inlet Cove Swimming Area Restroom Facility in Sebastian, FL	Apr-22	Florida Department of Environmental Protection 3800 Commonwealth Blvd. M5520, Tallahassee, FL 32399, Alyssa Skehan P. 850.245.2781
\$ 12,800.00	Dinner Island Electric Upgrades	Apr-22	Florida Fish and Wildlife Commission 1875 E. Orange Ave., Tallahassee, FL 32311, Cyndi Voltz P. 352.685.6195
\$ 114,153.00	Data Flow System Antenna and Tower Replacement in Indian River County	Sep-21	Indian River Purchasing Division, 1800 27th St., Vero Beach, FL 32960, Jerry Miller, P. 772.260.6121
\$ 386,801.00	Trap Line Bunker Modification-Palm Beach Shooting Sports Complex in Palm Beach County	Sep-21	Florida Fish and Wildlife Conservation Commission, 1875 Orange Ave. E, Tallahassee, FL 32311, John Soeder, P. 850.413.8025
\$ 118,460.00	Lift Station 21 and Lift Station 24 Bypass Pump Improvements in Clewiston, FL	Apr-21	City of Clewiston, 115 West Ventura Ave., Clewiston, FL 33440, Danny Williams, P. 863.233.7249
\$ 116,550.00	Leachete WWTP Sand Filte Repair and Rehabilitation in Charlotte County	Apr-21	Charlotte County, 18500 Murdock Circle, Port Charlotte, FL 33948, Bryan Hatfield, P. 941.764.4385
\$ 452,896.00	Moss Pilot Project - Installation of a New Soil Bench, Ramp, Prefabricated Slab, Pipe and PMP Head in Palm Beach County	Jan-21	Indian Trail Improvement District, 1855 Indian Road, Suite 202, West Palm Beach, FL 33400, Kyle Grandusky, P. 561.242.0028
\$ 102,769.95	Construction of Four Pickleball Courts in Coral Springs, FL	Sep-20	City of Coral Springs, 9500 West Sample Road, Coral Springs, FL 33065, Justin Ellis, P. 954.344.1339
\$ 107,738.00	Crew Siding Replacement in Lee/Collier Counties Replace siding.	Sep-20	Florida Fish and Wildlife Conservation Commission, 1875 Orange Ave. E, Tallahassee, FL 32311, Cyndi Voltz, P. 352.685.6195
\$ 4,961.86	PWC Crew Handrails in Lee/Collier Counties Replace Handrails	Aug-20	Florida Fish and Wildlife Conservation Commission, 1875 Orange Ave. E, Tallahassee, FL 32311, Cyndi Voltz, P. 352.685.6195
\$ 230,301.23	Bonnie Brooke Pump Station Retrofit in Orange County Modifying wet well structures.	Jul-20	Orange County, 400 E. South St., Orlando, FL 32801, Daniel Negron, P. 404.836.7743
\$ 295,768.33	San Lucin Basin 28 Construction of Driveways in St Lucie County	Apr-20	St. Lucie County, 2300 Virginia Avenue, Fort Pierce, FL 34982, Patrick Dayan, P. 772.462.2767



## **Equipment List**

### **Year Make and Model**

Hyundai Robex 290LC Trackhoe

2014 JCV 507 Lull

2007 Wacker Compactor DPU6055/Plate Tamp

2011 Wacker Compactor BPU4045A/Plate Tamp

2010 Wacker Compactor BPU3050A/Plate Tamp

2004 Kubota Mini Excavator

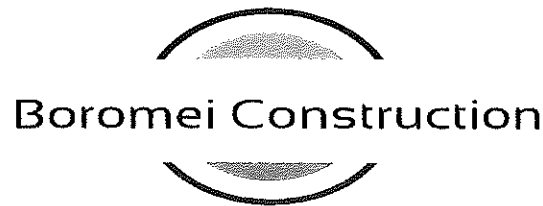
2016 Kubota Mini Excavator

2007 Bobcat T250 Skid Loader

2000 John Deere 444 Loader

2011 Doosan RX264H Jumping Jack

7 Foot Six Way Dozer Blade



## Question #12 Experience in General Construction Work Similar in Scope

- 1. Project Name:** Leachate WWTP Sand Filter Repair & Rehabilitation  
**Location:** Punta Gorda, FL  
**Owner:** Charlotte County  
**Address:** 18500 Murdock Circle  
Port Charlotte, FL  
**Engineer:** N/A  
**Contact:** Bryan Hatfield  
**Phone:** 941.764.4385  
**Email:** [bryan.hatfield@charlottecountyfl.gov](mailto:bryan.hatfield@charlottecountyfl.gov)  
**Description:** Repairs to Sand Filter including replacement of valves, rehabilitation of surface air system, replace mesh screens and install new media in filter cells, replace level sensors, air compressor and air dryer and repair electric.  
**Contract Date:** 12.18.2020  
**Contract Amount:** \$116,550.00  
**Completion Date:** April 2021  
**Final Contract:** \$116,550.00
- 2. Project Name:** Lift Station 21 and Lift Station 24 Bypass Pump Improvements  
**Location:** Clewiston, FL  
**Owner:** City of Clewiston  
**Address:** 115 West Ventura Ave.  
Clewiston, FL  
**Engineer:** Johnson Engineering  
P.O. Box 1550  
Fort Meyers, FL 33902-1550  
**Phone:** 239-334-0046  
**Contact:** Danny Williams  
**Phone:** 863.233.7249  
**Email:** [danny.williams@clewiston-fl.gov](mailto:danny.williams@clewiston-fl.gov)  
**Description:** Installing diesel pumps, concrete pads, suction and discharge piping, valves, restoration.  
**Contract Date:** 6.16.2020  
**Contract Amount:** \$118,460.00  
**Completion Date:** April 8, 2021

- 3. Project Name:** Bonnie Brook Pump Station Retrofit  
**Owner:** Orange County  
400 E. South St.  
Orlando, FL  
**Contact:** Daniel Negron  
**Phone:** 407.836.7743  
**Email:** [daniel.negron@ocfl.net](mailto:daniel.negron@ocfl.net)  
**Engineer:** Geosyntec Consultants  
1511 East State Road 434, Suite 1005  
Winter Springs, FL 32708  
**Description:** This project consists of modifying the wet well structure to construct floor and wall corner fillets, a splitter wall, anti-rotation baffles, floor splitters, suction umbrellas and to modify pump float elevations.  
**Contract Date:** February 2020  
**Contract Amount:** \$206,645.00  
**Change Orders:** \$23,556.23  
**Final Contract:** \$230,301.23  
**Completion Date:** July 2020
- 4. Project Name:** Torry Island Campground Sanitary Sewer Improvements  
**Owner:** City of Belle Glade  
110 Drive, Martin Luther King Jr. Blvd  
Belle Glade, Florida  
**Engineer:** Craig A. Smith & Associates  
7777 Glades Rd Ste. 410  
Boca Raton, FL 33434  
**Contact:** Jim Orth  
**Phone:** 561-314-4445 x215  
**Email:** [jorth@craigasmith.com](mailto:jorth@craigasmith.com)  
**Description:** Install Approximately 1800 LF of 8" PVC sanitary sewer main, 10 manholes, 128 4" PVC Sanitary laterals and 140 LF 2" PVC force main to serve a campground Facility. 4,450 Sy 1.5" SP 9.5 Asphalt. Remove as by milling, remove base, compact Subgrade. Furnish base and pave.  
**Contract Date:** September 2018  
**Contract Amount:** \$1,550,446.00  
**Change Orders:** \$80,185.25  
**Final Contract:** \$1,630,631.25  
**Completion:** May 2019



# Boromei Construction



## DANNY BOROMEI, President/ Project Manager

### PROFESSIONAL LICENSES AND REGISTRATIONS

Certified General Contractor,  
State of Florida, CGC 1508299

State of Florida Department of  
Environmental Protection Qualified  
Stormwater Management Inspector  
Number: 20834

### EDUCATION

High School Diploma Year Earned:  
1985

Naval Aviation Academy Year  
Earned: 1993

Continuing Education Courses in  
Construction Industry Safety and  
Management

### CERTIFICATIONS

30-Hour OSHA Hazard Recognition  
Training for the Construction Industry  
– 2015

10-Hour OSHA Construction Safety  
& Health

### TECHNICAL COURSES

Florida Stormwater Regulations for  
Contractors

Project Management Workshops

YEARS EXPERIENCE 25+

### TECHNICAL EXPERTISE

Mr. Boromei has over 25 years of professional experience in construction, project management and quality control. Throughout his career he has demonstrated his skills in various roles including: Construction and Project Management, including Cost Control and Quality Assurance. Mr. Boromei's contributions have lead to the successful, safe and timely completion of our client projects.

### EXPERIENCE HIGHLIGHTS - (Completed as President/Project Manager for Boromei Construction, Inc.)

- Data Flow System Antenna and Tower Replacement- Replace existing SCADA Data Flow System antenna and tower. Completed in September 2021
- Trap Line Bunker Modification-Palm Beach Shooting Sports Complex – Modify (5) existing trap unkersm install conduit, concrete pads, construct custom PVC speaker housing, provide minor drainage and finish grading, top soil and sod. Complete in Septemebr 2021
- Lift Station 21 and Lift Station 24 Bypass Pump Improvements- Installing diesel pumps, concrete pads, suction and discharge piping, valves restoration. Completed in April 2021
- Leachate WWTP Sand Filter Repiar & Rehabilitation – Repairs to sand filter including replacement of valves, rehabilitation of surface system, replace mesh screens and install new media in filter cells, replace level sensors, air compressor and air dryer and repair electric. Completed in April 2021
- Moss Pilot - Installation of a new soil bench, ramp, prefabricated slab, pipe and pmp head, discharge weir, rip rap, fuel system, power pack, monitring wells and site restoration. Completed in January 2021
- Marco Island RWPF Bleach Structures – Construction of bleach structures to house chemical feed pumps and four hypochlorite (bleach) tanks. Completed in November 2020
- CREW Siding Replacement – Exterior improvements to FL Fish & Wildlife residence including replace and install all T-111 with hardyboard siding and paint exterior. Replace all vented viynl soffit. Fill in pool area, grade and lay sod. Completed in Septemebr 2020
- Construction of Four Pickleball Courts - Construction of four pickleball courts including posts/netting, court surfacing, installation of perimeter fencing, and site restoration. Completed in September 2020

- City of Mount Dora Restrooms – Furnish and install pre-fabricated restrooms. Completed in September 2020
- FL Fish & Wildlife Crew Handrail – Furnish labor, materials and equipment to replace and paint handrails and deck boards on west side of balconies. Completed in August 2020
- Bonnie Brook Pump Station Retrofit Modifying wet well structure to construct floor and wall corner fillets, a splitter wall, anti rotation baffles, floor splitters, suction umbrellas and to modify pump elevations. Completed in July 2020
- City of Cocoa Gateway Entry Sign – Installation of city entry gateway sign. Completed in July 2020
- Fort Pierce State Farmers Market Overhead Doors – Provide new commercial overhead doors at east loading dock for food and regulatory safety. Completed in June 2020
- Stuart WWTP Electrical Room Hardening – Construction of a CMU building around an existing electrical room and installation of a metal roof. Replace metal roof on an existing metal building. Completed in May 2020
- San Lucie Basin 2B Construction Driveways Furnish and install 82 driveway aprons to the existing homeowner driveways to the roadway. Each approximately 300SF. Completed in April 2020
- Softball Dugout Renovations – Project Manager. Project included installation of sun shades, dugouts and electrical rooms at three softball fields located at Harold Avenue Park. Completed in January 2020.
- Toho Water Authority Purchasing Warehouse Pipe Storage Facility – Project Manager. Furnish and erect a prefabricated building along with associated site work. Completed in December 2019.
- City of Belle Glade Torry Island Sanitary Sewer Improvements – Project Manager. Installation of sanitary sewer, electrical and water service upgrades at campground. Completed September 2019.
- City of Clewiston Police Department Building Renovation – Project Manager. Renovations to one story building including selective demolition, drywall, ceiling tiles, painting, plumbing, HVAC and electric. Completed June 2019.
- Hardee County Wauchula Hills WWTP PTF Headworks Improvements – Project Manager. Install one headworks influent bar screen along with dumpster concrete pads with gravity sewer drains. Completed February 2019.
- City of Okeechobee City Hall Door Replacement – Project Manager. Replacement of storefront doors at the City Hall. Completed December 2018.

### **EXPERIENCE HIGHLIGHTS – (Completed as Vice President/Project Manager of Close Construction, LLC)**

- Brighton Seminole Indian Reservation Preschool (Adult Classroom) Bathroom Remodel – Vice President/Project Manager. Remodel (7) bathrooms and improve patio enclosures. Completed in September 2021.
- Southport Unit 5 Area City of Port St. Lucie, FL Vacuum Sewer Collection System – Vice President/Project Manager. Construction, testing and placing into operation of a vacuum sewage collection system, pumping station and sewage force main in predominately residential neighborhood. Completed in July 2020.

- North County Aquatic Flooring – Vice President/Project Manager. Replacement of existing epoxy flooring with Altro Aquarius equivalent in the Men’s and Women’s restrooms, locker rooms and shower areas. Completed in May 2019
- Okeechobee County Score Tower and Dugouts – Vice President/Project Manager. Replace metal roofs on score tower and eight dugouts. Completed in December 2018.
- Punta Gorda WWTP Bldg. Repairs – Vice President/Project Manager. Remove and replace existing windows, frames, remove and replace Gypsum Wallboard, stucco repairs. Completed in December 2018.
- City of Punta Gorda CONS-FIRELINEBAYFRT11625 – Vice President/Project Manager. Construct a fire protection line at Bayfront Hospital to the City’s 12” water main. Completed October 2018
- Big Cypress RV Resort Slab Replacement – Vice President/Project Manager. Demolition, legal disposal and replacement services of the existing slabs. Completed in September 2018
- Sarasota County Batters Eye – Vice President. Repair damage to Batters Eye due to Hurricane Irma. Completed in February 2018.
  
- Douglas Brown Community Center Lift Station Improvements – Project Manager. Replace the existing sanitary sewer septic system that serves the Douglas Brown Community Center with a proposed pump station that meets current construction standards. Completed February 2018.
- Little League Concession Stand – Vice President. Demolish and reconstruct a two-story concession stand including electric, plumbing, framing, roofing and siding. Completed in November 2017.
- St. Lucie County Administration Building Drainage Connections – Project Manager. Drainage improvements including remove and dispose of existing outlets and concrete, installation of 3 new FDOT inlets, 18” RCP, pavement and restoration. Completed September 2017.
- Hollywood WTP Electrical Reliability Improvements – Project Manager. Construction of a vertical annex building to house redundant electrical equipment. Completed January 2017.
- Three Island Reuse Irrigation Project – Project Manager. Consist of approximately 3775 LF of new pressurized reuse irrigation main, and 10” DIPS HDPE DR9 to be installed via horizontal directional drilling. Completed April 2018.
- Gumbo Limbo Nature Center Phase I Boardwalk and Observation Tower – Project Manager. Demolition of existing boardwalk and observation tower. Installation of a new boardwalk and landscaping.
- PC South Algal Nutrient Removal Facility, Indian River County, Florida – Project Manager. Construction of an algal nutrient removal facility, storm water pumping stations, force mains, and associated peripheral systems. Completion: January 2015.
- Lake Holden Alum Treatment System Upgrades, Orlando, Florida – Project Manager. Upgrades to an Alum Treatment System including replacement of existing flow

meters, control panels and pumps and included telemetry devices to convey flow rates wirelessly. Completed: March 2014

- West Dearborn Low Impact Development Storm Water Pilot Project, Sarasota, Florida – Project Manager. Construction of bio-detention/bio-retention systems, storm water piping and structures, irrigation and landscape, and miscellaneous streetscape items. Project included construction of pervious parking, sidewalks, permeable pavers, clearing and grubbing, pavement and sidewalk removal, excavation, grading and compaction, curbing, erosion and pollution control, pavement striping, and signage. Completed: February, 2014.
- Town of Hillsboro Beach Water Treatment Plant Improvements – Project Manager. Improvements to an existing Water Treatment Plant including construction of a chemical building and an electrical building. Completed in August 2013.
- Storm water System Improvements WM003 – St. Lucie West Services District, St. Lucie, Florida - Project Manager. Upgrades to existing storm water system, including, but not limited to, stilling wells, water level sensors, concrete structures, pipes, headwalls, slide gates, electric, control panels, RTU's, actuator motors, excavation, site work, and restoration. Completed: February, 2013.
- GT Lohmeyer Wastewater Treatment Plant – Project Manager. Removal and replacement of liquid oxygen tanks, public address system, grit classifiers; various concrete repairs, dewatering building concrete and odor control instrumentation. Completed in June 2012.
- Lakes Park Water Quality Restoration Project, Lee County, Florida - Project Manager. Construction of rock/soil peninsulas within the East and West Lakes at Lakes Regional Park, creating a serpentine flow way with extensive associated littoral zones and upland areas planted with appropriate vegetation to enhance nutrient removal from the water and provide wildlife habitat. Included clearing and grubbing, temporary access road with water crossing and turbidity monitoring throughout the project. Completed: December, 2012.
- Powell Creek Preserve Filter Marsh and Hydrologic Restoration, Lee County, Florida – Project Manager. Construction of 19-acre wetland filter marsh on existing undeveloped site. Work included clearing and grubbing, excavation and removal offsite of 143,049 CY of excess fill, grading, construction of trails/maintenance berms, installation of control structures, wet well, pumps, controls, fencing, storm water inlets, rip rap, manholes, and stabilized low flow crossing of Powell Creek. Extensive dewatering, erosion/sediment control was required in an environmentally sensitive location. Completed: September, 2012.
- Centerstate Bank, Okeechobee Branch - Project Manager. Construction of a 6200 SF bank including offices, teller line, work areas, self serve walk in vault of safety deposit boxes and a grand lobby area with a fully functional fireplace. Completed March 2012.
- G435 Pump Station – Project Manager. Construction of a new pump station including controls and automation; traveling bridge crane; traveling trash racks and integration into SCADA system; CMU structure; mechanical; electrical; plumbing. Completed in December 2011

- S-59 Concrete Repairs – Project Manager. Repairs to S-59 concrete spillway for South Florida Water Management District. Project was completed in June 2011.
- S-63 Concrete Repairs – Project Manager. Repairs to S-63 concrete spillway for South Florida Water Management District. Project was completed in June 2011.
- Indian River Estates Alum Facility, St. Lucie County, Florida – Project Manager. Construction and installation of a 5,025-gallon aluminum sulfate storage, two chemical metering pump skids each with two pumps on them, an eyewash shower and all piping, concrete labor and appurtenances. Completed: September 2009.
- Area 11A Reclaim Booster Pump Station, City of Delray Beach, Florida  
Project Manager. Installation of (2) horizontal split case pumps, RTU, instrumentation, electrical upgrades, and tie-in all new components to existing reclaimed water piping. Completed: August, 2009.
- Indian River Estates Storm Water Improvements and Pump Station, St. Lucie County, Florida – Project Manager. The project entailed several storm water improvements in the Indian River Estates area and the Savannahs Preserve State Park in Port St. Lucie, Florida. It involved the construction of a pump station including (4) four Axial flow pumps. The pump station was housed within a CBS structure. It also included the construction of a 16-acre primary retention pond, 6,000 linear feet of levee, access road, outfall structure and overflow control structure. Completed: January, 2009.
- Platt's Creek Stormwater Treatment Alum Facility, St. Lucie County, Florida – Project Manager. Installation of six alum injection pumps, tank and prefab building, and associated site work. Completed: August 2008.
- Ridgway Acres Subdivision, Okeechobee County, Florida – Project Manager. Developed a 60-acre residential subdivision. Work included clearing, earthwork, installation of underground utilities, roadway, and drainage system consisting of two retention lakes and drainage outfall structures. Completed February, 2007.

# SouthState

June 6, 2022

Re: Boromei Construction, Inc.  
420 NW 3<sup>rd</sup> St., Ste b  
Okeechobee, FL 34972  
Acct # XXX4926

To Whom It May Concern:

Please accept this letter on behalf of Boromei Construction, Inc. who is a current customer of SouthState Bank. I write to certify that Boromei Construction, Inc. has been in good financial standings with us. I am able to recommend Mr. Boromei to you as a person of integrity and good standing, who to the best of my knowledge and belief is able to conduct his business affairs in a proper and regular manner.

The information provided with our customer's consent in strict confidence, without guarantee and for your company's use only.

Should you have any questions or need additional information please feel free to contact me direct.

Sincerely,



**Tabitha Trent**  
Vice President  
Branch Manager IV  
NMLS# 769972

2100 S. Parrott Avenue  
Okeechobee, FL 34974

**Branch** 863.763.5573  
**Direct** 863.824.4353

**[SouthStateBank.com](http://SouthStateBank.com)**

Internal

**BOROMEI CONSTRUCTION, INC.**

**FINANCIAL STATEMENTS**

**AND**

**SUPPLEMENTARY SCHEDULES**

**Years Ended December 31, 2020 and 2019**

BOROMEI CONSTRUCTION, INC.  
FINANCIAL STATEMENTS AND SUPPLEMENTARY SCHEDULES  
Years Ended December 31, 2020 and 2019

TABLE OF CONTENTS

	<u>Page</u>
Table of Contents	1
Independent Accountant's Review Report	2
Financial Statements:	
Balance Sheet	3 - 4
Statement of Income and Retained Earnings	5
Statement of Cash Flows	6
Notes to Financial Statements	7 - 10
Supplementary Information:	
Schedule 1 - Contracts in Progress	12
Schedule 2 - Contracts Completed	13

SALLIE C. WATSON  
CERTIFIED PUBLIC ACCOUNTANT  
2525 86<sup>th</sup> AVENUE  
VERO BEACH, FLORIDA 32960  
Telephone 772-473-1632

INDEPENDENT ACCOUNTANT'S REVIEW REPORT

To the Board of Directors  
Boromei Construction, Inc.  
Okeechobee, Florida

I have reviewed the accompanying financial statements of Boromei Construction, Inc. which comprise the balance sheets as of December 31, 2020 and 2019 and the related statements of income and retained earnings, and cash flows for the years then ended, and the related notes to the financial statements. A review includes primarily applying analytical procedures to management's financial data and making inquiries of company management. A review is substantially less in scope than an audit, the objective of which is the expression of an opinion regarding the financial statements as a whole. Accordingly, I do not express such an opinion.

*Management's Responsibility for the Financial Statements*

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America and for designing, implementing, and maintaining internal control relevant to the preparation and fair presentation of the financial statements.

*Accountant's Responsibility*

My responsibility is to conduct the review in accordance with Statements on Standards for Accounting and Review Services issued by the American Institute of Certified Public Accountants. Those standards require me to perform procedures to obtain limited assurance that there are no material modifications that should be made to the financial statements. I believe that the results of my procedures provide a reasonable basis for my conclusion.

*Accountant's Conclusion*

Based on my review, I am not aware of any material modifications that should be made to the accompanying financial statements in order for them to be in accordance with accounting principles generally accepted in the United States of America.

My review was made primarily for the purpose of expressing a conclusion that there are no material modifications that should be made to the financial statements in order for them to be in conformity with accounting principles generally accepted in the United States of America. The supplementary information included in Schedules 1 and 2 is presented for purposes of additional analysis and has been subjected to the inquiry and analytical procedures applied in the review of the basic financial statements, and I did not become aware of any material modifications that should be made to such information.

*Sallie C. Watson*

Certified Public Accountant  
May 12, 2021

BOROMEI CONSTRUCTION, INC.  
BALANCE SHEETS  
 December 31, 2020 and 2019

ASSETS

	2020	2019
Current assets:		
Cash	\$ 508,630	\$ 131,966
Accounts Receivable - Progress billings	406,790	269,729
Other accounts receivable	6,370	65,063
Costs and estimated earnings in excess of billings on uncompleted contracts	239,188	145,354
Prepaid workers comp insurance	-	2,948
Deferred income tax assets	5,026	-
Total current assets	1,166,004	615,060
Property and equipment:		
Equipment and vehicles (net of accumulated depreciation of \$5,966)	50,193	6,650
Other assets:		
Deferred construction costs-Spec houses	40,702	40,702
Total assets	\$ 1,256,899	\$ 662,412

See independent accountant's review report and notes to financial statements

BOROMEI CONSTRUCTION, INC.  
BALANCE SHEETS (Continued)  
December 31, 2020 and 2019

LIABILITIES AND STOCKHOLDER'S EQUITY

	2020	2019
Current liabilities:		
Accounts payable, trade	\$ 345,172	\$ 241,013
Accrued liabilities	28	86
Income tax payable	96,120	66,193
Billings in excess of costs and estimated earnings	60,413	15,695
Deferred income tax liabilities	-	24,136
Notes payable - Officers	19,850	19,850
Total current liabilities	521,583	366,973
	521,583	366,973
Stockholder's equity:		
Common stock, \$65 par value, authorized, issued and outstanding 100 shares	6,500	6,500
Additional paid-in capital	26,445	10,000
Retained earnings	702,371	278,939
Total stockholder's equity	735,316	295,439
	\$ 1,256,899	\$ 662,412

See independent accountant's review report and notes to financial statements

**BOROMEI CONSTRUCTION, INC.**  
**STATEMENTS OF INCOME AND RETAINED EARNINGS**  
Years Ended December 31, 2020 and 2019

	2020	2019
Contract revenues earned	\$ 2,420,943	\$ 1,505,296
Costs of revenues earned:		
Labor	81,357	60,022
Subcontractors	1,221,526	909,075
Materials	388,588	119,461
Equipment	74,777	1,360
Other job related costs	88,626	175,804
Liability insurance	4,993	3,482
Worker's compensation insurance	6,322	5,492
Total costs of revenues earned	1,866,189	1,274,696
Gross profit from construction contracts	554,754	230,600
Other Income - Non-taxable grant- SBA	18,957	-
	573,711	230,600
General and administrative expense:		
Salaries, wages and payroll taxes	18,719	30,716
Insurance	4,861	39,575
Advertising	1,036	600
Bidding and Miscellaneous	9,966	2,535
Depreciation	5,616	350
Dues and subscriptions	150	480
Interest	-	763
Office expense	6,734	21,264
Office rent	4,981	9,000
Professional fees	3,500	1,975
Repairs and Maintenance	12,968	12,662
Small Tools	-	3,915
Taxes and licenses	3,649	1,086
Telephone	2,150	1,422
Travel	757	-
Utilities	702	2,075
Workers compensation insurance	4,657	15,013
Total general and administrative expense	80,446	143,431
Income before provision for income taxes	493,265	87,169
Provision for income taxes	69,833	21,385
Net income	423,432	65,784
Retained earnings, beginning of year	278,939	213,155
Retained earnings, end of year	\$ 702,371	\$ 278,939

See independent accountant's review report and notes to financial statements

BOROMEI CONSTRUCTION, INC.  
STATEMENTS OF CASH FLOWS  
Years Ended December 31, 2020 and 2019

	<u>2020</u>	<u>2019</u>
Cash flows from operating activities:		
Net income	\$ 423,432	\$ 65,784
Adjustments to reconcile net income to net cash provided by operating activities:		
Depreciation	5,616	350
(Increase) in accounts receivable	(78,368)	(115,564)
(Increase) decrease in costs and estimated earnings in excess of billings on uncompleted contracts	(93,834)	78,382
Decrease (increase) in prepaid expense	2,948	(2,948)
Increase in deferred construction costs - Spec houses	-	(34,202)
Increase in trade accounts payable	104,159	62,264
Increase (decrease) in accrued liabilities	(58)	(1,801)
Increase in income taxes payable	29,927	65,681
Increase in billings in excess of costs and estimated earnings	44,718	15,695
Increase in deferred tax assets	(5,026)	-
Decrease in deferred income taxes	(24,136)	(44,808)
Total adjustments	<u>(14,054)</u>	<u>23,049</u>
Net cash provided by operating activities	<u>409,378</u>	<u>88,833</u>
Cash flows from investing activities:		
Purchase of equipment	<u>(49,159)</u>	<u>(7,000)</u>
Net cash provided by investing activities	<u>(49,159)</u>	<u>(7,000)</u>
Cash flows from financing activities:		
Notes payable to shareholder	-	(27,681)
Additional paid-in capital	<u>16,445</u>	<u>-</u>
Net cash provided by financing activities	<u>16,445</u>	<u>(27,681)</u>
Net increase in cash	376,664	54,152
Cash at beginning of year	<u>131,966</u>	<u>77,814</u>
Cash at end of year	<u>\$ 508,630</u>	<u>\$ 131,966</u>
Supplemental disclosures:		
Cash paid during the year for interest	<u>\$ -</u>	<u>\$ 763</u>
Cash paid during the year for income taxes	<u>\$ 66,193</u>	<u>\$ 512</u>

See independent accountant's review report and notes to financial statements

BOROMEI CONSTRUCTION, INC.  
NOTES TO FINANCIAL STATEMENTS  
Years Ended December 31, 2020 and 2019

*(1) Organization*

Boromei Construction, Inc. (the Company) began operations in 2018, and is engaged in business as a general contractor, with various institutional, local government, commercial, and residential construction projects in progress at December 31, 2020 on contract bases.

*(2) Summary of significant accounting policies*

Income recognition - Revenues from fixed-price contracts are recognized on the percentage-of-completion method. Under this method, contract revenues are recognized based upon the percentage that accrued costs to date bear to total estimated costs for each individual contract. Revenues on smaller contracts are generally recognized as billed, provided however, that this does not result in a distortion of income for the period.

Costs of revenues earned include direct contract costs of labor, payroll taxes, and materials, equipment rental and other direct costs. General and administrative costs are charged to expense as incurred. Provision for estimated losses on uncompleted contracts is made in the period in which such losses are determined. Changes in job performance, job conditions, and estimated profitability may result in revisions to costs and income and are recognized in the period in which the revisions are determined. Changes in estimated job profitability resulting from job performance, job conditions, change orders and settlements are accounted for as changes in estimates in the current period.

The asset, Costs and Estimated Earnings in Excess of Billings on Uncompleted Contracts, represents revenues recognized in excess of amounts billed. The liability, Billings in Excess of Costs and Estimated Earnings on Uncompleted Contracts, represents billings in excess of revenues recognized.

Cash – For purposes of the statement of cash flows, the Company’s cash at December 31, 2020 and 2019 consists of monies held in checking accounts.

Financial instruments – The Company’s financial instruments are cash, accounts receivable, accounts payable, and notes payable. The recorded values of cash, accounts receivable, and accounts payable approximate their fair values based on their short-term nature. The recorded values of notes payable approximate their fair values, as interest approximates market rates.

Accounts receivable- The Company uses the allowance method for doubtful accounts equal to the estimated uncollectible amounts. The Company’s current estimate is based on a review of the current status of trade accounts receivable. The Company does not currently anticipate any uncollectible accounts. It is reasonably possible that the Company’s estimate of the allowance for doubtful accounts will change.

Property and equipment - Acquisitions of property and equipment are stated at cost. Expenditures for major additions and improvements are capitalized, and minor replacements, maintenance, and repairs are charged to expense as incurred. When property or equipment is retired or otherwise disposed of, the cost and accumulated depreciation is removed from the accounts and any resulting gain or loss is included in

BOROMEI CONSTRUCTION, INC.  
NOTES TO FINANCIAL STATEMENTS  
Years Ended December 31, 2020 and 2019

***(2) Summary of significant accounting policies (Continued)***

the results of operations for the current respective period. Depreciation is provided over the estimated useful lives of the related assets using the straight-line and declining-balance methods for financial statement purposes. The Company uses other depreciation methods (generally accelerated) for tax purposes where appropriate.

Estimates - The preparation of financial statements in conformity with accounting principles generally accepted in the United States of America ("GAAP") requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements, and the reported amounts of revenues and expenses during the reporting period. These estimates may be adjusted as more current information becomes available, and any adjustment could be significant.

Concentration of credit and business risks – Financial instruments which potentially subject the Company to concentrations of credit consists primarily of temporary cash investments and trade accounts receivable. Additionally, the Company concentrates its activities in the construction field and is subject to the risks inherent in the industry.

Advertising - It is the Company's policy to expense advertising costs as incurred. Total advertising costs incurred during the years ended December 31, 2020 and 2019 were \$1,036 and \$600, respectively.

Income taxes – Income taxes are accounted for by the asset/liability approach in accordance with FAS-109 (Accounting for Income Taxes). Deferred taxes represent the expected future tax consequences when the reported amounts of assets and liabilities are recovered or paid. They arise from differences between the financial reporting and tax bases of assets and liabilities and are adjusted for changes in tax laws and tax rates when those changes are enacted. The provision for income taxes represents the total of income taxes paid or payable for the current year, plus taxes deferred during the year.

***(3) Cash***

The Company maintains cash balances at a single financial institution. Accounts are presently insured by the Federal Deposit Insurance Corporation (FDIC) up to \$250,000. At December 31, 2020 the Company had uninsured bank balances in the amount of \$265,021. The Company had no uninsured bank balances at December 31, 2019.

***(4) Accounts receivable***

Accounts receivable are presented gross of an allowance for doubtful accounts at December 31, 2020 and 2019. Based on a review of current trade accounts receivable, timing of receipts to date, their experience with, and the reputation of the contract owners, the Company does not currently anticipate any uncollectible accounts. It is reasonably possible that the Company's estimate of the allowance for doubtful accounts will change as future contracts are executed.

BOROMEI CONSTRUCTION, INC.  
NOTES TO FINANCIAL STATEMENTS  
Years Ended December 31, 2020 and 2019

***(5) Costs and estimated earnings on uncompleted contracts***

Costs, estimated earnings and billings on uncompleted contracts at December 31, 2020 and 2019 are summarized as follows:

	2020	2019
Costs incurred on uncompleted contracts	\$ 512,042	\$ 275,060
Estimated earnings	113,629	85,170
	625,671	360,230
Less: Billings-to-date	(446,896)	(230,571)
	\$ 178,775	\$ 129,659

Included in the accompanying balance sheet under the following captions:

Costs and estimated earnings in excess of billings on uncompleted contracts	\$ 239,188	\$ 145,354
Billings in excess of costs and estimated earnings on uncompleted contracts	(60,413)	(15,695)
	\$ 178,775	\$ 129,659

***(6) Comprehensive income***

The Company had no items of other comprehensive income during the year ended December 31, 2020 and 2019. Therefore, net income as presented in the company's statement of income and retained earnings equals comprehensive income.

***(7) Property and equipment***

Property and equipment consists of the following:

	2020	2019
Construction equipment	\$ 18,696	\$ 7,000
Vehicles	37,463	-
	56,159	7,000
Accumulated depreciation	(5,966)	(350)
Net property and equipment	\$ 50,193	\$ 6,650

BOROMEI CONSTRUCTION, INC.  
NOTES TO FINANCIAL STATEMENTS  
 Years Ended December 31, 2020 and 2019

**(8) Leases**

The Company rents its office facilities under an informal month-to-month arrangement. Office rent expense for the years ended December 31, 2019 and 2020 totaled \$4,981 and \$9,000, respectively.

The Company is not obligated under any capital or non-cancellable long-term operating leases. Equipment is periodically rented on a short-term, as-needed basis. Equipment rental expense for the years ended December 31, 2020 and 2019 totaled \$74,777 and \$1,360, respectively.

**(9) Income taxes**

For income tax reporting purposes, the Company recognizes income from long-term contracts on the completed-contract method (CCM). Under CCM, income is recognized only when work on a contract is completed. Deferred income taxes are recorded on the timing differences between the CCM method of accounting and the percentage-of-completion method used for financial reporting purposes. These differences will reverse as contracts in progress are completed and income from those contracts is recognized for tax reporting purposes.

The provision for income taxes is determined as follows:

	2020	2019
Federal and State statutory rates on taxable income	\$ 98,995	\$ 66,193
Increase in deferred tax assets	(5,026)	-
Decrease in deferred tax liabilities	(24,136)	(44,808)
Total	\$ 69,833	\$ 21,385

**(10) Surety bonds**

The Company, as a condition for entering into certain of its construction contracts, must furnish payment and performance bonds to contract owners. The bonds are collateralized by the related contracts receivable and an indemnification agreement signed by the Company's stockholder. The Company had outstanding surety bonds at December 31, 2020 and 2019 in the amounts of \$1,775,936 and \$1,588,224 respectively.

**(11) Backlog**

The following schedule presents a reconciliation of backlog representing the amount of revenue the company expects to realize from work to be performed on uncompleted contracts in progress at December 31, 2020.

Balance, December 31, 2019	\$ 1,215,409
New Contracts and adjustments 2020	1,905,746
	3,121,155
Less: Contract revenue earned, 2020	1,856,483
Balance, December 31, 2020	\$ 1,264,672

In addition, between January 1, 2021, and May 12, 2021, the Company entered into additional construction contracts with revenues of \$1,151,972.

SUPPLEMENTARY SCHEDULES



**BOROMEI CONSTRUCTION, INC.**  
**SCHEDULE 2 - CONTRACTS COMPLETED**

Year Ended December 31, 2020

Job	Contract Totals									
	Before January 1, 2020					Year Ended December 31, 2020				
	Revenues	Cost of Revenues	Gross Profit (Loss)	Gross Prof %	Revenues Earned	Cost of Revenues	Gross Profit	Revenues Earned	Cost of Revenues	Gross Profit
26-Charlotte Dug Outs	245,606	163,633	81,973	0	100,177	75,848	24,329	145,429	87,785	57,644
28-Farmer's Market O/H Doors	110,408	75,605	34,803	32%	63,959	57,007	6,952	46,449	18,598	27,851
29-Electrical Room Hardening	468,158	365,916	102,242	22%	159,305	116,571	42,734	308,853	249,345	59,508
30-Gateway Entry Sign	171,639	120,484	51,155	30%	13,992	9,092	4,900	157,647	111,392	46,255
31-Mount Dora Restrooms	117,195	87,287	29,908	26%	147	109	38	117,048	87,178	29,870
32-Marco Island RWPF	182,268	172,086	10,182	6%	7,970	5,718	2,252	174,298	166,368	7,930
33-San Lucie Basin Driveway	295,768	178,816	116,952	40%	14,680	10,715	3,965	281,088	168,101	112,987
34-Bonnie Brook PS Retrofit	230,301	124,141	106,160	46%	-	-	-	230,301	124,141	106,160
35-Pickleball Court Const.	102,770	101,106	1,664	2%	-	-	-	102,770	101,106	1,664
37-Crew Siding	107,738	81,619	26,119	24%	-	-	-	107,738	81,619	26,119
38-Clewiston LS 21 & 24	119,464	62,402	57,062	48%	-	-	-	119,464	62,402	57,062
40-Crew Handrail	4,962	2,170	2,792	56%	-	-	-	4,962	2,170	2,792
Small Jobs	(775)	5,856	(6,631)		-	-	-	(775)	5,856	(6,631)
Estimating Labor		69,645	(69,645)		-	-	-	-	69,645	(69,645)
Administrative Labor		18,440	(18,440)		-	-	-	-	18,440	(18,440)
Rounding		1	(1)		-	-	-	-	1	(1)
<b>Total</b>	<b>\$ 2,155,502</b>	<b>\$ 1,629,207</b>	<b>\$ 526,295</b>	<b>24%</b>	<b>\$ 360,230</b>	<b>\$ 275,060</b>	<b>\$ 85,170</b>	<b>\$ 1,795,272</b>	<b>\$ 1,354,147</b>	<b>\$ 441,125</b>

Totals above are carried to Schedule 1

See independent accountant's review report and notes to financial statements



**CONTRACTOR VERIFICATION FORM**  
FORT PIERCE, FLORIDA  
SEALED BID NO. 2022-018

**PROJECT: GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS**

**THE FOLLOWING IS TO COMPLETED BY PRIME BIDDER:**

Name of Firm: Boromei Construction Inc.

Corporate Title: Boromei Construction Inc.

Address: 420B NW 3rd Street  
Okeechobee, FL 34972  
(Zip Code)

By: Danny Boromei President  
(Print name) (Print title)

  
(Authorized Signature)

Telephone: (863) 623.4314

Fax: (863) 763.6337

State License # CGC1508299 (ATTACH COPY)

County License # 01335 (ATTACH COPY)

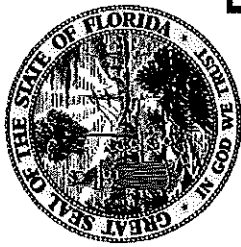
City License: (ATTACH PROOF OF REGISTRATION WITH THE CITY)

Type of License: General Contractor

Unlimited Yes (yes/no)

If "NO", Limited to what trade? \_\_\_\_\_

**END OF SECTION**



Ron DeSantis, Governor

Halsey Beshears, Secretary



**STATE OF FLORIDA**  
**DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD**

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE  
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES



**BOROMEI, DANNY LOWRY**

BOROMEI CONSTRUCTION INC  
881 SW 128TH AVE  
OKEECHOBEE FL 34974

**LICENSE NUMBER: CGC1508299**

**EXPIRATION DATE: AUGUST 31, 2022**

Always verify licenses online at [MyFloridaLicense.com](http://MyFloridaLicense.com)



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.

STATE OF FLORIDA  
OKECHOBEE COUNTY  
BUSINESS LICENSE

PENALTY ADDED: OCT 1st, 10%; NOV 1st, 15%; DEC 1st, 20%; JAN 1st, 25%  
THIS LICENSE IS FURNISHED IN PURSUANCE OF CHAPTER 205, FLORIDA STATUTES  
AND COUNTY ORDINANCE NO. 79-2

BORGMEI CONSTRUCTION INC

881 SW 128TH AVE  
OKECHOBEE

FL 34974

PRIOR COUNTY PENALTY	<u>\$18.00</u>
AMOUNT DUE	<u>\$18.00</u>

BUSINESS # 01335

LICENSE # 00530  
DATE PAID 7/27/2021

CELESTIE WATFORD, TAX COLLECTOR  
OKECHOBEE COUNTY  
409 NW 2ND AVE SUITE A  
OKECHOBEE, FL 34972

2021  
2022

CONTRACTOR CERTIFIED GENERAL

9

1

THIS LICENSE IS VALID ONLY IF NO  
OTHER LAW OR ORDINANCE IS  
VIOLATED, ESPECIALLY ZONING

ORIGINAL CUSTOMER COPY

**CITY OF OKEECHOBEE  
BUSINESS TAX RECEIPT**  
55 SE 3rd Avenue, Okeechobee, FL 34974  
October 1, 2021 - September 30, 2022

BOROMEI, DANNY  
000-0000

No: 2583  
Date: 7/27/21

Address: 420B NW 3RD STREET  
OKEECHOBEE, FL 34974  
Activity: 201 CONTRACTOR

RECEIPT 78.75  
PENALTY  
APP/TRANS  
BLDG INSP  
FIRE INSP  
Total Paid 78.75



issued to: BOROMEI CONSTRUCTION, INC.  
BOROMEI, DANNY  
420B NW 3RD STREET  
OKEECHOBEE, FL 34974

*Kim Barnes*  
BUSINESS TAX OFFICIAL

A

**DRUG-FREE WORKPLACE FORM**

The undersigned vendor, in accordance with Florida Statute 287.087 hereby certifies that  
Boromei Construction Inc does:  
(Name of Business)

1. Publish a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the workplace and specifying the actions that will be taken against employees for violations of such prohibition.
2. Inform employees about the dangers of drug abuse in the workplace, the business's policy of maintaining a drug-free workplace, any available drug counseling, rehabilitation, and employee assistance programs, and the penalties that may be imposed upon employees for drug abuse violations.
3. Give each employee engaged in providing the commodities or contractual services that are proposed a copy of the statement specified in subsection (1).
4. In the statement specified in subsection (1), notify the employees that, as a condition of working on the commodities or contractual services that are under bid, the employee will abide by the terms of the statement and will notify the employer of any conviction of, or plea of guilty or nolo contendere to, any violation of Chapter 893 or of any controlled substance law of the United States or any state, for a violation occurring in the workplace no later than five (5) days after such conviction.
5. Impose a sanction on or require the satisfactory participation in a drug abuse assistance or rehabilitation program if such is available in the employee's community, by any employee who is so convicted.
6. Make a good faith effort to continue to maintain a drug-free workplace through implementation of this section.

As the person authorized to sign the statement, I certify that this firm complies fully with the above requirements.

  
\_\_\_\_\_  
Danny Boromei Proposer's Signature

June 9, 2022  
\_\_\_\_\_  
Date

**END OF SECTION**

**E-VERIFY**  
FORT PIERCE, FLORIDA

**PROJECT: GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS**

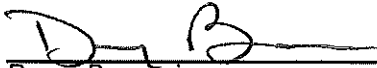
Bid No.: 2022-018

**Project Description:**

The project consists of the maintenance of an existing swale with a baffle box added for water quality as well as the relocation of an existing control structure. Treatment Trains will be constructed at three inflow points to the Indian Hills Golf Course. At the easternmost inflow point, maintenance of the existing lake located on the golf course will be performed by clearing exotic and nuisance vegetation and planting typical native plants in order to create a bio-swale/stormwater treatment area prior to discharging into the lake. At the center inflow point, maintenance will occur through the installation of a Generation 2 Baffle Box (de minimis) upstream of the transmission swale which will be stabilized with riprap prior to discharging into the lake. Maintenance at the westernmost inflow point will include installation of an aeration fountain to increase oxygen content in the lake prior to discharging into the main lake. Additionally, lake maintenance will be provided through the relocation of a control structure, which will be placed upstream of the lake outfall into the Indian River Lagoon in order to promote retention and limit discharge.

Vendor/Consultant acknowledges and agrees to the following:

1. Vendor/Consultant shall utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the Vendor/Consultant during the term of the contract; and
2. shall expressly require any subcontractors performing work or providing services pursuant to this contract to likewise utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the subcontractor during the contract term.

Company/Firm: Boromei Construction Inc.  
Authorized Signature:   
Title: President  
Date: June 9, 2022

**END OF SECTION**

### User Report

COMPANY ID NUMBER: 1405713  
CITY:  
COMPANY NAME:

PILOT: WEB-BP  
STATE:

USER ROLE:

Company Name: Boromei Construction, Inc.  
City: Okeechobee

Company ID Number: 1405713  
State: FL  
Phone w/ Ext: FAX

Pilot: WEB-BP  
Last Date Used System: 11/01/2019

User Name: Sheryl Wells  
User Role: Program Administrator

863-623-4314  
863-763-6337

Sub-Total Users: 1

Total Users: 1



NON-COLLUSION AFFIDAVIT

STATE OF Florida

COUNTY OF Okeechobee

Danny Boromei, being first duly sworn, deposes and says:

That he/she is President  
(a partner or officer of the firm of, etc.)

the party making the foregoing proposal or bid, that such proposal or bid is genuine and not collusive or sham; that said bidder has not colluded, conspired, connived or agreed directly or indirectly with any bidder or person, to put in a sham bid or to refrain from bidding, and has not in any manner, directly or indirectly sought by agreement or collusion, or communication or conference with any person, to fix the bid price of affiant or of any other bidder, or to fix any overhead, profit or cost element of said bid price, or of that of any other bidder, or to secure any advantage against the City of Fort Pierce, of the County of St. Lucie, or any person interested in the proposed contract; and that all statements in said proposal or bid are true.

Boromei Construction Inc.  
(Firm Name)

By: *D B*  
Danny Boromei  
Title: President

Subscribed and sworn to before me this 9th  
day of June, 2022

*Melissa C Stone*  
Notary Public

My Commission expires:



MELISSA ANN STONE  
Commission # HH 197338  
Expires February 24, 2026  
Boromei Thru Budget Notary Services

END OF SECTION

**CERTIFICATION OF NON-SEGREGATED FACILITIES**

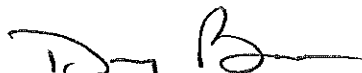
The Bidder certifies that he does not maintain or provide for his employees any segregated facilities at any of his establishments, and that he does not permit his employees to perform their services at any location, under his control where segregated facilities are maintained. The Bidder certifies further that he will not maintain or provide for his employees any segregated facilities at any of his establishments, and that he will not permit his employees to perform their services at any location under his control where segregated facilities are maintained. The Bidder agrees that a breach of this certification will be a violation of the Equal Opportunity clause in any contract resulting from acceptance of this Bid. As used in this certification, the term "segregated facilities" means any waiting rooms, work areas, restrooms and washrooms, restaurants, and other eating areas, time clocks, locker rooms, and other storage or dressing areas, parking lots, drinking fountains, recreation or entertainment areas, transportation, and housing facilities provided for employees which are segregated on the basis of race, color, religion, or national origin, because of habit, local custom, or otherwise. The Bidder agrees that (except where he has obtained identical certification from proposed subcontractors for specific time periods) he will obtain identical certifications from proposed subcontractors, exempt from the provisions of the Equal Opportunity clause, and that he will retain such certification in his files.

NOTE: The penalty for making false statements in offers is prescribed in 18 U.S.C. 1001.

DATE: June 9, 2022

Official Address  
(Including Zip Code):

420B NW 3rd Street  
Okeechobee, FL 34972

By:   
Danny Boromet  
President  
(Title)

**END OF SECTION**

**PUBLIC ENTITY AFFIDAVIT**  
SWORN STATEMENT UNDER SECTION 287.133(3)(a),  
FLORIDA STATUTES, ON PUBLIC ENTITY CRIMES

**THIS FORM MUST BE SIGNED IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICER AUTHORIZED TO ADMINISTER OATHS.**

1. This sworn statement is submitted with Bid No.2022- for Georgia Avenue Basin Water Quality Improvements.
2. This sworn statement is submitted by Boromei Construction Inc.  
\_\_\_\_\_  
(name of entity submitting sworn statement)  
whose business address is 420B NW 3rd Street, Okeechobee, FL 34972  
and (if applicable) its Federal Employer Identification Number (FEIN) is 20-1321621  
(If the entity has no FEIN, include the Social Security Number of the individual signing this sworn statement: \_\_\_\_\_.)
3. My name is Danny Boromei my relationship to the entity  
(please print name of individual signing)  
named above is President.
4. I understand that a "public entity crime" as defined in Paragraph 287.133(1)(g), Florida Statutes, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity or with an agency or political subdivision of any other state or with the United States, including, but not limited to, any bid or contract for goods or services to be provided to any public entity or an agency or political subdivision of any other state or of the United States and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, or material misrepresentation.
5. I understand that "convicted" or "conviction" as defined in Paragraph 287.133(1)(b), Florida Statutes, means a finding of guilt or a conviction of a public entity crime, with or without an adjudication of guilt, in any federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.
6. I understand that an "affiliate" as defined in paragraph 287.133(1)(a), Florida Statutes, means:
  1. A predecessor or successor of a person convicted of a public entity crime: or
  2. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting a controlling interest in another person, or a pooling of equipment or income among persons when not for fair market value under an arm's length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months shall be considered an affiliate.
7. I understand that a "person" as defined in Paragraph 287.133(1)(e), Florida Statutes, means any natural person or entity organized under the laws of any state or of the United States with the legal power to enter into a binding contract and which bids or applies to bid on contracts for the provision of goods or services let by a public entity, or which otherwise transacts or

**EXHIBIT "D"**  
**SECTION 012**

applies to transact business with a public entity. The term "person" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.

8. Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement.  
**(Please indicate which statement applies.)**

Neither the entity submitting this sworn statement, nor any officers, directors, executives, partners, shareholders, employees, members, or agents who are active in management of the entity, nor any affiliate of the entity have been charged with and convicted of a public entity crime subsequent to July 1, 1989.

The entity submitting this sworn statement, or one or more of the officers, directors, executives, partners, shareholders, employees, members, or agents who are active in management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989, **AND (Please indicate which additional statement applies.)**

There has been a proceeding concerning the conviction before a hearing officer of the State of Florida, Division of Administrative Hearings. The final order entered by the hearing officer did not place the person or affiliate on the convicted vendor list. **(Please attach a copy of the final order.)**

The person or affiliate was placed on the convicted vendor list. There has been a subsequent proceeding before a hearing officer of the State of Florida, Division of Administrative Hearings. The final order entered by the hearing officer determined that it was in the public interest to remove the person or affiliate from the convicted vendor list. **(Please attach a copy of the final order.)**

The person or affiliate has not been placed on the convicted vendor list. **(Please describe any action taken by or pending with the Department of General Services.)**

Signature: 

Date: June 9, 2022

STATE OF Florida

COUNTY OF Okeechobee

**EXHIBIT "D"**  
**SECTION 012**

**PERSONALLY APPEARED BEFORE ME**, the undersigned authority,

Danny Boromei who, after first being sworn by me, affixed his/her signature in (name of individual signing) the space provided above on this 9<sup>th</sup> day of June, 2022.

*Melissa Ann Stone*

NOTARY PUBLIC SEAL:



**MELISSA ANN STONE**  
Commission # HH 197338  
Expires February 24, 2026  
Bonded Thru Budget Notary Services

My commission expires: \_\_\_\_\_

**END OF SECTION**



**TRENCH SAFETY ACT COMPLIANCE STATEMENT**

**BID NO. 2022-018**

Instructions:

Chapter 90-96 of the Laws of Florida requires all contractors engaged by the City of Fort Pierce to comply with Occupational Safety and Health Administration Standard 29 C.F.R. s. 1926.650 Subpart P. All prospective contractors are required to sign the compliance statement and provide compliance cost information where indicated below. The costs for complying with the Trench Safety Act must be incorporated into this project's base bid.

Certify this form in the presence of a notary public or other officer authorized to administer oaths.

Certification:

1. I understand that Chapter 90-96 of the Laws of Florida (The Trench Safety Act) requires me to comply with OSHA Standard 29 C.F.R. s. 1926.650 Subpart P. I will comply with The Trench Safety Act and I will design and provide trench safety systems at all trench excavations in excess of five feet in depth for this project.

2. The estimated cost imposed by compliance with The Trench Safety Act will be:

Fifteen thousand Dollars  
(Written)  
\$15,000.00  
(Figures)

3. The amount listed above has been included within the Base Bid.

Certified: Danny Boromei

(Company Contractor)

By: [Signature]

(President's Signature)

Danny Boromei

(President's Typed or Printed Name)

**Notarization:**

Sworn to and subscribed before me in Okeechobee County, Florida on the 9th day of June, 2022.

Notary Public: [Signature] (affix seal) My Commission Expires: \_\_\_\_\_



MELISSA ANN STONE  
Commission # HH 197338  
Expires February 24, 2028  
Bonded Thru Budget Notary Services

**END OF SECTION**

# Request for Taxpayer Identification Number and Certification

Give Form to the requester. Do not send to the IRS.

Go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9) for instructions and the latest information.

Print or type. See Specific Instructions on page 3.

**1** Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.  
**Boromei Construction, Inc.**

**2** Business name/disregarded entity name, if different from above

**3** Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes.

Individual/sole proprietor or single-member LLC

**C Corporation**

S Corporation

Partnership

Trust/estate

Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ \_\_\_\_\_

**Note:** Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.

Other (see instructions) ▶ \_\_\_\_\_

**4** Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):

Exempt payee code (if any) \_\_\_\_\_

Exemption from FATCA reporting code (if any) \_\_\_\_\_

(Applies to accounts maintained outside the U.S.)

**5** Address (number, street, and apt. or suite no.) See instructions.  
**420-B NW 3rd Street**

**6** City, state, and ZIP code  
**Okeechobee, FL 34972**

**7** List account number(s) here (optional)

Requester's name and address (optional)

## Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Social security number

			-			-				
--	--	--	---	--	--	---	--	--	--	--

or

Employer identification number

2	0	-	1	3	2	1	6	2	1
---	---	---	---	---	---	---	---	---	---

**Note:** If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

## Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

**Sign Here** Signature of U.S. person ▶ *Melvin Stone* Date ▶ *1.24.2022*

## General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9).

### Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.



Department of State / Division of Corporations / Search Records / Search by Entity Name /

### Detail by Entity Name

Florida Profit Corporation  
BOROMEI CONSTRUCTION INC.

#### Filing Information

Document Number P04000099841  
FE/EIN Number 20-1321621  
Date Filed 07/02/2004  
State FL  
Status ACTIVE  
Last Event AMENDMENT  
Event Date Filed 07/07/2014  
Event Effective Date NONE

#### Principal Address

420B NW 3rd Street  
OKEECHOBEE, FL 34972

Changed: 01/16/2018

#### Mailing Address

420B NW 3rd Street  
Okeechobee, FL 34972

Changed: 01/16/2018

#### Registered Agent Name & Address

BOROMEI, DANNY LJR  
881 SW 128TH AVENUE  
OKEECHOBEE, FL 34974

#### Officer/Director Detail

##### Name & Address

##### Title P

BOROMEI, DANNY LJR  
881 SW 128TH AVENUE  
OKEECHOBEE, FL 34974

##### Title Secretary

Stone, Melissa  
305 NW 4th Avenue  
Okeechobee, FL 34972

##### Title Treasurer

Wells, Sheryl L  
305 NW 4th Avenue  
Okeechobee, FL 34972

##### Title VP

Close, Thomas C  
305 NW 4th Avenue  
Okeechobee, FL 34972

#### Annual Reports

Report Year	Filed Date
2021	02/01/2021
2022	02/07/2022

2022

02/08/2022

**Document Images**

<a href="#">02/08/2022 -- AMENDED ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/07/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/01/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/10/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/15/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/16/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/07/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/02/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/29/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">07/07/2014 -- Amendment</a>	<a href="#">View image in PDF format</a>
<a href="#">03/05/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/25/2013 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/10/2012 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/04/2011 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/28/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/19/2009 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/13/2008 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/05/2007 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/10/2006 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">05/13/2005 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">07/02/2004 -- Domestic Profit</a>	<a href="#">View image in PDF format</a>

**2022 FLORIDA PROFIT CORPORATION AMENDED ANNUAL REPORT**

DOCUMENT# P04000099841

Entity Name: BOROMEI CONSTRUCTION INC.

**Current Principal Place of Business:**

420B NW 3RD STREET  
OKEECHOBEE, FL 34972

**Current Mailing Address:**

420B NW 3RD STREET  
OKEECHOBEE, FL 34972 US

FEI Number: 20-1321621

Certificate of Status Desired: No

**Name and Address of Current Registered Agent:**

BOROMEI, DANNY LJR  
881 SW 128TH AVENUE  
OKEECHOBEE, FL 34974 US

*The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.*

**SIGNATURE:**

\_\_\_\_\_  
Electronic Signature of Registered Agent Date

**Officer/Director Detail :**

Title	P	Title	SECRETARY
Name	BOROMEI, DANNY LJR	Name	STONE, MELISSA
Address	881 SW 128TH AVENUE	Address	305 NW 4TH AVENUE
City-State-Zip:	OKEECHOBEE FL 34974	City-State-Zip:	OKEECHOBEE FL 34972
Title	TREASURER	Title	VP
Name	WELLS, SHERYL L	Name	CLOSE, THOMAS C
Address	305 NW 4TH AVENUE	Address	305 NW 4TH AVENUE
City-State-Zip:	OKEECHOBEE FL 34972	City-State-Zip:	OKEECHOBEE FL 34972

*I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.*

SIGNATURE: SHERYL WELLS TREASURER 02/08/2022  
\_\_\_\_\_  
Electronic Signature of Signing Officer/Director Detail Date



58524 (1-15)

**THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.**

## AMENDMENT OF DEFINITIONS

This endorsement modifies insurance provided under the following:

### COMMERCIAL AUTO POLICY

**SECTION VI - DEFINITIONS** is amended.

1. **B.** is deleted and replaced by the following definition.

**B. Auto** means:

1. A land motor vehicle;
2. A **trailer**; or
3. Any other land vehicle that is subject to a compulsory or financial responsibility law or other motor vehicle insurance law where it is licensed or principally garaged.

However, **auto** does not include **mobile equipment**. As it applies to this endorsement only,

**mobile equipment** does not include a snowmobile.

2. **U.** is deleted and replaced by the following definition.

- U. Trailer** means a vehicle which is designed to be connected to and towed by a power unit. **Trailer** does not include non-motorized farm machinery or farm wagons. A **trailer** is not **equipment or custom furnishings**.

All other policy terms and conditions apply.

58524 (1-15)

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Page 1 of 1

58540 (12-19)

**THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.**

## PRIMARY AND NONCONTRIBUTORY - BLANKET COVERAGE

This endorsement modifies insurance provided under the following:

### COMMERCIAL AUTO POLICY

**SECTION V - CONDITIONS, B. GENERAL CONDITIONS, 2. Other Insurance** is amended. The following provision is added as it applies to this endorsement only.

When this insurance is primary and there is other insurance for any person or organization, other than a Named Insured, which covers liability for **your** operations, contribution from such other insurance shall not be sought by **us** when:

- (1) There is a written agreement between **you** and such person or organization that this insurance shall be primary and without the right of contribution; and
- (2) Such written agreement was in force prior to any **bodily injury or property damage**.

All other policy terms and conditions apply.

58540 (12-19)

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Page 1 of 1



Sample

# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

5/24/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

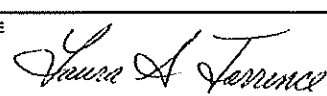
<b>PRODUCER</b> PRITCHARDS AND ASSOCIATES INC 1802 SOUTH PARROTT AVENUE  OKEECHOBEE FL 34974	<b>CONTACT NAME:</b> LOWELL PRITCHARD <b>PHONE (A/C, No, Ext):</b> (863) 824-3117 <b>E-MAIL ADDRESS:</b> LPRITCHARD@PRITCHARDSINC.COM	<b>FAX (A/C, No):</b>
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b> BOROMEI CONSTRUCTION INC 420B NW 3RD ST OKEECHOBEE FL 349720000 FEIN: 20-1321621	<b>INSURER A :</b> FWCJUA	<b>NAIC #</b>
	<b>INSURER B :</b>	
	<b>INSURER C :</b>	
	<b>INSURER D :</b>	
	<b>INSURER E :</b>	

**COVERAGES**                      **CERTIFICATE NUMBER:** 2205240016                      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	<b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:					EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY <input type="checkbox"/> AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> <b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED    RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, describe under DESCRIPTION OF OPERATIONS below	N/A	6G468910	5/21/2022	5/21/2023	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000.00 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000.00 E.L. DISEASE - POLICY LIMIT \$ 1,000,000.00

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

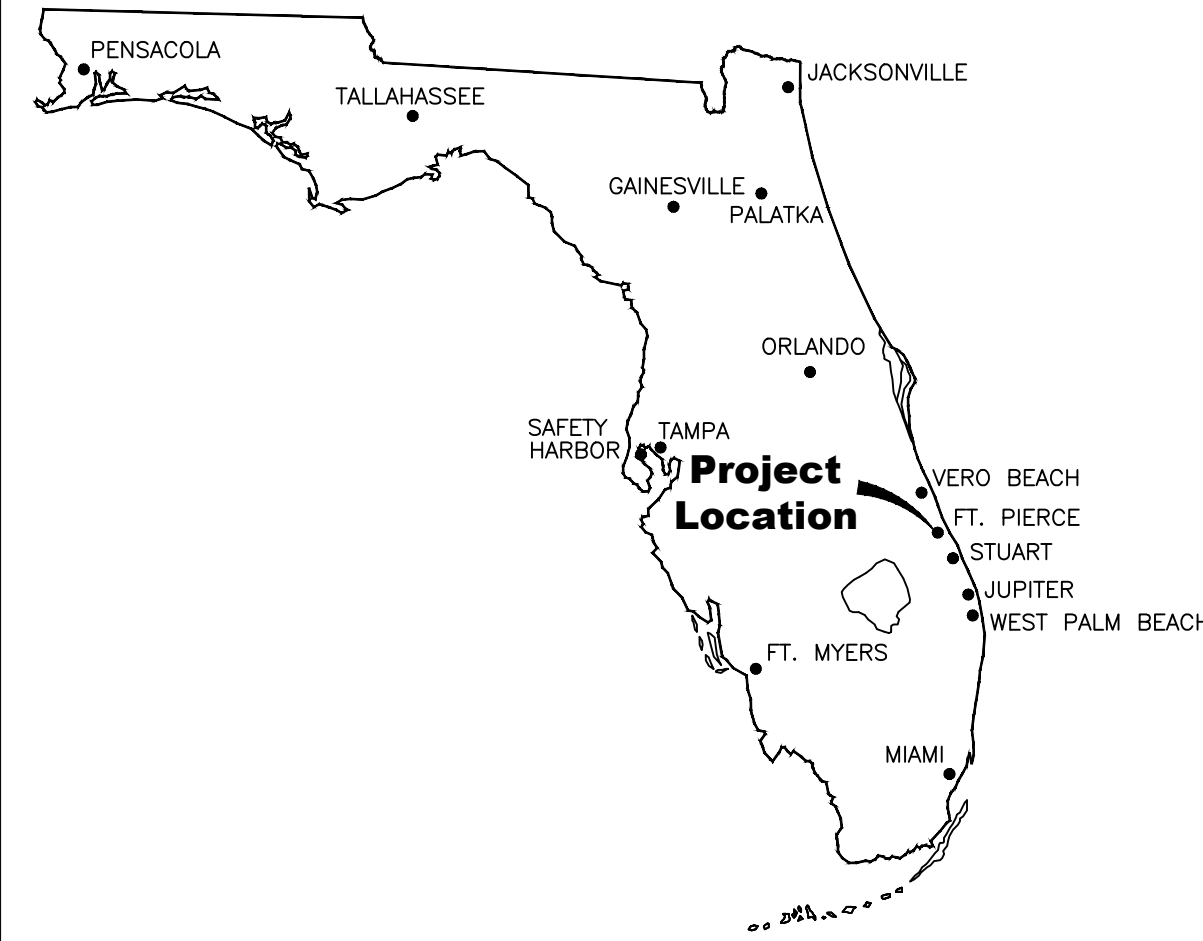
<b>CERTIFICATE HOLDER</b> Florida Fish and Wildlife Conservation Commission 620 South Meridian St  Tallahassee FL 32399 Phone Number: (850) 488-4676	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
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# GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS

## FOR CITY OF FORT PIERCE, FLORIDA



**LOCATION MAP**

**LYING IN  
SECTION 15 TOWNSHIP 35 SOUTH, RANGE 40 EAST  
ST. LUCIE COUNTY, FLORIDA**

**CITY ENGINEER**

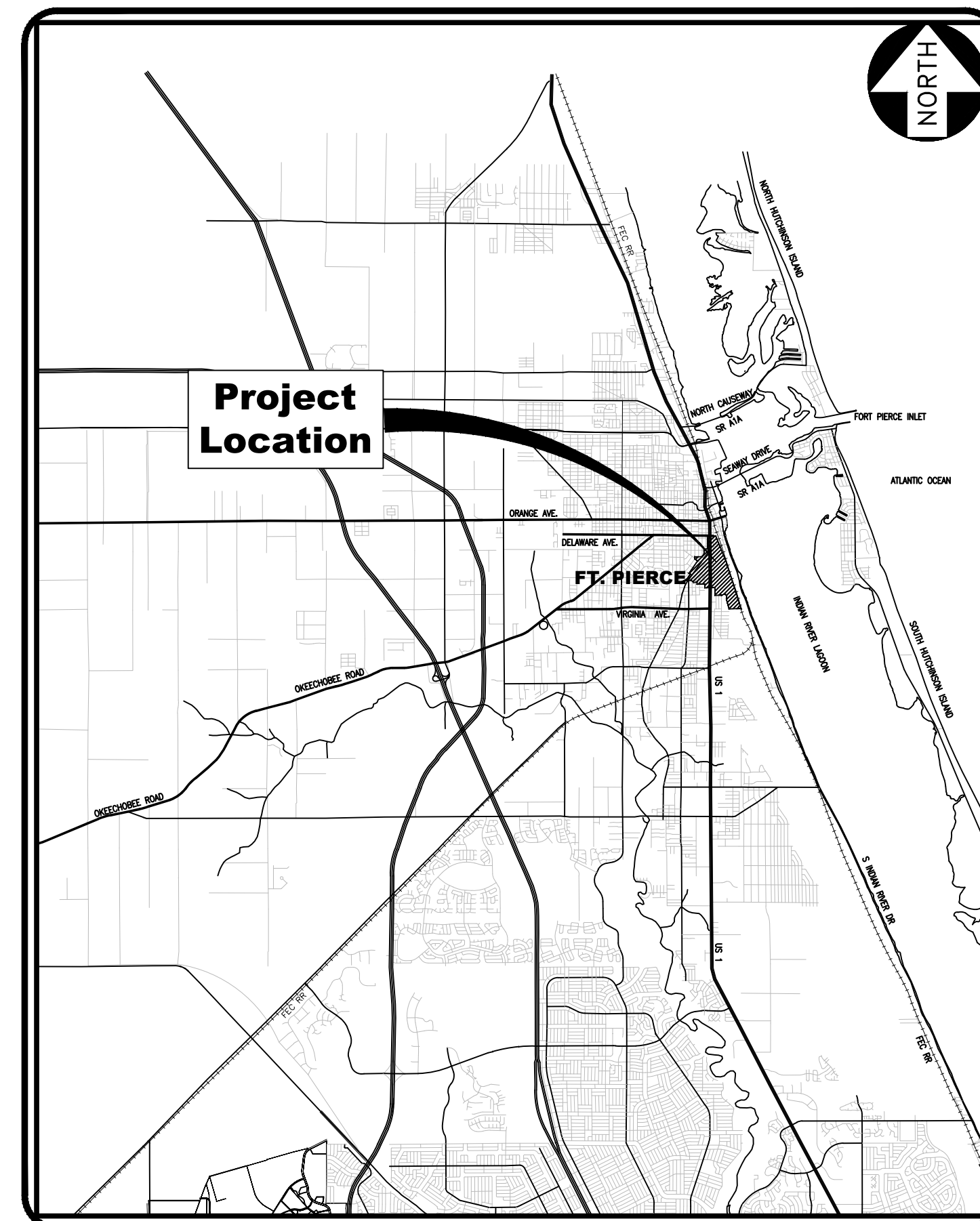
**MR. JOHN R. ANDREWS, P.E.**  
CITY OF FORT PIERCE ENGINEERING DEPARTMENT  
100 N US HIGHWAY 1  
FORT PIERCE, FLORIDA 34950  
PHONE: (772) 467-3782

**ENGINEER**

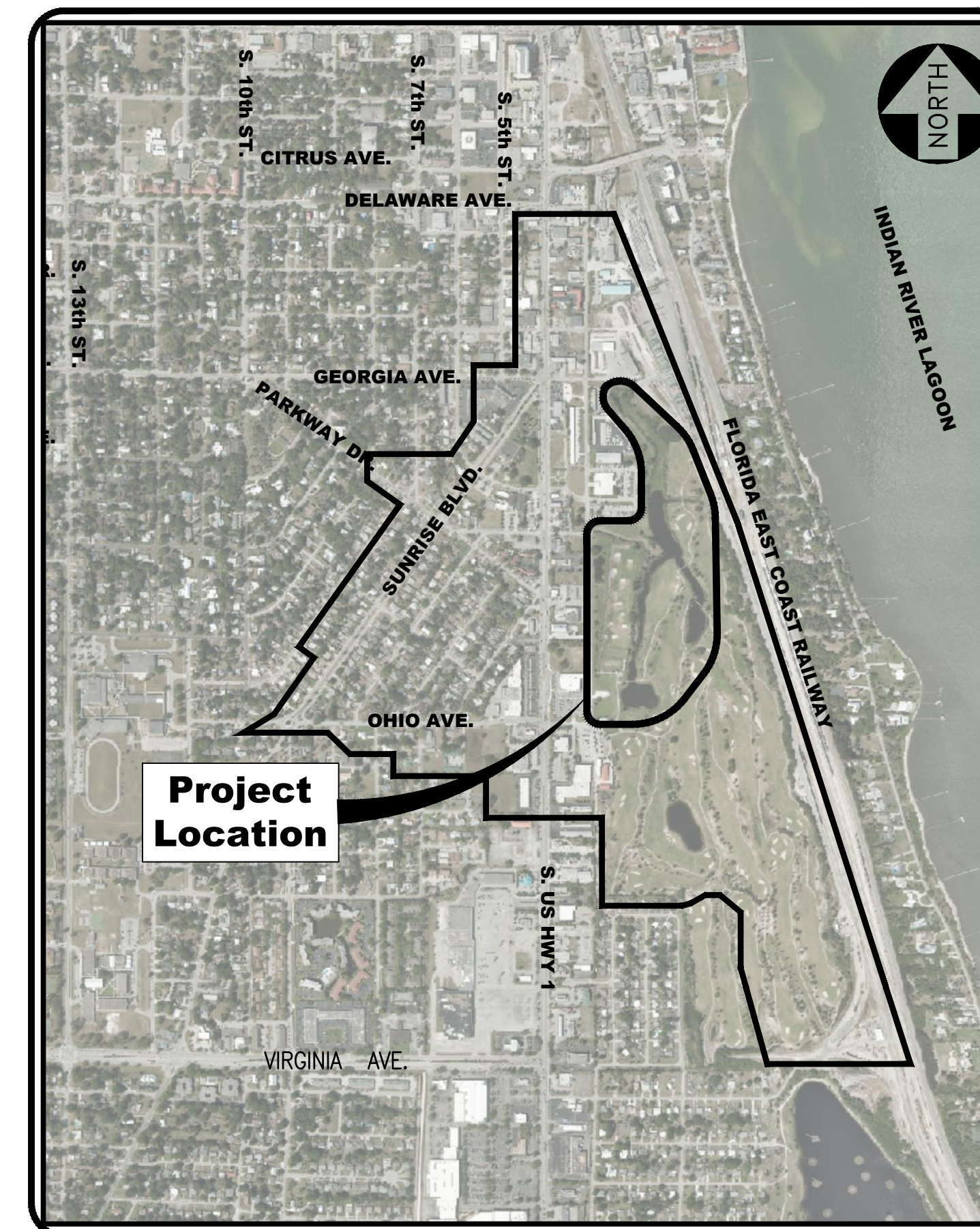
**MR. JOSEPH W. CAPRA, P.E.**  
CAPTEC ENGINEERING, INC.  
301 NW FLAGLER AVENUE  
SUITE 201  
P.E. NO. 37638  
STUART, FLORIDA 34994  
PHONE: (772) 692-4344  
FAX: (772) 692-4341



Engineering Business  
No. EB-0007657



**VICINITY MAP**

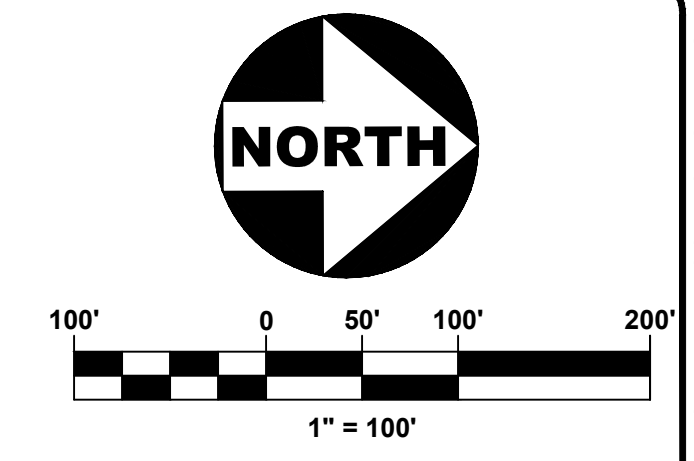
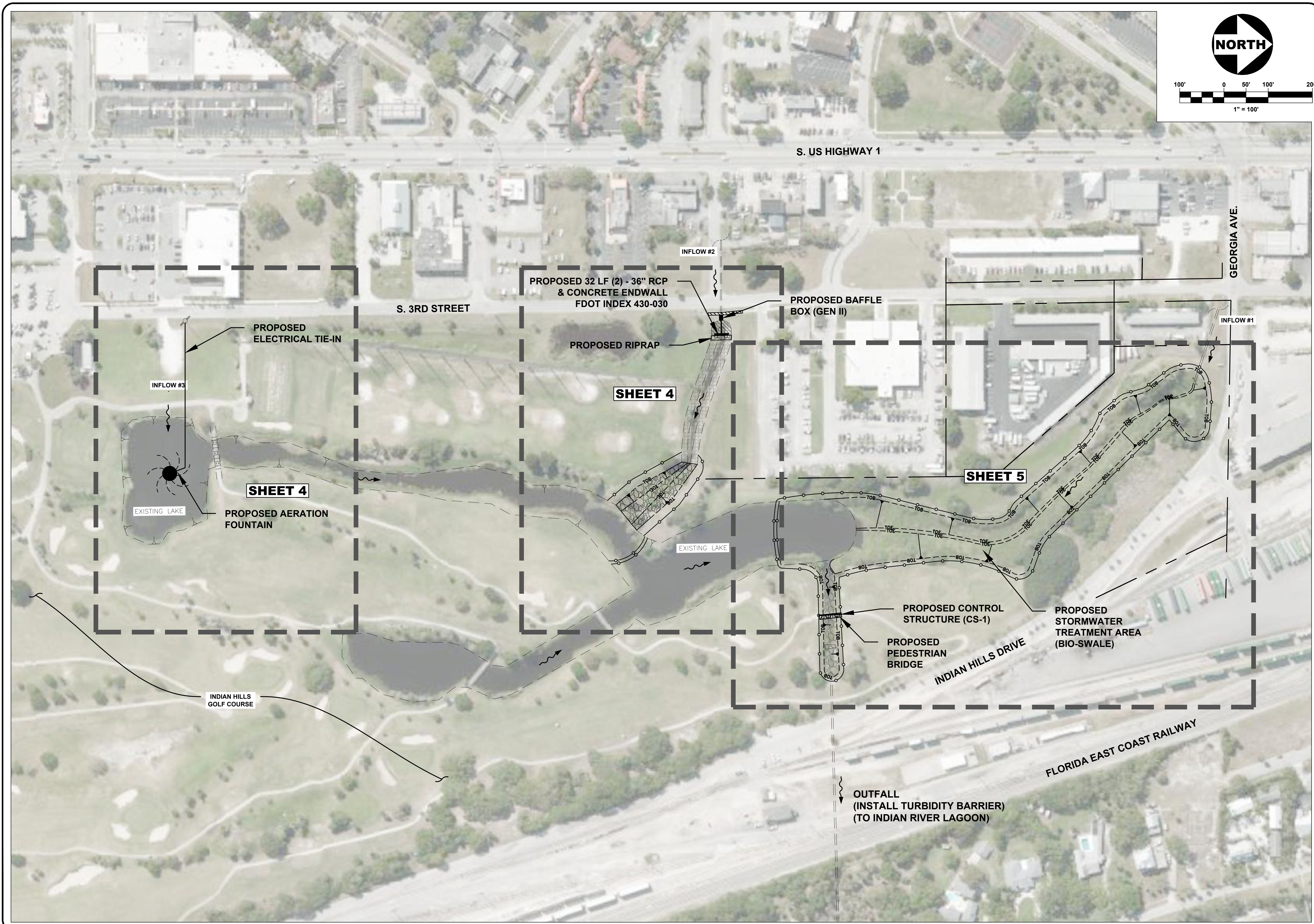


**LOCATION MAP**

**SHEET INDEX**

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	KEY SHEET
3	DRAINAGE MAP
4-5	PLAN SHEETS
6	CROSS SECTIONS
7-9	DETAILS
10	GENERAL NOTES
HSE 1-2	PLANTING PLAN

**BID PLANS**  
**04/06/2022**



301 NW Flagler Ave.  
 Stuart, Florida 34954  
 Phone: (772) 692-5344  
 Fax: (772) 692-5344

Engineering Business  
 No. EB-007657  
 Civil Engineering Professionals

DATE: 04/08/2022

DRAWN BY:	ECT
DESIGNED BY:	JLT
CHECKED BY:	JWC
PROJECT No.:	1918.3
HORIZ. SCALE:	1" = 100'
VERT. SCALE:	N/A
CADD FILE:	OVERALL

NO.	DATE	BY	REVISIONS
1	02/22/2022	ECT	SHEET 7 BAFLE BOX DETAIL ADDENDUM
2	01/17/2022	ECT	SHEET 5 SHEET PILE ADDENDUM
3	02/28/2022	ECT	SHEET 3 SHPO ADDENDUM
4	04/12/2022	ECT	SHEET 6 DETAIL EDITS
5	04/08/2022	ECT	BID SETS
6	02/28/2022	ECT	100% PLANS

SCALE VERIFICATION

1	SOLID BAR IS EQUAL ORIGINAL DRAWING DIMENSIONS ACCORDINGLY
0	ADJUST ALL SCALED DIMENSIONS ACCORDINGLY

**GEORGIA AVENUE BASIN**  
**WATER QUALITY IMPROVEMENTS**  
 CITY OF FORT PIERCE, FLORIDA

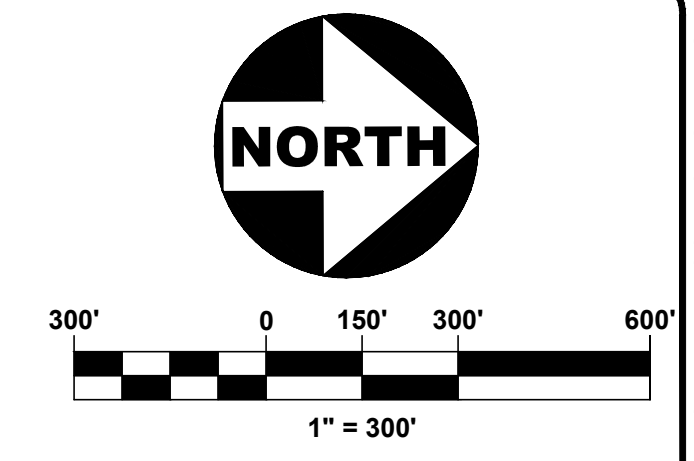
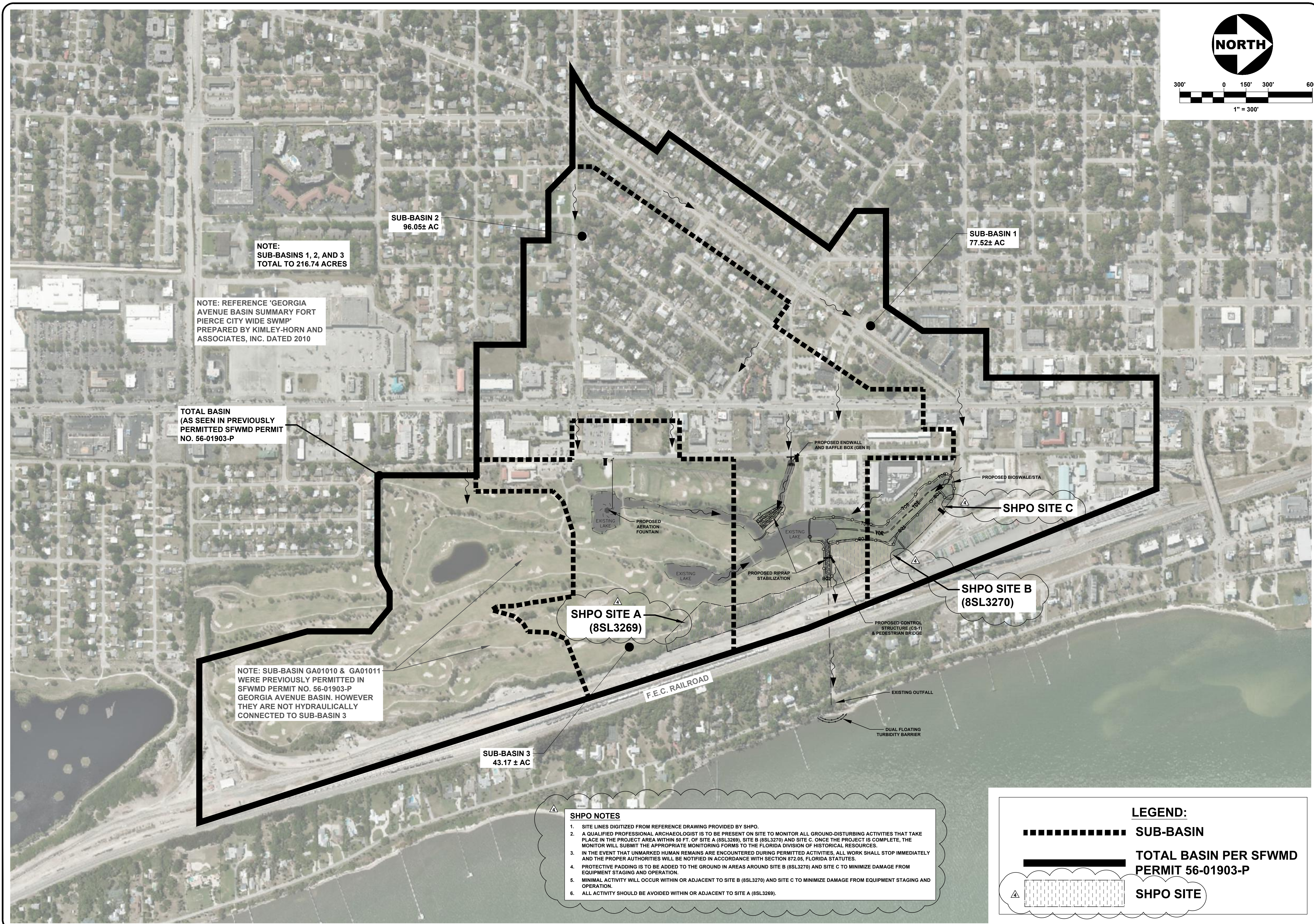
**KEY SHEET**

Joseph W. Capra, P.E.  
 301 N.W. Flagler Ave.  
 Stuart, Florida 34954  
 P.E. No. 37638

Printed Date:

JOB No.: **1918.3**  
 SHEET  
**2** OF **10**

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY CAPTEC ENGINEERING, INC. SHALL BE WITHOUT LIABILITY TO CAPTEC ENGINEERING, INC.



NOTE:  
SUB-BASINS 1, 2, AND 3  
TOTAL TO 216.74 ACRES

NOTE: REFERENCE 'GEORGIA  
AVENUE BASIN SUMMARY FORT  
PIERCE CITY WIDE SWMP'  
PREPARED BY KIMLEY-HORN AND  
ASSOCIATES, INC. DATED 2010

TOTAL BASIN  
(AS SEEN IN PREVIOUSLY  
PERMITTED SFWMD PERMIT  
NO. 56-01903-P

NOTE: SUB-BASIN GA01010 & GA01011  
WERE PREVIOUSLY PERMITTED IN  
SFWMD PERMIT NO. 56-01903-P  
GEORGIA AVENUE BASIN. HOWEVER  
THEY ARE NOT HYDRAULICALLY  
CONNECTED TO SUB-BASIN 3

SUB-BASIN 2  
96.05± AC

SUB-BASIN 1  
77.52± AC

SUB-BASIN 3  
43.17 ± AC

- SHPO NOTES**
1. SITE LINES DIGITIZED FROM REFERENCE DRAWING PROVIDED BY SHPO.
  2. A QUALIFIED PROFESSIONAL ARCHAEOLOGIST IS TO BE PRESENT ON SITE TO MONITOR ALL GROUND-DISTURBING ACTIVITIES THAT TAKE PLACE IN THE PROJECT AREA WITHIN 50 FT. OF SITE A (8SL3269), SITE B (8SL3270) AND SITE C. ONCE THE PROJECT IS COMPLETE, THE MONITOR WILL SUBMIT THE APPROPRIATE MONITORING FORMS TO THE FLORIDA DIVISION OF HISTORICAL RESOURCES.
  3. IN THE EVENT THAT UNMARKED HUMAN REMAINS ARE ENCOUNTERED DURING PERMITTED ACTIVITIES, ALL WORK SHALL STOP IMMEDIATELY AND THE PROPER AUTHORITIES WILL BE NOTIFIED IN ACCORDANCE WITH SECTION 872.06, FLORIDA STATUTES.
  4. PROTECTIVE PADDING IS TO BE ADDED TO THE GROUND IN AREAS AROUND SITE B (8SL3270) AND SITE C TO MINIMIZE DAMAGE FROM EQUIPMENT STAGING AND OPERATION.
  5. MINIMAL ACTIVITY WILL OCCUR WITHIN OR ADJACENT TO SITE B (8SL3270) AND SITE C TO MINIMIZE DAMAGE FROM EQUIPMENT STAGING AND OPERATION.
  6. ALL ACTIVITY SHOULD BE AVOIDED WITHIN OR ADJACENT TO SITE A (8SL3269).

**LEGEND:**

- SUB-BASIN
- TOTAL BASIN PER SFWMD PERMIT 56-01903-P
- ▲ SHPO SITE

301 NW Flagler Ave.  
Stuart, Florida 34954  
Phone: (772) 692-5344  
Fax: (772) 692-5341

CAPTEC Engineering, Inc.  
Civil Engineering Professionals  
Engineering Business  
No. EB-007657

DATE: 04/06/2022

DRAWN BY:	ECT
DESIGNED BY:	JLT
CHECKED BY:	JWC
PROJECT NO.:	1916.3
HORIZ. SCALE:	1" = 300'
VERT. SCALE:	N/A
CADD FILE:	DRAINAGE

NO.	DATE	BY	REVISIONS
1	02/22/2022	ECT	SHEET 7 BAFFLE BOX DETAIL ADDENDUM
2	03/17/2022	ECT	SHEET 5 SHEET PILE ADDENDUM
3	04/12/2022	ECT	SHEET 3 SHPO ADDENDUM
4	04/06/2022	ECT	SHEET 6 DETAIL EDITS
5	02/28/2022	ECT	100% PLANS

**SCALE VERIFICATION**

1	SOLID BAR IS EQUAL ORIGINAL DRAWING DIMENSIONS ACCORDINGLY
0	ADJUST ALL SCALED DIMENSIONS ACCORDINGLY

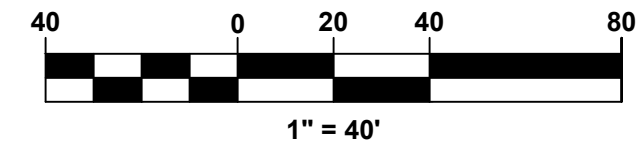
**GEORGIA AVENUE BASIN  
WATER QUALITY IMPROVEMENTS  
CITY OF FORT PIERCE, FLORIDA**

**DRAINAGE MAP**

Joseph W. Capra, P.E.  
301 N.W. Flagler Ave.  
Stuart, Florida 34954  
P.E. No. 37638

Printed Date:  
JOB No.: **1918.3**  
SHEET  
**3 OF 10**

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY CAPTEC ENGINEERING, INC. SHALL BE WITHOUT LIABILITY TO CAPTEC ENGINEERING, INC.



S. 3RD STREET

PROPOSED CONSTRUCTION ENTRANCE (SEE DETAIL)

EXISTING POWER SOURCE FOR FOUNTAIN ELECTRICAL TIE-IN

PROPOSED ELECTRICAL TIE-IN

INFLOW #3

EXISTING TOB

EXISTING FOOTBRIDGE TO REMAIN

EXISTING WATER LEVEL ELEVATION = 2.40 NAVD

EXISTING TOB

HOLE 10

EXISTING LAKE

PROPOSED AERATION FOUNTAIN (SEE DETAIL SHEET 9)

HOLE 18

INDIAN HILLS GOLF COURSE

**NOTE:** CONTRACTOR TO LOCATE HORIZONTALLY AND VERTICALLY ALL UTILITIES IN THE PROJECT AREA PRIOR TO CONSTRUCTION

INFLOW #2

EXISTING - 36" RCP TO REMAIN INV. = 4.45

REPAIR EXIST. SIDEWALK (6" THICK) (11.7 SY CONC.)

PROPOSED BAFFLE BOX (GEN II) SEE DETAIL SHEET 7

PROPOSED RIPRAP

PROPOSED CONSTRUCTION ENTRANCE (SEE DETAIL)

REMOVE ARMAFLEX BLOCKS, INSTALL RIPRAP, & COMPACT TO LBR 40

PROPOSED 32 LF (2) - 36" RCP & CONCRETE ENDWALL FDOT INDEX 430-030

EXISTING TOE

EXISTING ARMOR FLEX CABLE BLOCKS TO REMAIN

EXISTING TOB

ALL EXOTIC VEGETATION TO BE REMOVED FROM THE LIMITS OF THE EXISTING CANAL

INSTALL SILT FENCE AS NEEDED (TYP.)

PROPOSED CANAL EARTHWORK & BANK STABILIZATION (SEE RIPRAP DETAIL SHEET 6)

4:1 SLOPE

4:1 SLOPE

INSTALL FLOATING TURBIDITY BARRIER

EXISTING WATER LEVEL ELEVATION = 2.40 NAVD

HOLE 10

EXISTING LAKE



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Fax: (772) 692-5341

**CAPTEC**  
Engineering, Inc.

Civil Engineering Professionals  
No. EB-0007657  
Engineering Business

DATE: 04/06/2022

DRAWN BY:	ECT
DESIGNED BY:	HLT
CHECKED BY:	JWC
PROJECT No.:	1918.3
HORIZ. SCALE:	1" = 40'
VERT. SCALE:	N/A
CADD FILE:	OVERALL

NO.	DATE	BY	REVISIONS
1	6/22/2022	ECT	SHEET 7 BAFFLE BOX DETAIL ADDENDUM
2	6/17/2022	ECT	SHEET 5 SHEET PILE ADDENDUM
3	6/28/2022	ECT	SHEET 3 SHO ADDENDUM
4	4/12/2022	ECT	SHEET 6 DETAIL EDITS
5	4/6/2022	ECT	BID SETS
6	2/28/2022	ECT	100% PLANS

**SCALE VERIFICATION**

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0	ADJUST ALL SCALED DIMENSIONS ACCORDINGLY

**GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS**  
CITY OF FORT PIERCE, FLORIDA

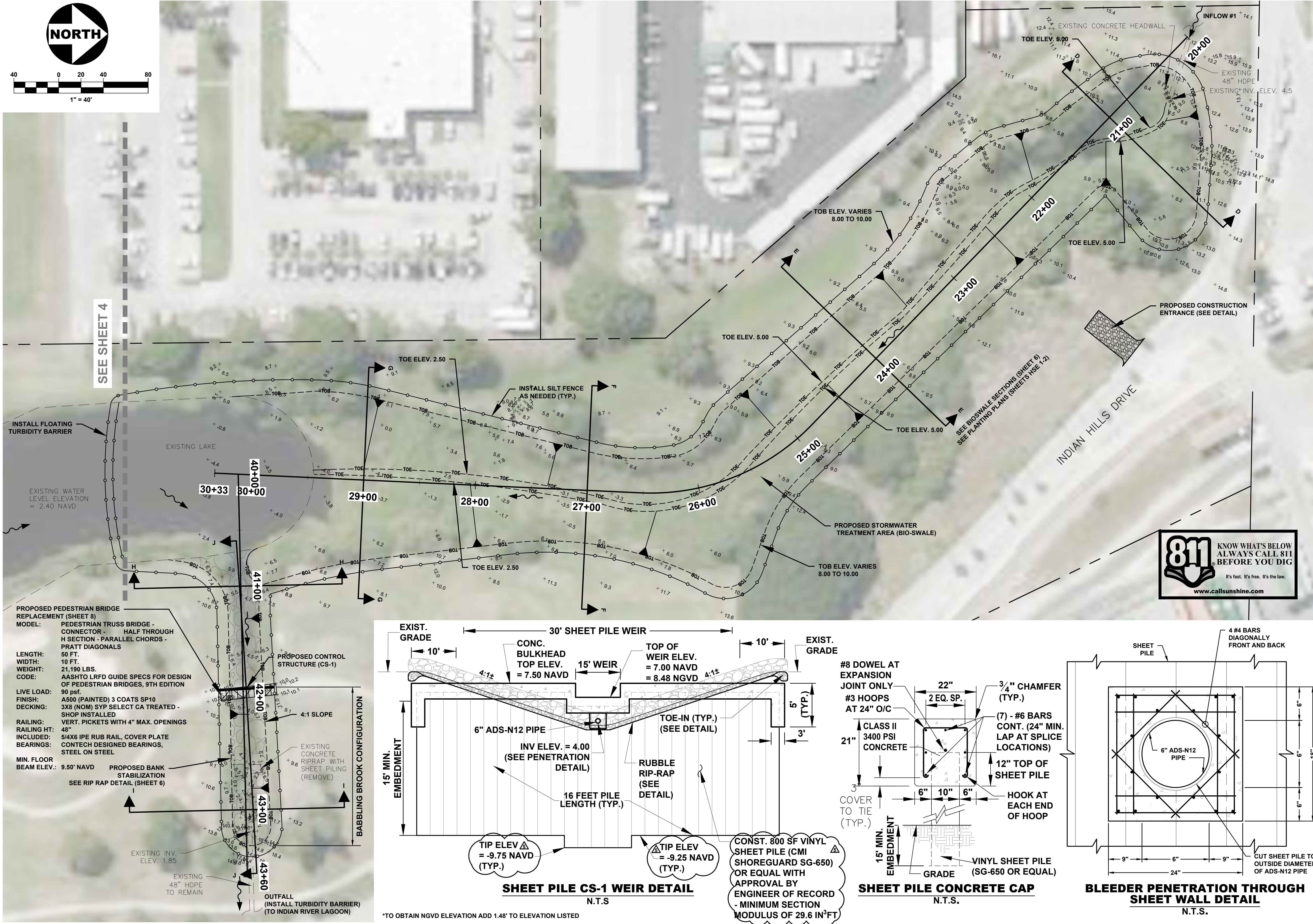
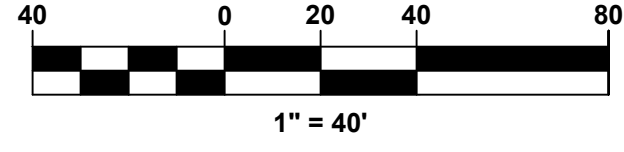
**PLAN SHEET**

Joseph W. Capra, P.E.  
301 N.W. Flagler Ave.  
Stuart, Florida 34954  
P.E. No. 37638

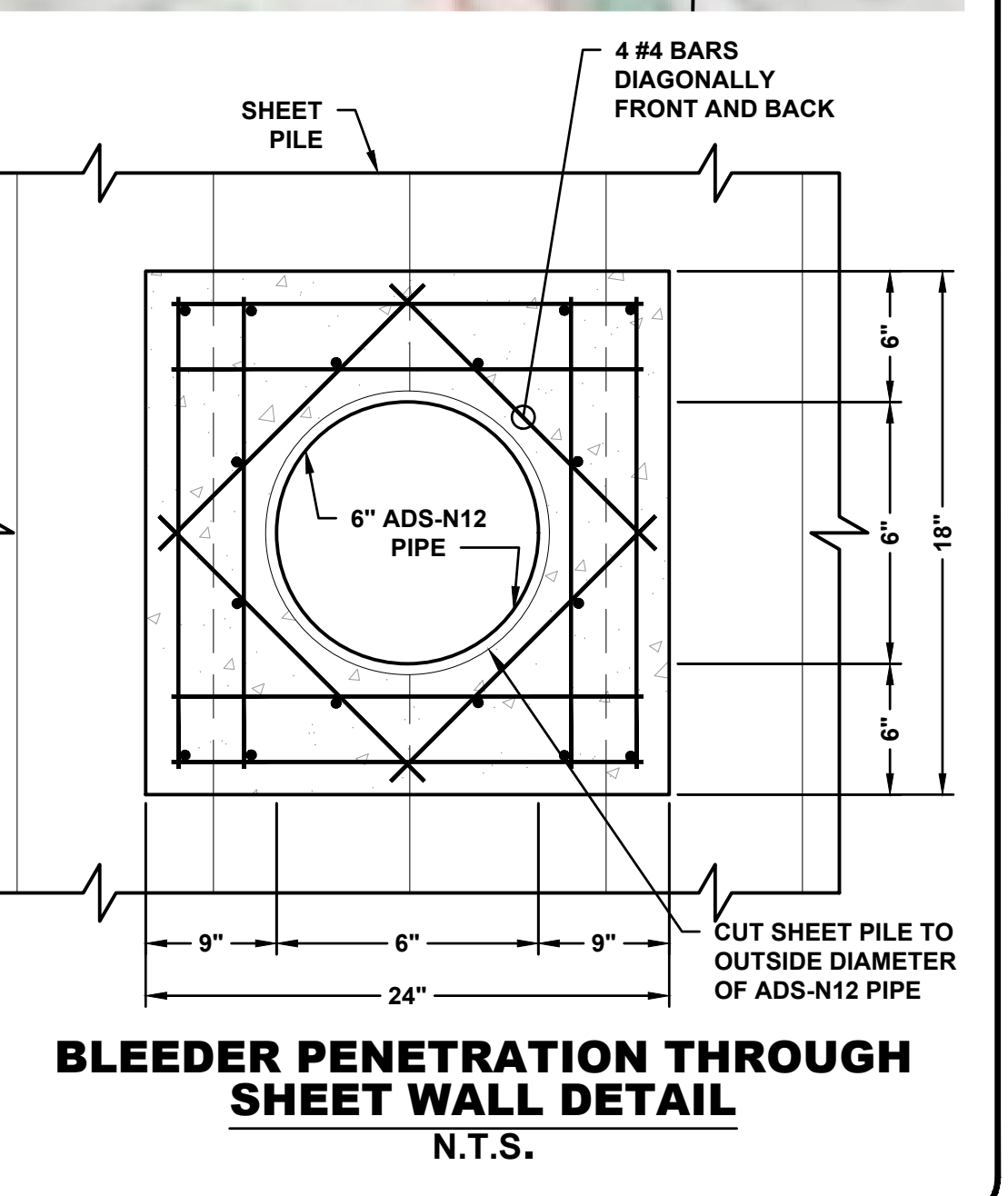
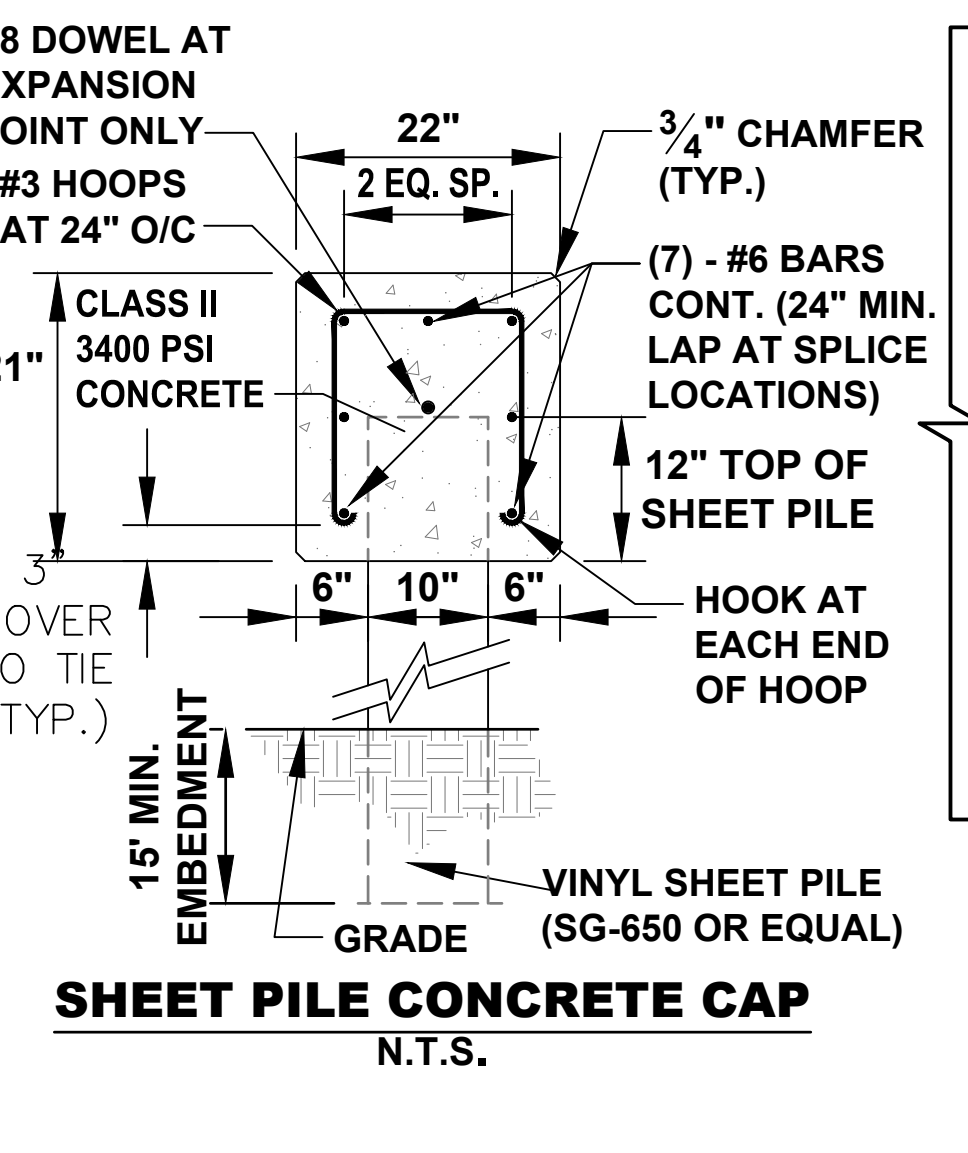
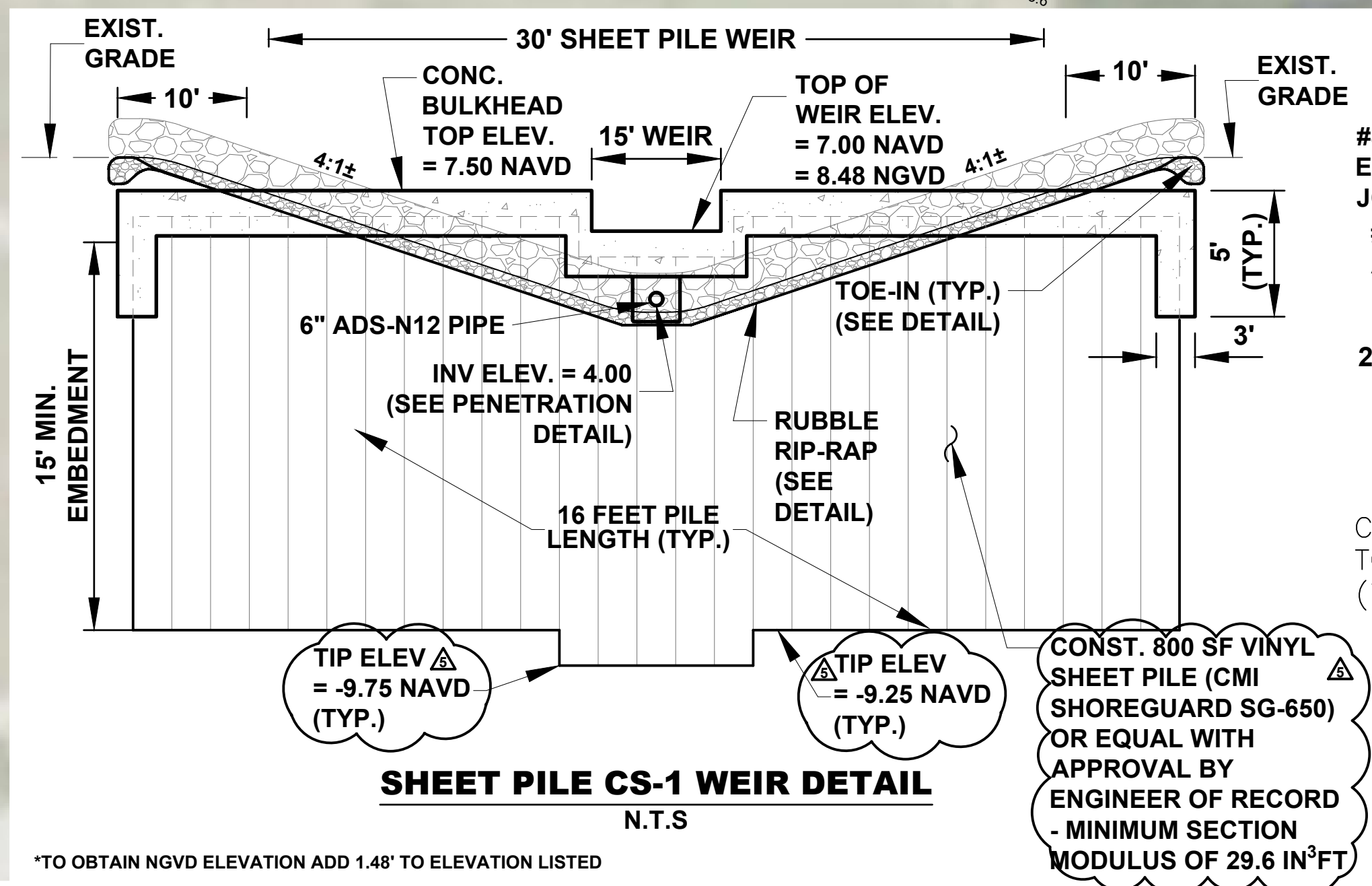
Printed Date:

JOB No.: **1918.3**  
SHEET  
**4 OF 10**

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**PROPOSED PEDESTRIAN BRIDGE REPLACEMENT (SHEET 8)**  
**MODEL:** PEDESTRIAN TRUSS BRIDGE - CONNECTOR - HALF THROUGH H SECTION - PARALLEL CHORDS - PRATT DIAGONALS  
**LENGTH:** 50 FT.  
**WIDTH:** 10 FT.  
**WEIGHT:** 21,190 LBS.  
**CODE:** AASHTO LRFD GUIDE SPECS FOR DESIGN OF PEDESTRIAN BRIDGES, 9TH EDITION  
**LIVE LOAD:** 90 psf.  
**FINISH:** A500 (PAINTED) 3 COATS SP10  
**DECKING:** 3X8 (NOM) SYP SELECT CA TREATED - SHOP INSTALLED  
**RAILING:** VERT. PICKETS WITH 4" MAX. OPENINGS  
**RAILING HT:** 48"  
**INCLUDED:** 5/4X6 IPE RUB RAIL, COVER PLATE  
**BEARINGS:** CONTECH DESIGNED BEARINGS, STEEL ON STEEL  
**MIN. FLOOR BEAM ELEV.:** 9.50' NAVD  
**PROPOSED BANK STABILIZATION** SEE RIP RAP DETAIL (SHEET 6)  
**EXISTING CONCRETE RIPRAP WITH SHEET PILING (REMOVE)**  
**EXISTING INV. ELEV. 1.85**  
**EXISTING 48" HDPE TO REMAIN**  
**OUTFALL (INSTALL TURBIDITY BARRIER) (TO INDIAN RIVER LAGOON)**



301 NW Flagler Ave.  
 Stuart, Florida 34954  
 Phone: (772) 692-5344  
 Fax: (772) 692-5341

CAPTEC Engineering, Inc.  
 Civil Engineering Professionals  
 Engineering Business  
 No. EB-007057

DATE: 04/08/2022

DRAWN BY:	ECT
DESIGNED BY:	JLT
CHECKED BY:	JWC
PROJECT NO.:	1916.3
HORIZ. SCALE:	1" = 40'
VERT. SCALE:	N/A
CADD FILE:	OVERALL

NO.	DATE	BY	REVISIONS
1	02/22/2022	ECT	SHEET 7 BAFLE BOX DETAIL ADDENDUM
2	03/17/2022	ECT	SHEET 7 SHEET PILE DETAIL ADDENDUM
3	04/12/2022	ECT	SHEET 3 SHPO ADDENDUM
4	04/12/2022	ECT	SHEET 6 DETAIL EDITS
5	04/28/2022	ECT	BID SETS
6	04/28/2022	ECT	100% PLANS

**SCALE VERIFICATION**

1  
 0  
 SOLID BAR IS EQUAL ORIGINAL DRAWING DIMENSIONS ACCORDINGLY



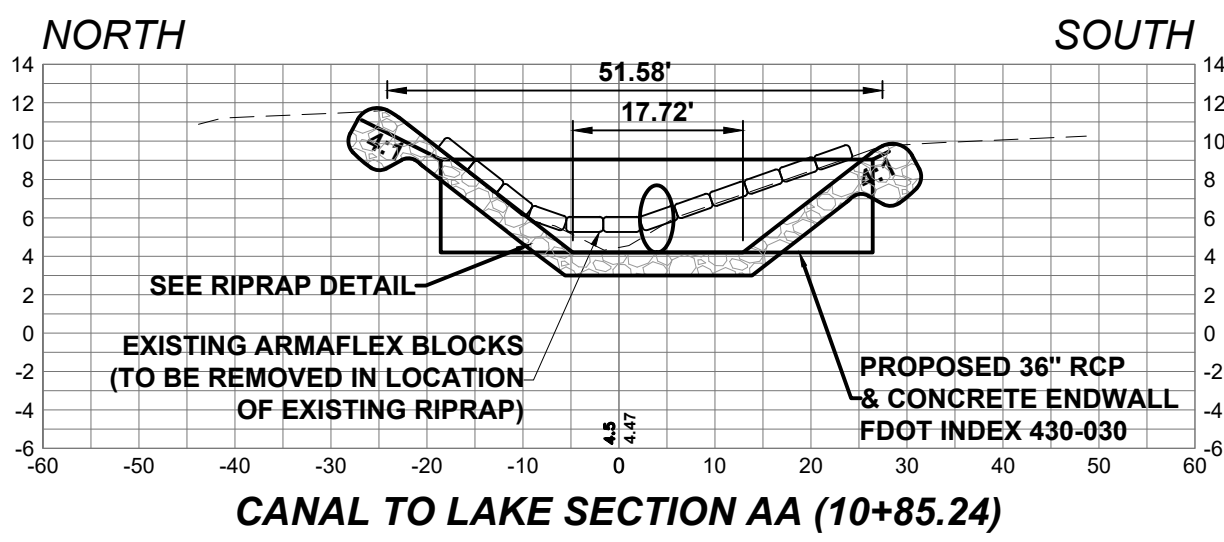
**GEORGIA AVENUE BASIN**  
**WATER QUALITY IMPROVEMENTS**  
 CITY OF FORT PIERCE, FLORIDA

**PLAN SHEET**

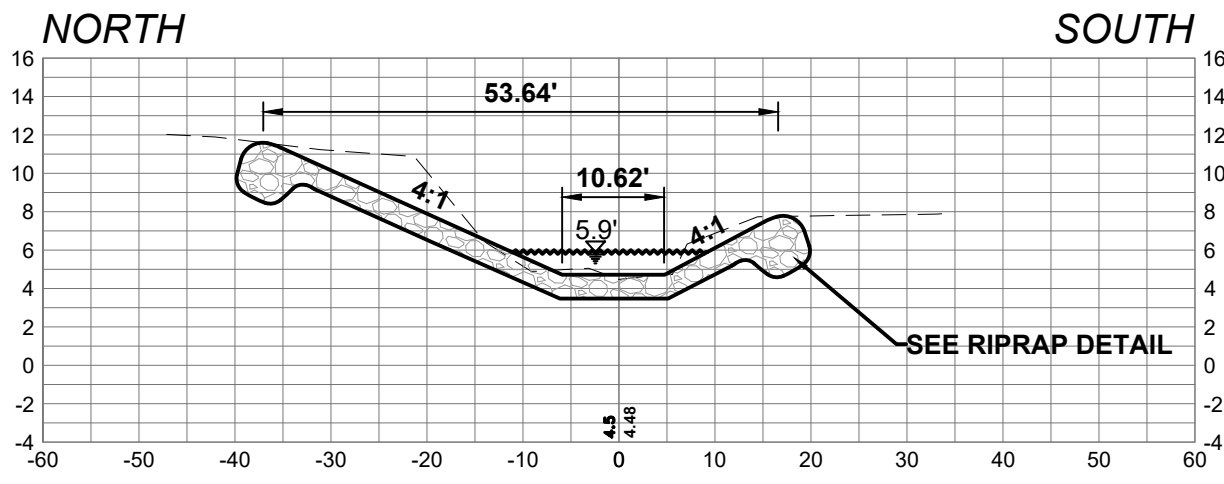
Joseph W. Capra, P.E.  
 301 N.W. Flagler Ave.  
 Stuart, Florida 34994  
 P.E. No. 37638

Printed Date:  
 JOB No.: 1918.3  
 SHEET  
 5 OF 10

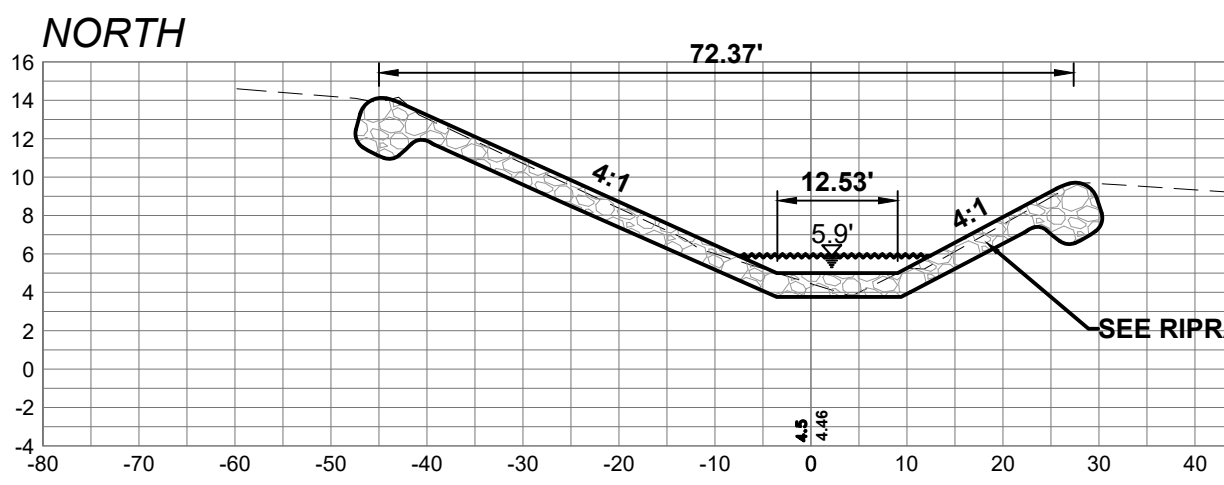
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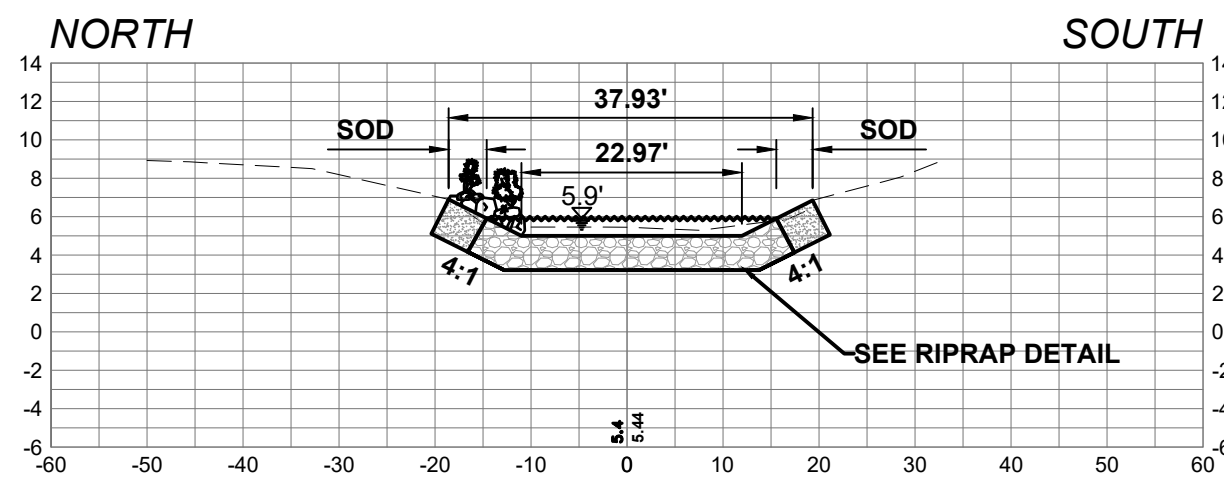
CANAL TO LAKE SECTION AA (10+85.24)



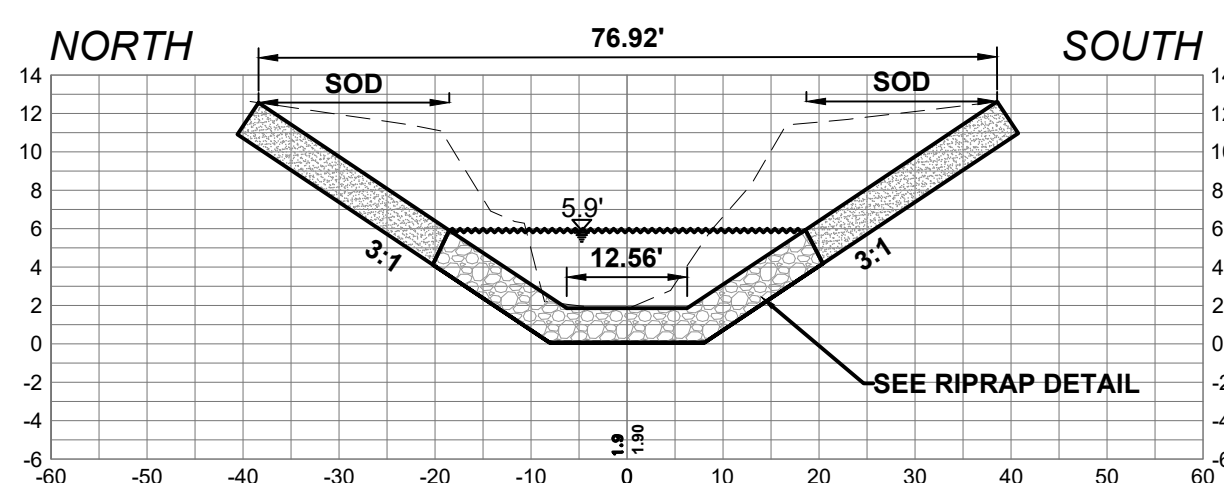
CANAL TO LAKE SECTION BB (14+00.00)



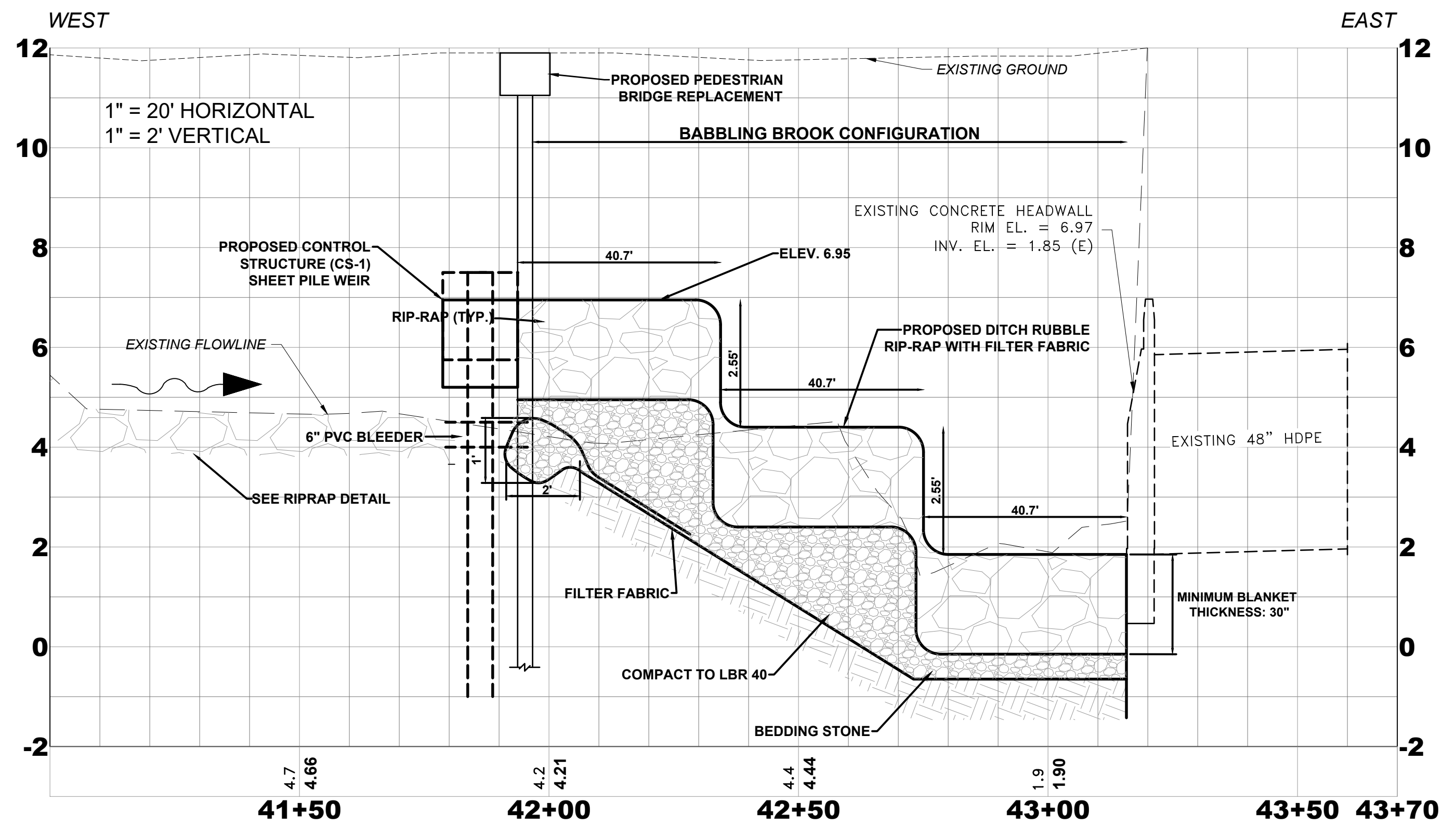
CANAL TO LAKE SECTION CC (15+00.00)



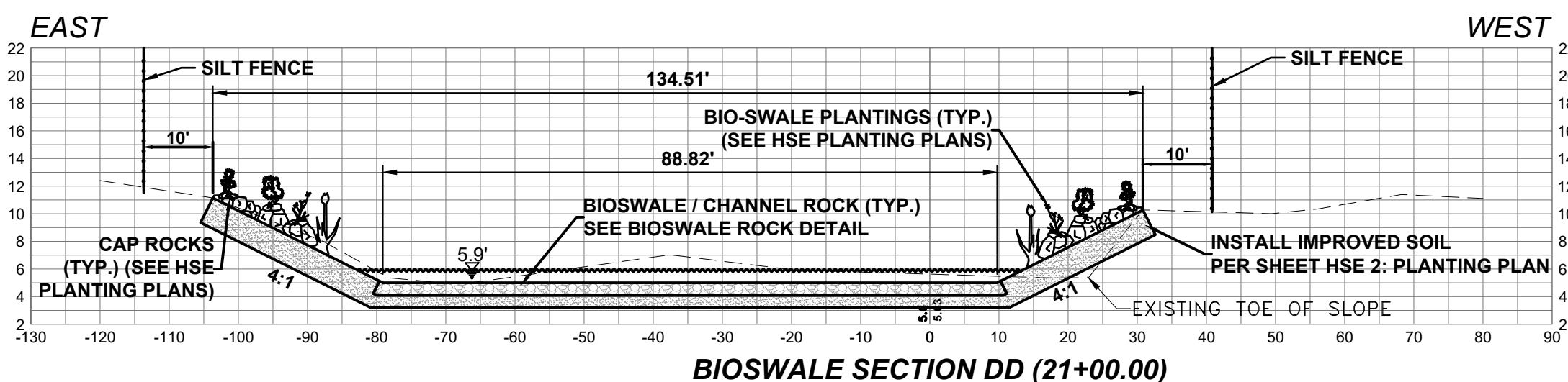
CANAL TO OUTFALL SECTION HH (41+00.00)



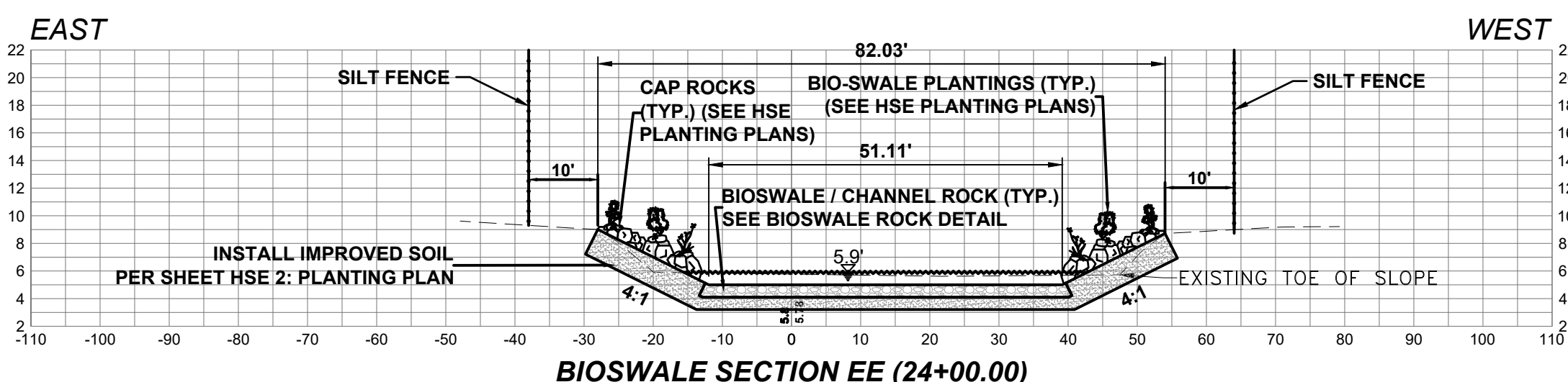
CANAL TO OUTFALL SECTION II (43+00.00)



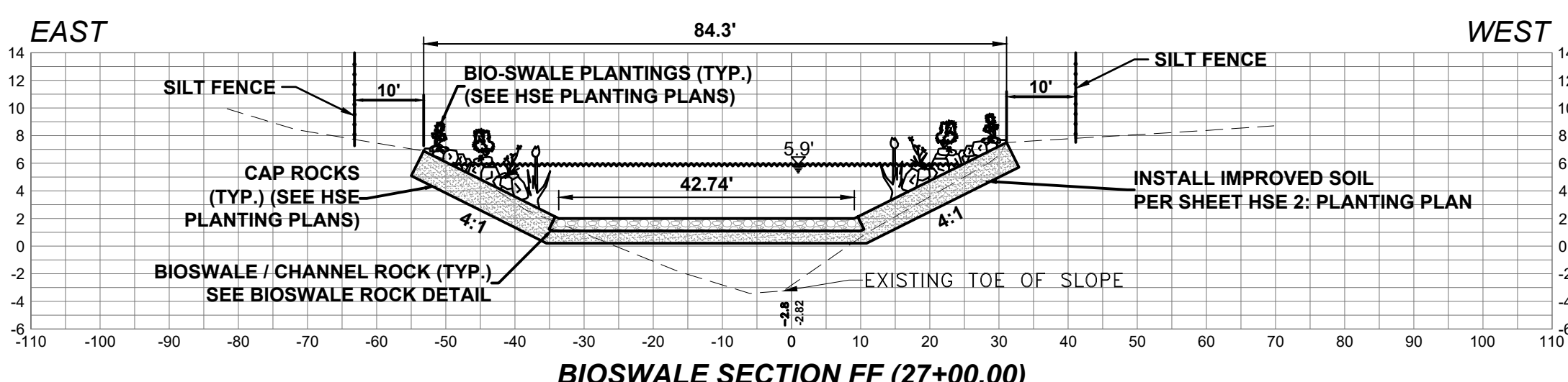
CANAL TO OUTFALL PROFILE JJ



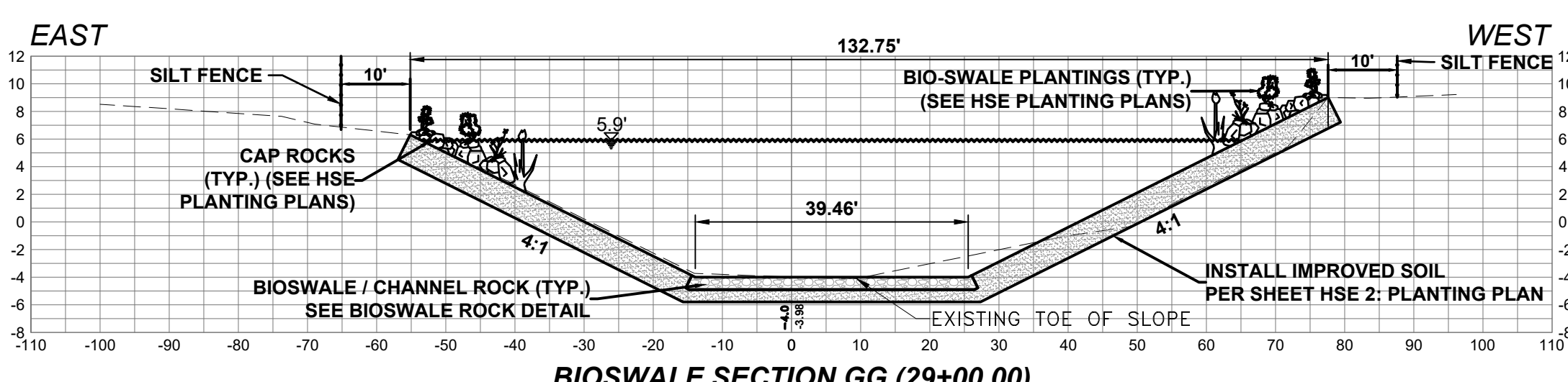
BIOSWALE SECTION DD (21+00.00)



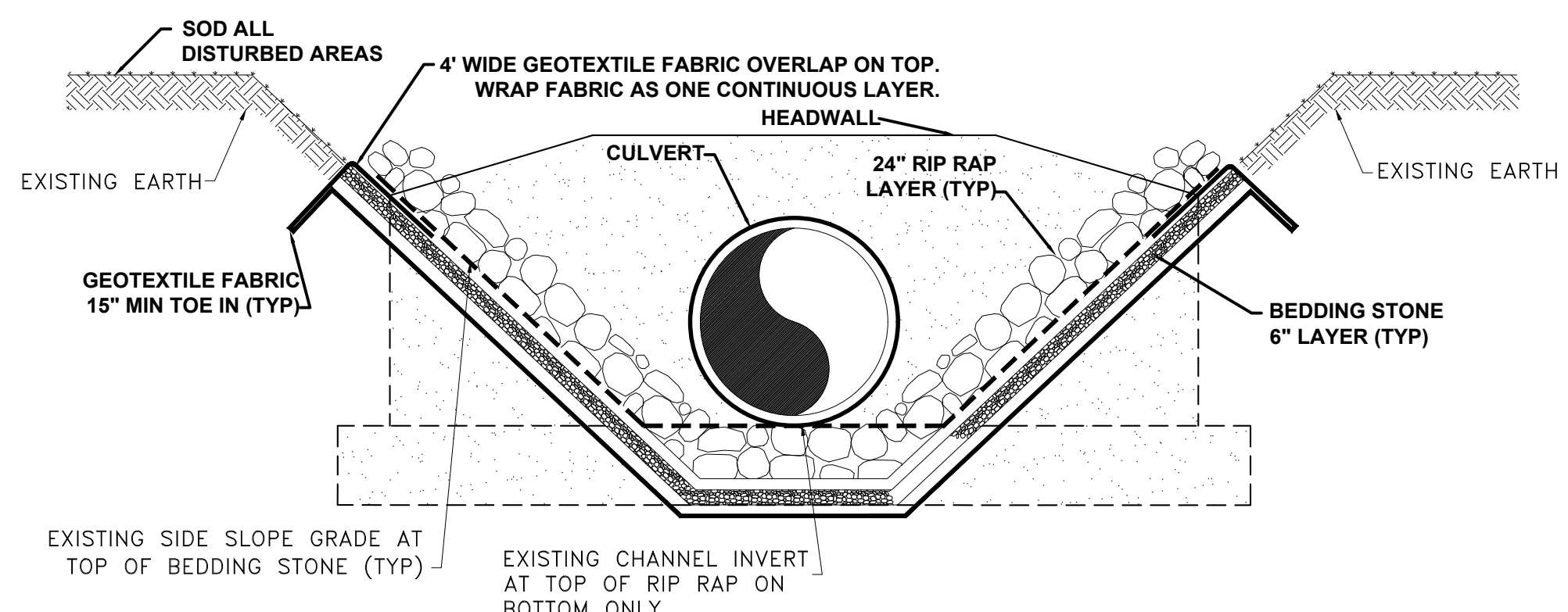
BIOSWALE SECTION EE (24+00.00)



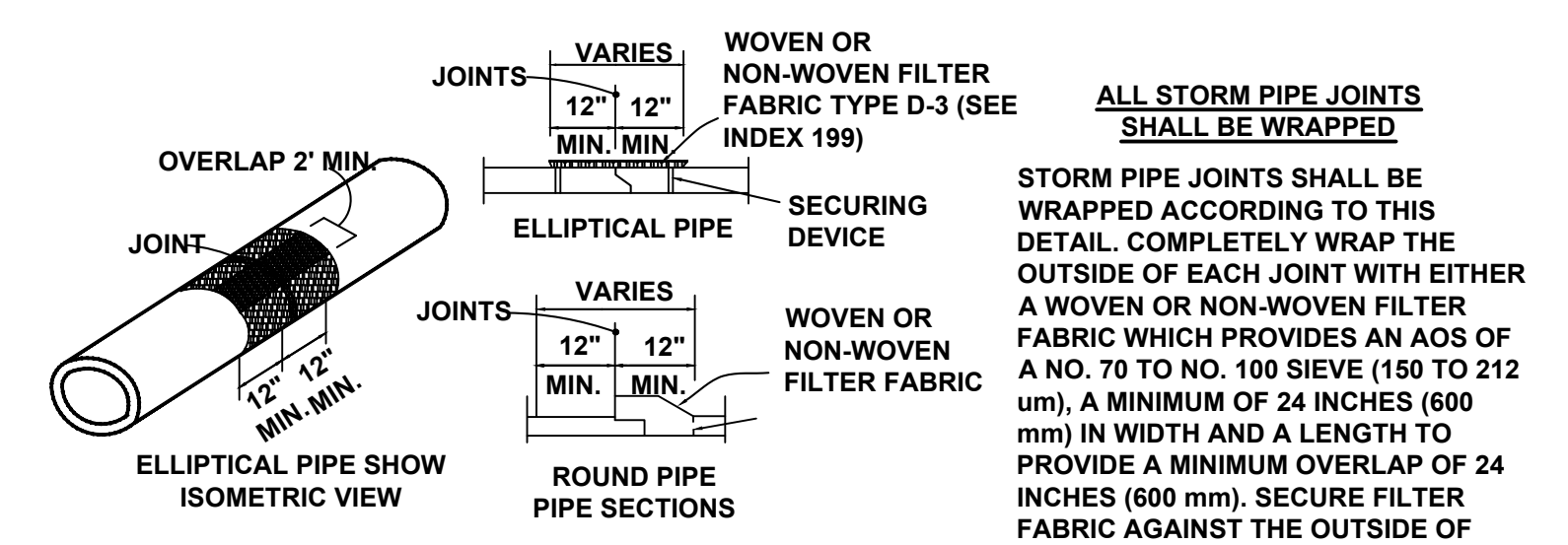
BIOSWALE SECTION FF (27+00.00)



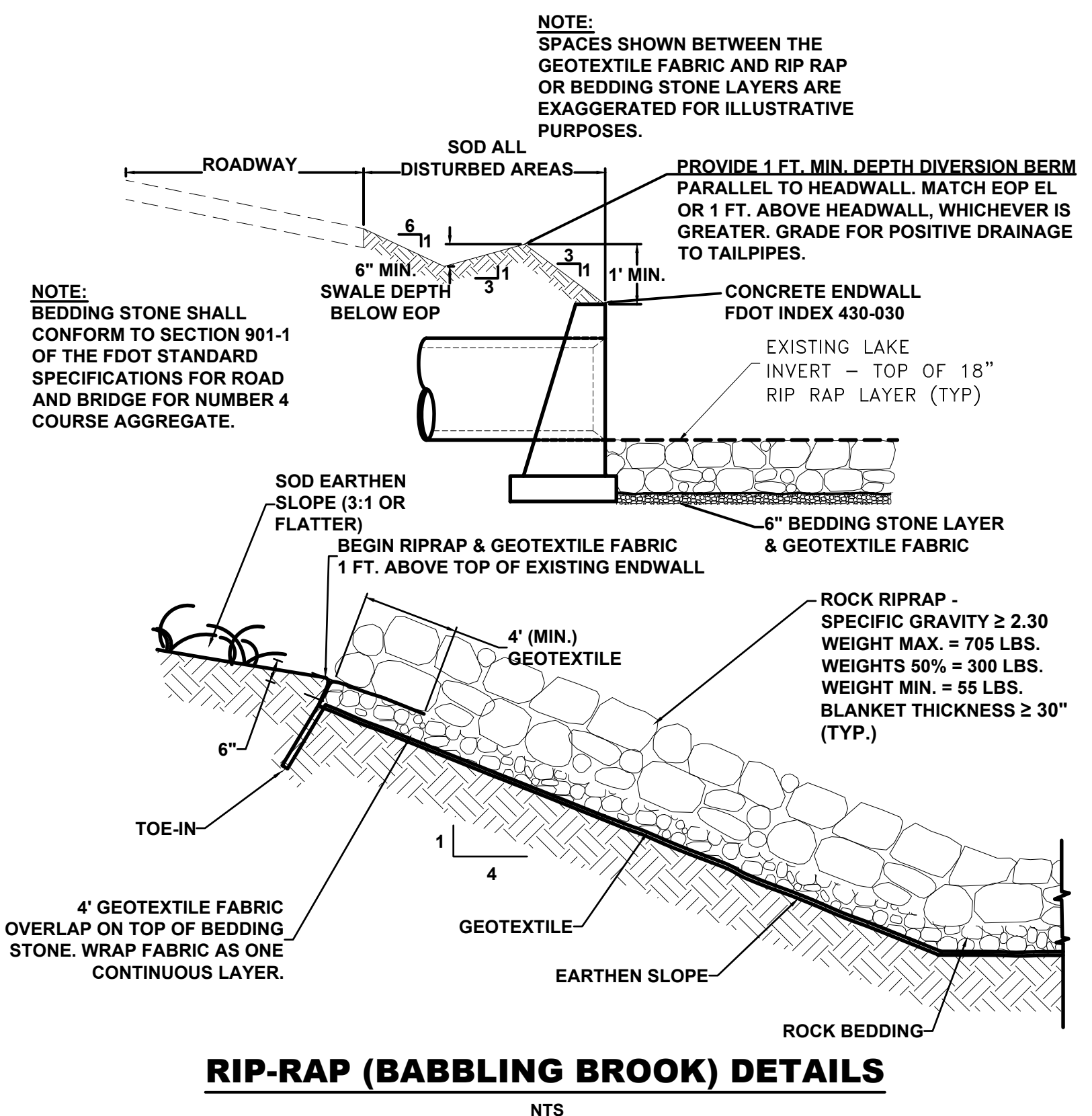
BIOSWALE SECTION GG (29+00.00)



BIOSWALE ROCK DETAIL



FILTER FABRIC JACKET DETAIL



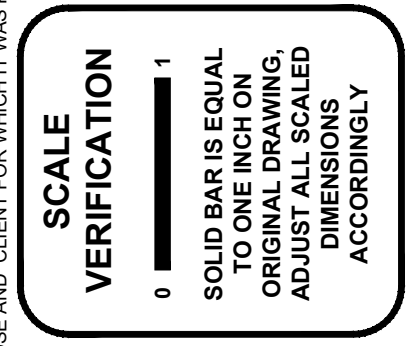
RIP-RAP (BABBLING BROOK) DETAILS

301 NW Flagler Ave.  
Stuart, Florida 34984  
Phone: (772) 692-1344  
Fax: (772) 692-1341

**CAPTEC**  
Engineering, Inc.  
Civil Engineering Professionals

DATE:	04/02/2022
DRAWN BY:	ECT
DESIGNED BY:	HLT
CHECKED BY:	HLT
PROJECT NO.:	19183
HORIZ. SCALE:	N/A
VERT. SCALE:	N/A
CADD FILE:	SECTIONS

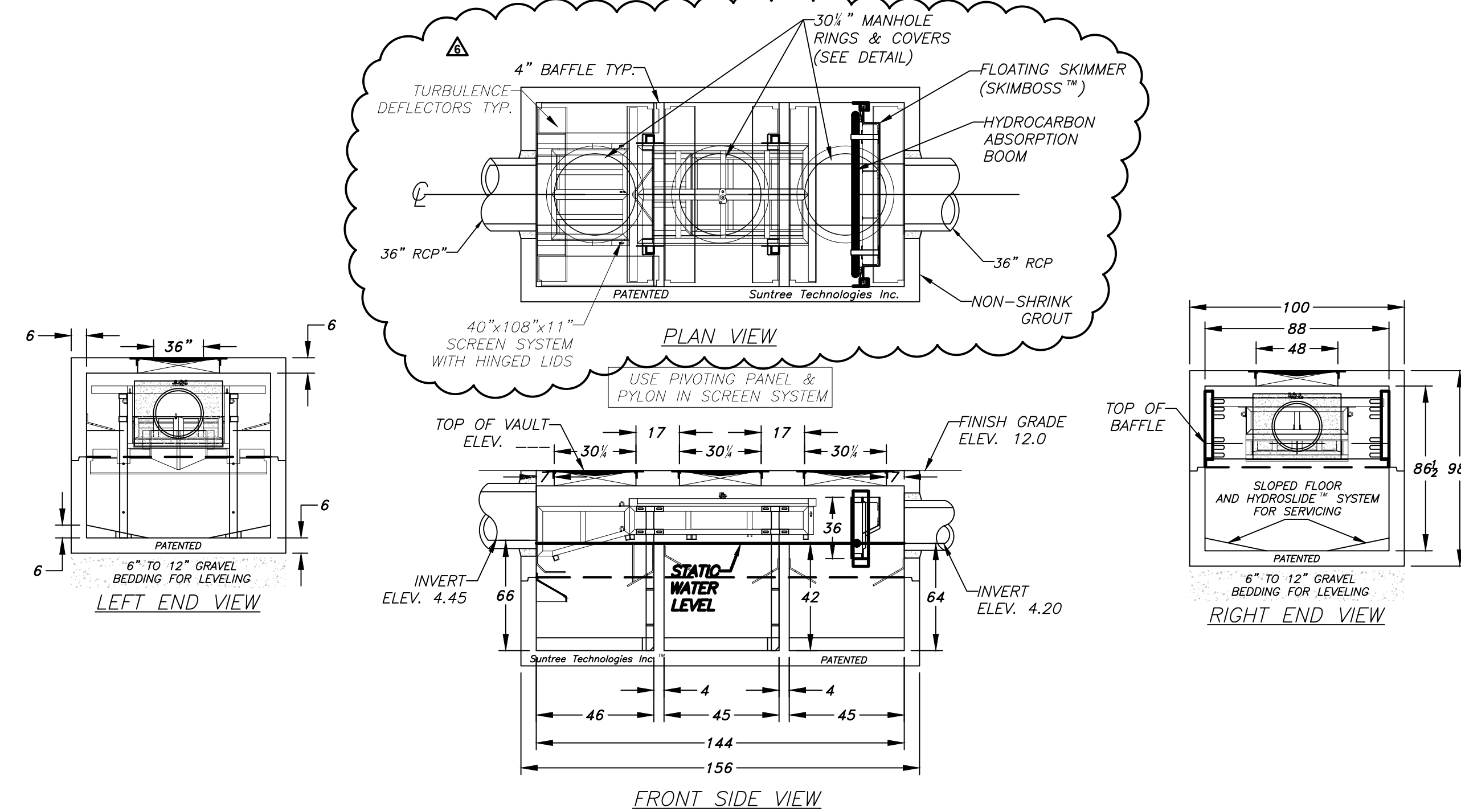
NO.	DATE	BY	REVISIONS
1	02/22/2022	ECT	SHEET 7 BAFLE BOX DETAIL ADDENDUM
2	07/20/22	ECT	SHEET 5 SHEET PILE ADDENDUM
3	02/22/2022	ECT	SHEET 3 SHIP ADDENDUM
4	04/12/2022	ECT	SHEET 6 DETAIL EDITS
5	04/02/2022	ECT	BID SETS
6	02/22/2022	ECT	100% PLANS



**GEORGIA AVENUE BASIN**  
WATER QUALITY IMPROVEMENTS  
CITY OF FORT PIERCE, FLORIDA

Joseph W. Capra, P.E.  
301 N.W. Flagler Ave.  
Stuart, Florida 34984  
P.E. No. 37638

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**TYPICAL GENERATION 2 NUTRIENT SEPARATING BAFFLE BOX DETAIL**  
N.T.S.

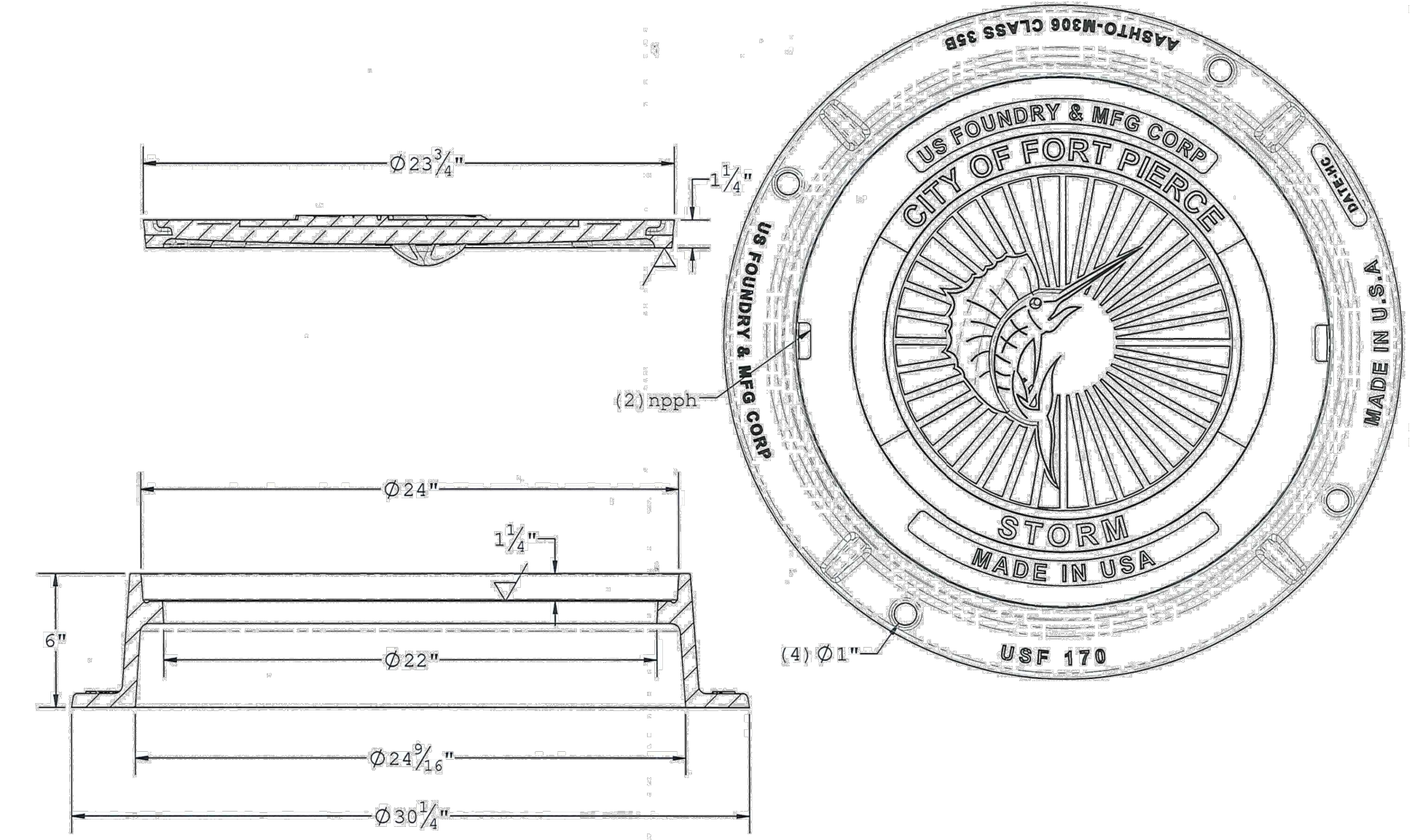
**PATENTED AND PATENTS PEND.**

- INSTALLATION NOTES:**
1. INFLOW AND OUTFLOW PIPES ARE TO BE FLUSH WITH THE INSIDE SURFACE OF THE CONCRETE STRUCTURE. (CAN NOT INTRUDE BEYOND FLUSH)
  2. INVERT OF OUTFLOW PIPE SHOULD BE EVEN WITH THE TOP OF THE BAFFLES.
  3. BAFFLES SHOULD BE SEALED WITH GROUT.
  4. THE BOTTOM OF THE SKIMMER SHOULD BE 6" BELOW THE INVERT OF THE OUTFLOW PIPE.
  5. INVERT OF THE INFLOW PIPE SHOULD NOT BE BELOW THE INVERT OF THE OUTFLOW PIPE.

Suntree Technologies Inc.  
798 Clearlake Road, Cocoa, Florida 32922  
PH: 321-637-7552 Fax: 321-637-7554

**NOTES:**

1. CONCRETE 28 DAY COMPRESSIVE STRENGTH FC=5000 PSI
2. REINFORCING: ASTM A-615 GRADE 60
3. SUPPORTS AN H2O LOADING AS INDICATED BY AASHTO.
4. JOINT SEALANT: BUTYL RUBBER SS-S-00210
5. ALL WALLS TO BE 6" THICK, BOTTOM TO BE 6" THICK, AND TOP TO BE 6" THICK.
6. TREATMENT DESIGN FLOW FOR 90% REMOVAL EFFICIENCY OF TSS IS 24 CFS.
7. INFLOW AND OUTFLOW PIPES ARE TO BE FLUSH WITH THE INSIDE SURFACE OF THE CONCRETE STRUCTURE. (CAN NOT INTRUDE BEYOND FLUSH)
8. BAFFLES ARE TO BE SEALED WITH GROUT TO FORM 3 WATER TIGHT CHAMBERS.
9. BAFFLE BOX SHALL UTILIZE CITY OF FORT PIERCE MANHOLE COVERS: USF 170 RING & ME COVER.



**USF 170 RING & ME COVER**  
N.T.S.

**CAPTEC**  
Engineering, Inc.  
Civil Engineering Professionals

301 NW Flagler Ave.  
Stuart, Florida 34994  
Phone: (772) 692-4344  
Fax: (772) 692-4341

Engineering Business  
No. LP-000167

DATE	BY	DESCRIPTION
04/02/2022	ECT	DESIGNED BY
	HLT	CHECKED BY
	HLT	PROJECT NO.
	N/A	HORIZ. SCALE
	N/A	VERT. SCALE
		CADD FILE

NO.	DATE	BY	REVISIONS
1	02/22/2022	ECT	SHEET 7 BAFFLE BOX DETAIL ADDENDUM
2	07/12/2022	ECT	SHEET 5 SHEET PILE ADDENDUM
3	02/26/2022	ECT	SHEET 3 SHPO ADDENDUM
4	04/12/2022	ECT	SHEET 6 DETAIL EDITS
5	04/06/2022	ECT	BID SETS
6	02/28/2022	ECT	100% PLANS

**SCALE VERIFICATION**

1  
0

SOLID BAR IS EQUAL TO ONE INCH ON ORIGINAL DRAWING. ADJUST ALL SCALED ACCORDINGLY.

**GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS**  
CITY OF FORT PIERCE, FLORIDA

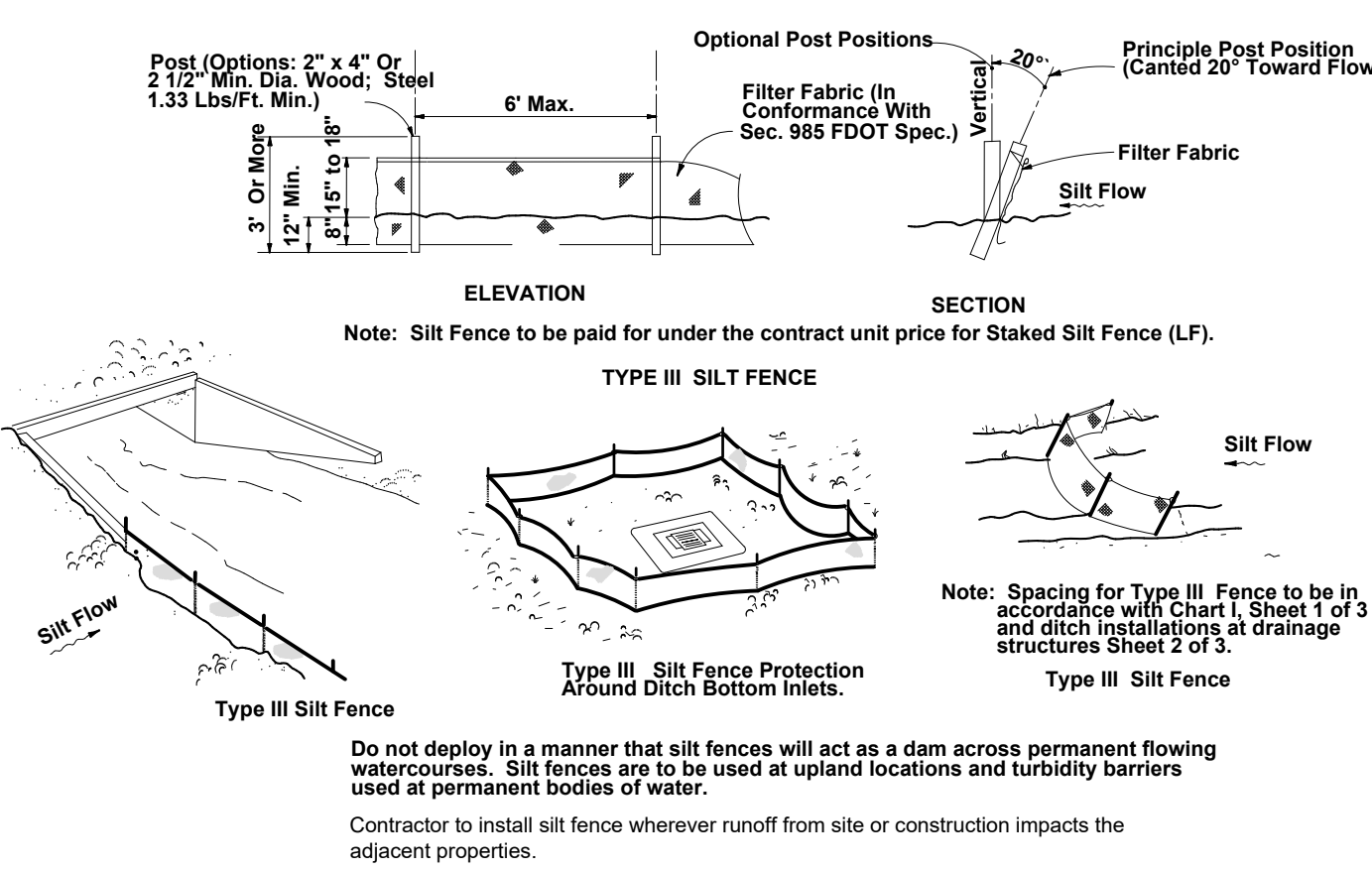
**DETAILS**

Joseph W. Capra, P.E.  
301 N.W. Flagler Ave.  
Stuart, Florida 34994  
P.E. No. 37638

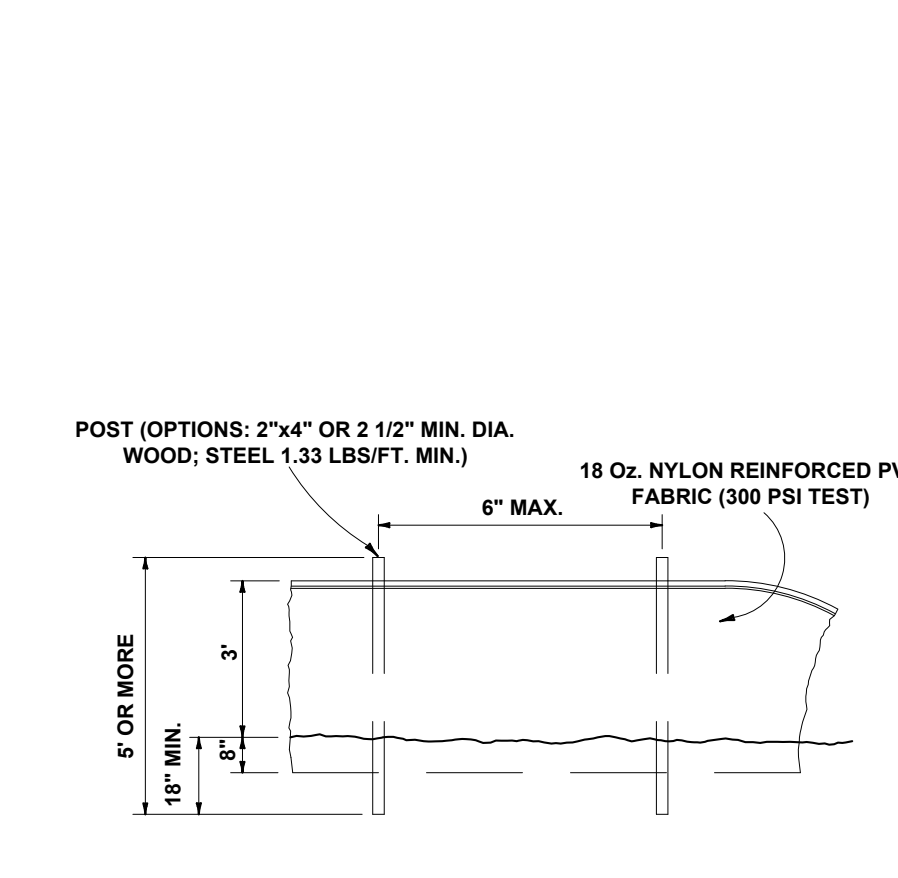
Printed Date:

JOB No.: **1918.3**  
SHEET

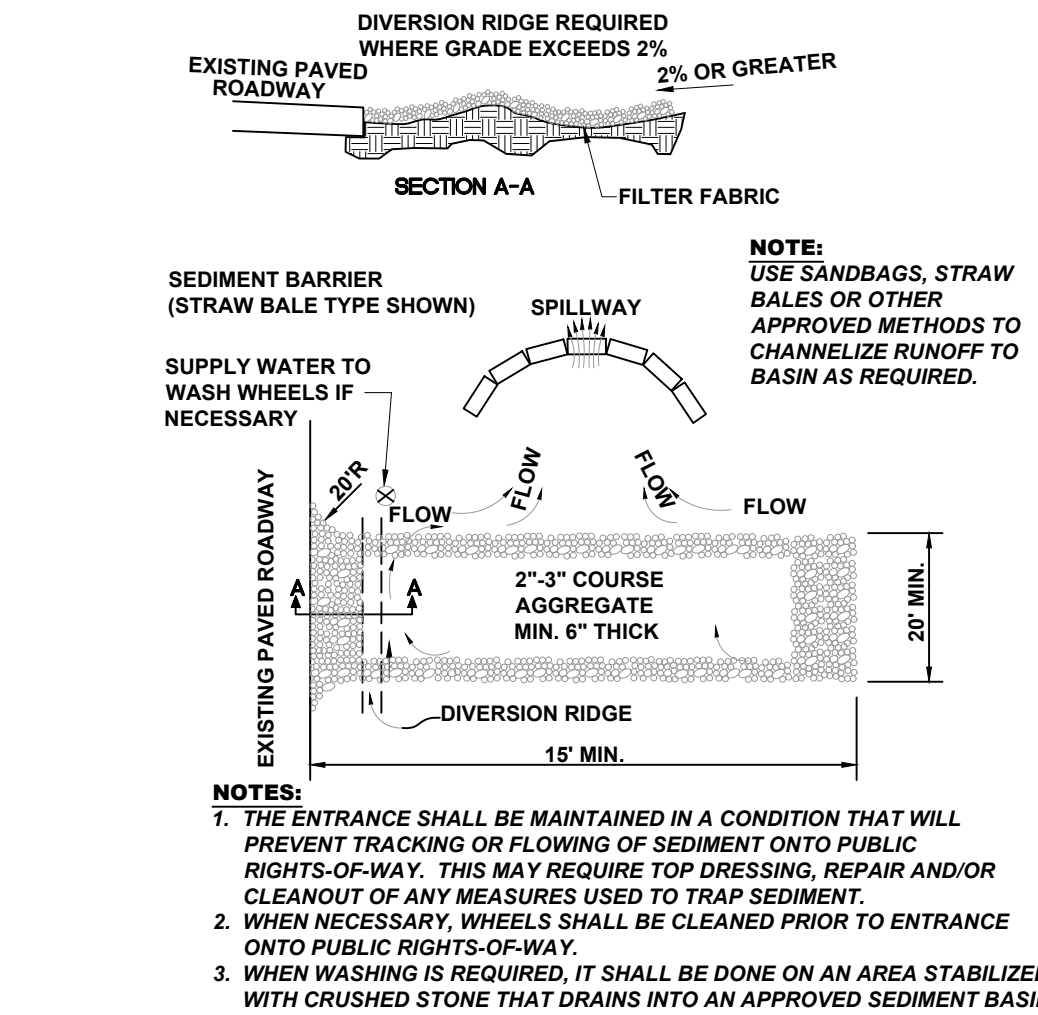
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE AS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY CAPTEC ENGINEERING, INC. SHALL BE WITHOUT LIABILITY TO CAPTEC ENGINEERING, INC.



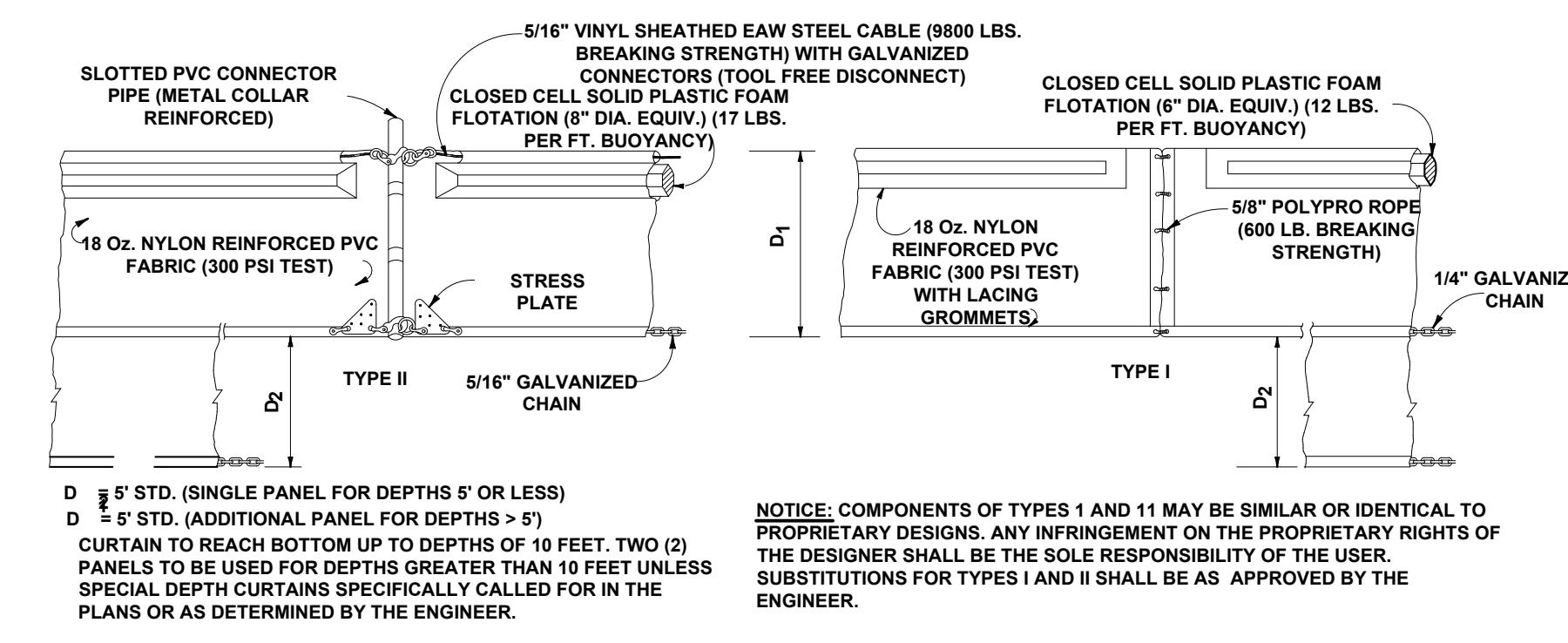
**SILT FENCE APPLICATIONS**  
(FDOT INDEX NO. 102, SHT. 3)



**STAKED TURBIDITY BARRIER**  
N.T.S.

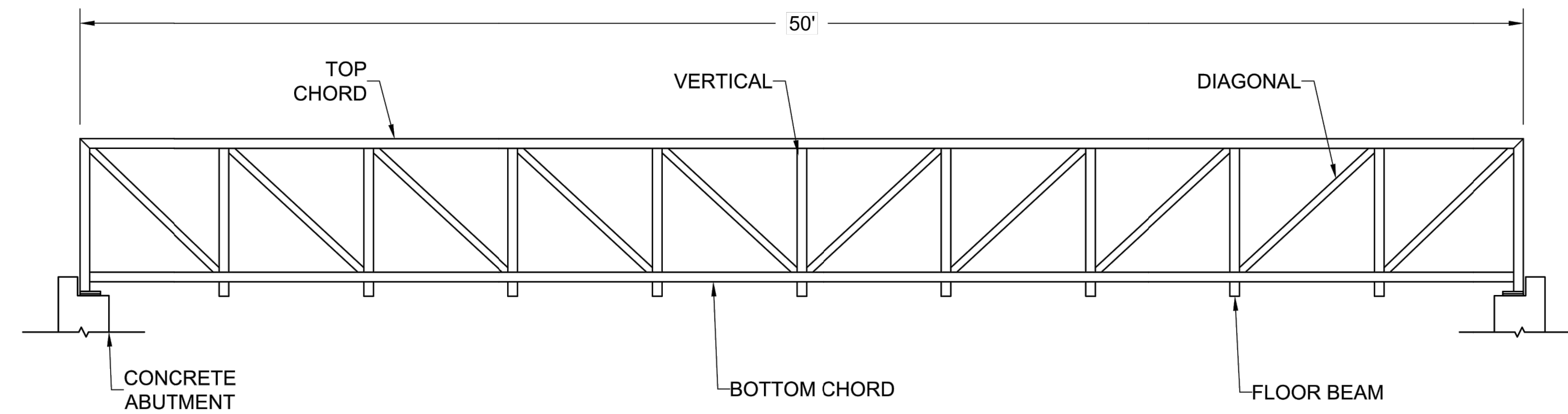


**STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL**  
N.T.S.

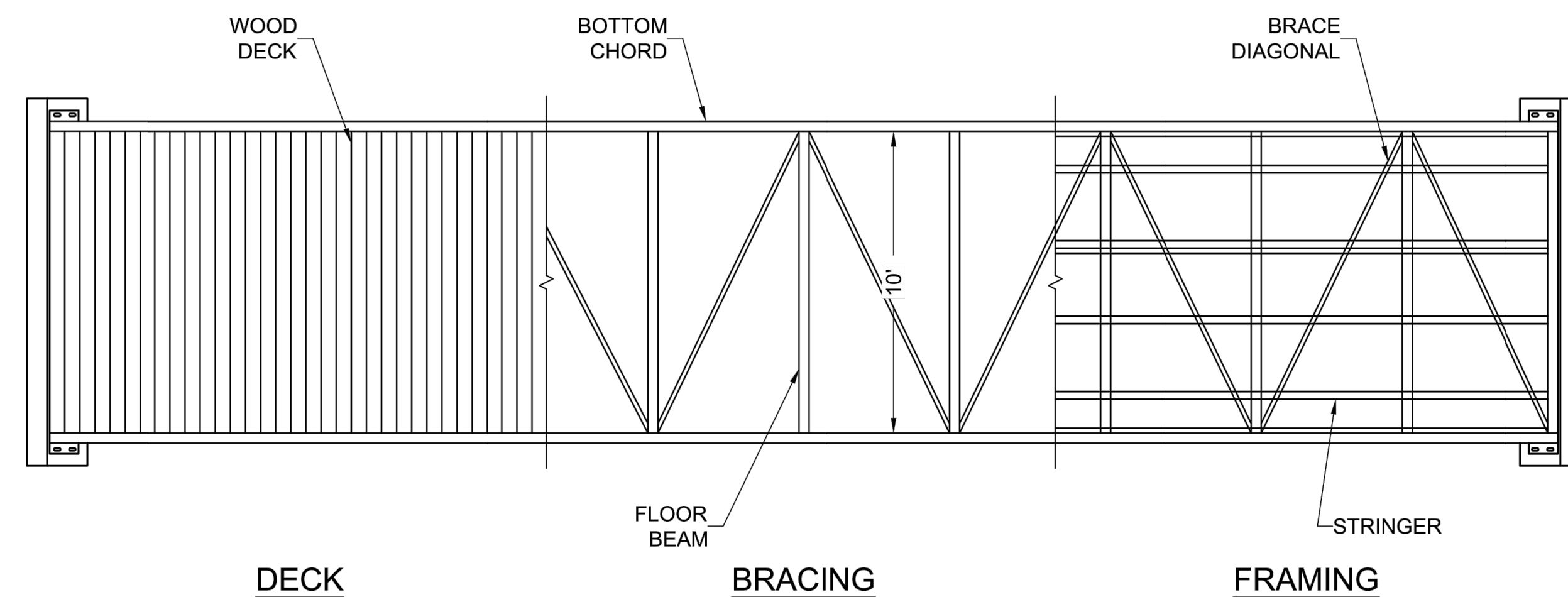


**FLOATING TURBIDITY BARRIERS**  
N.T.S.

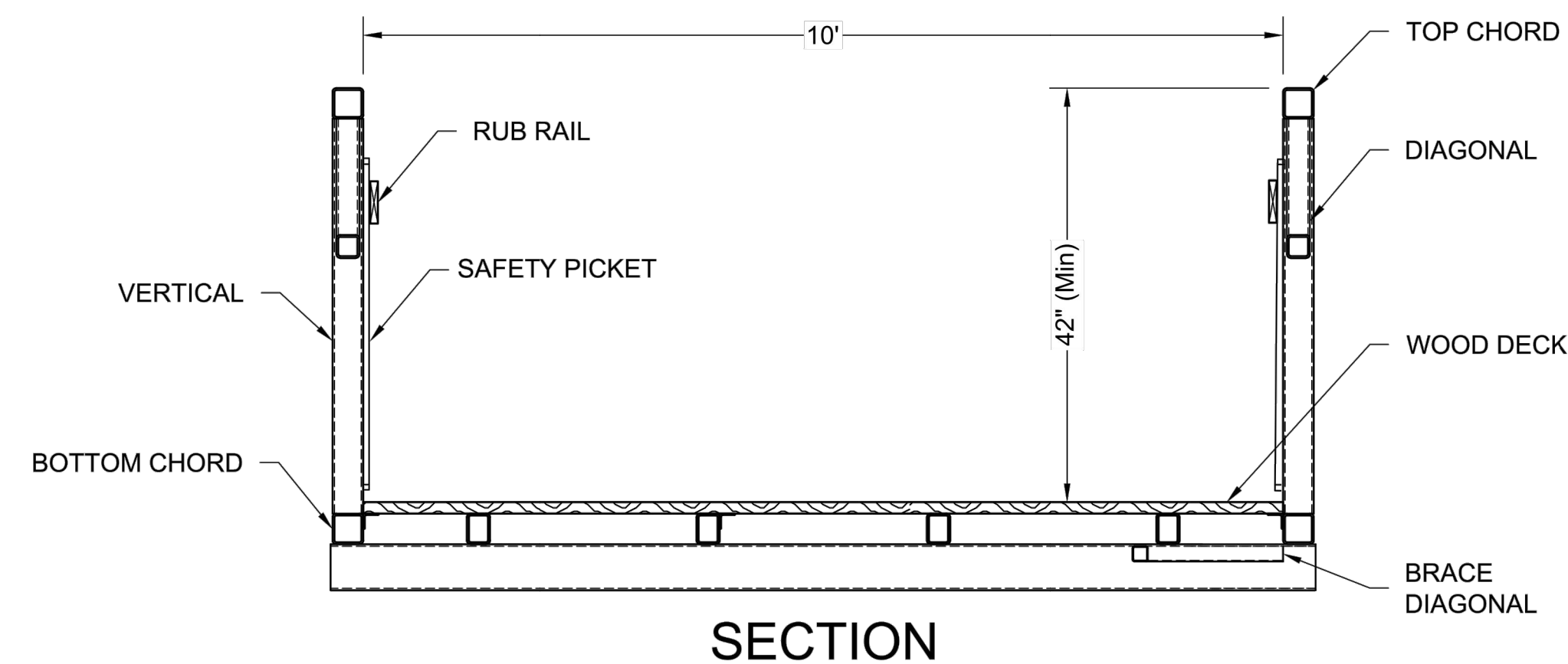
**BRIDGE SUMMARY**  
**Connector Pedestrian Bridge 50' Span x 10' Width**  
**Deck Type:** Nominal 3" Southern Yellow Pine  
**Bridge Finish:** Painted 3 Coat System - Color choice by owner



**BRIDGE ELEVATION**



**BRIDGE PLAN**



**SECTION**

**PEDESTRIAN BRIDGE NOTES:**

ALL DESIGNS, DIMENSIONS, AND WEIGHTS LISTED ARE APPROXIMATE AND ARE SUBJECT TO CHANGE UPON FINAL DESIGN PARAMETERS BY CONTECH ENGINEERED SOLUTIONS. CONTECH ENGINEERED SOLUTIONS WILL PROVIDE APPROVED, SIGNED, AND SEALED SHOP DRAWINGS UPON RECEIPT OF AN EXECUTED QUOTE OR PURCHASE ORDER.

DESIGN STRESSES ARE IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES" & "GUIDE SPECIFICATIONS FOR DESIGN OF PEDESTRIAN BRIDGES" BY THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO), LATEST EDITIONS.

**BRIDGE MODEL:** PEDESTRIAN TRUSS BRIDGE - CONNECTOR - HALF THROUGH H SECTION - PARALLEL CHORDS - PRATT DIAGONALS

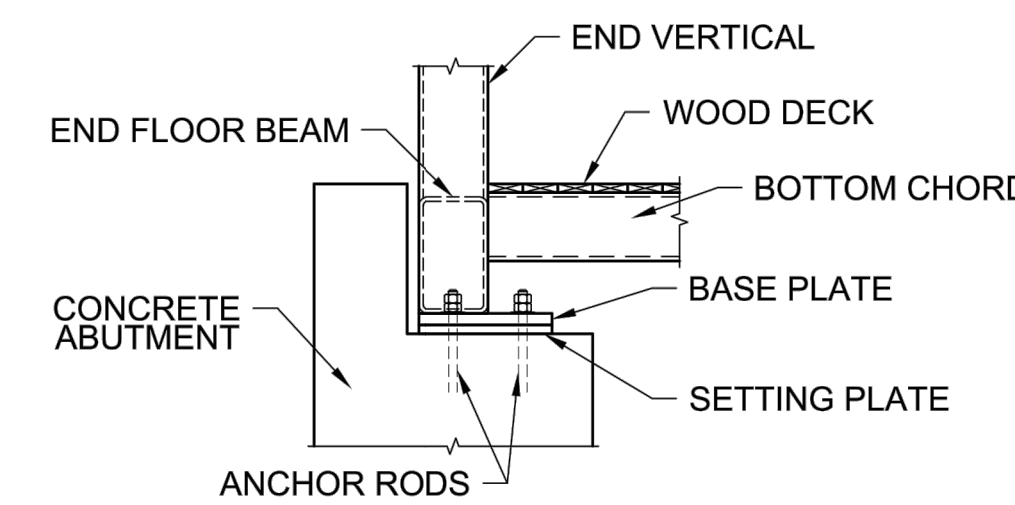
**LENGTH:** 50 FT. (END TO END OF TRUSS)  
**WIDTH:** 10 FT. (BETWEEN INSIDE FACE OF TOP CHORDS)  
**DESIGN CODE:** AASHTO LRFD GUIDE SPECIFICATIONS FOR DESIGN OF PEDESTRIAN BRIDGES 9TH EDITION  
**DESIGN VEHICLE:** H5  
**LIVE LOAD:** 90 psf.  
**FINISH:** A500 (PAINTED) 3 COATS SP10  
**BRIDGE DECKING:** 3X8 (NOM) SYP SELECT CA TREATED - SHOP INSTALLED

**RAILING TYPE:** VERTICAL PICKETS WITH 4 INCH MAXIMUM OPENINGS  
**RAILING HEIGHT:** 48 INCHES  
**INCLUDED OPTIONS:** 5/4X6 IPE RUB RAIL, COVER PLATE  
**BEARINGS:** CONTECH DESIGNED BEARINGS ARE INCLUDED, STEEL ON STEEL

**PRELIMINARY SUPER-STRUCTURE WEIGHT:** 21,190 LBS.

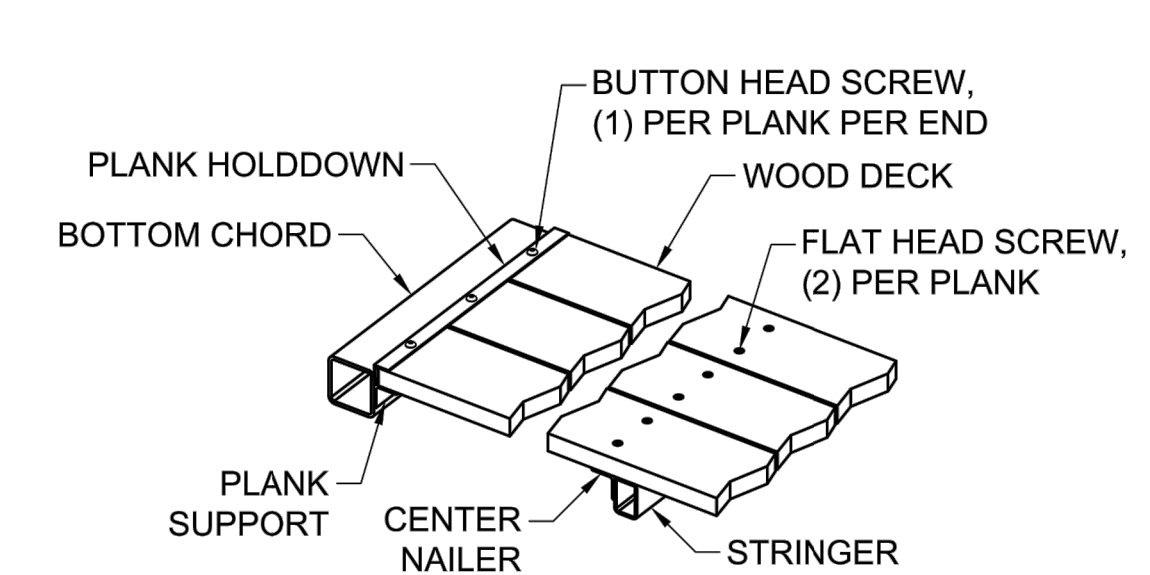
**TOP OF DECK TO LOW STEEL DIMENSION:** 20"

**MIN. FLOOR BEAM EL.:** 9.5' NAVD

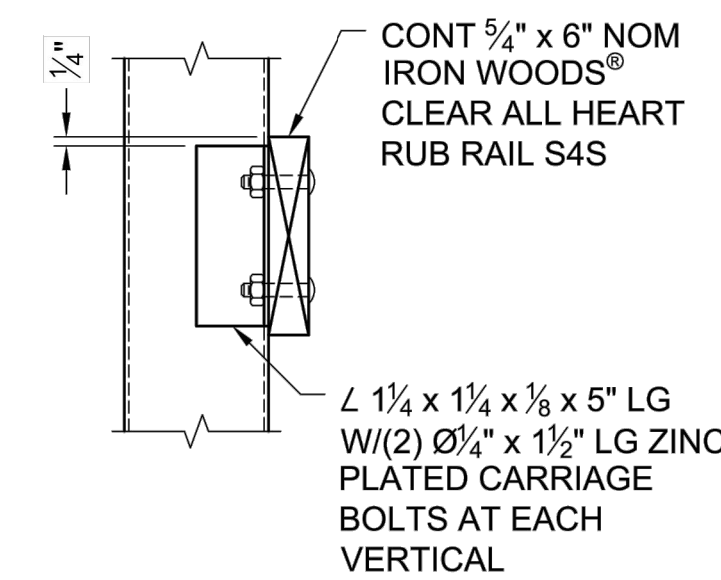


**BEARING SIDE VIEW**

INFORMATION PROVIDED FOR REPRESENTATION ONLY. ACTUAL BEARING DIAGRAMS TO BE BASED ON FINAL DESIGN.



**WOOD DECK DETAIL**



**RUB RAIL DETAIL**

301 NW Flagler Ave.  
 Stuart, Florida 34994  
 Phone: (772) 692-4344  
 Fax: (772) 692-4341

**CONTECH**  
 ENGINEERING, Inc.  
 Civil Engineering Professionals

Engineering Business  
 No. EP-000762

DATE:	04/02/2022
DRAWN BY:	ECT
DESIGNED BY:	HLT
CHECKED BY:	HLT
PROJECT No.:	19183
HORIZ SCALE:	N/A
VERT. SCALE:	N/A
CADD FILE:	DETAILS

NO.	DATE	BY	REVISIONS
1	02/22/2022	ECT	SHEET 7 BAFFLE BOX DETAIL ADDENDUM
2	07/12/2022	ECT	SHEET 5 SHEET PILE ADDENDUM
3	02/28/2022	ECT	SHEET 3 SHPO ADDENDUM
2	4/12/2022	ECT	SHEET 6 DETAIL EDITS
1	4/6/2022	ECT	BID SETS
1	2/28/2022	ECT	100% PLANS

SCALE	1
VERIFICATION	0
SOLID BAR IS EQUAL TO ONE INCH ON ORIGINAL DRAWING. ADJUST ALL SCALED ACCORDINGLY.	

**GEORGIA AVENUE BASIN**  
**WATER QUALITY IMPROVEMENTS**  
 CITY OF FORT PIERCE, FLORIDA

**BRIDGE DETAILS**

Joseph W. Capra, P.E.  
 301 N.W. Flagler Ave.  
 Stuart, Florida 34994  
 P.E. No. 37638

Printed Date:  
 JOB No.: **1918.3**  
 SHEET  
**8** OF **10**

NOTE: PEDESTRIAN BRIDGE SPECIFICATIONS ARE FOR INFORMATION, BRIDGE TO BE DESIGN / BUILD.

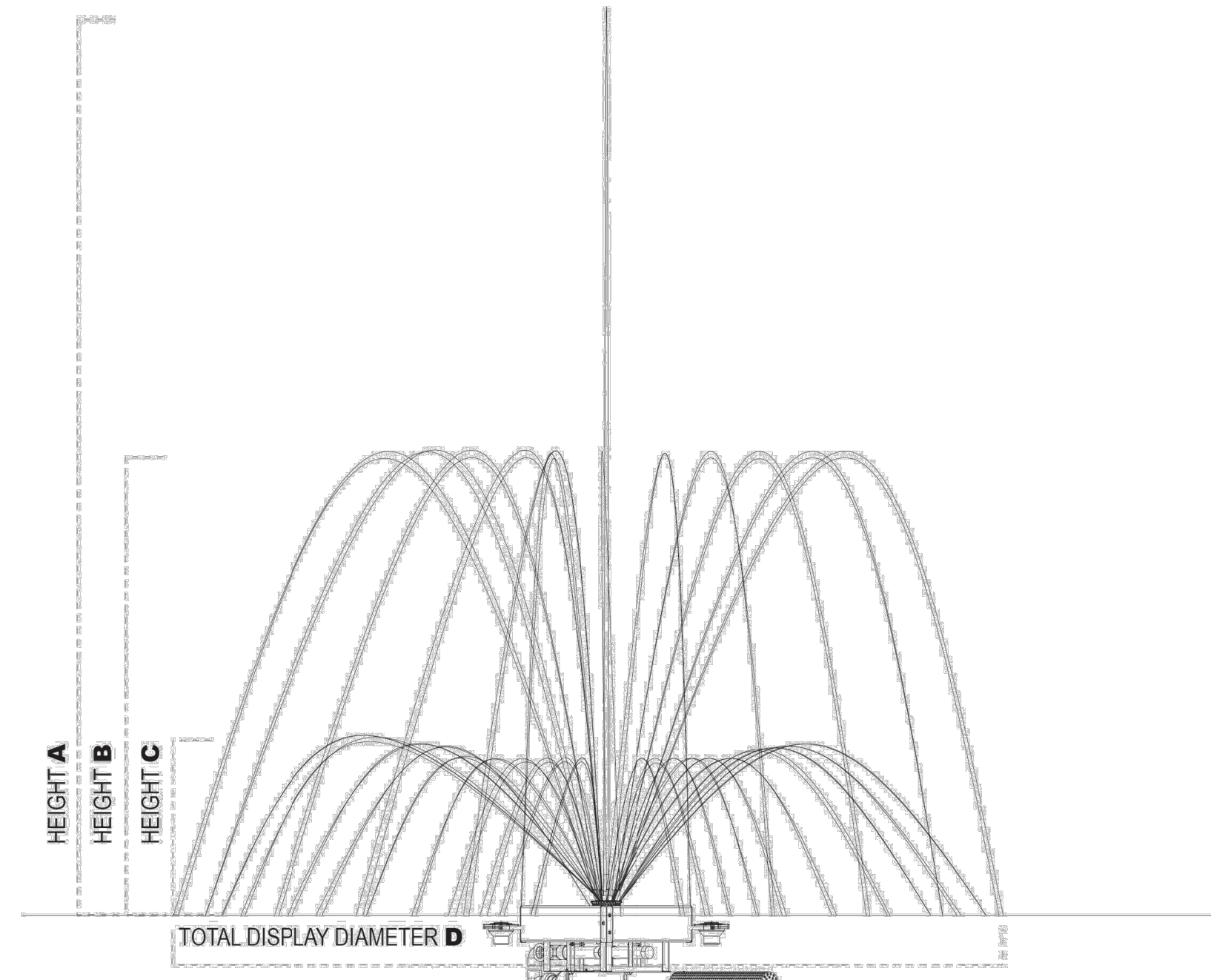
**CONTECH**  
 ENGINEERED SOLUTIONS LLC  
 www.contechES.com  
 9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069  
 800-338-1122 513-645-7000 513-645-7993 FAX

**CONTINENTAL**  
 BRIDGE  
 CONTECH  
 DYOB  
 DRAWING

P:\19183\19183 - Bridge\Drawings\Detail\19183-3.dwg, 04/02/2022 10:48:38 AM



## TriTier™ Series



CHECK EITHER WITH OR WITHOUT LIGHTS

Fountain Only																		
With RGBW Lights																		
Motor HP	2	2	2	3	3	3	5	5	5	7.5	7.5	7.5	10	10	10	15	15	15
Volts	230	230	208	230	230	208	230	230	208	230	230	208	230	230	208	230	230	208
Phase	1	3	3	1	3	3	1	3	3	1	3	3	1	3	3	1	3	3
AMP	14	8	9	17	10	13	28	17	21	42	25	28	51	32	37	72	47	54
HT. A	18'	18'	18'	23'	23'	23'	26'	26'	26'	30'	30'	30'	35'	35'	35'	40'	40'	40'
HT. B	8'	8'	8'	10'	10'	10'	12'	12'	12'	15'	15'	15'	17'	17'	17'	20'	20'	20'
HT. C	4'	4'	4'	5'	5'	5'	6'	6'	6'	7'	7'	7'	8'	8'	8'	10'	10'	10'
Dia. D	20"	20"	20"	25"	25"	25"	40"	40"	40"	45"	45"	45"	50"	50"	50"	55"	55"	55"
#40W RGBW Lights	2	2	2	2	2	2	3	3	3	4	4	4	4	4	4	5	5	5
Total Watts	80	80	80	80	80	80	120	120	120	160	160	160	160	160	160	200	200	200
AMP Draw	.66	.66	.66	.66	.66	.66	1	1	1	1.33	1.33	1.33	1.33	1.33	1.33	1.66	1.66	1.66

Drawings are for illustration only and not to scale. Installation of fountain equipment shall be in accordance with manufacturers specifications.

2100 NW 33rd St • Pompano Beach, FL 33069 • 844.432.4303 • vertexaquaticsolutions.com



## TriTier™ Specs

### FLOTATION SYSTEM

Rotocast polypropylene with ultraviolet inhibitors added for extended protection against warping/cracking. Each seamless, watertight section is equipped with threaded brass insert and expanding type fill-plug to add water ballast and leveling control.

### PUMP/MOTOR

7.5HP, 230Volt, 1 Phase stainless steel, sealed UL listed submersible motor. Submersible turbine pump shall be of 100% 304 stainless steel construction, with driveshaft of 416 stainless steel and equipped with sand collars for maximum protection against abrasives. Pump and motor are water cooled and lubricated. Use of oil-filled motors/pumping systems are not acceptable due to need for regular replacement of oil, O-rings, and seals.

### INTAKE SCREEN

Type 304, 18ga stainless steel, protects against foreign material entering pumping system.

### FRAMEWORK

Type 304 stainless steel with welded joints and stainless steel fastenings.

### LIGHTING FIXTURES

(4) 40Watt, 120V RGBW color-changing, stainless steel LED light fixtures with tempered lens and neoprene gaskets, mounting brackets and fastenings of stainless steel. Shall have (28) pre-programmed colors / themes system for ease of use, equipped for Bluetooth remote operation.

### DISPLAY HEAD

100% precision machined cast bronze and/or brass with stainless steel fastenings provide permanent display characteristics and protection from corrosion. All sidejets are machined into base at precise angles to ensure permanent display integrity. 2-piece swivel jets are unacceptable due to inherent ability to become loose and out of adjustment from water pressure and/or pump vibrations. Display heads of plastics, PVC and/or "thermoplastics" are unacceptable.

### UNDERWATER ELECTRICAL CABLES

STW-A rated, stamped "water resistant".  
175' of 8/4ga - motor, 175' of 14/5ga - lights

### FOUNTAIN CONTROL PANEL

- Steel NEMA 3R enclosure
- Surge/Lightning Protection
- Capacitive motor starter (single phase units)
- 2 - 24 hour time clocks
- UL listed RGBW lighting controller
- Circuit breaker - pump
- Circuit breaker - lights (if equipped)
- GFI protection - pump
- GFI protection - lights (if equipped)

### WARRANTY (PARTS)

- Fountain - 4 years
- Light Fixtures (excludes bulbs) - 2 years
- Controls - 1 year

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## Fountain Install

### FOUNTAIN CONTROL PANEL

**Warning** - The fountain control panel must be installed by licensed electrician in accordance with article 682 of national electrical code.

Panel location is above any and all possible high water levels. Submergence of panel poses serious risk of electrical shock and damage of fountain system. Failure may result in potentially hazardous conditions and/or failure of electrical inspection.

Consult authorities having jurisdiction (ahj) for specific local codes/restrictions. Vertex Aquatic Solutions accepts/assumes no responsibility for installations not in accordance with local and/or national electrical codes.

### SCOPE OF WORK - ELECTRICIAN

1. Mount NEMA 3R panel enclosure in accordance with NEC 682 following any additional local codes and/or restrictions that exist.
2. Trench and bury sufficiently sized conduit(s) from fountain panel to water's edge, extending conduit(s) far enough into water to ensure no submersible cable is exposed should low water conditions arise.
3. Bring incoming power from power source into the fountain panel. Incoming voltage must match with specifications of fountain panel or failure will result, damaging the system and voiding the warranty.
4. Pull submersible cable(s) from fountain through conduit to control panel and perform final connections

See Fountain Owner's Manual for details on installing the fountain in your lake.

### IMPORTANT NOTES

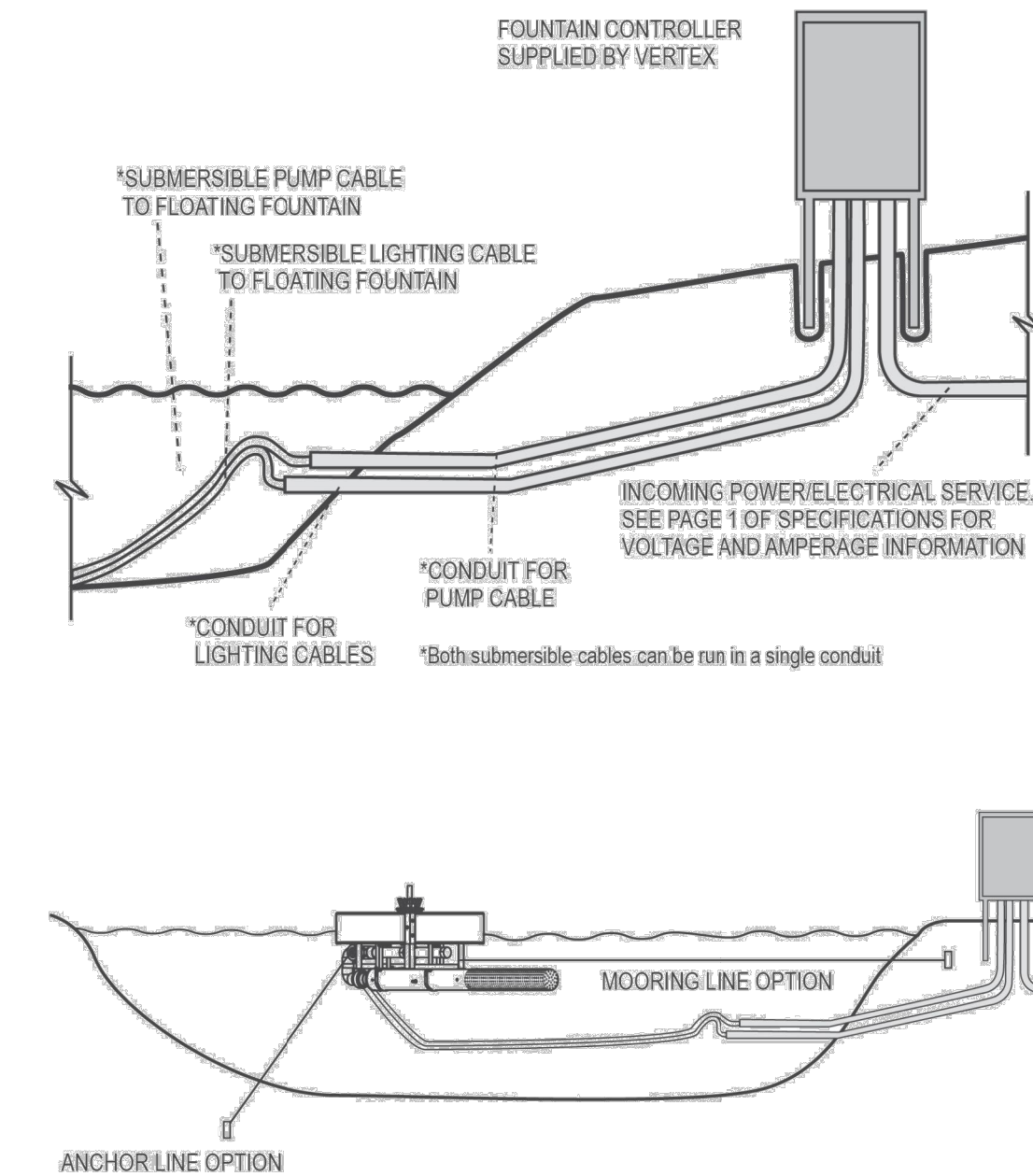
Do not operate fountain and lights until fountain installation has been completed and lights are fully submerged.

Operating light(s) out of water will result in damage to bulb(s) and lens(es), voiding manufacturer's warranty.

**Connect only 120V to light(s)**  
Higher voltage will result in immediate damage or failure of bulb(s).

Drawings are for illustration only and not to scale. Installation of fountain equipment shall be in accordance with manufacturers specifications.

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## TYPICAL AERATOR FOUNTAIN DETAIL

N.T.S.

NOTE: PEDESTRIAN BRIDGE SPECIFICATIONS ARE FOR INFORMATION, BRIDGE TO BE DESIGN / BUILD.

301 NW Flagler Ave.  
Stuart, Florida 34994  
Phone: (772) 692-4344  
Fax: (772) 692-4341

**CAPTEC**  
Engineering, Inc.  
Civil Engineering Professionals

Engineering Business  
No. EP-000763

DATE:	04/02/2022
DRAWN BY:	ECT
DESIGNED BY:	HLT
CHECKED BY:	HLT
PROJECT No.:	19183
HORIZ SCALE:	N/A
VERT. SCALE:	N/A
CADD FILE:	DETAILS

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5	4/6/2022	ECT	BID SETS
6	2/28/2022	ECT	100% PLANS

**SCALE VERIFICATION**

0 1

SOLID BAR IS EQUAL TO ONE INCH ON ORIGINAL DRAWING. ADJUST ALL SCALED ACCORDINGLY.

**GEORGIA AVENUE BASIN**  
**WATER QUALITY IMPROVEMENTS**  
CITY OF FORT PIERCE, FLORIDA

**FOUNTAIN DETAILS**

Joseph W. Capra, P.E.  
301 N.W. Flagler Ave.  
Stuart, Florida 34994  
P.E. No. 37638

Printed Date:

JOB No.: **1918.3**  
SHEET  
**9** OF **10**

**A. GENERAL**

- 1. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER AND THE CITY OF FT. PIERCE.
2. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
3. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY UTILITY CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
4. THE CONTRACTOR SHALL MAINTAIN ALL WATER SUPPLY AND SANITARY SEWER SERVICE THROUGHOUT CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL MAINTAIN EXISTING SERVICES UNTIL THE NEW LINES HAVE BEEN APPROVED BY FPUA.
5. PROJECT SUPERINTENDENT: THE CONTRACTOR SHALL PROVIDE A QUALIFIED SUPERINTENDENT TO REMAIN ON THE JOB SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. THE SUPERINTENDENT SHALL BE PRESENT AT THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY COMPANY BY LETTER PRIOR TO THE PRE-CONSTRUCTION MEETING APPOINTING THE SUPERINTENDENT FOR THIS PROJECT INCLUDING A FORMAL RESUME SHOWING QUALIFICATIONS.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE HISHER COMPLETE FAMILIARITY WITH THE PROJECT SITE AND COMPONENTS TO INCLUDE SUBSURFACE CONDITIONS OF SOIL AND GROUNDWATER TABLE. BY SUBMITTAL OF A BID FOR THIS PROJECT, THE CONTRACTOR ACKNOWLEDGES HISHER COMPLETE UNDERSTANDING AND RESPONSIBILITIES WITH RESPECT TO THE CONSTRUCTION ACTIVITIES REQUIRED UNDER THE SCOPE OF THIS PROJECT.
7. THE 'TRENCH SAFETY ACT' SHALL BE INCORPORATED INTO THIS CONTRACT AS ENHANCED BY THE LEGISLATURE OF THE STATE OF FLORIDA IN EFFECT SINCE OCTOBER 1, 1990.
8. AS-BUILT PLANS: THE CONTRACTOR SHALL PROVIDE ONE (1) REPRODUCIBLE MYLAR COPY, FIFTEEN (15) BLACK LINE COPIES AND ONE (1) DIGITAL FORMAT OF A CERTIFIED AS-BUILT SURVEY. DRAWINGS SHALL BEAR THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE SURVEYOR AND SHALL BE SUBMITTED AFTER THE COMPLETION OF CONSTRUCTION, BUT PRIOR TO FINAL APPROVAL. THE AS-BUILT SURVEY SHALL BE PREPARED IN PLAN AND PROFILE FORMAT BY A LICENSED PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA AND SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE FLORIDA ADMINISTRATIVE CODE AND CHAPTER 472 OF THE FLORIDA STATUTES. THE DRAWINGS SHALL BE AT A SCALE COMPARABLE TO THE DESIGN DRAWINGS PREPARED BY THE ENGINEER AND SHALL REFERENCE THE BASE LINE OF SURVEY APPEARING ON THE ENGINEERING DRAWINGS. THE HORIZONTAL AND VERTICAL LOCATION OF THE ROADWAYS, DRAINAGE FACILITIES AND ALL APPURTENANCES SHALL BE ACCURATELY DEPICTED TO SCALE AND SHALL BE IDENTIFIED RELATIVE TO THE BASE LINE AND TO READILY IDENTIFIABLE PERMANENT OR SEMI-PERMANENT REFERENCE POINTS EXISTING AFTER THE COMPLETION OF CONSTRUCTION. LOCATIONS SHALL BE DETERMINED FOR ALL DRAINAGE FACILITIES AT CHANGES IN HORIZONTAL AND VERTICAL DIRECTION, AND AT A MINIMUM OF AN INTERVAL NOT EXCEEDING ONE HUNDRED FEET (100'). THE PROFILE SHALL ACCURATELY REFLECT THE VERTICAL PIPE LOCATION AND THE FINISHED GRADE OVER THE PIPE. CROSSING THE MAINS OR PARALLELING THE MAINS WITHIN TWENTY FEET (20') SHALL BE ACCURATELY SHOWN BOTH HORIZONTALLY AND VERTICALLY AND SHALL BE BASED UPON MEASUREMENTS AND OBSERVATIONS MADE IN THE FIELD BY THE SURVEYOR CERTIFYING THE SURVEY, OR BY PERSONNEL UNDER HISHER DIRECTION AND SUPERVISION. THE ELEVATION AND LOCATION OF BENCHMARKS SHALL BE ACCURATELY DEPICTED ON THE AS-BUILT SURVEY. PAYMENT FOR EACH AS-BUILT ITEM SHALL BE INCLUDED WITHIN THE UNIT PRICE FOR EACH AS-BUILT ITEM. IN ADDITION TO THE ABOVE AS-BUILT REQUIREMENTS, CONTRACTOR TO PROVIDE AS-BUILTS IN COMPLIANCE WITH THE ST. LUCIE COUNTY ENVIRONMENTAL SERVICES STANDARDS. AS-BUILT REQUIREMENTS TO BE PROVIDED AT THE PRE-CONSTRUCTION MEETING. APPURTENANCES SHALL BE IDENTIFIED ON BOTH THE PLAN AND PROFILE VIEWS. UNDERGROUND UTILITIES CROSSING THE MAINS OR PARALLELING THE MAINS WITHIN TWENTY FEET (20') SHALL BE ACCURATELY SHOWN BOTH HORIZONTALLY AND VERTICALLY AND SHALL BE BASED UPON MEASUREMENTS AND OBSERVATIONS MADE IN THE FIELD BY THE SURVEYOR CERTIFYING THE SURVEY, OR BY PERSONNEL UNDER HISHER DIRECTION AND SUPERVISION. THE ELEVATION AND LOCATION OF BENCHMARKS SHALL BE ACCURATELY DEPICTED ON THE AS-BUILT SURVEY. PAYMENT FOR EACH AS-BUILT ITEM SHALL BE INCLUDED WITHIN THE UNIT PRICE FOR EACH AS-BUILT ITEM. IN ADDITION TO THE ABOVE AS-BUILT REQUIREMENTS, CONTRACTOR TO PROVIDE AS-BUILTS IN COMPLIANCE WITH THE ST. LUCIE COUNTY ENVIRONMENTAL SERVICES STANDARDS. AS-BUILT REQUIREMENTS TO BE PROVIDED AT THE PRE-CONSTRUCTION MEETING.
9. THE CONTRACTOR SHALL PREPARE A PLAN SHOWING THE SCHEDULE OF WORK, INCLUDING A HIGHLIGHTED PLAN SHOWING THE ORDER OF CONSTRUCTION THAT WILL FACILITATE MAINTAINING EXISTING SERVICES DURING CONSTRUCTION. THIS PLAN SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION MAINTENANCE OF TRAFFIC AND STAGING PLAN.
10. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, CITY OF FT. PIERCE STANDARDS AND FPUA STANDARDS. THE CONTRACTOR TO SUBMIT CERTIFIED AS-BUILT PLANS TO THE FLORIDA DEPARTMENT OF TRANSPORTATION WHEN PROJECT IS COMPLETE.
11. TELEPHONE, POWER, CABLE, WATER, SEWER, AND GAS LOCATIONS SHOWN ARE TAKEN FROM INFORMATION PROVIDED BY THAT UTILITY COMPANY. THESE LOCATIONS HAVE NOT BEEN VERIFIED IN THE FIELD. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE TO EXPOSE ALL CROSSING WITH BELLSOUTH, CABLECATV AND FLORIDA POWER AND LIGHT ELECTRIC CONDUITS PRIOR TO BEGINNING CONSTRUCTION AND DELIVERY OF PIPE. THE CONTRACTOR IS TO USE EXTREME CAUTION WITHIN THE VICINITY OF PRIVATE UTILITY FACILITIES. THE CONTRACTOR WILL REQUEST A PRIVATE UTILITY REPRESENTATIVES PRESENCE DURING CONSTRUCTION IN THE VICINITY OF THEIR FACILITIES. A PROFILE OF THE PRIVATE UTILITY FACILITIES ARE NOT PROVIDED IN THESE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PRIVATE UTILITIES AND OBTAINING THE APPROXIMATE LOCATION OF THESE FACILITIES.
12. ANY NOVD-29 MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHOULD NOTIFY:
ATTN: CHARLIE NOVAC
ATTN: MCG -162
6001 EXECUTIVE BOULEVARD
ROCKVILLE, MARYLAND 20852
TELEPHONE: (301) 443-8319
13. SHOP DRAWINGS ARE REQUIRED ON ALL CONSTRUCTION ITEMS. THE ENGINEER REQUIRES FIVE (5) DAYS PRIOR NOTICE TO REVIEW SHOP DRAWINGS.
14. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE, AT ALL TIMES, ONE COPY OF THE LOCAL UTILITY COMPANY MINIMUM DESIGN AND CONSTRUCTION STANDARDS, ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS AND SPECIAL PROVISION, AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
15. CONTRACTOR TO UTILIZE "APPROVED CONSTRUCTION PLANS" ONLY FOR CONSTRUCTION.
16. CONTRACTOR TO PROVIDE SITE PLAN AS-BUILTS TO CITY OF FT. PIERCE PRIOR TO CERTIFICATE OF OCCUPANCY.
17. IF HISTORICAL OR ARCHAEOLOGICAL ARTIFACTS ARE DISCOVERED ON SITE, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.

**STORM SEWER NOTES**

- 1. ALL DISTURBED OUTFALL DRAINAGE AREAS SHALL BE SODDER UPON COMPLETION OF GRADING AFTER AS-BUILT GRADE ELEVATIONS ARE APPROVED BY THE ENGINEER.
2. PRIOR TO FINAL PAYMENT OF RETENTION, DETENTION, AND DRAINAGE DITCH QUANTITIES, ALL SLOPES AND SWALES SHALL BE SODDER TO AVOID EROSION.
3. BACKFILL TO BE COMPACTED IN NO GREATER THAN ONE (1) FOOT LIFTS TO THE DENSITY OF THE UNDISTURBED ADJACENT SOILS.
4. THERE IS TO BE NO OFF-SITE HAULING WITHOUT PRIOR APPROVAL AND ALL EXCAVATED MATERIAL SHALL BE USED ON-SITE.
5. THE CONTRACTOR SHALL CONSTRUCT THE STORMWATER MANAGEMENT SYSTEM IN A MANNER SO AS TO MINIMIZE ANY ADVERSE IMPACTS OF THE WORKS ON FISH, WILDLIFE, NATURAL ENVIRONMENTAL VALUES AND WATER QUALITY ON OR OFF-SITE. THE CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING FULL COMPACTION OF ANY FILL MATERIAL PLACED AROUND NEWLY INSTALLED STRUCTURES TO REDUCE EROSION, TURBIDITY, NUTRIENT LOADING AND SEDIMENTATION IN THE RECEIVING WATERS.
6. WITHIN THIRTY (30) DAYS AFTER COMPLETION OF CONSTRUCTION OF THE SURFACE WATER MANAGEMENT SYSTEM, THE CONTRACTOR SHALL ASSIST THE DESIGN ENGINEER TO PROVIDE A WRITTEN STATEMENT OF COMPLETION AND CERTIFICATION BY A FLORIDA PROFESSIONAL ENGINEER. THESE STATEMENTS MUST SPECIFY THE ACTUAL DATE OF CONSTRUCTION COMPLETION AND MUST CERTIFY THAT ALL FACILITIES HAVE BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. THE CONSTRUCTION COMPLETION CERTIFICATION MUST INCLUDE, AT A MINIMUM EXISTING ELEVATIONS, LOCATIONS AND DIMENSIONS OF THE COMPONENTS OF THE SURFACE WATER MANAGEMENT FACILITIES. ADDITIONALLY, IF DEVIATIONS FROM THE APPROVED DRAWINGS ARE DISCOVERED DURING THE CERTIFICATION PROCESS, THE CERTIFICATION MUST BE ACCOMPANIED BY A COPY OF THE APPROVED PERMIT DRAWINGS WITH DEVIATIONS NOTED. SEE AS-BUILT REQUIREMENTS.
7. A STABLE PERMANENT AND ACCESSIBLE ELEVATION REFERENCE SHALL BE ESTABLISHED ON OR WITHIN ONE HUNDRED FEET (100') OF ALL PERMITTED DISCHARGE STRUCTURES NO LATER THAN THE SUBMISSION OF THE CERTIFICATION TO THE WATER MANAGEMENT DISTRICT. THE LOCATION OF THE ELEVATION REFERENCE MUST BE NOTED ON OR WITHIN THE CERTIFICATION REPORT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY EROSION OR SHOALING OF THE WATER QUALITY MANAGEMENT SYSTEM.
9. SEDIMENT PONDS/TRAPS AND PERIMETER CONTROLS SHALL BE IMPLEMENTED AS A FIRST STEP OF GRADING AND WITHIN 4 DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE STABILIZED.
10. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.
11. REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE A MINIMUM OF ONCE EVERY 7 DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN IN A 24 HOUR PERIOD. PROVIDED WILL BE NAME OF INSPECTOR, MAJOR OBSERVATIONS, DATE OF INSPECTION AND CORRECTIVE MEASURES TAKEN.
12. OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS.

**FILTER FABRIC**

- 1. FILTER FABRIC SPECIFIED TO BE PLACED BELOW STONE BEDDING SHALL BE WOVEN GEOTEXTILE FABRIC CONSISTING OF ROT-PROOF POLYPROPYLENE MONIFLAMELIM YARDS WEIGHING MINIMUM OF 0.8 OZ/SQ YD AND SATISFY PHYSICAL PROPERTY REQUIREMENTS AS PRESCRIBED BY FDOT INDEX 985 CRITERIA SHALL MEET OR EXCEED THE FOLLOWING PARAMETERS:
PHYSICAL PROPERTY TEST RESULTS
GRAB TENSILE STRENGTH, (MIN) +400 LBS (1.78 kN) (ASTM D4632)
ELONGATION, AT BREAK, (MAX) 15% (ASTM D4632)
PUNCTURE STRENGTH, LBS (MIN) 150 LBS (0.67 kN) (ASTM D-4633)
TRAPEZOIDAL TEAR STRENGTH (MIN) 150 LBS (0.67 kN) (ASTM D-4533)
UV RESISTANCE (AT 500 HOURS) 90 (ASTM D-4355)
2. WOVEN GEOTEXTILE FABRICS THAT MEET THESE PARAMETERS, INCLUDE FILTERWEAVE AND 404 AS MANUFACTURED BY MIRAFI OR EQUAL.

**B. SOIL EROSION PLAN**

- 1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A SPECIFIC SOIL EROSION PLAN. IN GENERAL, THE SOIL EROSION PLAN SHALL REQUIRE THAT ALL CONSTRUCTION SHALL BE WITHIN THE BOUNDARIES OF THE EROSION CONTROL SWALES, ADJACENT TO ADJACENT PROPERTIES, OR RETENTION DITCHES. ALL EXISTING SWALES SHALL REMAIN SODDER DURING CONSTRUCTION. THE CONTRACTOR SHALL SCARIFY ONLY AS NECESSARY TO CONSTRUCT THE PROJECT. THE CONTRACTOR SHALL SCARIFY AREAS TO PLACE VARIOUS PIPE WORK. AFTER PLACEMENT OF THE PIPE, THESE TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A 98% DENSITY. PRIOR TO DISCHARGE FROM THE SITE, SILTATION BARRIERS AND HAY BALES SHALL BE INSTALLED AS PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 104 AND 985 TO AVOID FILLING THESE AREAS. UPON COMPLETION OF THE SITE WORK, ALL AREAS SHALL BE SODDER TO AVOID EROSION WITHIN SEVEN DAYS. CONTRACTOR IS REQUIRED TO COMPLY WITH ALL STATE WATER QUALITY CRITERIA. SPECIFICALLY, NO OFF-SITE DISCHARGES WILL BE ALLOWED WHILE EXISTING STABILIZATION CRITERIA. SOIL SHALL MATCH EXISTING 500 BEING REPLACED. ALL IRRIGATION LINES DISTURBED DUE TO THIS WORK SHALL BE REPAIRED WITHIN 24 HOURS OF DISTURBANCE.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS IN CHAPTER 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION, 1988).
3. FOR WORK WITHIN LAKES & CANALS, CONTRACTOR WILL PROVIDE WATER QUALITY MONITORING BOTH UPSTREAM AND DOWNSTREAM IMMEDIATELY ADJACENT TO THE WORK AREA AT LEAST TWICE DAILY AND AFTER ALL RAINFALL EVENTS. THIS SAMPLING WILL BE PROVIDED TO THE OKEECHOBEE SERVICE CENTER OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT. THE CONTRACTOR WILL INSTALL FLOATING TURBIDITY BARRIERS, SILT FENCES, HAY BALES, AND ANY OTHER EROSION CONTROL DEVICES. DOWNSTREAM OF ALL CONSTRUCTION AREAS IN ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS IN APPENDIX 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT, FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION, WHEN THE SAMPLES REFLECT 29 NTU'S ABOVE THE BASELINE DATA TAKEN TWICE DAILY, THEN THE CONTRACTOR WILL CEASE CONSTRUCTION. CONSTRUCTION ACTIVITIES MUST NOT RESUME UNTIL THE PROBLEM HAS BEEN CORRECTED AND ARE STATE WATER QUALITY STANDARDS HAVE BEEN MET. DISTURBED AREAS MUST BE SODDER AND STABILIZED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.

**C. PAVING, GRADING AND DRAINAGE NOTES**

- 1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M 145, FOUND WITHIN THE DRAINAGE IMPROVEMENT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL AND REPLACED WITH THE SPECIFIED FILL MATERIAL. IN MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED, PROVIDED THAT THE LESS THAN 100 EQUIPMENT AND METHODS USED ARE PROVEN BY FIELD DENSITY TESTING AND CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL BE CONSISTENT FOR THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, GRASS, WEEDS, RUBBISH, AND ALL OTHER OBSTRUCTIONS RESTING ON, OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF ONE FOOT (1'). ITEMS DESIGNATED TO REMAIN, TO BE RELOCATED, OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, OR A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL, NOT MORE THAN 12 % BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF THE RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND BASE DENSITY TESTS, UTILITY CROSSINGS, MANHOLES, INLETS AND STRUCTURES. TEST SHALL INCLUDE ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC. DENSITY TESTS SHALL BE PERFORMED AT THREE (3) LOCATIONS AROUND ANY STRUCTURE. BEGIN TESTING IN THE FIRST FOOT ABOVE THE BOTTOM OF THE STRUCTURE AND THEN EVERY TWO FEET TO WITHIN TWO FEET OF THE INSTALLED INLETS.
5. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEMS SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
8. SITE GRADING ELEVATIONS SHALL BE AT THE REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DRAIN.
9. CONCRETE AND ASPHALT SHALL BE AS DESIGNATED ON THE DRAWINGS. ALL CONCRETE FOR CURBING, SIDEWALKS AND DUMPSTER PADS SHALL BE A MINIMUM 3,000 PSI. ALL CONCRETE SHALL USE FIBERMESH REINFORCEMENT.
10. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL, CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
11. THE CONCRETE SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, WITH 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. ALL CONCRETE SIDEWALKS SHALL BE 7 INCHES THICK ACROSS DRIVEWAYS.
12. PIPE SPECIFICATIONS: THE MATERIAL TYPE SHALL BE RCP (SECTION 449 OF THE FDOT STANDARD SPECIFICATIONS).
13. BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS FOR HOT MIX PAVEMENT. SECTION 401-1.1. PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE R-70 OR R-200 CONFORMING TO THE REQUIREMENTS SPECIFIED IN ASPHALT DESIGNATION M81-75 (1982). (RATE -0.10 GALLONS PER SQUARE YARD) TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M 140-82. (RATE 0.02 TO 0.08 GALLONS PER SQUARE YARD). DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
14. PAVING BASE:
\* SURFACE DENSIFICATION BY COMPACTING THE CLEARED AND GRUBBED GROUND SURFACE WITH CONVENTIONAL COMPACTION EQUIPMENT IS ANTICIPATED TO PREPARE THE EXISTING FOUNDATION SOILS. AN APPROXIMATE DEPARTMENTH OF TWELVE NORMAL SEPARATION HIGH WATER GROUNDWATER LEVEL AND THE BOTTOM OF PAVEMENT MUST BE MAINTAINED (I.E. MINIMUM 18" SEPARATION FOR LIMEROCK BASE).
\* AFTER CLEARING AND PROFFROLLING THE SITE SURFACE AS PREVIOUSLY RECOMMENDED, THE SUPERFICIAL SOILS SHOULD BE SUITABLE TO SUPPORT THE PAVEMENT STRUCTURE. THE SURFACE MATERIAL SHOULD BE COMPACTED TO A DRY DENSITY OF 98% OF THE MODIFIED PROCTOR (ASTM D-1557 OR AASHTO T-180) MAXIMUM DRY DENSITY OF THE COMPACTED SOIL TO A DEPARTMENTH OF ONE FOOT BELOW THE SURFACE.
\* THE SUBBASE MATERIAL TO A DEPTH OF EIGHT INCHES SHOULD HAVE A FLORIDA BEARING VALUE (FOOT FM F-517) GREATER THAN 50 AND IT SHOULD BE COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR (ASTM D-1557 OR AASHTO T-180) MAXIMUM DRY DENSITY.
\* THE BASE COURSE MAY BE EITHER CRUSHED LIMEROCK, OR COQUINA, WHICHEVER IS MORE ECONOMICAL. IT SHOULD HAVE A LIMEROCK BEARING RATIO (FDOT FM F-516) GREATER THAN 100. A BASE COURSE OF AT LEAST 8 INCHES THICK SHALL BE APPLIED UNDER HEAVY-DUTY PAVEMENT. THE 8 INCHES BASE COURSE SHOULD BE PLACED AND COMPACTED IN ONE LAYER. ALL BASE COURSE MATERIAL SHOULD BE COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY.
15. THE CONTRACTOR MUST OBTAIN A WATER USE PERMIT PRIOR TO CONSTRUCTION DEWATERING UNLESS THE WORK QUALIFIES FOR A GENERAL PERMIT PURSUANT TO SUBSECTION 49E-20.302(4), F.A.C.

**D. SOIL RECOMMENDATION AND REQUIREMENTS**

- 1. STRIPPING AND GRUBBING:
\* THE "FOOT PRINTS" OF THE PROPOSED BUILDING AND PAVED AREAS, PLUS A MINIMUM MARGIN OF FIVE FEET, SHOULD BE STRIPPED OF ALL SURFACE VEGETATION, STUMPS, DEBRIS, OR OTHER DELETERIOUS MATERIALS AS ENCOUNTERED TO AN APPROXIMATE DEPARTMENTH OF TWELVE INCHES (12"). DURING THE GRUBBING OPERATION, ROOTS WITH A DIAMETER GREATER THAN 1/2 INCH, OR SMALL ROOTS IN A DENSE STATE, SHOULD BE GRUBBED AND COMPLETELY REMOVED.
\* PROOF-ROLLING THE SURFACE IS RECOMMENDED TO LOCATE ANY UNFORESEEN SOFT AREAS OR UNSUITABLE SURFACE OR LOOSE TO LOOSE FINE SAND SOILS WITHIN THE TOP 3 TO 4 FEET, AND TO PREPARE THE EXISTING SURFACE FOR THE ADDITION OF THE FILL SOILS (AS REQUIRED). THE PROOF-ROLLING OF THE BUILDING AREAS SHOULD CONSIST OF AT LEAST 10 COVERAGES OF A SELF-PROPELLED VIBRATORY COMPACTOR CAPABLE OF DELIVERING A MINIMUM IMPACT FORCE OF 35,000 POUNDS PER DRUM TO THE SOILS. ONE COVERAGE CONSISTS OF PARALLEL PASSES OF THE VIBRATORY ROLLER TRAVELING AT "WALKING SPEED." EACH PASS SHOULD OVERLAP THE PRECEDING PASS BY 30 % TO INSURE COMPLETE COVERAGE. SUBSEQUENT COVERAGES SHOULD BE CONDUCTED IN A DIRECTION PERPENDICULAR TO THE PRECEDING COVERAGE. IN AREAS THAT CONTINUE TO "YIELD" REMOVE ALL DELETERIOUS MATERIAL AND REPLACE WITH A CLEAN, COMPACTED SAND BACKFILL. THE PROOF ROLLING SHOULD PRODUCE A DENSITY EQUIVALENT TO 98 % OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY VALUE FOR A DEPARTMENTH OF 3 FEET IN THE BUILDING AREAS. ADDITIONAL PASSES MAY BE REQUIRED IF THESE MINIMUM DENSITY REQUIREMENTS ARE ACHIEVED.
2. FILL REPLACEMENTS:
\* WHERE FILL IS TO BE GRADED ON NATURAL GROUND, THE SURFACE MUST FIRST BE PREPARED AS OUTLINED ABOVE. THE FILL AT GRADE SHOULD EXTEND A MINIMUM OF FIVE FEET (5') BEYOND THE STRUCTURE OUTLINE. FILL SHOULD BE A UNIFORM FINE DRAINING GRANULAR SOIL (CLEAN SAND) AND BE PLACED AND COMPACTED TO EXCEED 12 INCHES LOOSE MEASURE AND COMPACTED TO OBTAIN A MINIMUM COMPACTIVE EFFORT SHOULD BE APPLIED TO OBTAIN A MINIMUM OF 98 % OF THE MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180 (ASTM D-1557).
3. EXCAVATION AND BACKFILLING:
\* WHERE EXCAVATION AND BACKFILLING ARE REQUIRED, THE SOILS SHOULD BE REMOVED TO THE SPECIFIED DEPARTMENT. SUFFICIENT COMPACTIVE EFFORT MUST THEN BE APPLIED TO THE EXCAVATED SURFACE TO OBTAIN A MINIMUM OF 98 % OF THE MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180 (ASTM D-1557).
\* BACKFILL SHALL BE UNIFORM FINE DRAINING GRANULAR SOIL (CLEAN SAND) AND BE PLACED IN LAYERS NOT TO EXCEED 15 INCHES LOOSE MEASURE. SUFFICIENT COMPACTIVE EFFORT SHOULD BE APPLIED TO EACH LAYER TO OBTAIN A MINIMUM OF 98 % OF THE MAXIMUM DRY DENSITY FOR THE ENTIRE DEPARTMENTH OF THE FILL AS DETERMINED BY AASHTO T-180 (ASTM D-1557). THE EXCAVATED SURFACE AND EACH LAYER OF BACKFILL SHOULD BE COMPACTED WITH A SELF-PROPELLED STEEL DRUM VIBRATORY ROLLER HAVING A MINIMUM TOTAL APPLIED FORCE OF 10 TONS.
4. FOOTING EXCAVATION:
\* SEE SOILS LABORATORY RECOMMENDATIONS.
5. GROUNDWATER:
\* HEAVY RAINFALL AND/OR A HIGH WATER TABLE MAY OCCUR BEFORE THE EARTHWORK COMMENCES, OR DURING THE EARTHWORK OPERATION. WHEN THESE CONDITIONS OCCUR AND THE SITE PREPARATION CANNOT BE ACHIEVED AS SPECIFIED, AN EXCAVATION OF THE EXISTING CONDITIONS SHOULD BE CONDUCTED AND THE SPECIFICATIONS REVISED ACCORDINGLY.
6. WHERE VIBRATORY EQUIPMENT MAY AFFECT ADJACENT STRUCTURES:
\* WHERE THERE IS EXISTING STRUCTURES ADJACENT TO THE SITE THAT MAY BE AFFECTED BY THE SELF-PROPELLED STEEL DRUM VIBRATORY EQUIPMENT, IDENTIFICATION MUST BE PERFORMED USING EQUIPMENT THAT WILL SATISFY THE REQUIRED DENSIFICATION WITHOUT THE RISK OF DAMAGE TO THE EXISTING STRUCTURES.
\* LOADER AND HEAVY PLATE COMPACTORS ARE TWO TYPES OF EQUIPMENT THAT HAVE BEEN USED SUCCESSFULLY. DENSIFICATION PROCEDURES MUST COMPLY WITH THE CAPABILITY OF THE EQUIPMENT EMPLOYED.
7. ALTERNATIVE TO SELF-PROPELLED STEEL DRUM VIBRATORY EQUIPMENT:
\* WHEN SELF-PROPELLED STEEL DRUM VIBRATORY EQUIPMENT CANNOT BE USED AS SPECIFIED, VIBRATORY PLATE COMPACTORS MAY BE USED. WHEN THIS CONDITION OCCURS, THE OVERALL DENSIFICATION PROCEDURE MUST BE REVISED TO COMPLY WITH THE CAPABILITY OF THE EQUIPMENT EMPLOYED. IN GENERAL, SMALL PLATE COMPACTORS WILL BE EFFECTIVE TO A MAXIMUM DEPARTMENTH OF 6 TO 8 INCHES.
8. PAVING AREAS SUITABLE FILL MATERIAL AND THE COMPACTION OF FILL SOILS:
\* ALL FILL MATERIAL SHOULD BE FREE OF ORGANIC MATERIALS, SUCH AS ROOTS AND VEGETATION AS A GENERAL GUIDE TO AID THE CONTRACTOR. USE FILLINGS WITH 3% TO 12% BY DRY WEIGHT OF MATERIAL PASSING THE U.S. STANDARDS NO. 200 SIEVE SIZE. WITH PROPER MOISTURE CONTROL, THESE SOILS SHOULD DENSIFY USING VIBRATORY COMPACTION METHODS. SOILS WITH MORE THAN 12 % PASSING THE NO. 200 SIEVE WILL BE MORE DIFFICULT TO COMPACT.
\* ALL STRUCTURAL FILL SHOULD BE PLACED IN LEVEL LIFTS NOT TO EXCEED 12 INCHES IN UNCOMPACTED THICKNESS. EACH LIFT SHOULD BE COMPACTED BY A SELF-PROPELLED VIBRATORY COMPACTOR TO AT LEAST 98% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY VALUE. THE FILLING AND COMPACTION OPERATIONS SHOULD CONTINUE IN LIFTS UNTIL THE DESIRED ELEVATION(S) IS ACHIEVED. IF HAND-HELD COMPACTION EQUIPMENT IS USED, REDUCE THE LIFT THICKNESS TO 6 INCHES.
9. ALL IMPORTED FILL SHALL HAVE RADIUM 226 CONTENT LESS THAN 1.0 PCI PER GRAM.

**MANHOLES**

- 1. MANHOLES SHALL BE SET ACCORDING TO CONSTRUCTION PLANS AND SHALL BE PRECAST IN ACCORDANCE WITH APPROVED SHOP DRAWINGS. THE MANHOLE INVERT SHALL BE CAREFULLY SLOPED TO CONFORM TO THE PIPE FLOW CHANNEL. FLOW CHANNELS WITHIN THE MANHOLES DURING THE INVOLVING CHANGES OF FLOW OR SIDE DROPS SHALL SMOOTHLY DIRECT THE FLOW IN ACCORDANCE WITH DETAIL DRAWINGS. ALL CONCRETE IRREGULARITIES SHALL BE PLASTERED WITH CEMENT MORTAR IN SUCH A MANNER TO PROVIDE NEAT AND WATER TIGHT PERFORMANCE.
2. MANHOLE RIM ELEVATION SHALL BE SET AT 0.25 FEET ABOVE FINISHED GRADE IN UNPAVED AREAS AND FLUSH WITH PAVEMENT IN PAVED AREAS. WHEN CONFLICTS EXISTS BETWEEN ELEVATIONS ON PLANS AND THE FIELD CONDITIONS, THE CONTRACTOR IS TO NOTIFY THE LOCAL UTILITY COMPANY.
3. MANHOLES SHALL BE CORE-DRILLED TO PROVIDE PIPE OPENINGS WHEN PRECAST HOLES ARE NOT AVAILABLE.
RAM-NEK OR EQUIVALENT SHALL BE USED AT ALL RISER JOINTS. ALL CONNECTIONS OF PVC SEWER PIPE TO MANHOLES SHALL BE MADE WITH ASBESTOS-CEMENT MANHOLE COUPLINGS OR PRECAST RUBBER BOOT (SHOP DRAWINGS REQUIRED).

**SHPO NOTES**

- 1. SITE LINES DIGITIZED FROM REFERENCE DRAWING PROVIDED BY SHPO.
2. A QUALIFIED PROFESSIONAL ARCHAEOLOGIST IS TO BE PRESENT ON SITE TO MONITOR ALL GROUND-DISTURBING ACTIVITIES THAT TAKE PLACE IN THE PROJECT AREA WITHIN 50 FT. OF SITE A (8SL3268), SITE B (8SL3270) AND SITE C. ONCE THE PROJECT IS COMPLETE, THE MONITOR WILL SUBMIT THE APPROPRIATE MONITORING FORMS TO THE FLORIDA DIVISION OF HISTORICAL RESOURCES.
3. IN THE EVENT THAT UNMARKED HUMAN REMAINS ARE ENCOUNTERED DURING PERMITTED ACTIVITIES, ALL WORK SHALL STOP IMMEDIATELY AND THE PROPER AUTHORITIES WILL BE NOTIFIED IN ACCORDANCE WITH SECTION 972.05, FLORIDA STATUTES.
4. PROTECTIVE PADDING IS TO BE ADDED TO THE GROUND IN AREAS AROUND SITE B (8SL3270) AND SITE C TO MINIMIZE DAMAGE FROM EQUIPMENT STAGING AND OPERATION.
5. MINIMAL ACTIVITY WILL OCCUR WITHIN OR ADJACENT TO SITE B (8SL3270) AND SITE C TO MINIMIZE DAMAGE FROM EQUIPMENT STAGING AND OPERATION.
6. ALL ACTIVITY SHOULD BE AVOIDED WITHIN OR ADJACENT TO SITE A (8SL3269).

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DATE: 04/02/2022 DRAWN BY: ECT DESIGNED BY: HLT CHECKED BY: HLT PROJECT NO.: 19183 HORIZ. SCALE: N/A VERT. SCALE: N/A CADD FILE: GENERAL NOTES

REVISIONS table with columns NO., DATE, BY, and description of revisions.

SCALE VERIFICATION 1 SOLID BAR IS EQUAL TO ONE INCH ON ORIGINAL DRAWING. ADJUST ALL SCALED ACCORDINGLY.

GENERAL NOTES GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS CITY OF FORT PIERCE, FLORIDA

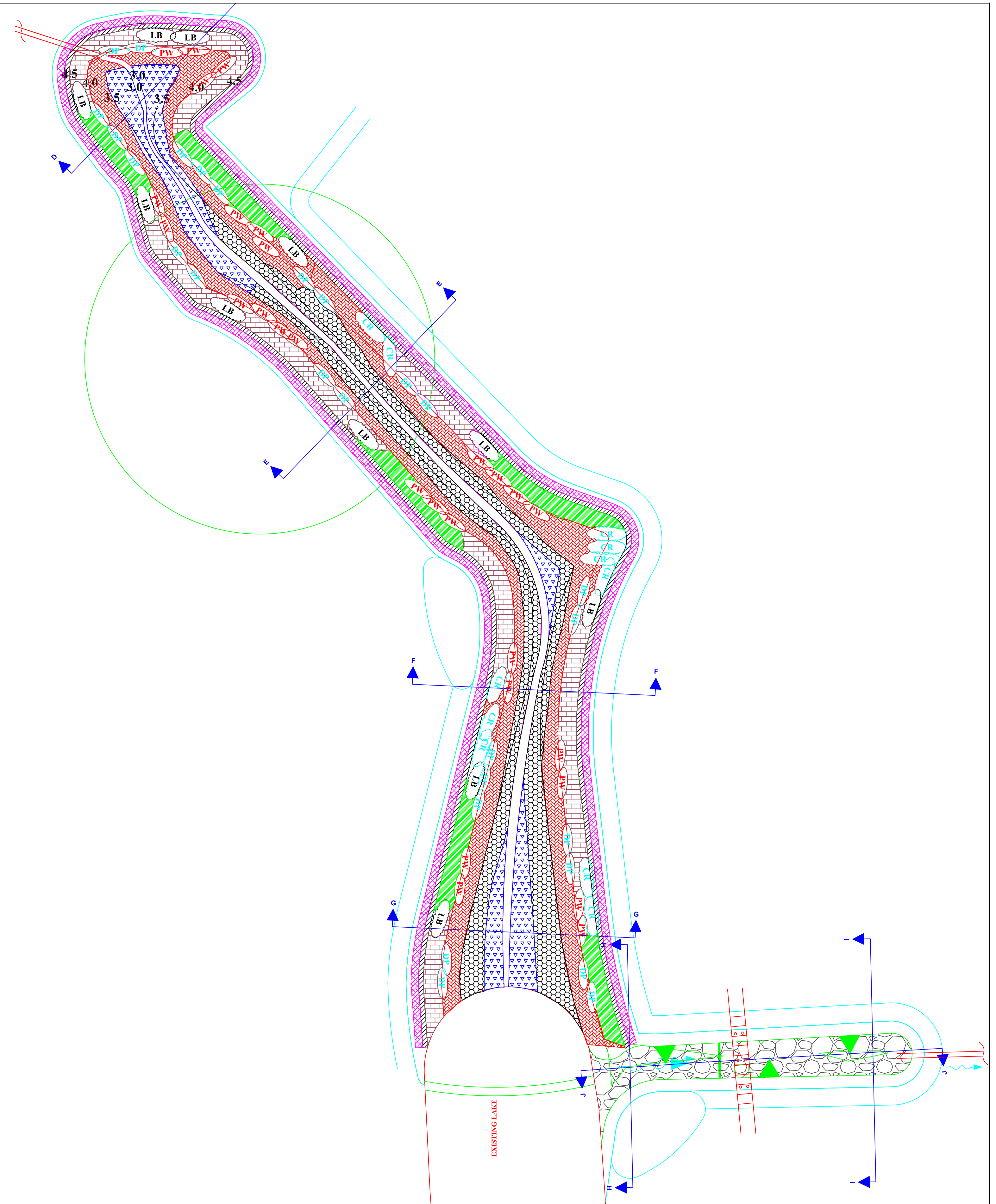
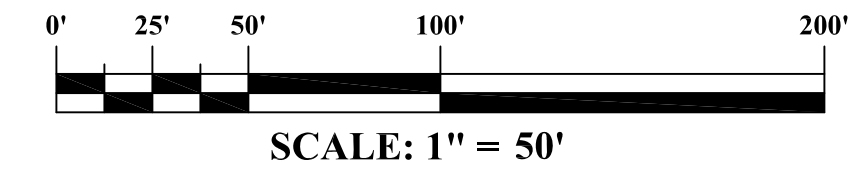
ENVIRONMENTAL HOBE SOUND ENVIRONMENTAL CONSULTANTS, INC. 9512 SE DUNCAN STREET HOBE SOUND, FL 33455 772-545-3676

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Printed Date: JOB No.: 19183 SHEET 10 OF 10

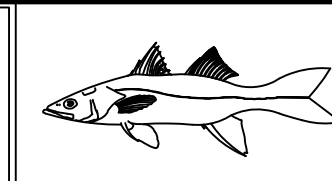
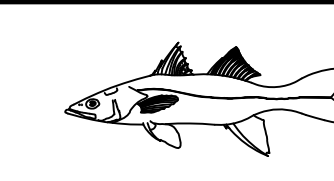
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### TYPICAL PLANTS

COMMON NAME	SCIENTIFIC NAME	DENSITY	SIZE	UNITS
CRINUM LILY	<i>Crinum americana</i>	2'O.C.	BR	720
DUCK POTATO	<i>Sagittaria latifolia</i>	2 O.C.	BR	1755
FAKAHATCHEE GRASS	<i>Tripsacum dactyloides</i>	2' O.C.	BR	3300
FIRE FLAG	<i>Thalia geniculata</i>	3'O.C.	BR	871
JOINTED SPIKERUSH	<i>Eleocharis interstincta</i>	3' O.C.	BR	2180
LEMON BACOPA	<i>Bacopa caroliniana</i>	2' O.C.	BR	830
MAIDENCANE	<i>Panicum hemitomon</i>	2' O.C.	BR	1065
MUHLY GRASS	<i>Muhlenbergia capillaris</i>	2" O.C.	BR	1850
PICKERELWEED	<i>Pontederia cordata</i>	2' O.C.	BR	1755
SAND CORDGRASS	<i>Spartina bakeri</i>	2' O.C.	BR	2200
SOUTHERN BULRUSH	<i>Schoenoplectus californicus</i>	2' O.C.	BR	1940

LATITUDE: 27°26'09.56"	DATE: 27 OCTOBER 2021	SCALE: 1" = 50'	HSE JOB NO.: 21-021.02	SEC.	TWP.	R.	CITY FORT PIERCE
LONGITUDE: 80°19'22.203"	DRAWN BY: RLW	CHECKED BY: FRP	APPROVED BY: RLW	15	35S	40E	STATE: FLORIDA



NOT A SURVEY:

## TURBIDITY CONTROL

**SPECIFICATIONS**

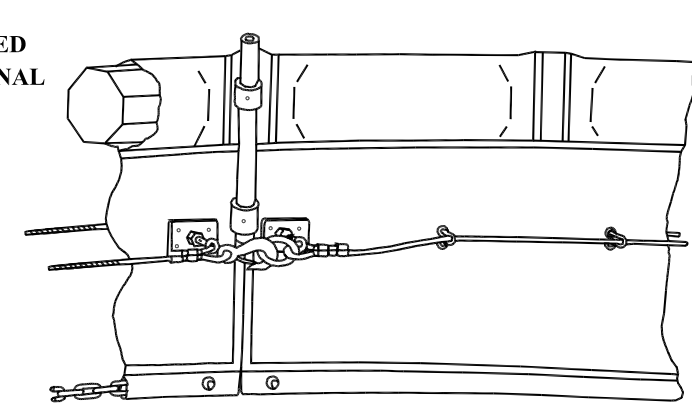
**FABRIC:** HIGH STRENGTH NYLON REINFORCED VINYL, HIGH VISIBILITY YELLOW, 22 OZ. AD. WEIGHT.

**CONNECTOR:** SNAP HOOKS AND RINGS CONNECT LOAD LINES WITH SLOTTED REINFORCED PVC PIPE FOR FABRIC CLOSURE. OPTIONAL EXTRUDED ALUMINUM CONNECTORS.

**FLOTATION:** 12" EXPANDED POLYSTYRENE OVER 29 LBS/FT BUOYANCY.

**BALLAST:** 5/16" GALVANIZED CHAIN (1.1 LBS/FT.)

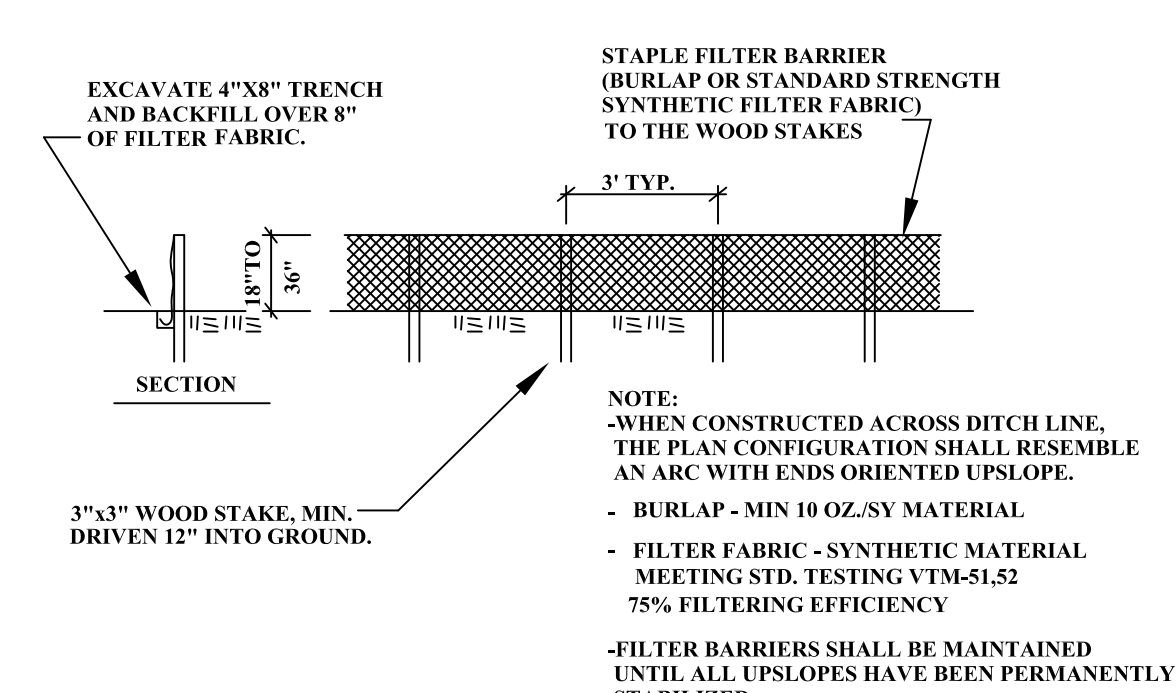
**LOAD LINES:** DUAL 5/16" GALVANIZED WIRE ROPES WITH HEAVY VINYL COATING.



TURBIDITY CURTAIN

TURBIDITY CURTAINS ARE TO REMAIN IN PLACE FOR A PERIOD OF TIME NOT LESS THAN SEVEN (7) DAYS AFTER WORK HAS BEEN COMPLETED AND TURBIDITY LEVELS ARE EQUAL TO OR BELOW BACKGROUND N.T.U. LEVELS.

## TURBIDITY FILTER BARRIER



**SECTION**

EXCAVATE 4"x8" TRENCH AND BACKFILL OVER 8" OF FILTER FABRIC.

3" TYP.

3"x3" WOOD STAKE, MIN. DRIVEN 12" INTO GROUND.

STAPLE FILTER BARRIER (BURLAP OR STANDARD STRENGTH SYNTHETIC FILTER FABRIC) TO THE WOOD STAKES.

**NOTE:**

- WHEN CONSTRUCTED ACROSS DITCH LINE, THE PLAN CONFIGURATION SHALL RESEMBLE AN ARC WITH ENDS ORIENTED UPSLOPE.
- BURLAP - MIN 10 OZ./SY MATERIAL.
- FILTER FABRIC - SYNTHETIC MATERIAL MEETING STD. TESTING VTM-51.52 75% FILTERING EFFICIENCY
- FILTER BARRIERS SHALL BE MAINTAINED UNTIL ALL UPSLOPES HAVE BEEN PERMANENTLY STABILIZED.

**FILTER BARRIER**

- FILTER BARRIERS SHALL BE CONSTRUCTED AT THE FOLLOWING LOCATIONS TO INTERCEPT AND DETAIN SEDIMENT FROM DISTURBED AREAS DURING CONSTRUCTION OPERATIONS FROM ENTERING EXISTING WETLANDS, DITCHES, OR RECEIVING WATERS.
  - AT THE PERIMETER OF ALL EXISTING WETLANDS THAT ARE BELOW DISTURBED AREAS WHERE EROSION COULD OCCUR DURING CONSTRUCTION OPERATIONS, AND AT THE LIMITS OF FILL OF EXISTING WETLANDS.
  - AT THE PERIMETER OF ALL INLETS IMMEDIATELY FOLLOWING THE INSTALLATION AND BACKFILLING OF EACH INLET.
  - AT ALL EXISTING DITCHES THAT TRAVERSE THE PROJECT SITE, A FILTER BARRIER SHALL BE CONSTRUCTED AT THE DOWNSTREAM PROPERTY LINE.
  - AT ALL OTHER LOCATIONS DEPICTED ON THE PLANS OR AS REQUESTED IN THE FIELD BY THE PROJECT ENGINEER.
- FLOATING SILT BARRIERS SHALL BE INSTALLED AROUND THE POINT OF DISCHARGE OF THE PROJECT STORMWATER RUN-OFF IN THE INDIAN RIVER. THE BARRIERS SHALL BE REGULARLY CHECKED AND MAINTAINED TO ENSURE ADEQUATE FUNCTION UNTIL ALL PAVEMENT SURFACES ARE COMPLETE AND ALL SWALED AREAS HAVE GRASS COVER.
- SOD ALL AREAS IN LIEU OF SEED AND MULCH THAT ARE PRONE TO CAUSE EXCESSIVE EROSION OF SEDIMENT, INCLUDING AREAS ADJACENT TO CULVERT ENDS, DISCHARGE STRUCTURES, FLUMES, ETC.

NOT TO SCALE

## GENERAL NOTES

- PLANTS NATIVE TO FLORIDA MAY BE SUBSTITUTED FOR THOSE LISTED, ACCORDING TO AVAILABILITY AND SIZE, WITH THE WRITTEN AUTHORIZATION OF THE AGENCIES AND THE ENVIRONMENTAL CONSULTANT.
- LOCATION OF PLANTS MAY BE FIELD ADJUSTED IN ORDER TO PROVIDE THE BEST GROWING CONDITIONS.
- PLANT MATERIAL SHALL BE INSPECTED BY THE ENVIRONMENTAL CONSULTANT PRIOR TO INSTALLATION.
- ALL PLANTS SHALL BE INSTALLED IN HEALTHY AND VIGOROUS CONDITION, AND SHALL BE FREE OF WEEDS, DISEASE, AND INSECT PESTS, EGGS OR LARVAE.
- CONTRACTOR IS RESPONSIBLE FOR THE PROPER WATERING AND FERTILIZATION OF THE INSTALLED PLANTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR.
- ROOT BOUND CONTAINER PLANTS WILL NOT BE ACCEPTED.

## GENERAL NOTES

### DEFINITION OF IMPROVED SOIL

IMPROVED SOIL IS DEFINED AS A TOPSOIL MIXTURE COMPRISED OF PEAT AND SAND OR MUCK WITH AN ORGANIC MATTER CONTENT OF FIFTY PERCENT BY VOLUME. OPTIONAL METHODOLOGY: FIVE TO FOURTEEN PERCENT ORGANIC CONTENT BY VOLUME AFTER SIEVED THROUGH A NUMBER TEN SIEVE.

THE IMPROVED SOIL SHALL BE SUITABLE FOR AND CAPABLE OF SUPPORTING WETLAND VEGETATION AND SHALL BE FREE OF EXOTIC OR INVASIVE PLANT SEED SOURCES. ALL IMPROVED SOIL MUST BE APPROVED BY THE PROJECT ENGINEER BEFORE PLACEMENT IN MITIGATION AREAS.

### GRADE STANDARDS AND QUALITY

QUALITY OF ALL PLANTS SHALL BE AT LEAST EQUAL TO THAT OUTLINED AS NO. 1 IN GRADES AND STANDARDS FOR NURSERY PLANTS, PART 1, 1963, REVISED EDITION AND PART 1, PALMS AND TREES, BY THE STATE PLANT BOARD OF FLORIDA.

ALL PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS, AND SHALL BE FREE OF DISEASES AND INSECT PESTS, EGGS, OR LARVAE. ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED HEREIN OR INDICATED ON THE CONTRACT DRAWINGS.

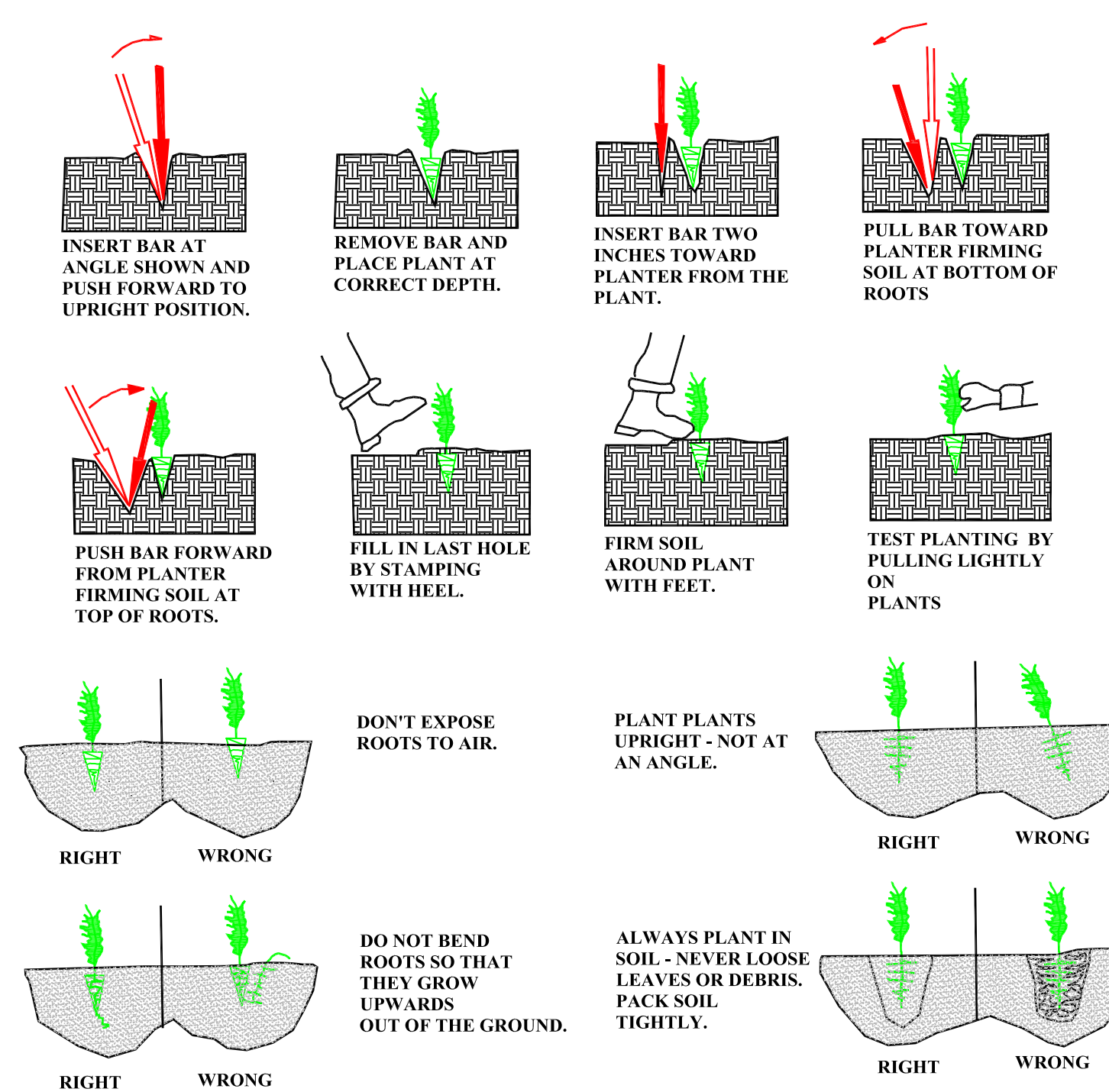
### TRANSPORTATION AND INSPECTION

PLANT TRANSPORTATION SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS, THEREFORE, AND UPON DELIVERY AT THE SITE, ALL PLANTS SHALL BE INSPECTED BY THE PROJECTS ENVIRONMENTAL CONSULTANT FOR CONFORMITY TO SPECIFICATIONS AND FOR HANDLING DAMAGE. THE CONTRACTOR SHALL PROVIDE THE ENVIRONMENTAL CONSULTANT WITH A 24-HOUR NOTICE BEFORE ANY REQUESTED INSPECTION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE BY THE CONTRACTOR.

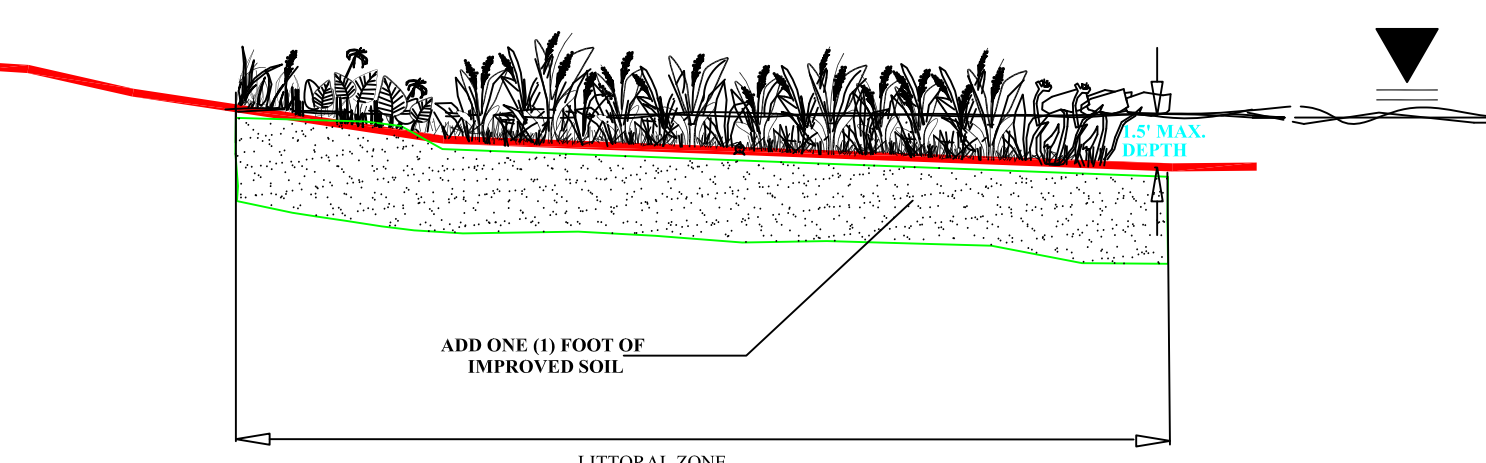
TREES THAT HAVE TO BE TRANSPORTED MORE THAN ONE (1) MILE TO REACH THE PROJECT SITE SHALL BE TREATED WITH "WILT PRUF" AND COVERED WITH A 70% SHADE-CLOTH-TARP OR EQUIVALENT TO PREVENT WIND BURN.

## TYPICAL PLANTS

COMMON NAME	SCIENTIFIC NAME	DENSITY	SIZE	UNITS
CRINUM LILY	<i>Crinum americana</i>	2'O.C.	BR	720
DUCK POTATO	<i>Sagittaria latifolia</i>	2 O.C.	BR	1755
FAKAHATCHEE GRASS	<i>Tripsacum dactyloides</i>	2' O.C.	BR	3300
FIRE FLAG	<i>Thalia geniculata</i>	3'O.C.	BR	871
JOINTED SPIKERUSH	<i>Eleocharis interstincta</i>	3' O.C.	BR	2180
LEMON BACOPA	<i>Bacopa caroliniana</i>	2' O.C.	BR	830
MAIDENCANE	<i>Panicum hemitomon</i>	2' O.C.	BR	1065
MUHLY GRASS	<i>Muhlenbergia capillaris</i>	2" O.C.	BR	1850
PICKERELWEED	<i>Pontederia cordata</i>	2' O.C.	BR	1755
SAND CORDGRASS	<i>Spartina bakeri</i>	2' O.C.	BR	2200
SOUTHERN BULRUSH	<i>Schoenoplectus californicus</i>	2' O.C.	BR	1940



**PLANTING BARE ROOT PLANTS**



LITTORAL ZONE (VARIES)

ADD ONE (1) FOOT OF IMPROVED SOIL

## GENERAL NOTES

- ALL EXOTIC AND NUISANCE VEGETATION (ACCORDING TO FLORIDA EXOTIC PEST PLANT COUNCIL'S CATEGORY I INVASIVE EXOTIC SPECIES ) MUST BE ERADICATED FROM THE SITE PRIOR TO PLANTING.
- THIS SHALL BE ACCOMPLISHED IN THE LEAST ENVIRONMENTALLY DAMAGING METHOD POSSIBLE, AS THERE ARE NATIVE TREES AND HERBACEOUS PLANTS THAT WILL REMAIN ON-SITE.
- EXOTIC AND NUISANCE VEGETATION SHOULD BE CUT WITH A WEED EATER, TAKING CARE TO ENSURE THAT EXISTING TREES ARE NOT DAMAGED.
- TWO TO THREE WEEKS LATER, EXOTIC AND NUISANCE VEGETATION SHALL BE TREATED WITH AN APPROVED HERBICIDE ACCORDING TO THE FLORIDA DEPARTMENT OF AGRICULTURE AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS.
- FOLLOWING ERADICATION, THE DEAD MATERIAL SHALL BE REMOVED BY RAKING WITH A BOBCAT OR OTHER EQUIVALENT SMALL EQUIPMENT. IN AREAS THAT ARE DOMINATED BY NATIVE VEGETATION, ALL REMOVAL WILL BE DONE BY HAND.

SOURCE: HSE AND CAPTEC ENGINEERING, INC.

**City Commission Regular Meeting - 6:00 pm**

**12. a.**

**Meeting Date:** 08/01/2022

**Re:** Coral Sands PD - Rezoning

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**SUBJECT:**

Legislative Hearing - Ordinance 22-018: An Ordinance by the City Commission of the City of Fort Pierce, Florida; Rezoning the property generally located at or near 511 South Ocean Drive, from Hutchinson Island Medium Density Residential Zone (R4-A) to Planned Development (PD); providing for a severability clause; providing for repeal of ordinances or parts thereof in conflict herewith; and providing for an effective date. Subject Property: Parcel ID: 2401-502-0026-000-6. SECOND READING

**SUMMARY:**

In accordance with Sections 125-37, 125-133, and 125-136 of the City Code and Chapter 163.3184, F.S., the applicant is requesting the review and approval of a Zoning Atlas Map Amendment (Rezoning) from R-4A, Hutchinson Island Medium Density Residential Zone to PD, Planned Development. Lastly, in accordance with Chapter 121 of the City Code, the applicant plans to submit a Preliminary and Final Plat in the future for the approximately 1.7 acres of land. The applicant intends to develop a residential subdivision known as Coral Sands, that will have 12 platted lots consisting of single-family attached and detached homes.

**RECOMMENDATION:**

The requested Application for a Zoning Atlas Map Amendment and associated Development Plan meets the criteria specified in 125-212 and 126-136 of the City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience, and general welfare; Therefore, Staff recommends **APPROVAL** to the City Commission.

**ALTERNATIVES:**

- Approval with Conditions
- Disapproval

**RESPONSIBLE STAFF:**

Vennis Gilmore, Senior Planner

**COORDINATED WITH:**

Technical Review Committee

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**Fiscal Impact**

**OTHER INFORMATION:**

Potential increase in Tax Revenue

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## Attachments

Ordinance 22-018

Staff Presentation

Staff Report and Supporting Documents

Application and Supporting Documents

Public Notice Certification & Affidavit of Mailing

Applicant Presentation

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## Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	07/13/2022 09:47 AM
Form Started By: Vennis Gilmore		Started On: 07/06/2022 05:32 PM
Final Approval Date: 07/19/2022		

**ORDINANCE NO. 22-018**

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA; **REZONING** THE PROPERTY GENERALLY LOCATED AT OR NEAR **511 SOUTH OCEAN DRIVE**, FROM HUTCHINSON ISLAND MEDIUM DENSITY RESIDENTIAL ZONE (R4-A) TO PLANNED DEVELOPMENT (PD); PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the subject property is generally located at or near 511 South Ocean Drive within the City of Fort Pierce, Florida, representing approximately 1.616 acres of land; and

**WHEREAS**, Culpepper & Terpening, Inc., has applied for rezoning of the subject property generally located at or near 511 South Ocean Drive from Hutchinson Island Medium Density Zone, R-4A to Planned Development, PD; and

**WHEREAS**, the proposed zoning atlas map amendment (rezoning) is consistent with the comprehensive plan, will not have an adverse effect on the ability of the city to satisfy land and water use needs and will meet transportation demands and provide community facilities and services, and will promote and protect the public health, safety and general welfare as required by City Code 125-136; and

**WHEREAS**, the City of Fort Pierce Planning Board, at their June 13, 2022, meeting, voted to recommend approval of the request; and

**NOW, THEREFORE BE IT ORDAINED** by the City Commission of the City of Fort Pierce, Florida as follows:

**SECTION 1.** From and after the effective date hereof, the following described property is hereby rezoned as follows:

Parcel ID: 2401-502-0026-000-6

From and after the effective date hereof, the following property legally described as:

Lots 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 and 12, Block 4, Revised Plat of Palm Haven Subdivision, according to the map or plat thereof, as recorded in Plat Book 8, Page(s) 44, of the Public Records of St. Lucie County, Florida.

Containing 1.616 acres, more or less

Said property being generally located at or near 511 South Ocean Drive in Fort Pierce, Florida shall be and the Zoning Designation is hereby changed from Hutchinson Island Medium Density Residential Zone, R-4A to Planned Development, PD, as depicted on Exhibit "A" and Exhibit "B," attached hereto and incorporated herein.

**SECTION 2.** The provisions of this Ordinance are declared to be severable and if any section, sentence, clause, or phrase of this Ordinance shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Ordinance but shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

**SECTION 3.** The Site Plan is depicted on Exhibit "C" is hereby approved with this

Ordinance.

**SECTION 4.** All ordinances or parts thereof that may be determined to be in conflict herewith are hereby repealed.

**SECTION 5.** This Ordinance shall be and become effective immediately upon final passage.

APPROVED AS TO FORM & CORRECTNESS:

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Tanya M. Earley  
City Attorney

STATE OF FLORIDA  
COUNTY OF ST. LUCIE

**WE, THE UNDERSIGNED**, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No. 22-018 was duly advertised by title only in the St. Lucie News Tribune on Sunday, July 3rd, 2022; copy of said Ordinance was made available at the office of the City Clerk to the public upon request; said Ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on July 18th, 2022; and was duly introduced, read by title only, and passed on second and final reading August 1st, 2022, by the City Commission of the City of Fort Pierce, Florida.

**IN WITNESS HEREWITH**, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this 2<sup>nd</sup> day of August 2022.

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Linda Hudson  
Mayor Commissioner

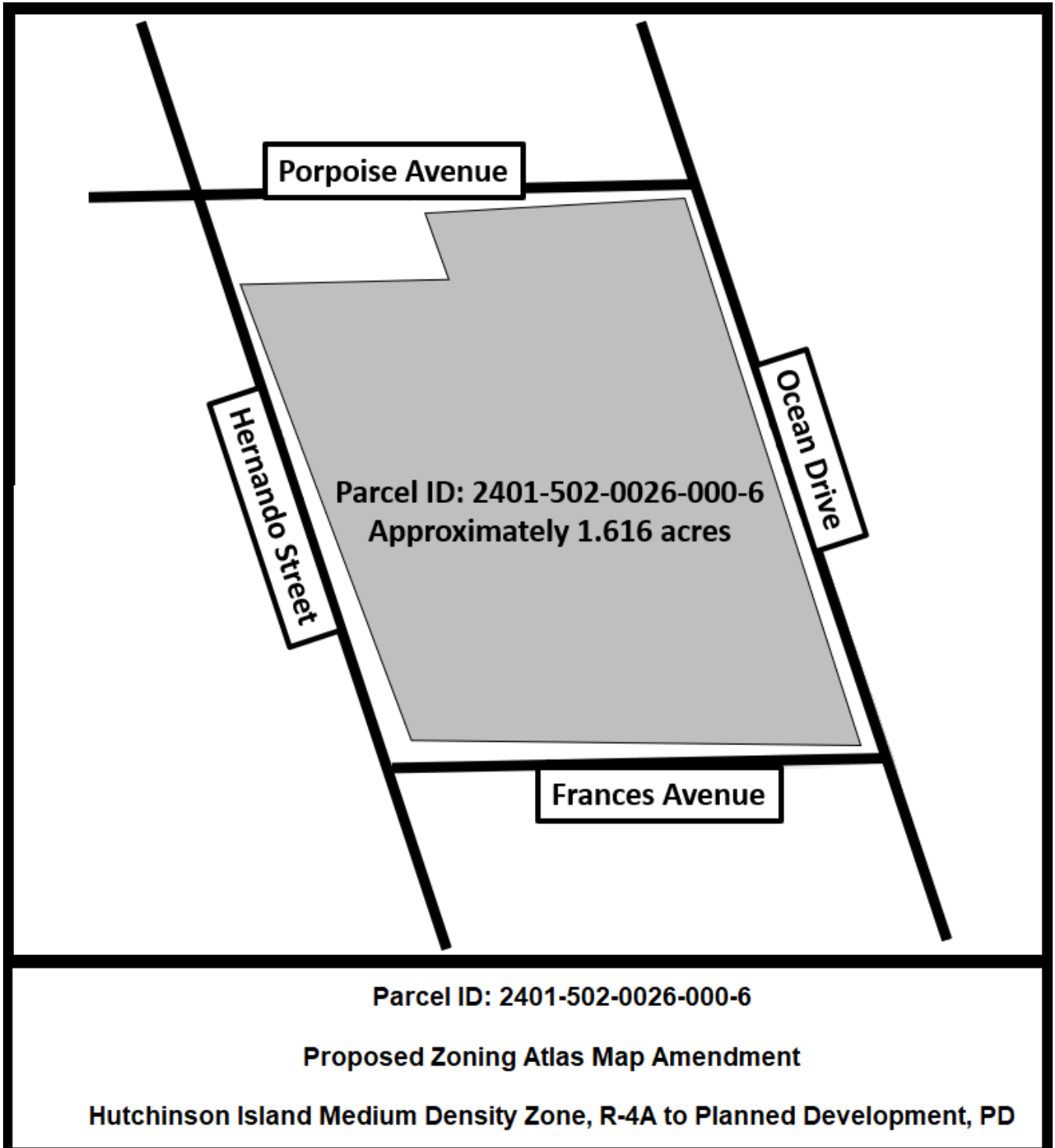
ATTEST:

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Linda W. Cox  
City Clerk

(CITY SEAL)

**EXHIBIT A**  
Proposed Zoning Atlas Map Amendment  
Hutchinson Island Medium Density Zone, R-4A to Planned Development, PD





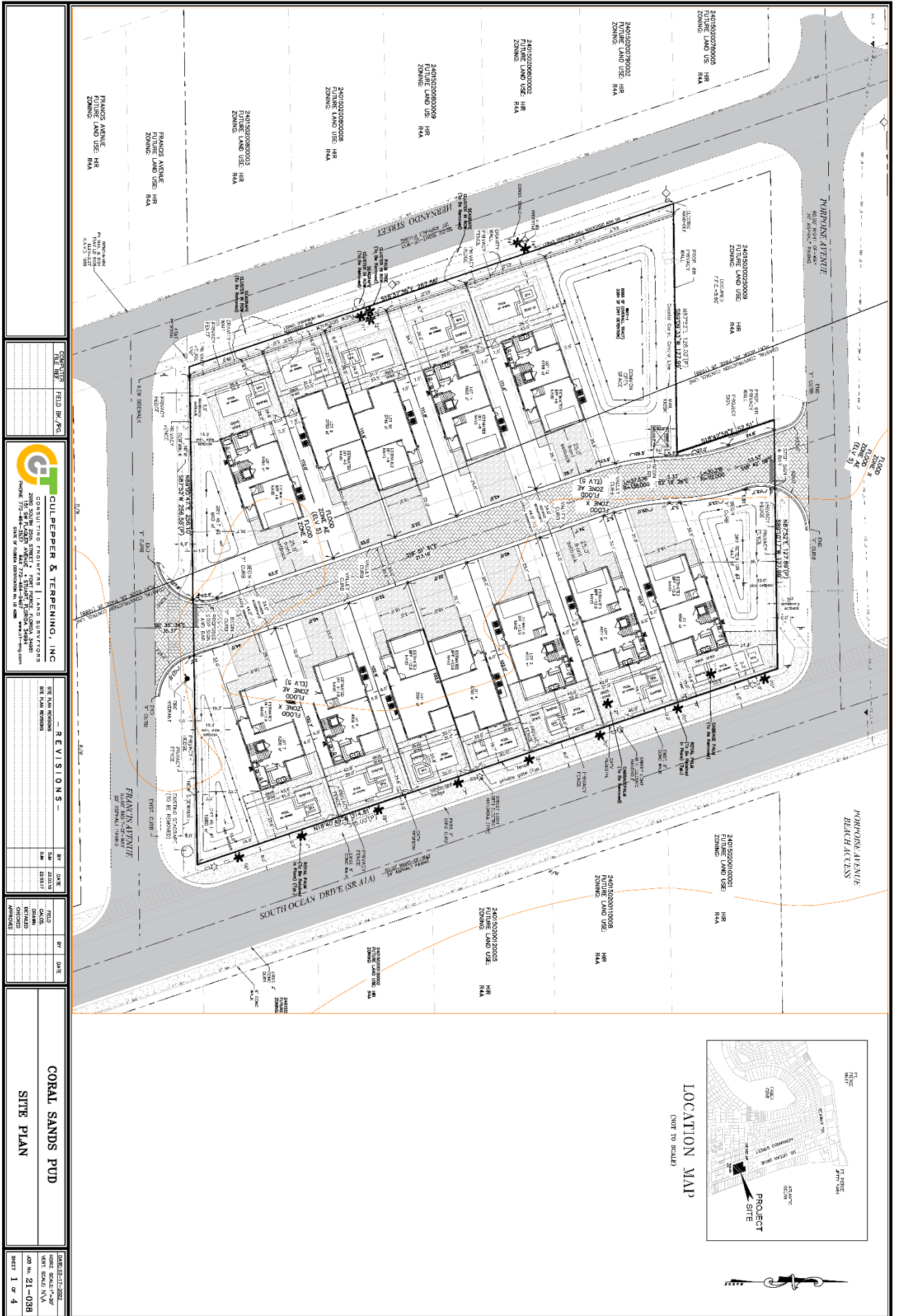
From and after the effective date hereof, the following properties legally described as:

Parcel ID: 2401-502-0026-000-6

Lots 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 and 12, Block 4, Revised Plat of Palm Haven Subdivision, according to the map or plat thereof, as recorded in Plat Book 8, Page(s) 44, of the Public Records of St. Lucie County, Florida.

Containing 1.616 acres, more or less.

Exhibit C  
Site Plan

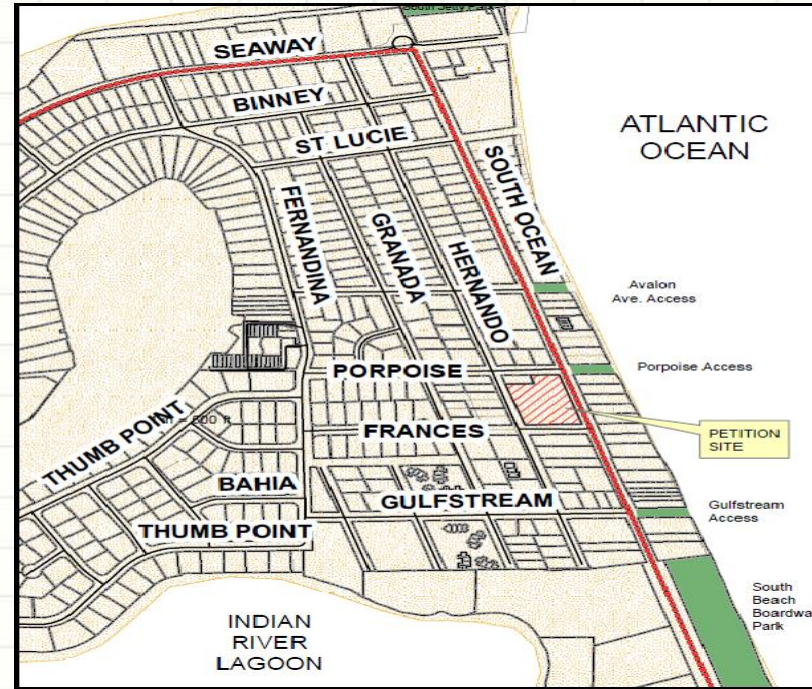


PD/ with underlying R-4 Zoning District	REQUIRED BY CODE	PROVIDED	DEVIATION
<b>CODE SECTION 125-212 PD REGULATIONS</b>			
<b>Comprehensive Plan Consistency</b>	Any residential, commercial, industrial, or public land uses and structures are permitted in this district, provided the proposed development is shown to be consistent with the goals, objectives and policies of the comprehensive plan, and consistent with the future land use element, and the standards and criteria contained in the following sections, unless a corresponding amendment to the comprehensive plan is also adopted	See PD Planning Document / Application	
<b>Perimeter Setbacks</b>	Setbacks at the perimeter of the development shall be equal to those of the abutting zoning district. (R-4A) except where city commission finds that alternate perimeter setbacks would be appropriate.	The Coral Sands community has been designed as an 'urban infill subdivision' consistent with other residential development uses in the South Beach Area. The community has been designed with the use of an internal, paver brick surfaced, alleyway that provides for driveway and unit access that does not directly impact the adjacent perimeter streets. Yard and perimeter setbacks are consistent with the R4A zoning district for single family and two-family attached homes. Any specific variation between the base R4A lot setback standards and those prosed as part of the Coral Cove PUD will be addressed below.	None
<b>Density</b>	Residential density in the South Beach Overlay District, in which the proposed coral sands development is located, shall not exceed eight (8) units per acre.	7.4 units/acre	- .6 du/ac
<b>Open Space</b>	Minimum of 20% of gross site area	Each homesite will provide a minimum of 700 square feet of active (private) recreation area, and a minimum of 1,100 sq feet landscape open space area (individual lot area). Common open space areas are found in the sites dry retention areas. Total open space area (common and private) within the community is approximately 30,000 square feet (43% of project site)	Overall 'Common Open Space' as defined by Code, equals 44% of the required code minimum. The remaining 56% is provided through a combination of individual homesite areas reserved for open space and active recreation areas, which total approximately 20,500 sq feet of project site area.
<b>Lot Size (area):</b>			
Single Family dwelling	5,000 SF	4,100 SF (min.) (This is smallest lot area. Many lots are larger.)	- 900 sf
2 family attached	5,000 SF	3,200 SF (min.)	- 1,800 sf
<b>Lot Width:</b>			

PD/ with underlying R-4 Zoning District	REQUIRED BY CODE	PROVIDED	DEVIATION
Single Family dwelling	60 feet	40 ft (min)	Maximum deviation is 20 feet. Individual variations will depend on specific lot location.
2 family attached	60 ft (per structure (30 ft per unit))	32 ft (min)	+2 over minimum
<b>Lot Depth:</b>			
Single Family dwelling	70 ft	100 ft (min.)	n/a
2 family attached	90 ft	100 ft (min.)	n/a
<b>Lot Coverage</b>			
Single Family dwelling	50% lot	21% to 34% (varies by individual lot type)	(varies by individual lot type)
2 family attached	50% lot	43% to 48% (varies by individual lot type)	(varies by individual lot type)
<b>Yards (Minimum):</b>			
<b>Single Family dwelling</b>			
Front Yard	25 ft	25 ft	n/a
Side Yard	6 ft	6 ft (min)	n/a
Side Yard Cnr	15 ft	15 ft (min)	n/a
Rear Yard (Accessory)	15ft/5ft (Sec 125.194(2)(G))	3 ft (pool decks)/ 5 ft (pools)	n/a
Unit Separation (Sec 125.194(2)(H))	n/a	n/a	n/a
Street Frontage (Minimum)	60 ft	Varies (min 40 ft)	Maximum deviation is 20 feet. Individual variations will depend on specific lot location.
<b>2 Family Attached</b>			
Front yard	25 ft	25 ft	n/a
Side yard	6 ft	6 ft	n/a
Side yard cnr	15 ft	15 ft (min)	n/a
Rear yard (main Bldg)	15 ft	15 ft (min)	n/a
Rear yard (accessory)	15ft/5ft (Sec 125.194(2)(G))	3 ft (pool decks)/ 5 ft (pools)	n/a
Street Frontage (Minimum)	60 ft (per structure (30 ft per unit))	32 ft (min)	n/a
<b>Building Height:</b>			
Building Height:	45 feet	35 feet	n/a
<b>Parking:</b>			
Single Family dwelling	1.5 /unit in side by side driveway	2 / unit (garage and driveway) (4 total spaces option)	n/a
2 family attached	2 /unit in side by side driveway	2 / unit (garage and driveway) (4 total spaces option)	n/a
<b>Driveway:</b>			
Single Family dwelling			

PD/ with underlying R-4 Zoning District	REQUIRED BY CODE	PROVIDED	DEVIATION
width	12 ft minimum	18	+6 ft
corner setback	50 ft	varies by location	varies by location - see site plan
driveway separation	50 ft	varies - 2ft Minimum	48 ft
<b>2 family attached</b>	n/a		
width	12 ft minimum	18	+6 ft
corner setback	50 ft	varies by location	varies by location - see site plan
driveway separation	50 ft	varies - 2ft Minimum	48 ft
<b>Landscape:</b>			
<b>Single Family dwelling</b>	Trees – Min of 4 Trees Required Per Lot	One Shade Tree or Equivalent Per Tract/Lot	-3 Trees
	Sodding Required on all Areas	Sodding Provide on all non-planted areas	None
	Irrigation Required	Irrigation (Central System Control) Provided	None
<b>2 family attached</b>	Foundation Plantings along all Sides of Structure	Foundation Planting on Front and Side Yard Areas	Rear Yard Foundation Plantings Not Required
	Trees – Min of 4 Trees Required Per Lot	One Shade Tree or Equivalent Per Tract/Lot	-3 Trees
	Sodding Required on all Areas	Sodding Provide on all non-planted areas	None
	Irrigation Required	Irrigation (Central System Control) Provided	None

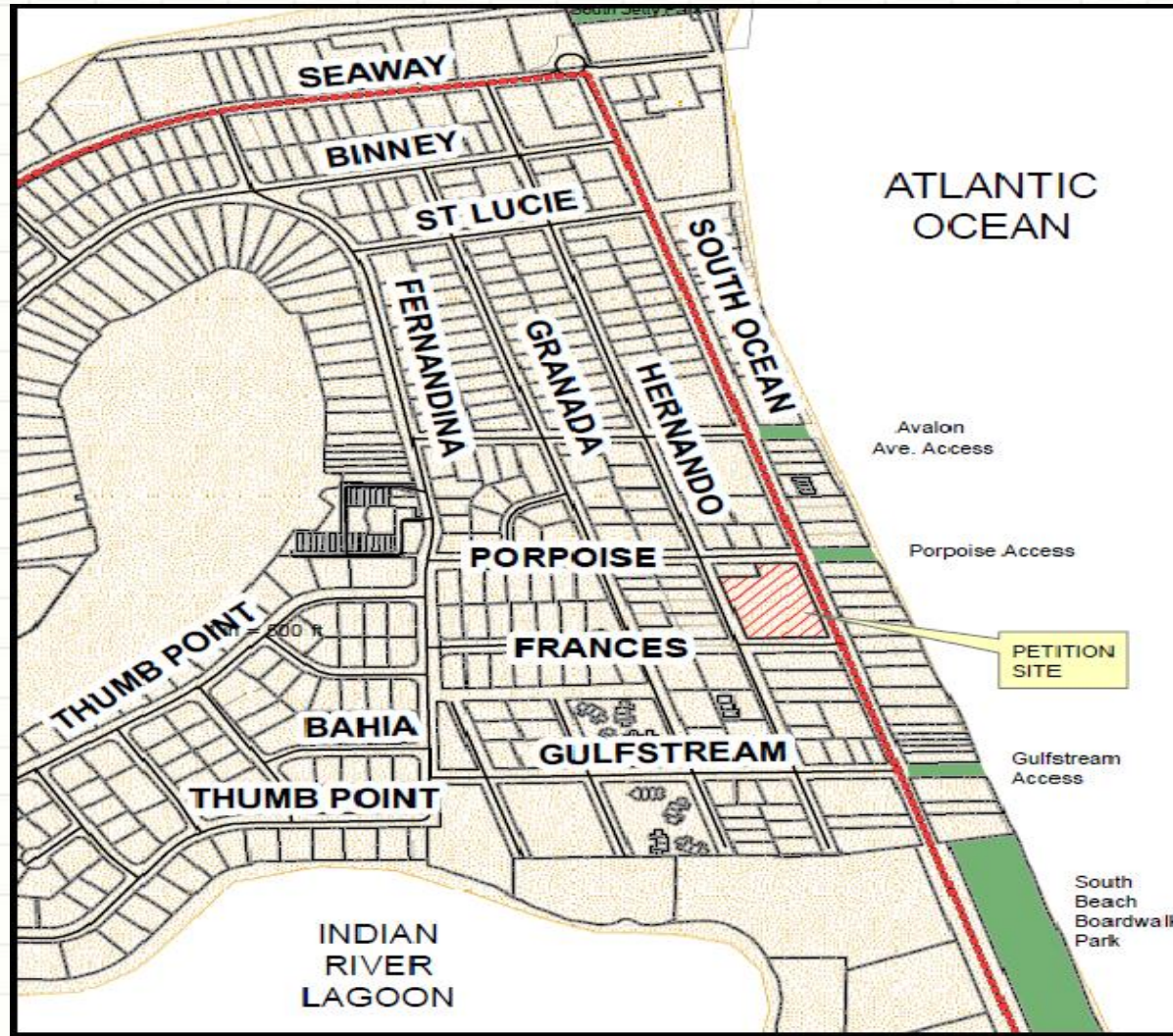
# Coral Sands Planned Development (Zoning Atlas Map Amendment)



**511 S Ocean Drive**

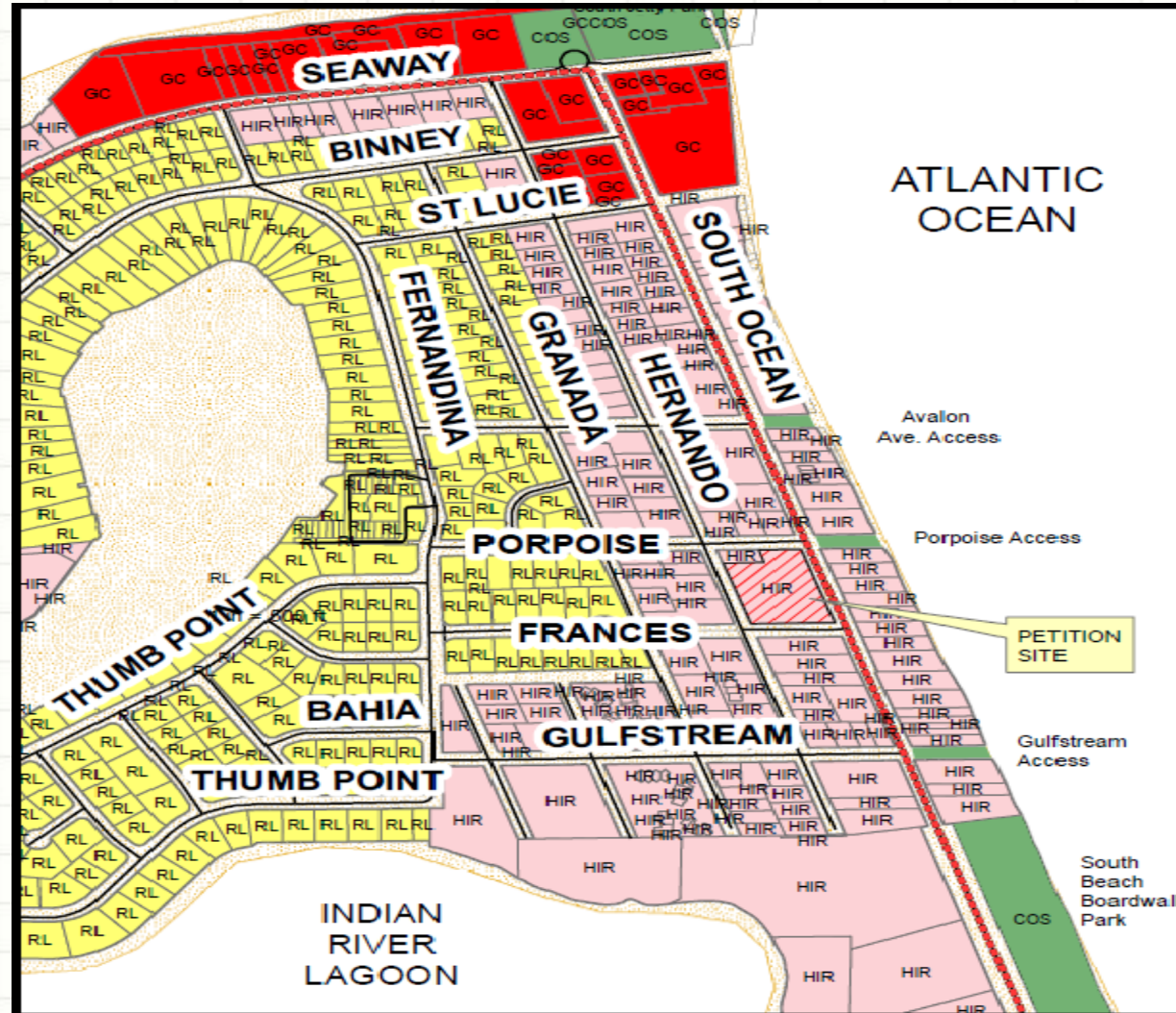


# Location Map

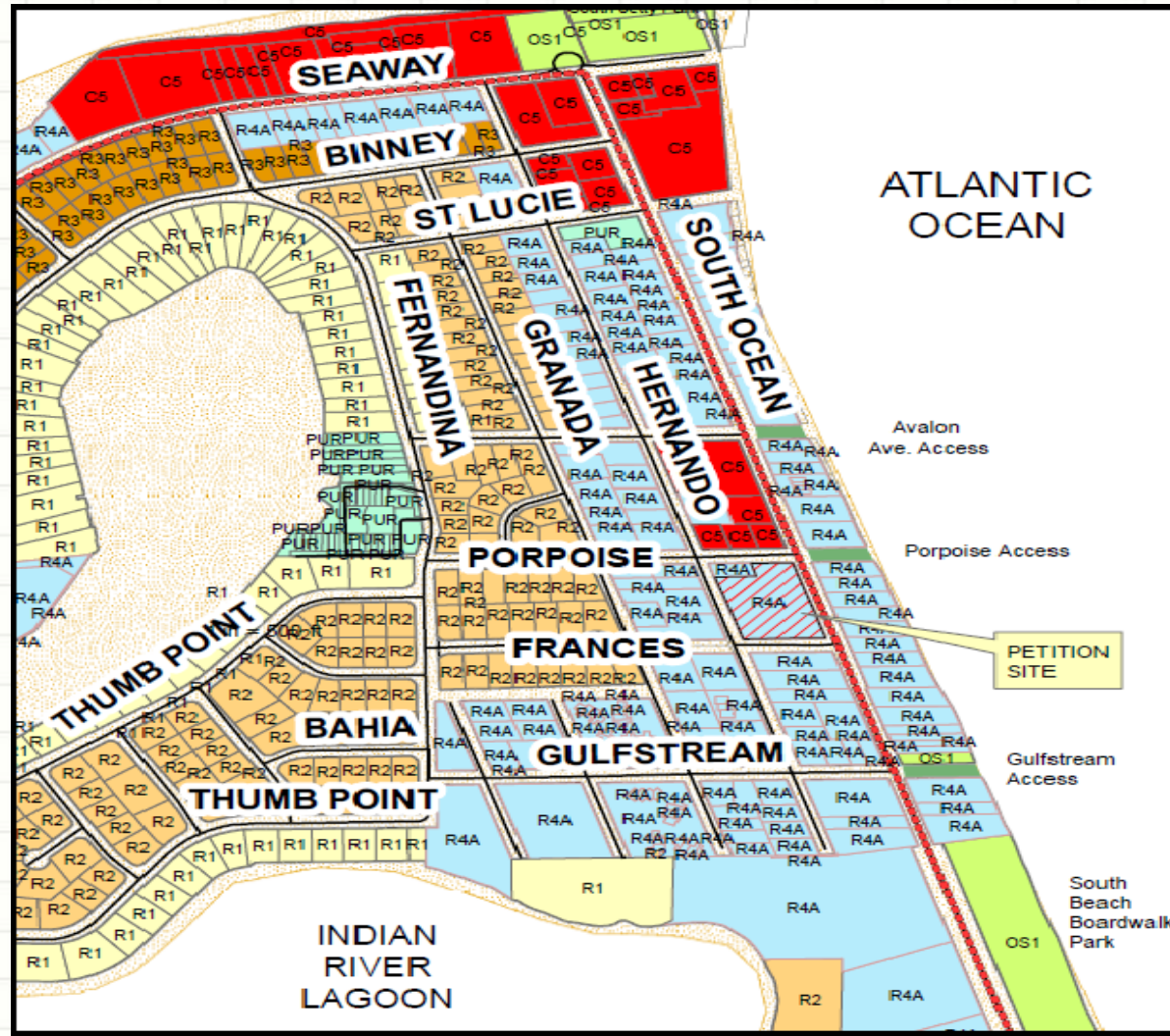


- **Approx. 1.7 acres +/-**

# FLU Map



# Zoning Map



# Zoning Atlas Map Amendment

**Zoning Atlas Map Amendment from R-4A, Hutchinson Island Medium Density Residential (1 parcel) to PD, Planned Development with an associated Development Plan.**

- **Staff recommends Approval of the request**
  - Consistent with Section 125-212 & 125-136 of City Code & the Comprehensive Plan.**
  - Does not adversely affect the public health, safety, convenience and general welfare.**

# PD Development Plan





# **PB Recommendation (Future Land Use Map Amendment)**

**The Planning Board, at their June 13<sup>th</sup>, 2022 meeting, voted unanimously to recommend Approval of the request.**

# Staff Recommendation (Zoning Atlas Map Amendment)

Staff recommends APPROVAL of the request.

# City Commission Actions (Zoning Atlas Map Amendment)

## Possible actions of the City Commission:

- APPROVAL of the proposed Zoning Atlas Amendment with no changes
- APPROVAL of the proposed Zoning Atlas Amendment with changes.
- DISAPPROVAL of the proposed Zoning Atlas Amendment

# **Coral Sands Planned Development (Zoning Atlas Map Amendment)**



**511 S Ocean Drive**



**TO:** Nick C. Mimms, P.E., ICMA-CM, City Manager

**THROUGH:** N/A

**FROM:** Vennis Gilmore, Senior Planner

**RE:** **Application for Zoning Atlas Map Amendment (1 Parcel)**  
**Coral Sands Planned Development**  
**Parcel ID(s): 2401-502-0026-000-6**

**BOARD DATE:** July 18, 2022

**STAFF REPORT**

**Owner(s):** Commonwealth Foundation for Cancer Research  
 800 E Canal Street Suite 1900  
 Richmond, VA 23219

**Representative:** Dennis Murphy (Culpepper & Terpening, Inc.)  
 2980 S 25<sup>th</sup> Street  
 Fort Pierce, FL 34981

**Applicant's Request:** Approval of a Zoning Atlas Map Amendment (Rezoning) of one (1) parcel from R-4A, Hutchinson Island Medium Density Residential Zone to PD, Planned Development.

**Location:** 511 S Ocean Drive

**Parcel ID:** 2401-502-0026-000-6

**Existing Use:** Vacant

**Site Size:** 1.7 Acres (more or less)

**Current Zoning:** Hutchinson Island Medium Density Residential (R-4A)

**Proposed Zoning:** Planned Development (PD)

**Current Future Land Use:** Hutchinson Island Medium Density Residential (HIR)

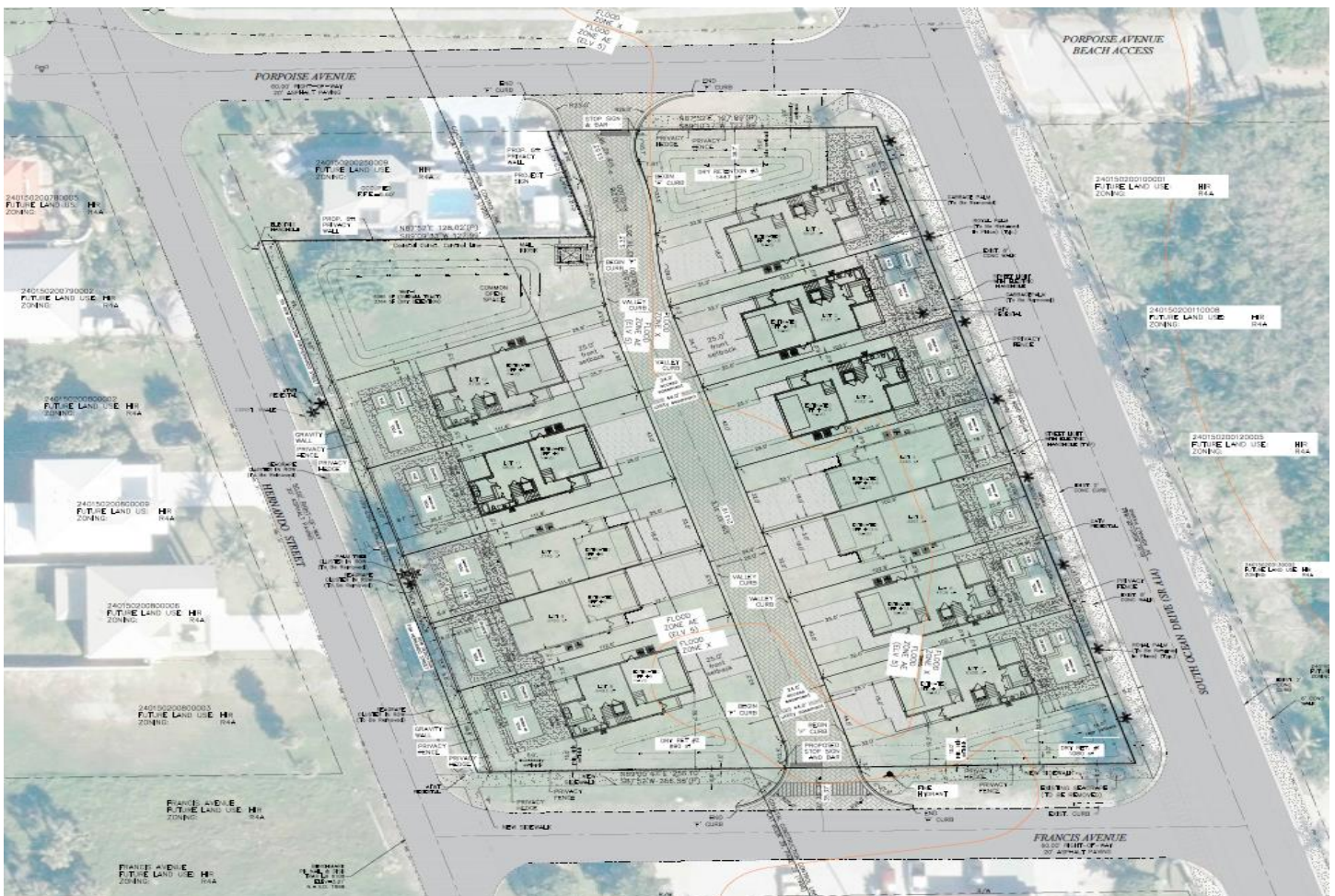
**Surrounding Zoning/FLU:**

North	East	South	West
C-5/HIR	R-4A/HIR	R-4A/HIR	R-4A/HIR

## Staff Analysis:

### Request & Background

In accordance with Sections 125-37, 125-133, and 125-136 of the City Code and Chapter 163.3184, F.S., the applicant is requesting the review and approval of a Zoning Atlas Map Amendment (Rezoning) from R-4A, Hutchinson Island Medium Density Residential Zone to PD, Planned Development. Lastly, in accordance with Chapter 121 of the City Code, the applicant plans to submit a Preliminary and Final Plat in the future for the approximately 1.7 acres of land. The applicant intends to develop a residential subdivision known as Coral Sands, that will have 12 platted lots consisting of single-family attached and detached homes.



### Standards for Review

The following standards must be satisfied per Section 125-136 of the City Code prior to the approval of the requested amendment:

- (1) The amendment is consistent with the comprehensive plan;

- 
- (2) The amendment will not have an adverse effect on the ability of the City to:
- a. Satisfy land and water use needs; and
  - b. Meet transportation demands and provide community facilities and services; and
- (3) The amendment will promote and protect the public health, safety and general welfare.

The proposed amendment is consistent with the Goals, Objectives, and Policies of the City's Comprehensive Plan and is consistent with the concurrent request to amend the Zoning designation of the parcel. Furthermore, the amendment does not appear to have an adverse effect on the ability of the City to satisfy land and water use needs, meet transportation demands, and provide community facilities and services. The presented amendment promotes and protects the public health, safety and general welfare through the increased variety and access to neighborhood goods and services while ensuring minimal impacts to neighboring residential districts.

### **Future Land Use and Zoning Designation Comparison**

The subject site currently has one (1) parcel with a FLU designation of HIR, Hutchinson Island Medium Density Residential. The General Commercial designation is intended for parcels that are best suited for residential development on Hutchinson Island. This future land use category allows single-family detached and attached units, duplexes and multifamily residences at densities ranging up to eight dwelling units per acre. Limited public uses and commercial uses that are compatible with the surrounding development shall also be allowed.

As the development of the subject parcel is a vital component of the development pattern envisioned throughout the City of Fort Pierce, Planned Development, (PD) is an appropriate Zoning that is compatible with the Future Land Use classification of Hutchinson Island Medium Density Residential (HIR).

### **Technical Review Committee**

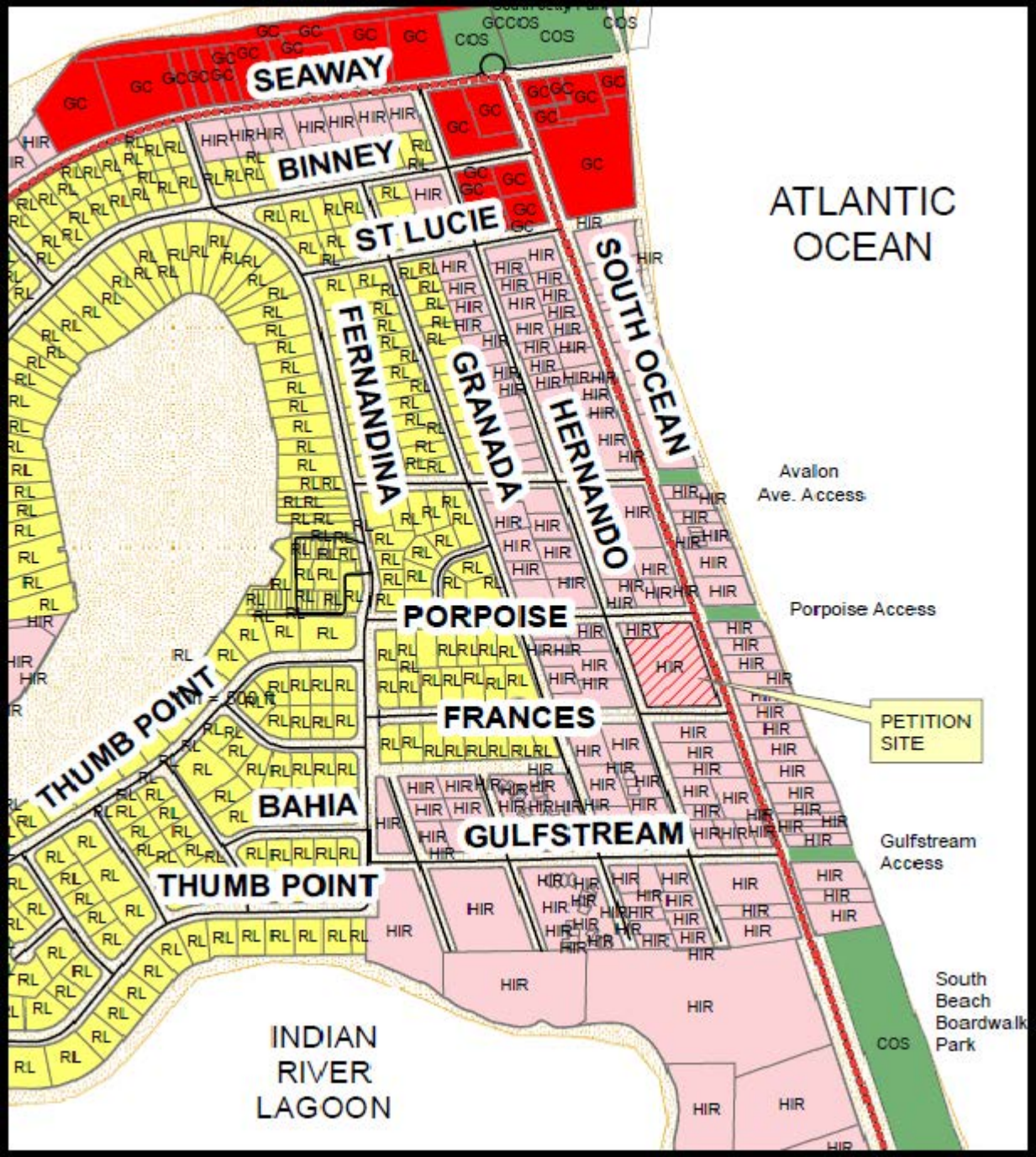
All affected departments have reviewed the proposed Applications for a Zoning Atlas Map Amendment for consistency with the requirements of the City Code. Findings and comments from review by affected departments, and the corresponding responses and plan amendments by the applicant are provided for consideration.

### **Planning Board Recommendation**

The Planning Board, at their June 13th, 2022 meeting, voted unanimously to recommend Approval of the request.

### **Staff Recommendation Zoning Atlas Map Amendment**

The requested Application for a Zoning Atlas Map Amendment and associated Development Plan meets the criteria specified in 125-212 and 126-136 of the City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience, and general welfare; Therefore, Staff recommends **APPROVAL** to the City Commission.



**SEAWAY**

**BINNEY**

**ST LUCIE**

**SOUTH OCEAN**

**ATLANTIC OCEAN**

**FERNANDINA**

**GRANADA**

**HERNANDO**

Avalon Ave. Access

**PORPOISE**

Porpoise Access

**FRANCES**

**PETITION SITE**

**THUMB POINT**

**BAHIA**

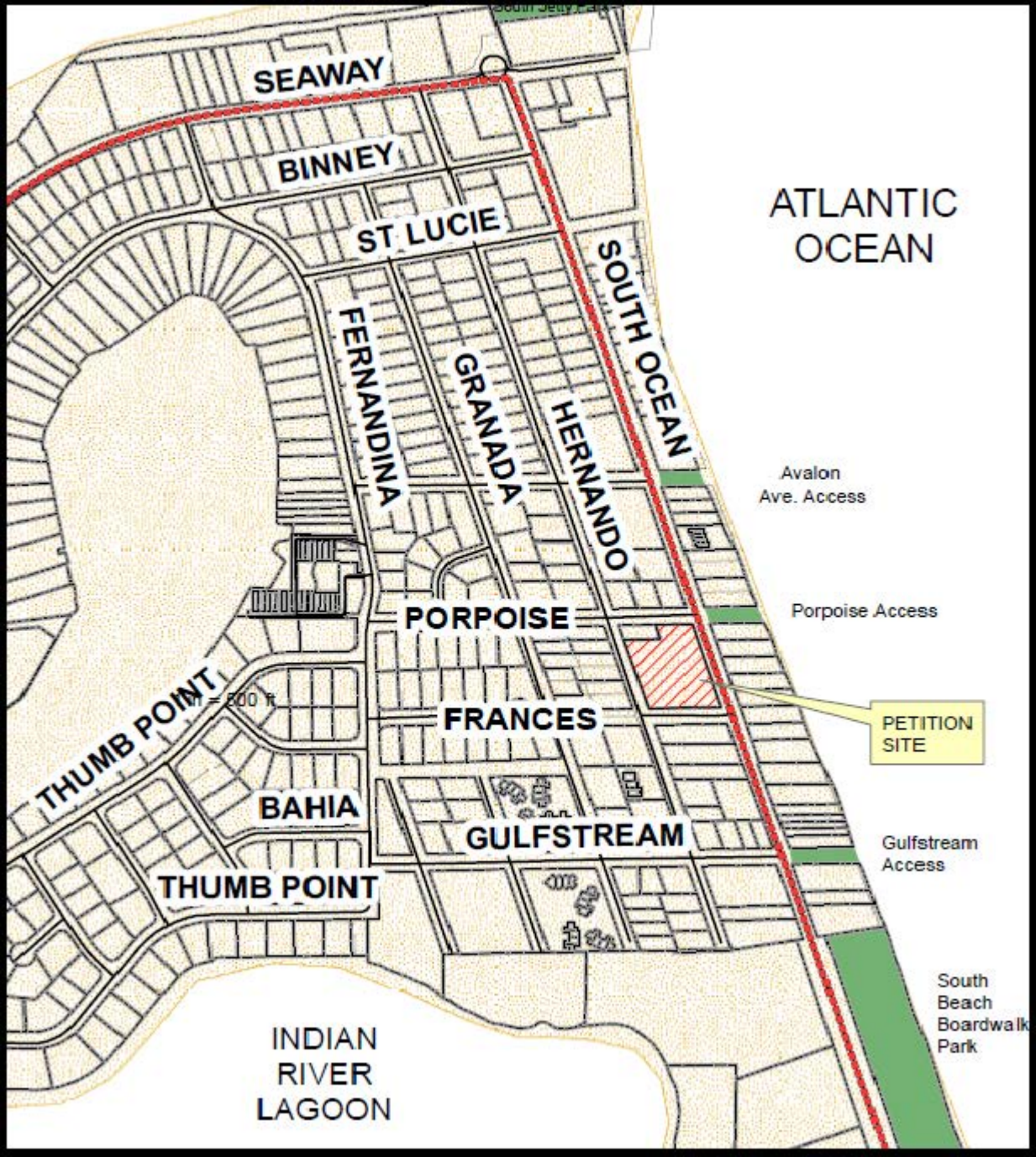
**GULFSTREAM**

Gulfstream Access

**THUMB POINT**

**INDIAN RIVER LAGOON**

South Beach Boardwalk Park



SEAWAY

BINNEY

ST LUCIE

FERNANDINA

GRANADA

SOUTH OCEAN  
HERNANDO

ATLANTIC OCEAN

Avalon Ave. Access

PORPOISE

Porpoise Access

FRANCES

PETITION SITE

THUMB POINT

500 ft

BAHIA

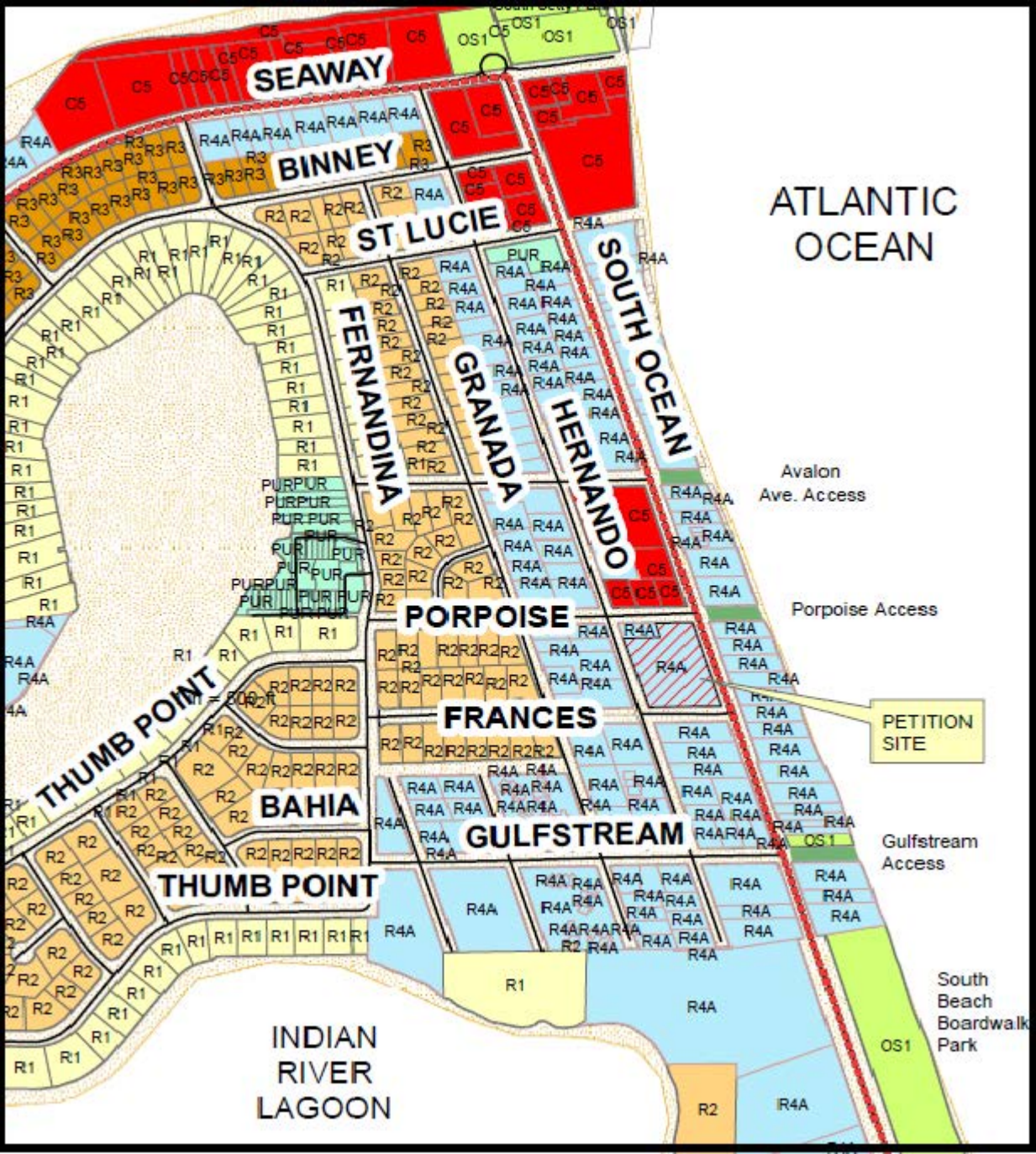
GULFSTREAM

Gulfstream Access

THUMB POINT

INDIAN RIVER LAGOON

South Beach Boardwalk Park



**SEAWAY**

**BINNEY**

**ST LUCIE**

ATLANTIC  
OCEAN

**SOUTH OCEAN**

**FERNANDINA**

**GRANADA**

**HERNANDO**

Avalon  
Ave. Access

**PORPOISE**

Porpoise Access

**THUMB POINT**

PETITION  
SITE

**BAHIA**

**FRANCIS**

**GULFSTREAM**

Gulfstream  
Access

**THUMB POINT**

INDIAN  
RIVER  
LAGOON

South  
Beach  
Boardwalk  
Park



THE SUNRISE CITY  
**FORT PIERCE**  
 ENGINEERING  
 DEPARTMENT

Florida

**To : Planning Department**

**FROM : John R. Andrews, P.E., City Engineer**

**RE : Coral Sands Site Plan – 511 S. Ocean Drive  
 TRC No. 21-43900004**

**DATE : May 18, 2022**

**RECEIVED**

MAY 19 2022

CITY OF FORT PIERCE  
 PLANNING & ZONING

This is to advise you that we have completed the review of the following documents as received by this office on May 18, 2022:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Site Plan Application                                 | <input type="checkbox"/> Construction Drawings                                   |
| <input type="checkbox"/> Test Reports & Related Documents                                 | <input type="checkbox"/> Executed Construction Contract                          |
| <input type="checkbox"/> Record Drawings  | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies |  |

Based on our reviews and appropriate site final inspection, we

- |  |   |                              |
|--|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend          | <input type="checkbox"/> Do Not Recommend |                              |
| <input checked="" type="checkbox"/> Site Plan Approval | <input type="checkbox"/> Building Permit  | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor, and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering advisory comments

ADVISORY COMMENTS:

1. The project is bordered on the east by SR A1A (South Ocean Drive) which is a State roadway. The applicant shall be required to obtain a drainage connection permit from FDOT prior to Building Permit issuance.
2. The drainage plan was reviewed conceptually and will be reviewed in depth at time Building Permit application.
3. Prior to commencement of any land clearing activities, the applicant shall have obtained an FDEP permit authorizing the proposed construction seaward of the Coastal Construction Control Line.

JRA/TST/tst

TST



THE SUNRISE CITY  
**FORT PIERCE**  
 ENGINEERING  
 DEPARTMENT

Florida



**To : Planning Department**

**FROM : <sup>FOL</sup> John R. Andrews, P.E., City Engineer <sup>JRS</sup>**

**RE : Coral Sands Site Plan – 511 S. Ocean Drive  
 TRC No. 21-43900004**

**DATE : May 12, 2022**

RECEIVED  
 MAY 12 2022  
 CITY OF FORT PIERCE  
 PLANNING & ZONING

This is to advise you that we have completed the review of the following documents as received by this office on May 11, 2022:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Site Plan Application                                 | <input type="checkbox"/> Construction Drawings                                   |
| <input type="checkbox"/> Test Reports & Related Documents                                 | <input type="checkbox"/> Executed Construction Contract                          |
| <input type="checkbox"/> Record Drawings  | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies |  |

Based on our reviews and appropriate site final inspection, we

- Recommend       Do Not Recommend

- Site Plan Approval       Building Permit       C/O

Developer, Owner, Engineer, Contractor, and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

ENGINEERING COMMENTS:

1. The previous comment "*Relocate the proposed Live Oak trees to provide a minimum horizontal clearance of 30' from All overhead electric lines*" was not addressed. Please refer to the live Oaks to be planted along and near Hernando Street.
2. The previous comment "*Relocate the drainage swale proposed to be constructed in the Hernando Street R/W to be situated within the limits of the property. Also, provide information as to the purpose of this swale as it appears that it begins at the Hernando and Francis intersection and discharges into the retention area at the north end of the site.*" Was addressed by stating that the swale is an existing roadside swale, yet this area is currently void of a swale system, please remove this work from your plan.
3. As previously requested, please relocate all retention/detention areas so a minimum 15' setback from the right-of-way lines is achieved in accordance with the conditions specified in Section 119-9(c).

ADVISORY COMMENTS:

1. The project is bordered on the east by SR A1A (South Ocean Drive) which is a State roadway. The applicant shall be required to obtain a drainage connection permit from FDOT prior to Building Permit issuance.
2. The drainage plan was reviewed conceptually and will be reviewed in depth at time Building Permit application.
3. Prior to commencement of any land clearing activities, the applicant shall have obtained an FDEP permit authorizing the proposed construction seaward of the Coastal Construction Control Line.

JRA/TST/tst  
10



December 16, 2021

Dennis Murphy  
Culpepper & Terpening Inc.  
2980 S 25<sup>th</sup> St.  
Fort Pierce, FL 34981

**Subject: Coral Sands at South Ocean Planned Development**

---

Dear Dennis,

Below please find a summary of the comments for the City of Fort Pierce Pre-App meeting:



*Location Map*

Fort Pierce Planning Department

1. Provide site data tables on site plan. Currently, the site data table is included on the site aerial plan rather than the site plan.
2. The maximum density is 12 units per acre. Please revise site data.
3. Include the proposed use on the site data table.
4. Revise acreage calculations in the site data table.
5. The site data states 1.61 acres is 70,567 square feet. Should calculate to 70,131.6 square feet. Please revise.
6. Revise site data to include the South Beach Overlay District and applicable requirements.
7. Per Sec. 125-212, properties that proposed for a Zoning Atlas Amendment to PD need to provide a project narrative that includes a description of the proposed development as it relates to the

development objective of the city and city’s comprehensive plan. With that said, please justify why a PD district is necessary as compared to the current zoning.

8. Clarify whether the development will have an HOA or a POA.
9. Provide sidewalks and sidewalk dimensions.
10. Clarify the type of amenities provided for the subject development.
11. Provide LDR’s table indicating the required and the proposed (setbacks, open space, lot coverage, etc.) for the underlying zoning district (R-4A) and proposed PD LDRs and the reason for such deviation.
12. Clarify whether the proposed development will include an entry gate.
13. Clarify whether the 4’ chain link is existing or proposed.
14. Clarify whether the development will be completely fenced off, if so, provide fencing material.
15. Indicate the proposed perimeter 10’ landscape buffer width on site plan and landscape plan.
16. Provide ROW width Per Sec. 121-11 (5), the right of way widths for a minor street must be 60 ft.
17. Provide method for trash removal. Further comments will be provided by the City’s Solid Waste Division.
18. Further comments may be provided at the TRC meeting.
19. On the following page, a comparison of the underlying zoning district and the proposed zoning of PD is provided. Deviations will require a justification.

<b>R-4A Zoning District</b>	<b>REQUIRED BY CODE</b>	<b>PROPOSED PD</b>	<b>COMMENTS</b>
<b>Density</b>	In no event shall the density granted exceed the maximum gross density permitted under the underlying land use in the comprehensive plan. (HIR) 8 units per acres	13 dwelling unit	In compliance
<b>Minimum Lot Area, Width and Depth</b>	The minimum lot area for a single-family dwelling shall be 5,000 square feet.  The minimum lot area for a townhome dwelling lot shall be 1,500 square feet.	Please provide in site data	<b>PD Deviation may be required</b>

	The minimum lot width for townhome developments shall be 200 feet. Townhome developments shall be subdivided into a minimum lot width of 16 feet and maximum lot width of 24 feet.		
<b>SETBACKS</b>			
<b>Front Yard</b>	The minimum depth of the front yard for townhome developments will be ten feet. The minimum depth of the front yard for other uses shall be 25 feet.	25 feet	
<b>Side Yard</b>	<p>The minimum depth of the side yards on the periphery of the townhome developments shall be ten feet, except on corner lots the minimum side yard depth on a street side will be 15 feet. The minimum depth of the side yard between individual townhome units or lots shall be zero feet.</p> <p>The minimum depth of the side yards for other uses shall be six feet, except on corner lots the minimum side yard depth on a street side will be 15 feet.</p>	Site Plan: 6 and 15 feet	
<b>Lot Coverage</b>	<p>Buildings in multifamily housing developments shall not cover more than 45 percent of the lot area.</p> <p>b. Buildings for principal residence in townhome developments and townhome dwelling lots shall not cover more than 50 percent of the lot area. Accessory buildings may cover an additional 15 percent of the building site.</p> <p>c. Buildings in other developments shall not cover more than 40 percent of the lot area.</p>	Not provided	Provide lot coverage
<b>Building Height</b>	No building shall exceed 45 feet above grade.	36 feet	

<b>Sidewalks</b>	<i>Exemptions:</i> Sidewalk requirements shall not be required for the following: Single family homes (including conditional use reviews)		<b>Clarify if sidewalks are proposed.</b>
<b>Access driveway</b>	Driveway (Residential per Sec. 22.61 c.) Minimum: 12 Maximum: 26	Provide driveway dimension	<b>Provide driveway dimension.</b>

Fort Pierce Engineering Department

See attached.

Fort Pierce Code Enforcement Division

Maybe forthcoming

Fort Pierce Building Department

See attached.

Fort Pierce Solid Waste Division

Forthcoming

Fort Pierce Tree Arborist

Forthcoming

Fort Pierce Police Department

No comments (see attached)

Fort Pierce Utility Authority

(see attached and below)

FPUA W/WW Engineering: Please Submit 3 complete sets of utility construction plans along with a completed plan review and commercial service application to the Water and Wastewater Engineering Department for review at 1701 S 37th Street Fort Pierce Florida.

☒ Please note that size on size wet taps are not allowed on ACP or HDPE mains which is the case here. Please contact Lugey Dawson at 772 466 1600 ext. 3428 to discuss.

☒ 400' max distance is allowed between gravity manholes; SS-03 may not be needed, please confirm.

Please visit our website below which will walk you through the development process from start to finish to include the Developer's Responsibilities.

<https://fpu.com/water-and-wastewater-engineering-downloads/>.

FPUA Electric & Gas Engineering: Approved.

Electric service is available to the site (from Hernando Street or S. Ocean Drive) for the proposed development. Please provide electric load information for the proposed structures /new services and AutoCAD drawing.

Customer will be responsible for all transformer pads, conduits and secondary conductors. For more information and project coordination, please contact Sal Scimeca.

Sal Scimeca

Engineering Technician II

Electric and Gas Engineering

Office: (772)466-1600 Ext. 6957

SLC Fire

(see comments)

The Following Revisions Are Necessary:

1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfcd.com>
2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.
3. Please send the Fire District electronic plans for the site and buildings.
4. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.
5. An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4. See "Needed NFPA Fire Flow Calculator Spreadsheet".
6. Fire Hydrants (shall be) are provided for detached one- and two-family dwellings IAW both of the following: 1) The maximum distance to a fire hydrant from the closet point on the building shall not exceed 600 feet. 2) The maximum distance between fire hydrants shall not exceed 800 feet. NFPA 1:18.5.2.
7. Per NFPA 1114 Chapter 9, Section 1.3. Prior to the final occupancy of any building, the permitted water supply for fire protection, including fire hydrants and fire suppression systems, shall be installed, tested, and acceptable to the AHJ (SLCFD).

St. Lucie County Public Works

No comment (see attached)



**BUILDING DEPARTMENT  
TECHNICAL REVIEW COMMITTEE (TRC)  
COMMENT FORM**

Meeting Date: 12.16.21

Property Address: Zoning Atlas Map Amendment and Site Plan - Coral Sands - 511 S. Ocean Drive

*Please be advised that the project may trigger the requirements indicated below:*

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves submission of comments upon completion of the official plan review.
- 2. Pre-construction meeting with the City's Building Department is requested.
- 3. Any construction will need to meet the requirements of the Florida Building Code 7<sup>th</sup> Edition.
- 4. Means of egress is required.
- 5. Means of ingress is required.
- 6. Must meet the following Accessibility requirements:
  - Accessible route
  - Handicapped parking spaces
  - Means of egress
- 7. Change of Use required
  - to include a signed and sealed Life Safety Plan
  - to include a signed and sealed detailed comprehensive building plan.
- 8. Property exists in Special Flood Hazard Area. All Federal and State requirements shall be addressed.
- 9. Flood Development Permit required.
- 10. Building Permit required.
- 11. Signed and sealed construction drawings required.
- 12. Will need to meet the Fire Code.
- 13. Sprinkler system is required.
- 14. Smoke alarm system is required.
- 15. Other

**Additional Comments/Requirements:**

--

Building Official's or Representative's Signature

Date:

12/14/21



THE SUNRISE CITY  
**FORT PIERCE**  
ENGINEERING  
DEPARTMENT

Florida

**TO : Jennifer Hofmeister-Drew, AICP, Planning Director**

**FROM : John R. Andrews, P.E., City Engineer**

*JRA*

**RE : Coral Sands Site Plan – 511 S. Ocean Drive  
TRC No. 21-43900004**

**DATE : December 14, 2021**

This is to advise you that we have completed the review of the following documents as received by this office on December 10, 2021:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Site Plan Application                                 | <input type="checkbox"/> Construction Drawings                                   |
| <input type="checkbox"/> Test Reports & Related Documents                                 | <input type="checkbox"/> Executed Construction Contract                          |
| <input type="checkbox"/> Record Drawings  | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies |  |

Based on our reviews and appropriate site final inspection, we

- |  |  |                              |
|--|--|------------------------------|
| <input type="checkbox"/> Recommend                     | <input checked="" type="checkbox"/> Do Not Recommend |                              |
| <input checked="" type="checkbox"/> Site Plan Approval | <input type="checkbox"/> Building Permit             | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor, and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

ENGINEERING COMMENTS:

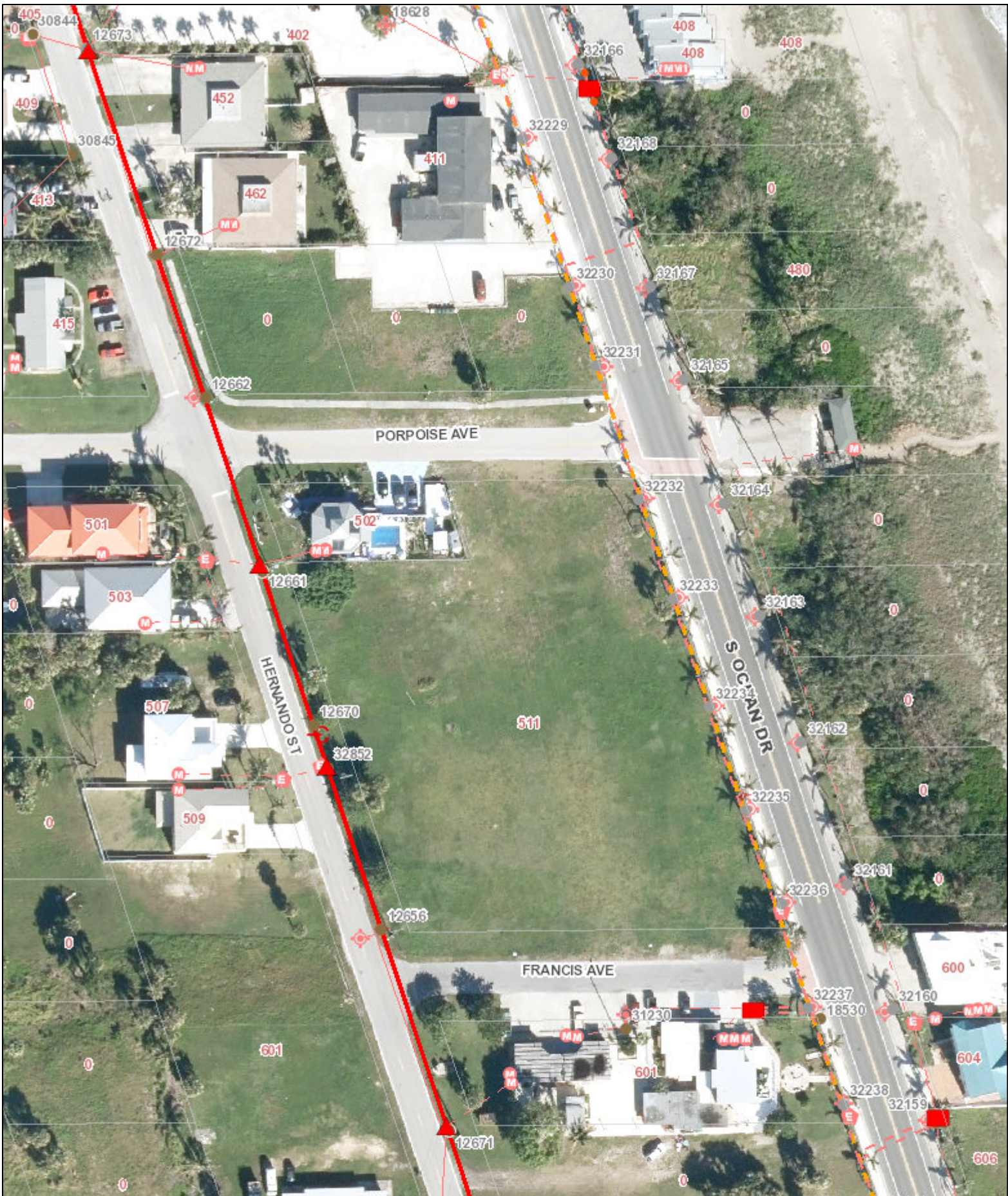
1. The submitted survey was not signed and sealed, the applicant shall submit a certified boundary and topographic survey per the requirements specified in the City of Fort Pierce Code of Ordinances Section 119-2.
2. Relocate all proposed landscaping along Hernando Street so no encroachment into the 5' dedicated R/W occurs.
3. Relocate the proposed Live Oak trees to provide a minimum horizontal clearance of 30' from All overhead electric lines.
4. Update notes 23 and 27 to reference Sections 119 and 123 as opposed to 17 and 23.
5. Relocate the drainage swale proposed to be constructed in the Hernando Street R/W to be situated within the limits of the property. Also, provide information as to the purpose of this swale as it appears that it begins at the Hernando and Francis intersection and discharges into the retention area at the north end of the site.
6. Is stormwater run-off to be contained on site or is discharge proposed off-site once the appropriate water quantity/quality is achieved?
7. Relocate all retention/detention areas so a minimum 15' setback from the right-of-way lines is achieved in accordance with the conditions specified in Section 119-9(c).
8. Provide the required curbing at all landscaped islands and other areas as noted in the City of Fort Pierce Code of Ordinances Section 123-37(11)(d).
9. Provide a minimum landscape buffer of 10' as measured from the dry detention area's top of bank and the property lines.
10. Provide information on how the common areas will be maintained. Is platting of the property proposed?
11. Construction of 5' wide public sidewalks is required along Porpoise, Frances, and Hernando.
12. Is the proposed project roadway two-way or one-way? If two-way traffic is proposed, the roadway width shall be a minimum of 24'.
13. The site plan shall indicate the location of all stop signs and stop bars.

ADVISORY COMMENTS:

1. The project is bordered on the east by SR A1A (South Ocean Drive) which is a State roadway. The applicant shall be required to obtain a drainage connection permit from FDOT prior to Building Permit issuance.
2. The drainage plan was reviewed conceptually and will be reviewed in depth at time Building Permit application.
3. Prior to commencement of any land clearing activities, the applicant shall have obtained an FDEP permit authorizing the proposed construction seaward of the Coastal Construction Control Line.

JRA/TST/tst





**Legend**

Electric Primary Wire	Pole	Valves
Transmission Wire	Fuse	Gas
Gas Main	Water	Water
Fiber Optic Cable	Overhead	Raw Water
Potable Water Main	Pad Mount	Waste Water
Raw Water Main	Transformer	
Wastewater Force Main	Transformer	
WW Gravity Main	Transformer	
	Transformer	

**Disclaimer:**  
 The data contained herein is offered "as is", with no claim or warranty as to its accuracy or completeness. The data is for reference only and should not be considered to be of survey precision. Due to formatting restrictions, the information provided in the map may not be represented in the legend.

**811**  
 Know what's below.  
 Call before you dig.

Date: 12/6/2021

**FPUA Web Map**

1 inch = 94 feet

Create d By: Name

(772) 466-1600  
 FAX (772) 461-1938



Fort Pierce Utilities Authority  
Water/Wastewater Engineering  
1701 South 37<sup>th</sup> Street  
Fort Pierce, FL 34947  
772.466.1600 x3473

## Technical Review Committee Meeting

December 16, 2021

TECHNICAL REVIEW PROJECT # 21-43900004

Coral Sands

### Comments

FPUA W/WW Engineering: Please Submit 3 complete sets of utility construction plans along with a completed plan review and commercial service application to the Water and Wastewater Engineering Department for review at 1701 S 37th Street Fort Pierce Florida.

- Please note that size on size wet taps are not allowed on ACP or HDPE mains which is the case here. Please contact Lugey Dawson at 772 466 1600 ext. 3428 to discuss.
- 400' max distance is allowed between gravity manholes; SS-03 may not be needed, please confirm.

Please visit our website below which will walk you through the development process from start to finish to include the Developer's Responsibilities.

<https://fpu.com/water-and-wastewater-engineering-downloads/>

FPUA Electric & Gas Engineering: Approved.

Electric service is available to the site (from Hernando Street or S. Ocean Drive) for the propose development. Please provide electric load information for the propose structures /new services and AutoCAD drawing. Customer will be responsible for all transformer pads, conduits and secondary conductors. For more information and project coordination, please contact Sal Scimeca.

Sal Scimeca  
Engineering Technician II  
Electric and Gas Engineering  
Office: (772)466-1600 Ext. 6957



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.

[www.fpu.com](http://www.fpu.com)





[sscimeca@fpu.com](mailto:sscimeca@fpu.com)

Fiber optic service is available to the site (from S. Ocean Drive) for the propose development. [Please contact FPUAnet staff, should you have any questions pertaining to fiber optic service. Contact personnel info is listed below.](#)

[Jason Mittler](#)  
[FPUAnet Communications Manager](#)  
FPUAnet Communications  
[772-466-1600, Ext.3309](tel:772-466-1600)  
[jmittler@fpu.com](mailto:jmittler@fpu.com)

Field Code Changed

FPUA Natural gas service is not available within that area.

FPUA will require a utility easement for all propose FPUA facilities within the site.

Please find attached a copy of the FPUA GIS maps (Electric and Fiber).



202201 - FPUA GIS  
Maps - Electric...

If the developer should have any questions, please have them contact the individual listed above.



Our mission is to provide our customers with economical, reliable, and friendly service in a continuous effort to enhance the quality of life in our community.





**BUREAU OF FIRE PREVENTION**

**SITE PLAN REVIEW**

**TO: Site Plan Applicant**

**SITE PLAN: Coral Sands 511 S. Ocean Drive**

**REVIEW DATE: 12/3/2021**

**PLANNER: JENNIFER HOFMEISTER-DREW**

**REVIEWED BY: Captain Wayne Boyer, Lieutenant Salomon Rincon**

---

**Site Plan Approved: \_\_\_\_\_**

**Site Plan Approved with conditions:   X**

**Site Plan Approval withheld pending written acknowledgement of conditions: \_\_\_\_\_**

**Site Plan Rejected: \_\_\_\_\_**

---

**The Following Revisions Are Necessary:**

- 1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfcd.com>**
- 2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.**
- 3. Please send the Fire District electronic plans for the site and buildings.**
- 4. A separate review and permit is required for Underground Fire Mains connected to standpipes or sprinkler systems.**
- 5. An approved water supply capable of supplying the required fire flow for fire protection (shall be) is identified to all premises upon which facilities, buildings, or**

*"Our Family Serving Yours"*

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392

Telephone: (772) 621-3400 Fax: (772) 621-3500

[www.slcfcd.com](http://www.slcfcd.com)



**portions of buildings which are to be constructed or moved into the jurisdiction. The approved water supply shall be in accordance with NFPA 1:18.4. See “Needed NFPA Fire Flow Calculator Spreadsheet”.**

- 6. Fire Hydrants (shall be) are provided for detached one- and two-family dwellings IAW both of the following: 1) The maximum distance to a fire hydrant from the closet point on the building shall not exceed 600 feet. 2) The maximum distance between fire hydrants shall not exceed 800 feet. NFPA 1:18.5.2.**
- 7. Per NFPA 1114 Chapter 9, Section 1.3. Prior to the final occupancy of any building, the permitted water supply for fire protection, including fire hydrants and fire suppression systems, shall be installed, tested, and acceptable to the AHJ (SLCFD).**

*“Our Family Serving Yours”*

5160 N.W. Milner Drive, Port St. Lucie, Florida 34983-3392  
Telephone: (772) 621-3400 Fax: (772) 621-3500

[www.slcfd.com](http://www.slcfd.com)



THE SUNRISE CITY  
**FORT PIERCE**  
POLICE DEPARTMENT  
"In Honor We Serve"

*Florida*

## Technical Review Committee meeting

**December 16, 2021**

Case # 21-43900004

Planner: Jennifer Hoffmeister

Zoning Atlas – Site Plan

Coral Sands, 511 South Ocean Dr., Fort Pierce, FL

### **Comments:**

No comments at this time

Officer Damian Spotts

Crime Prevention Practitioner

Fort Pierce Police Department.

**From:** [Grant M. Chambers](#)  
**To:** [Vennis Gilmore](#); [Jennifer Hofmeister](#)  
**Subject:** TRC  
**Date:** Tuesday, December 14, 2021 11:31:34 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[2021-12-14 Fort Pierce Commercial TRC Comments.docx](#)  
[2021-12-14 Jetsons Expansion TRC Comments.docx](#)

---

**SECURITY WARNING:** This email originated outside of the City of Fort Pierce systems. Please use caution when clicking links or opening attachments. For questions or concerns please contact IT immediately. .

Good Morning,

Please see attached comments for the Jetsons Expansion Project and the Fort Pierce Commercial Project.

County Public Works does not have any comments regarding the following projects:

- Coral Sands Zoning Atlas Map amendment
- Take 5 Okeechobee Road Minor Site Plan
- Enterprise Rental Cars Minor Site Plan
- St. Lucie County Parking Lot Minor Site Plan

Please let me know if you have any questions.

Thank you,

**Grant Chambers, P.E. | Civil Engineer | Engineering Division - PW**

Ph: 772-462-1707 | Direct: 772-462-2741 | 2300 Virginia Ave. Fort Pierce 34982

[facebook.com/stluciegov](https://facebook.com/stluciegov) | [twitter.com/stluciegov](https://twitter.com/stluciegov) | [instagram.com/stluciegov](https://instagram.com/stluciegov) | [youtube.com/stluciegov](https://youtube.com/stluciegov)



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Please Note: Florida has very broad public records laws. Most written communications to or from County officials regarding County business are public records available to the public and media upon request. It is the policy of St. Lucie County that all County records shall be open for personal inspection, examination and / or copying. Your e-mail communications will be subject to public disclosure unless an exemption applies to the communication. If you received this email in error, please notify the sender by reply e-mail and delete all materials from all computers.

# DRAFT



## CITY OF FORT PIERCE PLANNING BOARD

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### Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON MONDAY, **JUNE 13, 2022**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

**1. CALL TO ORDER**

**2. PLEDGE OF ALLEGIANCE**

**3. ROLL CALL**

Present: Harold Albury; Nichelle Clemons; Michael Broderick; Marcia Baker; Alexander Edwards; Bob Burdge; Frank Creyaufmiller, Chairman

Staff Present: Kevin Freeman, Planning Director  
Vennis Gilmore, Senior Planner  
Audria Moore-Wells, Special Projects Coordinator  
Alicia Rosenthal, Planning and Development Organizer

**4. CONSIDERATION OF ABSENCES**

All Planning Board members were in attendance.

**5. APPROVAL OF MINUTES**

a. Minutes of the May 9, 2022 meeting

Motion was made by Bob Burdge, and seconded by Michael Broderick to approve the minutes from the May 9, 2022.

AYE: Michael Broderick, Marcia Baker, Alexander Edwards, Bob Burdge, Harold Albury, Nichelle Clemons, Chairman Frank Creyaufmiller

Passed

## 6. NEW BUSINESS

### a. Zoning Atlas Map Amendment - Coral Sands Planned Development - 511 S. Ocean Drive

Mr. Gilmore gave an overview of the application and answered questions from the Board.. Mr. Gilmore stated the applicant is requesting rezoning from R-4A, Hutchinson Island Medium Density Residential Zone to PD, Planned Development. He said the applicant intends to develop a residential subdivision that will have 12 platted lots consisting of single-family attached and detached homes. Mr. Gilmore noted that Planned Development, (PD) is an appropriate zoning that is compatible with the Future Land Use classification of Hutchinson Island Medium Density Residential (HIR).

Dennis Murphy, Applicant Representative from Culpepper and Terpening, stated the applicant is requesting PD zoning for lot size and flexibility. He highlighted that the 3-story homes will have internal driveways and a glorified alleyway access. Mr. Murphy answered questions from the Board regarding the dry retention pond, roadway responsibility, internal lighting, height of units, gating and fencing.

Phil Thompson, Developer, stated Coral Sands will add intrinsic value to the property and will be an enhancement to South Hutchinson Island.

Motion was made by Michael Broderick, and seconded by Marcia Baker to forward a recommendation of approval to the City Commission.

AYE: Marcia Baker, Alexander Edwards, Bob Burdge, Harold Albury, Nichelle Clemons,  
Michael Broderick, Chairman Frank Creyaufmiller  
Passed

### b. Major Amendment to Site Plan - Jetson - 4145 S. US Highway 1

Mr. Altizer gave an overview of the application and answered a question from the Board on the auto-turn movement condition. He stated the original site plan was approved by City Commission on February 22, 2022, to construct a 32,330 square foot addition. The applicant is requesting approval for a Major Amendment to the Site Plan to construct a 34,065 square foot addition with associated site improvements. Mr. Altizer said the amended site plan will have three major changes which include increasing the square footage of the addition by 1,735 square feet, re-orientation of the loading docks with an additional loading dock, and removal of an existing driveway connection and proposed access road.

Ryan McLean, Applicant Representative from MBV Engineering, noted that the rear orientation of the loading base will make for a unified operation with more functionality to allow for long term bays where the Samsung and LG trucks can park for 1- 2 days.

Motion was made by Marcia Baker, and seconded by Nichelle Clemons to forward a recommendation of approval of the requested applications with the following conditions:

1. A completion certification by a landscape architect, cost estimate, and landscape bond pursuant to City Code 123-6 shall be required before the Final Certificate of Occupancy is approved for the site.
2. Bicycle Parking shall be provided at a ratio of 1 space per every 10 parking spaces pursuant to City Code 125-315 (f)(1)(a).
3. Provide an auto-turn movement showing how trucks will back into the new loading bays

4. A Unity of Title with the St. Lucie County Clerk of Courts and a Parcel Combination with the St. Lucie County Property Appraiser shall be conducted before the issuance of a Building Permit

AYE: Alexander Edwards, Bob Burdge, Harold Albury, Nichelle Clemons, Michael Broderick, Marcia Baker, Chairman Frank Creyaufmiller

Passed

c. **Preliminary Plat - The Oaks at Moore's Creek - 1206 Avenue B (Lot 1) and Lots 1-10 and 16-24, South of Moore's Creek and North of Avenue B**

Mr. Gilmore gave an overview of the application and answered questions from the Board. He explained the Preliminary Plat subdivides 16 parcels into 17 platted lots that include a reconfigured right-of-way, 15 single-family residential lots and 2 water-management tracts. Mr. Gilmore noted the project is the second phase of a City of Fort Pierce initiative to provide modern housing stock and workforce housing within the City's Community Redevelopment Area.

Corey O'Gorman, Non--Profit Partner from East to West Development Corporation, stated once the plat is approved and the infrastructure is in place, the single family homes will be built. Mr. O'Gorman said they are hoping to have enough pre-qualified buyers, so they can build all the homes in a years period. Mr. O'Gorman explained to Ms. Baker that the project is not big enough to offer an apprenticeship program.

Audria Moore-Wells, Special Projects Coordinator, stated the project will increase the city's housing stock, and the city is vigorously working on the city's infill to try and get developers to build workforce housing. Ms. Moore-Wells added that the homes will be nestled within the 1st phase of the Oaks at Moore's Creek located on 12th and 13th Street.

Motion was made by Michael Broderick, and seconded by Harold Albury to forward a recommendation of approval to the City Commission with one (1) condition:

1. Prior to the submittal of the Final Plat address all the City of Fort Pierce Engineering Comments on the Plat document.

AYE: Bob Burdge, Harold Albury, Nichelle Clemons, Michael Broderick, Marcia Baker, Alexander Edwards, Chairman Frank Creyaufmiller

Passed

7. **COMMENTS FROM THE PUBLIC**

There were no comments from the public.

8. **BOARD COMMENTS**

Ms. Baker asked the Planning department to formulate a plan for workforce housing construction to be financed by the people demanding the workforce. Mr. Freeman, Planning Director, stated there is an obstacle in the state statute, but he is looking into it and there may be some options to move forward.

Chairman Creyaufmiller reminded the Board that the July Planning Board meeting will be held on Wednesday, July 13, 2022. Chairman Creyaufmiller thanked the Board for their regular attendance at the meetings.

**9. ADJOURNMENT**



## Application for Zoning Atlas Map Amendment

### Application submission shall include the following:

- **TRC (\*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

### In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a ½ mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- \*\*\* Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other \_\_\_\_\_

1. Property Address/Location: SW Corner of Porposie Ave & So. Ocean Drive
2. Property Tax ID(s): 2401-502-0026-000-6
3. Total Acreage: 1.616
4. Existing Future Land Use Designation: HIR
5. Existing Zoning Classification: R4a
6. Proposed Zoning Classification: PUD
7. Other applications being submitted concurrent with this application, if any: site plan

- 8. Describe the existing uses, improvements and structures on the amendment lands: site is vacant
- 9. Are there any identified or possible historical structures on the amendment lands? no
- 10. The reason for making this request: to develop the site as a 13 unit planned unit development

**11. CAPACITY ANALYSIS**

**I. Site Data:**

	Existing Use	Future Land Use	Zoning
North	VACANT/ COMMERCIAL	HIR	C5
South	RESIDENTIAL	HIR	R4A
East	VACANT	HIR	R4A
West	RESIDENTIAL	HIR	R4A

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	HIR	HIR	8	1.616	AE5/ X
Proposed	HIR	PUD	8	1.616	N/A

**II. Public Facilities Information:**

<b>A. Potable Water:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6 = persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning	Total gallons per day 2,600 (ZONING) / 2,600 (FLU)
Proposed Zoning	Total gallons per day 2,600 (ZONING) / 2,600 (FLU)
Change in Demand	Total gallons per day 0 (BASED ON LAND USE AND ZONING)

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning	Total gallons per day 2,600 (ZONING) / 2,600 (FLU)
Proposed Zoning	Total gallons per day 2,600 (ZONING) / 2,600 (FLU)
Change in Demand	<b>Total gallons per day 0 (BASED ON LAND USE AND ZONING)</b>

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people	0	34	+ .170 AC
Community	2.5 acres per 1,000 people	0	34	+ .085 AC
Neighborhood	1.36 acres per 1,000 people	0	34	+ .004 AC

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students /70% K-8/30% High) Multi-family: (du x 0.207 = students /70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name	T/B/D	T/B/D
City	T/B/D	T/B/D
Distance	T/B/D	T/B/D
Current Zoning Enrollment Demand	SITE IS VACANT	SITE IS VACANT
Proposed Zoning Enrollment Demand	3.7	1.5
Change in Demand	+3.7	+1.5

<b>E. Solid Waste:</b> 2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units	
Demand Analysis	Maximum
Current Zoning	0 YARDS
Proposed Zoning	2 YARDS
Change in Demand	+2 YARDS

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year - 1 day storm event)

<b>Impact</b>	SEE PROJECT SITE PLAN - STORMWATER WILL CONFORM TO APPLICABLE CITY AND SFWMD STANDARDS
---------------	--

**III. Transportation Analysis**

<b>G. Traffic</b>		
Most recent ITE Code for use; HCM Roadway Capacity		
	<b>AADT</b>	<b>AM/PM Peak Hour Trips</b>
<b>Demand Analysis</b>	Maximum	Maximum
<b>Current Zoning</b>	VACANT R4A	VACANT R4A
<b>Proposed Zoning</b>	9.52/ UNIT	.77 (AM) / 1.02 (PM)
<b>Change in Demand</b>	Trips +124 AADT	Trips +10 (AM) / +13.2 (PM)
<b>Impact to Capacity</b>	None expected - trips are deminimis impact to adj. street network. See Traffic Report	

12. Name of Owner(s): COMMONWEALTH FOUNDATION FOR CANCER RESEARCH  
 Mailing Address: 800 EAST CANAL STREET, STE 1900  
 City RICHMOND State VA Zip 23219-3955  
 Phone # 804-643-4200  
 E-mail: ggordon@riverg.com

13. Name of Applicant: CCCV Fort Pierce Enterprises, LLC  
 Mailing Address: 305 Fernandina Street  
 City Ft. Pierce State Fla. Zip 34949  
 Phone # \_\_\_\_\_ Fax # \_\_\_\_\_  
 E-mail: \_\_\_\_\_

14. Name of Representative: Culpepper & Terpenng, Inc. (attn: D Murphy)  
 Mailing Address: 2980 South 25th Street  
 City Ft. Pierce State Fla Zip 34981  
 Phone # 772-464-3537 (x301) Fax # \_\_\_\_\_  
 E-mail: dmurphy@ct-eng.com

**15. Applicant Acknowledgements (Owner's signature must be notarized)**

I certify that: (Check One)

I (we) do hereby certify that I (we) own in fee simple the above referenced described property for which a change in Zoning Classification is requested.

I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

 10/21/2021  
 Applicant's Signature Date

305 Fernandina Street, Ft. Pierce

Fla

34949

Address

State

Zip

Phone

Fax

E-mail Address

16. Property Owners Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

COMMONWEALTH FOUNDATION FOR CANCER RESEARCH 804-643-4200

Property Owner's Name (Please Print)

Phone

800 East Canal Street, Suite 1900

VA

23219

Address

State

Zip

Property Owner's Signature

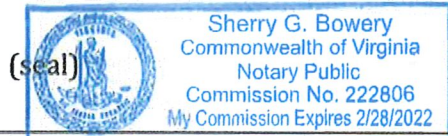
Date

Virginia  
STATE OF FLORIDA  
ST. LUCIE COUNTY  
City of Richmond

The foregoing instrument was acknowledged before me this 21st day of October, 2021, by

James A. Jones who is personally known to me or has produced \_\_\_\_\_ as ident

Sherry G. Bowery  
Signature of Notary



OFFICE USE:

DATE RECEIVED: \_\_\_\_\_ Signed: \_\_\_\_\_

File Number: \_\_\_\_\_ Check No: \_\_\_\_\_ Receipt No: \_\_\_\_\_

TRC Review: \_\_\_\_\_ Planning Board Review: \_\_\_\_\_ City Commission: \_\_\_\_\_

Ordinance No: \_\_\_\_\_ Date Approved: \_\_\_\_\_



**DEVELOPMENT REVIEW**

**Property Information**

Property address or Location SW Corner of Porpoise Ave and So. Ocean Drive  
 Parcel ID #(s) 2401-502-0026-000-6  
 Project description 13 Unit Residential Development (PUD Application)

**Application Type**

- Site Plan       Conditional Use w/New Construction       Conceptual Development Plan  
 Minor Amendment       Major Amendment

**Site Information**

*Non-Residential:* Proposed Sq. Ft.: \_\_\_\_\_ Site Acreage: \_\_\_\_\_  
*Residential:* Proposed Units: 13 du Proposed Sq. Ft.: \_\_\_\_\_ Site Acreage: 1.616

COMMONWEALTH FOUNDATION FOR CANCER RESEARCH

**Property Owner(s)**

800 E Canal ST Ste 1900  
 Street Address  
Richmond Va 23219-3955  
 City State Zip  
804-643-4200  
 Phone Number  
ggordon@riverg.com  
 Email Address

**Dennis Murphy, Principal Planner**

**Applicant/Representative, Title, Company**

Culpepper & Terpening, Inc.  
 Street Address  
2980 South 25th Street Fla 34981  
 City State Zip  
772-464-3537 x 301 (o) / 772-216-5056 (c)  
 Phone Number  
dmurphy@ct-eng.com  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

Property Owner(s) Signature(s)

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**

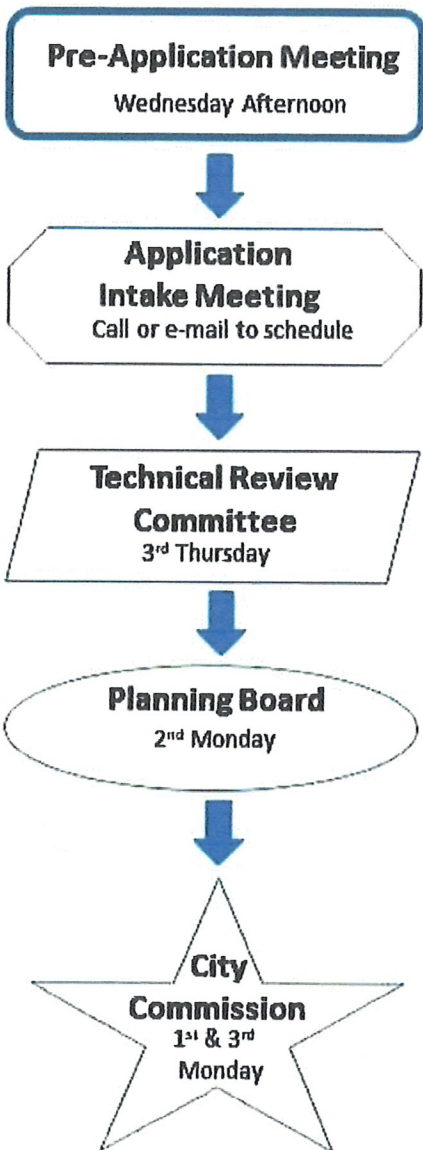
CALL 772.467.3737 OR E-MAIL [PLANNING\\_DL@CITYOFFORTPIERCE.COM](mailto:PLANNING_DL@CITYOFFORTPIERCE.COM)

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

General Information

- Incomplete application packets will not be accepted.
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



**Site Plan submittal requirements:**

*Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.*

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- ~~Environmental Impact Report~~
- ~~Beach/Dune System protection plan, if applicable (see Section 125-313)~~
- ~~Lighting Plan (see Section 125-313)~~
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



**DESIGN REVIEW**

**Property Information**

Property address or Location SW Corner of Porpoise Ave and So. Ocean Drive  
Parcel ID #(s) 2401-502-0026-000-6  
Project description 13 Unit Residential Development (accompanies Coral sands @ So. Ocean PUD Application)

COMMONWEALTH FOUNDATION FOR CANCER RESEARCH  

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Property Owner(s)  
800 E Canal ST Ste 1900  

---

Street Address  
Richmond Va 23219-3955  

---

City State Zip  
804-643-4200  

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Phone Number  
ggordon@riverg.com  

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Email Address

Dennis Murphy, Principal Planner  

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Applicant/Representative, Title, Company  
Culpepper & Terpening, Inc.  

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Street Address  
2980 South 25th Street Fla 34981  

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City State Zip  
772-464-3537 x 301 (o) / 772-216-5056 (c)  

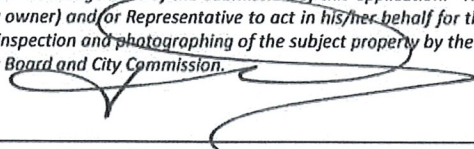
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Phone Number  
dmurphy@ct-eng.com  

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Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

---

Property Owner(s) Signature(s)

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**  
CALL 772.467.3737 OR E-MAIL [PLANNING\\_DL@CITYOFFORTPIERCE.COM](mailto:PLANNING_DL@CITYOFFORTPIERCE.COM)  
For more information, please refer to the website:  
<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev1>



## CONCURRENCY CAPACITY ANALYSIS

### I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

### II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>B. Wastewater:</b>	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

<b>C. Parks and Recreation (Residential Classifications Only):</b> (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

<b>D. Public Schools (Residential Classifications Only):</b> Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	<b>K-8</b>	<b>High</b>
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

<b>E. Solid Waste: Residential</b> (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

**F. Stormwater:**  
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)



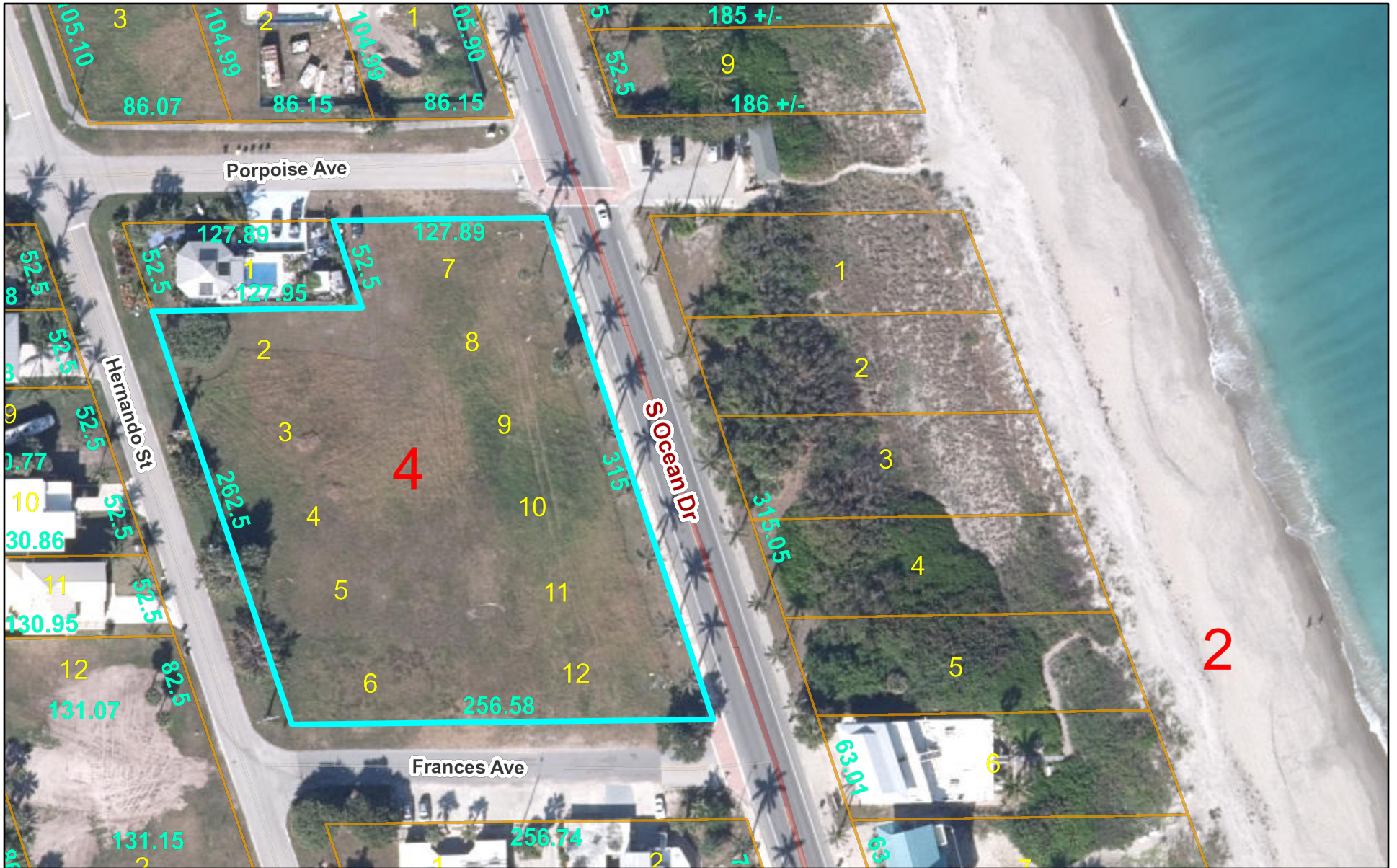
<b>NON-RESIDENTIAL DATA</b>					
<b>Type(s) specify</b>	<b>Phase</b>	<b>Square footage</b>	<b>Acres</b>	<b>Expecting beginning date</b>	<b>Expected completion date</b>

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated.  Yes  No
- B. 1. Does this application involve demolition or re-use of any structure(s)?  Yes  No  
If yes, what is the size of the structure(s) to be demolished or re-used? \_\_\_\_\_
2. What is the current use of the structure to be demolished or re-used? \_\_\_\_\_
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site?  Yes  No  
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

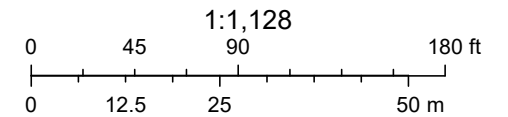
C. Exemptions Requested:

\*\* Complete section if requesting a change in zoning, future land use, or expanding

# Saint Lucie County Property Appraiser



September 24, 2021



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

This instrument prepared by and please return to:  
Malia O'Connell Flatt (VSB No. 45370)  
CCA Properties, LLC  
800 East Canal Street, Suite 1900  
Richmond, VA 23219

**THIS DEED OF GIFT**, is effective as of the 31st day of March, 2017 by and between **CCA PROPERTIES, LLC**, a Virginia limited liability company, to be indexed as grantor, (the "Grantor"); and **COMMONWEALTH FOUNDATION FOR CANCER RESEARCH**, a Virginia non-stock corporation, to be indexed as grantee, (the "Grantee"), whose mailing address is 800 East Canal Street, Suite 1900, Richmond, Virginia 23219.

WITNESSETH:

THAT the Grantor does hereby give, grant and convey unto the Grantee with **SPECIAL WARRANTY OF TITLE**, in fee simple, its interest in the following real estate located in the St. Lucie County, State of Florida and described on Exhibit "A" attached hereto (the "Property").

THIS conveyance is made expressly subject to all real estate taxes, assessments, both general and special, zoning ordinances, if any, easements, restrictions, covenants, conditions, and agreements of record as are lawfully applicable to the Property.

TO HAVE AND TO HOLD the Property, together with all rights, privileges and advantages thereunto belonging or appertaining to the Grantee, its successors and assigns, forever.

IN WITNESS WHEREOF, the Grantor has caused this Deed to be executed on its behalf by its duly authorized representative as of the date set forth above.

Signed and Acknowledged in the presence of:

**CCA Properties, LLC, a Virginia limited liability company**

Maria D'Connell Flatt  
Witness Signature

Maria D'Connell Flatt  
Printed Name of Witness

Jena Orlandi-Burnett  
Witness Signature

Jena Orlandi-Burnett  
Printed Name of Witness

James A. Jones  
James A. Jones, Manager

COMMONWEALTH OF VIRGINIA  
CITY OF RICHMOND, to-wit:

The foregoing instrument was acknowledged before me this 31st day of March, 2017, by James A. Jones as Manager of CCA Properties, LLC, a Virginia limited liability company.

My Commission Expires: 2/28/2018  
Registration Number: 222806

Sherry G. Bowery  
Notary Public

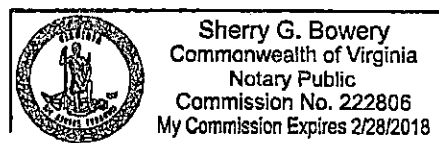


EXHIBIT A

**Parcel I:**

Lots 2 through 12, inclusive Block 4, revised Plat of Palm Haven Subdivision, according to the Plat thereof recorded in Plat Book 8, Page 44, of the Public Records of St. Lucie County, Florida.

Parcel Identification Number: 2401-502-0026-000/6

**Parcel II:**

Lots 1 through 5, inclusive Block 2, revised Plat of Palm Haven Subdivision, according to the Plat thereof recorded in Plat Book 8, Page 44, of the Public Records of St. Lucie County, Florida less and except that parcel deeded to St. Lucie County, Florida, recorded in O.R. Book 168, Page 386 and St. Lucie County Erosion District, recorded in O.R. Book 168, Page 386 and St. Lucie County Erosion District, recorded in O.R. Book 175, Page 1657, all of the Public Records of St. Lucie County, Florida.

Parcel Identification Numbers: 2401-502-0010-000/1; 2401-502-0011-000/8; 2401-502-0012-000/5; 2401-502-0013-000/2; 2401-502-0014-000/9



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
CCCV FORT ENTERPRISES, LLC

### Filing Information

<b>Document Number</b>	L18000162658
<b>FEI/EIN Number</b>	83-1161351
<b>Date Filed</b>	07/05/2018
<b>Effective Date</b>	07/04/2018
<b>State</b>	FL
<b>Status</b>	ACTIVE

### Principal Address

305 FERNANDINA STREET  
FORT PIERCE, FL 34949

### Mailing Address

305 FERNANDINA STREET  
FORT PIERCE, FL 34949

### Registered Agent Name & Address

THOMPSON, PHILIP J  
305 FERNANDINA STREET  
FORT PIERCE, FL 34949

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

THOMPSON, PHILIP J  
305 FERNANDINA STREET  
FORT PIERCE, FL 34949

### Annual Reports

<b>Report Year</b>	<b>Filed Date</b>
2019	03/09/2019
2020	03/17/2020
2021	04/12/2021

### Document Images

[04/12/2021 -- ANNUAL REPORT](#)

[View image in PDF format](#)

[03/17/2020 -- ANNUAL REPORT](#)

[View image in PDF format](#)

[03/09/2019 -- ANNUAL REPORT](#)

[View image in PDF format](#)

[07/05/2018 -- Florida Limited Liability](#)

[View image in PDF format](#)

### Property Identification

Site Address: 511 S OCEAN DR Use Type: 0000 Parcel ID: 2401-502-0026-000-6 Jurisdiction: Fort Pierce Account #: 14881 Map ID: 24/01N Sec/Town/Range: 01/35S/40E Zoning: HI Medium

### Ownership

COMMONWEALTH FOUNDATION FOR CANCER RESEARCH  
800 E Canal ST Ste 1900  
Richmond, VA 23219-3955

### Legal Description

PALM HAVEN S/D-UNIT 1-BLK 4 LOTS2, 3, 4, 5, 6, 7, 8, 9, 10, 11 AND 12 (OR 3994-2568)

### Current Values

Just/Market: \$422,700 Assessed: \$422,700  
Exemptions: \$0 Taxable: \$422,700

### Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2021	\$422,700	\$422,700	\$0	\$422,700
2020	\$422,700	\$422,700	\$0	\$422,700
2019	\$422,700	\$394,790	\$0	\$394,790

### Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
03-31-2017	3994 / 2568	0317	DE	CCA Properties LLC	\$100
01-13-2010	3170 / 0951	0111	CT	Ocean Drive West LLC	\$100
06-17-2005	2282 / 0910	XX00	WD	Ocean Front Land LLC	\$1,880,000

### Primary Building Information

Finished Area of this building: 0 SF  
Gross Sketched Area: 0 SF

#### Exterior Data

View:	Roof Cover:	Roof Structure:	Building Type:
Year Built: N/A	Frame:	Grade:	Effective Year: N/A
Primary Wall:	Story Height:	No. Units: 0	Secondary Wall:

#### Interior Data

Bedrooms: 0	A/C %: 0%	Electric:	Primary Int Wall:
Full Baths: 0	Heated %: N/A%	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Sprinkled %: 0%	Heat Fuel:	Primary Floors:



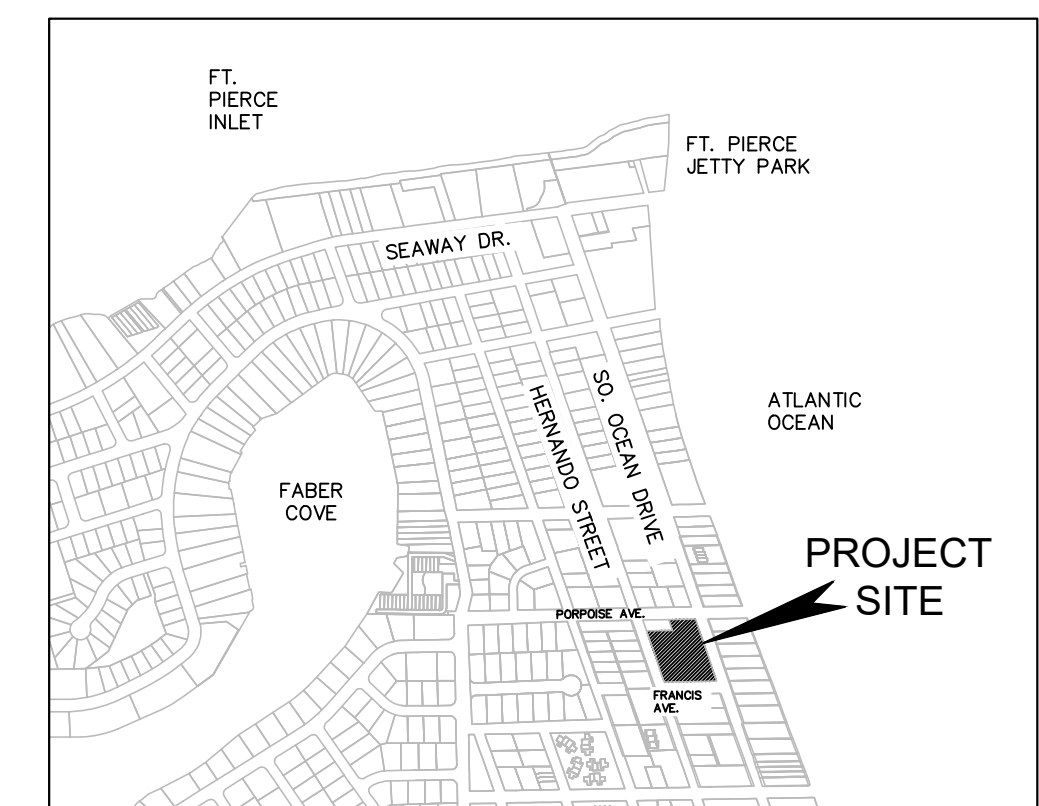
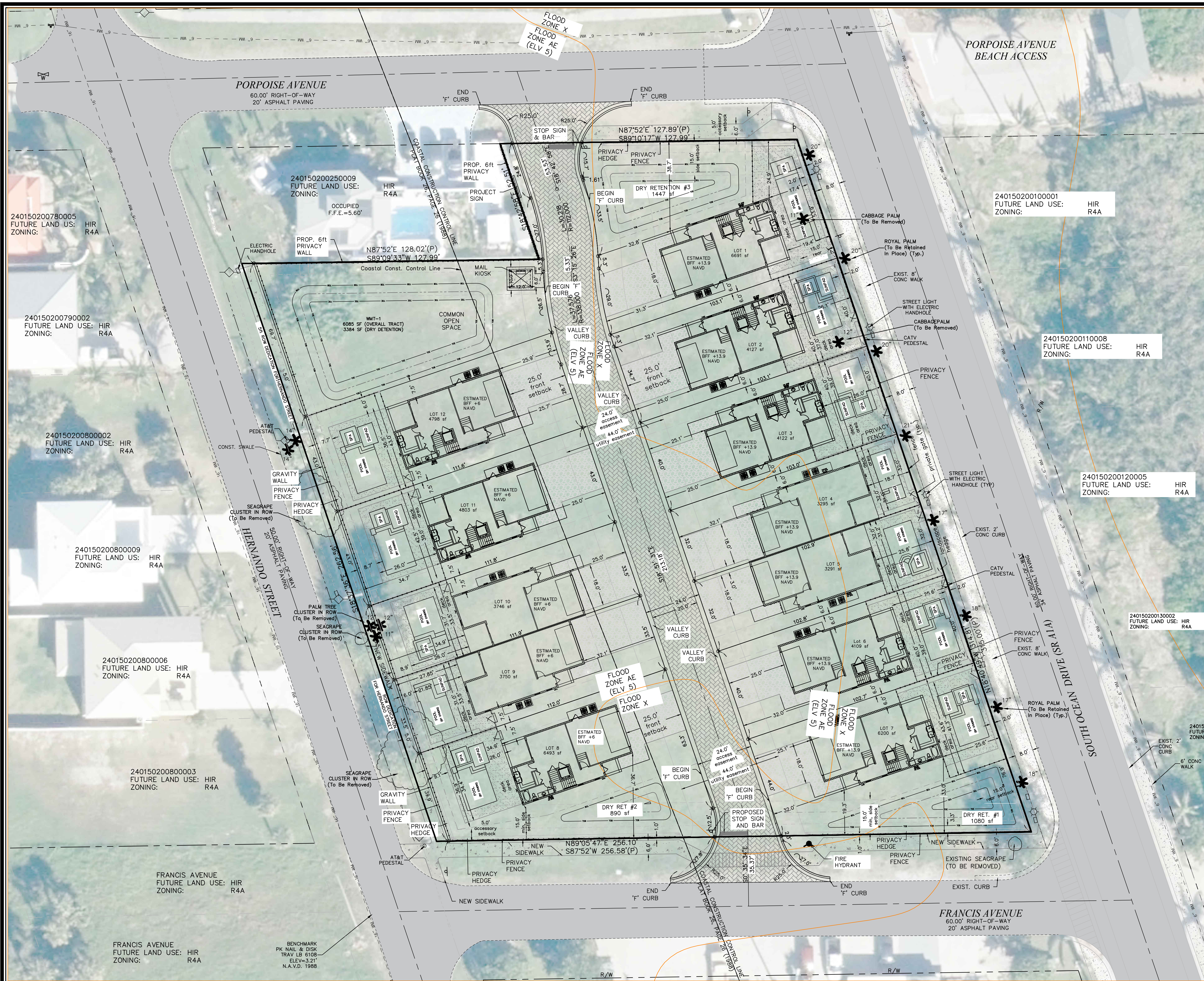
Image  
or  
Sketch  
unavailable  
for display

### Total Areas

Finished/Under Air (SF):	0
Gross Sketched Area (SF):	0
Land Size (acres):	1.7
Land Size (SF):	73,920
Total Building Count:	1

### Special Features and Yard Items

Type	Qty	Units	Year Blt
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LOCATION MAP  
(NOT TO SCALE)

240150200780005  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200790002  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200800002  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200800009  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200800006  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200800003  
FUTURE LAND USE: HIR  
ZONING: R4A

FRANCIS AVENUE  
FUTURE LAND USE: HIR  
ZONING: R4A

FRANCIS AVENUE  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200100001  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200110008  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200120005  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200130002  
FUTURE LAND USE: HIR  
ZONING: R4A

240150200140000  
FUTURE LAND USE: HIR  
ZONING: R4A

COMPUTER FILE REF.	FIELD BK./PG.

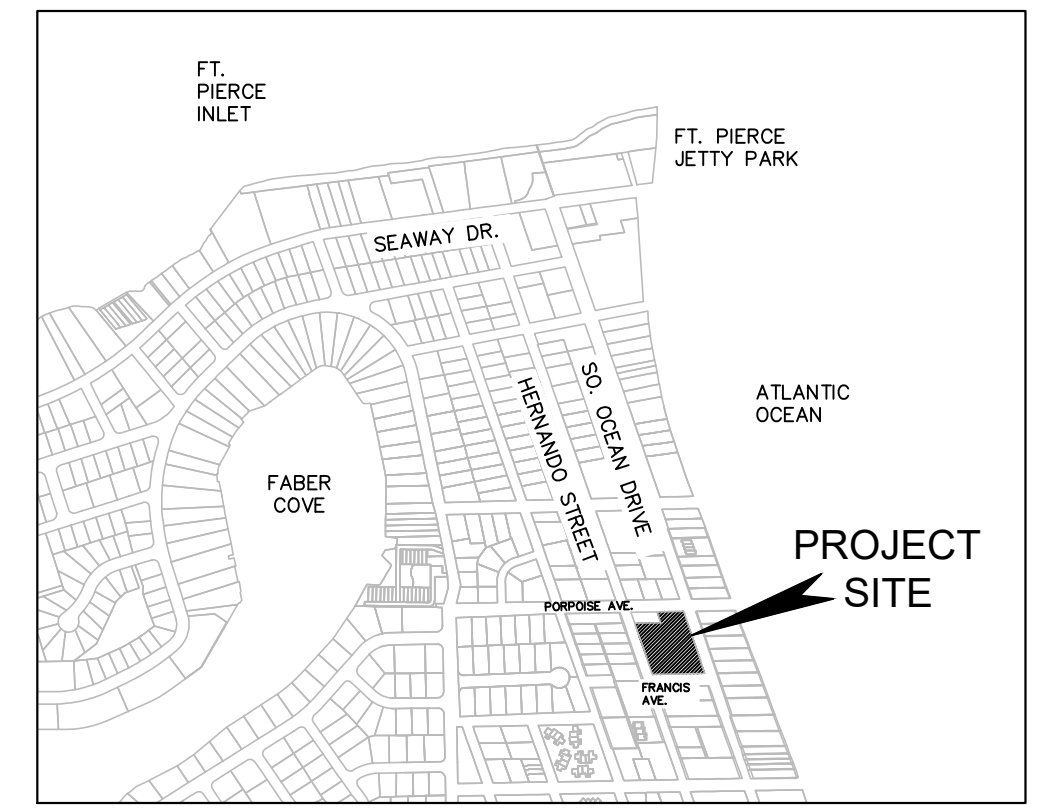
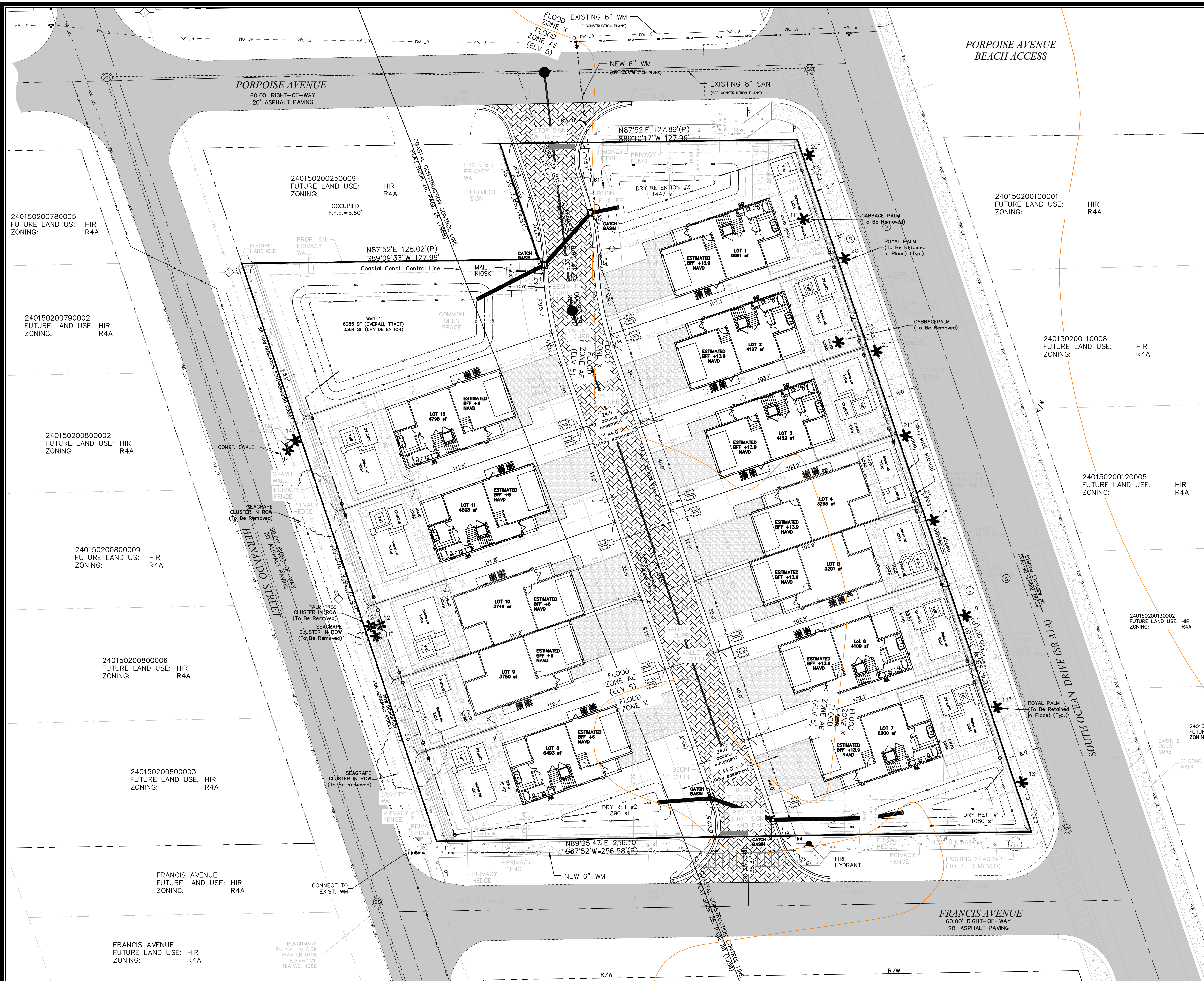
**CULPEPPER & TERPENING, INC**  
CONSULTING ENGINEERS | LAND SURVEYORS  
2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981  
151 SW FLAGLER AVENUE • STUART, FLORIDA 34994  
PHONE 772-464-3537 FAX 772-464-9487  
STATE OF FLORIDA CERTIFICATION No. LB 4286 www.ct-eng.com

- REVISIONS -		BY	DATE
SITE PLAN REVISIONS		DJM	22.03.10
SITE PLAN REVISIONS		DJM	22.03.17

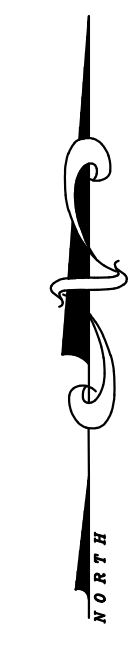
FIELD	BY	DATE
CALCS		
DRAWN		
DETAILED		
CHECKED		
APPROVED		

**CORAL SANDS PUD**  
**SITE PLAN - AERIAL**

DATE: 03-17-2022
HORIZ. SCALE: 1"=20'
VERT. SCALE: N/A
JOB No. 21-038
SHEET 4 OF 4



LOCATION MAP  
(NOT TO SCALE)



240150200780005 FUTURE LAND USE: HIR ZONING: R4A	240150200250009 FUTURE LAND USE: HIR ZONING: R4A	240150200790002 FUTURE LAND USE: HIR ZONING: R4A	240150200800002 FUTURE LAND USE: HIR ZONING: R4A	240150200800002 FUTURE LAND USE: HIR ZONING: R4A	240150200800009 FUTURE LAND USE: HIR ZONING: R4A	240150200800006 FUTURE LAND USE: HIR ZONING: R4A	240150200800003 FUTURE LAND USE: HIR ZONING: R4A	FRANCIS AVENUE FUTURE LAND USE: HIR ZONING: R4A	FRANCIS AVENUE FUTURE LAND USE: HIR ZONING: R4A
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COMPUTER FILE REF.	FIELD BK./PG.

**CULPEPPER & TERPENING, INC**  
 CONSULTING ENGINEERS | LAND SURVEYORS  
 2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981  
 151 SW FLAGLER AVENUE • STUART, FLORIDA 34994  
 PHONE 772-464-3537 FAX 772-464-9407 www.ct-eng.com  
 STATE OF FLORIDA CERTIFICATION No. LB 4286

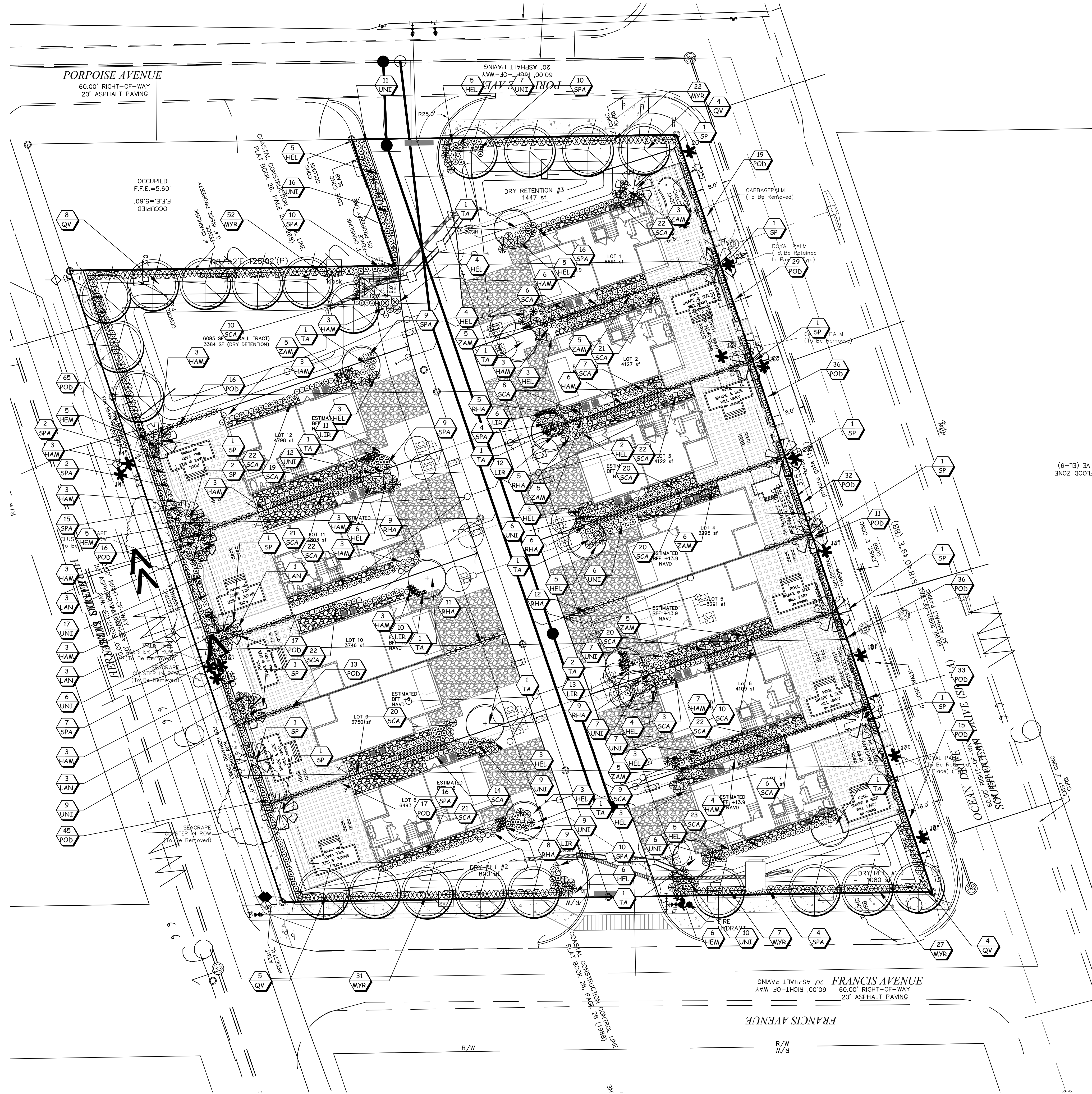
- REVISIONS -		BY	DATE
SITE PLAN REVISIONS		DJM	22.03.10
SITE PLAN REVISIONS		DJM	22.03.17

FIELD	BY	DATE
CALCS		
DRAWN		
DETAILED		
CHECKED		
APPROVED		

**CORAL SANDS PUD**  
 SITE PLAN - CONCEPT UTILITY

DATE: 03-17-2022
HORIZ. SCALE: 1"=20'
VERT. SCALE: N/A
JOB No. 21-038
SHEET 2 OF 4





**Landscape Legend:**

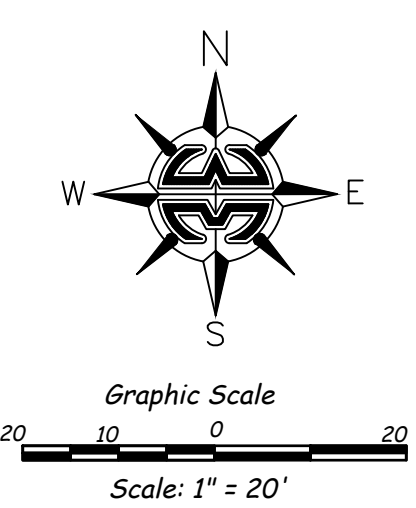
Qty	Symb	WU	Name	(N) Native	(F) Flowering Tree	(E) Evergreen
<b>Trees:</b>						
13	TA	🌿	Yellow Tabebuia (F)(E)			
			Tabebuia argentea, FG, 12' Ht, 5' Spr., 2.5" DBH			
21	QV	🌿	Live Oak (N)(E)			
			Quercus virginiana, FG, 12' Ht, 5' Spr., 2.5" DBH			
14	SP	🌿	Cabbage Palm (N)(E)			
			Sabal palmetto, 18' to 24' OA ht			
<b>Shrubs</b>						
75	HAM	🌿	Dwarf Firebush (N)			
			Hamelia patens 'Compacta', 3 gal, 24" ht, 36" o.c.			
139	MYR	🌿	Wax Myrtle (N)			
			Myrica cerifera, 3 gal, 24"x18", 36" o.c.			
383	POD	🌿	Podocarpus			
			Podocarpus macrophyllus, 3 gal, 24"x18", 24" o.c.			
71	RHA	🌿	Indian Hawthorn			
			Rhaphiolepis indica, 3 gal, 24"x18", 24" o.c.			
396	SCA	🌿	Inkberry (N)			
			Scaevola plumieri, 3 gal, 3 gal, 24"x18", 24" o.c.			
125	SPA	🌿	Sand Cordgrass (N)			
			Spartina bakeri, 3 gal, 24" oc			
125	UNI	🌿	Sea Oats (N)			
			Uniola paniculata, 3 gal, 24" ht, 24" o.c.			
39	ZAM	🌿	Coontie (N)			
			Zamia pumila, 3 gal, 36" oc			
<b>Groundcover:</b>						
101	HEL	🌿	Dune Sunflower (N)			
			Helianthus debilis, 1 gal, 6"x12", 36" o.c.			
61	LIR	🌿	Liriope			
			Liriope muscari 'Super Blue', 1 gal, 18" oc			

**Landscape Data:**

Trees required: 48 Trees  
 12 lots, 4 trees per lot: 48 Trees  
 Trees provided: 48 Trees

**General Notes:**

- No landscape materials other than sod grasses may be planted within a 5' radius maintenance area of any underground utility such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc.
- No landscaping shall be planted in a manner that would adversely affect utility easements.
- All landscape areas to receive automatic irrigation. Water source to be potable or well and will be determined at time of building permit application.
- Sod around buildings to be St. Augustine 'Bitter Blue' sod. Sod to be weed and disease free and laid tight. All areas within in retention areas to be seeded with Argentine Bahia grass.
- Not trees to be placed within 6' of any hard surface unless root barrier will be installed along the edge of the hard surface. Root barrier to extend at least 5' in either direction from the center of the tree trunk. Refer to Sheet LD-02 for installation details.



**Landscape Design Associates**  
 25110 NW 182nd Ave  
 Scale: 1" = 20'  
 Drawn by: SM  
 Checked by: SM  
 CAD: JN  
 Date: \_\_\_\_\_  
 Revisions: \_\_\_\_\_  
 Comments: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 City of Fort Pierce  
**Coral Sands at South Ocean**  
 LD-0  
 4.1.22

**PLANTING NOTES:**

**FERTILIZER**

FERTILIZERS SHALL BE SLOW RELEASE, UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THE FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURERS STATEMENT OF ANALYSIS AND SHALL MEET THE FOLLOWING REQUIREMENTS: SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB PER 3 GAL POT, 1/4 LB PER 1 GAL POT) AND GROUNDCOVER. THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 ANALYSIS. A 14-14-14 FERTILIZER ANALYSIS IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL PLANTS, 2 WITH 3 GAL PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

**MULCH**

MULCH MATERIAL SHALL BE COLORED 'A' GRADE CERTIFIED RECYCLED MULCH AND MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM OF 3" DEPTH IN PLANTING BEDS. MULCH SHALL NOT BE PLACED WITHIN 6" OF TREE OR PALM TRUNKS.

**SOD**

THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

**SUBSTITUTIONS**

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OF RECORD. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS A SUBSTITUTE FOR B & B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

**MEASUREMENTS**

**SHADE TREES:** HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

**SHRUBS:** HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

**PALMS:** CLEAR TRUNK SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

**GREY WOOD (G.W.):** SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO TOP OF THE HARDENED TRUNK.

**OVERALL HEIGHT (O.A.):** SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

**PALMS WITH MARRED OR BURNED TRUNKS** WILL NOT BE ACCEPTED.

**PLANTING SOIL AND BACKFILL**

PLANTING SOIL SHALL BE RECYCLED TOPSOIL. RECYCLED TOPSOIL SHALL CONSIST OF A STABILIZED MIXTURE OF GROUND YARD TRIMMINGS AND POSSIBLY BIOSOLIDS PROCESSED ACCORDING TO STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR THE PROCESSING AND DISTRIBUTION OF SEWAGE SLUDGE COMPOST. RECYCLED TOPSOIL SHALL ONLY BE OBTAINED FROM A STATE PERMITTED RECYCLING FACILITY WHICH IS ALSO D.O.T. CERTIFIED AND STORES PRODUCT ON A PAD WITH A CURRENT NEMATODE CERTIFICATION FROM FLORIDA DEPARTMENT OF AGRICULTURE. RECYCLED TOPSOIL SHALL HAVE THE FOLLOWING CHARACTERISTICS:  
 - WEED FREE  
 - MOISTURE CONTENT 50% BY WEIGHT MAXIMUM  
 - WATER HOLDING CAPACITY 200% BY WEIGHT MINIMUM  
 - CARBON TO NITROGEN RATIO LESS THAN 25 TO 1  
 - ORGANIC MATTER CONTENT 40% BY DRY WEIGHT MINIMUM  
 - SOLUBLE SALTS LESS THAN 3 MMHOS/CM  
 - PH RANGE 7.0 - 7.9  
 - MINIMUM NUTRIENT LEVELS AS FOLLOWS:  
 MACRO NUTRIENTS: NITROGEN (N) - 1% MINIMUM, WATER INSOLUBLE NITROGEN 90% MINIMUM, PHOSPHORUS (P) - 0.5% MINIMUM, POTASSIUM (K) - 0.2% MINIMUM AND OTHER MACRO AND MICRO NUTRIENTS. THE RECYCLED TOPSOIL SHALL CONTAIN LEVELS OF THOSE MICRO NUTRIENTS NECESSARY FOR PLANT GROWTH. THESE INCLUDE CALCIUM, MAGNESIUM, SULFUR, BORON, COPPER, IRON, MANGANESE AND MOLYBDENUM. RECYCLED TOPSOIL NOT MEETING THESE REQUIREMENTS WILL NOT BE ACCEPTED.

**BACKFILL:**

ALL NEW AND TRANSPLANTED PLANT MATERIAL (INCLUDING NEW SOD) SHALL BE PLANTED ONLY AFTER PREPARATION OF EXISTING SOIL AS FOLLOWS:  
 SPREAD A LAYER OF 3" DEPTH OF RECYCLED TOPSOIL (AS DEFINED ABOVE) OVER THE ENTIRE PLANTING AREA. THE TOPSOIL SHALL THEN BE UNIFORMLY DISKED, TILLED OR AERIFIED INTO THE EXISTING SOIL TO A DEPTH OF 12" UNDERNEATH SHRUBS AND GROUNDCOVERS, 6" UNDERNEATH SOD AND TO A DEPTH OF 36" FOR THE TREE PITS, WITH THE FOLLOWING EXCEPTION: NO ROTOTILLING OR DISKING SHALL OCCUR CLOSER TO THE TRUNKS OF ESTABLISHED PLANTS THAN ONE HALF (1/2) THE DISTANCE OF THE CANOPY FURTHER OUT FROM THE DRIP LINE OF THE EXISTING PLANT CANOPY. ALL PLANTS, INCLUDING HEDGES AND GROUND COVER SHALL BE PLANTED IN INDIVIDUALLY DUG HOLES AND THE MATERIAL DUG FROM THE HOLES SHALL THEN BE FURTHER MIXED WITH THE PREPARED SITE SOIL PRIOR TO BACKFILLING OF THE PLANTING HOLES AROUND THE ROOT BALLS. NO ADDITIONAL BACKFILL SOIL SHALL BE USED.

AN EXCEPTION ARE PLANTING PITS FOR CABBAGE PALMS, WHICH SHALL BE BACKFILLED WITH CLEAN NATIVE SAND ONLY.

REMOVE EXCESS MATERIAL TO PROVIDE PROPER FINISHED GRADE.

ALL PLANTING PITS AND PLANTING AREAS SHALL BE AMENDED WITH AGRODIAMONDS PER MANUFACTURERS SPECIFICATIONS.

**PLANT MATERIALS**

TREES, PALMS, SHRUBS, GROUND COVERS:

PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED IN THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE NORMAL FOR THE VARIETY AND FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

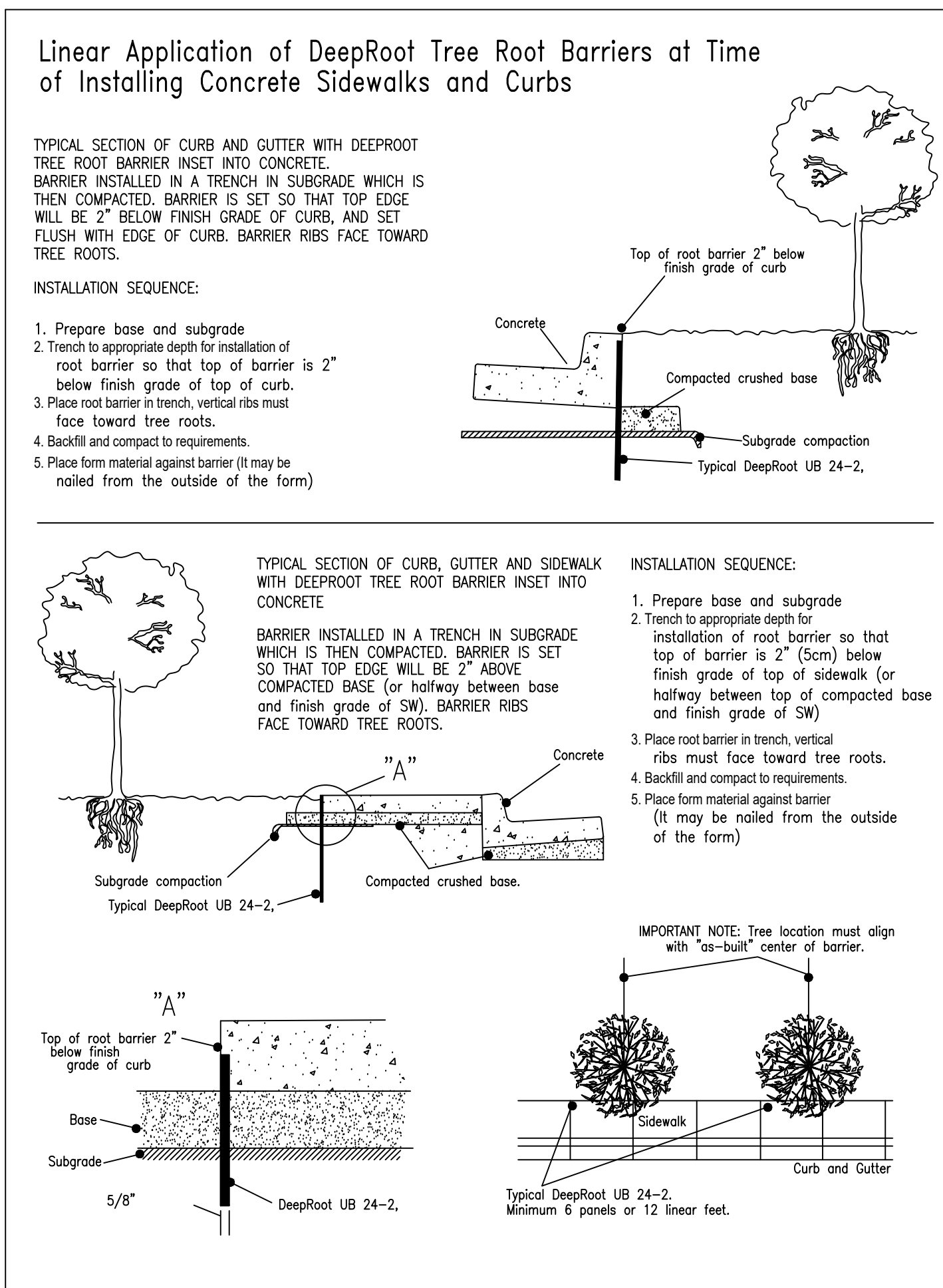
SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND IT IS OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.

ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN HEALTHY GROWING CONDITION. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

**GENERAL NOTES:**

- THE CONTRACTOR SHALL PERSONALLY ACQUAINT HIM/HER SELF WITH THE EXISTING SITE CONDITIONS AND THE EXTENT AND SCOPE OF WORK REQUIRED.
- THE PLANT LIST INDICATES THE NAMES, SIZES AND SPACING OF SPECIFIC PLANT MATERIALS. QUANTITIES HAVE BEEN PROVIDED TO THE CONTRACTOR AS A CONVENIENCE, THE CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN QUANTITY COUNT. IN CASE OF DISCREPANCIES BETWEEN THE DRAWINGS AND PLANT LIST, THE QUANTITIES ON THE DRAWINGS SHALL PREVAIL.
- NO SUBSTITUTES ON VARIETIES LISTED WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT.
- PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.
- THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
- ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.
- ALL TREES MUST BE STAKED AS SHOWN ON THE LANDSCAPE DETAIL SHEET WITHIN 24 HRS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 12 MONTH BUT NO LONGER THAN 18 MONTH. CONTRACTOR RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.
- ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT DIRECTION.
- ALL SOD EDGES SHALL BE TRIMMED AS PER THE LANDSCAPE ARCHITECTS DIRECTION.
- ALL SHRUBS, TREES, GROUNDCOVERS, SOD AND WILDFLOWER AREAS SHALL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- SOAK PLANTS IMMEDIATELY WITH WATER FOLLOWING PLANTING.
- MAINTAIN THE ORIGINAL GRADE OF THE TREE BASE.
- DO NOT BREAK ROOTBALL.
- ALL PLANT SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE ON LOCALITY OF THE PROJECT.
- THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF THE CONTRACT OR ACCEPTANCE BY THE LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.
- THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY THE CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE SHALL BE PROMPTLY CORRECTED BY THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF FINAL ACCEPTANCE THE ONE (1) YEAR PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR IN THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM LIGHTNING, VANDALISM, AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS DURING THE GUARANTEE PERIOD UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.
- ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION AS WELL AS ALL COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL SHALL BE INCLUDED IN THE CONTRACTORS BID TO PERFORM THE WORK PRESENTED IN THIS PLAN SET.
- NO LANDSCAPING ADDED UNDER THIS PROJECT SHALL BE LOCATED SUCH THAT SAID LANDSCAPING OBSCURES MOTORIST'S VISIBILITY OF ANY EXISTING SIGN(S).



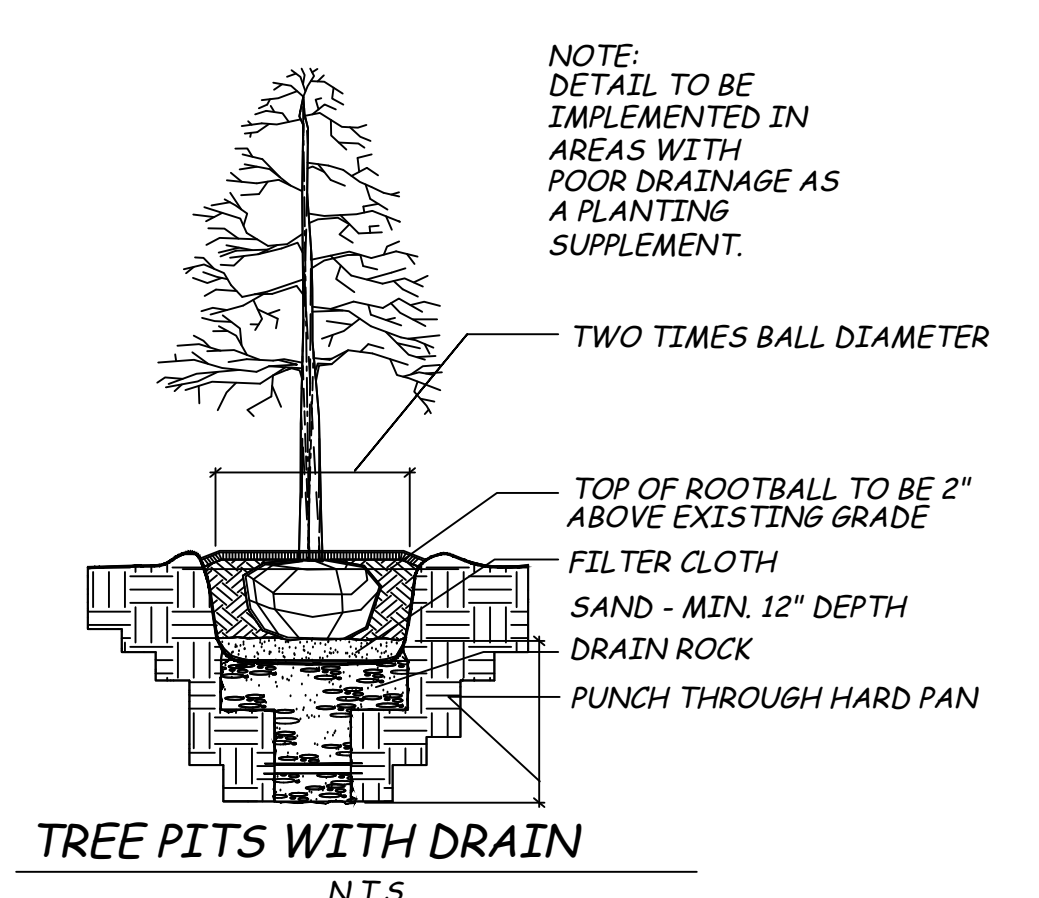
**WATERING SCHEDULE**

APPLICATION SCHEDULE	
PALM TREES	20 GAL/APPLICATION/PLANT
LARGE TREES	30 GAL/APPLICATION/PLANT
SMALL TREES	20 GAL/APPLICATION/PLANT
LARGE SHRUBS	10 GAL/APPLICATION/PLANT
SMALL SHRUBS	5 GAL/APPLICATION/PLANT
GROUNDCOVER	5 GAL/APPLICATION/PLANT

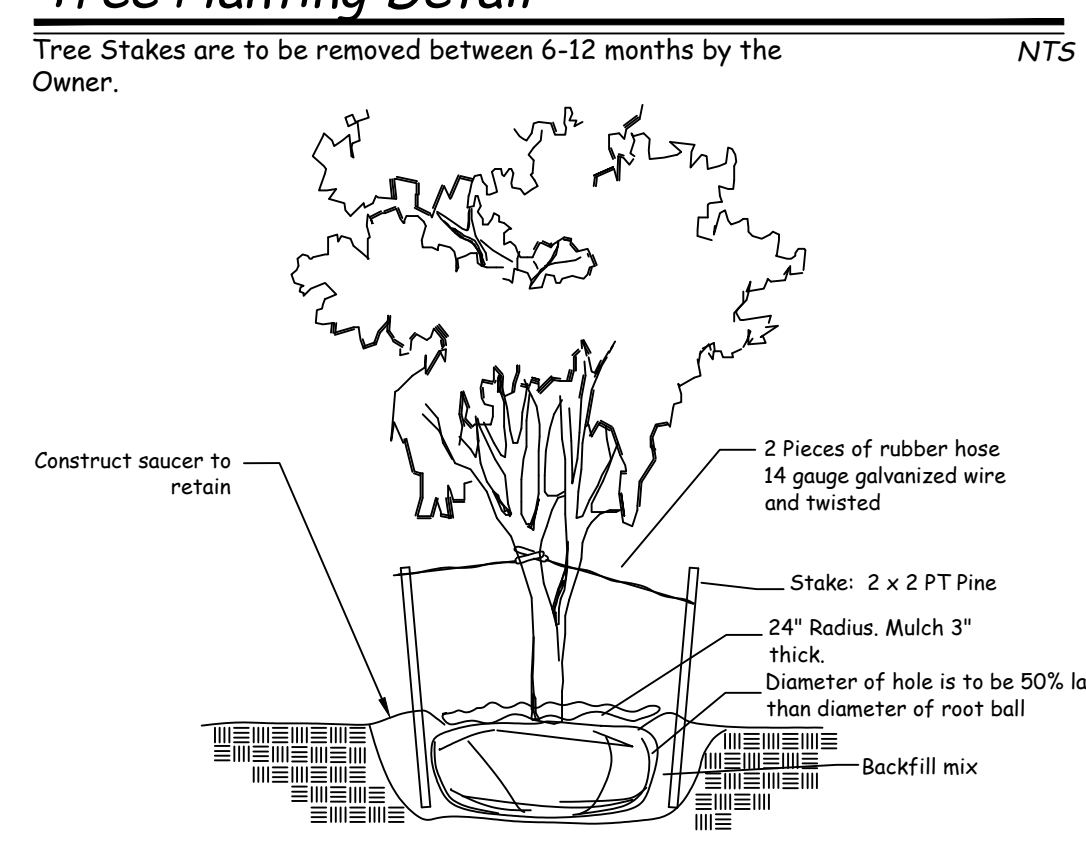
  

APPLICATION AMOUNT	
MONTH 1	12 APPLICATIONS
MONTH 2	12 APPLICATIONS
MONTH 3	8 APPLICATIONS
MONTH 4	8 APPLICATIONS
MONTH 5	5 APPLICATIONS
<b>TOTAL:</b>	<b>45 APPLICATIONS</b>

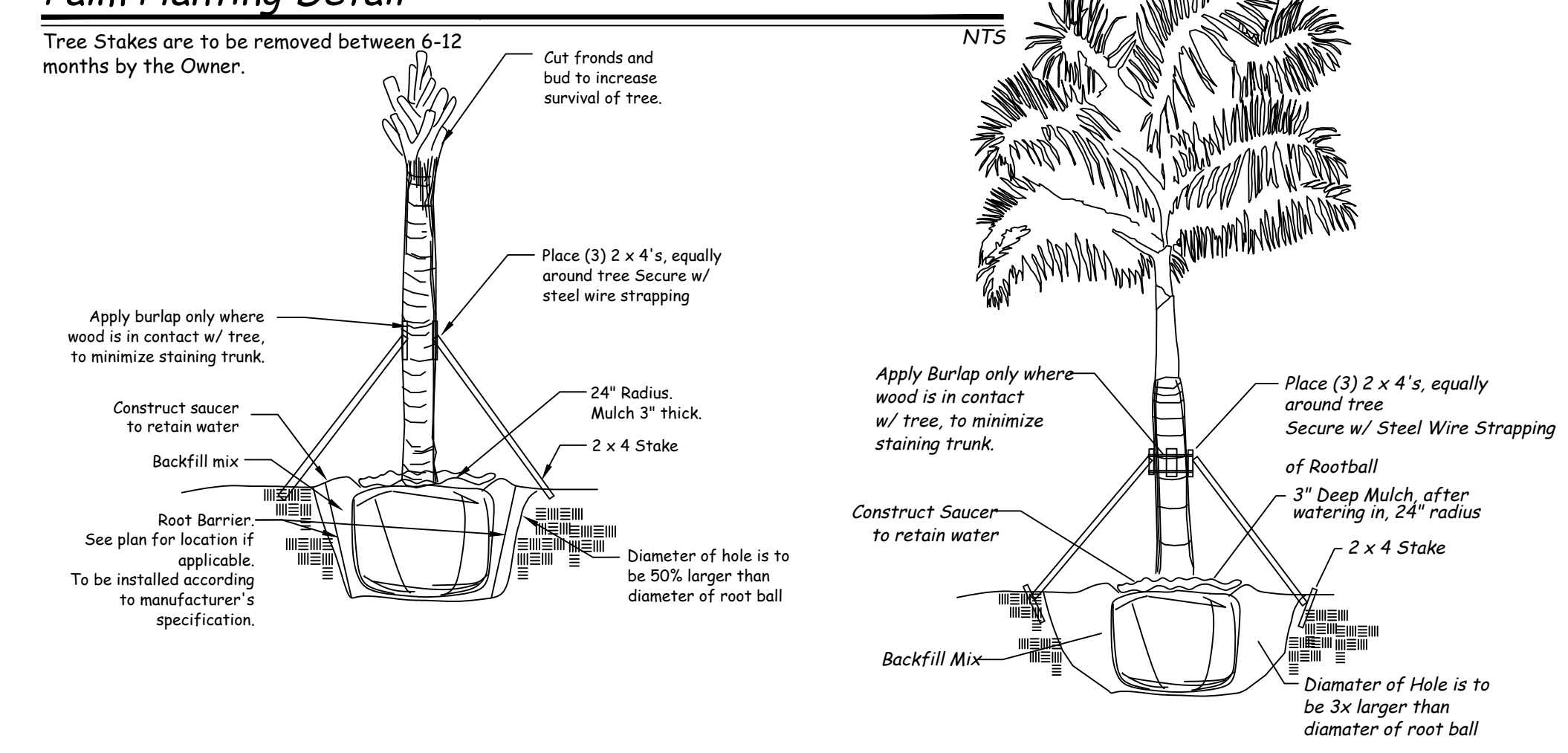
**ABBREVIATIONS:** C.T. - CLEAR TRUNK  
 Ht. - HEIGHT  
 O.C. - ON CENTER  
 Spr. - SPREAD



**Tree Planting Detail**

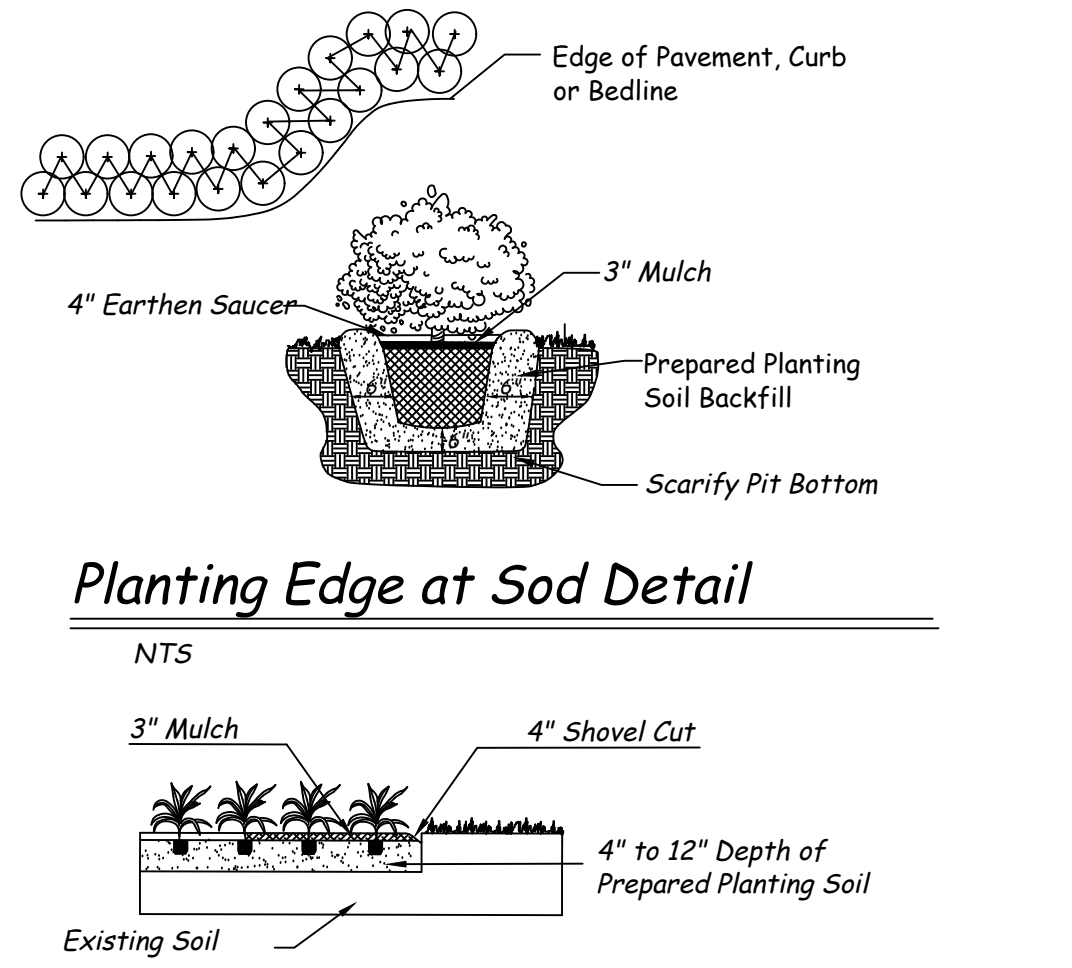


**Palm Planting Detail**



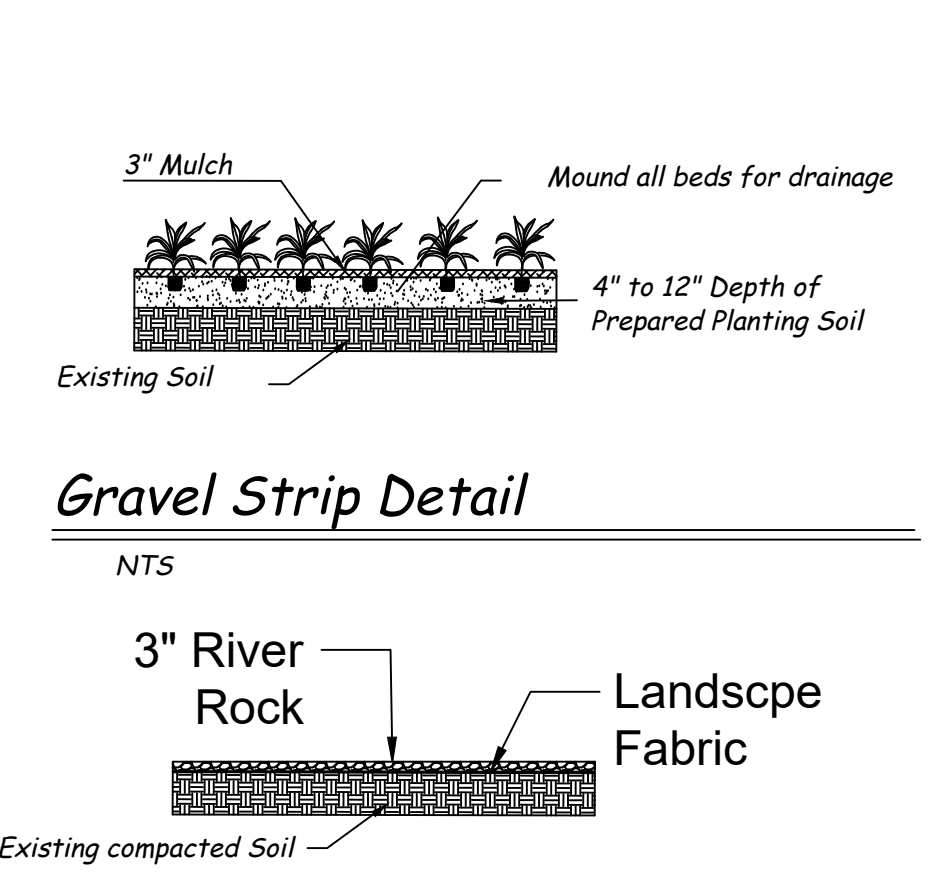
**Shrub & Groundcover Planting Detail**

Note: All Shrubs And Groundcover Shall Be Triangular Spaced Along Straight Edges And Will Be Planted In Parallel Rows Along Curved Edges. N.T.S.



**Groundcover & Annual Detail**

NOTE: Annuals Are To Be Planted As Per Groundcover Detail Excluding Mulch. N.T.S.



**BUILDING ELEVATIONS SINGLE FAMILY**



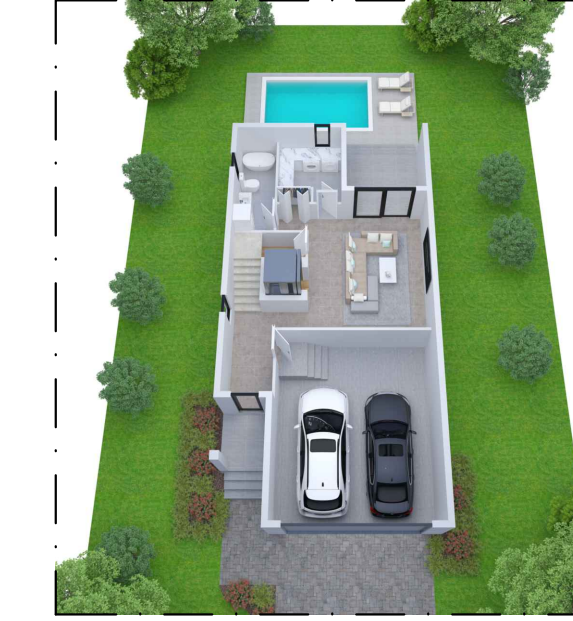
**FRONT**



**SIDE**



**REAR**



**1ST FLOOR**



**2ND FLOOR**



**3RD FLOOR**



**ROOFTOP DECK**

**BUILDING ELEVATIONS (2 FAMILY ATTACHED)**



**FRONT**



**LEFT SIDE / REAR**



**RIGHT SIDE / REAR**

COMPUTER FILE REF.	FIELD BK./PG.

**CULPEPPER & TERPENING, INC**  
 CONSULTING ENGINEERS | LAND SURVEYORS  
 2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981  
 151 SW FLAGLER AVENUE • STUART, FLORIDA 34994  
 PHONE 772-464-3537 FAX 772-464-9497 www.ct-eng.com  
 STATE OF FLORIDA CERTIFICATION No. LB 4286

- REVISIONS -			BY	DATE
SITE PLAN REVISIONS	DJM	22.03.10		
SITE PLAN REVISIONS	DJM	22.03.17		

FIELD	BY	DATE
CALCS.		
DRAWN		
DETAILED		
CHECKED		
APPROVED		

**CORAL SANDS PUD**  
**BUILDING ELEVATIONS**

DATE: 03-17-2022
HORIZ. SCALE: 1"=20'
VERT. SCALE: N/A
JOB No. 21-038
SHEET 1 OF 1



**PUBLIC NOTIFICATION CERTIFICATION**

**PROJECT NAME:** Zoning Atlas Map Amendment - Coral Sands Planned Development - 511 S Ocean Dr

**NOTICES PROVIDED PURSUANT TO:** City Code Section 125-37

**NOTICE BY NEWSPAPER:** July 3rd, 2022

**NOTICE BY MAIL:** July 7, 2022

**NOTICE BY SIGNS:** June 8, 2022

**VERIFIED BY:** Vennis Gilmore

**TITLE:** Senior Planner

**SIGNATURE:**

**DATE:** July 7th, 2022



THE SUNRISE CITY

**FORT PIERCE**  
PLANNING DEPARTMENT  
*Florida*

## AFFIDAVIT OF NOTIFICATION AND MAILING

I, the undersigned, do hereby declare that I did mail copies of a notice of public hearings to each owner of the property located, or having any part thereof, situated within five hundred (500) feet of any point of the property for which the request has been made and to the owner of the property for which the request has been made, as required by Chapter 125, Article X, Section 125-37 of the Code of Ordinances.

Project: Coral Sands Planned Development

Staff Name: Vennis Gilmore

Staff Signature: 

Date Mailed: 7/7/2022

Number of Mailed Letters: 58

**Attachments:**

Copy of notice of public hearings

Mailing list

Map of properties notified

1  
Stelly-Hoven Inc  
4521 PGA Blvd Ste 201  
Palm Beach Gardens; FL 33418

2  
408 S Ocean Dr Owners Assn Inc  
408 S Ocean Dr Apt A  
Fort Pierce; FL 34949-2801

3  
Joanne Albarelli  
408 S Ocean DR; Unit Apt A  
Fort Pierce; FL 34949-2801

4  
Frederic M Barthe  
2750 NE 8th CT  
Pompano Beach; FL 33062-4204

5  
Mohamed S Abdou Essa  
3766 SW 50th ST  
Hollywood; FL 33312-8208

6  
Joseph E Zaher  
17922 NW 10th St  
Pembroke Pines; FL 33029-3118

7  
David R Leonetti  
122 Juniper DR  
Little Egg Harbor Twp; NJ 08087-9755

8  
Marilyn Giordano  
3350 Enterprise AVE; Unit Ste 120  
Weston; FL 33331-3518

9  
City of Fort Pierce  
100 N US Highway 1  
Fort Pierce; FL 34950-4205

10  
Biltmore Capital LLC  
514 Main ST  
Columbia; SC 29208-4102

11  
David R Martin (LF EST)  
600 S Ocean DR; Unit Apt A  
Fort Pierce; FL 34949-3210

12  
Patricia A Sherron  
11791 Stonehaven Way  
West Palm Beach; FL 33412-1635

13  
Steven Tarr (TR)  
4521 PGA BLVD; Unit # 201  
Palm Beach Gardens; FL 33418-3997

14  
Neo Investments LLC  
7901 4th St N Ste 300  
St Petersburg; FL 33702-4399

15  
COMMONWEALTH FOUNDATION FOR CANCER RESEARCH  
800 E Canal ST; Unit Ste 1900  
Richmond; VA 23219-3955

16  
Archie's Seabreeze Inc  
401 S Ocean Dr  
Fort Pierce; FL 34949-3256

17  
Hernando Avenue Ltd  
1369 Bayshore Dr  
Fort Pierce; FL 34949-3083

18  
Ferdinando De Luca  
28 Soundview RD  
Ridgefield; CT 06877-5710

19  
TRI-W PROPERTY MANAGEMENT LLC  
PO Box 695094  
Miami; FL 33269-2094

20  
Daniel Prystupa  
914 N Lima ST  
Burbank; CA 91505-2929

21  
Kenneth Gillette  
123 Larkin LN  
Chapel Hill; NC 27516-4687

22  
Frank Williams  
2333 NE Pine Ridge St  
Jensen Beach; FL 34957-5734

23  
Nicholas Smith  
409 Hernando ST  
Fort Pierce; FL 34949-3242

24  
William M Cali (TR)  
1609 Frances Ave  
Fort Pierce; FL 34949

25  
Mike Springman  
413 Hernando ST  
Fort Pierce; FL 34949-3242

26  
Gruber Real Estate Inv Corp  
1860 Old Okeechobee Rd #204  
West Palm Beach; FL 33409

27  
Joseph J Koch Sr (TR)  
501 Hernando ST  
Fort Pierce; FL 34949-3244

28  
John Dale  
503 Hernando St  
Fort Pierce; FL 34949-3244

29  
David E Fischer  
507 Hernando ST  
Fort Pierce; FL 34949-3244

30  
Joshua Roberts  
509 Hernando ST  
Fort Pierce; FL 34949-3244

31  
Christopher Sante  
PO Box 3006  
Key Largo; FL 33037

32  
Hamed Doostdar (LF EST)  
1712 Porpoise AVE  
Fort Pierce; FL 34949-3544

33  
Clementi Retirement Investments LLC  
5711 NE 14th AVE  
Fort Lauderdale; FL 33334-6105

34  
Joseph DeFeo  
3091 S Jog Rd  
Greenacres; FL 33467-2005

35  
Suzanne T Felts  
610 S Ocean DR  
Fort Pierce; FL 34949-3210

36  
Kelly P Golden  
608 S Ocean DR; Unit Apt 1  
Fort Pierce; FL 34949-2800

37  
Michael Nigro (TR)  
11670 Lake Shore PL  
North Palm Beach; FL 33408

38  
Anthony Tepedino (TR)  
3700 S Ocean BLVD; Unit Apt 1102  
Highland Beach; FL 33487-3372

39  
Mark Titone  
606 Dahlia LN  
Vero Beach; FL 32963-1844

40  
Tyrone Ventures II LLC  
1631 NE Steven Ave  
Jensen Beach; FL 34957

41  
Seamist Townhome Assoc Inc  
651 Hernando ST  
Fort Pierce; FL 34949-3246

42  
Richard J Breese  
655 Hernando ST  
Fort Pierce; FL 34949-3246

43  
Esther A Guzman  
653 Hernando ST  
Fort Pierce; FL 34949-3246

44  
Christopher Shea  
1822 Gulfstream AVE  
Fort Pierce; FL 34949-2826

45  
Strickland BG 3 LLC  
1157 Interlochen BLVD  
Winter Haven; FL 33884-3707

46  
Gulfstream Villas Owners Assn  
401 E Osceola St  
Stuart; FL 34994

47  
Robert S Cook  
1772 Gulfstream AVE; Unit Apt B4  
Fort Pierce; FL 34949-3564

48  
Daniel B Longman (TR)  
10358 Boca Woods LN  
Boca Raton; FL 33428-1828

49  
St Lucie County  
2300 Virginia AVE  
Fort Pierce; FL 34982-5632

50  
Real Estate International Builders LLC  
7134 NW 47th LN  
Coconut Creek; FL 33073-2731

51  
Cynthia M Lawlor (TR)  
4241 Royal Palm Beach BLVD  
West Palm Beach; FL 33411-9181

52  
Alan W Haley  
1714 Francis CT  
Fort Pierce; FL 34949-3579

53  
Holly T Beckwith  
1712 Francis CT  
Fort Pierce; FL 34949-3579

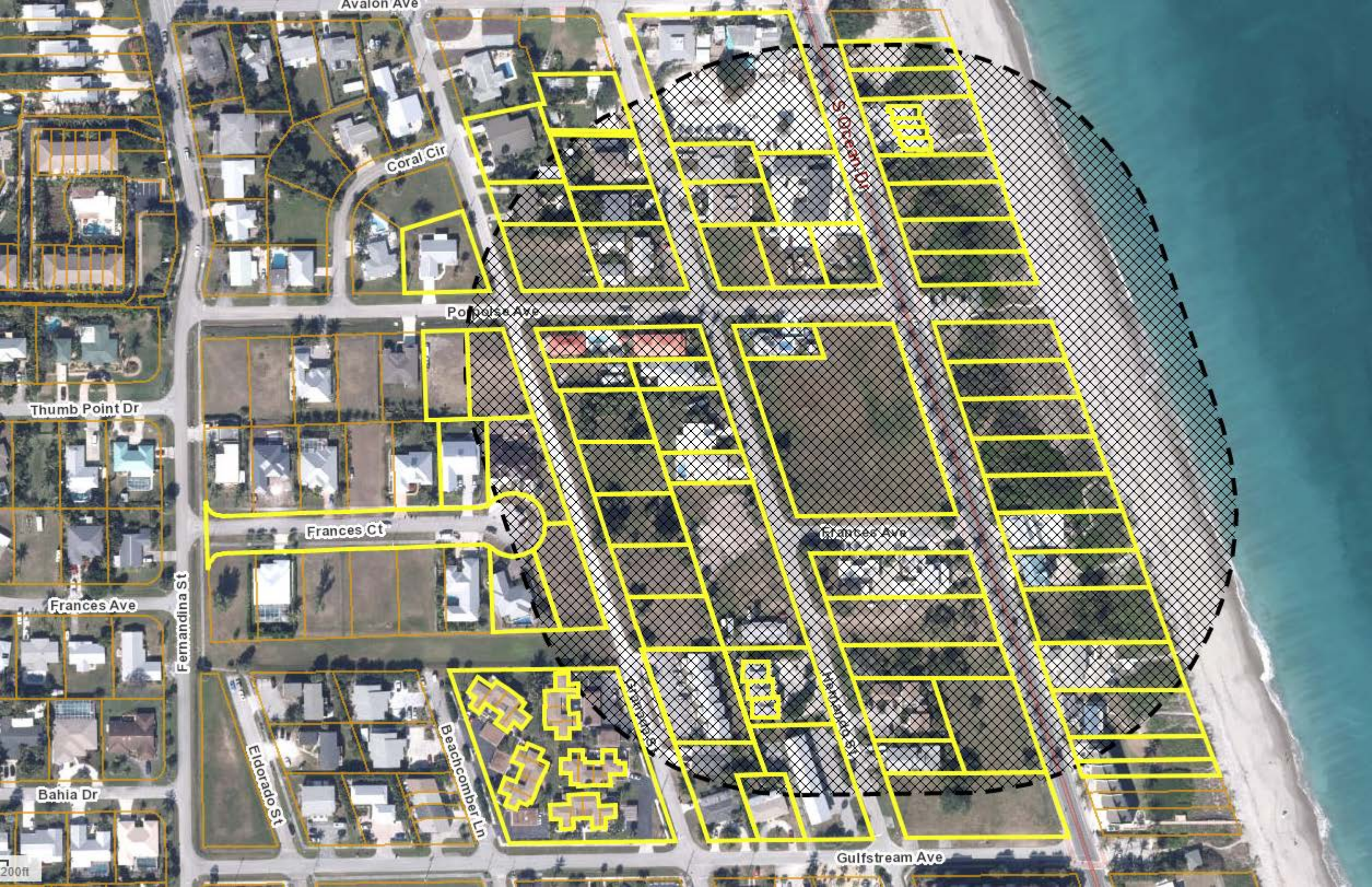
54  
Linda Hudson  
1713 Francis Ct  
Fort Pierce; FL 34949

55  
Carlos Correia  
1135 Williams Dr  
Shrub Oak; NY 10588

56  
Beach Villas South  
1713 Rio Vista DR  
Fort Pierce; FL 34949-3429

57  
Beach Villas South LLC  
642 Granada ST; Unit Apt 105  
Fort Pierce; FL 34949-3286

58  
Granada Street Properties LLC  
183 Gore Creek Drive  
Vail; CO 81657



CORAL SANDS  
@ HUTCHINSON  
ISLAND

# CORAL SANDS @ HUTCHINSON ISLAND

---



# CORAL SANDS @ HUTCHINSON ISLAND

PALM HAVEN S/D-UNIT 1-BLK 4  
 LOTS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11  
 AND 12

Land Use: RM

Zoning (Current): R4A

Zoning Proposed: PD

Site Density

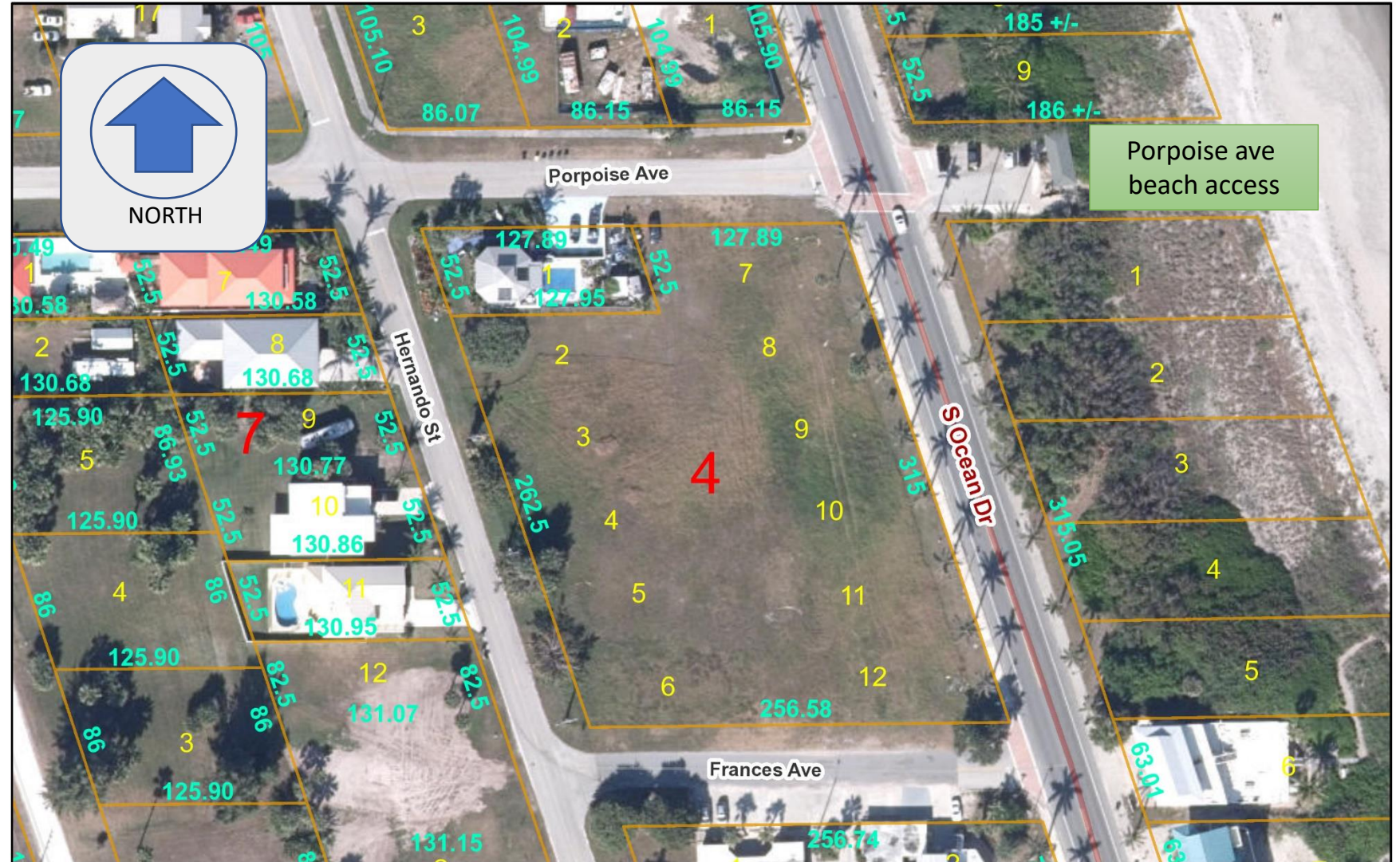
(per overlay restrictions)

13 units  
 (8 units/ acre)

Site Density

(proposed)

12 units





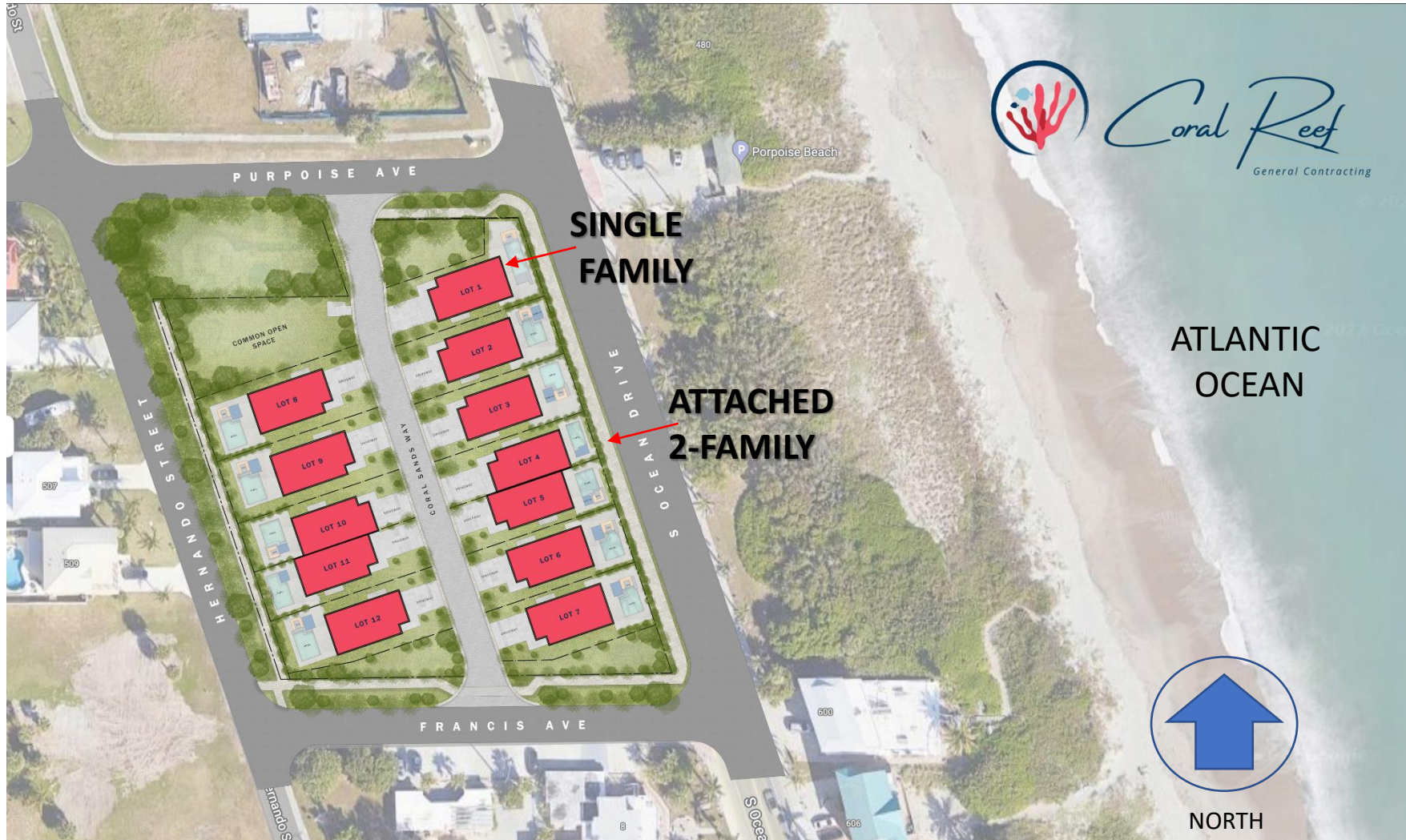
# CORAL SANDS @ HUTCHINSON ISLAND

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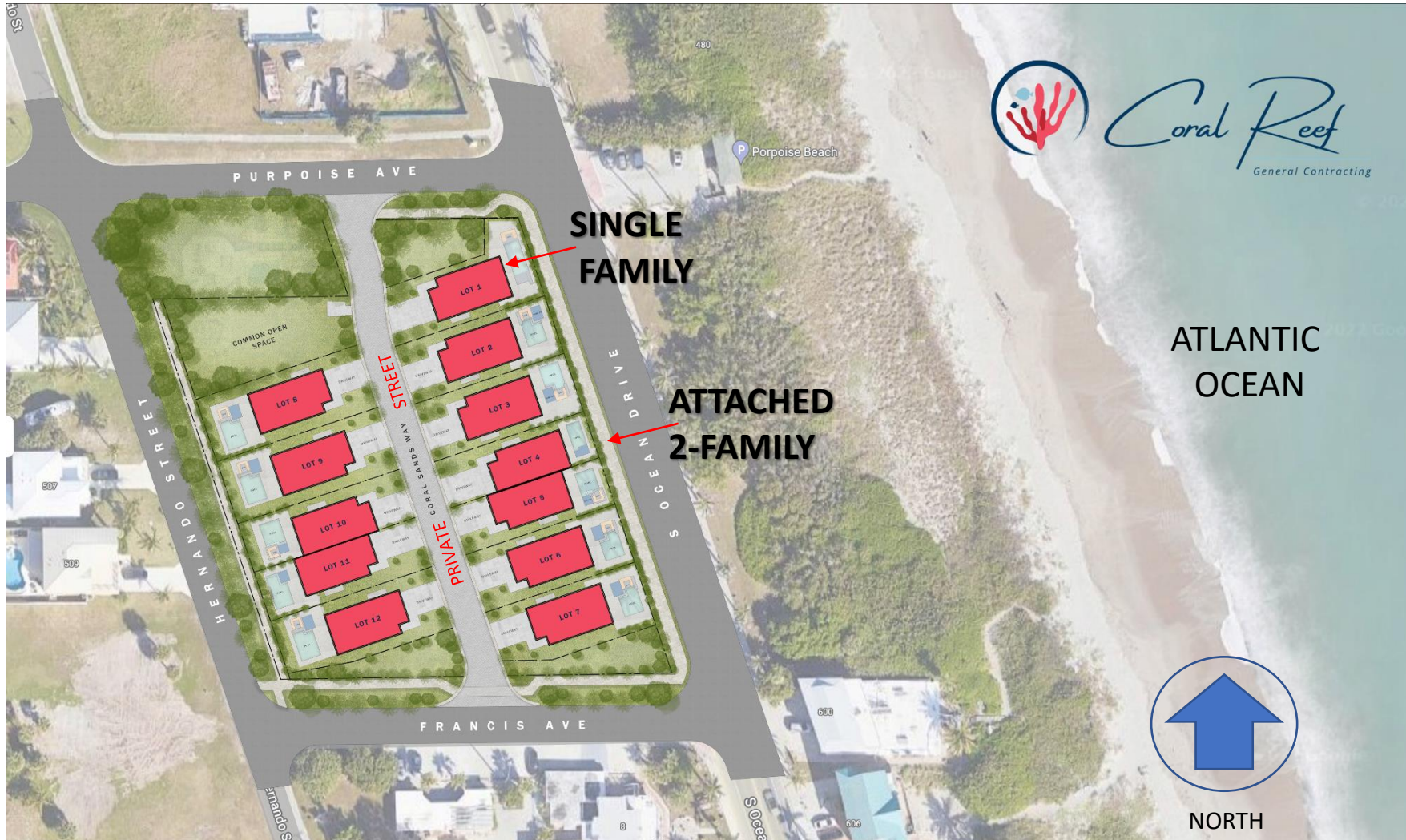


# CORAL SANDS @ HUTCHINSON ISLAND

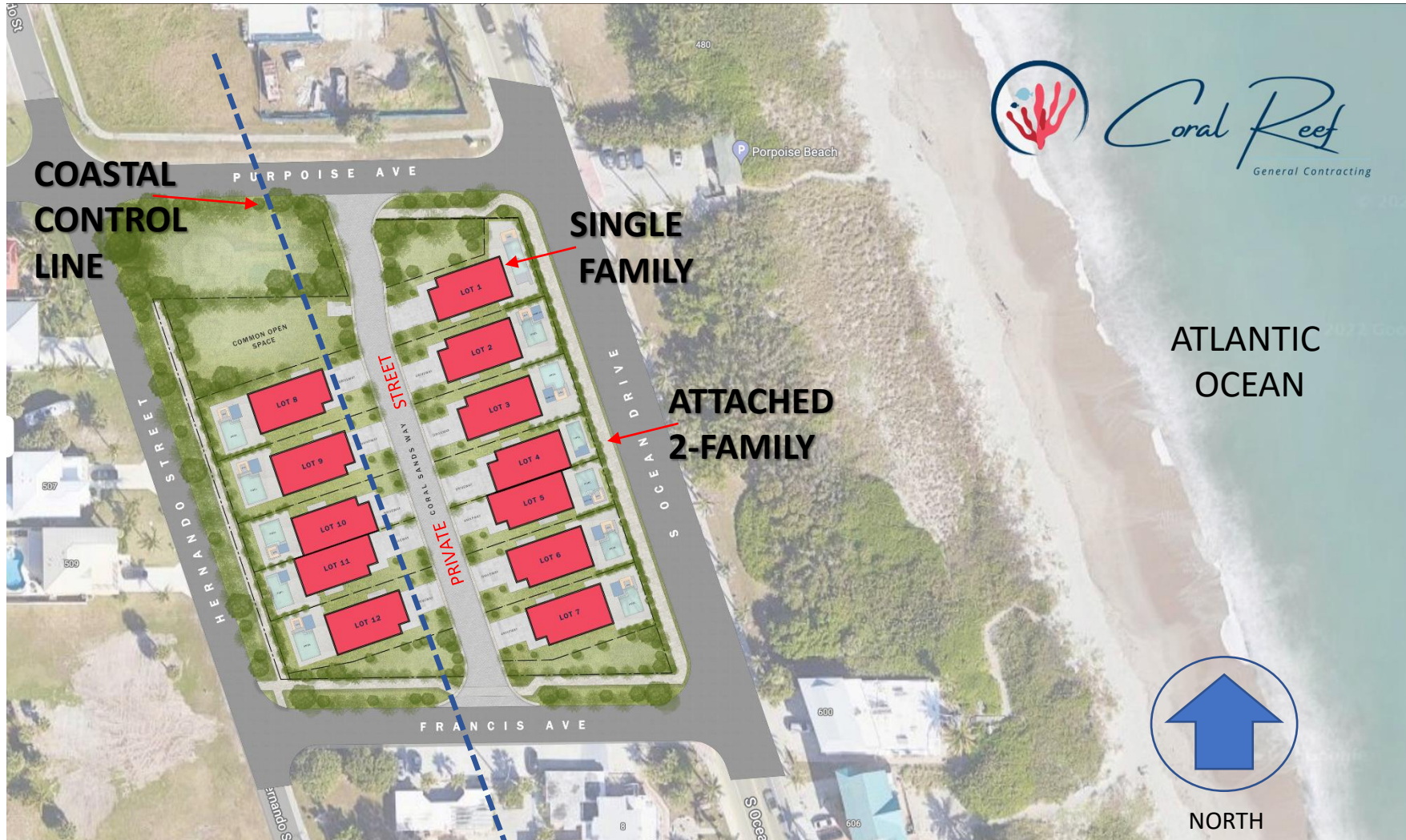
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# CORAL SANDS @ HUTCHINSON ISLAND



# CORAL SANDS @ HUTCHINSON ISLAND



# CORAL SANDS @ HUTCHINSON ISLAND



West (Interior) Elevation



South Elevation



East (Oceanside) Elevation

# CORAL SANDS @ HUTCHINSON ISLAND



West (Interior) Elevation

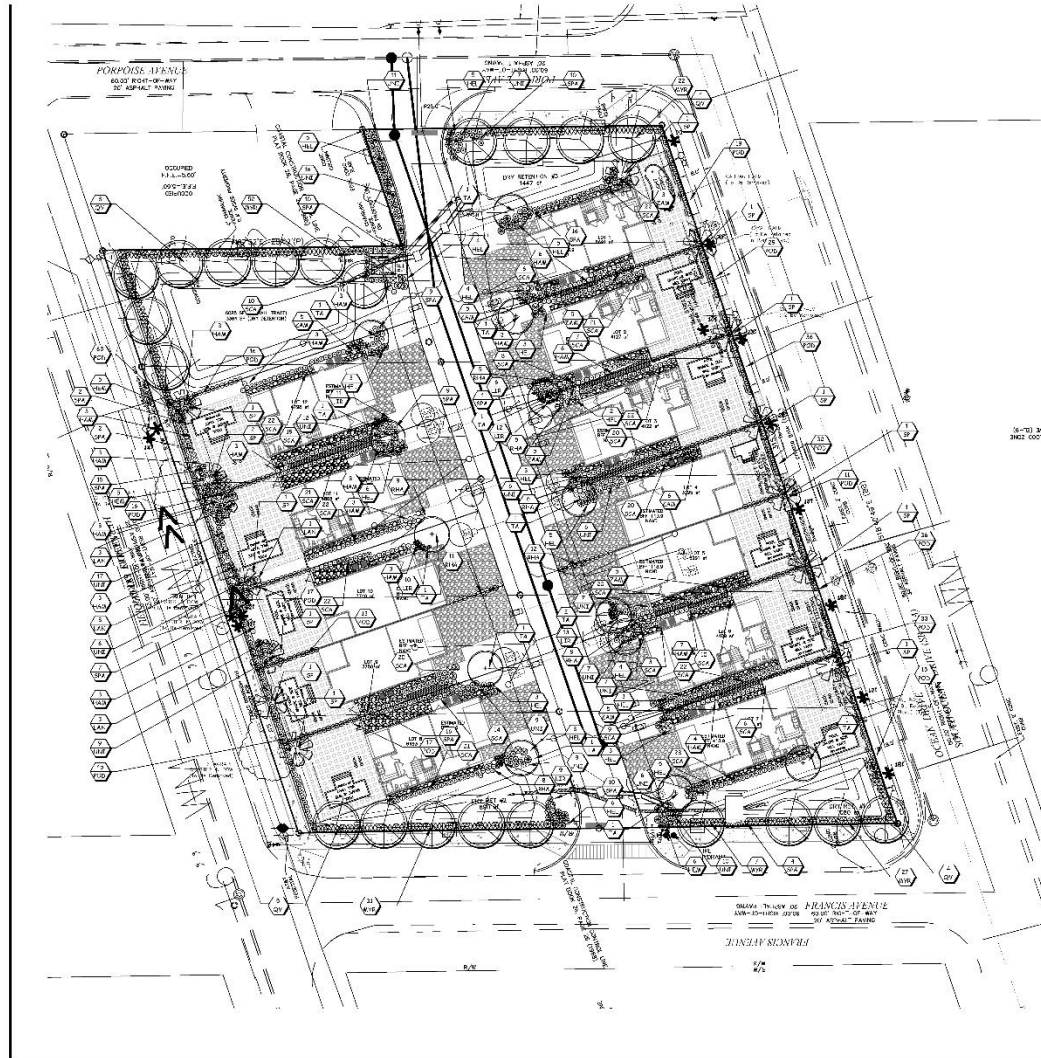


North Elevation



East (Oceanside) Elevation

# CORAL SANDS @ HUTCHINSON ISLAND



## Landscape Legend:

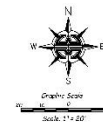
Qty	Symb	WJ	Name	(N) Native	(F) Flowering Tree	(E) Evergreen
<b>Trees:</b>						
13	TA	🌳	Yellow Tabebuia (F)(E)			
21	QV	🌳	Tabebuia argentea, FG, 12' Ht, 5' Spr., 2.5" DBH			
14	SP	🌳	Live Oak (N)(E)			
			Quercus virginiana, FG, 12' Ht, 5' Spr., 2.5" DBH			
			Cabbage Palm (N)(E)			
			Sabal palmetto, 18' to 24' OA ht			
<b>Shrubs:</b>						
75	HAM	🌳	Dwarf Firebush (N)			
139	MYR	🌳	Hamelia patens 'Compacta', 3 gal, 24" ht, 36" o.c.			
383	POD	🌳	Wax Myrtle (N)			
71	RHA	🌳	Myrica carifera, 3 gal, 24"x18", 36" o.c.			
396	SCA	🌳	Podocarpus			
125	SPA	🌳	Podocarpus macrophyllus, 3 gal, 24"x18", 24" o.c.			
125	UNI	🌳	Indian Hawthorn			
39	ZAM	🌳	Rhaphiolepis indica, 3 gal, 24"x18", 24" o.c.			
			Inkberry (N)			
			Scaevola plumieri, 3 gal, 3 gal, 24"x18", 24" o.c.			
			Sand Cordgrass (N)			
			Spartina bakeri, 3 gal, 24" oc			
			Sea Oats (N)			
			Uniola paniculata, 3 gal, 24" ht, 24" o.c.			
			Coontie (N)			
			Zamia pumila, 3 gal, 36" oc			
<b>Groundcover:</b>						
101	HEL	🌳	Dune Sunflower (N)			
61	LIR	🌳	Helianthus debilis, 1 gal, 6"x12", 36" o.c.			
			Liriope			
			Liriope muscari 'Super Blue', 1 gal, 18" oc			

## Landscape Data:

Trees required: 48 Trees  
 12 lots, 4 trees per lot:  
 Trees provided: 48 Trees

## General Notes:

- No landscape materials other than sod grasses may be planted within a 5' radius maintenance area of any underground utility such as water meters, backflow devices, fire hydrants, sanitary sewer cleanouts, and manholes, air release valves, etc.
- No landscaping shall be planted in a manner that would adversely affect utility easements.
- All landscape areas to receive automatic irrigation. Water source to be portable or well and will be determined at time of building permit application.
- Sod around buildings to be St. Augustine 'Bitter Blue' sod. Sod to be seeded and disperse time and laid right. All areas within in retention areas to be seeded with Argentine Bahia grass.
- Not trees to be placed within 6' of any hard surface unless root barrier will be installed along the edge of the hard surface. Root barrier to extend at least 5' in either direction from the center of the tree trunk. Refer to Sheet LD-02 for installation details.



# CORAL SANDS @ HUTCHINSON ISLAND

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**City Commission Regular Meeting - 6:00 pm**

**13. a.**

**Meeting Date:** 08/01/2022

**Re:**

---

**SUBJECT:**

Resolution 22-R27 establishing polling places for the August 23, 2022 primary election.

**SUMMARY:**

Section 6-1 of the Code of Ordinances requires that the City Commission, through the City Clerk, give notice of the location of each precinct polling place, after having received such notice from the supervisor of elections in due time, by one publication in a newspaper of general circulation in the city not less than ten (10) days, nor more than thirty (30) days, prior to any regular or special election held by the city.

**RECOMMENDATION:**

Adopt Resolution 22-R27

**ALTERNATIVES:**

n/a

**RESPONSIBLE STAFF:**

Linda W. Cox, City Clerk

**COORDINATED WITH:**

Supervisor of Elections

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**Fiscal Impact**

**OTHER INFORMATION:**

No fiscal impact.

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**Attachments**

22-R27

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**Form Review**

Form Started By: Linda Cox  
Final Approval Date: 07/19/2022

Started On: 07/06/2022 02:49 PM

**RESOLUTION NO. 22-R27**

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, PROVIDING FOR PUBLICATION OF THE DESIGNATED **PRECINCT POLLING PLACES** IN THE CITY OF FORT PIERCE FOR THE **PRIMARY ELECTION TO BE HELD ON AUGUST 23, 2022**; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, Section 6-1 of the Code of Ordinances requires that the City Commission, through the City Clerk, give notice of the location of each precinct polling place, after having received such notice from the supervisor of elections in due time, by one publication in a newspaper of general circulation in the city not less than ten (10) days, nor more than thirty (30) days, prior to any regular or special election held by the city.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA AS FOLLOWS:**

**SECTION 1.** The Polling Places for the Election Precincts in the City of Fort Pierce, a list of which is attached hereto and thereby made a part hereof, be and they are hereby designated as the Official Polling Places for the Primary Election to be held on August 23, 2022.

**SECTION 2.** The City Clerk shall publish the designated Polling Places in a newspaper of general circulation in the City, one time, not less than ten days, nor more than thirty days, prior to the Primary Election.

**SECTION 3.** This Resolution shall become effective upon its adoption.

**IN WITNESS WHEREOF**, this Resolution has been duly adopted on this 1st day of August, 2022.

\_\_\_\_\_  
Linda Hudson, Mayor

ATTEST:

\_\_\_\_\_  
Linda W. Cox, City Clerk

(SEAL)

Approved as to Form  
And Correctness:

\_\_\_\_\_  
Tanya M. Earley, Esq.  
City Attorney

**LIST OF VOTING PRECINCTS  
CITY OF FORT PIERCE**

<b>PRECINCT 6</b>	Renaissance Business Park Entrance 3 (formerly known as the Orange Blossom Business Center Entrance) 4132 Okeechobee Road
<b>PRECINCT 8</b>	Midway Road Church of Christ 3040 W. Midway Road
<b>PRECINCT 10</b>	Havert L. Fenn Center 2000 Virginia Avenue
<b>PRECINCT 12</b>	Fort Pierce Masonic Lodge 4590 Oleander Avenue
<b>PRECINCT 13</b>	Havert L. Fenn Center 2000 Virginia Avenue
<b>PRECINCT 14</b>	Miracle Prayer Temple 3215 Avenue Q
<b>PRECINCT 16</b>	Westside Church (formerly known as Chapel By The Sea) 1717 Gulfstream Avenue
<b>PRECINCT 17</b>	St. Paul A.M.E. Church 1405 N. 27th Street
<b>PRECINCT 18</b>	Lincoln Park Recreation Center 1306 Avenue M
<b>PRECINCT 19</b>	Havert L. Fenn Center 2000 Virginia Avenue
<b>PRECINCT 24</b>	Miracle Prayer Temple 3215 Avenue Q
<b>PRECINCT 25</b>	Days Inn 3224 S. U.S. #1
<b>PRECINCT 28</b>	Renaissance Business Park Entrance 3 (formerly known as the Orange Blossom Business Center Entrance) 4132 Okeechobee Road
<b>PRECINCT 40</b>	Church of God 3212 Oleander Avenue
<b>PRECINCT 60</b>	St. Lucie School 2501 N. Old Dixie Highway

**City Commission Regular Meeting - 6:00 pm**

**13. b.**

**Meeting Date:** 08/01/2022

**Re:** Planning Board

**Submitted For:** Linda Cox, City Clerk, City Clerk

---

**SUBJECT:**

Submittal of applications to serve as an at-large member of the Planning Board.

**SUMMARY:**

The term of Marcia Baker, at-large member, expires on August 16, 2022. Four applications have been received after press releases, including a request for reappointment from Ms. Baker.

**RECOMMENDATION:**

Select an individual to serve on the planning board.

**ALTERNATIVES:**

Continue to seek applications.

**RESPONSIBLE STAFF:**

Linda W. Cox, City Clerk

**COORDINATED WITH:**

n/a

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**Fiscal Impact**

**OTHER INFORMATION:**

No fiscal impact.

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**Attachments**

Baker, Marcia (current)  
Davis, KeAndrea (new)  
Heaning, John (new)  
Kreisl, Anton (new)

---

**Form Review**

Form Started By: Linda Cox  
Final Approval Date: 07/21/2022

Started On: 07/21/2022 11:23 AM



# CITY OF FORT PIERCE

100 NORTH US HWY 1  
FORT PIERCE, FLORIDA 34950  
(772) 467-3065 FAX (772) 467-3841

## APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: \_\_\_\_\_

Name: <u>MARCIA BAKER</u>	Phone: <u>359-3718</u>
Home Address: <u>1753 SEAWAY DR. FT PIERCE</u> City/Zip Code: <u>34949</u>	How long at this address? <u>33 YEARS</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation:	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location: <u>RAINS INSURANCE - 204 N. 2<sup>ND</sup> ST FT PIERCE 34950</u>	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No    Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No    Real Estate Brokering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No    Land Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No    Other: Describe your education, background, training and knowledge - (feel free to attach a resume): <u>REAL ESTATE BROKER 1957-1987-FLORIDA &amp; MAINE</u> <u>INSURANCE AGENT 1986-PRESENT MAINE &amp; FLORIDA</u>	
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify:	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Applicant Email Address: <u>MS.MARCIABAKER@ATT.NET</u>
Date: <u>6/1/2022</u>	Applicant's Signature: <u>Marcia Baker</u>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office - 100 North US Hwy 1, Fort Pierce, Florida 34950  
fax (772) 467-3841 or via email at lcox@cityoffortpiece.com



# CITY OF FORT PIERCE

100 NORTH US HWY 1  
FORT PIERCE, FLORIDA 34950  
(772) 467-3065 FAX (772) 467-3841

## APPLICATION FOR APPOINTMENT/REAPPOINTMENT

### Planning Board

Name of Board or Boards for which you are applying: \_\_\_\_\_

Name: KeAndrea Davis	Phone: 772-708-6128
Home Address: 2514 Mohawk Ave Fort Pierce, FL 34946 City/Zip Code:	How long at this address? Since July 1997
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: attorney	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Florida Rural Legal Services 121 N 2nd Street Fort Pierce, FL	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No    Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No    Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No    Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No    Other: Law Describe your education, background, training and knowledge – (feel free to attach a resume):	
Florida Bar Member, Florida licensed real estate sales agent	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Historic Preservation, Board of Adjustment	
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Referred by: City Email	Applicant Email Address: davisk711@gmail.com
Date: 6/9/22	Applicant's Signature:

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.  
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950  
fax (772) 467-3841 or via email at lcox@cityoffortpierce.com



# CITY OF FORT PIERCE

100 NORTH US HWY 1  
FORT PIERCE, FLORIDA 34950  
(772) 467-3065 FAX (772) 467-3841

## APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: \_\_\_\_\_

Name:	Phone:
Home Address: City/Zip Code:	How long at this address?
Are you a citizen of the United States? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation:	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location:	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No    Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No    Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No    Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No    Other: Describe your education, background, training and knowledge – (feel free to attach a resume):	
Are you currently a member of a Commission-appointed board/committee? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify:	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Applicant Email Address:
Date:	Applicant's Signature <i>John Heaning</i>

**APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.**  
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950  
fax (772) 467-3841 or via email at [lcox@cityoffortpierce.com](mailto:lcox@cityoffortpierce.com)



# CITY OF FORT PIERCE

100 NORTH US HWY 1  
FORT PIERCE, FLORIDA 34950  
(772) 467-3065 FAX (772) 467-3841

## APPLICATION FOR APPOINTMENT/REAPPOINTMENT

### Planning Board

Name of Board or Boards for which you are applying: \_\_\_\_\_

Name: Anton Kreisl	Phone: 760-616-1299
Home Address: 1321 D Peppertree Trail Fort Pierce, FL 34950 City/Zip Code:	How long at this address? 5 years
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: Electrical Designer/Audio Engineer	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location: OCI Associates Consulting Engineers Fort Pierce Office - 181 Meleody Lane Fort Pierce Florida 34950	
Do you have special training or knowledge in the area of: Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No    Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No    Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No    Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No    Other: Describe your education, background, training and knowledge – (feel free to attach a resume): Experience: 6 years Electrical Engineering for commercial/residential building design (2016 to current). 4 Years Electrical Contracting. (2012 -2016) 3 years General Contracting (2002-2005)	
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify: Parking Committee	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by: Michjael Broderick	Applicant Email Address: akreisl@ociassociates.com
Date: 6/8/22	Applicant's Signature

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.  
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950  
fax (772) 467-3841 or via email at lcox@cityoffortpierce.com

**City Commission Regular Meeting - 6:00 pm**

**13. c.**

**Meeting Date:** 08/01/2022

**Re:** Villanueva PORF

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**SUBJECT:**

Submittal of applications to serve on the Police Officers Retirement Fund.

**SUMMARY:**

The term of Carlos Villanueva has expired and he is seeking reappointment.

**RECOMMENDATION:**

Reappoint Mr. Villanueva.

**ALTERNATIVES:**

Seek new applications.

**RESPONSIBLE STAFF:**

Linda W. Cox, City Clerk

**COORDINATED WITH:**

n/a

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**Fiscal Impact**

**OTHER INFORMATION:**

No fiscal impact.

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**Attachments**

Villanueva, Carlos

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**Form Review**

Form Started By: Linda Cox  
Final Approval Date: 07/21/2022

Started On: 07/21/2022 02:19 PM



# CITY OF FORT PIERCE

100 NORTH US HWY 1  
FORT PIERCE, FLORIDA 34950  
(772) 467-3065 FAX (772) 467-3841

## APPLICATION FOR APPOINTMENT/REAPPOINTMENT

City of Fort Pierce Police Officers Retirement Fund Board of Trustees

Name of Board or Boards for which you are applying: \_\_\_\_\_

Name: Carlos J. Villanueva	Phone: 772-318-9030
Home Address: [REDACTED], Ft. Pierce, FL., 34982 City/Zip Code: [REDACTED], Ft. Pierce, FL., 34982	How long at this address? 18 years
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: Deputy Chief of Public Safety at IRSC	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Indian River State College - 3209 Virginia Ave., Ft. Pierce, FL. 34981	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    Engineering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    Real Estate Brokering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    Land Development: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    Other: Describe your education, background, training and knowledge – (feel free to attach a resume): Masters Degree in Human Resources. 36 years in law-enforcement. Retired Lt. from the Fort Pierce Police Dept.	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No City of Fort Pierce Police Officers Retirement Fund Board of Trustees	
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Referred by:	Applicant Email Address: lt4618@hotmail.com
Date: 07-19-2022	Applicant's Signature:

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.  
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950  
fax (772) 467-3841 or via email at lcox@cityoffortpierce.com

**City Commission Regular Meeting - 6:00 pm**

**15. a.**

**Meeting Date:** 08/01/2022

**Re:**

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**SUBJECT:**

Reports

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**Attachments**

Purchase Order Report

City Manager's Report

Strategic Plan Update for June 2022

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**Form Review**

Form Started By: Jennifer Robinson

Started On: 07/25/2022 09:43 AM

Final Approval Date: 07/25/2022

**Purchase Order Approvals between \$10,000 and \$50,000 by the City Manager July 1, 2022 to July 31, 2022**

1. Purchase Orders
  - a. The Building Department is requesting approval to replenish Purchase Order 220510 in the amount of \$48,000.00 for professional inspection services provided by CAP Government.
  - b. Approval of payment to Lyle Sumek Associates, Inc. in the amount of \$25,812.65 for consultant and planning services related to the update of the City of Fort Pierce Strategic Plan for 2022.
  - c. Approve requisition request #2200000733 to Fort Pierce Police Department for Security Details for Sunrise Theatre performances from January - April 2022 in the amount of \$18,346.37.
  - d. Purchase approval for SHI., Somerset, NJ for Adobe Stock Enterprise SW subscription Only All Credits (10000 credits) in the amount not to exceed \$11, 500.00.
  - e. Engineering is requesting a purchase order for the software maintenance agreement with Econolite Systems, the sole source provider for the CENTRACS system used to coordinate the City's traffic signals.
  - f. Replacement of obsolete School Zone Flasher system in the amount of \$46,350.00 to Temple Inc., for 18 school zone flashers, timers, and control equipment.

AUGUST 2022

# CITY MANAGER'S REPORT



# WE'RE HIRING!



[www.cityoffortpierce.com](http://www.cityoffortpierce.com) | 772.467.3000

## TABLE OF CONTENTS

<b>3</b>	FEATURED STORY	<b>16</b>	PUBLIC WORKS DEPARTMENT
<b>6</b>	POLICE DEPARTMENT	<b>18</b>	INDIAN HILLS GOLF COURSE
<b>8</b>	CITY PROJECT UPDATES	<b>19</b>	FORT PIERCE CITY MARINA
<b>10</b>	BUILDING DEPARTMENT	<b>20</b>	NEW BUSINESSES
<b>14</b>	SUNRISE THEATRE		



The City of Fort Pierce Public Works Department has had an exciting few weeks participating in the recent events throughout the City. These events included the Jaycee Park Rebuild Launch Party, the Quarterly Community Cleanup, and the Fort Pierce Police Department's Unity in Our Community Event. The Public Works Department is branching out and attending these events to help support the Fort Pierce Community in as many ways as possible.

First, on Saturday, June 11, 2022, the Public Works Department participated in the Jaycee Park Rebuild Launch Party. Hosted by the Kiwanis Club. This event featured the unveiling of the new Jaycee Park playground design and building timeline. The Public Works Department was happy to participate in this event by providing give-a-ways and information to the community members who were in attendance. The rebuild at Jaycee Park is an initiative of the Fort Pierce Sunrise Kiwanis, with the goal for the Kid's Park to be accessible to all children, regardless of individual challenges. Demolition of the existing playground structures will begin at the end of August through the beginning of September 2022. The rebuild will take place in the beginning of October 2022.





Second, the Quarterly Cleanup was a huge success! On Saturday, June 25, 2022, volunteer groups all over the City of Fort Pierce, picking up litter and debris throughout the community. The Public Works Department coordinated the event, provided supplies, and scheduled extra Solid Waste trucks to run throughout the day. Between the volunteers and the Solid Waste Division of Public Works, more than four tons of garbage was removed from our beautiful city. The next Quarterly Cleanup is schedule for Saturday, September 24, 2022, we hope to see you there!



Finally, on July 6, 2022, the Public Works Department participated in the Fort Pierce Police Department's Unity in Our Community Event. This is annual event hosted by the FPPD to bring awareness and resources to the residents of Fort Pierce. It had an amazing turnout with hundreds of community members in attendance. The Public Works Department participated in this event by setting up the facility as well as having a table onsite. Give-a-ways and information were provided to those in attendance on behalf of the Public Works Department.

It has been an amazing few weeks and the City of Fort Pierce Public Works Department is charging full steam ahead. From local events to hurricane preparedness, road projects, park maintenance and so much more. The men and women of the Public Works Department are always willing to step in and serve whenever and wherever they are needed as they make a huge impact throughout the community of Fort Pierce.



***For more information on the City of Fort Pierce Public Works Department or local events taking place throughout the city, please visit the city's website at [www.cityoffortpierce.com](http://www.cityoffortpierce.com).***

# UNITY IN OUR COMMUNITY

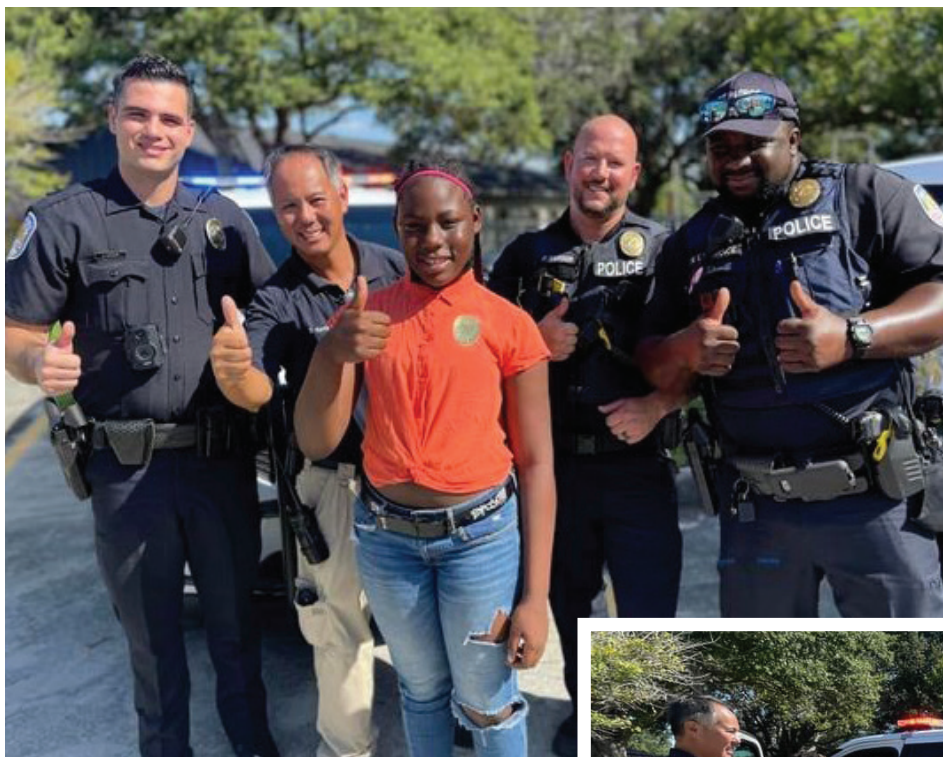


Only July 6th, 2022 the Fort Pierce Police Department celebrated its 4th annual Unity in our Community event at the Fort Pierce Recreation Center. More than 1,500 citizens showed up and enjoyed free food, music and community services. The motto of the Department, 'In Honor We Serve', shined brightly throughout the four-hour event and Department leaders are looking forward to further strengthening the rapport between the community and Police Department in the future.



Congratulations to the newest Fort Pierce Police Department Police Officer! Elia Velasquez was sworn in on July 14th by Chief Diane Hobleby-Burney in the presence of her family. Velasquez has started the first phase of training with our road patrol Field Training Officers. If you see her out and about, wish her well and say hello. Welcome to our family and we wish you a successful career for years to come as you uphold the Fort Pierce Police Department's motto, "In Honor We Serve."





On July 14th, 2022, Fort Pierce Police Officers and support staff paid a visit to the Covered from Beginning to End Organization. Officers and staff read the group of children books, danced and showed them their squad cars. It's safe to say both sides had a great interaction. The youth are our future and we will continue to serve our community with dignity and pride.



*"In Honor We Serve"*



June 29th serves as 'National Hoagie Day', and what better way to celebrate the holiday than to be given hoagies from your local Wawa store. The Fort Pierce Police Department would like to thank Wawa, located at 2101 South US-1, for supporting the Department. The hoagies were delicious!

# CITY PROJECT UPDATES

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## NORTH 8TH STREET ROADWAY IMPROVEMENTS (AVENUE D TO AVENUE E):

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The roadway improvements for this project will include drainage, new curb and gutter, sidewalks, and roadway reconstruction. FPUA and its contractor are currently transferring the existing overhead services to underground. Drainage installations have commenced and is estimated to be completed by the of end August.



## BEACH COURT UPGRADES

---

The Beach Court roadway project from Florida Avenue to Delaware will include a complete reconstruction of the roadway with curb and gutters, sidewalks on both sides of the road, installation of a new storm drainage system, street lighting, and ADA upgrades. PRP Construction Group was awarded the construction contract and a pre-construction meeting will be scheduled for July 2022. Construction commencement anticipated late summer or early fall of 2022.

## GEORGIA AVENUE BASIN WATER QUALITY IMPROVEMENTS



Improvements to the 235-acre Georgia Avenue Drainage Basin will include the construction of numerous Best Management Practices (BMPs) to aid in the removal of phosphorus, nitrogen, and other harmful nutrients from stormwater discharging into the Indian River Lagoon. Improvements include:

1. The introduction of a Generation II Baffle Box to eliminate the discharge of oils and nutrients into the stormwater treatment system.
2. Installation of a control structure to control the volume of discharge from the existing treatment system thus providing additional retention time to aid in the removal of phosphorus, nitrogen, and suspended solids.
3. Construction of a bioswale which slows the conveyance of the stormwater run-off, providing more treatment time. A bioswale is a shallow swale with a wide bottom and gently sloped banks. The banks are planted with native vegetation and large boulders. The swale's bottom is lined with limestone riprap atop a 6" base of drainfield aggregate. These vegetated swales are very important systems for improving water quality and can also reduce the volume of storm flows currently entering into the Indian River Lagoon by detaining stormwater allowing percolation into the ground and giving the bioswale plants time to absorb nutrients and chemicals from run-off.
4. The installation of an aeration fountain into the existing lake which will increase the oxygen levels in the lake which aids in the removal of organics and nitrogen.

The project's bid opening was conducted on June 9, 2022 with only one bidder providing a response. Request to award the construction project will be presented to the commission during the August 1, 2022 commission meeting.

# PROJECTS UNDER PERMITS



## HCA FLORIDA LAWNWOOD UPDATE:

A temporary use agreement has been granted by the Building Department to allow for outpatient services to take place at HCA Florida Lawnwood Hospital located 1700 S. 23rd Street while the above floors are still undergoing construction. The temporary use agreement allows for a business to operate prior to a certificate of occupancy being issued when the structure has been inspected and the building is deemed to be safe.



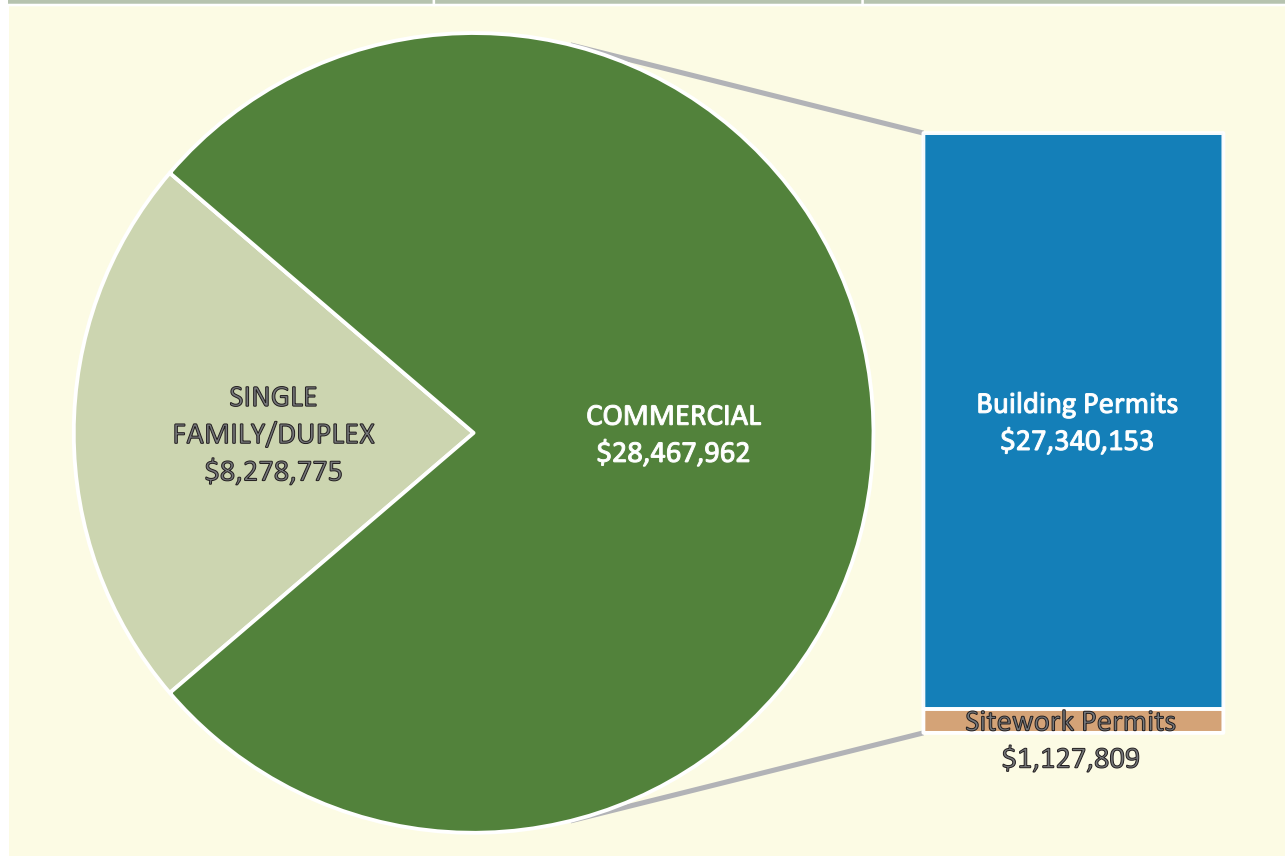


## OCEAN VILLAGE CLUBHOUSE

Concrete forms are being placed for the new clubhouse/community center being built within Ocean Village located at 2400 S Ocean Drive.

The location of the structure is located in an X Zone, also known as a “Low-Risk Flood Zone”. While floodwaters don’t stop where the lines are drawn on the flood maps, properties located within an X Zone are outside of the Special Flood Hazard Area and have less than a 1 percent chance of a flood happening in any given year.

New Construction Values (based upon permits issued June 2022)		
Permit Type	Number of Permits	Construction Value
New Commercial Building	11	\$27,340,153
New Commercial Sitework	1	\$1,127,809
New Single Family/Duplex	30	\$8,278,775



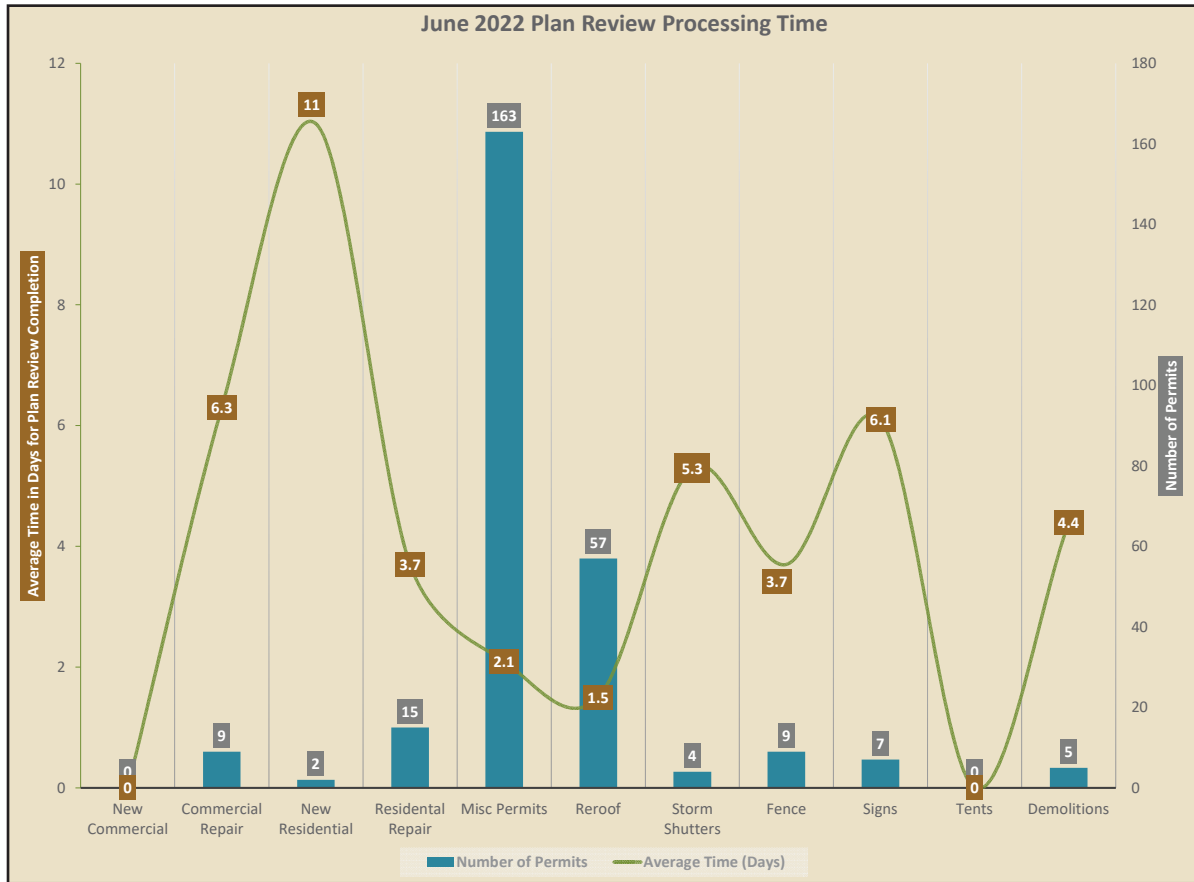
## NATIONAL COMPARISON

- Nationally, permits for future homebuilding in June fell 0.6%, to the lowest level since September 2021. City of Fort Pierce new single-family permits remain the same as May. <https://www.reuters.com/markets/us/us-housing-starts-drop-lowest-nine-months-june-2022-07-19/>

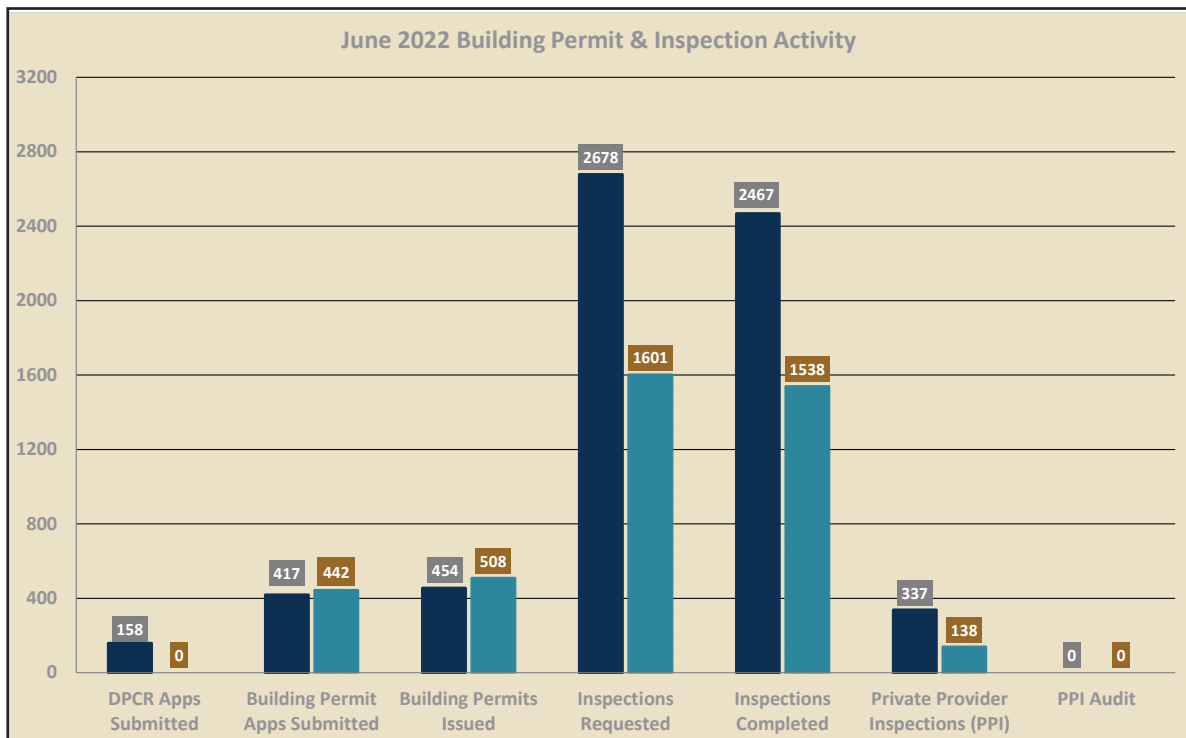
# BUILDING CHART FOR JUNE 2022

## JUNE 2022 PLAN REVIEW PROCESSING TIME & ACTIVITY REPORT COMBINED

For permits with 0 days, either the review was not completed within the month, or there were no reviews for the entire month.



## ACTIVITY REPORT



## SUNRISE THEATRE

The Sunrise Theatre Foundation's fundraiser Runaway With The Circus in the Black Box featuring the Swingin' Sounds of Professor Pennygoode's Mighty Flea Circus on Saturday, July 16 was a fun, lively event. The night included live Rockabilly music with a variety of Circus Snacks, silent auction items, Stilt walkers, jugglers, and Raffle Prizes.

The Sunrise Theatre has a new Technical Director on board, Jeff Lovett. Lovett has been exploring all aspects of the performing arts since 1994. His specialties are lighting design, theatre electrics, technical direction, and production management. Jeff received his Master of Fine Arts in Lighting Design from Wayne State University as a member of the Hilberry Repertory Theatre Company in Detroit, Michigan. He was Theatre Manager/Technician of The Bosch Center for the Performing Arts at The American International School of Muscat in Muscat, Oman. Most recently, Jeff, his wife and daughter move to Fort Pierce from Columbia, South Carolina where he was Theatre Manager at the Center For the Arts on the campus of Irmo High School International School for the Arts. We are looking forward to the season with Jeff who we know will be a big asset to our operation.

For a list of events, please visit [www.sunrisetheatre.com](http://www.sunrisetheatre.com) or call the box office 772.461.4775



# The 6<sup>th</sup> TREASURE COAST



August 20, 2022 | 9am – 3 pm

Havert L. Fenn Center

2000 Virginia Ave | Fort Pierce, FL 34950

- Free Life & Business Coaching in weVenture WBC Lecture Rooms
- Incubate Neighborhood Center Exhibit Hall Vendor Center
- Music
- Special Small Business Recognitions
- Business Meet & Greet

## Your 2022 Business & Life Coaches



**Canieria Gardner / CEO**  
Incubate Neighborhood Center



**Kathryn Rudloff**  
Executive Director  
weVenture WBC



**Mushtaq Maxwell**  
Professional Speaker  
Banker at SouthState Bank



**Isabel Williams / COO**  
My Neighbor Mortgage  
82nd ABN Army Veteran  
Loan Originator  
NMLS 1213264Be



**Alex-Ann Green**  
MBA, MS, CCSM  
SPIKE/CEO



**Gwen McLeod / CEO**  
Life / Relationship Coach  
Motivational Speaker  
Successful Solutions Multiservice  
Center, Owner



**Teresa Bishop / CEO**  
Provision, LLC  
Roundtable of SLC  
Executive Director



**Joel Borgella II**  
Partner / Chief Marketing Strategist  
TCoast Studios, Fusion Radio  
WIRA 104.9 Fm 1400 Am, Better Living  
& Marketplace Magazine



**Sheena Graham / Co-Founder**  
Reas Marketing  
SCORE Mentor

### Proudly Supported by



**SLC Agape Senior  
Recreation Center**



For Vendor & Sponsor Info contact  
[minorityexpofp@gmail.com](mailto:minorityexpofp@gmail.com)



**WEEKLY:**

**EVERY WEDNESDAY - GREEN MARKET - MARINA SQUARE 12:00 PM - 6:30 PM**

**EVERY SATURDAY - JAZZ MARKET - MARINA SQUARE 8:00 AM - 1:00 PM**

**EVERY SATURDAY - DOWNTOWN FARMERS MARKET - MARINA SQUARE 8:00 AM - 12:00 PM**

**UPCOMING EVENTS:**

**8/5/22 FRIDAY FEST - MARINA SQUARE 5:00 PM - 9:00 PM**



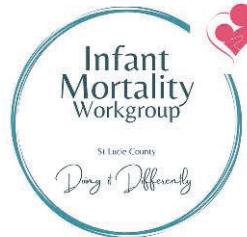
## RIVER WALK CENTER SALES REPORT **JUNE 2022**

<b>CLASSES</b> .....	\$887.57
<b>PARK PERMITS</b> .....	\$1,850.00
<b>SPECIAL EVENTS</b> .....	\$3,150.00
<b>FACILITY</b> .....	\$9,758.97
<b>TOTAL</b> .....	\$15,646.54

**SEPTEMBER IS HUNGER ACTION MONTH &  
INFANT MORTALITY AWARENESS MONTH!**

# POP-UP COMMUNITY RESOURCE FAIR

*Treasure Coast Food Bank, Florida Department of Health St. Lucie Co., St. Lucie Co. Infant Mortality Group, & the Incubate Neighborhood Center have partnered to bring resources and awareness to the local community! This event is free & open to the public.*



**SEPT. 14, 2022**

**9:00 AM - 12:00 PM**

**INCUBATE CENTER - 532 NORTH 13TH  
STREET, FORT PIERCE, FL. 34950**

**Market Fresh on the Move  
Discount Mobile Grocery Store on-site!**



Join us for an excellent morning  
packed full of health/nutrition  
education, resources, swag & more!

## Feelin’ Hot, Hot, Hot...

Wow, it’s been scorching lately!!

Despite receiving almost zero rain for months in the middle of these smoking hot days, we have held up well from a condition standpoint. A little help from Mother Nature in the way of steady afternoon showers would go a long way! The greens are in very good shape and our fairways are improving every day.

Our second large tine greens aeration is scheduled for this summer will be performed in early September and based on weather at the time. During the month of August we will continue to aggressively spray for weeds to give us the healthiest possible turf conditions we can achieve heading into the Fall and Winter months.

We’re excited to receive our new cart fleet this Fall, and man will they look sharp! Our current lease with Yamaha is up after 4 years and the current fleet will be replaced with a new Garnet Red and Black feel in either November or December. I have attached a photo of a similar cart, lees the fancy wheels shown in the image.

Word of mouth is our greatest form of advertising, so we ask if you’ve played here and enjoyed the changes we’re making, please tell a friend....or two! If there’s something we can improve upon...tell US so we can keep getting better! We thank all of our members and guests for their support and we ask that you please “Like” and “Follow Us” on Facebook or Instagram to see almost daily updates on the golf course and our ongoing maintenance projects.



## INDIAN HILLS SALES REPORT

	5/2022	6/2022
<b>GOLF ROUNDS</b>	1911	1505
<b>GOLF FEES</b>	\$38,318.38	\$29,840.41
<b>RANGE TOKENS</b>	\$2,669.20	\$843.19
<b>MEMBERSHIP PASS</b>	\$652.38	\$283.69
<b>FOOD &amp; BEVERAGES</b>	\$5,090.88	\$4,775.34
<b>MERCHANDISE</b>	\$2,999.31	\$2,086.18
<b>TOTAL</b>	<b>\$49,730.15</b>	<b>\$37,828.81</b>



## CITY MARINA FINANCIAL REPORT

	APRIL	MAY	JUNE
<b>Dockage Reservations</b>	212	257	133
<b>Monthly Dockage</b>	\$158,890.42	\$158,452.10	\$169,763.24
<b>Transient Dockage</b>	\$95,467.72	\$87,914.16	\$62,236.00
<b>Electricity</b>	\$6,620.39	\$8,435.65	\$5,287.40
<b>Retail</b>	\$26,945.01	\$23,823.74	\$17,401.45
<b>Gas Sales</b>	\$60,540.17	\$120,308.66	\$90,752.90
<b>Diesel Sales</b>	\$176,067.14	\$247,222.45	\$165,788.27
<b>TOTALS</b>	<b>\$524,530.85</b>	<b>\$646,156.76</b>	<b>\$511,229.26</b>

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MILKA PROPERTIES, LLC  
MODERN DIESEL REPAIR & PERFORM

• OYA LAWN SERVICES  
• RESAN SUPERMARKET  
• SP46  
• TANIA SERVICES LLC  
• TATER PATCH & CLYDE PROPERTIES  
• THE GA GROUP LTD CO  
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•



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## CITY OF FORT PIERCE MISSION STATEMENT:

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*"To provide community leadership, quality public service, and a safe environment for all citizens by an empowered team of employees motivated by pride in themselves and their work."*

# FORT PIERCE 2022 Strategic Plan



# FORT PIERCE

## Strategic Plan 2022 Goals



### CONTENTS

#### SERVE OUR COMMUNITY

GOAL 1: Police Retention and Compensation Police Services and Staffing.....	1
GOAL 2: City – FPUA Strategy: Key Issues and Joint Action Plan.....	2
GOAL 3: Regional Homeless Strategy .....	3
GOAL 4: Street Condition and Funding.....	4
GOAL 5: City Legislative Advocacy and Agenda.....	5
GOAL 6: Planning and Development Policies and Process .....	6
GOAL 7: American Rescue Plan .....	7
GOAL 8: City Compensation Policy.....	8
GOAL 9: Enterprise Resource Planning Software (ERP).....	9
GOAL 10: City Surplus Properties .....	10
GOAL 11: Federal Infrastructure Program Preparation.....	11

#### BEAUTIFY OUR COMMUNITY

GOAL 1: Entrances/Gateways/Community Beautification Plan.....	12
GOAL 2: Parks and Playgrounds Upgrade.....	13
GOAL 3: Fort Pierce Corridor Streetscape and Beautification Projects.....	14
GOAL 4: Greenway Trail.....	15
GOAL 5: Wayfinding Signage.....	16
GOAL 6: Foreclosures Program/Process.....	17
GOAL 7: Clean and Safe Program Building Demolition.....	17

#### DEVELOP OUR COMMUNITY

GOAL 1: Parking Strategy .....	18
GOAL 2: Island Reclamation Plant Relocation.....	19
GOAL 3: Downtown Development Master Plan .....	20
GOAL 4: Annexations Strategy/Interlocal Service Boundary Agreement.....	21
GOAL 5: South Beach Overlay Plan .....	22
GOAL 6: 13th Street Upgrade.....	23
GOAL 7: Neighborhood Identity and Branding.....	24
GOAL 8: Housing Authority Strategy.....	25
GOAL 9: 17th Street Upgrade (North to Graveyard and South to Okeechobee).....	26
GOAL 10: Wave Garden Construction.....	27



# FORT PIERCE

## Strategic Plan 2022 Goals



### DEVELOP OUR COMMUNITY

GOAL 11: King’s Landing Development .....	28
GOAL 12: Fisherman’s Wharf Development.....	29
GOAL 13: Port Development .....	30
GOAL 14: City Economic Incentives Policy .....	31
GOAL 15: Seaplanes: Facility and Service.....	32
GOAL 16: Mobility Action Plan and Impact Fee .....	33
GOAL 17: Landscape Code.....	33
GOAL 18: Vacant Parcels: Identification, Direction and City Actions .....	34

### ENGAGE OUR COMMUNITY

GOAL 1: Community and City Equity Policy and Action Plan.....	35
GOAL 2: Community Outreach with Faith Community .....	36
GOAL 3: Community Engagement Strategy and Action Plan.....	37
GOAL 4: Community Policing Expansion .....	38

### ENJOY OUR COMMUNITY

GOAL 1: Mental Health Strategy and City Actions .....	39
GOAL 2: Sunrise Theatre Future .....	40
GOAL 3: Recreational Programs Expansion.....	41
GOAL 4: Smart City Initiative Development.....	42
GOAL 5: Sunrise Theatre Plan for 2023.....	42
GOAL 6: Lincoln Theater Restoration Plan/Program Development .....	44



# FORT PIERCE

## Strategic Plan 2022 Goals

SERVE OUR COMMUNITY

### GOAL 1: Police Retention and Compensation Police Services and Staffing: Report, Direction and Funding

#### Key Issues

- ▶ PBA Labor Contract
- ▶ Competitive Market
- ▶ Report with Options
- ▶ Funding

Milestones		June 2022 Update
1. Negotiate PBA labor contract	4/22	Complete
2. DECISION: PBA Contract	5/22	Complete
3. Prepare updated Police Staffing Report	Ongoing	Preparation of an updated Police Staffing Report is ongoing and will include a multi-plan.
4. Prepare FY23 budget proposal	6/22	Complete
5. BUDGET WORKSHOP: Budget FY23 Presentation and Direction	7/22	
6. DECISION: Budget FY23 Funding	9/22	

**Responsibility: Police Chief**



### GOAL 2: City – FPUA Strategy: Key Issues and Joint Action Plan

#### Key Issues

- ▶ Development Process Streamlining
- ▶ Streetlights
- ▶ Wastewater Treatment Plant Re-location
- ▶ Support for Sunrise Theatre, Marina, etc.
- ▶ Annexation Alignment
- ▶ Growth Model for Utilities Alignment

Milestones		
1.	City Manager-FPUA Director prepare a "To-Do List"	Complete
2.	JOINT MEETING: City Commission and FPUA Board	Complete
3.	DECISION: Streetlights Maintenance Agreement	12/22
<b>Responsibility: City Manager/FPUA Director</b>		

#### June 2022 Update

FPUA has developed a GIS dashboard inspection program and completed the inspection of the entire system. FPUA & City staff have full access to this dashboard. Repairs will be completed based on a priority list as determined by staff. Over the next 12 months, staff will develop a standard repair cost to reduce administrative paperwork and streamline the process.

The 30% wastewater plant design has been completed. Staff is preparing the 60% design contract for board approval. The 60% design will include early work packages to address supply chain issues.

Utility alignment includes the expansion of the water and wastewater systems to help grow the City. An annexation agreement is required for connection to the water or wastewater system. FPUA DOU and City Manager will meet on a regular basis to identify strategic areas for annexation alignment.



### GOAL 3: Regional Homeless Strategy: Goals/Outcomes, Community Problem Analysis and Development

#### Key Issues

- ▶ Goals
- ▶ Future Direction
- ▶ City Role and Level of Participation
- ▶ Problem Analysis for Our Community
- ▶ Facility(ies)
- ▶ Services
- ▶ Partners

Milestones	
1. Continue discussion with One St. Lucie Homeless Task Force	Ongoing
2. <del>Prepare Update Report</del>	Complete
3. REPORT: Update, Discussion and Next Steps	7/22
<b>Responsibility: Commissioner Gaines</b>	

#### June 2022 Update

The report generated by the One Saint Lucie Task Force has been completed and distributed to the City Commission. Funding for homeless response strategies will be incorporated into the FY 23 Budget.



### GOAL 4: Street Condition and Funding: Direction, Funding Level and Projects for 2022

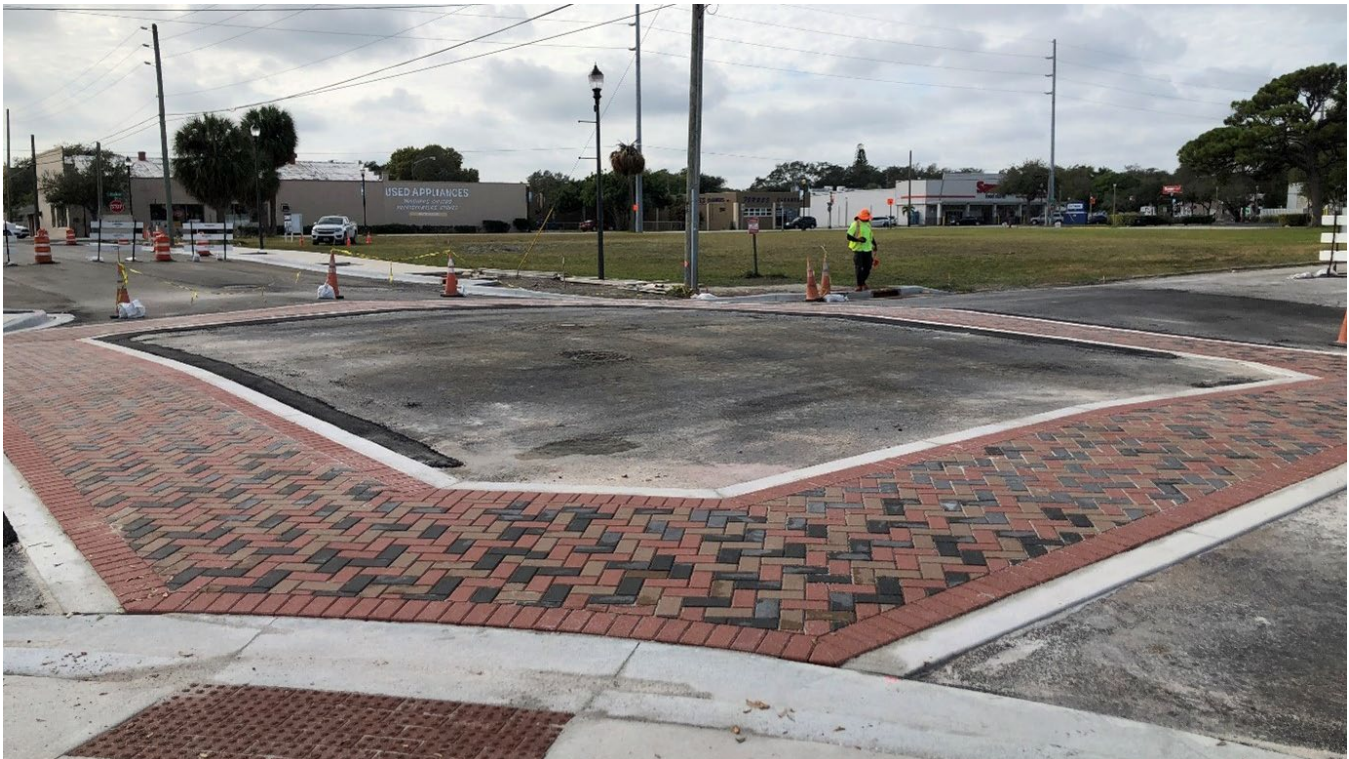
#### Key Issues

- ▶ Annual Funding Level: \$800,000 from Surtax Revenues
- ▶ Projects

Milestones	
1. Prepare list of streets to be resurfaced to FPUA	Complete
2. Present updated Street Conditions Report to City Manager	Complete
3. DECISION: Award Contract for Resurfacing and Reconstruction	6/22
4. Coordinate projects with FPUA Utility Projects	Ongoing
<b>Responsibility: City Engineer</b>	

#### June 2022 Update

- Resurfacing street contract presented to City Commission for approval at the June 21, 2022 meeting.
- Construction scheduled for September 2022.



# FORT PIERCE

## Strategic Plan 2022 Goals

SERVE OUR COMMUNITY

### GOAL 5: City Legislative Advocacy and Agenda: Goals, Advocacy Options, Direction and Funding

#### Key Issues

- ▶ Goals
- ▶ Lobbying Options
- ▶ Critical Issues
- ▶ Reports on Proposed Legislation
- ▶ Funding

Milestones	June 2022 Update	
1. <del>Continue discussion with St. Lucie County on future relationship and direction</del>	Ongoing	Complete
2. REPORT: Status update and options	7/22	RFP documents are being developed to seek a qualified firm to represent the legislative interests of the City of Fort Pierce.
<b>Legislative advocacy for FY2023:</b>		
3. Research potential collaboration with other cities and lobbying groups	7/22	
4. CONFERENCE AGENDA: Presentation and Direction	8/22	
5. DECISION: Advocacy Direction and Funding	9/22	
<b>Responsibility: City Manager</b>		



**GOAL 6: Planning and Development Policies and Process: Refinement/Streamlining**

**Key Issues**

- ▶ State Regulations and Requirements
- ▶ Potential Impact: Slow the Process
- ▶ Development Flow Chart
- ▶ Staff Capacity
- ▶ Developers/Builders Perception and Expectations
- ▶ Development Process Streamlining
- ▶ Alignment of City-FPUA

Milestones		
1. Seek input from participants and stakeholders		Complete
2. Develop Development Process Flow Chart		6/22
3. Revise development policies and processes		8/22
4. Prepare Report		10/22
5. REPORT: Presentation and Discussion		12/22
6. Implement Tyler System for Development Process - Go Live		1/23
<b>Responsibility: City Clerk</b>		

**June 2022 Update**

The flow chart has been drafted and is pending edits. No additional work completed due to the lack of Planning leadership. Work may resume once leadership is on board.



**GOAL 7: American Rescue Plan: Update and Project Direction**

**Key Issues**

- ▶ Total: \$13.5 million
- ▶ Project Completion
- ▶ Future Projects
- ▶ Community Information about ARP Funding and Value to Residents
- ▶ Unallocated Funds: \$2 Million
- ▶ Beautification Projects
- ▶ City Broadband Service

Milestones	
A. ARP Projects	
1. Little Jim Septic to Sewer	7/22
2. Atlantic Avenue (5 <sup>th</sup> to 7 <sup>th</sup> ): Design and Construction	7/22
3. NW 16 <sup>th</sup> Street: Construction	8/22
4. Avenue Q (14 <sup>th</sup> to 17 <sup>th</sup> ): Construction	8/22
5. Surfside Improvement Project: Design	12/22
6. Refuse Collection Trucks Purchase and Operational	2023
7. Police Technology	
a. Cameras	12/22
b. Tasers	12/22
c. Vehicles	2023
B. Future Projects	
1. DECISION: Project Direction	6/22
<b>Responsibility: City Manager</b>	

**June 2022 Update**

The design of Little Jim sewer system is nearing completion. Construction is slated to begin Summer 2022.



# FORT PIERCE

## Strategic Plan 2022 Goals

SERVE OUR COMMUNITY

### GOAL 8: City Compensation Policy: Salary Study for Critical Positions and Funding

#### Key Issues

- ▶ Competitive Employment Market
- ▶ Some Positions Behind Current Market
- ▶ Critical Positions: Mechanics, Planners, Engineers, Skilled Labor, Marina. Inspectors and others

Milestones		June 2022 Update
1. Complete market analysis	Ongoing	
2. Prepare FY23 budget proposal	6/22	In progress
3. BUDGET WORKSHOP: Budget FY23 Presentation and Direction	7/22	
4. DECISION: Budget FY23 Funding	9/22	

**Responsibility: Human Resources Director**



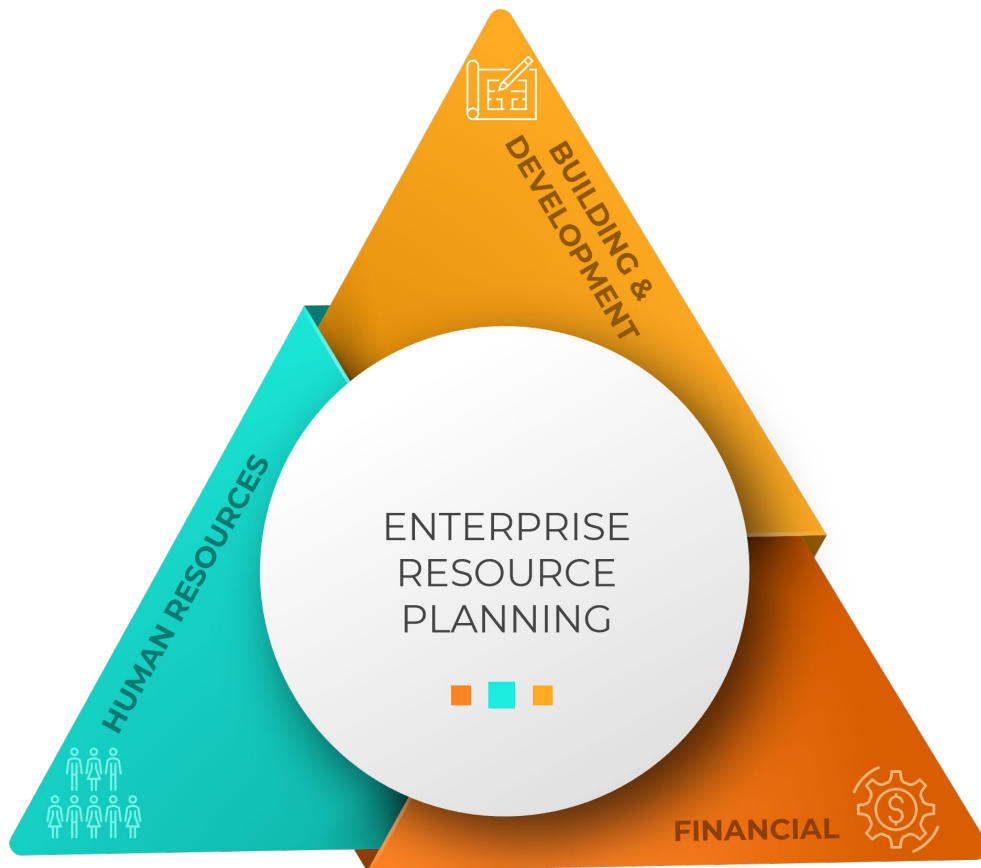
### GOAL 9: Enterprise Resource Planning Software (ERP): Implementation

**Key Issues**

- ▶ Installation Process
- ▶ Processes Evaluation

Milestones		June 2022 Update
1. Complete ERP Financial System Module Installation	10/22	In progress. Project is on schedule.
2. Complete ERP Building and Development Module Installation	3/23	In progress. Project is on schedule.
3. Complete ERP Human Resources Module Installation	12/23	Project is on schedule to begin on time.

**Responsibility: Information Technology Director**



### GOAL 10: City Surplus Properties: Review Inventory and Direction

#### Key Issues

- ▶ City Properties
- ▶ Uses/Potential Uses
- ▶ Developer Interests

Milestones	June 2022 Update	
1. Identify potential properties	Ongoing	An updated list of property owned by the City of Fort Pierce and FPRA has been compiled. Staff created a streamlined online proposal form, frequently asked questions, and program overview. Staff is coordinating with Code Enforcement on foreclosure properties to determine whether adjacent properties may be available for redevelopment or land assembly.
2. Review by City Boards	6/22	
3. DECISION: Award Bids	7/22	
<b>Responsibility: City Manager</b>		



612 N 25th Street 1 – Land Size 0.14 – Assessed Value \$2,569 – Market Value \$9,100



### GOAL 11: Federal Infrastructure Program Preparation: Guidelines, Projects and Funding

#### Key Issues

- ▶ Dollars Available
- ▶ Federal Guidelines
- ▶ Potential Projects
- ▶ 13th Street

Milestones	
1. Monitor Federal actions and guidelines	Ongoing
Responsibility: City Manager	

#### June 2022 Update

All departments of the City of Fort Pierce are currently monitoring the advertisement of appropriate grant sources for the improvement of our community.



## GOAL 1: Entrances/Gateways/Community Beautification Plan: Definition, Plan and Funding

### Key Issues

- ▶ Gateways Definition
- ▶ Outcomes
- ▶ First Impression
- ▶ Best Practices
- ▶ Creating a “Sense of Place”
- ▶ Design Standards
- ▶ Public Art Policy
- ▶ Public Input
- ▶ Landscape Architect Service
- ▶ Landscape Designplay

Milestones	
1. Select and hire consultant/contractor	Complete
2. Define the scope and projects	6/22
3. Identify and review gateways	6/22
4. Develop plan with options	8/22
5. CONFERENCE AGENDA: Presentation and Direction	10/22
6. DECISION: Funding Direction	11/22
<b>Responsibility: Public Works Director/FPWA</b>	

### June 2022 Update

In progress.



### GOAL 2: Parks and Playgrounds Upgrade: Direction, Funding, and City Actions

#### Key Issues

- ▶ Goals
- ▶ Projects
- ▶ Project Costs
- ▶ Funding Mechanism
- ▶ Grant Opportunities for Shovel Ready Projects

Milestones	
1. Prepare Report with Projects, Options, Costs and Funding	6/22
2. CONFERENCE AGENDA: Report Presentation and Direction	6/22
3. Prepare FY23 budget proposal	6/22
4. BUDGET WORKSHOP: Budget FY23 Presentation and Direction	7/22
5. DECISION: Budget FY23 Funding	9/22
<b>Responsibility: Public Works Director</b>	

#### June 2022 Update

In progress.



### GOAL 3: Fort Pierce Corridor Streetscape and Beautification Projects: Action Plan

#### Key Issues

- ▶ Economic Development Incentives for Private Sector
- ▶ Façade Improvement Grants
- ▶ Streetscape Designs
- ▶ Projects
- ▶ Funding Mechanism
- ▶ Grant Opportunities
- ▶ Complete Streets Concept
- ▶ Indian River Drive Moore's Creek Bridge Condition
- ▶ Public Input into Designs



Milestones	June 2022 Update	
<b>A. Orange Avenue Corridor (FDOT) Project</b>		
1. Provide City input into design	Ongoing	
2. Complete resurfacing design for 33 <sup>rd</sup> to U.S. 1 (FDOT)	7/22	Consultant nearing 60% design plan completion
3. Complete construction (FDOT)	2023	Project funding appropriated for FY 2024 (July 2023)
<b>B. Avenue D Corridor (29<sup>th</sup> to Indian River Drive) Project</b>		
1. Complete design	9/22	100% design plans anticipated by end of July 2022.
2. Complete construction	6/23	To be determined
<b>C. Indian River Drive Corridor Project</b>		
1. DECISION: Interlocal Agreement with St. Lucie County	7/22	No change
2. Hire consultant	8/22	No change
3. Develop streetscape plan	8/23	No change
<b>Responsibility: City Engineer/FPUA</b>		

#### FPUA June 2022 Update

The FPUA continues to work with City, County and FDOT staff on design coordination.



### GOAL 4: Greenway Trail: Development

#### Key Issues

- ▶ Link to Sun Trail
- ▶ Goals
- ▶ Options
- ▶ Funding
- ▶ Route through Downtown
- ▶ FEC Land Acquisition (Small Parcel)

Milestones	
1. Complete Highwaymen Trail Gap Design	6/22
2. Solidify Historic Downtown route	8/22
3. CONFERENCE AGENDA: Presentation and Direction	9/22
4. DECISION: Historic Downtown Route	11/22
<b>Responsibility: City Engineer</b>	

#### June 2022 Update

##### Highwaymen Trail Segment

- Design plans (80%).
- Still waiting for reply to request sent to FEC Railroad to purchase/lease corner parcel for trail connectivity.

##### Historic Downtown Segment

- Consultant has submitted 30% plans for review.
- Alternative routes being explored (ongoing).
- Proposed route shared with consultant working on Downtown Master Plan.



GOAL 5: Wayfinding Signage: Upgraded Design and Funding

Key Issues

- ▶ Design
- ▶ Themes
- ▶ Colors
- ▶ Locations
- ▶ Digital “Wayfinding”

Milestones	
1. Prepare plan and finalize design options	5/22
2. Finalize report	6/22
3. FPRA DECISION: Presentation, Direction and Funding	7/22
4. Mobilize project	8/22
5. Complete installation	12/22
<b>Responsibility: City Manager</b>	

June 2022 Update

All district logos have been created and finalized. This information has been relayed to the consultant who will revise the design and present a final proposal. The wayfinding signage proposal will be included in the FPRA Project-Based Budget on July 12, 2022.



LINCOLN  
-PARK-



### GOAL 6: Foreclosures Program/Process: Implementation

**Key Issues**

- ▶ Properties
- ▶ Actions

Milestones		June 2022 Update
1. Resolve litigation	7/22	In progress
2. Identify properties	Ongoing	Properties are being identified/referred for legal action on an ongoing basis.
3. REPORT: Update	TBD	
<b>Responsibility: City Attorney</b>		

**June 2022 Update**

The City continues, on a rolling basis, to evaluate properties for potential foreclosure actions. The City has sought and successfully obtained summary judgment in three cases. The relevant properties were sold at auction on June 22, 2022.

### GOAL 7: Clean and Safe Program Building Demolition: Update

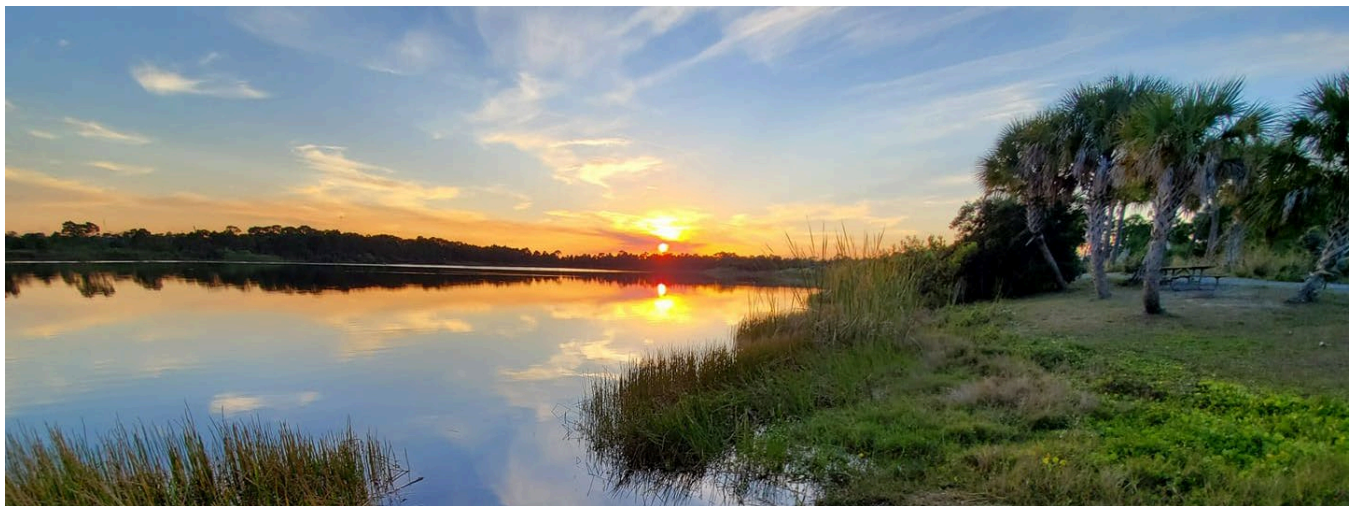
**Key Issues**

- ▶ Demolition

Milestones	
1. Prepare Annual Report	7/22
2. REPORT: Presentation	8/22
<b>Responsibility: Code Compliance Director</b>	

**June 2022 Update**

Annual report will be ready for the City Manager’s review before 7/31/22.



## GOAL 1: Parking Strategy: Study and Direction

### Key Issues

- ▶ Paid Parking

Milestones	
1. Complete public workshop	Complete
2. Finalize Report	Complete
3. DECISION: Report Approval and Direction	8/22
<b>Responsibility: City Manager</b>	

### June 2022 Update

The Parking Committee will evaluate the Walker Downtown Parking Analysis to generate recommendations to be presented to the City Commission at a meeting in August as part of Walker Consultant’s presentation of the report to the Commission.



## GOAL 2: Island Reclamation Plant Relocation: Design

### Key Issues

- ▶ Target Date: 12/25
- ▶ Grants and Outside Funding Sources
- ▶ Debt Restructure
- ▶ Rate Structure
- ▶ Use of Property
- ▶ Plant Design

Milestones		
1. Complete 30% design		Complete
2. Prepare report with recommendations		Complete
3. <del>DECISION: Debt Restructure and Rate Approval</del>		Complete
4. Complete 60% design		6/22
5. Complete 90-100% design		12/22
6. Begin construction		2023
<b>Responsibility: FPUA</b>		

### June 2022 Update

- On June 21 2022, the 2022 bond series final closing was completed and the funds have been acquired.
- Staff is preparing a contract for 60% design for board approval. This contract is tentatively scheduled for a meeting in July.
- FPUA DOU and City Manager will develop solution for disposition of property for the benefit of both entities.



### GOAL 3: Downtown Development Master Plan: Development

#### Key Issues

- ▶ Vision
- ▶ Boundary
- ▶ Projects
- ▶ Land Uses
- ▶ Development Standards

Milestones	
1. Finalize scope of project	Complete
2. DECISION: Funding Direction	Complete
3. Task 1: Kick-off, Data Collection, and Project Management	Complete
4. Task 2: Public Engagement	Complete
5. Task 3: Market Study, Frameworks Overlays	Complete
6. Task 4: Design Charette	Complete
7. Task 5: Final Master Plan Presentation	9/22
<b>Responsibility: City Manager</b>	

#### June 2022 Update

The design charette workshops were held June 27-30, 2022. During the week, a team of design experts met with stakeholders like local citizens, businesses, community groups, and property owners to develop a shared vision for the future of Downtown Fort Pierce and adopt an implementation strategy to guide development. S&ME is now preparing the final master plan that will be presented to the CRA Advisory Committee and FPRA Board in Fall 2022.



Photo by CKW Productions



### GOAL 4: Annexations Strategy/Interlocal Service Boundary Agreement: Direction and City Next Steps

**Key Issues**

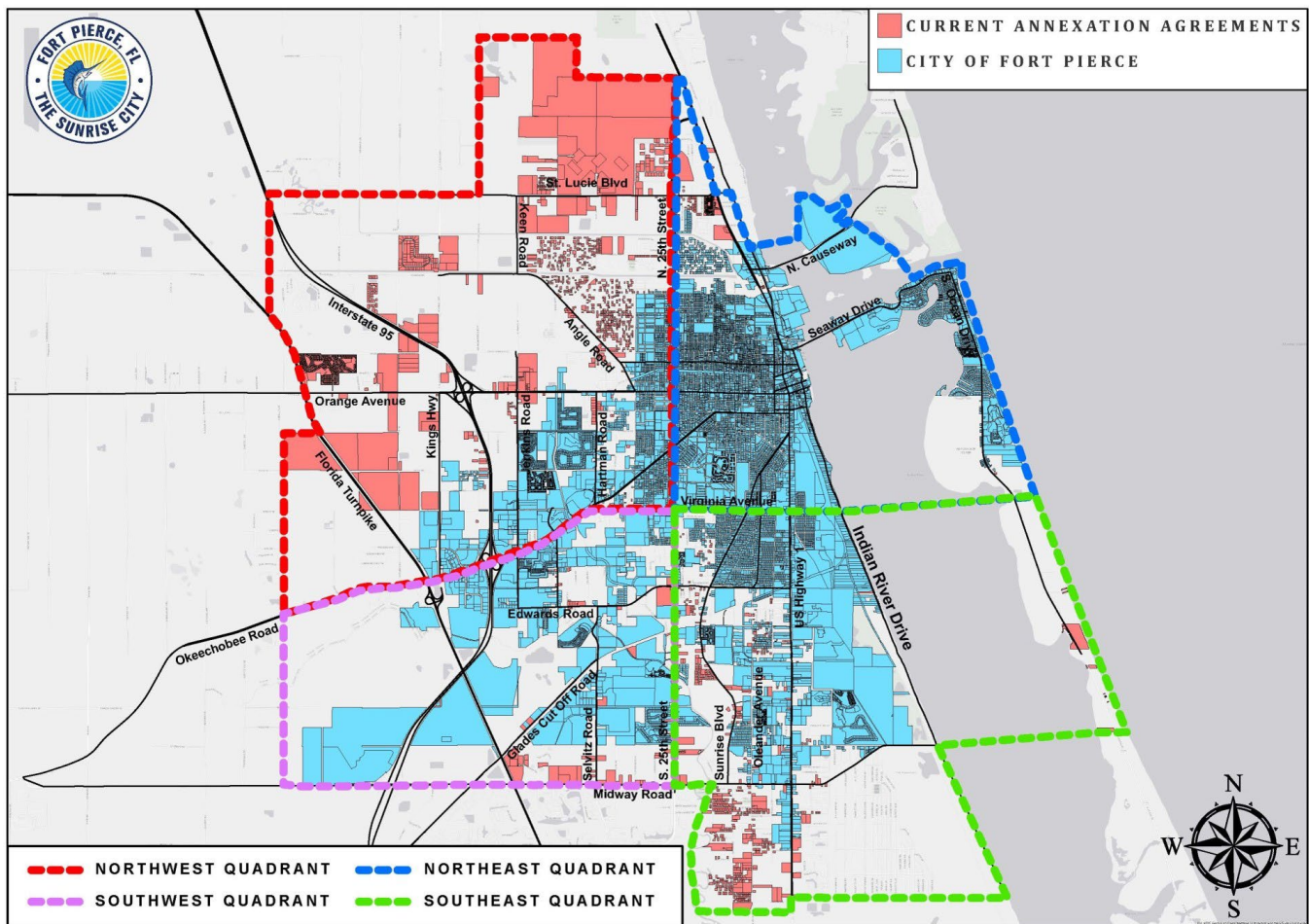
- ▶ New Approach
- ▶ Service Boundary (City and FPUA)
- ▶ Interlocal Service Boundary Agreement (ISBA)
- ▶ Pre-Annexation Agreements
- ▶ Link to Major Development Project
- ▶ City Service Capacity
- ▶ Working with St. Lucie County

Milestones	
1. Prepare proposal	Complete
2. DECISION: Presentation and Direction	8/22
3. Develop and finalize ISBA with St. Lucie County	9/22
4. DECISION: ISBA Approval	10/22
<b>Responsibility: City Manager</b>	

**June 2022 Update**

The FY 23 annexation strategy will be discussed at the August 2022 Conference Agenda meeting.

## ANNEXATION AGREEMENTS BY QUADRANT



### GOAL 5: South Beach Overlay Plan: Development

#### Key Issues

- ▶ Scope
- ▶ Land Use
- ▶ Zoning
- ▶ Development Standards
- ▶ Restrictions
- ▶ Community Input

#### Milestones

1. Finalize scope of project	10/22
2. Kick-off planning effort	11/22
3. Develop initial Plan	12/22
4. CONFERENCE AGENDA: Presentation and Direction	1/23

Responsibility: Planning Director

**June 2022 Update**  
In progress.



### GOAL 6: 13th Street Upgrade: Direction and Funding (North and South)

#### Key Issues

- ▶ Project Costs: \$10 million
- ▶ Funding Source
- ▶ Grant Opportunities
- ▶ Federal Infrastructure
- ▶ North - Design

Milestones	
1. Identify initial funding options - South	6/22
2. Incorporate in CIP Update	7/22
3. Updated Plan Completed	12/22

**Responsibility: City Engineer**

#### June 2022 Update

Continuing to search for alternative funding sources.



### GOAL 7: Neighborhood Identity and Branding: Direction and Funding

**Key Issues**

- ▶ Goals
- ▶ Methods
- ▶ Funding

Milestones	June 2022 Update
1. Keep Fort Pierce Beautiful to prepare report on vision and background information	6/22 In Progress, having a meeting with potential contractor within the next 30 days.
2. CONFERENCE: Presentation and Direction	6/22
3. Prepare FY23 budget proposal	6/22
4. BUDGET WORKSHOP: Budget FY23 Presentation and Direction	7/22
5. DECISION: Budget FY23 Funding	9/22
6. Complete public engagement	9/22

**Responsibility: Public Works Director**



### GOAL 8: Housing Authority Strategy: Key Issues, Direction and City Actions

#### Key Issues

- ▶ Development Working Relations
- ▶ Goals
- ▶ Partnership
- ▶ Actions
- ▶ Re-Branding
- ▶ City Strategic Plan: Vision, 5-Year Plan and Action Agenda 2022
- ▶ Code Enforcement

Milestones	June 2022 Update
1. JOINT MEETING: Fort Pierce City Commission and Housing Authority Board	8/22 The joint meeting has been scheduled for August 29, 2022.
<b>Responsibility: City Manager</b>	



### GOAL 9: 17th Street Upgrade: Direction and Funding (North to Graveyard and South to Okeechobee)

**Key Issues**

- ▶ Streetscape
- ▶ Complete Streets Concepts
- ▶ Sidewalk

Milestones	
1. Complete sidewalk project	12/22
<b>Responsibility: City Engineer</b>	

**June 2022 Update**

- Engineering currently updating streets/curb and gutter/sidewalk inventory list. Emphasis is centered around 2-mile radius of schools (ongoing).
- Preliminary report prepared by June 1st. (Report still under development. Requesting 60-day extension).



### GOAL 10: Wave Garden Construction: Permitting and Construction

**Key Issues**

- ▶ Site Plan
- ▶ Permitting

Milestones	Date	June 2022 Update
1. <del>DECISION: Final Adoption of Development Ordinance</del>	<del>2/22</del>	Complete. The site plan for Phase 1A was approved by the City Commission on February 7, 2022.
2. Issue permits	11/22	
3. Begin construction	12/22	

**Responsibility: Planning Director/Building Official**



**June 2022 Update**

Request for timetable extension for the Planned Development (known as Willow Lakes PD) was granted from July 22, 2024, to March 23, 2025, through a State Executive Order.



### GOAL 11: King’s Landing Development: Site Plan and Preparation

#### Key Issues

- ▶ Site Plan

Milestones	
1. <del>DECISION: Site Plan Approval</del>	Complete
2. <del>DECISION: Land Conveyance</del>	Complete
3. Initiate site preparation work	2023
<b>Responsibility: City Manager</b>	

#### June 2022 Update

On February 7, 2022, the City Commission approved the site plan and all necessary development review applications for King’s Landing. On March 8, 2022, the FPRA Board passed a resolution to convey the eleven parcels to Audubon Development and the FPRA executed the warranty deed transferring the parcels to Audubon Development. Audubon Development is responsible for meeting all benchmarks and deadlines as outlined in the amended and restated agreement that was executed on February 8, 2022. Audubon will begin the subsurface debris removal process with a contribution from the FPRA once DEP approval is obtained.

Audubon must meet the following deadlines for Phase I as outlined in the agreement:

Closing date: April 7, 2022 (date deed recorded in OR Book 4804, Page 2930)

Deadline to submit application for building permit: August 22, 2022 (8/21/22 is a Sunday)

Commence construction of Phase 1: February 17, 2023.

Complete construction of Phase 1: July 7, 2025. (7/5/25 is a Saturday)



### GOAL 12: Fisherman’s Wharf Development: Next Steps

#### Key Issues

- ▶ Site Plan
- ▶ Land Conveyance
- ▶ Boat Storage Facility

Milestones	
1. Complete “due diligence”	Complete
2. Review land uses	Complete
3. Submit site plan	8/22
4. TRC Review	9/22
5. Planning Board Review	10/22
6. DECISION: 1 <sup>st</sup> Reading	11/22
7. DECISION: 2 <sup>nd</sup> Reading and Approval	12/22
8. DECISION: Land Conveyance	2/23
<b>Responsibility: City Manager</b>	

#### June 2022 Update

City staff has been communicating regularly with the Pierce 1 development team and working to provide all requested information and documentation during the due diligence period which ended on December 14, 2021. On March 8, 2022, the FPRA Board approved an amendment to the agreement extending the City’s deadline to cure the title objections and survey objections to September 1, 2022. Pierce 1 is developing their site plan and expects to submit their development review package this summer. City staff has also been coordinating with St. Lucie County on a potential land swap of Avenue M extension in exchange for two parcels at Fisherman’s Wharf.



### GOAL 13: Port Development: Re-Zoning Direction

**Key Issues**

- ▶ Land Use
- ▶ Project Direction
- ▶ Timing

Milestones	
1. <del>Continue discussion with property owner(s)</del>	<del>3/22</del>
2. <del>Review draft proposal</del>	<del>3/22</del>
3. <del>Finalize proposal and land use changes</del>	<del>4/22</del>
4. Planning Board Review	9/22
5. DECISION: 1 <sup>st</sup> Reading	10/22
6. Submit to State	11/22
7. DECISION: 2 <sup>nd</sup> Reading – Final Approval	12/22
<b>Responsibility: Planning Director</b>	

**June 2022 Update**

Meeting with individual property owners to discuss proposed re-zoning and land use changes prior to moving to Planning Board review. Timetable adjusted accordingly.



# FORT PIERCE

## Strategic Plan 2022 Goals

DEVELOP OUR COMMUNITY

### GOAL 14: City Economic Incentives Policy: Review and Direction

Milestones		June 2022 Update
1. FPRA DECISION: Award Commercial Façade Grants	3/22	Complete
2. FPRA DECISION: Execute Commercial Façade Grant Agreements	4/22	Complete
3. FPRA DECISION: Award Interior Uplift Grants	7/22	
4. FPRA DECISION: Execute Interior Uplift Grant Agreements	7/22	

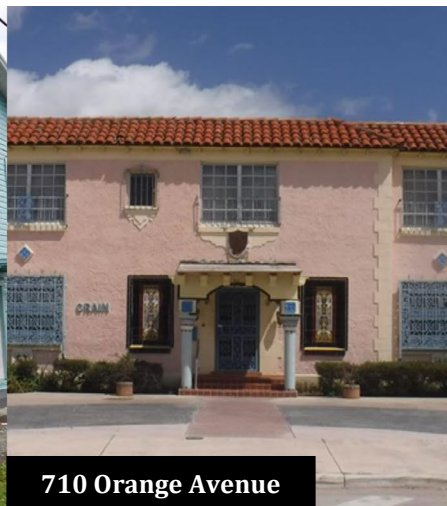
**Responsibility: City Manager**

#### June 2022 Update

The interior uplift applications have been evaluated by staff and were reviewed by the CRA Advisory Committee on July 6, 2022. Award recommendations will be presented to the FPRA Board for approval on July 12, 2022.



118 N. 9th Street



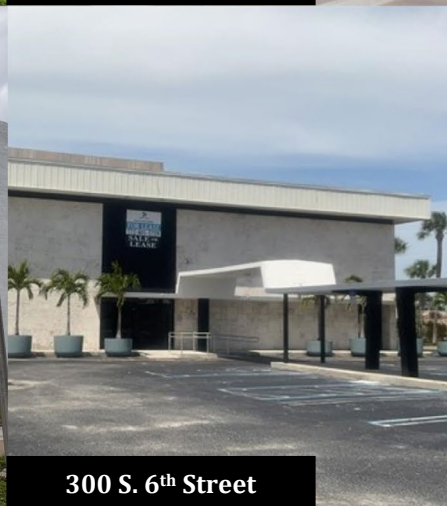
710 Orange Avenue



705 S. 5th Street



616 Atlantic Avenue



300 S. 6th Street



### GOAL 15: Seaplanes: Facility and Service

#### Key Issues

- ▶ Design
- ▶ Funding
- ▶ Construction

Milestones	
1. Obtain permits	6/22
2. DECISION: Funding and Design	6/22
3. Complete construction	TBD
4. Ribbon-cutting and 1 <sup>st</sup> Flight	TBD
<b>Responsibility: City Engineer</b>	

#### June 2022 Update

- A request has been made to the consultant to provide a proposal for the engineering design and permitting of the seaplane base. Proposal received. Engineering recommending additional proposals be solicited.
- Proposal for the relocation of the shuffleboard courts was presented at the June Conference Agenda meeting. Direction was obtained to continue with preliminary design of new shuffleboard courts.



### GOAL 16: Mobility Action Plan and Impact Fee: Direction

**Key Issues**

- ▶ Goals
- ▶ Mobility Trends
- ▶ Micro-Mobility
- ▶ Complete Streets Concept
- ▶ Electric Vehicle
- ▶ Community Input

Milestones	
1. DECISION: Final Proposal and Contract	7/22
2. Complete Phase 1 Analysis	12/22
3. Complete Phase 2 Analysis	5/23
4. CONFERENCE AGENDA: Draft Plan Presentation and Direction	6/23
5.. Incorporate in CIP FY24	2023
<b>Responsibility: Planning Director</b>	



**June 2022 Update**

Expression of Interest received from Benesch Consulting – timetable adjusted.

### GOAL 17: Landscape Code: Revision

**Key Issues**

- ▶ Code Modifications

Milestones		June 2022 Update
1. Finalize draft code revisions	9/22	In progress.
2. Planning Board review	10/22	
3. DECISION: 1 <sup>st</sup> Reading	11/22	
4. DECISION: 2 <sup>nd</sup> Reading – Approval	11/22	
<b>Responsibility: Planning Director</b>		



### GOAL 18: Vacant Parcels: Identification, Direction and City Actions

#### Key Issues

- ▶ Development Initiatives

Milestones	
1. Establish Incentives for Development	6/22
Responsibility: City Manager	

#### June 2022 Update

In January 2022, the City launched an Infill Lien Reduction Program to encourage new construction on vacant property throughout the entire city. The program promotes reinvestment and revitalization of vacant infill properties by providing the property owner relief from the liens levied prior to their ownership in exchange for the development of that vacant parcel. To be eligible for the program, the property must be an infill vacant lot within the city limits of Fort Pierce with no active code enforcement or nuisance abatement cases against it. The applicant must also affirm that they were not an owner or affiliated in any way with the property at the time the liens were originally recorded. Via development agreement, the City will waive all soft costs associated with the liens and provide a 50% refund of the hard costs paid. There will be specific time parameters associated with obtaining building permits and completing the new residential construction to be eligible for the refund. Staff has been working with several property owners interested in the program and has received two applications in the FPRA to date. Once the development agreements are executed by the property owner, they will go before the City Commission for approval.

The City passed ordinance 22-009 extending the moratorium on the imposition and collection of City impact fees within the Fort Pierce Redevelopment Area until September 7, 2022. The intent of this moratorium is to assist businesses in the Fort Pierce Redevelopment Agency boundaries reduce their startup costs and to contribute to the sense of vitality that occurs when buildings are occupied. It is our hope that this moratorium will encourage and entice development within the FPRA boundaries. Since infill locations are within the urban core of our community, typically they already have much of the needed infrastructure. Unless extraordinary capital improvements are required, infrastructure costs can be substantially lower for infill development relative to a similar project in an undeveloped area.



## GOAL 1: Community and City Equity Policy and Action Plan: Training, Champions and Actions

### Key Issues

- ▶ City Focus First
- ▶ Training
- ▶ Departmental Champions

Milestones	
1. Complete Mandatory Training for Managers and Supervisors	Complete
2. Identify departmental "Champions"	Complete
3. Initiate "Best Practices"	Complete
<b>Responsibility: City Manager</b>	



### June 2022 Update

The implementation of best practices is currently underway.



GOAL 2: Community Outreach with Faith Community: Direction and Actions

Key Issues

- ▶ Pastor Coalition

Milestones	
1. Refine list of pastors	6/22
2. Reach out to pastors	7/22
Responsibility: City Clerk	

**June 2022 Update**  
Awaiting list from one more funeral home.

Community  
OUTREACH WITH



GOAL 3: Community Engagement Strategy and Action Plan: Report and Direction

Key Issues

- ▶ Goals
- ▶ Best Practices
- ▶ Social Media
- ▶ Pastors Communications
- ▶ Trust in City Government
- ▶ Performance Metrics
- ▶ Town Hall Meetings
- ▶ “State of City” Message

Milestones	
1. Mayor’s State of City—video	Complete
2. Review current activities	5/22
3. Investigate “best practices” from other cities	6/22
4. Prepare Report with options and performance metrics	9/22
5. CONFERENCE AGENDA: Report Presentation and Direction	10/22
<b>Responsibility: Information Technology Director</b>	

June 2022 Update

- **Review current activities:** In Progress  
As an ongoing effort, the comms division is continuing to access as the digital trends and platforms are always growing.
- **Investigate “best practices” from other cities:** In Progress  
*Comprehensive Fiscal Planning:* As a part of continued growth, the Comms Division will be implementing a full day of fiscal planning, laying out ideas, thoughts, and go over projects to fortify the next fiscal year ahead. Currently, the Comms Division meets weekly to tackle the week-by-week needs, but successful Communications Departments take time out for relationship building and strategic planning as a best practice.  
  
*Hootsuite:* A social media content management platform to help maximize the City of Fort Pierce social media accounts and help deliver the City’s message.  
  
*Chatbot:* An automated citizen communication tool for municipalities. Cities contracted with CivicPlus utilize this feature to enhance better customer services that is driven by AI system and analytics.  
  
*City Projects Page:* Currently, the City of Fort Pierce doesn’t have a direct Project page that highlights what the City of Fort Pierce is doing. Municipalities has found it affective in building and hosting a city project page or button, typically featured on the home page. It has not yet been determined where this page would go, and what department responsible for updates.  
  
*Internal Comms:* Focusing on internal communications by enhancing the Helpdesk ticket system for marketing needs from other departments. This allows the communications division to directly work with staff to engage residents for events and marketing by filtering the needs of the requested ticket, and thoroughly plan the reach for the event.
- **Prepare Report with options and performance metrics:** In Progress  
Metrics are being gathered for marketing purposes to extend the City’s communications and marketing reach through radio, print, web, and social media content. This will be an ongoing process to continually gauge successes, growth and pain-points for the division.



### GOAL 4: Community Policing Expansion: Actions 2022

Milestones	
1. REPORT: Update	7/22
Responsibility: Police Chief	

#### June 2022 Update

Complete. Discussed at the June 13, 2022 Conference Agenda meeting.



### GOAL 1: Mental Health Strategy and City Actions: Direction and City Actions

#### Key Issues

- ▶ Problems Definition
- ▶ Partner Provider Best Practices
- ▶ Police Training
- ▶ Psychologist Services Contract

Milestones	
1. Police Training and Certification	Ongoing
2. Police Scenarios	Ongoing
3. Define position/services for Psychologist	6/22
4. Prepare FY23 budget proposal	6/22
5. BUDGET WORKSHOP: Budget FY23 Presentation and Direction	7/22
6. DECISION: Budget FY23 Funding	9/22
<b>Responsibility: Police Chief</b>	

#### June 2022 Update

The Police Department is continuing to work with several companies to provide a continuum of mental well-being services to our staff. The Police Department’s FY23 proposed budget is completed.



### GOAL 2: Sunrise Theatre Future: Update Report, Direction and City Actions

#### Key Issues

- ▶ Goals
- ▶ Options
- ▶ City Role
- ▶ Building Responsibilities
- ▶ Programming
- ▶ Funding Mechanism

Milestones	
1. Prepare initial Report of Sunrise Theatre future with options	Complete
2. CONFERENCE AGENDA: Report Presentation, Goals and Direction	Complete
3. Finalize Report	Complete
4. CONFERENCE AGENDA: Direction	Complete
5. DECISION: Sunrise Theatre Future Direction	Complete
<b>Responsibility: Sunrise Theatre Director</b>	

#### June 2022 Update

The Sunrise Theatre is moving forward with a robust and diverse schedule for the coming year.



### GOAL 3: Recreational Programs Expansion: Needs Assessment, Report with Option, Funding and Direction

#### Key Issues

- ▶ Youth Recreation Programs
- ▶ Senior Programs
- ▶ Adult Programs
- ▶ Link to Arts and Culture
- ▶ Link to Marina
- ▶ Link to Golf
- ▶ Link to Sunrise Theatre
- ▶ Recreation Staffing
- ▶ Funding

Milestones	
1. Prepare report on program expansion assessment	7/22
2. BUDGET WORKSHOP: Budget FY23 Presentation and Direction	7/22
3. DECISION: Budget FY23 Funding	9/22
<b>Responsibility: Public Works Director</b>	

#### June 2022 Update

Scheduled for presentation at Budget Workshop.



### GOAL 4: Smart City Initiative Development: Plan and Actions

#### Key Issues

- ▶ Downtown Kiosk
- ▶ Community Connectivity
- ▶ AMI Initiative
- ▶ Funding

Milestones	
1. DECISION: Agreement with FPUA Plan	7/22
<b>Responsibility: FPUA</b>	

#### June 2022 Update

FPUA staff revised Memorandum of Understandings (MOUs) for the Lincoln Park Neighborhood and the Downtown Projects. The scope of each project has changed to better meet the needs of the residents. FPUA and City Staff are preparing for FPUA Board and Fort Pierce City Commission approval in July 2022.

On June 21 2022, the 2022 bond series final closing was completed and the funds have been acquired. The AMI project will proceed with an accelerated schedule with material procurement as the highest priority to address supply chain issues.



GOAL 5: Sunrise Theatre Plan for 2023: Direction



**Key Issues**

- ▶ Programs

Milestones	
1. Prepare Report on Next Year	Complete
2. Prepare FY23 budget proposal	Complete
3. BUDGET WORKSHOP: Budget FY23 Presentation and Direction	7/22
4. DECISION: Budget FY23 Funding	9/22
<b>Responsibility: Sunrise Theatre Director</b>	

**June 2022 Update**

Budget proposal complete and submitted.



### GOAL 6: Lincoln Theater Restoration Plan/Program Development: Update Report

#### Key Issues

- ▶ Action Plan 2022
- ▶ Deliverables
- ▶ Alignment with City Actions

#### Milestones

- |   |         |
|---|---------|
| 1. Private Responsibility: Design and Funding | Ongoing |
| 2. REPORT: Foundation Update Report           | 7/22    |

**Responsibility: City Manager**

#### June 2022 Update

We are monitoring the progress of this private development and shall offer support as deemed appropriate by the City of Fort Pierce and FPRA.





## CITY OF FORT PIERCE MISSION STATEMENT:

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*"To provide community leadership, quality public service, and a safe environment for all citizens by an empowered team of employees motivated by pride in themselves and their work."*

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