



CONDITIONAL USE - NO NEW CONSTRUCTION

Property Information

Property address or Location

515 Avenue A Fort Pierce FL 34950

Parcel ID #(s)

2410-606-0005-000-0

Project description

6th 11-th Private Arts School

Site Information

Building Si 23,742 + Parking Spaces: 185 / plus street park & lot next store they own

First United Methodist Church Cindy Bridges Director

The Lindsay School of the Arts

Property Owner(s)

Applicant/Representative, Title, Company

515 Avenue A

Street Address

1717 Orange Ave Suite 4225

Street Address

Fort Pierce FL 34950

City State Zip

Fort Pierce FL 34948

City State Zip

772-464-0440

Phone Number

772-342-8651

Phone Number

firstunitedftp@gmail.com

Email Address

Cindy@theLindsaySchooloftheArts.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Sue Blume - Office Administrator

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

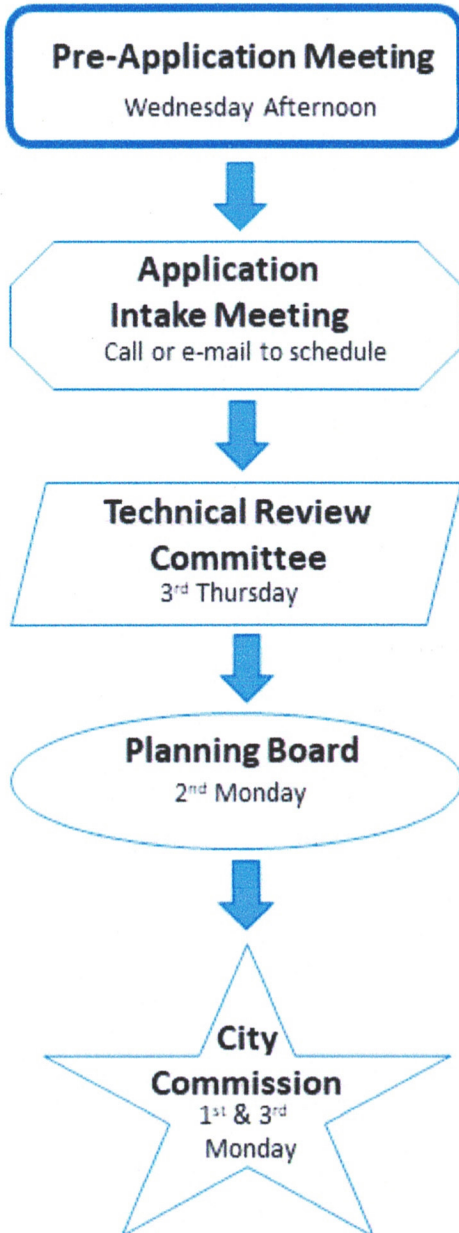
CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev1>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Conditional Use approval is valid for one (1) year following City Commission approval.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Submittal Requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- As-built Survey
- Floor Plan of Existing Buildings
- Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage
- Lighting Plan
- Complete Application

The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 125-236, shall be reviewed as a unit in accordance with the requirements of section 125-313 except that:

1. The City Commission shall hold a public hearing in accordance with the provisions of section 125-38 prior to acting on the application for conditional use.
2. In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.



Project Narrative

The Lindsay School of the Arts(LSA) Private School is a comprehensive academic arts experience. Birthed out of the overwhelming need of working families whose children’s schools kept going into quarantine; LSA has transitioned into a private school after the parents sharing their desire for their children to receive an in-depth art curriculum.

The LSA Arts School will be operating as a junior and senior high school out of First United Methodist Church at 515 Ave A Fort Pierce, FL. LSA will be following a 4-4 3-3 accredited curriculum of 4 English, 4 Math, 4 History, and 4 Science, and offer arts electives, STEM, language, health, and physical fitness. Honoring the mission of the organization, LSA will remaining free to students by allowing families to receive Step Up scholarship funds.

Upon opening we’re expecting to enroll 25-30 students in 2022/2023. We’re currently in partnership with IRSC as well as Berklee Music College to develop dual enrollment, transition, and continuing education opportunities. We’ll be providing our students with mentorships, work studies, as well as employment opportunities in their desired artistic area.

Florida is one of the top five states for growth in STEAM-related employment. STEMFlorida projects that in the next 10 years, 80% of new jobs in Florida will demand STEM preparation: jobs that require college education, and highly skilled tradesmen. These inspired LSA’s planning team to identify our need for education in Science, Technology, Engineering, Art, and Mathematics.

We are in compliance with the Department of Education, and have fulfilled all compliance requirements as a new school.

Health Inspection
Radon Testings
Annual Reporting
Suety Bond

Scholarship Applications
Both DCF & VECH Finger Prints
Ethic Policies
Ownership Documents

Have all been completed and issued to the state, we are only missing a fire inspection at this time. Florida Department of Education is ready to come for a site visit as well.

School Break Down

25-30 Male and Female Students Grades 6th-11th in 2022/20233

School Day is 8:30am-3:30pm Monday-Friday- Following the St Lucie County School Board
Calendar 180 School Days
Drop Off is 7:30am-8:30am
Pick Up is 3:30pm-4:30pm

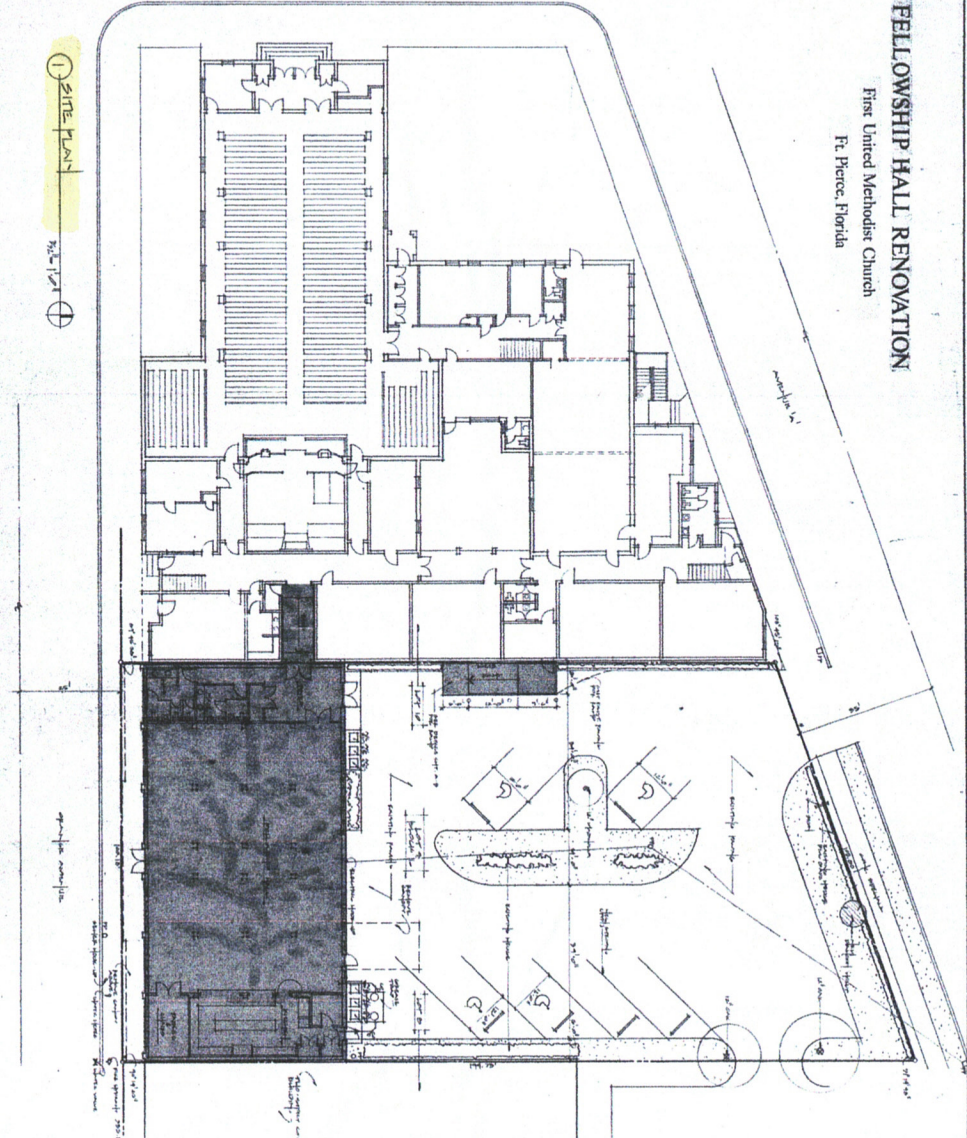
No food will be provided student must bring their own

Health Inspection has been completed and submitted to the State for this location

FELLOWSHIP HALL RENOVATION

First United Methodist Church
Ft. Pierce, Florida

① SITE PLAN



NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL BE CONSULTED FOR ANY CHANGES TO THE PLAN OR SPECIFICATIONS. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT SHALL BE CONSULTED FOR ANY CHANGES TO THE PLAN OR SPECIFICATIONS. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

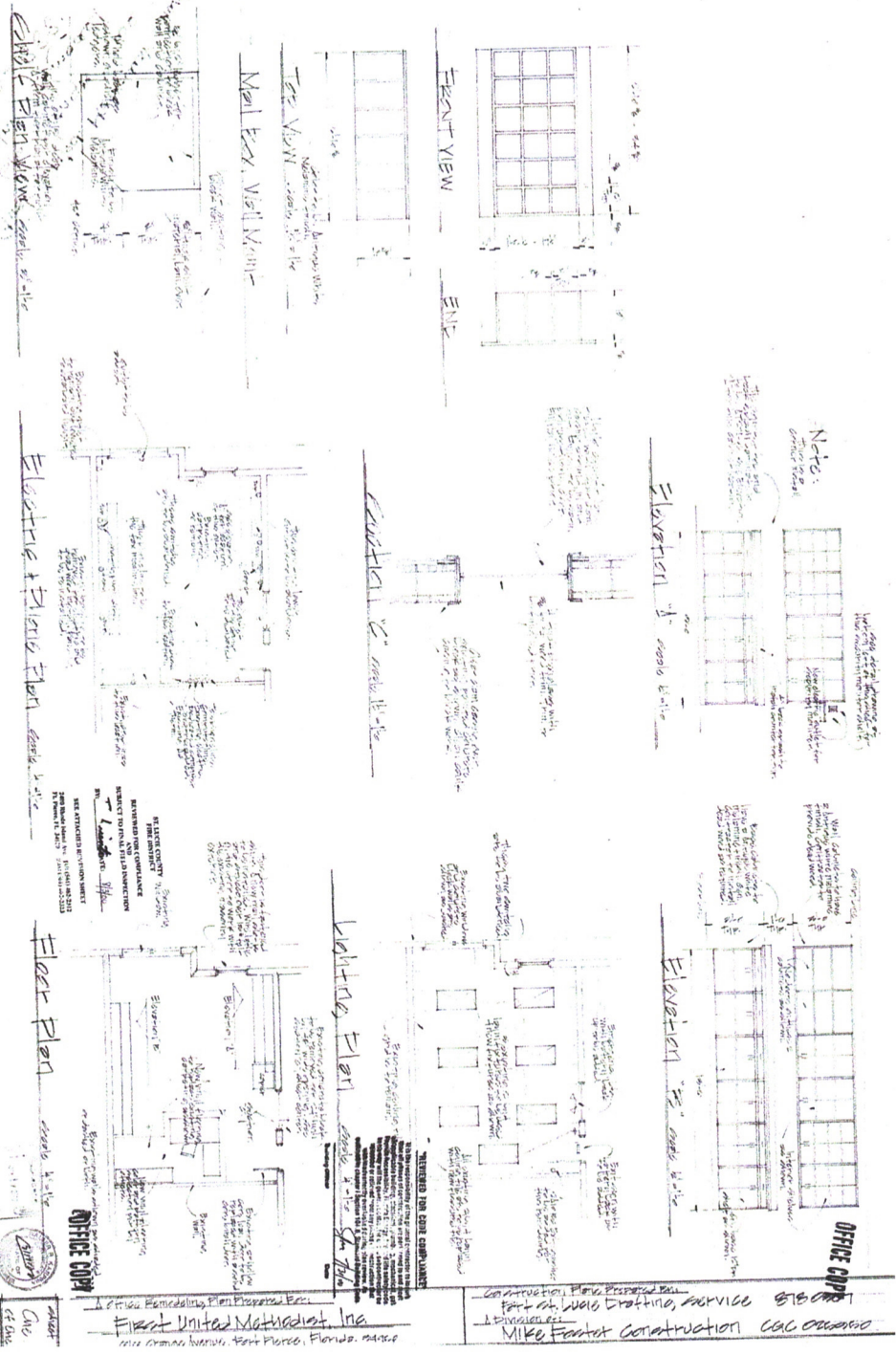


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ROBERT E.A. TERRY, JR. - ARCHITECT
2640 NORTH MISSION ROAD, FORT PIERCE, FLORIDA 34946

AIA 2451
407-461-1331





Construction Plans Prepared By:
 Fort St. Louis Drafting, Service #16001
 Prepared By:
 Mike Fortner Construction CAC 00000000

Office Remodeling Plans Prepared By:
 First United Methodist Inc
 1111 Orange Avenue, Fort Pierce, Florida, 34949

OFFICE COPY
 OFFICE COPY
 OFFICE COPY

FINISHES, GRANTS AND STRUCTURAL NOTES:

Construction shall follow the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

1. All partitions, walls, doors, windows, etc. shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

2. The interior finish of the walls, ceiling and floor shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

3. The exterior finish of the building shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

4. The roof shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

5. The foundation shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

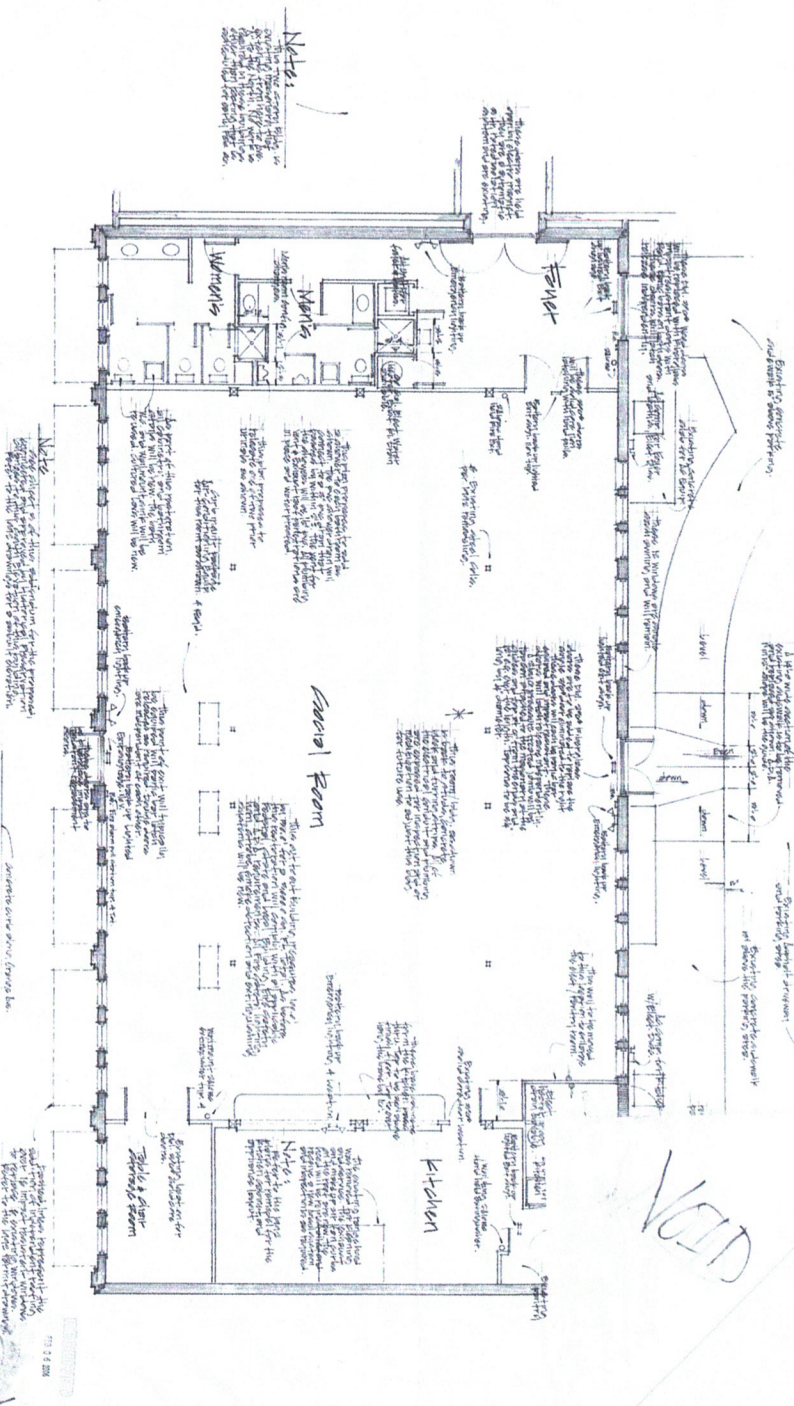
6. The electrical system shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

7. The plumbing system shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

8. The heating and cooling system shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

9. The fire protection system shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.

10. The safety system shall be in accordance with the First Building Code, as amended in the area in which the building is to be remodeled or replaced.



Notes:

1. This is the second sheet in the set of three sheets.

2. The first sheet contains the general notes and the first sheet contains the first sheet.

3. The second sheet contains the second sheet and the second sheet contains the second sheet.

4. The third sheet contains the third sheet and the third sheet contains the third sheet.

5. The fourth sheet contains the fourth sheet and the fourth sheet contains the fourth sheet.

6. The fifth sheet contains the fifth sheet and the fifth sheet contains the fifth sheet.

7. The sixth sheet contains the sixth sheet and the sixth sheet contains the sixth sheet.

8. The seventh sheet contains the seventh sheet and the seventh sheet contains the seventh sheet.

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13. The twelfth sheet contains the twelfth sheet and the twelfth sheet contains the twelfth sheet.

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26. The twenty-fifth sheet contains the twenty-fifth sheet and the twenty-fifth sheet contains the twenty-fifth sheet.

27. The twenty-sixth sheet contains the twenty-sixth sheet and the twenty-sixth sheet contains the twenty-sixth sheet.

28. The twenty-seventh sheet contains the twenty-seventh sheet and the twenty-seventh sheet contains the twenty-seventh sheet.

29. The twenty-eighth sheet contains the twenty-eighth sheet and the twenty-eighth sheet contains the twenty-eighth sheet.

30. The twenty-ninth sheet contains the twenty-ninth sheet and the twenty-ninth sheet contains the twenty-ninth sheet.

31. The thirtieth sheet contains the thirtieth sheet and the thirtieth sheet contains the thirtieth sheet.

32. The thirty-first sheet contains the thirty-first sheet and the thirty-first sheet contains the thirty-first sheet.

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38. The thirty-seventh sheet contains the thirty-seventh sheet and the thirty-seventh sheet contains the thirty-seventh sheet.

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47. The forty-sixth sheet contains the forty-sixth sheet and the forty-sixth sheet contains the forty-sixth sheet.

48. The forty-seventh sheet contains the forty-seventh sheet and the forty-seventh sheet contains the forty-seventh sheet.

49. The forty-eighth sheet contains the forty-eighth sheet and the forty-eighth sheet contains the forty-eighth sheet.

50. The forty-ninth sheet contains the forty-ninth sheet and the forty-ninth sheet contains the forty-ninth sheet.

51. The fiftieth sheet contains the fiftieth sheet and the fiftieth sheet contains the fiftieth sheet.

Proposed Additions & Deletions to the Existing Floor Plan

First United Methodist Church

One Orange Avenue, East Orange, N.J.

Plan Prepared by: **Porter & Sawyer, Inc.**

Scale: 1/4" = 1'-0"

DATE: 11-1-58

BY: [Signature]

11-1-58

FINANCIALS, GENERAL AND STRUCTURAL NOTES:

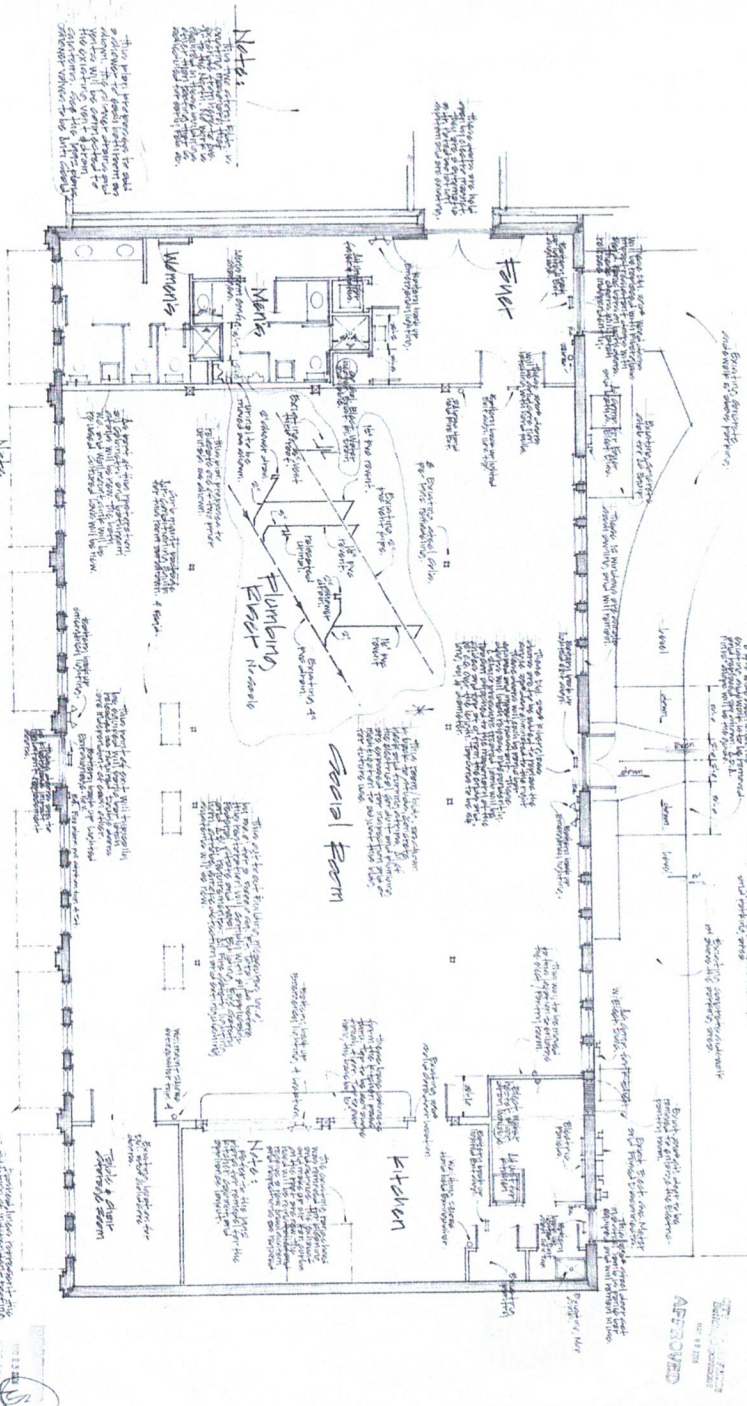
1. Construction shall follow the First Building Code, as amended in the areas in which the building will be permitted or required.

2. All structural steel members shall be fabricated and erected in accordance with the provisions of the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 13th Edition, 2001.

3. All structural steel members shall be protected with a minimum of 1/2" of concrete or 1/4" of galvanized steel.

4. All structural steel members shall be painted with a minimum of two coats of primer and two coats of finish paint.

5. All structural steel members shall be galvanized to meet the requirements of the First Building Code, as amended.



Notes:

1. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.

2. The contractor shall be responsible for coordinating with the utility companies to locate and mark all existing utilities.

3. The contractor shall be responsible for protecting all existing utilities during construction.

4. The contractor shall be responsible for maintaining access to all existing utilities throughout the project.

5. The contractor shall be responsible for providing adequate site access for all construction equipment and materials.

6. The contractor shall be responsible for maintaining the site in a safe and clean condition throughout the project.

7. The contractor shall be responsible for providing adequate site security throughout the project.

8. The contractor shall be responsible for providing adequate site lighting throughout the project.

9. The contractor shall be responsible for providing adequate site drainage throughout the project.

10. The contractor shall be responsible for providing adequate site erosion control throughout the project.

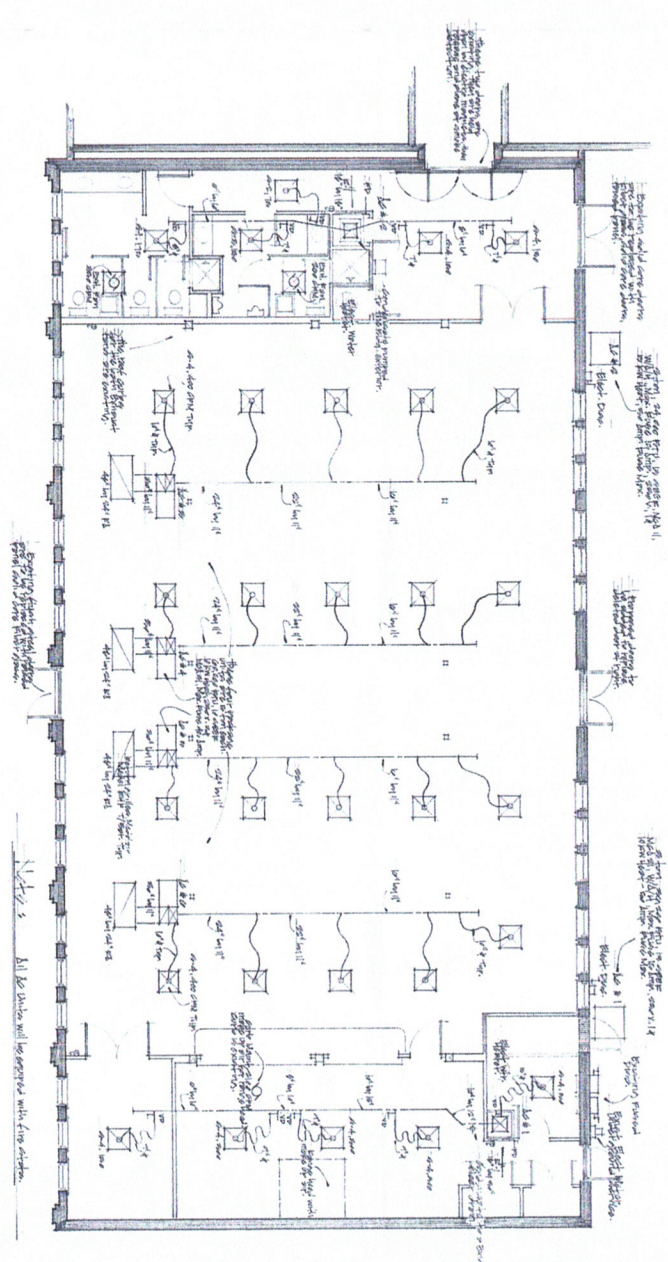
Approved Additions & Alterations, Social Room, Kitchen

Mike Foster, P.E.

Prepared Additions & Alterations to the Existing First Floor
First United Methodist Church
 600 Orange Avenue, Fort Pierce, Florida, 34946

For Project: Bill
 For: Mike Foster Construction, Inc. 888-888-8888
 Date: 10/1/2020

RETURN SIZE/16



Notes: This sketch will require the preparation of floor and ceiling plans.

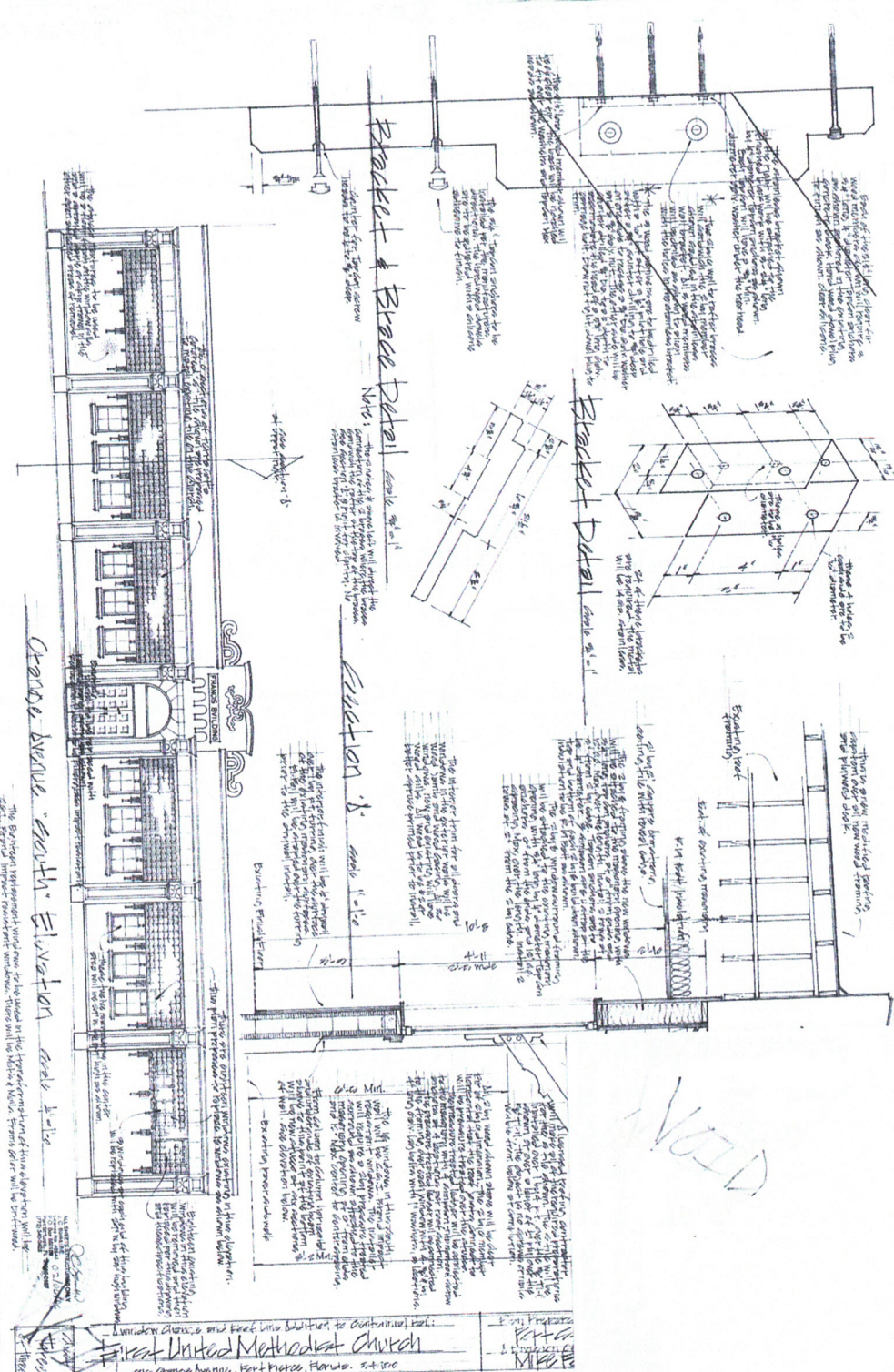
Scale: 1/4" = 1'-0"

Notes: All dimensions will be given with first section.

Scale: 1/4" = 1'-0"

Plans Prepared for
First United Methodist Church
c/o Orange Avenue, Fort Pierce, Florida.

Plan Prepared by
Fort Est. Luce Drafting, Fort Pierce, Fla. 34901
Division of
Mike Fortner Construction, Inc. C/O C. J. ...



Base of floor to be finished floor. Wood framing to be finished floor. All framing to be finished floor. All framing to be finished floor. All framing to be finished floor.

The structure will be finished floor. The structure will be finished floor. The structure will be finished floor. The structure will be finished floor. The structure will be finished floor.

Rack & Brack Detail
Scale 1/4" = 1'

Section B
Scale 1/4" = 1'

Cross Elevation
Scale 1/4" = 1'

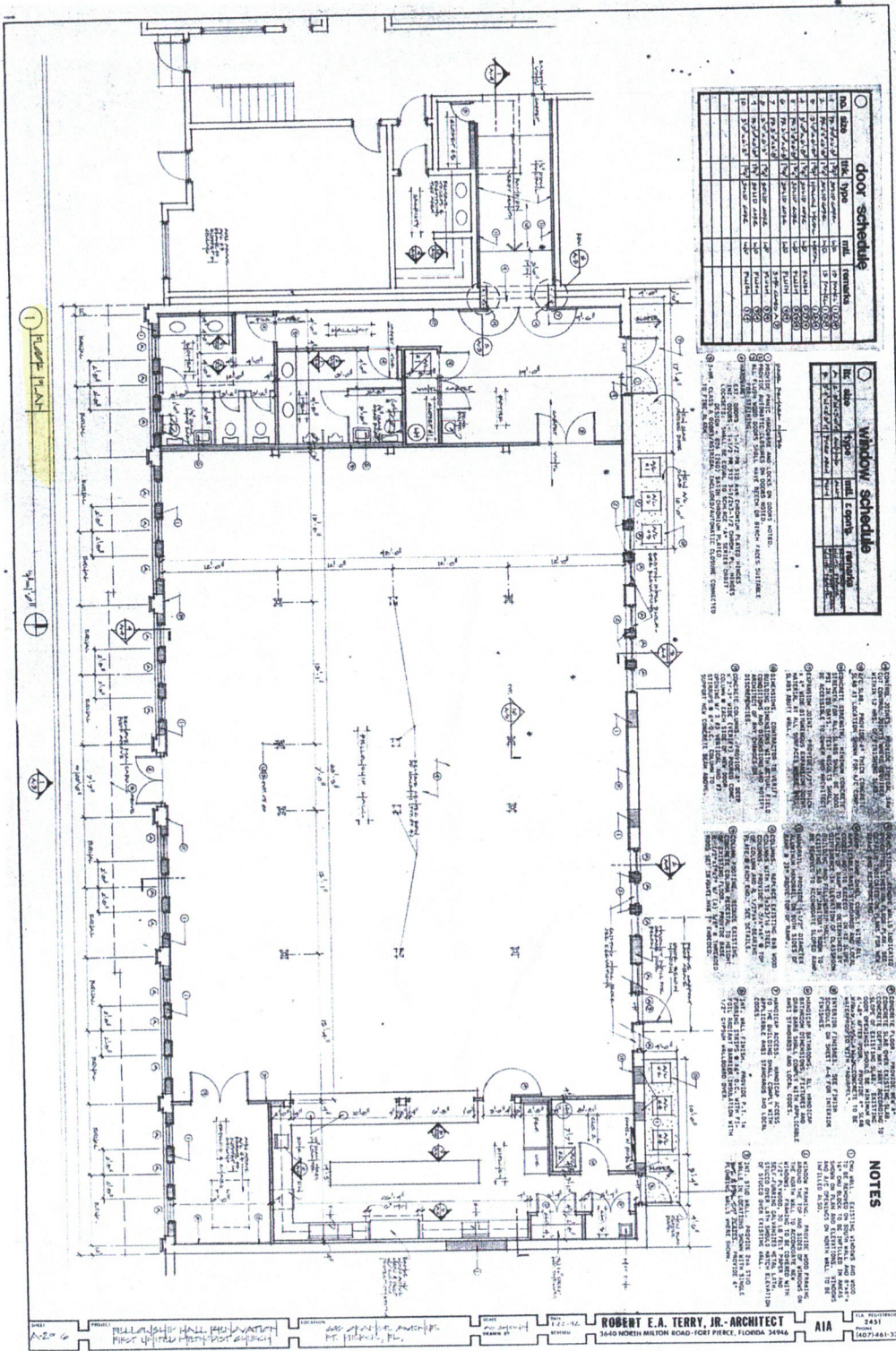
Section B
Scale 1/4" = 1'

Section B
Scale 1/4" = 1'

Section B
Scale 1/4" = 1'

Window Glass and Roof Lino Subject to Consultant's Approval
First United Methodist Church
 1000 ... Fort Pierce, Florida, 34950

DRAFT



door schedule

No.	Size	Type	Material	Remarks
1	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
2	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
3	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
4	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
5	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
6	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
7	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
8	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
9	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
10	3'0" x 7'0"	Swing	1/2" Pine	(0-00)

Window schedule

No.	Size	Type	Material	Remarks
1	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
2	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
3	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
4	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
5	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
6	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
7	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
8	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
9	3'0" x 7'0"	Swing	1/2" Pine	(0-00)
10	3'0" x 7'0"	Swing	1/2" Pine	(0-00)

Notes:

- 1. All windows to be double hung with 1/2" x 1/2" x 1/2" glass.
- 2. All doors to be 1/2" thick pine.
- 3. All doors to be swing out.
- 4. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.
- 5. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.
- 6. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.
- 7. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.
- 8. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.
- 9. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.
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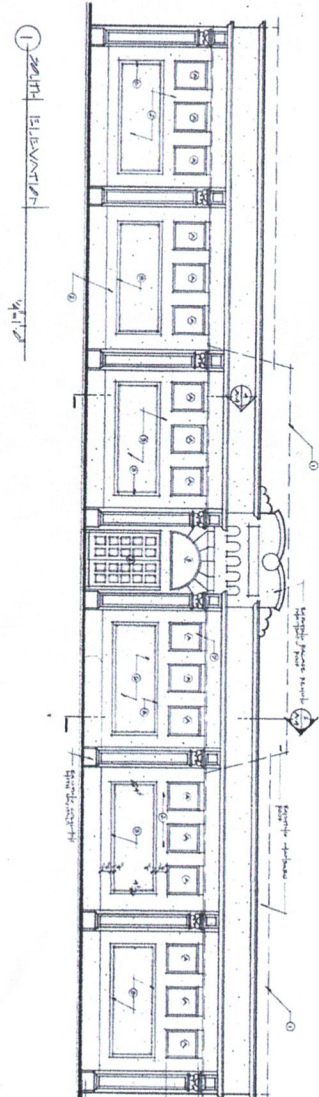
6. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.

7. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.

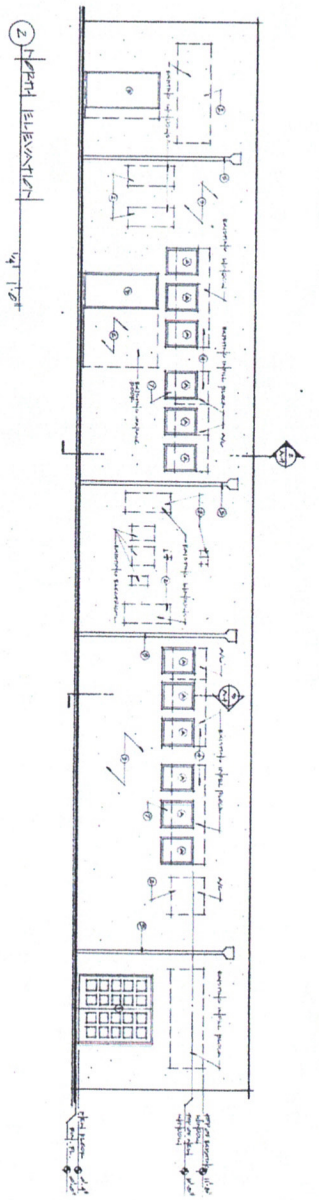
8. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.

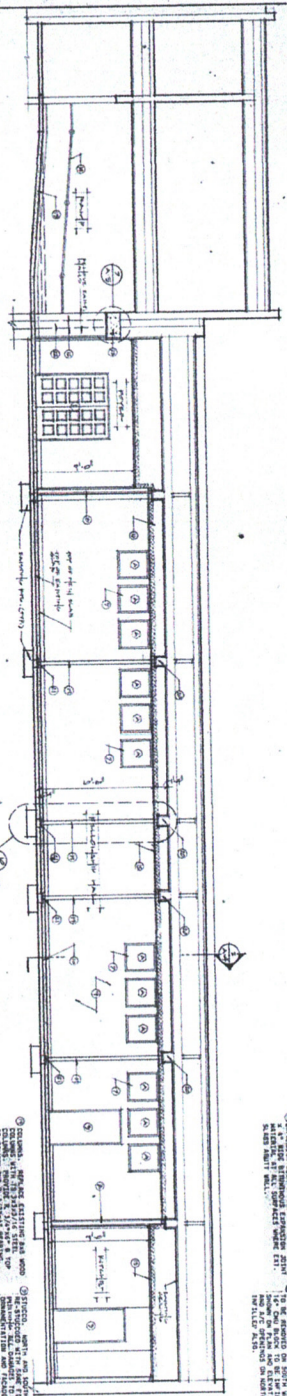
9. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.

10. All doors to be equipped with 1/2" x 1/2" x 1/2" glass.



- NOTES**
- ① EXISTING ELEVATOR SHAFT TO BE RECONSTRUCTED TO MEET ALL CITY AND STATE REQUIREMENTS AND SUBJECT TO INSPECTION.
 - ② NEW WALL, EXISTING STAIRWAY AND HOISTWAY TO BE RECONSTRUCTED TO MEET ALL CITY AND STATE REQUIREMENTS AND SUBJECT TO INSPECTION.
 - ③ STAIRS, HANDRAILS AND STAIR CASES TO BE RECONSTRUCTED TO MEET ALL CITY AND STATE REQUIREMENTS AND SUBJECT TO INSPECTION.
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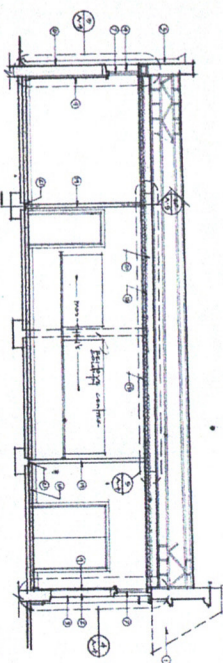




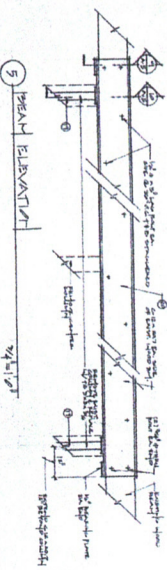
NOTES

- 1. EXISTING WALLS AND ROOF TO REMAIN.
- 2. NEW WALLS, EXISTING WINDOWS AND DOORS TO REMAIN.
- 3. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED.
- 4. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED.
- 5. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS.
- 6. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.
- 7. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.
- 8. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.
- 9. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.
- 10. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.

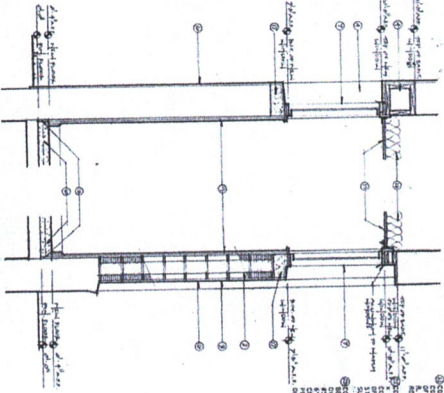
1 BUILDING SECTION
1/4" = 1'-0"



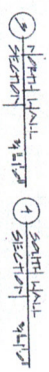
2 BUILDING SECTION
1/4" = 1'-0"



3 BEAM ELEVATION
1/4" = 1'-0"

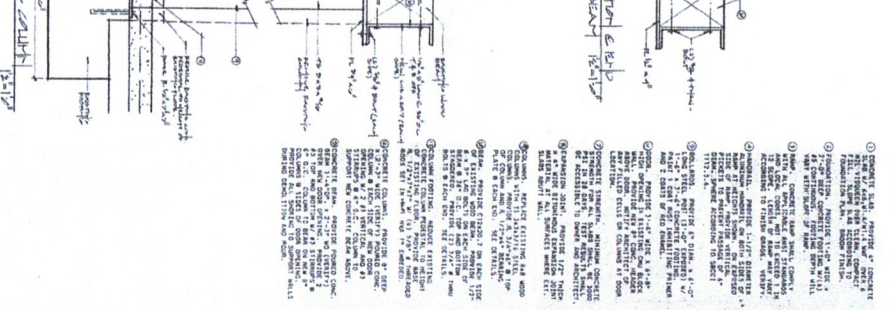
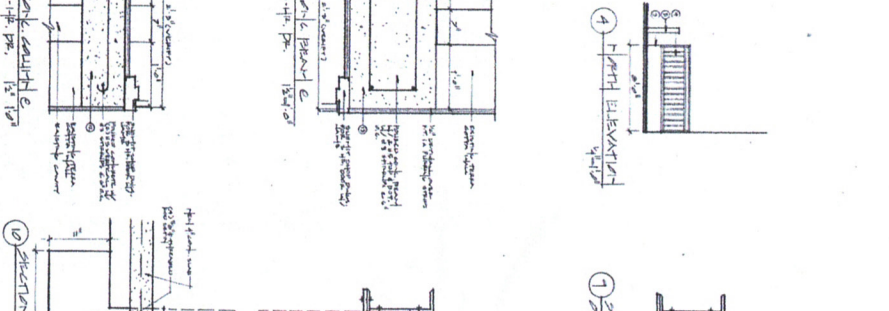
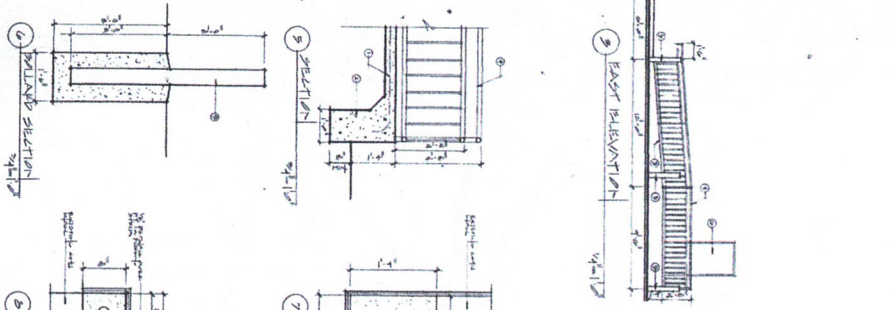
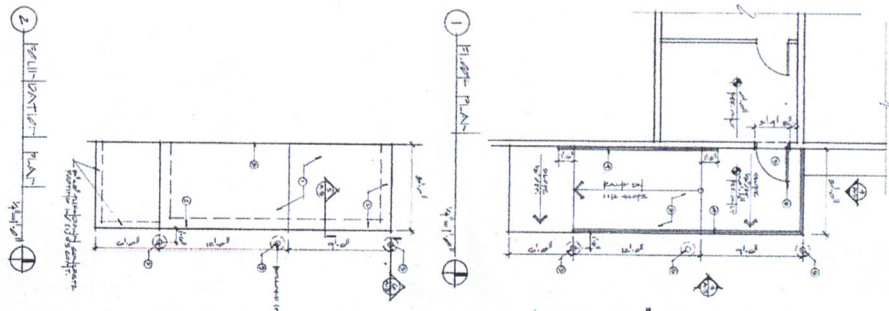


4 SOUTH WALL SECTION
1/4" = 1'-0"



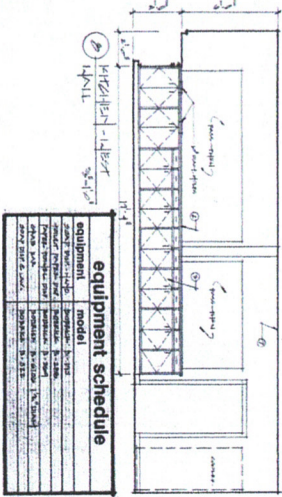
5 NORTH WALL SECTION
1/4" = 1'-0"

- 1. EXISTING WALLS AND ROOF TO REMAIN.
- 2. NEW WALLS, EXISTING WINDOWS AND DOORS TO REMAIN.
- 3. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED.
- 4. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED.
- 5. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS.
- 6. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.
- 7. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.
- 8. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.
- 9. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.
- 10. NEW WALLS, EXISTING WINDOWS AND DOORS TO BE REMOVED AND RECONSTRUCTED WITH NEW MATERIALS AND FINISHES.

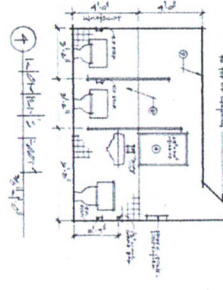
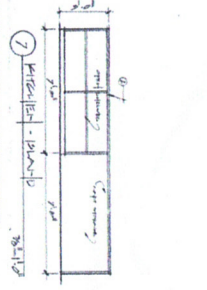
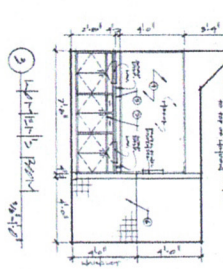
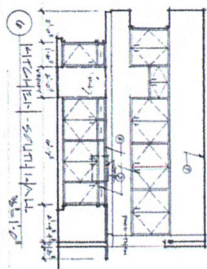
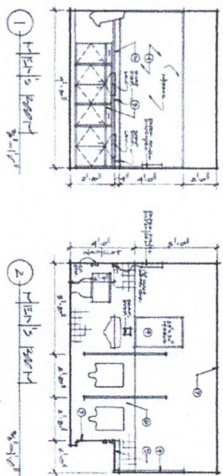
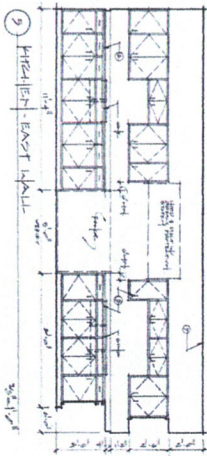


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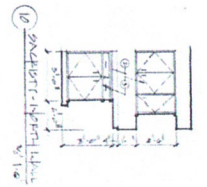
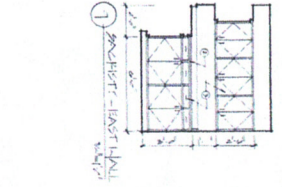
1. CONCRETE SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
2. REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING:
 - a. TOP REINFORCEMENT SHALL BE PLACED IN THE TOP OF THE SLAB.
 - b. BOTTOM REINFORCEMENT SHALL BE PLACED IN THE BOTTOM OF THE SLAB.
 - c. REINFORCEMENT SHALL BE PLACED IN THE TOP OF THE WALLS.
 - d. REINFORCEMENT SHALL BE PLACED IN THE BOTTOM OF THE WALLS.
3. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING:
 - a. CONCRETE SHALL BE PLACED IN THE TOP OF THE SLAB.
 - b. CONCRETE SHALL BE PLACED IN THE BOTTOM OF THE SLAB.
 - c. CONCRETE SHALL BE PLACED IN THE TOP OF THE WALLS.
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 - c. CONCRETE SHALL BE PLACED IN THE TOP OF THE WALLS.
 - d. CONCRETE SHALL BE PLACED IN THE BOTTOM OF THE WALLS.
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 - c. CONCRETE SHALL BE PLACED IN THE TOP OF THE WALLS.
 - d. CONCRETE SHALL BE PLACED IN THE BOTTOM OF THE WALLS.



equipment	model
STOVE	FRIGIDAIRE
SINK	FRIGIDAIRE
CUPBOARD	FRIGIDAIRE
DRINKING WATER	FRIGIDAIRE
REFRIGERATOR	FRIGIDAIRE
DISHWASHER	FRIGIDAIRE
STOVE	FRIGIDAIRE
SINK	FRIGIDAIRE
CUPBOARD	FRIGIDAIRE
DRINKING WATER	FRIGIDAIRE
REFRIGERATOR	FRIGIDAIRE
DISHWASHER	FRIGIDAIRE



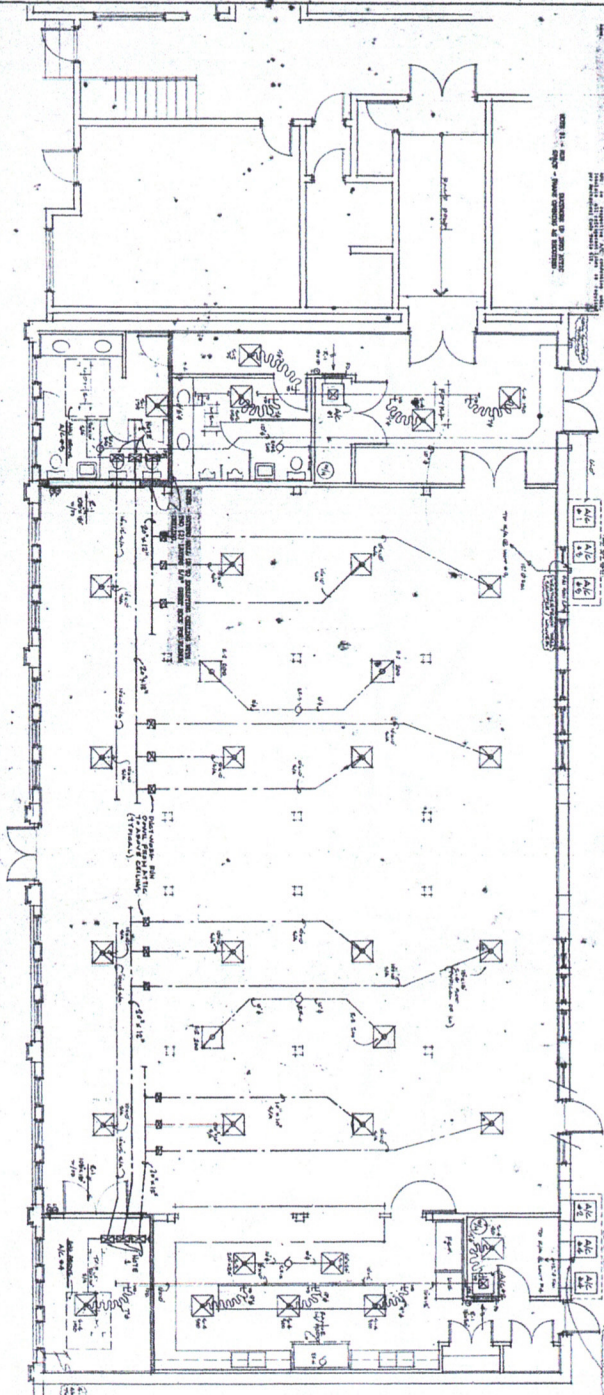
Room	Floor	Base	Wall	Ceiling	Remarks
KITCHEN	1st	white	white	white	see notes
BATH	1st	white	white	white	see notes
HALL	1st	white	white	white	see notes
CL. 1	1st	white	white	white	see notes
CL. 2	1st	white	white	white	see notes
CL. 3	1st	white	white	white	see notes
CL. 4	1st	white	white	white	see notes
CL. 5	1st	white	white	white	see notes
CL. 6	1st	white	white	white	see notes
CL. 7	1st	white	white	white	see notes
CL. 8	1st	white	white	white	see notes
CL. 9	1st	white	white	white	see notes
CL. 10	1st	white	white	white	see notes
CL. 11	1st	white	white	white	see notes
CL. 12	1st	white	white	white	see notes
CL. 13	1st	white	white	white	see notes
CL. 14	1st	white	white	white	see notes
CL. 15	1st	white	white	white	see notes
CL. 16	1st	white	white	white	see notes
CL. 17	1st	white	white	white	see notes
CL. 18	1st	white	white	white	see notes
CL. 19	1st	white	white	white	see notes
CL. 20	1st	white	white	white	see notes



NOTES

- 1) INTERIOR FINISHES, SEE SCHEDULE
- 2) INTERIOR FINISHES, SEE SCHEDULE
- 3) INTERIOR FINISHES, SEE SCHEDULE
- 4) INTERIOR FINISHES, SEE SCHEDULE
- 5) INTERIOR FINISHES, SEE SCHEDULE
- 6) INTERIOR FINISHES, SEE SCHEDULE
- 7) INTERIOR FINISHES, SEE SCHEDULE
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- 12) INTERIOR FINISHES, SEE SCHEDULE
- 13) INTERIOR FINISHES, SEE SCHEDULE
- 14) INTERIOR FINISHES, SEE SCHEDULE
- 15) INTERIOR FINISHES, SEE SCHEDULE
- 16) INTERIOR FINISHES, SEE SCHEDULE
- 17) INTERIOR FINISHES, SEE SCHEDULE
- 18) INTERIOR FINISHES, SEE SCHEDULE
- 19) INTERIOR FINISHES, SEE SCHEDULE
- 20) INTERIOR FINISHES, SEE SCHEDULE

1 Plan Plan - HVAC



NOTES TO BE OBSERVED BY CONTRACTOR - SEE 11 SPEC

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CONTRACTORS ASSOCIATION (IMC) AND THE 2018 INTERNATIONAL ELECTRICIANS ASSOCIATION (IEC) CODES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL AREAS AT ALL TIMES.

5. ALL MATERIALS AND EQUIPMENT SHALL BE STORED PROPERLY ON-SITE.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

7. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.

9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE ARCHITECT'S INTENT.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

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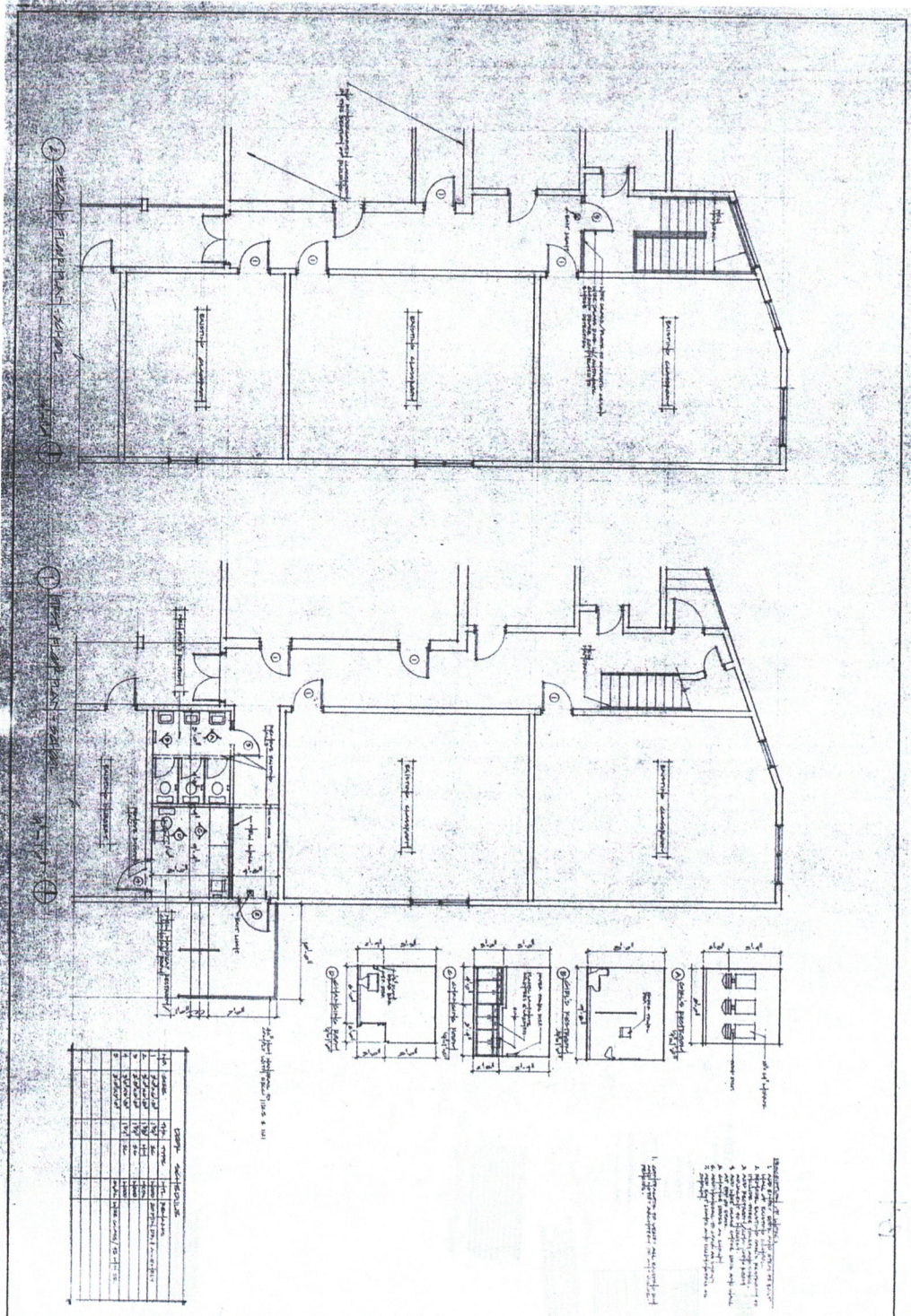
REVISIONS

NO. 1

DATE 1/22/22

BY J. TERRY

DESCRIPTION



SECTION 1 - SANCTUARY

SECTION 2 - CHORUS

NO.	DESCRIPTION	QTY.	UNIT PRICE	TOTAL
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NOTES:
 1. ALL WORK SHALL BE ACCORDING TO THE SPECIFICATIONS AND DETAILS SHOWN ON THESE PLANS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.
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CRU-11
616 Orange Ave
Mike Foster Construction

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CITY OF FLORIDA	
OFFICE OF THE CITY CLERK	
FILE NO.	2012-00000
ACTIVITY	1000
DATE	10/15/12
TIME	10:00 AM
BY	John Smith
DATE	10/15/12
TIME	10:00 AM
BY	John Smith

CONSTRUCTION
5/15/12

RECEIVED 1
 Department
 Bureau
 Division
 Section
 Unit
 Office
 Room
 Mail
 Other

STATE OF FLORIDA
DEPARTMENT OF REVENUE
TAX COLLECTOR
TALLAHASSEE, FLORIDA

616 Orange Ave

616 Orange Ave