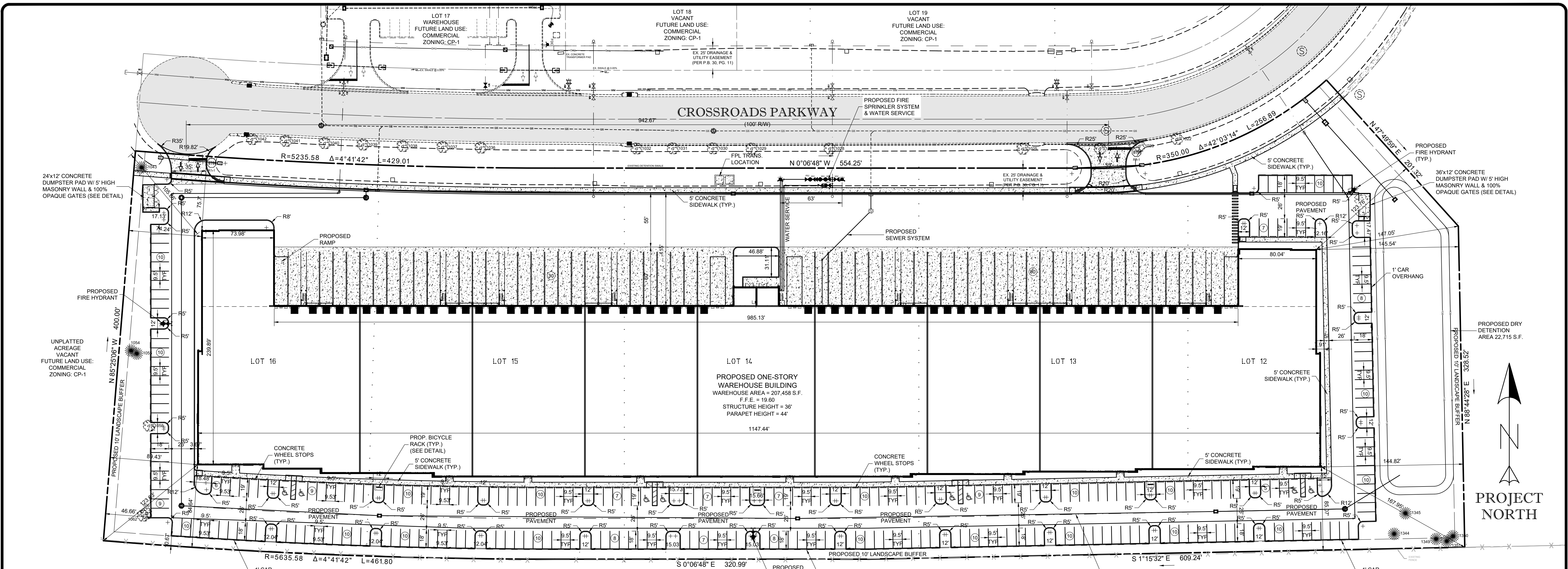
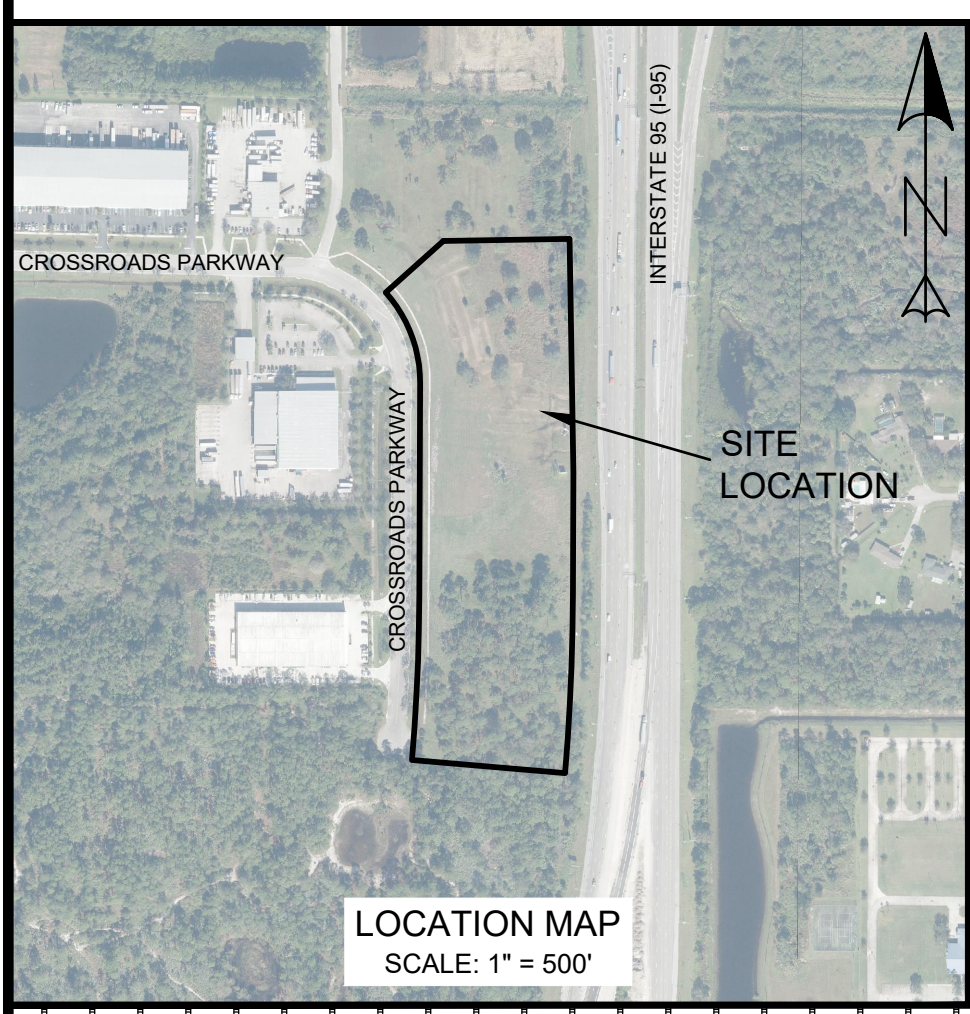


THIS DOCUMENT, TOGETHER WITH THE CONSENTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



ZONING CODE FOR: COMMERCIAL PARKWAY ZONE (CP-1)							
	FRONT	REAR	SIDE	CORNER	BUILDING COVERAGE	BUILDING HEIGHT	OPEN SPACE (LANDSCAPING)
PER CODE	25'	20'	10'	20'	60% MAX.	65' MAX.	20% MIN.
PROPOSED	76' MIN.	85' MIN.	89' MIN.	---	40.55%	36' - 44'	20.05%



LEGAL DESCRIPTION
 BEING ALL OF LOTS 12 THROUGH 16, ACCORDING TO THE PLAT OF CROSSROADS PARK OF COMMERCE PHASE 1, AS RECORDED IN PLAT BOOK 30, PAGE 11, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

CONTAINING 553,733 SQUARE FEET OR 12.712 ACRES, MORE OR LESS.

SECTION 25, TOWNSHIP 35 SOUTH, RANGE 39 EAST

PARCEL ID#:
 2324-710-0018-000-0
 2324-710-0019-000-7
 2324-710-0020-000-7
 2324-710-0021-000-4
 2324-710-0022-000-1

PROJECT NAME: 3800 CROSSROADS PARKWAY
 PROJECT ADDRESS: 3800 CROSSROADS PARKWAY
 PROPOSED USE: WAREHOUSE
 OWNER: JBL FORT PIERCE INDUSTRIAL LLC
 2028 HARRISON ST STE 202
 HOLLYWOOD, FL 33020
 DEVELOPER: BAKER BARRIOS
 189 S ORANGE AVENUE
 SUITE 1700
 ORLANDO, FL 32801
 (407) 926-3000
 ARCHITECT:
 SURVEYING: CULPEPPER & TERPENING, INC.
 2980 SOUTH 25TH STREET
 FORT PIERCE, FLORIDA 34981

ENGINEERING:
 ENGINEERING DESIGN & CONSTRUCTION INC.
 CONTACT: DAVID C. BAGGETT, P.E.
 10250 SW VILLAGE PARKWAY, SUITE 201
 PORT ST. LUCIE, FL 34987
 (772) 462-2455

PLANNING:
 ENGINEERING DESIGN & CONSTRUCTION INC.
 CONTACT: BRADLEY A. CURRIE, AICP
 10250 SW VILLAGE PARKWAY, SUITE 201
 PORT ST. LUCIE, FL 34987
 (772) 462-2455

SITE DATA
 FUTURE LAND USE: GC
 ZONING: CP-1
 GROSS SITE AREA: 553,733 S.F. (12.712 AC) = 100.00%
 IMPERVIOUS AREA: 442,705 S.F. (10.163 AC) = 79.95%
 PROPOSED BUILDING: 207,458 S.F. (4.763 AC) = 37.47%
 PROPOSED PAVEMENT: 155,975 S.F. (3.580 AC) = 28.17%
 PROPOSED CONCRETE: 79,272 S.F. (1.820 AC) = 14.31%
 PERVIOUS AREA: 111,028 S.F. (2.549 AC) = 20.05%
 OPEN SPACE AREA: 88,313 S.F. (2.027 AC) = 15.95%
 DRY DETENTION AREA: 22,715 S.F. (0.522 AC) = 4.10%
 UPLAND PRESERVE: 0 S.F. (0.000 AC) = 0.00%
 WETLANDS: 0 S.F. (0.000 AC) = 0.00%
 WETLAND BUFFERS: 0 S.F. (0.000 AC) = 0.00%

PROVIDER OF UTILITIES:
 WATER: FPUA
 WASTEWATER: FPUA
 IRRIGATION: PRIVATE WELL

BUILDING INFO:
 BUILDING SETBACKS:
 CP-1 (COMMERCIAL PARKWAY) (25')
 FRONT BUILDING SETBACK (10')
 SIDE BUILDING SETBACK (20')
 REAR BUILDING SETBACK (20')

BUILDING DATA:
 GROSS FLOOR AREA = 207,458 S.F.
 BUILDING HEIGHT:
 PROPOSED BUILDING HEIGHT = 36' (65' MAX.)
 PARAPET HEIGHT = 44'

PARKING CALCULATIONS:
 207,458 S.F. WAREHOUSE AREA
 1 SPACE / 600 S.F. WAREHOUSE AREA
 207,458 / 600 = 346 SPACES (8 HC)

PARKING REQUIRED:
 207,458 S.F. WAREHOUSE AREA
 1 SPACE / 600 S.F. WAREHOUSE AREA
 207,458 / 600 = 346 SPACES (8 HC)

PARKING PROVIDED:
 CAR PARKING = 287 SPACES
 TRUCK PARKING = 60 SPACES

HAZARDOUS WASTE:
 ANY AND ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

LEGEND			
	EXISTING METER		EX. OAK TREE TO REMAIN # - TREE TAG
	PROPOSED METER		EX. PALM TREE TO REMAIN # - TREE TAG
	PROPOSED SIGN		EX. PINE TREE # - TREE TAG
	BLOCK NUMBER		EX. OAK TREE TO BE REMOVED # - TREE TAG
	MITERED END SECTION		EX. PALM TREE TO BE REMOVED # - TREE TAG
	HANDICAP STALL		EX. PINE TREE TO BE REMOVED # - TREE TAG
	LIGHT FIXTURE TAG, HEIGHT OF FIXTURE		
	PARKING STALL TAG # OF STALLS		

STORMWATER DRAINAGE BASIN INFORMATION
 SFWMD PERMIT #56-00573-S
 CONTROL ELEVATION = 12.00 NAVD (13.50 NGVD)
 MIN ROAD CROWN ELEVATION = 15.60 NAVD (17.10 NGVD)
 MIN FINISHED FLOOR ELEVATION = 17.00 NAVD (18.50 NGVD)

ALL ELEVATIONS SHOWN OR REFERENCED WITHIN THESE PLANS ARE BASED UPON N.A.V.D. '88. TO CONVERT FROM N.A.V.D. '88 TO N.G.V.D. '29, ADD 1.50' TO N.A.V.D. '88 ELEVATIONS TO GET N.G.V.D. '29 ELEVATIONS.

PORT SAINT LUCIE OFFICE
 10250 SW VILLAGE PARKWAY - SUITE 201
 PORT SAINT LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

ENGINEERS & SURVEYORS
 ENVIRONMENTAL

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
 L.B. CERTIFICATE OF AUTHORIZATION 9098

11-17-2021

REVISION COMMENTS

DATE

RWF
 DESIGNED BY
 RWF
 DRAWN BY
 21-352 (11-19-2021).dwg
 FILENAME
 SITE PLAN
 LAYOUT
 1" = 50'
 SCALE
 18 NOVEMBER 2021
 DATE

3800 CROSSROADS PARKWAY

SITE PLAN

FT. PIERCE FLORIDA

(DATE)

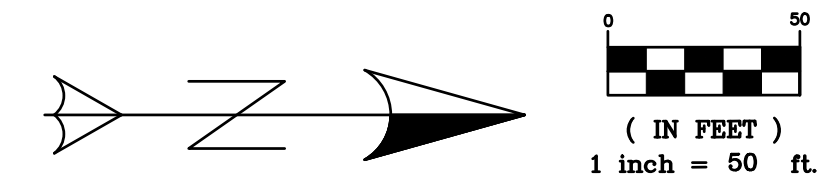
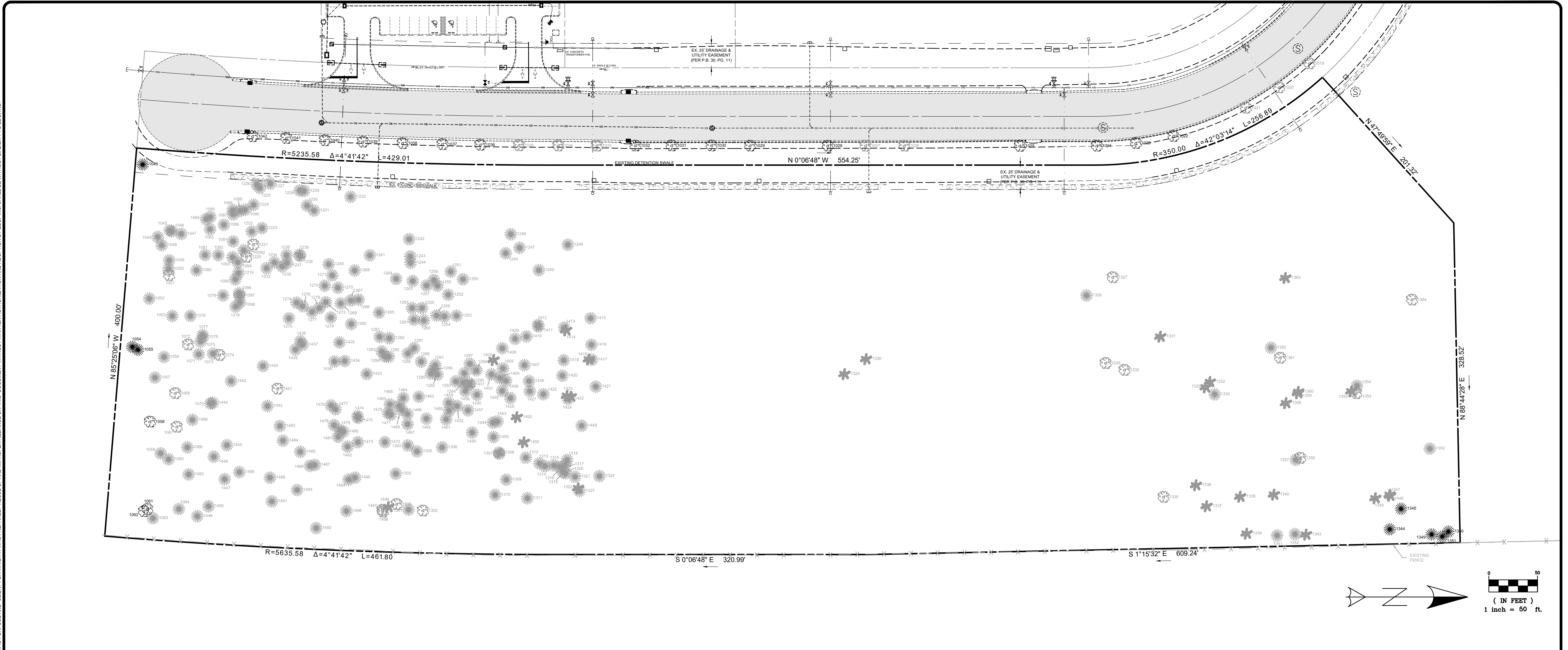
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1 OF 3

10250 SW VILLAGE PARKWAY - SUITE 201
 PORT SAINT LUCIE, FL 34987
 772-462-2455

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 772-462-2456
 www.edc-inc.com
 F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
 L.S. CERTIFICATE OF AUTHORIZATION 8098

DATE	REVISION COMMENTS
11-17-2021	ADDED MISSING TREES TO PLAN

RWF
 DESIGNED BY
 RWF
 DRAWN BY
 21-352 (11-19-2021).dwg
 FILENAME
 TREE MITIGATION PLAN
 LAYOUT
 SCALE
 1" = 50'
 11 NOVEMBER 2021
 DATE

3800 CROSSROADS PARKWAY

TREE MITIGATION PLAN

FT. PIERCE FLORIDA

EDC ENGINEERS & SURVEYORS ENVIRONMENTAL
 10250 SW VILLAGE PARKWAY - SUITE 201
 PORT SAINT LUCIE, FL 34987
 772-462-2456

(DATE)

21-352

3 OF 3

3800 Crossroads Parkway
 City of Fort Pierce, Florida

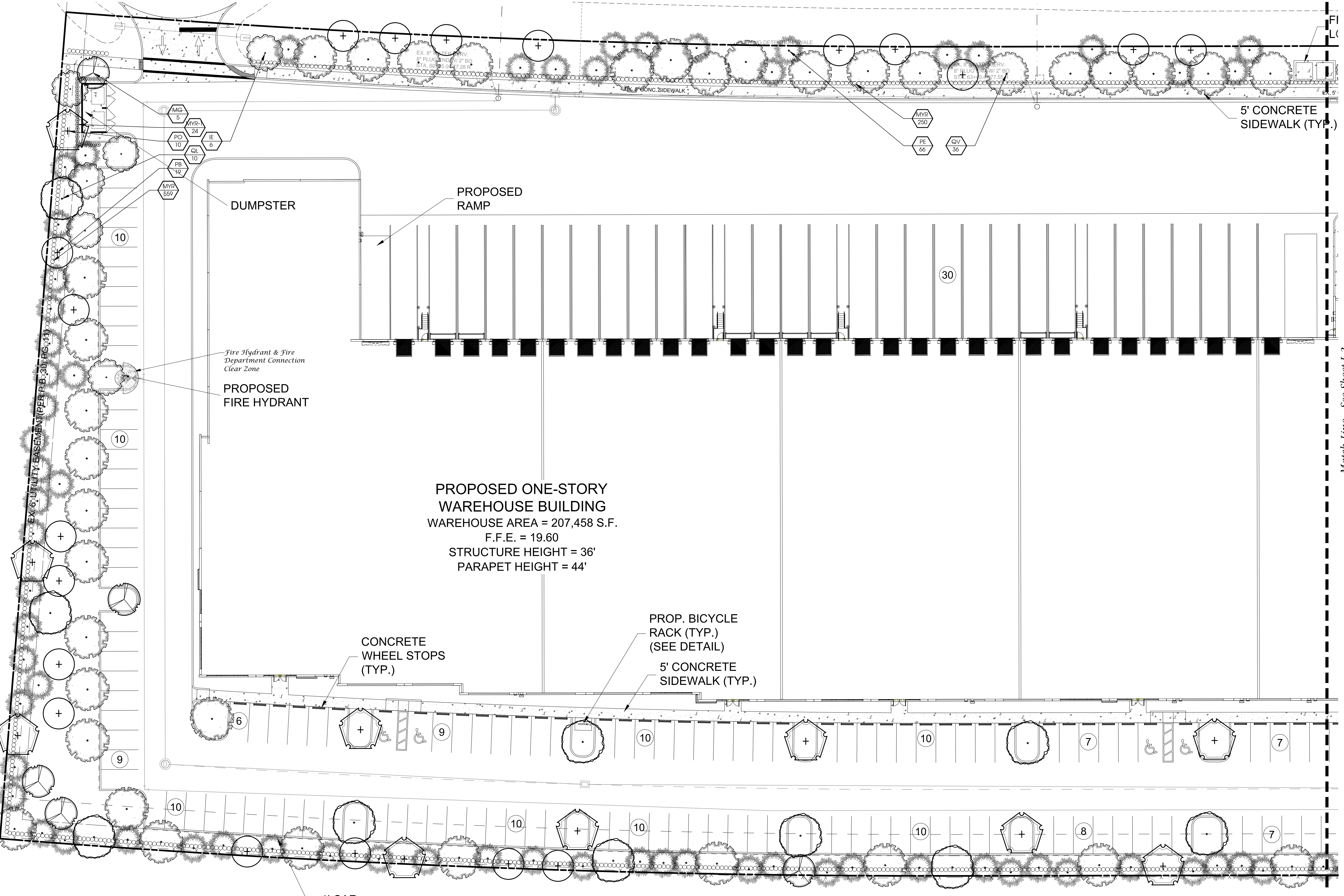
City Project Number:

Jeffrey W. Smith, RLA
 Florida Registration Number:
 LA 0001635

Job No.	21-0603
Drawn By	JWS
Submittal Dates	8-18-2021 10-11-2021 11-18-2021

Revision Dates	10-11-2021 11-18-2021
----------------	--------------------------

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PROPOSED ONE-STORY WAREHOUSE BUILDING
 WAREHOUSE AREA = 207,458 S.F.
 F.F.E. = 19.60
 STRUCTURE HEIGHT = 36'
 PARAPET HEIGHT = 44'

30

5' CONCRETE SIDEWALK (TYP.)

DUMPSTER

PROPOSED RAMP

PROPOSED FIRE HYDRANT

PROP. BICYCLE RACK (TYP.)
 (SEE DETAIL)

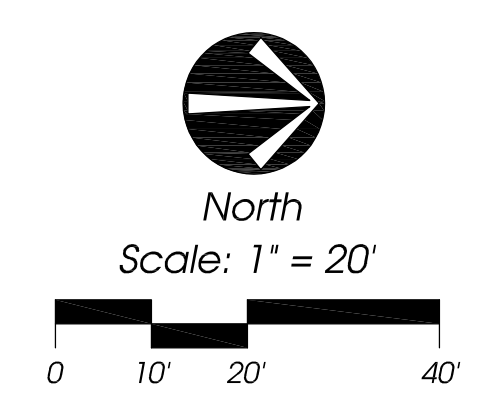
CONCRETE WHEEL STOPS (TYP.)

5' CONCRETE SIDEWALK (TYP.)

1' CAR OVERHANG

Match Line - See Sheet L-3

Landscape Plan



3800 Crossroads Parkway
 City of Fort Pierce, Florida

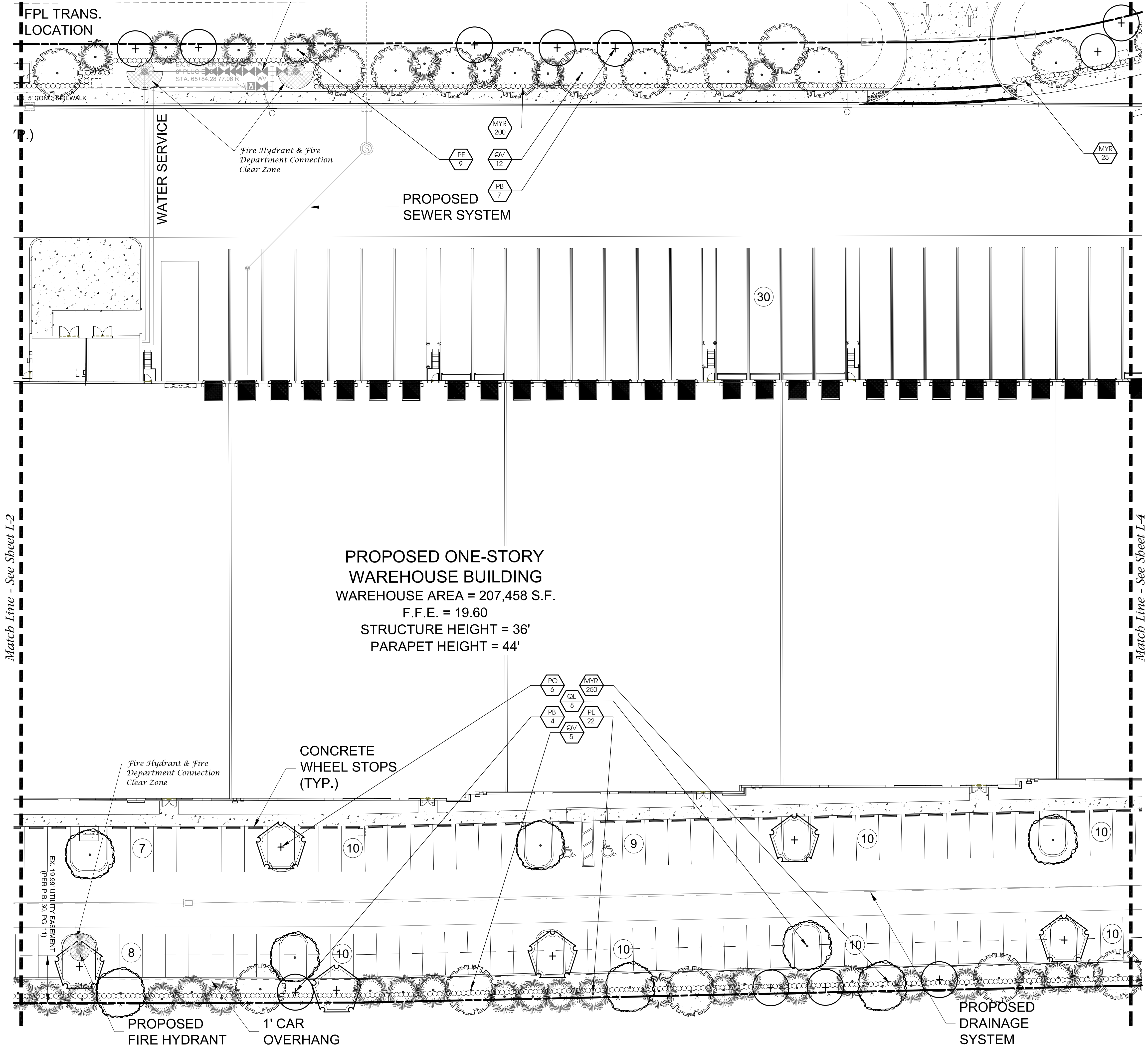
City Project Number:

Jeffrey W. Smith, RLA
 Florida Registration Number:
 LA 0001635

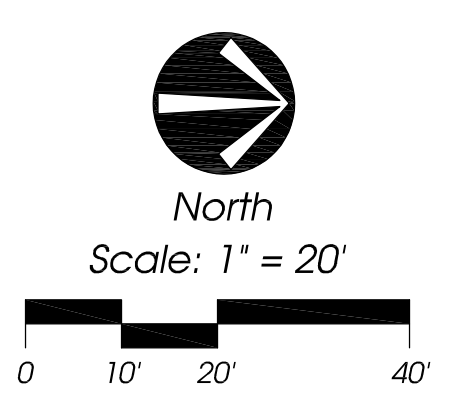
Job No.	21-0603
Drawn By	JWS
Submittal Dates	8-18-2021 10-11-2021 11-18-2021

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----------------	--------------------------

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Landscape Plan



Landscape Specifications

- All tree and plant material to be Florida No. 1 or better, as classified in "Grades and Standards for Nursery Plants", Part I and Part II, State of Florida, Dept. of Agriculture, Tallahassee. All plants not listed in "Grades and Standards for Nursery Plants" shall conform to a Florida No. 1 as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) freedom from disease and insect infestation, and (6) freedom from any other defects which are beyond the control of the contractor.
- Underling or substitution of one species or cultivar for another species is a breach of contract and will be "Rejected" at the time of final landscape inspection unless approved by Landscape Architect.
- Project Warranty: All plant material shall be warranted for a period of one (1) year after date of substantial completion against defects, including death and unsatisfactory growth, except for defects resulting from abuse or damage by others or unusual phenomena or incidents which are beyond the contractor's control.
- Any and all conditions which the contractor feels will be detrimental to the success of the planting shall be brought to the owner or representative's attention.
- The contractor shall verify the location of underground utilities prior to commencing work on any project area.
- Mulch planting areas with 3" layer of Melaleuca, Eucalyptus, or EnviroMulch. Cypress Mulch is NOT ACCEPTABLE. Planting beds to receive mulch throughout entire bed area.
- All plants to be set to ultimate grade. No filling will be permitted around trunks or stems. Mulch to be kept a minimum of 2" away from trunks and stems.
- Planting trees and shrubs: Excavate hole per planting detail. When plant is set, place additional backfill consisting of a 50% mixture of Peat humus and natural soil around the base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Water again after placing final layer of backfill and before installing mulch.
- Guy and stake trees: Use 1/2" diameter galvanized steel double strand #12 gauge twisted guy wires with one galvanized turnbuckle per guy wire spaced at equal distance around tree. Attach fluorescent safety flags a min. of 12" in length to each guy wire.
- Trees and shrubs shall be fertilized with a complete natural organic fertilizer with a ratio of approximately 3:0:2 or 3:0:3 (e.g. one labeled 12-0-8). Similar analysis such as 16-0-8 (4:0:2) can be used. Fertilizers that are slow release, controlled release, sulphur coated or with nitrogen as IBDU or ureaformaldehyde have extended release period. Thirty to fifty percent of the nitrogen should be water insoluble or slow release.

Palms should receive a complete granular fertilizer formulated for palms ("Palm Special") at a rate of 5 to 8 lbs. per palm.

Agriform 20-0-5 twenty-one gram planting tablets may be substituted for granular fertilizer. If utilized, the following rates shall be utilized: Position plant in hole. Backfill halfway up the rootball. Place tablet(s) beside rootball about 1" from root tips. Do not place tablet(s) in bottom of hole.

- 1 Gallon 1 Tablet
- 3 Gallon 2 Tablets
- 25 Gallon & B&B Trees 2 per 1" caliper

- All planting areas and sod to be irrigated to provide 100% coverage. Shop drawings to be submitted by the irrigation contractor for approval prior to installation.
- Maintain trees, shrubs, and other plants by watering, cultivating, and weeding as required for healthy growth. Restore planting saucers and mulch. Tighten and repair stake and guying and reset trees and shrubs to proper grade or vertical position as required. Spray as necessary to keep trees and shrubs free of insects and disease. The contractor shall begin maintenance immediately after planting and shall continue maintenance through final acceptance when Certificate of Occupancy is issued to the General Contractor by City and project is released by the General Contractor to Client.
- Prune trees and shrubs only to remove damaged branches as directed by the Landscape Architect.
- Planting Lawns: Provide clean, strongly rooted, uniformly sized strips of Stenotaphrum secundatum Floritum (unless otherwise noted), machine stripped not more than 24 hours prior to laying. Grade and roll prepared lawn surface. Water thoroughly but not to create muddy soil conditions. Lay sod strips with tight joints, roll or tamp lightly, and water thoroughly.
- Maintain positive drainage, no planting is to block drainage.
- Drainage Testing
 - Prior to planting of trees, palms, and specimen material, each planting pit shall be tested in the following manner to verify adequate drainage.
 - Dig each planting pit to the minimum specified size.
 - Fill the planting pit with (12") twelve inches of water. If the water level in the planting pit drops (4") four or more inches within (4) four hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than (4") four inches within the (4) four hour period, then a drainage channel is required.
 - When a drainage channel is required, the drainage channel must extend down through the non porous soil and into porous soil. (See Drainage Testing Detail)
 - Discard all material removed from the drainage channel.
 - When backfilling the planting pit, add coarse gravel to the drainage channel. Also, care must be taken to keep the consistency of the soil mix the same throughout the planting pit.

- NOTES:
- Contractor to include drainage testing for all trees and palms in bid. If drainage is inadequate, the soil specification in item #8 above shall be revised for site conditions. Contractor shall notify the Owner and Landscape Architect of poor drainage conditions in writing and written direction will be provided to the contractor of appropriate soil mixture specification to be used.
 - All fertilizers shall meet the City of Port St. Lucie's fertilizer ordinance.

Plant List

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS
CANOPY / ORNAMENTAL TREES						
16	IE*	ILEX x ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	12' x 5', 2.5' D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
5	MG*	MAGNOLIA GRANDIFLORA	D D BLANCHARD MAGNOLIA	12' x 5', 2.5' D.B.H.	A.S.	FULL CANOPY, 2.5' C.T. MIN.
38	PB*	PERSEA BORBONIA	FLORIDA RED BAY	12' x 5', 2.5' D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
144	PE*	PINUS ELLIOTTI DENSA	SOUTH FLORIDA SLASH PINE	12' x 5', 2.5' D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
19	PO*	PLATANUS OCCIDENTALIS	SYCAMORE	12' x 5', 2.5' D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
29	QL*	QUERCUS LAURIFOLIA	LAUREL OAK	12' x 5', 2.5' D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
77	QV*	QUERCUS VIRGINIANA	LIVE OAK	12' x 5', 2.5' D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
SHRUBS / GROUNDCOVERS						
48	MYR-1*	MYRICANTHES FRAGRANS	SIMPSON STOPPER	#7, 4' x 2'	2' O.C.	FULL & THICK
1,784	MYR*	USE 446 OF EACH PLANT BELOW FOR MYR AS SHOWN ON THE PLAN. PLANT IN A MINIMUM 200' LENGTH WITH 100 SHRUBS IN EACH 200' LENGTH				FULL & THICK
446		FLORIDA PRIVET	FLORIDA PRIVET	#3, 2' x 2'	2' O.C.	FULL & THICK
446		ILLICIUM PARVIFLORUM	FLORIDA ANISE	#3, 2' x 2'	2' O.C.	FULL & THICK
446		MYRICANTHES FRAGRANS	SIMPSON STOPPER	#3, 2' x 2'	2' O.C.	FULL & THICK
446		VIBURNUM OBOVATUM	WALTER'S VIBURNUM	#3, 2' x 2'	2' O.C.	FULL & THICK
SOD-1		PASPALUM NOTATUM	BAHIA SOD			FULL & THICK
		* = Florida Native				SEE SPECS

NOTE: D.B.H. IS MEASURED 4.5' ABOVE GRADE

Landscape Data

Vehicular Use Area Landscaping Adjacent to R.O.W. (West Buffer) 1,240' Sec. 123-37(4)(b)
 Trees Required = 10' Wide Landscape Strip with 1 Tree/300 s.f. 1,240 l.f. x 10' = 12,400 s.f. / 300 = 41 Trees
 Provided = 41 Trees
 Shrubs Required = Continuous Hedge @ 2' o.c. 1,240 l.f. / 2' o.c. = 620 Shrubs
 Provided = 620 Shrubs

Vehicular Use Area Landscaping Adjacent to R.O.W. (East Buffer) 1,392' Sec. 123-37(4)(b)
 Trees Required = 10' Wide Landscape Strip with 1 Tree/300 s.f. 1,392 l.f. x 10' = 13,920 s.f. / 300 = 47 Trees
 Provided = 47 Trees
 Shrubs Required = Continuous Hedge @ 2' o.c. 1,392 l.f. / 2' o.c. = 696 Shrubs
 Provided = 696 Shrubs

Vehicular Use Area Landscaping to Adjacent Property (South Buffer) 400' Sec. 123-37(6)
 Trees Required = 10' Wide Landscape Strip with 1 Tree/200 s.f. 400 l.f. x 10' = 4,000 s.f. / 200 = 20 Trees
 Provided = 20
 Shrubs Required = Continuous Hedge @ 2' o.c. 400 l.f. / 2' o.c. = 200 Shrubs
 Provided = 200 Shrubs

Vehicular Use Area Landscaping to Adjacent Property (North Buffer) 530' Sec. 123-37(6)
 Trees Required = 10' Wide Landscape Strip with 1 Tree/200 s.f. 530 l.f. x 10' = 5,300 s.f. / 200 = 27 Trees
 Provided = 27
 Shrubs Required = Continuous Hedge @ 2' o.c. 530 l.f. / 2' o.c. = 265 Shrubs
 Provided = 265 Shrubs

Interior Vehicular Use Area Sec. 123-37(7)(a & b)
 Required = 1 s.f. of Interior Landscaping per 15 s.f. of vehicular use area (260,895 s.f./15 = 17,393 s.f.)
 Landscape Area Provided = 17,393 s.f.
 Trees Required = 1 Tree/100 s.f. of Interior landscape area 260,895 s.f./100 = 2,609 Trees / 100 = 174 Trees
 Trees Provided = 174 Trees

Maximum Use of Palm Trees Sec. 123-37(1)(a)(3)
 Required = Fifty (50) percent of the required trees shall be species other than palm trees
 Total Trees Required = 309 Trees
 Maximum Palms Allowed = 154 (309 / 2 = 154)
 Total Palms Provided = 0 (0%)

Dumpsters
 Total length of dumpster exterior (less doors) / 2' 48' / 2 = 24 Per Dumpster

Shrubs Required (2 Dumpsters) = 48 Trees
 Total Shrubs Provided = 48 Trees

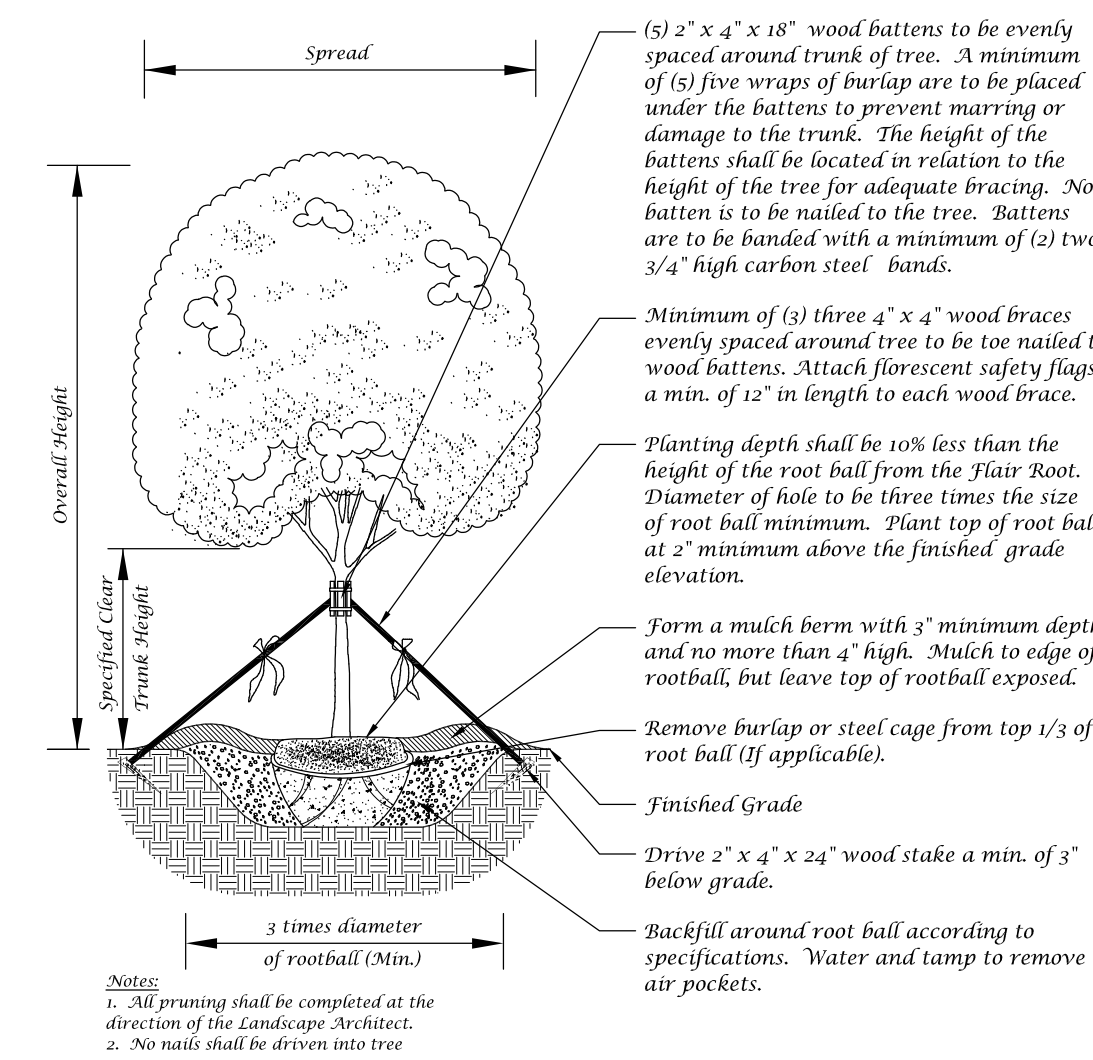
Total Trees Required = 309 Trees
 Total Trees Provided = 309 Trees

Total Trees Required = 309 Trees
 Total Native Trees Provided = 0 (0%)

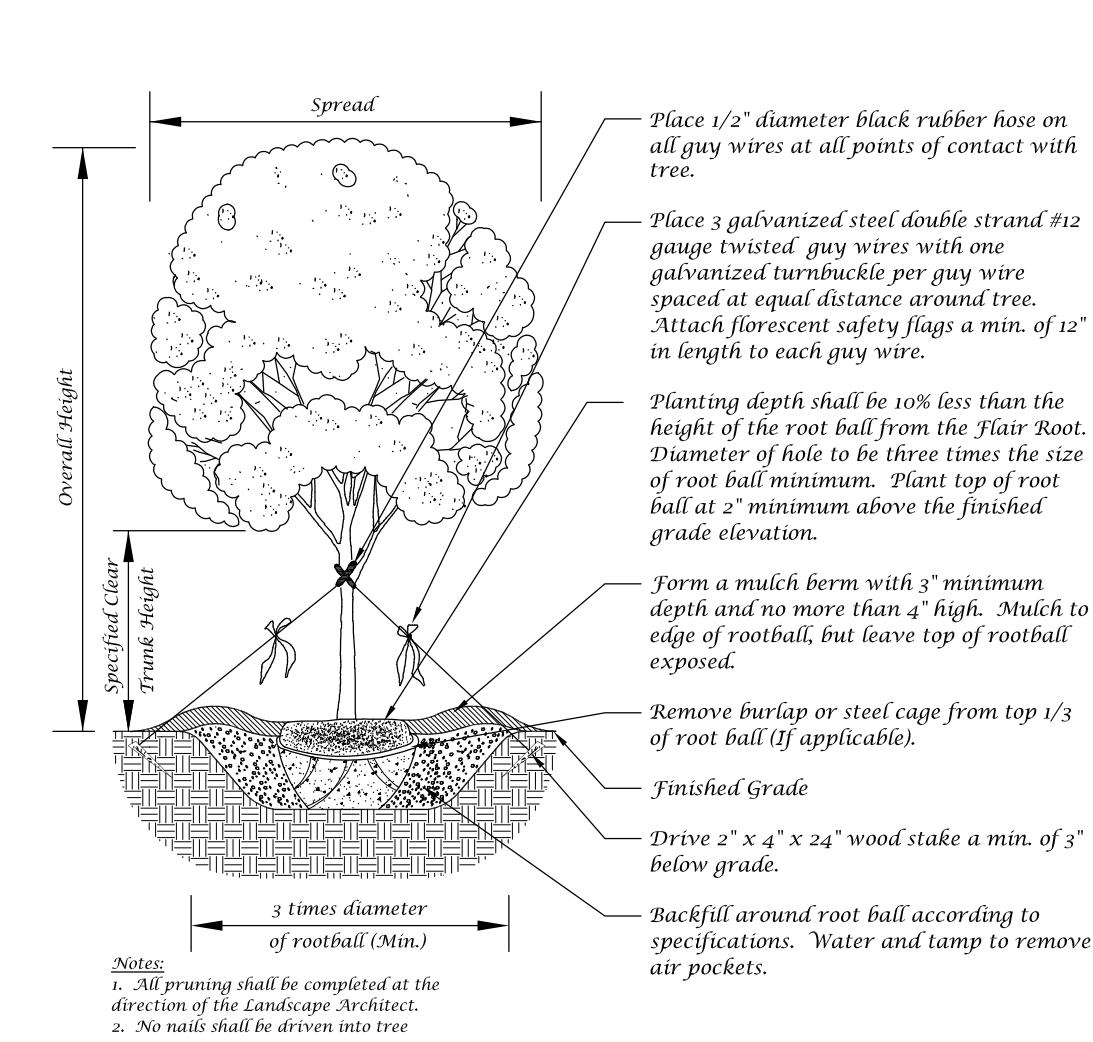
Total Palms Required = 0
 Total Native Palms Provided = 0 (0%)

Total Shrubs Required = 1,829
 Total Native Shrubs Provided = 1,829 (100%)

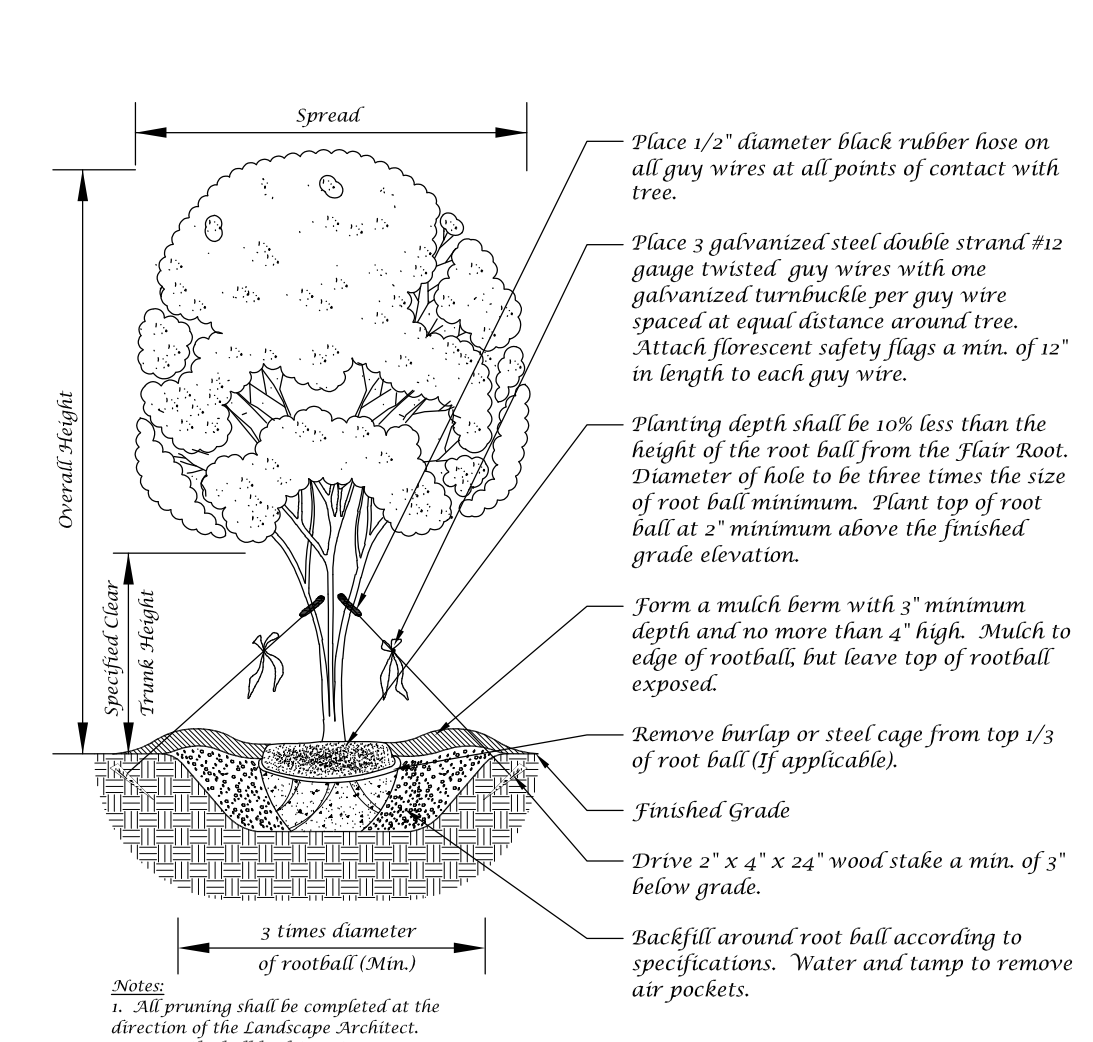
Landscape Details



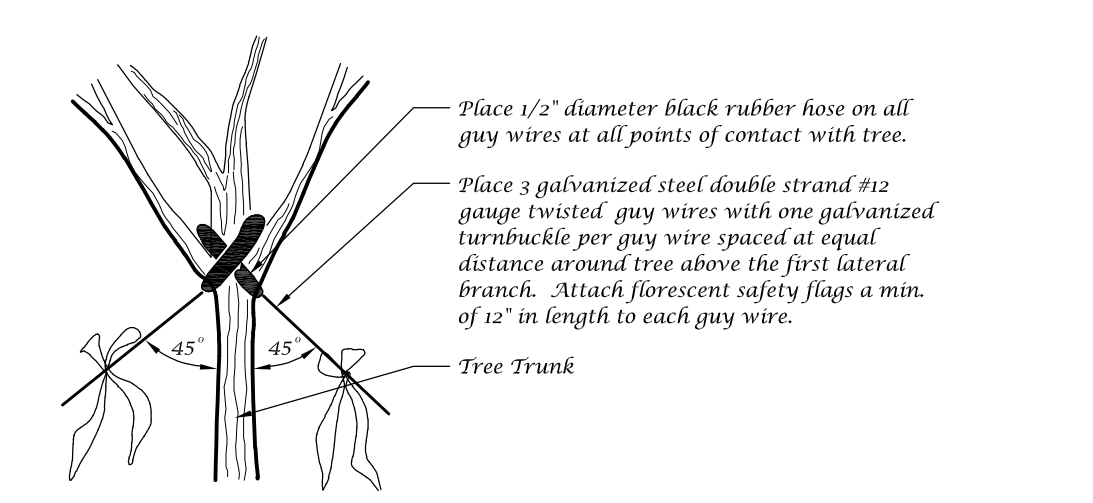
Large Tree Planting Detail (5" Caliper or Greater)



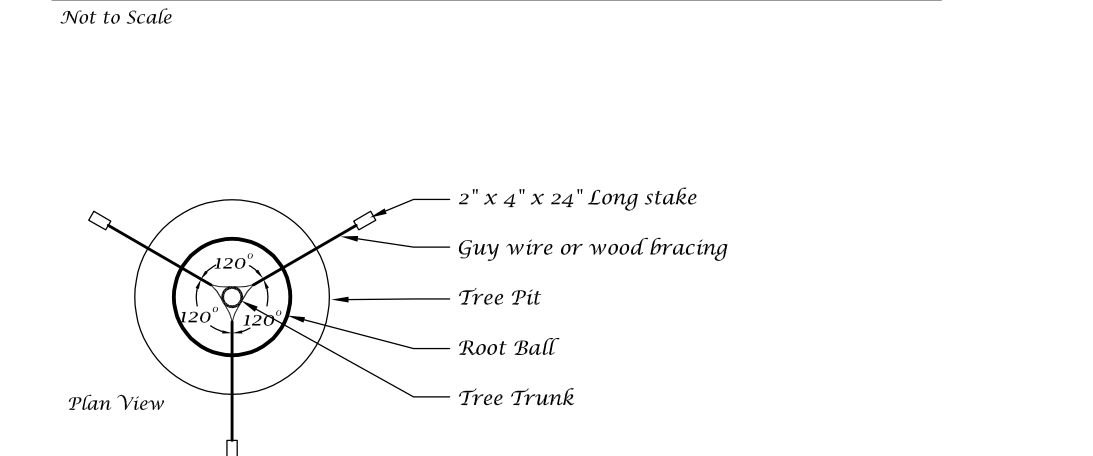
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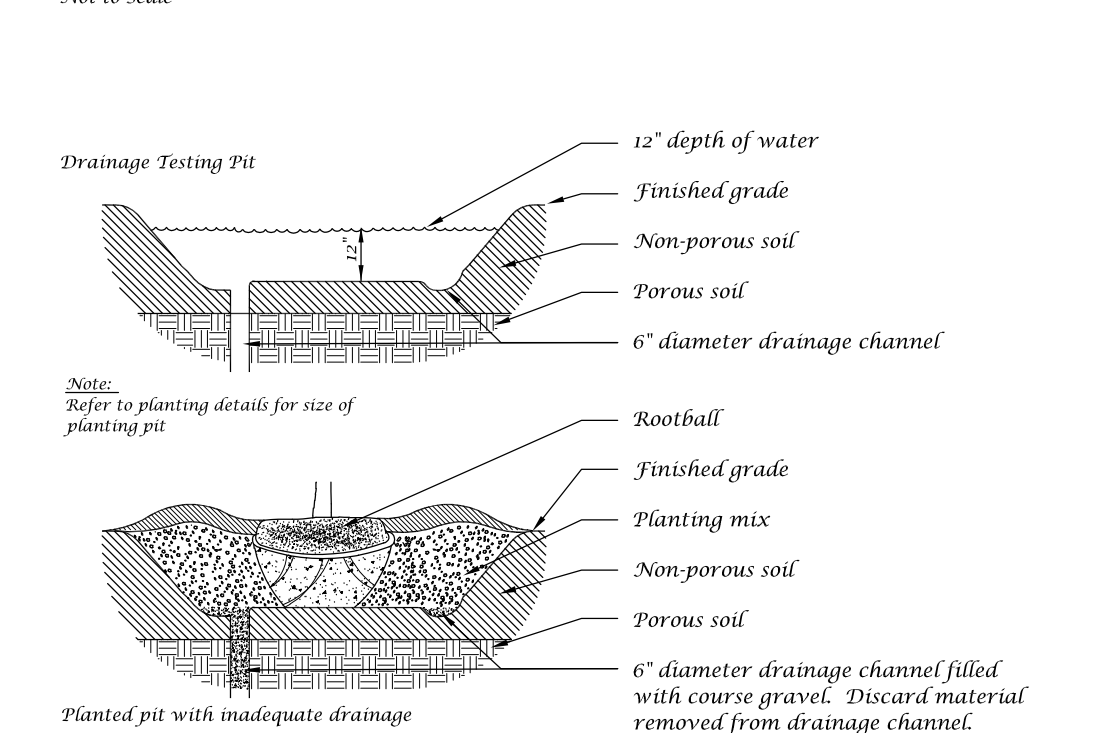
Multi-Trunk Tree Planting Detail



Guy Wire Attachment Detail



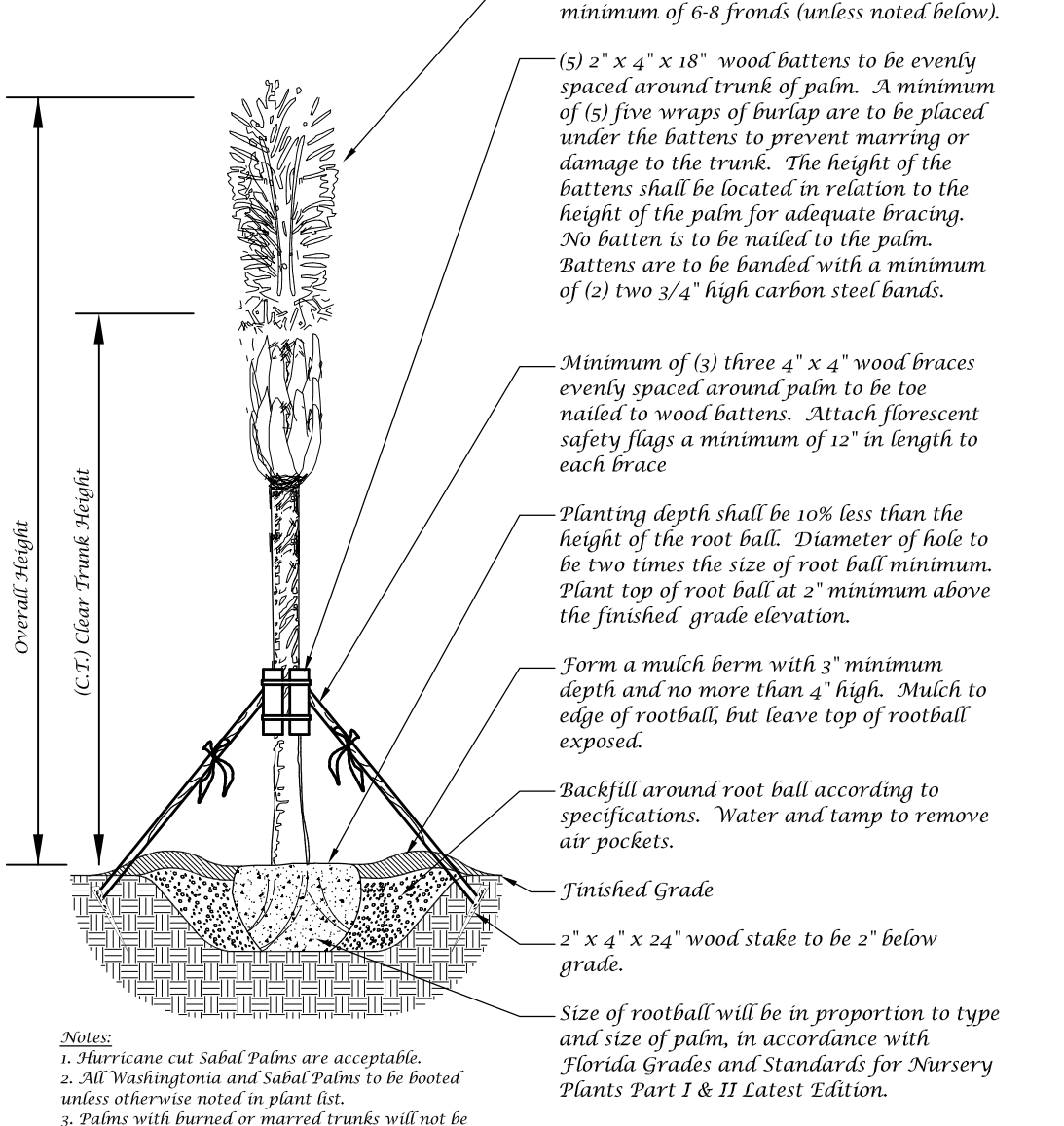
Staking Detail



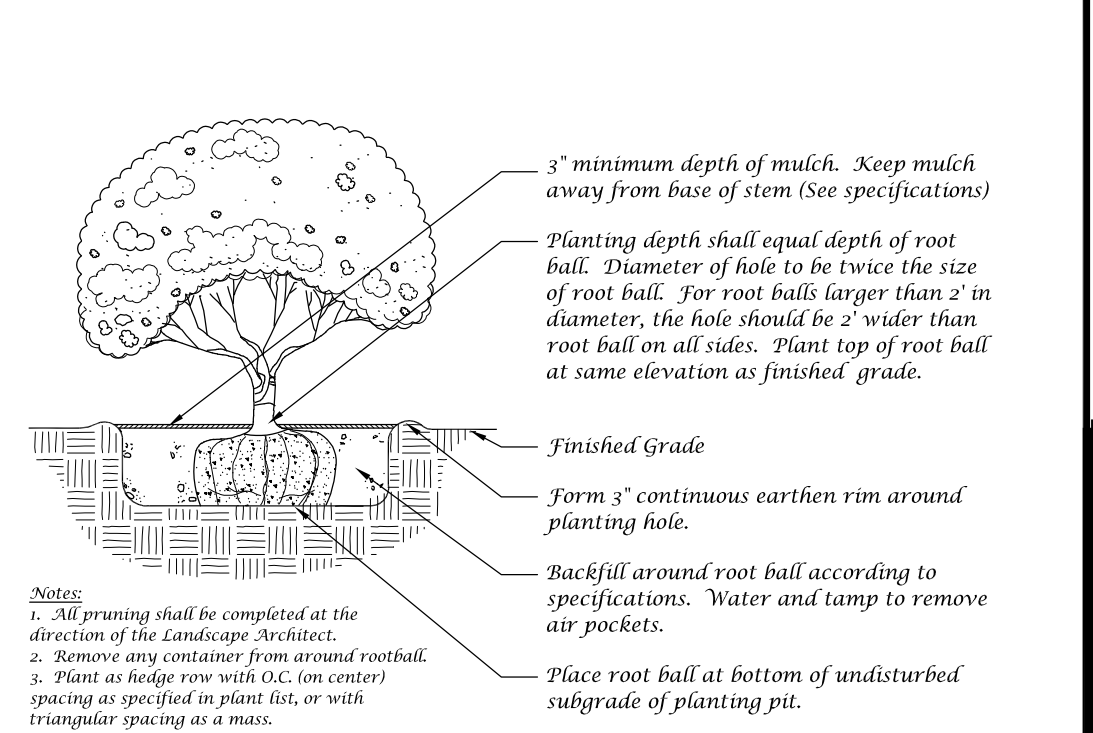
Drainage Testing Detail



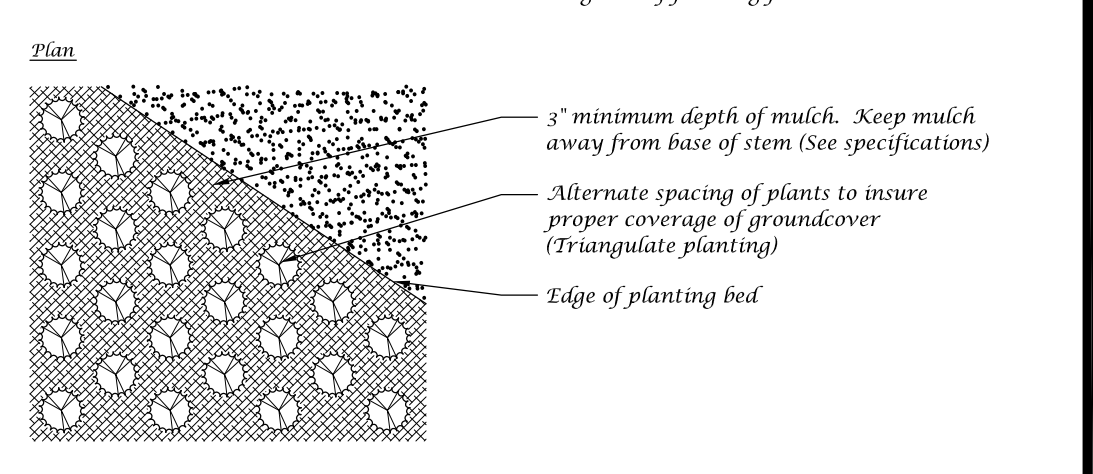
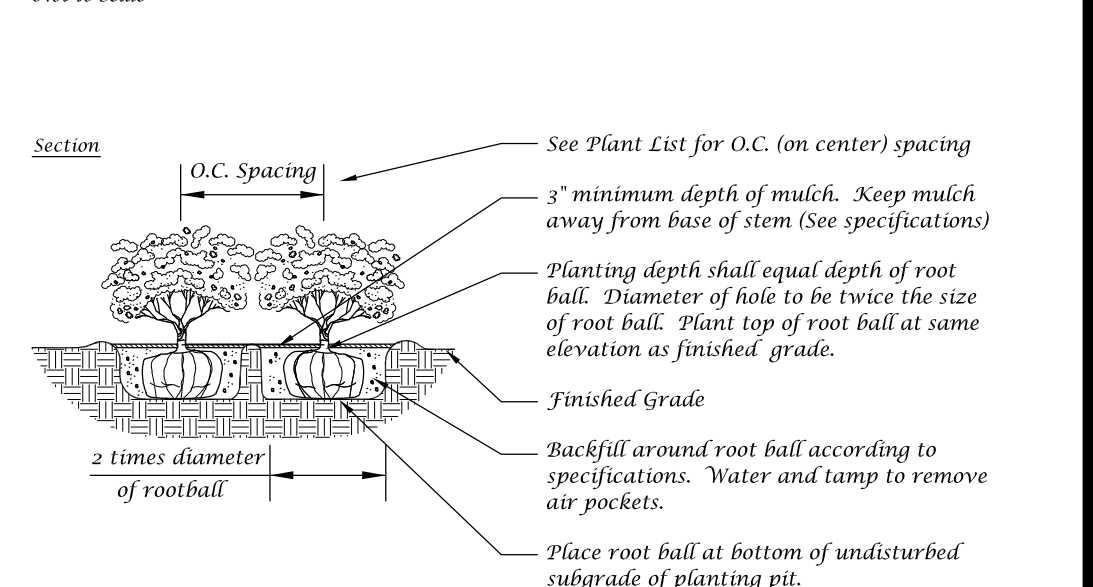
Palm Planting Detail



Palm Planting Detail



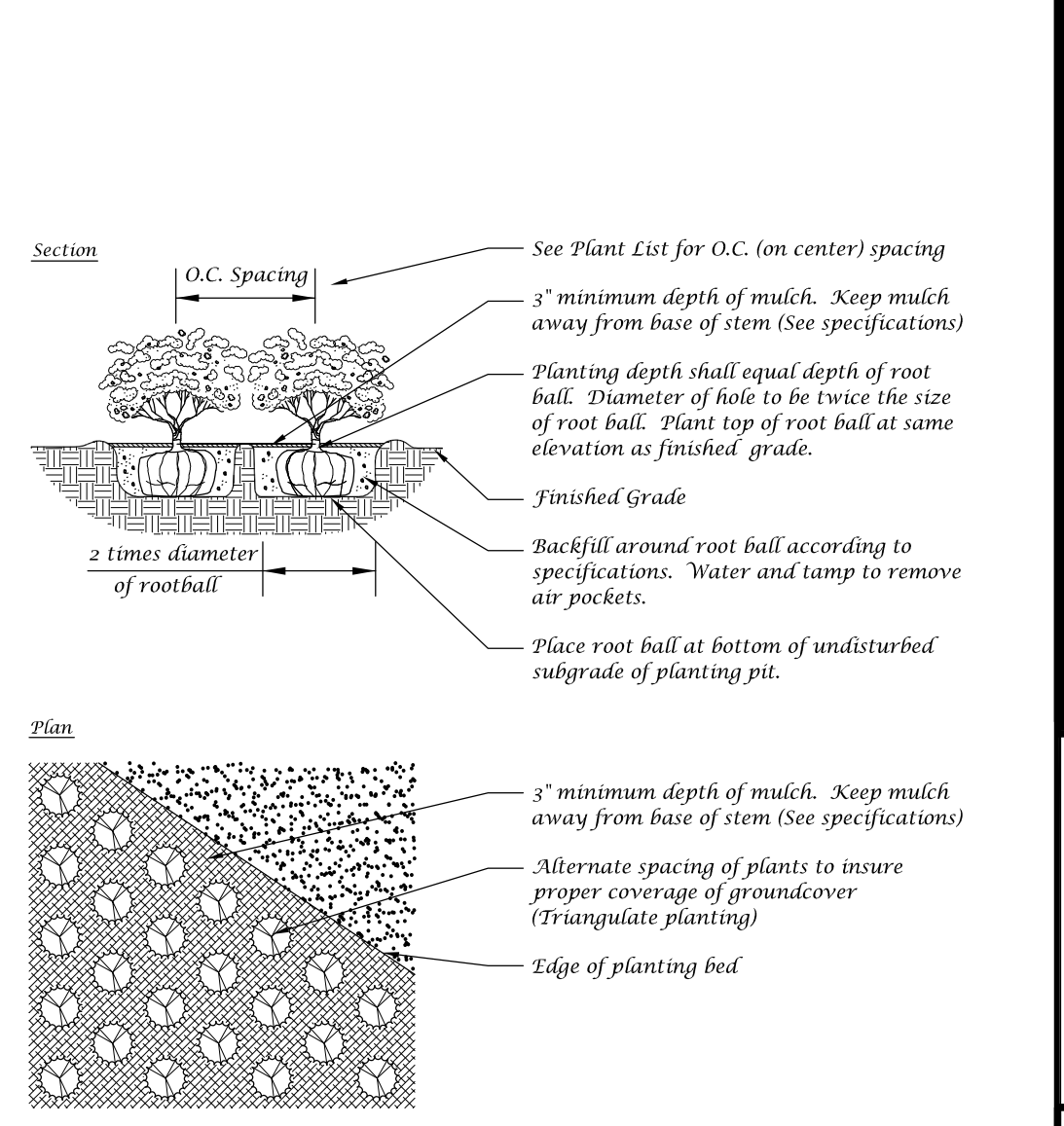
Shrub Detail



Ground Cover Detail



Ground Cover Detail



Ground Cover Detail



Conceptual Design Group, Inc.

Landscape Architecture - Site Planning

900 East Ocean Boulevard, Suite 130d
 Stuart, Florida 34994
 (772) 344-2340
 L.C. 26000198

3800 Crossroads Parkway

City of Fort Pierce, Florida

City Project Number:

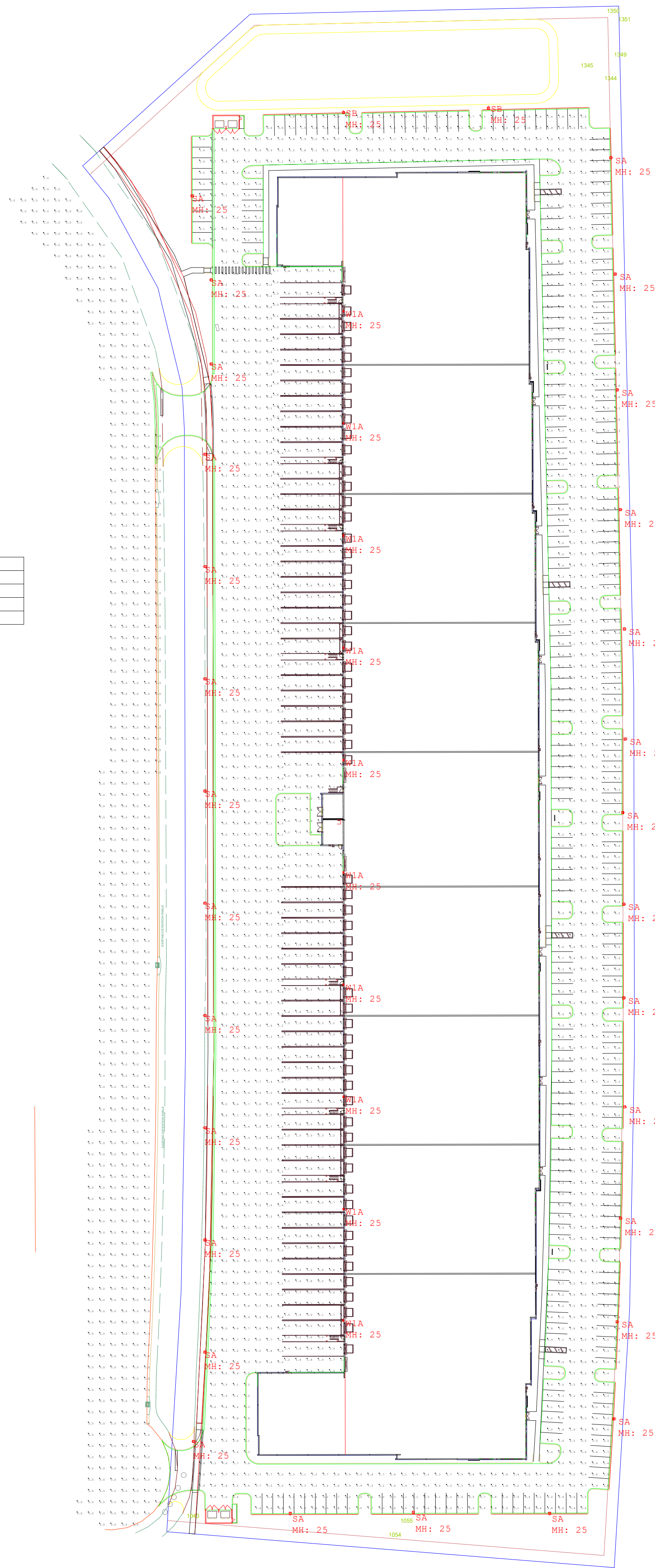
Jeffrey W. Smith, RLA
 Florida Registration Number:
 LA 0901635

Job No.	21-0603
Drawn By	JWS
Submittal Dates	8-18-2021 10-11-2021 11-18-2021

Revision Dates	
New Base	10-11-2021
New Base	11-18-2021

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Landscape Plan



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
□	10	W1A	SINGLE	0.900 Endeavour Lighting ENWPC45QD1X174H4KC
⊞	2	SB	SINGLE	0.900 Cree Lighting OSQ-L-B-30L-40K7-3M-XX-NM-XX / OSQ-BLSLF, Single Head
⊞	29	SA	SINGLE	0.900 Cree Lighting OSQ-L-B-30L-40K7-4M-XX-NM-XX / OSQ-BLSLF, Single Head

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	Fc	2.39	6.5	0.6	3.98	10.83
Spill	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Truck Court	Illuminance	Fc	2.37	5.1	1.0	2.37	5.10

Crossroads Site - Revision #4.ACI



#	Date	Comments

Revisions

Drawn By: J. Ernstan
 Checked By:
 Date: 11/19/2021
 Scale:

Crossroads