



Bldg. Permit # _____

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 219 North Second Street

Parcel ID #: 2410-503-0032-000-2

Type of Designation: Contributing Non-contributing Site within the Downtown Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)
Name(s): Dogo Investments, LLC

Mailing Address: 4351 NW 101st Drive, Coral Springs, FL 33065

Phone Number(s): 407-558-8354 Email: bspautsch@pcl.com

Applicant
Name(s): Bradley Pautsch

Mailing Address: 4351 NW 101st Drive, Coral Springs, FL 33065

Phone Number(s): 407-558-8354 Email: bspautsch@pcl.com

Representative
Name(s): Mike Menard Architectonic Inc.

Mailing Address: 806 Delaware Ave. Ft. Pierce, FL 34950

Phone Number(s): 772-460-7751 Email: mmenard@architectonicinc.com

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Bradley Pautsch as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

Signature of Owner

10/17/22
Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|--|---|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input checked="" type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input checked="" type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) construct rear balcony per COA # 14-01

Other (describe) In-fill doors and add window

Please provide a detailed description of the proposed work to be performed: _____

The scope of work is renovate a historic residence that has been converted to a 4 plex into a duplex vacation rental which requires the in-fill of a couple of doors and a removal of a window for a new entry door

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.

Design Intent:

Careful consideration and thought have been given to the restoration design presented herein, regarding orientation, access, landscaping, building design and budget.

Criteria as follows:

The property is within the Downtown Historic District with auto access to the property from Second Street utilizing the existing curb cut, thus allowing safer entry and departure. Second Street is zoned for Commercial Use and Mixed Use in the vicinity of this property there is a combination of freestanding buildings from Commercial, Retail, Assembly, Vacation Rentals, Bed and Breakfast along with Historic Homes. There is no consistent architectural style or theme along Second Street.

Most of the architectural details selected exist on the Historic structure and nearby Historic Buildings. Articulation of the building façade is achieved using horizontal lap siding, one over one single hung window with wood trim, and 5V Crimp Metal roofing. Other design elements include a balcony, entry porch, and raised wood deck. The exterior colors will remain the same as currently shown in the pictures provided.

The intention is to minimize the exterior work by only filling in two doors and cutting 2 doors where existing windows are currently located. The rear balcony and French doors were approved by the Historic Preservation Board in 2014 COA # 14-01. The majority of the work is interior which consists of renovating from four units to two units with three bedrooms and two baths to make the structure into a desirable two-unit vacation rental in the Downtown Historic District.

ARCHITECT

Architectonic Inc

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PROJECT

PAUTSCH
VACATION RENTAL
FT. PIERCE, FLORIDA

CLIENT

CONSULTANTS

REGISTRATION

MICHAEL J. SEAL, AIA

REGISTERED ARCHITECT

REV. NO.

DATE

REVISION

KEY PLAN

SHEET TITLE SHEET NUMBER

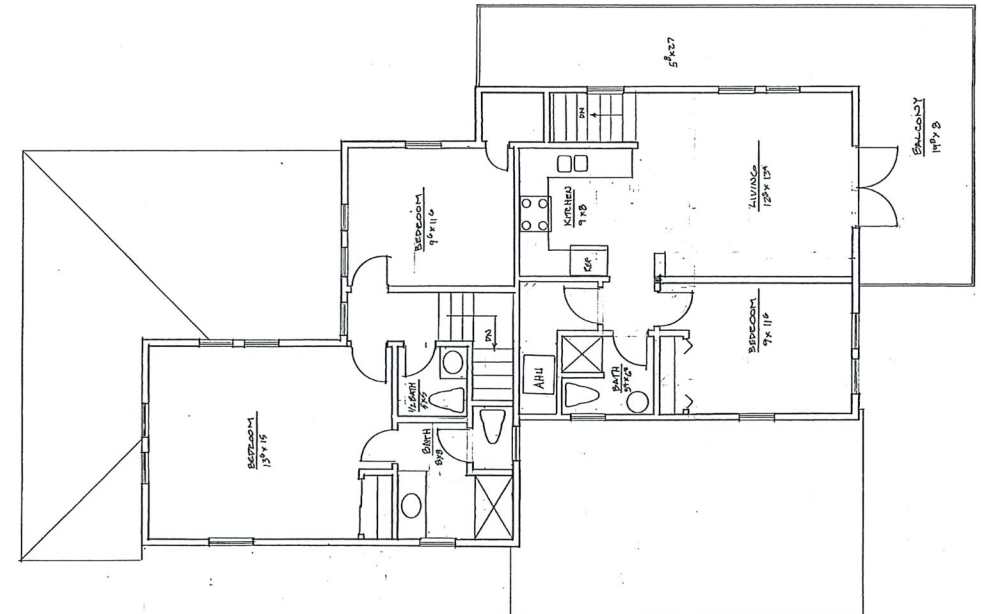
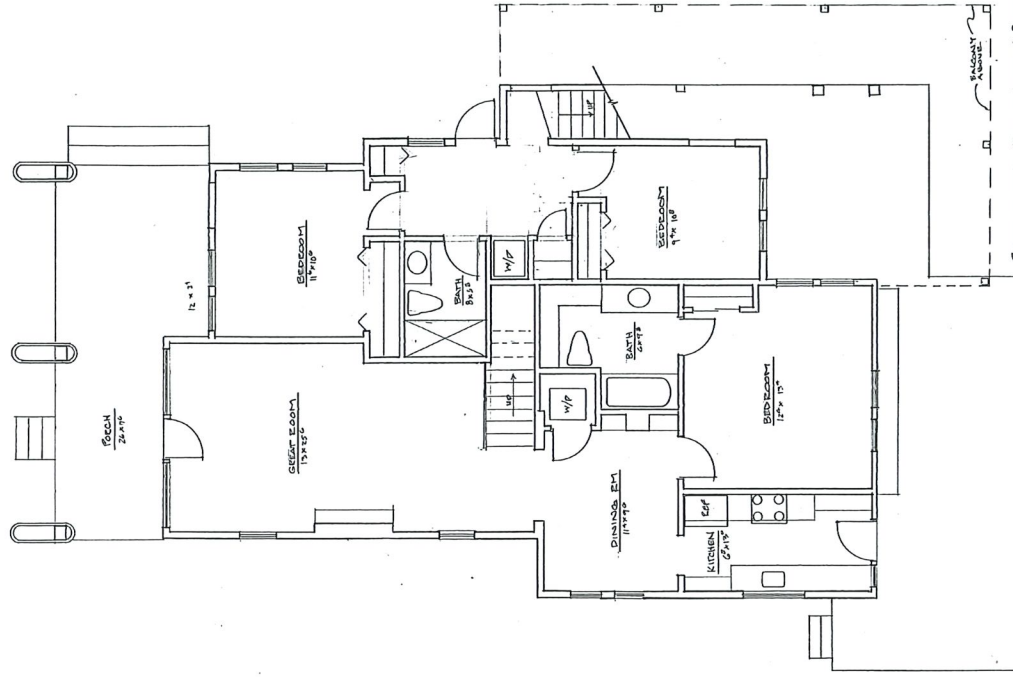
A-3

of

PROJECT NUMBER E 23.115

DATE

PAUTSCH



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CONSULTANTS

REGISTRATION

MICHAEL J. PAUL, AIA

ARCHITECT

REVISIONS

NO. DATE REVISION

1 11/15/22

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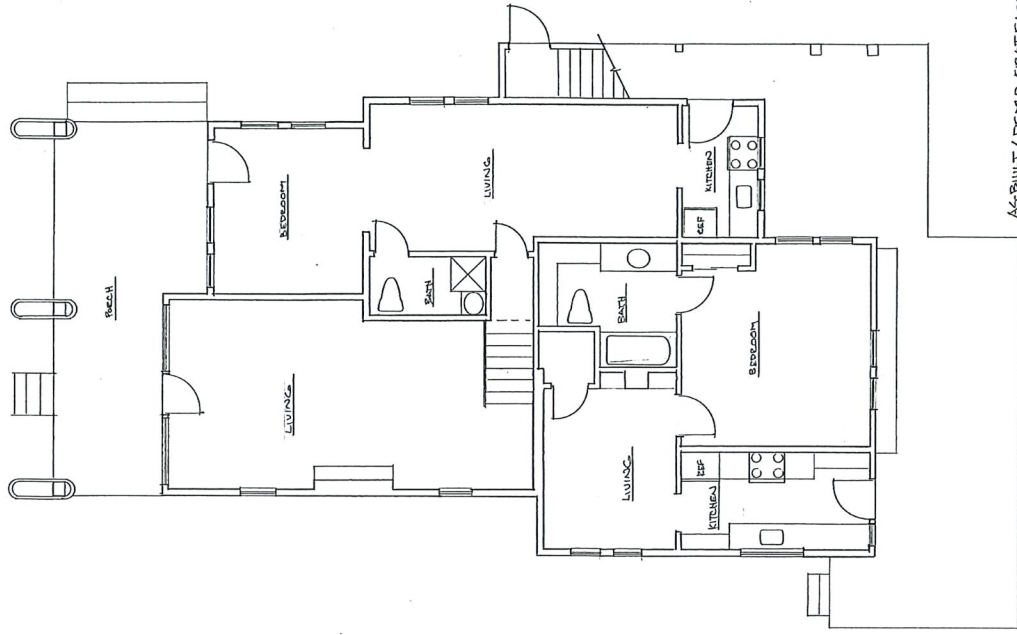
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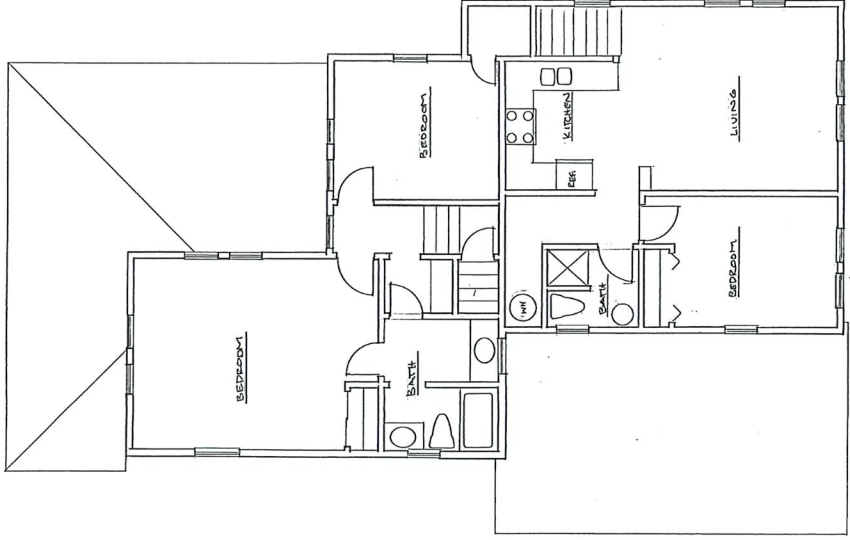
PROJECT NUMBER E-22-115

DATE

11/15/22



AS-BUILT / DEMO FIRST FLOOR PLAN



AS-BUILT / DEMO SECOND FLOOR PLAN

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MICHAEL J. REAL, L.A.
ARCHITECT

REVISIONS

NO. DATE REVISION

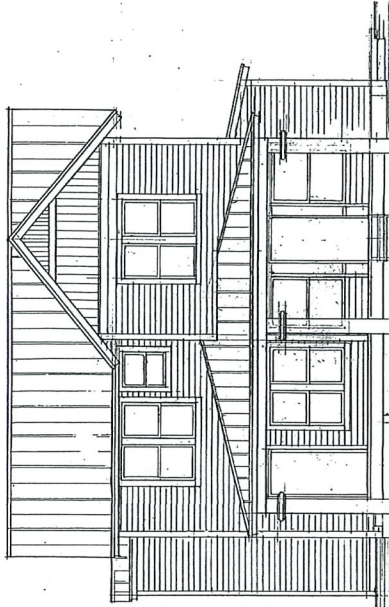
KEY PLAN

SHEET TITLE / SHEET NUMBER

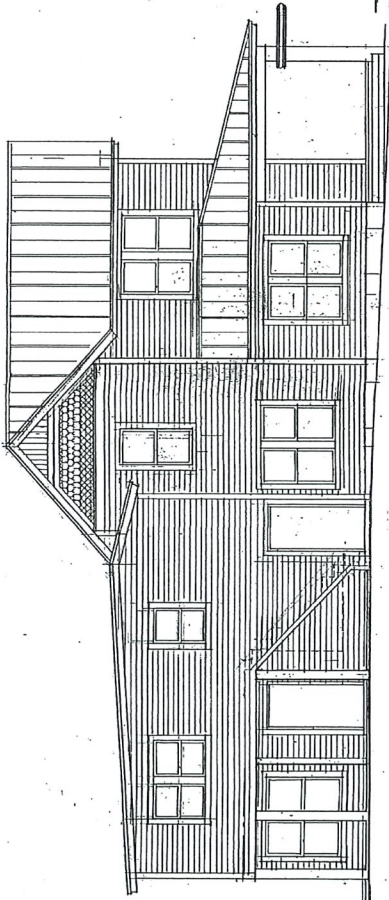
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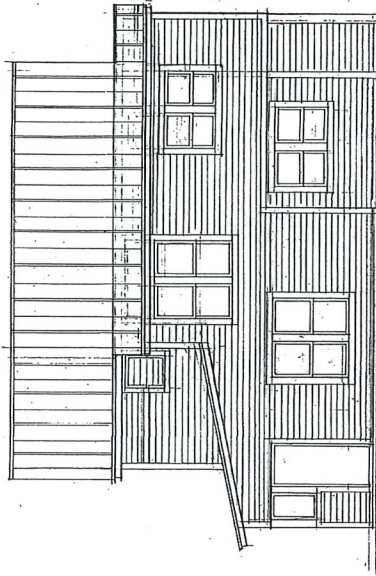
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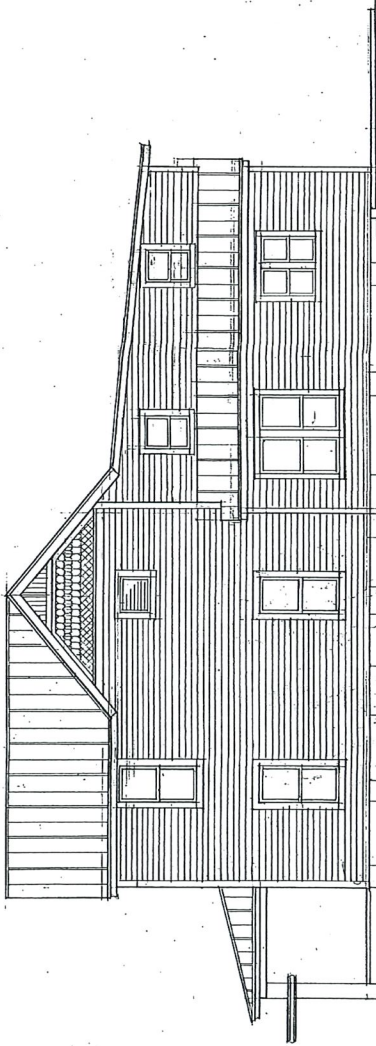
EAST ELEVATION • 1/4" = 1'-0"



SOUTH ELEVATION • 1/4" = 1'-0"



WEST ELEVATION • 1/4" = 1'-0"



NORTH ELEVATION • 1/4" = 1'-0"

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VACATION RENTAL
FT. PIERCE, FLORIDA

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DATE

REVISION

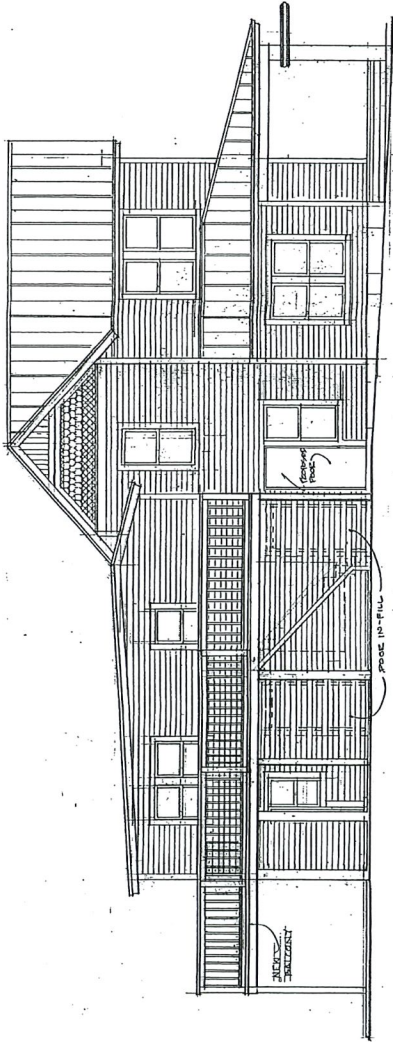
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SHEET TITLE / SHEET NUMBER

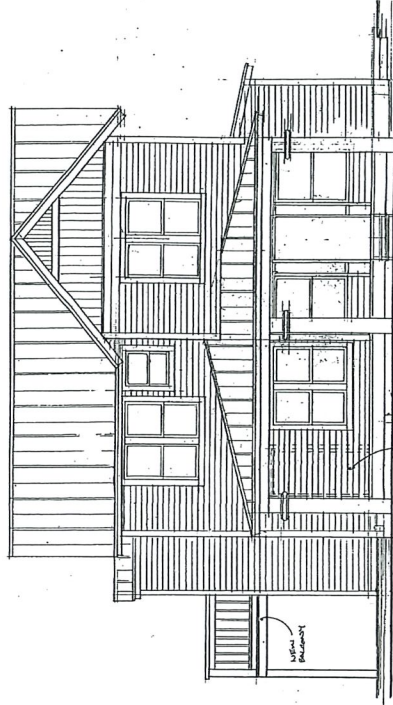
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PROJECT NUMBER E-25115

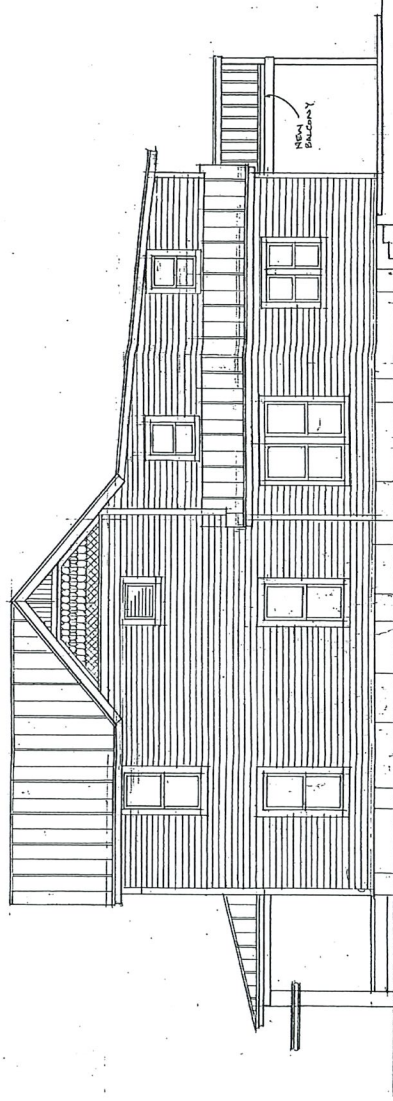
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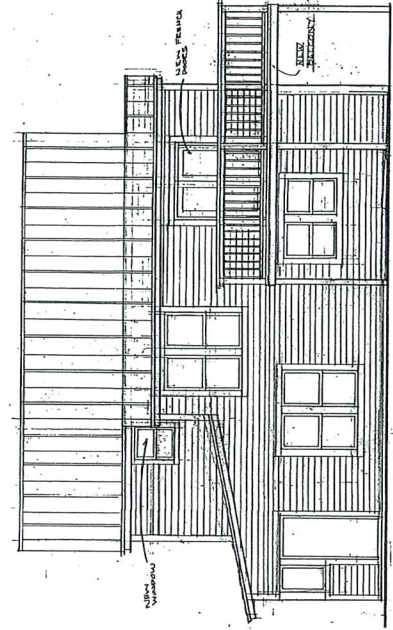
SOUTH ELEVATION • 1/4" = 1'-0"



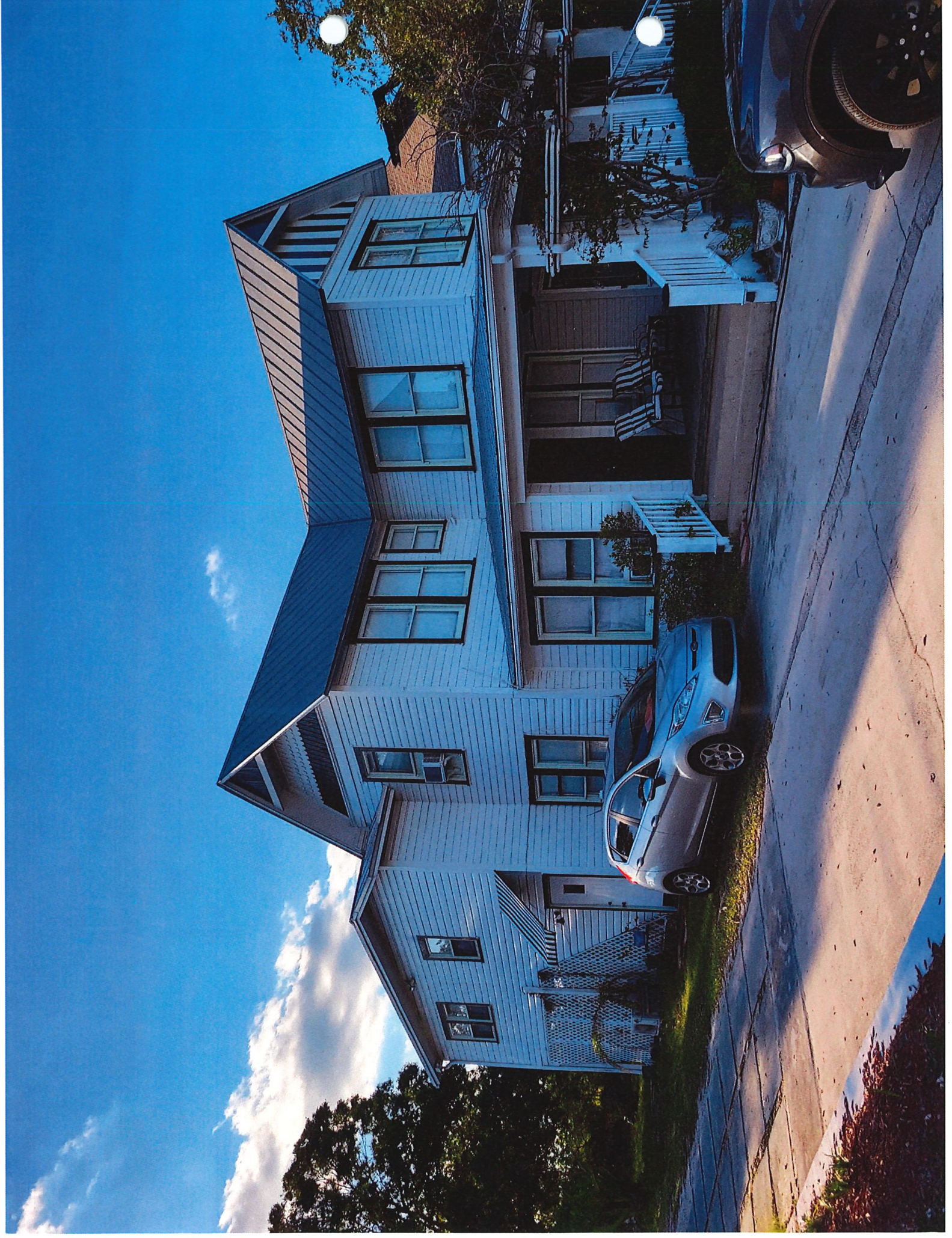
EAST ELEVATION • 1/4" = 1'-0"



NORTH ELEVATION • 1/4" = 1'-0"



WEST ELEVATION • 1/4" = 1'-0"





219





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