

Property Identification

Site Address: 219 N 2nd ST
 Sec/Town/Range: 10/35S/40E
 Parcel ID: 2410-503-0032-000-2
 Jurisdiction: Fort Pierce

Use Type: 0100
 Account #: 23045
 Map ID: 24/10N
 Zoning: Central Co

Ownership

Dogo Investments LLC
 4351 NW 101st DR
 Coral Springs, FL 33065

Legal Description

AARON LEE'S MAP OF FORT PIERCE BLK E LOT 3 (MAP 24/10B)

Current Values

Just/Market Value: \$157,300
 Assessed Value: \$157,300
 Exemptions: \$0
 Taxable Value: \$157,300



Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Total Areas

Finished/Under Air (SF): 2,469
 Gross Sketched Area (SF): 3,138
 Land Size (acres): 0.17
 Land Size (SF): 7,500

Taxes for this parcel: [SLC Tax Collector's Office](#)
 Download TRIM for this parcel: [Download PDF](#)

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	160

Sources/links:

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
May 4, 2022	4818 / 2230	0001	WD	CEBAD Investments LLC	\$825,000
Apr 30, 2012	3385 / 0367	0138	WD	Clark IV Samuel L	\$78,500
Apr 27, 2005	2235 / 2545	XX01	OA	Clark III (EST) Samuel L	\$0
Jul 9, 1990	0700 / 0299	XX00	PR	Lyndon Elizabeth P	\$58,000

Building Information (1 of 1)

Finished Area: 2,469 SF

Gross Sketched Area: 3,138 SF

Exterior Data

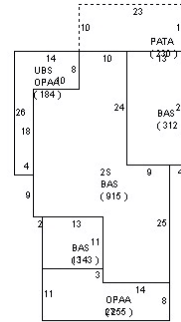
View:	Roof Cover: Metal	Roof Structure: Gable
Building Type: HC+	Year Built: 1901	Frame:
Grade: C+	Effective Year: 1960	Primary Wall: Hardwood Lap
Story Height: 2 Story	No. Units: 1	Secondary Wall:

Interior Data

Bedrooms: 4
 Full Baths: 4
 Half Baths: 0
 A/C %: 0%

Electric: AVERAGE
 Heat Type:
 Heat Fuel:
 Heated %: 0%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Double Pine
 Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	915	915	156
BAS	BASE AREA	1370	1370	278
OPAA	Open Porch Attached Average	439	0	156
PATA	Patio Average (Plain Slab)	230	0	66
UBS	UPPER BASE AREA/+1	184	184	80

Special Features and Yard Items

Type	Qty	Units	Year Blt
Driv-Concret	1	600	1950
UTILITY FAIR	1	64	1980
UTILITY AVG	1	100	1980

Current Year Values

Current Values Breakdown


Building:	\$75,700
Land:	\$81,600
Just/Market:	\$157,300
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$157,300
Exemption(s):	\$0
Taxable:	\$157,300

Current Year Exemption Value Breakdown

Building:	\$75,700
Land:	\$81,600
Just/Market:	\$157,300
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$157,300
Exemption(s):	\$0
Taxable:	\$157,300

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	1	Fort Pierce Stormwater Charge	\$69.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2022	\$157,300	\$157,300	\$0	\$157,300
2021	\$146,600	\$146,600	\$0	\$146,600
2020	\$142,900	\$142,900	\$0	\$142,900
2019	\$146,600	\$146,600	\$0	\$146,600

Permits

Number	Issue Date	Description	Amount	Fee
RF20052496	Aug 17, 2005	Roof	\$2,300	\$50
BP14-2486	Sep 30, 2014	Air Conditioning Only	\$6,230	\$170
BP14-2486	Apr 13, 2015	Air Conditioning Only	\$6,230	\$224

Notice: This does not necessarily represent all the permits for this property.

[Click the following link to check for additional permit data in Fort Pierce](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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