



THE SUNRISE CITY

FORT PIERCE
PLANNING DEPARTMENT *Florida*

TO: Technical Review Committee

FROM: Jennifer Hofmeister-Drew, AICP, LCAM, Planning Director

RE: Technical Review Project- Kieran Casey Site Plan- 21-07000031

Meeting Date: January 20, 2022

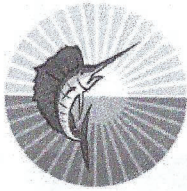
The above referenced project is being submitted for your review and comment. The applicant is requesting review and approval for the development of a single parcel for the construction of a 10,300-sf office/warehouse building with associated site improvements.

The subject parcel has a Future Land Use designation of General Commercial (GC) and an underlying Zoning designation of General Commercial (C-3).

Please send all comments to the following emails: jhofmeister@cityoffortpierce.com and arosenthal@cityoffortpierce.com or through interoffice mail to the Planning Department. If you have comments please respond at minimum, two (2) days before the Technical Review Committee Meeting (Tuesday, January 18, 2022).

Please do not hesitate to contact me should you require any additional information at 772-467-3730 or 772-353-9036.

Thank you.



DEVELOPMENT REVIEW

Property address or Location 3621 US Highway 1
 Parcel ID #(s) 2434-601-0025-000-5
 Project description Development of 1.51 acre site into warehouse/flex building with associated site improvements

Kieran Casey
Property Owner(s)
3900 Shoreside Dr
 Street Address
Hutchinson Island FL 34949
 City State Zip
305-342-6410
 Phone Number
Kieran.casey@rocketmail.com
 Email Address

Mark Landsman, Project Engineer, Engineering Design & Const., Inc.
Applicant/Representative, Title, Company
10250 SW Village Parkway, Suite 201
 Street Address
Port St. Lucie FL 34987
 City State Zip
772-462-2455
 Phone Number
marklandsman@edc-inc.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

[Handwritten Signature]

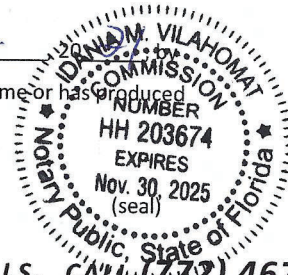
Property Owner(s) Signature(s) _____

STATE OF FLORIDA -- COUNTY

The foregoing instrument was acknowledged before me this 14 day of Dec.

Kieran Casey who is personally known to me or has produced
personally known to me as identification.

Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____

Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Intake Date Stamp



DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

Site Information:

Non-Residential: Proposed Sq. Ft.: 10,300 sf Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
Light Industrial	Commercial	US1	Light Industrial

Application Outlook

Pre-Application Meeting
Wednesday Afternoons



Application Intake Meeting
Call to schedule



Technical Review Committee
3rd Thursday



Planning Board
2nd Tuesday



City Commission
1st & 3rd Monday

Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Kieran Casey
3621 US Highway 1
Fort Pierce, FL 34982

AGENT CONSENT FORM

Project Name: 3621 US Highway 1

Parcel ID: 2434-601-0025-000-5

BEFORE ME THIS DAY PERSONALLY APPEARED Kieran Casey WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

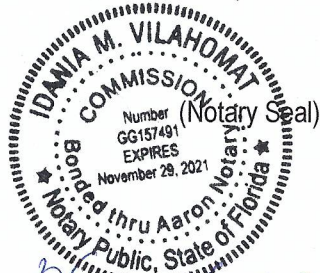
I hereby give CONSENT to Engineering Design & Construction, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 24 day of November 2021 by Kieran Casey (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.

Idania M. Vilahomat
Notary Signature

Idania M. Vilahomat
Printed Name of Notary



November 28, 2021
My commission expires

KC
Owner's Signature

Kieran Casey
Owner's Name

3900 Shoreside Dr.
Street Address

Hutchinson Island, FL 34949
City, State, Zip

Kieran.Casey@rocketmail.com
Telephone / Email
305-342-6410

Prepared by and return to:

Richard D. Sneed, Jr.

Attorney at Law

Richard D. Sneed, Jr. P.A.

1905 South 25th Street Suite 206 Mardi Exec. Ctr.

Fort Pierce, FL 34947

772-562-2772

File Number: ROCH 21-100

Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 22nd day of January, 2021 between ROCH, LLC, a Florida limited liability company whose post office address is 1714 Rio Vista Drive, Fort Pierce, FL 34949, grantor, and Kieran Casey and Nikki Casey, husband and wife, and Anna Casey, a married woman, whose post office address is 3900 Shoreside Dr., Hutchinson Island, FL 34949, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Saint Lucie County, Florida to-wit:

The North 165 of the East 440 feet of Lot 7, J.I. KELLEM'S SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 3, Page 85, Public Records of Saint Lucie County, Florida.

Parcel Identification Number: 2434-601-0025-000-5

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2020**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Handwritten Signature]

Witness Name: Richard Sweed Jr

[Handwritten Signature]

Witness Name: Kellie S. Forrest

ROCH, LLC

By: *[Handwritten Signature]*
Rochelle Lustig, Manager

State of Florida
County of St. Lucie

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 22nd day of January, 2021 by Rochelle Lustig, as manager of **ROCH, LLC**, a **Florida limited liability company** on behalf of the company, who is personally known to me or has produced a driver's license as identification.

[Notary Seal]

[Handwritten Signature]
Notary Public

Printed Name: Kellie S. Forrest

My Commission Expires: 9/24/2021



Property Identification

Site Address: 3621 US HIGHWAY 1
Sec/Town/Range: 34/35S/40E
Parcel ID: 2434-601-0025-000-5
Jurisdiction: Fort Pierce

Use Type: 1000
Account #: 33434
Map ID: 24/34N
Zoning: General Co

Ownership

Kieran Casey
Nikki Casey
Anna Casey
3900 Shoreside DR
Hutchinson Island, FL 34949

Legal Description

KELLEM'S S/D N 165 FT OF E 440 FT OF LOT 7-LESS RD R/W- (1.51 AC)

Current Values

Just/Market Value: \$133,800
Assessed Value: \$133,800
Exemptions: \$0
Taxable Value: \$133,800

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)



Total Areas

Finished/Under Air (SF): 0
Gross Sketched Area (SF): 0
Land Size (acres): 1.51
Land Size (SF): 65,670

Building Design Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

Sources/links:

PROJECT NARRATIVE & COVER LETTER

**3621 US Highway 1
Development Review
December 14, 2021**

REQUEST

On behalf of the Petitioner, Engineering Design & Construction, Inc. would like to request a review and approval for the development of a single parcel for the construction of a 10,300-sf office/warehouse building with associated site improvements. The subject parcel is noted below and is located on the west side of US1 in Fort Pierce, Florida.

SITE CHARACTERISTICS & PROJECT HISTORY

Parcel ID:	Address:	Acreage:	FLU:	Zoning:
2324-601-0025-000-5	3621 US Highway 1	1.51	GC	C-3

The subject parcel has a Future Land Use designation of General Commercial (GC) and an underlying Zoning designation of General Commercial (C-3). The petitioner is proposing the development of a 10,300-sf warehouse/office building with associated site improvements.

To the north of the subject parcels lies a development owned by the Florida State of Department of Agriculture. This parcel has a Future Land Use designation of Industrial (I) and an underling Zoning designation of Industrial (I-1).

To the south of the subject parcels lies a developed commercial parcel (motel). This parcel has a Future Land Use designation of General Commercial (GC) and an underling Zoning designation of Commercial General (C-3).

West of the subject parcels lies an undeveloped parcel. This parcel has a Future Land Use designation of Industrial (I) and an underling Zoning designation of Industrial (I-1).

East of the subject parcels lies the Right-of-Way of US Highway 1 followed by developed and undeveloped parcels. The undeveloped parcel east of US1 has a Future Land Use designation of General Commercial and an underlying Zoning designation of General Commercial Zone (C-3). The developed parcel east of US1 is a developed commercial warehouse. This parcel has a Future Land Use designation of Commercial General (CG) and an underlying Zoning designation of Commercial General (C-3).

Development Review

Section 125-313 of the City of Fort Pierce Land Development Code outlines the requirements for review and approval of Major or Minor Site Plan Applications. As

outlined in section 125-313(a)(1) of the City of Fort Pierce Land Development Code, the proposed development will be considered a major site plan.

A pre-application meeting to discuss the project was held with the City of Fort Pierce on July 7, 2021. This submittal includes the all-applicable documents required for a site plan submittal. The subject property is not located in an area where beach / dune system protection plans are required. Due to this, a beach / dune system protection plan is not included with this submittal.

Design Review

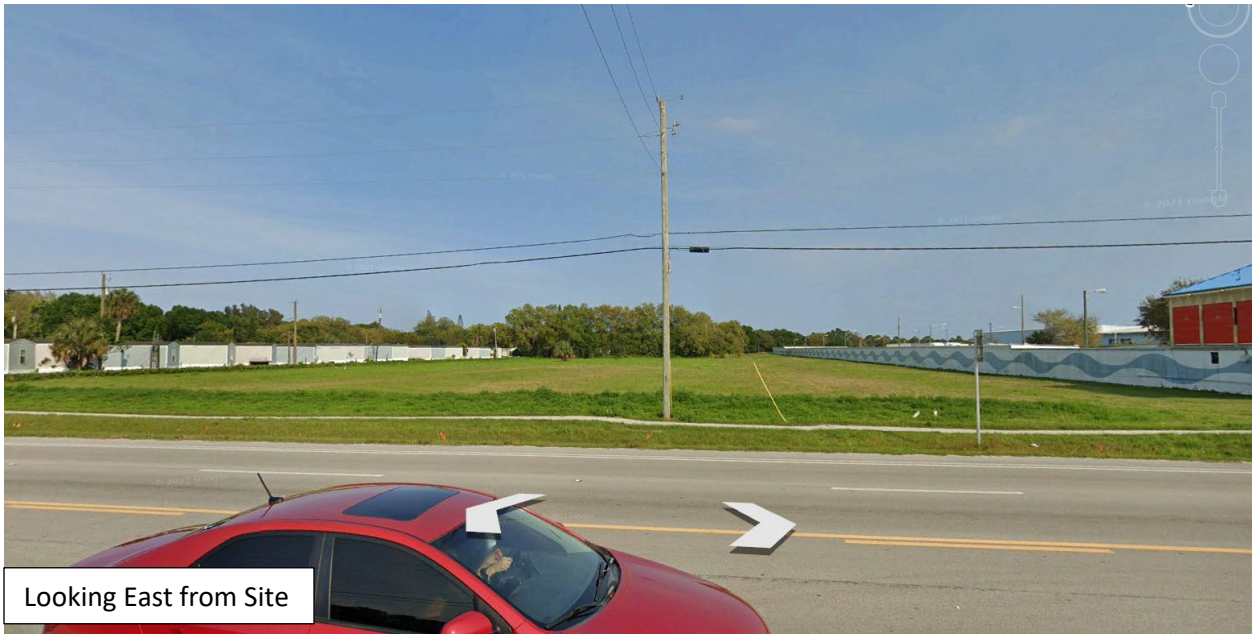
Section 125-314 of the City of Fort Pierce Land Development Code outlines the requirements for design review. The required material as outline in section 125-314(c)(1) are included as part of this submittal package.

The subject parcel is located on the west side of US Highway 1 in Fort Pierce, Florida. Existing conditions of the subject parcels are depicted in the below photos:





Looking South from Site with entrance on the right



Looking East from Site



Design Review Intent

Careful consideration and thought have been given to the design presented herein, regarding orientation, access, landscaping, building design and budget.

Criteria as follows:

Auto access to the property is proposed to be from US Highway #1. Parking therefore will be in the front and along the sides of the building with pedestrian access from the existing sidewalk along US Highway #1.

US Highway #1 is zoned for commercial use and in the vicinity of the property there is a combination of vacant land, one story motel, auto tinting business, Manatee Mobil Home Park and Arnoff Storage U-Haul. There is no consistent architectural style or theme along the US Highway #1 corridor.

The majority of the architectural details selected for the Office Warehouse do not exist on the nearby buildings. Articulation of the building façade is achieved by the use of three-dimensional raised stucco banding, stacked stone detailed in such a way as to promote vertical proportions. Other design elements include a covered porch, stucco lap siding. The building exterior colors will complement the façade articulation with accents colors distinguishing the stucco banding from the body colors of the building.

The building, though tall, is a single-story design with a variety of architectural story design with a variety of architectural details and standing seam-metal roofing, making it compatible with existing, nearby structures.



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding



Design Review

Property address or Location 3621 US Highway 1
 Parcel ID #(s) 2434-601-0025-000-5
 Project Description Development of 1.51 acre site into warehouse/flex building with associated site improvements

Kieran Casey
 Property Owner(s)
3900 Shoreside Dr
 Street Address
Hutchinson Island FL 34949
 City State Zip
917-225-1694
 Phone Number
Kieran.casey@rocketmail.com
 Email Address

Mark Landsman, Project Engineer, Engineering Design & Const.
 Applicant/Representative, Title, Company
10250 SW Village Parkway, Suite 201
 Street Address
Port St. Lucie FL 34987
 City State Zip
772-462-2455
 Phone Number
marklandsman@edc-inc.com
 Email Address

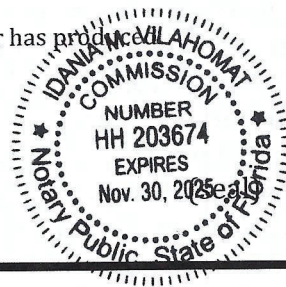
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[Signature]
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY
 The foregoing instrument was acknowledged before me this 14 day of Dec, 2021, by

Kieran Casey who is personally known to me or has produced
personally known to me as identification.

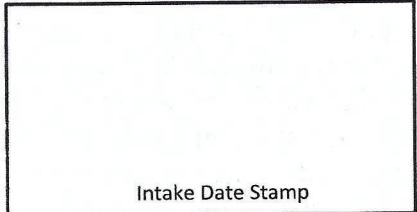
[Signature]
 Signature of Notary



TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____
 Intake Planner _____
 Planner Assigned _____
 Approved _____ Date _____
 Comments _____



Design Review Application Checklist

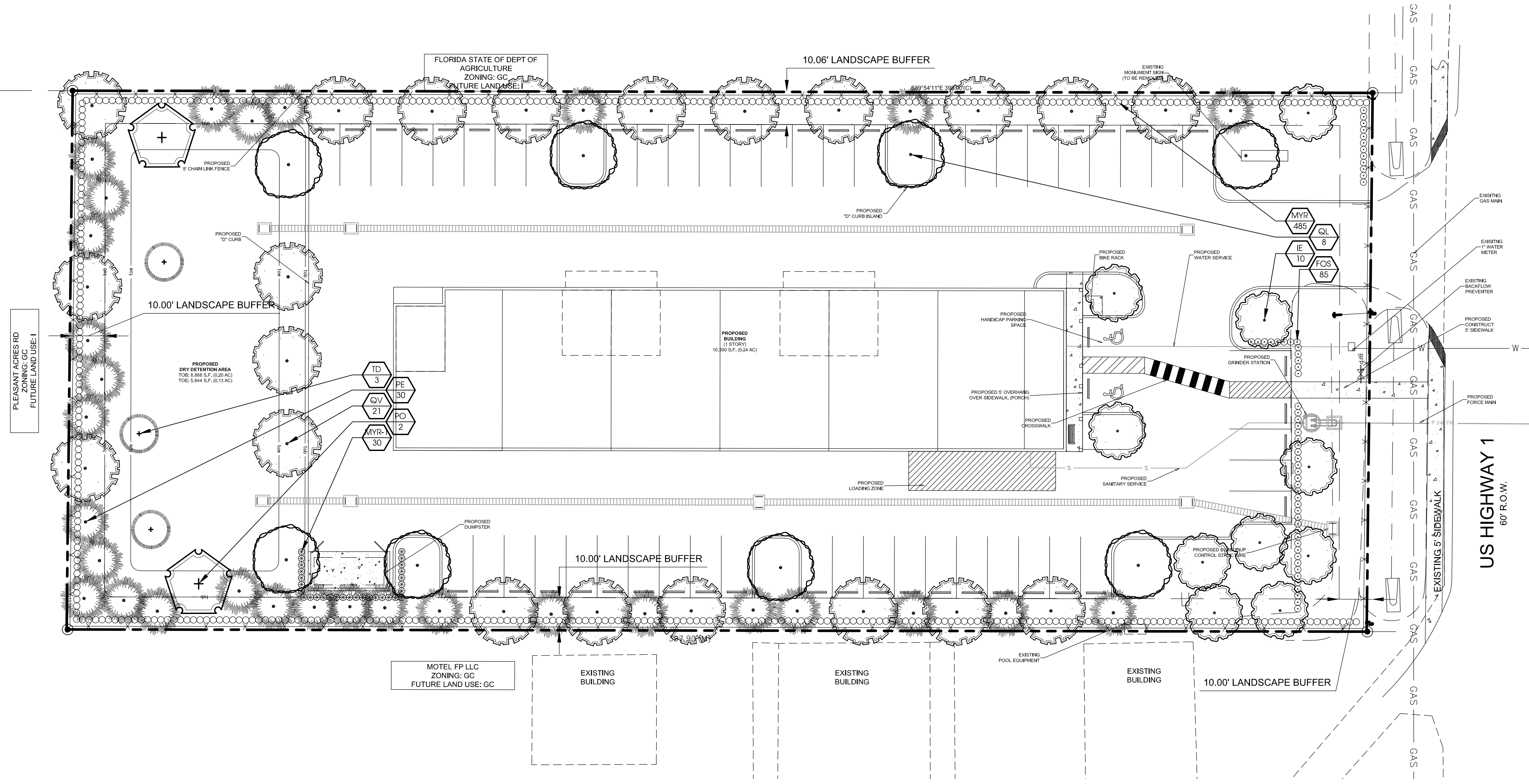
(City Code of Ordinances 22-59)

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



Landscape Data

Vehicular Use Area Landscaping Adjacent to R.O.W. (East Buffer) 165'
Sec. 123-37(4)(b)
Trees Required = 10' Wide Landscape Strip with 1 Tree/300 s.f.
165 l.f. x 10' = 1,650 s.f. / 300 = 6 Trees
Provided = 6 Trees
Shrubs Required = Continuous Hedge @ 2' o.c.
165 l.f. / 2' o.c. = 83 Shrubs
Provided = 83 Shrubs

Vehicular Use Area Landscaping to Adjacent Property (North, South & West Buffer) 961'
Sec. 123-37(6)
Trees Required = 10' Wide Landscape Strip with 1 Tree/200 s.f.
961 l.f. x 10' = 9,610 s.f. / 200 = 48 Trees
Provided = 48
Shrubs Required = Continuous Hedge @ 2' o.c.
961 l.f. / 2' o.c. = 481 Shrubs
Provided = 481 Shrubs

Interior Vehicular Use Area
Sec. 123-37(7)(a & b)
Required = 1 s.f. of interior landscaping per
15 s.f. of vehicular use area (29,752 s.f./15 = 1,984 s.f.)
Landscape Area Provided = 2,010 s.f.
Trees Required = 1 Tree/100 s.f. of interior landscape area
29,752 s.f./100 = 297.52 Trees
Trees Provided = 20 Trees

Maximum Use of Palm Trees
Sec. 123-37(1)(a)(3)
Required = Fifty (50) percent of the required trees shall be species other than palm trees
Total Trees Required = 74 Trees
Maximum Palms Allowed = 37 (74 / 2 = 37)
Total Palms Provided = 0 (0%)

Dumpsters
Total length of dumpster exterior (less doors) / 2'
48' / 2 = 24 Per Dumpster

Shrubs Required (2 Dumpsters) = 48
Total Shrubs Provided = 48

Total Trees Required = 309 Trees
Total Trees Provided = 309 Trees

Total Trees Required = 74 Trees
Total Native Trees Provided = 74 (100%)

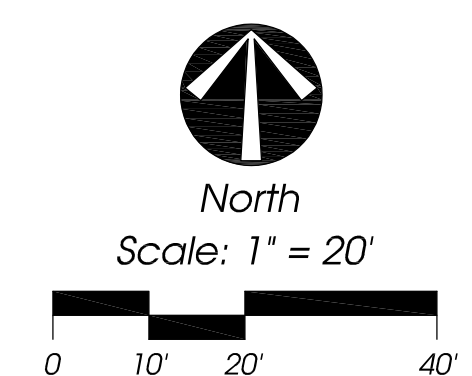
Total Palms Required = 0
Total Native Palms Provided = 0 (N/A%)

Total Shrubs Required = 588
Total Native Shrubs Provided = 600 (100%)

Plant List

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS
CANOPY / ORNAMENTAL TREES						
10	IE*	ILEX x ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
30	PE*	PINUS ELLIOTTI DENSA	SOUTH FLORIDA SLASH PINE	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
2	PO*	PLATANUS OCCIDENTALIS	SYCAMORE	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
8	QL*	QUERCUS LAURIFOLIA	LAUREL OAK	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
21	QV*	QUERCUS VIRGINIANA	LIVE OAK	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
3	TD*	TAXODIUM DISTICHUM	BALD CYPRESS	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
SHRUBS / GROUNDCOVERS						
85	FDS*	FORESTIERA SEGREGATA	FLORIDA PRIVET	#3, 2' x 2'	2' O.C.	FULL & THICK
30	MYR-1*	MYRICANTHES FRAGRANS	SIMPSON STOPPER	#7, 4' x 2'	2' O.C.	FULL & THICK
485	MYR*	MYRICANTHES FRAGRANS	SIMPSON STOPPER	#3, 2' x 2'	2' O.C.	FULL & THICK
SOD-1				PASPALUM NOTATUM	BAHIA SOD	
* = Florida Native						
NOTE: D.B.H. IS MEASURED 4.5' ABOVE GRADE						

Landscape Plan



Landscape Specifications

- All tree and plant material to be Florida No. 1 or better, as classified in "Grades and Standards for Nursery Plants", Part 1 and Part II, State of Florida, Dept. of Agriculture, Tallahassee. All plants not listed in "Grades and Standards for Nursery Plants" shall conform to a Florida No. 1 as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species.
- Undersiding or substitution of one species or cultivar for another species is a breach of contract and will be "Rejected" at the time of final landscape inspection unless approved by Landscape Architect.
- Project Warranty: All plant material shall be warranted for a period of one (1) year after date of substantial completion against defects, including death and unsatisfactory growth, except for defects resulting from abuse or damage by others or unusual phenomena or incidents which are beyond the contractor's control.
- Any and all conditions which the contractor feels will be detrimental to the success of the planting shall be brought to the owner or representative's attention.
- The contractor shall verify the location of underground utilities prior to commencing work on any project area.
- Mulch planting areas with 2" layer of Melaleuca, Eucalyptus, or Enviro-mulch. Cypress Mulch is **NOT ACCEPTABLE**. Planting beds to receive mulch throughout entire bed area.
- All plants to be set to ultimate grade. No filling will be permitted around trunks or stems. Mulch to be kept a minimum of 2" away from trunks and stems.
- Planting trees and shrubs: Excavate hole per planting detail. When plant is set, place additional backfill consisting of a 50% mixture of Peat humus and natural soil around the base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Water again after placing final layer of backfill and before installing mulch.
- Guy and stake trees in 3 directions with galvanized wire, through flexible hose chafing guards, with wooden stake anchors. Immediately after planting. (See Detail)
- Trees and shrubs shall be fertilized with a complete natural organic fertilizer with a ratio of approximately 3:0:2 or 3:0:3 (e.g. one labeled 12-0-8). Similar analysis such as 16-0-8 (4:0:2) can also be used. Fertilizers that are slow release, controlled release, sulphur coated or with nitrogen as IBDU or ureaformaldehyde have extended release period. Thirty to fifty percent of the nitrogen should be water insoluble or slow release.

Palms should receive a complete granular fertilizer formulated for palms ("Palm Special") at a rate of 5 to 8 lbs. per palm.

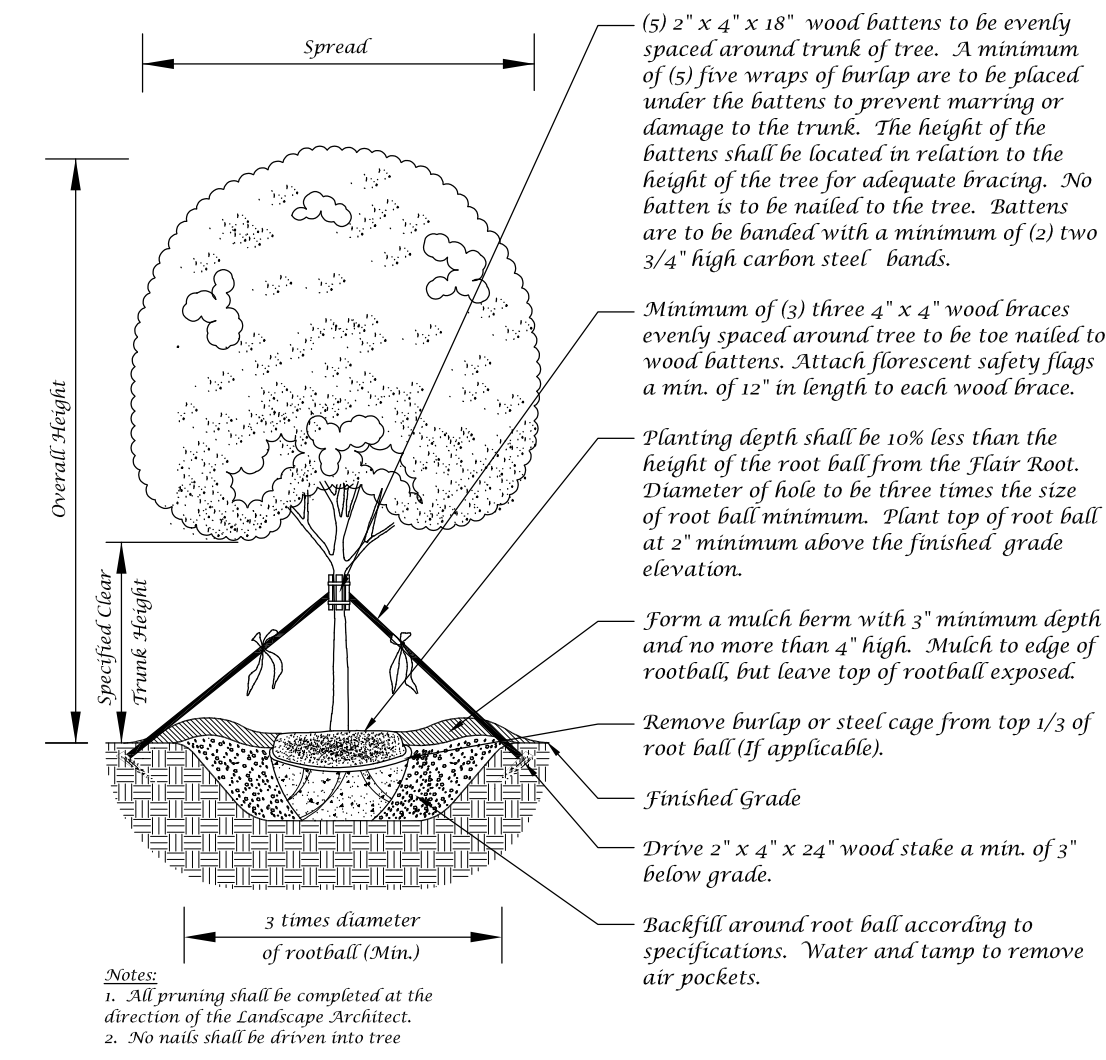
Agriform 20-0-6 twenty-one gram planting tablets may be substituted for granular fertilizer. If utilized, the following rates shall be utilized: Position plant in hole. Backfill halfway up the rootball. Place tablet(s) beside rootball about 1" from root tips. Do not place tablet(s) in bottom of hole.

- 1 Gallon 1 Tablet
- 3 Gallon 2 Tablets
- 25 Gallon & B&B Trees 2 per 1" caliper

- All planting areas and sod to be irrigated to provide 100% coverage. Shop drawings to be submitted by the irrigation contractor for approval prior to installation.
- Maintain trees, shrubs, and other plants by watering, cultivating, and weeding as required for healthy growth. Restore planting saucers and mulch. Tighten and repair stake and guying and reset trees and shrubs to proper grade or vertical position as required. Spray as necessary to keep trees and shrubs free of insects and disease. The contractor shall begin maintenance immediately after planting and shall continue maintenance through final acceptance when Certificate of Occupancy is issued to the General Contractor by City and project is released by the General Contractor to Client.
- Prune trees and shrubs only to remove damaged branches as directed by the Landscape Architect.
- Planting Lawns: Provide clean, strongly rooted, uniformly sized strips of Stenotaphrum secundatum FlorTam (unless otherwise noted), machine stripped not more than 24 hours prior to laying. Grade and roll prepared lawn surface. Water thoroughly but not to create muddy soil conditions. Lay sod strips with tight joints, roll or tamp lightly, and water thoroughly.
- Maintain positive drainage, no planting is to block drainage.
- Drainage Testing
 - Prior to planting of trees, palms, and specimen material, each planting pit shall be tested in the following manner to verify adequate drainage.
 - Dig each planting pit to the minimum specified size.
 - Fill the planting pit with (12") twelve inches of water. If the water level in the planting pit drops (4") four or more inches within (4) four hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than (4") four inches within the (4) four hour period, then a drainage channel is required.
 - When a drainage channel is required, the drainage channel must extend down through the non porous soil and into porous soil. (See Drainage Testing Detail)
 - Discard all material removed from the drainage channel.
 - When backfilling the planting pit, add coarse gravel to the drainage channel. Also, care must be taken to keep the consistency of the soil mix the same throughout the planting pit.

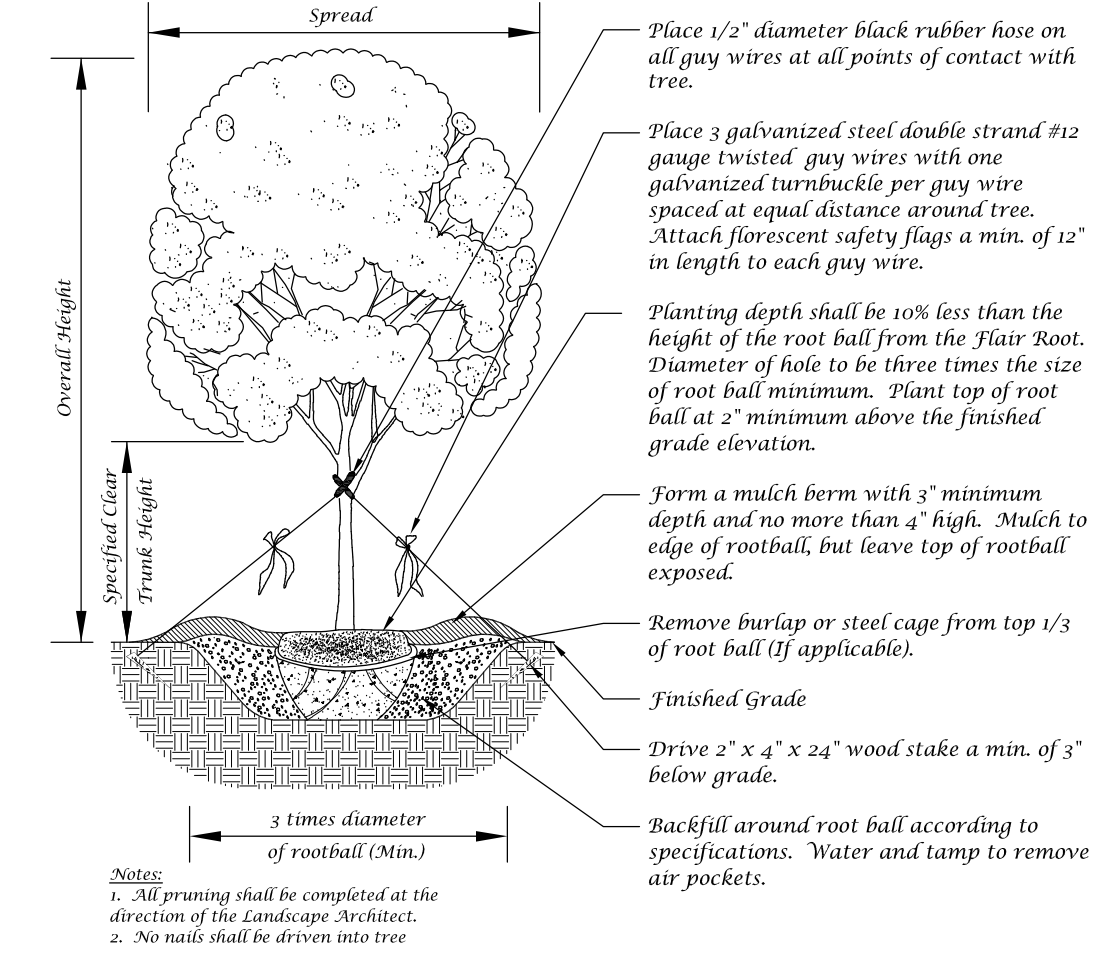
- NOTES:
- Contractor to include drainage testing for all trees and palms in bid. If drainage is inadequate, the soil specification in item #8 above shall be revised for site conditions. Contractor shall notify the Owner and Landscape Architect of poor drainage conditions in writing and written direction will be provided to the contractor of appropriate soil mixture specification to be used.
 - All fertilizers shall meet the City of Port St. Lucie's fertilizer ordinance.

Landscape Details



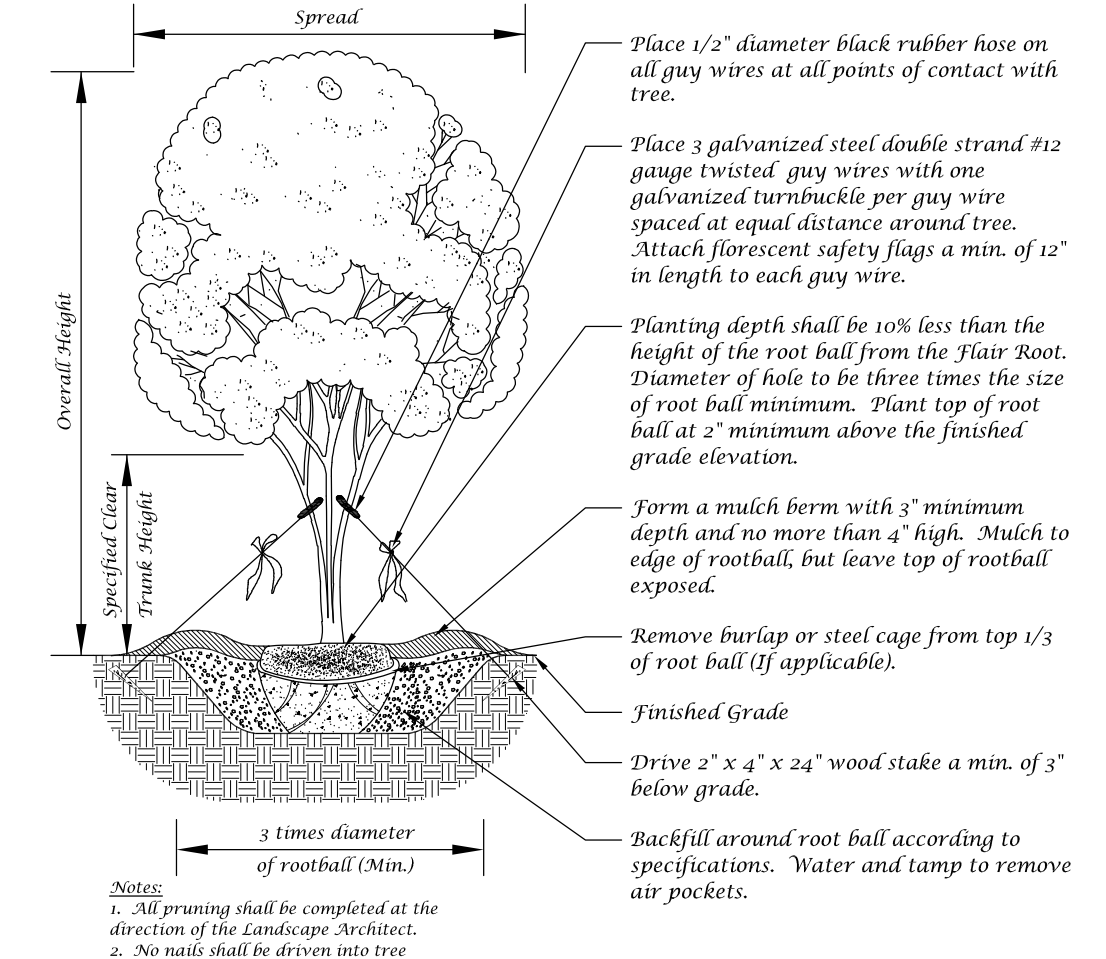
Large Tree Planting Detail

Not to Scale



Drainage Testing Detail

Not to Scale

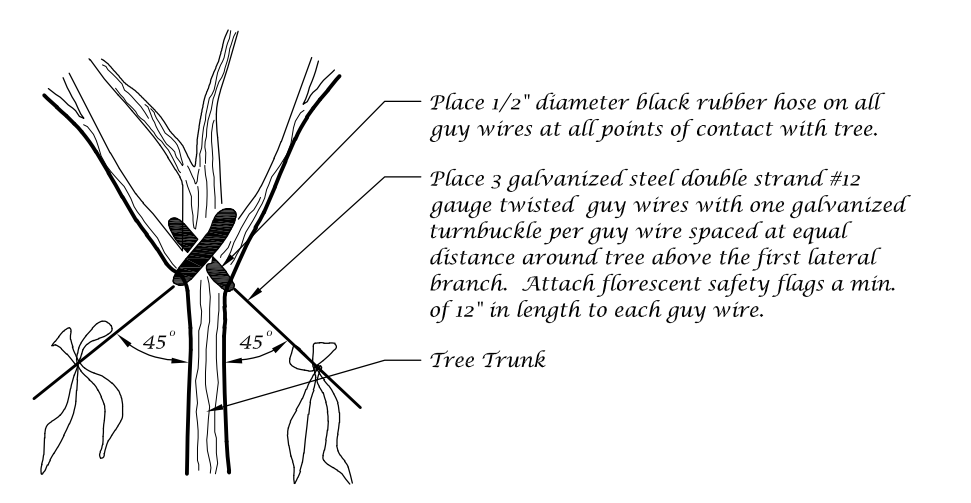


Tree Planting Detail

Not to Scale

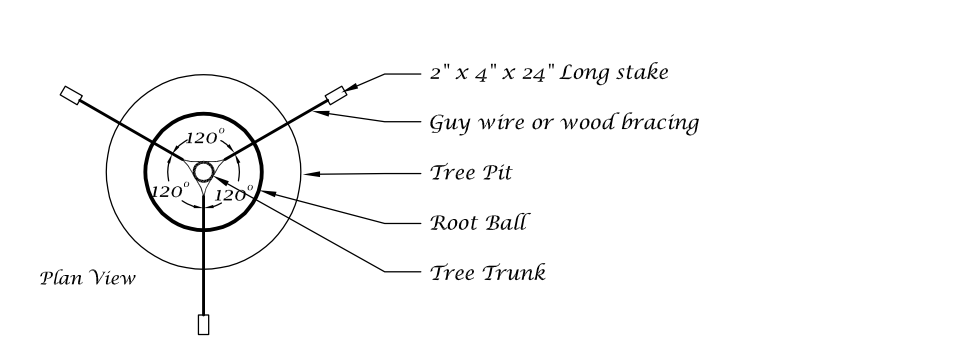
Multi-Trunk Tree Planting Detail

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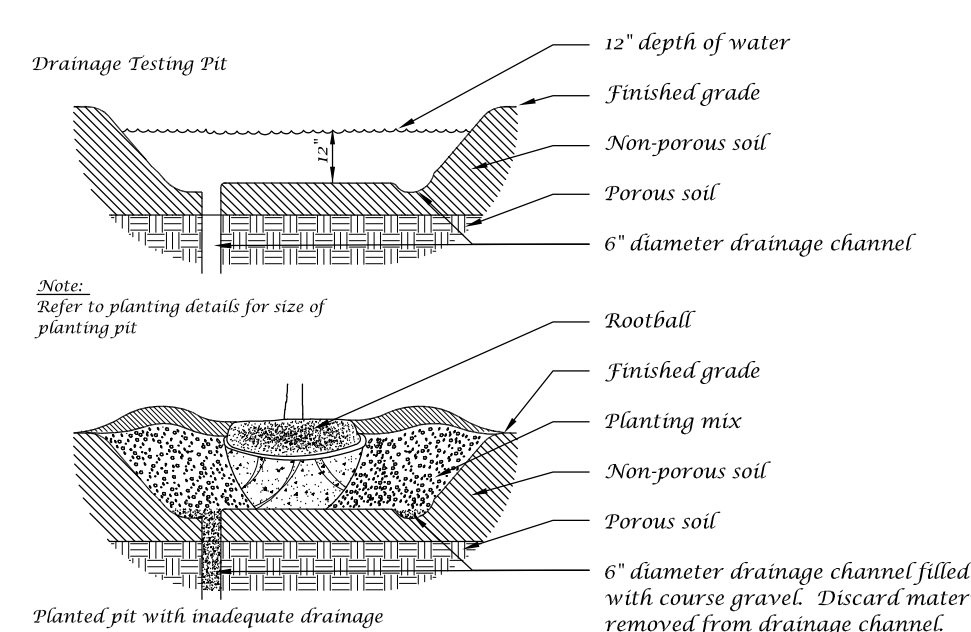
Guy Wire Attachment Detail

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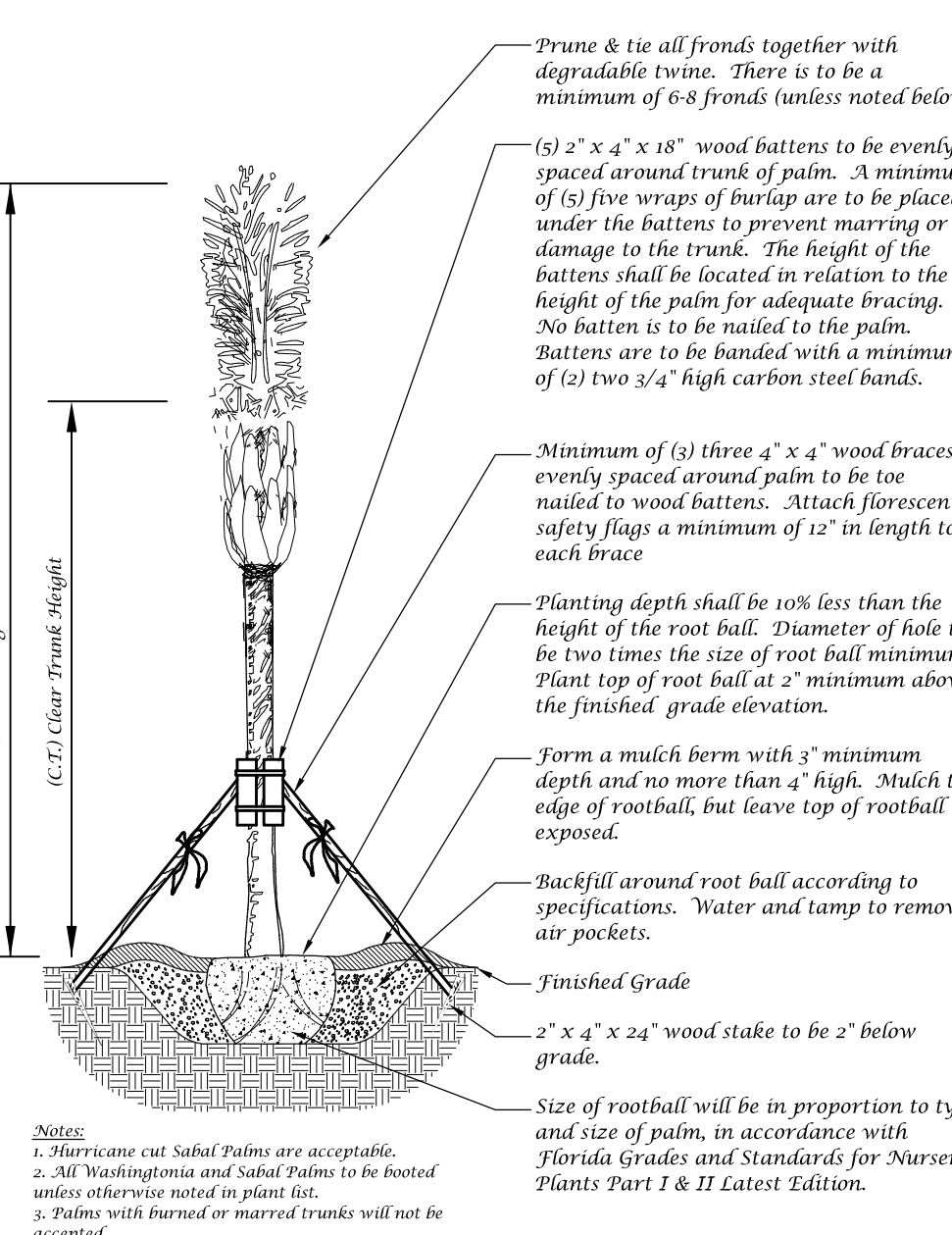
Staking Detail

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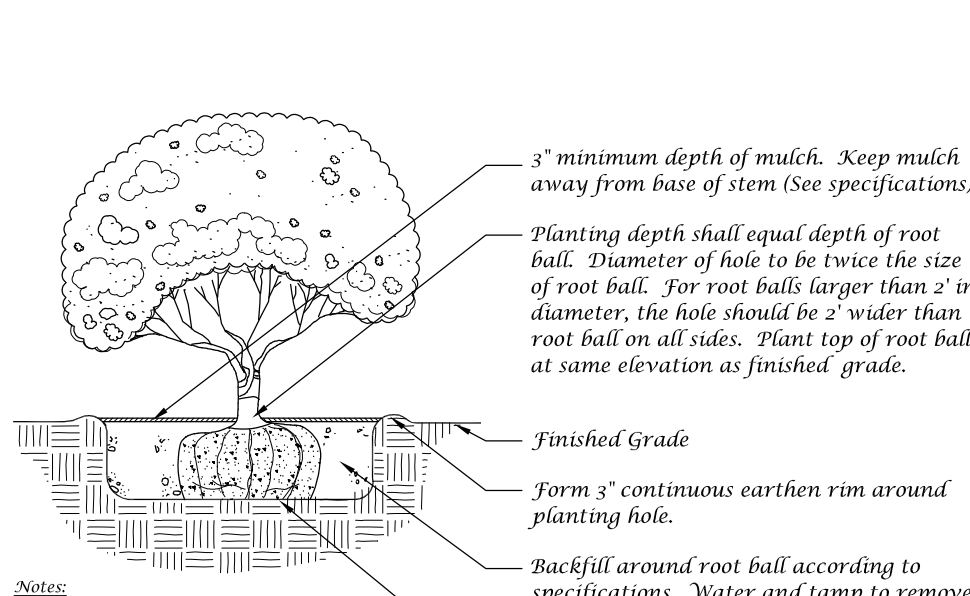
Drainage Testing Detail

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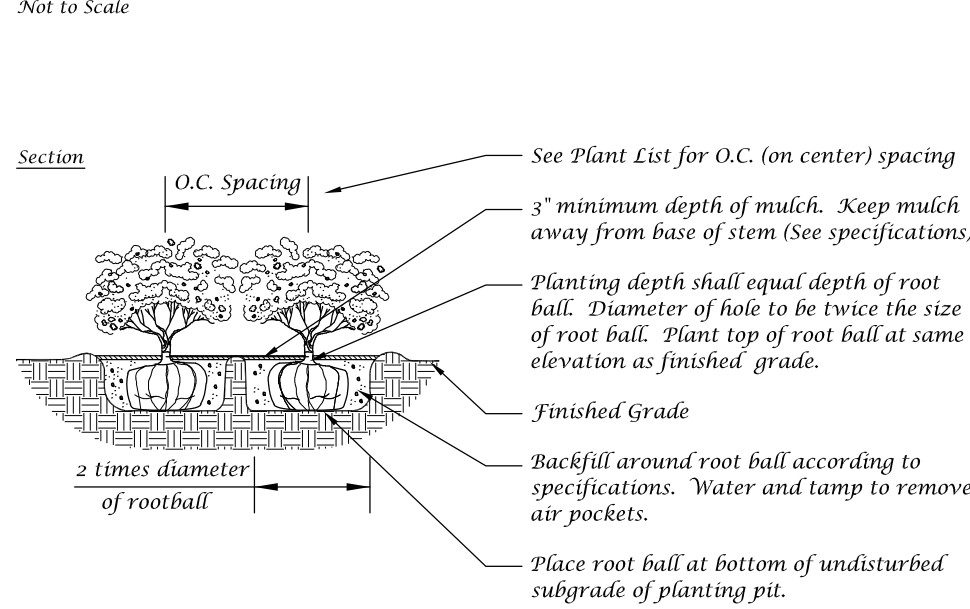
Palm Planting Detail

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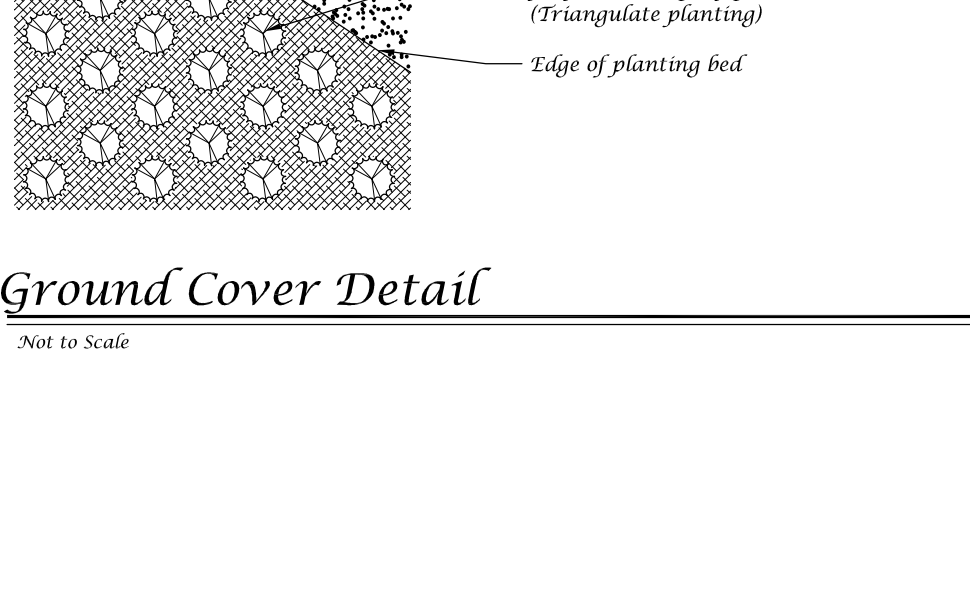
Shrub Detail

Not to Scale



Ground Cover Detail

Not to Scale



Ground Cover Detail

Not to Scale

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 Landscape Architecture - Site Planning
 900 East Ocean Boulevard, Suite 1300
 Stuart, Florida 34994
 (772) 344-2340
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Kieran Casey
 City Project Number:
 3621 US Highway 1, City of Fort Pierce, Florida

Jeffrey W. Smith, RLA
 Florida Registration Number:
 LA 0001635

Job No. 21-1203
 Drawn By JWS
 Submittal Dates 12-15-2021

Revision Dates

These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.

L-2 2
 Sheet of

Landscape Plan

Stonco by @lightify

Wall mount
LytePro
LPW32 Large wall sconce

Stonco LytePro LED large wall sconce LPW32 features outstanding value in a compact, architectural design. This powerful and precise combination offers outstanding energy savings with excellent photometric performance. LPW32 is ideal for building perimeter and corridor applications in addition to wall lighting applications requiring strong lateral spacing and forward pattern projection.

Ordering guide

Photo	Part No.	LED Color/Tm	Beam Spread	Mounting	Voltage
LPW32	LPW32-30	3000K	30°	3" x 3" x 3"	120V
	LPW32-30-120	3000K	30°	3" x 3" x 3"	120V
	LPW32-30-277	3000K	30°	3" x 3" x 3"	277V
	LPW32-30-480	3000K	30°	3" x 3" x 3"	480V

Options

Option	Part No.	Description
Field	LPW32-30-120-01	120V, 3000K, 30° beam spread, 3" x 3" x 3" mounting
Warehouse	LPW32-30-120-02	120V, 3000K, 30° beam spread, 3" x 3" x 3" mounting, warehouse version

Stocked luminaires - Ordering guide

Part No.	Description	Master Pack Qty	UPC Code
LPW32-30-120	120V, 3000K, 30° beam spread, 3" x 3" x 3" mounting	3	83333314888
LPW32-30-120-01	120V, 3000K, 30° beam spread, 3" x 3" x 3" mounting	3	83333314888
LPW32-30-120-02	120V, 3000K, 30° beam spread, 3" x 3" x 3" mounting, warehouse version	3	83333314888

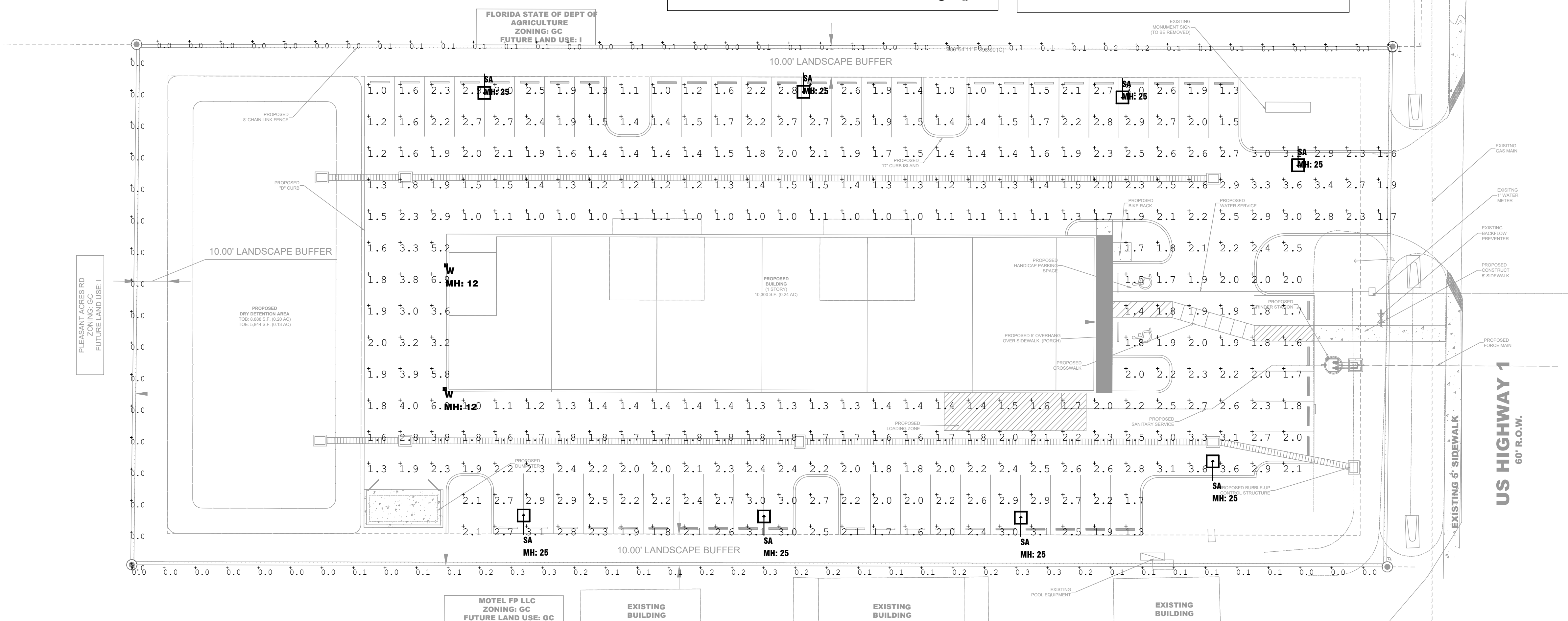
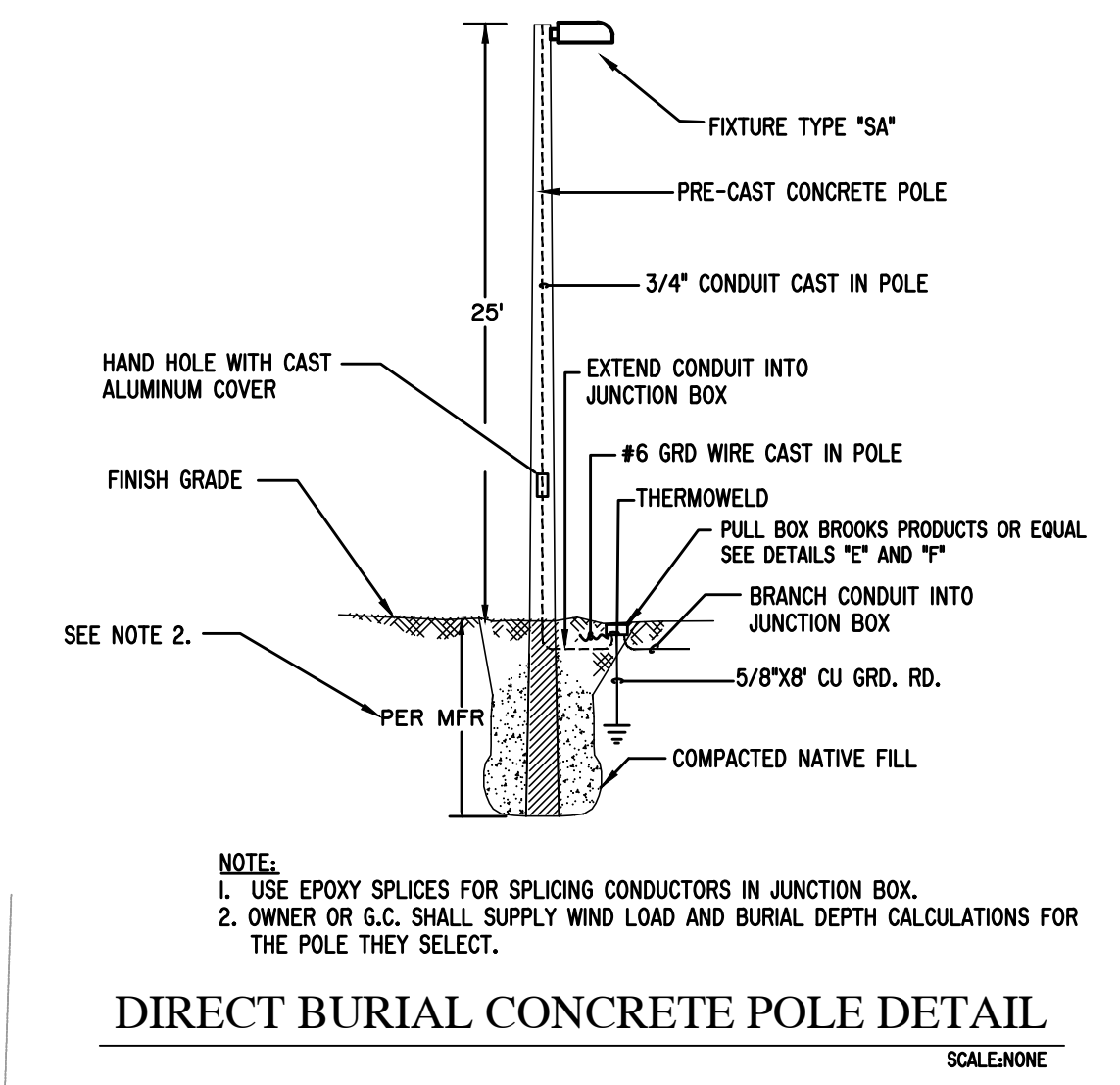
PHILIPS GARDCO

Site & Area
EcoForm

Philips Gardco EcoForm LED luminaire combines economy with performance. Capable of delivering up to 20,000 lumens or more in a compact, low profile housing, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversion to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems, including motion responses and wireless controls are available for further energy savings during off peak hours.

Ordering guide

Part No.	Color	Mounting	Beam Spread	Color Temp	Power	Options
ECF-100	White	Standard	10°	3000K	100W	None
ECF-100-120	White	Standard	10°	3000K	100W	120V
ECF-100-277	White	Standard	10°	3000K	100W	277V
ECF-100-480	White	Standard	10°	3000K	100W	480V



Luminaire Schedule

Symbol	Qty	Label	(MINIFAC)	Description	Lumens/Lamp	LF	Lot. Watts	Total Watts
□	1	SA	Gardco	ECF-100-120-120-01-001	N.A.	6.000	120.0	672.0
□	1	W	Stonco	LPW-32-30-30-03-4-001-001 (NORMAL MOUNT)	N.A.	6.000	48.0	68.0

PHOTOMETRIC ANALYSIS NOTES:

THIS PARKING AREA IS WITHIN THE CITY OF FORT PIERCE, AND IS SUBJECT TO LIGHTING REGULATIONS FOUND IN CHAPTER 22, ARTICLE IV, SECTIONS 22-58 AND 22-60 OF THE FORT PIERCE MUNICIPAL CODE.

22-58 CODE REQUIRES THE INTERIOR SIDEWALKS SHALL BE PROVIDED WITH A MINIMUM AVERAGE OF ONE FOOT-CANDLE. THE INTERIOR PRIVATE SIDEWALK IS THE "EAST SIDEWALK" EXTENDING FROM THE EAST ELEVATION OF THE BUILDING EAST TO THE PUBLIC WAY. THE CALCULATION SHOWS AN AVERAGE OF 1.27 FC. THIS COMPLIES WITH CODE.

22-60 (1) CODE REQUIRES THE OFF-STREET PARKING IN THIS CASE SHALL BE PROVIDED WITH A MINIMUM AVERAGE OF TWO FOOT-CANDELES ON THE PAVEMENT. THIS PLAN PROVIDES AN AVERAGE OF 2.06 FOOT-CANDELES IN THE PARKING AREA.

(2) THIS PLAN PROVIDES A UNIFORMITY RATIO OF 2.06 TO 1, WHICH COMPLIES WITH CODE.

(3) LIGHTING CONTROL IS BY ASTRONOMIC TIME CLOCK. THIS COMPLIES WITH CODE.

(4) MAXIMUM SPILL ALONG THE PROPERTY LINES ADJACENT TO PRIVATE PROPERTY IS 0.3 FC. THIS LEVEL COMPLIES WITH CODE, WHICH STATES SPILL IS NOT TO EXCEED 0.5 FC.

THE LIGHTING PLAN USES FULL CUTOFF LED AREA LIGHTING FIXTURES AT 25 FEET ON PRE-CAST CONCRETE POLES.

Calculation Summary

Label	Avg	Max	Min	Avg Min	Max Min
EAST SIDEWALK	1.27	1.4	1.1	1.15	1.27
Parking and Drives	2.06	6.9	1.0	2.06	6.90
PL SPILL (NORTH)	0.11	0.3	0.0	N.A.	N.A.
PL SPILL (NORTH)_V	0.07	0.2	0.0	N.A.	N.A.
PL SPILL (SOUTH)	0.12	0.3	0.0	N.A.	N.A.
PL SPILL (SOUTH)_V	0.08	0.2	0.0	N.A.	N.A.
PL SPILL (WEST)	0.00	0.0	0.0	N.A.	N.A.
PL SPILL (WEST)_V	0.06	0.1	0.0	N.A.	N.A.

SITE PHOTOMETRIC ANALYSIS

SCALE 1" = 20'-0"

NO.	DATE	REVISIONS

Fort Pierce Engineering, Inc.
Dependable Mechanical, Electrical & Plumbing Design
Reg. No. 28173

315 South 7th Street
Fort Pierce, FL 34950
Phone: 772 672-4636
Fax: 772 672-4637

CLIENT:
ARCHITECTONIC INC.
806 DELAWARE AVE.
FORT PIERCE, FLORIDA
34950

PROJECT NAME:
CASEY WAREHOUSE

PROJECT LOCATION:
3621 US HIGHWAY 1
FORT PIERCE, FLORIDA

ENGINEER SEAL

Timothy C. Tremw, PE
P.E. No. 61580

THESE DRAWINGS, ALONG WITH THE CONDITIONS AND SO BEING PRESENTED HEREBY ARE INTENDED ONLY FOR THE SPECIFIC PROJECT AND SHALL BE VOID IF ANY OTHER DRAWING, SPECIFICATION OR CONTRACT IS USED WITHOUT THE WRITTEN AUTHORIZATION AND SIGNATURE OF THE ENGINEER. NO LIABILITY SHALL BE ASSUMED BY THE ENGINEER FOR ANY DAMAGE OR LOSS OF ANY KIND, INCLUDING BUT NOT LIMITED TO, ARISING FROM THE USE OF THESE DRAWINGS, WHETHER OR NOT SUCH DAMAGE OR LOSS IS CAUSED BY THE NEGLIGENCE OF THE ENGINEER OR ANY OTHER PARTY.

SHEET TITLE

SITE PHOTOMETRIC ANALYSIS

ISSUE DATE: **XX-XX-2021**

DRAWN: **CHECKLIST?**

APPROVED: **CHECKLIST?**

DRAWING NUMBER

E-1.2

SHEET 1 OF 1

21001-15