



CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE

AGENDA

Regular Meeting of the Fort Pierce Technical Review Committee to be held Thursday, March 17, 2022 at 10:00 a.m. in the William D. Dannahower, 2nd Floor Conference Room, 100 North U.S. Highway 1.

1. **Call to Order**
2. **New Business:**
 - a. Minor Site Plan Amendment - PNC Bank - 500 Virginia Avenue
 - b. Variance - Lexus Billboard - 5121 S. US Highway 1

Technical Review Committee

2. a.

Meeting Date: 03/17/2022

REQUESTED ACTION

Minor Site Plan Amendment - PNC Bank - 500 Virginia Avenue

LOCATION

500 Virginia Avenue

PCN(s): 2415-343-0001-000-1 and 2415-344-0005-000-2

RESPONSIBLE STAFF

Jennifer Hofmeister-Drew, AICP, LCAM
Planning Director

RECOMMENDATION

n/a

Attachments

TRC agenda item
application and supporting documentation
plans from applicant

Form Review

Form Started By: Jennifer Hofmeister
Final Approval Date: 03/02/2022

Started On: 03/02/2022 07:15 AM



THE SUNRISE CITY

FORT PIERCE
PLANNING DEPARTMENT *Florida*

TO: Technical Review Committee

FROM: Jennifer Hofmeister-Drew, AICP, LCAM, Planning Director

RE: **Technical Review Project- PNC minor site plan amendment- 22-41200002**
500 Virginia Avenue
PCN: 2415-343-0001-000-1 and 2415-344-0005-000-2

Meeting Date: March 17, 2022

The above referenced project is being submitted for your review and comment. The applicant is requesting a minor site plan amendment to the surface parking lot to regain lost parking spaces due to the reduction of land resulting from the FDOT right-of-way expansion. The site is currently occupied by a two-(2) story 11,909 square foot building comprising of a PNC Bank, with five (5) drive-thru lanes, and a tax service company.

The subject parcels have a Future Land Use designation of General Commercial (GC) and an underlying Zoning designation of General Commercial Zone (C-3).

Please send all comments to the following emails: jhofmeister@cityoffortpierce.com and arosenthal@cityoffortpierce.com or through interoffice mail to the Planning Department. If you have comments please respond at minimum, two (2) days before the Technical Review Committee Meeting (Tuesday, March 15, 2022).

Please do not hesitate to contact me should you require any additional information at 772-467-3730 or 772-353-9036.

Thank you.

February 22, 2022

City of Fort Pierce Planning Department

100 N. US Highway 1
Fort Pierce, FL 34950

Re: PNC Bank — Pre-Application Comments for December 15, 2021, Pre-Application Meeting

The following is a response to staff comments. Below are the comments along with our responses in bold:

City of Fort Pierce Planning Department

1. A Landscape Plan shall be provided at the time of Application that is signed and sealed by a Florida Registered Landscape Architect pursuant to City Code 123-37, General Landscaping requirements. The Landscape Plan shall include both interior and exterior landscaping.

Response: Landscape Plans have been provided as part of this submission. Please refer to Landscape Sheets, L-1.0, L-1.1, L-2.0, L-2.1, and L-2.2.

2. A completion certification by a landscape architect, cost estimate, and landscape bond pursuant to City Code 123-6 shall be required before the Final Certificate of Occupancy is approved for the site.

Response: Acknowledged. Completion certification (by a landscape architect), cost estimate, and landscape bond will be provided before the Final Certificate of Occupancy is approved.

3. Stop signs, stop bars, and directional arrow striping will need to be placed in proper intersection locations throughout the property.

Response: Please see attached sheet C-8.0 for the Pavement Marking & Signage Plan showing placement of proposed and existing stop signs, stop bars, and directional arrow striping

4. An intake meeting is required for all application submittals and the meeting must be scheduled at least one week in advance. To schedule the intake meeting please submit an e-mail with the application and supporting documents as a PDF attachment or a link. Send e-mail to planning_dl@cityoffortpierce.com.

At the intake meeting, it will be determined if the submitted materials meet all the requirements necessary for the department to accept. If the application is missing items, an explanation will be given regarding what is missing and how to correct it. All applications must pass sufficiency review by 5:00 PM on the last Friday of each month to advance to the next month's Technical Review Committee meeting. The deadline to submit all application fees and hard copies for the project is two business days after the sufficiency deadline. Applications cannot move forward to the Technical Review Committee until all fees are paid and hard copies are given.

Please do not prepare any checks or fees until the department has created and produced an invoice. To view fees, click on the public notice fees and fee schedule links below. All hard copies can be mailed to 100 N. US Highway 1, Ft. Pierce, FL 34950, Attention: Planning Department, or schedule an appointment with your assigned planner to drop off at City Hall. Lastly, fees can either be paid electronically or by check. If you would like to pay electronically provide the name exactly as it appears on your credit card and an email address to send the invoice link to. Checks can either be mailed or dropped off with the hard copies of the submittal.

The application submittal must include PDF documents on a CD or USB Drive.

Response: Acknowledged. An intake meeting has been submitted digitally. Once an invoice is provided, a check will be provided along with hard copies of the submittal.

5. Prior to submitting your applications, please schedule an in-take meeting to ensure that your application packet is complete. **During Submittal, your Pre-Application Comments must be attached with all submitted items below checked off.** We Do Not Collate Application Submittals for Applicants. Please ensure that your application packet is complete, in order, and whole when submitting. Include digital copies on a CD or Flash drive. Ensure that there are NO signature security-locked digital files. We only need 4 hard copies.

Submit the following along with your application(s) sets:

- ✓ Notarized Development Review Application (Minor Site Plan Amendment)
- ✓ St. Lucie County Property Record Card
- ✓ Warranty Deed & Legal Description
- ✓ Statement for Need: (Follow Detailed Description on Application) (in WORD format only)
- ✓ General Location Map
- ✓ Current Survey
- ✓ Landscaping Plan

Response: Please see submitted documents and Plan Sheets for the above listed supporting documents.

Fort Pierce Engineering Department

1. There is no objection to the addition of the five parking spaces located on the north side of the project.

Response: Acknowledged

2. The addition of the three parking spaces on the east side of the property would not be recommended for approval by this department based on the fact that this is a heavily traveled corridor and the addition of paved parking would reduce the landscape strip down from the required 10' to 5'.

Response: Existing site conditions does not provide a landscape buffer along US-1. The proposed site is acceptable per discussion at the pre-application meeting Dec. 15, 2021.

3. 26' is the minimum drive aisle width when abutting perpendicular parking. Drive aisles which do not service perpendicular parking may be 24' in width.

Response: The proposed site is acceptable per discussion at the pre-application meeting Dec. 15, 2021.

Fort Pierce Building Department

No Comments Received

St. Lucie County Planning Department

No Comments Received

St. Lucie County PW/Engineering

No Comments Received

City Clerk Office

No Comments

Code Enforcement

No Comments

Fort Pierce Utilities Authority

Electric & Gas Eng: Approved

1. Electric service – Existing and active.

Gas service is available to the site (from the west). Please provide a copy of the gas riser diagram with the anticipated load (if developer is interested in natural gas service to the propose complex). For more information and incentive available, please contact Ana Johnson.

Response: Natural gas service is not requested at this time.

St. Lucie County Fire District

No Comments Received (Please Contact)

Florida Department of Transportation

Additional comments may be forthcoming.

1. A Pre-Application meeting with FDOT is necessary to review the proposed site plans, to establish the general location and design of connection(s) to the State Highway System, and to determine traffic study requirements. The applicants should contact FDOT to request access Pre-Application meetings. See link below to the Access Pre-application Meeting request form.

Response: FDOT Pre-Application meeting is actively being coordinated and scheduled for Feb 24.

Should you have any questions, please do not hesitate to contact me at 954-202-7000. Thank you for your time and kind consideration with regards to this matter.

Sincerely,

Ryan Thomas, PE
Thomas Engineering Group

February 22, 2022

City of Fort Pierce
Planning Department
100 N. U.S. Highway 1
Fort Pierce, FL 34950

**RE: PNC Bank – 500 Virginia Avenue, Fort Pierce
Statement for Need
Folio #'s: 2415-343-0001-000-1 & 2415-344-0005-000-2**

To whom it may concern,

We are requesting a Development Review for a Minor Site Plan Amendment for the existing site located at 500 Virginia Avenue in the City of Fort Pierce. The site is currently occupied by a two-story 11,909 square-foot gross-floor area building comprising of a PNC Bank, with five (5) drive-thru lanes, and a tax service company.

After FDOT acquisition of 2,414 SF of land along US-1, to widen U.S. 1 for a right turn lane, the site has been negatively impacted through the loss of eight of the thirty-nine total existing parking spaces. As such, only thirty-one spaces will be provided for the existing building. Using the required parking ratios for finance establishments, per Section 125-315.(d).(2).e of Fort Pierce Code of Ordinances, the required parking is forty spaces, well below the thirty-one spaces that will be provided.

The proposed project will modify sections of the existing vehicular pavement areas to regain these eight lost spaces. The proposed site modifications will include the implementation of three (3) and five (5) parallel parking spaces along the east and north side of the property, respectfully. To implement three parallel spaces along the east, approximately 109 linear feet of new type 'D' curbing and 623 SF of asphalt pavement will be constructed. Additionally, these modifications will provide a five-foot-wide landscape buffer along US-1. The five parallel spaces along the north portion of the property will be implemented through the restriping of the existing drive aisle.

Should you have any questions or require any additional information, please do not hesitate to contact me at (954) 202-7000.

Sincerely,

Ryan O. Thomas P.E.
Project Manager



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

DEVELOPMENT REVIEW

Property Information

Property address or Location 500 Virginia Ave, Fort Pierce, FL 34982

Parcel ID #(s) 2415-343-0001-000-1 & 2415-344-0005-000-2

Project description Redevelopment of existing parking lot to regain lost parking spaces due to loss of land from FDOT RW expansion.

Application Type

Site Plan Conditional Use w/New Construction Conceptual Development Plan

Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: 11,909 Site Acreage: 1.39

Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Harbor Federal Savings Bank %National Tax Search LLC

Property Owner(s)

130 S Jefferson St Ste 300

Street Address

Chicago IL 60661

City State Zip

(772) 293-6174

Phone Number

jimmie.mcourter@pnc.com

Email Address

Thomas Engineering Group, LLC

Applicant/Representative, Title, Company

6300 NW 31st Avenue

Street Address

Fort Lauderdale FL 33309

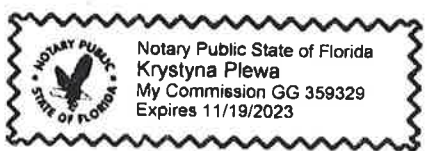
City State Zip

(954) 202-7000

Phone Number

rthomas@thomaseg.com

Email Address



Krystyna Plewa 2/23/22

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgment of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

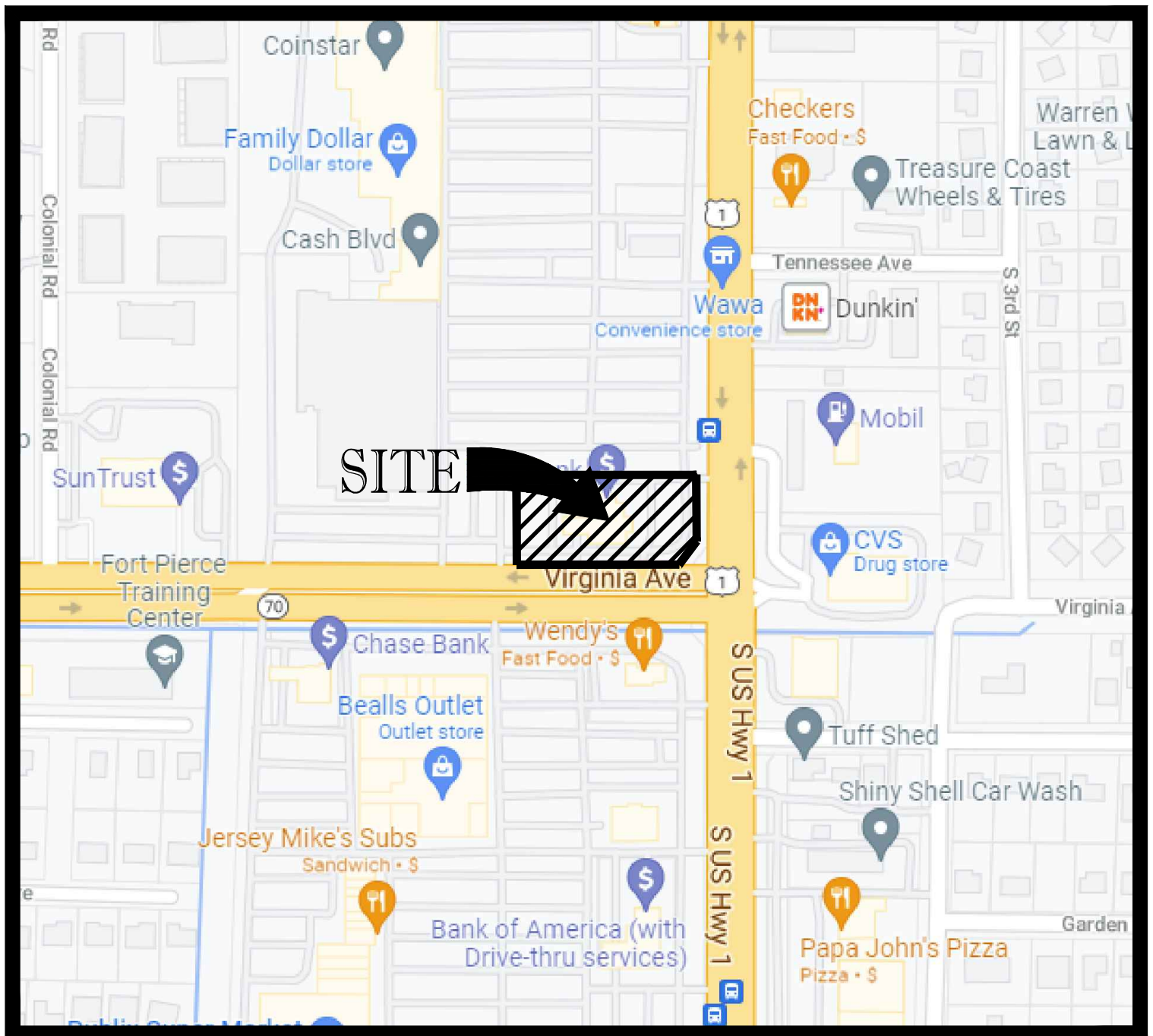
CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Review>

LOCATION MAP

1"=500'



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PNC BANK
500 VIRGINIA AVE. FORT PIERCE, FL

LEGAL DESCRIPTION

THE WEST 150 FEET OF THE EAST 365 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET TOGETHER WITH THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SE 1/4 OF SECTION 15. TOWNSHIP 35 SOUTH, RANGE 40 EAST, LYING WEST OF THE RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO.1) IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA.

AS RECORDED IN OFFICIAL RECORD BOOK 179, PAGE 104, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

LESS AND EXCEPTING THE FOLLOWING:

THAT PART OF THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST (LYING WEST OF THE WEST RIGHT OF WAY LINE OF SOUTH FOURTH STREET U.S. HIGHWAY NO.1), SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SET BOAT SPIKE WHICH IS LOCATED AT THE INTERSECTION OF BASELINE OF SURVEY FOR STATE ROAD 70 (VIRGINIA AVENUE) WITH THE BASELINE OF SURVEY FOR STATE ROAD 5 (U.S.1)(SOUTH FOURTH STREET); THENCE SOUTH 89°58'32" WEST ALONG SAID BASELINE IN STATE ROAD 70 A DISTANCE OF 75.10 FEET; THENCE NORTH 00°01'28" WEST A DISTANCE OF 50 FEET TO THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70 (VIRGINIA AVENUE) AND THE POINT OF BEGINNING; THENCE NORTH 36°55'36" EAST A DISTANCE OF 50.52 FEET; THENCE NORTH 89°44'44" EAST A DISTANCE OF 4.37 FEET TO THE WESTERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 5; THENCE SOUTH 00°15'46" EAST ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE A DISTANCE OF 40.39 FEET TO THE SAID NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70; THENCE SOUTH 89°58'32" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 34.90 FEET TO THE POINT OF BEGINNING. AS RECORDED IN OFFICIAL RECORDS BOOK 684, PAGE 1334, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

Property Identification

Site Address: 500 VIRGINIA AVE
 Sec/Town/Range: 15/35S/40E
 Parcel ID: 2415-343-0001-000-1
 Jurisdiction: Fort Pierce

Use Type: 1000
 Account #: 24496
 Map ID: 24/15S
 Zoning: General Co

Ownership

Harbor Federal Savings + Loan
 %National Tax Search LLC
 130 S Jefferson St Ste 300
 Chicago, IL 60661

Legal Description

15 35 40 W 150 FT OF E 365 FT OFS 305 FT LYG W OF US 1-LESS SLY
 130 FT FOR RD AND CANAL- (40B)

Current Values

Just/Market Value: \$118,100
 Assessed Value: \$118,100
 Exemptions: \$0
 Taxable Value: \$118,100



Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 0.6
 Land Size (SF): 26,250

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
 Download TRIM for this parcel: [Download PDF](#)

Building Design Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

Sources/links:

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Jan 1, 1900					\$0

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: N/A	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 0%

Electric:
 Heat Type:
 Heat Fuel:
 Heated %: N/A%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors:
 Sprinkled %: 0%



*Image
 or
 Sketch
 unavailable
 for display*

Sketch Area Legend

Sub Area Description Area Fin. Area Perimeter

Special Features and Yard Items

Type Qty Units Year Blt

Current Year Values


Current Values Breakdown

Building: \$0
 Land: \$118,100
 Just/Market: \$118,100
 Ag Credit: \$0
 Save Our Homes or 10% Cap: \$0
 Assessed: \$118,100
 Exemption(s): \$0
 Taxable: \$118,100

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2006	0041	11.8	Fort Pierce Stormwater Charge	\$814.20

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2021	\$118,100	\$118,100	\$0	\$118,100
2020	\$118,100	\$118,100	\$0	\$118,100
2019	\$118,100	\$118,100	\$0	\$118,100
2018	\$118,100	\$118,100	\$0	\$118,100

Permits

Number	Issue Date	Description	Amount	Fee
9900001111	Oct 11, 1999	Unknown	\$3,500	\$0
F89000580S	Jun 1, 1989	Unknown	\$100	\$100
F910001225	Sep 18, 1991	Unknown	\$16,000	\$16,000
F97-00231A	Mar 20, 1997	Unknown	\$20,000	\$20,000
F97-000231	Mar 21, 1997	Unknown	\$15,000	\$15,000
F99-000797	Jul 1, 1999	Unknown	\$56,000	\$56,000
F0200001068	Jul 17, 2002	Unknown	\$10,000	\$225
SW20058	May 2, 2005	Unknown	\$0	\$150
IRR200519	Jan 10, 2006	Unknown	\$9,600	\$171
CM20052	Jan 1, 2006	Unknown	\$0	\$0
TENT20063	Feb 17, 2006	Unknown	\$0	\$0
TENT200612	Apr 18, 2006	Unknown	\$0	\$75
IC20063	May 11, 2006	Unknown	\$75,260	\$969
BP09-1123	Sep 11, 2009	Alterations/Remodeling	\$1,500	\$35
BP09-1457	Sep 14, 2009	Alterations/Remodeling	\$400	\$50
BP09-1122	Jul 21, 2009	Alterations/Remodeling	\$7,600	\$135
BP09-1134	Jul 21, 2009	Alterations/Remodeling	\$1,500	\$100
BP11-2958	Dec 19, 2011	Electric	\$108,000	\$1,446
BP11-3031	Feb 1, 2012	Concrete	\$1,000	\$164
BP11-2958	Nov 22, 2013	Electric	\$108,000	\$1,279
BP14-0855	Apr 25, 2014	Electric	\$13,000	\$136
BP17-0296	Jan 27, 2017	Air Conditioning Only	\$51,372	\$0
BP17-0494	Feb 21, 2017	Electric	\$800	\$0
BP20-0611	Sep 16, 2020		\$225,000	\$0
BP20-3592	Oct 27, 2020	Air Conditioning Only	\$5,365	\$0

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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Property Identification

Site Address: 2225 S US HIGHWAY 1
 Sec/Town/Range: 15/35S/40E
 Parcel ID: 2415-344-0005-000-2
 Jurisdiction: Fort Pierce

Use Type: 2300
 Account #: 24500
 Map ID: 24/15S
 Zoning: General Co

Ownership

Harbor Federal Savings Bank
 %National Tax Search LLC
 130 S Jefferson St Ste 300
 Chicago, IL 60661

Legal Description

15 35 40 E 215 FT OF N 175 FT OFS 305 FT OF THAT PART OF SE 1/4 OF SW 1/4 LYG W OF US 1-LESS ADDN RD R/W AS IN OR 684-1334- (OR 2125-1177)

Current Values

Just/Market Value: \$2,351,700
 Assessed Value: \$2,351,700
 Exemptions: \$0
 Taxable Value: \$2,351,700



Total Areas

Finished/Under Air (SF): 11,818
 Gross Sketched Area (SF): 13,635
 Land Size (acres): 0.79
 Land Size (SF): 34,418

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
 Download TRIM for this parcel: [Download PDF](#)

Building Design Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

Sources/links:

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Dec 20, 2004	2125 / 1177	XX01	WD	National Oil And Gas Distbr In	\$1,000,000
Apr 14, 2004	1948 / 2860	XX00	SP	Amresco Independence Funding	\$640,000
May 20, 2003	1717 / 0202	XX01	CT	VGM Enterprises Inc	\$410,000
Jul 12, 2000	1313 / 2256	XX01	WD	Reppa Richard E	\$800,000
Jan 5, 1999	1196 / 0144	XX01	WD	Chevron Usa Inc	\$641,000

Building Information (1 of 1)

Finished Area: 11,818 SF

Gross Sketched Area: 13,635 SF

Exterior Data

View: Roof Cover: Roll Comp Roof Structure: BarJst/Rigid
 Building Type: BANK Year Built: 2006 Frame:
 Grade: Y_C Effective Year: 2006 Primary Wall: CB Stucco

Story Height: 2 Story

No. Units: 2

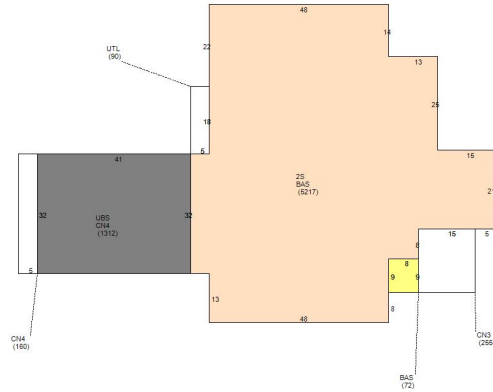
Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 100%

Electric: MAXIMUM
 Heat Type: FredHotAir
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Tile-Ceramic
 Sprinkled %: 100%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	5217	5217	332
BAS	BASE AREA	5289	5289	366
CN3	CANOPY	255	0	64
CN4	CANOPY	1472	0	220
UBS	UPPER BASE AREA/+1	1312	1312	146
UTL	UTILITY ROOM	90	0	46

Special Features and Yard Items

Type	Qty	Units	Year Blt
ELEVATOR	1	3500	2006
CONCRETE LOW	1	850	2006
6FT CB Wall	1	39	2006
CEMENT CURB	1	1070	2006
SINGLE LIGHT	1	5	2006
DOUBLE LIGHT	1	3	2006
ASP2 LOW	1	39095	2006

Current Year Values

Current Values Breakdown


Building:	\$2,119,400
Land:	\$232,300
Just/Market:	\$2,351,700
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$2,351,700
Exemption(s):	\$0

Current Year Exemption Value Breakdown

Taxable: \$2,351,700

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	14.6	Fort Pierce Stormwater Charge	\$1,007.40

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office 

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2021	\$2,351,700	\$2,351,700	\$0	\$2,351,700
2020	\$2,332,300	\$2,174,394	\$0	\$2,174,394
2019	\$2,334,400	\$1,976,722	\$0	\$1,976,722
2018	\$2,416,100	\$1,809,568	\$0	\$1,809,568

Permits

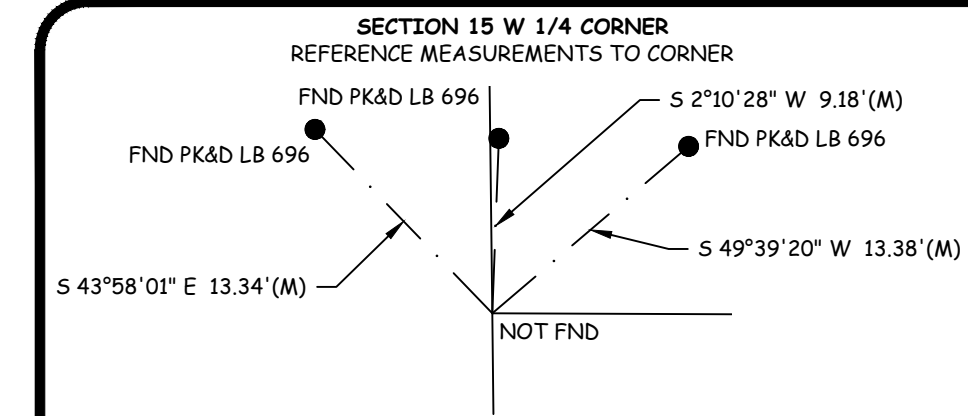
Number	Issue Date	Description	Amount	Fee
F92-001421	Dec 14, 1992	Additions to existing construction	\$50,000	\$50,000
F92-01421A	Dec 14, 1992	Demolition	\$2,000	\$2,000
F94-1133	Sep 26, 1994	Alterations/Remodeling	\$5,000	\$5,000
F95-000740	Jul 12, 1995	Demolition	\$100	\$100
DM200516	Jan 28, 2005	Demolition	\$44,000	\$100
FD20059	May 2, 2005	Foundation	\$200,000	\$150
CM20052	Jun 14, 2005	Commercial New Construction	\$1,100,000	\$17,975
BP20-0611	Mar 25, 2020	Electric	\$225,000	\$0

Notice: This does not necessarily represent all the permits for this property.

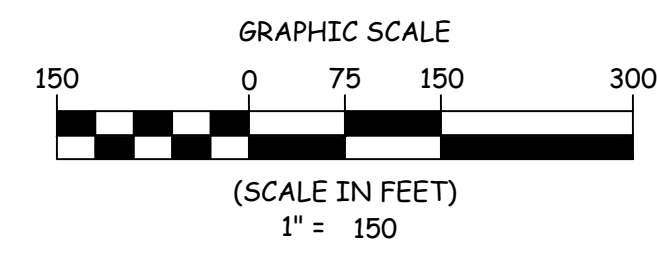
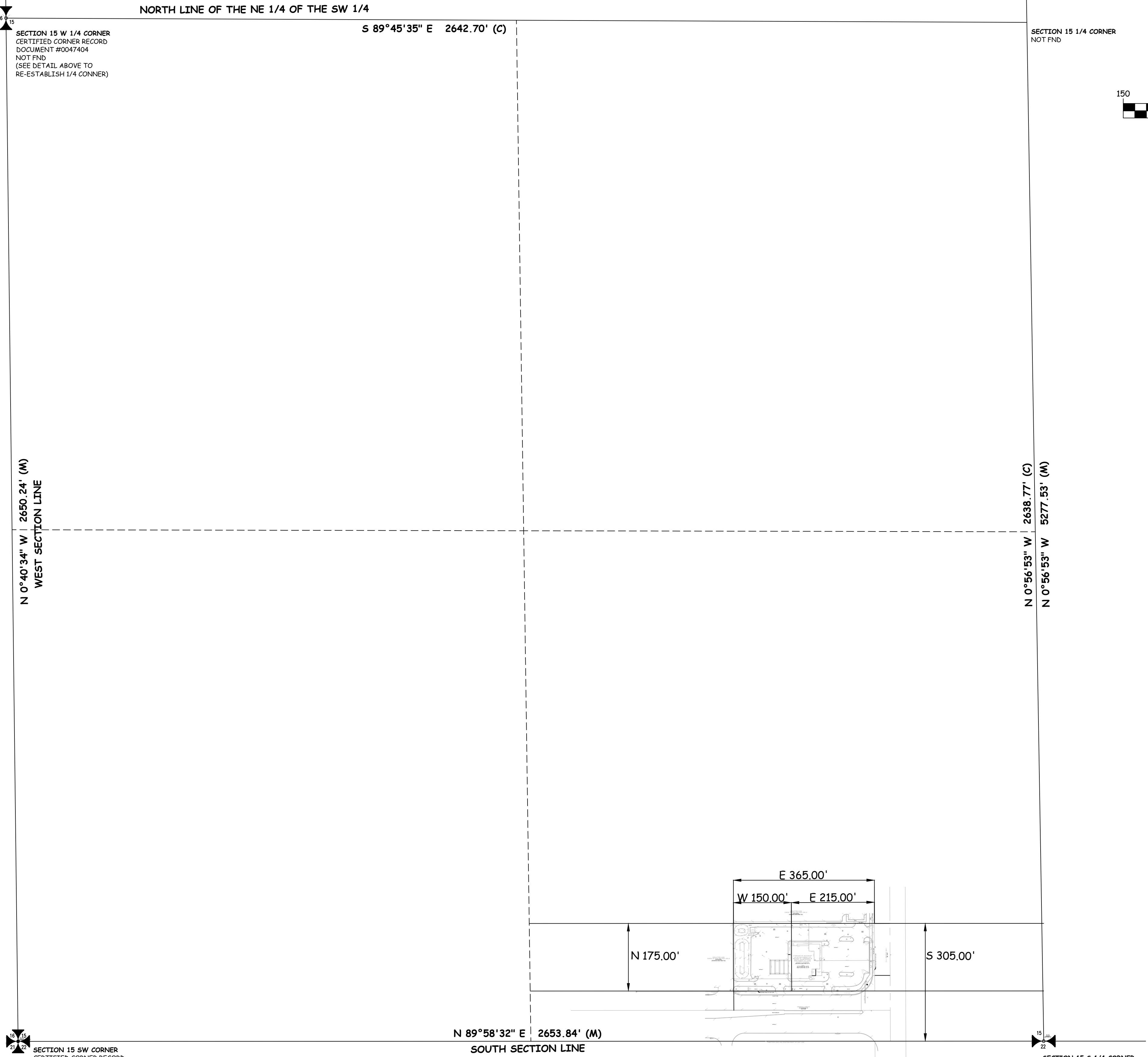
Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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SECTION DETAIL



LEGAL DESCRIPTION:
 THE WEST 150 FEET OF THE EAST 365 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET TOGETHER WITH THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SE 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LYING WEST OF THE RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO.1) IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA.

AS RECORDED IN OFFICIAL RECORD BOOK 179, PAGE 104, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

LESS AND EXCEPTING THE FOLLOWING:
 THAT PART OF THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST (LYING WEST OF THE WEST RIGHT OF WAY LINE OF SOUTH FOURTH STREET U.S. HIGHWAY NO. 1), SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SET BOAT SPIKE WHICH IS LOCATED AT THE INTERSECTION OF BASELINE OF SURVEY FOR STATE ROAD 70 (VIRGINIA AVENUE) WITH THE BASELINE OF SURVEY FOR STET ROAD 5 (U.S.1)(SOUTH FOURTH STREET); THENCE SOUTH 89°58'32\"/>

ADDRESS: 500 VIRGINIA AVENUE
 FORT PIERCE, FLORIDA 34982

NOTES:
 SUBJECT TO ANY APPLICABLE EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS OF RECORD.

A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN MADE BY THIS OFFICE.

BEARINGS SHOWN HEREON ARE BASED UPON THE NORTHERLY RIGHT OF WAY LINE OF VIRGINIA AVENUE AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, SECTION 94010-2501, SHEET 2 OF 4, DATED 10-08-93. ALL OTHER BEARINGS ARE RELATIVE THERETO.

ELEVATIONS ARE IN FEET AND RELATED TO THE ST. LUCIE COUNTY BENCHMARK NUMBER "D401", HAVING A PUBLISHED ELEVATION OF 23.51 FEET NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88). ALL OTHER ELEVATIONS ARE RELATIVE THERETO.

PROPERTY LIES IN A NON-PRINTED PANEL F.I.R.M. ZONE "X", AS SHOWN ON MAP NUMBER 1211100187K, DATED 02/19/20. FLOOD ZONES ARE APPROXIMATE AS SCALED FROM FLOOD INSURANCE RATE MAPS.

IN ACCORDANCE WITH CHAPTER 5J-17.051, ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.

UTILITIES SHOWN HEREON ARE VISIBLE ABOVE GROUND FEATURES. ADDITIONAL SUBSURFACE UTILITIES AND OR FEATURES MAY EXIST.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY, THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THE EXPECTED USE OF THE SURVEY AND MAP IS COMMERCIAL.

LEGAL DESCRIPTION FROM WARRANTY DEED, AS RECORDED IN OFFICIAL RECORD BOOK 2125, PAGE 1177, PUBLIC RECORDS OF ST LUCIE COUNTY, FLORIDA, AND BY SURVEYOR.

REFERENCE SURVEY BY BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC. DATED 11-20-98, JOB NO. 2539

COORDINATES WERE ESTABLISHED BY GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REAL TIME KINEMATICS (RTK) USING FLORIDA DEPARTMENT OF TRANSPORTATION - FLORIDA PERMANENT REFERENCE NETWORK (FDOT - FPRN) WITH REDUNDANCY OF MEASUREMENTS PERFORMED. ALL HORIZONTAL ACCURACY IS 0.05 FOOT PLUS OR MINUS.

ELEVATIONS WERE ESTABLISHED BY GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REAL TIME KINEMATICS (RTK) USING FLORIDA DEPARTMENT OF TRANSPORTATION - FLORIDA PERMANENT REFERENCE NETWORK (FDOT - FPRN) WITH REDUNDANCY OF MEASUREMENTS PERFORMED. ALL VERTICAL ACCURACY IS 0.10 FOOT PLUS OR MINUS.

LOT CONTAINS 63,081 SQUARE FEET.

LAST DATE OF DATA ACQUISITION: 01-18-22.

BOUNDARY AND TOPOGRAPHIC SURVEY FIELD DATE: 01-18-22

CERTIFIED TO: THOMAS ENGINEERING GROUP, LLC

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON JANUARY 18, 2022. I FURTHER CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY MEETS THE STANDARD OF PRACTICE AS SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.

ROBERT F. KEMERSON
 PROFESSIONAL SURVEYOR AND MAPPER
 STATE OF FLORIDA LICENSE NO. 6285

VELCON ENGINEERING & SURVEYING, LLC
 CERTIFICATE OF AUTHORIZATION NO. LB 8206
 1449 NW COMMERCE CENTRE DRIVE
 FORT ST. LUCIE, FLORIDA 34953
 PHONE (772) 879-0477
 Web Site: www.velcongroup.com

BOUNDARY AND TOPOGRAPHIC SURVEY
 PREPARED FOR THOMAS ENGINEERING GROUP, LLC
 LYING IN SECTION 15, TOWNSHIP 35S, RANGE 40E
 ST. LUCIE COUNTY, FLORIDA

NO.	DATE	REVISIONS

DRAWN BY:
 HN
 APPROVED BY:
 R. KEMERSON
 SCALE:
 1" = 150'
 DATE:
 01/27/22
 FIELD BOOK/PAGES
 PLANS

JOB NUMBER:
21-2354

SHEET:
1 OF 2

PLEASE RETURN TO CH BOX: 76
TREASURE COAST ABSTRACT/FILE NO: 04-1294

This Instrument Prepared by:
Frank H. Fee, III, Esquire
Fee, Koblegard & DeRoss
401 South Indian River Drive
Fort Pierce, Florida 34950

Return to:

WARRANTY DEED

THIS WARRANTY DEED, made this 20th day of December, 2004, by

NATIONAL OIL AND GAS DISTRIBUTORS, INC., a Florida corporation

hereinafter called the Grantor,
whose address is:

1976 82nd Avenue
Vero Beach, FL 32966

to

HARBOR FEDERAL SAVINGS BANK, a United States corporation

hereinafter called the Grantee:
whose address is:

Post Office Box 249
Fort Pierce, FL 34954

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to the instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the contest so admits or requires.)

WITNESSETH, That the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee all that certain land, situate in St. Lucie County, Florida, viz:

See Exhibit "A" attached hereto and made a part hereof.

SUBJECT TO reservations, restrictions and rights-of-way of Public Record.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2003.

IN WITNESS WHEREOF, the said Grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:

NATIONAL OIL AND GAS DISTRIBUTORS, INC.,
a Florida corporation

Jacquelyn Brewer
Witness Signature
JACQUELYN BREWER
Printed Name

By: Patrick Copeland PRESIDENT
Patrick Copeland, President

Amanda Stopkowitz
Witness Signature
AMANDA STOPKOWITZ
Printed Name

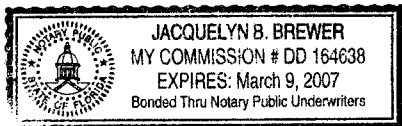
(CORPORATE SEAL)

STATE OF FLORIDA
COUNTY OF ST. LUCIE

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared Patrick Copeland, known to me to be the President of NATIONAL OIL AND GAS DISTRIBUTORS, INC., the corporation in whose name the foregoing instrument was executed, and that he acknowledged executing the same for such corporation, freely and voluntarily, under authority duly vested in him by said corporation, and that the seal affixed thereto is the true corporate seal of said corporation, and an oath was not taken. (Check one:) Said persons is personally known to me. Said person provided the following type of identification: FLORIDA DRIVER'S LICENSE

Witness my hand and official seal in the County and State last aforesaid this 20th day of DECEMBER, 2004.

NOTARY RUBBER STAMP SEAL



Jacquelyn Brewer
Notary Signature
JACQUELYN BREWER
(Print, Type or Stamp Name of Notary,
Commission Number and Commission
Expiration Date)

EXHIBIT "A"**LEGAL DESCRIPTION**

The East 215 feet of the North 175 feet of the South 305 feet of that part of the SE 1/4 of the SW 1/4 of Section 15, Township 35 South, Range 40 East, lying West of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) in the City of Fort Pierce, St. Lucie County, Florida.

As recorded in Official Record Book 179, page 104, of the Public Records of St. Lucie County, Florida.

LESS AND EXCEPTING THE FOLLOWING:

That part of the East 215 feet of the North 175 feet of the South 305 feet of that part of the Southeast Quarter of the Southwest Quarter of Section 15, Township 35 South, Range 40 East (lying West of the West right of way line of South Fourth Street U.S. Highway No. 1), said part being more particularly described as follows:

Commence at the Set Boat Spike which is located at the intersection of Baseline of Survey for State Road 70 (Virginia Avenue) with the baseline of Survey for State Road 5 (U.S.1) (South Fourth Street); thence South 89°58'32" West along said baseline in State Road 70 a distance of 75.10 feet; thence North 00°01'28" West a distance of 50.00 feet to the Northerly existing right of way line for State Road 70 (Virginia Avenue) and the Point of Beginning; thence North 36°55'36" East a distance of 50.52 feet; thence North 89°44'44" East a distance of 4.37 feet to the Westerly existing right of way line for State Road 5; thence South 00°15'46" East along said Westerly existing right of way line a distance of 40.39 feet to the said Northerly existing right of Way line for State Road 70; thence South 89°58'32" West along said Northerly Right of Way line a distance of 34.90 feet to the point of beginning. As recorded in Official Records Book 684, page 1334, of the Public Records of St. Lucie County, Florida.

SITE MODIFICATION DRAWINGS FOR:

PNC BANK

500 VIRGINIA AVENUE

FORT PIERCE, FL

SECTION 15, TOWNSHIP 35S, RANGE 40E

FOR

PNC BANK

THOMAS
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

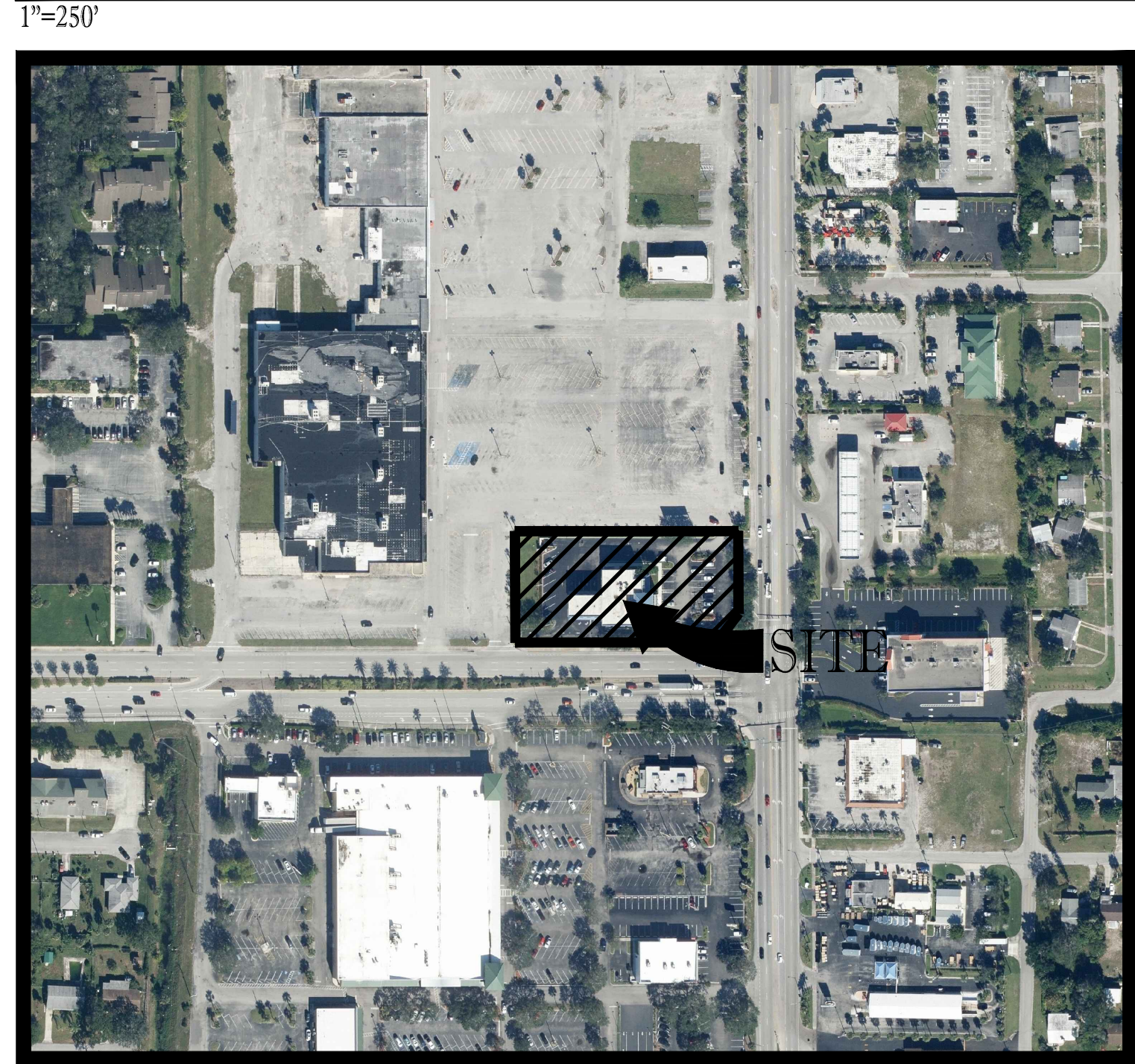
4850 W. KENNEDY BLVD.
SUITE 100
TAMPA, FL 33609
P: 813-778-4100

125 W. INDIANTOWN RD.
SUITE 100
JUPITER, FL 33488
P: 561-203-7003

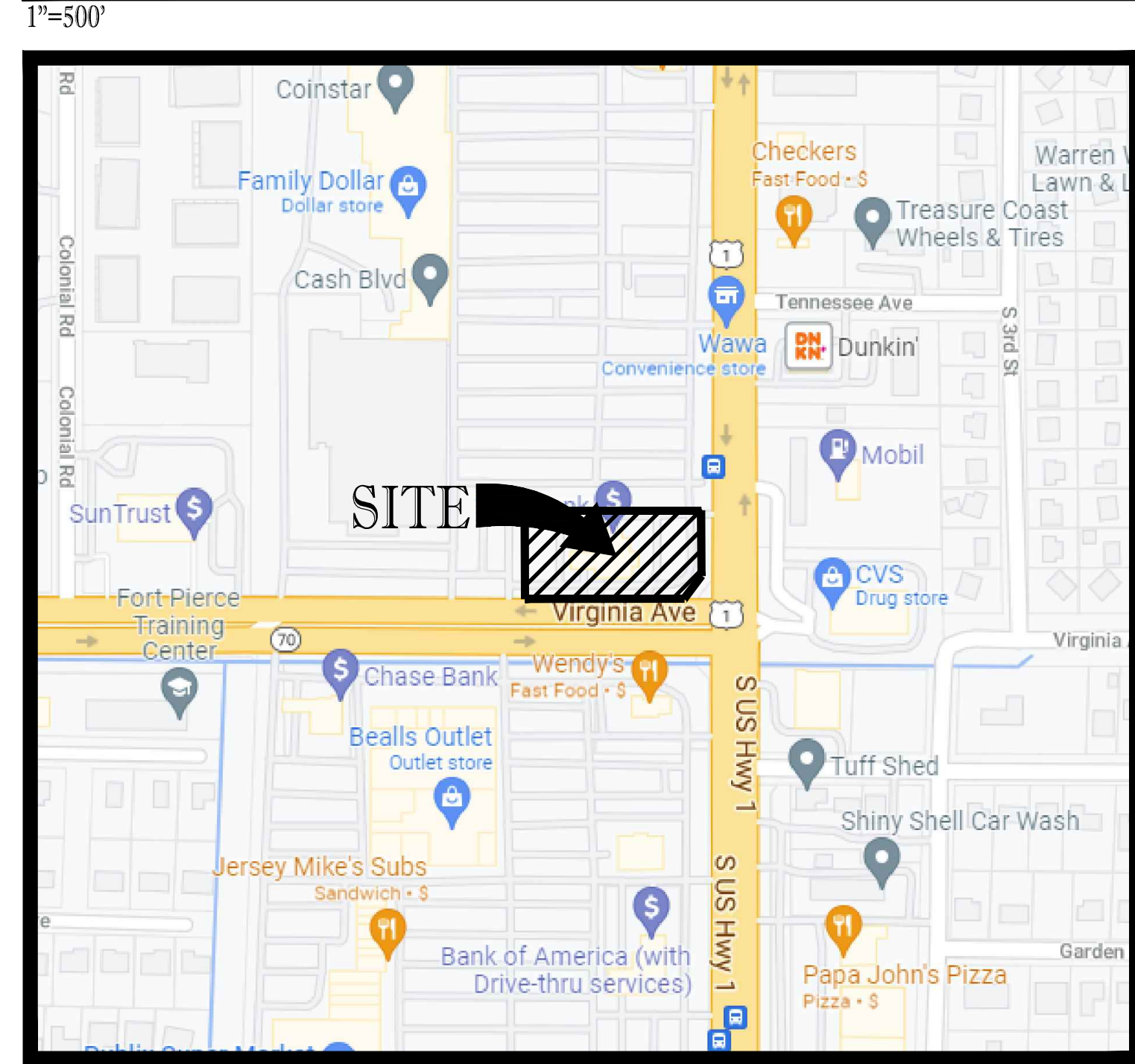
THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN AND PROVISIONS AND SHALL NOT BE CONSIDERED AS A CONTRACT OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION FROM THOMAS ENGINEERING GROUP, LLC. ONLY APPROVED, SIGNED AND SEALED DRAWINGS SHALL BE USED FOR CONSTRUCTION.

REVISIONS			
REV.	DATE	COMMENT	BY

VICINITY \ AERIAL MAP



LOCATION MAP



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GENERAL NOTES	C-2.0
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PAVEMENT MARKING & SIGNAGE PLAN	C-7.0
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LANDSCAPE PLAN & PLANTING SCHEDULE	L-2.0
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PLANS BY VELCON ENGINEERING & SURVEYING, LLC	
BOUNDARY AND TOPOGRAPHIC SURVEY	2 OF 2

Sunshine 811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

FORT PIERCE DEVELOPMENT REVIEW MINOR AMENDMENT SUBMITTAL SET

PROJECT No.: F210111
DRAWN BY: JFV
CHECKED BY: ROT
DATE: 02/10/2022
CAD I.D.: F210111 COVER

500 VIRGINIA AVENUE

FOR

PNC BANK

FORT PIERCE
FLORIDA

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

RYAN OSCAR THOMAS

PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 53891

February 23, 2022
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-1.0

PROJECT CONTACTS

OWNER HARBOR FEDERAL SAVINGS BANK % NATIONAL TAX SEARCH, LLC 130 S. JEFFERSON STREET, SUITE 300 CHICAGO, IL 60661-5763	CIVIL ENGINEER THOMAS ENGINEERING GROUP, LLC RYAN THOMAS, P.E. 6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PHONE: 954.202.7000 FAX: 954.202.7070 EMAIL: RTHOMAS@THOMASEG.COM	SURVEYOR VELCON ENGINEERING & SURVEYING, LLC ROBERT KEMERSON 1449 N.W. COMMERCE CENTRE DRIVE PORT ST. LUCIE, FL 34953 PHONE: 772.879.0477 EMAIL: INFO@VELCONFL.COM
APPLICANT THE PNC FINANCIAL SERVICES GROUP JIMMIE MCCURTER 5493 N.W. STREET JAMES DRIVE PORT SAINT LUCIE, FL 34983 PHONE: 772.293.6174 EMAIL: JIMMIE.MCCURTER@PNC.COM	LANDSCAPE ARCHITECT THOMAS ENGINEERING GROUP, LLC MICHAEL GROSSWIRTH, PLA, ASLA, ISA 6300 NW 31ST AVENUE FORT LAUDERDALE, FL 33309 PHONE: 954.202.7000 FAX: 954.202.7070 EMAIL: MCGROSSWIRTH@THOMASEG.COM	

PREPARED BY

THOMAS
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

6300 NW 31ST AVENUE
FT. LAUDERDALE, FL. 33309

PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

LEGAL DESCRIPTION:

THE WEST 150 FEET OF THE EAST 355 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET TOGETHER WITH THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SE 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LYING WEST OF THE RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA.

AS RECORDED IN OFFICIAL RECORD BOOK 179, PAGE 104, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

LESS AND EXCEPTING THE FOLLOWING:

THAT PART OF THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST (LYING WEST OF THE WEST RIGHT OF WAY LINE OF SOUTH FOURTH STREET U.S. HIGHWAY NO. 1), SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SET BOAT SPIRE WHICH IS LOCATED AT THE INTERSECTION OF BASELINE OF SURVEY FOR STATE ROAD 70 (VIRGINIA AVENUE) WITH THE BASELINE OF SURVEY FOR STATE ROAD 5 (U.S. 1) (SOUTH FOURTH STREET); THENCE SOUTH 89°58'32" WEST ALONG SAID BASELINE IN STATE ROAD 70 A DISTANCE OF 75.10 FEET; THENCE NORTH 00°01'28" WEST A DISTANCE OF 50 FEET TO THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70 (VIRGINIA AVENUE) AND THE POINT OF BEGINNING; THENCE NORTH 36°55'36" EAST A DISTANCE OF 50.52 FEET; THENCE NORTH 89°44'44" EAST A DISTANCE OF 4.37 FEET TO THE WESTERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 5; THENCE SOUTH 00°15'46" EAST ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE A DISTANCE OF 40.39 FEET TO THE SAID NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70; THENCE SOUTH 89°58'32" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 34.90 FEET TO THE POINT OF BEGINNING. AS RECORDED IN OFFICIAL RECORDS BOOK 684, PAGE 1334, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

Printed on Wednesday, February 23, 2022, 4:46 PM by Eric Jackson

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS PLANS AND SHALL BE CONSIDERED PART OF THESE PLANS:

RECORD SURVEY PREPARED BY VELCON ENGINEERING & SURVEYING, INC., DATED 01/27/2022

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

2. ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE 42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO THOMAS ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THOMAS ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER OF ANY WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.

9. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT WITH THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.

11. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

12. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS. IN CONSTRUCTION OF ANY CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/CONFLICTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BE RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME THOMAS ENGINEERING, AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH THOMAS ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS THOMAS ENGINEERING AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

19. THOMAS ENGINEERING WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, AND CONSTRUCTION SAFETY COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THOMAS ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT THOMAS ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THOMAS ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM ITS CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION. IN WRITING, BY THE CONTRACTOR. THOMAS ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

D. TESTINGS:

- AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
- AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.
- MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT. NO VISIBLE LEAKAGE ALLOWED.
- SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED AND ALL LINES SHALL BE T.V. INSPECTED.
- SANITARY SEWER SHALL BE TELEVIEWED AND LAMPED AT DEVELOPER'S EXPENSE PRIOR TO FINAL ACCEPTANCE. OWNER / CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO CERTIFICATION TO ANY AGENCY.
- VISIBL INFILTRATION LEAKAGE INTO MANHOLES AND SEWER PIPE SHALL NOT BE PERMITTED.

WATER DISTRIBUTION AND/OR SANITARY SEWER FORCE MAIN SYSTEM

A. GENERAL:

- NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS, FOR THE WATER AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE APPLICABLE UTILITY AND HEALTH DEPARTMENTS.
- BEDDING AND INITIAL BACKFILL FOR MAINS SHALL BE SAND WITH NO ROCKS LARGER THAN 1" IN DIAMETER.
- USE "DETECTOR" TAPE ON ALL PVC MAINS (18" ABOVE), AND USE "NON-DETECTO" TAPE ON ALL D.I.P. MAINS (18" ABOVE).
- A SIX (6) FOOT HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER MAINS AND OBSTRUCTIONS (I.E. CATCH BASINS, POWER Poles, INCLUDING TREES, & WATER MAINS, ETC.).
- NO VALVES, METERS, FIRE HYDRANTS, CLEANOUTS, MANHOLES OR OTHER UTILITY APPURTENANCES ARE TO BE PLACED IN, OR ADJACENT TO, SIDEWALKS, CURBS, PARKING SPACES OR OTHER SUCH SITE FEATURES SO AS TO PRESENT A HAZARD OR RESTRICT THE MAINTENANCE OR OPERATION OF THE UTILITY INFRASTRUCTURE.

B. MATERIALS:

- DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 UP TO 12" SIZE & CLASS 51 FOR 14" AND LARGER WITH INTERIOR CEMENT LINING AND BITUMINOUS COATED OUTSIDE. WATER MAIN & EPOXY LINED & COATED FORCE MAINS MANUFACTURED IN ACCORDANCE WITH ANSII/AWWA C115/A21 51-91 OR LATEST REVISION. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 350 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PREPARED TO MEET THE REQUIREMENTS OF ANSII/AWWA C900-99 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE O.D. (PVC ON-SITE ONLY).
- FITTINGS FOR MAINS 4" AND LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO ANSII/AWWA C110/A21 10-93 OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS. ALL FITTINGS MUST BE GALVANIZED AND SEAL COATED WITH THE SAME MATERIALS AS THE PIPE & USE MEGALUG SERIES 1100 RESTRAINED JOINT ADAPTERS.
- VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED MOUNTED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSI/AWWA C508-97 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.
 - GATE VALVES 4" AND LARGER SHALL BE MUELLER A-2360-20, RESILIANT SEATED GATE VALVES SHALL BE AMERICAN 500/2500 LINE OR CLOW F-6100, CONFORMING TO ANSII/AWWA C508-97.
 - TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.
 - GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.
- TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL PER UTILITY DEPARTMENT.
- VALVE BOXES SHALL BE PERLURION 461-S OR APPROVED EQUAL PER UTILITY DEPARTMENT.
- RETAINER GLANDS SHALL CONFORM TO ANSII/AWWA C111/A21 11-99 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. AND CORROSION RESISTANT. ALL GLANDS MUST BE GALVANIZED AND SEAL PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.
- DRESSER COUPLINGS SHALL BE REGULAR BLOCK COUPLINGS WITH PLAN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90. NO SUBSTITUTIONS ALLOWED.
- FIRE HYDRANTS SHALL HAVE A 5 1/4" MAIN VALVE OPENING. PUMPER NOZZLE TO BE 18" FROM FINISH GRADE. ALL HYDRANTS TO BE INSTALLED WITH THE MAIN VALVE AND CONTROL VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSII/AWWA C502-95 (OR LATEST REVISION). HYDRANTS SHALL BE MUELLER CENTURION OR AMERICAN DANLING. BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OF NEAREST DRIVING LANE FOR FIRE HYDRANTS.
- PIPE COLOR CODING REQUIREMENT SHALL CONFORM TO 62-355.320(21) (b) (3), F.A.C.

C. SERVICE CONNECTION:

- CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.
- CURB STOPS SHALL BE MUELLER OR APPROVED EQUAL.
- METER STOPS SHALL BE 90° LOCK WING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-62. METER STOPS SHALL BE CLOSURE BOTTOM DESIGN AND RESILIENT 'O' RING SEALED AGAINST EXTERNAL LEAKAGE AT THE JOINTS. METER STOP SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.
- SERVICE PIPING SHALL BE TYPE 'K' DRAWN COPPER.

D. INSTALLATION:

- GENERAL:
 - METHOD A PER APPLICABLE UTILITY AND HEALTH DEPARTMENT STANDARDS, WHICH INVOLVES A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW ONE.
 - METHOD B PER APPLICABLE UTILITY AND HEALTH DEPARTMENT STANDARDS, WHICH INVOLVES A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.
 - METHOD C APPROVED BY THE APPLICABLE UTILITY AND HEALTH DEPARTMENT STANDARD, WHICH INVOLVES A TAP WITH ONE GATE VALVE REQUIRED TO BE INSTALLED AT THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE TEST.
- BEDDING:
 - BEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PIPE) FOR ALL PIPE SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEAK ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE CITY OF APPLICABLE UTILITY DEPARTMENT. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.
- CONNECTION OF SERVICES TO BUILDINGS:
 - PLUMBING SHALL BE COORDINATED WITH THE CITY'S BUILDING AND ZONING DEPARTMENT, PLUMBING SECTION.

3. PVC PIPE:

- PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS.
- PVC PIPE SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER
- DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18" ABOVE THE PIPE, COLOR SIZE UP.
- DUCTILE PIPE:
 - D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSII/AWWA C800-99 OR LATEST REVISION.
 - D.I.P. SHALL BE INSTALLED WITH A MINIMUM OF 30" COVER.
 - "NON-DETECTOR" TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL D.I.P. MAINS APPROXIMATELY 18" ABOVE THE MAIN COLOR SIZE UP.

5. VALVES:

- ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER" CAST IN THE COVER. A BRACE DISK INDICATING SIZE, TYPE AND OPERATOR INSTRUCTIONS SHALL BE INSTALLED ADJACENT TO VALVE BOX.
- MAN VALVES SHALL BE LOCATED ON AN EXTENSION OF THE RIGHT-OF-WAY LINE UNLESS DIMENSIONED OTHERWISE.
- MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES. HYDRANT VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS, IF POSSIBLE. VALVES LOCATED IN NON-PAVED AREAS OR IN PARKING STALLS REQUIRE A REFLECTIVE PAVEMENT MARKER ON THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT. WHITE REFLECTOR PINS FOR ALL VALVES. REFLECTOR PINS ARE REQUIRED FOR FORCE MAIN VALVES. 4" THE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR, NUT TO FINAL GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 18 INCHES.

6. SERVICE:

- COVER OVER SERVICE LINES SHALL BE 18" MINIMUM, 36" MAXIMUM BELOW FINISHED GRADE AND 36" UNDER PAVEMENT.
- SERVICES UP TO 2" SHALL BE TYPE "K" COPPER OR POLYETHYLENE AS DETERMINED BY APPLICABLE UTILITY DEPARTMENT.
- METER STOPS SHALL HAVE 8" TO 10" COVER AS REQUIRED FOR PROPER METER/BOX INSTALLATION.
- WATER SERVICES UNDER PAVEMENT SHALL BE ENCASED IN A SCHEDULE 80 PVC SLEEVE FOR THE FULL LENGTH OF THE PAVEMENT AND FOR 2' BEYOND THE EDGE. SLEEVE DIAMETER SHALL BE TWICE THE DIAMETER OF THE SERVICE PIPE.
- THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE PAINTED BLUE EXTENDING 18" (MINIMUM) ABOVE GRADE UNLESS INDICATED OTHERWISE.

E. TESTING:

- BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED WITH HYDRONAT TEST PRESSURE. TESTS FOR NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSII/AWWA C600-95 OR LATEST REVISION. THE PRESSURE TEST SHALL NOT VARY MORE THAN ±5 P.S.I. DURING THE TEST.
- THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE UTILITY DEPARTMENT AND THE ENGINEER OF RECORD.
- BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSII/AWWA C651-05; 150 PSI MINIMUM STARTING TEST PRESSURE, WITH BACTERIOLOGICAL SAMPLES APPROVED BY THE HEALTH DEPARTMENT.
- SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS IF NOT SPECIFIED. SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1000' MAXIMUM FOR LINES GREATER THAN 1500' IN LENGTH PROVIDE A MINIMUM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SEGMENTS. SAMPLE POINTS MUST BE APPROVED BY THE HEALTH DEPARTMENT.
- THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = \frac{SD \cdot P^{0.5}}{148,000}$$
 IN WHICH:
 L EQUALS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
 S EQUALS LENGTH OF PIPE (LINEAR FEET).
 D EQUALS NOMINAL DIAMETER OF PIPE (INCHES) AND
 P EQUALS THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH).

SEPARATION OF WATER AND SEWER MAINS

A. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS:

- SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 6 INCHES BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF THE WASTEWATER MAIN WHENEVER POSSIBLE. WHERE SANITARY SEWERS, STORM SEWERS, OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.

ALL CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).

WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL CROSS UNDER THE EXISTING PIPE. ITS CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).

A MINIMUM 8-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ALL OBSTRUCTIONS INCLUDING TREES.

C. ALL DIP SHALL BE CLASS 50 OR HIGHER. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE ENGINEER.

STORM DRAINAGE:

A. GENERAL:

- CATCH BASIN GRATES AND RIM ELEVATIONS AS SHOWN ON PLANS SHALL BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.
- DISTANCES AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE GRADING ADJACENT TO BUILDINGS COMPLY WITH FBC SECTION 1804.3 AND PROVIDE POSITIVE DRAINAGE FLOW TO THE SITE DRAINAGE SYSTEM. CONTRACTOR SHALL INSTRUCT SUB-CONTRACTORS (SITE, LANDSCAPE, ETC.) OF THE SAME. SHALLOW SWALES MAY BE NEEDED IN CERTAIN INSTANCES.

B. MATERIALS:

- ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M - 294 LATEST REVISIONS, ALL PIPING TO BE NON-PERFORATED TUBING.
- ALL YARD DRAIN BASINS ARE TO BE HIGH DENSITY POLYETHYLENE PRODUCT AND SHALL MEET ASTM LATEST MINIMUM STANDARDS.
- ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-478 AND 641 UNLESS OTHERWISE NOTED IN THE PLANS. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER. THE MINIMUM WALL AND SLAB THICKNESS SHALL BE 8 INCHES AND THE MINIMUM REINFORCING SHALL BE NO. 4 BARS AT 12 INCHES EACH WAY UNLESS OTHERWISE INDICATED. CONCRETE SHALL BE MINIMUM OF FC-3750 PSI AT 28 DAYS.

C. INSTALLATION:

- PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A BACKFILL GRADE AND LINE.
- BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED IN LAYERS NOT TO EXCEED 6 INCHES TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS
- PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE JURISDICTIONS (ENGINEERING DEPARTMENT/ PDOT (AS APPLICABLE) AND THE ENGINEER OF RECORD AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.

PAVING:

A. GENERAL:

- ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIME/ROCK BASE.
- ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.

B. MATERIALS:

- LIME/ROCK BASE: (ASPHALT/VEHICULAR PAVED AREAS) LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS AND COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180 (LBR 100). OTHER SUBSTITUTES SHALL BE PER FOOT SPECIFICATIONS AND PROVIDE EQUIVALENT STRUCTURAL NUMBER AS ABOVE (MIN LBR 100). MIAMI LIME/ROCK TO HAVE MINIMUM OF 70% CARBONATES AND LIQUID LIMIT 35% PLASTICITY OR ACCEPTABLE FOOT PRODUCT APPROVAL.
- WEARING SURFACE (ASPHALT SURFACE ONLY):
 - INSTALLATION OF THE 2" ASPHALTIC CONCRETE SURFACE SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SP 9.5 ASPHALTIC CONCRETE, AND SHALL BE CONSTRUCTED WITH 2 LIFTS OF 1" ASPHALTIC CONCRETE WITH TACK COAT BETWEEN LIFTS. (VIRGIN ASPHALT TO BE USED FOR FINAL LIFT.)
- REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS 150 CONCRETE WITH A MINIMUM OF 4" REINFORCEMENT AND SHALL BE REINFORCED WITH A 6" x 6" NO. 8 GAUGE WIRE MESH.

C. INSTALLATION:

- SUB-BASE 12" STABILIZED SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).
- BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE SP 9.5 AND/OR SP 12.5 ASPHALTIC CONCRETE OR THE LATEST REVISION.

D. TESTING:

- THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
- ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
- DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND THE APPLICABLE JURISDICTIONS, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
- DENSITY TESTS AND "AS-BUILTS" ON THE FINISHED BASE SHALL BE SUPPLIED TO ENGINEER OF RECORD AND THE APPLICABLE JURISDICTIONS, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

PAVEMENT MARKING & SIGNAGE:

ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION; AND THE APPLICABLE JURISDICTIONS ENGINEERING STANDARDS.

POLLUTION PREVENTION:

- THE CONTRACTOR SHALL CONTINUOUSLY ENSURE THAT THE PERIMETER OF THE SITE, INCLUDING CONSTRUCTION EXCAVATIONS, IS SECURED FROM ALLOWING DEBRIS TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RAINFALL EVENTS. A WEEKLY LOG SHALL BE UPDATED AND KEPT ON-SITE IN ACCORDANCE WITH THE NPDES PERMIT. BY BIDDING DOCUMENTS CONTRACTOR ACKNOWLEDGES HE/SHE IS AWARE OF THE FORCE MAIN GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBILITY FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.

PROJECT RECORD DOCUMENTS:

A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.

B. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND BASE CONSTRUCTION (AND BEFORE PLACING ASPHALT PAVEMENT) THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD "AS-BUILT" PLANS FOR THESE IMPROVEMENTS, SHOWING THE LOCATIONS AND APPLICABLE GRADES OF ALL DRAINAGE INSTALLATIONS AND THE FINISHED GRADES OF THE ROAD CROWN OR INVERT AND EDGES OF PAVEMENT AT 50 FOOT INTERVALS, INCLUDING LOCATIONS AND ELEVATIONS OF ALL HIGH AND LOW POINTS.

C. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS OF THE ENGINEER.

D. "AS-BUILT" INFORMATION OF GRAVITY SEWERS MUST CONTAIN LOCATION OF SERVICE LATERALS, STATIONING OF BOTH THE WYE, CLEAN-OUTS, AND THE SERVICE END MUST ALSO BE INCLUDED.

E. "AS-BUILT" INFORMATION OF WATER DISTRIBUTION SYSTEMS MUST CONTAIN LOCATIONS OF ALL VALVES, FITTINGS, FIRE HYDRANTS, SERVICES AND APPURTENANCES. TOP OF PIPE ELEVATIONS ALONG THE WATER MAIN ARE REQUIRED AT INTERVALS OF 100 FEET (MAXIMUM).

F. ALL "AS-BUILT" INFORMATION ON ELEVATIONS SHALL BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR/MAPPER.

G. "AS-BUILTS" OF WATER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:

- TOP OF PIPE ELEVATIONS EVERY 100 FT.
- LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUDING BENT, TEES, GATE VALVES, DOUBLE DETECTOR CHECK VALVES, FIRE HYDRANTS, ETC.
- ALL THE INS TO EXISTING LINES SHALL BE "AS-BUILT".
- THE ENDS OF ALL WATER SERVICES AT THE BUILDINGS OR HOMES SHALL BE "AS-BUILT" OR WHERE THE WATER SERVICE TERMINATES.

H. "AS-BUILTS" OF ALL GRAVITY SANITARY SEWER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:

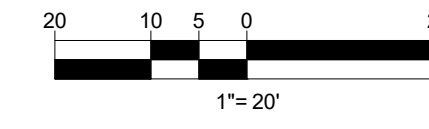
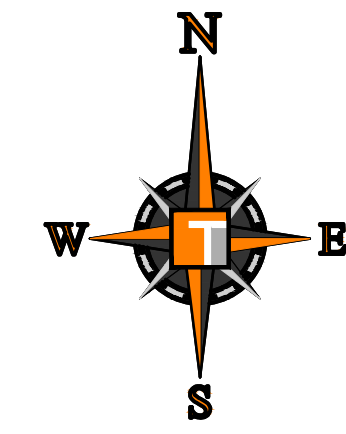
- RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AS WELL AS SLOPES.
- THE SUB ENDS OF ALL SEWER LATERALS SHALL BE LOCATED, AND IF THERE ARE ANY CLEANOUTS INSTALLED ON THE SEWER LATERALS, THE TOP OF CASING ELEVATION OF THESE CLEANOUTS NEED TO BE OBTAINED.
- LIFT STATION "AS-BUILTS" SHALL CONSIST OF:
 - TOP OF WET WELL ELEVATION
 - INVERT ELEVATION OF THE INCOMING LINE
 - BOTTOM OF THE WET WELL
- FORCE MAIN "AS-BUILTS" SHALL BE PREPARED THE SAME AS THE WATER LINE "AS-BUILTS".

J. "AS-BUILTS" OF ALL DRAINAGE LINES SHALL INCLUDE THE FOLLOWING INFORMATION:

- RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AND WEIR ELEVATIONS IF APPLICABLE.
- THE SIZE OF THE PIPING SHALL BE VERIFIED BY THE SURVEY CREW AT THE TIME OF "AS-BUILT".
- DRAINAGE WELL STRUCTURE "AS-BUILTS" SHALL INCLUDE, BUT NOT BE LIMITED TO, TOP OF CASING ELEVATION, TOP AND BOTTOM ELEVATIONS OF THE BAFFLE WALLS, RIM ELEVATIONS AND INVERTS OF PIPING.
- ALL ROCK "AS-BUILTS" FOR PARKING LOT AREAS SHALL CONSIST OF THE FOLLOWING:
 - ROCK ELEVATIONS AT ALL HIGH AND LOW POINTS, AND AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY.
 - ROCK "AS-BUILTS" SHALL BE TAKEN AT ALL LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS.

- ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS SHALL BE SHOWN.
- ELEVATIONS AROUND ISLAND AREAS WILL ALSO BE REQUIRED.
- WHERE CONCRETE IS TO BE USED AS A FINISHED PRODUCT FOR THE ROADWAY OR PARKING LOT ROCK "AS-BUILTS" WILL BE REQUIRED AS INDICATED ABOVE, AS WELL AS "AS-BUILTS" ON THE FINISHED CONCRETE AT LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS.
- "AS-BUILTS" SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, PRIOR TO PLACEMENT OF ASPHALT OR TOPSOIL/SOD. AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLAN DETAILS.
- "AS-BUILTS" SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, PRIOR TO PLACEMENT OF ASPHALT OR TOPSOIL/SOD. AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLAN DETAILS.

L. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS, "AS-BUILTS", ON FULL SIZE, 24" X 36" REPRODUCIBLE MATERIAL, WHERE WATER AND SEWER INFORMATION ARE ON THE SAME PAGE. ALL WATER LINES SHALL BE "AS-BUILT" BY STATION AND OFFSET UTILIZING THE SANITARY SEWER SYSTEM AS THE BASE LINE. IF IT IS NOT PRACTICAL TO UTILIZE THE SEWER SYSTEM AS A BASE LINE, THEN THE SURVEYOR SHALL CONTACT THE ENGINEER OF RECORD SO THAT A SUBSTITUTE BASELINE MAY BE CHOSEN. ALL RECORD DRAWING "AS-BUILT" INFORMATION SHALL BE PUT ON THE LATEST ENGINEERING DRAWINGS. ONE (1) SET OF REPRODUCIBLE RECORD DRAWINGS, "AS-BUILTS", SHALL BE SUBMITTED ALONG WITH EIGHT (8) SETS OF BLACKLINE DRAWINGS. THESE DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR. ADDITIONALLY, AN ELECTRONIC COPY OF THESE RECORD DRAWINGS, "AS-BUILTS", SHALL BE SUBMITTED TO THE ENGINEER OF RECORD IN AUTOCAD, VERSION 2010.



DISTRICT REQUIREMENTS & GENERAL NOTES

APPLICANT/OWNER: HARBOR FEDERAL SAVINGS BANK
% NATIONAL TAX SEARCH, LLC
130 S. JEFFERSON STREET, SUITE 300
CHICAGO, IL 60661
PHONE: (772) 293-6174

JURISDICTION: CITY OF FORT PIERCE

PARCEL NO.: 2415-343-0001-000-1 & 2415-344-0005-000-2

FEMA FLOOD ZONE: ZONE X PER FLOOD PANEL 12111C0187K, DATED 2/19/2020

LAND USE INFORMATION:
CURRENT USE: FINANCIAL / TAX SERVICES
PROPOSED USE: FINANCIAL / TAX SERVICES
FUTURE LAND USE DESIGNATION: GC - GENERAL COMMERCIAL
ZONING DESIGNATION: C3 - GENERAL COMMERCIAL

DEVELOPMENT STANDARDS:

	REQUIRED	PROPOSED
MIN. LOT AREA (S.F.)	10,000	60,639
MIN. LOT FRONTAGE (FEET)	70	186.55
MIN. LOT DEPTH (FEET)	90	316.53
MIN. SET BACKS:		
FRONT - EAST (FEET)	25	127.81
SIDE - NORTH (FEET)	15	57.58
SIDE - SOUTH (FEET)	15	31.98
REAR - WEST (FEET)	15	146.70
MAX. HEIGHT (FEET)	65'	35'
MAX. FAR (RATIO)	0.60	0.196

SITE AREA:

	EXISTING			PROPOSED			CHANGE		
	S.F.	ACRES	%	S.F.	ACRES	%	S.F.	ACRES	%
IMPERVIOUS:									
BUILDING	5,458	0.13	9.0%	5,458	0.13	9.0%	(+)	0.0	(+)
PAVEMENT / WALKS	38,837	0.89	64.1%	38,363	0.88	63.3%	(-)	474	(+)
TOTAL	44,295	1.02	73.0%	43,822	1.01	72.3%	(-)	474	(+)
PERVIOUS:	16,344	0.38	27.0%	16,818	0.39	27.7%	(+)	474	(-)

PARKING TABLE

REQUIRED PARKING	USE	RATE	SPACES
FINANCE & INSURANCE (11,909 S.F. G.F.A)	1 SPACE PER 300 SF GFA		40
TOTAL REQUIRED PARKING			40
TOTAL REQUIRED ADA PARKING (PER F.B.C. 11-4.1.2)			2

EXISTING PARKING	USE	STANDARD SPACES	ADA SPACES	TOTAL SPACES
FINANCE & INSURANCE (11,980 S.F. G.F.A)		37	2	39
TOTAL EXISTING PARKING		37	2	39

PROVIDED PARKING	USE	STANDARD SPACES	ADA SPACES	TOTAL SPACES
FINANCE & INSURANCE (11,980 S.F. G.F.A)		37	2	39
TOTAL PROVIDED PARKING		37	2	39

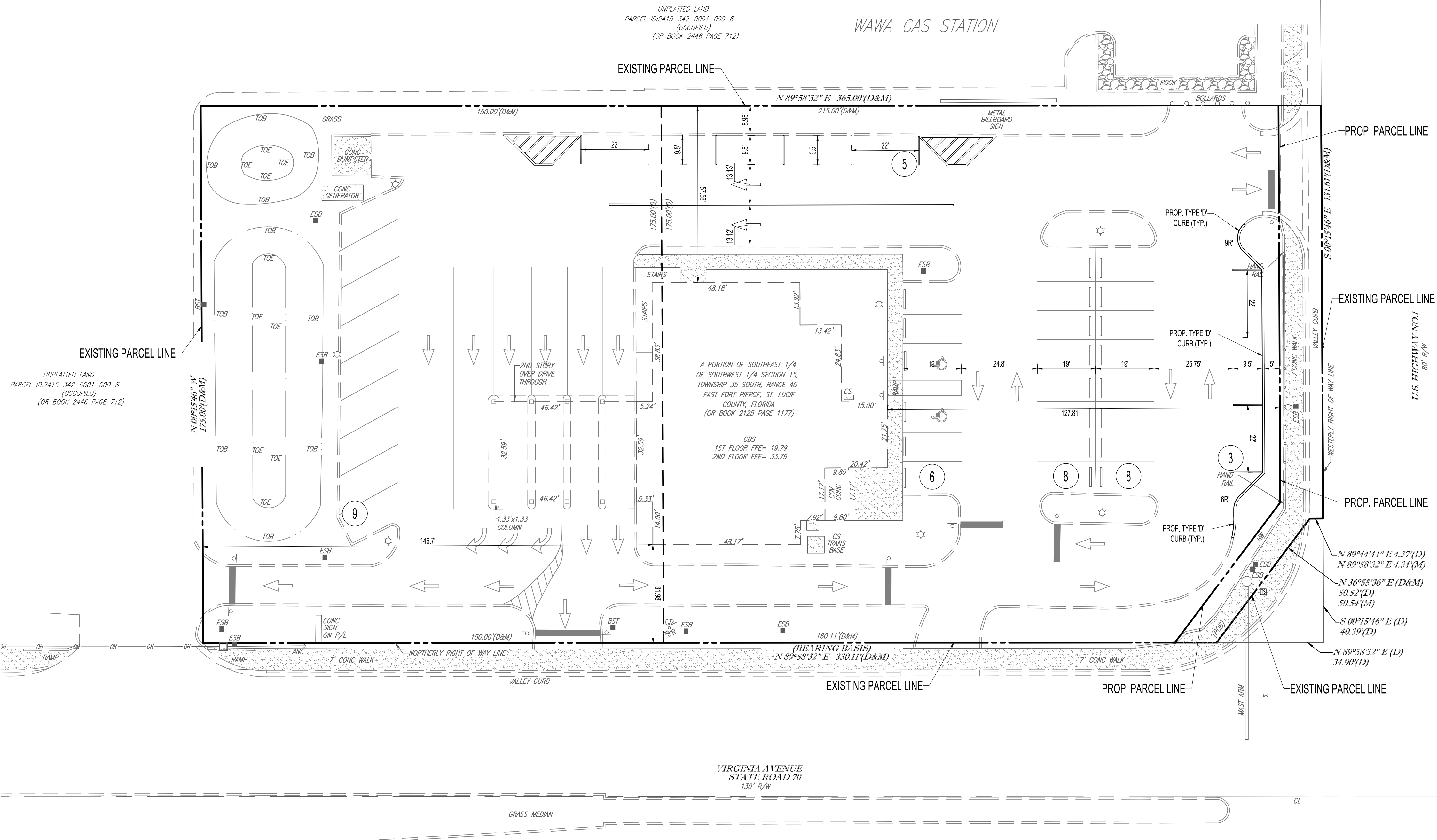
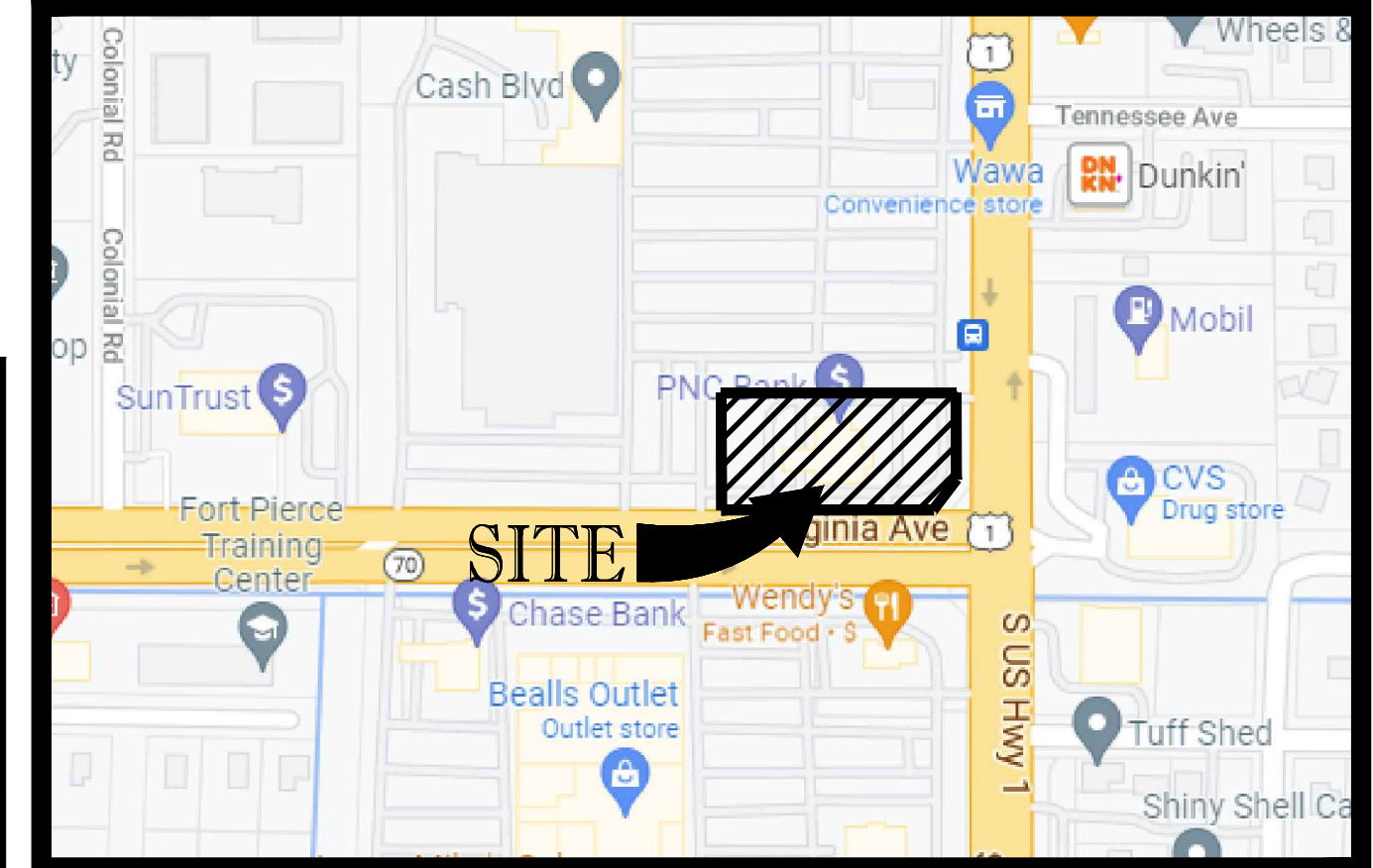
LOADING ZONE:
REQUIRED: N/A

BICYCLE PARKING:
REQUIRED: 1 SPACE PER 10 MOTOR VEHICLE SPACES; 2 MINIMUM - 4 REQUIRED
PROVIDED: 0 SPACES

NOTES:
1. ALL CONSTRUCTION SHALL COMPLY WITH SECTIONS 17 AND 22 OF THE CITY OF FORT PIERCE CODE OF ORDINANCES.

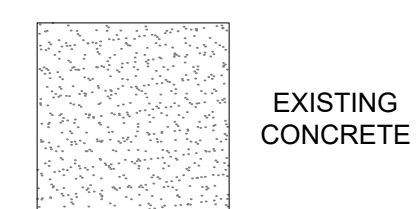
LOCATION MAP

SCALE: 1" = 500'



LEGAL DESCRIPTION:
THE WEST 150 FEET OF THE EAST 365 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET TOGETHER WITH THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SE 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LYING WEST OF THE RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA.
AS RECORDED IN OFFICIAL RECORD BOOK 179, PAGE 104, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
LESS AND EXCEPTING THE FOLLOWING:
THAT PART OF THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST (LYING WEST OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET U.S. HIGHWAY NO. 1), SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SET BACK SPIKE WHICH IS LOCATED AT THE INTERSECTION OF BASELINE OF SURVEY FOR STATE ROAD 70 (VIRGINIA AVENUE) WITH THE BASELINE OF SURVEY FOR STATE ROAD 5 (U.S. HIGHWAY FOURTH STREET); THENCE SOUTH 89°58'32" WEST ALONG SAID BASELINE IN STATE ROAD 70 A DISTANCE OF 75.10 FEET; THENCE NORTH 00°01'28" WEST A DISTANCE OF 50 FEET TO THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70 (VIRGINIA AVENUE) AND THE POINT OF BEGINNING; THENCE NORTH 36°55'36" EAST A DISTANCE OF 50.52 FEET; THENCE NORTH 89°44'44" EAST A DISTANCE OF 4.37 FEET TO THE WESTERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 5; THENCE SOUTH 00°15'46" EAST ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE A DISTANCE OF 40.39 FEET TO THE SAID NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70; THENCE SOUTH 89°58'32" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 34.90 FEET TO THE POINT OF BEGINNING. AS RECORDED IN OFFICIAL RECORDS BOOK 684, PAGE 1334, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

HATCH LEGEND



THOMAS ENGINEERING GROUP
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

4850 W. KENNEDY BLVD.
SUITE 100
TAMPA, FL 33609
P: 813-379-4100

125 W. INDIANTOWN RD.
SUITE 100
JUPITER, FL 33488
P: 561-203-7603

REVISIONS

REV.	DATE	COMMENT	BY

Sunshine 811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

FORT PIERCE DEVELOPMENT REVIEW MINOR AMENDMENT SUBMITTAL SET

PROJECT No.: F210111
DRAWN BY: JVF
CHECKED BY: ROT
DATE: 02/10/2022
CAD I.D.: F210111 SITE

PROJECT:
500 VIRGINIA AVENUE
FOR
PNC BANK
FORT PIERCE FLORIDA

THOMAS ENGINEERING GROUP
6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com

RYAN OSCAR THOMAS
PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 53891

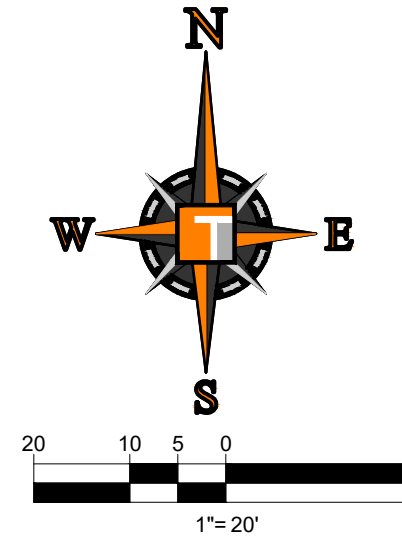
February 23, 2022
FLORIDA BUSINESS CERT. OF AUTH. No. 27528
SHEET TITLE:
SITE PLAN
SHEET NUMBER:
C-5.0

CONSTRUCTION NOTES:

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF FORT PIERCE & FDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
- CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
- CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY & COUNTY DESIGN STANDARDS.
- CONTRACTOR TO SO D ALL DISTURBED AREAS. SO DING INCLUDES MAINTAINING SLOPE AND SO D UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
- ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
- THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HISHER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) OR (811) PRIOR TO CONSTRUCTION.
- PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS.
- THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.

- PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
- 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
- ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 1.5%.
- EXISTING COVER MUST BE MAINTAINED ON ALL WATER AND SANITARY LINES.
- EXISTING SEWER MUST REMAIN FREE FROM CONSTRUCTION DEBRIS AND FLOW MUST BE MAINTAINED.
- NO STRUCTURES SHALL BE ALLOWED IN UTILITY EASEMENT.
- ALL UNSTABLE MATERIALS SUCH AS MUCK, PEAT, PLASTIC CLAYS, AND/OR MARLS SHALL BE REMOVED FROM ROADBED AREAS. THE AREA SHALL THEN BE BACKFILLED ACCORDING TO THE GEOTECH REPORT.

ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88).



PAVING, GRADING & DRAINAGE LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
T	UNDERGROUND TELEPHONE LINE	T
S	STORM SEWER	S
S	SANITARY SEWER MAIN	S
OH	OVERHEAD WIRE	OH
OT	OVERHEAD TRAFFIC WIRE	OT
SL	SANITARY SEWER LATERAL	SL
S	SANITARY MANHOLE	S
D	STORM MANHOLE	D
C	CATCH BASIN	C
W	WATER METER	W
O	CLEAN OUT	O
XXX	GRADE SPOT SHOT (BOTTOM ELEVATION IF AT CURB)	XXX
XXX	TOP OF CURB	XXX
XXX	BOTTOM OF CURB	XXX

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 SUITE 200
 TAMPA, FL 33609
 P: 813-379-4100
 F: 813-379-5003
 WWW.THOMASENGINEERINGGROUP.COM

REVISIONS

REV.	DATE	COMMENT	BY

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 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
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FORT PIERCE DEVELOPMENT REVIEW MINOR AMENDMENT SUBMITTAL SET

PROJECT No.: F210111
 DRAWN BY: JFV
 CHECKED BY: ROT
 DATE: 02/10/2022
 CAD I.D.: F210111 PGD

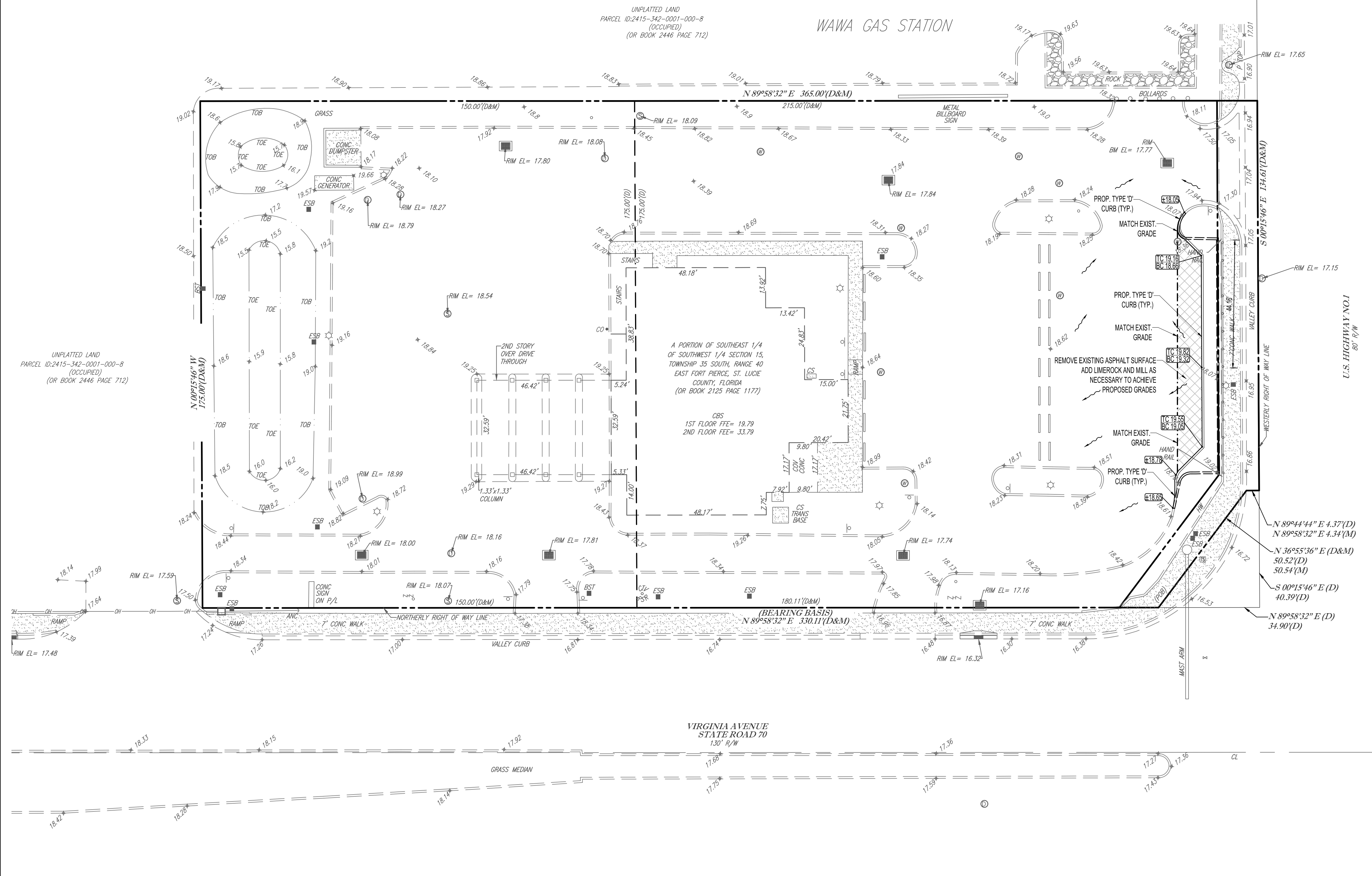
PROJECT:
500 VIRGINIA AVENUE
 FOR
PNC BANK
 FORT PIERCE FLORIDA

THOMAS ENGINEERING GROUP
 6300 NW 31ST AVENUE
 FORT LAUDERDALE, FL 33309
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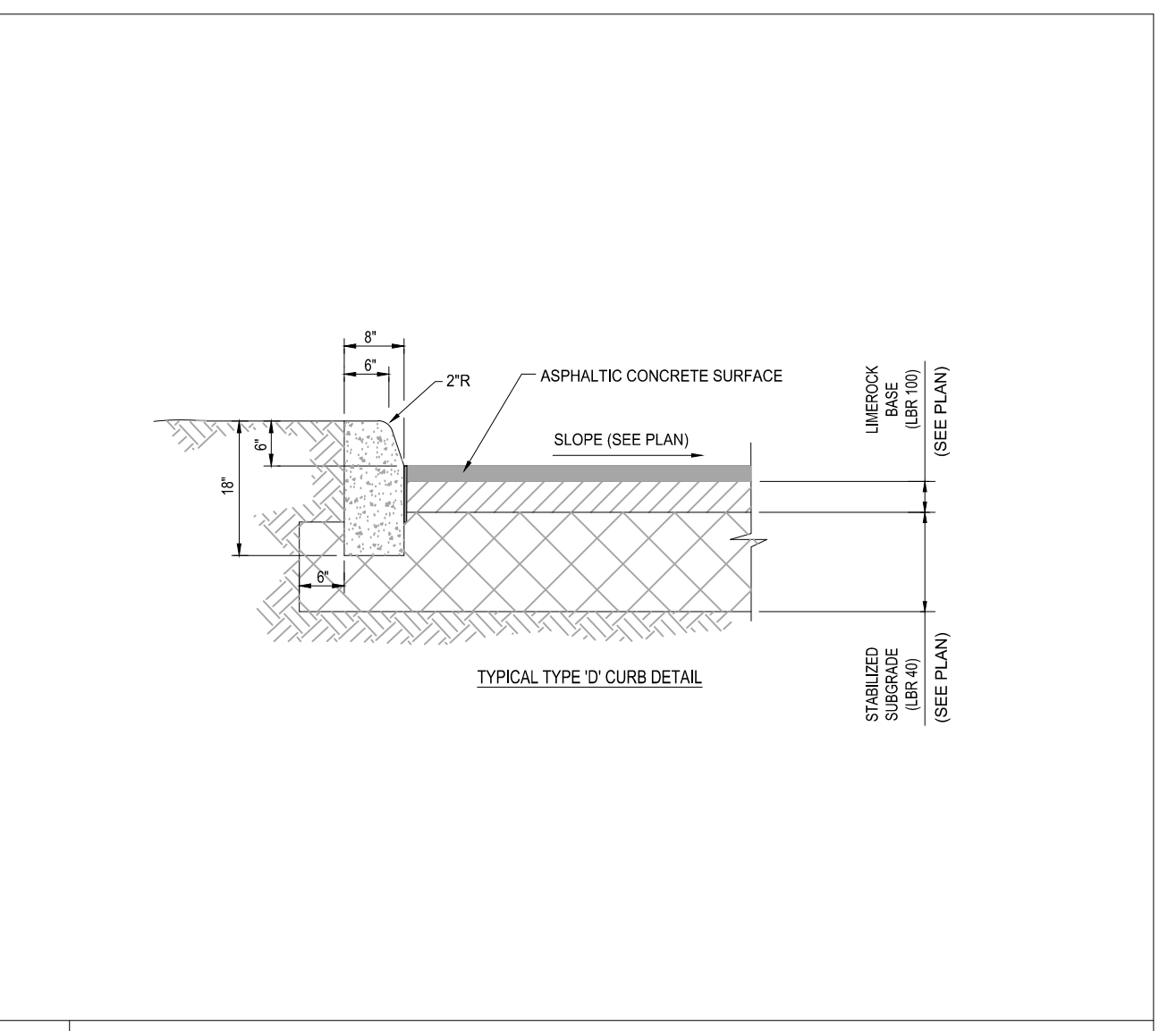
February 23, 2022
 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:
PAVING, GRADING & DRAINAGE PLAN
 SHEET NUMBER:
C-6.0

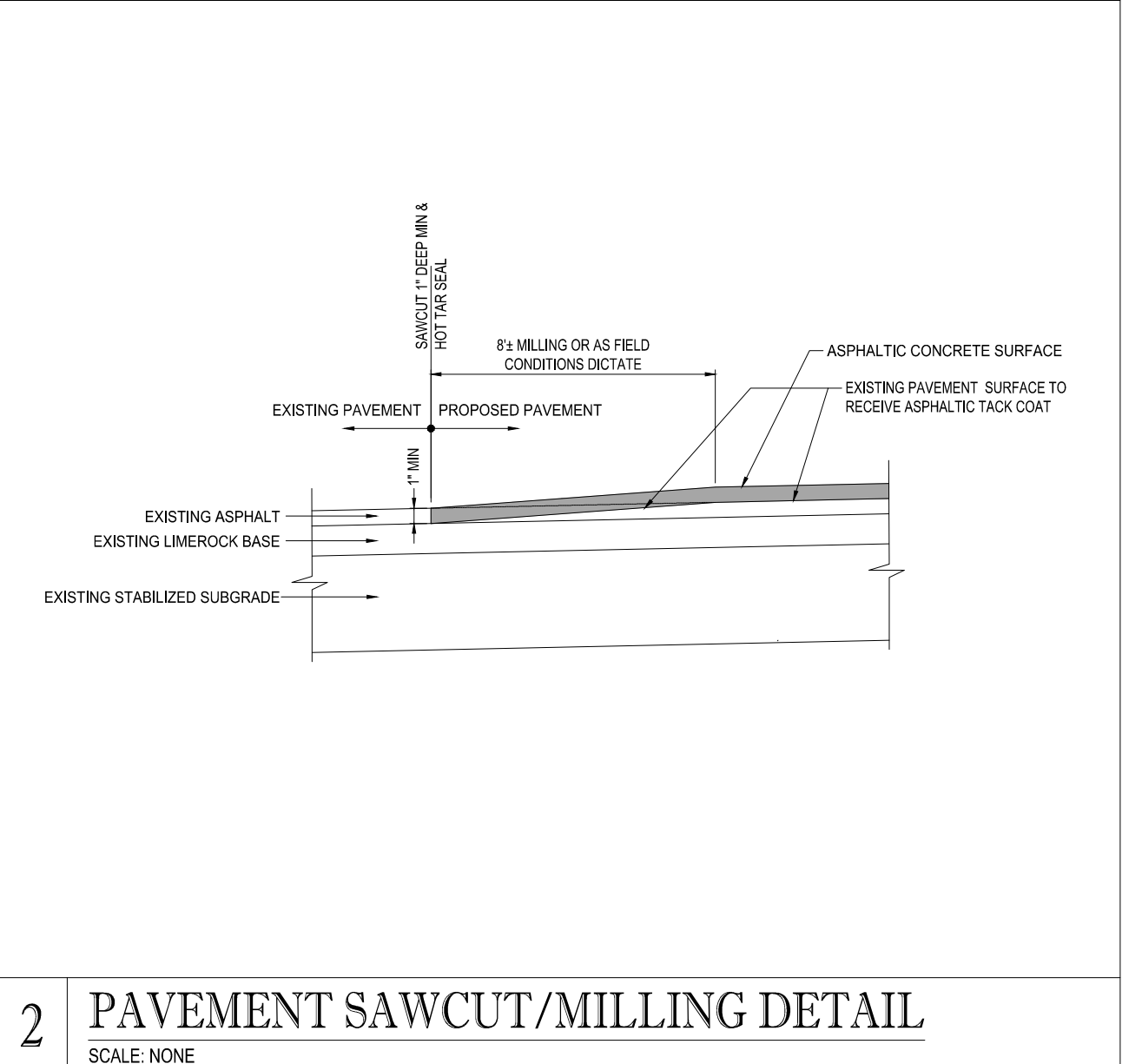


HATCH LEGEND

	PROPOSED ASPHALT PAVEMENT
	MILL & RESURFACE EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE



1 TYPE 'D' CURB DETAIL
 SCALE: NONE



2 PAVEMENT SAWCUT/MILLING DETAIL
 SCALE: NONE



THOMAS
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125 W. INDIANTOWN RD.
SUITE 100
JUPITER, FL 33489
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REV.	DATE	COMMENT	BY
X	xxx/xx/xx	xxx	xxx

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FORT PIERCE
DEVELOPMENT REVIEW
MINOR AMENDMENT
SUBMITTAL SET

PROJECT No.:	F210111
DRAWN BY:	JFV
CHECKED BY:	ROT
DATE:	02/10/2022
CAD I.D.:	F210111 PMS

PROJECT:

500 VIRGINIA AVENUE

FOR

PNC BANK

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FLORIDA

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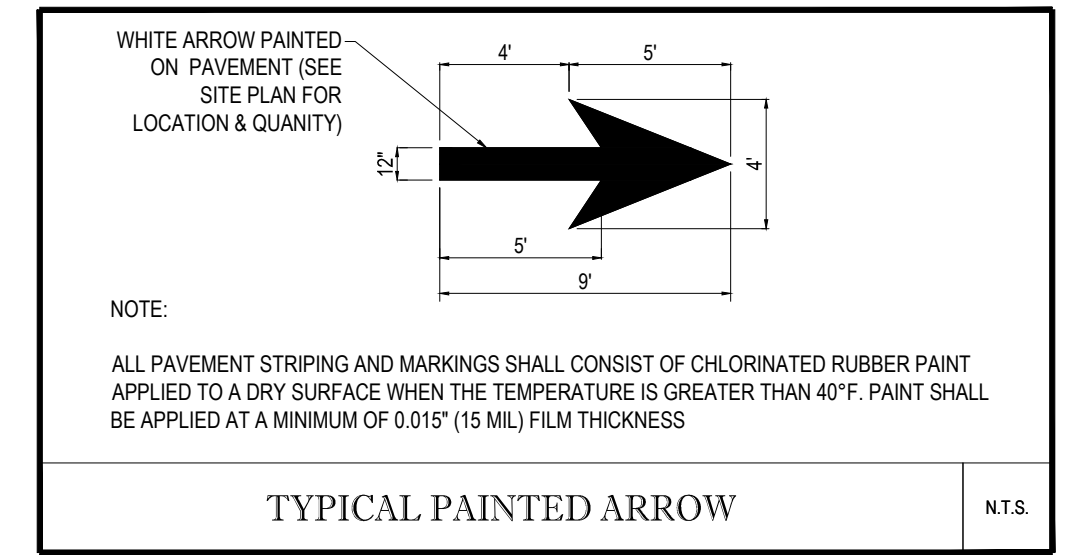
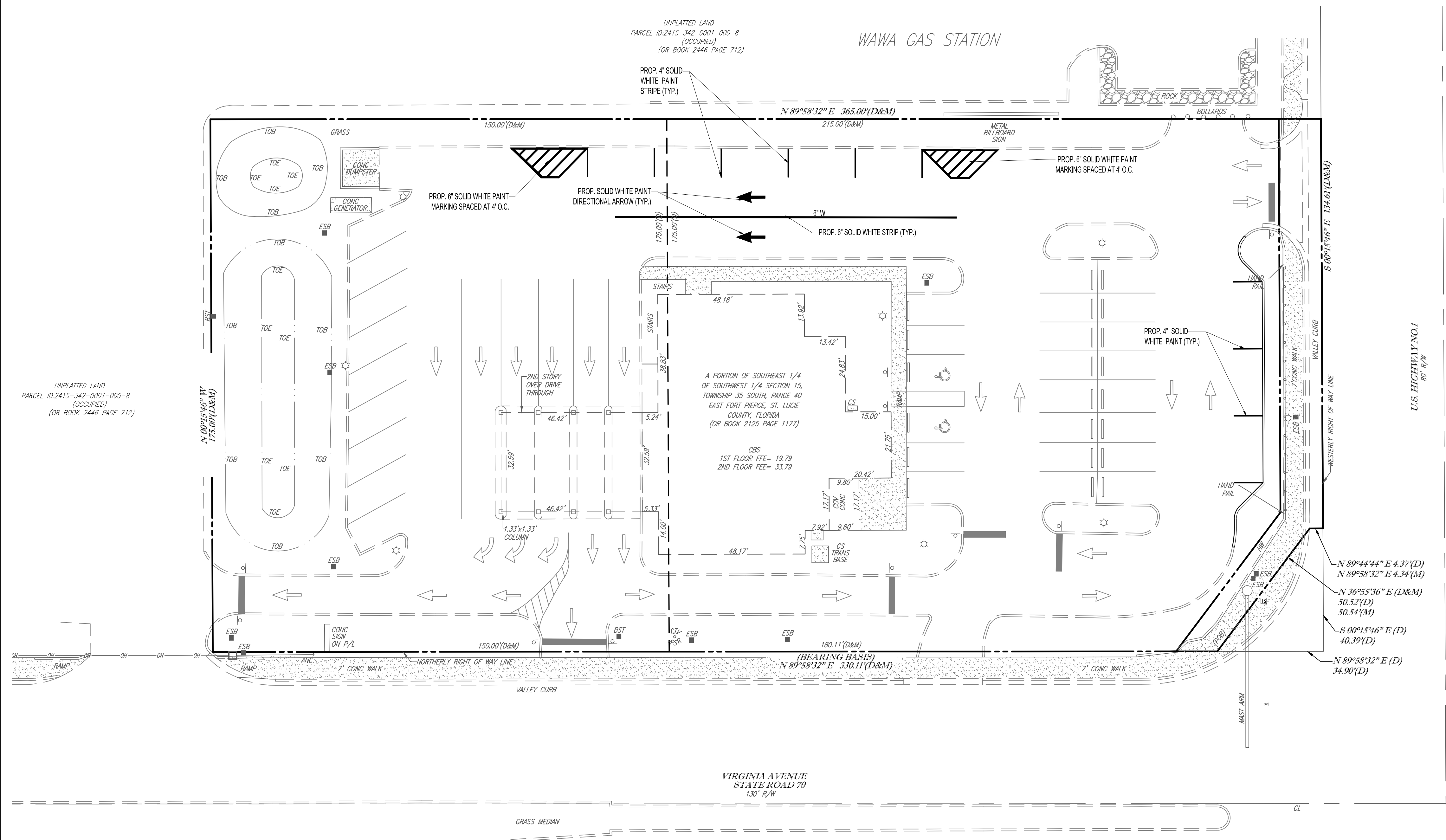
RYAN OSCAR THOMAS

PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 53891

February 23, 2022
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:
PAVEMENT MARKING & SIGNAGE PLAN

SHEET NUMBER:
C-7.0



LEGEND

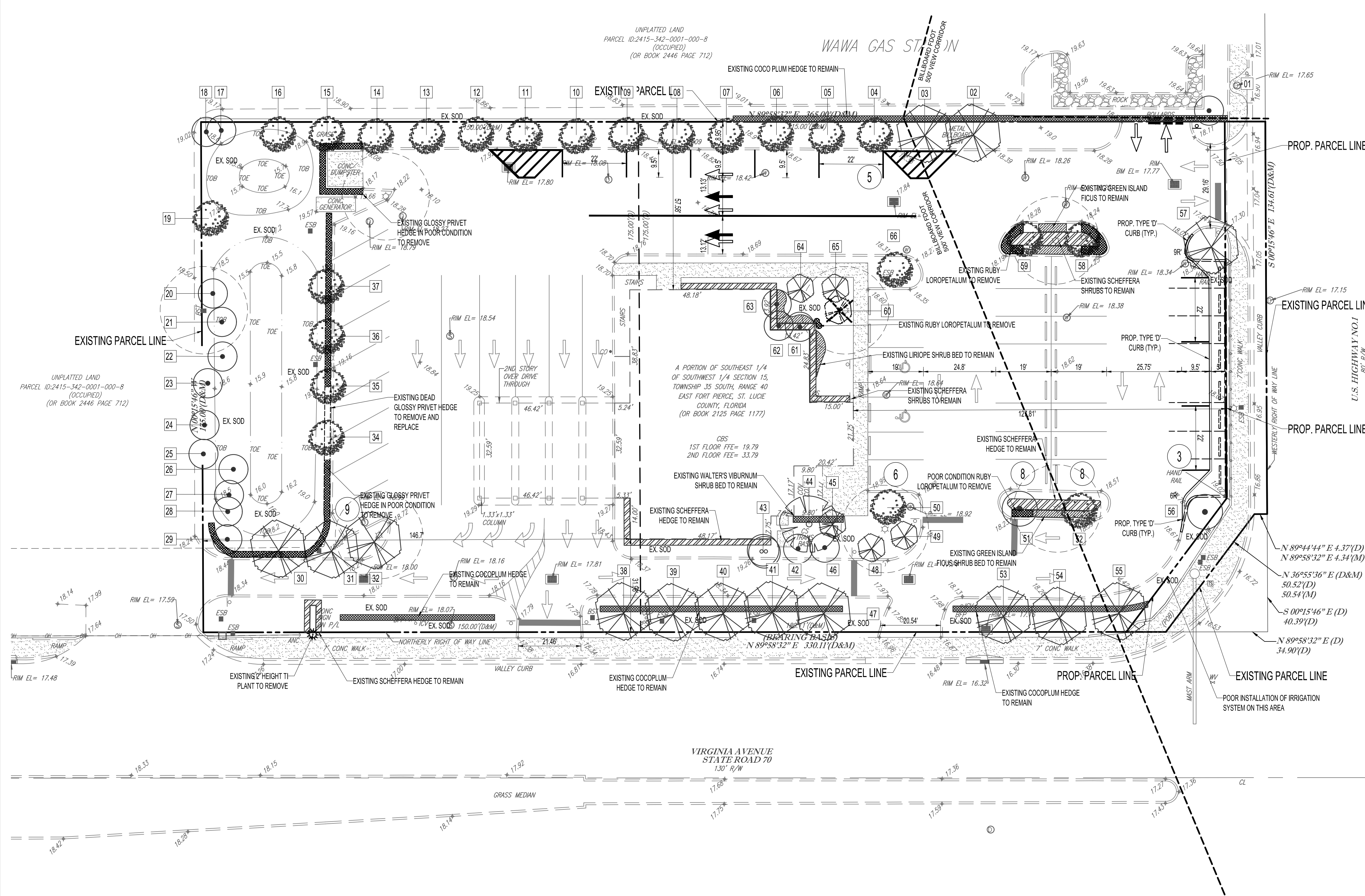
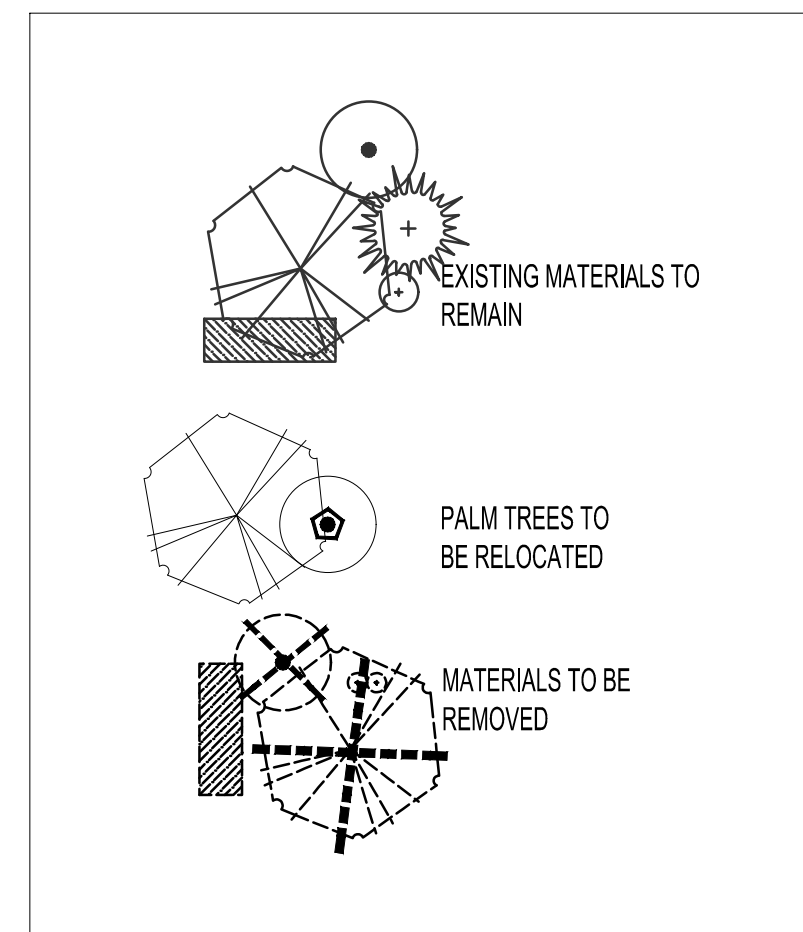
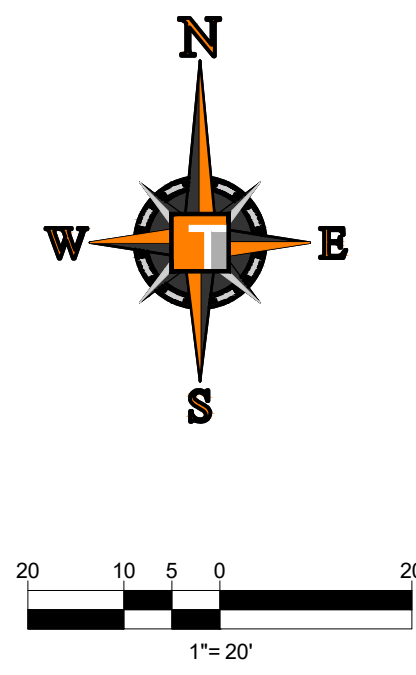
D.Y.	DOUBLE YELLOW
W	WHITE
Y	YELLOW
*	THERMOPLASTIC

Printed on Wednesday, February 23, 2022, 4:57 PM by Eric Jackson

ANY PERVIOUS AREA TO REMAIN THAT IS DISTURBED BY CONSTRUCTION & IS NOT NOTED ON THE LANDSCAPE PLAN TO HAVE SHRUBS OR GROUND COVER SHALL BE SODDED

ALL EXISTING INVASIVE & EXOTIC SPECIES, SHRUBS, & GROUND COVER NOT SHOWN ON THIS PLAN SHALL BE REMOVED FROM SITE

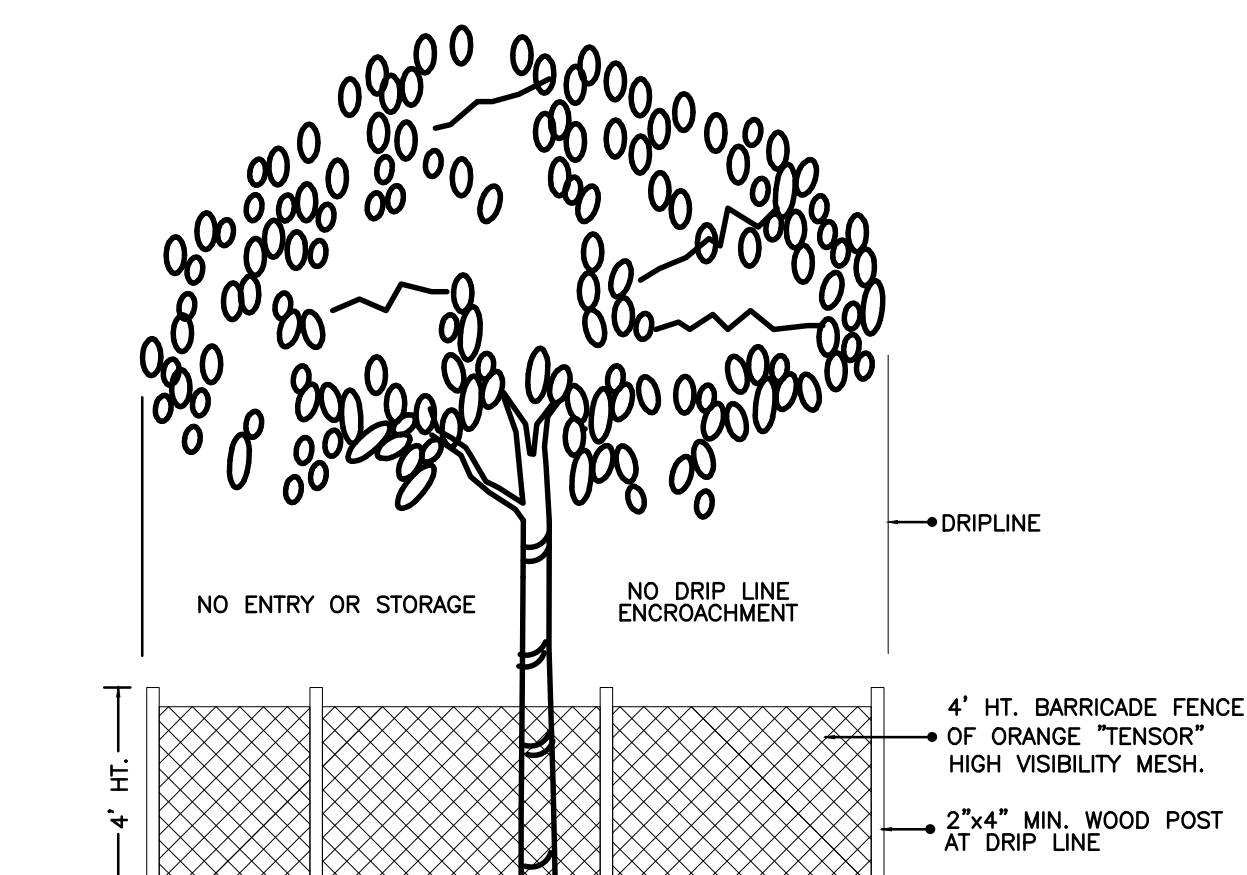
REFER TO SHEET L-1.1 FOR DISPOSITION CHART AND SHEET L-2.0 FOR LANDSCAPE PLAN AND PLANTING SCHEDULE.



THIS PLAN WAS PREPARED BY ISA CERTIFIED ARBORIST, MICHAEL GROSSWIRTH, FL-9157A, AND SHALL SERVE AS THE ARBORIST'S REPORT FRO THIS PROJECT.

EXISTING TREE NOTES:

1. Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
2. Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4710 Two Full Business Days prior to digging for underground utility locations.
3. Contractor shall be responsible for providing final grading of all associated planting areas.
4. After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.
5. No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
6. Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
7. Root-prune all trees a minimum of (8) weeks prior to planting.
8. Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.
9. In all pedestrian areas, all trees and palms shall be maintained to allow for clear passage at an 8 foot clear trunk.



TREE PRESERVATION BARRICADE FENCING DETAIL

LEGAL DESCRIPTION:
 THE WEST 150 FEET OF THE EAST 365 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET TOGETHER WITH THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SE 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LYING WEST OF THE RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA.
 AS RECORDED IN OFFICIAL RECORD BOOK 179, PAGE 104, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
 LESS AND EXCEPTING THE FOLLOWING:
 THAT PART OF THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST (LYING WEST OF THE WEST RIGHT OF WAY LINE OF SOUTH FOURTH STREET U.S. HIGHWAY NO. 1), SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE SET BOAT SPIKE WHICH IS LOCATED AT THE INTERSECTION OF BASELINE OF SURVEY FOR STATE ROAD 70 (VIRGINIA AVENUE) WITH THE BASELINE OF SURVEY FOR STATE ROAD 5 (U.S. 1) (SOUTH FOURTH STREET); THENCE SOUTH 89°58'32" WEST ALONG SAID BASELINE IN STATE ROAD 70 A DISTANCE OF 75.10 FEET; THENCE NORTH 00°01'28" WEST A DISTANCE OF 50 FEET TO THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70 (VIRGINIA AVENUE) AND THE POINT OF BEGINNING; THENCE NORTH 36°55'36" EAST A DISTANCE OF 50.52 FEET; THENCE NORTH 89°44'44" EAST A DISTANCE OF 4.37 FEET TO THE WESTERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 5; THENCE SOUTH 00°15'46" EAST ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE A DISTANCE OF 40.39 FEET TO THE SAID NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70; THENCE SOUTH 89°58'32" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 34.90 FEET TO THE POINT OF BEGINNING. AS RECORDED IN OFFICIAL RECORDS BOOK 684, PAGE 1334, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

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 SUITE 200
 TAMPA, FL 33609
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 F: 813-257-4101
 WWW.THOMASENGINEERINGGROUP.COM

REVISIONS			
REV.	DATE	COMMENT	BY

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FORT PIERCE DEVELOPMENT REVIEW MINOR AMENDMENT SUBMITTAL SET

PROJECT No.:	F210111
DRAWN BY:	LD
CHECKED BY:	MDG
DATE:	02/10/2022
CAD I.D.:	F210111 DISPOSITION

500 VIRGINIA AVENUE

FOR

PNC BANK

FORT PIERCE FLORIDA

THOMAS ENGINEERING GROUP

6300 NW 31ST AVENUE
 FORT LAUDERDALE, FL 33309
 PH: (954) 202-7000
 FX: (954) 202-7070
 www.ThomasEngineeringGroup.com

REGISTERED LANDSCAPE ARCHITECT
 MICHAEL D. GROSSWIRTH
 LA 6686871
 STATE OF FLORIDA
 February 23, 2022
 FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:

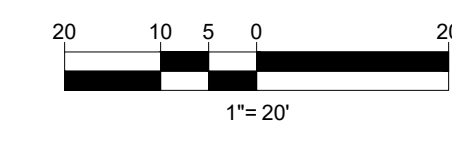
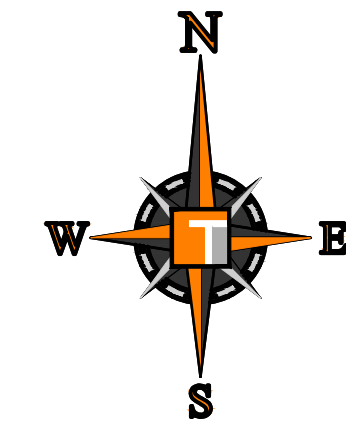
DISPOSITION PLAN

SHEET NUMBER:

L-1.0

PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
LI	2	Crape Myrtle	Lagerstroemia indica 'Tuskegee'	B & B	2.5" DBH	12' Ht	5-6'	No	High	5' CT	
MG	11	Magnolia "Blanchard"	Magnolia grandiflora	B & B	2.5" DBH	12' Ht	5-6'	Yes	High	6' CT	
QV	2	Southern Live Oak	Quercus virginiana	B & B	3" DBH	16' Ht	5-6'	Yes	High	5.5' CT	
PALM TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
WP	2	Washingtonia robusta	Washington Palm	B & B		18-22' oa	10'	Yes	High		
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
CES	23	Silver Button Wood	Conocarpus erectus sericeus	NA	24"	36"	24"	Yes	High	full to base	
CHH	250	Red Tip Coccoloba	Chrysobalanus icaco 'Red Tip'	NA	24"	36"	24"	Yes	High	Full to base	
LJM	6	Japanese Privet	Ligustrum japonicum	45 gal		6-7' Ht	4-5'	No	High	3' clear multi-trunk	
SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	SPACING	REMARKS
FIM	31	Green Island Ficus	Ficus microcarpa	n/a	16"	16"	20"	No	Medium	24" o.c.	Full
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	SPACING	REMARKS
HY2	51	Spider Lily	Hymenocallis latifolia	n/a	18"	14-16"	14-16"	Yes	High	18" o.c.	
LIR	74	Variegated Lily Turf	Liriope muscari 'Variegata'	n/a	18"	12-14"	10-12"	No	High	18" o.c.	Full clumps



DISTRICT REQUIREMENTS & GENERAL NOTES

APPLICANT/OWNER: HARBOR FEDERAL SAVINGS BANK
 % NATIONAL TAX SEARCH, LLC
 130 S. JEFFERSON STREET, SUITE 300
 CHICAGO, IL 60661
 PHONE: (772) 293-6174

JURISDICTION: CITY OF FORT PIERCE

PARCEL NO.: 2415-343-0001-000-1 & 2415-344-0005-000-2

FEMA FLOOD ZONE: ZONE X PER FLOOD PANEL 12111C0187K, DATED 2/19/2020

LAND USE INFORMATION:
 CURRENT USE: FINANCIAL / TAX SERVICES
 PROPOSED USE: FINANCIAL / TAX SERVICES
 FUTURE LAND USE DESIGNATION: GC - GENERAL COMMERCIAL
 ZONING DESIGNATION: C3 - GENERAL COMMERCIAL

DEVELOPMENT STANDARDS:	REQUIRED	PROPOSED
MIN. LOT AREA (S.F.):	10,000	60,639
MIN. LOT FRONTAGE (FEET):	70	186.55
MIN. LOT DEPTH (FEET):	90	316.53
MIN. SET BACKS:		
FRONT - EAST (FEET):	25	127.81
SIDE - NORTH (FEET):	15	57.58
SIDE - SOUTH (FEET):	15	31.98
REAR - WEST (FEET):	15	146.70
MAX. HEIGHT (FEET):	65'	35'
MAX. FAR (RATIO):	0.60	0.196

SITE AREA:	EXISTING		PROPOSED		CHANGE	
	S.F.	ACRES	S.F.	ACRES	%	ACRES
IMPERVIOUS:						
BUILDING	5,458	0.13	5,458	0.13	9.0%	(+0.0)
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PERVIOUS:	16,344	0.38	16,818	0.39	27.7%	(+474)

REQUIRED PARKING	USE	RATE	SPACES
FINANCE & INSURANCE (11,909 S.F. G.F.A.)	1 SPACE PER 300 SF G.F.A.		40
TOTAL REQUIRED PARKING			40
TOTAL REQUIRED ADA PARKING (PER F.B.C. 11-4.1.2)			2

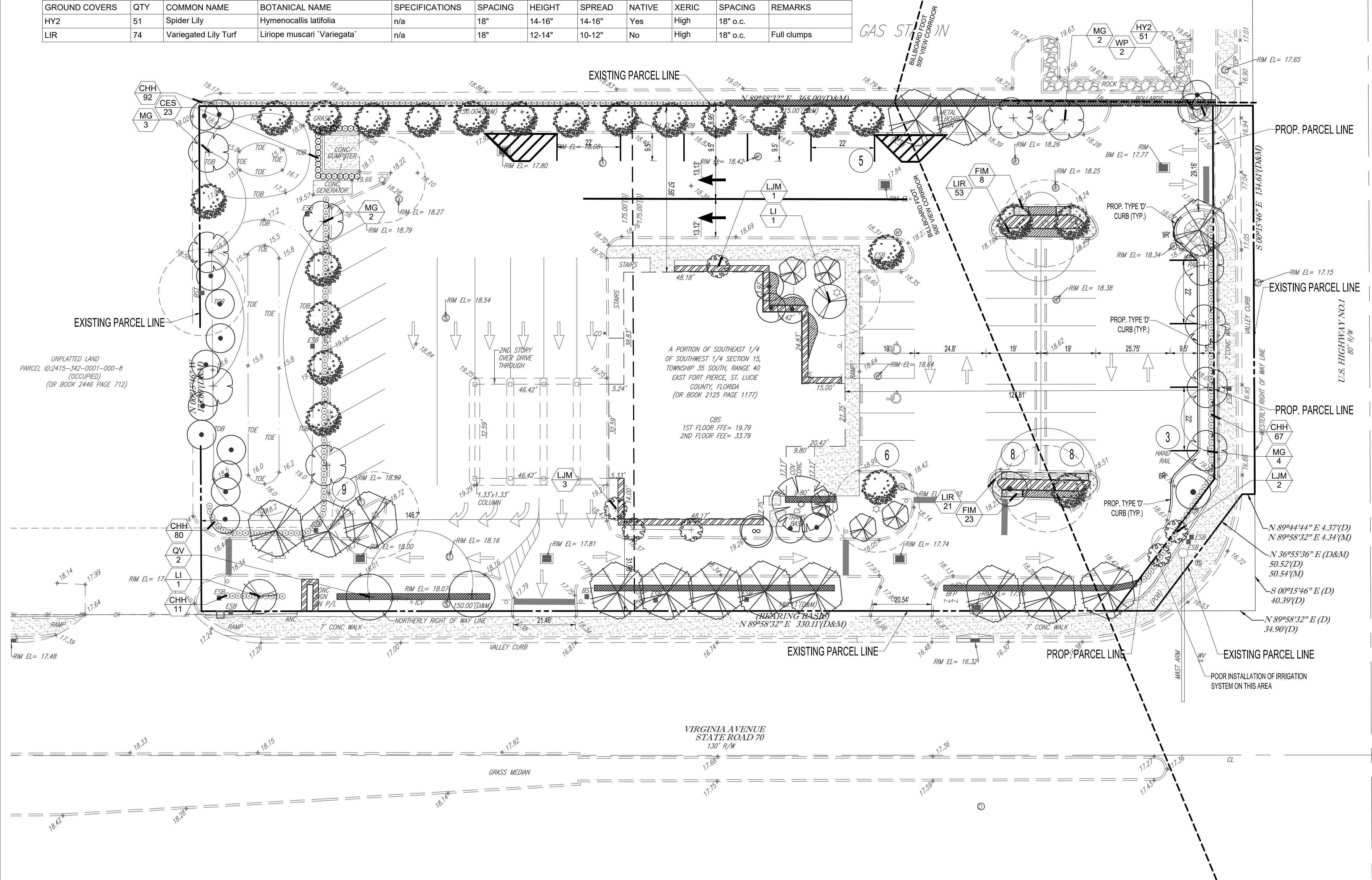
EXISTING PARKING	USE	STANDARD SPACES	ADA SPACES	TOTAL SPACES
FINANCE & INSURANCE (11,980 S.F. G.F.A.)		37	2	39
TOTAL EXISTING PARKING		37	2	39

PROVIDED PARKING	USE	STANDARD SPACES	ADA SPACES	TOTAL SPACES
FINANCE & INSURANCE (11,980 S.F. G.F.A.)		37	2	39
TOTAL PROVIDED PARKING		37	2	39

LOADING ZONE:
 REQUIRED: N/A

BICYCLE PARKING:
 REQUIRED: 1 SPACE PER 10 MOTOR VEHICLE SPACES; 2 MINIMUM - 4 REQUIRED
 PROVIDED: 0 SPACES

NOTES:
 1. ALL CONSTRUCTION SHALL COMPLY WITH SECTIONS 17 AND 22 OF THE CITY OF FORT PIERCE CODE OF ORDINANCES.



ALL TREES AND PALMS PLANTED SHALL BE SECURELY GUYED, BRACED, AND/OR STAKED AT THE TIME OF PLANTING UNTIL ESTABLISHMENT. ALL STABILIZATION SYSTEMS SHALL BE CLEARLY MARKED (FLAGGING, PAINTED, ETC.) TO PREVENT HAZARDS.

ALL MECHANICAL EQUIPMENT, BACKFLOW PREVENTERS, DUMPSTER ENCLOSURES, A/C UNITS, ETC., SHALL BE SCREENED IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS.

REFER TO SHEET L-1.0 FOR DISPOSITION PLAN, SHEET L-2.1 FOR LANDSCAPE DETAILS AND SHEET L-2.2 FOR LANDSCAPE GENERAL NOTES.

ALL EXISTING INVASIVE & EXOTIC SPECIES, SHRUBS, & GROUND COVER NOT SHOWN ON THIS PLAN SHALL BE REMOVED FROM SITE

ANY PERVIOUS AREA TO REMAIN THAT IS DISTURBED BY CONSTRUCTION & IS NOT NOTED ON THE LANDSCAPE PLAN TO HAVE SHRUBS OR GROUND COVER SHALL BE SODDED

LEGAL DESCRIPTION:
 THE WEST 150 FEET OF THE EAST 365 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET TOGETHER WITH THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SE 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LYING WEST OF THE RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA.
 AS RECORDED IN OFFICIAL RECORD BOOK 179, PAGE 104, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
 LESS AND EXCEPTING THE FOLLOWING:
 THAT PART OF THE EAST 215 FEET OF THE NORTH 175 FEET OF THE SOUTH 305 FEET OF THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST (LYING WEST OF THE WEST RIGHT OF WAY LINE OF SOUTH FOURTH STREET U.S. HIGHWAY NO.1), SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE SET BACK SPIKE WHICH IS LOCATED AT THE INTERSECTION OF BASELINE OF SURVEY FOR STATE ROAD 70 (VIRGINIA AVENUE) WITH THE BASELINE OF SURVEY FOR STATE ROAD 5 (U.S. SOUTH FOURTH STREET); THENCE SOUTH 89°58'32" WEST ALONG SAID BASELINE IN STATE ROAD 70 A DISTANCE OF 75.10 FEET; THENCE NORTH 00°28'18" WEST A DISTANCE OF 50 FEET TO THE NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70 (VIRGINIA AVENUE) AND THE POINT OF BEGINNING; THENCE NORTH 36°55'36" EAST A DISTANCE OF 50.52 FEET; THENCE NORTH 89°44'44" EAST A DISTANCE OF 4.37 FEET TO THE WESTERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 5; THENCE SOUTH 00°15'46" EAST ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE A DISTANCE OF 40.39 FEET TO THE SAID NORTHERLY EXISTING RIGHT OF WAY LINE FOR STATE ROAD 70; THENCE SOUTH 89°58'32" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 34.90 FEET TO THE POINT OF BEGINNING. AS RECORDED IN OFFICIAL RECORDS BOOK 684, PAGE 1334, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 4850 W. KENNEDY BLVD.
 SUITE 100
 TAMPA, FL 33609
 P: 813-794-1000
 F: 813-794-1001
 WWW.THOMASENGINEERINGGROUP.COM

REV.	DATE	REVISIONS	BY

Sunshine 811
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
 Check positive response codes before you dig!

FORT PIERCE DEVELOPMENT REVIEW MINOR AMENDMENT SUBMITTAL SET

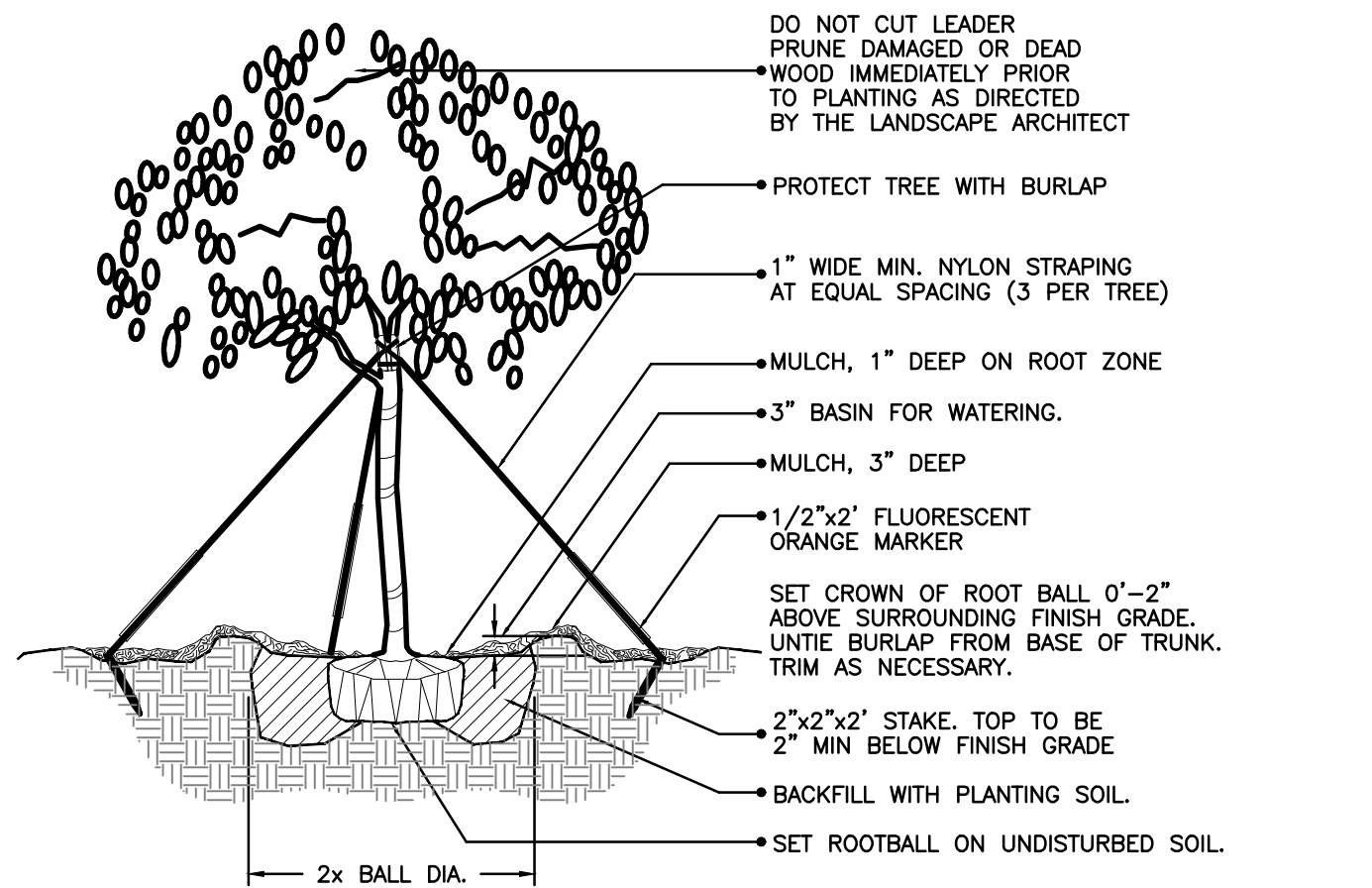
PROJECT NO.:	F210111
DRAWN BY:	LD
CHECKED BY:	MDG
DATE:	02/10/2022
CAD I.D.:	F210111 DISPOSITION

PROJECT:
500 VIRGINIA AVENUE
 FOR
PNC BANK
 FORT PIERCE FLORIDA

THOMAS ENGINEERING GROUP
 6300 NW 31ST AVENUE
 FORT LAUDERDALE, FL 33309
 PH: (954) 202-7000
 FX: (954) 202-7070
 www.ThomasEngineeringGroup.com

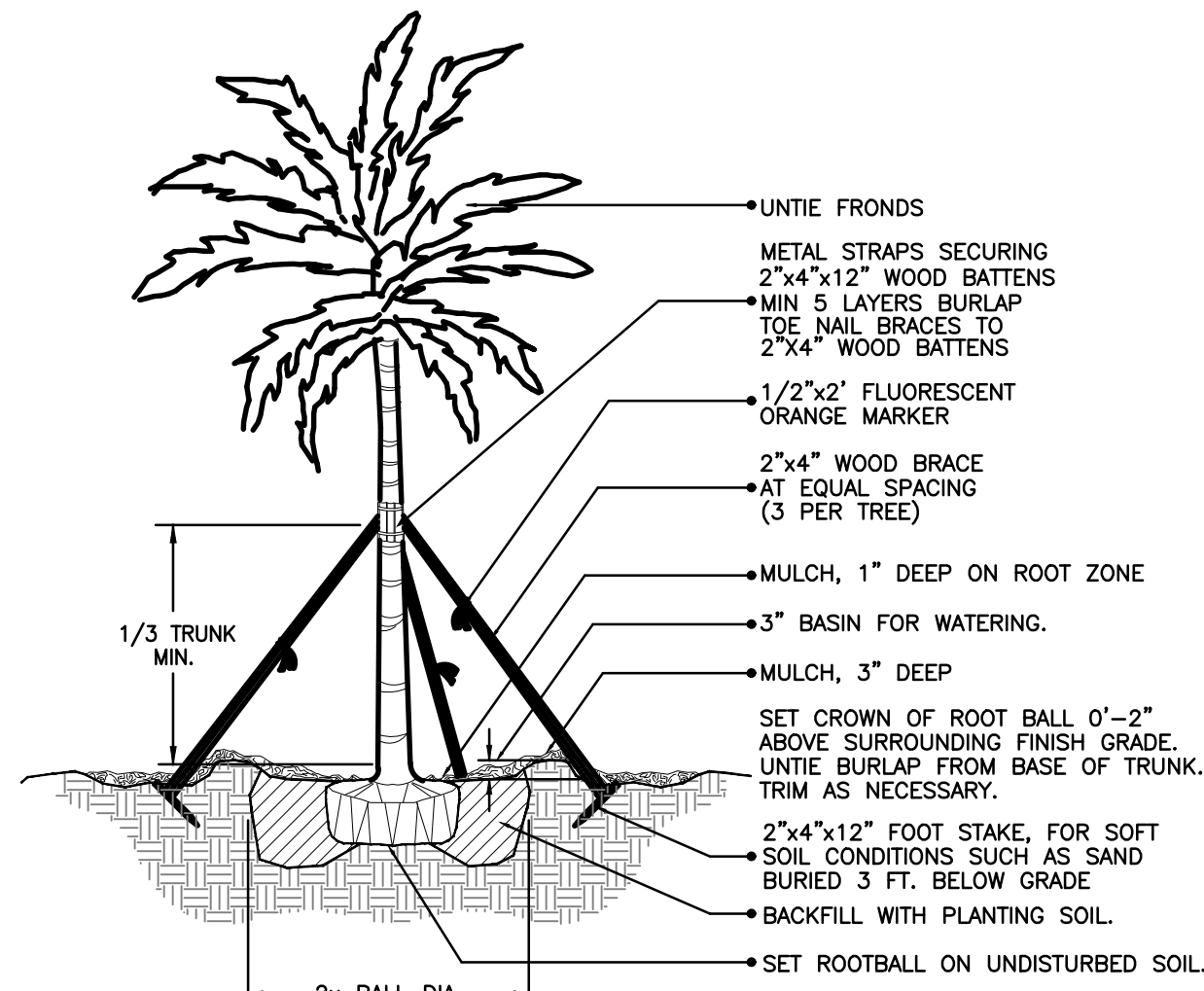
REGISTERED LANDSCAPE ARCHITECT
 MICHAEL D. GROSEWORTH
 STATE OF FLORIDA
 February 23, 2022
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

SHEET TITLE:
LANDSCAPE PLAN & PLANTING SCHEDULE
 SHEET NUMBER:
L-2.0



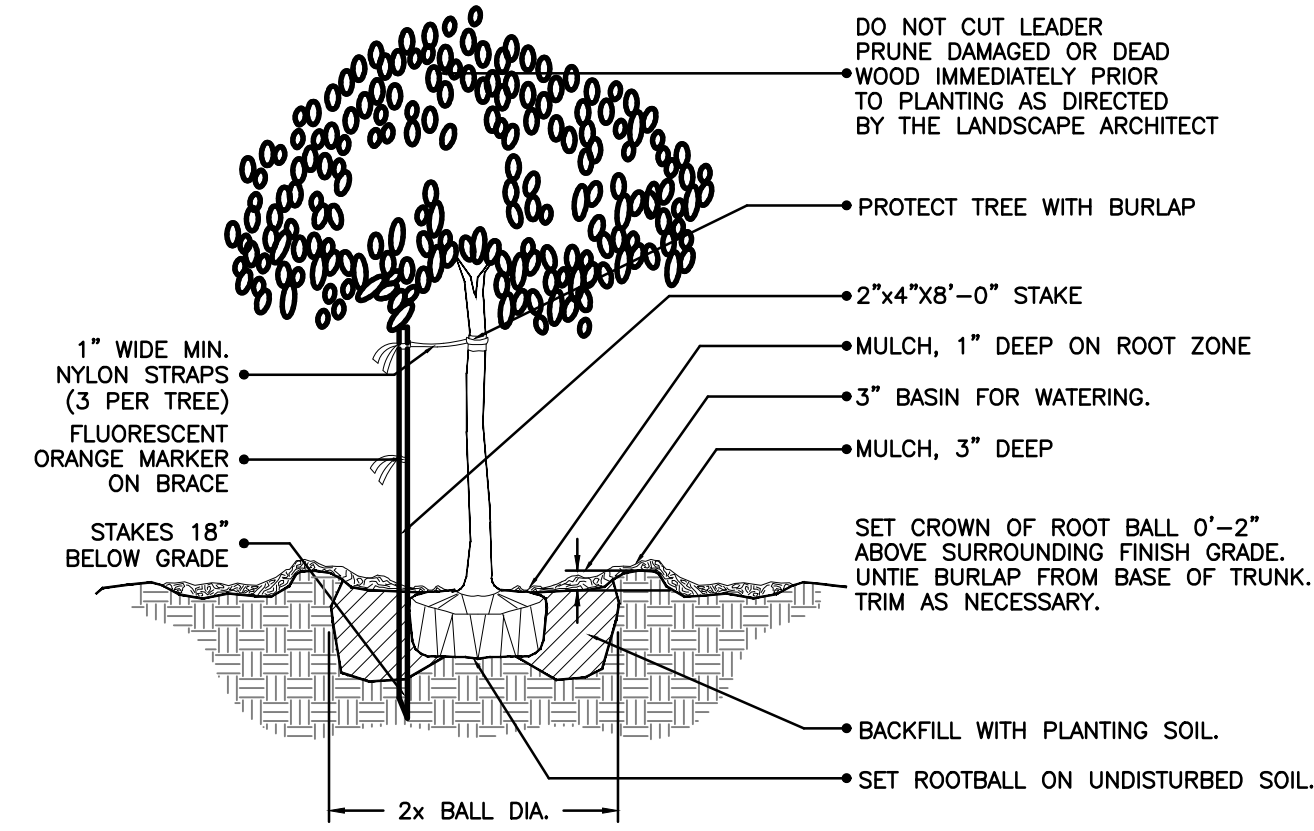
(2" cal. and over)
LARGE TREE PLANTING DETAIL

NTS.



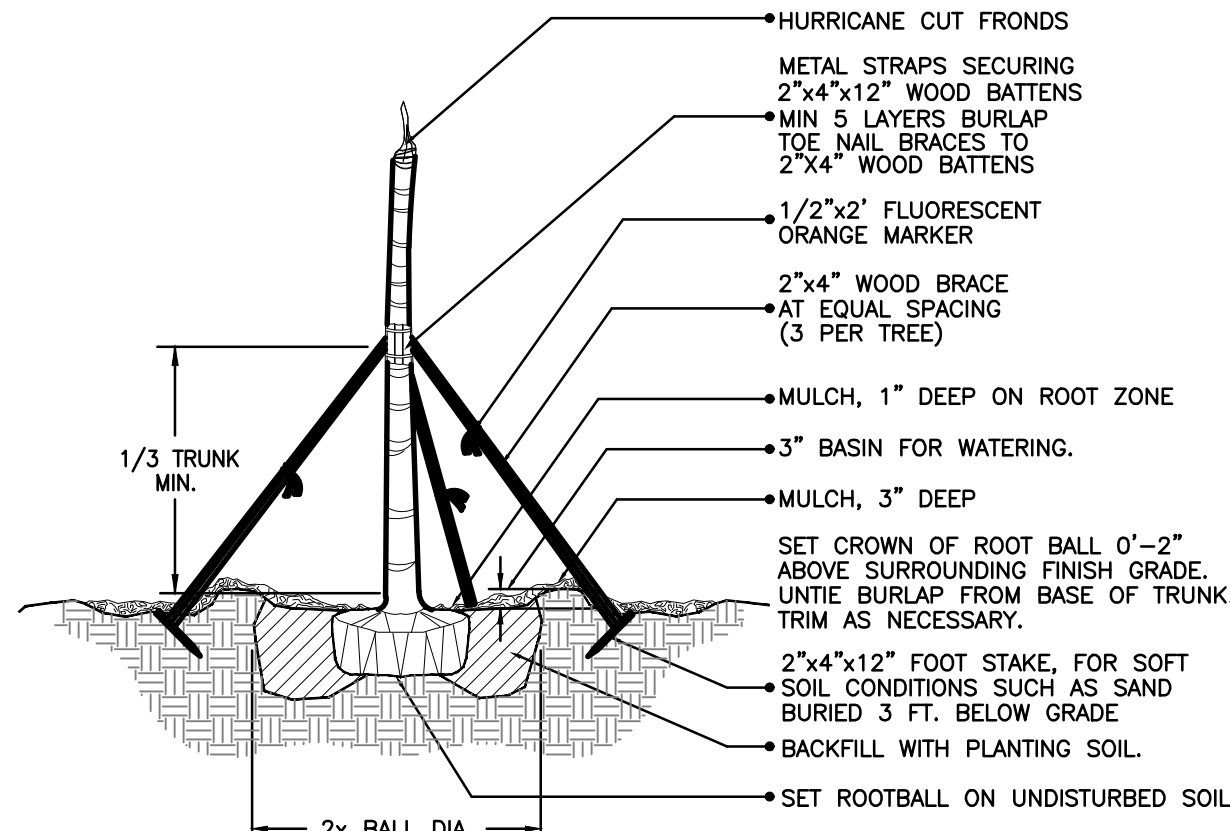
LARGE PALM PLANTING DETAIL

NTS.



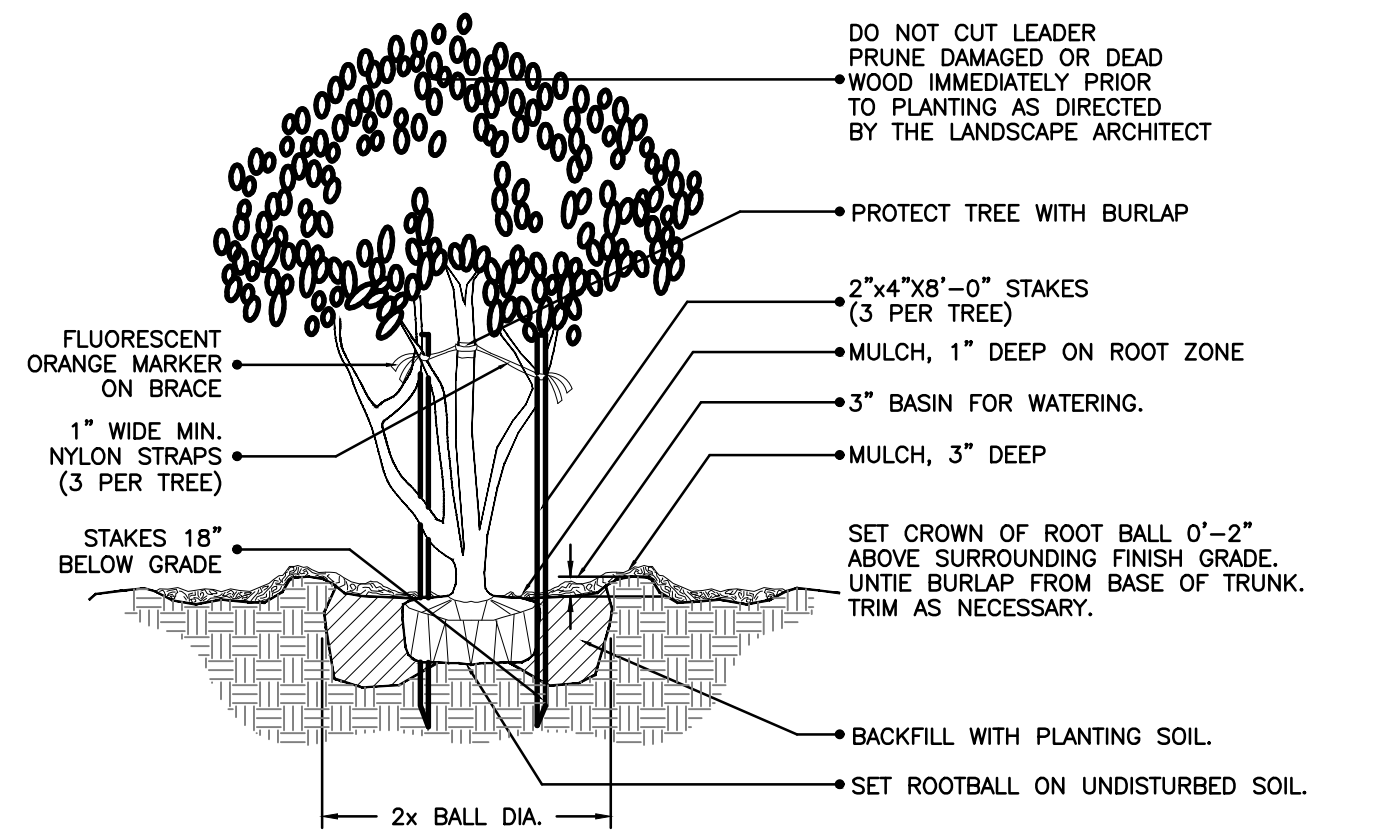
(2" cal. and under)
SMALL TREE PLANTING DETAIL

NTS.



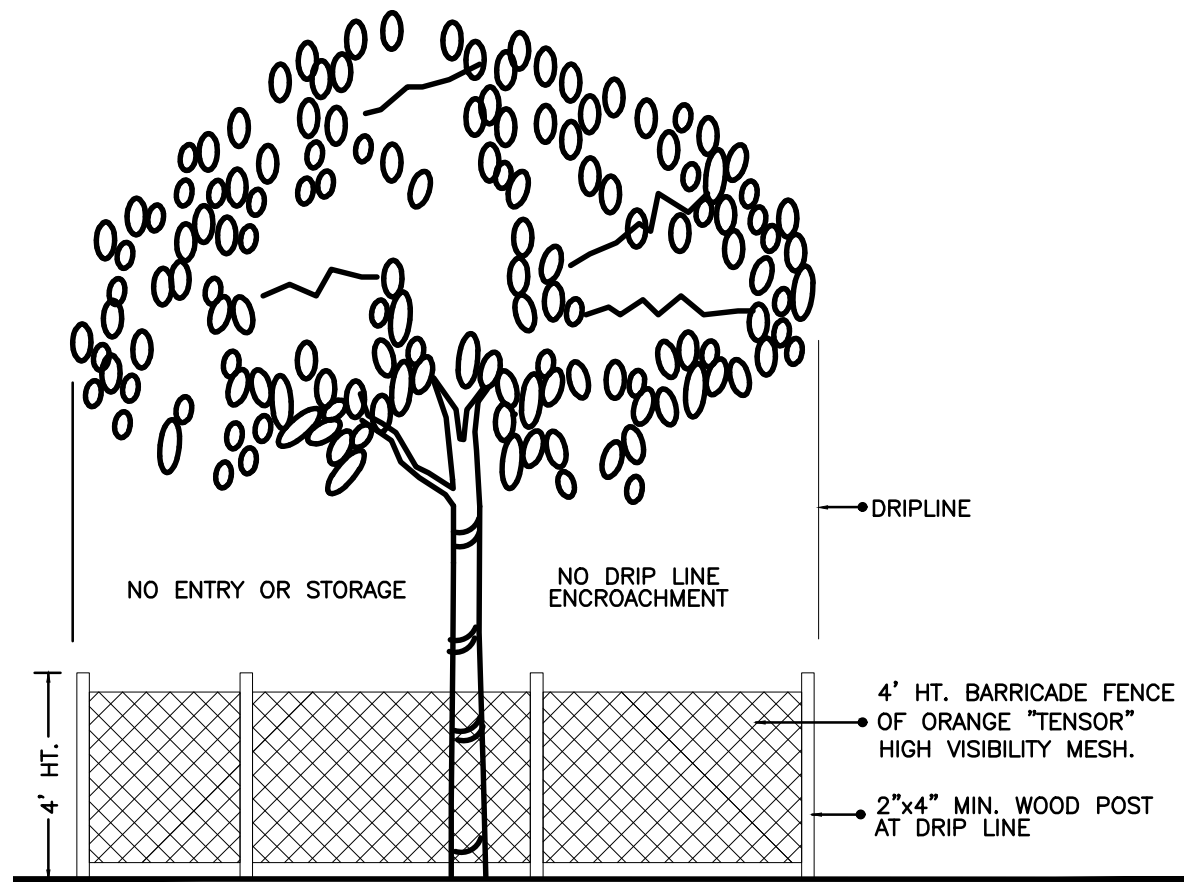
**CIGARED SABAL
PALM PLANTING DETAIL**

NTS.



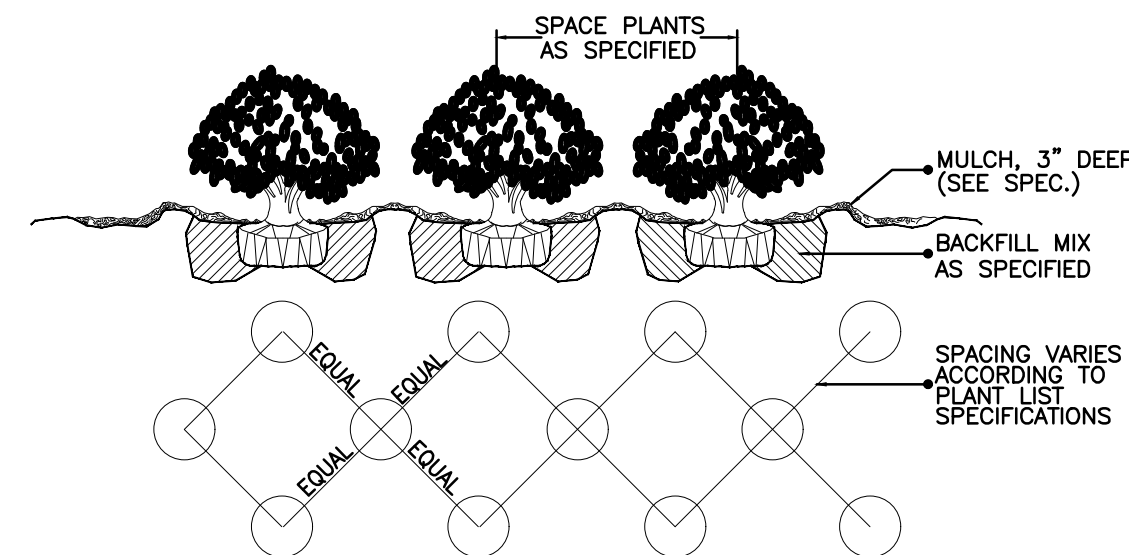
**MULTI- TRUNK AND SMALL TREE
(2" cal. and under) PLANTING DETAIL**

NTS.



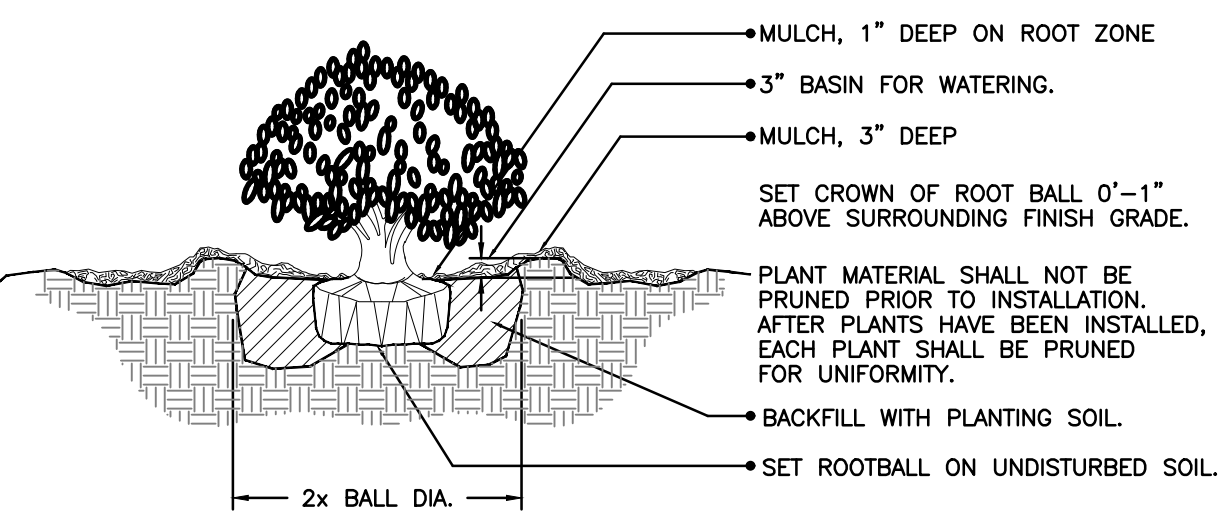
**TREE PRESERVATION
BARRICADE FENCING DETAIL**

NTS.



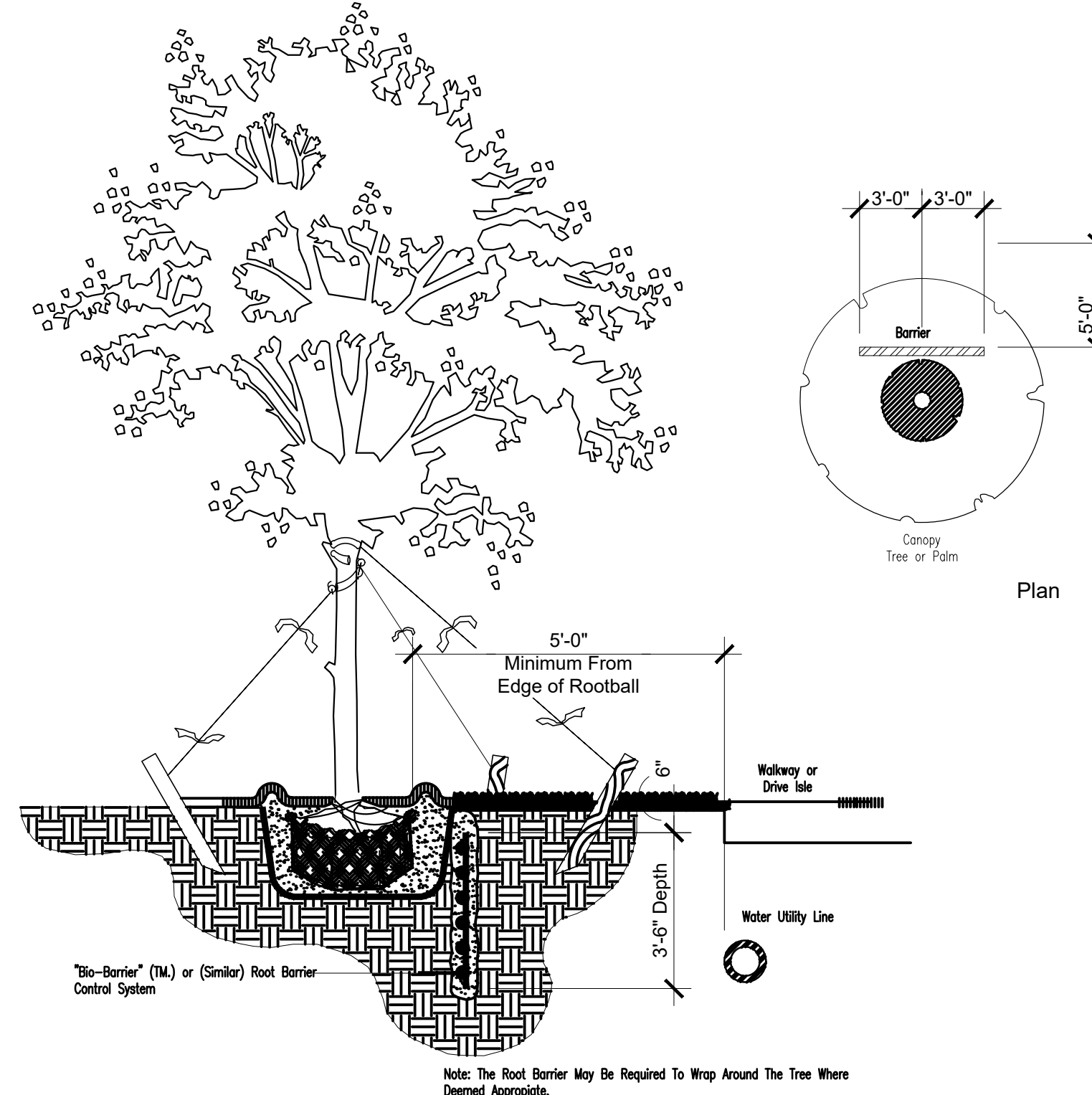
**SHRUB / GROUNDCOVER
SPACING / PLANTING DETAIL**

NTS.



SHRUB PLANTING DETAIL

NTS.



TYPICAL ROOT BARRIER APPLICATION DETAIL

Section

"Bio-Barrier" Is Manufactured By:
"Reemay, Inc." - 70 Old Hickory Blvd. - P.O.Box 511
Old Hickory, TN 37138 - Phone: 1-800-25-ROOTS

Applicable Use of Root Barriers:
If a Canopy Tree and/ or Palm Is To Be Installed
Within Less Than (10') Ten Feet Separation From A
Water Main (or Service) and/ or Sewer Main (or
Service). The Landscape Contractor Shall Install a
Root Barrier Parallel To The Utility As Required and
as per This Detail. The Contractor Shall Maintain A
(5) Five Feet Minimum Horizontal Distance From
Outside Edge of Rootball To The Utility or any Paved
or Concrete Surface.

The Landscape Contractor Shall Verify The Existing
Locations of The Applicable Water Utilities, In The
Field, Prior To Any Tree Installations Requiring A
Root Barrier.

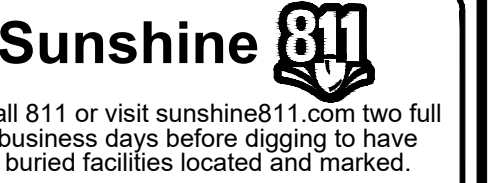
Suggested Installation Method:
Dig A Vertical Trench Between The Root Source of
The Tree and The Surface and/ or Utility Line To Be
Protected. The Trench Must Be At Least 6'-0"
In Length (Centered On Tree) and Must Be at Least
4'-0" In Depth Parallel To The Applicable Surface,
Service and/ or Utility. Note: For New Tree
Installations, Trench May Be Dug At The Same Time
as The Hole For The Applicable Tree and/ or Palm.

Using Impervious Gloves, Roll Out "Bio-Barrier" and
Trim To Fit The Specific Application. Insert The
Barrier Vertically Into The Trench, With The Top
Edge of The Barrier (6") Six Inches Below The Soil
Surface.

Tamp Backfill Firmly Into Trench With "Bio-Barrier"
Contained, Eliminating Air Pockets or Soil Voids
Accordingly. Dissolve The Coating and Activate The
Product By Saturating The Backfill and "Bio-Barrier"
With Water. After Completed, Smooth The Soil
Surface To Finish Grade, Allowing Excess Material
For Soil Setting.



REVISIONS			
REV.	DATE	COMMENT	BY



Check positive response codes before you dig!

**FORT PIERCE
DEVELOPMENT REVIEW
MINOR AMENDMENT
SUBMITTAL SET**

PROJECT No.: F210111
DRAWN BY: LD
CHECKED BY: MDG
DATE: 02/10/2022
CAD I.D.: F210111 DISPOSITION

PROJECT:

500 VIRGINIA AVENUE

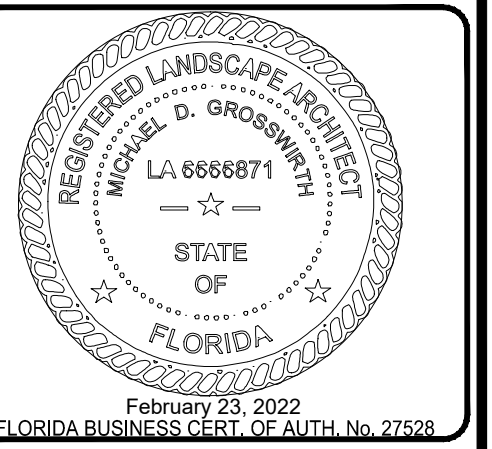
FOR

PNC BANK

FORT PIERCE
FLORIDA



6300 NW 31ST AVENUE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com



SHEET TITLE:

LANDSCAPE DETAILS

SHEET NUMBER:

L-2.1

LANDSCAPE GENERAL NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING CURBS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS, EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTING BY DRIVING OR PARKING INSIDE THE DRIP - LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP - LINE.

2. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT, TREES KILLED OR DAMAGED SO THAT THEY ARE MISLEAF AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH OVER FOUR INCHES (4") CALIPER AS FIXED AND AGREED UPON ADDITIONAL DAMAGES, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY, WHICHEVER IS GREATER. CALIPER SHALL BE MEASURED AT BREAST HEIGHT OR FOUR FEET (4') ABOVE SURROUNDING GROUND.

D. MATERIALS

1. SUBMITTALS: GENERAL SAMPLES OF PLANTING MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER, UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLE SUBMITTALS

- MULCH ONE (1) CUBIC FOOT
- TOPSOIL ONE (1) CUBIC FOOT
- PLANTS ONE (1) REPRESENTATIVE SAMPLE OF EACH VARIETY

2. PLANT MATERIALS

A) GENERAL: PLANT SPECIES, SIZES, & QUANTITIES SHALL, AT A MINIMUM, CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" PARTS I AND II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA NO. 1 AS AN ABSOLUTE MINIMUM UNLESS OTHERWISE SUPERSED BY A FLORIDA FANCY DESIGNATION, AS DETERMINED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FRESHLY DIG, SOUND, HEALTHY, VIGOROUS, WELL - BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER, WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B) MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE TOP OF ROOT BALL (TRUNK FLAKE) AND/OR ACROSS THE AVERAGE SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C) INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH PRELIMINARY APPROVAL SHALL NOT SUPERSEDE THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES, PRESENCE OF INSECTS, AND OTHER CONDITIONS THAT MAY HAVE OCCURRED SINCE THE NURSERY INSPECTION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

D) AMENDED PLANTING SOIL: PLANTING SOIL FOR USE IN BACK FILLING PLANTING HOLES SHALL BE FORTY PERCENT (40%) TOPSOIL AND SIXTY PERCENT (60%) SAND AND BE FERTILE, FRIABLE AND OF A LOAMY CHARACTER. WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OTHER MATERIALS FROM A WELL - DRAINED, ARABLE SITE. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, COARSE SAND, STONES, LIMB, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, OR NOXIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. PH RANGE SHALL BE 5.0 TO 7.0 INCLUSIVE.

E) SAND SHALL BE CLEAN, WELL DRAINING NATIVE SAND. IF REQUESTED, CONTRACTOR SHALL AT ANY TIME AND AT NO COST TO OWNER, SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY OWNER.

E. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL NATURAL OR MAN - MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

F. COMMERCIAL FERTILIZER

1. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

2. ANNUALS AND GROUNDCOVERS - OSMOCOPE/SIERRA BLEND 14 - 14 - 14

3. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUIV.

4. ANNUALS AND GROUNDCOVERS - OSMOCOPE/SIERRA BLEND 14 - 14 - 14

5. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUIV.

6. MULCH SHALL BE SHREDED WOOD DERIVED FROM MELALEUCA OR OTHER INVASIVE TREE SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS, SPORES, ETC. AND RENDER THEM BARREN.

7. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF THREE INCHES (3"). MULCH IS TO BE KEPT 2-3" FROM THE STEM OF ALL GROUNDCOVERS & 3-6" FROM THE TRUNK OF ALL TREES & PALMS.

8. MULCH SHALL BE GRADE "B" SHREDED, AND SHALL BE APPLIED EVENLY AND SMOOTH TO PLANTED AREAS.

9. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFIED ACCORDINGLY. NO CYPRESS MULCH OR PINE BARK SHALL BE USED.

H. DIGGING AND HANDLING

1. PROTECT ROOT SYSTEMS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER EROSION, AND OTHER HARMFUL CRITERIA AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKING AND DRYING OUT DURING LOADING, TRANSIT, AND UNLOADING/PLANTING. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAWED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRU" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL SPECIFIC SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS, AND IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. NO PLANT WITH A ROOTBALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS BY

"GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. PRUNING PRACTICED OTHER THAN MINIMAL PRUNING OF FRONDS, PRIMARILY TO REACH "CLEAR TRUNK" SPECIFICATIONS. FRONDS TYPICALLY HAVE A PERCOLATION RATE OF 4" OR LESS PER HOUR, AS DETERMINED BY THE GEOTECHNICAL ENGINEER. TREES SHALL BE SET PLUMS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLOUSED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUIVALENT RECOMMENDED.

5. EXCAVATION OF PLANTING HOLES SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS, AND PREPARED SUB-BASES.

I. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL - ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TIPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, AND SHALL MEET MINIMUM SPECIFICATIONS IN THE PLANT LIST.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GOWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS OR WITH CIRCLING ROOTS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NEED AUTHORIZATION FROM THE OWNER. LIKEWISE, SUBSTITUTION OF CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE BALLED AND BURLAPPED/FIELD GROWN WILL NEED AUTHORIZATION FROM THE OWNER AND LA OF RECORD PRIOR TO THE ORDERING OF ANY MATERIALS.

5. ALL PLANT MATERIALS SHALL MEET THE MINIMUM SPECIFICATIONS LISTED IN THE PLANT SCHEDULE; SIZE (HEIGHT/SPREAD) SPECIFICATIONS TAKE PRECEDENCE OVER GALLON SIZES (IF GALLON SIZES ARE SPECIFIED).

J. COLLECTED STOCK

1. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOT BALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

K. NATIVE STOCK

1. PLANTS COLLECTED FROM WILD OR NATIVE STAND SHALL BE CONSIDERED GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

L. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN A BIDDER'S TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSION OF BIDS. DRAWINGS SHALL TAKE PRECEDENCE. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE. WHERE NO GALLON SIZE IS SPECIFIED ON CONTAINERIZED SHRUBS OR GROUNDCOVERS, THE HEIGHT & SPREAD SPECIFICATIONS SHALL PREVAIL.

M. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOO AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT- END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

N. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER, ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY AFFECT THE VIABILITY OF THE PLANTS TO BE INSTALLED, HE/SHE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S CONSTRUCTION MANAGER OR DESIGNEE.

2. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE PROHIBITED TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIFLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE JURISDICTIONAL MUNICIPALITY.

3. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES. INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORM WATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

4. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO MINIMUM DEPTH OF APPROXIMATELY 20% GREATER THAN THE RECOMMENDED PLANTING SOIL DEPTH - UNLESS OTHERWISE SPECIFIED BY JURISDICTIONAL CODE. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ONSITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE OR CONTRACT OWNER'S CONSTRUCTION MANAGER OR DESIGNEE FOR SOLUTION.

5. CONTRACTOR TO ENSURE THAT ALL MULCH IS APPLIED TO THE PLANTING DETAIL. MULCH SHALL BE REMOVED & A 2" LAYER OF NON-LIMEROCK PLANTING SOIL FAVORABLE TO SHRUB GROWTH & SUSTAINABILITY EXISTS OVER ALL PLANTING AREAS. TREE PITS SHALL BE EXCAVATED & BACKFILLED WITH PLANTING SOIL TO A MINIMUM DEPTH OF 30".

6. RECOMMENDED PLANTING SOIL DEPTH IS AS FOLLOWS:

ALL TREES AND TALL SHRUBS (INDICATED AS "SHRUBS" & "SHRUBS AREAS" ON THE PLANT SCHEDULE) SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL ABOVE AND BENEATH THE ROOTBALL; MINIMUM TOPSOIL SHALL BE 6" FOR LOW SHRUBS/GROUNDCOVER AREAS AND 2" FOR SODDED GRASS AREAS.

THE MINIMUM TOPSOIL DEPTHS ARE IN ADDITION TO A MINIMUM NON-LIMEROCK SOIL DEPTH OF 10" - 18". CONSISTING OF EXISTING UNDISTURBED OR NATIVE SOIL THAT WAS STORED/STOCKPILED ON SITE AND REUSED, OR CLEAN IMPORTED PLANTING SOIL WITH A RANGE OF ORGANIC MATTER BETWEEN 3-5% CONTAINING NO SOLIDS GREATER THAN AN INCH AND A HALF IN DIAMETER IN ANY DIRECTION. TOPSOIL DEPTHS PLUS PLANTING SOIL/EXISTING NATIVE SOIL MINIMUM DEPTHS ARE IN ADDITION TO ANY LIMESTONE/LIMEROCK SUBGRADE, & IN ADDITION TO EXCAVATION WIDTHS REQUIRED FOR TREE PITS AS SHOWN ON THE PLANTING DETAILS.

PURSUANT TO THE ABOVE, THE TOTAL MINIMUM DEPTH OF VIABLE NON-LIMEROCK PLANTING SOIL, INCLUDING EXISTING VIABLE UNDISTURBED/OR STOCKPILED SOIL (IF PRESENT), REQUIRED TO BE PROVIDED ABOVE ANY LIMESTONE/LIMEROCK SUBGRADE CONDITION SHALL BE 12" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR SOD AREAS; 16" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR GROUNDCOVERS; 24" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR SHRUBS/SHRUB AREAS; AND 30" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR TREE PITS. DESIGNATION OF "TREES", "SHRUBS"/"SHRUB AREAS", AND "GROUNDCOVERS" SHALL BE CONSISTENT WITH THE LABELING OF PLANT MATERIALS SHOWN ON THE LANDSCAPE PLANT'S PLANT SCHEDULE, WITH THE EXCEPTION OF COMMON TURFGRAASSES WHICH MAY BE INDICATED AS "GROUNDCOVERS". NONE OF THE ABOVE MINIMUMS SHALL PRECLUDE THE CONTRACTOR FROM EXCAVATING & PROVIDING SOIL IN ACCORDANCE WITH NOTE N.4 OR N.9. IMPORTED SOIL SHALL BE IN ACCORDANCE WITH NOTE D.2.D.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE & TAKE REASONABLE MEASURES AS PART OF DUE DILIGENCE TO DETERMINE THE EXTENT OF EXCAVATION REQUIRED & TO DETERMINE THE AMOUNT OF PLANTING SOIL NECESSARY TO ENSURE LONG-TERM SUSTAINABILITY & SURVIVAL OF THE PLANT MATERIALS IN ACCORDANCE WITH THIS CONTRACT.

6. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

7. GENERAL: COMPLY WITH FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

8. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

9. ALL PLANTING HOLES SHALL BE OVERSIZED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD TO NURSERY STOCK 280-1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SEE MATERIALS, SECTION D). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE

FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. POOR DRAINAGE CONDITIONS TYPICALLY HAVE A PERCOLATION RATE OF 4" OR LESS PER HOUR, AS DETERMINED BY THE GEOTECHNICAL ENGINEER. TREES SHALL BE SET PLUMS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLOUSED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUIVALENT RECOMMENDED.

10. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS, CURBS, PAVING, AND OTHER HARDSCAPE MATERIALS WHILE INSTALLING TREES.

11. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION D (MATERIALS) OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING HOLE SHALL HAVE RECEIVED 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:
- TWO (2) TABLETS PER 1 GAL. PLANT
- THREE (3) TABLETS PER 10 GAL. PLANT
- FOUR (4) TABLETS PER 10 GAL. PLANT LARGER MATERIAL
- TWO (2) TABLETS PER HALF INCH (1/2") OF TRUNK CALIPER

12. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE TOP OF THE ROOT SYSTEM (FOR SHRUBS AND GROUNDCOVER) OR TRUNK FLARE (TREES AND PALMS) WILL STAND ONE (1) TO TWO (2) INCHES ABOVE FINAL GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PLANTING HOLE. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

13. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, TURNING SOIL IF NECESSARY TO GET SOIL THOROUGHLY WET. SPARK LIGHTLY WITH FEET OR OTHER TAMPING DEVICE. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE PULLED FROM UNDERNEATH.

14. PRUNING: FOR DAMAGED OR BROKEN LIMBS, EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE SPECIES. ALL SUCKER GROWTH SHALL BE COMPLETELY REMOVED PRIOR TO DIGGING.

15. SHRUBS AND GROUNDCOVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED IN THE PLANT LIST. CULTIVATE ALL MASS PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE OF ALL DEBRIS, "TILL 4" OF PLANTING SOIL MIX INTO THE NEWLY TILLED PLANTING BED FOR GENERAL NUTRIENT DISBURSEMENT. MASS PLANTING BED IS NOW READY TO RECEIVE HOLES FOR NEW PLANTS. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

16. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO ENSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. TREES SHALL USE ABORTIVE AS PER DETAIL SHEET. PALMS SHALL USE WOOD BRACING PER DETAIL SHEET.

17. MULCHING: PROVIDE A THREE INCH (3") MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUNDCOVER AND VINE BED AND TREE PIT (FOR TREES AND PALMS, MIN. THREE INCH (3") FROM EDGE OF TRUNK). - UNLESS OTHERWISE SPECIFIED BY LOCAL CODES AND SPECIFIED AS SUCH.

18. SYSTEMIC HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR THEIR DESIGNEE, A SYSTEMIC HERBICIDE SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. AFTER MULCH HAS BEEN APPLIED TO PLANTING BEDS AND TREE RINGS, TREAT ALL MULCH BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

19. LAWN SODDING: STENOCHLOMUM SECUNDATUM, V. "FLORITAM" UNLESS OTHERWISE NOTED. (ST. AUGUSTINE SOLID SOD). 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING; 2. COMPLETE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PROVIDE A GRASS LAWN ACCEPTABLE TO THE OWNER AND GOVERNING AGENCIES.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND OTHER DEBRIS, AND THE SOIL BROUGHT TO AN EVEN PREPARED GRADE TO ALLOW FOR SOIL PREPARATION BELOW.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR INCHES (4") DEEP. APPLY FERTILIZER AT A RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM. UTILIZE COMMERCIAL BROADCAST SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE INCHES (3"). HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY TO PREPARE FOR SOD INSTALLATION.

4. SODDING: THE CONTRACTOR SHALL SOD ALL THE PEROUVIOUS AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS TO CREATE A UNIFORM, NEW TURF BLANKET FOR THE SITE. ALL PEROUVIOUS AREAS TO REMAIN THAT ARE DISTURBED BY CONSTRUCTION & NOT SHOWN TO HAVE SHRUBS OR GROUNDCOVER ON THE LANDSCAPE PLAN SHALL BE SODDED BY CONTRACTOR. ALL SOD OFF-SITE OR IN THE RIGHT-OF-WAY (DEDICATED OR OTHERWISE) SHALL BE BAHIA 'ARGENTINE' SOLID SOO UNLESS OTHERWISE NOTED.

A) THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS, AND DISEASE OF ANY KIND, SOD PANELS SHALL BE LAID TIGHTLY TOGETHER TO MAKE A SOLID, SODDED LAWN AREA.

B) SOD SHALL BE LAID IN ROWS WITH EVERY OTHER ROW STAGGERED HALFWAY BETWEEN THE NEXT TO INSURE NO CONTINUOUS STACKED JOINTS. SEW JOINTS OF SOD TO INSURE A TIGHT FIT AT JOINTS, WITH GAPS NO GREATER THAN 1" BETWEEN SOD PANELS.

C) SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH (4") MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED TO THOROUGHLY MOISTEN THE SOIL BENEATH. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

5. DURING DELIVERY, PRIOR TO ADD DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE INSTALLED DURING THE DAY OF ITS ARRIVAL.

6. LAWN MAINTENANCE:

A) WITHIN THE SITE, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY OWNER OR AS IN THE ORIGINAL WORK ORDER AND PROCESS (INCLUDING REGARDING IF NECESSARY).

B) WATER EVERY DAY FOR FOURTEEN (14) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) UNTIL FULLY ESTABLISHED OR UNTIL AUTOMATIC IRRIGATION SYSTEM IS FULLY OPERATIONAL AND PROGRAMMED ACCORDINGLY. COORDINATE WATERING SCHEDULE WITH NATURAL RAINFALL. RAINFALL EVENTS IN DURATION OF TWENTY (20) MINUTES OR MORE THAT PRODUCE MORE THAN A HALF INCH (1/2") OF PRECIPITATION WILL NEGATE THE NEED FOR WATERING OF THE FOLLOWING DAY IF PREVIOUSLY SCHEDULED. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO A DEPTH OF FOUR INCHES (4").

P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEAN AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING MATERIALS INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. MAINTENANCE AFTER THE CERTIFICATION OF AN ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF NINETY (90) CALENDAR DAYS COMMENCING AFTER ACCEPTANCE (SEE NEXT SECTION).

R. MAINTENANCE (ALTERNATIVE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR LANDSCAPE AND IRRIGATION MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

5. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CARE & MAINTENANCE OF THE PLANT MATERIALS UNTIL THE END OF ESTABLISHMENT OR 60 DAYS AFTER FINAL LANDSCAPE CERTIFICATION BY THE LANDSCAPE ARCHITECT, WHICHEVER IS LATER. & SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AS NEEDED TO ENSURE ADEQUATE WATER IS SUPPLIED TO THE PLANT MATERIALS DURING ESTABLISHMENT. AT THE END OF THE ESTABLISHMENT PERIOD, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE IRRIGATION TIMECLOCK IS ADJUSTED TO A NORMAL WATERING CYCLE PER THE IRRIGATION WATERING SCHEDULE SHOWN ON THE IRRIGATION PLANS.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL SOD INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNERS OR OWNER'S DESIGNEE.

3. REPLACEMENT: ANY PLANT NOT IN A HEALTHY, THRIVING GROWING CONDITION SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. SHOULD THE OWNER ELECT, TREES AND PALMS MAY BE GIVEN A PERIOD OF NINETY (90) DAYS BEFORE REMOVAL TO ALLOW THE CONTRACTOR TO RESURRECT THE TREE OR PALM IN QUESTION AND BRING IT TO A THRIVING, HEALTHY CONDITION. ALL REPLACEMENTS SHALL BE PLANTS OF LIKE KIND, CONDITION AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED WITHIN THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER. ANY REPAIRS FROM THIS REPLACEMENT MATERIAL SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT MATERIAL SHALL BE GUARANTEED TO A ONE (1) YEAR PERIOD FROM THE DAY OF REPLACEMENT ACCEPTANCE BY THE OWNER. SHOULD REPLACEMENT MATERIAL FAIL WITHIN THE GUARANTEE PERIOD, THE OWNER MAY OPT FOR A CREDIT OF THE MONETARY AMOUNT FOR THE REPLACEMENT MATERIALS AT A RATE OF THE ORIGINAL CONTRACT BID RATE, IN LIEU OF AN ADDITIONAL REPLACEMENT.

4. IN THE EVENT THE OWNER ELECTS NOT TO CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO USE THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EXAMINE MAINTENANCE PROCEDURES PERFORMED BY THE OWNER OR THEIR DESIGNEE, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH OF ITEMS UNDER REPLACEMENT WARRANTY. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

T. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION BY OWNER OR THEIR DESIGNEE AT THE END OF THE GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTHY, VIGOROUS, AND THRIVING AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPLACED PREVIOUSLY UNDER SAID WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE 90 AS SPECIFIED BY THE OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

U. GRADING AND DRAINAGE NOTES

1. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE "DIG SAFE" NOTIFICATION PROCEDURES PROMOTED BY THE RESPECTIVE UTILITY COMPANIES IN FLORIDA, CALL FLORIDA SUNSHINE AT 811.

2. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDDINGS AT ALL TOP AND BOTTOM OF SLOPES.

Technical Review Committee

2. b.

Meeting Date: 03/17/2022

REQUESTED ACTION

Variance - Lexus Billboard - 5121 S. US Highway 1

LOCATION

5121 S. US Highway 1

RESPONSIBLE STAFF

Lance Lilly

RECOMMENDATION

NA

Attachments

Lexus Variance - TRC Packet

Form Review

Form Started By: Lance Lilly

Started On: 03/02/2022 01:19 PM

Final Approval Date: 03/02/2022



TO: Technical Review Committee

FROM : Lance Lilly, Senior Planner

RE : Technical Review Project: #22-12000001
(Site Plan & Design Review)

BOARD DATE : March 17, 2022

Variance – Lexus – 5121 S US-1, Fort Pierce, FL 34982

Attached is a variance application for a Lexus car dealership sign located at 5121 S US HWY 1. The subject property has an existing sign located on the Lexus car dealership site and would increase the height of the existing billboard from 25 ft. to a 50 ft. high static sign.

Please review and provide comments on these applications. Please send all comments to the following emails llilly@cityoffortpierce.com, arosenthal@cityoffortpierce.com, and/or through interoffice mail to the Planning Department. If you have comments please respond prior to the, January 20, 2022 TRC meeting.

Please do not hesitate to contact me should you require any additional information or clarification at 772-467-3739.

Thank You,

Lance Lilly
Senior Planner



Donald J. Cuzzo Inc.

Cuzzo Planning Solutions

p.o. box 1939 - stuart, fl 34995
cell: 772.485.1600 - office: 772.221.2128

February 23, 2022

Jennifer Hofmeister, AICP, LCAM
Planning Director
P.O. Box 1480
Fort Pierce, FL 34954
Physical Address

RE: Variance request for billboard height

Dear Jennifer Hofmeister,

Please find attached a request for consideration of a variance application to accommodate an increase in height of an existing off-premise sign (billboard). The existing sign is located on the site of the Lexus car dealership, 5121 US-1, Fort Pierce, FL 34982. The sign had been a replacement for a previously grandfathered in static billboard sign measuring 50ft. high and setback from the road 54 ft. A proposal to increase the height of the existing billboard from 25 ft. to what had originally been approved as a 50 ft. high static sign would provide the visibility needed to compensate for an extensive setback from US-1. All other elements of Section 117-6. Regulation, have been met in the proposed replacement sign design, scale, orientation, materials, etc.

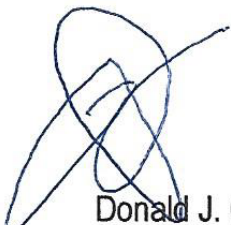
In support of the application please find attached one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following:

- As-built Survey – attached.
- Floor Plan of Existing Buildings – not applicable for a sign.
- Site plan, to scale, including all relative improvements, existing and proposed structures, landscaping, parking, fencing, signs, etc. – attached as per sign detail requirements.
- Criteria Narrative – as follows based on variance criteria.
- Complete Application – attached.

Additional information attached includes aerial, land use and zoning maps and photographs of the existing billboard the subject of the variance request to achieve a height of 50 ft. where the code allows up to 25 ft. A check for \$1,000.00 is also included in support of the Variance application submittal.

We look forward to hearing from you with regards to scheduling the applicable meetings. Should you require any additional information please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, consisting of several overlapping loops and a long horizontal stroke extending to the right.

Donald J. Cuzzo

772 485 1600

Variance Criteria & Justification Responses.

To demonstrate whether the request for Variance meets all the criteria in Section 125-100 of the City Code, the following questions are answered on separate pages.

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

The location of the existing billboard (off-premise) sign is in the same footprint as the static billboard it replaced. The setback and location in relation to US-1 is a significant distance and at an angle that limits visibility of the existing sign. The scale of the existing Lexus car dealership buildings and extensive landscaping along US-1 limits visibility of the existing 25 ft. electronic billboard sign. An increase in the height to a maximum of 50ft. is consistent with the static sign that was replaced and will allow greater visibility of the sign along US-1.

2. Do special conditions or circumstances result from actions other than that of yours? Please explain.

Replacement of the static sign had been restricted to the existing footprint, setbacks, and location. The height had been reduced in accordance with the current sign code. All of the other existing static billboard signs that exist along US-1 are 50 ft. in height. The existing extensive landscaping along US-1 and proximity to the Lexus car dealership buildings hinders visibility and marketability of the electronic billboard sign. A variance from the maximum height restriction of 25 ft. will achieve the required visibility while meeting all other sign code requirements.

3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

The current location, setbacks from the road, and orientation in relation to the existing car dealership limit visibility of the existing billboard sign from US-1. All existing static billboard signs are 50 ft. in height. The maximum building height for a property zoned C-3 is 65 ft. The request to accommodate a 50ft. billboard would therefore be 15 ft. less than the maximum permissible height of the buildings.

4. What is the minimum variance that would give the reasonable use of the land, building, or structure?

A variance to allow a maximum height of 50 feet will achieve the required visibility and is consistent with the existing static billboards located along US-1. The proposed height at 50 ft. for the billboard would be 15 ft. less than the maximum allowable building height for a C-3 zoned property. Without the variance the digital billboard sign will continue to operate at a lower occupancy rate based on lack of visibility from US-1.

5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

The surrounding area is predominantly commercial with large properties and commercial buildings dominating the frontage along US-1. A commercial building is allowed the opportunity to be built to a maximum height of 65 ft. and existing static billboards are allowed to be 50 ft. high along US-1. The zoning ordinance restricts an electronic bill-board height to 25 ft. Such restrictions present a challenge when considering the setback from US-1, and proximity of the existing electronic billboard to the Lexus car dealership and the extensive landscape buffers along US-1. A billboard needs to be visible to attract utilization of the signage. A variance is required to provide adequate visibility and viable commercial use of the electronic billboard at a scale consistent with the majority of static billboards existing along US-1.



VARIANCE

Property Information

Property address or Location

5121 US-1, Fort Pierce, FL 34982

Parcel ID #(s)

3403-502-0067-000-4

Project description

Variance to accommodate a replacement billboard at a 50 ft. height

Reason for request

An increase in height of 50 ft. is consistent with the original static billboard height and will achieve the required visibility

Existing Use: Billboard site & Car dealership Date Property was Purchased: 2009

Alterations made to the site since purchase: Construction and then replacement of billboard, car dealership operations

Has a request for this variance been denied in the past? Yes No

If yes, what changed since the denial? N/A

Woods Family Limited Ptrn II

Property Owner(s)

5121 US-1,

Street Address

Fort Pierce FL 34982

City State Zip

772 485 1600

Phone Number

swoods@treasurecoastlexus.com

Email Address

Fort Pierce 1, LLC

Applicant/Representative, Title, Company

Donald J. Cuozzo

Street Address

701 NW Federal Hwy Stuart FL 34994

City State Zip

772 485 1600

Phone Number

dcuozzo@cdgplan.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Donald J. Cuozzo
Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev1>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Submittal Requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- As-built Survey
- Floor Plan of Existing Buildings
- Site plan, to scale, including all relative improvements, existing and proposed structures, landscaping, parking, fencing, signs, etc.
- Criteria Narrative
- Complete Application

Criteria:

To determine whether your request for Variance meets all the criteria in Section 125-100 of the City Code, please answer the following questions. Please provide answers to the questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.
2. Do special conditions or circumstances result from actions other than that of yours? Please explain
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.
4. What is the minimum variance that would give the reasonable use of the land, building, or structure?
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

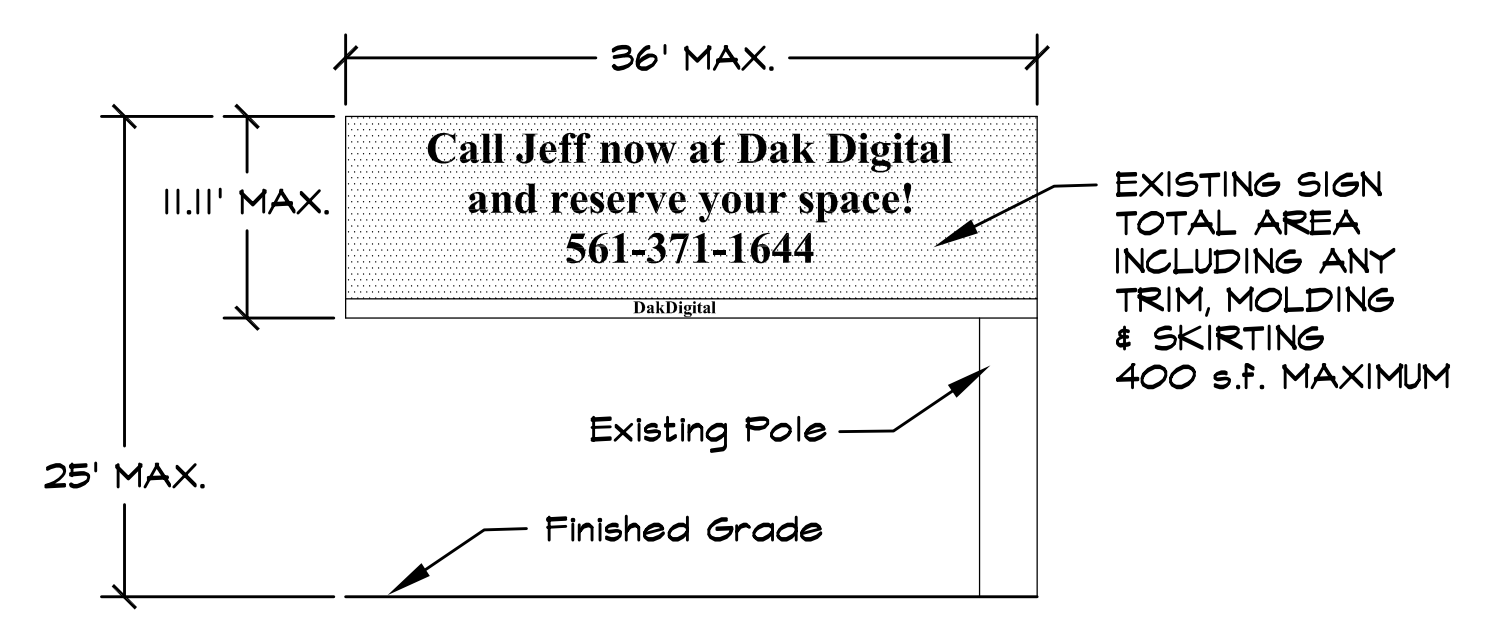


Existing Sign Location

Proposed Sign Location

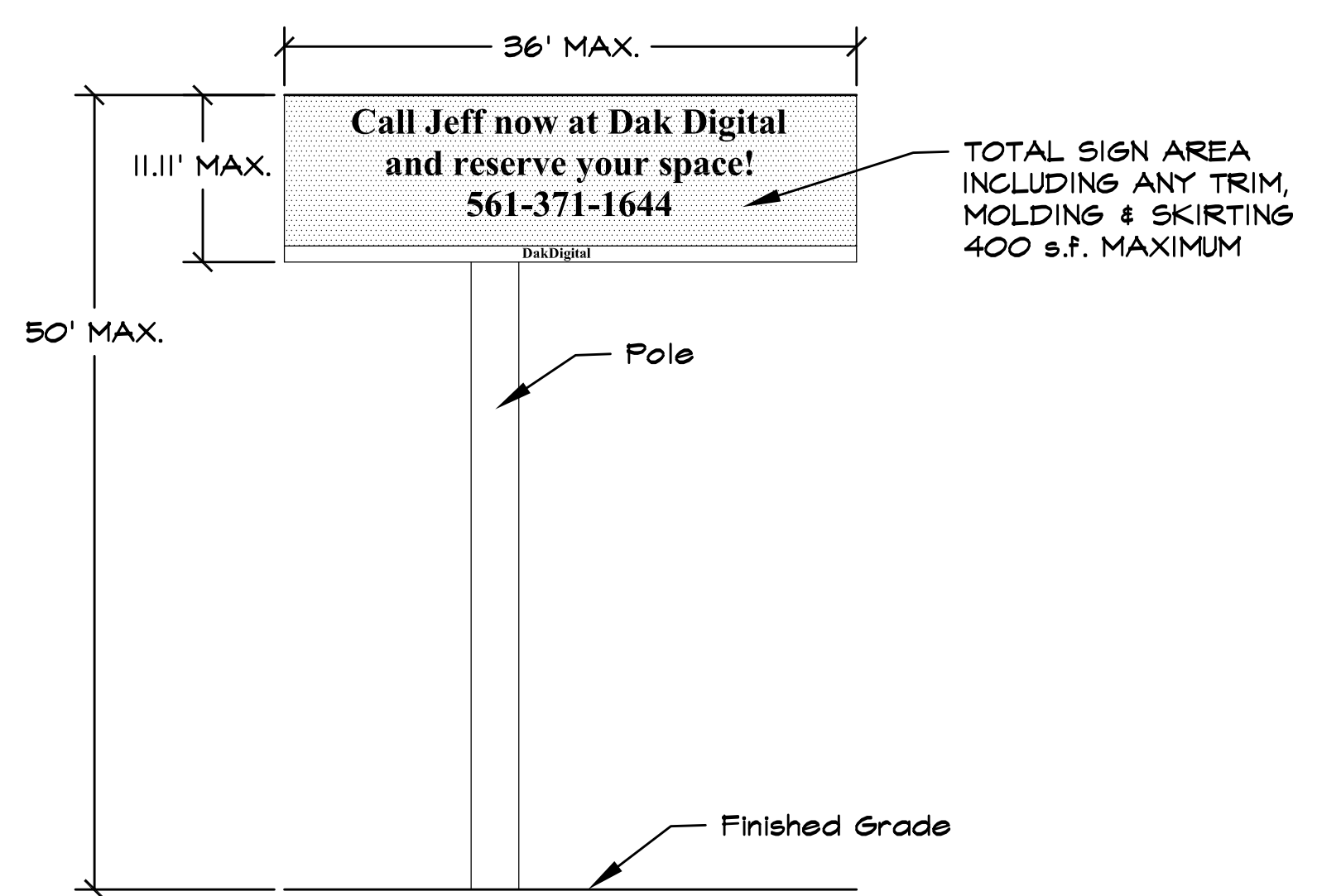
Data

	Square Feet	%
Easement Area	625 s.f.	100
Setbacks	Required Minimum	Provided
Front (East)	45'	59.02'
Side (South)	45'	278' +/-
Side (North)	45'	600' +/-
Rear	45'	826' +/-
Existing Building	45'	116' +/-
Maximum Sign Face Area	11.11' x 36'	400 s.f.
Provided Sign Face Area	11' x 36'	396 s.f.
Maximum Height		25'
Provided Height		25'



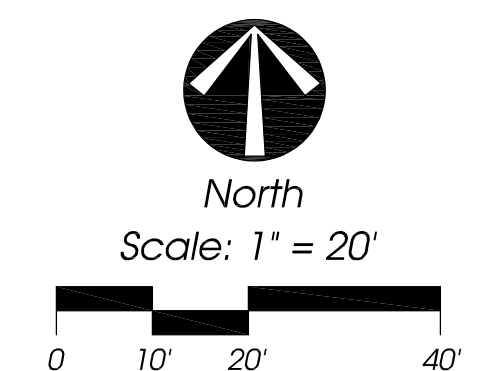
Data

	Square Feet	%
Easement Area	625 s.f.	100
Setbacks	Required Minimum	Provided
Front (East)	45'	54'
Side (South)	45'	278' +/-
Side (North)	45'	600' +/-
Rear	45'	848.5' +/-
Existing Building	45'	116' +/-
Maximum Sign Face Area	11.11' x 36'	400 s.f.
Provided Sign Face Area	11' x 36'	396 s.f.
Maximum Height		25'
Provided Height		50'



City of Fort Pierce Off-premises Sign Code Section 15-6.C.

- Off-premises signs:
- Shall not exceed an aggregate sign area of four hundred (400) square feet including all trim, molding or skirting.
 - Shall not exceed a sign dimension of forty (40) feet horizontally or twelve (12) feet vertically including all trim, molding or skirting.
 - Shall not exceed a total height above natural ground level of twenty-five (25) feet.
 - Shall be located a minimum of twenty-five (25) feet from any right-of-way, property line or structure on the same property, except the minimum setback shall be increased one foot for each ten (10) square feet or portion thereof that the sign exceeds two hundred (200) square feet.
 - Shall have the following minimum distances between any two (2) off-premises signs:
 - Five hundred (500) feet where at least one off-premises sign is more than one hundred (100) square feet in sign area.
 - Five thousand (5,000) feet where both signs are more than one hundred (100) square feet in off-premise sign area.
 - May have two (2) signs situated back-to-back or oriented in a single "V" having an included angle of not more than thirty (30) degrees.
 - Shall comply with section 15-8(5)a.3, where the off-premises sign is also a ground sign.



DakDigital
 5121 South US Highway 1
 City of Fort Pierce, Florida 34982

City Project Number: _____

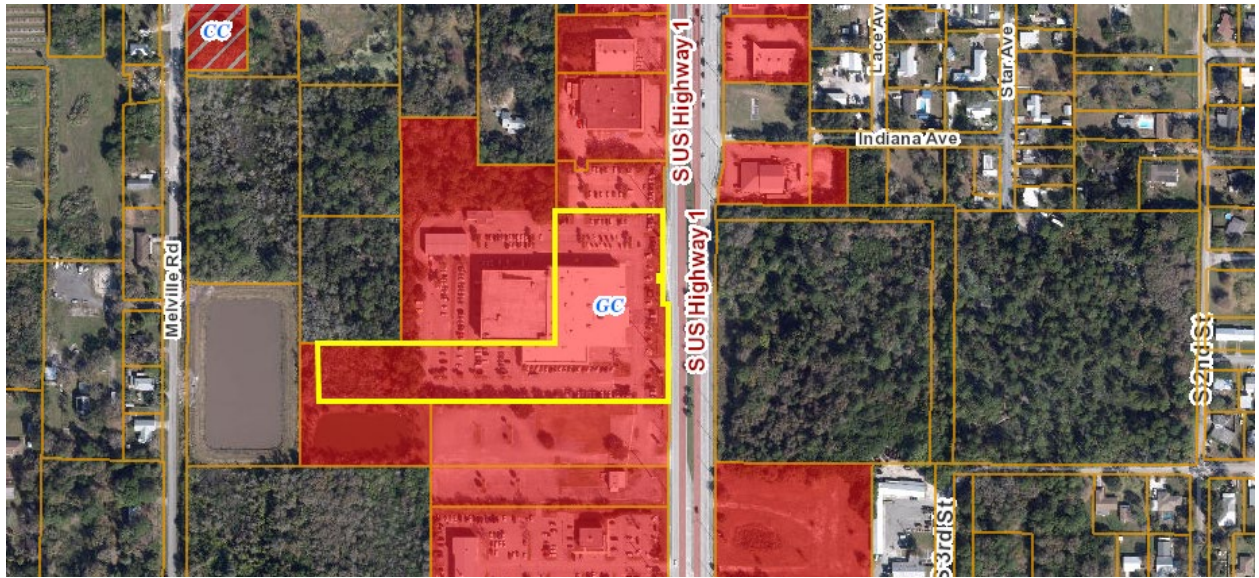
Jeffrey W. Smith, RLA
 Florida Registration Number: LA 0001635

Job No. 19-0305
 Drawn By JWS
 Submittal Dates 9-16-2021

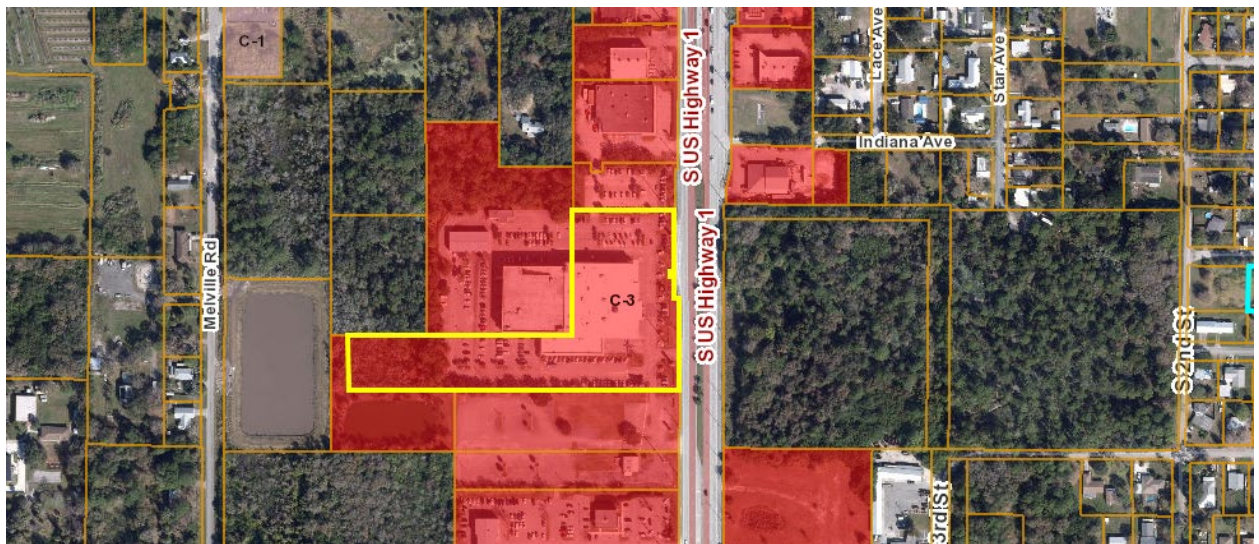
Revision Dates 2-15-2022

These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.

Sheet 1 of 1



GC Land Use



C-3 Zoning District





This instrument was prepared by
And to Be Returned to:
Michael J. McDermott, Esquire
791 West Lumsden Road, Brandon, Florida 33511
Parcel Identification No.: 3403-311-0005-000-6

Warranty Deed

(Statutory Form - Section 689.02, F.S.)

THIS INDENTURE, made this 21st day of JANUARY, 2009, between **SANFORD L. WOODS**, whose post office address is PO Box 15340, Fort Pierce, FL 34981, of the County of St. Lucie, State of Florida, grantor*, and **WOODS FAMILY LIMITED PARTNERSHIP II**, a Florida limited partnership, whose post office address is 15303 Burlsey Court, Tampa, FL 33647, of the County of Hillsborough, State of Florida, grantee*,

WITNESSETH that said grantor, for and in consideration of the sum of Ten Dollars and 00/100, and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, the grantee's heirs and assigns forever, the following described land, situate, lying and being in St. Lucie County, Florida, to-wit:

See Exhibit "A" attached hereto.

Subject to:

Taxes for year of conveyance and subsequent years.

Zoning, restrictions, prohibitions and other requirements imposed by governmental authorities.

Restrictions, conditions, easements and reservations and matters appearing on the plat or otherwise common to the subdivision.

Any matters (encroachments / excroachments, etc.) capable of being disclosed by an accurate survey of the premises.

This is not the homestead property of the grantor.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

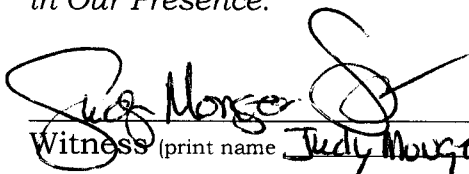
AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and

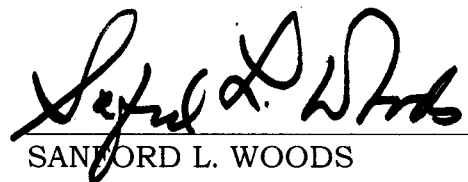
lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2008.


*"Grantor" and "grantee" are used for singular and plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written

Signed, Sealed and Delivered
in Our Presence:


Witness (print name) Judy Murgoo Jay


 (Seal)
SANFORD L. WOODS


Witness (print name) LINDA G TYNER

State Of Florida
County Of HILLSBOROUGH }

THE FOREGOING INSTRUMENT was acknowledged before me this
21ST day of JANUARY, 2009, by SANFORD L. WOODS, who is
personally known to me or who has produced a Florida driver's license as
identification and who did take an oath.

My Commission Expires:


NOTARY PUBLIC - STATE OF FLORIDA

SHARON R. ZOSS
Notary Public, State of Florida
My comm. exp. Jan. 22, 2010
Comm. No. DD 477394

EXHIBIT A

COMMENCING AT THE CENTER OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST; THENCE S.89°53'07"W., ALONG THE EAST-WEST QUARTER SECTION LINE OF SAID SECTION 3, A DISTANCE OF 331.00 FEET; THENCE S.00°20'19"E., PARALLEL TO SAID NORTH-SOUTH QUARTER SECTION LINE OF SAID SECTION 3, A DISTANCE OF 544.50 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTHERLY ALONG SAID LINE, A DISTANCE OF 125.50 FEET; THENCE N.89°53'07"E., A DISTANCE OF 289.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY No. 1 (120.00' WIDE); SAID POINT BEING 42.00 FEET WEST OF, AS MEASURED PERPENDICULAR TO, THE NORTH-SOUTH QUARTER SECTION LINE OF SAID SECTION 3; THENCE S.00°20'19"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 487.02 FEET TO A POINT LYING 165.00 FEET NORTH OF, AS MEASURED PERPENDICULAR TO, THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE S.89°53'56"W., PARALLEL WITH SAID SOUTH LINE, A DISTANCE OF 619.56 FEET TO A POINT LYING 661.55 FEET WEST OF, AS MEASURED PERPENDICULAR TO, THE NORTH-SOUTH QUARTER SECTION LINE OF SAID SECTION 3, THENCE S.00°20'19"E., PARALLEL WITH SAID NORTH-SOUTH QUARTER SECTION LINE, A DISTANCE OF 165.00 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE S.89°53'56"W., ALONG SAID SOUTH LINE, A DISTANCE OF 331.16 FEET TO THE EAST LINE OF THE WEST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 3; THENCE N.00°16'42"W., ALONG SAID EAST LINE, A DISTANCE OF 316.80 FEET; THENCE N.89°53'07"E., A DISTANCE OF 261.38 FEET TO A POINT THAT IS 731.00 FEET WEST OF, AS MEASURED PERPENDICULAR TO, THE NORTH-SOUTH QUARTER SECTION LINE OF SAID SECTION 3; THENCE N.00°20'19"W., PARALLEL TO SAID NORTH-SOUTH QUARTER SECTION LINE, A DISTANCE OF 580.00 FEET TO A POINT THAT IS 425.00 FEET SOUTH OF, AS MEASURED PERPENDICULAR TO, THE EAST-WEST QUARTER SECTION LINE OF SAID SECTION 3; THENCE N.89°53'07"E., PARALLEL WITH SAID EAST- WEST QUARTER SECTION LINE, A DISTANCE OF 200.00 FEET; THENCE S.00°20'19"E., A DISTANCE OF 119.50 FEET; THENCE N.89°53'07"E., A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING. ALL LYING IN ST. LUCIE COUNTY, FLORIDA.