



TO: Technical Review Committee

FROM: Planning Department

RE: Project: #22-07000004
(Site Plan)

MEETING DATE: April 21, 2022

Site Plan – Viva East – 5315 Edwards Road & 5496 Altman Road

The applicant is proposing a new residential project comprised of 158 residential units.

Please e-mail comments to planning_dl@cityoffortpierce.com prior to Tuesday, April 19, 2022.

If you have any questions, please call the Planning department at 772-467-3737.

Thank You



DEVELOPMENT REVIEW

Property Information

Property address or Location 5315 EDWARDS RD & 5496 ALTMAN RD, FORT PIERCE, FL

Parcel ID #(s) 2430-231-0001-000-4 & 2430-234-0001-000-3

Project description To develop a residential project with 158 residential units

Application Type

- Site Plan Conditional Use w/New Construction Conceptual Development Plan
 Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: 0 Site Acreage: 0

Residential: Proposed Units: 158 Proposed Sq. Ft.: _____ Site Acreage: 37.21

TEG Acquisitions, LLC

Property Owner(s)

365 Route 59 Ste 120

Street Address

Airmont NY 10952

City State Zip

Phone Number

Email Address

Stephen Cooper, P.E., SCPE

Applicant/Representative, Title, Company

7450 S Federal Hwy

Street Address

Port Saint Lucie FL 34952

City State Zip

772-336-2933

Phone Number

scooper@scpeinc.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

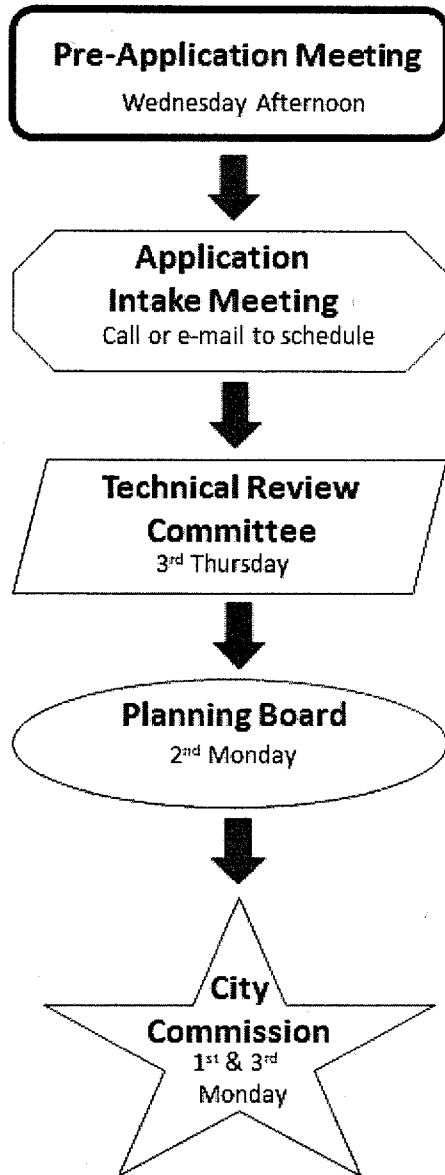
CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



DESIGN REVIEW

Property Information

Property address or Location 5315 EDWARDS RD & 5496 ALTMAN RD, FORT PIERCE, FL
 Parcel ID #(s) 2430-231-0001-000-4 & 2430-234-0001-000-3
 Project description To develop a residential project with 158 residential units

TEG Acquisitions, LLC

Property Owner(s)
365 Route 59 Ste 120
 Street Address
Airmont NY 10952
 City State Zip

 Phone Number

 Email Address

Marshall Property Services, LLC

Applicant/Representative, Title, Company
4400 East 100 North
 Street Address
Shelbyville IN 46176
 City State Zip
813.853.3077
 Phone Number
frivera@mpropertyservicesllc.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS
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<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

Design Review Application Checklist

(City Code of Ordinances 125-314)

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

| | Existing Use | Future Land Use | Zoning |
|-------|--------------|-----------------|--------|
| North | | | |
| South | | | |
| East | | | |
| West | | | |

| | Future Land Use | Zoning Classification | Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage | Total Acreage | Flood Zone |
|------------|-----------------|-----------------------|--|---------------|------------|
| Current | | | | | |
| **Proposed | | | | | N/A |

II. Public Facilities Information:

| A. Potable Water: | |
|-----------------------|--|
| Average Use | Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot |
| Demand Analysis | Maximum |
| Current Zoning/FLU | Total gallons per day |
| **Proposed Zoning/FLU | Total gallons per day |
| **Change in Demand | Total gallons per day |

| | |
|-----------------------|--|
| B. Wastewater: | |
| Average Use | Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot |
| Demand Analysis | Maximum |
| Current Zoning/FLU | Total gallons per day |
| **Proposed Zoning/FLU | Total gallons per day |
| **Change in Demand | Total gallons per day |

| C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS) | | | | |
|---|-----------------------------|---------------------------------|---------------------------------|------------------|
| Park Type | LOS | Existing Population Park Demand | Proposed Population Park Demand | Change in Demand |
| Regional | 20 acres per 1,000 people | | | |
| Urban District | 5 acres per 1,000 people | | | |
| Community | 2.5 acres per 1,000 people | | | |
| Neighborhood | 1.36 acres per 1,000 people | | | |

| | | |
|---|------------|-------------|
| D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High) | | |
| | K-8 | High |
| School Name | | |
| City | | |
| Distance | | |
| Current Zoning/FLU | Enrollment | |
| **Proposed Zoning/FLU | Enrollment | |
| **Change in Demand | | |

| | |
|---|---------|
| E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units) | |
| Demand Analysis | Maximum |
| Current Zoning/FLU | |
| **Proposed Zoning/FLU | |
| *Change in Demand | |

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

| | |
|---------------|--|
| Impact | |
|---------------|--|

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

| G. Transportation Analysis: Complete ITE Trip Generation Data Form | | |
|---|-------------|------------------------------|
| Most recent ITE Code for use; HCM Roadway Capacity | | |
| | AADT | AM/PM Peak Hour Trips |
| Demand Analysis | Maximum | Maximum |
| Current Zoning/FLU | | |
| **Proposed Zoning/FLU | | |
| *Change in Demand | Trips | Trips |
| Impact to Capacity | | |

IV. Project Description

| PHASING |
|--|
| Is this project (phase) part of a larger project? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date. |
| Total Project: Residential Units: Single Family: Multifamily: |
| Non-residential (square footage): |
| Mixed-use (describe use): |
| (If this is a single phase project, name it Phase I – Total) |

| RESIDENTIAL DATA | | | | | |
|-------------------------|--------------|------------------------|--------------|--------------------------------|---------------------------------|
| Type | Phase | Number of Units | Acres | Expected beginning date | Expected completion date |
| Single-family, detached | | | | | |
| Single-family, attached | | | | | |
| Multi-family | | | | | |
| Other (specify) | | | | | |

| NON-RESIDENTIAL DATA | | | | | |
|-----------------------------|--------------|-----------------------|--------------|---------------------------------|---------------------------------|
| Type(s) specify | Phase | Square footage | Acres | Expecting beginning date | Expected completion date |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

PREPARED BY:

Mariner Cove Builders, LLC
9429 Harding Avenue, Suite 292
Surfside, FL 33154

PARCEL IDENTIFICATION NUMBERS: 2430-234-0001-000-3 and 2430-231-0001-000-4

SPECIAL WARRANTY DEED

THIS INDENTURE, made and entered into as of the 27th day of April, 2021, by and between MARINER COVE BUILDERS, LLC, a Florida limited liability company, whose mailing address is 9429 Harding Avenue, Suite 292, Surfside, Florida 33154 (the "Grantor"), in favor of TEG ACQUISITIONS LLC, a New Jersey limited liability company, whose mailing address is 365 Route 59, Suite 120, Airmont, New York 10952 (the "Grantee").

GRANTOR, for and in consideration of the sum of Ten (\$10.00) Dollars in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, aliened, conveyed and confirmed, and by these presents does grant, alien, convey and confirm unto said Grantee, the following described premises situated in St. Lucie County, Florida and being more particularly described on Exhibit "A" attached hereto and made a part hereof (the "Property").

SUBJECT TO:

1. Taxes and assessments for the year 2021 and subsequent years.
2. Restrictions, covenants, conditions, reservations, matters, dedications, and easements of record, but this provision shall not operate to reimpose the same.
3. Existing zoning, restrictions, prohibitions and other similar requirements imposed by governmental authority.

TOGETHER with all the tenements, hereditaments and appurtenances thereof belonging or in otherwise appertaining.

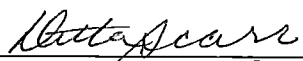
TO HAVE AND TO HOLD, the same in fee simple forever.


AND the Grantor hereby covenants with said Grantee that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through and under Grantor.


IN WITNESS WHEREOF, the Grantor has caused these presents to be executed in its name by its proper duly authorized representative, on the day and year first above written.

Signed, Sealed and Delivered
in the presence of:

MARINER COVE BUILDERS, LLC, a Florida limited liability
company


Print Name: Detha Scarr

By: 
David Koplowitz, Manager


Print Name: F. Fawcett



South Florida Water Management District
Individual Environmental Resource Permit No. 56-02352-P
Date Issued: December 11, 2015
Modified On: December 16, 2019

Permittee: Mariner Cove Builders LLC
1400 E Oakland Park Blvd Suite 103
Ft Lauderdale, FL 33334

Project: Mariner Cove

Application No. 191202-2401

Location: St Lucie County, See Exhibit 1

Your application for an Individual Environmental Resource Permit is approved. This action is taken based on Chapter 373, Part IV, of Florida Statutes (F.S.) and the rules in Chapter 62-330, Florida Administrative Code (F.A.C.). Unless otherwise stated, this permit constitutes certification of compliance with state water quality standards under section 401 of the Clean Water Act, 33 U.S.C. 1341, and a finding of consistency with the Florida Coastal Management Program. Please read this entire agency action thoroughly and understand its contents.

This permit is subject to:

- Not receiving a filed request for a Chapter 120, F.S., administrative hearing.
- The attached General Conditions for Environmental Resource Permits.
- The attached Special Conditions.
- All referenced Exhibits.

All documents are available online through the District's ePermitting site at www.sfwmd.gov/ePermitting.

If you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights", we will assume that you concur with the District's action.

The District does not publish notices of action. If you wish to limit the time within which a person may request an administrative hearing regarding this action, you are encouraged to publish, at your own expense, a notice of agency action in the legal advertisement section of a newspaper of general circulation in the county or counties where the activity will occur. Legal requirements and instructions for publishing a notice of agency action, as well as a noticing format that can be used, are available upon request. If you publish a notice of agency action, please send a copy of the affidavit of publication provided by the newspaper to the District's West Palm Beach office for retention in this file.

If you have any questions regarding your permit or need any other information, please call us at 1-800-432-2045 or email ERP@sfwmd.gov.

A handwritten signature in blue ink, appearing to read "Gary R. Priest".

Gary R. Priest, P.E.
Section Leader, Environmental Resource Bureau

**South Florida Water Management District
Individual Environmental Resource Permit No. 56-02352-P**

Date Issued: December 11, 2015 **Expiration Date:** December 13, 2024

Modified On: December 16, 2019

Project Name: Mariner Cove

Permittee: Mariner Cove Builders LLC
1400 E Oakland Park Blvd Suite 103
Ft Lauderdale, FL 33334

Operating Entity: Mariner Cove Builders LLC
1400 E Oakland Park Blvd Suite 103
Ft Lauderdale, FL 33334

Location: St Lucie County

Permit Acres: 39.10 acres

Project Land Use: Residential

Special Drainage District: North St Lucie River Water Control District

Water Body Classification: CLASS III

FDEP Water Body ID: 3194A

Conservation Easement to District: No

Sovereign Submerged Lands: No

Project Summary

This Environmental Resource Permit authorizes Construction and Operation of a stormwater management (SWM) system serving 39.10 acres of residential development known as Mariner Cove.

The project consists of multi-family residential buildings with associated parking and roadways. The permitted SWM system consists of roadway catch basins and conveyance directing stormwater runoff to three inconnect lakes that provide water quality treatment and attenuation. The SWM system discharges to a St. Lucie County drainage easement along the eastern property boundary. Please refer to Exhibit 2.0.1 for additional details.

Issuance of this permit constitutes certification of compliance with state water quality standards in accordance with Rule 62-330.062, F.A.C..

Site Description

The site is located in St. Lucie County at the intersection of Jenkins and Edwards Roads. Please refer to Exhibit 1.0 Location Map.

There are no SWM facilities constructed within the project site. Please refer to the Permit Modification History section. The project site was previously used as a citrus grove and contains furrows to promote drainage. The southern portion of the project site is heavily wooded.

For information on wetland and surface water impacts, please see the Wetlands and Other Surface Water section of this permit.

Ownership, Operation and Maintenance

Perpetual operation and maintenance of the stormwater management system will be the responsibility of Mariner Cove Builders, LLC. Upon conveyance or division of ownership or control of the property or the system, the permittee must notify the Agency in writing within 30 days, and the new owner must request transfer of the permit.

Current Authorization (Application No. 191202-2401)

The purpose of this request is to authorize a five (5) year extension of Permit No. 56-02352-P, Application No. 150313-19, pursuant to Rule 40E-4.321(3) F.A.C., for 39.10 acres of residential development known as Mariner Cove. The Project Work Schedule is also being modified.

Permit Modification History

Please see Exhibit No. 5.0 for a list of authorizations that constitute this permit.

Engineering Evaluation:

Land Use

Please refer to Exhibit 2.1.

Water Quality

The project provides the required water quality treatment volume based on 2.5 inches times the percent impervious over the controlled basin area.

The project includes implementation of a Stormwater Pollution Prevention Plan (Exhibit 2.0.1) as additional reasonable assurance of compliance with water quality criteria during construction and operation.

Discharge

The project is located within the North St. Lucie River Water Control District and has an allowable discharge of two (2) inches per day over the controlled basin area. As found in Water Quantity Data Table, the project discharge is within the allowable limit for the area.

Road Design

As found in Water Quantity Data Table and the attached Exhibit 2.0.1, minimum road center line elevations have been set at or above the calculated design storm flood elevation.

Perimeter Berm

As found in Water Quantity Data Table and the attached Exhibit 2.0.1, minimum perimeter berm elevations have been set at or above the calculated design storm flood elevation.

Finished Floors

As found in Water Quantity Data Table and the attached Exhibit 2.0.1, minimum finished floor elevations have been set at or above the calculated design storm flood elevation.

Flood Plain/Compensating Storage

The permittee's engineer previously submitted calculations demonstrating that the project will meet the compensating storage requirements for the Ten Mile Creek floodplain. Refer to the ePermitting file for additional information.

Certification, Operation, and Maintenance

Pursuant to Chapter 62-330.310, F.A.C., Individual Permits will not be converted from the construction phase to the operation phase until construction completion certification of the project is submitted to and accepted by the District. This includes compliance with all permit conditions, except for any long term maintenance and monitoring requirements. It is suggested that the

permittee retain the services of an appropriate professional registered in the State of Florida for periodic observation of construction of the project.

For projects permitted with an operating entity that is different from the permittee, it should be noted that until the construction completion certification is accepted by the District and the permit is transferred to an acceptable operating entity pursuant to Sections 12.1-12.3 of the Applicant's Handbook Volume I and Section 62-330.310, F.A.C., the permittee is liable for operation and maintenance in compliance with the terms and conditions of this permit.

In accordance with Section 373.416(2), F.S., unless revoked or abandoned, all SWM systems and works permitted under Part IV of Chapter 373, F.S., must be operated and maintained in perpetuity.

The efficiency of SWM systems, dams, impoundments, and most other project components will decrease over time without periodic maintenance. The operation and maintenance entity must perform periodic inspections to identify if there are any deficiencies in structural integrity, degradation due to insufficient maintenance, or improper operation of projects that may endanger public health, safety, or welfare, or the water resources. If deficiencies are found, the operation and maintenance entity is responsible for correcting the deficiencies in a timely manner to prevent compromises to flood protection and water quality. See Section 12.4 of the Applicant's Handbook Volume I for Minimum Operation and Maintenance Standards.

**Engineering Evaluation Tables:
Land Use**

| Basin | Land Type | Area (ac) | % of Total Basin |
|-------|-------------------|--------------|------------------|
| Site | Building Coverage | 4.37 | 16.05 |
| | Impervious | 6.03 | 22.15 |
| | Lake | 2.64 | 9.70 |
| | Pervious | 14.18 | 52.09 |
| | Total: | 27.22 | 100% |

Water Quality

| Basin | Treatment Type | Treatment System | Volume Required (ac-ft) | Volume Provided (ac-ft) | Area (ac) | Overflow Elevation (ft NGVD29) |
|-------|----------------|------------------|-------------------------|-------------------------|-----------|--------------------------------|
| Site | Treatment | WET DETENTION | 2.26 | 2.26 | 2.64 | 15.60 |

Water Quantity

| Basin | Elevation Type | Storm Event (Yr/Day) | Precipitation Depth (in) | Peak Stage (ft NGVD29) | Min. EL (ft NGVD29) | Peak Discharge Rate (cfs) | Allowable Discharge Rate (cfs) |
|-------|---------------------------|----------------------|--------------------------|------------------------|---------------------|---------------------------|--------------------------------|
| Site | Finished Floor | 100Y3D | 11.00 | 16.83 | 17.00 | N/A | N/A |
| | Perimeter Berm/ Discharge | 10YR3D | 8.50 | 15.30 | 16.08 | 3.70 | 3.70 |
| | Road Crown | 10YR1D | 6.00 | 14.58 | 16.08 | N/A | N/A |

Bleeder

| Basin | Control EL (ft NGVD29) | Structure # | Structure Type | Count | Type | Dia.(in) | Invert EL (ft NGVD29) | Receiving Body |
|-------|------------------------|-------------|----------------|-------|------------------|----------|-----------------------|----------------|
| Site | 12.00 | CS#1 | Discharge | 1 | Circular Orifice | 3.75 | 12.00 | SLC Road Ditch |

Weir

| Basin | Control EL (ft NGVD29) | Structure # | Structure Type | Count | Type | Width (in) | Height (in) | Crest EL (ft NGVD29) | Receiving Body |
|-------|------------------------|-------------|----------------|-------|---------|------------|-------------|----------------------|----------------|
| Site | 12.00 | CS#1 | Discharge | 1 | V-Notch | 54.00 | 14.04 | 14.43 | SLC Road Ditch |

Environmental Evaluation:

Wetlands and Other Surface Waters

The site contains 8.20 acres of wetlands adjacent to Ten Mile Creek, of which, 2.25 acres consist of freshwater marsh and 5.95 acres consist of a riverine swamp. The proposed project is to preserve the existing wetlands and 2.5 acres of uplands adjacent to the preserved wetlands to provide a buffer. The buffer is an average 25', minimum 15' wide. Therefore, no impacts are proposed and no mitigation is required.

The proposed project will preserve the 10.7 acres of wetlands and associated buffer through a conservation easement (refer to Exhibit No. 3.1) dedicated to the District and a maintenance & monitoring plan (refer to the Wetland Monitoring and Maintenance Plan - Exhibit No. 3.0).

Monitoring/Maintenance

The proposed preserve plan consists of the preservation of 8.2 acres of wetlands and 2.5 acres of upland buffer area. The wetland preserve area and associated buffer area will be monitored and maintained as indicated on Exhibit No. 3.0 (Wetland Monitoring and Maintenance Plan) & Special Condition Nos. 19 & 21. These preserved areas will be subjected to regular maintenance activities tailored for the control of exotic and nuisance plant species and a 5 year monitoring program to ensure a trend toward success. The 2.5-acre upland buffer zone for the preserved wetland areas onsite were designed as set forth in the Basis of Review chapter 4.2.7 to address secondary impacts to the on-site wetland conservation areas.

Legal Issues

The applicant has submitted draft Articles of Incorporation and Declaration of Condominium for the Mariner Cove Condominium Association, Inc., which will be the operating entity of the surface water management system and will be responsible for the monitoring and maintenance of the on-site wetland and upland buffer preserve areas. These documents are included in the permit file.

As an assurance that the wetlands will be preserved in perpetuity, the applicant has provided a copy of the Monitoring and Management Plan for the proposed natural areas, included as Exhibit No. 3.0. The preserve and associated buffer areas shall be maintained in their natural condition as indicated by Special Condition No. 16 of this permit. To accomplish this, the applicant proposes to place the onsite wetland and upland buffer preserve areas under conservation easement dedication to the District. The draft language for conservation easement over the wetland and upland preserve areas was provided by the applicant and is included as Exhibit No. 3.1. As indicated by Special Condition Nos. 24 & 26 the applicant is required to record a conservation easement in substantial conformance with Exhibit Nos. 3.1 & 3.3 within sixty (60) days after construction permit issuance and prior to the commencement of construction activities.

Sovereignty Submerged Lands

On October 27, 2005, The Florida Department of Environmental Protection, Division of State Lands, Bureau of Survey and Mapping, Title and Land Records Section commented that the State holds title to the lands lying below the Ordinary High Water Line (OHWL) at this site (refer to Exhibit No. 3.2). The proposed work is not located within and is not anticipated to adversely affect sovereign submerged lands. Any future activities proposed within State owned lands will require a modification of this permit and an authorization for the use of Sovereign Submerged Lands in accordance with the criteria in effect at the time of permit modification as required by Special Condition No. 27.

**Environmental Evaluation Tables:
Summary**

Wetlands and Other Surface Waters: 8.2 acres
 Direct Impacts: 0 acres
 Secondary impacts: 0 acres
 Net UMAM Functional Loss/ Gain: 0 units
 Total Onsite Mitigation Area: 8.2 acres
 Total Offsite Mitigation Area: 0 acres
 Mitigation Provided in Permit No.:

Mariner Cove

UMAM Mitigation and Preservation

| ID | Acres | Action | Existing Community Description | Proposed Community Description | Current or Without Preserve Score | With Project Score | Time Lag Years. | Risk | P.A.F. | UMAM Gain |
|---------------|-------|--------------|-------------------------------------|--------------------------------|-----------------------------------|--------------------|-----------------|------|--------|--------------|
| 01 | 2.25 | Preservation | Freshwater Marshes | Freshwater Marshes | | | | | | 0.000 |
| 02 | 5.95 | Preservation | Stream And Lake Swamps (Bottomland) | Stream and Lake Swamps | | | | | | 0.000 |
| Total: | | 8.2 | | | | | | | | 0.000 |

Related Concerns:**Water Use Permit Status**

Water Use Permit No. 56-02416-W was issued for the project but has now expired. The applicant will be required to submit a water use application for landscape irrigation.

The expiration date for Water Use Permit No. 56-03454-W for dewatering was extended until December 11, 2021.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation.

Historical/Archeological Resources

On October 14, 2005, the District received a letter from the Florida Department of State, Division of Historical Resources (DHR) requesting the applicant to perform a systematic, professional archaeological and historical survey. The applicant has performed the requested archaeological and historical survey for the property (prepared by Archaeological Consultants, Inc., dated December 2005). On March 31, 2006, the DHR issued a follow-up letter that stated that no significant archaeological or historical resources are recorded within the project area and due to the location and/or nature of the project it is unlikely that any such site will be affected. Reference the permit file for DHR letters and archaeological and historical survey. This permit does not release the permittee from compliance with any other agencies' requirements in the event that historical and/or archaeological resources are found on the site (refer to Special Condition No. 25).

Water and Wastewater Service

Fort Pierce Utilities Authority.

General Conditions for Individual Environmental Resource Permits, 62-330.350, F.A.C.

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, Florida Administrative Code (F.A.C.). Any deviations that are not so authorized shall subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the "State of Florida Erosion and Sediment Control Designer and Reviewer Manual" (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the "Florida Stormwater Erosion and Sedimentation Control Inspector's Manual" (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice" indicating the expected start and completion dates. If available, an Agency website that fulfills this notification requirement may be used in lieu of the form.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex- "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit"[Form 62-330.310(3)]; or
 - b. For all other activities- "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
 - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
 - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as- built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Applicant's Handbook Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 - b. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form

62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.

8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
 - a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
 - b. Convey to the permittee or create in the permittee any interest in real property;
 - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the Agency in writing:
 - a. Immediately if any previously submitted information is discovered to be inaccurate; and
 - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule

62-330.201, F.A.C., provides otherwise.

16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with subsection 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

Special Conditions for Individual Environmental Resource Permits, 62-330.350, F.A.C.

1. The construction authorization for this permit shall expire on the date shown on page 2.
2. Operation of the surface water management system shall be the responsibility of Mariner Cove Builders, LLC. Within one year of permit issuance or concurrent with the engineering certification of construction completion, whichever comes first, the permittee shall submit a copy of the recorded deed restrictions (or declaration of condominium, if applicable), a copy of the filed articles of incorporation, and a copy of the certificate of incorporation for the association.
3. Discharge Facilities: through previously authorized facilities.
4. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
5. Measures shall be taken during construction to insure that sedimentation and/or turbidity violations do not occur in the receiving water.
6. The District reserves the right to require that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
7. Lake side slopes shall be no steeper than 4:1 (horizontal:vertical) to a depth of two feet below the control elevation. Side slopes shall be nurtured or planted from 2 feet below to 1 foot above control elevation to insure vegetative growth, unless shown on the plans.
8. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
9. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
10. The permittee shall provide routine maintenance of all of the components of the surface water management system in order to remove all trapped sediments/debris. All materials shall be properly disposed of as required by law. Failure to properly maintain the system may result in adverse flooding conditions.
11. This permit is issued based on the applicant's submitted information which reasonably demonstrates that adverse water resource related impacts will not be caused by the completed permit activity. Should any adverse impacts caused by the completed surface water management system occur, the District will require the permittee to provide appropriate mitigation to the District or other impacted party. The District will require the permittee to

modify the surface water management system, if necessary, to eliminate the cause of the adverse impacts.

12. Minimum road crown elevation: Basin: Site - 16.08 feet NGVD.
13. Prior to the commencement of construction, the permittee shall conduct a pre-construction meeting with field representatives, contractors and District staff. The purpose of the meeting will be to discuss construction methods and sequencing for the type and location of turbidity and erosion controls to be implemented during construction, mobilization and staging of contractor equipment and wetland/buffer protection methods with the permittee and contractors. The permittee shall contact District Environmental Resource Compliance staff from the Okeechobee Service Center at (633)462-5260 to schedule the pre-construction meeting.
14. Permanent physical markers designating the preserve status of the wetland preservation areas and buffer zones shall be placed as shown on Exhibit No. 2.0. The markers shall be maintained in perpetuity.
15. The wetland conservation areas and upland buffer zones shown on Exhibit Nos. 2 & 3 may in no way be altered from their natural or permitted state. Activities prohibited within the conservation areas include, but are not limited to: construction or placing of buildings on or above the ground; dumping or placing soil or other substances such as trash; removal or destruction of trees, shrubs, or other vegetation - with the exception of exotic vegetation removal; excavation, dredging, or removal of soil materials; diking or fencing; and any other activities detrimental to drainage, flood control, water conservation, erosion control, or fish and wildlife habitat conservation or preservation.
16. Wetland preservation/mitigation areas, upland buffer zones and/or upland preservation areas shall be dedicated as conservation and common areas in the deed restrictions & conservation easements as well as on the plat if the project will be platted. Restrictions for use of the conservation/ common areas shall stipulate: The wetland preservation/mitigation areas, upland buffer zones, and/or upland preservation areas are hereby dedicated as conservation and common areas. The conservation/common areas shall be the perpetual responsibility of the Mariner's Cove HOA and may in no way be altered from their natural or permitted state as documented in Permit No. 56-02352-P with the exception of permitted restoration activities. Activities prohibited within the conservation areas include, but are not limited to: construction or placing soil or other substances such as trash; removal or destruction of trees, shrubs, or other vegetation - with the exception of exotic/nuisance vegetation removal; excavation, dredging, or removal of soil material; diking or fencing; and any other activities detrimental to drainage, flood control, water conservation, erosion control, or fish and wildlife habitat conservation or preservation. Copies of recorded documents shall be submitted to the District's Environmental Resource Compliance staff concurrently with engineering certification of construction completion.
17. The existing upland areas of the project site did not contain evidence of endangered species, threatened species and/or species of special concern. It shall be the permittee's responsibility to coordinate with the Florida Fish and Wildlife Conservation Commission and/or the U.S. Fish and Wildlife Service for appropriate guidance, recommendations and/or necessary permits to avoid impacts to listed species if located on the site during construction

18. District criteria requires an average 25' wide, minimum 15', buffer of undisturbed upland vegetation shall be maintained between the proposed development and existing wetlands (refer to Exhibit Nos. 2 & 3). Buffers shall be staked and roped and District environmental staff notified for inspection prior to clearing.
19. A monitoring program shall be implemented in accordance with Exhibit No. 3.0. The monitoring program shall extend for a period of 5 years with annual reports submitted to District staff. The monitoring of the preservation area shall demonstrate that the coverage of exotic and nuisance plant species shall not exceed 5% of the total cover.
20. A baseline wetland monitoring report for the wetland preservation area shall be submitted in accordance with Exhibit No. 3.0 and the work schedule attached herein.
21. A maintenance program shall be implemented in accordance with Exhibit No. 3.0 for the preserved wetland/restored upland areas on a regular basis to ensure the integrity and viability of those areas as permitted. Maintenance shall be conducted in perpetuity to ensure that the conservation areas are maintained free from Category 1 exotic vegetation (as defined by the Florida Exotic Pest Plant Council at the time of permit issuance) immediately following a maintenance activity. Maintenance in perpetuity shall also insure that conservation areas, including buffers, maintain the species and coverage of native, desirable vegetation specified in the permit. Coverage of exotic and nuisance plant species shall not exceed 5% of total cover between maintenance activities. In addition, the permittee shall manage the conservation areas such that exotic/nuisance plant species do not dominate any one section of those areas.
22. The District reserves the right to require remedial measures to be taken by the permittee if monitoring or other information demonstrates that adverse impacts to onsite or offsite wetlands, upland conservation areas or buffers, or other surface waters have occurred due to project related activities.
23. Silt screens, hay bales, turbidity screens/barriers or other such sediment control measures shall be utilized during construction. The selected sediment control measure shall be installed landward of the upland buffer zones around all protected wetlands and shall be properly "trenched" etc, in accordance with Exhibit No. 2.0. All areas shall be stabilized and vegetated immediately after construction to prevent erosion into the wetlands and upland buffer zones.
24. Activities associated with the implementation of the preservation monitoring and maintenance plan shall be completed in accordance with the work schedule attached herein. Any deviation from these time frames will require prior approval from the District's Environmental Resource Compliance staff. Such requests must be made in writing and shall include (1) reason for the change, (2) proposed start/finish and/or completion dates; and (3) progress report on the status of the project development or mitigation effort.
25. If prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, the permitted project should cease all activities involving subsurface disturbance in the immediate vicinity of such discoveries. The permittee, or other designee,

should contact the Florida Department of State, Division of Historical Resources, Review and Compliance Section at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Project activities should not resume without verbal and/or written authorization from the Division of Historical Resources. In the event that unmarked human remains are encountered during permitted activities, all work shall stop immediately and the proper authorities notified in accordance with Section 872.05, Florida Statutes.

26. Prior to the commencement of construction and in accordance with the work schedule in Exhibit No. 3.3, the permittee shall submit two certified copies of the recorded conservation easement for the preserve area and associated buffers. The data shall be supplied in a digital ESRI Geodatabase (mdb), ESRI Shapefile (shp) or AutoCAD Drawing Interchange (dxf) file format using Florida State Plane coordinate system, East Zone (3601), Datum NAD83, HARN with the map units in feet. This data shall be submitted as a paper map depicting the Conservation Easement over the best available satellite or aerial imagery. This data shall also reside on a CD or floppy disk and be submitted to the District's Environmental Resource Compliance Division in the service area office where the application was submitted. The recorded easement shall be in substantial conformance with Exhibit No. 3.1. Any proposed modifications to the approved form must receive prior written consent from the District. The easement must be free of encumbrances or interests in the easement which the District determines are contrary to the intent of the easement. In the event it is later determined that there are encumbrances or interests in the easement which the District determines are contrary to the intent of the easement, the permittee shall be required to provide release or subordination of such encumbrances or interests.

27. The proposed project does not include any work within Sovereign Submerged Lands (SSL) refer to Exhibit No. 3.2. Any future activities that are proposed below OHWL of 10 Mile Creek will require a modification of this permit and an authorization for the use of SSL in accordance with the criteria in effect at the time of permit modification.

Project Work Schedule for Permit No. 56-02352-P

The following activities are requirements of this Permit and shall be completed in accordance with the Project Work Schedule below. Please refer to both General and Special Conditions for more information. Any deviation from these time frames will require prior approval from the District's Environmental Resources Bureau and may require a minor modification to this permit. Such requests must be made in writing and shall include: (1) reason for the change, (2) proposed start/finish and/or completion dates, and (3) progress report on the status of the project.

| Condition No. | Date Added | Description | Due Date | Date Satisfied |
|---------------|------------|---------------------------------------|---------------------------------------|----------------|
| GC 4 | 12/16/2019 | Construction Commencement Notice | 48 hours prior to Construction | |
| GC 6 | 12/16/2019 | Submit Certification | 30 Days After Construction Completion | |
| GC 7 | 12/16/2019 | Submit Operation Entity Documentation | Within 30 days of Certification | |
| SC 13 | 12/16/2019 | Pre-Construction Meeting | Prior to Construction | |
| SC 14 | 12/16/2019 | Install Preserve Signs | 30 Days After Construction Completion | |
| SC 19 | 12/16/2019 | Submit Monitoring Reports 1 | Annually for 5 years | |
| SC 19 | | Submit Monitoring Reports 2 | 1 year after previous submission | |
| SC 19 | | Submit Monitoring Reports 3 | 1 year after previous submission | |
| SC 19 | | Submit Monitoring Reports 4 | 1 year after previous submission | |
| SC 19 | | Submit Monitoring Reports 5 | 1 year after previous submission | |
| SC 20 | 12/16/2019 | Submit Baseline Monitoring Report | 01/10/2016 | |
| SC 26 | 07/11/2006 | Submit Recorded Conservation Easement | 07/24/2006 | 07/11/2006 |

GC = General Condition

SC = Special Condition

Distribution List

Arnaud Roux, EW Consultants, Inc

City of Port St Lucie - Planning and Zoning Division

City of Port St Lucie - Public Works

US Army Corps of Engineers - Permit Section

St. Lucie County Engineer

St. Lucie County Planning and Development Services

Exhibits

The following exhibits to this permit are incorporated by reference. The exhibits can be viewed by clicking on the links below or by visiting the District's ePermitting website at <http://my.sfwmd.gov/ePermitting> and searching under this application number 191202-2401.

[Exhibit 1.0 Location Map](#)

[Exhibit 2.0 SWM Plans](#)

[Exhibit 2.0.1 SWM Plans](#)

[Exhibit 2.1 Calculations](#)

[Exhibit 3.0 Monitoring and Maintenance Plan](#)

[Exhibit 3.1 Conservation Easement](#)

[Exhibit 3.2 Title Determination](#)

[Exhibit 5.0 Permit History](#)

NOTICE OF RIGHTS

As required by Sections 120.569 and 120.60(3), Fla. Stat., the following is notice of the opportunities which may be available for administrative hearing or judicial review when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Not all of the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

RIGHT TO REQUEST ADMINISTRATIVE HEARING

A person whose substantial interests are or may be affected by the South Florida Water Management District's (SFWMD or District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Fla. Stat. Persons seeking a hearing on a SFWMD decision which affects or may affect their substantial interests shall file a petition for hearing with the Office of the District Clerk of the SFWMD, in accordance with the filing instructions set forth herein, within 21 days of receipt of written notice of the decision, unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Fla. Stat.; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Fla. Stat. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, or posting that the SFWMD has or intends to take final agency action, or publication of notice that the SFWMD has or intends to take final agency action. Any person who receives written notice of a SFWMD decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action which materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional Rule 28-106.111, Fla. Admin. Code, point of entry.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Fla. Stat., shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The SFWMD may, for good cause, grant the request. Requests for extension of time must be filed with the SFWMD prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and that the SFWMD and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

FILING INSTRUCTIONS

A petition for administrative hearing must be filed with the Office of the District Clerk of the SFWMD. Filings with the Office of the District Clerk may be made by mail, hand-delivery, or e-mail. Filings by facsimile will not be accepted. A petition for administrative hearing or other document is deemed filed upon receipt during normal business hours by the Office of the District Clerk at SFWMD headquarters in West Palm Beach, Florida. The District's normal business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Any document received by the Office of the District Clerk after 5:00 p.m. shall be deemed filed as of 8:00 a.m. on the next regular business day.

Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the District Clerk, 3301 Gun Club Road, West Palm Beach, Florida 33406.
- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the SFWMD's security desk does not constitute filing. It will be necessary to request that the SFWMD's security officer contact the Office of the District Clerk. An employee of the SFWMD's Clerk's office will receive and file the petition.
- Filings by e-mail must be transmitted to the Office of the District Clerk at clerk@sfwmd.gov. The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document. A party who files a document by e-mail shall (1) represent that the original physically signed document will be retained by that party for the duration of the proceeding and of any subsequent appeal or subsequent proceeding in that cause and that the party shall produce it upon the request of other parties; and (2) be responsible for any delay, disruption, or interruption of the electronic signals and accepts the full risk that the document may not be properly filed.

INITIATION OF ADMINISTRATIVE HEARING

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Fla. Stat., and Rules 28-106.201 and 28-106.301, Fla. Admin. Code, initiation of an administrative hearing shall be made by written petition to the SFWMD in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, SFWMD file number or any other SFWMD identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner and petitioner's representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the SFWMD's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the SFWMD's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the SFWMD's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the SFWMD to take with respect to the SFWMD's proposed action.

MEDIATION

The procedures for pursuing mediation are set forth in Section 120.573, Fla. Stat., and Rules 28-106.111 and 28-106.401–.405, Fla. Admin. Code. The SFWMD is not proposing mediation for this agency action under Section 120.573, Fla. Stat., at this time.

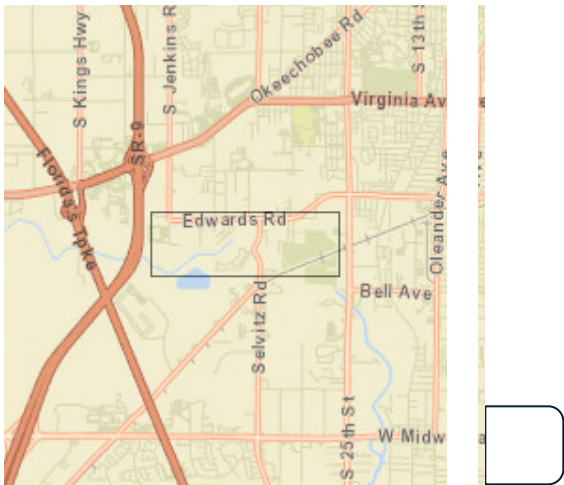
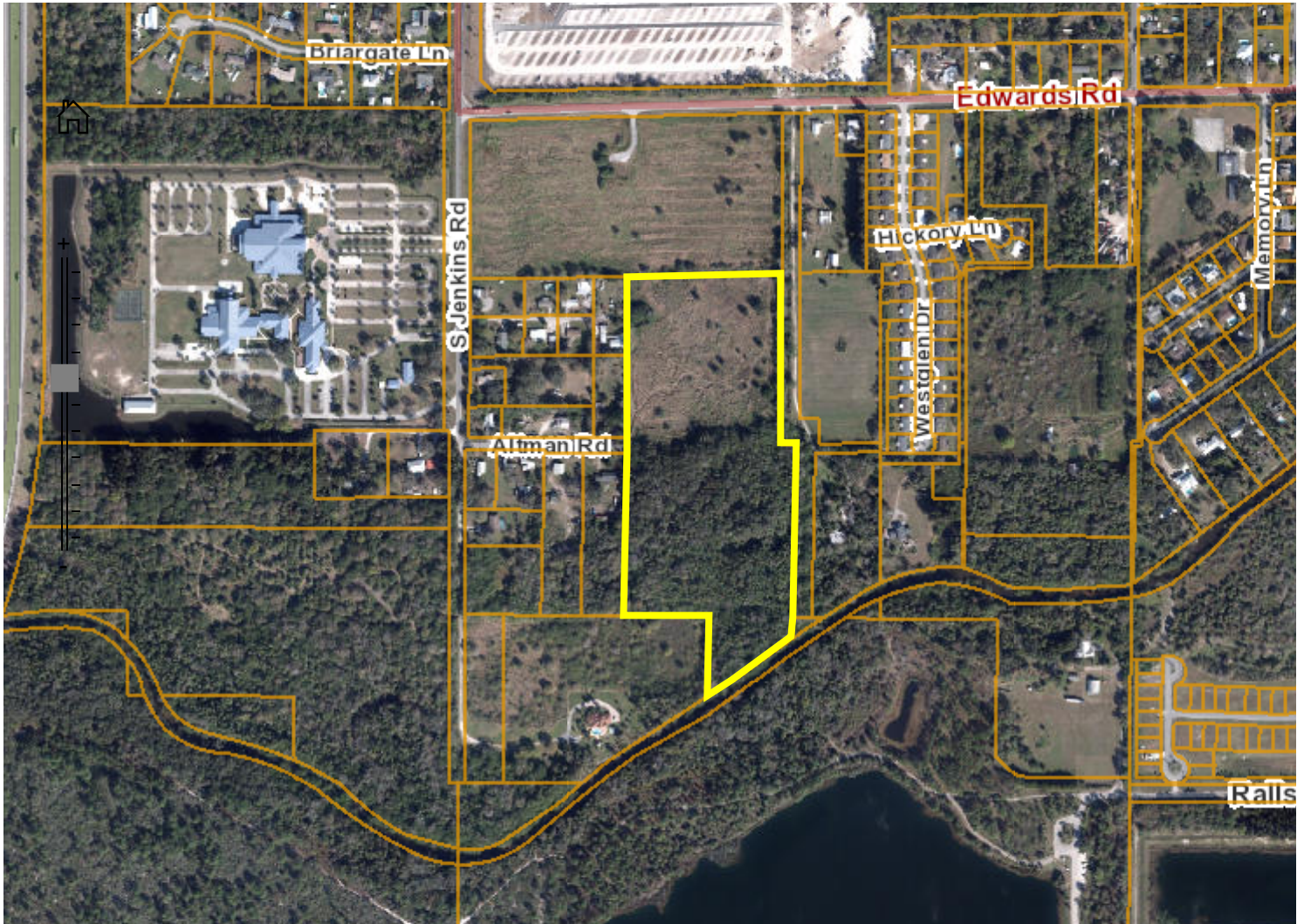
RIGHT TO SEEK JUDICIAL REVIEW

Pursuant to Section 120.68, Fla. Stat., and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal with the Office of the District Clerk of the SFWMD in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the clerk of the appropriate district court of appeal.



(<https://www.pasc.gov/>)

Saint Lucie County Property Appraiser Michelle Franklin CFA



600ft

2021-09-28

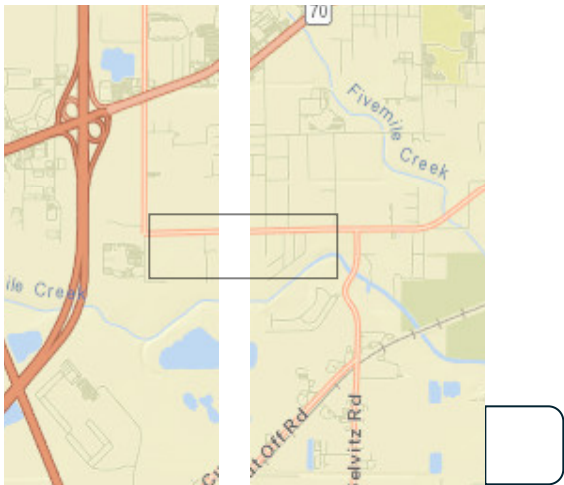
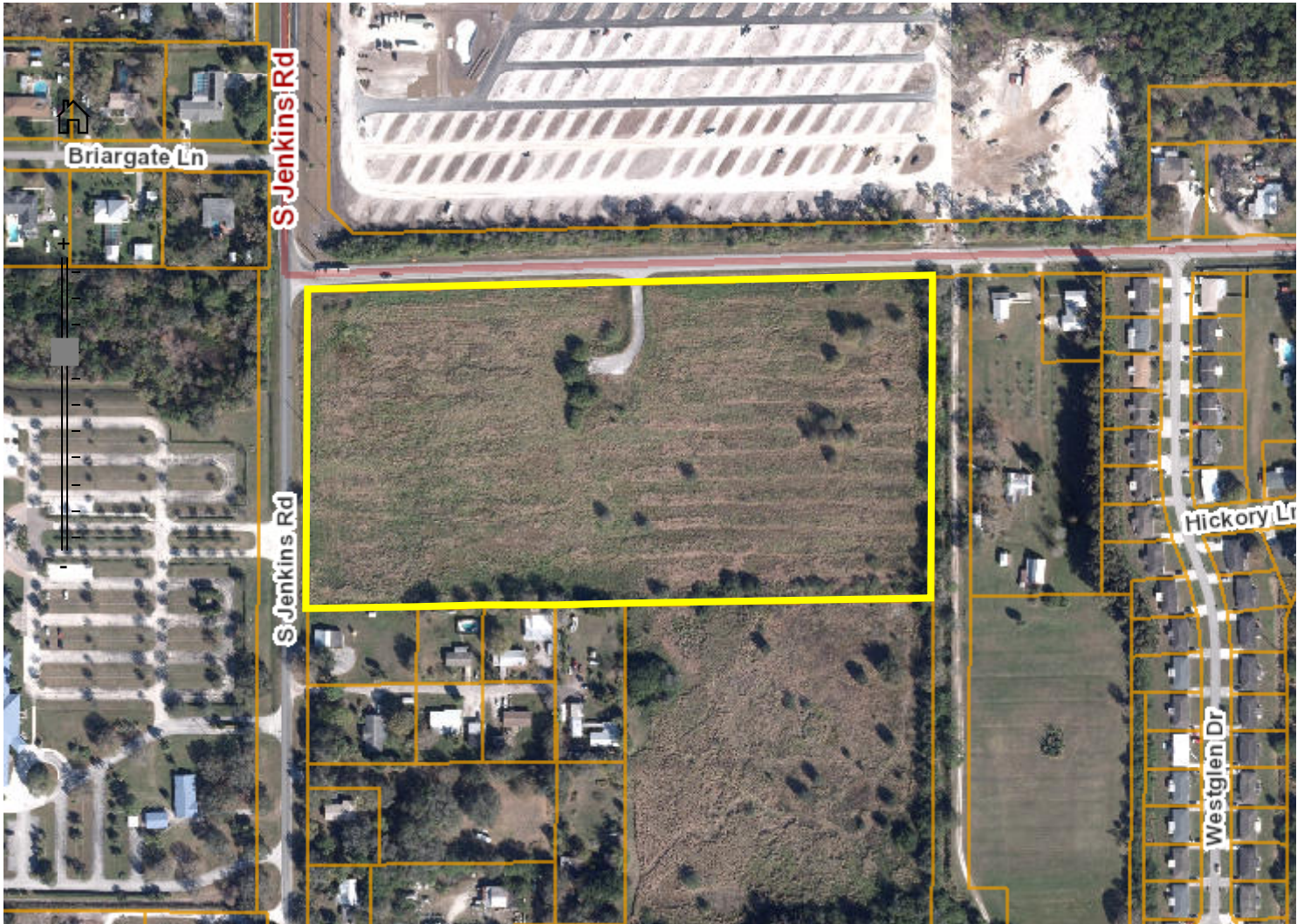
<https://www.pasc.gov/map/?ParcelID=2407-412-0001-000-7>

[Click here for Legal Disclaimer](#)



(<https://www.pasc.gov/>)

Saint Lucie County Property Appraiser Michelle Franklin CFA



2021-09-28

[Click here for Legal Disclaimer](#)

Property Identification

Site Address: 5315 EDWARDS RD
Sec/Town/Range: 30/35S/40E
Parcel ID: 2430-231-0001-000-4
Jurisdiction: Fort Pierce

Use Type: 0000
Account #: 32794
Map ID: 24/30N
Zoning: Medium Den

Ownership

TEG Mariner Cove LLC
365 Route 59 Ste 110
Airmont, NY 10952

Legal Description

30 35 40 N 1/2 OF SW 1/4 OF NW 1/4-LESS N 33 FT AND LESS W 40 FT FOR RDS AND LESS E 75 FT FOR DITCH- (47) (17.76 AC)

Current Values

Just/Market Value: \$650,800
Assessed Value: \$369,245
Exemptions: \$0
Taxable Value: \$369,245



Total Areas

Finished/Under Air (SF): 0
Gross Sketched Area (SF): 0
Land Size (acres): 17.76
Land Size (SF): 773,625.6

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)

Building Design Wind Speed

| Occupancy Category | I | II | III & IV |
|--------------------|-----|-----|----------|
| Speed | 140 | 150 | 160 |

Sources/links:

Property Identification

Site Address: 5496 ALTMAN RD
Sec/Town/Range: 30/35S/40E
Parcel ID: 2430-234-0001-000-3
Jurisdiction: Fort Pierce

Use Type: 0000
Account #: 32810
Map ID: 24/30S
Zoning: Medium Den

Ownership

TEG Mariner Cove LLC
365 Route 59 Ste 110
Airmont, NY 10952

Legal Description

30 35 40 SE 1/4 OF SW 1/4 OF NW 1/4 AND NE 1/4 OF NW 1/4 OF SW 1/4 AND FROM NE COR OF NW 1/4 OF SW 1/4, RUN S 0 DEG 30 MIN W ALG, TH 1/4 1/4 SEC LI 653.16 FT FOR POB, TH CONT S 0 DEG 30 MIN W 88.12 FT TO PT ON TOP OF BLUFF OF TEN MILE CREEK, TH S 54 DEG 51 MIN 30 SEC W ALG SD CREEK 413.7 FT, TH N 1 DEG 32 MIN E 318.28 FT, TH N 88 DEG 36 MIN E 330.67 FT TO POB (21.05 AC) (CASE #89-14123)

Current Values

Just/Market Value: \$651,300
Assessed Value: \$248,984
Exemptions: \$0
Taxable Value: \$248,984



Total Areas

Finished/Under Air (SF): 0
Gross Sketched Area (SF): 0
Land Size (acres): 21.05
Land Size (SF): 916,938

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)

Building Design Wind Speed

| Occupancy Category | I | II | III & IV |
|--------------------|-----|-----|----------|
| Speed | 140 | 150 | 160 |

Sources/links:



Architect Letter of Compliance – Project Narrative

February 23, 2022

Architecture

Attn: Jennifer Hofmeister, Planning Director
Planning Department
City of Fort Pierce
100 North US Highway 1
Ft Pierce, FL 34954
Ph: 772/467-3737

Project Name: Viva Treasure Cove East

Project Location: East side of South Jenkins Road Between Edwards Rd & Okeechobee Rd

Design

Parcel # 2430-231-001-000-4 & 2430-234-001-000-3

File #: TBD

Memo: Thank you for your review of the narrative dated 2/23/22. Refer to below for explanation of applicable design standards. Please review and let us know if you have any questions or concerns.

Consulting

Project Narrative:

The design intent for the project is to create a Florida vernacular community of Cottage Style apartments. This will be a gated neighborhood with primary access off Edwards Road on the N side of the site that has loop circulation roads with single family residences on each side. The master plan has two lakes within loops surrounded by single family residences providing a waterfront experience. A separate area of single family residences within a circulation loop share a common green space. The site design uses the "pocket neighborhood concept" as the inspiration for this design.

Project Management

Most of the residences are detached single family residences to achieve a neighborhood experience except for six six-unit townhouse buildings that border the East edge of the property. There will be a common gathering / clubhouse building and amenity pool area accessible to residents at the neighboring Viva at Treasure Coast West community.

Renovations & Additions

The architecture of the buildings will in the Florida Cracker or Vernacular style with horizontal siding walls and pitched 5:12 sloped hip roofs with gable features and deep 24" overhangs. Each building uses architectural features such as 6' deep porches, 2:1, 1.5:1 or 1:1 proportional windows with mullion features, gable roof elements and stone water table bases. There will be added details of stone accents and proportional windows and doors to provide a unique aesthetic.

Issued: Sincerely, Brian P. Fredley, Associate AIA and President

Dallas B. Peacock, AIA Architect AR 0009706

Historical Restorations



Viva at Treasure Coast East



View Towards Site



Edwards Rd. — Eastbound



Edwards Rd — Westbound



Neighboring Uses - Westside Church



Neighboring Uses – St. Peters Church



Neighboring Uses – KOA Campground



Neighboring Uses — Briargate Lane Homes



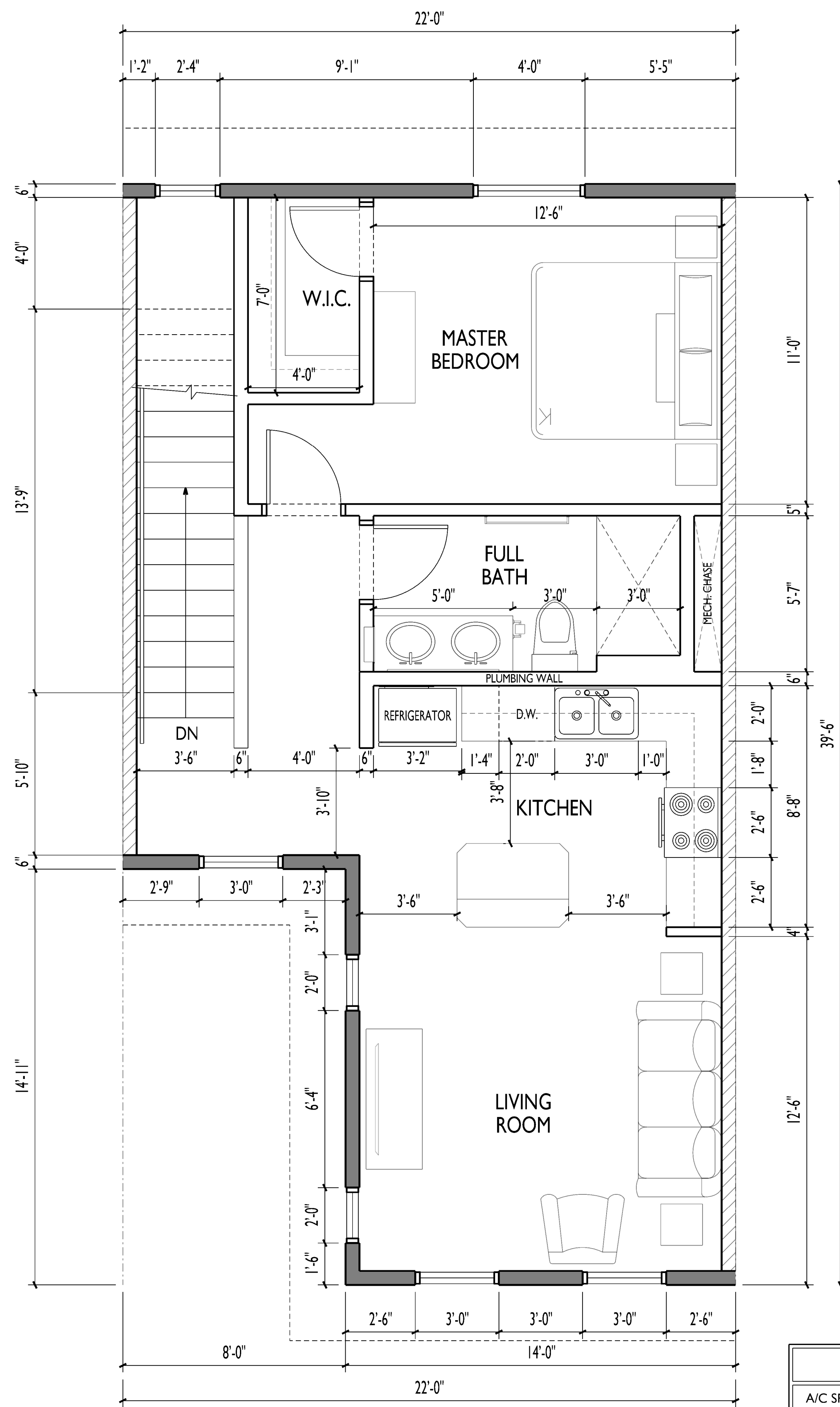
Neighboring Uses – Altman Rd. Homes



Nearby Development – Avalon Crossings

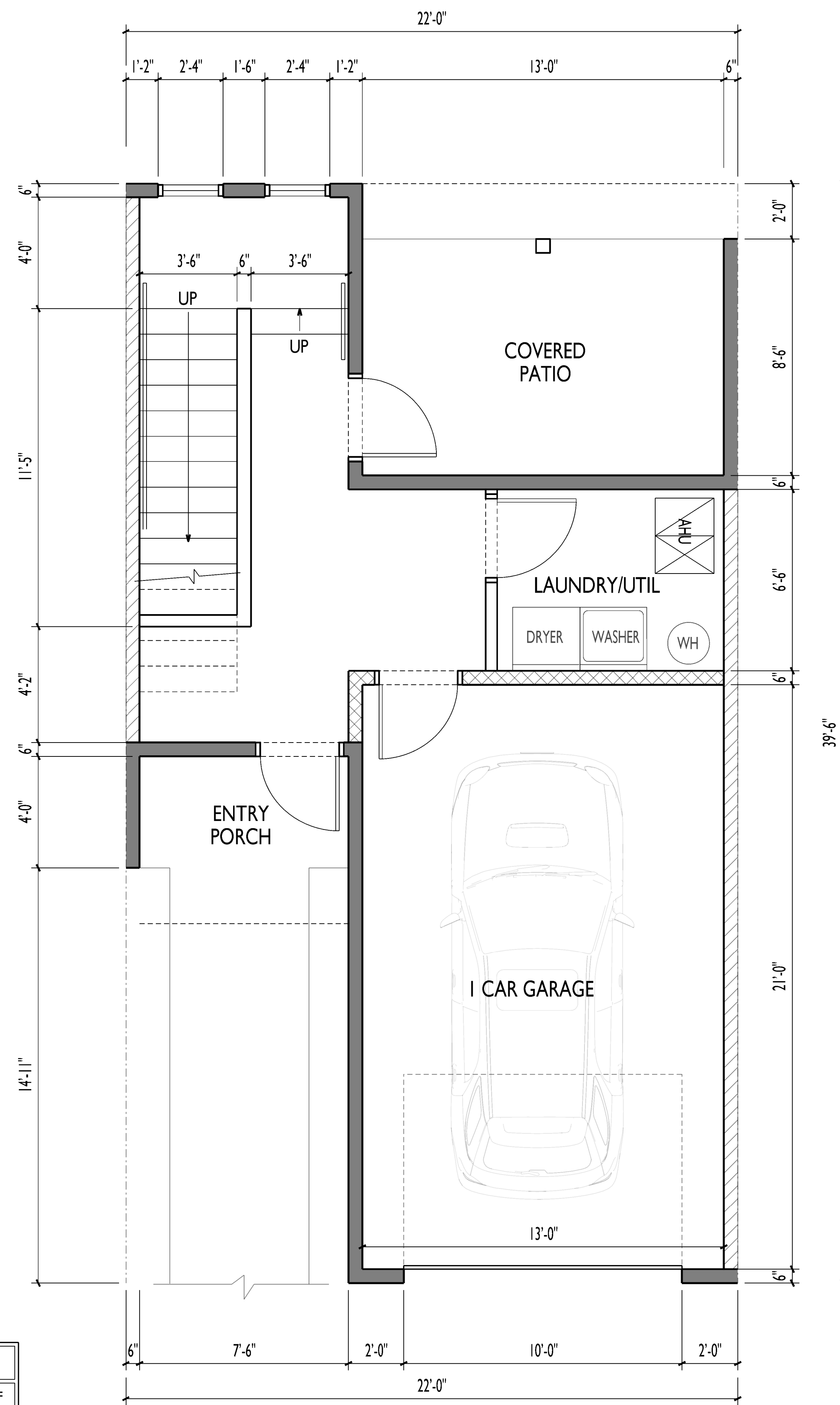


Nearby Development – Celebration Pointe



B PROPOSED SECOND FLOOR PLAN
A2.0 IBDR/IBTH SCALE: 3/8" = 1'-0"

| BUILDING AREA CALC. | |
|-------------------------|-----------------|
| A/C SPACE (1ST FLOOR) | 272 SF |
| A/C SPACE (2ND FLOOR) | 750 SF |
| GARAGE | 304 SF |
| PATIO & ENTRY PORCH | 147 SF |
| TOTAL A/C SPACE | 1,022 SF |
| TOTAL UNDER ROOF | 1,473 SF |



A PROPOSED FIRST FLOOR PLAN
A2.0 IBDR/IBTH SCALE: 3/8" = 1'-0"

GENERAL NOTES:
 ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS,
 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.
 ALL WORK MUST COMPLY WITH THE 2020 EDITION (EXPOSURE 'C')
 OF THE FLORIDA BUILDING CODE SECT. 1609.139 WIND LOAD
 AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE
 THE BUILDING RISK CATEGORY IS '1'
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

| REVISIONS | |
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VIVA @ TREASURE COAST EAST: | BDRM TOWNHOUSES

BUILDING A: | BDRM TOWNHOUSES

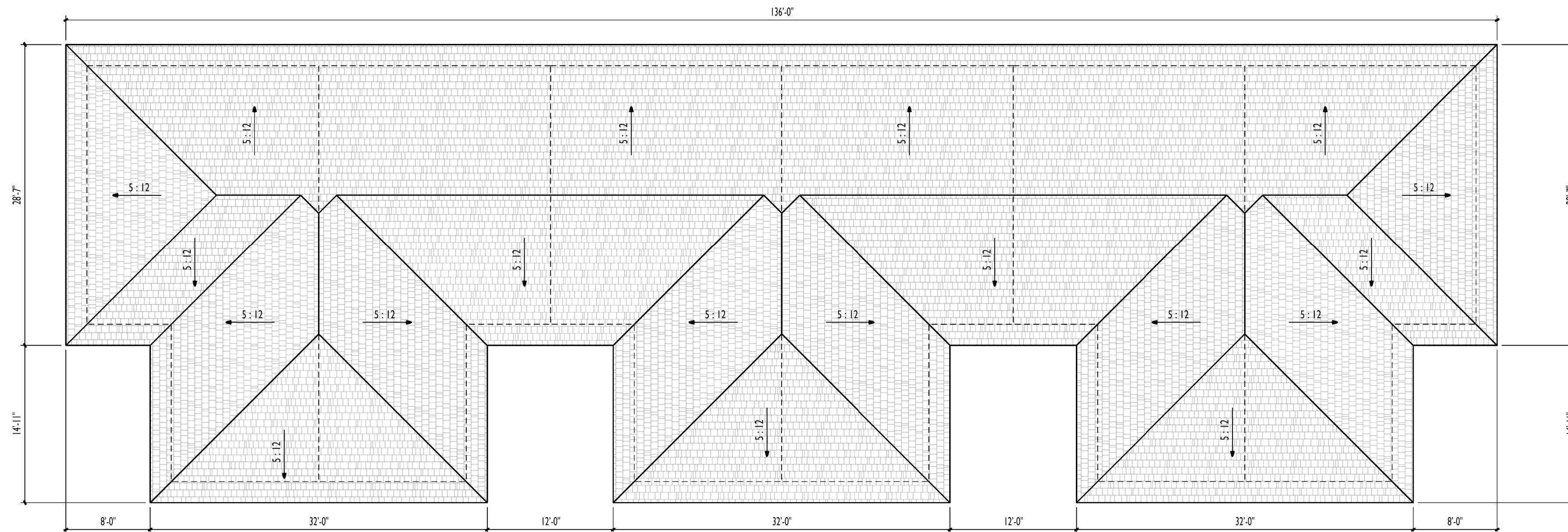
OWNER/REP.: KIVA DEVELOPMENT LLC, 2239 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

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 DESIGN INCORPORATED
 Building Design and Architecture

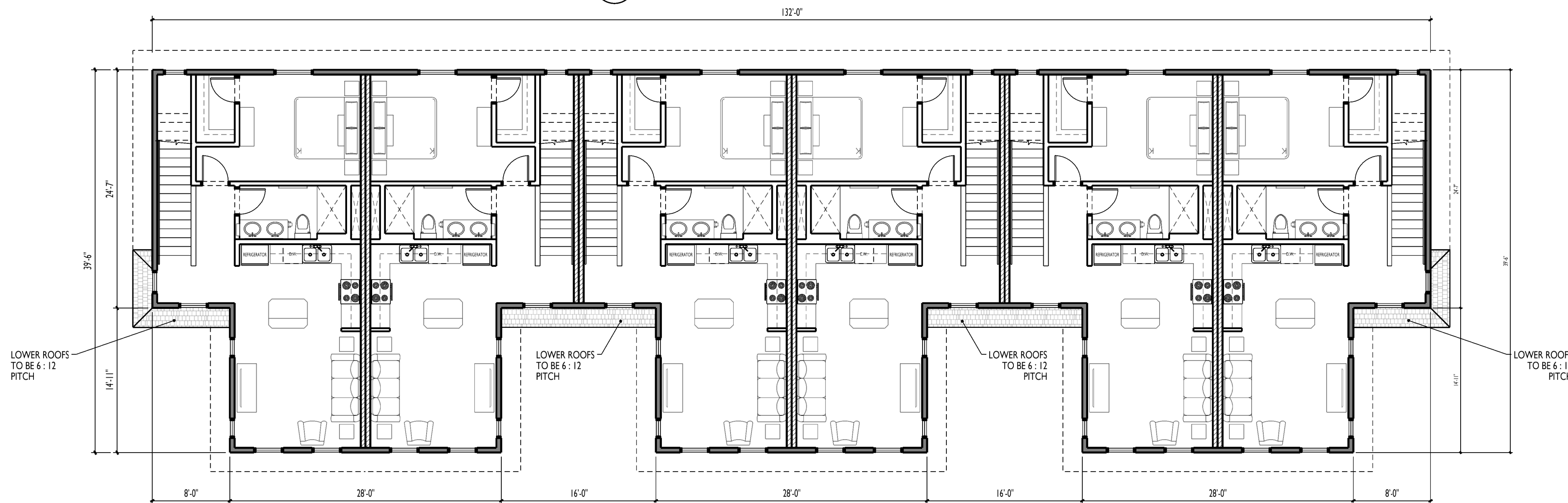
BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
 DALLAS B. PEACOCK, ARCHITECT
 #AR 0009706
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114 PH: (386) 257-0502 FX: (386) 257-1050
 EMAIL: bfredley@bpe.com WEBSITE: bpe.com

| TYPICAL UNIT FLOOR PLANS | | |
|--------------------------|--------------|--------------------|
| BLD TYPE: TH-1 | DOWN BY: TEM | CHKD BY: DBP & BPF |
| DATE: JANUARY 31, 2022 | SHT NO. A2.0 | |
| SCALE: 3/8" = 1'-0" | | |

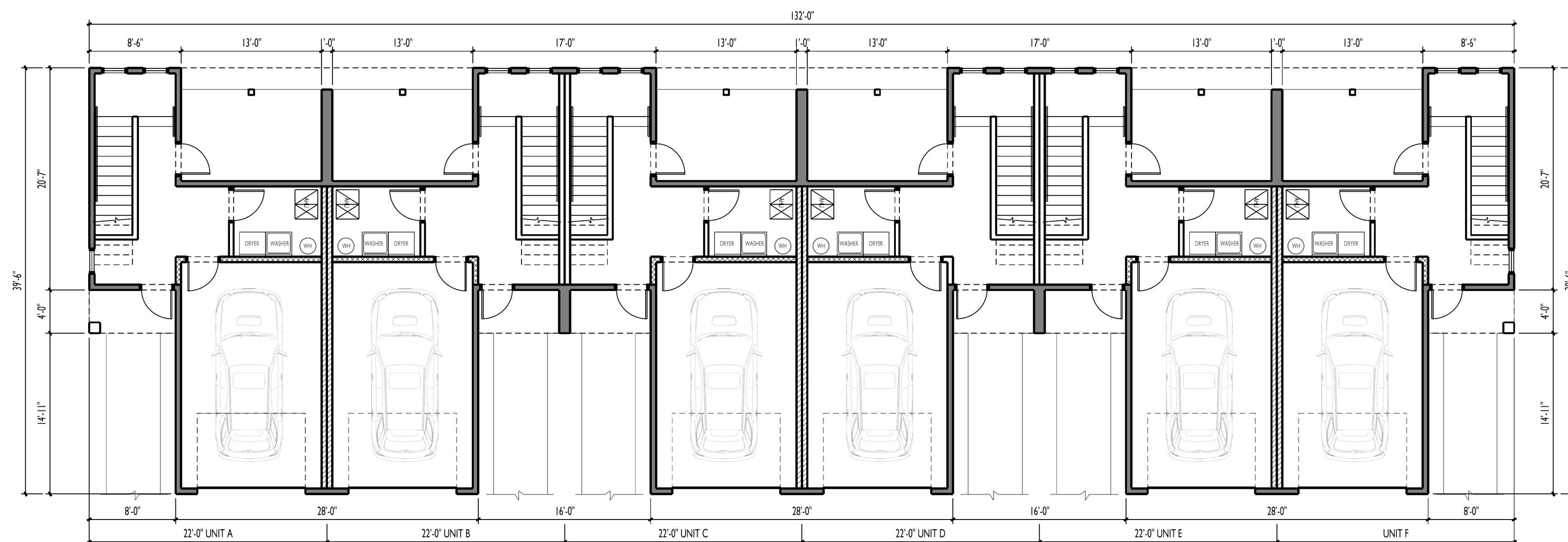
ARCHITECTS / ENGINEER'S SEAL



(C) PROPOSED ROOF PLAN
 A2.1 BLDG A: TYP. (6) UNITS SCALE: 1/8" = 1'-0"



(B) PROPOSED SECOND FLOOR PLAN
 A2.1 BLDG A: TYP. (6) UNITS SCALE: 1/8" = 1'-0"



(A) PROPOSED FIRST FLOOR PLAN
 A2.1 BLDG A: TYP. (6) UNITS SCALE: 1/8" = 1'-0"

| BUILDING AREA CALC. (6 UNIT BLDG) | |
|--------------------------------------|-----------------|
| A/C SPACE (1ST FLOOR) | 1,632 SF |
| A/C SPACE (2ND FLOOR) | 4,500 SF |
| GARAGES | 1,824 SF |
| PATIOS & ENTRY PORCHES | 882 SF |
| TOTAL A/C SPACE | 6,132 SF |
| TOTAL UNDER ROOF | 8,838 SF |

GENERAL NOTES:
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 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE THE BUILDING RISK CATEGORY IS "1".
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16.
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT.

| REVISIONS |
|-----------|
| |
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| |

VIVA @ TREASURE COAST EAST:
 BUILDING A:
 1 BDRM TOWNHOUSES

OWNER/REP.: KIVA DEVELOPMENT LLC, 2239 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

BPE
 DESIGN INCORPORATED
 Building Design and Architecture

BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
 DALLAS B. PEACOCK, ARCHITECT
 #AR 0009706
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114 PH: (386) 257-6002 FX: (386) 257-1050
 EMAIL: bfredley@bpedesign.com WEBSITE: bpedesign.com

| BLDG A OVERALL PLAN | | |
|------------------------|----------------|--------------------|
| BLD TYPE: TH-1 | DOWN BY: TEM | CHKD BY: DBP & BPF |
| DATE: JANUARY 31, 2022 | SHT NO. A2.1 | |
| SCALE: 1/8" = 1'-0" | 0 2' 4' 8' 12' | |

ARCHITECTS / ENGINEER'S SEAL

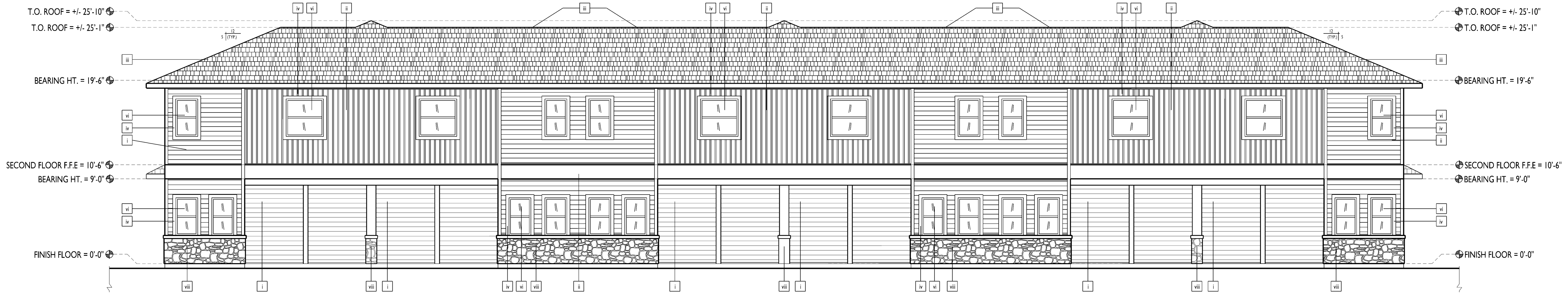
| REVISIONS | |
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VIVA @ TREASURE COAST EAST:
BUILDING A:
1 BDRM TOWNHOUSES

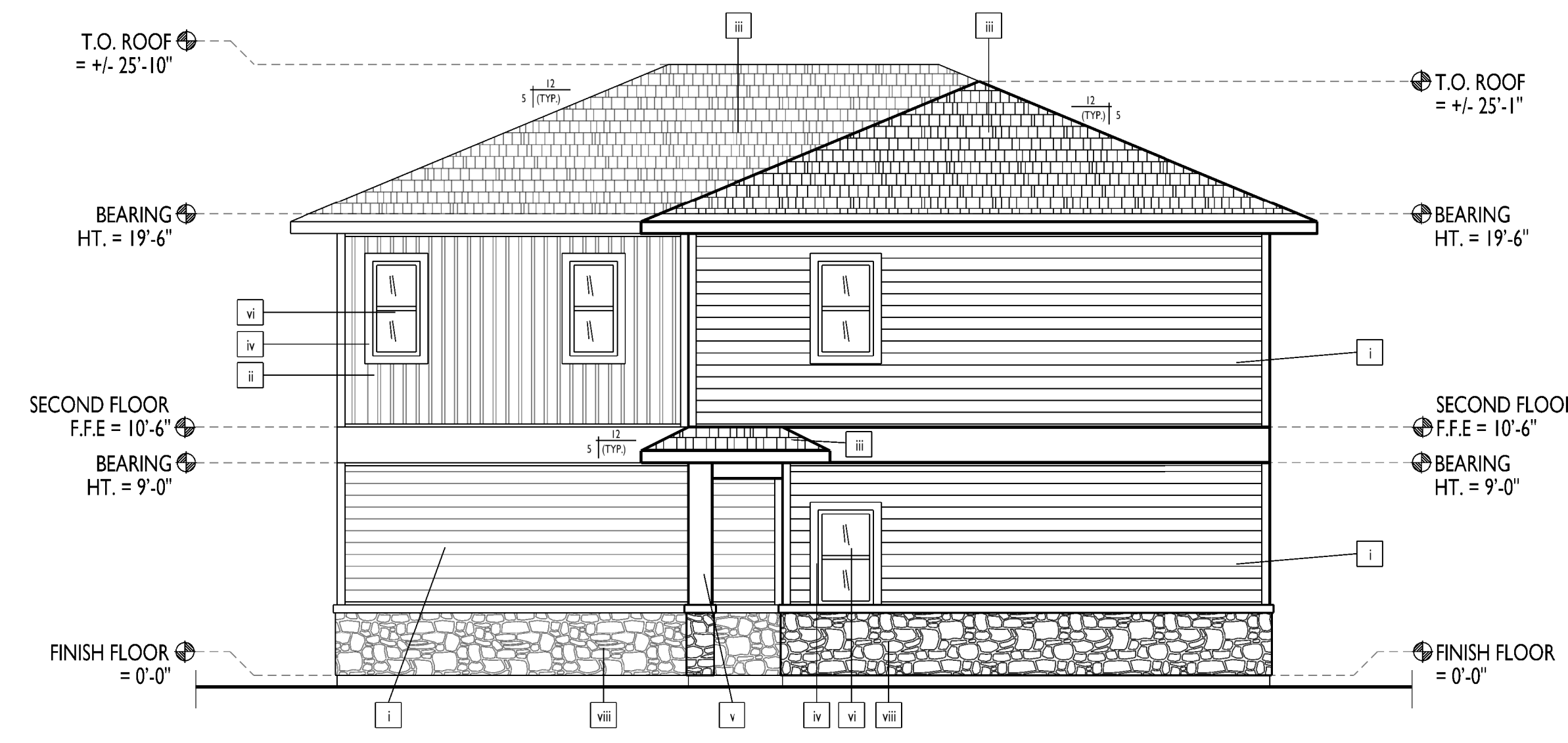
OWNER: KVA DEVELOPMENT LLC, 2239 ABRAMS ROAD, ELUSTIS, FL 32726
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176



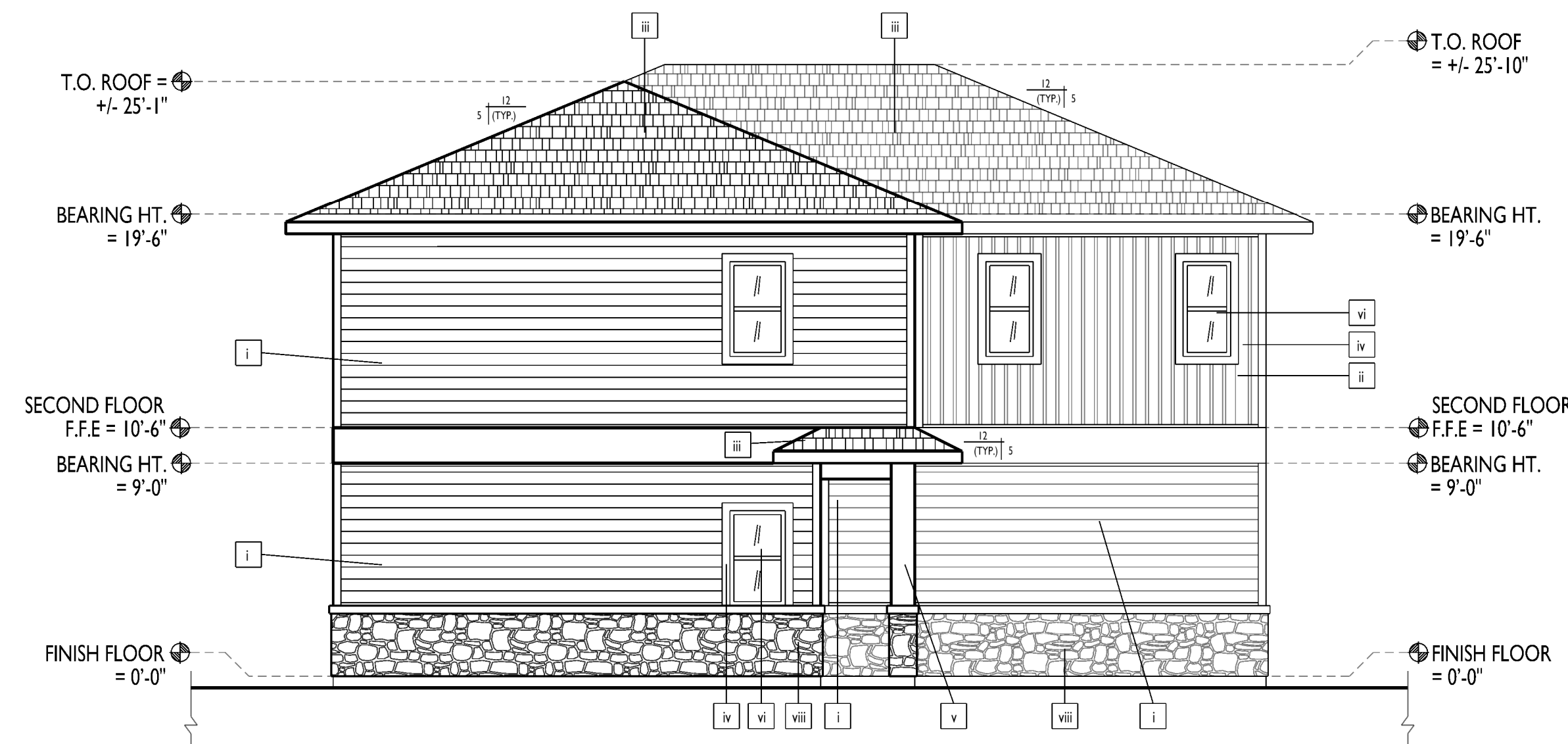
A FRONT ELEVATION
 A-3.0 BLDG TYPE A: TOWNHOUSES SCALE: 3/16" = 1'-0"



B REAR ELEVATION
 A-3.0 BLDG TYPE A: TOWNHOUSES SCALE: 3/16" = 1'-0"



C SIDE ELEVATION
 A-3.0 BLDG TYPE A: TOWNHOUSES SCALE: 3/16" = 1'-0"



D SIDE ELEVATION
 A-3.0 BLDG TYPE A: TOWNHOUSES SCALE: 3/16" = 1'-0"

| MATERIAL & COLOR SCHEDULE | | | |
|---------------------------|---------------------------|---|--------------|
| NO | BUILDING ELEMENT | MATERIAL | COLOR SCHEME |
| i | BUILDING WALLS A | HORIZONTAL VINYL SIDING | T.B.D. |
| ii | BUILDING WALLS B | VERTICAL VINYL SIDING | T.B.D. |
| iii | TYPICAL ROOF | ASPHALT SHINGLE ROOF | T.B.D. |
| iv | WINDOW DOOR & ACCENT TRIM | 4" CEMENT BOARD TRIM | T.B.D. |
| v | COLUMNS SIDING | CEMENT BOARD SIDING & TRIM | T.B.D. |
| vi | WINDOWS | VINYL FRAME, LOW-E, TINTED | T.B.D. |
| vii | UNIT ENTRY DOORS | WOOD SOLID CORE & PANEL, W/ VIEW WINDOW | T.B.D. |
| viii | BUILDING BASE | STONE VENEER | T.B.D. |
| ix | GARAGE DOORS | VINYL FRAME | T.B.D. |

GENERAL NOTES:
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 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE THE BUILDING RISK CATEGORY IS '1'.
 INTERNAL PRESSURE COEFFICIENT IS +.18 IN ACCORDANCE WITH ASCE 7-16.
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT.

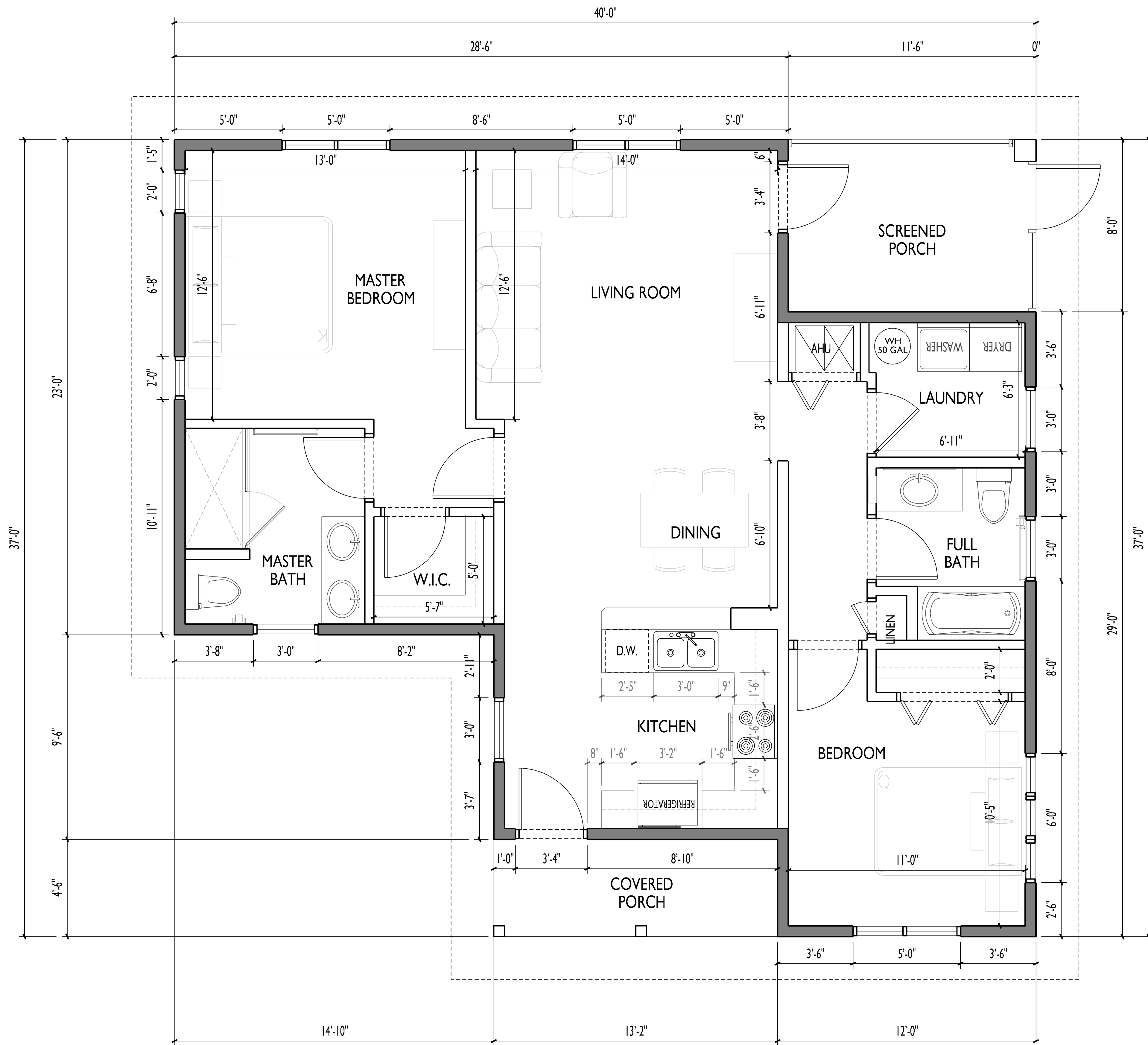
BPE
 DESIGN INCORPORATED
 Building Design and Architecture

BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
 DALLAS B. PEACOCK, ARCHITECT
 #AR 0009706
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114 PH: (386) 257-6002 FX: (386) 257-1050
 EMAIL: bfredley@bpe-design.com WEBSITE: bpe-design.com

BUILDING TYPE A ELEVATIONS

BLD TYPE: TH-1 DWN BY: TEM CHKD BY: DBP & BPF
 DATE: JANUARY 31, 2022
 SCALE: 3/16" = 1'-0" SHT NO. A-3.0

ARCHITECTS / ENGINEER'S SEAL



| GROSS AREA CALC. | |
|---------------------------|-----------------|
| A/C SPACE | 1,120 SF |
| PORCHES & COVERED ENTRIES | 152 SF |
| TOTAL UNDER ROOF | 1,272 SF |

| REVISIONS |
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VIVA @ TREASURE COAST EAST:
BUILDING B: SINGLE FAMILY
2BDR/2BTH

OWNER/REP.: KIVA DEVELOPMENT LLC, 2329 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

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 DAYTONA BEACH, FL 32114 PH: (386) 257-0502 FX: (386) 257-1050
 EMAIL: bfredley@bpeidsg.com WEBSITE: bpeidsg.com

PROPOSED FLOOR PLAN

BLD TYPE: SF-2 DWN BY: TEM CHKD BY: DBP & BPF
 DATE: FEBRUARY 22, 2022
 SCALE: 3/8" = 1'-0"

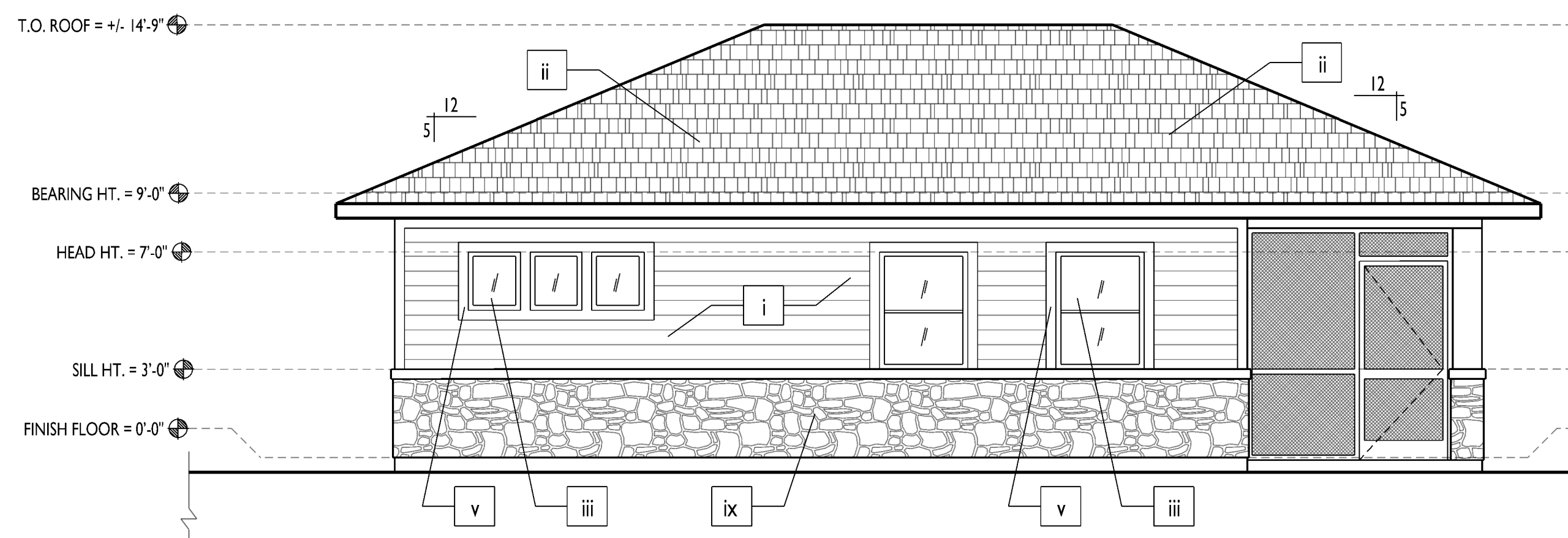
SHT NO. A2.0

ARCHITECT'S / ENGINEER'S SEAL

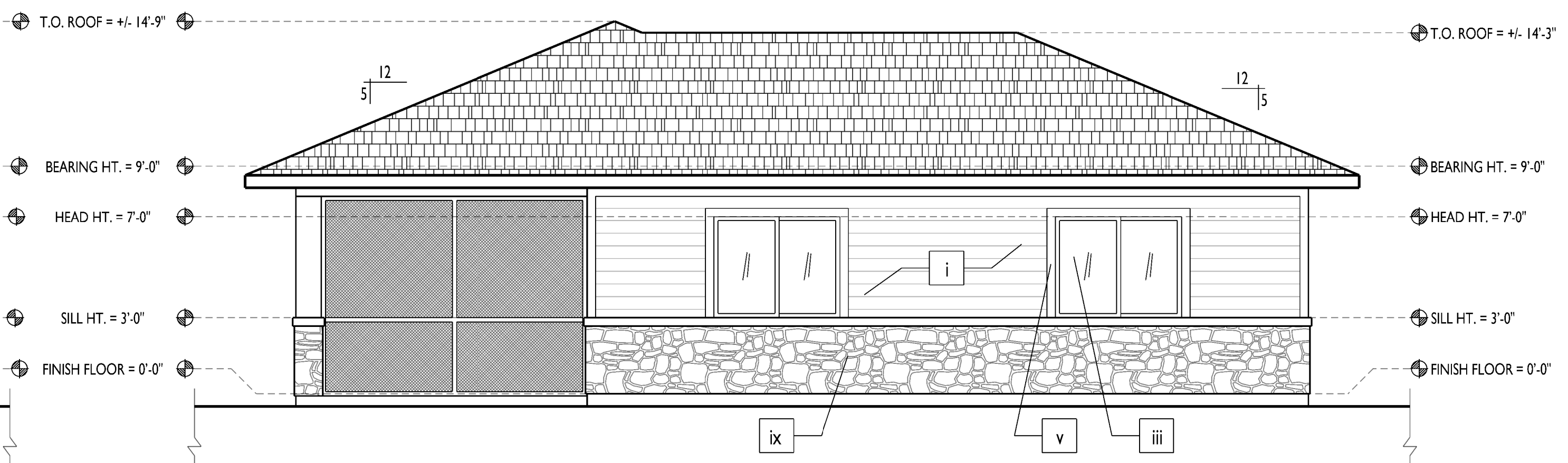
A
PROPOSED FLOOR PLAN
 A2.0 BLDG TYPE B: 2BDR/2BTH SCALE: 3/8" = 1'-0"

GENERAL NOTES:
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 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

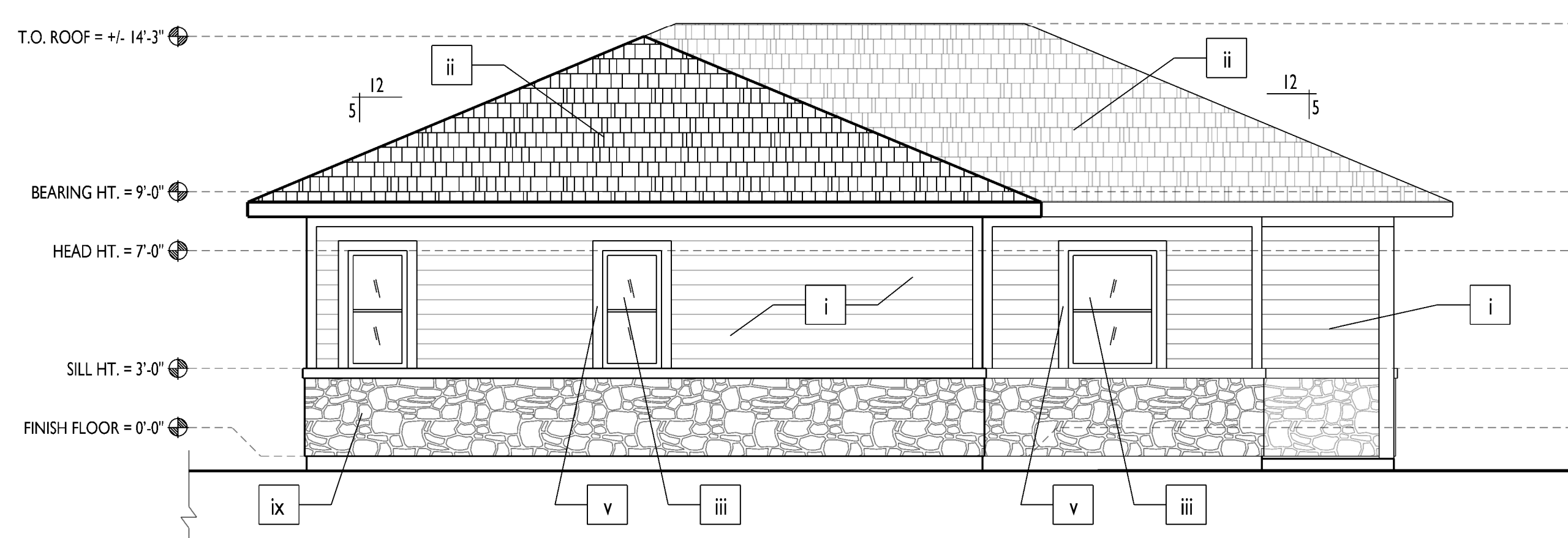
| REVISIONS | |
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D SIDE ELEVATION
 A3.0 BLDG TYPE B: 2BDR/2BTH SCALE: 1/4" = 1'-0"



B REAR ELEVATION
 A3.0 BLDG TYPE B: 2BDR/2BTH SCALE: 1/4" = 1'-0"



C SIDE ELEVATION
 A3.0 BLDG TYPE B: 2BDR/2BTH SCALE: 1/4" = 1'-0"



A FRONT ELEVATION
 A3.0 BLDG TYPE B: 2BDR/2BTH SCALE: 1/4" = 1'-0"

| MATERIAL & COLOR SCHEDULE (BUILDING TYPE B) | | | |
|---|---------------------------|-----------------------------|--------------------------------|
| NO. | BUILDING ELEMENT | MATERIAL | COLOR SCHEME: 3B |
| i | BUILDING WALLS | HORIZONTAL VINYL SIDING | T.B.D. |
| ii | TYPICAL ROOF | SHINGLE ROOF | T.B.D. |
| iii | WINDOW DOOR & ACCENT TRIM | 4" VINYL TRIM | MANUF. WHITE |
| iv | COLUMNS SIDING | NOT USED | --- |
| v | WINDOWS | VINYL FRAME, LOW-E, TINTED | MANUF. WHITE |
| vi | UNIT ENTRY DOORS | STEEL 6-PANEL W/ WOOD FRAME | T.B.D. |
| vii | GARAGE DOOR | NOT USED | --- |
| viii | BAHAMAS SHUTTERS | NOT USED | --- |
| ix | BUILDING/COLUMN BASE | STONE VENEER | LIGHT COLOR (OWNER TO SPECIFY) |

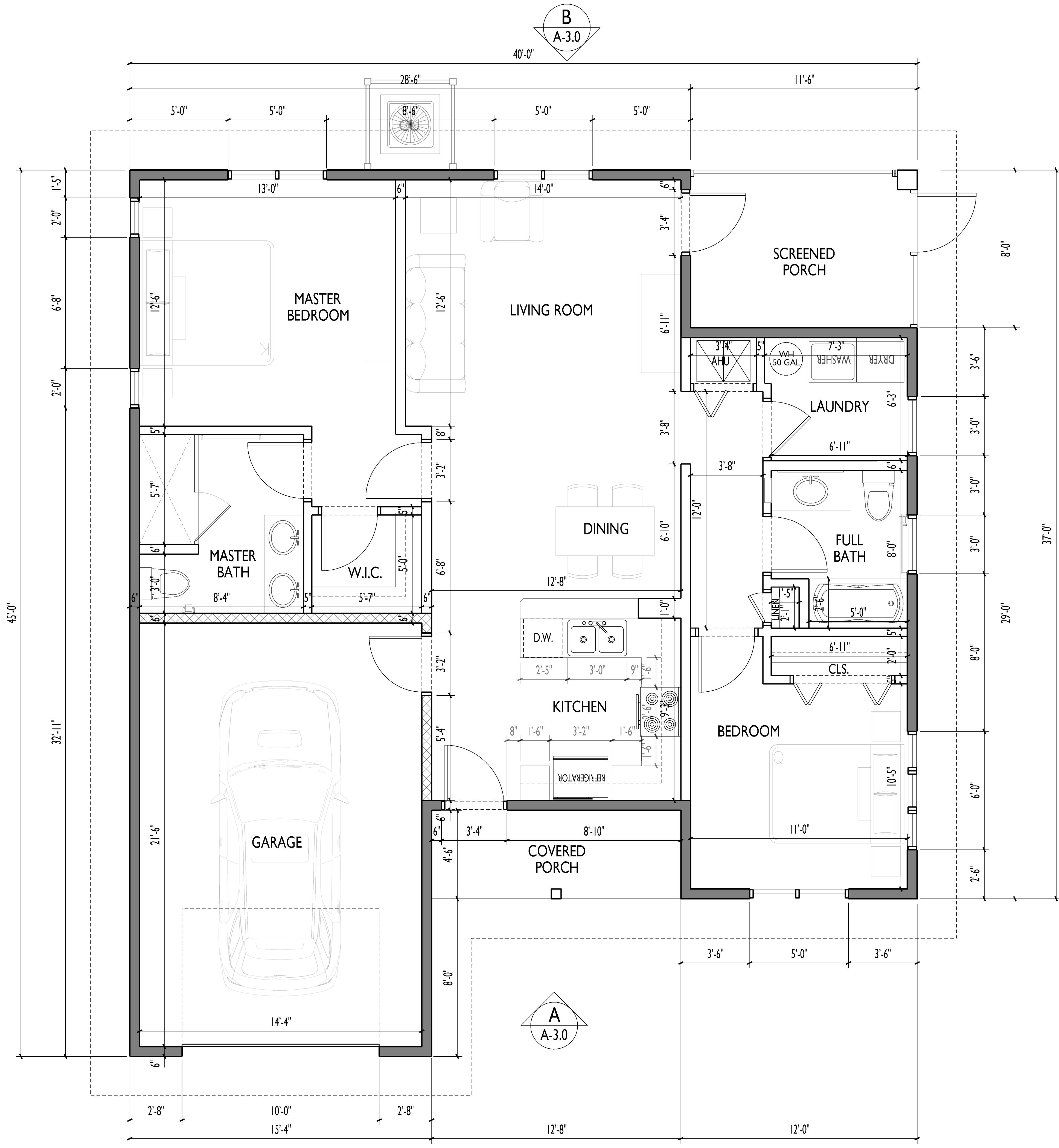
GENERAL NOTES:
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 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE
 THE BUILDING RISK CATEGORY IS "1"
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

VIVA @ TREASURE COAST EAST:
 BUILDING B: SINGLE FAMILY
 2BDR/2BTH
 OWNER: KVA DEVELOPMENT LLC, 2329 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

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 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114 PH: (386) 257-0502 FX: (386) 257-1050
 EMAIL: bfredley@bpeinc.com WEBSITE: bpeinc.com

BLDG TYPE B ELEVATIONS
 BLD TYPE: 5F-2 DOWN BY: TEM CHKD BY: DBP & BPF
 DATE: FEBRUARY 22, 2022
 SCALE: 1/4" = 1'-0" SHT NO. A3.0

ARCHITECTS / ENGINEER'S SEAL



| GROSS AREA CALC. | |
|---------------------------|-----------------|
| A/C SPACE | 1,115 SF |
| PORCHES & COVERED ENTRIES | 149 SF |
| GARAGE | 339 SF |
| TOTAL UNDER ROOF | 1,603 SF |

A
A-2.0 **PROPOSED FLOOR PLAN**
BLDG TYPE C: 2BDR/2BTH W/ GARAGE (TYP.)

GENERAL NOTES:
 ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE
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 AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE
 THE BUILDING RISK CATEGORY IS "1"
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

| REVISIONS |
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| |

VIVA @ TREASURE COAST EAST:
 BUILDING C: SINGLE FAMILY
 2BDRM/2BTH W/ GARAGE

OWNER/REP.: KIVA DEVELOPMENT LLC, 2239 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

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 DAYTONA BEACH, FL 32114 PH: (386) 257-0502 FX: (386) 257-1050
 EMAIL: bfredley@bpeinc.com WEBSITE: bpeinc.com

BLDG TYPE C FLOOR PLAN

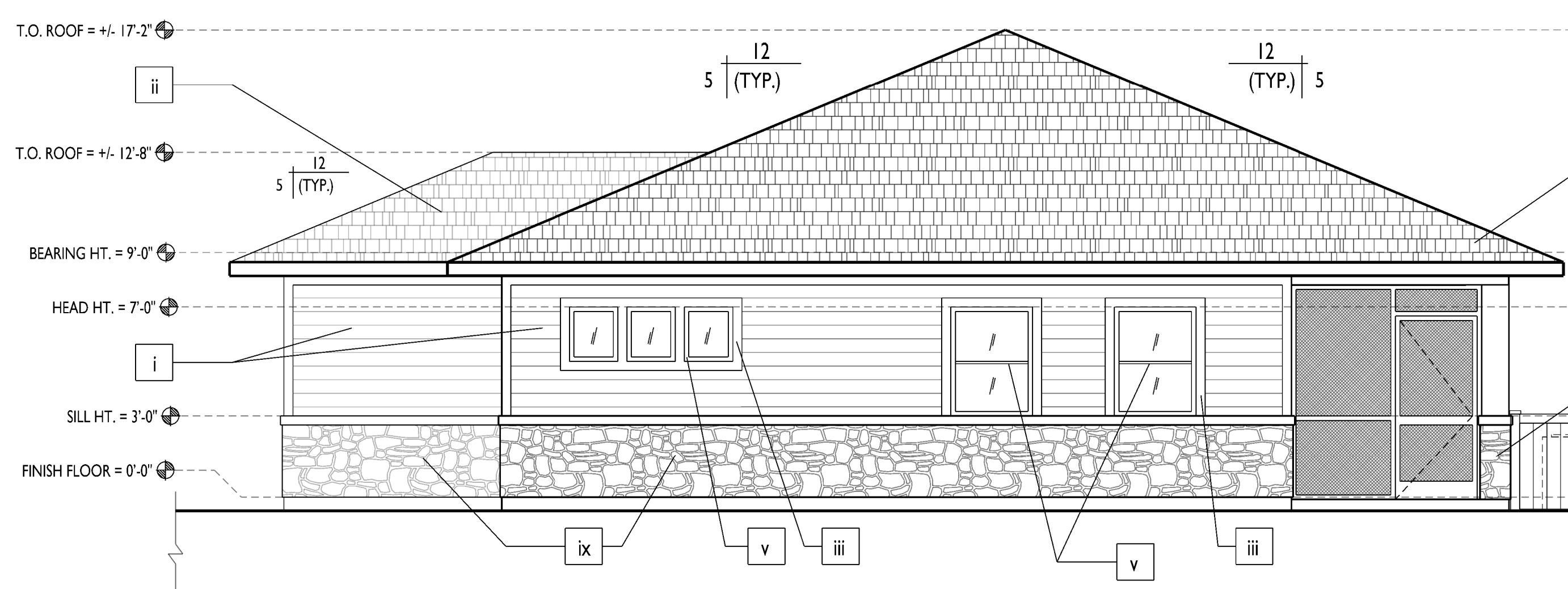
BLD TYPE: 5F-3G DWN BY: TEM CHKD BY: DBP & BPF

DATE: JANUARY 31, 2022 SHT NO. A2.0

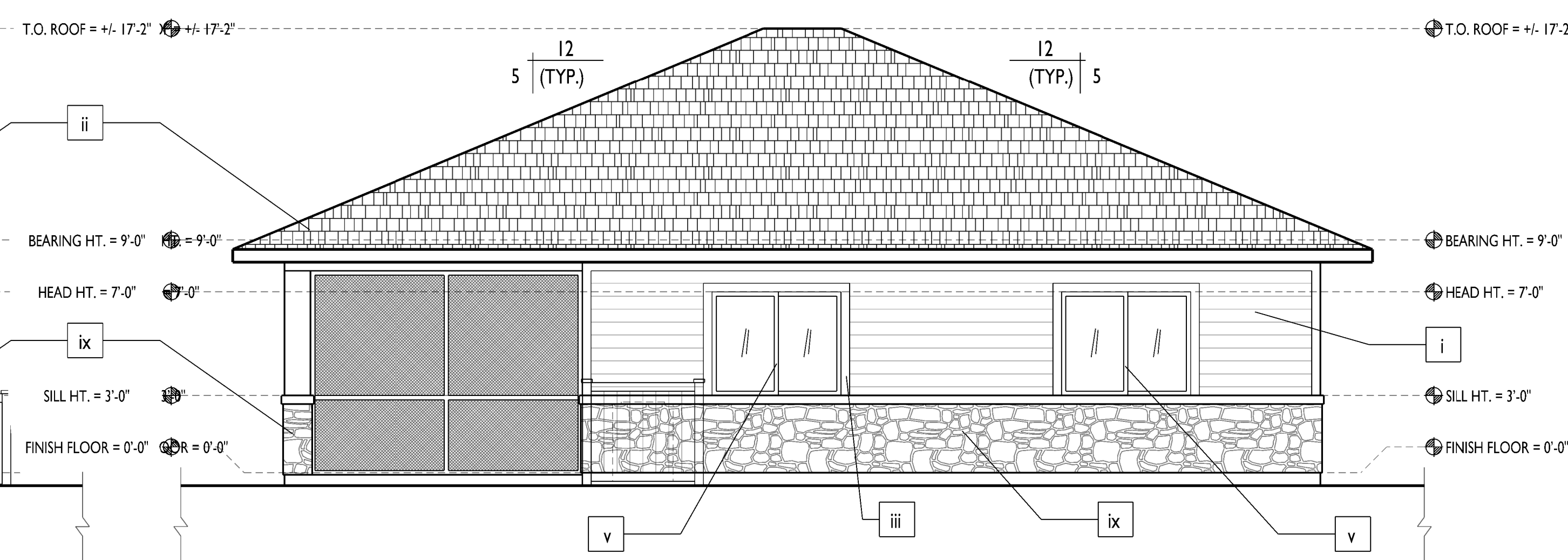
SCALE: 3/8" = 1'-0"

ARCHITECT'S / ENGINEER'S SEAL

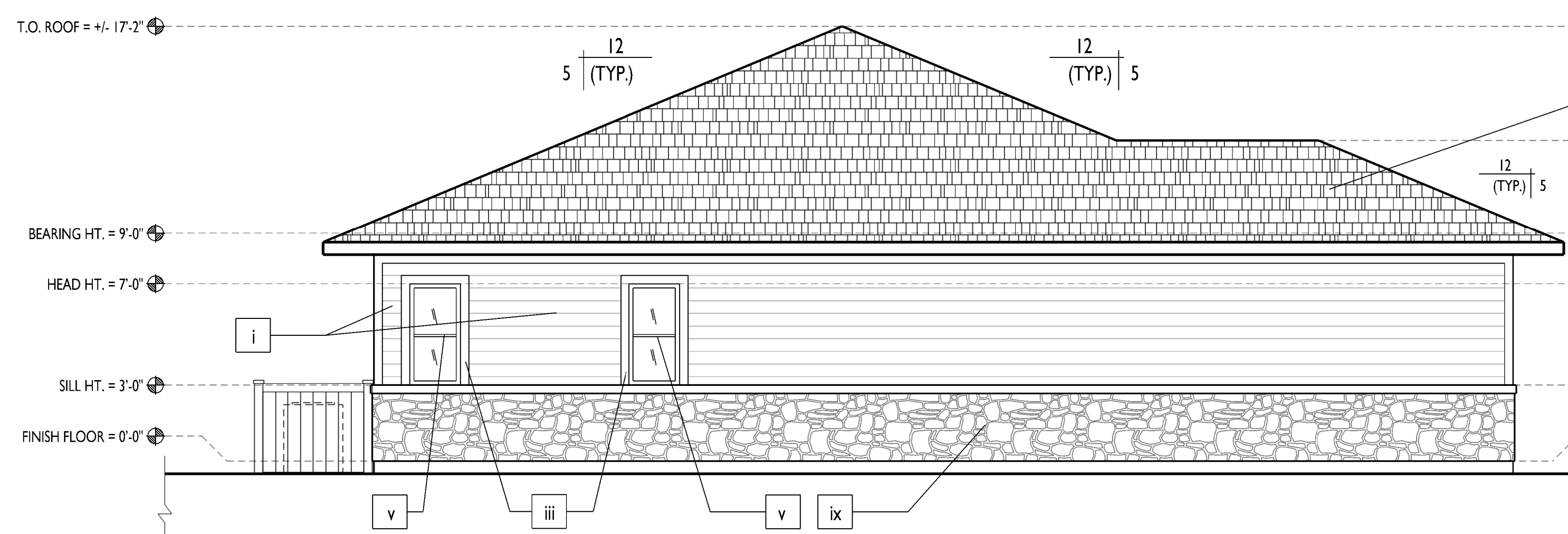
| REVISIONS | |
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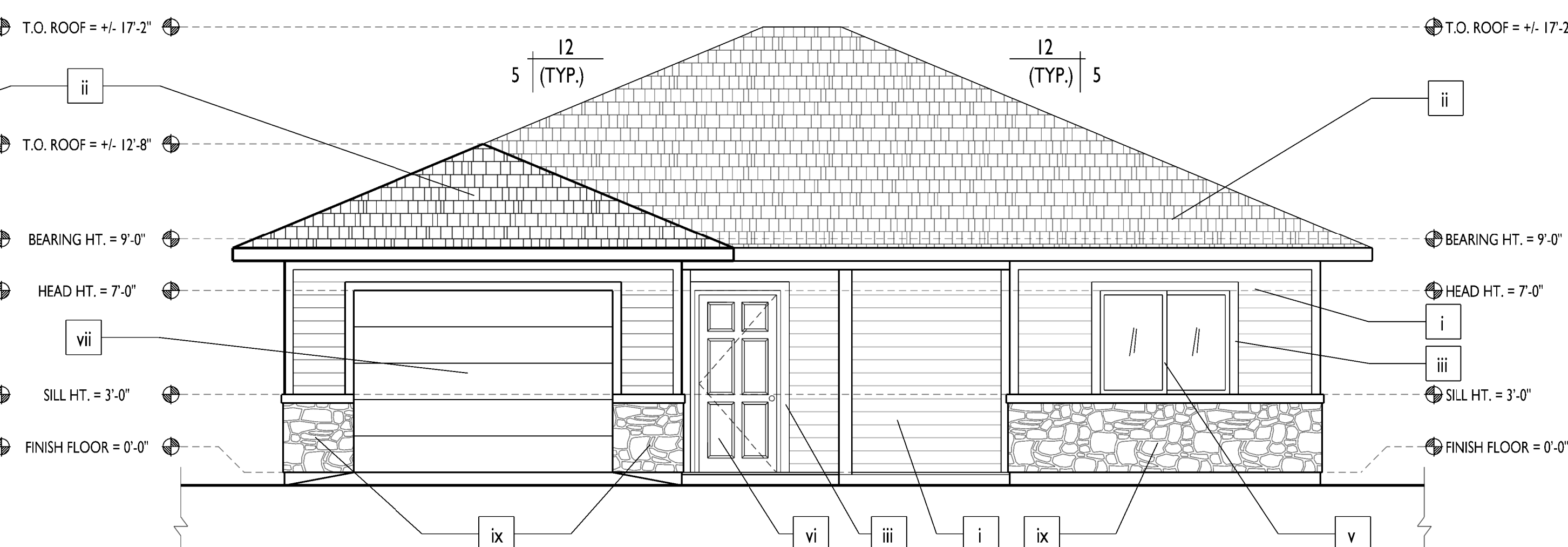
D SIDE ELEVATION
 A3.0 BLDG TYPE C: 2BDR/2BTH W/ GARAGE SCALE: 1/4" = 1'-0"



B REAR ELEVATION
 A3.0 BLDG TYPE C: 2BDR/2BTH W/ GARAGE SCALE: 1/4" = 1'-0"



C SIDE ELEVATION
 A3.0 BLDG TYPE C: 2BDR/2BTH W/ GARAGE SCALE: 1/4" = 1'-0"



A FRONT ELEVATION
 A3.0 BLDG TYPE C: 2BDR/2BTH W/ GARAGE SCALE: 1/4" = 1'-0"

| MATERIAL & COLOR SCHEDULE (BUILDING TYPE 2B) | | | |
|--|---------------------------|-----------------------------|--------------------------------|
| NO. | BUILDING ELEMENT: | MATERIAL: | COLOR SCHEME: 2B |
| i | BUILDING WALLS | HORIZONTAL VINYL SIDING | T.B.D. |
| ii | TYPICAL ROOF | SHINGLE ROOF | T.B.D. |
| iii | WINDOW DOOR & ACCENT TRIM | 4" VINYL TRIM | MANUF. WHITE |
| iv | COLUMNS SIDING | NOT USED | --- |
| v | WINDOWS | VINYL FRAME, LOW-E, TINTED | MANUF. WHITE |
| vi | UNIT ENTRY DOORS | STEEL 6-PANEL W/ WOOD FRAME | T.B.D. |
| vii | GARAGE DOOR | ALUMINUM | T.B.D. |
| viii | BAHAMIA SHUTTERS | NOT USED | --- |
| ix | BUILDING/COLUMN BASE | STONE VENEER | LIGHT COLOR (OWNER TO SPECIFY) |

GENERAL NOTES:
 ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS,
 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.
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 OF THE FLORIDA BUILDING CODE SECT. 1609.139 MPH WIND LOAD
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 THE BUILDING RISK CATEGORY IS "1"
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

VIVA @ TREASURE COAST EAST:
 BUILDING C: SINGLE FAMILY
 2BDR/2BTH W/ GARAGE

OWNER: KVA DEVELOPMENT LLC, 2329 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

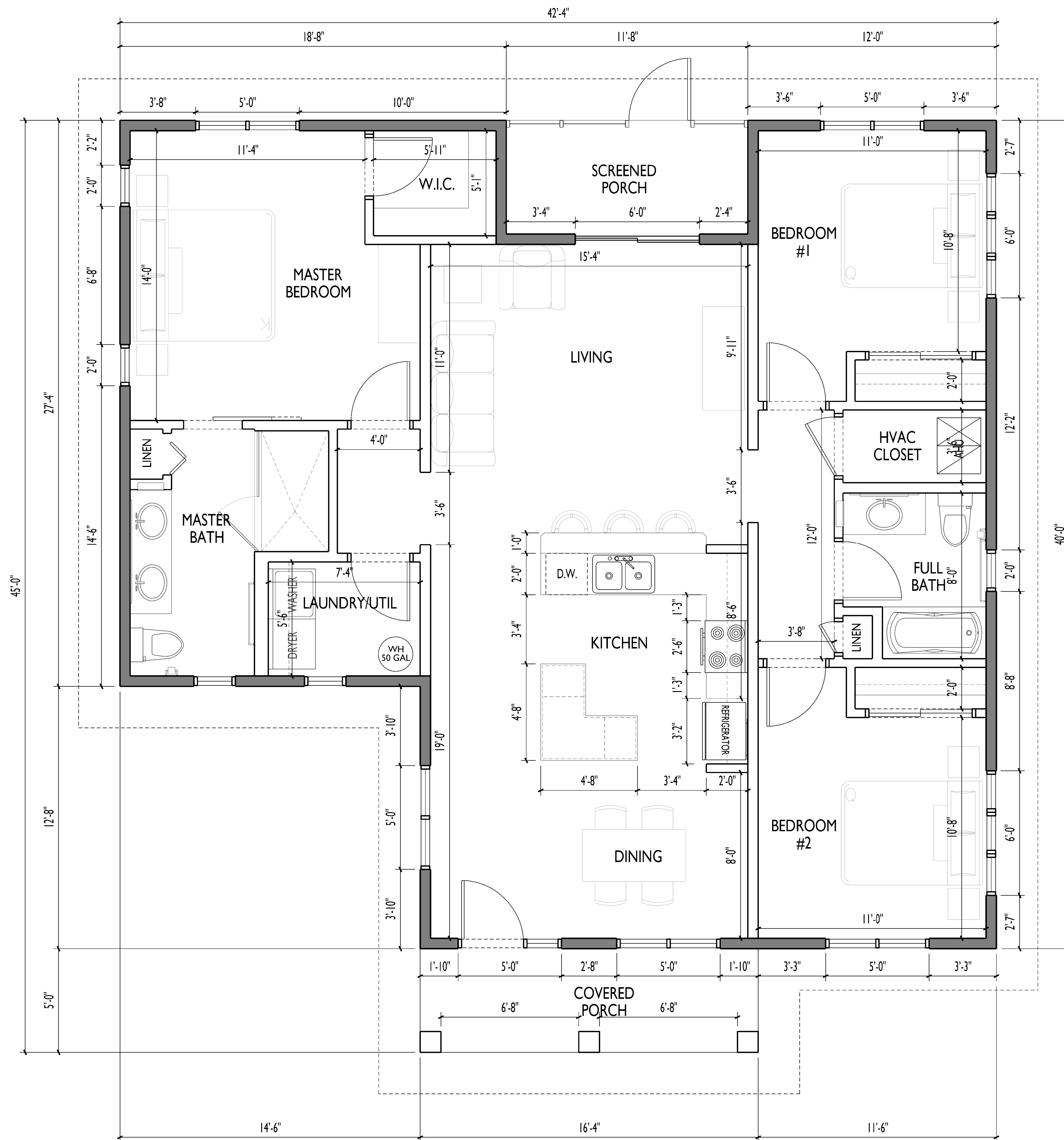
BPE
 DESIGN INCORPORATED
 Building Design and Architecture

BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
 DALLAS B. PEACOCK, ARCHITECT
 #AR 0009706
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114 PH: (386) 257-0502 FX: (386) 257-1050
 EMAIL: bfredley@bpeoedesign.com WEBSITE: bpeoedesign.com

BLDG TYPE C ELEVATIONS

| | | |
|------------------------|---|--------------------|
| BLD TYPE: 5F-3G | DOWN BY: TEM | CHKD BY: DBP & BPF |
| DATE: JANUARY 31, 2022 | SHT NO. A3.0 | |
| SCALE: 1"=25'-0" | 0' 3" 6" 9" 12" 15" 18" 21" 24" 27" 30" | |

ARCHITECTS / ENGINEER'S SEAL



| GROSS AREA CALC. | |
|---------------------------|----------|
| A/C SPACE | 1,445 SF |
| PORCHES & COVERED ENTRIES | 146 SF |
| TOTAL UNDER ROOF | 1,591 SF |

A
A2.0 **PROPOSED FLOOR PLAN**
BLDG TYPE D: 3BDR/2BTH SCALE: 3/8" = 1'-0"

GENERAL NOTES:
 ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS,
 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.
 ALL WORK MUST COMPLY WITH THE 2020 EDITION (EXPOSURE "C")
 OF THE FLORIDA BUILDING CODE SECT. 1609.139 WIND LOAD
 AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE
 THE BUILDING RISK CATEGORY IS "1"
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

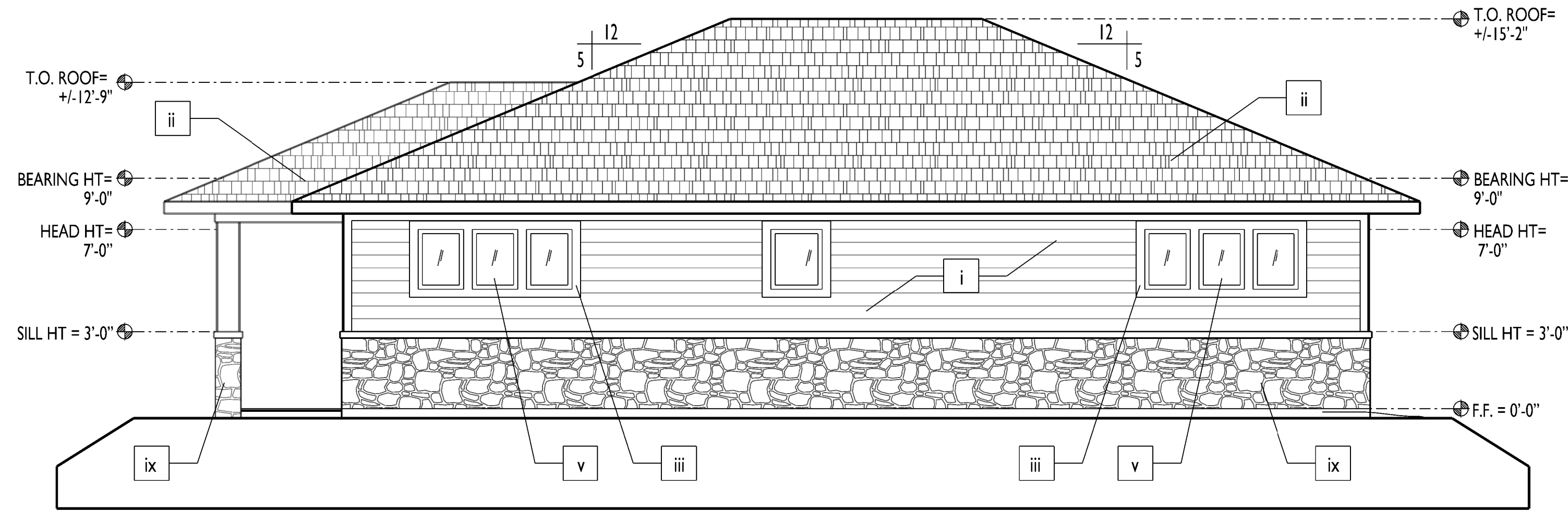
| REVISIONS |
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| |

VIVA @ TREASURE COAST EAST: BUILDING D: SINGLE FAMILY
 3BDRM/2BTH
 OWNER: KVA DEVELOPMENT LLC, 2239 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

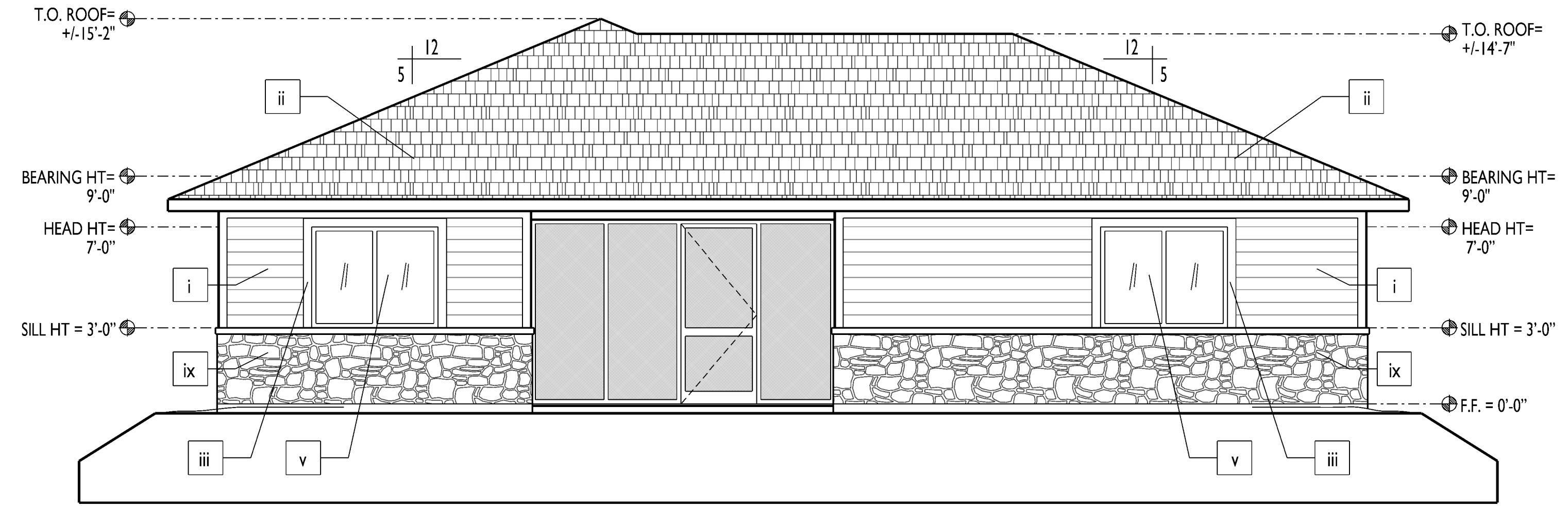
BPE
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 #AR 0009706
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114 PH: (386) 257-0502 FX: (386) 257-1050
 EMAIL: bfredley@bpebd.com WEBSITE: bpebd.com

BLDG TYPE D FLOOR PLAN
 BLDG TYPE: SF-3 DWN BY: TEM CHKD BY: DBP & BFE
 DATE: FEBRUARY 22, 2022
 SCALE: 3/8"=1'-0" SHT NO. A2.0

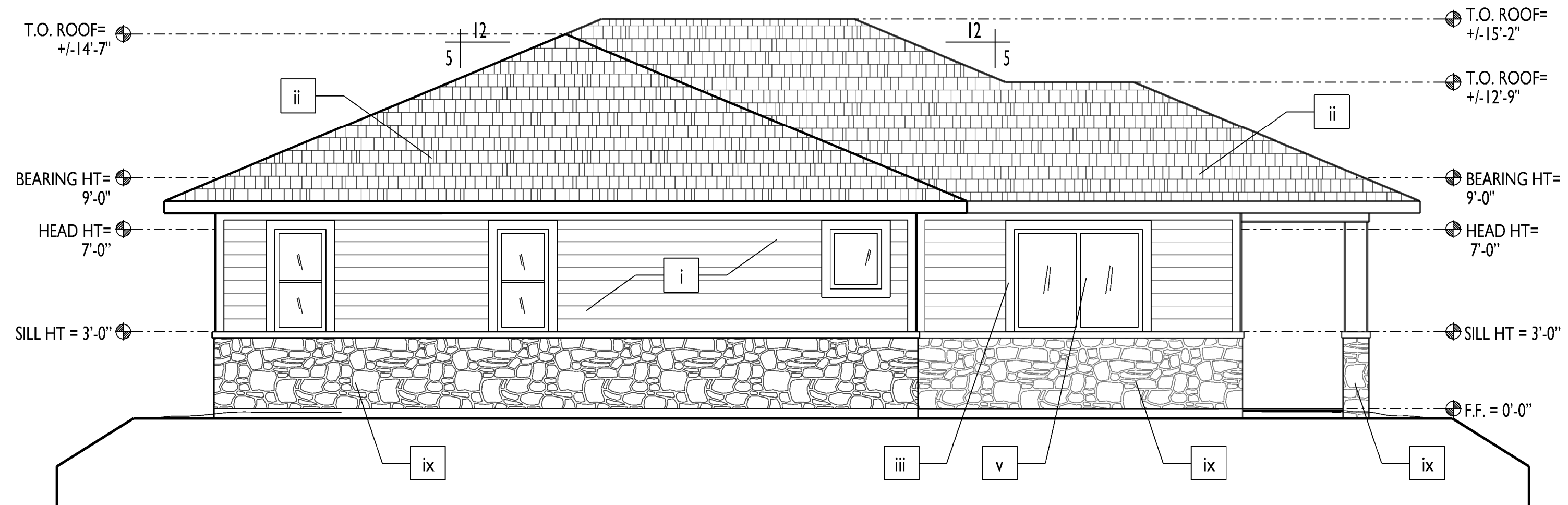
ARCHITECTS' / ENGINEER'S SEAL



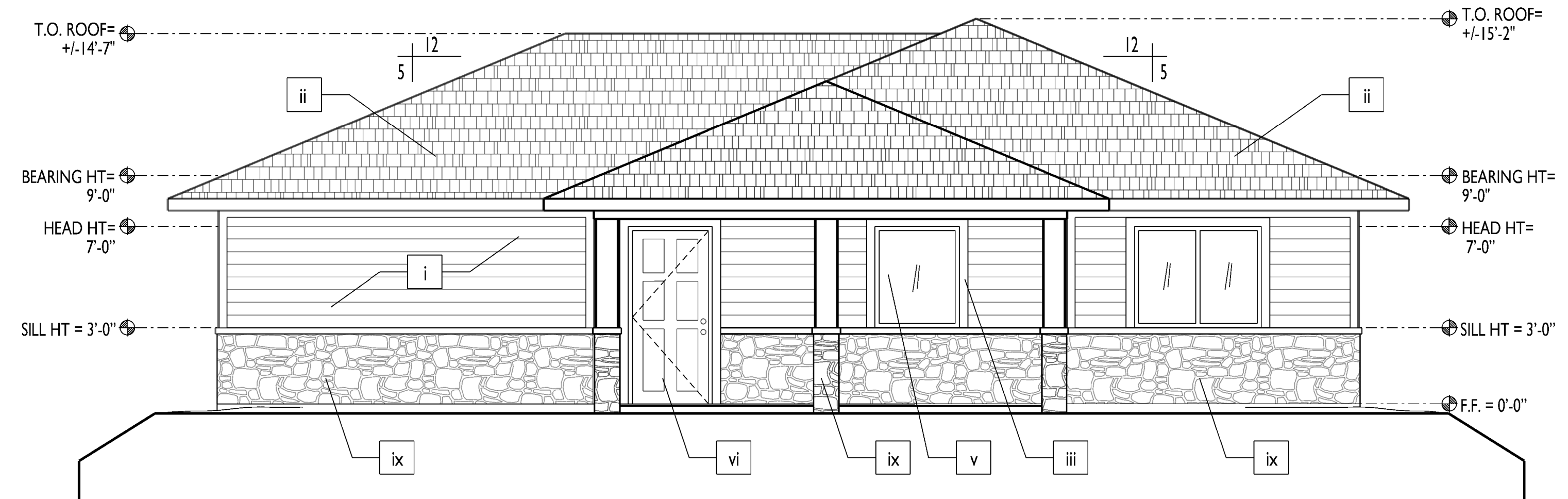
A SIDE ELEVATION
 A3.0 BLDG TYPE D: 3BDR/2BTH SCALE: 1/4" = 1'-0"



B REAR ELEVATION
 A3.0 BLDG TYPE D: 3BDR/2BTH SCALE: 1/4" = 1'-0"



C SIDE ELEVATION
 A3.0 BLDG TYPE D: 3BDR/2BTH SCALE: 1/4" = 1'-0"



D FRONT ELEVATION
 A3.0 BLDG TYPE D: 3BDR/2BTH SCALE: 1/4" = 1'-0"

| MATERIAL & COLOR SCHEDULE (BUILDING TYPE D) | | | |
|---|---------------------------|-----------------------------|--------------------------------|
| NO. | BUILDING ELEMENT: | MATERIAL: | COLOR SCHEME: 3B |
| i | BUILDING WALLS | HORIZONTAL VINYL SIDING | T.B.D. |
| ii | TYPICAL ROOF | SHINGLE ROOF | T.B.D. |
| iii | WINDOW DOOR & ACCENT TRIM | 4" VINYL TRIM | MANUF. WHITE |
| iv | COLUMNS SIDING | NOT USED | --- |
| v | WINDOWS | VINYL FRAME, LOW-E, TINTED | MANUF. WHITE |
| vi | UNIT ENTRY DOORS | STEEL 6-PANEL W/ WOOD FRAME | T.B.D. |
| vii | GARAGE DOOR | ALUMINUM | T.B.D. |
| viii | BAHAMA SHUTTERS | NOT USED | --- |
| ix | BUILDING/COLUMN BASE | STONE VENEER | LIGHT COLOR (OWNER TO SPECIFY) |

GENERAL NOTES:
 ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE.
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 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.
 ALL WORK MUST COMPLY WITH THE 2020 EDITION (EXPOSURE 'C')
 OF THE FLORIDA BUILDING CODE SECT. 1609/ 139 MPH WIND LOAD
 AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE
 THE BUILDING RISK CATEGORY IS "I"
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

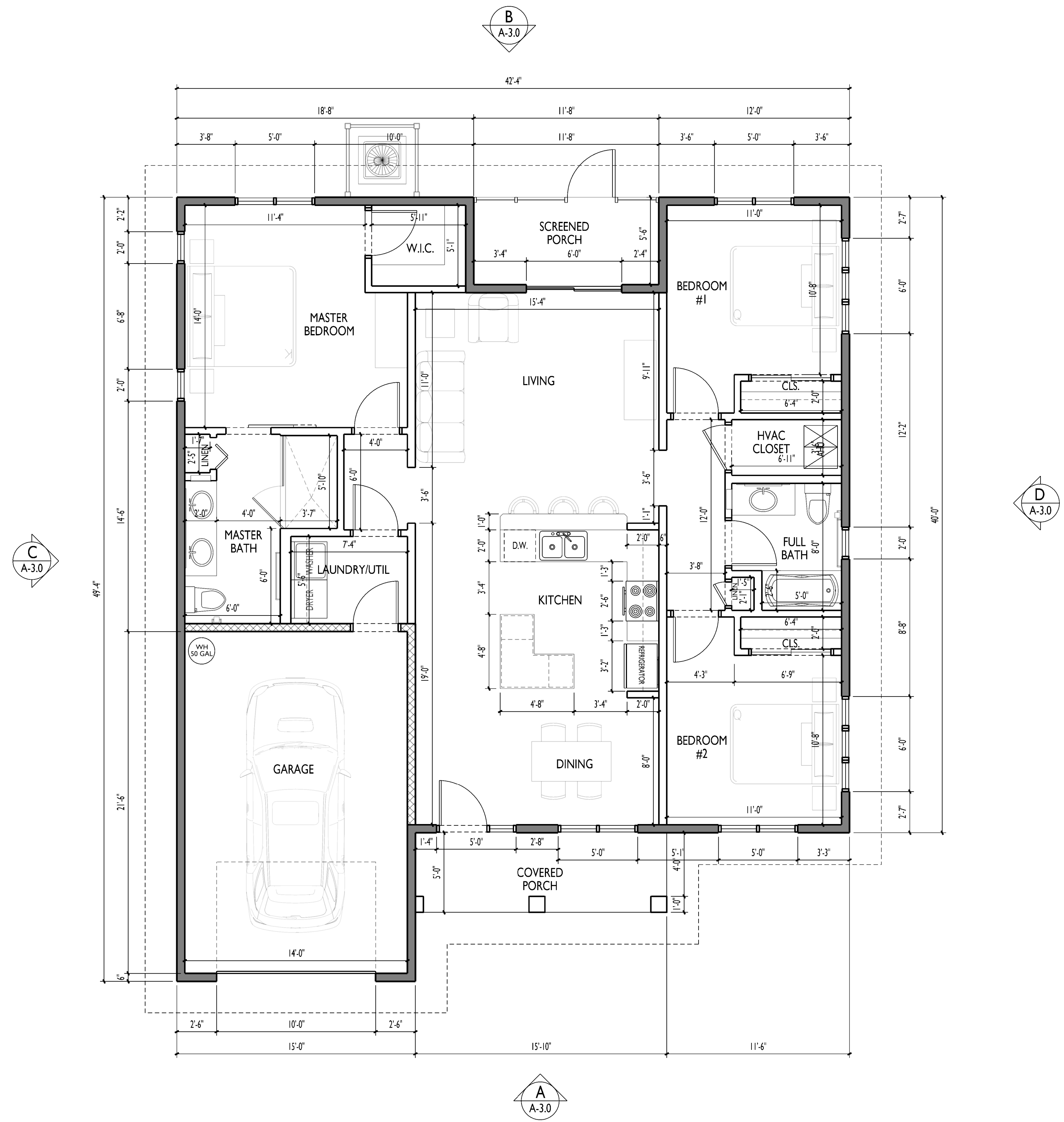
| REVISIONS |
|-----------|
| |
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| |

VIVA @ TREASURE COAST EAST:
 BUILDING D: SINGLE FAMILY
 3BDR/2BTH
 OWNER: KIVA DEVELOPMENT LLC, 2329 ABRAMS ROAD, ELUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

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 Building Design and Architecture
 BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
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 EMAIL: bfredley@bpeid.com WEBSITE: bpeid.com

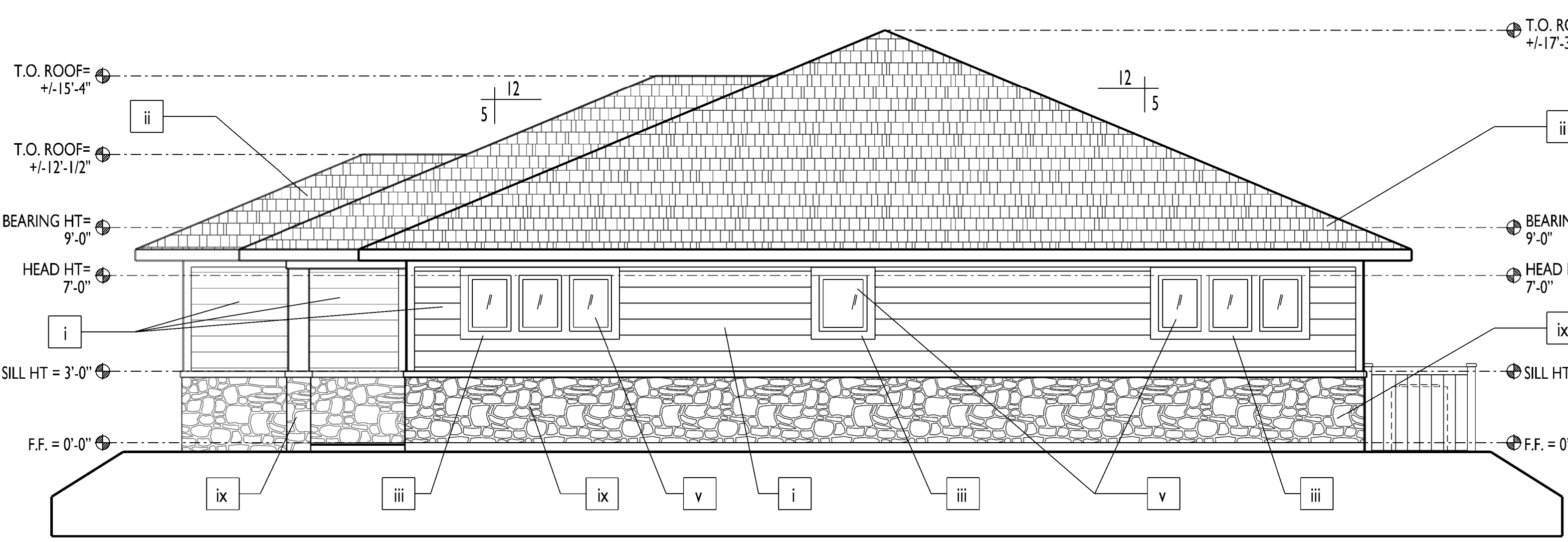
BLDG TYPE D ELEVATIONS
 BLD TYPE: SF-3 DRAWN BY: TEM CHECKED BY: DRP & BFP
 DATE: FEBRUARY 22, 2022 SHT NO. A3.0
 SCALE: 1/4" = 1'-0"

ARCHITECTS / ENGINEER'S SEAL

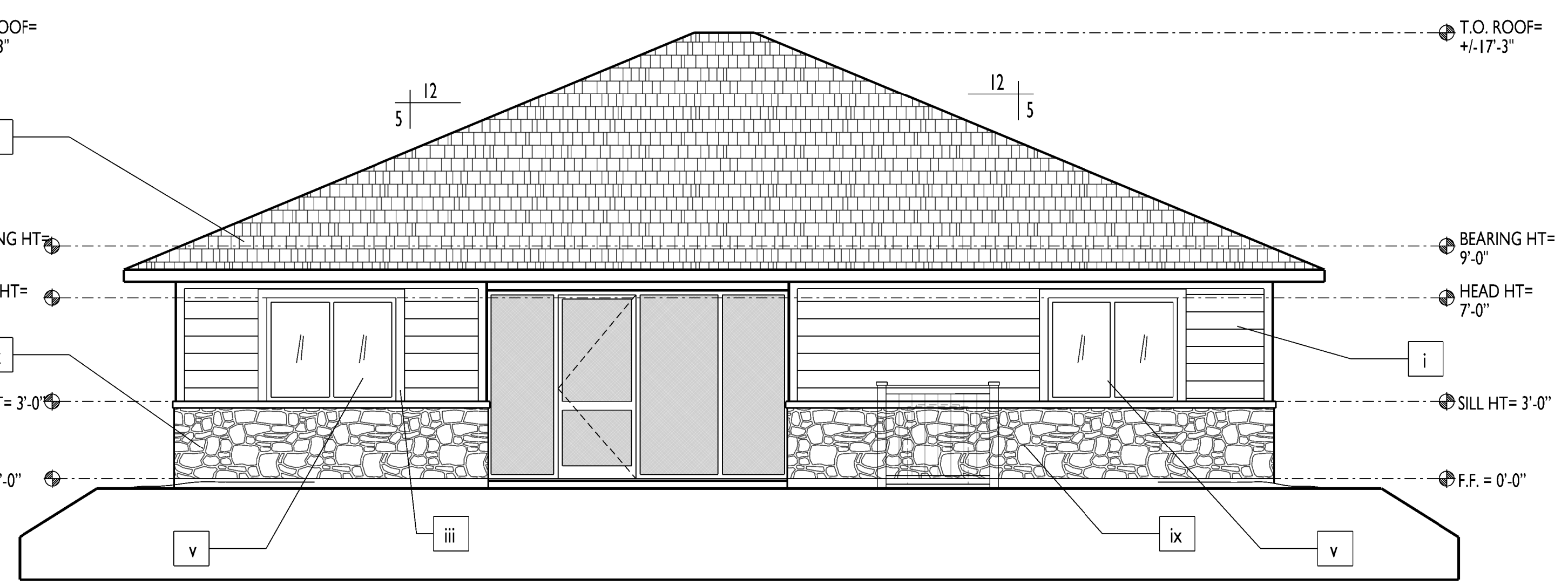


A
A2.0 **PROPOSED FLOOR PLAN**
 BLDG TYPE E: 3BDR/2BTH W/ GARAGE
 SCALE: 3/8" = 1'-0"

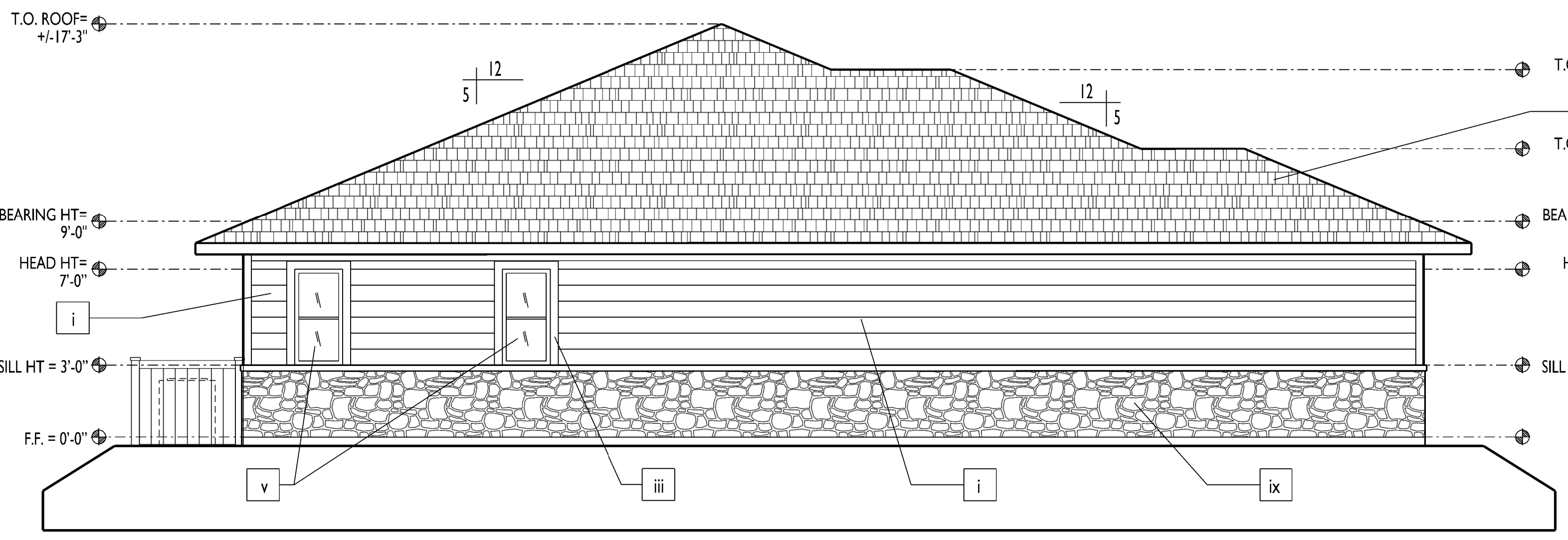
| REVISIONS | |
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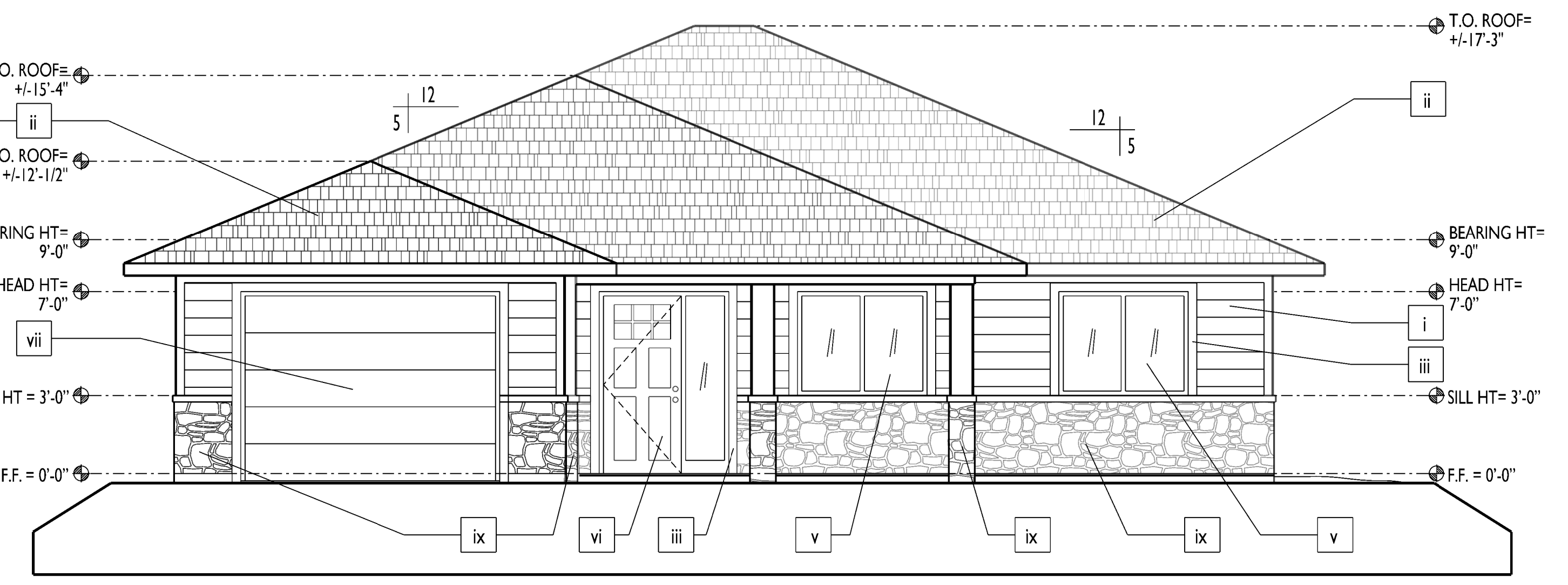
D SIDE ELEVATION
 A3.0 BLDG TYPE E: 3BDR/2BTH W/ GARAGE SCALE: 1/4" = 1'-0"



B REAR ELEVATION
 A3.0 BLDG TYPE E: 3BDR/2BTH W/ GARAGE SCALE: 1/4" = 1'-0"



C SIDE ELEVATION
 A3.0 BLDG TYPE E: 3BDR/2BTH W/ GARAGE SCALE: 1/4" = 1'-0"



A FRONT ELEVATION
 A3.0 BLDG TYPE E: 3BDR/2BTH W/ GARAGE SCALE: 1/4" = 1'-0"

| MATERIAL & COLOR SCHEDULE (BUILDING TYPE 3B) | | | |
|--|---------------------------|-----------------------------|--------------------------------|
| NO. | BUILDING ELEMENT: | MATERIAL: | COLOR SCHEME: 3B |
| i | BUILDING WALLS | HORIZONTAL VINYL SIDING | T.B.D. |
| ii | TYPICAL ROOF | SHINGLE ROOF | T.B.D. |
| iii | WINDOW DOOR & ACCENT TRIM | 4" VINYL TRIM | MANUF. WHITE |
| iv | COLUMNS SIDING | NOT USED | --- |
| v | WINDOWS | VINYL FRAME, LOW-E, TINTED | MANUF. WHITE |
| vi | UNIT ENTRY DOORS | STEEL 6-PANEL W/ WOOD FRAME | T.B.D. |
| vii | GARAGE DOOR | ALUMINUM | T.B.D. |
| viii | BAHAMA SHUTTERS | NOT USED | --- |
| ix | BUILDING/COLUMN BASE | STONE VENEER | LIGHT COLOR (OWNER TO SPECIFY) |

GENERAL NOTES:
 ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS,
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 ALL WORK MUST COMPLY WITH THE 2020 EDITION (EXPOSURE "C")
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 AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE
 THE BUILDING RISK CATEGORY IS "1"
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

VIVA @ TREASURE COAST EAST:
 BUILDING E: SINGLE FAMILY
 3BDR/2BTH W/ GARAGE

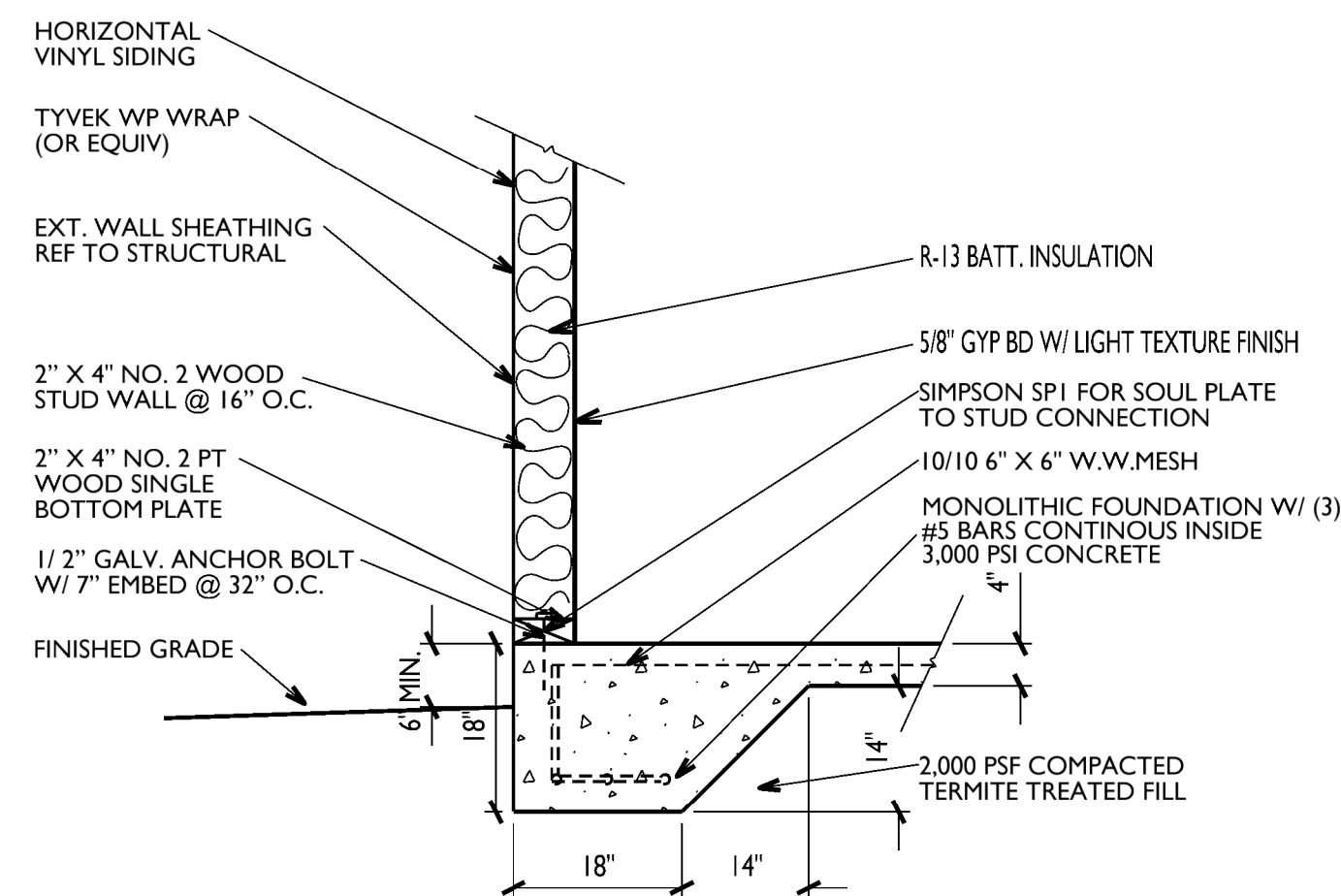
OWNER: KVA DEVELOPMENT LLC, 2329 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

BPE
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 Building Design and Architecture

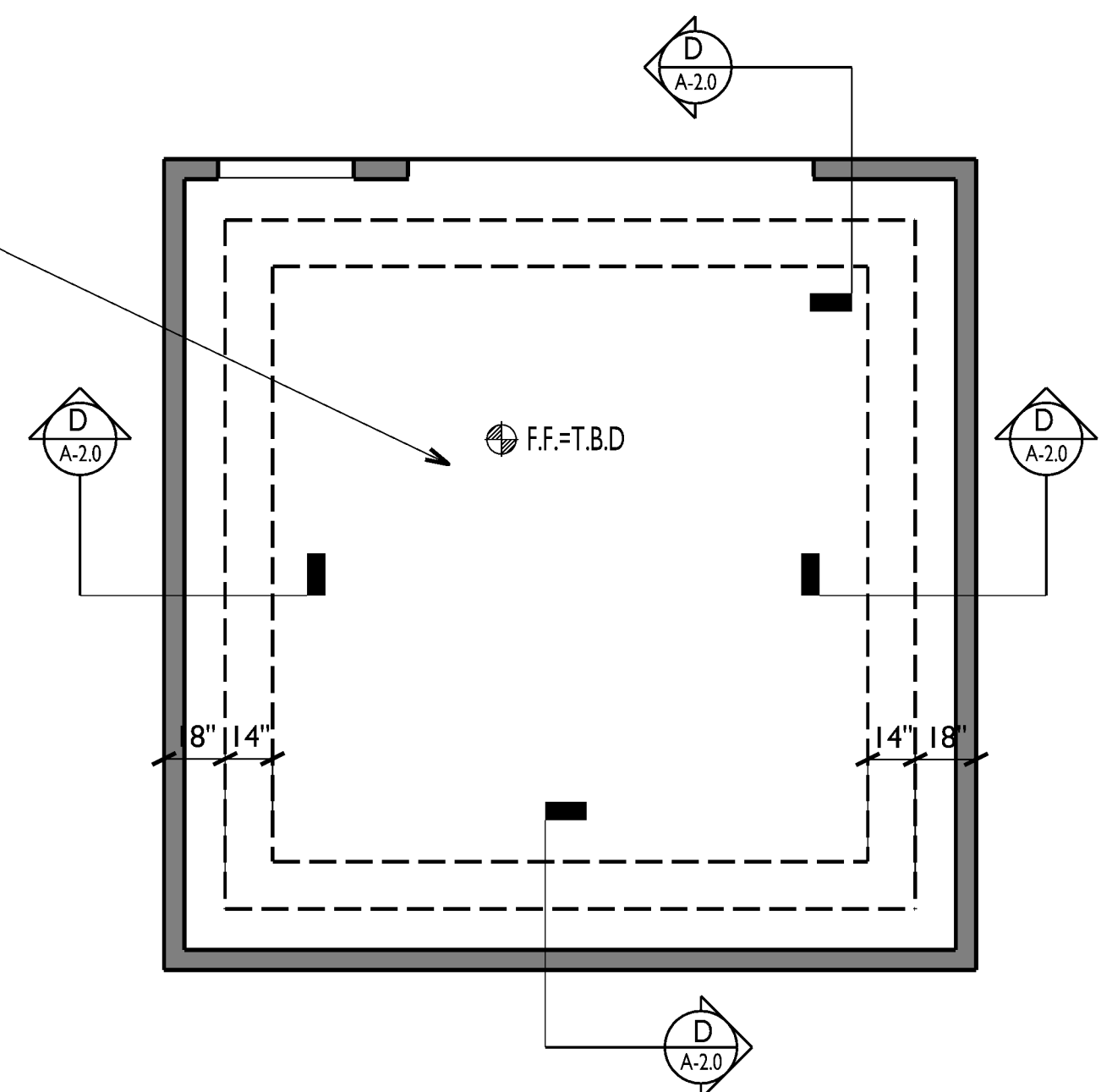
BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
 DALLAS B. PEACOCK, ARCHITECT
 #AR 0009706
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114 PH: (386) 257-0502 FX: (386) 257-1050
 EMAIL: bfredley@bpeinc.com WEBSITE: bpeinc.com

| BLDG TYPE E ELEVATIONS | | |
|------------------------|----------------|--------------------|
| BLD TYPE: 5F-3G | DOWN BY: TEM | CHKD BY: DBP & BPF |
| DATE: JANUARY 31, 2022 | SHT NO. A3.0 | |
| SCALE: 1/4"=1'-0" | 0 1' 3' 7' 10' | |

ARCHITECTS / ENGINEER'S SEAL



PROPOSED MONOLITHIC FOUNDATION W/18" X H18" W/ (3) #5 BARS
 ALL WALLS ARE WOOD FRAME W/ WOOD TRUSSES FOR ROOF STRUCTURE. FOUNDATION IS TO BE 1 STORY MONOLITHIC CONFIGURATION W/ 3,000 PSI REINFORCED CONC. SLAB ON COMPACTED, CLEAN TERMITE TREATED FILL. USE FIBER REINFORCEMENT ON 6 MIL VISQUEEN VAPOR BARRIER.
400 S.F. GROSS

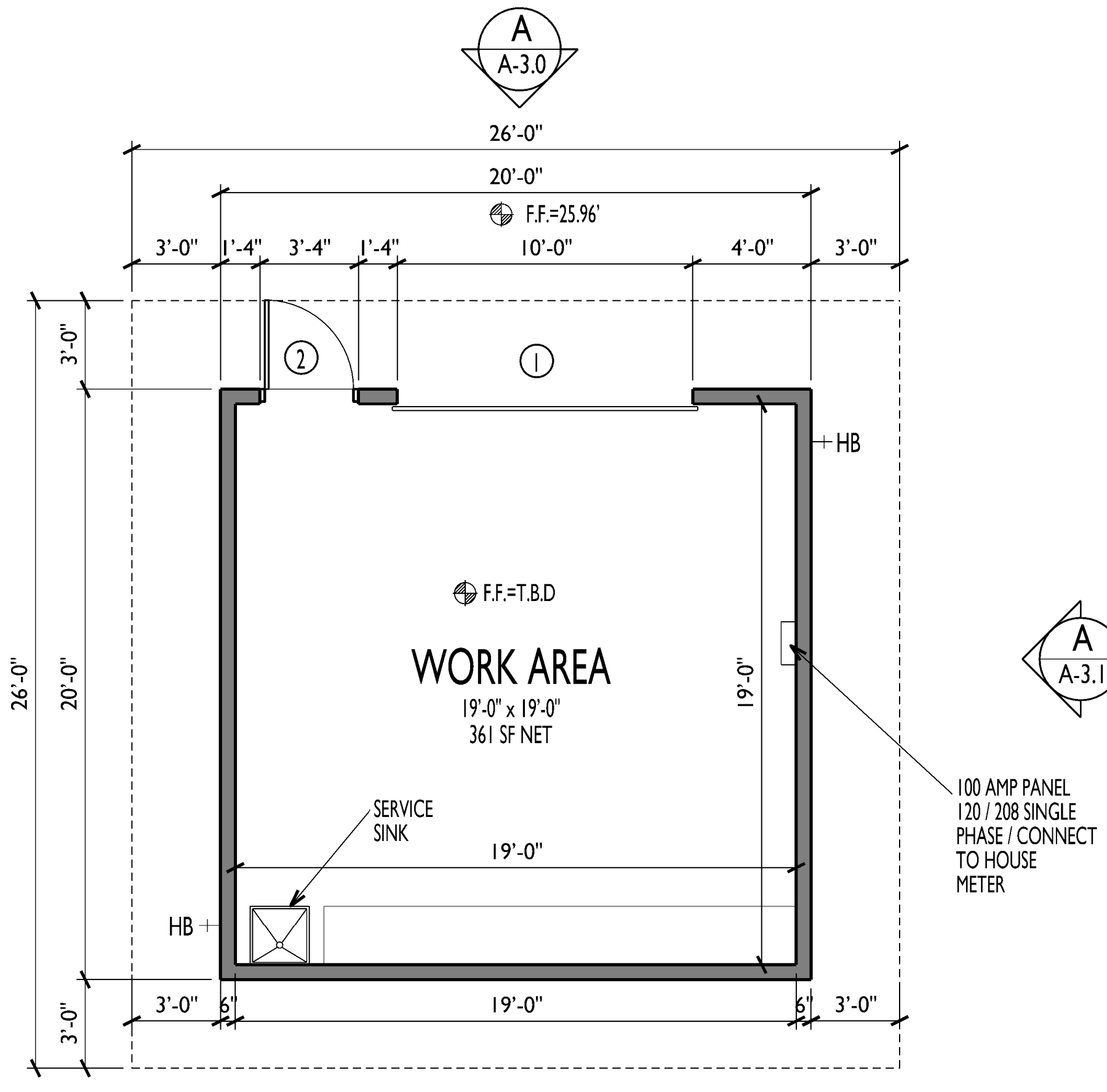


D MONOLITHIC FOUNDATION
 SCALE: N.T.S.

C FOUNDATION PLAN
 W/ INFORMATION SCALE: 1/4"=1'-0"

TERMITE PROTECTION
 TREATMENT SHALL BE BY SOIL CHEMICAL BARRIER METHOD IN CONFORMANCE WITH THE FLORIDA STATE DEPARTMENT OF HEALTH AND REHABILITATION SERVICES, PEST CONTROL RULES PER FLORIDA PEST CONTROL ACT FOR EXECUTION OF TOXICANT APPLICATION AND WITH EPA FEDERAL INSECTICIDE FUNGICIDE AND RODENTICIDE ACT.

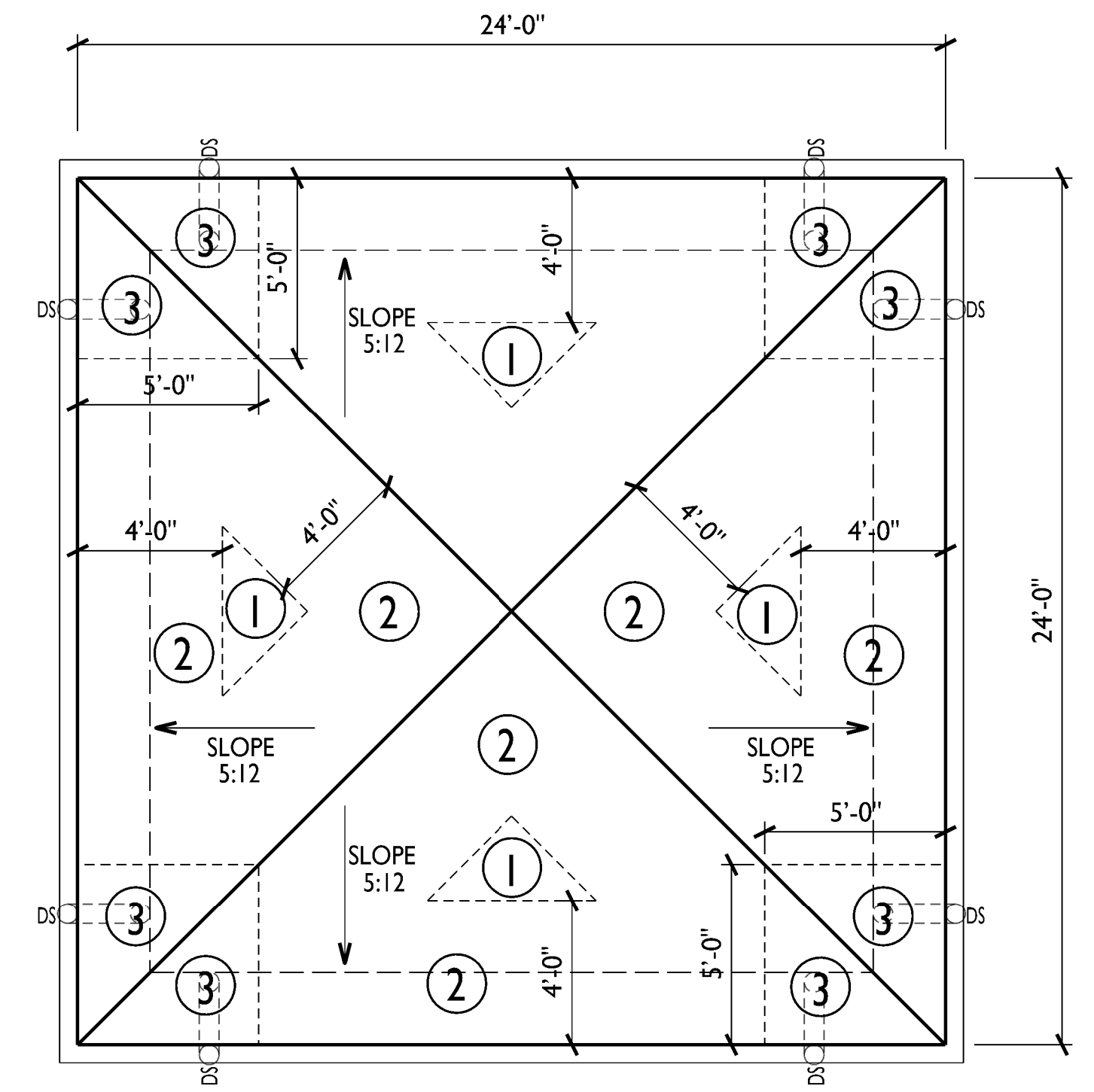
1. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.
2. TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES.
3. INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE.
4. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED.
5. BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC. SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT.
6. MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED.
7. A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
8. AFTER ALL WORK IS COMPLETE, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN UNOCCUPIED SPACE. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING TRASH OR OTHER CELLULOSE CONTAINING MATERIAL.



B FLOOR PLAN
 W/ INFORMATION SCALE: 1/4"=1'-0"

PROP. PLUMBING FIXTURE SCHEDULE

| FIXTURE | MEN | WOMEN | UNISEX |
|--------------|-----|-------|--------|
| HOSE BIBB | 0 | 0 | 2 |
| SERVICE SINK | 0 | 0 | 1 |



A ROOF PLAN
 W/ INFORMATION SCALE: 1/4"=1'-0"

ROOF & WALL SHEATHING - NAIL ZONE PATTERN SCHEDULE

| Mark: | Zone: | Nailing Description: |
|-------|-------|--------------------------------|
| 1 | 1 | Use 8D Common Nails @ 12" O.C. |
| 2 | 2 | Use 8D Common Nails @ 6" O.C. |
| 3 | 3 | Use 8D Common Nails @ 4" O.C. |

| Material: | Field Nailing Pattern: | Edge Nailing Pattern: |
|-----------|--------------------------|-------------------------|
| Plywood | Use 10D Nails @ 12" O.C. | Use 10D Nails @ 6" O.C. |
| Gypsum | Use 5D Nails @ 10" O.C. | Use 5D Nails @ 7" O.C. |

NOTES:

1. ROOF TO BE ARCHITECTURAL ROOFING SHINGLES 30-YEAR DIMENSIONAL SHINGLE. UTILIZE SYNTHETIC UNDERLAYMENT; COLOR: LINK GRAY
2. CONTRACTOR SHALL USE MANUFACTURER'S STANDARD INSTALLATION DETAILS & CONNECTORS AS REQUIRED

AREA CALC.
 MAINTENANCE BLDG. 400 SF

GENERAL NOTES:
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 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RATING THE BUILDING RISK CATEGORY IS '1'
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| | |
| | |
| | |

VIVA @ TREASURE COAST EAST:
 BUILDING F: MAINTENANCE BLDG

OWNER/REP.: NVA DEVELOPMENT LLC, 2239 ABRAMS ROAD, EUSTIS, FL, 32726
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

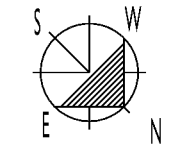
BPE DESIGN INCORPORATED
 Building Design and Architecture

BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
 DALLAS B. PEACOCK, ARCHITECT
 #AR 0009706
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114 PH: (386) 257-0502 FX: (386) 257-1050
 EMAIL: bfredley@bpedesign.com WEBSITE: bpedesign.com

FLOOR, ROOF & FOUNDATION PLAN

BLD TYPE: M DWN BY: TEM CHKD BY: DBP & BPF
 DATE: JANUARY 31, 2022
 SCALE: 1/4"=1'-0" SHT NO. A-2.0

ARCHITECT'S / ENGINEER'S SEAL



T.O. ROOF = +/- 13'-8"

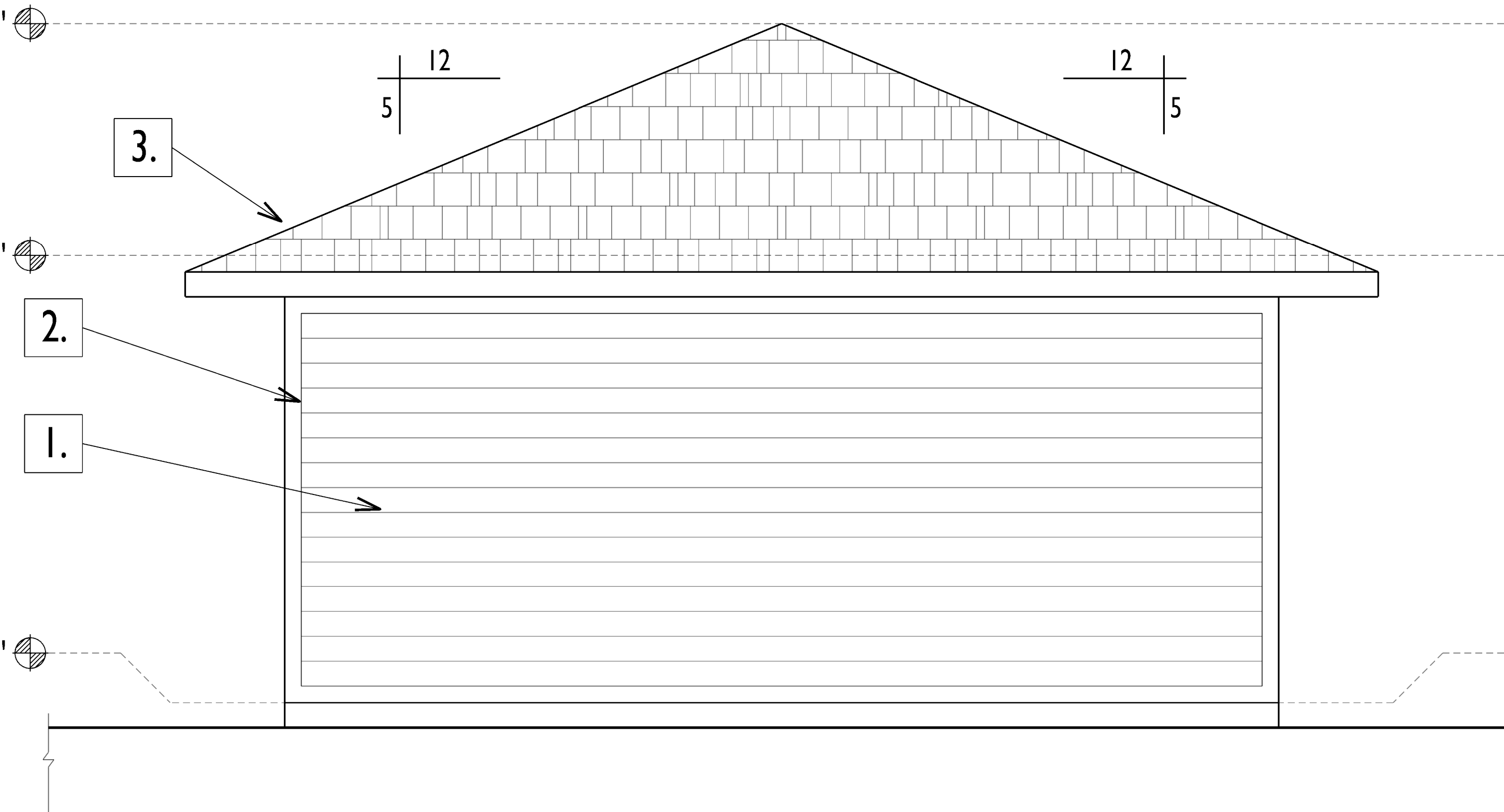
T.O. ROOF = +/- 13'-8"

BEARING HT. = 9'-0"

BEARING HT. = 9'-0"

FINISH FLOOR = 0'-0"

FINISH FLOOR = 0'-0"



B REAR ELEVATION
A-3.0 EAST FACADE

SCALE: 1/2"=1'-0"

| BUILDING MATERIALS/COLORS LEGEND | | |
|----------------------------------|----------------------|--------------------------------------|
| 1. | BUILDING WALLS: | VINYL SIDING T.B.D |
| 2. | TRIM/BANDS/BRACKETS: | CEMENT PRODUCTS T.B.D |
| 3. | ROOF: | ARCHITECTURAL ROOFING SHINGLES T.B.D |

T.O. ROOF = +/- 13'-8"

T.O. ROOF = +/- 13'-8"

BEARING HT. = 9'-0"

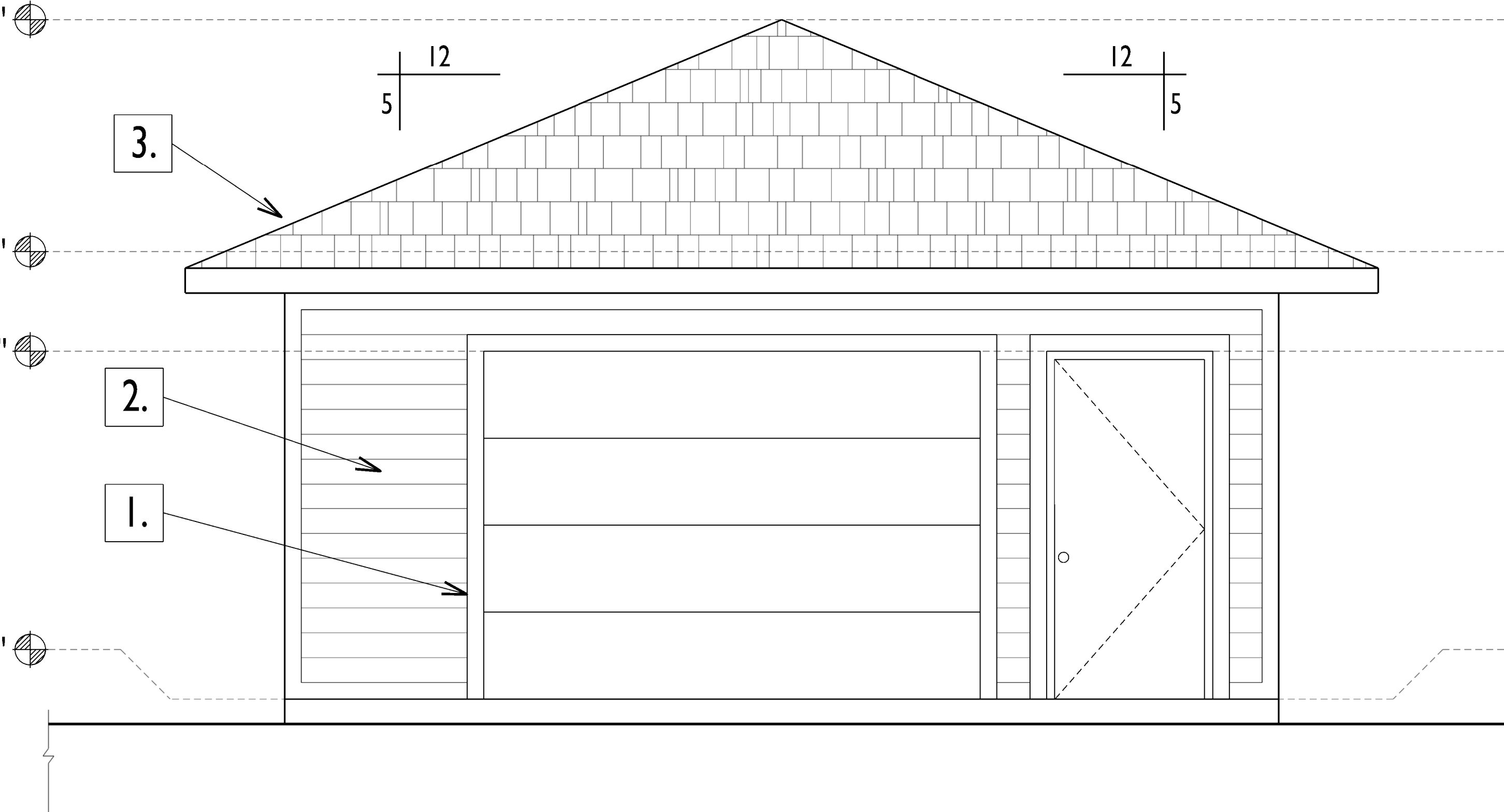
BEARING HT. = 9'-0"

DOOR HEAD HT. = 7'-0"

DOOR HEAD HT. = 7'-0"

FINISH FLOOR = 0'-0"

FINISH FLOOR = 0'-0"



A FRONT ELEVATION
A-3.0 WEST FACADE

SCALE: 1/2"=1'-0"

GENERAL NOTES:
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 THE BUILDING RISK CATEGORY IS '1'
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

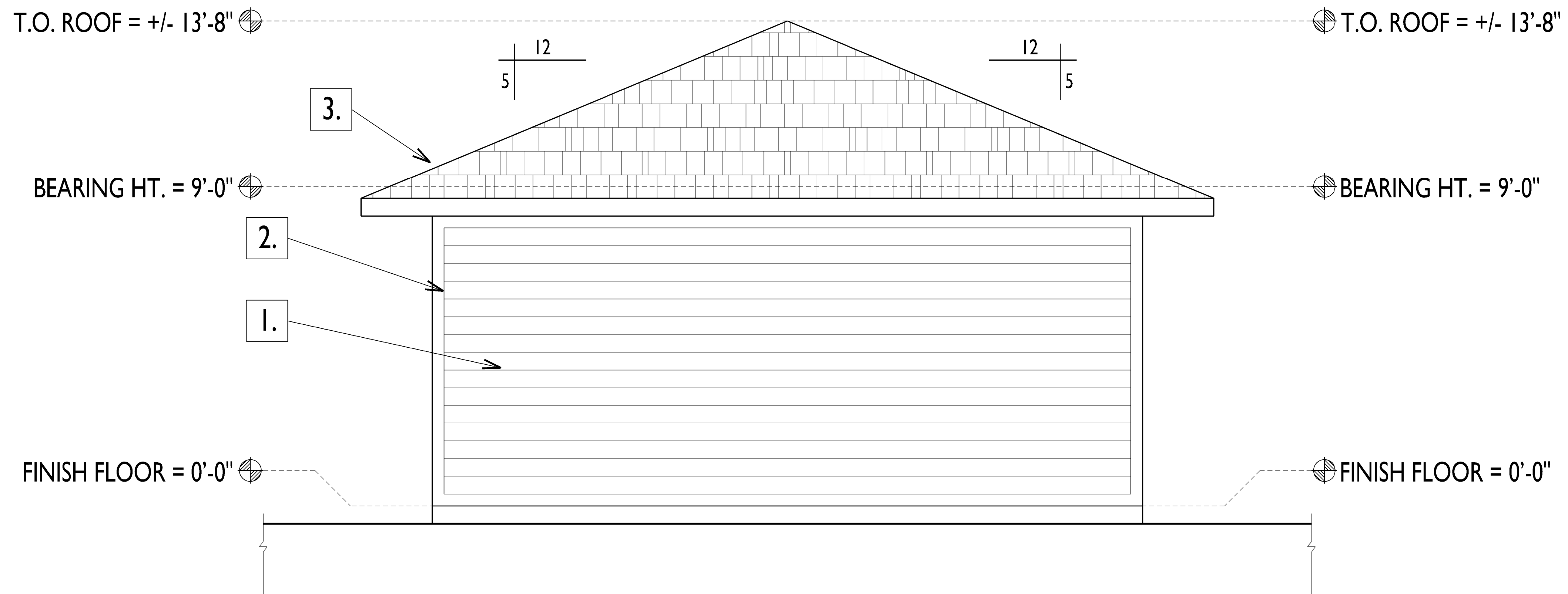
| REVISIONS |
|-----------|
| |
| |
| |

VIVA @ TREASURE COAST EAST:
 BUILDING F: MAINTENANCE BLDG
 OWNER: KIVA DEVELOPMENT LLC, 2329 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

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 DAYTONA BEACH, FL 32114 PH: (386) 257-0500 FX: (386) 257-1050
 EMAIL: bfredley@bpeinc.com WEBSITE: bpeinc.com

| FRONT & REAR BUILDING ELEVATIONS | | |
|----------------------------------|---------------|--------------------|
| BLD TYPE: M | DWNN BY: TEM | CHKD BY: DBP & BPE |
| DATE: JANUARY 31, 2022 | SHT NO. A-3.0 | |
| SCALE: 1/2"=1'-0" | 0 1 2 3 4 5 | |

ARCHITECTS / ENGINEER'S SEAL

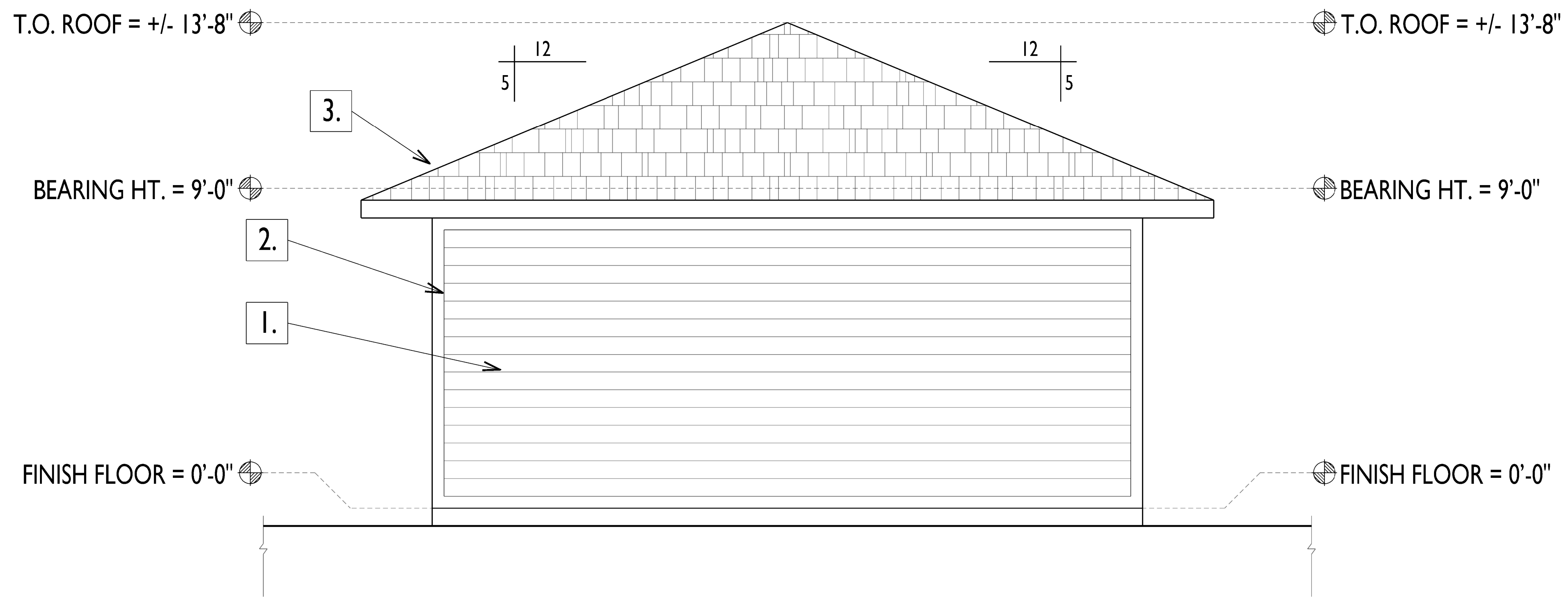


B
A-3.1

SIDE ELEVATION

SCALE: 1/2"=1'-0"

| BUILDING MATERIALS/COLORS LEGEND | | |
|----------------------------------|--------------------------------|-------|
| 1. BUILDING WALLS: | VINYL SIDING | T.B.D |
| 2. TRIM/BANDS/BRACKETS: | CEMENT PRODUCTS | T.B.D |
| 3. ROOF: | ARCHITECTURAL ROOFING SHINGLES | T.B.D |



A
A-3.1

SIDE ELEVATION

SCALE: 1/2"=1'-0"

GENERAL NOTES:
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 THE BUILDING RISK CATEGORY IS '1'
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

| REVISIONS |
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| |

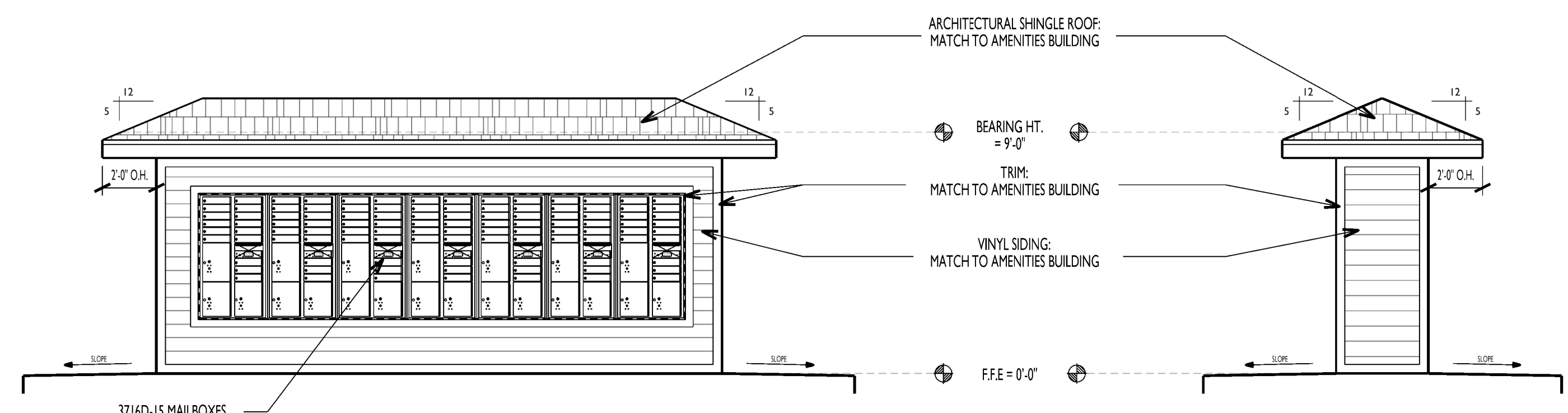
VIVA @ TREASURE COAST EAST:
 BUILDING F: MAINTENANCE BLDG
 OWNER: KIVA DEVELOPMENT LLC, 2329 ABRAMS ROAD, EUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

BPE
 DESIGN INCORPORATED
 Building Design and Architecture
 BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
 DALLAS B. PEACOCK, ARCHITECT
 #AR 0009706
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FL 32114 PH: (386) 257-0500 FX: (386) 257-1050
 EMAIL: bfredley@bpedesign.com WEBSITE: bpedesign.com

| SIDE BUILDING ELEVATIONS | | |
|--------------------------|---------------|--------------------|
| BLD TYPE: M | DWYN BY: TEM | CHKD BY: DBP & BPF |
| DATE: JANUARY 31, 2022 | SHT NO. A-3.1 | |
| SCALE: 1/2"=1'-0" | | |

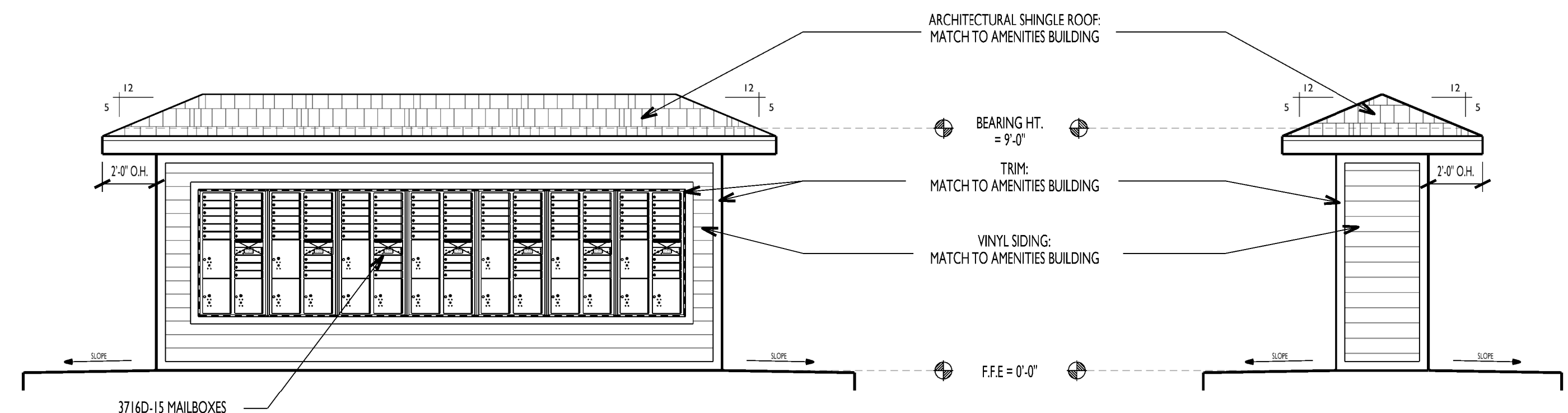
ARCHITECT'S / ENGINEER'S SEAL

| REVISIONS | |
|-----------|--|
| | |
| | |
| | |



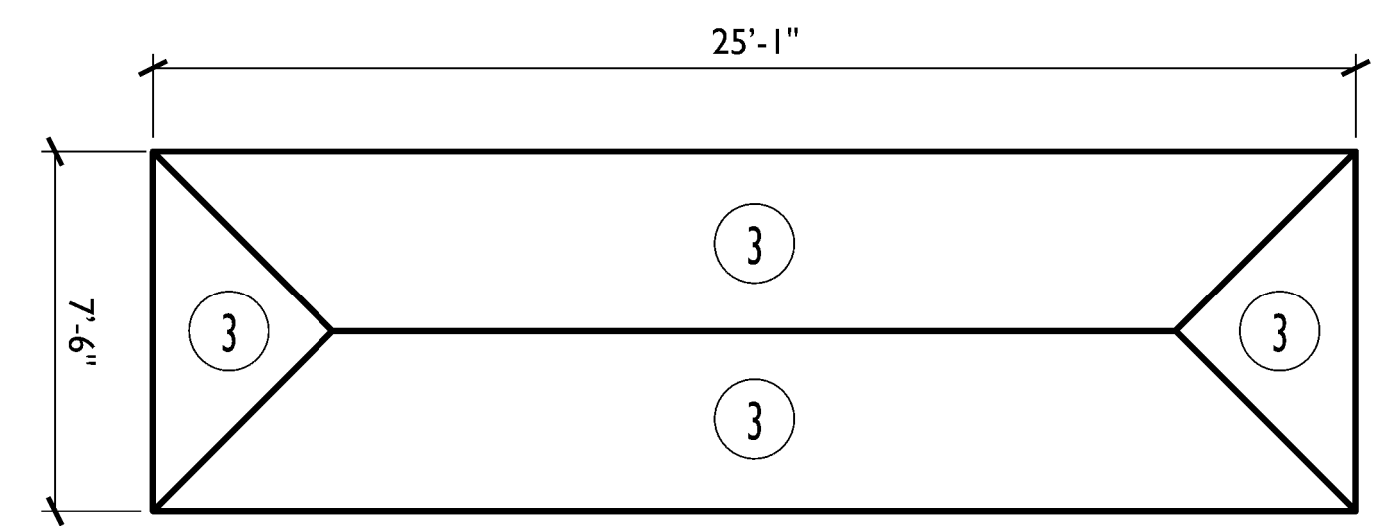
F REAR ELEVATION
A-M1.0 MAILBOX PAVILION SCALE: 1/4"=1'-0"

E SIDE ELEVATION
A-M1.0 MAILBOX PAVILION SCALE: 1/4"=1'-0"



D FRONT ELEVATION
A-M1.0 MAILBOX PAVILION SCALE: 1/4"=1'-0"

C SIDE ELEVATION
A-M1.0 MAILBOX PAVILION SCALE: 1/4"=1'-0"

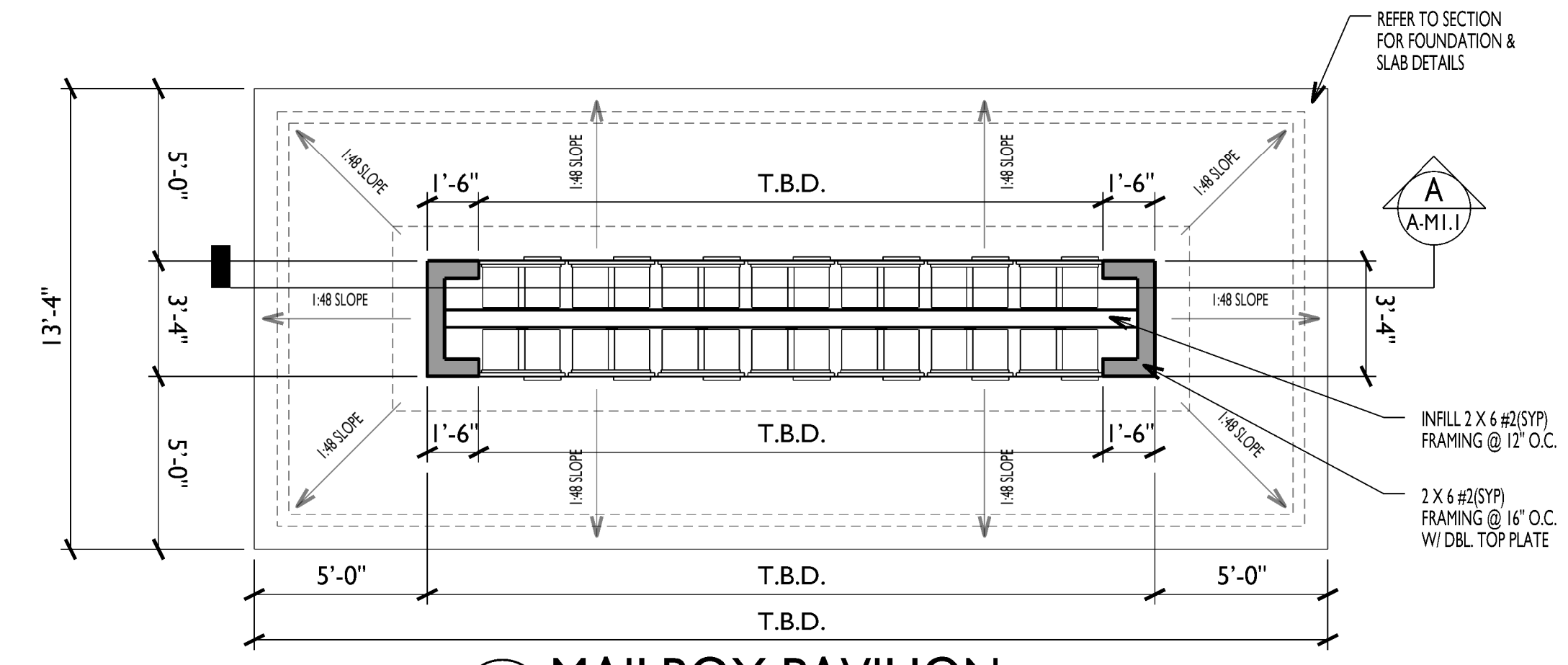


B MAILBOX PAVILION
A-M1.0 ROOF PLAN SCALE: 1/4"=1'-0"

MAILBOX PAVILION ROOF NOTES:
1. ROOF TO BE ALL NAILING ZONE 3
2. ROOF TO BE STANDING SEAM HTL. ROOF
3. COLOR: T.B.D.

| ROOF & WALL SHEATHING - NAIL ZONE PATTERN SCHEDULE | |
|--|--|
| Roof Sheathing Nailing Pattern: | |
| Mark: | Zone: Nailing Description: |
| 1 | 1 Use 8D Common Nails @ 12" O.C. |
| 2 | 2 Use 8D Common Nails @ 6" O.C. |
| 3 | 3 Use 8D Common Nails @ 4" O.C. |
| Wall Sheathing Nailing Pattern: | |
| Material: | Field Nailing Pattern: Edge Nailing Pattern: |
| Plywood | Use 10D Nails @ 12" O.C. Use 10D Nails @ 6" O.C. |
| Gypsum | Use 5D Nails @ 10" O.C. Use 5D Nails @ 7" O.C. |

MAILBOX PAVILION GENERAL NOTE:
MAILBOX IS TO BE 2" X 6" NO 2 FRAMING IN A "H" SHAPE W/ 9'-0" BEARING HT. HEADER TO BE (2) 2" X 12" BEAM FOUNDATION THAT IS W/16" X H16" W/ (2) # 5 BARS.



A MAILBOX PAVILION
A-M1.0 PLAN SCALE: 1/4"=1'-0"

GENERAL NOTES:
ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE
ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS, ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.
ALL WORK MUST COMPLY WITH THE 2020 EDITION (EXPOSURE "C") OF THE FLORIDA BUILDING CODE SECT. 1609.139 MPH WIND LOAD AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE
THE BUILDING RISK CATEGORY IS "1"
INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
ALL GLAZING IS TO BE NON-IMPACT RESISTANT

VIVA @ TREASURE COAST EAST: MAILBOX PAVILION

OWNER/REP.: KVA DEVELOPMENT LLC, 2239 ABRAMS ROAD, EUSTIS, FL, 32776
PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

BPE DESIGN INCORPORATED
Building Design and Architecture

BRIAN P. FREDLEY, ASSOCIATE AIA, PROJECT MANAGER
DALLAS B. PEACOCK, ARCHITECT
#AR 0009706
207 FAIRVIEW AVENUE
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EMAIL: bfredley@bpedesign.com WEBSITE: bpedesign.com

MAILBOX PAVILION PLANS & ELEVATIONS

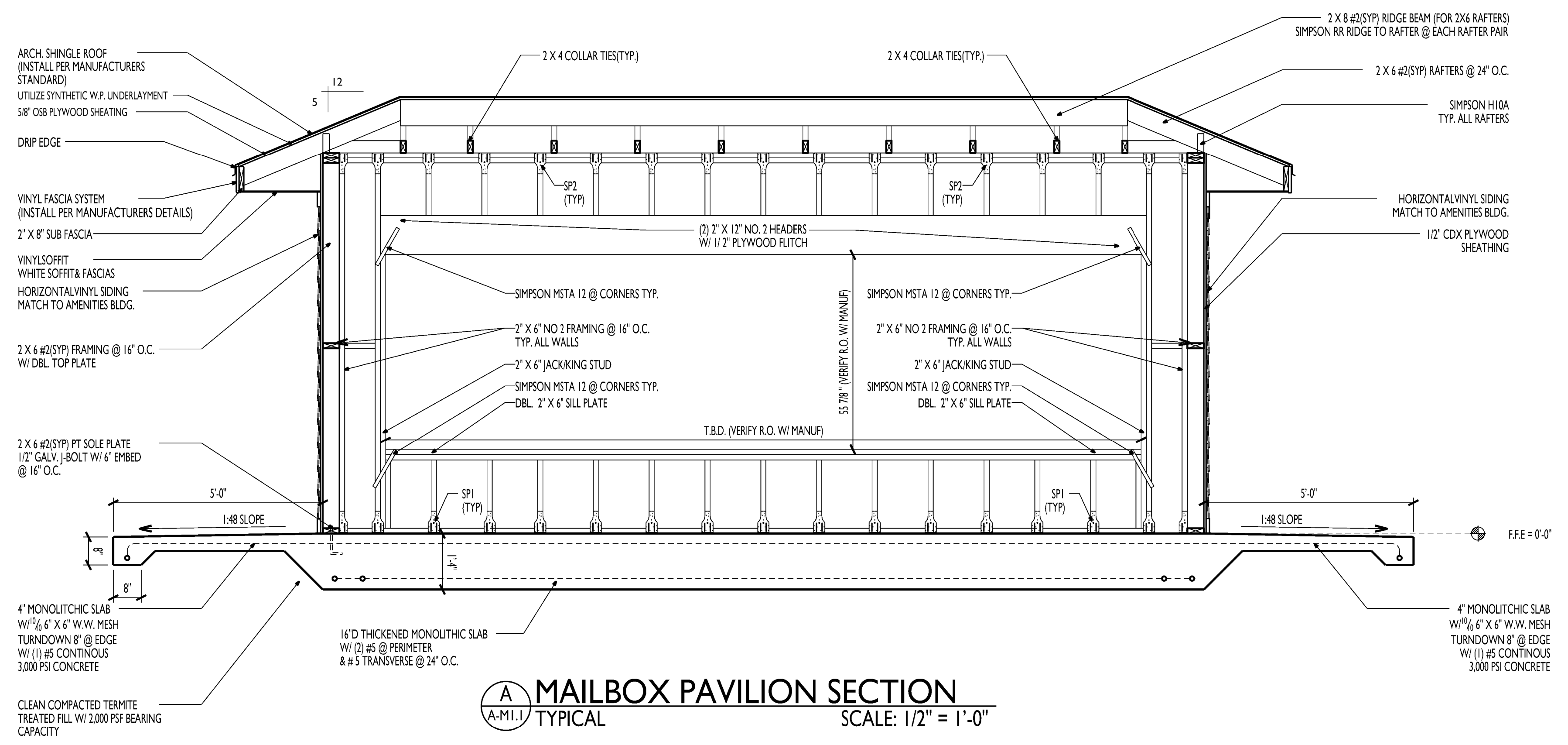
BLD TYPE: MP DWN BY: TEM CHKD BY: DBP & BFF
DATE: JANUARY 31, 2022
SCALE: 1/4"=1'-0"
SHT NO. A-M1.0

ARCHITECTS / ENGINEER'S SEAL

| REVISIONS | |
|-----------|--|
| | |
| | |
| | |

VIVA @ TREASURE COAST EAST: MAILBOX PAVILION

OWNER: KVA DEVELOPMENT LLC, 2329 ABRAMS ROAD, ELUSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176



A MAILBOX PAVILION SECTION
 A-M1.1 TYPICAL SCALE: 1/2" = 1'-0"

GENERAL NOTES:
 ALL DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS, ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.
 ALL WORK MUST COMPLY WITH THE 2020 EDITION (EXPOSURE 'C') OF THE FLORIDA BUILDING CODE SECT. 1609.139 MPH WIND LOAD AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE THE BUILDING RISK CATEGORY IS '1'
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT

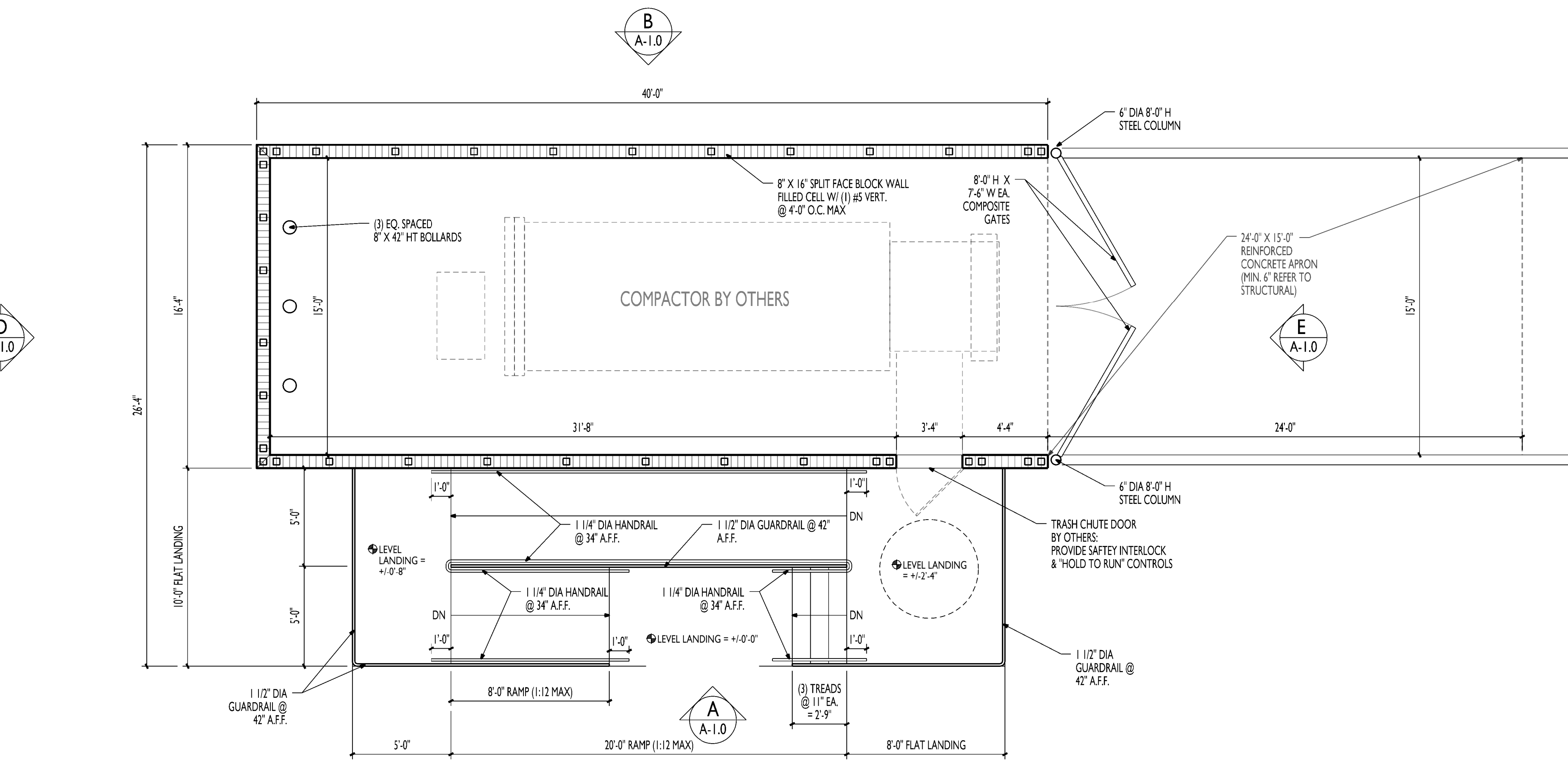
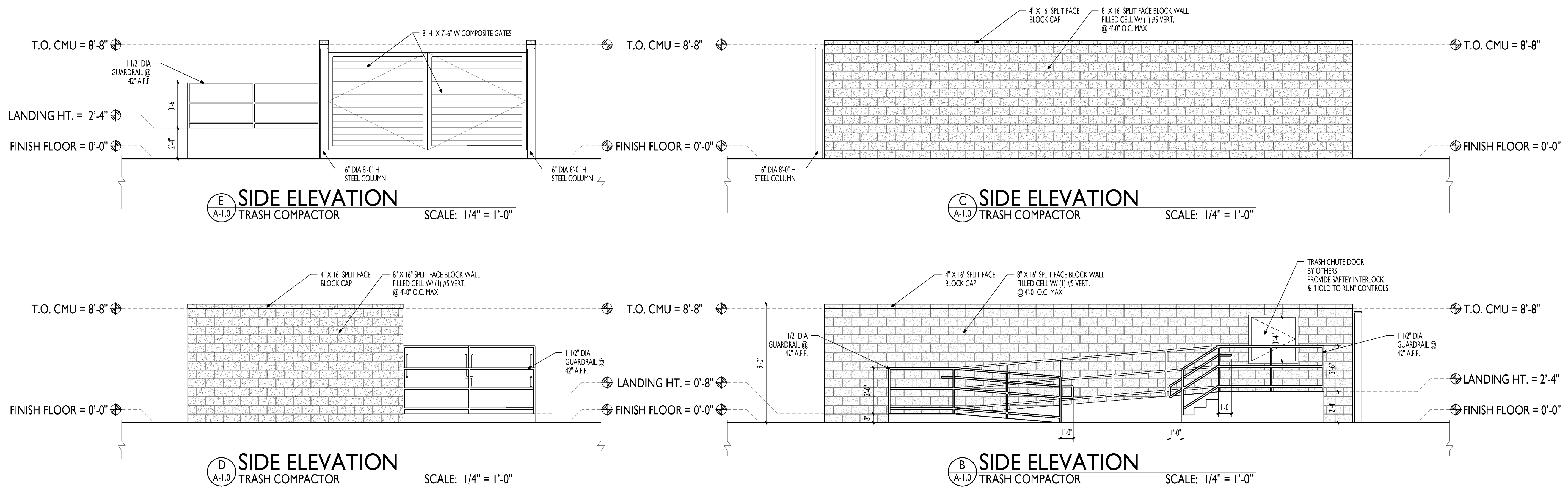
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 EMAIL: bfredley@bpedesign.com WEBSITE: bpedesign.com

MAILBOX PAVILION SECTION

| | | |
|------------------------|----------------|--------------------|
| BLD TYPE: MP | DWNN BY: TEM | CHKD BY: DSP & BPF |
| DATE: JANUARY 31, 2022 | SHT NO. A-M1.1 | |
| SCALE: 1/2" = 1'-0" | 0 1 2 3 4 5 | |

ARCHITECTS / ENGINEER'S SEAL



A
A-1.0 **ENCLOSURE PLAN**
TRASH COMPACTOR SCALE: 1/4" = 1'-0"

| REVISIONS |
|-----------|
| |
| |
| |

TRASH COMPACTOR ENCLOSURE

VIVA @ TREASURE COAST EAST:

OWNER/REP.: KIVA DEVELOPMENT LLC, 2329 ABRAMS ROAD, ELSTIS, FL, 32776
 PROJECT LOCATION: PARCEL ID: 2325-111-0001-000-2, FORT PIERCE
 GENERAL CONTRACTOR: MARSHALL PROPERTY SERVICES LLC, CHARLES P. MARSHALL, CBC 126228, 4400 EAST 100 NORTH SHELBYVILLE, IN 46176

BPE
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Building Design and Architecture

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 EMAIL: bfredley@bpeinc.com WEBSITE: bpeinc.com

TRASH COMPACTOR ENCLOSURE PLANS & ELEVATIONS

BLD TYPE: TC DWN BY: TEM CHKD BY: DBP & BPF

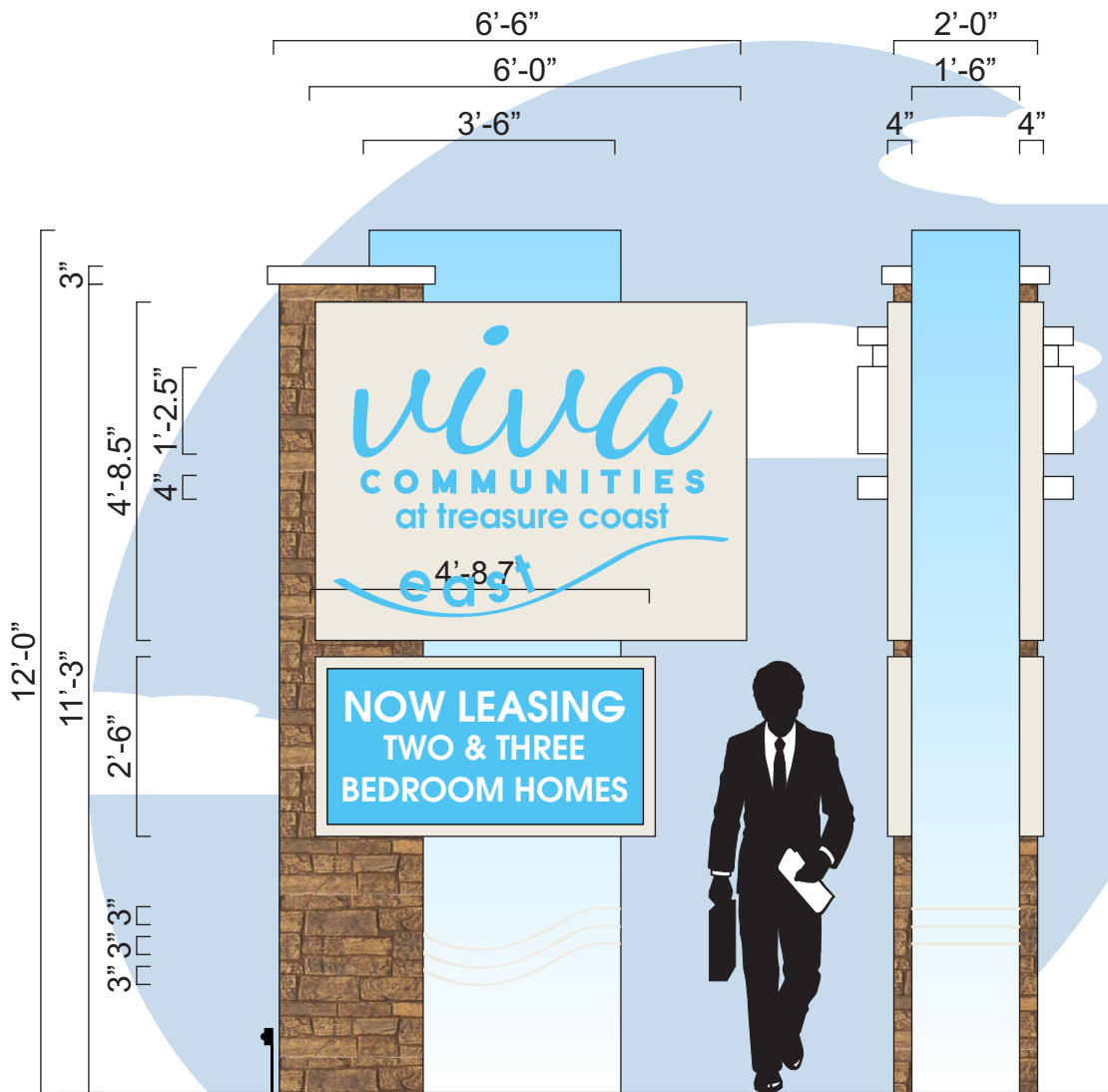
DATE: JANUARY 31, 2022 SHT NO. A-1.0

SCALE: 1/4" = 1'-0"

0 1' 3' 7' 10'

ARCHITECTS' / ENGINEER'S SEAL

GENERAL NOTES:
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 ALL WORK MUST COMPLY WITH THE 2020 EDITION (EXPOSURE 'C') OF THE FLORIDA BUILDING CODE SECT. 1609.139 WIND LOAD AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
 ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RATING THE BUILDING RISK CATEGORY IS '1'
 INTERNAL PRESSURE COEFFICIENT IS +/- .18 IN ACCORDANCE WITH ASCE 7-16
 ALL GLAZING IS TO BE NON-IMPACT RESISTANT



MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.

MAIN STRUCTURE - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. MAIN ID CABINET TO BE ALL ALUMINUM OVER INTERNAL ANGLE FRAME WITH TEXTURED FINISH. "VIVA COMMUNITES" COPY TO BE FACE ILLUMINATED CHANNEL LETTERS. "AT TREASURE COAST" AND SWOOSH TO BE ROUTED OUT OF FACES AND BACKED WITH .125 FLAT WHITE PLEX, HAVING VINYL APPLIED FIRST SURFACE. DECORATIVE STRIPES TO BE VINYL APPLIED FIRST SURFACE AND MASKED.

LOWER INFORMATIONAL CABINET TO BE ALL ALUMINUM OVER INTERNAL ANGLE FRAME WITH 2" ANGLE FACE RETAINERS. FINISH TO BE TEXTURED. FACES TO BE .187 FLAT WHITE POLYCARBONATE WITH VINYL APPLIED FIRST SURFACE.

COLUMN - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, TO RECEIVE FAUX STONE PANELING. CAP TO BE FABRICATED ALUM WITH TEXTURED FINISH.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

NOTE: COLORS T.B.D.



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70-17



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CUSTOMER APPROVAL:

 SIGNATURE

 DATE

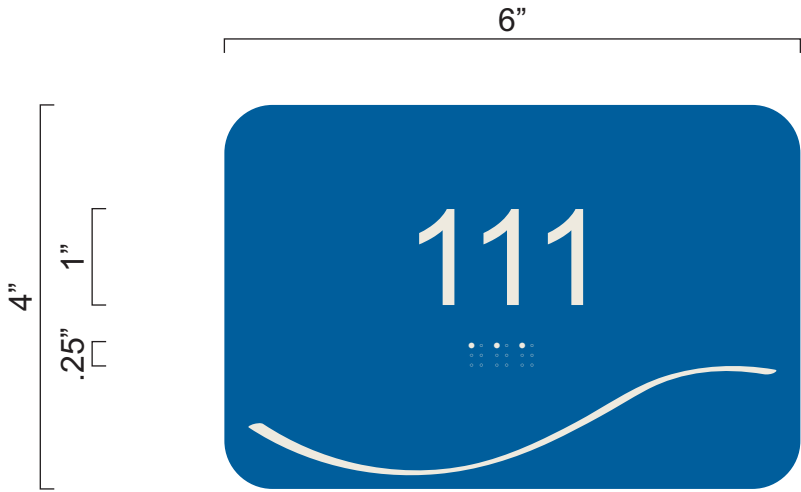
| | | | | | | | |
|---------------------------------|---------------------------------|------------------------------------|----------|----------|----------|----------------------------------|-----------------|
| JOB DESCRIPTION: Ground Sign | | | | | | PROJECT MANAGER: Elisha White | DESIGNER: MB |
| COMPANY: Viva TCE | DRAWING NUMBER: 22-0118 01 A | INITIAL DRAWING DATE: 2/25/2022 | REVISION | REVISION | REVISION | | |
| CONTACT: | PHONE: | E-MAIL: | | | | SCALE: 3/8" = 1'-0" | |

ADDRESS: Viva Communities at Treasure Coast East

FILEPATH: F:\grfx\IV Jobs\Viva Treasure Coast\Fort Pierce, Jenkins Rd\E22-0118_East_Package\Drawings\22-0118 01 A Viva TCE - Ground Sign.cdr

SHEET 1 of 1

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Unit ID Concept



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 PHONE: 239.278.4245
 FAX: 239.278.3912

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 IN COMPLIANCE WITH NFPA 70-17**



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CUSTOMER APPROVAL:

 SIGNATURE

 DATE

JOB DESCRIPTION:

Unit ID

PROJECT MANAGER:

Elisha White

DESIGNER:

MB

COMPANY:
 Viva Apts

DRAWING NUMBER:
 21-0757 02 A

INITIAL DRAWING DATE:
 10/11/2021

REVISION

REVISION

REVISION

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/2" = 1"

ADDRESS:

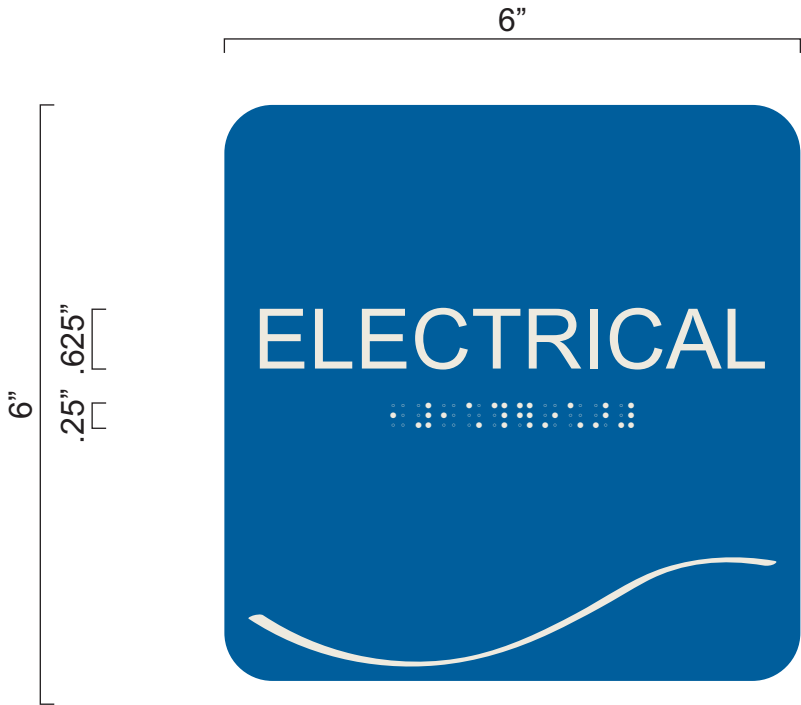
Viva Communities at Treasure Coast East

FILEPATH:

Z:\grfx\Jobs\Viva Apartments\Palm Coast, Haven Blvd\Elisha\21-0757, Package\Drawings\21-0757 01 A Viva Palm Coast - Package.cdr

SHEET 2 of 12

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Room ID Concept



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70-17**



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CUSTOMER APPROVAL:

 SIGNATURE

 DATE

JOB DESCRIPTION:
Room ID

PROJECT MANAGER:
Elisha White

DESIGNER:
MB

COMPANY:
Viva Apts

DRAWING NUMBER:
21-0757 03 A

INITIAL DRAWING DATE:
10/11/2021

REVISION REVISION REVISION

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/2" = 1"

ADDRESS:

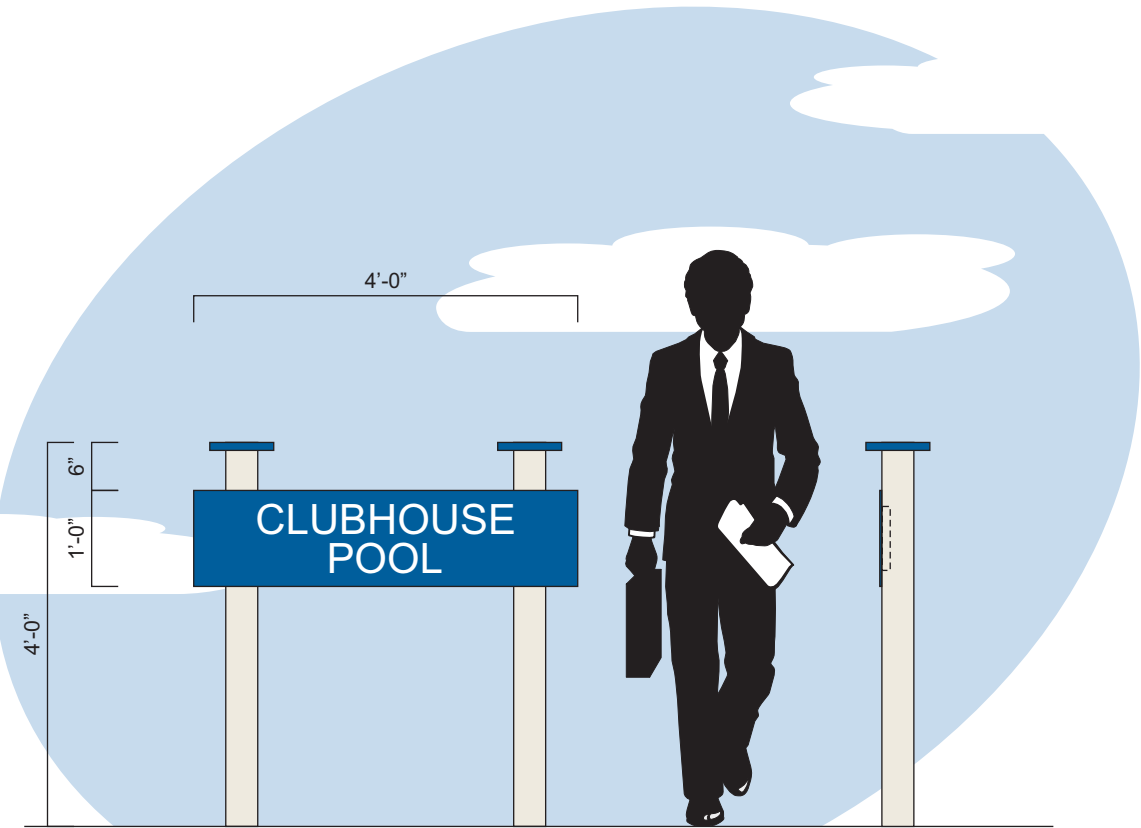
Viva Communities at Treasure Coast East

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SHEET 3 of 12

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Amenities Concept



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

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 IN COMPLIANCE WITH NFPA 70-17**



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CUSTOMER APPROVAL:

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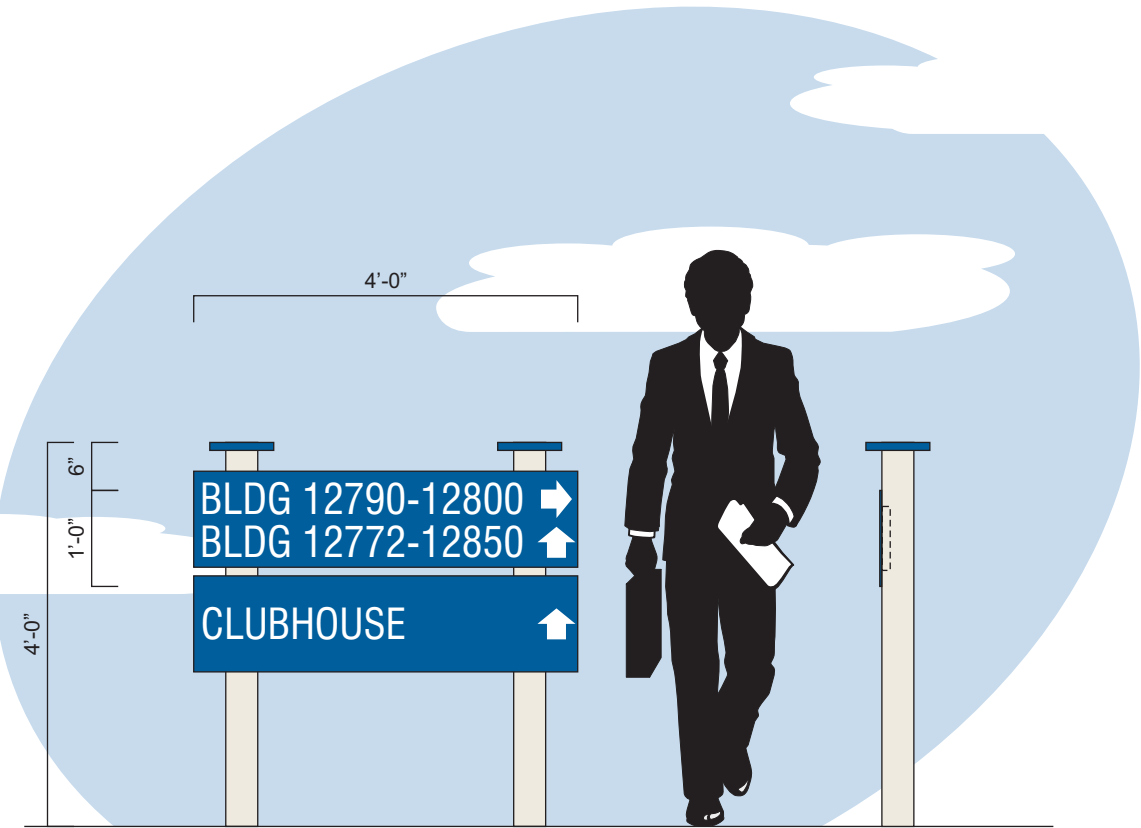
 DATE

| | | | | | | | |
|-------------------------------|---------------------------------|-------------------------------------|----------|----------|----------|----------------------------------|-----------------|
| JOB DESCRIPTION: Amenities | | | | | | PROJECT MANAGER: Elisha White | DESIGNER: MB |
| COMPANY: Viva Apts | DRAWING NUMBER: 21-0757 04 A | INITIAL DRAWING DATE: 10/11/2021 | REVISION | REVISION | REVISION | | |
| CONTACT: | PHONE: | E-MAIL: | | | | SCALE: 1/2" = 1" | |

ADDRESS: Viva Communities at Treasure Coast East

FILEPATH: Z:\grfx\Jobs\Viva Apartments\Palm Coast, Haven Blvd\Elisha\21-0757, Package\Drawings\21-0757 01 A Viva Palm Coast - Package.cdr

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Wayfinding Concept



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 PHONE: 239.278.4245
 FAX: 239.278.3912

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 IN COMPLIANCE WITH NFPA 70-17**



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CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Wayfinding

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Viva Apts

DRAWING NUMBER:
 21-0757 05 A

INITIAL DRAWING DATE:
 10/11/2021

REVISION

REVISION

REVISION

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/2" = 1'-0"

ADDRESS:

Viva Communities at Treasure Coast East

FILEPATH:

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SHEET 5 of 12

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Directional Concept



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70-17



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CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Directional

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Viva Apts

DRAWING NUMBER:
 21-0757 06 A

INITIAL DRAWING DATE:
 10/11/2021

REVISION

REVISION

REVISION

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/2" = 1'-0"

ADDRESS:

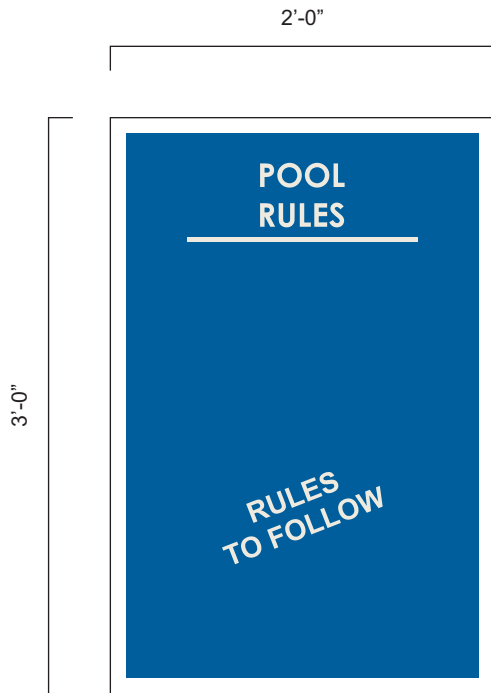
Viva Communities at Treasure Coast East

FILEPATH:

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SHEET 6 of 12

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Rules Concept



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

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 IN COMPLIANCE WITH NFPA 70-17**



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CUSTOMER APPROVAL:

 SIGNATURE

 DATE

JOB DESCRIPTION:

Rules

PROJECT MANAGER:

Elisha White

DESIGNER:

MB

COMPANY:
 Viva Apts

DRAWING NUMBER:
 21-0757 07 A

INITIAL DRAWING DATE:
 10/11/2021

REVISION

REVISION

REVISION

CONTACT:

PHONE:

E-MAIL:

SCALE: 1" = 1'-0"

ADDRESS:

Viva Communities at Treasure Coast East

FILEPATH:

Z:\grfx\IV Jobs\Viva Apartments\Palm Coast, Haven Blvd\Elisha\21-0757, Package\Drawings\21-0757 01 A Viva Palm Coast - Package.cdr

SHEET 7 of 12

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2'-0"

8"

0000

Bldg Address Concept



3300 PALM AVENUE, FT. MYERS, FL 33901
PHONE: 239.278.4245
FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
IN COMPLIANCE WITH NFPA 70-17



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CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:

Address

PROJECT MANAGER:

Elisha White

DESIGNER:

MB

COMPANY:

Viva Apts

DRAWING NUMBER:

21-0757 08 A

INITIAL DRAWING DATE:

10/11/2021

REVISION

REVISION

REVISION

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/4" = 1"

ADDRESS:

Viva Communities at Treasure Coast East

FILEPATH:

Z:\grfx\IV Jobs\Viva Apartments\Palm Coast, Haven Blvd\Elisha\21-0757, Package\Drawings\21-0757 01 A Viva Palm Coast - Package.cdr

SHEET 8 of 12

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6"

9"



ICOF Concept



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70-17



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CUSTOMER APPROVAL:

SIGNATURE _____

DATE _____

JOB DESCRIPTION:
ICOF

PROJECT MANAGER:
Elisha White

DESIGNER:
MB

COMPANY:
Viva Apts

DRAWING NUMBER:
21-0757 09 A

INITIAL DRAWING DATE:
10/11/2021

REVISION

REVISION

REVISION

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/2" = 1"

ADDRESS:

Viva Communities at Treasure Coast East

FILEPATH:

Z:\grfx\Jobs\Viva Apartments\Palm Coast, Haven Blvd\Elisha\21-0757_Package\Drawings\21-0757 01 A Viva Palm Coast - Package.cdr

SHEET 9 of 12

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FACP



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70-17**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2020 Florida Building Code 7th Edition, 1609 Wind Loads, ASCE/SEI 7-16 Wind Loads, 3107, and NFPA 70-17

CUSTOMER APPROVAL:

 SIGNATURE

 DATE

JOB DESCRIPTION:
FACP

PROJECT MANAGER:
Elisha White

DESIGNER:
MB

COMPANY:
Viva Apts

DRAWING NUMBER:
21-0757 10 A

INITIAL DRAWING DATE:
10/11/2021

REVISION

REVISION

REVISION

CONTACT:

PHONE:

E-MAIL:

SCALE: 1" = 1'-0"

ADDRESS:

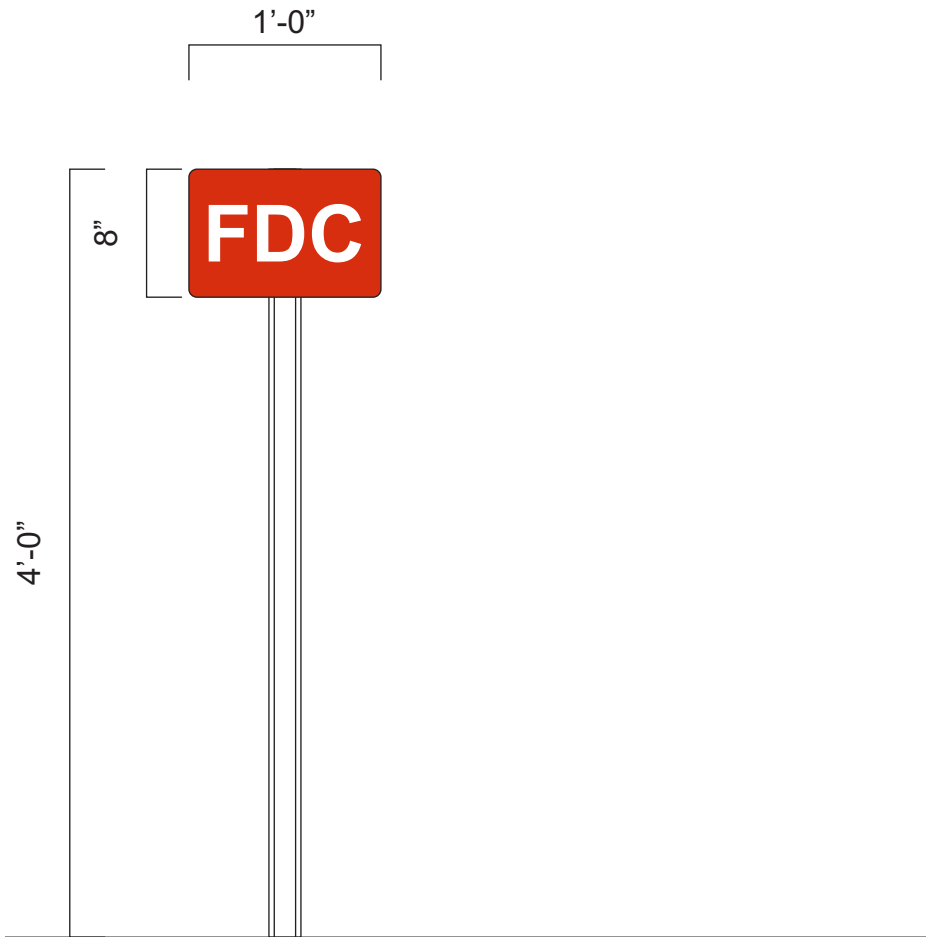
Viva Communities at Treasure Coast East

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SHEET 10 of 12

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS



FDC



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

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CUSTOMER APPROVAL:

 SIGNATURE

 DATE

JOB DESCRIPTION:

FDC

PROJECT MANAGER:

Elisha White

DESIGNER:

MB

COMPANY:
 Viva Apts

DRAWING NUMBER:
 21-0757 11 A

INITIAL DRAWING DATE:
 10/11/2021

REVISION

REVISION

REVISION

CONTACT:

PHONE:

E-MAIL:

SCALE: 1" = 1'-0"

ADDRESS:

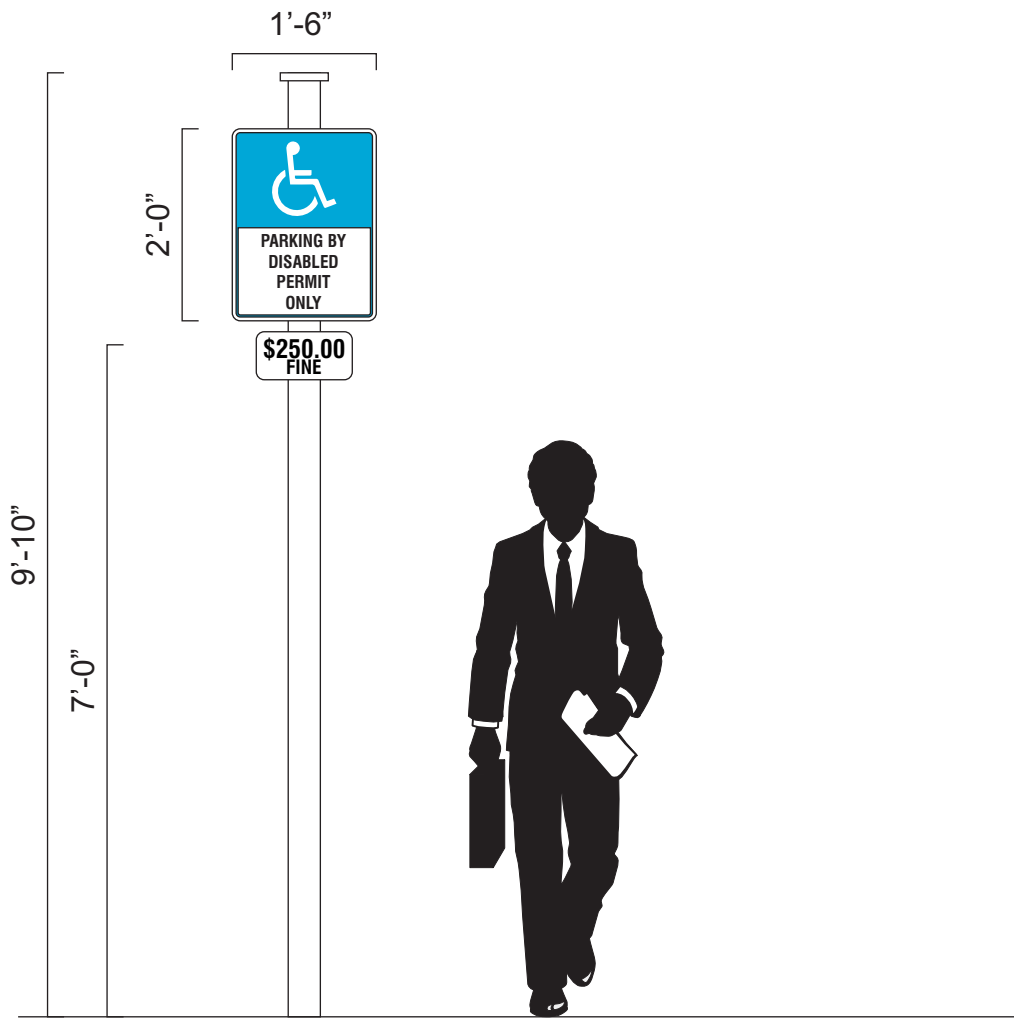
Viva Communities at Treasure Coast East

FILEPATH:

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SHEET 11 of 12

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HC Parking



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70-17**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2020 Florida Building Code 7th Edition, 1609 Wind Loads, ASCE/SEI 7-16 Wind Loads, 3107, and NFPA 70-17

CUSTOMER APPROVAL:

 SIGNATURE

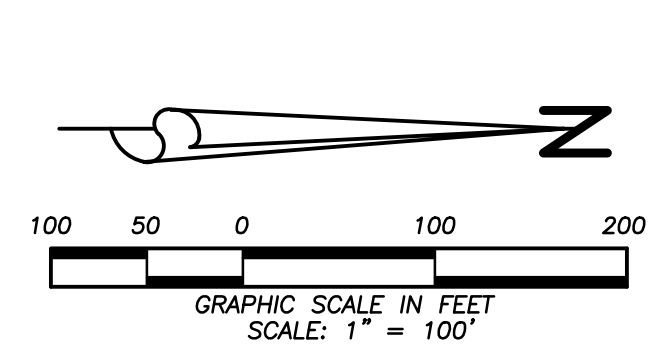
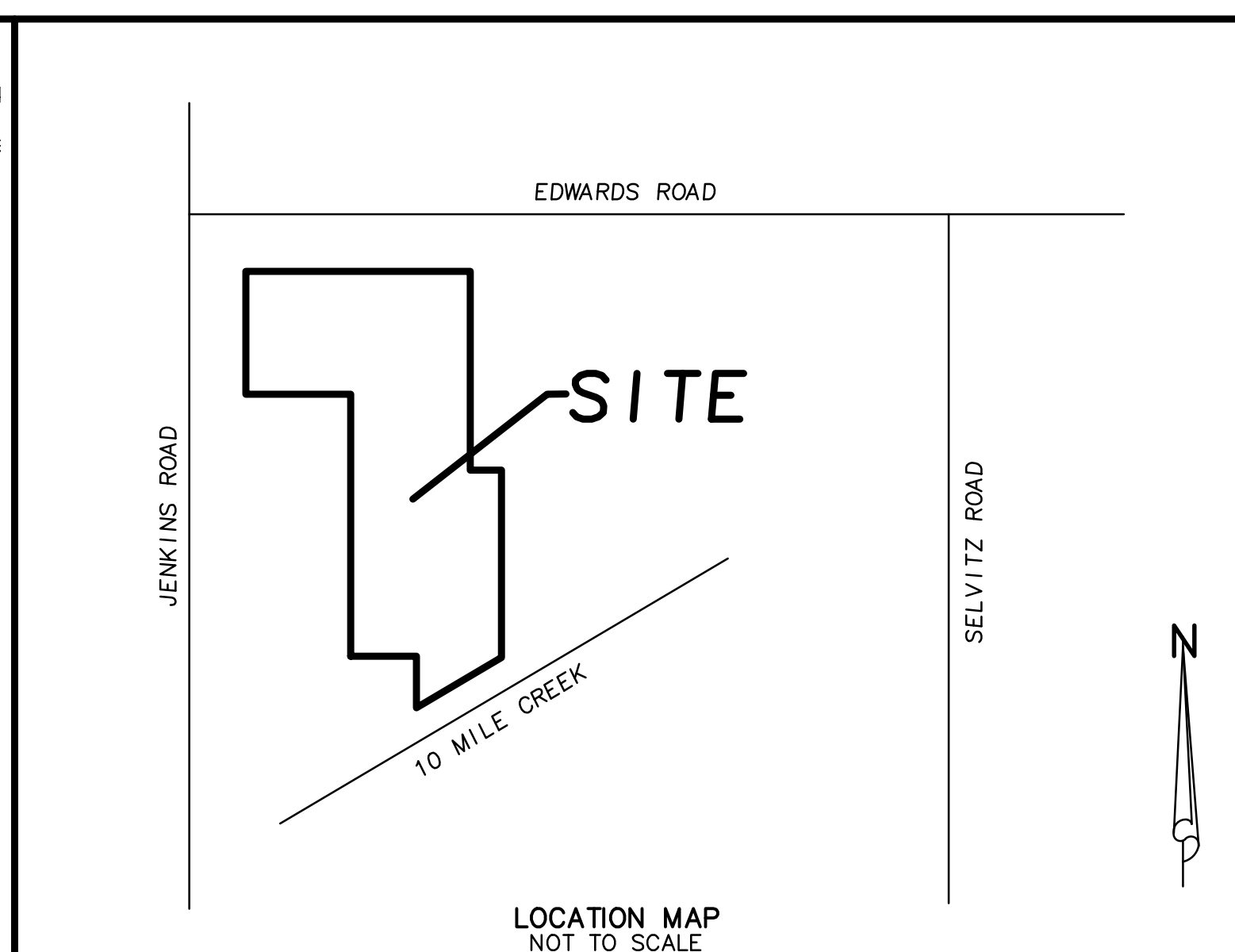
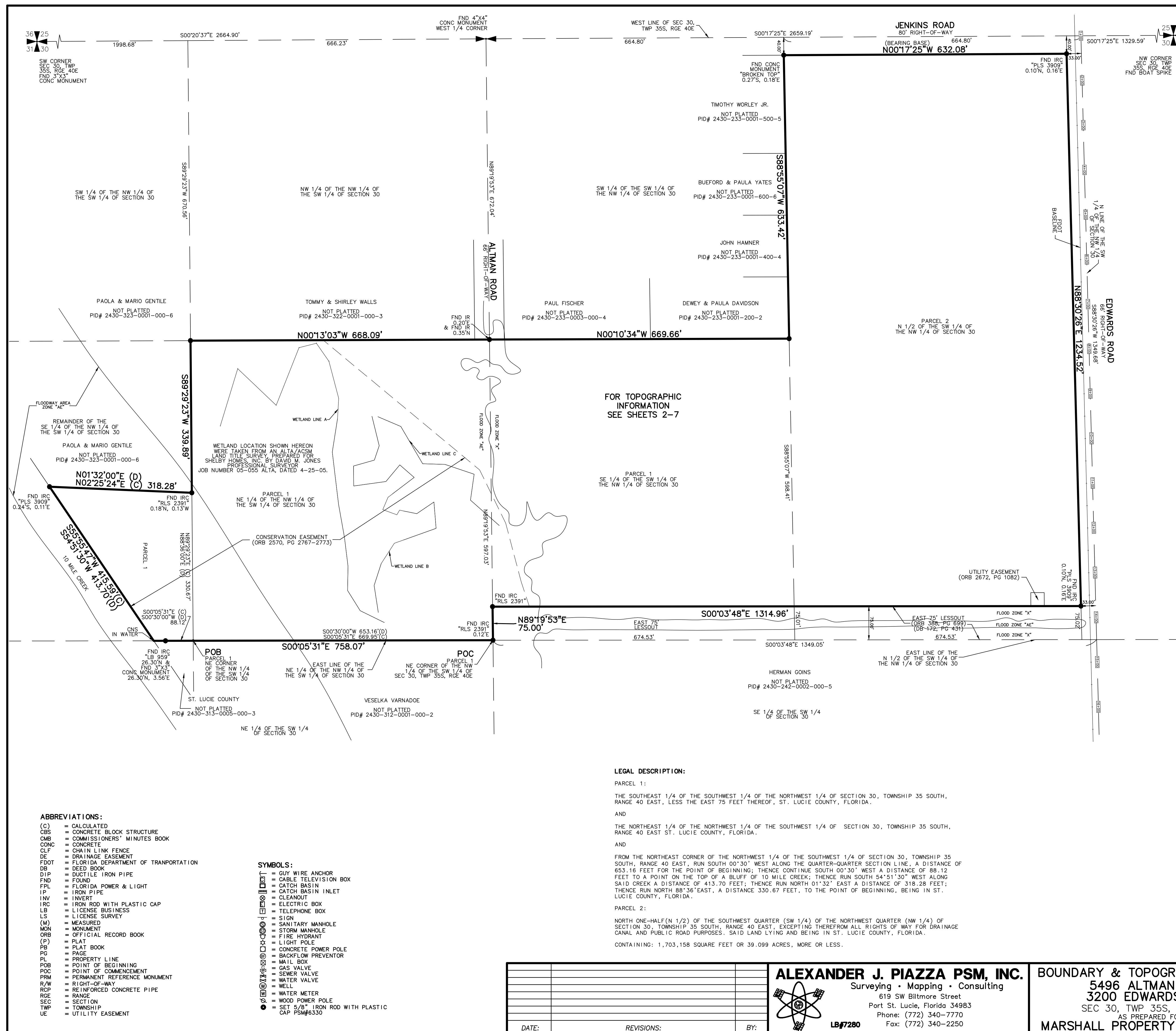
 DATE

| | | | | | | | |
|--------------------------------|---------------------------------|-------------------------------------|----------|-------------------|----------|----------------------------------|-----------------|
| JOB DESCRIPTION: HC Parking | | | | | | PROJECT MANAGER: Elisha White | DESIGNER: MB |
| COMPANY: Viva Apts | DRAWING NUMBER: 21-0757 12 A | INITIAL DRAWING DATE: 10/11/2021 | REVISION | REVISION | REVISION | | |
| CONTACT: | PHONE: | E-MAIL: | | SCALE: 1" = 1'-0" | | | |

ADDRESS: Viva Communities at Treasure Coast East

FILEPATH: Z:\grfx\IV Jobs\Viva Apartments\Palm Coast, Haven Blvd\Elisha\21-0757, Package\Drawings\21-0757 01 A Viva Palm Coast - Package.cdr

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- SURVEY REPORT:**
- THIS IS A BOUNDARY SURVEY AS DEFINED IN CHAPTER 5J-17.050(10)(A-K), FLORIDA ADMINISTRATIVE CODE.
 - SURVEY BASED ST. LUCIE COUNTY SECTIONAL DATA.
 - LEGAL DESCRIPTION WAS FURNISHED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER: 9218519, DATED JANUARY 1, 2021 @ 11:00 PM.
SUBJECT TO THE FOLLOWING CONDITIONS:
 - EASEMENT TO THE CITY OF FT. PIERCE RECORDED IN O.R. BOOK 3042, PAGE 853, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. (B.II #6) (COVERS ENTIRE PARCEL)
 - DEED OF CONSERVATION EASEMENT RECORDED IN O.R. BOOK 2570, PAGE 2767, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. (B.II #7) (AS SHOWN)
 - NOTICE OF ENVIRONMENTAL RESOURCE OF SURFACE WATER MANAGEMENT PERMIT RECORDED IN O.R. BOOK 3353, PAGE 1326, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. (B.II #8) (COVERS ENTIRE PARCEL)
 - RIGHT OF WAY DEED RECORDED IN DEED BOOK 172, PAGE 431, AND O.R. BOOK 388, PAGE 699, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. (B.II #9) (AS SHOWN)
 - EASEMENT TO BELLSOUTH TELECOMMUNICATIONS, INC. RECORDED IN O.R. BOOK 2672, PAGE 1082, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. (B.II #12) (AS SHOWN)
 - ORDINANCE NO. K-269 ESTABLISHING THE FUTURE LAND USE DESIGNATION RECORDED IN OFFICIAL RECORDS BOOK 1971, PAGE 1295. (B.II #13) (COVERS ENTIRE PARCEL) (NOT PLOTTABLE)
 - NOTICE OF WATER/WASTEWATER SUPPLY AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 3117, PAGE 2790. (B.II #14) (COVERS ENTIRE PARCEL) (NOT PLOTTABLE)
 - BEARING BASIS: N00°17'25"W ALONG THE WEST LINE OF SECTION 30, TOWNSHIP 35S, RANGE 40E.
 - NO UNDERGROUND UTILITIES OR IMPROVEMENTS WERE LOCATED UNLESS OTHERWISE SHOWN.
 - THIS SITE LIES WITHIN FLOOD ZONE "X" AND "AE" BASE FLOOD ELEVATION= 13.0, ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12111C0167 J & 12111C0169 J, EFFECTIVE DATE 2-16-12.
 - FLOOD ZONE SHOWN HEREON IS AN INTERPRETATION BY THE SURVEYOR AND IS PROVIDED AS A COURTESY. THE FLOOD ZONE SHOULD BE VERIFIED BY A DETERMINATION AGENCY.
 - THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY ALEXANDER J. PIAZZA PSM, INC.
 - THE EXPECTED USE OF THE SUBJECT PROPERTY IS FOR THE PURCHASE OF SAID PROPERTY AND FALLS WITHIN THE SUBURBAN CATEGORY AS CLASSIFIED IN CHAPTER 5J-17.051(15)(B)(11), FLORIDA ADMINISTRATIVE CODE. ALL FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED 1:7,500 FEET ACCURACY REQUIREMENTS FOR THIS CLASSIFICATION.
 - SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - ADDITIONS OR DELETIONS TO THE SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THE BEARINGS SHOWN HEREON ARE RELATIVE TO THE STATE PLANE COORDINATE SYSTEM OF THE NORTH AMERICAN DATUM OF 1983 (2007 ADJUSTMENT) AND THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE REFERENCED TO THE LENGEMANN OF FLORIDA'S L-NET GPS NETWORK DEVELOPED WHICH MEETS OR EXCEEDS THE FEDERAL GEODETIC CONTROL COMMITTEE (FGCC) GUIDELINES FOR "GEOMETRIC GEODETIC ACCURACY STANDARDS AND SPECIFICATIONS FOR USING GPS RELATIVE POSITIONING TECHNIQUES" AS WELL AS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 5J-17.051 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 471.027 FLORIDA STATUTES. BENCHMARKS SET OR FOUND FOR THIS SURVEY ARE NOTED ON THE SKETCH.
 - THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE. PREPARED FOR: TEG ACQUISITIONS, LLC, A FLORIDA LIMITED LIABILITY COMPANY FIDELITY NATIONAL TITLE INSURANCE COMPANY GREEN & PIOTRKOWSKI, PLLC. WILLIAM J. SEGAL, P.A.
 - © COPYRIGHT 2021 BY ALEXANDER J. PIAZZA PSM, INC. THE SKETCH OF SURVEY AND SURVEY REPORT COMPRISE THE COMPLETE SURVEY. THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY ALEXANDER J. PIAZZA PSM, INC.

DATE OF FIELD SURVEY: 3-21-21
DATE OF SURVEY: 3-22-21

ALEXANDER J. PIAZZA PSM, INC.
ALEXANDER J. PIAZZA
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 38330

LEGAL DESCRIPTION:

PARCEL 1:
THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LESS THE EAST 75 FEET THEREOF, ST. LUCIE COUNTY, FLORIDA.
AND
THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST ST. LUCIE COUNTY, FLORIDA.
AND
FROM THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST, RUN SOUTH 00°30' WEST ALONG THE QUARTER-QUARTER SECTION LINE, A DISTANCE OF 653.16 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00°30' WEST A DISTANCE OF 88.12 FEET TO A POINT ON THE TOP OF A BLUFF OF 10 MILE CREEK; THENCE RUN SOUTH 54°51'30" WEST ALONG SAID CREEK A DISTANCE OF 413.70 FEET; THENCE RUN NORTH 01°32' EAST A DISTANCE OF 318.28 FEET; THENCE RUN NORTH 88°36' EAST, A DISTANCE 330.67 FEET, TO THE POINT OF BEGINNING, BEING IN ST. LUCIE COUNTY, FLORIDA.

PARCEL 2:
NORTH ONE-HALF(N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST, EXCEPTING THEREFROM ALL RIGHTS OF WAY FOR DRAINAGE CANAL AND PUBLIC ROAD PURPOSES. SAID LAND LYING AND BEING IN ST. LUCIE COUNTY, FLORIDA.
CONTAINING: 1,703,158 SQUARE FEET OR 39.099 ACRES, MORE OR LESS.

- ABBREVIATIONS:**
- (C) = CALCULATED
 - CBS = CONCRETE BLOCK STRUCTURE
 - CMB = COMMISSIONER'S MINUTES BOOK
 - CONC = CONCRETE
 - CLF = CHAIN LINK FENCE
 - DE = DRAINAGE EASEMENT
 - FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION
 - DB = DEED BOOK
 - DIP = DUCTILE IRON PIPE
 - FND = FOUND
 - FNL = FLORIDA POWER & LIGHT
 - IP = IRON PIPE
 - INVT = INVERT
 - IRC = IRON ROD WITH PLASTIC CAP
 - LS = LICENSE BUSINESS
 - LS = LICENSE SURVEY
 - (M) = MEASURED
 - MON = MONUMENT
 - ORB = OFFICIAL RECORD BOOK
 - (P) = PLAT
 - PB = PLAT BOOK
 - PG = PAGE
 - PL = PROPERTY LINE
 - POB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - PRM = PERMANENT REFERENCE MONUMENT
 - R/W = RIGHT-OF-WAY
 - RCP = REINFORCED CONCRETE PIPE
 - RGE = RANGE
 - SEC = SECTION
 - TWP = TOWNSHIP
 - UE = UTILITY EASEMENT

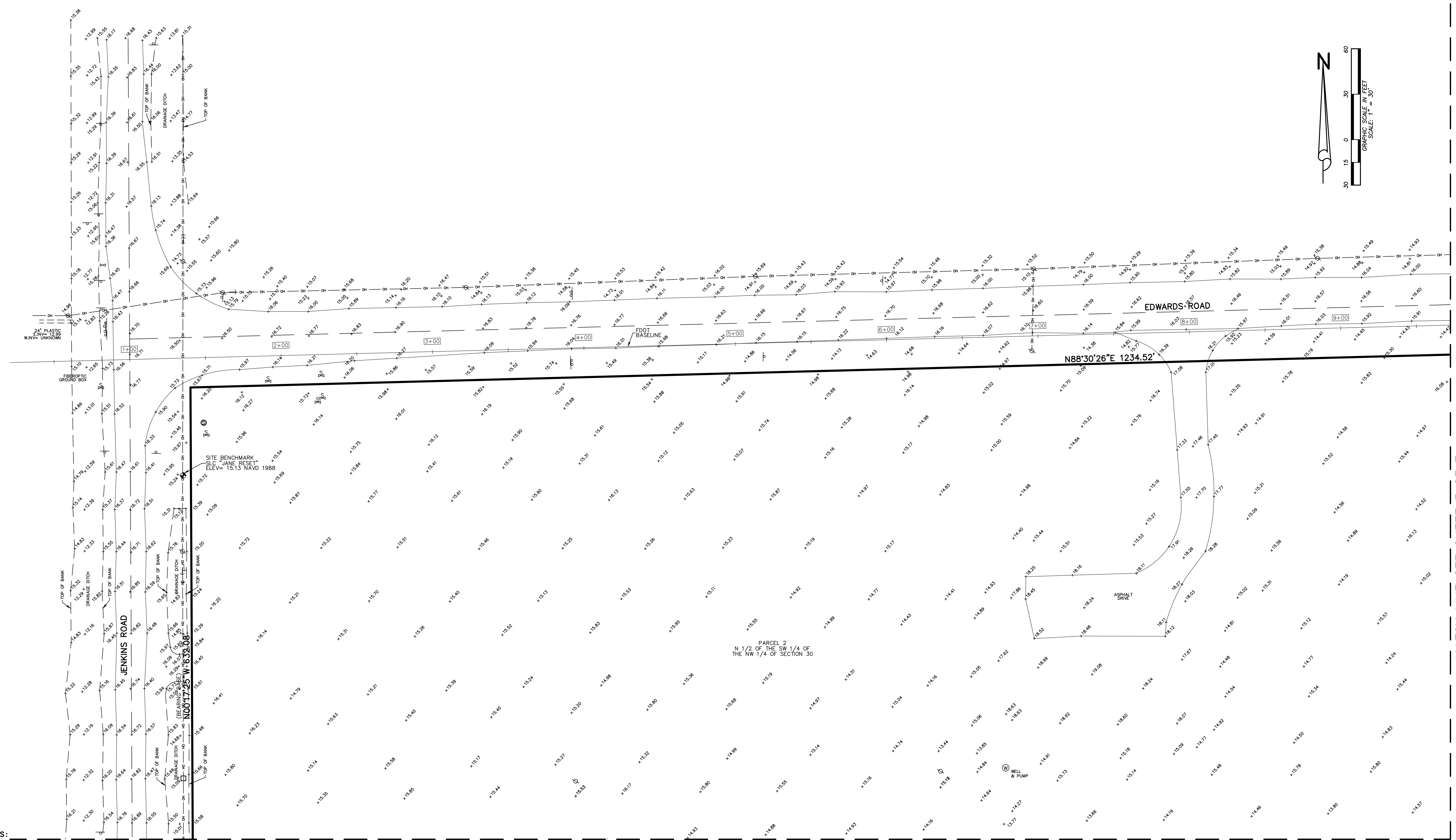
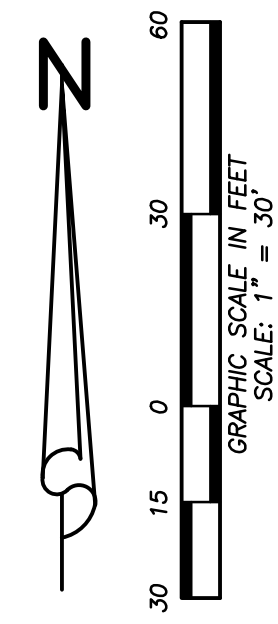
- SYMBOLS:**
- = GUY WIRE ANCHOR
 - = CABLE TELEVISION BOX
 - = CATCH BASIN
 - = CATCH BASIN INLET
 - = CLEANOUT
 - = ELECTRIC BOX
 - = TELEPHONE BOX
 - = SIGN
 - = SANITARY MANHOLE
 - = STORM MANHOLE
 - = FIRE HYDRANT
 - = LIGHT POLE
 - = CONCRETE POWER POLE
 - = BACKFLOW PREVENTOR
 - = MAIL BOX
 - = GAS VALVE
 - = SEWER VALVE
 - = WATER VALVE
 - = WELL
 - = WATER METER
 - = WOOD POWER POLE
 - = SET 5/8" IRON ROD WITH PLASTIC CAP PSM#6330

| | | |
|-------|------------|-----|
| DATE: | REVISIONS: | BY: |
| | | |

ALEXANDER J. PIAZZA PSM, INC.
Surveying • Mapping • Consulting
619 SW Billmore Street
Port St. Lucie, Florida 34983
Phone: (772) 340-7770
Fax: (772) 340-2250

BOUNDARY & TOPOGRAPHIC SURVEY
5496 ALTMAN ROAD
3200 EDWARDS ROAD
SEC 30, TWP 35S, RGE 40E
AS PREPARED FOR
MARSHALL PROPERTY SERVICES, LLC

| | | | | |
|-----|---|-------|--------|--------------|
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| REF | K:\ | | | |
| FLD | SB | FB | PG. | JOB 21-7056 |
| OFF | SB | | | DATE 3-22-21 |
| CKD | AJP | SHEET | 1 OF 7 | DWG D-964 |



- ABBREVIATIONS:**
- (C) = CALCULATED
 - CBS = CONCRETE BLOCK STRUCTURE
 - CONC = CONCRETE
 - CLF = CHAIN LINK FENCE
 - FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION
 - FND = FOUND
 - FPL = FLORIDA POWER & LIGHT
 - IP = IRON PIPE
 - INV = INVERT
 - IRC = IRON ROD WITH PLASTIC CAP
 - LB = LICENSE BUSINESS
 - LS = LICENSE SURVEY
 - (M) = MEASURED
 - ORB = OFFICIAL RECORD BOOK
 - (P) = PLAT
 - PB = PLAT BOOK
 - PL = PAGE
 - PL = PROPERTY LINE
 - POB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - R/W = RIGHT-OF-WAY
 - RPC = REINFORCED CONCRETE PIPE
 - RGE = RANGE
 - SEC = SECTION
 - TWP = TOWNSHIP
 - UE = UTILITY EASEMENT

- SYMBOLS:**
- ⊕ = GUY WIRE ANCHOR
 - ⊙ = CABLE TELEVISION BOX
 - ⊘ = CLEANOUT
 - ⊚ = ELECTRIC BOX
 - ⊛ = TELEPHONE BOX
 - ⊜ = SIGN
 - ⊝ = SANITARY MANHOLE
 - ⊞ = STORM MANHOLE
 - ⊟ = FIRE HYDRANT
 - ⊠ = LIGHT POLE
 - ⊡ = CONCRETE POWER POLE
 - ⊢ = MAIL BOX
 - ⊣ = SEWER VALVE
 - ⊤ = WATER VALVE
 - ⊥ = WELL
 - ⊦ = WATER METER
 - ⊧ = WOOD POWER POLE
 - ⊨ = SET 5/8\"/>

MATCH LINE SEE SHEET 7 OF 7

MATCH LINE SEE SHEET 3 OF 7

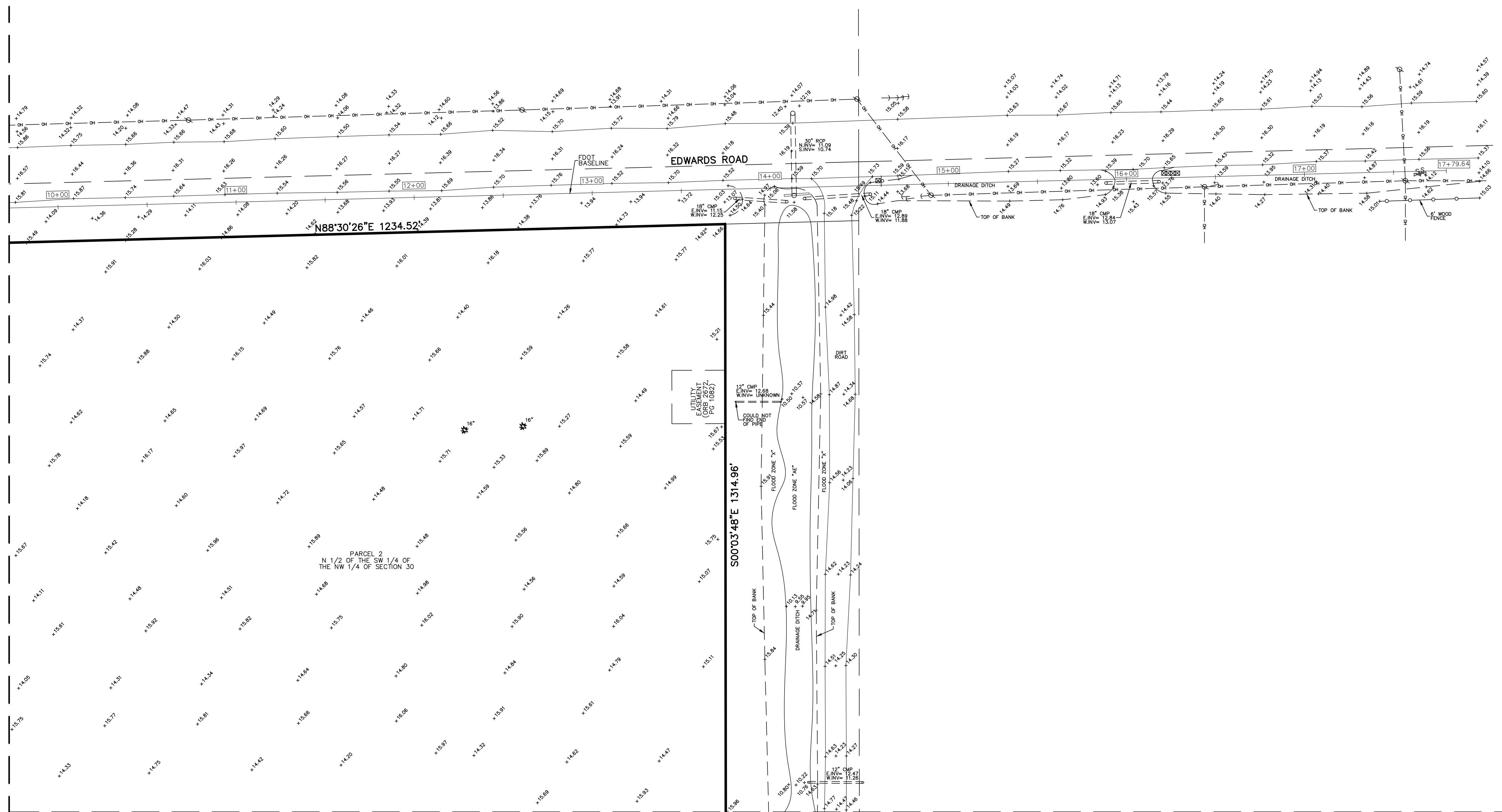
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| DATE: | REVISIONS: | BY: |
| | | |

ALEXANDER J. PIAZZA PSM, INC.
 Surveying • Mapping • Consulting
 619 SW Biltmore Street
 Port St. Lucie, Florida 34983
 Phone: (772) 340-7770
 Fax: (772) 340-2250

BOUNDARY & TOPOGRAPHIC SURVEY
 5496 ALTMAN ROAD
 3200 EDWARDS ROAD
 SEC 30, TWP 35S, RGE 40E
 AS PREPARED FOR
MARSHALL PROPERTY SERVICES, LLC

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| FLD | SB | FB. | PG. |
| OFF | SB | | |
| CKD | AJP | SHEET 2 OF 7 | DWG D-964 |

MATCH LINE SEE SHEET 2 OF 7



MATCH LINE SEE SHEET 4 OF 7

- ABBREVIATIONS:**
- (C) = CALCULATED
 - CBS = CONCRETE BLOCK STRUCTURE
 - CONC = CONCRETE
 - CLF = CHAIN LINK FENCE
 - FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION
 - FND = FOUND
 - FPL = FLORIDA POWER & LIGHT
 - IP = IRON PIPE
 - INV = INVERT
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 - LB = LICENSE BUSINESS
 - LS = LICENSE SURVEY
 - (M) = MEASURED
 - ORB = OFFICIAL RECORD BOOK
 - (P) = PLAT
 - PB = PLAT BOOK
 - PG = PAGE
 - PL = PROPERTY LINE
 - POB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - R/W = RIGHT-OF-WAY
 - RCR = REINFORCED CONCRETE PIPE
 - RGE = RANGE
 - SEC = SECTION
 - TWP = TOWNSHIP
 - UE = UTILITY EASEMENT

- SYMBOLS:**
- = GUY WIRE ANCHOR
 - ⊠ = CABLE TELEVISION BOX
 - ⊞ = CLEANOUT
 - ⊞ = ELECTRIC BOX
 - ⊞ = TELEPHONE BOX
 - ⊞ = SIGN
 - ⊞ = SANITARY MANHOLE
 - ⊞ = STORM MANHOLE
 - ⊞ = FIRE HYDRANT
 - ⊞ = LIGHT POLE
 - ⊞ = CONCRETE POWER POLE
 - ⊞ = MAIL BOX
 - ⊞ = SEWER VALVE
 - ⊞ = WATER VALVE
 - ⊞ = WELL
 - ⊞ = WATER METER
 - ⊞ = WOOD POWER POLE
 - ⊞ = SET 5/8" IRON ROD WITH PLASTIC CAP PSM#6330

- TREE SYMBOLS:**
- * = OAK TREE
 - ☼ = PALM TREE
 - ⊙ = UNKNOWN TREE
 - 15" = DENOTES NUMBER OF INCH DIAMETER

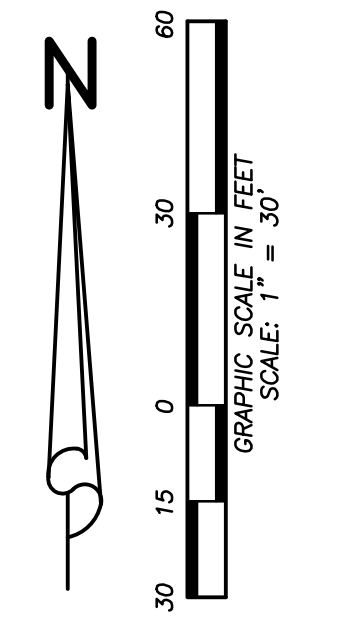
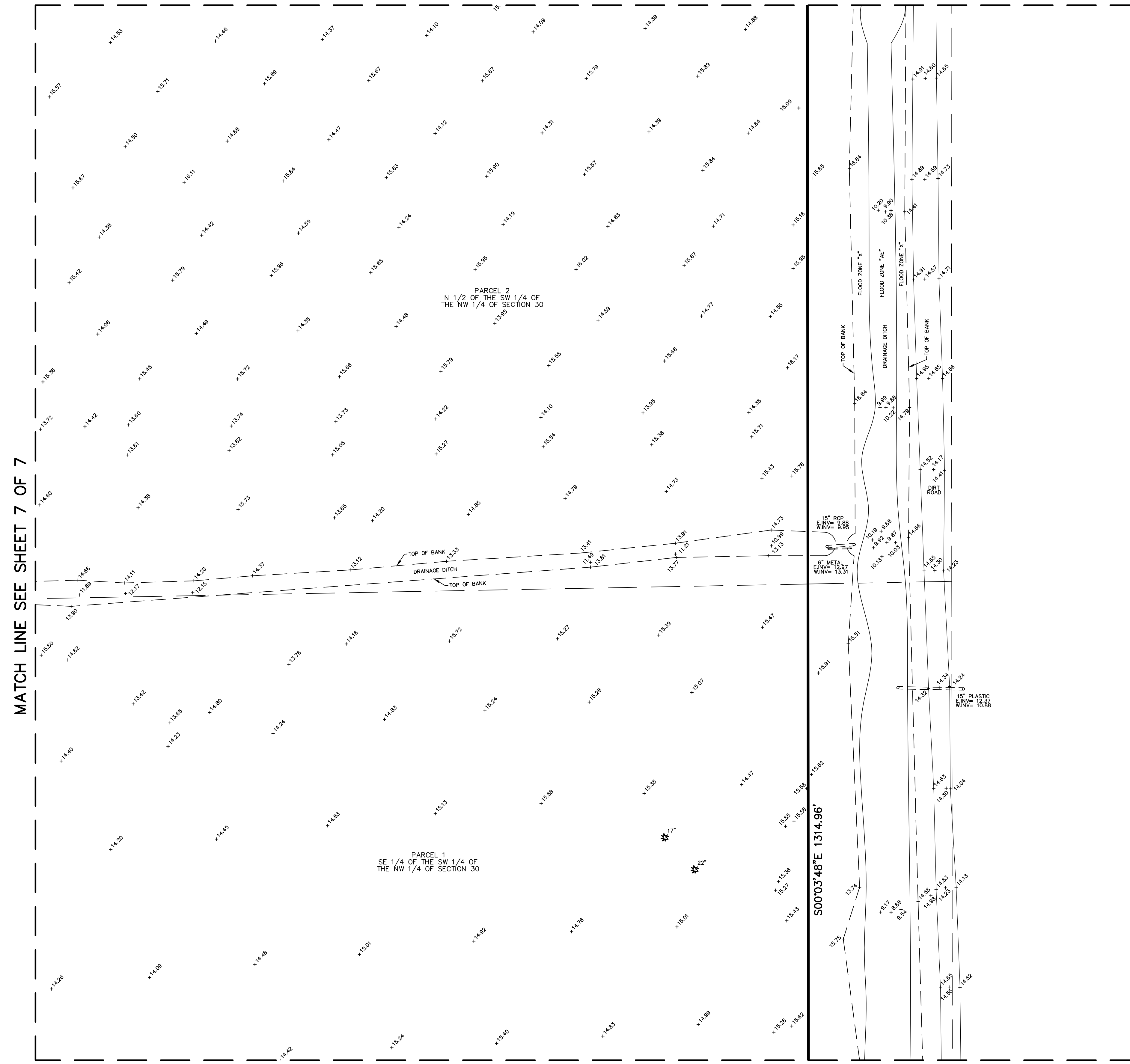
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| DATE: | REVISIONS: | BY: |
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 Surveying • Mapping • Consulting
 619 SW Biltmore Street
 Port St. Lucie, Florida 34983
 Phone: (772) 340-7770
 Fax: (772) 340-2250
 LB#7280

BOUNDARY & TOPOGRAPHIC SURVEY
 5496 ALTMAN ROAD
 3200 EDWARDS ROAD
 SEC 30, TWP 35S, RGE 40E
 AS PREPARED FOR
MARSHALL PROPERTY SERVICES, LLC

| | | | | | |
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| REF | K:\ | | | | |
| FLD | SB | FB. | PG. | JOB | 21-7056 |
| OFF | SB | | | DATE | 3-22-21 |
| CKD | AJP | SHEET | 3 OF 7 | DWG | D-964 |

MATCH LINE SEE SHEET 3 OF 7



MATCH LINE SEE SHEET 7 OF 7

MATCH LINE SEE SHEET 5 OF 7

- ABBREVIATIONS:**
- (C) = CALCULATED
 - CBS = CONCRETE BLOCK STRUCTURE
 - CONC = CONCRETE
 - CLF = CHAIN LINK FENCE
 - FND = FOUND
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 - LB = LICENSE BUSINESS
 - LS = LICENSE SURVEY
 - (M) = MEASURED
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 - (P) = PLAT
 - PB = PLAT BOOK
 - PC = PAGE
 - PL = PROPERTY LINE
 - PGB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - R/W = RIGHT-OF-WAY
 - RCP = REINFORCED CONCRETE PIPE
 - RSE = RANGE
 - SEC = SECTION
 - TWP = TOWNSHIP
 - UE = UTILITY EASEMENT

- SYMBOLS:**
- [Symbol] = GUY WIRE ANCHOR
 - [Symbol] = CABLE TELEVISION BOX
 - [Symbol] = CLEANOUT
 - [Symbol] = ELECTRIC BOX
 - [Symbol] = TELEPHONE BOX
 - [Symbol] = SIGN
 - [Symbol] = SANITARY MANHOLE
 - [Symbol] = STORM MANHOLE
 - [Symbol] = FIRE HYDRANT
 - [Symbol] = LIGHT POLE
 - [Symbol] = CONCRETE POWER POLE
 - [Symbol] = MAIL BOX
 - [Symbol] = SEWER VALVE
 - [Symbol] = WATER VALVE
 - [Symbol] = WELL
 - [Symbol] = WATER METER
 - [Symbol] = WOOD POWER POLE
 - [Symbol] = SET 5/8" IRON ROD WITH PLASTIC CAP PSM#6330

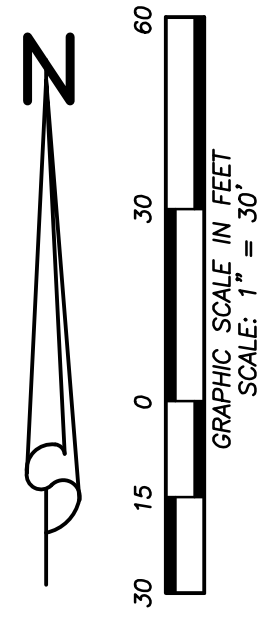
- TREE SYMBOLS:**
- [Symbol] = OAK TREE
 - [Symbol] = PALM TREE
 - [Symbol] = UNKNOWN TREE
 - 15" = DENOTES NUMBER OF INCH DIAMETER

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| DATE: | REVISIONS: | BY: |
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ALEXANDER J. PIAZZA PSM, INC.
 Surveying • Mapping • Consulting
 619 SW Biltmore Street
 Port St. Lucie, Florida 34983
 Phone: (772) 340-7770
 Fax: (772) 340-2250
LB#7280

BOUNDARY & TOPOGRAPHIC SURVEY
 5496 ALTMAN ROAD
 3200 EDWARDS ROAD
 SEC 30, TWP 35S, RGE 40E
 AS PREPARED FOR
MARSHALL PROPERTY SERVICES, LLC

| | | | |
|-----|---|--------------|--------------|
| CAD | K:\SKYMARK\EDWARDS ROAD\DWG\21-7056.DWG | | |
| REF | K:\ | | |
| FLD | SB | FB. | PG. |
| OFF | SB | | JOB 21-7056 |
| CKD | AJP | SHEET 4 OF 7 | DATE 3-22-21 |
| | | | DWG D-964 |



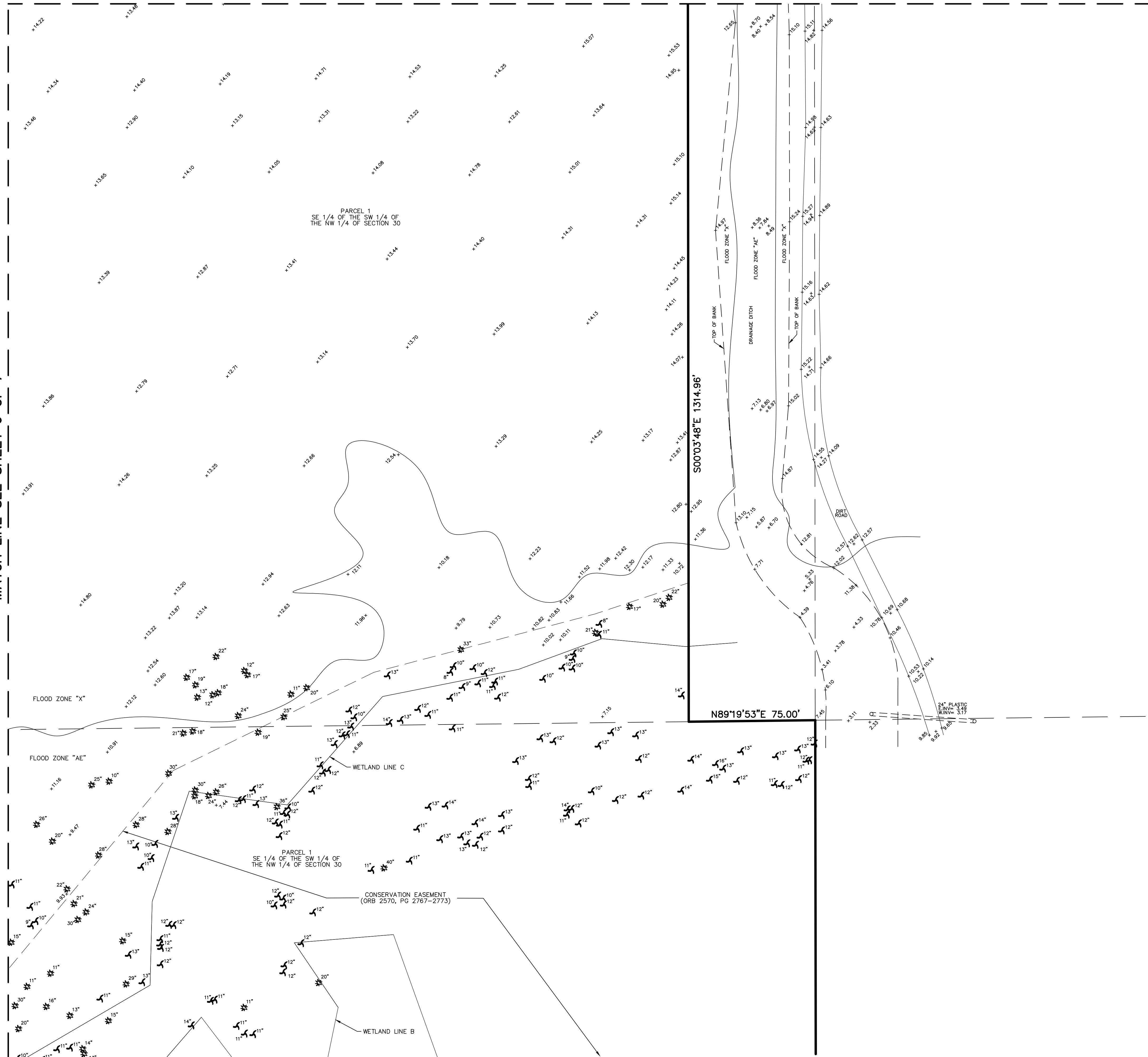
PARCEL 1
SE 1/4 OF THE SW 1/4 OF
THE NW 1/4 OF SECTION 30

PARCEL 1
SE 1/4 OF THE SW 1/4 OF
THE NW 1/4 OF SECTION 30

- SYMBOLS:**
- ☉ = GUY WIRE ANCHOR
 - ☐ = CABLE TELEVISION BOX
 - ☐ = CLEANOUT
 - ☐ = ELECTRIC BOX
 - ☐ = TELEPHONE BOX
 - ☐ = SIGN
 - ☐ = SANITARY MANHOLE
 - ☐ = STORM MANHOLE
 - ☐ = FIRE HYDRANT
 - ☐ = LIGHT POLE
 - ☐ = CONCRETE POWER POLE
 - ☐ = MAIL BOX
 - ☐ = SEWER VALVE
 - ☐ = WATER VALVE
 - ☐ = WELL
 - ☐ = WATER METER
 - ☐ = WOOD POWER POLE
 - ☐ = SET 5/8" IRON ROD WITH PLASTIC CAP PSM#6330

- TREE SYMBOLS:**
- ☼ = OAK TREE
 - ☼ = PALM TREE
 - ☼ = UNKNOWN TREE
 - ☼ = PINE TREE
 - 15" = DENOTES NUMBER OF INCH DIAMETER

- ABBREVIATIONS:**
- (C) = CALCULATED
 - CBS = CONCRETE BLOCK STRUCTURE
 - CONC = CONCRETE
 - CLF = CHAIN LINK FENCE
 - FND = FOUND
 - FPL = FLORIDA POWER & LIGHT
 - IP = IRON PIPE
 - INV = INVERT
 - IRC = IRON ROD WITH PLASTIC CAP
 - LB = LICENSE BUSINESS
 - LS = LICENSE SURVEY
 - (M) = MEASURED
 - ORB = OFFICIAL RECORD BOOK
 - (P) = PLAT
 - PB = PLAT BOOK
 - PG = PAGE
 - PL = PROPERTY LINE
 - PGB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - R/W = RIGHT-OF-WAY
 - RCP = REINFORCED CONCRETE PIPE
 - RSE = RANGE
 - SEC = SECTION
 - TWP = TOWNSHIP
 - UE = UTILITY EASEMENT

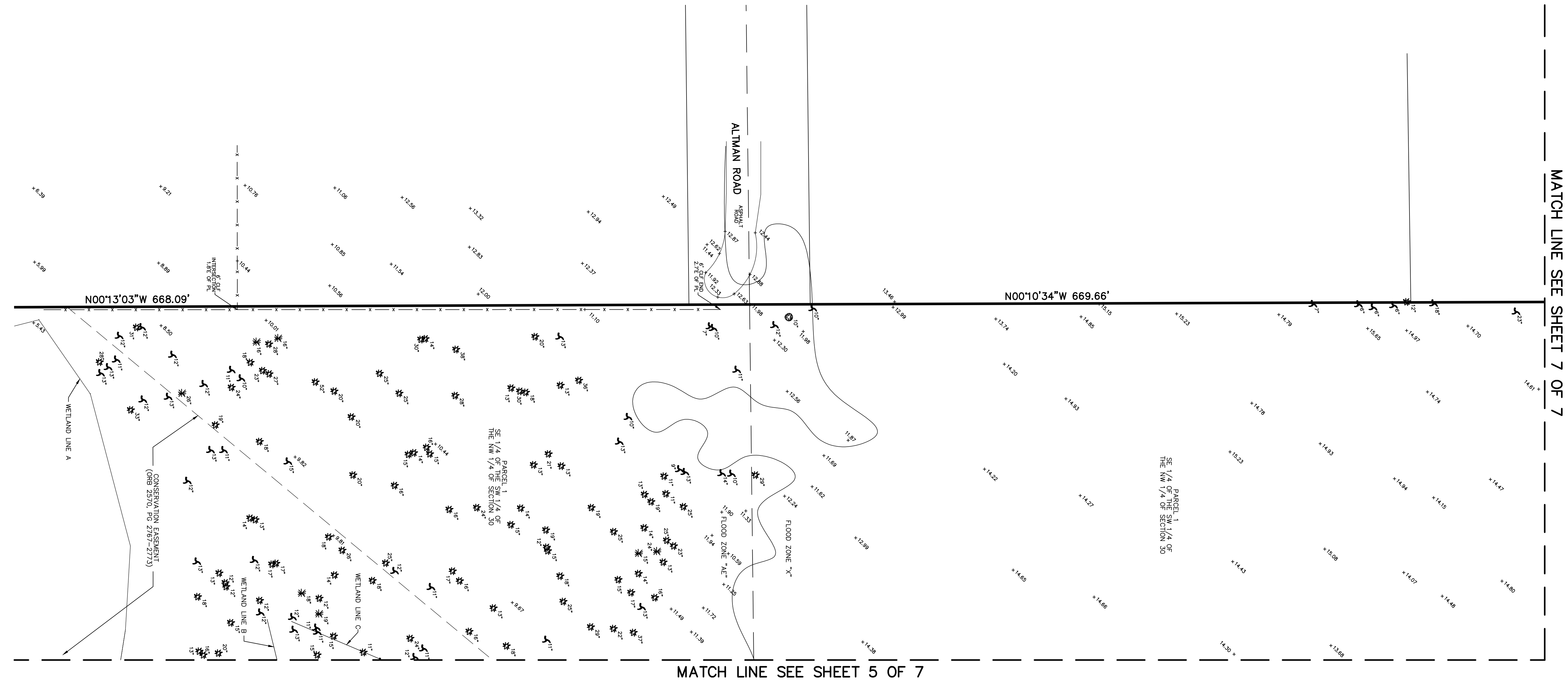
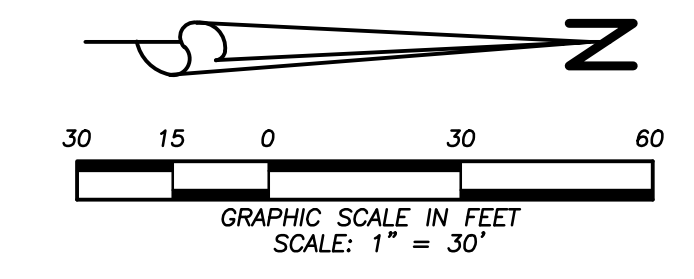


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ALEXANDER J. PIAZZA PSM, INC.
 Surveying • Mapping • Consulting
 619 SW Biltmore Street
 Port St. Lucie, Florida 34983
 Phone: (772) 340-7770
 Fax: (772) 340-2250
LB#7280

BOUNDARY & TOPOGRAPHIC SURVEY
 5496 ALTMAN ROAD
 3200 EDWARDS ROAD
 SEC 30, TWP 35S, RGE 40E
 AS PREPARED FOR
MARSHALL PROPERTY SERVICES, LLC

| | | | | |
|---|-----|--------------|-----|--------------|
| CAD K:\SKYMARK\EDWARDS ROAD\DWG\21-7056.DWG | | | | |
| REF K:\ | | | | |
| FLD | SB | FB. | PG. | JOB 21-7056 |
| OFF | SB | | | DATE 3-22-21 |
| CKD | AJP | SHEET 5 OF 7 | DWG | D-964 |



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 - PI = POINT OF BEGINNING
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 - R/W = RIGHT-OF-WAY
 - RCP = REINFORCED CONCRETE PIPE
 - RSE = RANGE
 - SEC = SECTION
 - TWP = TOWNSHIP
 - UE = UTILITY EASEMENT

- SYMBOLS:**
- [Symbol] = GUY WIRE ANCHOR
 - [Symbol] = CABLE TELEVISION BOX
 - [Symbol] = CLEANOUT
 - [Symbol] = ELECTRIC BOX
 - [Symbol] = TELEPHONE BOX
 - [Symbol] = SIGN
 - [Symbol] = SANITARY MANHOLE
 - [Symbol] = STORM MANHOLE
 - [Symbol] = FIRE HYDRANT
 - [Symbol] = LIGHT POLE
 - [Symbol] = CONCRETE POWER POLE
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| | | |
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| DATE: | REVISIONS: | BY: |
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BOUNDARY & TOPOGRAPHIC SURVEY
 5496 ALTMAN ROAD
 3200 EDWARDS ROAD
 SEC 30, TWP 35S, RGE 40E
 AS PREPARED FOR
MARSHALL PROPERTY SERVICES, LLC

| | | | | |
|---|-----|---------|------|--------------|
| CAD K:\SKYMARK\EDWARDS ROAD\DWG\21-7056.DWG | | | | |
| REF K:\ | | | | |
| FLD | SB | FB. | PG. | JOB 21-7056 |
| OFF | SB | | | DATE 3-22-21 |
| CKD | AJP | SHEET 6 | OF 7 | DWG D-964 |

WATER STATEMENT
 POTABLE WATER TO BE PROVIDED BY FORT PIERCE UTILITY AUTHORITY (FPUA) VIA A LOOPED PROPOSED PUBLIC WATER MAIN EXTENSION INTO THE SITE. EXISTING WATERMAIN RUN ALONG THE PERIMETER OF THE PROJECT. THE PROPOSED RESIDENTIAL UNITS WILL BE METERED SEPARATELY.

FIRE HYDRANTS ARE PROPOSED TO BE SPACED PER ST. LUCIE COUNTY FIRE DISTRICT CRITERIA.

WASTEWATER STATEMENT

AN 8" GRAVITY SEWER COLLECTION SYSTEM IS PROPOSED TO CONVEY WASTEWATER FROM THE PLANNED BUILDINGS TO THE EXISTING KOA PUMP STATION PER PRIOR PLANNING. WASTEWATER TO BE TRANSMITTED TO THE EXISTING FPUA FORCE MAIN ON JENKINS VIA A PROPOSED 4" FORCE MAIN.

DRAINAGE STATEMENT

THE PROPOSED SURFACE WATER MANAGEMENT SYSTEM FOR THE PROJECT CONSISTS OF SITE GRADING AND A SERIES OF INLETS AND CULVERTS WHICH DIRECT STORM WATER RUNOFF TO A PROPOSED WET DETENTION/RETENTION AREA. THE PROPOSED RETENTION AREA WILL PROVIDE WATER QUALITY TREATMENT (FIRST HALF INCH AND/OR PRE/POST NUTRIENT MITIGATION), PRIOR TO OVERFLOWING TO THE ADJACENT NSLRWD CANAL.

FLOOD PROTECTION PER LOCAL AND STATE REQUIREMENTS TO BE ADDRESSED AS FOLLOWS:

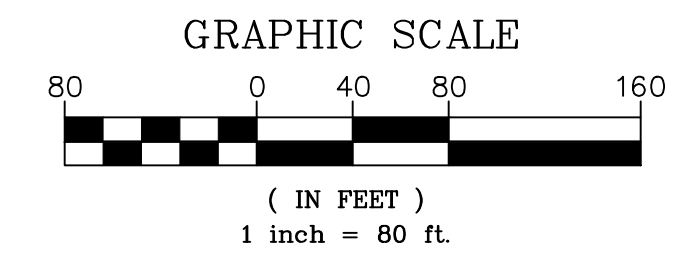
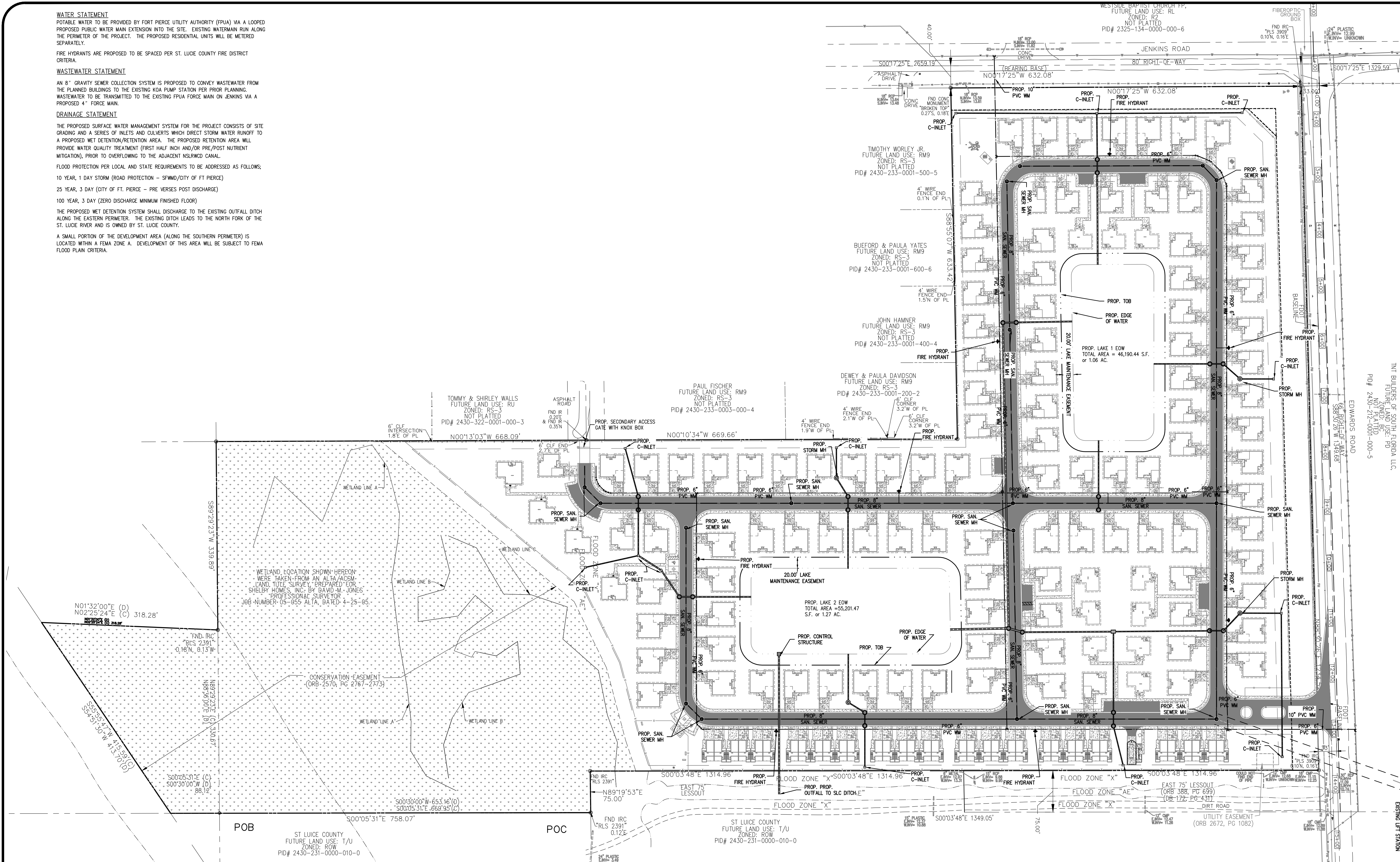
10 YEAR, 1 DAY STORM (ROAD PROTECTION - SFWD/CITY OF FT PIERCE)

25 YEAR, 3 DAY (CITY OF FT. PIERCE - PRE VERSES POST DISCHARGE)

100 YEAR, 3 DAY (ZERO DISCHARGE MINIMUM FINISHED FLOOR)

THE PROPOSED WET DETENTION SYSTEM SHALL DISCHARGE TO THE EXISTING OUTFALL DITCH ALONG THE EASTERN PERIMETER. THE EXISTING DITCH LEADS TO THE NORTH FORK OF THE ST. LUCIE RIVER AND IS OWNED BY ST. LUCIE COUNTY.

A SMALL PORTION OF THE DEVELOPMENT AREA (ALONG THE SOUTHERN PERIMETER) IS LOCATED WITHIN A FEMA ZONE A. DEVELOPMENT OF THIS AREA WILL BE SUBJECT TO FEMA FLOOD PLAN CRITERIA.



Stephen Cooper, P.E. #46557

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| NO. | REVISION | DATE |
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| 10 | | |
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STEPHEN COOPER, P.E. & ASSOCIATES, INC.
 -CONSULTING ENGINEER -
 CIVIL ENGINEERING • SITE PLANNING • ENVIRONMENTAL PERMITTING
 7450 SOUTH FEDERAL HIGHWAY
 FORT ST. LUCIE, FLORIDA 34952
 TEL: 1-1772-5362583
 FLORIDA CERTIFICATE OF AUTHORIZATION NO. 00008868



CONCEPT UTILITY PLAN

VIVA AT TREASURE COAST EAST

FLORIDA
 CITY OF FORT PIERCE

| | |
|--------------|-------------|
| DATE: | JAN 2021 |
| DRAWN BY: | CCL |
| DESIGNED BY: | SC |
| CHECKED BY: | SC |
| HORZ. SCALE: | 1"=80' |
| VERT. SCALE: | NA |
| DRAWING NO. | 01.0 |
| JOB NO. | 2018-121 |

PLANT SCHEDULE

| TREES | BOTANICAL NAME / COMMON NAME | CONT | CAL | SIZE | QTY |
|--------|---|------------------|----------|-----------------|-----|
| | Acer rubrum "Florida Flame" / Florida Flame Red Maple | 45 gal | 2.5" DBH | 14' Ht | 27 |
| | Bulnesia arborea / Verawood | 25 ga | 2.5" DBH | 12' Ht | 8 |
| | Bursera simaruba / Gumbo Limbo | Field Grown, B#B | 2.5" DBH | 12' Ht x 5' Spr | 42 |
| | Coccoloba diversifolia / Pigeon Plum | Field Grown, B#B | 2.5" DBH | 12' Ht x 5' Spr | 26 |
| | Conocarpus erectus / Green Buttonwood Standard | 45 gal | 2.5" DBH | 12' - 14' Ht | 13 |
| | Cordia sebestena / Orange Geiger | Field Grown, B#B | 2.5" DBH | 12' - 14' Ht | 26 |
| | Delonix regia / Royal Poinciana | 100 gal | | | 1 |
| | Ilex x attenuata "Dahoon" / Dahoon Holly | 45 gal | 2.5" DBH | 12' - 14' Ht | 26 |
| | Magnolia grandiflora "D.D. Blanchard" TM / Southern Magnolia | 65 gal | 3" DBH | 14' Ht | 18 |
| | Tamannus indica / Tamarrnd | 45 gal | 2.5" DBH | 12' - 14' Ht | 35 |
| | Roystonea regata / Royal Palm 20" CT, Matching | B # B | | | 4 |
| | Sabal palmetto / Cabbage Palm 10" CT MIN | B # B | | | 36* |
| | Tamannus indica / Tamarrnd | 45 gal | 2.5" DBH | 12' - 14' Ht | 12 |
| | Ulmus alata / Winged Elm | 45 gal | 2.5" DBH | 12' - 14' Ht | 12 |
| SHRUBS | BOTANICAL NAME / COMMON NAME | SIZE | QTY | | |
| | Chrysobalanus icaco "Red Tip" / Red Tipped Cocoplum 24" W, 24" Ht | 3 gal | 694 | | |

Landscape Data:

Viva East data

The proposed landscape plan conforms to Article II, Landscaping, and Article III, Tree Protection, of the City of Fort Pierce Code of Ordinances. Further, the landscape plan conforms to Section 123-37, General Landscape Requirements, specifically as follows:

Section 123-36 Single Family Dwelling Landscape Requirement - Slab on Grade construction does not require skirting of foundation with landscape hedge. This Section requires 4 trees planted per lot. The proposed community is not a single-family subdivision comprised of individual lots, this requirement does not apply. Each residence will be landscaped with foundation hedge, groundcover bed and a small flowering tree as shown on the typical building landscape concept.

Section 123-37 (4) - Landscape strip where building, vehicular use areas, or water detention areas about road right-of-way(s)

Edwards Road - 1,234.52 linear feet (l.f.) less 80 l.f. entrance = 1,154.52 x 10 square feet(s.f.) = 11,545.20 s.f.; 11,545.20/300 = **40 Trees Required**. Trees to be planted within the project perimeter along Edwards Road.

Jenkins Road - 632 l.f. x 10 s.f. = 6,320 s.f./300 = **21 Trees Required**. Trees to be planted within the project perimeter along Jenkins Road.

Section 123-37 (7) - Vehicular Use Area (V.U.A.) Landscape Requirement = 1 s.f. landscape area per every 15 s.f. of V.U.A./100 @ 1 Tree /100 s.f.; Total Project V.U.A. = 191,955.6 s.f./15 = 12,797 s.f./100 = 128 Trees Required. Trees to be planted in common areas within the community.

NOTE: Per Section 123.37 (7)(c) preservation of existing trees reduces amount of required interior landscape area; 191,955.60 s.f. - 32,400 s.f. = 159,555.60/15 = 10,637.04/100 = **106 Trees Required**. Trees to be planted in common areas within the community.

Total Project Trees Required = 167 Trees @ 12' height x 5' spread w/ 2.5" diameter at breast height (d.b.h.) minimum specification.

Total Project Trees Proposed = (257 Trees)*

*36 Sabal Palmetto = 12 Canopy Trees

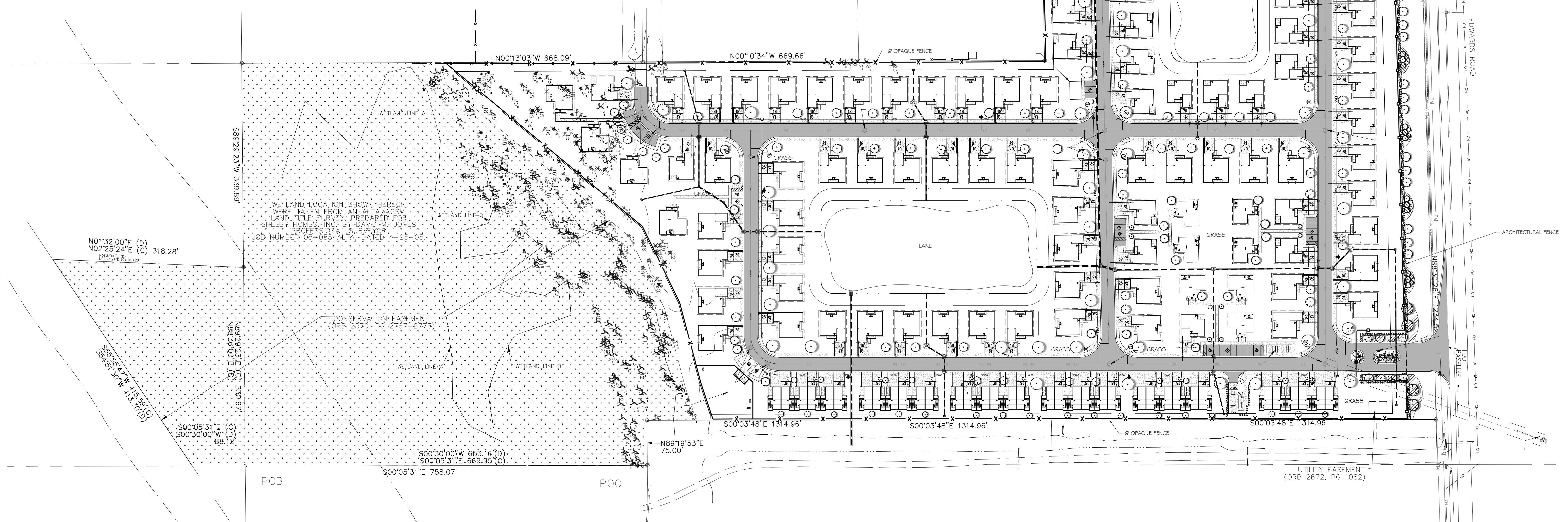
Section 123-37(10) - Screening of Refuse Collection Area with 6' wall or fence and perimeter shrubs.

Mitigation Data:

Total DBH Removed: 1,089 inches
 Total DBH Preserved: 1,966 inches
 Additional Mitigation required: 0 inches

Existing Tree Legend

- Existing Tree Preserved
- Existing Palm Preserved
- Existing Tree Removed
- Existing Palm Removed



| COMPUTER FILE REF. | FIELD BK./PG. |
|--------------------|---------------|
| | |

BOGGS
 PLANNING + LANDSCAPE ARCHITECTURE
 100 AVENUE A SUITE 2E
 FORT PIERCE, FLORIDA 34950

| - REVISIONS - | | BY | DATE |
|---------------|--|----|------|
| | | | |

| DRAWN | CHECKED | APPROVED | BY | DATE |
|-------|---------|----------|----|------|
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VIVA AT TREASURE COAST EAST
 CONCEPTUAL LANDSCAPE PLAN

DATE: 01-25-22
 HORIZ. SCALE: 1"=80'
 VERT. SCALE: N/A
 JOB No.
 SHEET 1 OF 2

| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|-------------|-------------|-------|-----------------------------|---------------------------------|
| Symbol | Qty | Label | Arrangement | Lum. Lumens | LLF | Description | Filename |
| | 50 | A4-H | SINGLE | 2600 | 1.000 | VSX-II T4 16LC 5 4K-UNV_CLS | VSX-II T4 16LC 5 4K-UNV_CLS.ies |

| Calculation Summary | | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|-------------------------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min | Description |
| DRIVE A | Illuminance | Fc | 0.42 | 1.1 | 0.2 | 2.10 | 5.50 | readings taken at grade |
| DRIVE B | Illuminance | Fc | 0.45 | 1.1 | 0.2 | 2.25 | 5.50 | readings taken at grade |
| DRIVE C1 | Illuminance | Fc | 0.41 | 1.1 | 0.2 | 2.05 | 5.50 | readings taken at grade |
| DRIVE C2 | Illuminance | Fc | 0.37 | 1.0 | 0.2 | 1.85 | 5.00 | readings taken at grade |
| ENTRANCE | Illuminance | Fc | 0.68 | 1.4 | 0.4 | 1.70 | 3.50 | readings taken at grade |

TARGETING:
IES: RP-11-17
EXTERIOR RESIDENTIAL ENVIRONMENTS
-0.1 FC MIN



View_1:PART A
Scale: 1 inch= 50 Ft.



Project:
VIVA TREASURE
EAST

Disclaimer:
SESCO Lighting, Tampa provides this photometric report for purposes of comparison within the SESCO Lighting, Tampa product line only. The information provided is based upon standardized industry procedures.
This laboratory performance will always differ from that observed in the field due to a great number of variables, both known (installation methods, power quality, lamping, recoverable, and non-recoverable light loss factors, etc.)
In general, SESCO Lighting Tampa considers numerical studies to be predictive in that they cannot characterize the visual performance of any luminaire single or grouped. As such, specification decisions must be thoroughly based upon experience, consultation with the manufacturer and above all, common sense.

NOTES:
1) EXACT MOUNTING DETAILS TO BE DETERMINED BY OTHERS.
2) MOUNTING HEIGHT IS ALWAYS A.F.F. OR A.F.O. UNLESS NOTED.
3) CALCULATIONS SHOWN ARE MAINTAINED HORIZONTAL PHOTOCANOLES

Sales Person: CHERILYN SANTORE

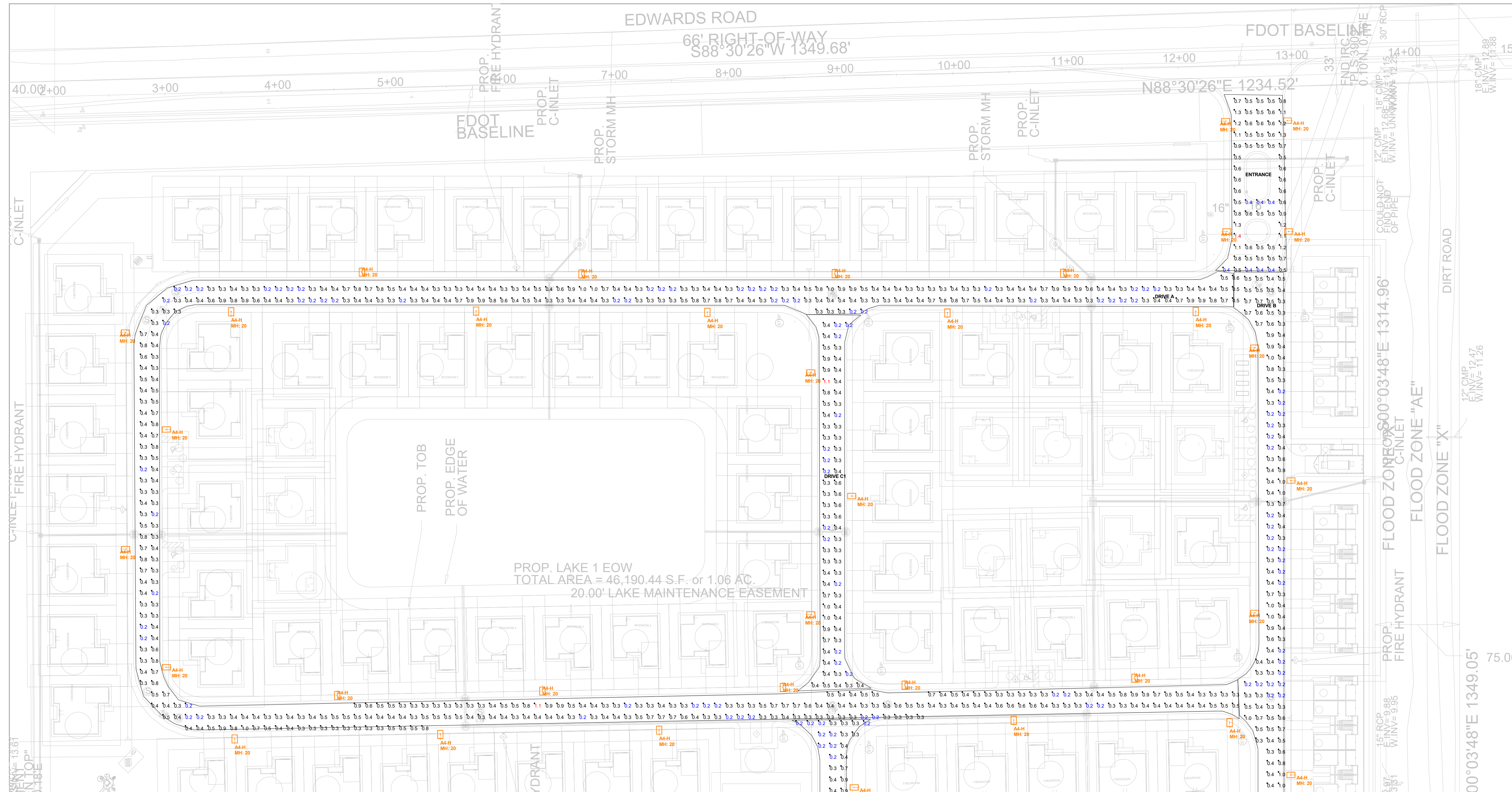
Designed By: S PENNINGTON
Date: 2/23/2022
Scale: SEE VIEWPORT

| # | Date | Comments | Revisions | |
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| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|-------------|-------------|-------|-----------------------------|---------------------------------|
| Symbol | Qty | Label | Arrangement | Lum. Lumens | LLF | Description | Filename |
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| Calculation Summary | | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|-------------------------|
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TARGETING:
IES: RP-11-17
EXTERIOR RESIDENTIAL ENVIRONMENTS
-0.1 FC MIN



View_1:PART A
Scale: 1 inch= 50 Ft.



Project:
VIVA TREASURE
EAST

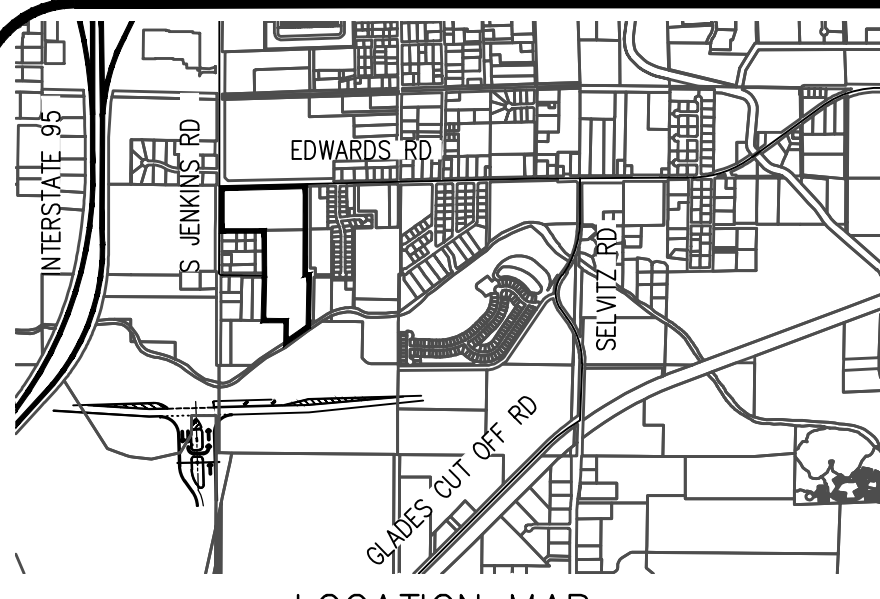
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Sales Person: CHERILYN SANTORE

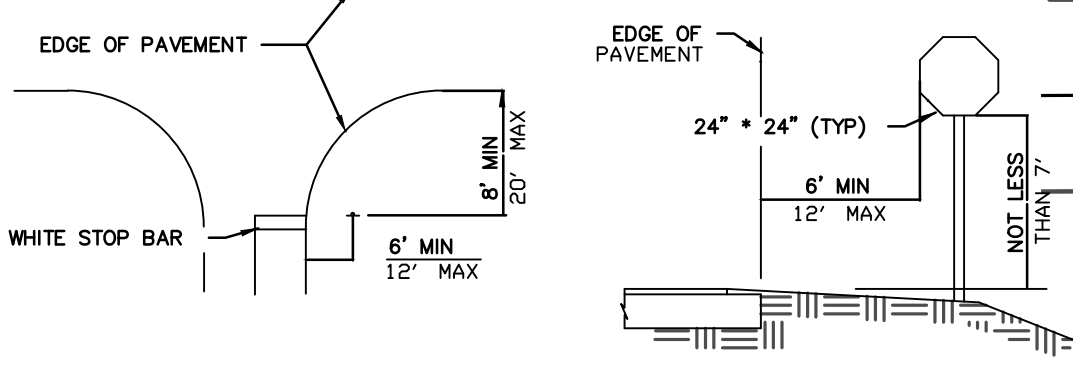
Designed By: S PENNINGTON
Date: 2/23/2022
Scale: SEE VIEWPORT

| # | Date | Comments | Revisions | |
|---|------|----------|-----------|-------|
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| | | | | |



SITE DATA
 MARINER COVE BUILDERS LLC
 OWNER ADDRESS: 1400 E OAKLAND PARK BLVD. SUITE 103,
 OAKLAND PARK, FL 33334
 PROPERTY ADDRESS: TBD
 CITY: FORT PIERCE
 FLOOD ZONE: X
 PANEL NO. 12111C0167 J & 12111C0169 J
 PARCEL ID: 2430-231-0001-000-4 & 2430-234-0001-000-3
 SECTION: 30
 TOWNSHIP: 35S
 RANGE: 40E
 CURRENT ZONING: R4 MEDIUM DENSITY RESIDENTIAL
 FUTURE LAND USE: RM MEDIUM DENSITY RESIDENTIAL
 LOT SIZE: 39.099 AC.
LEGAL DESCRIPTION:
 PARCEL 1:
 THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE
 NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE
 40 EAST, LESS THE EAST 75 FEET THEREOF, ST. LUCIE COUNTY,
 FLORIDA.
 AND
 THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE
 SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE
 40 EAST ST. LUCIE COUNTY, FLORIDA.
 AND
 FROM THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE
 SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE
 40 EAST, RUN SOUTH 00°-30' WEST ALONG THE
 QUARTER-QUARTER SECTION LINE, A DISTANCE OF 653.16 FEET

FOR THE POINT OF BEGINNING; THENCE CONTINUE SOUTH
 00°-30' WEST A DISTANCE OF 88.12 FEET TO A POINT ON THE
 TOP OF A BLUFF OF 10 MILE CREEK; THENCE RUN SOUTH
 54°-51'30" WEST ALONG SAID CREEK A DISTANCE OF 413.70
 FEET; THENCE RUN NORTH 01°-32' EAST A DISTANCE OF 318.28
 FEET; THENCE RUN NORTH 88°-36' EAST, A DISTANCE 330.67
 FEET, TO THE POINT OF BEGINNING, BEING IN ST. LUCIE COUNTY,
 FLORIDA.
 PARCEL 2:
 NORTH ONE-HALF(N 1/2) OF THE SOUTHWEST QUARTER (SW
 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 30,
 TOWNSHIP 35 SOUTH, RANGE 40 EAST, EXCEPTING THEREFROM
 ALL RIGHTS OF WAY FOR DRAINAGE CANAL AND PUBLIC ROAD
 PURPOSES, SAID LAND LYING AND BEING IN ST. LUCIE COUNTY,
 FLORIDA.
 CONTAINING: 1,703,158 SQUARE FEET OR 39.099 ACRES, MORE
 OR LESS.



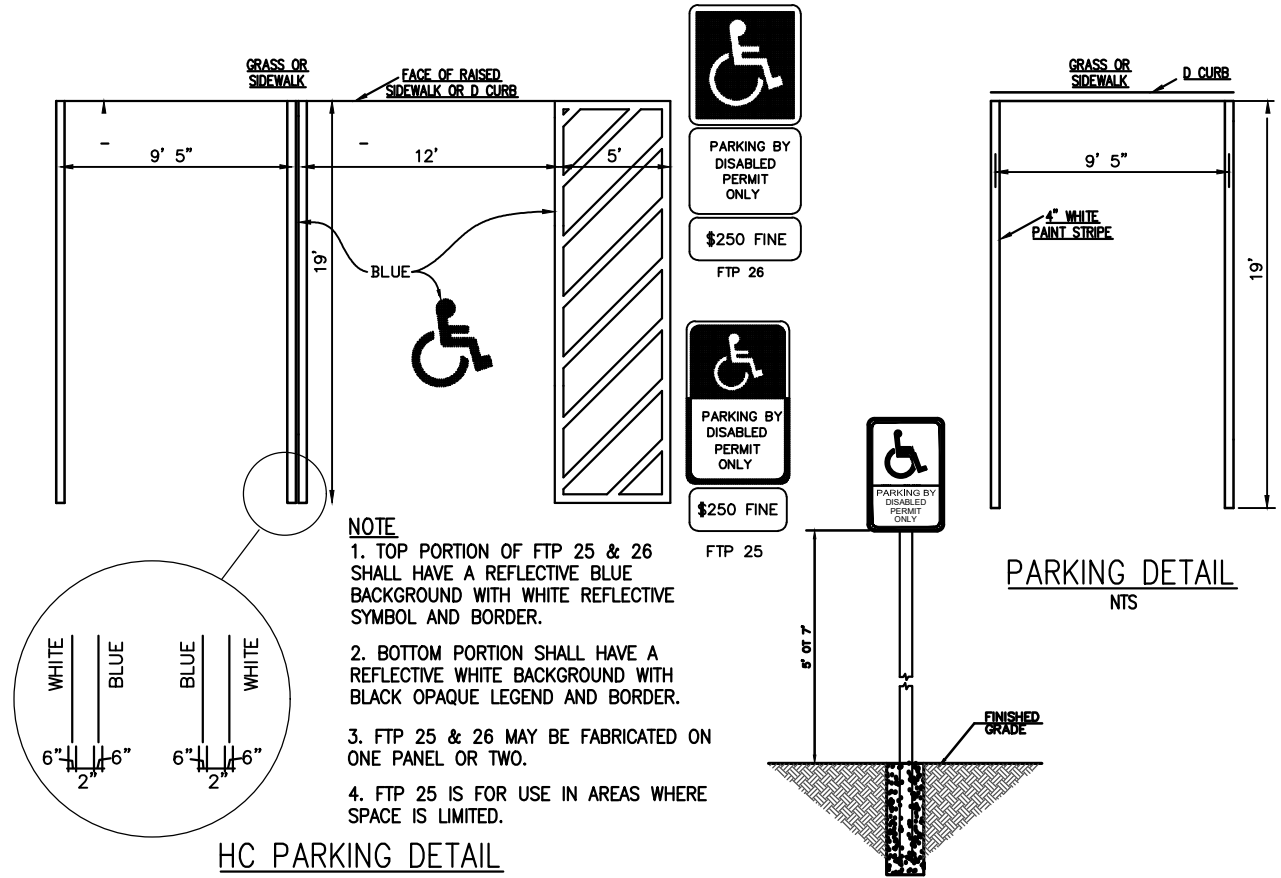
STOP SIGN LOCATION DETAIL
 SCALE: N.T.S.

TOTAL RESIDENTS PROPOSED: 158
 1 BEDROOM: 36
 2 BEDROOM: 61
 3 BEDROOM: 61

BUILDING SETBACKS
 FRONT = 25'
 SIDE = 6'
 REAR = 15'
 CORNER SIDE = 15'
 MAX BLDG HEIGHT = 45'
 PROPOSED = TBD'

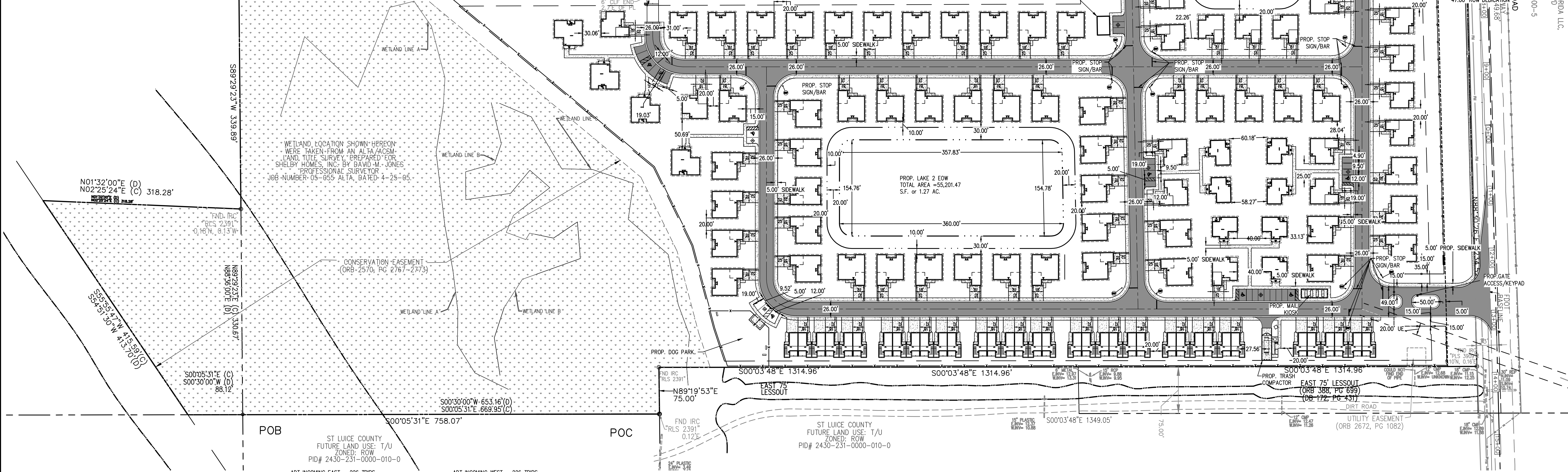
PARKING CALCULATIONS FOR RESIDENTS
 TOTAL PARKING REQUIRED = 316
 TOTAL PARKING PROVIDED = 333
 DRIVEWAY SPACES = 268
 PARKING SPACE = 39
 ADA SPACES = 9

AREAS
 TOTAL SITE AREA = 1,620,741.56 SF = 37.21 AC. = 100%
 PROPOSED BUILDING = 213,364.05 SF = 4.90 AC. = 13.16%
 PROPOSED PAVEMENT = 121,765.63 SF = 2.80 AC. = 7.51%
 PROPOSED CONCRETE = 160,513.72 SF = 3.68 AC. = 9.90%
 PROPOSED LAKE EOW = 101,952.51 SF = 2.34 AC. = 6.29%
 TOTAL IMPERVIOUS AREA = 597,595.91 SF = 13.72 AC. = 36.87%
 TOTAL PERVIOUS AREA = 1,023,145.65 SF = 23.49 AC. = 63.13%



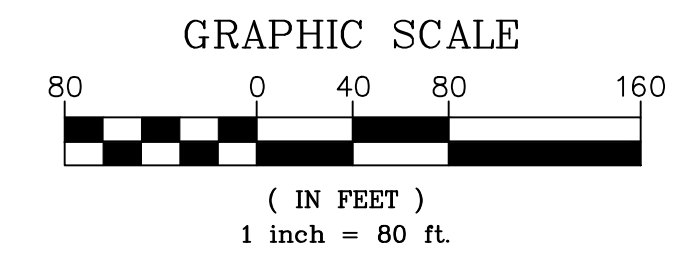
HC PARKING DETAIL
 NIS

NOTE
 1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
 4. FTP 25 IS FOR USE IN AREAS WHERE SPACE IS LIMITED.



TRAFFIC STATEMENT
 THE PROPOSED DEVELOPMENT PLAN INCLUDES SINGLE FAMILY DETACHED APARTMENTS, 36 - 1-BEDROOM UNITS, 61 - 2-BEDROOM UNITS AND 61 - 3-BEDROOM UNITS ARE PROPOSED (158 UNITS TOTAL). THE TOTAL RESIDENCES WOULD BE 341.
 ITE CODE 210 (SINGLE FAMILY DETACHED HOUSING) BEST DESCRIBES THE PROPOSED USE AT THIS FACILITY. BASED ON 210:
 ADT = 904 TRIP ENDS (AVERAGE RATE - 452 INBOUND/452 OUTBOUND)
 AM PEAK HOUR = 67 TRIPS (20 INBOUND/47 OUTBOUND)
 PM PEAK HOUR = 95 TRIPS (63 TRIPS INBOUND/32 TRIPS OUTBOUND)
 INBOUND AND OUTBOUND TRAFFIC IS SPLIT BETWEEN EASTBOUND/WESTBOUND. ASSUMING 50% OF THE TRIP TRAFFIC IS DISTRIBUTED EASTBOUND AND WESTBOUND, FURTHER REDUCES THE LINKS AS FOLLOWS:

| | |
|-------------------------------|-------------------------------|
| ADT INCOMING EAST - 226 TRIPS | ADT INCOMING WEST - 226 TRIPS |
| ADT OUTBOUND EAST - 226 TRIPS | ADT OUTBOUND WEST - 226 TRIPS |
| AM INBOUND EAST - 10 TRIPS | AM INBOUND WEST - 10 TRIPS |
| AM OUTBOUND EAST - 24 TRIPS | AM OUTBOUND WEST - 23 TRIPS |
| PM INBOUND EAST - 32 TRIPS | PM INBOUND WEST - 31 TRIPS |
| PM OUTBOUND EAST - 16 TRIPS | PM OUTBOUND WEST - 16 TRIPS |



Stephen Cooper, P.E. #46557



| NO. | REVISION | DATE |
|-----|----------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

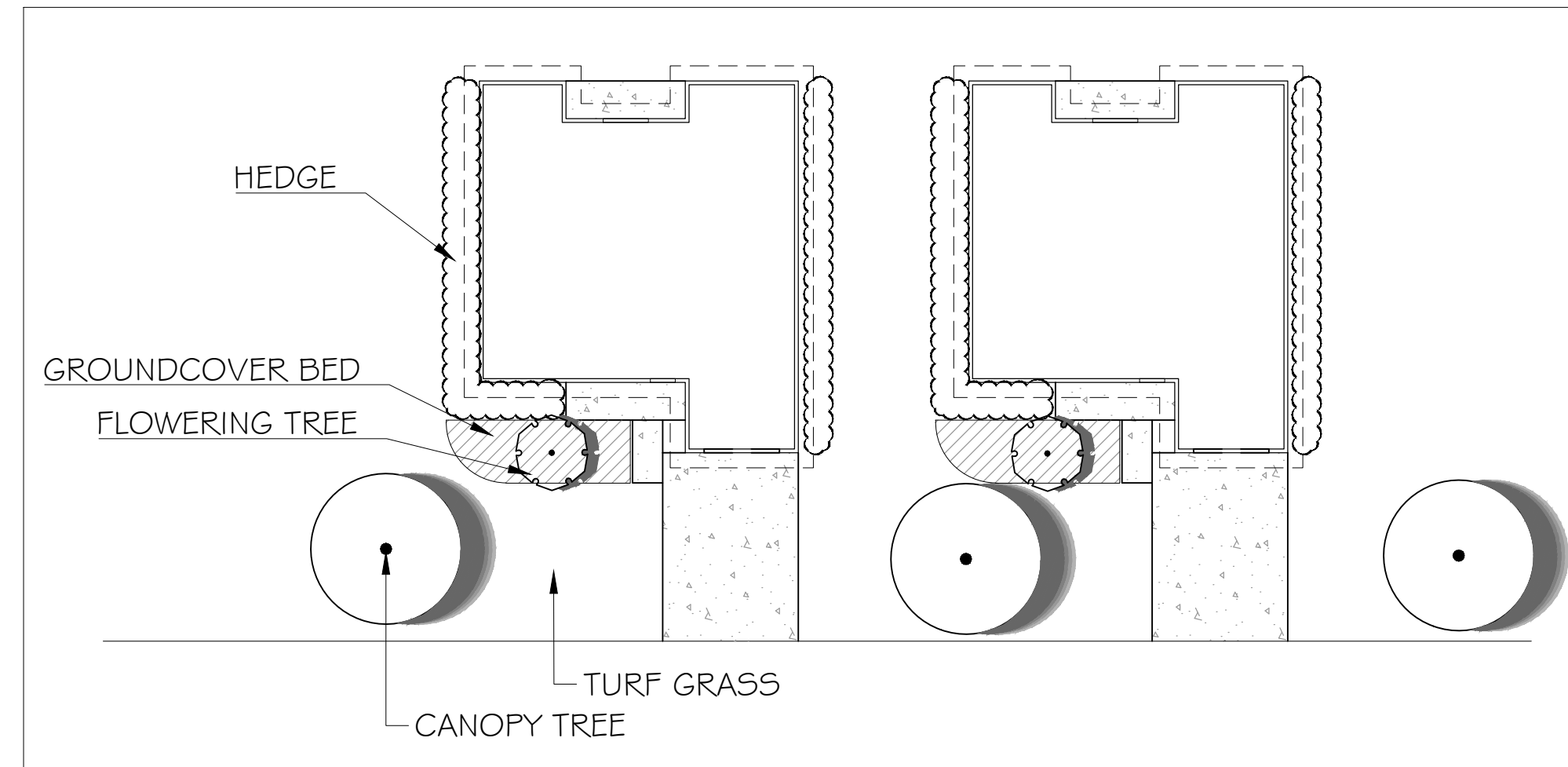
STEPHEN COOPER, P.E. & ASSOCIATES, INC.
 -CONSULTING ENGINEER-
 CIVIL ENGINEERING • SITE PLANNING • ENVIRONMENTAL PERMITTING
 7460 SOUTH FEDERAL HIGHWAY
 FORT ST. LUCIE, FLORIDA 34952
 TEL: 1-772-536-5293
 FLORIDA CERTIFICATE OF AUTHORIZATION NO. 0008896

SITE PLAN
VIVA AT TREASURE COAST EAST
 CITY OF FORT PIERCE, FLORIDA

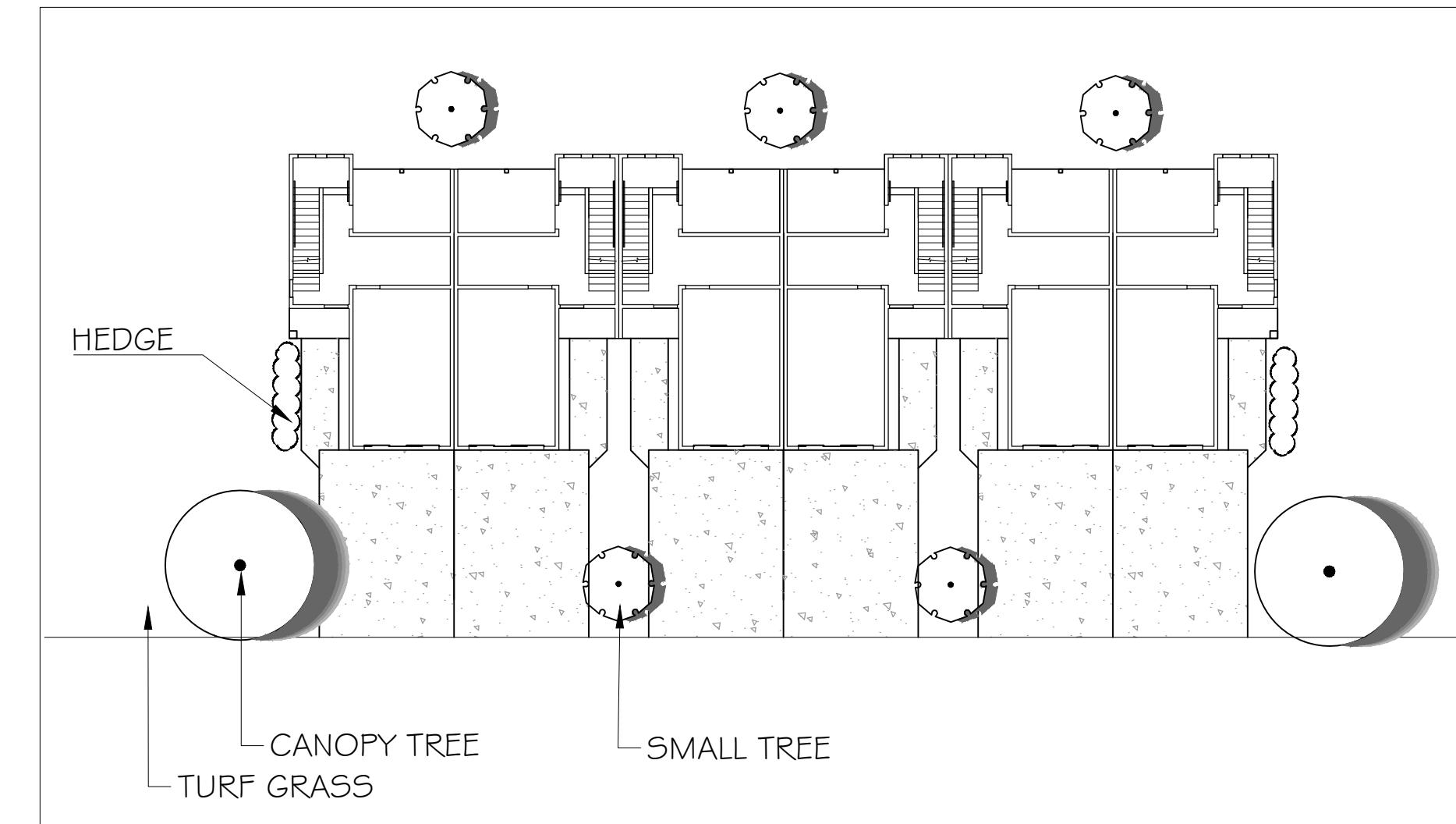
DATE: JAN 2021
 DRAWN BY: CCL
 DESIGNED BY: SC
 CHECKED BY: SC
 HORZ. SCALE: 1"=80'
 VERT. SCALE: NA
 DRAWING NO. **C1.0**
 JOB NO. 2018-121

Landscape Notes:

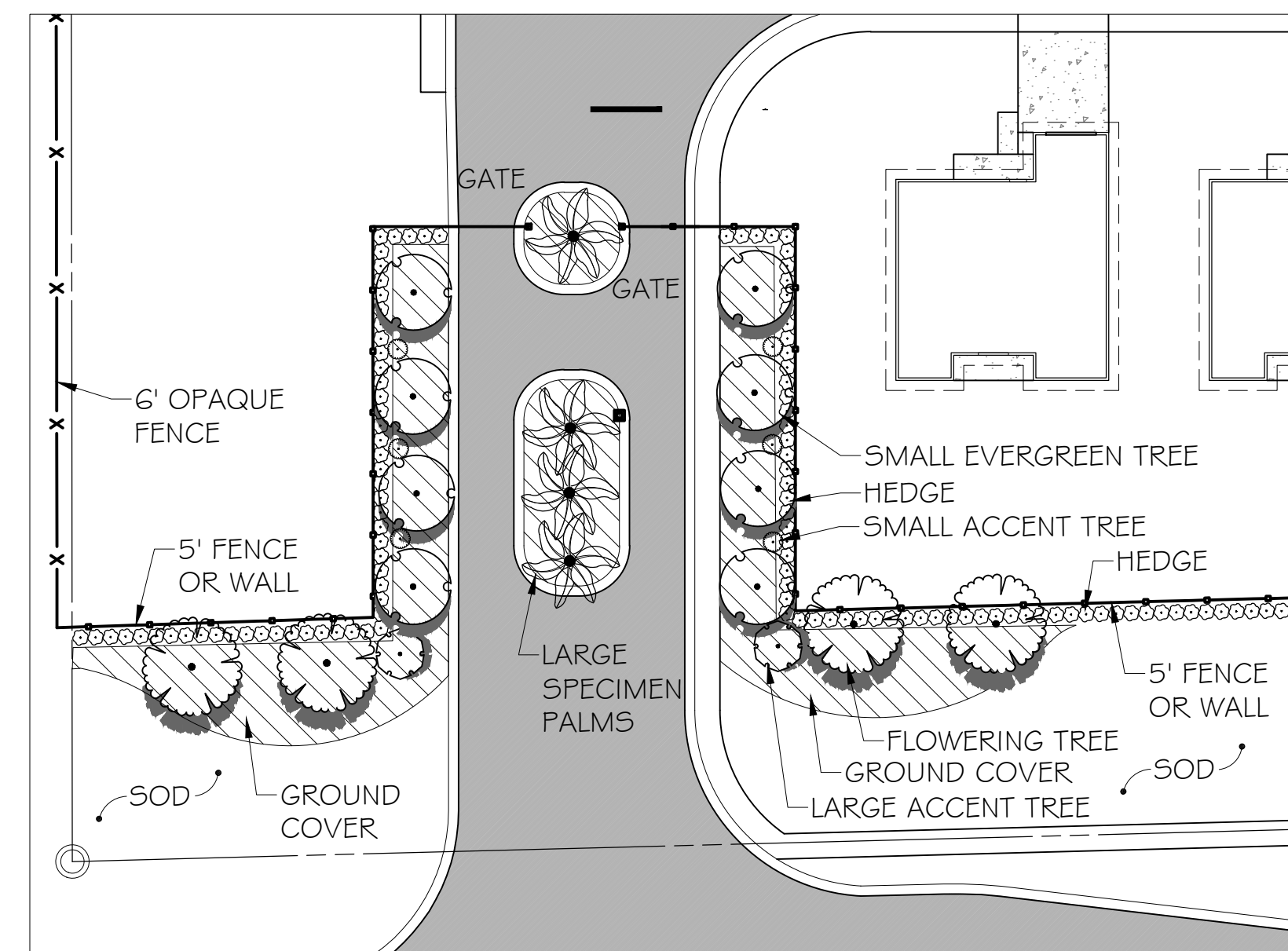
1. All plants shall conform to established nursery grades and standards, to be Florida No. 1 or better, and shall be free of diseases and insects at the time of installation.
2. Trees shall be a minimum of (12) feet in height and have a caliper of two and one-half (2 1/2) inches at four and one half (4 1/2) feet above the ground when installed.
3. All required trees, except palms, shall have a minimum of five (5) feet of clear trunk and a minimum five (5) foot canopy spread at the time of planting.
4. All palm trees shall have a minimum clear trunk of ten (10) feet when installed. Three palm trees are equal to one shade tree having a mature canopy spread of fifteen (15) feet.
5. Shrubs shall be a minimum of twenty-four (24) inches in height above grade immediately after planting. 25% of all shrubs shall be Florida native.
6. Groundcovers, other than grass, shall be planted in a manner as to present a finished appearance and reasonably complete coverage within four (4) months after planting.
7. Turf grass shall be installed using solid sod and shall be either Bahia or St. Augustine sod.
8. All landscaped areas shall be mulched with 3" organic mulch, with mulch around trees kept away from top of root ball.
9. All landscaping within vehicular use areas shall be protected by a six inch non-mountable curb.
10. All existing native vegetation found on the site and is not in direct conflict with the proposed building or parking areas shall be left undisturbed. A suitable protective barrier, constructed of metal, wood, safety fencing, or other durable material will be placed around the staked out locations of existing native vegetation.
11. No fill materials, construction materials, concrete, paint, chemicals, or other foreign materials shall be stored, deposited, or disposed of within any areas that have been staked or fenced off as being undisturbed native vegetation areas.
12. Existing understory shall be maintained in areas of undisturbed native vegetation.
13. All Category 1 exotic plant species will be eradicated from the site.
14. Conspicuous, durable barricades will be erected around each individual tree or areas of vegetation that are to be preserved. In the event that any protective barricades are removed or altered and land clearing or construction work is being conducted on the site, all work at the site will be stopped until the barriers are restored and any necessary corrective actions taken to repair or replant any vegetation removed or damaged as a result of these encroachments.
15. Automatic rain sensor will be part of the irrigation system.
16. Soil for all landscaped areas (trees, shrubs and groundcover beds) shall consist of 50% recycled topsoil free from debris, stones, etc.
17. All landscape installation shall provide unobstructed vehicular views as required in section 125-308.



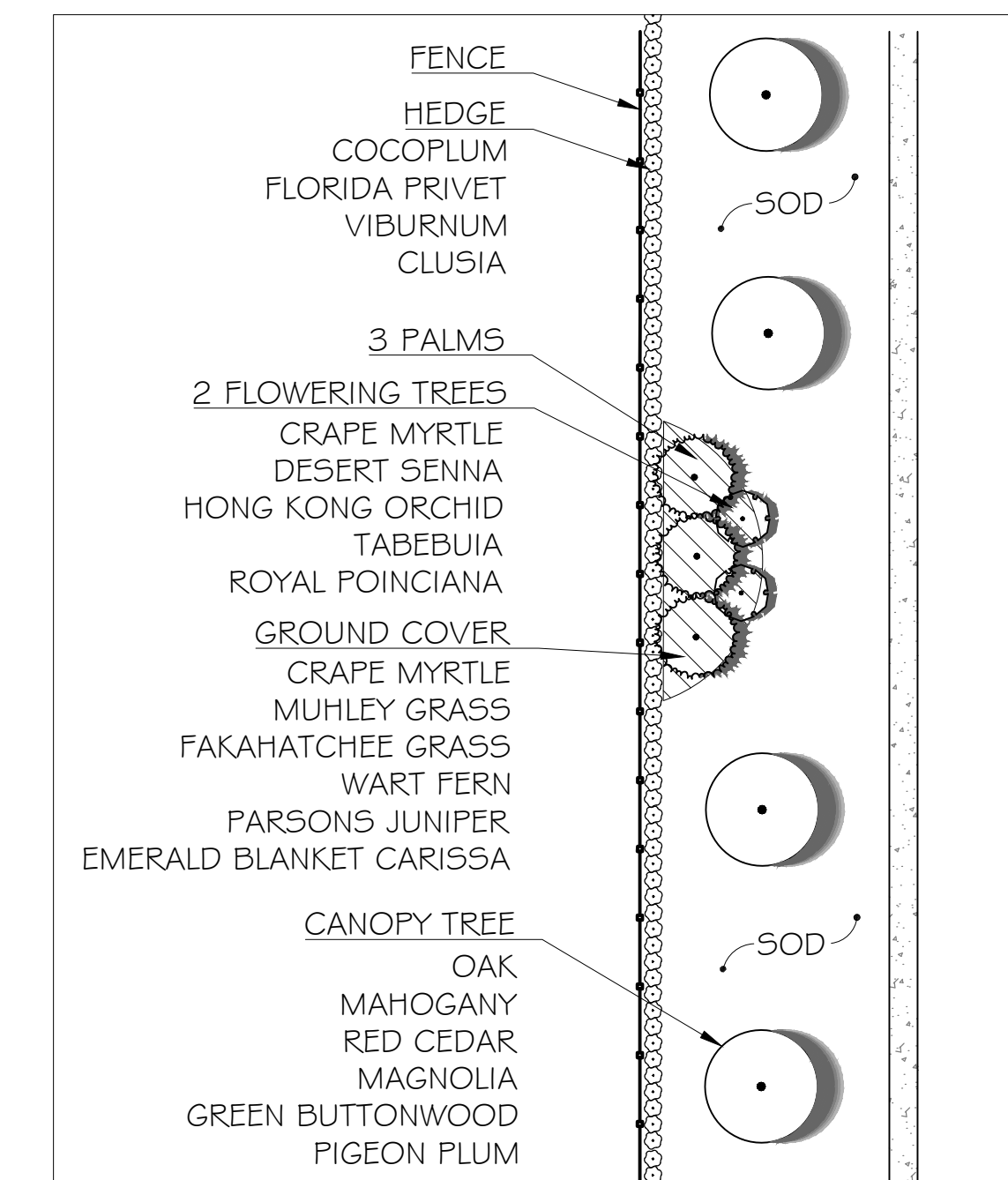
Single Family Unit



Multi-Family Unit



Project Entry



Buffer Along ROW

| | |
|--------------------|---------------|
| COMPUTER FILE REF. | FIELD BK./PG. |
| | |

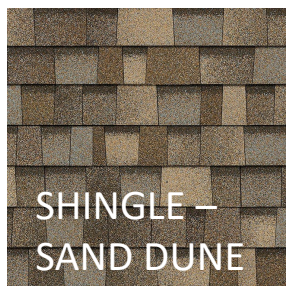
BOGGS
 PLANNING + LANDSCAPE ARCHITECTURE
 100 AVENUE A SUITE 2E
 FORT PIERCE, FLORIDA 34950

| - REVISIONS - | | BY | DATE |
|---------------|--|----|------|
| | | | |

| | BY | DATE |
|----------|----|------|
| DRAWN | | |
| CHECKED | | |
| APPROVED | | |

VIVA AT TREASURE COAST EAST
 CONCEPTUAL LANDSCAPE PLAN

| |
|----------------------|
| DATE: 01-25-22 |
| HORIZ. SCALE: 1"=10' |
| VERT. SCALE: N/A |
| JOB No. |
| SHEET 2 OF 2 |



SW 7636
Origami White
Interior / Exterior
Location Number: 259-C3

SIDING

SW 9056
French Moire
Interior / Exterior
Location Number: 173-C3

FRONT DOOR

SW 7746
Rushing River
Interior / Exterior
Location Number: 247-C6

GARAGE DOOR



STONE VENEER

SW 9185
Marea Baja
Interior / Exterior
Location Number: 279-C7

FRONT DOOR

SW 6169
Sedate Gray
Interior / Exterior
Location Number: 211-C1

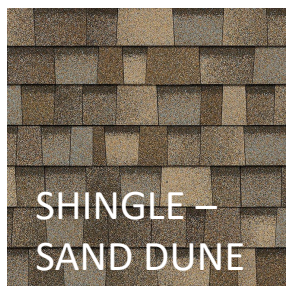
SIDING

SW 7636
Origami White
Interior / Exterior
Location Number: 259-C3

VERTICAL SIDING & GARAGE DOOR



SHINGLE – QUARRY GRAY



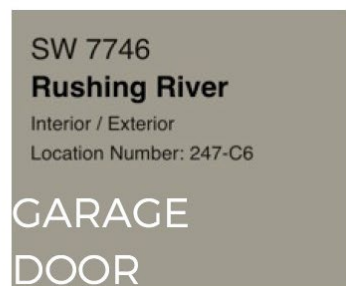
SW 7636
Origami White
Interior / Exterior
Location Number: 259-C3

SIDING



SW 9056
French Moire
Interior / Exterior
Location Number: 173-C3

FRONT DOOR

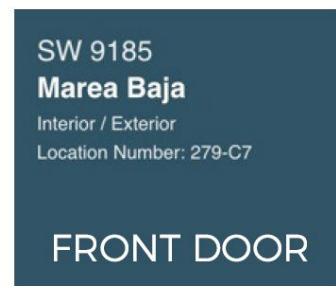


SW 7746
Rushing River
Interior / Exterior
Location Number: 247-C6

GARAGE DOOR

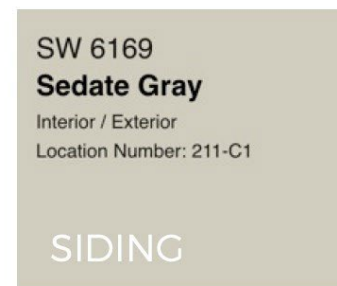


STONE VENEER



SW 9185
Marea Baja
Interior / Exterior
Location Number: 279-C7

FRONT DOOR



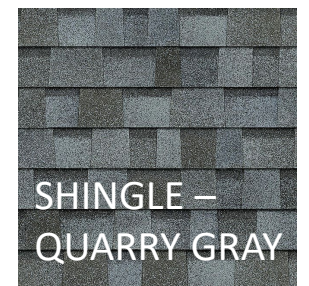
SW 6169
Sedate Gray
Interior / Exterior
Location Number: 211-C1

SIDING

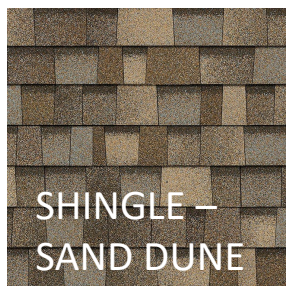


SW 7636
Origami White
Interior / Exterior
Location Number: 259-C3

VERTICAL SIDING & GARAGE DOOR



SHINGLE – QUARRY GRAY



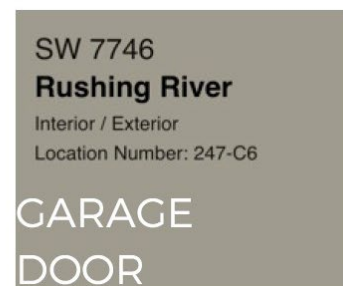
SW 7636
Origami White
Interior / Exterior
Location Number: 259-C3

SIDING



SW 9056
French Moire
Interior / Exterior
Location Number: 173-C3

FRONT DOOR

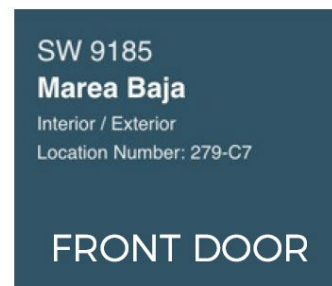


SW 7746
Rushing River
Interior / Exterior
Location Number: 247-C6

**GARAGE
DOOR**



STONE VENEER



SW 9185
Marea Baja
Interior / Exterior
Location Number: 279-C7

FRONT DOOR



SW 6169
Sedate Gray
Interior / Exterior
Location Number: 211-C1

SIDING

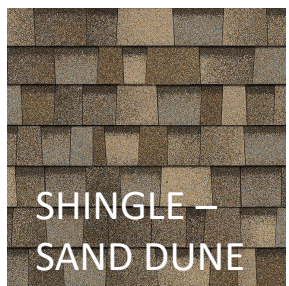


SW 7636
Origami White
Interior / Exterior
Location Number: 259-C3

**VERTICAL SIDING &
GARAGE DOOR**



**SHINGLE –
QUARRY GRAY**



SW 9058
Secret Cove
Interior / Exterior
Location Number: 173-C5

FRONT DOOR

SW 7746
Rushing River
Interior / Exterior
Location Number: 247-C6

SIDING

SW 6169
Sedate Gray
Interior / Exterior
Location Number: 211-C1

**VERTICAL SIDING &
GARAGE DOOR**



SW 9185
Marea Baja
Interior / Exterior
Location Number: 279-C7

FRONT DOOR

SW 6169
Sedate Gray
Interior / Exterior
Location Number: 211-C1

SIDING

SW 7636
Origami White
Interior / Exterior
Location Number: 259-C3

**VERTICAL SIDING &
GARAGE DOOR**



**SHINGLE –
QUARRY GRAY**