

Site Address: 4945 EDWARDS RD  
Sec/Town/Range: 30/35S/40E  
Parcel ID: 2430-244-0001-000-4  
Jurisdiction: Fort Pierce

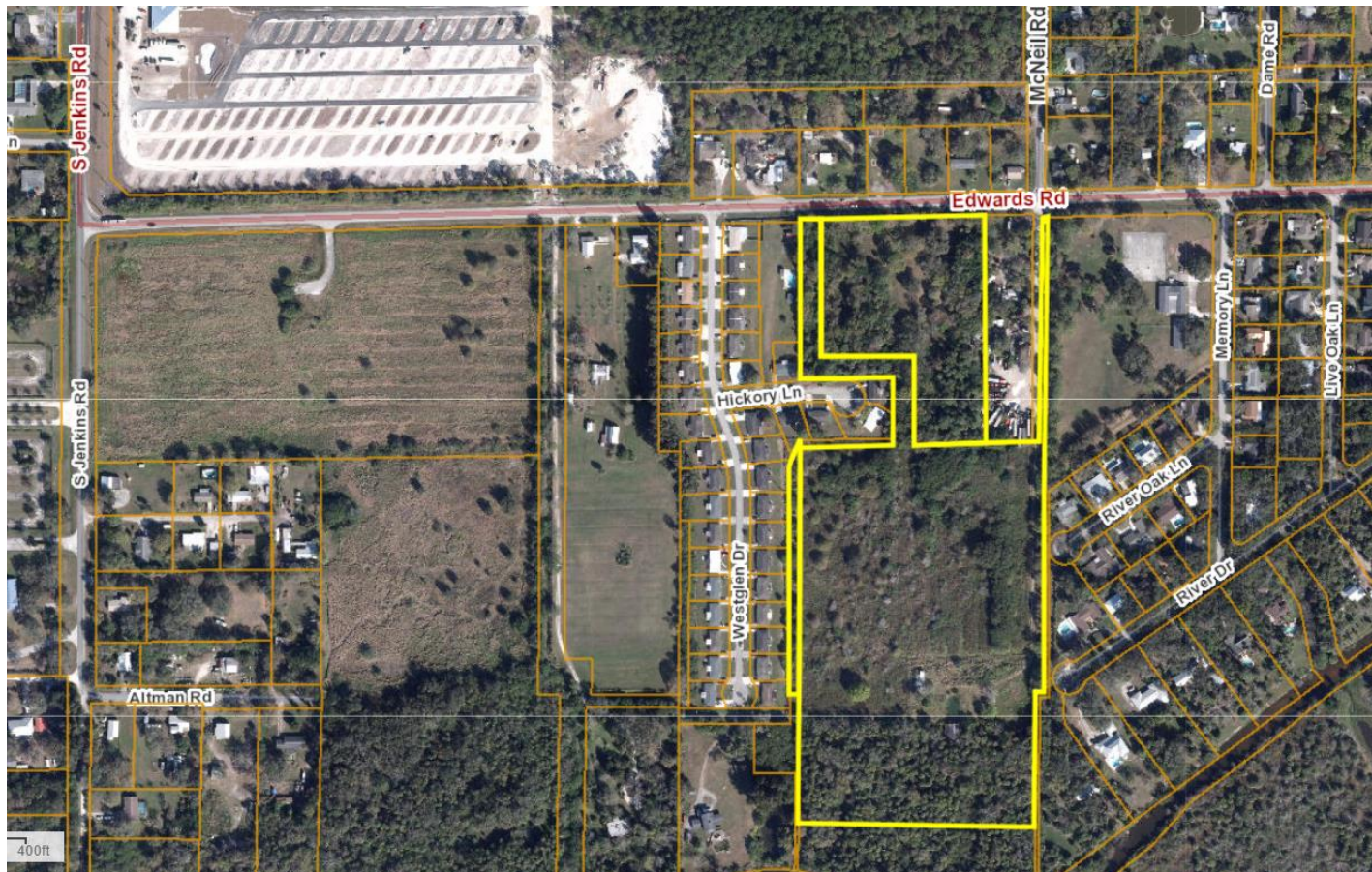
Use Type: 0100  
Account #: 32819  
Map ID: 24/30N  
Zoning: SF Low Den

Site Address: TBD  
Sec/Town/Range: 30/35S/40E  
Parcel ID: 2430-243-0001-000-1  
Jurisdiction: Fort Pierce

Use Type: 0000  
Account #: 32818  
Map ID: 24/30N  
Zoning: Medium Den

Site Address: 4963 EDWARDS RD  
Sec/Town/Range: 30/35S/40E  
Parcel ID: 2430-241-0002-000-2  
Jurisdiction: Saint Lucie County

Use Type: 6999  
Account #: 32813  
Map ID: 24/30N  
Zoning: Institutio





### Pre-Application Meeting

Pre-application meetings are scheduled on the 4th Wednesday of each month at 10:00 AM and the deadline for submittal is the first Friday of the month. The meetings are held both in person, in the 2nd Floor Conference Room of City Hall, or virtually via Microsoft Teams, which is set up by the Planning Department. The applicant or property owner is required to attend (in-person or virtually); architects, engineers, or contractors for the proposal are encouraged to attend. The fee for a pre-application meeting is \$300 (\$250 + \$50 Building Department Fee) with an additional \$250 fee for a "no show". To discuss or schedule a pre-application meeting please contact the Planning Department at (772) 467-3737 or email us at [planning\\_dl@cityoffortpierce.com](mailto:planning_dl@cityoffortpierce.com).

The minimum submittal requirements are as follows:

Site Plan

Detailed Project Narrative

Floor Plan

Survey

Proposed Use of the Property: Single-Family Residential Development (Please see attached narrative)

**Property address or location**

4945 Edwards Rd and 4963 Edwards Rd, Fort Pierce

**Parcel ID(s)**

2430-244-0001-000-4, 2430-243-0001-000-1, 2430-241-0002-000-2

**Property Owner(s) Name** Authorized Developer/ Applicant

Pulte Home Company, LLC

**Applicant/Representative, Company**

Cotleur and Hearing : Daniel T. Sorrow

**Street Address**

1475 Centerpark Blvd, Suite 305

**Street Address**

1934 Commerce Lane #

**City State Zip**

West Palm Beach FL 33401

**City State Zip**

Jupiter FL 33458

**Phone Number**

561-268-5821

**Phone Number**

561-406-1012

**Email Address**

Aimee.Carlson@Pulte.com

**Email Address**

dsorrow@cotleur-hearing.com

The property owner is aware that a Pre-Application meeting has been requested.

**Property Owner's Signature**

The purpose of the pre-application meeting is to assist the applicant in assembling a complete application. The pre-application meeting provides an applicant or property owner with specific process information, code requirements, and feedback from representatives of the Planning, Building, Engineering and Utilities Departments, for the proposal. The meeting also provides the applicant an opportunity to address any concerns or challenges that may arise during the process.

**EXHIBIT B**

**DEVELOPMENT AUTHORIZATION**

**JEAN WILSON HIPPOLITE** (“**Seller**”), as of this 19 day of January, 20 22 (the “**Effective Date**”), hereby designates **PULTE HOME COMPANY, LLC**, a Michigan limited liability company (“**Buyer**”), as its representative and agent to act on Seller’s behalf with regard to any documents, instruments, reports, studies, materials and plans necessary to apply for and obtain approval of any and all approvals, consents, licenses, agreements, authorizations, certificates and/or permits, other than building permits, that must be officially issued or rendered by any governmental authority and/or which are otherwise necessary and/or appropriate in order to permit the development of the below referenced property in Saint Lucie County, Florida (the “**Property**”) in accordance with that certain Real Estate Purchase and Sale Contract executed between Seller and Buyer of even date herewith. Buyer shall be authorized to file for approval of all of the Development Permits and represent Seller before any governmental authorities.

Seller hereby certifies that Seller is the fee simple owner of the Property designated as Saint Lucie County Parcel Identification Number 2430-241-0002-000-2.

Duly executed as of the date ascribed above.

  
\_\_\_\_\_  
**JEAN WILSON HIPPOLITE**

**EXHIBIT B**


**DEVELOPMENT AUTHORIZATION**

**ORANGE GARDENS DEVELOPMENT, INC.**, a Florida corporation ("**Seller**"), as of this 30<sup>th</sup> day of MARCH, 2022 (the "**Effective Date**"), hereby designates **PULTE HOME COMPANY, LLC**, a Michigan limited liability company ("**Buyer**"), as its representative and agent to act on Seller's behalf with regard to any documents, instruments, reports, studies, materials and plans necessary to apply for and obtain approval of any and all approvals, consents, licenses, agreements, authorizations, certificates and/or permits, other than building permits, that must be officially issued or rendered by any governmental authority and/or which are otherwise necessary and/or appropriate in order to permit the development of the below referenced property in Saint Lucie County, Florida (the "**Property**") in accordance with that certain Real Estate Purchase and Sale Contract executed between Seller and Buyer of even date herewith. Buyer shall be authorized to file for approval of all of the Development Permits and represent Seller before any governmental authorities.

Seller hereby certifies that it is the fee simple owner of the Property designated as Saint Lucie County Tax Parcel Nos. 2430-243-0001-000-1 and 2430-244-0001-000-4.

Duly executed as of the date ascribed above.

**ORANGE GARDENS DEVELOPMENT,  
INC.**, a Florida corporation

By:   
Name: DR. JANOS MUENICH  
Title: PRESIDENT

March 21<sup>st</sup>, 2022  
City of Fort Pierce  
Planning Department  
100 N. U.S. Highway 1  
Fort Pierce, FL 34950

**Re: Consent of the Developer/ Applicant: Pulte Home Company, LLC**  
**Parcel ID's: 2430-241-0002-000-2, 2430-244-0001-000-4, and 2430-243-0001-000-1**

To Whom It May Concern,

Please be advised that the undersigned is the applicant of the subject properties located at 4963 Edwards Rd, 4945 Edwards Rd, and a 0.44-AC property located west of 4945 Edwards Rd, Fort Pierce. The undersigned hereby gives consent to Cotleur & Hearing to file a pre-application, site plan applications, any similar Planning applications, and to carry out discussions and meetings with the City of Fort Pierce.

For: Amee Carlson  
Signatory Authority Amee Carlson  
Amee Carlson  
Printed Name

3/30/22

Date:

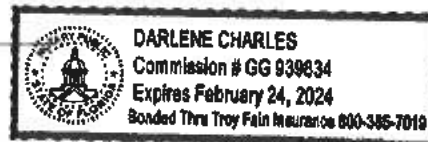
NOTARY ACKNOWLEDGEMENT  
STATE OF Florida  
COUNTY OF Palm Beach

I hereby certify that the foregoing instrument was acknowledged before me this 30 day of March, 2022, by Amee Carlson.

He or she

is personally known to me or  has produced \_\_\_\_\_ as  
identification.

Darlene Charles  
Notary public signature



Printed name

State of Florida at-large

**April 1<sup>st</sup>, 2022**

City of Fort Pierce  
 Planning Department  
 100 North U.S.1  
 Fort Pierce, FL 34950

Re :      Project Name :            Pulte at Edwards Rd  
           Application Type :        Pre-application Request  
           Parcel ID's :                2430-244-0001-000-4  
                                               2430-243-0001-000-1  
                                               2430-241-0002-000-2  
           Project Size:                22.43  
           Site Addresses:            4945 Edwards Rd and 4963 Edwards Rd

Dear Planning Department,

On behalf of the applicant, Pulte Home Company LLC, Cotleur and Hearing is submitting this pre-application which consists of a request to review Pulte at Edwards Rd site plan.

The proposed residential project will require an annexation for the parcel ending in 000-2, as it is currently located in St. Lucie County. Also, a comprehensive plan map amendment will be required to change the Future Land Use category of the parcels ending in 000-2 and 000-1 to Low-Density Residential (1-6.5 du/ac). Once the above process is completed, all three parcels will require a rezoning to Planned Development (PD). The purpose of PD rezoning is to encourage innovative and aesthetically pleasing land development while preserving onsite natural elements.

**Please see below tables of required process:**

Existing property data:

Existing	Parcel 1: 2430-244-0001-000-4	Parcel 2 2430-243-0001-000-1	Parcel 3 2430-241-0002-000-2
<b>Total AC</b>	16.54	0.44	5.45
<b>Site Address</b>	4945 Edwards Rd	TBD	4963 Edwards Rd
<b>Jurisdiction</b>	City of Fort Pierce	City of Fort Pierce	St. Lucie County
<b>Zoning</b>	R1	R4	I
<b>Future land Use</b>	RL	RH	P/F
<b>Residential Density per FLU</b>	1-6.5 du/ac	12-18 du/ac	---

Required Planning Process:

	<b>Parcel 1: 2430-244-0001-000-4</b>	<b>Parcel 2: 2430-243-0001-000-1</b>	<b>Parcel 3: 2430-241-0002-000-2</b>
<b>Annexation</b>	Not Required	Not Required	Required Annexation
<b>Comprehensive Map Amendment</b>	RL (no changes required)	From R4 to RL	From P/F to RL
<b>Rezoning to PD</b>	From R-1 to PD	From R-4 to PD	From I to PD
<b>Major Site Plan</b>			

The proposed site plan is compatible with the surrounding land use in density and intensity of use as the subject site is predominantly surrounded by Medium Density Residential (R-4), Single-Family Intermediate Residency (R-2), and Planned Development (PD) zoning districts.

The maximum gross density of the proposed site plan is 3.5 du/ac which is compatible with a Low-Density Residential (RL) FLU allowed residential density. The project will have approximately seventy-nine (79) 40' single-family lots. An estimated 2-acres of the existing wetland on-site will be preserved, and 1.6 acres of lake area will be provided. The community will also be served with a half-acre recreational amenity center and 0.3-acres of rain gardens. Moreover, the project is considered an infill development, as it is taking advantage of an unused property surrounded by other developments. Therefore, the proposed Pulte development will be utilizing existing public services such as water, sewer, and waste collection.

Included in this submittal package is the signed pre-application, conceptual site plan, Boundary survey, Architectural floor plans and elevations, developer’s consent letter, development authorization, future land use Map, and existing zoning map.

Should you have any questions or need clarification about this project, please do not hesitate to contact me at [dsorrow@cotleur-hearing.com](mailto:dsorrow@cotleur-hearing.com) or 561-747-6336.

Sincerely,

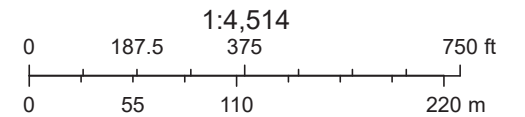


Cotleur & Hearing  
 Daniel T. Sorrow, AICP, RLA, LEED AP BD+C  
 1934 Commerce Lane, Suite 1  
 Jupiter, FL 33458  
 561.800.8426 Cell  
 561.747.6336 Office

# Saint Lucie County Property Appraiser



April 1, 2022

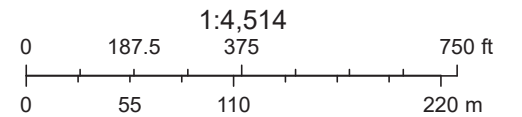


Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

# Saint Lucie County Property Appraiser



April 1, 2022



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

# BOUNDARY SURVEY

## SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST

**NOTES**  
**COORDINATES, BEARINGS AND DISTANCES**  
 COORDINATES SHOWN ARE GRID  
 DATUM = NAD 83 1990 ADJUSTMENT  
 ZONE = FLORIDA EAST  
 LINEAR UNIT = US SURVEY FEET  
 COORDINATE SYSTEM 1983 STATE PLANE  
 TRANSVERSE MERCATOR PROJECTION  
 ALL DISTANCES ARE GROUND, UNLESS OTHERWISE NOTED  
 SCALE FACTOR = 0.999988072  
 GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE  
 ROTATION ANGLE FROM DEED BEARINGS TO GRID BEARINGS  
 IS COUNTERCLOCKWISE 00°31'45"

N89°02'18"E (DEED BEARING)  
 N88°30'33"E (GRID BEARING)  
 NORTH LINE OF THE SOUTH 1/2  
 OF THE NORTHWEST 1/4

FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 ORDER NO: 10084741  
 ISSUING OFFICE FILE NUMBER: 035447.078366  
 COMMITMENT DATE: DECEMBER 8, 2021 @ 5:00 PM  
 SCHEDULE B-II EXCEPTIONS

FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 ORDER NO: 10204683  
 ISSUING OFFICE FILE NUMBER: PULTE ORANGE GARDENS  
 COMMITMENT DATE: FEBRUARY 4, 2022 @ 5:00 PM  
 SCHEDULE B-II EXCEPTIONS

**3. STANDARD EXCEPTIONS:**

- A. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
- B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.
- C. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
- D. TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS.
- 4. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, FLORIDA STATUTES, IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY FOR UNPAID SERVICE CHARGES FOR SERVICE BY ANY WATER, SEWER OR GAS SYSTEM SUPPLYING THE INSURED LAND.
- 5. EASEMENT IN FAVOR OF FORT PIERCE UTILITIES AUTHORITY OF THE CITY OF FORT PIERCE, FLORIDA AS SET FORTH IN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 672, PAGE 1129.  
**[AFFECTS - SHOWN HEREON]**

**DESCRIPTION: "A"**

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTH 1/2 OF SAID NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE RUN NORTH 89°02'18" EAST, ALONG THE NORTH LINE OF SAID SOUTH 1/2, A DISTANCE OF 2024.51 FEET, TO AN INTERSECTION WITH THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, ALSO BEING THE NORTHERLY EXTENSION OF THE EAST LINE OF WESTGLEN, A SUBDIVISION AS RECORDED IN PLAT BOOK 14, PAGE 51 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE SOUTH 00°34'45" WEST, ALONG SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, A DISTANCE OF 21.73 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD, AS LAID OUT AND NOW IN USE FOR THE POINT OF BEGINNING; THENCE RUN NORTH 88°43'09" EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE A DISTANCE OF 60.02 FEET TO A POINT; THENCE SOUTH 00°19'48" WEST ALONG A LINE 60 FEET EAST OF AND PARALLEL TO THE EAST LINE OF TRACT "A" AND LOT 7 OF WESTGLEN SUBDIVISION, PLAT BOOK 14, PAGE 51, ST. LUCIE COUNTY, FLORIDA, A DISTANCE OF 394.11 FEET; THENCE NORTH 89°30'46" EAST ALONG A LINE 60 FEET NORTH OF AND PARALLEL TO THE NORTH LINE OF LOT 8 OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 259.73 FEET; THENCE SOUTH 00°21'56" WEST ALONG A LINE 60 FEET EAST OF AND PARALLEL TO THE EAST LINE OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 247.76 FEET; THENCE RUN SOUTH 88°53'19" WEST A DISTANCE OF 60.02 FEET TO AN INTERSECTION WITH THE EAST LINE OF SAID WESTGLEN SUBDIVISION; THENCE RUN NORTH 00°37'24" EAST ALONG SAID EAST LINE OF WESTGLEN SUBDIVISION, A DISTANCE OF 188.33 FEET, TO THE NORTHERLY LINE OF LOT 8 OF SAID WESTGLEN SUBDIVISION; THENCE RUN SOUTH 89°22'14" WEST ALONG SAID NORTHERLY LINE OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 259.69 FEET, TO A POINT OF INTERSECTION WITH THE SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, ALSO BEING THE EASTERLY LINE OF SAID WESTGLEN SUBDIVISION; THENCE RUN NORTH 00°34'45" WEST ALONG SAID WEST LINE 453.29 FEET TO A POINT OF INTERSECTION WITH SAID SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD AND THE POINT OF BEGINNING.

AND

THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 AND THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST, EXCEPTING THEREFROM CANAL RIGHT OF WAY, SAID PROPERTY LYING AND BEING IN ST. LUCIE COUNTY, FLORIDA.

AND

THE EAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, LESS WEST GLEN AS IN PLAT BOOK 14, PAGE 51, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, ALL LYING AND BEING IN SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST.

- 1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS FORM.
- 2. TAXES AND ASSESSMENTS FOR THE YEAR 2022 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.
- 3. STANDARD EXCEPTIONS:
  - A. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
  - B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.
  - C. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
  - D. TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS.
- 4. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, FLORIDA STATUTES, IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY FOR UNPAID SERVICE CHARGES FOR SERVICE BY ANY WATER, SEWER OR GAS SYSTEM SUPPLYING THE INSURED LAND.

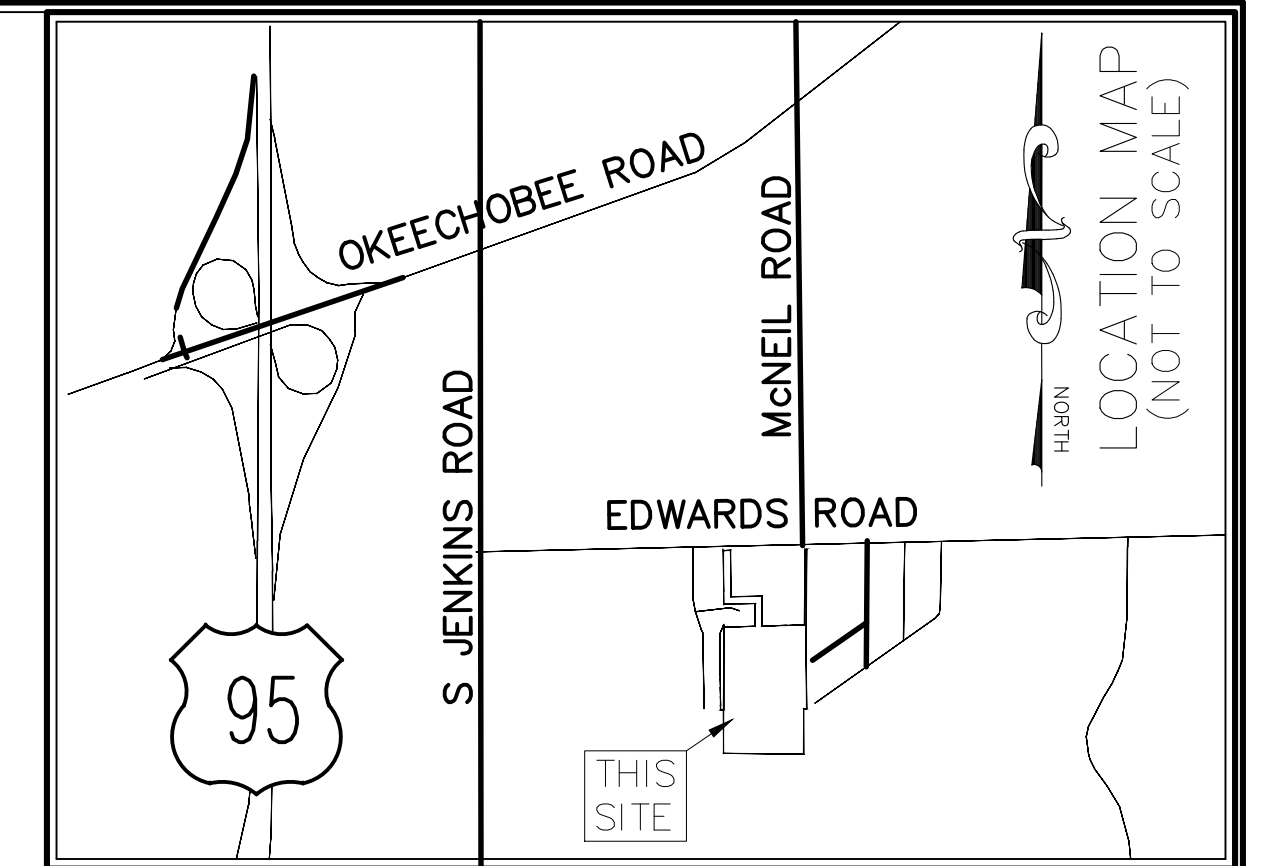
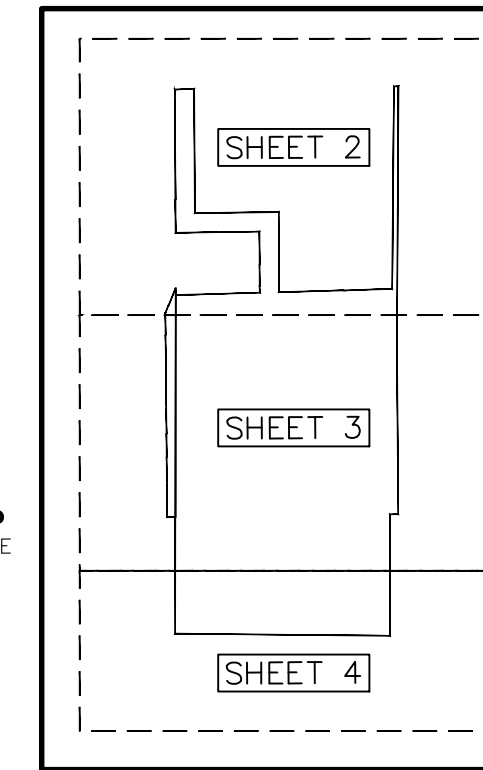
**DESCRIPTION: "B"**

A PARCEL OF LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTH 1/2 OF SAID NORTHWEST 1/4 OF SECTION 30; THENCE RUN NORTH 89°02'18" EAST, ALONG THE NORTH LINE OF SAID SOUTH 1/2, A DISTANCE OF 2024.51 FEET, TO AN INTERSECTION WITH THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, ALSO BEING THE NORTHERLY EXTENSION OF THE EAST LINE OF WESTGLEN, A SUBDIVISION AS RECORDED IN PLAT BOOK 14, PAGE 51 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE RUN SOUTH 00°34'45" WEST, ALONG SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, A DISTANCE OF 21.73 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD, AS LAID OUT AND NOW IN USE FOR THE POINT OF BEGINNING; THENCE RUN NORTH 88°43'09" EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, A DISTANCE OF 517.82 FEET, TO A POINT BEING 157.08 FEET, WESTERLY OF THE EAST LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4, THENCE RUN SOUTH 00°28'52" WEST, A DISTANCE OF 646.35 FEET, TO A POINT LYING 17.97 FEET NORTH OF THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 ALSO BEING AT A POINT LYING 154.62 FEET, WESTERLY OF THE EAST LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4, THENCE RUN SOUTH 88°53'19" WEST, A DISTANCE OF 259.44 FEET, TO AN INTERSECTION WITH THE EAST LINE OF SAID WESTGLEN, THENCE RUN NORTH 00°37'24" EAST, ALONG SAID EAST LINE OF WESTGLEN SUBDIVISION, A DISTANCE OF 188.73 FEET, TO THE NORTHERLY LINE OF SAID WESTGLEN SUBDIVISION, THENCE RUN SOUTH 89°22'14" WEST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 259.53 FEET TO A POINT OF INTERSECTION WITH THE SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, ALSO BEING THE EASTERLY LINE OF SAID WESTGLEN, THENCE RUN NORTH 00°34'45" WEST, ALONG SAID WEST LINE 453.94 FEET TO A POINT OF INTERSECTION WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF EDWARDS ROAD AND THE POINT OF BEGINNING.

LESS AND EXCEPT:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTH 1/2 OF SAID NORTHWEST 1/4 OF SECTION 30; THENCE RUN NORTH 89°02'18" EAST, ALONG THE NORTH LINE OF SAID SOUTH 1/2, A DISTANCE OF 2024.51 FEET, TO AN INTERSECTION WITH THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, ALSO BEING THE NORTHERLY EXTENSION OF THE EAST LINE OF WESTGLEN, A SUBDIVISION AS RECORDED IN PLAT BOOK 14, PAGE 51 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE SOUTH 00°34'45" WEST, ALONG SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, A DISTANCE OF 21.73 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD, AS LAID OUT AND NOW IN USE FOR THE POINT OF BEGINNING; THENCE RUN NORTH 88°43'09" EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, A DISTANCE OF 60.02 FEET TO A POINT; THENCE SOUTH 00°19'48" WEST ALONG A LINE 60 FEET EAST OF AND PARALLEL TO THE EAST LINE OF TRACT "A" AND LOT 7 OF WESTGLEN SUBDIVISION, PLAT BOOK 14, PAGE 51, ST. LUCIE COUNTY, FLORIDA, A DISTANCE OF 394.11 FEET; THENCE NORTH 89°30'46" EAST ALONG A LINE 60 FEET NORTH OF AND PARALLEL TO THE NORTH LINE OF LOT 8 OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 259.73 FEET; THENCE SOUTH 00°21'56" WEST ALONG A LINE 60 FEET EAST OF AND PARALLEL TO THE EAST LINE OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 247.76 FEET; THENCE RUN SOUTH 88°53'19" WEST A DISTANCE OF 60.02 FEET TO AN INTERSECTION WITH THE EAST LINE OF SAID WESTGLEN SUBDIVISION; THENCE RUN NORTH 00°37'24" EAST ALONG SAID EAST LINE OF WESTGLEN SUBDIVISION, A DISTANCE OF 188.33 FEET, TO THE NORTHERLY LINE OF LOT 8 OF SAID WESTGLEN SUBDIVISION; THENCE RUN SOUTH 89°22'14" WEST ALONG SAID NORTHERLY LINE OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 259.69 FEET, TO A POINT OF INTERSECTION WITH THE SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, ALSO BEING THE EASTERLY LINE OF SAID WESTGLEN SUBDIVISION; THENCE RUN NORTH 00°34'45" WEST ALONG SAID WEST LINE 453.29 FEET TO A POINT OF INTERSECTION WITH SAID SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD AND THE POINT OF BEGINNING.



**LEGEND**

- A/C - AIR CONDITIONER
- AKA - ALSO KNOWN AS
- L - ARC LENGTH
- EL - ELEVATION
- FND. - FOUND
- I.R./CAP - IRON ROD & CAP
- INV. - INVERT
- O.R.B. - OFFICIAL RECORD BOOK
- P.B. - PLAT BOOK
- P.B./C.R. - PALM BEACH COUNTY RECORD
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- PGS. - PAGES
- P.R.M. - PERMANENT REFERENCE MONUMENT
- R - RADIUS
- RE - ROOF ELEVATION
- RGE - RANGE
- SEC - SECTION
- Δ - DELTA (CENTRAL ANGLE)
- SQ. FT. - SQUARE FEET
- TWP. - TOWNSHIP
- OHE- - ELECTRICAL WIRES OVERHEAD
- FM- - FORCE MAIN
- W- - WATER MAIN
- IRR- - IRRIGATION LINE
- TEL- - PHONE OR FIBER OPTIC LINE
- STM- - STORM LINE
- SS- - SEWER LINE
- 1000 - EXISTING ELEVATION

**SYMBOLS:**

- ▲ = HORIZONTAL CONTROL POINT
- ⊕ = BENCHMARK
- ♻️ = TRASH CONTAINER
- ⊕ = UNIDENTIFIED HANDHOLE
- ⊕ = UNIDENTIFIED BOX
- ⊕ = NATURAL GAS MARKER
- ⊕ = SIGN
- ⊕ = BOLLARD
- ⊕ = TRAFFIC HANDHOLE
- ⊕ = CROSSWALK SIGNAL
- ⊕ = MAST ARM / TRAFFIC LIGHT
- ⊕ = SET/FOUND BOUNDARY POINT
- ⊕ = FOUND CONCRETE MONUMENT
- ⊕ = FIBER OPTIC BOX
- ⊕ = FIBER OPTIC VAULT
- ⊕ = TELEPHONE SERVICE MANHOLE
- ⊕ = CABLE TV HANDHOLE
- ⊕ = CABLE TV BOX
- ⊕ = SEWER GATE VALVE
- ⊕ = SANITARY MANHOLE
- ⊕ = DRAINAGE MANHOLE
- ⊕ = YARD DRAIN
- ⊕ = AREA OF APPARENT PHYSICAL USE BY ADJOINING LANDS
- ⊕ = CATCH BASIN
- ⊕ = DRAINAGE PIPE END
- ⊕ = ELECTRIC SWITCH
- ⊕ = ELECTRIC HANDHOLE
- ⊕ = ELECTRIC VAULT
- ⊕ = ELECTRIC METER
- ⊕ = ELECTRIC BOX
- ⊕ = TRANSFORMER
- ⊕ = GROUND LIGHT
- ⊕ = LIGHT POLE
- ⊕ = CONCRETE POWER POLE
- ⊕ = WOOD POWER POLE
- ⊕ = GUY WIRE ANCHOR
- ⊕ = PUMP
- ⊕ = FIRE HYDRANT
- ⊕ = WATER GATE VALVE
- ⊕ = BACKFLOW PREVENTER
- ⊕ = IRRIGATION RISER/PEDASTAL
- ⊕ = IRRIGATION CONTROL VALVE
- ⊕ = WATER METER
- ⊕ = WELL
- ⊕ = WATER VALVE
- ⊕ = SECTION CORNER

**NOTES**

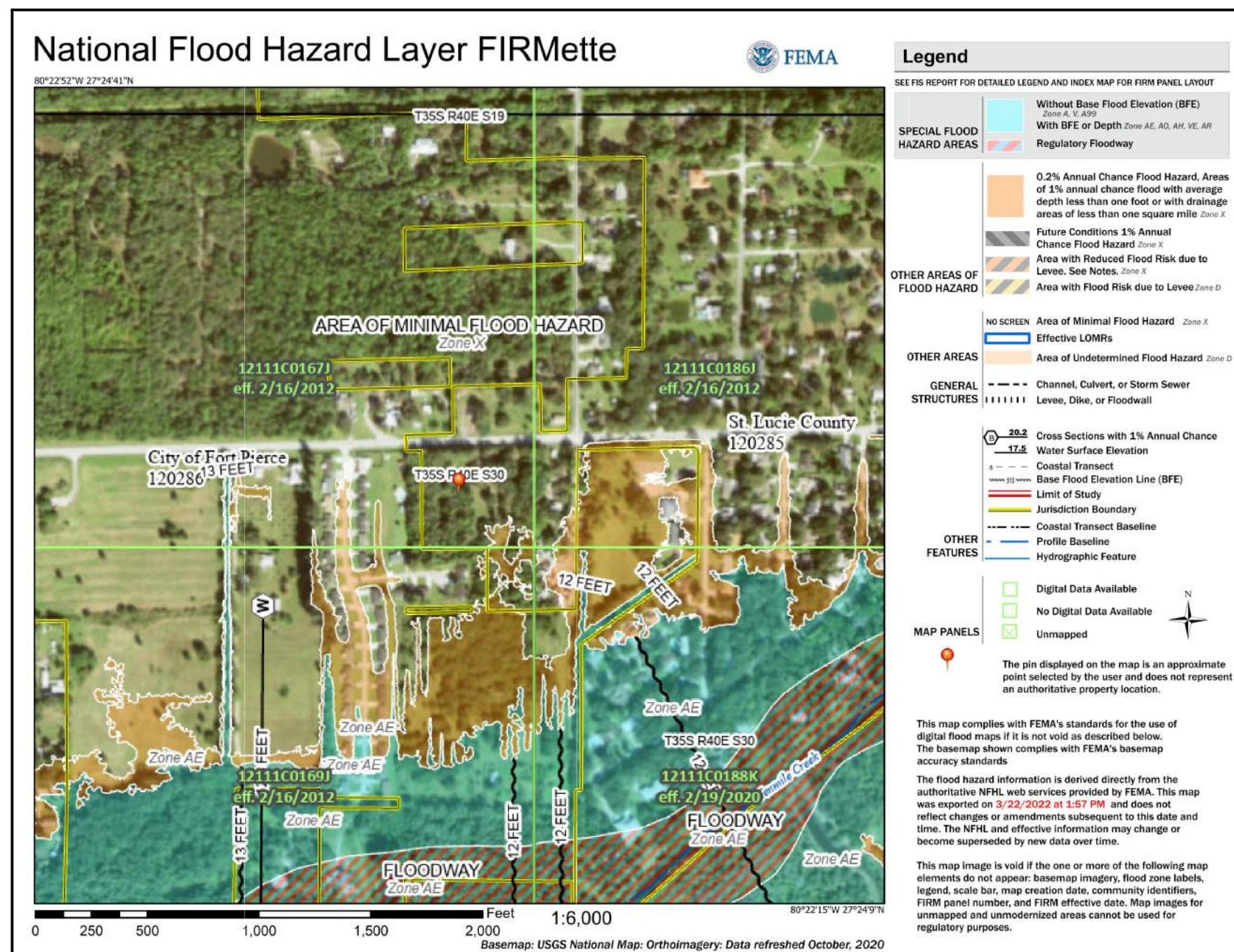
1. THIS SURVEY OR REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
2. COORDINATES SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT), AS PUBLISHED BY PALM BEACH COUNTY.
3. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
4. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5. FLOOD ZONE - "X" & ZONE AE, PANEL NO. 12111C0167J, 12111C0169J, 1211C0186J, 12111C018188K EFFECTIVE DATE OF FEBRUARY 16, 2012.
6. BEARINGS SHOWN HEREON ARE RELATIVE TO THE EAST LINE OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH RANGE 40 EAST.
7. BEARINGS AND DISTANCES ARE RECORDED, UNLESS NOTED OTHERWISE.
8. LANDS SHOWN HEREON WERE ABSTRACTED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: 035447.078366 AND ORDER NO: 1008471. EFFECTIVE DATE DECEMBER 08th, 2021 @ 5:00AM. PLOTTABLE INSTRUMENTS ARE SHOWN ON THE SURVEY.
9. LANDS SHOWN HEREON WERE ABSTRACTED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: PULTE ORANGE GARDENS AND ORDER NO: 10204683. EFFECTIVE DATE FEBRUARY 4th, 2022 @ 5:00AM. PLOTTABLE INSTRUMENTS ARE SHOWN ON THE SURVEY.
10. PARENT BENCHMARK: PORT SAINT LUCIE BRASS DISK, "QUAIL" ELEVATION = 14.26'
11. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL BOUNDARIES-
12. THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY FROM EDWARDS ROAD, AND McNEIL ROAD A PUBLIC RIGHT-OF-WAY OWNED AND MAINTAINED BY SAINT LUCIE COUNTY.
13. AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK OR BUILDING CONSTRUCTION.
14. AT THE TIME OF THE SURVEY THERE WAS NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS, BUT THE SURVEYOR DOES HAVE KNOWLEDGE OF A PROPOSED WIDENING OF EDWARDS ROAD AND THE PROPOSED RIGHT-OF-WAY IS SHOWN HEREON.
15. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
16. SITE ADDRESS: 4963 EDWARDS ROAD , FORT PIERCE, FLORIDA 34981
17. ADJACENT LAND OWNERS SHOWN HEREON WERE OBTAINED FROM THE SAINT LUCIE COUNTY PROPERTY APPRAISER'S WEB-SITE ON DECEMBER 27, 2021.
18. THE LEGAL DESCRIPTION MATCHES THE LEGAL DESCRIPTION IN THE TITLE COMMITMENT.

**CERTIFIED TO:**

FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 PULTE HOME COMPANY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY  
 ORANGE GARDENS DEVELOPMENT, INC., A FLORIDA CORPORATION

**CERTIFICATE:**

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON FEBRUARY 2, 2021. I FURTHER CERTIFY THAT THIS SPECIFIC PURPOSE SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.



REVISIONS	DATE	BY

**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING - LAND PLANNING  
 AND SCAPE ARCHITECTURE - SURVEYING  
 7900 GLADES ROAD - SUITE 100  
 BOCA RATON, FLORIDA 33434  
 PHONE (561) 392-1991 / FAX (561) 750-1452

**BOUNDARY SURVEY**  
 4963 EDWARDS ROAD,  
 FORT PIERCE, FLORIDA 34981

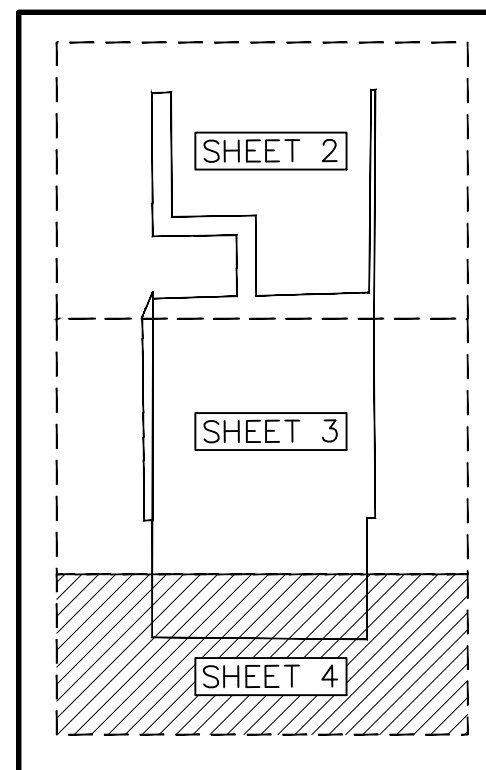
DATE	03/22/22
DRAWN BY	AMS
F.B./ PG.	ELEC
SCALE	SHOWN

DAVID P. LINDLEY  
 REGISTERED LAND  
 SURVEYOR NO. 5005  
 STATE OF FLORIDA  
 L.B. 3591

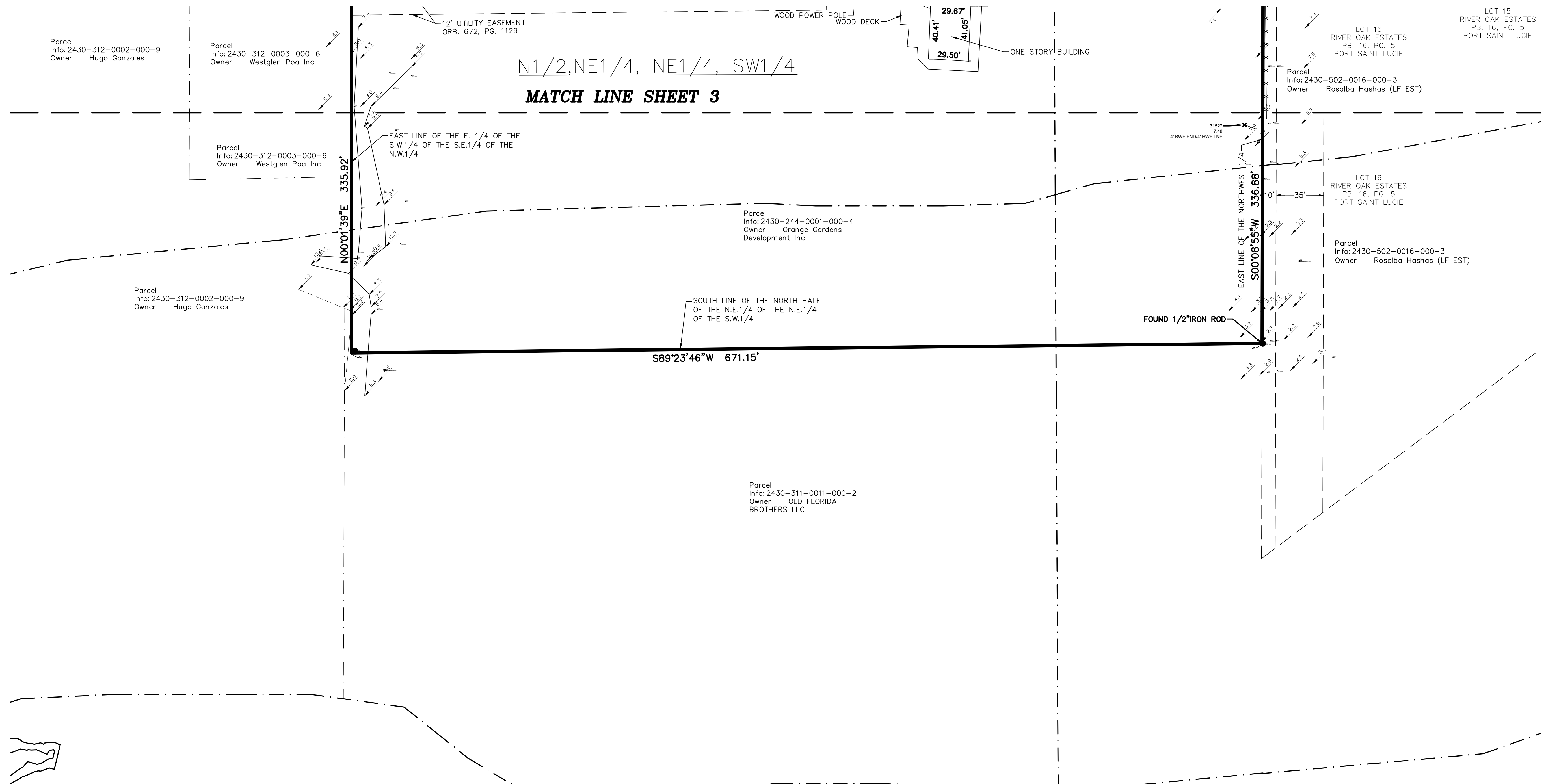
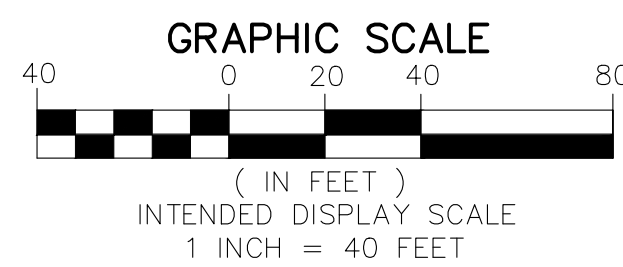
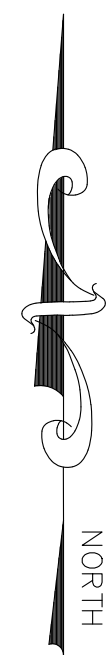
JOB #	0000
SHT. NO.	1
OF 4 SHEETS	







NORTH  
KEY MAP  
NOT TO SCALE

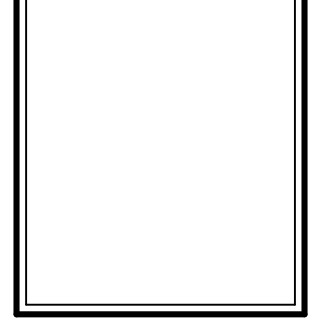


NO.	DATE	BY

**CAULFIELD & WHEELER, INC.**  
CIVIL ENGINEERING - LAND PLANNING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561)-392-1991 / FAX (561)-750-1452

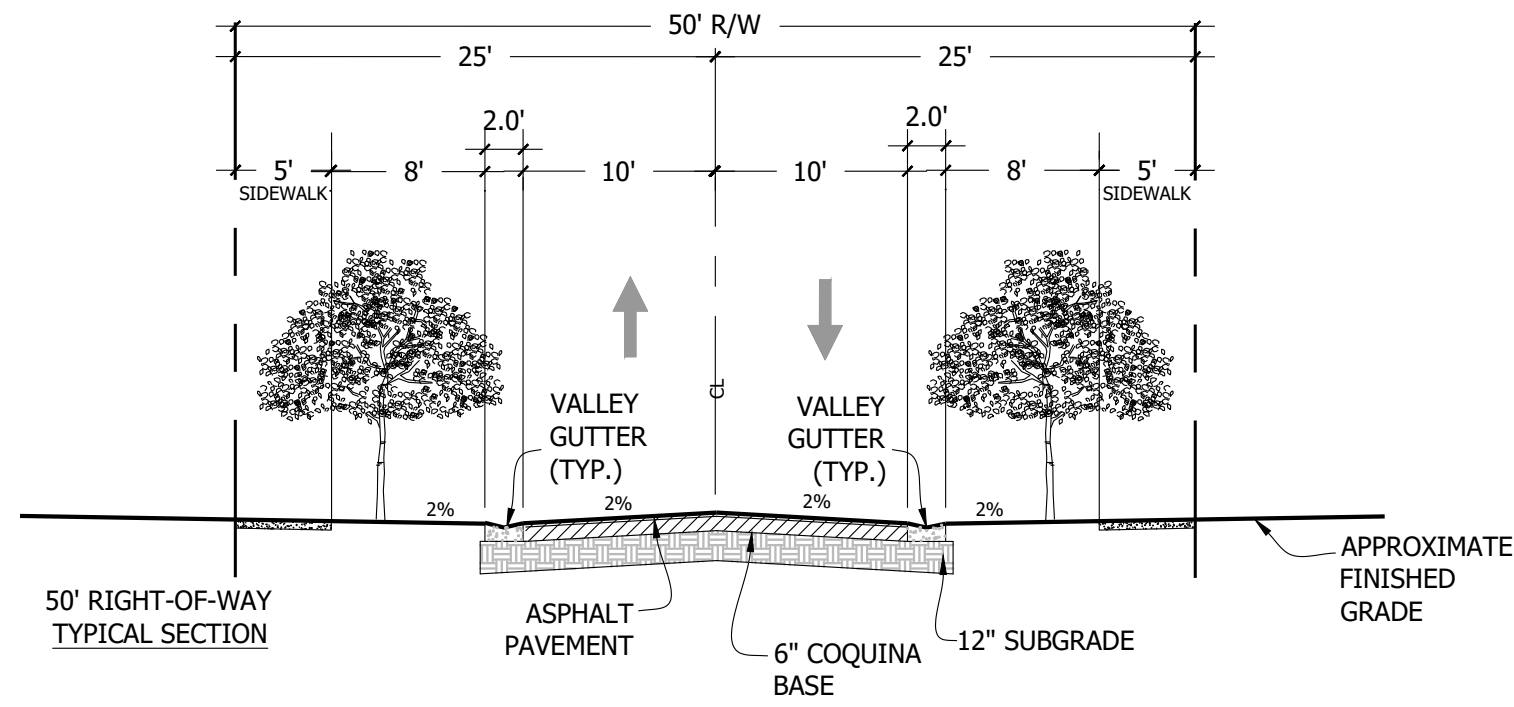
**BOUNDARY SURVEY**  
4963 EDWARDS ROAD,  
FORT PIERCE, FLORIDA 34981

DATE 03/22/22  
DRAWN BY AMS  
F.B./ PG. ELEC  
SCALE SHOWN

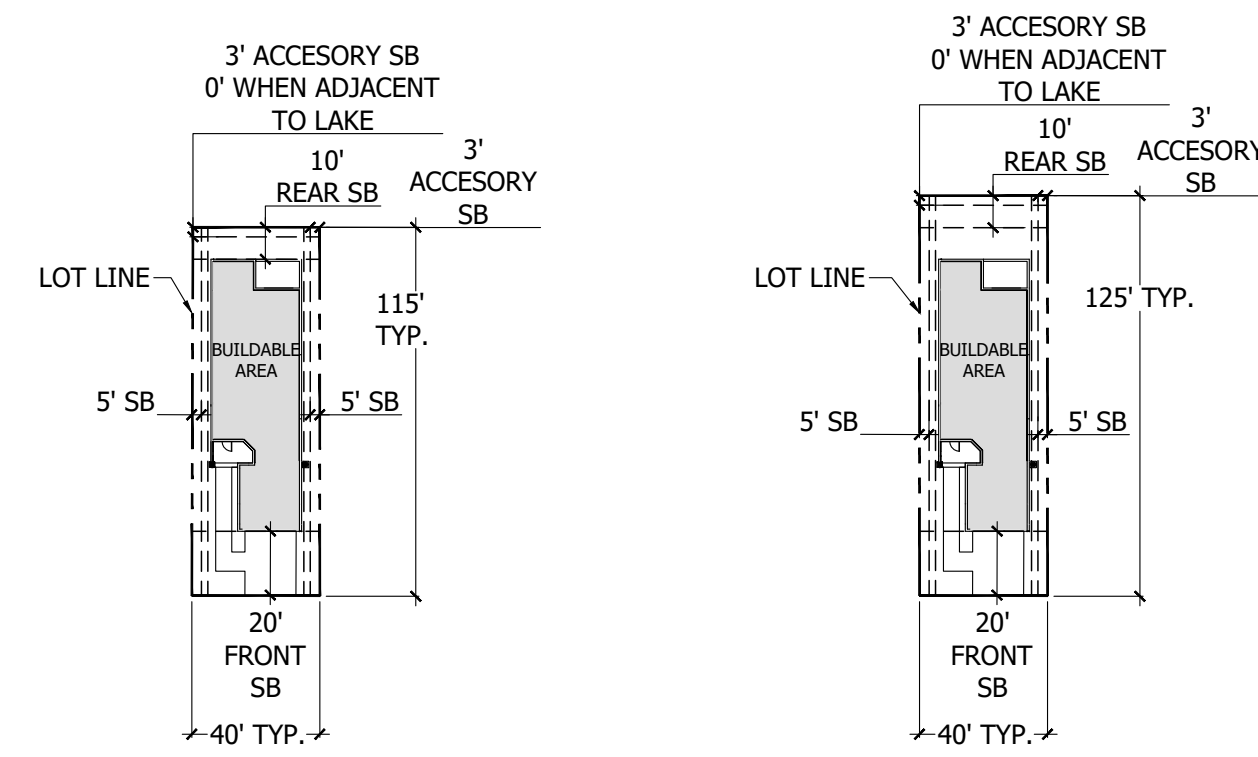


JOB # 0000  
SHT. NO.  
**4**  
OF 4 SHEETS

# 50' ROW TYPICAL



# LOT TYPICALS

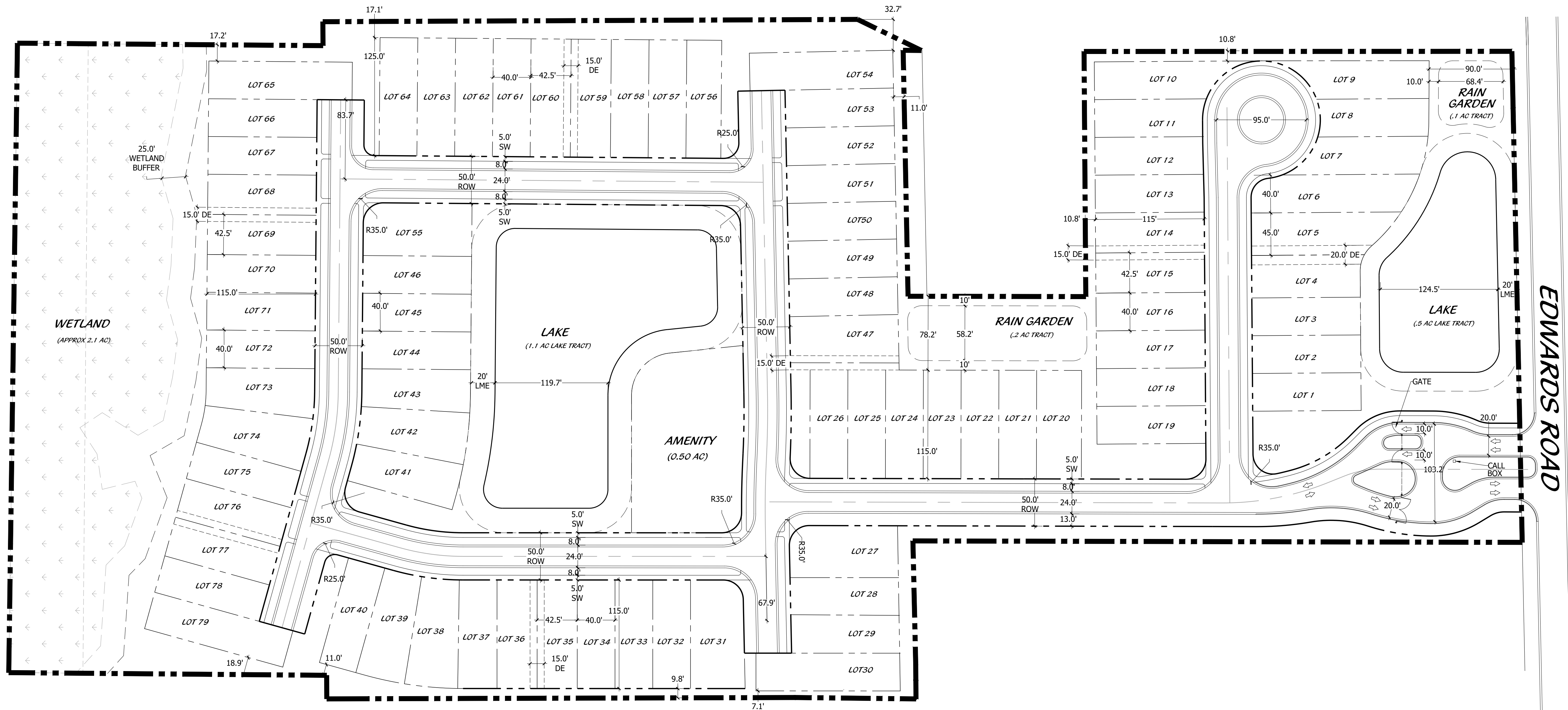


# SITE DATA

SITE AREA: 22.03 AC  
 WETLAND & BUFFER AREA: 2.60 AC  
 DEVELOPABLE AREA: 19.43 AC

LOTS: 79 - 40' SINGLE FAMILY (69 - 40' X 115', 9 - 40' X 125')  
 LF SITE PERIMETER: 6,425 LF  
 LF ROADS: 3,487 LF

OPEN SPACE: 6.9 AC (31.4% OF TOTAL AREA \*INCLUDES WETLAND)  
 ALL DRAINAGE: 2.9 AC (14.9% OF DEVELOPABLE AREA)  
 LAKE (TOB): 2.6 AC (13.4% OF DEVELOPABLE AREA)  
 LAKE (EOW): 1.6 AC (8.2% OF DEVELOPABLE AREA)



# PROJECT TEAM

CLIENT: PULTE HOMES

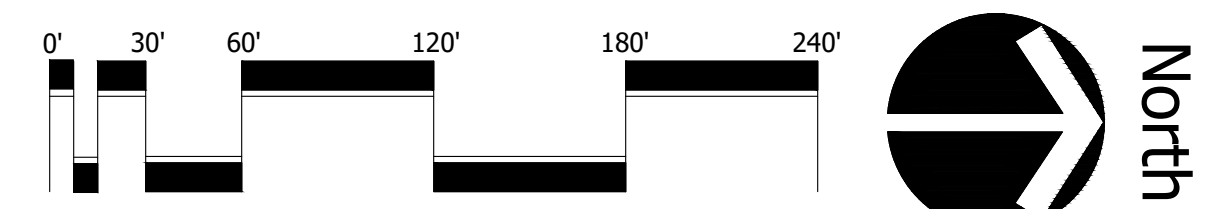
AGENT / PLANNER / LANDSCAPE ARCHITECT: COTLEUR & HEARING  
 1934 COMMERCE LN #1, JUPITER, FL 33458

ENVIRONMENTAL: EW CONSULTANTS  
 1000 SE MONTEREY COMMONS BLVD #208, STUART, FL 34996

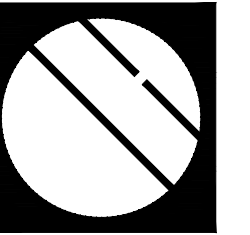
TRAFFIC ENGINEER: O'ROURKE ENGINEERING  
 1642 NW PALM LAKE DR, STUART, FL 34994

CIVIL ENGINEER: EDC  
 10250 SW VILLAGE PKWY SUITE 201, PORT ST. LUCIE, FL 34987

# CONCEPTUAL SITE PLAN



Scale: 1" = 60'-0"



# Cotleur & Hearing

Landscape Architects  
 Land Planners  
 Environmental Consultants

1934 Commerce Lane  
 Suite 1  
 Jupiter, Florida 33458  
 561.747.6336 · Fax 747.1377  
 www.cotleurhearing.com  
 Lic# LC-C000239

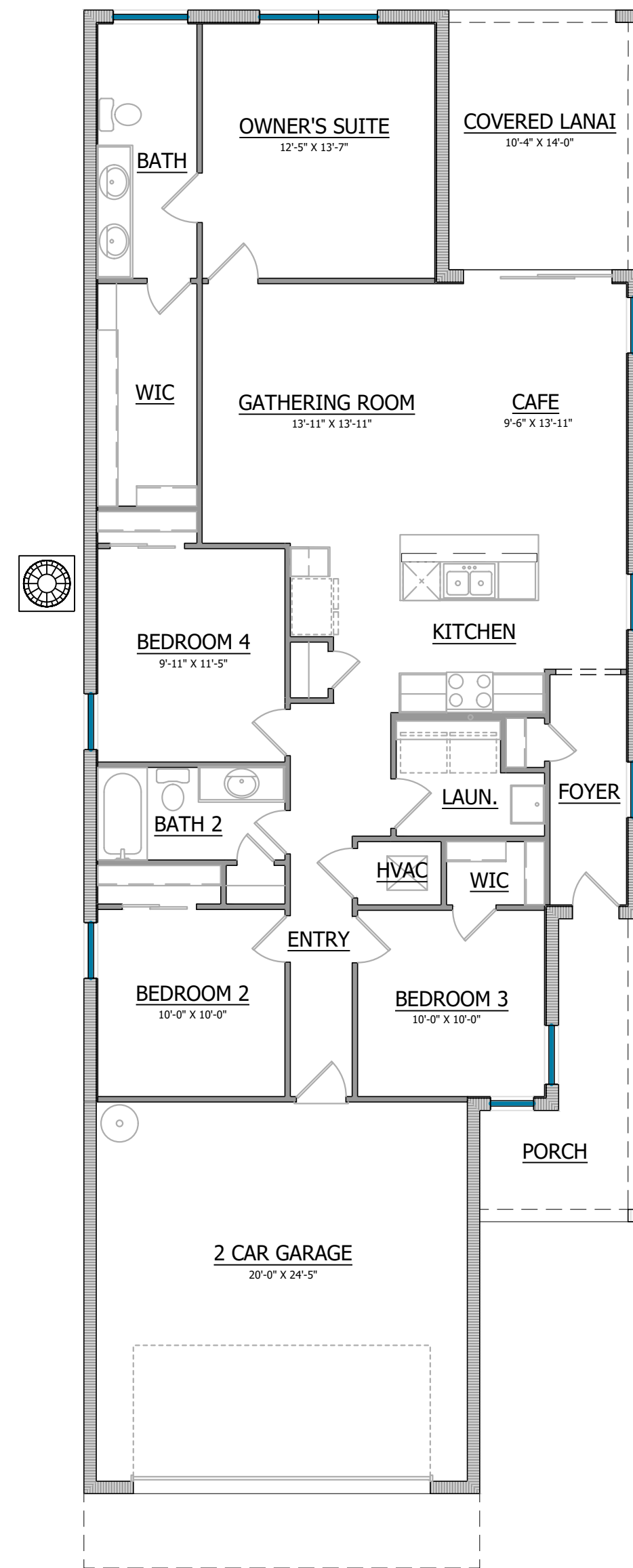
**PULTE - EDWARDS RD**  
 Ft. Pierce, Florida

DESIGNED DTS/JLD/ACE  
 DRAWN JLD/ACE  
 APPROVED DTS  
 JOB NUMBER 21-0913  
 DATE 04-01-22  
 REVISIONS

January 22, 2021 9:21:40 a.m.  
 Drawing: CAS1A CONCEPT.DWG

SHEET 1 OF 1  
 © COTLEUR & HEARING, INC.  
 These drawings are the property of the architect and are not to be used for extensions or on other projects except by agreement in writing with the architect. Immediately report any discrepancies to the architect.

# DANIEL



FIRST FLOOR PLAN

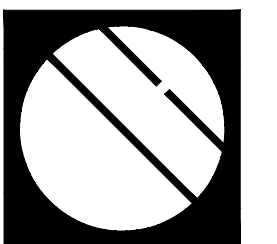
NO SCALE



FRONT ELEVATION

NO SCALE

- Typically 2-car garages will vary from left to right depending on lot conditions.
- No three (3) same models will be located next to each other on the same side of the street.
- The models construction consists of mainly concrete blocks and stucco.
- Each model embodies its own unique massing including features such as, entry ways and windows placed in different locations.
- Window locations vary with each model.
- The internal streetscape reduces monotony by providing street trees and different model types.
- All models feature alternative design elements such as paver driveways and numerous distinct plantings to reduce visual monotony.



**Cotleur & Hearing**

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Land Planners  
Environmental Consultants  
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Jupiter, Florida 33458  
561.747.6336 · Fax 747.1377  
www.cotleurhearing.com  
Lic# LC-26000535

**PULTE - EDWARDS RD**

Ft. Pierce, Florida

DANIEL

DESIGNED	DTS
DRAWN	JS
APPROVED	DTS
JOB NUMBER	21-0913
DATE	03-30-22
REVISIONS	

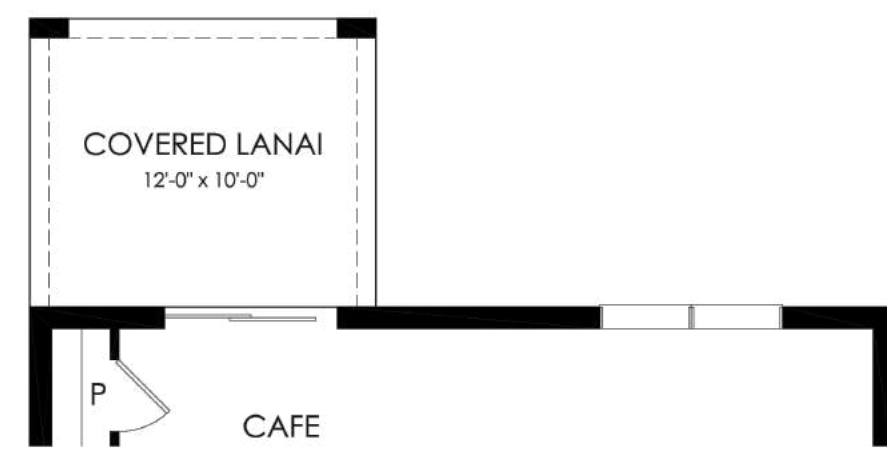
February 23, 2021  
Drawing: 191216 Arch dwg.DWG

SHEET 1 OF 2

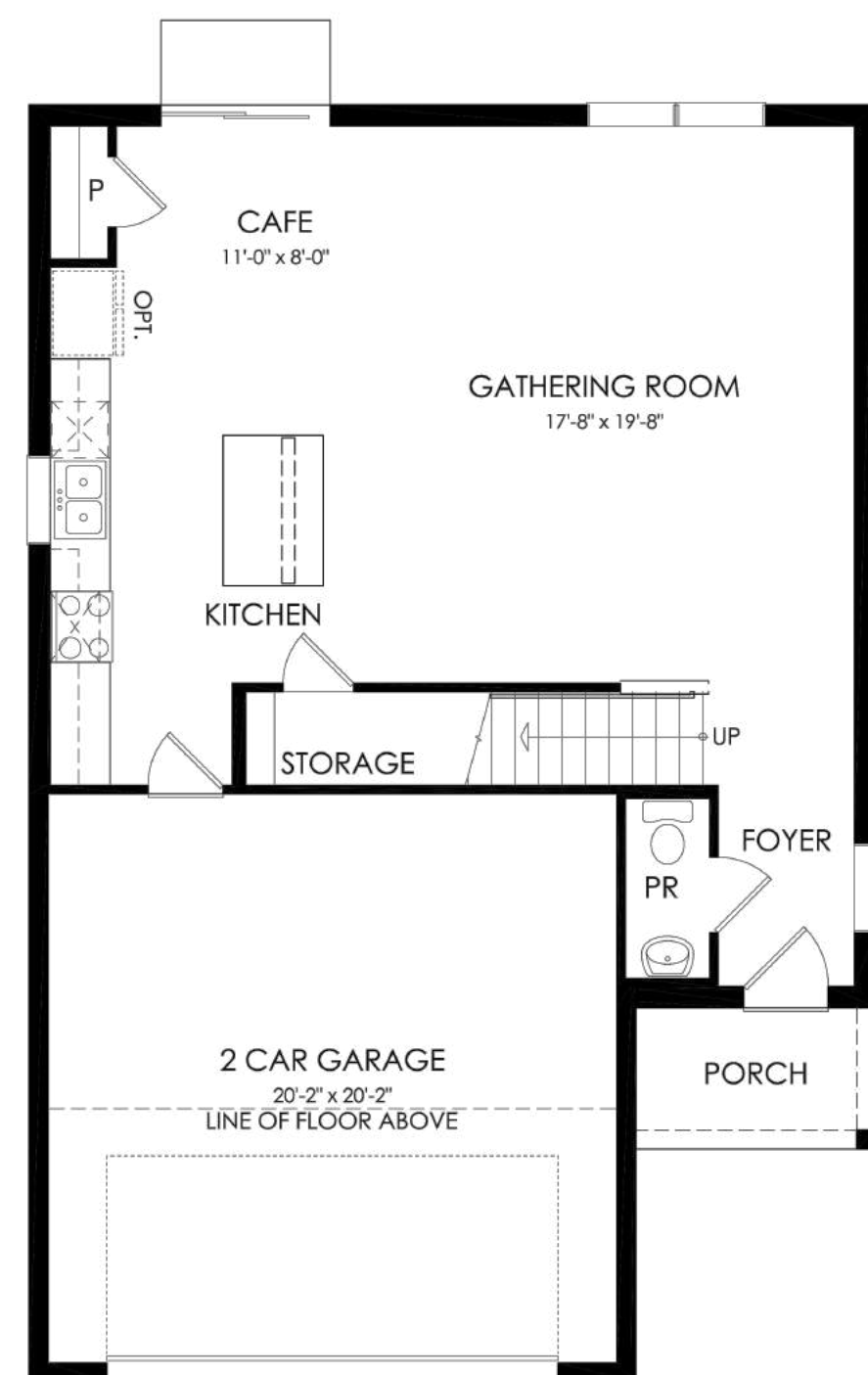
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*Design Guideline*

# HAMDEN

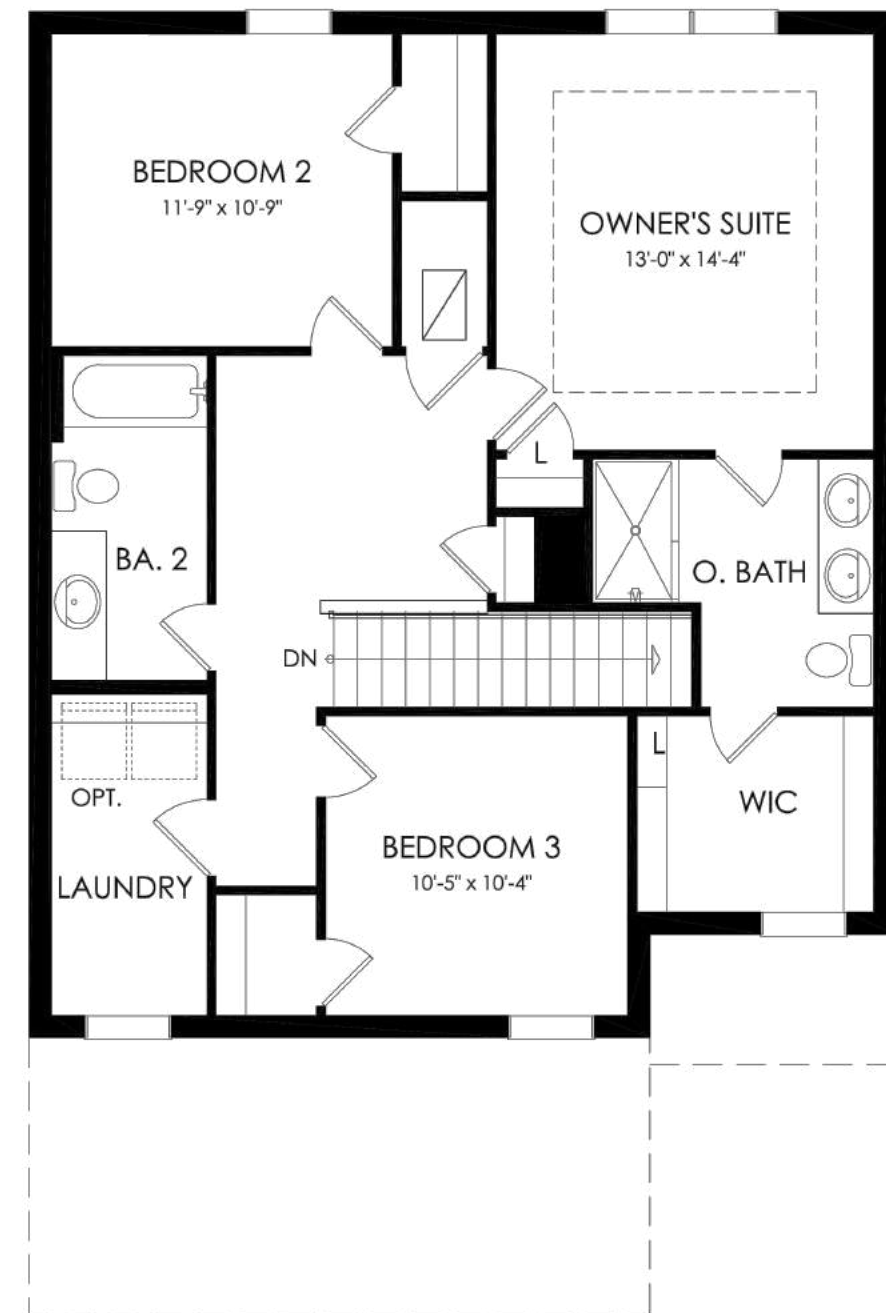


Covered Lanai



FIRST FLOOR PLAN

NO SCALE



SECOND FLOOR PLAN

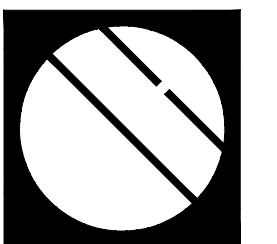
NO SCALE



FRONT ELEVATION

NO SCALE

- a. Typically 2-car garages will vary from left to right depending on lot conditions.
- b. No three (3) same models will be located next to each other on the same side of the street.
- c. The models construction consists of mainly concrete blocks and stucco.
- d. Each model embodies its own unique massing including features such as, entry ways and windows placed in different locations.
- e. Window locations vary with each model.
- f. The internal streetscape reduces monotony by providing street trees and different model types.
- g. All models feature alternative design elements such as paver driveways and numerous distinct plantings to reduce visual monotony.



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**PULTE - EDWARDS RD**

Ft. Pierce, Florida

HAMDEN

DESIGNED	DTS
DRAWN	JS
APPROVED	DTS
JOB NUMBER	21-0913
DATE	03-30-22
REVISIONS	

February 23, 2021  
Drawing: 191216 Arch dwg.DWG

SHEET 2 OF 2

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*Design Guideline*

# PULTE - EDWARDS RD

Fort Pierce, Florida



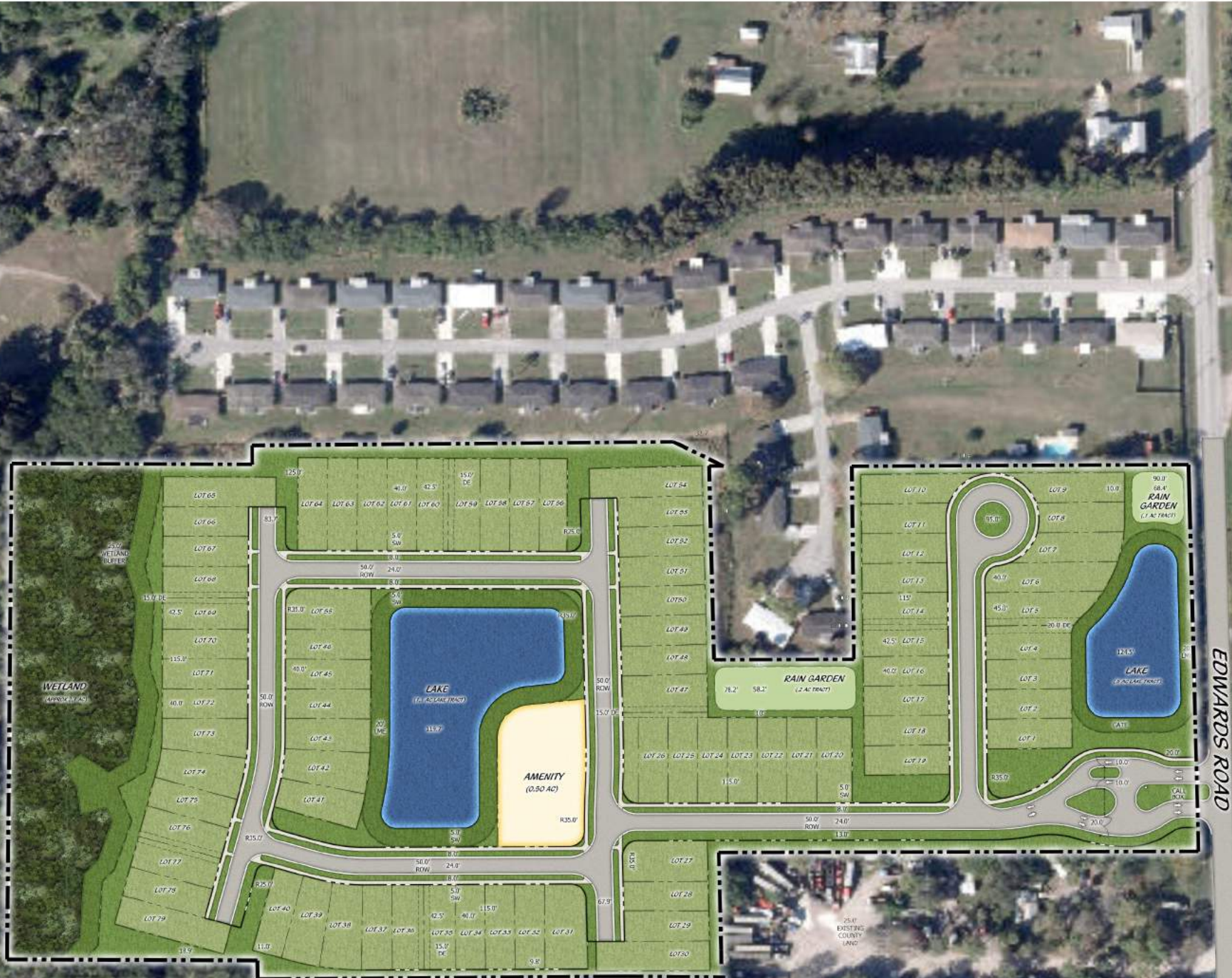
SITE PLAN



North

# PULTE - EDWARDS RD

Fort Pierce, Florida



SITE PLAN



