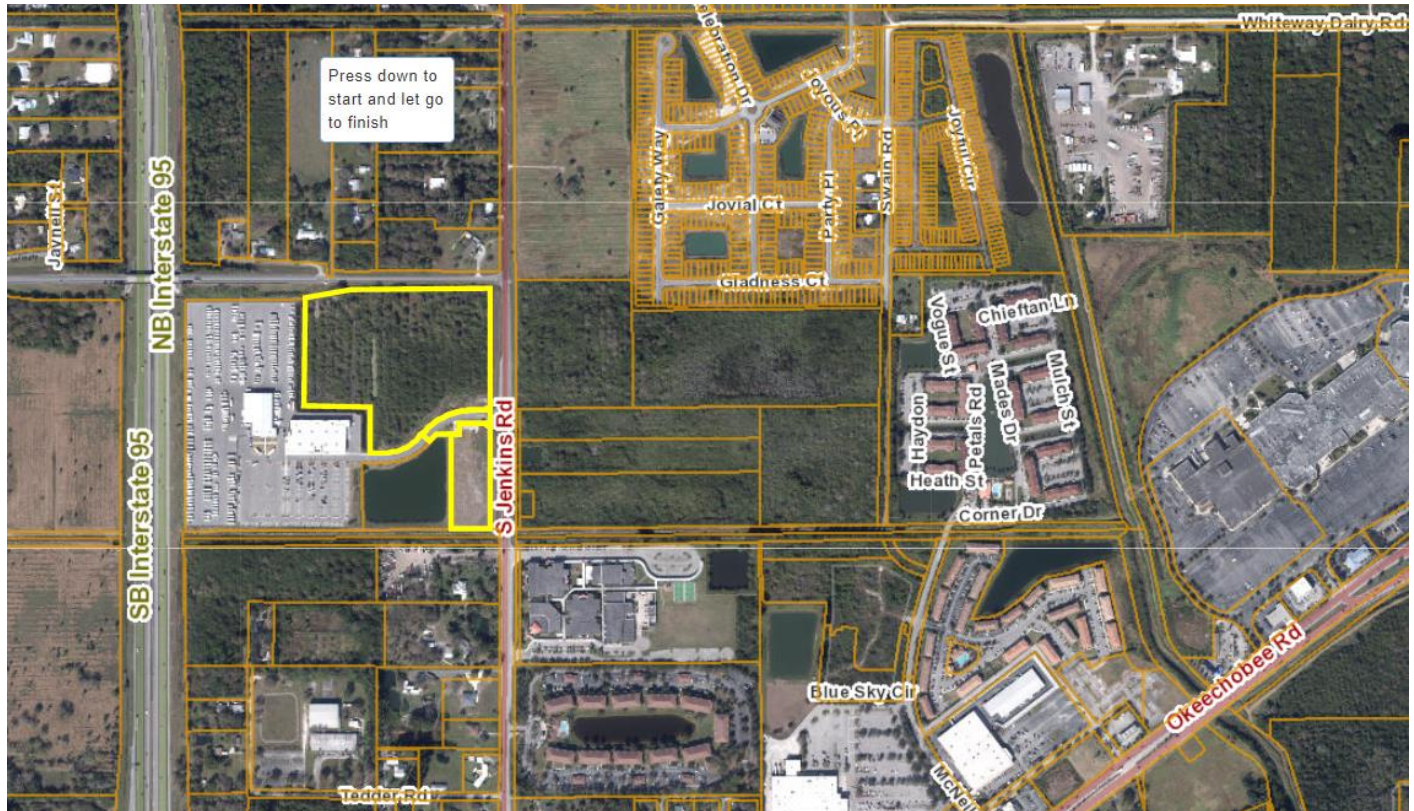


Site Address: 2101 S Jenkins RD
Sec/Town/Range: 13/35S/39E
Parcel ID: 2313-800-0002-000-7
Jurisdiction: Fort Pierce

Use Type: 1000
Account #: 185066
Map ID: 23/13S
Zoning: General Co

Site Address: 2151 S Jenkins RD
Sec/Town/Range: 13/35S/39E
Parcel ID: 2313-800-0004-000-1
Jurisdiction: Fort Pierce

Use Type: 1000
Account #: 185068
Map ID: 23/13S
Zoning: General Co





Pre-Application Meeting

Pre-application meetings are scheduled on the 4th Wednesday of each month at 10:00 AM and the deadline for submittal is the first Friday of the month. The meetings are held both in person, in the 2nd Floor Conference Room of City Hall, or virtually via Microsoft Teams, which is set up by the Planning Department. The applicant or property owner is required to attend (in-person or virtually); architects, engineers, or contractors for the proposal are encouraged to attend. The fee for a pre-application meeting is **\$300** (\$250 + \$50 Building Department Fee) with an additional \$250 fee for a "no show". To discuss or schedule a pre-application meeting please contact the Planning Department at **(772) 467-3737** or email us at **planning_dl@cityoffortpierce.com**.

The minimum submittal requirements are as follows:

Site Plan
 Detailed Project Narrative
 Floor Plan
 Survey

Proposed Use of the Property: _____

Property address or location

Parcel ID(s)

Property Owner(s) Name

Applicant/Representative, Company

Street Address

Street Address

City **State** **Zip**

City **State** **Zip**

Phone Number

Phone Number

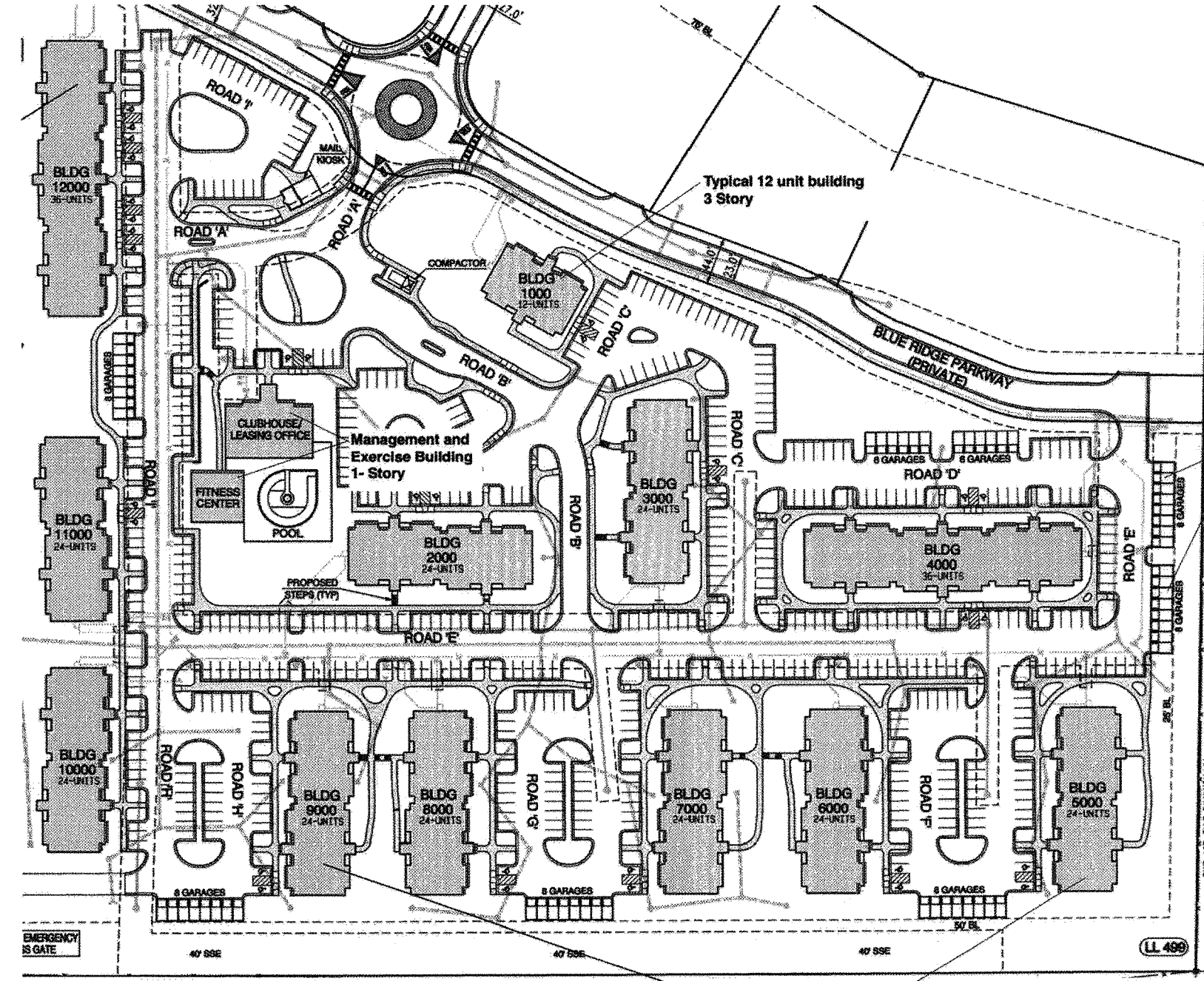
Email Address
 jessica.gorski@campingworld.com

Email Address

The property owner is aware that a Pre-Application meeting has been requested.

Property Owner's Signature Brent Moody Brent Moody, President

The purpose of the pre-application meeting is to assist the applicant in assembling a complete application. The pre-application meeting provides an applicant or property owner with specific process information, code requirements, and feedback from representatives of the Planning, Building, Engineering and Utilities Departments, for the proposal. The meeting also provides the applicant an opportunity to address any concerns or challenges that may arise during the process.



BUILDING LOCATIONS WITH FACEBRICK

Scale: NTS
The red marking on the buildings indicate the locations of the facebrick on this sheet—Consult with the architect with any questions.

FRONT COMPUTATIONS FOR FACEBRICK

Area required is 80% of the building elevation face for 24 unit building:
Length 168' x 29' high less two breezeways @ 29' x 8'-6" (493 sf)=4379sf
Area of brick or stone is 80% of 4379 or 3503 sf.

A=6'-7" x 29'-8" x 4 areas=771
B=21'-0" x 20'-8" x 4 areas=434 x 4=1736 sf
C=Balcony 10'-0" x 9'-0" x 3=270 x 4 areas=1080 sf
D=Breezeway 29'-0" x 2'-8'-6" x 4'-6"=96 x two areas=192 sf

TOTAL: 3778(exceeds 3503 required for 80%)(86%)

Area required is 80% of the building elevation face/36 unit building:
Length 252.5' x 29' high less three breezeways @ 29' x 8'-6" (739 sf)=6582sf
Area of brick or stone is 80% of 6582 or 5266 sf.

A=6'-7" x 29'-8" x 6 areas=1155
B=21'-0" x 20'-8" x 6 areas=434 x 6=2604 sf
C=Balcony 10'-0" x 9'-0" x 3=270 x 6 areas=1620 sf
D=Breezeway 29'-0" x 2'-8'-6" x 4'-6"=96 x 3 areas=288 sf

TOTAL: 5667(exceeds 5266 required for 80%)(86%)

WALL FRAMING SCHEDULE					
WALL TYPE	FRAMING	BLOCKING	STRUCTURAL SHEATHING	ADDITIONAL REQUIREMENTS	FIRE RATING
A	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	THERMO-BRACE RED WALL SHEATHING WITH 16 GAUGE, 15/16" x 1-1/4" LED (1/2" PENETRATION INTO STUD) WITH SCREW PARALLEL TO FRAMING @ 12" O.C. AT PANEL EDGES AND TO INTERMEDIATE FRAMING MEMBERS (BLOCK HORIZONTAL PANEL JOINTS)	ON INTERIOR FACE OF WALL INSTALL 1/2" THICK OPSIS BOARD WITH #4 x 1-1/4" LONG TYPE 'W' OR S SCREWS @ 12" O.C. AT PANEL EDGES AND TO INTERMEDIATE FRAMING MEMBERS	1HR
B	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	1 ROW OF SOLID BLOCKING AT MIDHEIGHT OF STUD	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN 'TIEUP' OF PANEL.	SCREW SHALL BE 1-1/4" LONG No. 8 TYPE S OR W SCREWS. INSTALL STRUCTURAL OPT. BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. BOARD @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS 'SIDING' TRANSVERSE WALLS	1HR
C	2x6 studs @ 24" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN OPT. BS SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN 'TIEUP' OF PANEL.	SCREW SHALL BE 1-1/4" LONG No. 8 TYPE S OR W SCREWS. INSTALL STRUCTURAL OPT. BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. BOARD @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS 'SIDING' TRANSVERSE WALLS	1HR
D	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	1 ROW OF SOLID BLOCKING AT MIDHEIGHT OF STUD	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN 'TIEUP' OF PANEL.	SCREW SHALL BE 1-1/4" LONG No. 8 TYPE S OR W SCREWS. INSTALL STRUCTURAL OPT. BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. BOARD @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS 'SIDING' TRANSVERSE WALLS	1HR
E	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	THERMO-BRACE RED WALL SHEATHING WITH 16 GAUGE, 15/16" x 1-1/4" LED (1/2" PENETRATION INTO STUD) WITH SCREW PARALLEL TO FRAMING @ 12" O.C. AT PANEL EDGES AND TO INTERMEDIATE FRAMING MEMBERS (BLOCK HORIZONTAL PANEL JOINTS)	ON INTERIOR FACE OF WALL INSTALL 1/2" THICK OPSIS BOARD WITH #4 x 1-1/4" LONG TYPE 'W' OR S SCREWS @ 12" O.C. AT PANEL EDGES AND TO INTERMEDIATE FRAMING MEMBERS	1HR
F	2x6 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN OPT. BS SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN 'TIEUP' OF PANEL.	SCREW SHALL BE 1-1/4" LONG No. 8 TYPE S OR W SCREWS. INSTALL STRUCTURAL OPT. BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. BOARD @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS 'SIDING' TRANSVERSE WALLS	1HR
G	2x6 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN 'TIEUP' OF PANEL.	SCREW SHALL BE 1-1/4" LONG No. 8 TYPE S OR W SCREWS. INSTALL STRUCTURAL OPT. BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. BOARD @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS 'SIDING' TRANSVERSE WALLS	1HR
H	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	1 ROW OF SOLID BLOCKING AT MIDHEIGHT OF STUD	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN 'TIEUP' OF PANEL.	SCREW SHALL BE 1-1/4" LONG No. 8 TYPE S OR W SCREWS. INSTALL STRUCTURAL OPT. BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. BOARD @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS 'SIDING' TRANSVERSE WALLS	1HR
I	2x6 studs @ 24" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN 'TIEUP' OF PANEL.	SCREW SHALL BE 1-1/4" LONG No. 8 TYPE S OR W SCREWS. INSTALL STRUCTURAL OPT. BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. BOARD @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS 'SIDING' TRANSVERSE WALLS	1HR
J	2x6 studs @ 24" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN 'TIEUP' OF PANEL.	SCREW SHALL BE 1-1/4" LONG No. 8 TYPE S OR W SCREWS. INSTALL STRUCTURAL OPT. BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. BOARD @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS 'SIDING' TRANSVERSE WALLS	1HR
A AND E ALTERNATE	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN 'TIEUP' OF PANEL.	SCREW SHALL BE 1-1/4" LONG No. 8 TYPE S OR W SCREWS. INSTALL STRUCTURAL OPT. BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. BOARD @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS 'SIDING' TRANSVERSE WALLS	1HR

See PEC Structural drawings referenced for construction for additional details and information

WALL FRAMING NOTES:

- INTERIOR, NON-BEARING, WALLS NOT LABELED WITH A WALL TYPE SHALL BE 2 x STUDS @ 16" O.C.(STUD GRADE S.P.F.). SEE ARCHITECTURAL DRAWINGS FOR STUD SIZE.
- PLUMBING WALLS SHALL BE A MINIMUM OF 2' x 6".
- 10d NAILS SHALL BE 3" LONG x 0.131" DIAMETER MINIMUM. 8d NAILS SHALL BE 2 1/2" LONG x 0.131" DIAMETER MINIMUM.
- WALL SHEATHING MAY BE INSTALLED WITH LONG DIMENSION HORIZONTAL OR VERTICAL.
- 7/16" THICK ZIP SYSTEM SHEATHING PANELS BY HUBER WOODS, LLC MAY BE USED WHERE 30B OSB IS SPECIFIED.
- PEC IS NOT RESPONSIBLE FOR FIRE RATING REQUIREMENTS, SPECIFICATIONS, AND DETAILS. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATING REQUIREMENTS, SPECIFICATIONS, AND DETAILS. ARCHITECT IS SOLELY RESPONSIBLE FOR PROVIDING FIRE RATING INFORMATION. FIRE RATING DETAILING SHALL NOT MODIFY STRUCTURAL FRAMING AND CONNECTION REQUIREMENTS SHOWN IN THE STRUCTURAL DRAWINGS.



REAR ELEVATION

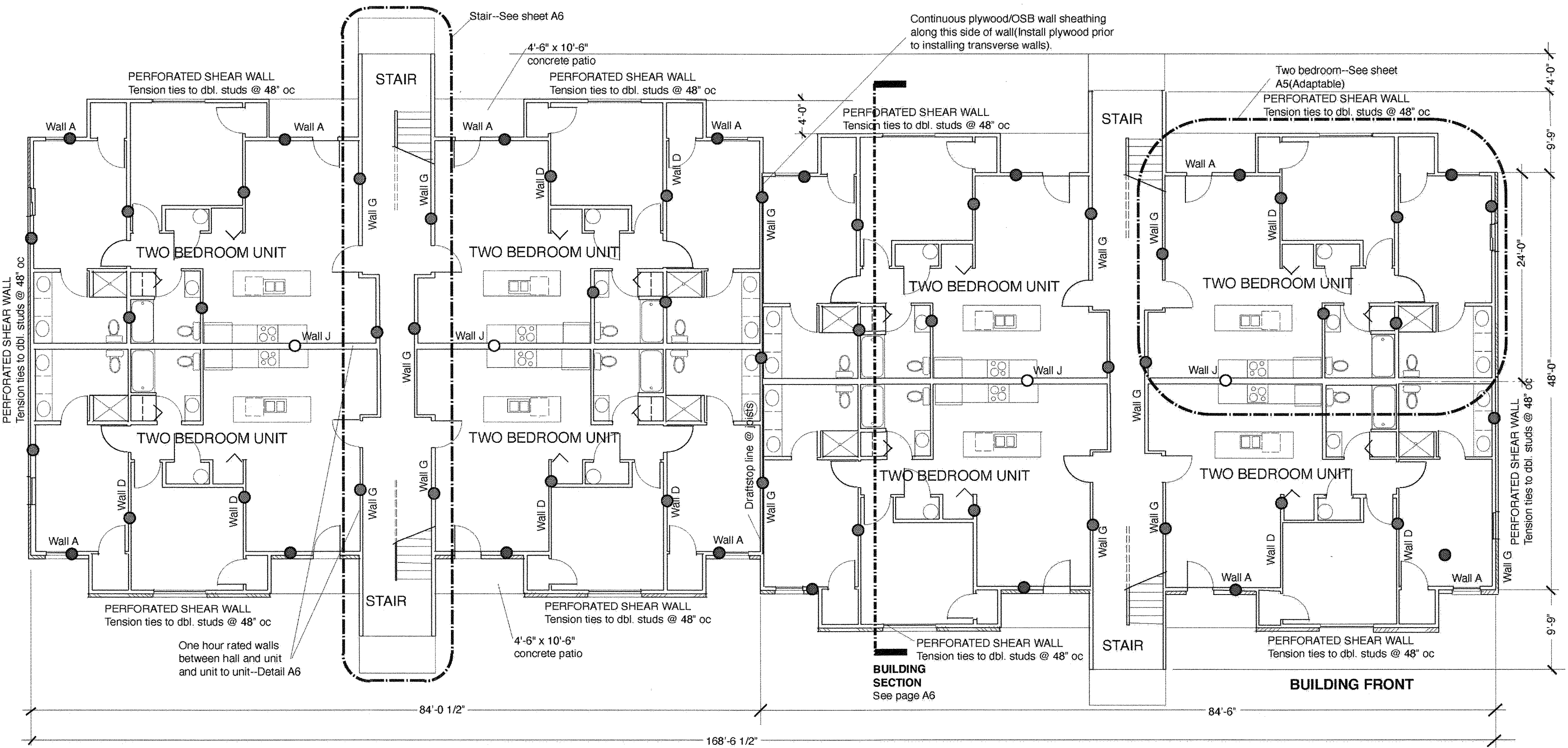
Scale: 1"=10'-0"

IMPORTANT NOTE:
All bedroom windows are required to have sills below 44" 5.7 sq. ft. of clear opening and be 24" high x 20" wide when open for egress use.



FRONT ELEVATION

Scale: 1"=10'-0"



BUILDING FIRST LEVEL PLAN

Scale: 1"=10'-0" Area: 9207.87 sf/floor/Group R2/Type VAN/PA 13R fire suppression
Note: All first level units are to be future adaptable Type B apartments



Architect's Seal
Date: 12/10/2021

REVISION:

POINTE GRAND DAWSONVILLE
Blue Ridge Parkway
Dawsonville, Georgia

PROJECT:

Hillpawitz, LLC
8830 Nacooch Highway
Building 300
Athens, GA 30606

OWNER:

Architectural Resources of Georgia, LLC
Frederick W. Mahoney
Architect
Georgia RA11984

DATE:

9/18/2021

PAGE:

A-3

**LETTER OF JUSTIFICATION
HILLPOINTE
Pre-Application Request
April 1, 2022**

REQUEST

On behalf of the Petitioner, Engineering, Design, & Construction, Inc. (EDC) is requesting a pre-application meeting to discuss a proposed multi-family development located in the City of Fort Pierce, Florida. The project currently consists nine (9) multi-family buildings, a clubhouse with gym and associated site improvements. The petitioner would like to schedule a pre-application meeting with the City of Fort Pierce to discuss the proposed development. The subject parcels are located west of Jenkins Road and south of Graham Road in Fort Pierce Florida.

SITE CHARACTERISTICS & PROJECT HISTORY

The subject parcels are currently undeveloped. The property addresses and parcel information are outlined in the below table:

Parcel ID	Parcel Address	Acreage	FLU	Zoning
2313-800-0002-000-7	2101 S. Jenkins Road	14.82	GC	C-3
2313-800-0004-000-1	2151 S. Jenkins Road	2.43	GC	C-3
TOTAL ACRES:		17.25		

The subject parcels total approximately 17.25 acres. The applicant is proposing an 9-unit multi-family development with recreation area and associated site improvements. The subject properties have a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

The owner’s name and address is:
FREEDOMROADS PROPERTY COMPANY LLC
 250 Parkway DR Ste 270
 Lincolnshire, IL 60069

The map to the right depicts the parcels associated with this request.

Parcel 1 North Parcel:

To the north of this parcel lies the right-of-way of Graham Road followed by single family homes. These parcels are located in the Low Density Residential Future land use and in the C-1 Zoning district



To the south of this parcel lies the access to an existing commercial development known as Camping world followed by a 3-acre drainage lake. These parcels have a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

To the east of the subject parcel lies the Camping World commercial facility. This site has a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district

To the west of this parcel lies the right-of-way of S Jenkins Road followed by vacant parcels across this road. These vacant lots lie in the Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

Parcel 2 South Parcel:

To the north of this parcel lies the access to an existing commercial development known as Camping world followed by a 3-acre drainage lake. These parcels have a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

To the south of this parcel lies truck and boat storage. This site has a future land use of Low Density Residential and lies in the AR-1 Zoning district.

To the east of this parcel lies by a 3-acre drainage lake and the Camping World commercial Facility. These parcels have a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

To the west of this parcel lies the right-of-way of S Jenkins Road followed by vacant parcels across this road. These vacant lots lie in the Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

The applicant is submitting this application to obtain general feedback as to the approval process, fees, and any comments the City Staff has regarding the project.

Based on the above and attached information, the applicant respectfully requests a pre-application meeting to discuss this parcel.

Z:\EDC-2022\22-154 - Hillpointe LLC - Camping World Outparcels\ENGINEERING\Documents\Submittal Documents\Justification Statement\2022-04-01_Hillpointe_MF_Pre-App_Narrative_22-154.docx