

AGENDA

Pre-Application Meeting

Thursday, April 27, 2022 at 10:00 a.m. in the William D. Dannahower, 2nd Floor Conference Room, 100 North U.S. Highway 1.

1. **New Business:**
 - a. Silver-Line Plastics - Enterprise Road (2428-502-0041-0000, 2428-502-0044-0001, 2428-502-0041-2002)
 - b. Adorno Townhomes - 1721 Ocean Drive - (2412-501-0002-000-3)
 - c. Flex Space (Wholesale Trade/Warehouse Freight) - 4646 Okeechobee Road -(2419-122-0001-040-6, 2419-122-0001-050-9)
 - d. Self - Storage Facility - 5221 Okeechobee Road - (2419-241-0001-010-7, 2419-243-0006-000-1, 2419-244-0035-000-6)
 - e. Pulte Single Family Residential Development - 4945 and 4963 Edwards Road - (2430-244-0001-000-4, 2430-243-0001-000-1, 2430-241-0002-000-2)
 - f. Hillpointe Residential Multi-Family Dwellings - 2101 S. Jenkins Road and 2151 S. Jenkins Road

Pre-Application Meeting

1. a.

Meeting Date: 04/27/2022

REQUESTED ACTION

Silver-Line Plastics - Enterprise Road (2428-502-0041-0000, 2428-502-0044-0001, 2428-502-0041-2002)

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Pre-Application Packet Silver Line Plastics

Form Review

Form Started By: Alicia Rosenthal
Final Approval Date: 04/01/2022

Started On: 04/01/2022 01:47 PM

Site Address: 3206 ENTERPRISE RD

Sec/Town/Range: 28/35S/40E

Parcel ID: 2428-502-0041-000-0

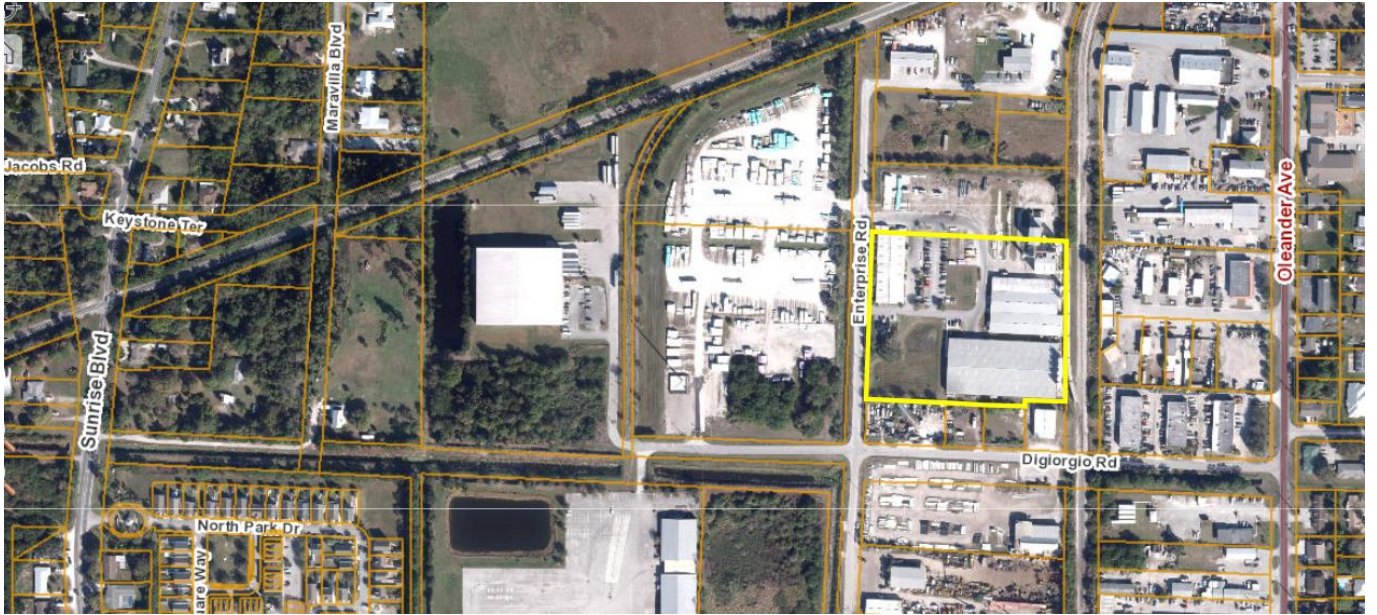
Jurisdiction: Saint Lucie County

Use Type: 4100

Account #: 32247

Map ID: 24/28N

Zoning: Industrial





Pre-Application Meeting

Pre-application meetings are scheduled on the 4th Wednesday of each month at 10:00 AM and the deadline for submittal is the first Friday of the month. The meetings are held both in person, in the 2nd Floor Conference Room of City Hall, or virtually via Microsoft Teams, which is set up by the Planning Department. The applicant or property owner is required to attend (in-person or virtually); architects, engineers, or contractors for the proposal are encouraged to attend. The fee for a pre-application meeting is \$300 (\$250 + \$50 Building Department Fee) with an additional \$250 fee for a "no show". To discuss or schedule a pre-application meeting please contact the Planning Department at (772) 467-3737 or email us at planning_dl@cityoffortpierce.com.

The minimum submittal requirements are as follows:

Site Plan Detailed Project Narrative Floor Plan Survey

Proposed Use of the Property: Manufacturing of PVC pipe
Manufacturing of PVC pipe

Property address or location

3206 Enterprise Rd. Fort Pierce, Florida 34982

Parcel ID(s)

2428-502-0041-0000, 2428-502-0044-0001, 2428-502-0041-2002

Property Owner(s) Name

Silver-Line Plastics Corporation

Applicant/Representative, Company

Valerie Dekle Slack, Native Design Architecture, L.L.C.

Street Address

900 Riverside DR

Street Address

200 South Indian River Drive, Suite 302

City State Zip
Asheville NC 28804

City State Zip
Fort Pierce FL 34982

Phone Number
772.253.7512 William Wells

Phone Number
772.519.1216 Valerie Slack

Email Address
William.Wells@slpipe.com

Email Address
vdsarch@gmail.com

The property owner is aware that a Pre-Application meeting has been requested.

Property Owner's Signature 
Pierre Coulombe Vice President Engineering

The purpose of the pre-application meeting is to assist the applicant in assembling a complete application. The pre-application meeting provides an applicant or property owner with specific process information, code requirements, and feedback from representatives of the Planning, Building, Engineering and Utilities Departments, for the proposal. The meeting also provides the applicant an opportunity to address any concerns or challenges that may arise during the process.

Detailed Narrative for Site Plan

Native Design Architecture, L.L.C.
(772) 801-5224 O
(772) 519-1216 M

200 S. Indian River Drive, Suite 302
Fort Pierce, FL 34950
studio@natedesign.us

March 4, 2022

Project :

Site Plan Pre-Application Review
Silver-Line Plastics – Fort Pierce Plant
Part of the IPEX, N.A. family of companies
3206 Enterprise Road, Fort Pierce, FL 34982

Silver-Line Plastics is a manufacturer of PVC (poly vinyl chloride) pipe and conduit, located in the light industrial area of Fort Pierce, south of Edwards Road and west of Oleander Avenue. They own several parcels east and west of Enterprise Road, north of DiGiorgio Road. The parcels east of Enterprise Road total 9.59 acres and are the subject of this development review. The parcels west of Enterprise Road are the Silver-Line pipe yard, and are not part of this planning effort.

The primary purpose of these proposed capital improvements is to increase production of PVC pipe and related products. This will provide at least 14 new jobs on site, help relieve building materials shortages, and build on the success of Silver-Line Plastics and IPEX, N.A.

There are currently seven (7) buildings on the east site, as well as numerous silos and a grinder for recycling PVC pipe that does not pass inspection. Silver-Line proposes to remove three of the buildings, replacing them with two new ones. They also propose replacing the old grinder with a new, quieter unit and adding five silos.

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BUILDING AREAS:

1. Shipping Building	REMOVE	1,573 SF	Office
2. Old Production Building Manufacturing	REMOVE	32,377 SF	
3. Old Compounding Building	REMOVE	3,775 SF	Manufacturing
4. Old PVC grinder with canopy	REMOVE	not enclosed	
5. Production Building 1	EXISTING TO REMAIN	51,198 SF	3,200 SF ofc CON 47,998 SF Mfrg
6. DiGiorgio Road Storage Bldg	EXISTING TO REMAIN	4,831 SF	Warehouse (no occ)
7. Compounding Building	EXISTING TO REMAIN	2013 SF	Mfrg (no occ)
8. Enterprise Road Storage Bldg	EXISTING TO REMAIN	16,025 SF	Warehouse (no occ)
9. Materials Silos	EXISTING TO REMAIN	not enclosed	
10. Three-story Office Building	PROPOSED	7,200 SF (footprint 2,400 SF)	Office
11. Production Building 2	PROPOSED	50,000 SF	Manufacturing
12. 5 Materials Silos	PROPOSED	not enclosed	

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AREA TABULATIONS:

Total existing building area as of 2022	111,819 SF
Area to be demolished	37,725 SF
Area existing to remain	74,094 SF
Proposed new building area	57,200 SF
Total building area after proposed work	131,294 SF

LOT COVERAGE:

East site area	9.59 acres x 43,560 SF / acre = 417,740.4 SF
Total existing building footprint	111,819 SF
Existing Lot Coverage	111,819 SF / 417,740.4 SF = 26 %
Total building footprint after proposed work	131,294 SF
Proposed Lot Coverage	131,294 SF / 417,740.4 SF = 31 %

PARKING REQUIREMENTS:

Office use area @ 1 space per 300 SF	35 spaces
Manufacturing use area @ 1 space per 600 SF	161 spaces
Unoccupied area @ 0 spaces per SF	0 spaces
Total parking spaces required	196 spaces
Total parking proposed	196 spaces

Detailed Narrative for Site Plan

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SITE UTILITIES:

Electric service is provided by FPL. Feeds enter the site from the east and west, with large pad-mounted transformers located between the two production buildings.

Silver-Line is considering the use of photovoltaic panels on the roof of the new Production Building. The building will be designed for the structural requirements of that system, and will incorporate roofing and clips compatible with mounting PV panels in phases over the coming years. IPEX, N.A.'s parent company, Aliaxis, has a commitment to 100% clean energy by 2050.

Potable water enters the site from the west, at the south driveway off Enterprise Road. There is a fire line at this location as well.

Currently wastewater collects in a central septic tank with a dosing tank and drainfield. These are located in the grass area between the primary parking and the old Production Building.

FPUA is currently in the design phase for a new gravity sewer line which will run to the north end of Enterprise Road. They anticipate construction to occur in late 2022. Silver-Line plans to connect to FPUA sewer as part of their proposed work. They will eliminate the septic system at that time, allowing that area to be used for additional parking.

Silver-Line filters and recirculates its process water, minimizing their potable water use and eliminating the need to send process water into the wastewater stream.

STORMWATER:

In the interest of maximizing permeable area on the site, new parking areas will utilize turf block paving. The existing swale along the north perimeter of the site will be widened, with additional dry detention at the northeast corner.

Silver-Line plans to collect stormwater from the two production buildings in large storage tanks for reuse in both landscape irrigation and process water. They are also considering utilizing a green roof to absorb stormwater and minimize runoff.

LANDSCAPE:

The site will be landscaped with native trees and shrubs to meet the requirements of the local ordinances. Collected rainwater will be used to establish and sustain those plantings.

EX-01 EXHIBIT

Native Design Architecture, L.L.C.
(772) 801-5224 O
(772) 519-1216 M

200 S. Indian River Drive, Suite 302
Fort Pierce, FL 34950
studio@natedesign.us

PROJECT NAME : Silver-Line Plastics Site Plan

DATE : 03/03/2022

DESCRIPTION : Pre-Applications Aerials



Aerial-Overall Site

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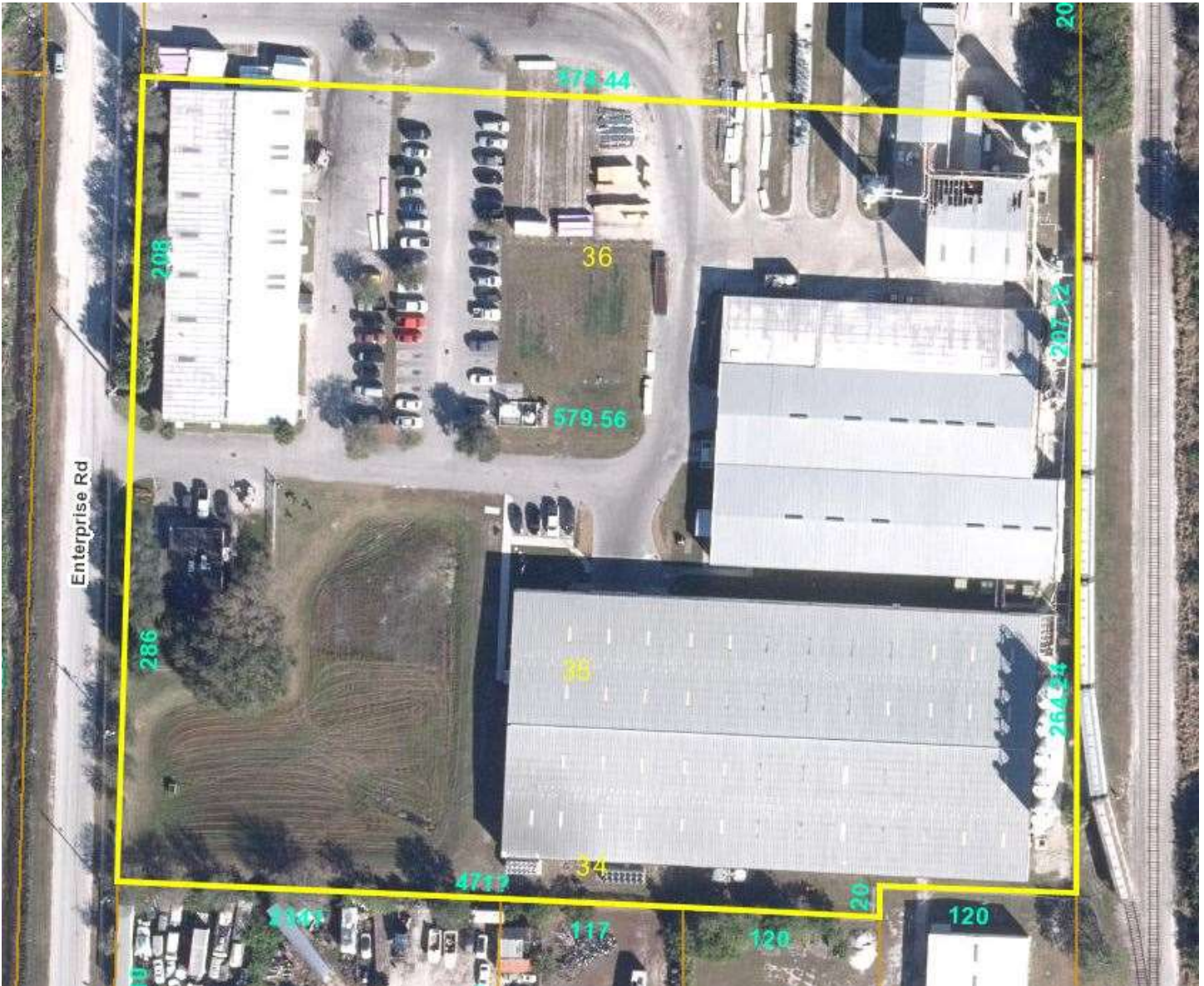


Aerial-North Parcel

EX-01 EXHIBIT

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200 S. Indian River Drive, Suite 302
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Aerial-Middle Parcel

EX-01 EXHIBIT

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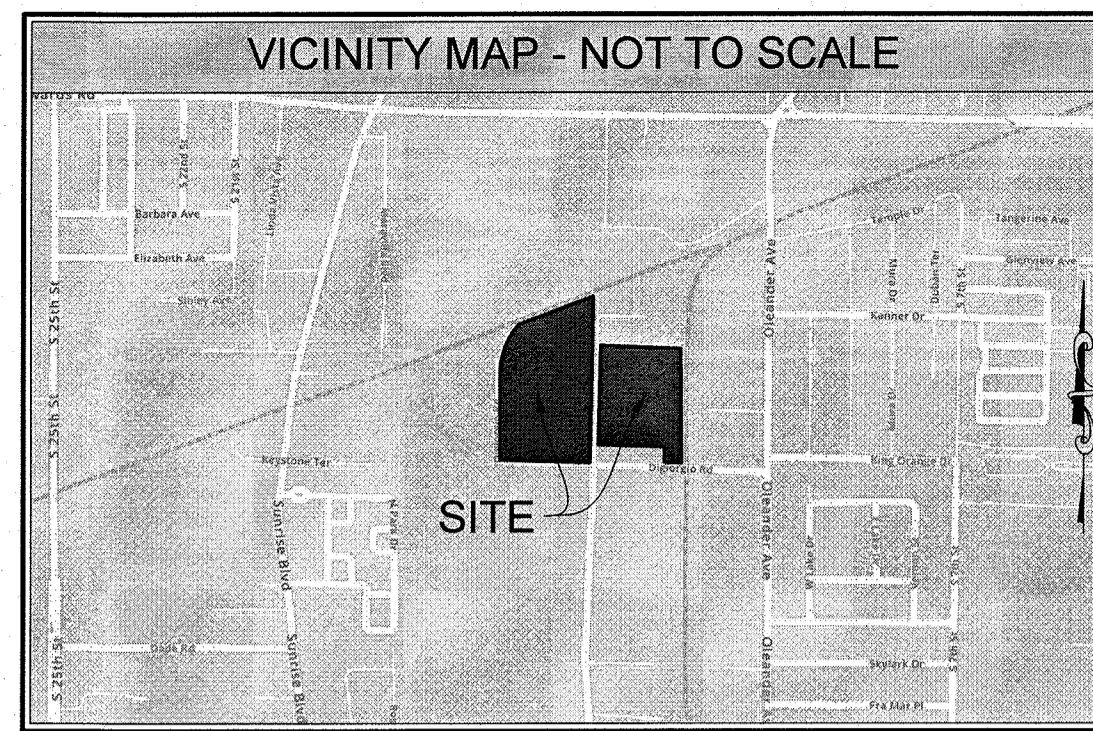
200 S. Indian River Drive, Suite 302
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Aerial-Digiorgio Road Parcel

ITEMS CORRESPONDING TO SCHEDULE B-II

5. Right-of-way Agreement in favor of Florida Power & Light Company recorded January 29, 1927 in Deed Book 74, Page 300. (as to Parcel 1) **THIS ITEM IS NOT ON THE SURVEYED PROPERTY AND IS NOT PLOTTED AND SHOWN HEREON.**
6. Right-of-Way in favor of American Telephone and Telegraph Company recorded September 11, 1929 in Deed Book 81, Page 172. (as to Parcel 1) **PARCEL 1 OF THE SURVEYED PROPERTY LIES ENTIRELY WITHIN THIS BLANKET EASEMENT AND IS NOT PLOTTED HEREON.**
7. Easement reserved in that certain Warranty Deed recorded September 24, 1982 in Official Records Book 384, Page 1452. (as to Parcel 1) **THIS ITEM IS PLOTTED HEREON.**
8. Maintenance Agreement recorded September 24, 1982 in Official Records Book 384, Page 1454, which contains provisions for possible maintenance costs, and Supplemental Maintenance Agreement recorded July 17, 1987 in Official Records Book 1088, Page 799. (as to Parcel 1) **THE SURVEYED PROPERTY LIES WITHIN THIS ITEM; HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.**
9. St. Lucie County Resolution No. 00-120 recorded August 7, 2000 in Official Records Book 1319, Page 164. (as to Parcel 1) **THE SURVEYED PROPERTY LIES WITHIN THIS ITEM; HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.**
10. Lease Agreement by and between Silver-Line Plastics Corporation, a North Carolina corporation, Lessor, and PI Tower Development LLC, a Delaware limited liability company, Lessee, dated March 15, 2017, as evidenced by that certain Memorandum of Lease recorded March 30, 2017, in Official Records Book 3978, Page 2182. (as to Parcel 1) **THE SURVEYED PROPERTY LIES WITHIN THIS ITEM; HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.**
11. Restrictions, covenants, conditions, easements and other matters as contained on the Plat of INDUSTRIAL SUBDIVISION, recorded in Plat Book 9, Page 5, (as to Parcels 2 through 6) **THE SURVEYED PROPERTY LIES WITHIN THIS ITEM; HOWEVER, THIS ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.**
12. Easement in favor of Florida Power & Light Company recorded April 24, 1972, in Official Records Book 201, Page 1840. (as to Parcel 6) **DOCUMENT NOT PROVIDED.**



MISCELLANEOUS NOTES

- (MNT1) SURVEY PREPARED BY: NV5, L.B. 7386, 8111 BLAIKE COURT, SUITE B, SARASOTA, FL 34240. PHONE (800)787-8395, FAX (941)379-3083 OR EMAIL MIKE.VUKODER@NV5.COM.
- (MNC) POSTED ADDRESSES ARE AS SHOWN ON SHEETS 2 AND 3.
- (MNS) THE SURVEYED PROPERTY CONTAINS AN AREA OF 24.957 ACRES (1,087,128 SQUARE FEET), MORE OR LESS.
- (MNA) ONLY OBSERVABLE SURFACE AND ABOVE GROUND STRUCTURES WERE LOCATED. NO UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATION FOOTINGS, WERE LOCATED. SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
- (MNS) THERE ARE 64 STRIPED REGULAR PARKING SPACES AND 4 STRIPED HANDICAPPED PARKING SPACES FOR A TOTAL OF 68 STRIPED PARKING SPACES ON THE SURVEYED PROPERTY.
- (MNS) ONLY OBSERVABLE ABOVE GROUND UTILITIES WERE LOCATED. NO UNDERGROUND UTILITIES WERE LOCATED. ALWAYS CALL SUNSHINE 811 BEFORE YOU DIG. THEY NOTIFY UTILITY COMPANIES WHERE YOU ARE PLANNING TO DIG. THE UTILITY SENDS A LOCATOR TO MARK THE APPROXIMATE LOCATION OF UNDERGROUND LINES, PIPES AND CABLES ON THE SURVEYED PROPERTY. THE PROCESS TAKES TWO FULL BUSINESS DAYS - DAY 1 STARTS THE DAY AFTER YOU CALL. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- (MNT) AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, BUILDING ADDITIONS.
- (MNS) AT THE TIME OF SURVEY, THE SURVEYOR WAS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR OBSERVABLE EVIDENCE OF STREET OR SIDEWALK REPAIRS.
- (MNS) THE SURVEYOR WAS NOT PROVIDED ANY DOCUMENTATION, WAS NOT MADE AWARE AND DID NOT OBSERVE ANY GROUND MARKINGS ON THE SURVEYED PROPERTY WITH REGARDS TO WETLANDS ON THE SURVEYED PROPERTY. NO ENVIRONMENTAL ASSESSMENT OR AUDIT WAS PERFORMED ON THE SURVEYED PROPERTY BY BOCK AND CLARK CORP.
- (MNT) THE SURVEYED PROPERTY HAS DIRECT ACCESS TO DIGIORGIO ROAD, A VARIABLE WIDTH DEDICATED PUBLIC RIGHT-OF-WAY AND ENTERPRISE ROAD, A 60 FOOT WIDE DEDICATED PUBLIC RIGHT-OF-WAY, AS SHOWN HEREON.
- (MNT) OWNERSHIP OF FENCES, IF ANY, WAS NOT DETERMINED UNDER THE SCOPE OF THIS SURVEY.
- (MNS) THERE ARE NO GAPS, GORES, OVERLAPS OR HATUS INHERENT TO THE SURVEYED PROPERTY BASED ON THE FIELD SURVEY PERFORMED AND THE TITLE COMMITMENTS PROVIDED.
- (MNT) BEARINGS SHOWN HEREON ARE BASED ON THE EAST RIGHT OF WAY LINE OF ENTERPRISE ROAD, ST. LUCIE COUNTY, FLORIDA, ASSUMED TO BEAR N 1° 17' 52" E.
- (MNT) THIS SURVEY IS NOT INTENDED FOR CONSTRUCTION OR CONSTRUCTION DESIGN PURPOSES.
- (MNT) ADJOINER INFORMATION SHOWN HEREON WAS OBTAINED FROM THE COUNTY'S PROPERTY APPRAISER WEB SITE.
- (MNT) AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A BURIAL GROUND OR CEMETERY.
- (MNT) BUILDING HEIGHT IS THE ARCHITECTURAL HEIGHT TAKEN AT THE LOCATION SPECIFIED HEREON.

LEGEND OF SYMBOLS & ABBREVIATIONS

- | | | |
|--|-----------------------|---|
| POWER POLE | SIGNAL LIGHT | SANITARY MANHOLE |
| TRAFFIC SIGNAL BOX | CLEAN OUT | |
| TRAFFIC SIGNAL POLE | GREASE TRAP | |
| GUY WIRE | SIGNAL LIGHT POLE | |
| ELECTRIC MANHOLE | VAULT | GAS MANHOLE |
| ELECTRIC METER | SIGN (AS NOTED) | GAS VALVE |
| ELECTRIC VAULT | TOWER | GAS METER |
| TRANSFORMER | MONITORING WELL | HANDICAPPED PARKING |
| AIR CONDITIONER UNIT | FLAG POLE | BENCHMARK |
| TELEPHONE MANHOLE | WATER VALVE | (R) RECORD |
| TELEPHONE PEDESTAL | FIRE HYDRANT | (M) MEASURED |
| CABLE BOX | SIAMSESE FIRE HYDRANT | (C) CALCULATED |
| MITERED END SECTION | WATER MANHOLE | (P) PLAT |
| STORM DRAIN MANHOLE | BACKFLOW PREVENTER | PG PAGE |
| STORM DRAIN INLET | WATER METER | O.R. OFFICIAL RECORDS |
| STORM PIPE | WELL HEAD | P.B. PLAT BOOK |
| SET 5/8" IRON ROD & CAP NV5 L.B. 7386 UNLESS OTHERWISE NOTED | POINT OF ACCESS | F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION |
| OH | OH | OVERHEAD WIRES |

RECORD DESCRIPTION

PARCEL 1:
That part of the West 1/2 of the East 1/2 of Section 28, Township 35 South, Range 40 East, St. Lucie County, Florida, lying South of the Florida East Coast Railroad, Lake Harbor Branch, and North of Canal Number 10, LESS the tract conveyed to Fort Pierce Growers Association as described in Warranty Deed dated January 24, 1972 and recorded in Official Records Book 199, Page 1420, of the Public Records of St. Lucie County, Florida, AND LESS AND EXCEPTING the South 60.00 feet thereof and the right-of-way for Enterprise Road, as now laid out and in use.

PARCEL 2:
A parcel of land in Lots 34 and 35, INDUSTRIAL SUBDIVISION, as recorded in Plat Book 9, Page 5, of the Public Records of St. Lucie County, Florida, described as follows: From the Southeast corner of said Lot 34, run West 357 feet; thence run North parallel with the East line of said Lot 34, 130 feet to the POINT OF BEGINNING; thence continue North, 110 feet; thence run West parallel with the South line of said Lot 34, 117 feet; thence run South 110 feet; thence run East 117 feet to the POINT OF BEGINNING.

PARCEL 3:
A parcel of land in Lots 34 and 35, INDUSTRIAL SUBDIVISION, as recorded in Plat Book 9, Page 5, of the Public Records of St. Lucie County, Florida, described as follows: BEGINNING at a point on the East boundary of Lot 34 which is 150.0 feet North of the Southeast corner of said Lot 34; thence Westerly for 120.0 feet to a point which is 150.0 feet North of the Southern boundary line of Lot 34; said 150.0 feet being measured along a line parallel to the Eastern boundary line of Lot 34; thence Southerly for 20.0 feet along a line parallel to the Eastern boundary line of Lot 34; thence Westerly for 237.0 feet to a point which is 130.0 feet Northerly of the South boundary line of Lot 34 on a line parallel to the East boundary line of said Lot 34; thence Northerly on a line parallel to the East boundary line of Lots 34 and 35 for a distance of 110.0 feet to a point; thence Westerly on a line parallel to the South boundary line of Lot 34 for a distance of 117.0 feet to a point; thence Southerly along a line parallel with the East boundary line of Lots 34 and 35 for a distance of 110.0 feet to a point; thence Westerly for 117.0 feet to a point on the West boundary line of Lot 34 which is 130.0 feet from the Southwest corner of Lot 34; thence Northerly along the West boundary of Lots 34 and 35 a distance of 286.0 feet to the Northwest corner of Lot 35; thence Easterly along the Northern boundary of Lot 35 a distance of 579.56 feet to the Northeast corner of Lot 35; thence Southerly along the Eastern boundary of Lots 35 and 34 to the POINT OF BEGINNING.

PARCEL 4:
Lot 36, of INDUSTRIAL SUBDIVISION, as recorded in Plat Book 9, Page 5, of the Public Records of St. Lucie County, Florida.

PARCEL 5:
Lot 37, of INDUSTRIAL SUBDIVISION, located in Section 28, Township 35 South, Range 40 East, as recorded in Plat Book 9, Page 5, of the Public Records of St. Lucie County, Florida.

PARCEL 6:
A parcel of land in the Southeast corner of Lot 34, INDUSTRIAL SUBDIVISION, as recorded in Plat Book 9, Page 5, of the Public Records of St. Lucie County Florida:
BEGINNING at the Southeast corner of said Lot 34, run North along the East line of said Lot 34, 150.00 feet; thence run West parallel with the South line of said Lot 34, 120 feet; thence run South parallel with the East line of said Lot 34, 150 feet; thence run East 120 feet to the POINT OF BEGINNING; LESS AND EXCEPTING therefrom the South 20 feet for road right-of-way.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 7644753, DATED AUGUST 16, 2019.

ALTA/NSPS LAND TITLE SURVEY

for
Silver-Line Plastics
NV5 Project No. 201902295-006
3206 Enterprise Road & 2 lots across the road, Fort Pierce, FL 34983

BASED UPON TITLE COMMITMENT NO. 7644753 OF CHICAGO TITLE INSURANCE COMPANY BEARING AN EFFECTIVE DATE OF AUGUST 16, 2019 @ 5:00 P.M.

Surveyor's Certification
To: Silver-Line Plastics LLC, a North Carolina limited liability company; Chicago Title Insurance Company; and Bock & Clark Corporation, an NV5 Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7a, 7b1, 7c, 8, 9, 13, 14, 16, 17, 18, and 20 of Table A thereof. The field work was completed on September 24, 2019.

ALSO:
I, MARK G. LEIST, HEREBY CERTIFY THAT THIS SKETCH OR THE BOUNDARY SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO CHAPTER 472 OF THE FLORIDA STATUTES AND CHAPTER 6J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

Mark G. Leist 02-13-2020
DATE

MARK G. LEIST
REGISTRATION NO. PSM 5836
IN THE STATE OF FLORIDA
DATE OF FIELD SURVEY: SEPTEMBER 24, 2019
DATE OF LAST REVISION: OCTOBER 15, 2019
NETWORK PROJECT NO. 201902295-006 BJK
THIS SURVEY IS CERTIFIED TO DATE OF FIELD SURVEY, NOT DATE OF SIGNATURE. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. SHEET 1 OF 3

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 120236, MAP NUMBER 221100189J WHICH BEARS AN EFFECTIVE DATE OF JANUARY 16, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) BY FIRMETTE CREATED ON OCTOBER 9, 2019. WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
10/09/2019	FIRST DRAFT		
10/15/2019	NETWORK COMMENTS		
FIELD WORK: DL	DRAFTED: DD	CHECKED BY: ML	FB & PG:

SIGNIFICANT OBSERVATIONS

NONE APPARENT.

LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORPORATION, AN NV5 COMPANY.
© 2019 BOCK AND CLARK CORPORATION, AN NV5 COMPANY
THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION

Bock & Clark Corporation
an NV5 Company

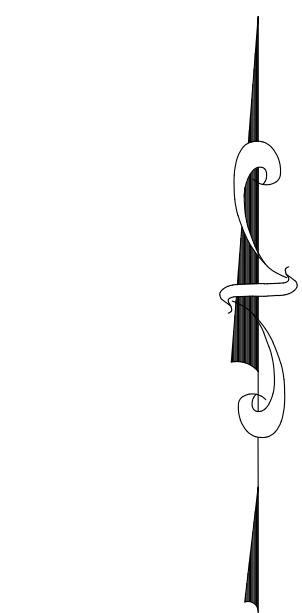
NV5

Transaction Services 1-800-SURVEYS (787-8397)
3550 W. Market Street, Suite 200, Akron, Ohio 44333
www.BockandClark.com maywehelpyou@bockandclark.com www.NV5.com

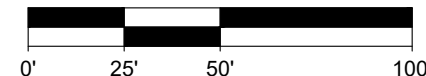
SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT
FLORIDA PROJECT NO. 5201900594

MATCHLINE-SEE SHEET 3
MATCHLINE-SEE SHEET 2

LESS AND EXCEPT
O.R. 199, PG 1420
OCCUPIED
NF: ORCHID ISLAND JUICE COMPANY
O.R. 4173, PG 2681



SCALE: 1" = 50'



LEGEND OF SYMBOLS & ABBREVIATIONS

SEE SHEET 1 FOR LEGEND OF SYMBOLS & ABBREVIATIONS

N0° 02' 51" W 616.31' (C & M)

N88° 01' 41" W 640.64' (C & M)

SAINT LUCIE COUNTY CANAL NO. 10
74' CANAL RIGHT OF WAY

PARCEL 1

ENTERPRISE ROAD
S1° 17' 52" W 1060.01' (C & M)

ENTERPRISE ROAD
S1° 17' 52" E 702.11' (C & M)

PARCEL 2

PARCEL 3

PARCEL 4

PARCEL 5

PARCEL 6

FLORIDA DEPARTMENT OF AGRICULTURE SPUR
100' RAILROAD RIGHT OF WAY

S0° 07' 23" E 808.19' (C & M)

DIGIORGIO ROAD
VARIABLE WIDTH PUBLIC RIGHT OF WAY
24' ASPHALT ROAD

SHEET 2 OF 3

NV5 ALTA/NSPS LAND TITLE SURVEY
PREPARED FOR
SILVER-LINE PLASTICS
DATE OF FIELD SURVEY: SEPTEMBER 24, 2019
NETWORK PROJECT NUMBER: 201902295-006 BJK
1-(800)-SURVEYS (787-8397)
TRANSACTION SERVICES
www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

FLORIDA EAST COAST RAILROAD - LAKE HARBOR BRANCH
 100' RAILROAD RIGHT OF WAY

L=368.52'
 R=505.12'
 $\Delta=41^{\circ}48'04''$
 CB=N20° 51' 32"E
 CL=360.40'
 (C & M)

MATCHLINE-SEE SHEET 3
 MATCHLINE-SEE SHEET 2

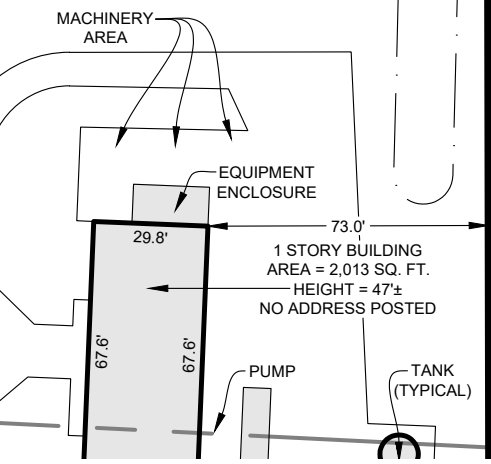
N69° 13' 19"E 573.63' (C & M)

S0° 03' 46"E 118.89' (C & M)

S87° 03' 59"E 569.32' (C & M)

4"x4" CONCRETE MONUMENT LB 3690 (IN O.S. W. 1.21)

PARCEL 5
 LOT 37



AGRICULTURE SPUR



SCALE: 1" = 50'
 0' 25' 50' 100'

LEGEND OF SYMBOLS & ABBREVIATIONS
 SEE SHEET 1 FOR LEGEND OF SYMBOLS & ABBREVIATIONS

NV5 ALTA/NSPS LAND TITLE SURVEY
 PREPARED FOR
SILVER-LINE PLASTICS
 DATE OF FIELD SURVEY: SEPTEMBER 24, 2019
 NETWORK PROJECT NUMBER: 201902295-006 BJK
1-(800)-SURVEYS (787-8397)
 TRANSACTION SERVICES
 www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

Pre-Application Meeting

1. b.

Meeting Date: 04/27/2022

REQUESTED ACTION

Adorno Townhomes - 1721 Ocean Drive - (2412-501-0002-000-3)

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Pre-Application Packet 1521 S. Ocean Dr.

Form Review

Form Started By: Alicia Rosenthal

Started On: 04/01/2022 01:49 PM

Final Approval Date: 04/01/2022

Site Address: 1521 S OCEAN DR

Sec/Town/Range: 12/35S/40E

Parcel ID: 2412-501-0002-000-3

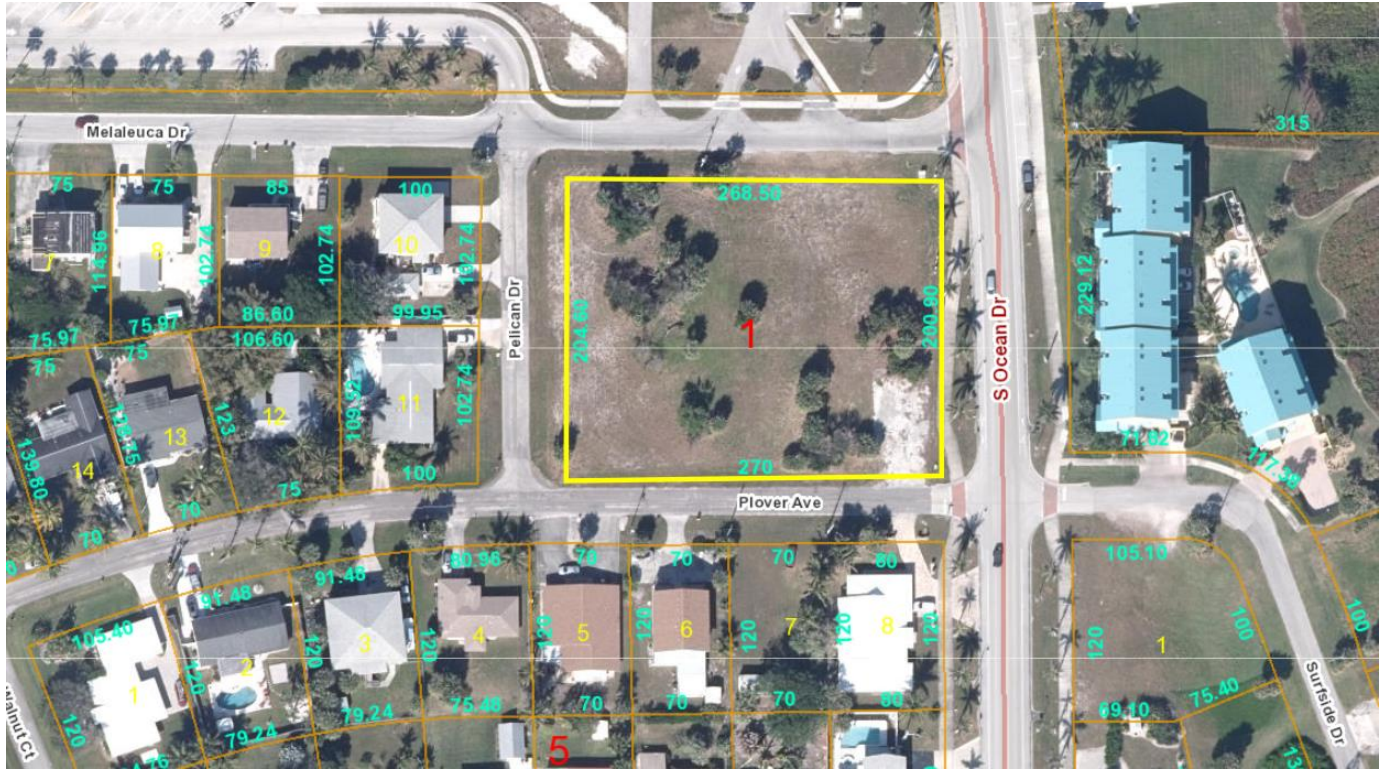
Jurisdiction: Fort Pierce

Use Type: 0000

Account #: 23923

Map ID: 24/12N

Zoning: HI Medium





Pre-Application Meeting

Pre-application meetings are scheduled for Wednesday afternoons each week at 2:00 PM and 3:00 PM and must be scheduled a minimum of one week in advance. The meetings are typically held in the 2nd Floor Conference Room of City Hall. The applicant or property owner is required to attend; architects, engineers, or contractors for the proposal are encouraged to attend. The fee for a pre-application meeting is \$300 (\$250 + \$50 Building Department Fee) with an additional \$250 fee for a "no show". To discuss or schedule a pre-application meeting please contact the Planning Department at (772) 467-3737 or email us at planning_dl@cityoffortpierce.com.

The minimum submittal requirements are as follows:

Site Plan Detailed Project Narrative Floor Plan Survey

Proposed Use of the Property: Residential

Preferred Date and Time of Meeting: As soon as possible

Property address or location
Vacant

Parcel ID(s)
2412-501-0002-000-3

Property Owner(s) Name
11765663 Canada Inc/135058 Canada Inc/2542-3716 Quebec inc

Applicant/Representative, Company
Stephen Cooper, P.E. & Associates, Inc

Street Address
4420 Cote-de-Liesse Rd Ste 200

Street Address
7450 South Federal Highway

City State Zip
Mount Royal, QC H4N 2P7

City State Zip
PSL FL 34952

Phone Number
(514)924-8553

Phone Number
772-336-2933

Email Address
JGreenberg@bakertilly.ca

Email Address
scooper@scpeinc.com

The property owner is aware that a Pre-Application meeting has been requested.
Property Owner's Signature: *Ben Greenberg* *Stephen Cooper*

The purpose of the pre-application meeting is to assist the applicant in assembling a complete application. The pre-application meeting provides an applicant or property owner with specific process information, code requirements, and feedback from representatives of the Planning, Building, Engineering and Utilities Departments, for the proposal. The meeting also provides the applicant an opportunity to address any concerns or challenges that may arise during the process.

1.25 Acre Proposed Multifamily

Project Description: The proposed plan includes construction of 10 residential townhome products on the 1.25 acre parcel. Access to be via 10 proposed driveway connections to the adjacent local roads.

Based on the preliminary plan, each townhome will have their own pool (amenity).

Water/Sewer would be via connection to available public water and sewer mains adjacent to the site. Details of these connections would be determined at time of construction plans review.

Drainage would be provide via onsite dry retention area(s) designed to address both State and City of Ft. Pierce storm water management criteria for such a development. Project would qualify for a FDEP 10/2 Stormwater GP (verses a SFWMD ERP). Details of the retention system would be provided at time of construction plans review.

Traffic – Based on ITE 10th Edition (Code 220 MF Low Rise) , the proposed 10 townhomes is predicted to generate 73 Average Daily Trips (ADT), with 7 PM Peak Hour Trips (4 inbound/3 outbound)

Solid Waste – The proposed residential project would get trash pickup via curbside.



Advanced Restoration Ecology

2412-501-0002-000-3

St Lucie County, FL

Environmental Assessment

Prepared For:
The Keys Company

Prepared By:
Drew Gatewood, MS, PWS
2593 NE Roberta St
Jensen Beach, FL 34957
772-242-7200
813-784-8891

©ARE, Inc. February 2022

The environmental assessment report below has been compiled in accordance with the St Lucie County Development Review Division and provisions set forth by the state of Florida. The parcel is listed by the St Lucie County Property Appraiser as Parcel ID number 2412-501-0002-000-3 and is a total of 1.252 acres. The property is located on 1521 S Ocean Dr Fort Pierce, FL. The following report describes the findings of our recent on-site review and database research as it pertains to St Lucie County and the State of Florida.

LAND USE RECORDS

The St Lucie County Property Appraiser's Report lists this property as 0000 Vacant Residential.

SOIL COMPOSITION:

Based on a review of the United State Department of Agriculture's Web Soil Survey database the site's soils are comprised of the following:

Canaveral Sand, 0 to 5% slope – This soil is typically found bordering sloughs and mangrove areas. It is variant in that it is somewhat poorly drained to moderately well drained. Typical vegetation includes saw palmetto, cabbage palm, and magnolia bay trees.

WILDLIFE EVALUATION:

On February 25, 2022, ARE conducted pedestrian transects across 100% of property looking for local, state and federally listed or endangered species present on the site. This survey primarily focused on the presence of gopher tortoise burrows or recent activity. During the pedestrian transects of the property, no gopher tortoise activity was observed on site, nor were any other listed plant or animal species were observed on site during the site visit.

NATIVE HABITAT

The site investigation conducted by ARE, Inc. did not find native habitat on the site. The site has been cleared and consists of open land. Species observed during the site reconnaissance included the following:

Cabbage palm (*Sabal palmetto*)

Bahia Grass (*Paspalum notatum*)

WETLAND DELINEATION:

Based on the State definition of a wetland in 62-340 FAC, there are three components: hydric soils, wetland plants, and hydrologic indicators. These factors listed were not present during the site investigation. ARE concludes this property does not include state and federally jurisdictional wetlands on site in its current configuration.

COUNTY REQUIREMENTS

The County will require proof of a completed gopher tortoise survey by a licensed agent. Please submit this document with any applications to use as the needed verification of a 100% gopher tortoise survey has been completed on the site. Per FWC regulations a gopher tortoise survey is good for 90 days, and any clearing must have a valid survey prior to commencement. The County will not authorize/issue any permitting without a current gopher tortoise survey.

CONCLUSION:

Based on County requirements, ARE, Inc. conducted a site investigation throughout the property to survey for the presence of any listed plant or animal species. Gopher Tortoise burrows were not observed on site, and no other State or Federally listed species were observed on the property during the site visit. A 100% gopher tortoise survey of the property was conducted and completed by an FWC licensed gopher tortoise agent during the site investigation. Native habitat was not determined to be on site. It is the professional opinion of ARE, Inc. that there are no State or Federally jurisdictional wetlands on the site as the site's characteristics do not meet the minimum thresholds required for wetland classification.



Parcel Info:2412-501-0002-000-3

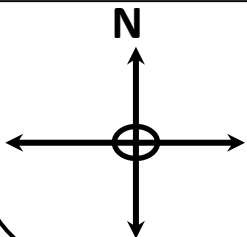
Owner	11765663 Canada Inc
Site Address	1521 S OCEAN DR
Jurisdiction	Fort Pierce
Acres	1.25
Last Sale Date	11/27/2020
Last Sale Price	\$100

[Zoom to](#) [Dock](#) [Measure](#) [Report](#)
[Comparable Sales](#)

2/25/2022

Location Map

Map Source: St. Lucie County



**1521 S Ocean Dr
Fort Pierce, FL**

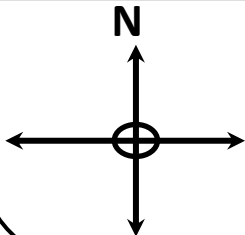




2/25/2022

Species Survey Map

Map Source: St. Lucie County



**1521 S Ocean Dr
Fort Pierce, FL**



Estimated Acreages

190 Open Land - 1.252



Parcel Info:2412-501-0002-000-3

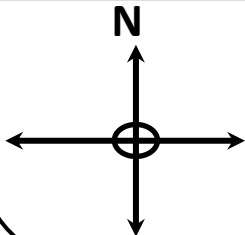
Owner	11765663 Canada Inc
Site Address	1521 S OCEAN DR
Jurisdiction	Fort Pierce
Acres	1.25
Last Sale Date	11/27/2020
Last Sale Price	\$100

[Zoom to](#) [Dock](#) [Measure](#) [Report](#)
[Comparable Sales](#)

2/25/2022

FLUCCS

Map Source: St. Lucie County



**1521 S Ocean Dr
Fort Pierce, FL**



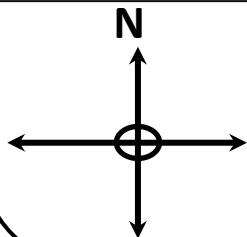


Tree No.	Size	Species
1	112'	Cabbage
2	28"	Live Oak
3	312"	Live Oak
4	410"	Strangler Cluster
5	514'	Cabbage
6	612'	Cabbage
7	712'	Cabbage
8	813'	Cabbage
9	912'	Cabbage
10	105"	Live Oak
11	1112'	Cabbage
12	126"	Live Oak
13	1315"	Live Oak Dbl
14	148"	Live Oak
15	1513"	Live Oak
16	1610"	Live Oak
17	1715'	Cabbage
18	1816'	Cabbage
19	1914'	Cabbage
20	2013'	Cabbage
21	2118"	Strangler Cluster
22	2213'	Cabbage
23	237"	Strangler Cluster
24	2413'	Cabbage
25	2517'	Cabbage
26	2613'	Cabbage
27	2714'	Cabbage
28	2817'	Cabbage
29	2914'	Cabbage
30	3013'	Cabbage
31	3116"	Seagrave Cluster
32	3220"	Seagrave Cluster
33	3322"	Seagrave Cluster

2/25/2022


Tree Survey Map

Map Source: St. Lucie County



**1521 S Ocean Dr
Fort Pierce, FL**



St. Lucie County, Florida (FL111) 

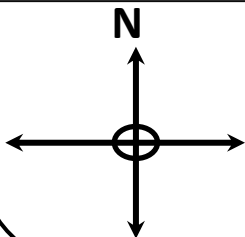
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
10	Canaveral fine sand, 0 to 5 percent slopes	1.3	100.0%
Totals for Area of Interest		1.3	100.0%



2/25/2022

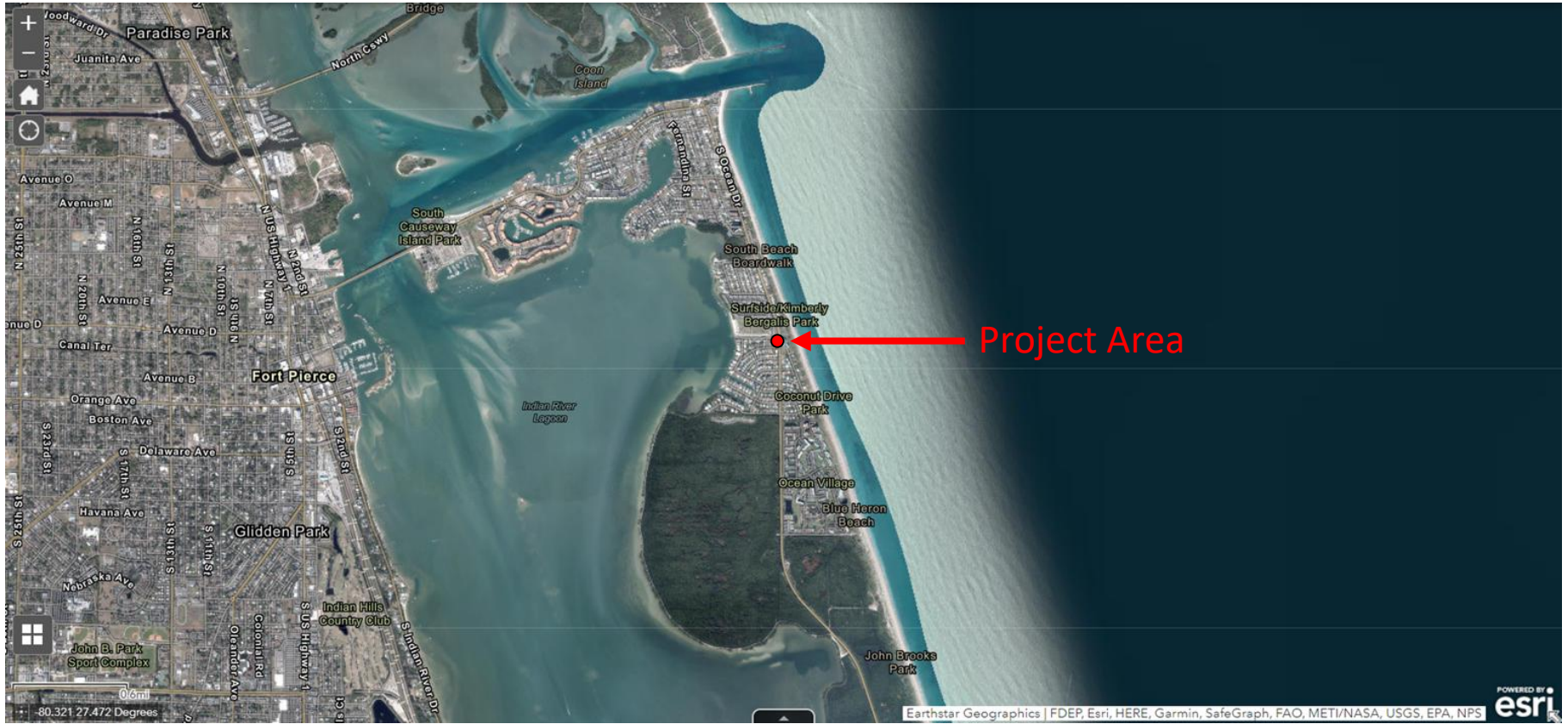
Soil Map

Map Source: Web Soil



**1521 S Ocean Dr
Fort Pierce, FL**

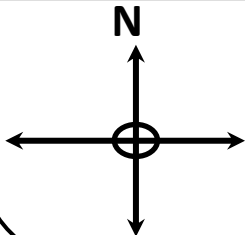




2/25/2022

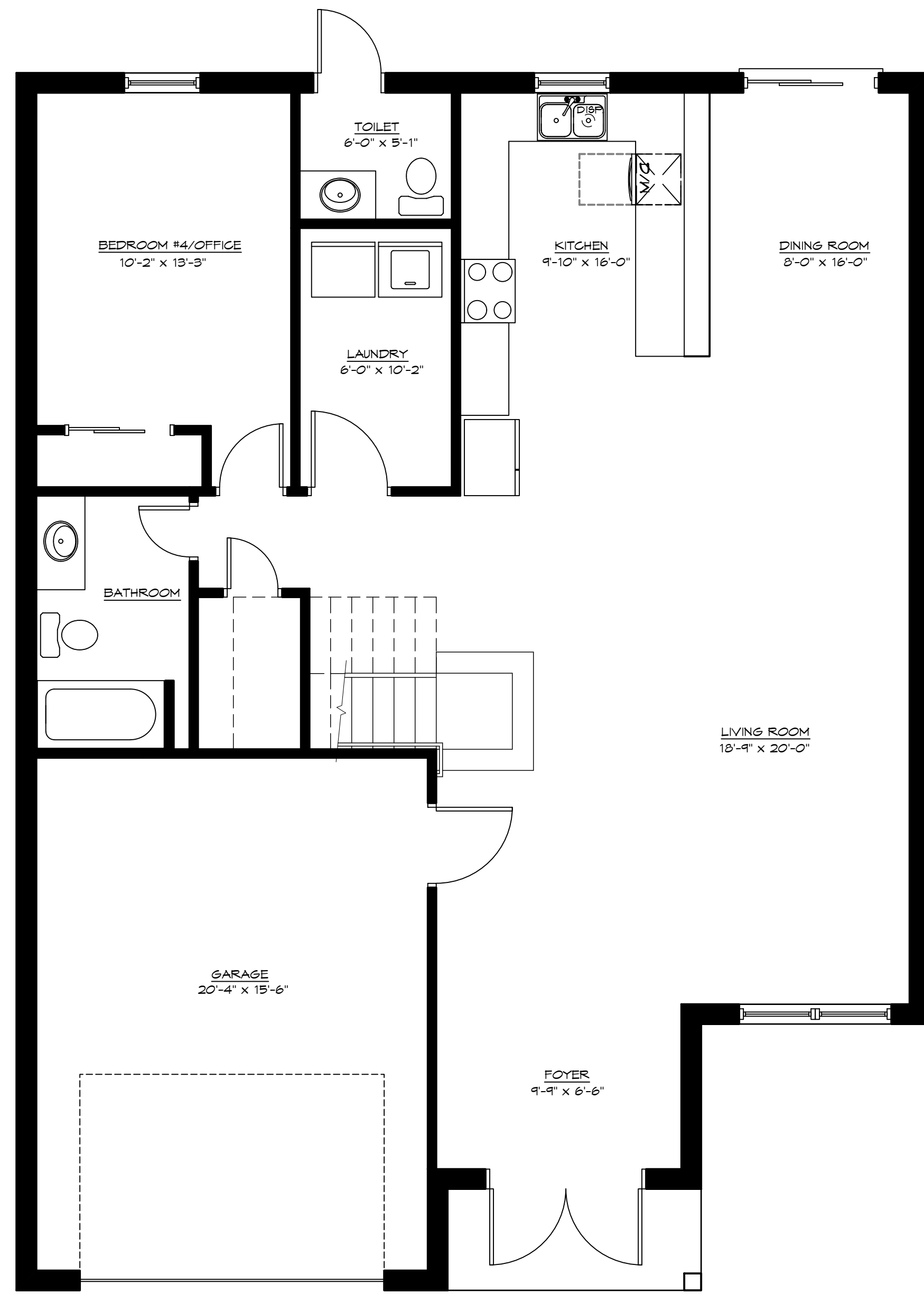
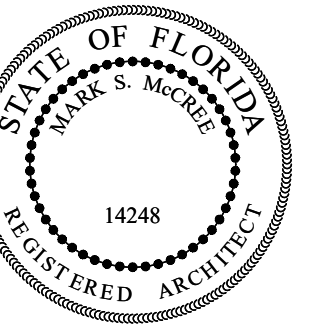
Eagle Map

Map Source: FWC



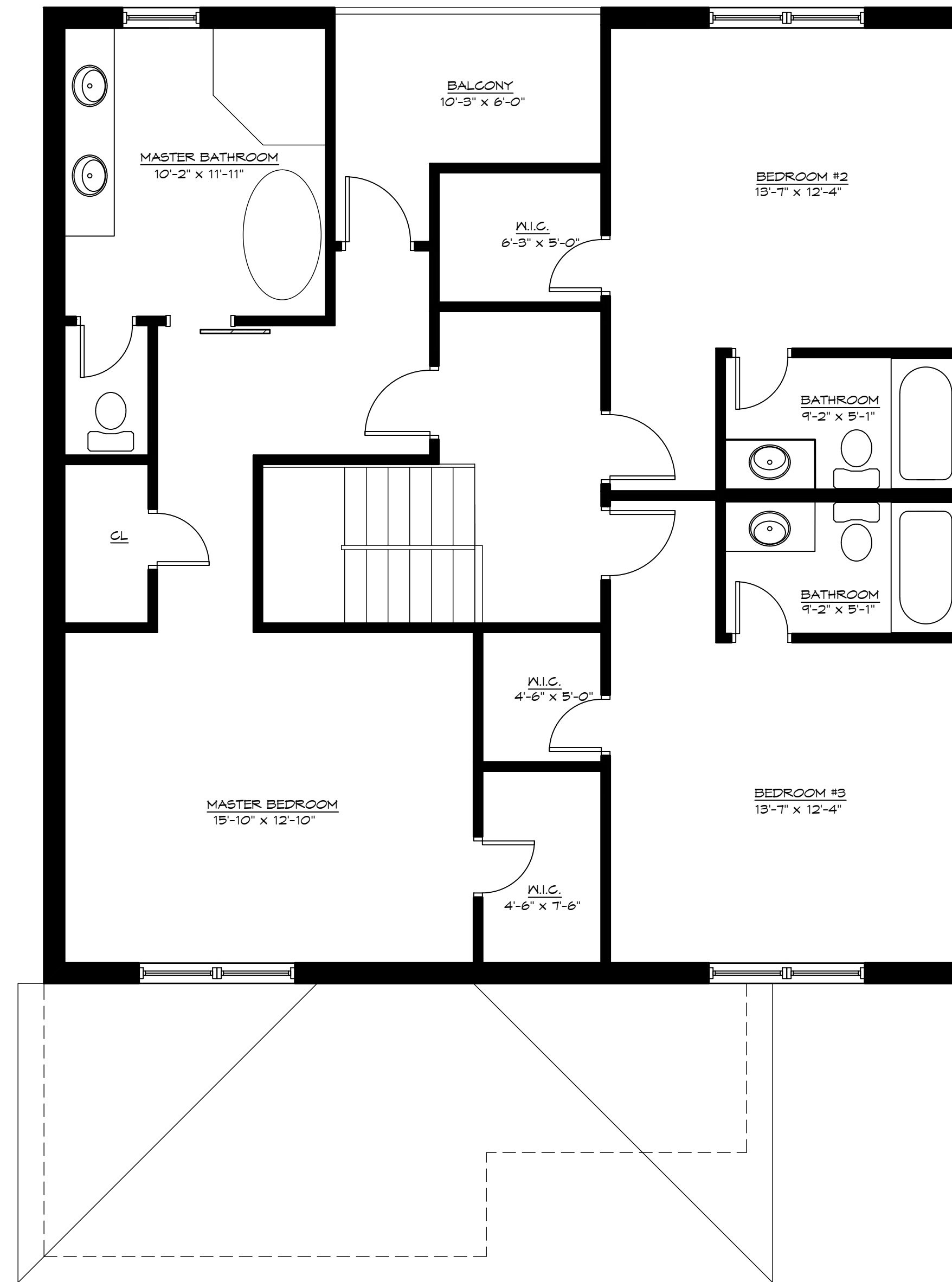
**1521 S Ocean Dr
Fort Pierce, FL**





FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



CONCEPTUAL FRONT ELEVATION

SCALE: 1/4" = 1'-0"

A MULTI FAMILY RESIDENTIAL DEVELOPMENT FOR:
1521 SOUTH OCEAN DRIVE
FORT PIERCE, FLORIDA

PROJECT

DOCUMENT DATE:
03.16.2022

REVISIONS:

NO.	DATE	REVISIONS

SHEET TITLE:
**CONCEPTUAL
FLOOR PLANS**

SHEET NUMBER:

A-1

UNDIVIDED
SURFSIDE UNIT 1
FT PIERCE CITY OF
ZONED: OS-1
FUTURE: COS

FND RAILROAD
SPIKE 0.15'S,
0.11'E

LARRY AULICK
KATHY J AULICK
ZONED: R-4A
FUTURE Z: HIR
LOT 10
BLOCK 2

DAN L NEFF
CORINNE M IANNELLO-NEFF
ZONED: R-4A
FUTURE Z: HIR
LOT 11
BLOCK 2

SITE BENCHMARK
PLANNED "NAI DISK"
ELEV= 43.15 NAVD 1988

FND RAILROAD
SPIKE 0.24'S,
0.05'E

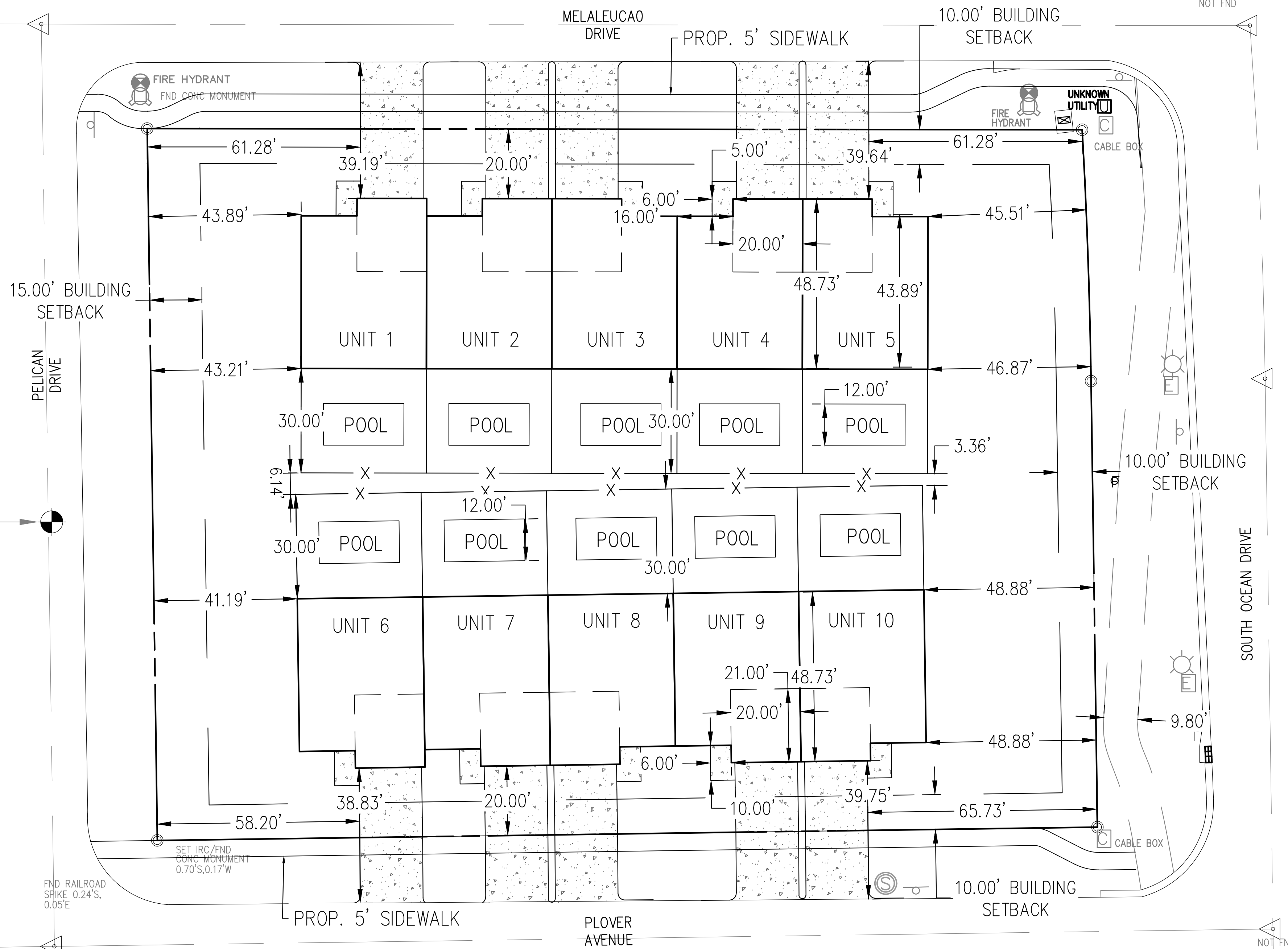
STEPHEN J WILK (TR)
SANDRA J WILK (TR)
ZONED: R-4A
FUTURE Z: HIR
LOT 4
BLOCK 5

DIANA ALVAREZ
BARTOLO ALVAREZ (TR)
ROSEMARY BUTLER-ALVAREZ (TR)
ZONED: R-4A
FUTURE Z: HIR
LOT 5
BLOCK 5

CORLISS Y PHILLIPS
ZONED: R-4A
FUTURE Z: HIR
LOT 5
BLOCK 5

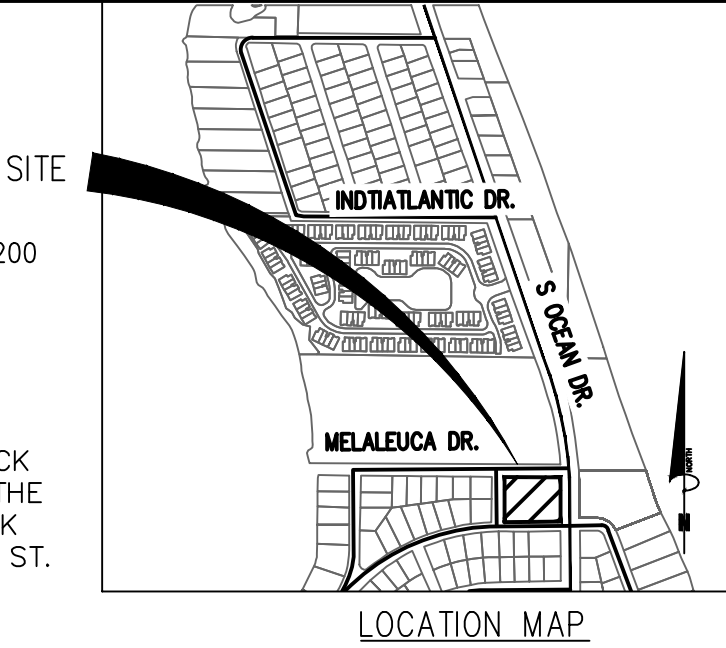
SUSAN YUSHKO
ZONED: R-4A
FUTURE Z: HIR
LOT 7
BLOCK 5

SUSAN YUSHKO
ZONED: R-4A
FUTURE Z: HIR
LOT 8
BLOCK 5



SITE DATA

SITE ADDRESS - 1521 S OCEAN DR
OWNER: 11765663 CANADA INC, 135058 C
ANADA INC, 136681 CANADA INC
OWNER ADDRESS: 4420 COTE-DE-LIESSE RD STE 200
MOUNT ROYAL, QC H4N 2P7
CANADA
SITE ADDRESS - 1521 S OCEAN DR
COUNTY-FORT PIERCE
LEGAL DESCRIPTION: UNDIVIDED TRACT IN BLOCK 1 OF SURFSIDE UNIT ONE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 10, PAGE 17, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.



1 PARCEL NO.: 2412-501-0002-000-3
SEC/TOWN/RANGE - 12/35S/40E
EXISTING ZONING - R4-A
FUTURE LAND USE - HIR
FLOOD ZONE "X"
PANEL NO.: 12111C0183 K

PROPOSED BUILDING

UNITS: 10

BUILDING SETBACKS

FRONT REQUIRED = 10'
PROPOSED = 45.51'
SIDE REQUIRED = 10'
PROPOSED = 20'
REAR REQUIRED = 15'
PROPOSED = 41.19'

MAX BUILDING HEIGHT = 45'
PROPOSED = 45'

PARKING CALCULATION

2 SPACES PER DEWELLING
10 DEWELLING X 2 SPACES = 20
REQUIRED: 20
PROPOSED: 20 2 CAR GARAGES

NORA M CANDELA (TR)
ZONED: R-4A
FUTURE Z: HIR
LOT 8
BLOCK 5

TOTAL SITE DATA

TOTAL SITE AREA	=	54,654.63 S.F.	=	1.25 ACRES (100%)
IMPERVIOUS AREA BREAK DOWN:				
PROPOSED BUILDING	=	16,800.00 S.F.	=	0.39 ACRES (30.74%)
PROPOSED CONCRETE	=	7,014.15 S.F.	=	0.16 ACRES (12.83%)
TOTAL IMPERVIOUS AREA	=	23,814.15 S.F.	=	0.55 ACRES (43.57%)
TOTAL PERVIOUS AREA	=	30,840.48 S.F.	=	0.71 ACRES (56.57%)

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

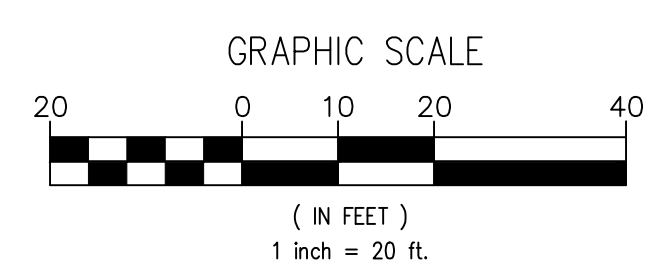
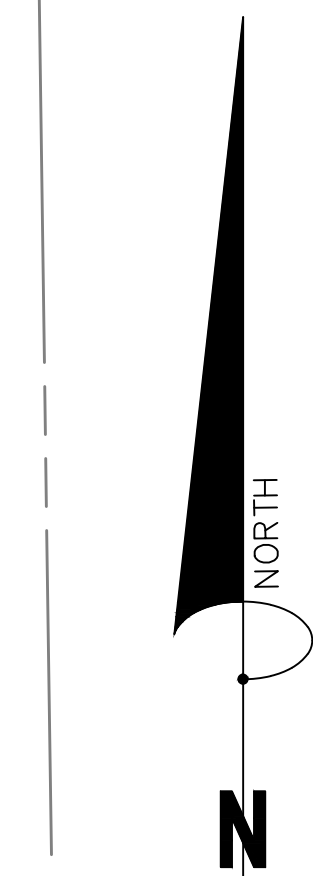
STEPHEN COOPER, P.E.
& ASSOCIATES, INC.
- CONSULTING ENGINEER -
CIVIL ENGINEERING • SITE PLANNING • ENVIRONMENTAL PERMITTING
7450 SOUTH FEDERAL HIGHWAY
PORT ST. LUCIE, FLORIDA 34952
Tel: 1-772-336-2933
FLORIDA CERTIFICATE OF AUTHORIZATION No. 00088658

SCOPE

MULTIFAMILY RESIDENTIAL

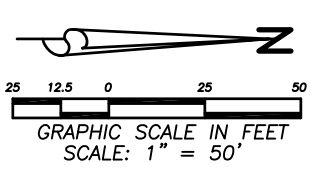
STATE OF FLORIDA
CITY OF FORT PIERCE

DATE: FEB 2022
DRAWN BY: CCL
DESIGNED BY: SC
CHECKED BY: SC
HORZ. SCALE:
VERT. SCALE:
DRAWING NO.
JOB NO. 2022-104



Stephen Cooper, P.E. #46557



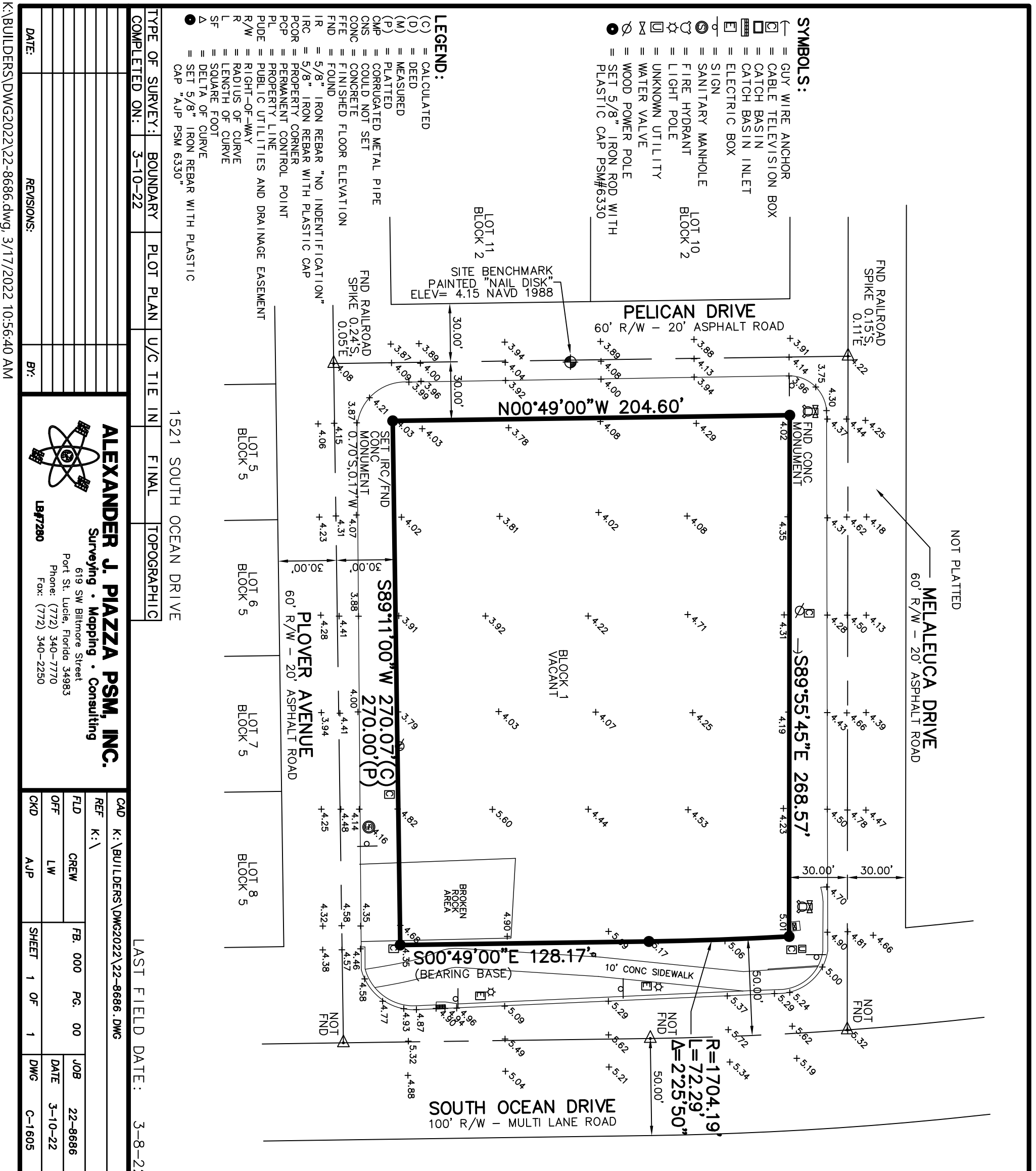


LEGAL DESCRIPTION:
BLOCK 1, SURFSIDE UNIT ONE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 10, PAGE 17, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

SURVEY NOTES:

1. THIS IS A BOUNDARY SURVEY AS DEFINED IN CHAPTER 5J-17.050(11), FLORIDA ADMINISTRATIVE CODE.
2. THIS BOUNDARY SURVEY WAS PERFORMED FOR THE PURPOSE OF FUTURE DEVELOPMENT SHOWN AND DEPICTED HEREON. I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS IS A TRUE, ACCURATE AND COMPLETE DEPICTION OF A FIELD SURVEY PERFORMED UNDER MY DIRECTION AND COMPLETED ON 3-08-22. I FURTHER CERTIFY THAT SAID DRAWING IS IN COMPLIANCE WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
3. UNLESS OTHERWISE NOTED ONLY PLATTED EASEMENTS ARE SHOWN HEREON.
4. NO UNDERGROUND UTILITIES OR IMPROVEMENTS WERE LOCATED UNLESS OTHERWISE SHOWN.
5. THIS SITE LIES WITHIN FLOOD ZONE "X", ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 1211100183 K, EFFECTIVE DATE FEBRUARY 19, 2020.
6. FLOOD ZONE SHOWN HEREON IS AN INTERPRETATION BY THE SURVEYOR AND IS PROVIDED AS A DETERMINATION AGENCY. THE FLOOD ZONE SHOULD BE VERIFIED BY A DETERMINATION AGENCY.
7. BEARINGS SHOWN HEREON ARE BASED ON THE WEST R/W LINE OF STATE ROAD A1A ASSUMED TO BEAR $S00^{\circ}49'00"E$.
8. THE PROPERTY FALLS WITHIN THE SUBURBAN CATEGORY AS CLASSIFIED IN CHAPTER 5J-17.051(2), FLORIDA ADMINISTRATIVE CODE. ALL FIELD CONTROL MEASUREMENTS EXCEEDED 1:7,5000 FEET ACCURACY REQUIREMENTS FOR THIS CLASSIFICATION.
9. ALL LOT DIMENSIONS SHOWN ARE PER PLAT UNLESS OTHERWISE NOTED. ALL SURVEY MEASUREMENTS ARE IN FEET.
10. ALL MAPPED FEATURES SHOWN HEREON ARE UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF ALEXANDER J. PIAZZA PSM, INC.
11. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
12. ADDITIONS OR DELETIONS TO THE SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

CERTIFIED TO:
CAMBRIDGE SQUARE, LLC.



SYMBOLS:
 = GUY WIRE ANCHOR
 = CABLE TELEVISION BOX
 = CATCH BASIN
 = CATCH BASIN INLET
 = ELECTRIC BOX
 = SIGN
 = SANITARY MANHOLE
 = FIRE HYDRANT
 = LIGHT POLE
 = UNKNOWN UTILITY
 = WATER VALVE
 = WOOD POWER POLE
 = SET 5/8" IRON ROD WITH PLASTIC CAP PSM#6330

LEGEND:
 (C) = CALCULATED
 (D) = DEED
 (M) = MEASURED
 (P) = PLATTED
 CMP = CORRUGATED METAL PIPE
 CNS = COULD NOT SET
 CONC = CONCRETE
 FFE = FINISHED FLOOR ELEVATION
 FND = FOUND
 IR = 5/8" IRON REBAR "NO IDENTIFICATION"
 IRC = 5/8" IRON REBAR WITH PLASTIC CAP
 PCOR = PROPERTY CORNER
 PCP = PERMANENT CONTROL POINT
 PL = PROPERTY LINE
 PUDE = PUBLIC UTILITIES AND DRAINAGE EASEMENT
 R/W = RIGHT-OF-WAY
 R = RADIUS OF CURVE
 L = LENGTH OF CURVE
 SF = SQUARE FOOT
 A = DELTA OF CURVE
 ● = SET 5/8" IRON REBAR WITH PLASTIC CAP "AJP PSM 6330"

TYPE OF SURVEY: BOUNDARY PLOT PLAN U/C TIE IN FINAL TOPOGRAPHIC
COMPLETED ON: 3-10-22
 1521 SOUTH OCEAN DRIVE
 LAST FIELD DATE: 3-8-22

DATE:	REVISIONS:	BY:

ALEXANDER J. PIAZZA PSM, INC.
 Surveying • Mapping • Consulting
 619 SW Baltimore Street
 Port St. Lucie, Florida 34983
 Phone: (772) 340-7770
 Fax: (772) 340-2250
 LB#7280

CAD	K:\BUILDERS\DMC2022\22-8686.DWG		
REF	K:\		
FLD	CREW		
OFF	LW		
CKD	AJP		
FB	000	PG.	00
DATE	3-10-22		
SHEET	1 OF 1	DWG	C-1605

ALEXANDER J. PIAZZA
 License Number 6330
 STATE OF FLORIDA
 ALEXANDER J. PIAZZA
 Professional Surveyor & Mapper
 Florida Certificate No. 6330

Saint Lucie County Property Appraiser



February 8, 2022



1:2,257



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), Parcel Info:2412-501-0002-000-3

Pre-Application Meeting

1. c.

Meeting Date: 04/27/2022

REQUESTED ACTION

Flex Space (Wholesale Trade/Warehouse Freight) - 4646 Okeechobee Road
-(2419-122-0001-040-6, 2419-122-0001-050-9)

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Pre-Application Packet 4646 Okeechobee Road
Survey

Form Review

Form Started By: Alicia Rosenthal
Final Approval Date: 04/01/2022

Started On: 04/01/2022 01:55 PM

Site Address: OKEECHOBEE RD
Sec/Town/Range: 19/35S/40E
Parcel ID: 2419-122-0001-040-6
Jurisdiction: Fort Pierce

Use Type: 1000
Account #: 175561
Map ID: 24/19N
Zoning: General Co

Site Address: OKEECHOBEE RD
Sec/Town/Range: 19/35S/40E
Parcel ID: 2419-122-0001-050-9
Jurisdiction: Fort Pierce

Use Type: 1000
Account #: 176141
Map ID: 24/19N
Zoning: General Co





Pre-Application Meeting

Pre-application meetings are scheduled on the 4th Wednesday of each month at 10:00 AM and the deadline for submittal is the first Friday of the month. The meetings are held both in person, in the 2nd Floor Conference Room of City Hall, or virtually via Microsoft Teams, which is set up by the Planning Department. The applicant or property owner is required to attend (in-person or virtually); architects, engineers, or contractors for the proposal are encouraged to attend. The fee for a pre-application meeting is **\$300** (\$250 + \$50 Building Department Fee) with an additional \$250 fee for a "no show". To discuss or schedule a pre-application meeting please contact the Planning Department at **(772) 467-3737** or email us at **planning_dl@cityoffortpierce.com**.

The minimum submittal requirements are as follows:

Site Plan

Detailed Project Narrative

Floor Plan

Survey

Proposed Use of the Property: Flex Space (wholesale trade / warehouse freight)
Flex Space (wholesale trade / warehouse freight)

Property address or location

Okeechobee Rd

Parcel ID(s)

2419-122-0001-040-6 & 2419-122-0001-050-9

Property Owner(s) Name

St. Lucie Kings, LLC

Applicant/Representative, Company

HJA Design Studio

Street Address

101 Pugliese Way

Street Address

50 SE Ocean Blvd., Suite 101

City

Delray Beach

State

FL

Zip

33444

City

Stuart

State

FL

Zip

34994

Phone Number

561-454-1625

Phone Number

772-678-7200

Email Address

azurita@puglieseco.com

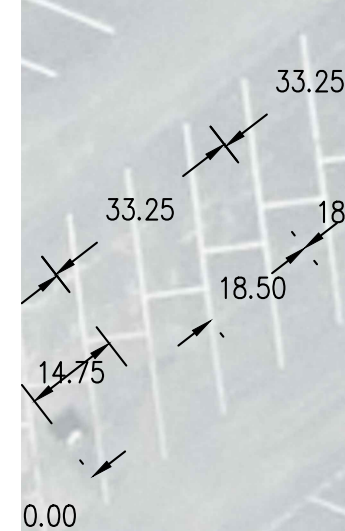
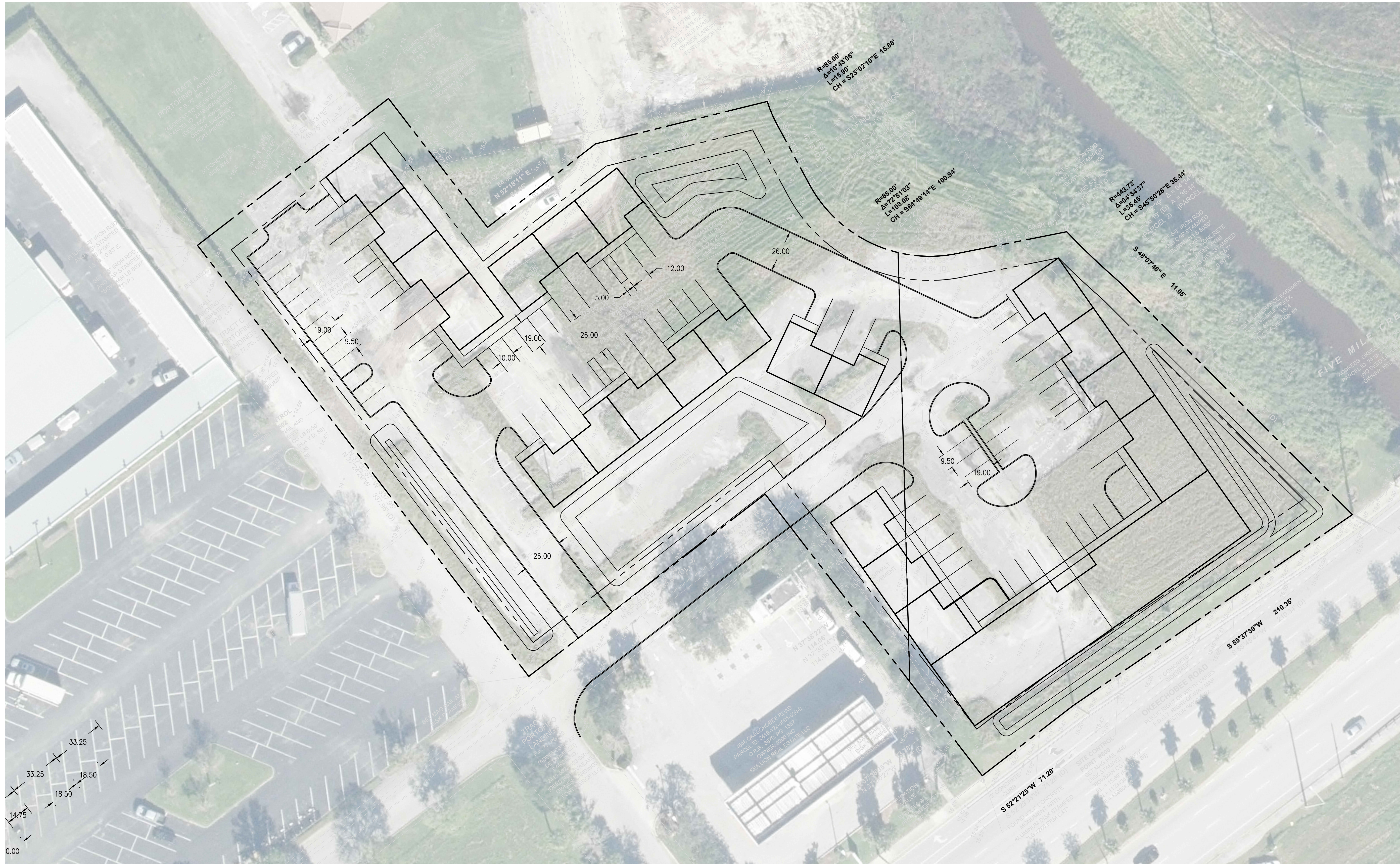
Email Address

mhouston@hjadstudio.com

The property owner is aware that a Pre-Application meeting has been requested.

Property Owner's Signature _____

The purpose of the pre-application meeting is to assist the applicant in assembling a complete application. The pre-application meeting provides an applicant or property owner with specific process information, code requirements, and feedback from representatives of the Planning, Building, Engineering and Utilities Departments, for the proposal. The meeting also provides the applicant an opportunity to address any concerns or challenges that may arise during the process.



SITE DATA

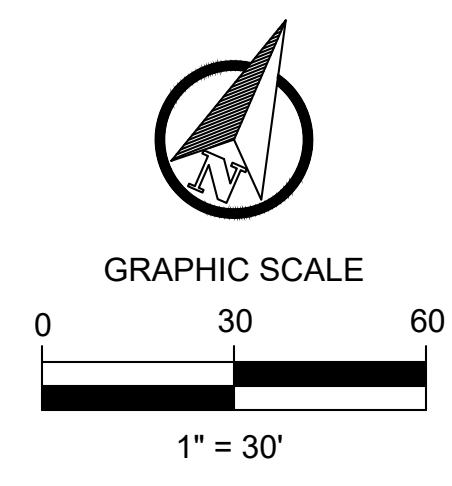
TOTAL SITE AREA	155,352 SF	3.56 AC	(100%)
IMPERVIOUS AREA	88,903 SF	2.04 AC	(57%)
BUILDING FOOTPRINT	32,662 SF	0.75 AC	(21%)
PAVEMENT/CONCRETE	56,241 SF	1.29 AC	(36%)

PERVIOUS AREA	66,449 SF	1.53 AC	(43%)
OPEN SPACE	45,729 SF	1.05 AC	(29%)
STORMWATER AREA	20,720 SF	0.48 AC	(14%)

CURRENT ZONING: GENERAL COMMERCIAL (GC)
 FUTURE LAND USE: COMMERCIAL GENERAL (C-3)
 EXISTING USE: VACANT COMMERCIAL
 PROPOSED USE: FLEX SPACE (WHOLE SALE TRADE / WAREHOUSE & FREIGHT)

PARKING CALCULATIONS

SIZE, USE & RATE	REQUIRED	PROVIDED
32,662 SF WAREHOUSE @ 1 SPACE PER 600 SF	54	54
ACCESSIBLE SPACES @ 51-75 TOTAL SPACES	3	5
LOADING SPACE REQUIREMENT 32' X 14.50'	2	23



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

NOTE:
 ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

PLAN STATUS		
DATE	DESCRIPTION	
	MU	GC
	DESIGN	DRAWN
		GMB
		CHKD

JOB No.	010595
DATE	JUNE 2021
FILE No.	FT PIERCE SS2
EX A	
SHEET	

Via Hand Delivered
March 25, 2022

Jennifer Hofmeister,
Planning Director
City of Fort Pierce Planning Department
100 N. U.S. Highway 1
Fort Pierce, FL 34950

**RE: 4646 Okeechobee Road Undeveloped 3.56 Acres Portion at Portofino Landings
Pre-Application Request – PCN: 2419-122-0001-040-6 & 2419-122-0001-050-9**

Dear Jennifer,

Please accept this letter and the attached exhibits as our request for a Pre-Application meeting for the above mentioned parcel which is a partially constructed site where some underground and paving was begun but stopped prior to completion. This site is a portion of the Portofino Landings Master Plan off of Okeechobee Road which included a proposed 43,000 square foot 3-story mixed office & retail building and a proposed 5,700 square foot 1-story restaurant. This parcel is made up of two platted lots totaling 3.56 acres. The attached preliminary Site Plan includes 32,662 square feet of flex space in 5 buildings. We would like to discuss the specifics of the allowed / permitted whole sale use as well as the warehouse freight conditional use.

Enclosed, please find the pre-application submittal for a portion of the Portofino Landings site as reference above. The following items are included as per the application requirements:

1. A completed pre-application form
2. Payment for the pre-application fee will be submitted after invoicing.
3. Warranty Deed
4. Project Narrative (included in the first paragraph of this cover letter)
5. Conceptual Site Plan overlaid on an aerial
6. Location, Future Land Use and Zoning exhibit maps

We look forward to discussing this project with you. Thank you for your assistance with this application.

Sincerely,



Michael Houston
President, HJA Design Studio

Prepared By:
Doug Marek, Esq.
DOUG MAREK, P.A.
101 Pineapple Grove Way, Suite 200
Delray Beach, Florida 33444
561 454-1610

Property ID: 2419-122-0001-040-6
2419-122-0001-050-9

WARRANTY DEED

THIS WARRANTY DEED is made as of the 9th day of March 2021 by FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company, whose post office address is 2055 US Highway 1, Vero Beach, FL 32960 ("Grantor") to ST. LUCIE KINGS, LLC, a Florida limited liability company whose post office address is 101 Pugliese's Way, 2nd Floor, Delray Beach, FL 33444 ("Grantee").

GRANTOR, IN CONSIDERATION of Ten Dollars and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee all that land as described in Exhibit A attached hereto, situate in St. Lucie County, Florida.

SUBJECT TO easements, restrictions, and reservations of record, taxes for the year 2021 and thereafter (a lien which is not yet due and payable).

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging or in anywise pertaining.

TO HAVE and to hold the same in fee simple forever.



AND, Grantor hereby covenants with Grantee that Grantor is lawfully seized of said land in fee simple, that Grantor has good, right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021 (a lien which is not yet due and payable).

IN WITNESS WHEREOF, Grantor has signed and sealed these presents the day and year first above written.


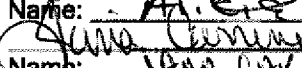
Signed, sealed and delivered in the presence of:

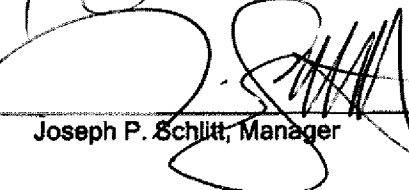
FLORIDA TAX LIEN ASSETS IV, LLC, a Florida limited liability company

By: Kite Tax Lien Capital, LLC, a Florida limited liability company


Name: Alicia Benz

Name: Jana Carlington

By: 
Kelly P. Kite, Jr., Manager



Name: Alicia Benz

Name: Jana Carlington

By: 
Joseph P. Schlitt, Manager

STATE OF FLORIDA
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or on line notarization, Kelly P. Kite, Jr., as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced _____ as identification.

WITNESS, my hand and official seal in the County and State aforesaid this 8th day of March 2021.




Notary Public

STATE OF FLORIDA
COUNTY OF INDIAN RIVER

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, appeared by means of ✓ physical presence or on line notarization, Joseph P. Schlitt, as manager of Kite Tax Lien Capital, LLC, a Florida limited liability company, the managing member of FLORIDA TAX LIEN ASSETS IV, LLC, who is personally known to me or produced _____ as identification.

WITNESS, my hand and official seal in the County and State aforesaid this 8th day of March 2021.



Notary Public

1832-002 *

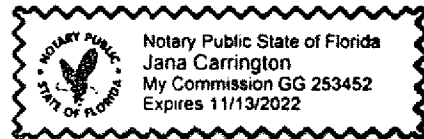


EXHIBIT A
Legal Description

Parcel 1:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST, ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA; S.R. 70); THENCE SOUTH 52°29'55" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2,102.04 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 55°45'47" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST, A DISTANCE OF 73.78 FEET; THENCE NORTH 37°30'14" WEST, A DISTANCE OF 114.06 FEET; THENCE NORTH 37°29'33" WEST, A DISTANCE OF 33.20 FEET; THENCE SOUTH 52°29'33" WEST, A DISTANCE OF 185.54 FEET; THENCE NORTH 37°24'29" WEST, A DISTANCE OF 337.95 FEET; THENCE NORTH 52°35'31" EAST, A DISTANCE OF 149.75 FEET; THENCE SOUTH 37°24'29" EAST, A DISTANCE OF 101.01 FEET; THENCE NORTH 52°26'19" EAST, A DISTANCE OF 84.86 FEET; THENCE NORTH 76°15'19" EAST, A DISTANCE OF 109.98 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 72°27'31" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 10°43'05", A DISTANCE OF 15.90 FEET TO A POINT OF TANGENCY; THENCE SOUTH 28°15'34" EAST, A DISTANCE OF 42.13 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 85.00 FEET AND A CENTRAL ANGLE OF 72°51'03", A DISTANCE OF 108.08 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST, A DISTANCE OF 69.88 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT AT WHICH A RADIAL LINE BEARS NORTH 46°34'59" EAST; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 443.72 FEET AND A CENTRAL ANGLE OF 04°34'37", A DISTANCE OF 35.44 FEET TO A POINT OF TANGENCY; THENCE SOUTH 47°59'38" EAST, A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST, A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

LESS A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

Parcel 2:

A PARCEL OF LAND LYING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE NORTH 01°20'45" EAST ALONG THE EAST LINE OF SECTION 18, TOWNSHIP 35 SOUTH, RANGE 40 EAST, FOR A DISTANCE OF 357.81 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF OKEECHOBEE ROAD (AKA S.R. 70); THENCE SOUTH 52°29'55" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 2102.04 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE SOUTH 55°45'47" WEST FOR A DISTANCE OF 210.34 FEET; THENCE SOUTH 52°29'33" WEST FOR A DISTANCE OF 71.28 FEET; THENCE NORTH 37°30'27" WEST FOR A DISTANCE OF 73.78 FEET; THENCE NORTH 01°22'19" WEST FOR A DISTANCE OF 267.30 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 14°31'16" WEST, HAVING A RADIUS OF 85.00 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 36.54 FEET THROUGH A CENTRAL ANGLE OF 24°37'53" TO A POINT OF TANGENCY; THENCE NORTH 78°53'23" EAST FOR A DISTANCE OF 69.88 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST WHOSE RADIAL LINE BEARS SOUTH 46°34'59" WEST, HAVING A RADIUS OF 443.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 35.19 FEET THROUGH A CENTRAL ANGLE OF 04°32'39"; THENCE SOUTH 47°59'38" EAST FOR A DISTANCE OF 11.05 FEET; THENCE SOUTH 44°53'31" EAST FOR A DISTANCE OF 203.42 FEET TO THE POINT OF BEGINNING.

4646 Okeechobee Road

Aerial Map

Fort Pierce, FL



Prepared by:



North

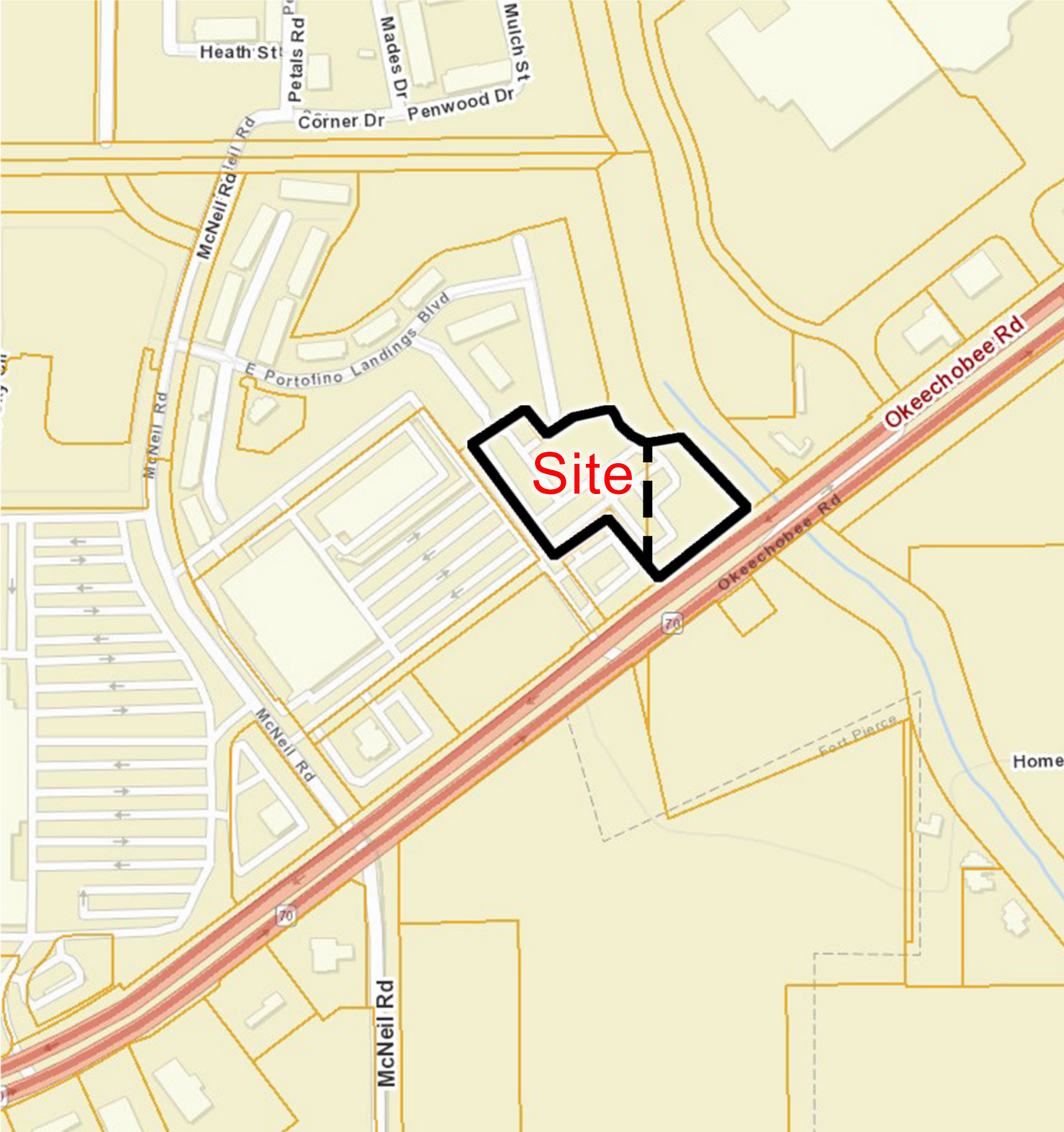
Date: 03/25/22

Project #: 2022-07

4646 Okeechobee Road

Location Map

Fort Pierce, FL



Prepared by:

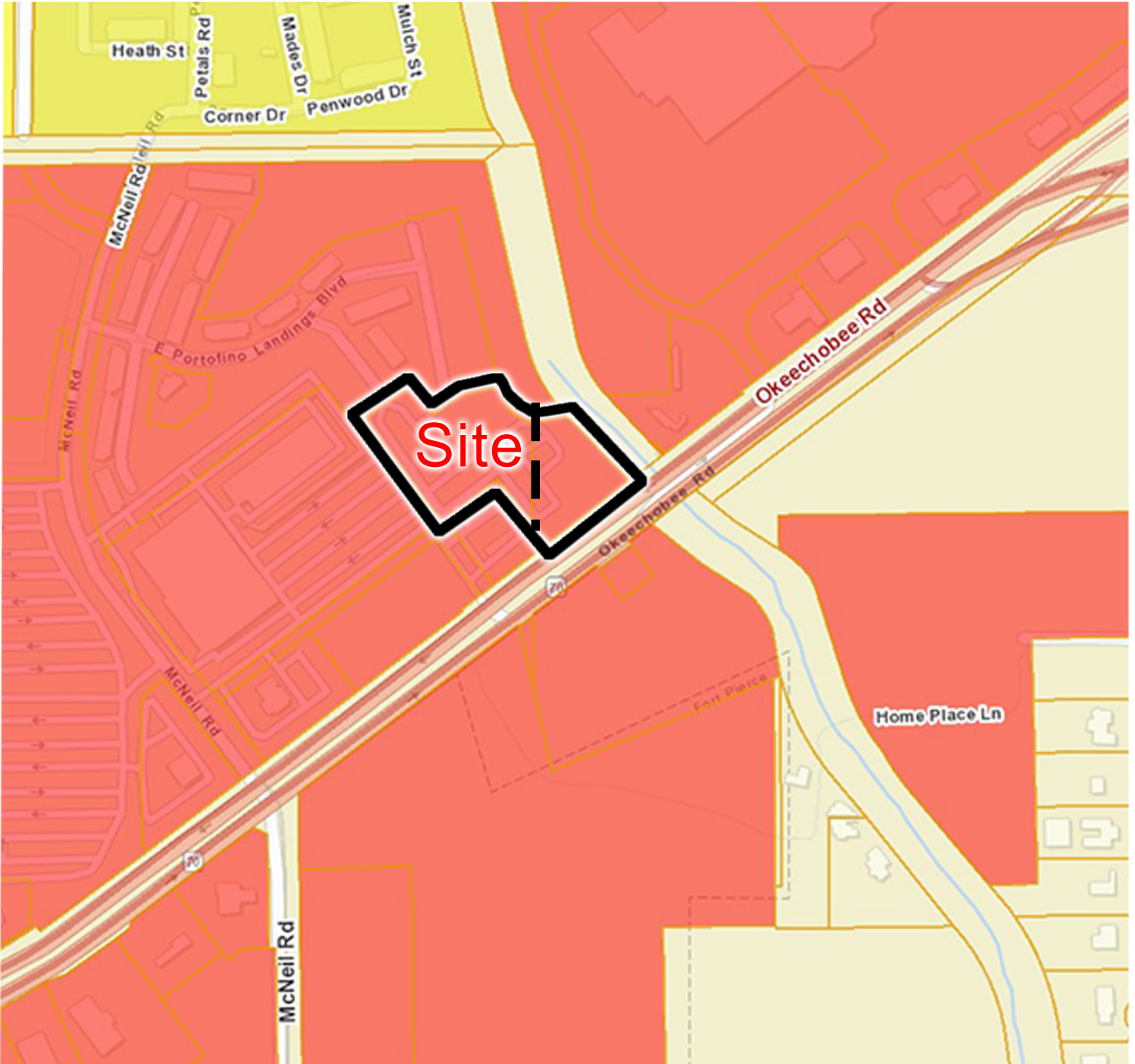


North
Date:03/25/22
Project #: 2022-07

4646 Okeechobee Road

Future Land Use Map

Fort Pierce, FL



GC - General Commercial



RM - Medium Density Residential

Prepared by:



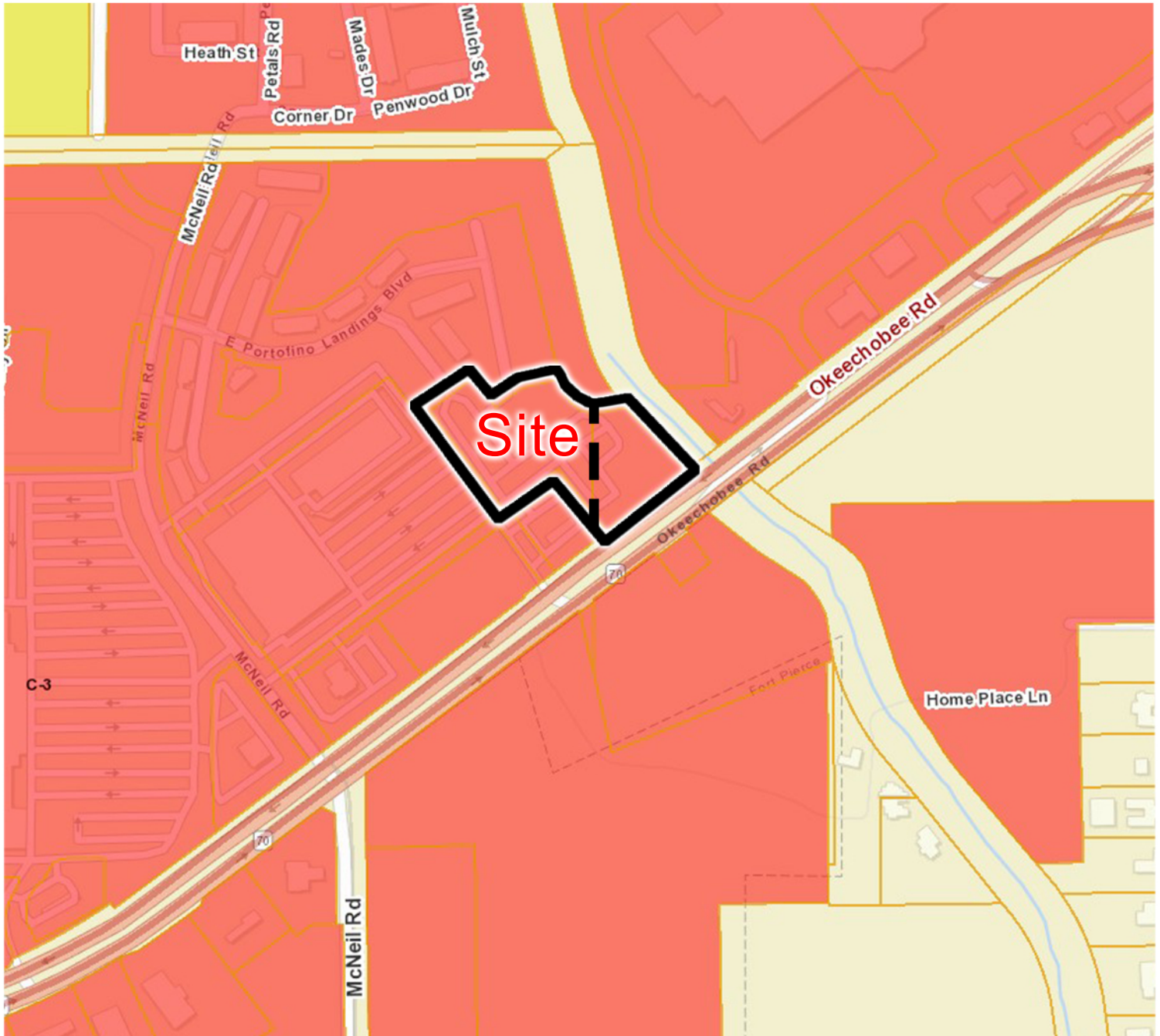
North

Date: 03/25/22

Project #: 2022-07

4646 Okeechobee Road

Current Zoning Map
Fort Pierce, FL



C-3 (General Commercial)



R-4 (Medium Density Residential)

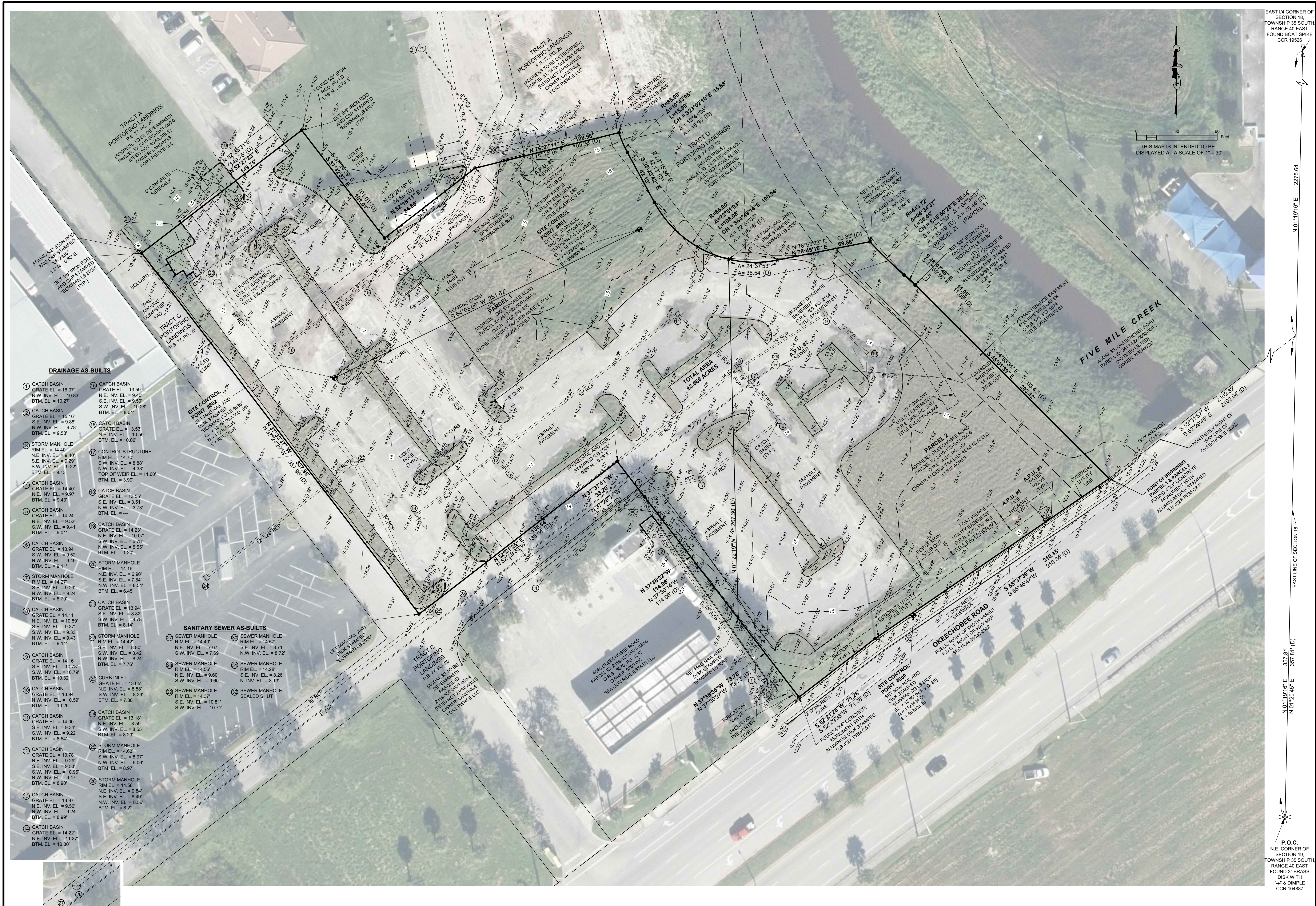
Prepared by:



North

Date: 03/25/22

Project #: 2022-07



EAST 1/4 CORNER OF SECTION 18, TOWNSHIP 35 SOUTH RANGE 40 EAST FOUND BOAT SPIKE CCR 19526

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 30'

0 30 60 Feet

N 01°19'16" E 2275.64'

EAST LINE OF SECTION 18

N 01°19'16" E 357.81'

N 01°20'45" E 357.81' (D)

P.O.C. NE CORNER OF SECTION 18, TOWNSHIP 35 SOUTH RANGE 40 EAST FOUND 3" BRASS DISK WITH 1/2" DIMPLE CCR 104887

DRAINAGE AS-BUILTS

- 1 CATCH BASIN GRATE EL = 16.07' N.W. INV. EL = 10.83' BTM. EL = 10.27'
- 2 CATCH BASIN GRATE EL = 15.16' S.E. INV. EL = 9.98' N.W. INV. EL = 9.78' BTM. EL = 9.53'
- 3 STORM MANHOLE RIM EL = 14.40' N.E. INV. EL = 9.40' S.W. INV. EL = 9.29' BTM. EL = 9.22'
- 4 CATCH BASIN GRATE EL = 14.40' N.E. INV. EL = 9.97' BTM. EL = 9.43'
- 5 CATCH BASIN GRATE EL = 14.24' N.E. INV. EL = 9.52' S.W. INV. EL = 9.41' BTM. EL = 9.01'
- 6 CATCH BASIN GRATE EL = 13.94' S.W. INV. EL = 9.52' N.W. INV. EL = 9.49' BTM. EL = 9.11'
- 7 STORM MANHOLE RIM EL = 14.27' S.E. INV. EL = 9.29' N.W. INV. EL = 9.24' BTM. EL = 8.79'
- 8 CATCH BASIN GRATE EL = 14.11' N.E. INV. EL = 10.59' S.E. INV. EL = 9.37' S.W. INV. EL = 9.33' BTM. EL = 9.14'
- 9 CATCH BASIN GRATE EL = 14.16' S.E. INV. EL = 10.73' S.W. INV. EL = 10.79' BTM. EL = 10.32'
- 10 CATCH BASIN GRATE EL = 13.94' N.W. INV. EL = 10.59' BTM. EL = 10.26'
- 11 CATCH BASIN GRATE EL = 14.00' S.E. INV. EL = 9.34' S.W. INV. EL = 9.22' BTM. EL = 8.54'
- 12 CATCH BASIN GRATE EL = 13.78' N.E. INV. EL = 9.29' S.E. INV. EL = 9.53' S.W. INV. EL = 10.95' N.W. INV. EL = 9.47' BTM. EL = 8.90'
- 13 CATCH BASIN GRATE EL = 13.97' N.E. INV. EL = 9.50' N.W. INV. EL = 9.24' BTM. EL = 8.99'
- 14 CATCH BASIN GRATE EL = 14.22' N.E. INV. EL = 11.27' BTM. EL = 10.80'
- 15 CATCH BASIN GRATE EL = 13.59' N.E. INV. EL = 9.40' S.E. INV. EL = 9.50' S.W. INV. EL = 10.26' BTM. EL = 8.64'
- 16 CATCH BASIN GRATE EL = 13.53' N.E. INV. EL = 10.56' BTM. EL = 10.06'
- 17 CONTROL STRUCTURE RIM EL = 14.70' S.W. INV. EL = 8.88' N.W. INV. EL = 4.38' TOP OF WEIR EL = 11.60' BTM. EL = 3.99'
- 18 CATCH BASIN GRATE EL = 13.55' S.E. INV. EL = 3.51' N.W. INV. EL = 3.73' BTM. EL = ---
- 19 CATCH BASIN GRATE EL = 14.23' N.E. INV. EL = 10.07' S.W. INV. EL = 6.78' N.W. INV. EL = 5.55' BTM. EL = 1.20'
- 20 STORM MANHOLE RIM EL = 14.16' N.E. INV. EL = 6.90' S.E. INV. EL = 7.84' N.W. INV. EL = 8.54' BTM. EL = 6.45'
- 21 CATCH BASIN GRATE EL = 13.94' S.E. INV. EL = 8.82' S.W. INV. EL = 8.78' BTM. EL = 8.14'
- 22 STORM MANHOLE RIM EL = 14.40' S.E. INV. EL = 7.67' S.W. INV. EL = 8.42' BTM. EL = 7.76'
- 23 SEWER MANHOLE RIM EL = 14.56' N.E. INV. EL = 9.60' S.W. INV. EL = 9.60'
- 24 CATCH BASIN GRATE EL = 13.65' N.E. INV. EL = 8.58' S.W. INV. EL = 8.29' BTM. EL = 7.88'
- 25 STORM MANHOLE RIM EL = 13.18' N.E. INV. EL = 8.59' S.W. INV. EL = 8.55' BTM. EL = 8.29'
- 26 STORM MANHOLE RIM EL = 14.63' S.W. INV. EL = 8.97' N.W. INV. EL = 9.96' BTM. EL = 8.97'
- 27 STORM MANHOLE RIM EL = 14.58' N.E. INV. EL = 9.84' S.E. INV. EL = 8.49' N.W. INV. EL = 8.56' BTM. EL = 8.22'

SANITARY SEWER AS-BUILTS

- 27 SEWER MANHOLE RIM EL = 14.40' N.E. INV. EL = 7.67' S.W. INV. EL = 7.69'
- 28 SEWER MANHOLE RIM EL = 14.56' N.E. INV. EL = 9.60' S.W. INV. EL = 9.60'
- 29 SEWER MANHOLE RIM EL = 14.37' S.E. INV. EL = 10.81' S.W. INV. EL = 10.71'
- 30 SEWER MANHOLE RIM EL = 14.47' N.E. INV. EL = 8.71' N.W. INV. EL = 8.72'
- 31 SEWER MANHOLE RIM EL = 14.28' S.E. INV. EL = 8.26' N. INV. EL = 8.13'
- 32 SEWER MANHOLE SEALED SHUT

Bowman CONSULTING
PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB 8693
BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39482

Bowman Consulting Group, Inc.
301 S.E. Ocean Blvd., Suite 301
Shuttl, FL 34994
Phone: (772) 283-1413
Fax: (772) 220-7881
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

FLORIDA
ST. LUCIE COUNTY

OKEECHOBEE ROAD
ALTA / NSPS LAND TITLE
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NO
030028-04-001

PLAN STATUS

DATE	DESCRIPTION
FIELD BOOK 21-207	PAGE 40-41
FIELD CREW: JS, AA	
D.A.L. DRAWN	R.E.B. CHKD
SCALE: H: N/A	V: N/A
JOB No. 030028-04-001	
DATE: MARCH 24, 2021	
FILE No. 030028-04-001 ALTA	

SHEET 1 OF 1

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING GROUP, LTD., INC. SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, LTD.

Cad file name: P:\030028 - Pugliese Company\030028-04-001 (SUR) - 4646 Okeechobee Rd Ft Pierce\Survey\Topo Boundary\030028-04-001 ALTA.dwg 4/8/2021

Pre-Application Meeting

1. d.

Meeting Date: 04/27/2022

REQUESTED ACTION

Self - Storage Facility - 5221 Okeechobee Road - (2419-241-0001-010-7,
2419-243-0006-000-1, 2419-244-0035-000-6)

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Pre-Application Packet 5221 Okeechobee Rd.

Form Review

Form Started By: Alicia Rosenthal
Final Approval Date: 04/01/2022

Started On: 04/01/2022 02:07 PM

Site Address: MCNEIL RD
Sec/Town/Range: 19/35S/40E
Parcel ID: 2419-241-0001-010-7
Jurisdiction: Fort Pierce

Use Type: 1000
Account #: 177231
Map ID: [24/19N](#)
Zoning: General Co

Site Address: 5221 OKEECHOBEE RD
Sec/Town/Range: 19/35S/40E
Parcel ID: 2419-243-0006-000-1
Jurisdiction: Fort Pierce

Use Type: 4820
Account #: 136019
Map ID: [24/19N](#)
Zoning: General Co

Site Address: 2591 MCNEIL RD
Sec/Town/Range: 19/35S/40E
Parcel ID: 2419-244-0035-000-6
Jurisdiction: Fort Pierce

Use Type: 1000
Account #: 27348
Map ID: [24/19N](#)
Zoning: General Co





Pre-Application Meeting

Pre-application meetings are scheduled on the 4th Wednesday of each month at 10:00 AM and the deadline for submittal is the first Friday of the month. The meetings are held both in person, in the 2nd Floor Conference Room of City Hall, or virtually via Microsoft Teams, which is set up by the Planning Department. The applicant or property owner is required to attend (in-person or virtually); architects, engineers, or contractors for the proposal are encouraged to attend. The fee for a pre-application meeting is **\$300** (\$250 + \$50 Building Department Fee) with an additional \$250 fee for a "no show". To discuss or schedule a pre-application meeting please contact the Planning Department at **(772) 467-3737** or email us at **planning_dl@cityoffortpierce.com**.

The minimum submittal requirements are as follows:			
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Detailed Project Narrative	<input type="checkbox"/> Floor Plan	<input type="checkbox"/> Survey

Proposed Use of the Property: Minor improvements to the existing 1,275 SF office building, a proposed 58,160 SF single-story climate controlled self-storage facility, and 8,150 SF drive-up self-storage facility.

Property address or location

Parcel ID(s)

Property Owner(s) Name

Applicant/Representative, Company

Street Address

Street Address

City **State** **Zip**

City **State** **Zip**

Phone Number

Phone Number

Email Address

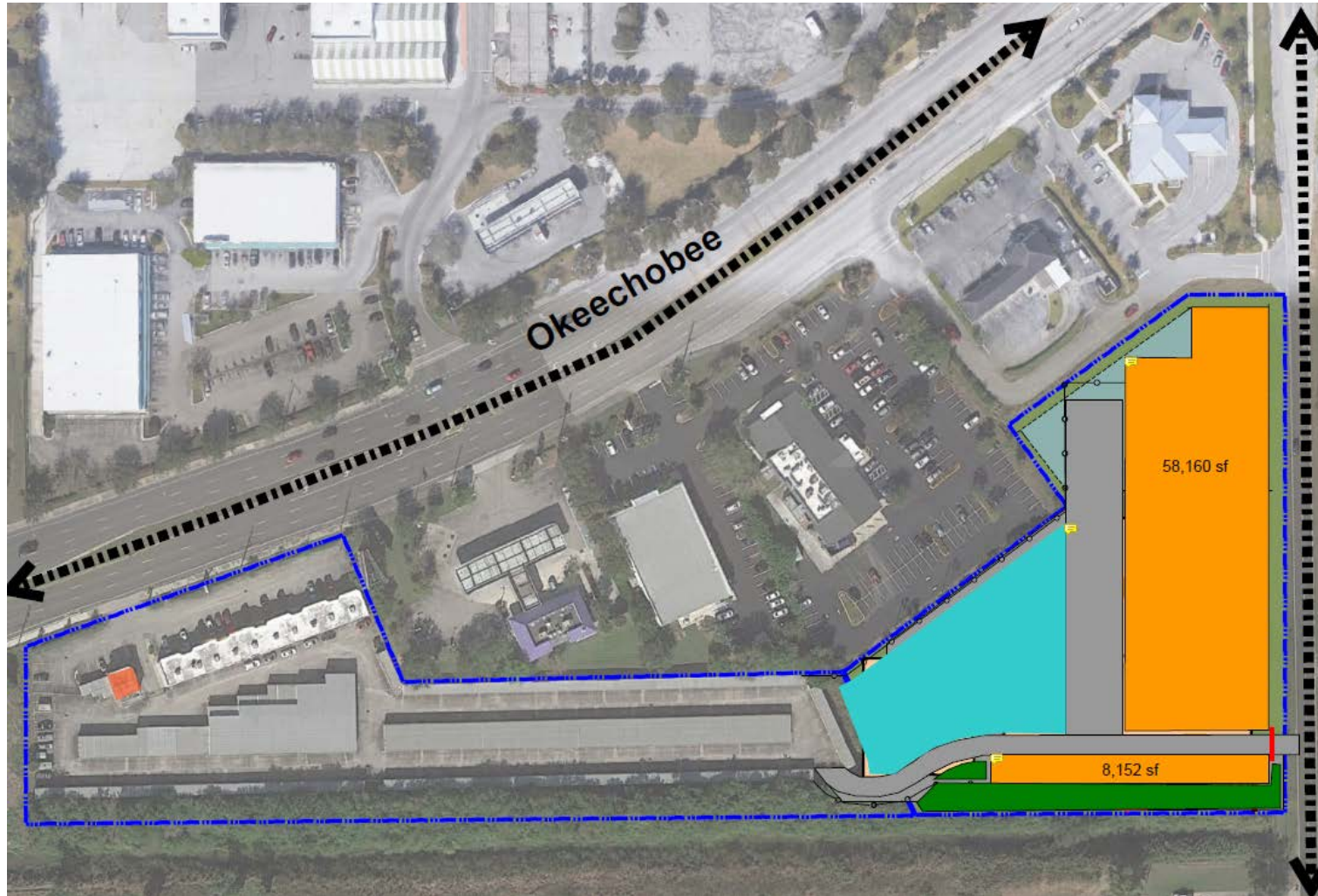
Email Address

The property owner is aware that a Pre-Application meeting has been requested.

Property Owner's Signature *William*

The purpose of the pre-application meeting is to assist the applicant in assembling a complete application. The pre-application meeting provides an applicant or property owner with specific process information, code requirements, and feedback from representatives of the Planning, Building, Engineering and Utilities Departments, for the proposal. The meeting also provides the applicant an opportunity to address any concerns or challenges that may arise during the process.

Site Plan



Proposing a single-story climate building of approximately 58,160 and approximately 8,150 GSF of non-climate drive-up.



Project Narrative – Public Storage Okeechobee

Project Number: FLB220008
Project Name: Public Storage – Okeechobee
Client: Public Storage Inc
Location : 5221 Okeechobee Road, Fort Pierce, FL 34947

To whom it may concern:

The Public Storage facility is proposed to be developed on an approximately 3.37-acre site that is located along the western side of McNeil Road, about 400 ft South from the intersection of Okeechobee Road and McNeil Road in the City of Fort Pierce, St Lucie County, FL. The site is bordered to the east by McNeil Road, to the north by two (2) commercial sites (Bubbles Auto Wash and the South State Bank), to the west by an existing Public Storage and the Golden Corral commercial sites, and to the south by the North St Lucie River Water Control District canal # 38.

There is approximately 45,824 SF existing Public Storage drive-up and office buildings located on 3.60 acres located on Parcel ID 2419-243-0006-000-1. Improvements to the existing office building on the 3.60 acre parcel is anticipated.

The site is currently zoned C-3 (General Commercial), which allows as a conditional use, the proposed use of a self-storage facility. The future land use for the property is GC (General Commercial) which also would allow the proposed use.

The conceptual site plan dated 03/04/2022 includes a proposed single-story climate building of approximately 58,160 sf and approximately 8,150 sf of non-climate drive up, with the associated drive access road, landscape areas, and stormwater management areas.

Should there be any questions, or should additional information be required, please feel free to contact us at (561) 571-0280 or via email: fl-permits@bohlereng.com

Sincerely,

BOHLER ENGINEERING

A handwritten signature in blue ink, appearing to read "Christopher Lall".

Christopher Lall, P.E.
Assistant Project Manager

cc: File

NOTES:

- 1. THE TITLE PARCELS AS SHOWN HEREON ARE THE LANDS OF SOUTH STATE BANK, N.A. (FORMERLY KNOWN AS CENTERSTATE BANK OF FLORIDA, N.A.) AS RECORDED IN OFFICIAL RECORDS BOOK 3463 PAGE 1093, AS FOUND AMONG THE LANDS RECORDS OF ST. LUCIE COUNTY, FLORIDA AND HAVING PIN(S) OF 2419-244-0035-000-6 & 2419-241-0001-010-7 PER THE ST. LUCIE COUNTY PROPERTY APPRAISER.
2. TITLE PARCEL 1 AREA = 127,911 S.F. OR 2.936 ACRES
TITLE PARCEL 2 AREA = 20,000 S.F. OR 0.459 ACRES
TOTAL = 147,911 S.F. OR 3.395 ACRES
3. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE, SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
4. THIS SURVEY WAS PERFORMED IN THE FIELD ON MARCH 15, 2022 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
5. ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS COUNTY BENCHMARK NO. AF7289 WITH A PUBLISHED ELEVATION OF 46.99 FEET.
6. THE PARCELS ARE LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINATE TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, ST. LUCIE COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 167 OF 420", COMMUNITY-PANEL NUMBER 12111C0167J, WITH A MAP EFFECTIVE DATE OF FEBRUARY 16, 2012.
7. NO SURVEY OF SUBTERRANEAN STRUCTURES OR INTERIOR SPACES SUCH AS FOOTINGS, FOUNDATIONS, VAULTS OR BASEMENTS WAS PERFORMED AS PART OF THIS LAND SURVEY, AND THIS PLAN SHOULD NOT BE CONSTRUED AS CERTIFICATION TO THE EXISTENCE OR LOCATION OF THE SAME.
8. ZONING: C-3 (GENERAL COMMERCIAL)
BUILDING SETBACKS:
FRONT - 25'
SIDE - 15'
REAR - 15'

ALL ZONING INFORMATION WAS PROVIDED IN A PRELIMINARY SITE ASSESSMENT REPORT PREPARED BY BOHLER, AND MUST BE VERIFIED PRIOR TO USE OR RELIANCE UPON SAME. TO CONFIRM THE ZONING INFORMATION REPRESENTS AND DEPICTS THE THEN-CURRENT SITE SPECIFIC INFORMATION, SHOULD THERE BE ANY CHANGE IN USE, SETBACK(S) AND/OR SET BACK REQUIREMENTS, ZONING CLASSIFICATION AND/OR ANY OTHER CHANGE OR VARIATION FROM THE CONDITIONS RECORDED HEREIN, THE CLIENT MUST VERIFY COMPLIANCE WITH THE USE, SET BACK, ZONING CLASSIFICATION AND/OR ORDINANCE, REGULATION OR LEGAL REQUIREMENT, PRIOR TO USING OR RELYING UPON THE FINDINGS RECORDED HEREIN, OR REFERENCING SAME AS RELATED TO THE PROPERTY, PROJECT AND/OR DEVELOPMENT.

- 9. TREES 4" INCHES DBH (DIAMETER AT BREST HEIGHT) AND LARGER HAVE BEEN LOCATED WITHIN THE PROJECT BOUNDARY.
10. TITLE PARCELS 1 AND 2 ARE CONTIGUOUS WITHOUT STRIPS, GAPS OR GORES BETWEEN THE PARCELS.
11. PARKING: NO PARKING IDENTIFIED WITHIN THE TITLE PARCELS AT THE TIME OF SURVEY.
12. THERE ARE NO VISIBLE ENCROACHMENTS EXCEPT AS SHOWN ON THE SURVEY. ENCROACHMENT IS A LEGAL CONDITION, NOT A MATTER OF SURVEY AND, AS A RESULT, THERE MAY BE OTHER POSSIBLE ENCROACHMENTS AFFECTING THE PROPERTY THAT ARE NOT SHOWN.
13. THE TITLE PARCELS HAVE DIRECT ACCESS ALONG MCNEIL ROAD AND OKEECHOBEE ROAD VIA INGRESS/EGRESS EASEMENTS RECORDED IN O.R.B. 1861 PG. 1009
14. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE", AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULES SJ-17.050 THROUGH SJ-17.053, OF THE FLORIDA ADMINISTRATIVE CODE.

LEGAL DESCRIPTION

PARCEL 1:

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST LYING SOUTH OF STATE ROAD 70 (OKEECHOBEE ROAD), DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD AND THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 70 (OKEECHOBEE ROAD), RUN THENCE SOUTHWESTERLY ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 70 A DISTANCE OF 742.69 FEET; THENCE RUN SOUTHEASTERLY TO A POINT ON THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 19 WHICH IS 410.99 FEET WEST OF THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD; THENCE RUN EAST ALONG SAID QUARTER SECTION LINE TO THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD; THENCE RUN NORTH ALONG SAID WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD TO THE POINT OF BEGINNING. THE SOUTH 20.00 FEET OF THE FOREGOING DESCRIBED LAND IS SUBJECT TO A NON-EXCLUSIVE PERPETUAL EASEMENT OF INGRESS AND EGRESS. THE SAID 20.00 FEET BEING MEASURED AT RIGHT ANGLES AND PARALLEL TO SAID ONE-QUARTER SECTION LINE.

LESS AND EXCEPT THE 100 FOOT X 200 FOOT PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 251, PAGE 1065; ALSO LESS AND EXCEPT THAT PART OF LOT 9, MODEL LAND COMPANY SUBDIVISION OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 63 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED IN OFFICIAL RECORDS BOOK 691, PAGE 1174.

ALSO LESS AND EXCEPT

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST LYING SOUTH OF STATE ROAD 70 (OKEECHOBEE ROAD), DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD (66 FOOT RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 70 (OKEECHOBEE ROAD, 120 FOOT RIGHT-OF-WAY), THENCE SOUTH 52°29'53" WEST ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 70 A DISTANCE OF 526.24 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE SOUTH 37°30'07" EAST FOR 212.00 FEET; THENCE SOUTH 52°29'53" WEST FOR 200.00 FEET; THENCE NORTH 37°30'07" WEST FOR 212.00 FEET (TO THE SOUTH RIGHT-OF-WAY LINE OF SAID STATE ROAD 70, 120 FOOT RIGHT-OF-WAY); THENCE NORTH 52°29'53" EAST (ALONG SAID RIGHT-OF-WAY LINE) FOR 200.00 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST LYING SOUTH OF STATE ROAD 70 (OKEECHOBEE ROAD), DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD (66 FT. RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 70 (OKEECHOBEE ROAD, 120 FOOT RIGHT-OF-WAY), THENCE SOUTH 52°29'53" WEST ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 70 A DISTANCE OF 526.24 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE CONTINUE SOUTH 52°29'53" WEST FOR 20.99 FEET TO THE POINT OF A RADIUS OF 1970.08 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 5°43'58" FOR AN ARC DISTANCE OF 195.78 FEET TO THE NORTHWEST CORNER OF THE LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 251, PAGE 1065; THENCE SOUTH 24°27'36" EAST ALONG THE WESTERLY LINE OF SAID LANDS, FOR 414.92 FEET; THENCE NORTH 52°29'53" EAST FOR 310.08 FEET; THENCE NORTH 37°30'07" WEST FOR 394.50 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPTION THAT PORTION OF THE LAND CONVEYED TO SAINT LUCIE COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA BY WARRANTY DEED OF DONATION RECORDED IN O.R. BOOK 3586, PAGE 2401.

PARCEL 2:

A PARCEL DESCRIBED AS BEGINNING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE BELOW DESCRIBED NON EXCLUSIVE PERPETUAL EASEMENT AND THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD, RUN NORTH ALONG WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD 100 FEET; THENCE RUN WEST, PARALLEL WITH THE SOUTH ONE-QUARTER SECTION LINE OF SAID SECTION 19 A DISTANCE OF 200 FEET; THENCE RUN SOUTH A DISTANCE OF 100 FEET TO A POINT ON THE NORTH LINE OF SAID PERPETUAL EASEMENT; THENCE RUN EAST 200 FEET TO POINT OF BEGINNING.

NON-EXCLUSIVE PERPETUAL EASEMENT BEING THE SOUTH 20 FEET, THE SAID 20 FEET BEING MEASURED AT RIGHT ANGLES AND PARALLEL TO THE ONE-QUARTER SECTION LINE, OF THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD AND THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 70 (OKEECHOBEE ROAD), RUN THENCE SOUTHWESTERLY ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 70 A DISTANCE OF 742.69 FEET; THENCE RUN SOUTHEASTERLY TO A POINT ON THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 19 WHICH IS 410.99 FEET WEST OF THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD; THENCE RUN EAST ALONG SAID QUARTER-SECTION LINE TO THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD; THENCE RUN NORTH ALONG SAID WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD TO THE POINT OF BEGINNING.

ALL OF THE ABOVE DESCRIBED LANDS LYING AND BEING IN SECTION 19, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA BEING THE SAME PREMISES CONVEYED TO SOUTH STATE BANK, N.A., A NATIONAL BANKING ASSOCIATION, BY SPECIAL WARRANTY DEED, FROM PNC BANK, NATIONAL ASSOCIATION, SUCCESSOR TO HARBOR FEDERAL SAVINGS BANK, DATED DECEMBER 11, 2012 AND RECORDED DECEMBER 13, 2012 IN THE SAINT LUCIE COUNTY CLERK OF THE CIRCUIT COURT OFFICE IN OR BOOK 3463, PAGE 1093.

NOTE FOR INFORMATION: BEING KNOWN AND DESIGNATED AS PARCEL ID # 2419-244-0035-000-6 AND 2419-241-0001-010-7 FOR THE CITY OF FORT PIERCE, COUNTY OF SAINT LUCIE, STATE OF FLORIDA.

NOTE FOR INFORMATION: BEING COMMONLY KNOWN AS 2591 MCNEIL ROAD, FORT PIERCE, FLORIDA

AND BEING FURTHER DESCRIBED AS: (SURVEYED DESCRIPTION)

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD (66 FOOT RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 70 (OKEECHOBEE ROAD), RUN THENCE SOUTHERLY ALONG THE SAID WEST RIGHT-OF-WAY LINE OF MCNEIL ROAD SOUTH 01°10'31" EAST FOR 351.66 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE CONTINUE SOUTH 01°10'31" EAST FOR 524.95; THENCE DEPART SAID WEST RIGHT-OF-WAY LINE SOUTH 88°30'44" WEST FOR 410.85 FEET; THENCE NORTH 24°45'31" WEST FOR 72.59 FEET; THENCE NORTH 52°24'43" EAST FOR 310.41 FEET; THENCE NORTH 37°39'05" WEST FOR 181.66 FEET; THENCE NORTH 52°33'25" EAST FOR 199.60 FEET; THENCE SOUTH 37°33'32" EAST FOR 24.00 FEET; THENCE NORTH 52°33'27" EAST FOR 53.39 FEET; THENCE NORTH 88°49'29" EAST FOR 79.66 FEET TO THE POINT OF BEGINNING.

CONTAINING 147,911 SQUARE FEET OR 3.395 ACRES (BASIS OF BEARINGS SHOWN HEREON ARE BASED ON NAD83, 2011 ADJUSTMENT; FLORIDA COORDINATE SYSTEM - ZONE EAST)

BEING THE PROPERTY AS DESCRIBED IN AN AMERICAN LAND TITLE ASSOCIATION COMMITMENT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE NO. FL-18027-22255302FL, WITH A COMMITMENT DATE OF FEBRUARY 16, 2022 AND IS SUBJECT TO RESTRICTIONS, COVENANTS, AND/OR EASEMENT, WRITTEN OR IMPLIED.

TITLE NOTES

Table with 6 columns: TYPE OF INSTRUMENT, RECORDING INFORMATION, AFFECT PARCELS, PLOTTED, BLANKET/GENERAL, USE RESTRICTIONS. Contains 6 rows of instrument details.



LOCATION MAP SCALE: 1"=2000'

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UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY SUNSHINE 811 UTILITY SYSTEM (1-800-852-8057) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 061203647

Table with 3 columns: UTILITY COMPANY, LOCATE STATUS, PHONE NUMBER. Lists Comcast-PBG, Eland Engineering, FT Pierce Utilities Authority, and Crown Castle NG.

TO: PS FLORIDA ONE, INC., A DELAWARE CORPORATION; SOUTH STATE BANK, N.A., A NATIONAL BANKING ASSOCIATION FORMERLY KNOWN AS CENTERSTATE BANK, N.A.; & OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 11(A), & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 15, 2022.

DRAFT

ALTA/NSPS LAND TITLE SURVEY



5221 OKEECHOBEE ROAD CITY OF FORT PIERCE ST. LUCIE, FLORIDA

FILE NO. FLB220008



DATE 03/25/2022

FIELD DATE 03/15/2022

Table with 6 columns: CREW CHIEF, DRAWN, REVIEWED, APPROVED, SCALE, DWG NO. Values include E.S./M.S., A.S., C.W., B.L., N.T.S., and 1 OF 2.

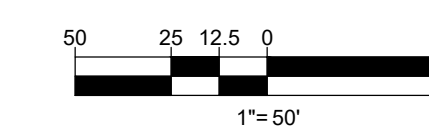
BILLY LOGSDON, JR. PROFESSIONAL SURVEYOR AND MAPPER NO. L57295 THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.



LEGEND

- X 123.45 EXISTING SPOT ELEVATION
- X TC 123.45 EXIST. TOP OF CURB ELEVATION
- X G 122.95 EXIST. GUTTER ELEVATION
- HYDRANT
- WATER VALVE
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND FIBER OPTIC LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT
- UTILITY POLE
- ELECTRIC METER
- TRANSFORMER
- SIGN
- MAIL BOX
- BOLLARD
- FENCE
-
- NAIL & DISK FOUND
- CAPPED IRON REBAR FOUND
- CONCRETE MONUMENT FOUND
- AREA LIGHT
- CLEAN OUT
- FIRE DEPARTMENT CONNECTION
- CONCRETE STORM STRUCTURE
- PAINTED ARROWS
- TITLE REPORT EXCEPTION
- DENOTES PARKING SPACE COUNT
- BENCHMARK
- GUY WIRE
- TREE (SIZE AS NOTED)
- PALM TREE (SIZE AS NOTED)
- PROP. CORNER TO BE SET
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- (M) MEASURED
- (R) RECORD
- (T) TOTAL
- SANITARY MANHOLE
- TELEPHONE MANHOLE
- 123 EXISTING CONTOUR

DRAFT



ALTA/NSPS LAND TITLE SURVEY

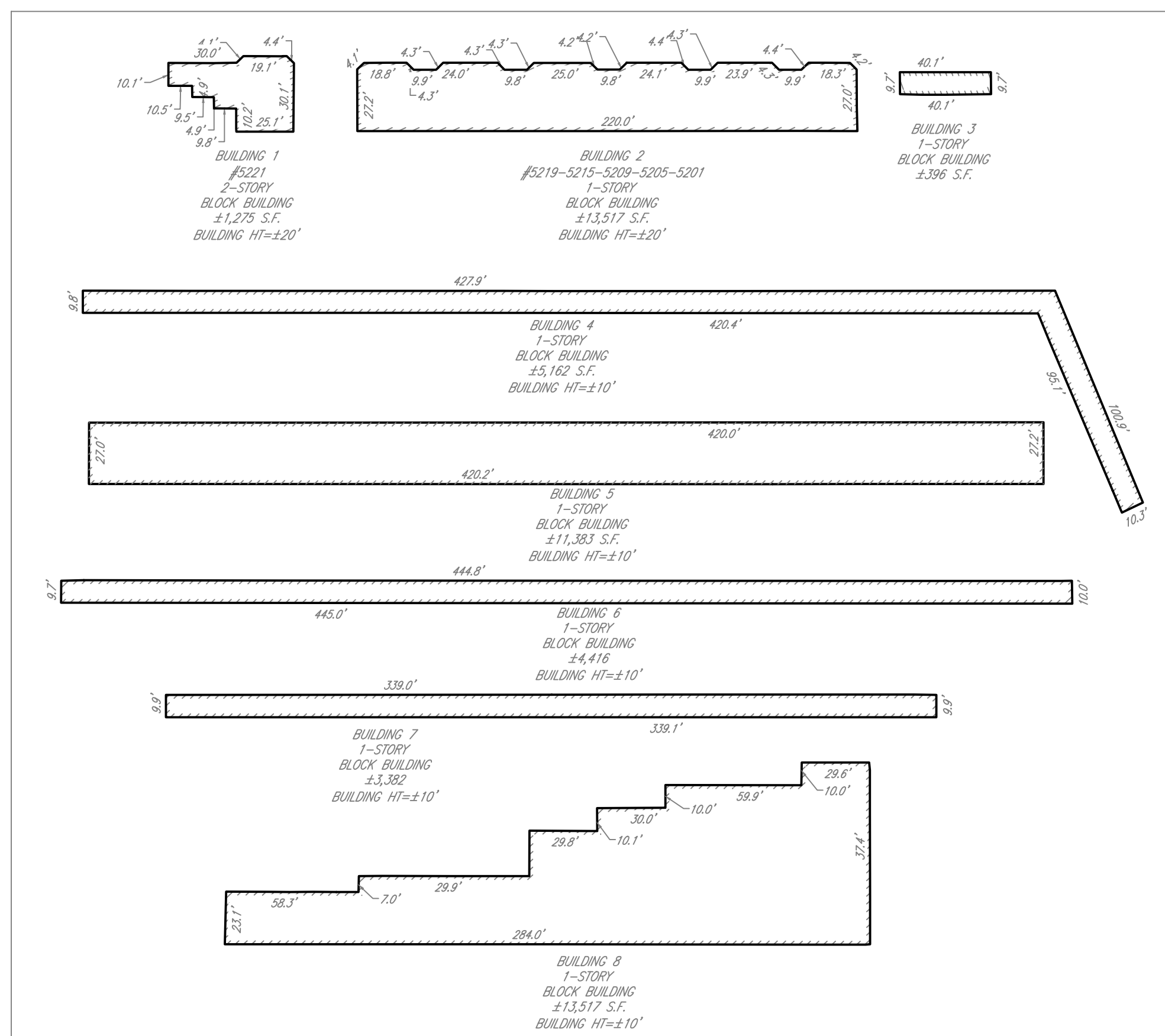
Public Storage PUBLIC STORAGE
5221 OKEECHOBEE ROAD
CITY OF FORT PIERCE
ST. LUCIE, FLORIDA

FILE NO. FLB220008	DATE 03/25/2022	FIELD DATE 03/15/2022	CREW CHIEF E.S.M.S.	DRAWN A.S.	REVIEWED C.W.	APPROVED B.L.	SCALE 1"=50'	DWG. NO. 2 OF 2
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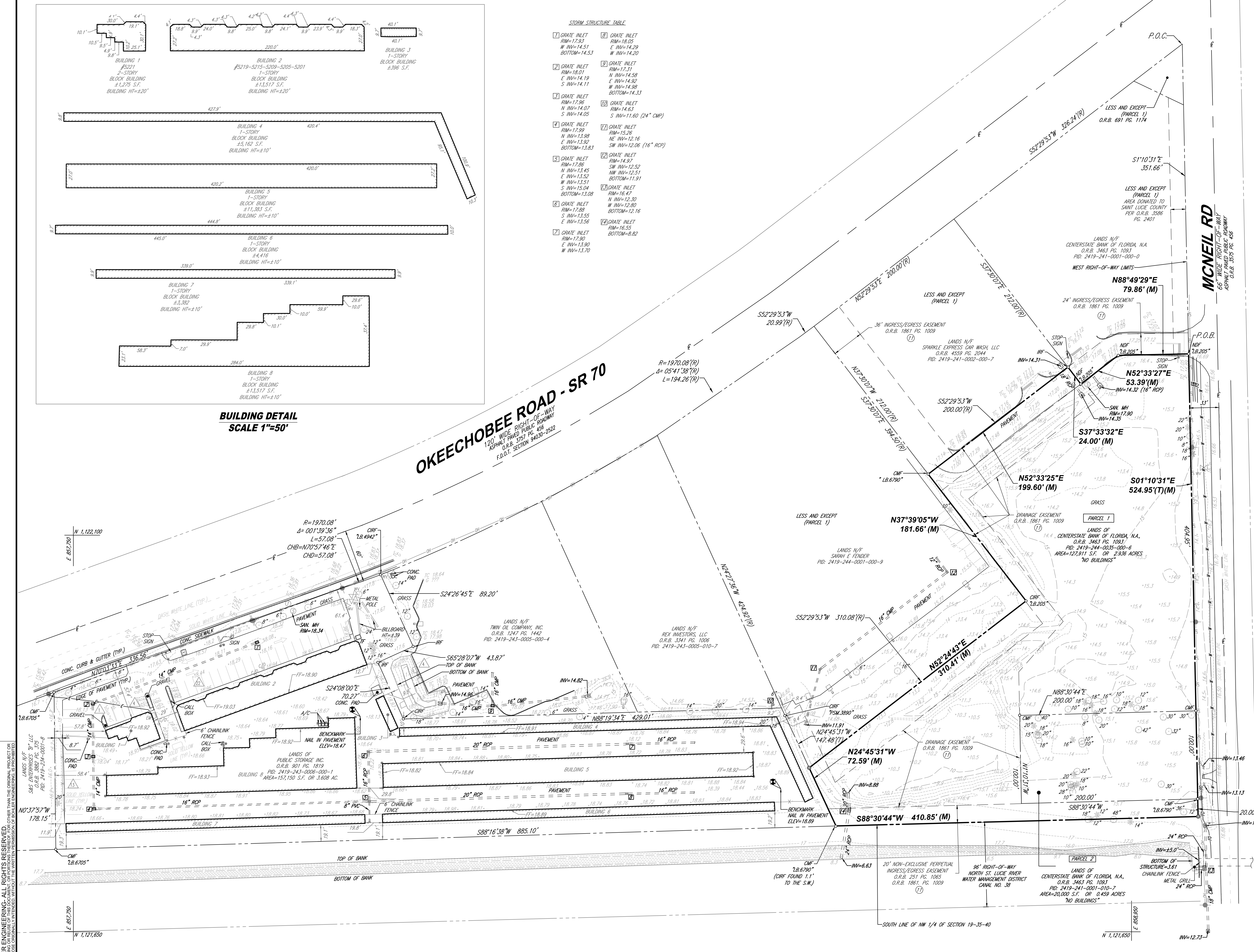
STORM STRUCTURE TABLE

1 GRATE INLET RIM=17.93 W INV=14.51 BOTTOM=14.53	2 GRATE INLET RIM=18.05 E INV=14.29 W INV=14.20
3 GRATE INLET RIM=18.01 E INV=14.19 S INV=14.11	4 GRATE INLET RIM=17.51 N INV=14.58 E INV=14.92 W INV=14.89 BOTTOM=14.33
5 GRATE INLET RIM=17.96 N INV=14.07 S INV=14.05	6 GRATE INLET RIM=14.63 S INV=11.60 (24" CMP)
7 GRATE INLET RIM=17.99 W INV=13.99 E INV=13.92 BOTTOM=13.83	8 GRATE INLET RIM=15.26 NE INV=12.16 BOTTOM=11.91
9 GRATE INLET RIM=17.88 W INV=12.45 E INV=13.52 W INV=13.51 S INV=13.04 BOTTOM=13.08	10 GRATE INLET RIM=14.97 SW INV=12.52 NW INV=12.51 BOTTOM=11.91
11 GRATE INLET RIM=17.88 S INV=13.55 E INV=13.56	12 GRATE INLET RIM=16.47 N INV=12.30 W INV=12.80 BOTTOM=12.16
13 GRATE INLET RIM=17.90 E INV=13.90 W INV=13.70	14 GRATE INLET RIM=16.55 BOTTOM=8.82

BUILDING DETAIL
SCALE 1"=50'



OKEECHOBEE ROAD - SR 70
120' WIDE RIGHT-OF-WAY
ASPHALT PAVED PUBLIC ROADWAY
F.O.D.T. SECTION 94030-2522



BOHLER ENGINEERING, ALL RIGHTS RESERVED. OTHER THAN THE ORIGINAL PROJECT OR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING IS PROHIBITED.

Pre-Application Meeting

1. e.

Meeting Date: 04/27/2022

REQUESTED ACTION

Pulte Single Family Residential Development - 4945 and 4963 Edwards Road -
(2430-244-0001-000-4, 2430-243-0001-000-1, 2430-241-0002-000-2)

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Pre-Application Packet Pulte Edwards Rd.

Form Review

Form Started By: Alicia Rosenthal
Final Approval Date: 04/01/2022

Started On: 04/01/2022 02:10 PM

Site Address: 4945 EDWARDS RD
Sec/Town/Range: 30/35S/40E
Parcel ID: 2430-244-0001-000-4
Jurisdiction: Fort Pierce

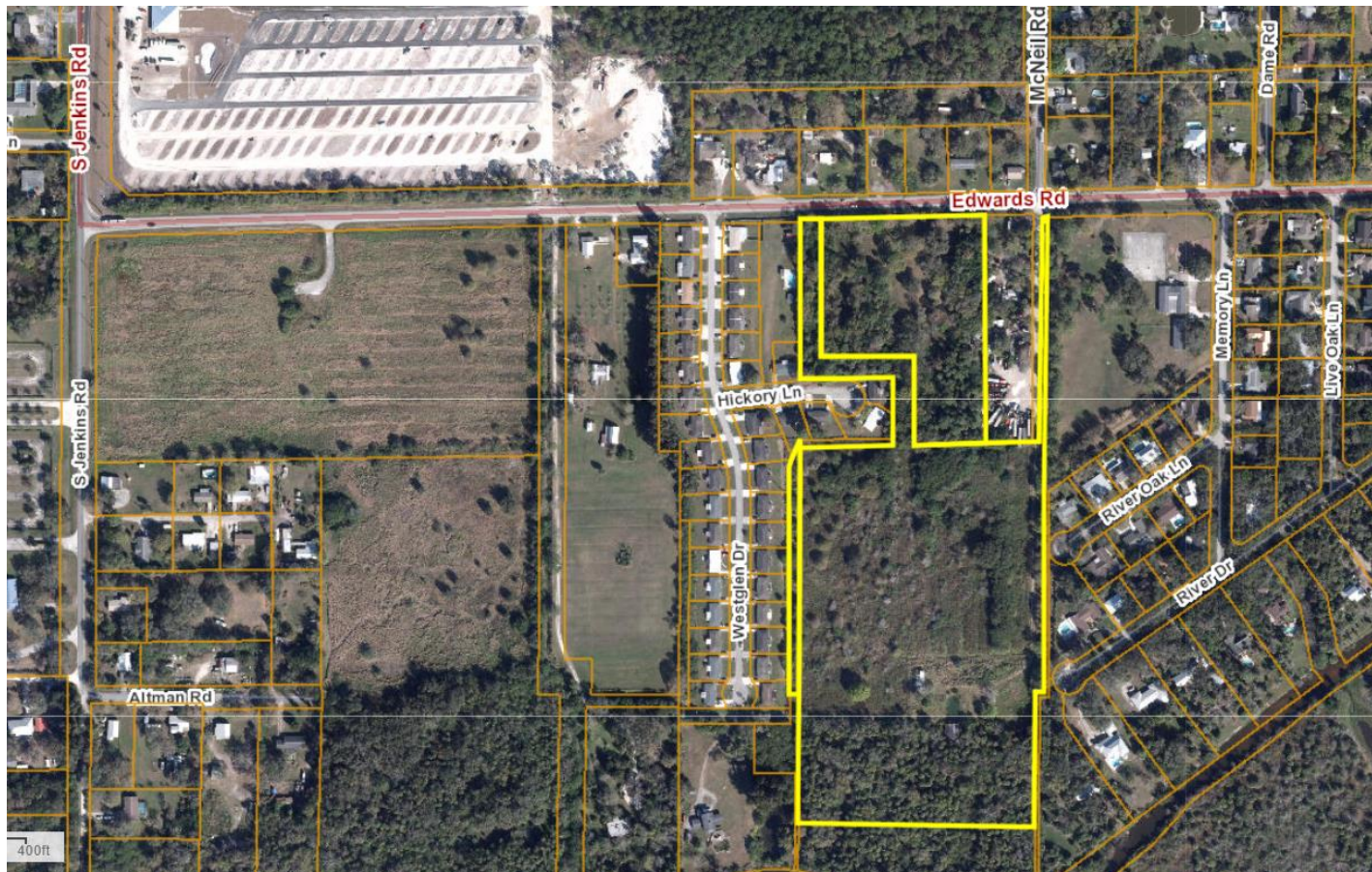
Use Type: 0100
Account #: 32819
Map ID: [24/30N](#)
Zoning: SF Low Den

Site Address: TBD
Sec/Town/Range: 30/35S/40E
Parcel ID: 2430-243-0001-000-1
Jurisdiction: Fort Pierce

Use Type: 0000
Account #: 32818
Map ID: [24/30N](#)
Zoning: Medium Den

Site Address: 4963 EDWARDS RD
Sec/Town/Range: 30/35S/40E
Parcel ID: 2430-241-0002-000-2
Jurisdiction: Saint Lucie County

Use Type: 6999
Account #: 32813
Map ID: [24/30N](#)
Zoning: Institutio





Pre-Application Meeting

Pre-application meetings are scheduled on the 4th Wednesday of each month at 10:00 AM and the deadline for submittal is the first Friday of the month. The meetings are held both in person, in the 2nd Floor Conference Room of City Hall, or virtually via Microsoft Teams, which is set up by the Planning Department. The applicant or property owner is required to attend (in-person or virtually); architects, engineers, or contractors for the proposal are encouraged to attend. The fee for a pre-application meeting is \$300 (\$250 + \$50 Building Department Fee) with an additional \$250 fee for a "no show". To discuss or schedule a pre-application meeting please contact the Planning Department at (772) 467-3737 or email us at planning_dl@cityoffortpierce.com.

The minimum submittal requirements are as follows:



Site Plan



Detailed Project Narrative



Floor Plan



Survey

Proposed Use of the Property: Single-Family Residential Development (Please see attached narrative)

Property address or location

4945 Edwards Rd and 4963 Edwards Rd, Fort Pierce

Parcel ID(s)

2430-244-0001-000-4, 2430-243-0001-000-1, 2430-241-0002-000-2

Property Owner(s) Name Authorized Developer/ Applicant

Pulte Home Company, LLC

Applicant/Representative, Company

Cotleur and Hearing : Daniel T. Sorrow

Street Address

1475 Centerpark Blvd, Suite 305

Street Address

1934 Commerce Lane #

City State Zip

West Palm Beach FL 33401

City State Zip

Jupiter FL 33458

Phone Number

561-268-5821

Phone Number

561-406-1012

Email Address

Aimee.Carlson@Pulte.com

Email Address

dsorrow@cotleur-hearing.com

The property owner is aware that a Pre-Application meeting has been requested.

Property Owner's Signature

The purpose of the pre-application meeting is to assist the applicant in assembling a complete application. The pre-application meeting provides an applicant or property owner with specific process information, code requirements, and feedback from representatives of the Planning, Building, Engineering and Utilities Departments, for the proposal. The meeting also provides the applicant an opportunity to address any concerns or challenges that may arise during the process.

EXHIBIT B

DEVELOPMENT AUTHORIZATION

JEAN WILSON HIPPOLITE (“**Seller**”), as of this 19 day of January, 20 22 (the “**Effective Date**”), hereby designates **PULTE HOME COMPANY, LLC**, a Michigan limited liability company (“**Buyer**”), as its representative and agent to act on Seller’s behalf with regard to any documents, instruments, reports, studies, materials and plans necessary to apply for and obtain approval of any and all approvals, consents, licenses, agreements, authorizations, certificates and/or permits, other than building permits, that must be officially issued or rendered by any governmental authority and/or which are otherwise necessary and/or appropriate in order to permit the development of the below referenced property in Saint Lucie County, Florida (the “**Property**”) in accordance with that certain Real Estate Purchase and Sale Contract executed between Seller and Buyer of even date herewith. Buyer shall be authorized to file for approval of all of the Development Permits and represent Seller before any governmental authorities.

Seller hereby certifies that Seller is the fee simple owner of the Property designated as Saint Lucie County Parcel Identification Number 2430-241-0002-000-2.

Duly executed as of the date ascribed above.



JEAN WILSON HIPPOLITE

EXHIBIT B


DEVELOPMENT AUTHORIZATION

ORANGE GARDENS DEVELOPMENT, INC., a Florida corporation ("**Seller**"), as of this 30th day of MARCH, 2022 (the "**Effective Date**"), hereby designates **PULTE HOME COMPANY, LLC**, a Michigan limited liability company ("**Buyer**"), as its representative and agent to act on Seller's behalf with regard to any documents, instruments, reports, studies, materials and plans necessary to apply for and obtain approval of any and all approvals, consents, licenses, agreements, authorizations, certificates and/or permits, other than building permits, that must be officially issued or rendered by any governmental authority and/or which are otherwise necessary and/or appropriate in order to permit the development of the below referenced property in Saint Lucie County, Florida (the "**Property**") in accordance with that certain Real Estate Purchase and Sale Contract executed between Seller and Buyer of even date herewith. Buyer shall be authorized to file for approval of all of the Development Permits and represent Seller before any governmental authorities.

Seller hereby certifies that it is the fee simple owner of the Property designated as Saint Lucie County Tax Parcel Nos. 2430-243-0001-000-1 and 2430-244-0001-000-4.

Duly executed as of the date ascribed above.

**ORANGE GARDENS DEVELOPMENT,
INC.**, a Florida corporation

By: 
Name: DR. JANOS MUENICH
Title: PRESIDENT



LAND PLANNING + LANDSCAPE ARCHITECTURE + TRANSPORTATION

1934 COMMERCE LANE • SUITE 1
JUPITER, FLORIDA • 33458
☎ 561.747.6336 📠 561.747.1377

March 21st, 2022
City of Fort Pierce
Planning Department
100 N. U.S. Highway 1
Fort Pierce, FL 34950

Re: Consent of the Developer/ Applicant: Pulte Home Company, LLC
Parcel ID's: 2430-241-0002-000-2, 2430-244-0001-000-4, and 2430-243-0001-000-1

To Whom It May Concern,

Please be advised that the undersigned is the applicant of the subject properties located at 4963 Edwards Rd, 4945 Edwards Rd, and a 0.44-AC property located west of 4945 Edwards Rd, Fort Pierce. The undersigned hereby gives consent to Cotleur & Hearing to file a pre-application, site plan applications, any similar Planning applications, and to carry out discussions and meetings with the City of Fort Pierce.

For: Amee Carlson

3/30/22

Signatory Authority Amee Carlson

Date:

Amee Carlson
Printed Name

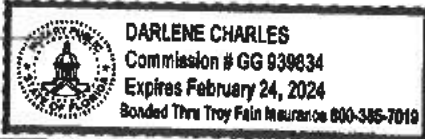
NOTARY ACKNOWLEDGEMENT

STATE OF Florida
COUNTY OF Palm Beach

I hereby certify that the foregoing instrument was acknowledged before me this 30 day of March, 2022, by Amee Carlson.

He or she
 is personally known to me or has produced _____ as
identification.

Darlene Charles
Notary public signature



Printed name

State of Florida at-large

April 1st, 2022

City of Fort Pierce
 Planning Department
 100 North U.S.1
 Fort Pierce, FL 34950

Re : Project Name : Pulte at Edwards Rd
 Application Type : Pre-application Request
 Parcel ID's : 2430-244-0001-000-4
 2430-243-0001-000-1
 2430-241-0002-000-2
 Project Size: 22.43
 Site Addresses: 4945 Edwards Rd and 4963 Edwards Rd

Dear Planning Department,

On behalf of the applicant, Pulte Home Company LLC, Cotleur and Hearing is submitting this pre-application which consists of a request to review Pulte at Edwards Rd site plan.

The proposed residential project will require an annexation for the parcel ending in 000-2, as it is currently located in St. Lucie County. Also, a comprehensive plan map amendment will be required to change the Future Land Use category of the parcels ending in 000-2 and 000-1 to Low-Density Residential (1-6.5 du/ac). Once the above process is completed, all three parcels will require a rezoning to Planned Development (PD). The purpose of PD rezoning is to encourage innovative and aesthetically pleasing land development while preserving onsite natural elements.

Please see below tables of required process:

Existing property data:

Existing	Parcel 1: 2430-244-0001-000-4	Parcel 2 2430-243-0001-000-1	Parcel 3 2430-241-0002-000-2
Total AC	16.54	0.44	5.45
Site Address	4945 Edwards Rd	TBD	4963 Edwards Rd
Jurisdiction	City of Fort Pierce	City of Fort Pierce	St. Lucie County
Zoning	R1	R4	I
Future land Use	RL	RH	P/F
Residential Density per FLU	1-6.5 du/ac	12-18 du/ac	---

Required Planning Process:

	Parcel 1: 2430-244-0001-000-4	Parcel 2: 2430-243-0001-000-1	Parcel 3: 2430-241-0002-000-2
Annexation	Not Required	Not Required	Required Annexation
Comprehensive Map Amendment	RL (no changes required)	From R4 to RL	From P/F to RL
Rezoning to PD	From R-1 to PD	From R-4 to PD	From I to PD
Major Site Plan			

The proposed site plan is compatible with the surrounding land use in density and intensity of use as the subject site is predominantly surrounded by Medium Density Residential (R-4), Single-Family Intermediate Residency (R-2), and Planned Development (PD) zoning districts.

The maximum gross density of the proposed site plan is 3.5 du/ac which is compatible with a Low-Density Residential (RL) FLU allowed residential density. The project will have approximately seventy-nine (79) 40' single-family lots. An estimated 2-acres of the existing wetland on-site will be preserved, and 1.6 acres of lake area will be provided. The community will also be served with a half-acre recreational amenity center and 0.3-acres of rain gardens. Moreover, the project is considered an infill development, as it is taking advantage of an unused property surrounded by other developments. Therefore, the proposed Pulte development will be utilizing existing public services such as water, sewer, and waste collection.

Included in this submittal package is the signed pre-application, conceptual site plan, Boundary survey, Architectural floor plans and elevations, developer's consent letter, development authorization, future land use Map, and existing zoning map.

Should you have any questions or need clarification about this project, please do not hesitate to contact me at dsorrow@cotleur-hearing.com or 561-747-6336.

Sincerely,

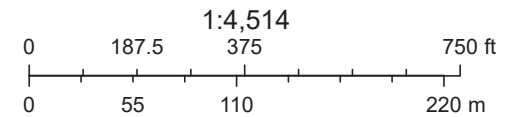


Cotleur & Hearing
Daniel T. Sorrow, AICP, RLA, LEED AP BD+C
1934 Commerce Lane, Suite 1
Jupiter, FL 33458
561.800.8426 Cell
561.747.6336 Office

Saint Lucie County Property Appraiser



April 1, 2022

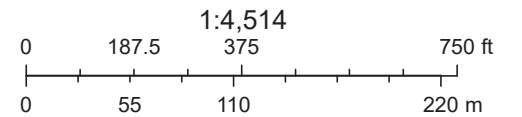


Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

Saint Lucie County Property Appraiser



April 1, 2022



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

BOUNDARY SURVEY

SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST

NOTES
COORDINATES, BEARINGS AND DISTANCES
 COORDINATES SHOWN ARE GRID
 DATUM = NAD 83 1990 ADJUSTMENT
 ZONE = FLORIDA EAST
 LINEAR UNIT = US SURVEY FEET
 COORDINATE SYSTEM 1983 STATE PLANE
 TRANSVERSE MERCATOR PROJECTION
 ALL DISTANCES ARE GROUND, UNLESS OTHERWISE NOTED
 SCALE FACTOR = 0.999988072
 GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE
 ROTATION ANGLE FROM DEED BEARINGS TO GRID BEARINGS
 IS COUNTERCLOCKWISE 00°31'45"

N89°02'18"E (DEED BEARING)
 N88°30'33"E (GRID BEARING)
 NORTH LINE OF THE SOUTH 1/2
 OF THE NORTHWEST 1/4

FIDELITY NATIONAL TITLE INSURANCE COMPANY
 ORDER NO: 10084741
 ISSUING OFFICE FILE NUMBER: 035447.078366
 COMMITMENT DATE: DECEMBER 8, 2021 @ 5:00 PM
 SCHEDULE B-II EXCEPTIONS

FIDELITY NATIONAL TITLE INSURANCE COMPANY
 ORDER NO: 10204683
 ISSUING OFFICE FILE NUMBER: PULTE ORANGE GARDENS
 COMMITMENT DATE: FEBRUARY 4, 2022 @ 5:00 PM
 SCHEDULE B-II EXCEPTIONS

3. STANDARD EXCEPTIONS:

- A. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
 - B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.
 - C. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
 - D. TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS.
4. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, FLORIDA STATUTES, IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY FOR UNPAID SERVICE CHARGES FOR SERVICE BY ANY WATER, SEWER OR GAS SYSTEM SUPPLYING THE INSURED LAND.
5. EASEMENT IN FAVOR OF FORT PIERCE UTILITIES AUTHORITY OF THE CITY OF FORT PIERCE, FLORIDA AS SET FORTH IN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 672, PAGE 1129.
[AFFECTS - SHOWN HEREON]

DESCRIPTION: "A"

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTH 1/2 OF SAID NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE RUN NORTH 89°02'18" EAST, ALONG THE NORTH LINE OF SAID SOUTH 1/2, A DISTANCE OF 2024.51 FEET, TO AN INTERSECTION WITH THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, ALSO BEING THE NORTHERLY EXTENSION OF THE EAST LINE OF WESTGLEN, A SUBDIVISION AS RECORDED IN PLAT BOOK 14, PAGE 51 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE SOUTH 00°34'45" WEST, ALONG SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, A DISTANCE OF 21.73 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD, AS LAID OUT AND NOW IN USE FOR THE POINT OF BEGINNING; THENCE RUN NORTH 88°43'09" EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE A DISTANCE OF 60.02 FEET TO A POINT; THENCE SOUTH 00°19'48" WEST ALONG A LINE 60 FEET EAST OF AND PARALLEL TO THE EAST LINE OF TRACT "A" AND LOT 7 OF WESTGLEN SUBDIVISION, PLAT BOOK 14, PAGE 51, ST. LUCIE COUNTY, FLORIDA, A DISTANCE OF 394.11 FEET; THENCE NORTH 89°30'46" EAST ALONG A LINE 60 FEET NORTH OF AND PARALLEL TO THE NORTH LINE OF LOT 8 OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 259.73 FEET; THENCE SOUTH 00°21'56" WEST ALONG A LINE 60 FEET EAST OF AND PARALLEL TO THE EAST LINE OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 247.76 FEET; THENCE RUN SOUTH 88°53'19" WEST A DISTANCE OF 60.02 FEET TO AN INTERSECTION WITH THE EAST LINE OF SAID WESTGLEN SUBDIVISION; THENCE RUN NORTH 00°37'24" EAST ALONG SAID EAST LINE OF WESTGLEN SUBDIVISION, A DISTANCE OF 188.33 FEET, TO THE NORTHERLY LINE OF LOT 8 OF SAID WESTGLEN SUBDIVISION; THENCE RUN SOUTH 89°22'14" WEST ALONG SAID NORTHERLY LINE OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 259.69 FEET, TO A POINT OF INTERSECTION WITH THE SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, ALSO BEING THE EASTERLY LINE OF SAID WESTGLEN SUBDIVISION; THENCE RUN NORTH 00°34'45" WEST ALONG SAID WEST LINE 453.29 FEET TO A POINT OF INTERSECTION WITH SAID SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD AND THE POINT OF BEGINNING.

AND

THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 AND THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST, EXCEPTING THEREFROM CANAL RIGHT OF WAY, SAID PROPERTY LYING AND BEING IN ST. LUCIE COUNTY, FLORIDA.

AND

THE EAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, LESS WEST GLEN AS IN PLAT BOOK 14, PAGE 51, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, ALL LYING AND BEING IN SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST.

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS FORM.
2. TAXES AND ASSESSMENTS FOR THE YEAR 2022 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.
3. STANDARD EXCEPTIONS:
- A. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
 - B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.
 - C. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
 - D. TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS.
4. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, FLORIDA STATUTES, IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY FOR UNPAID SERVICE CHARGES FOR SERVICE BY ANY WATER, SEWER OR GAS SYSTEM SUPPLYING THE INSURED LAND.

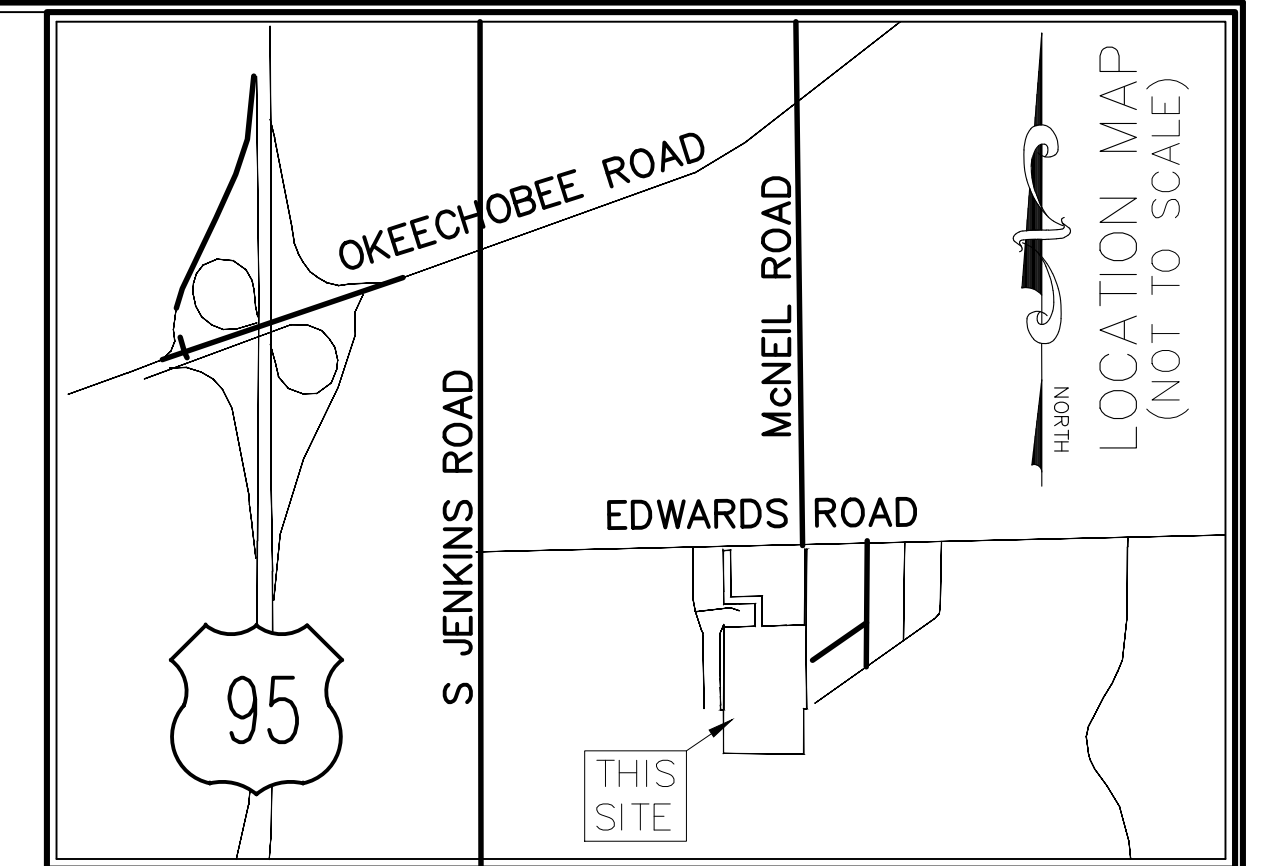
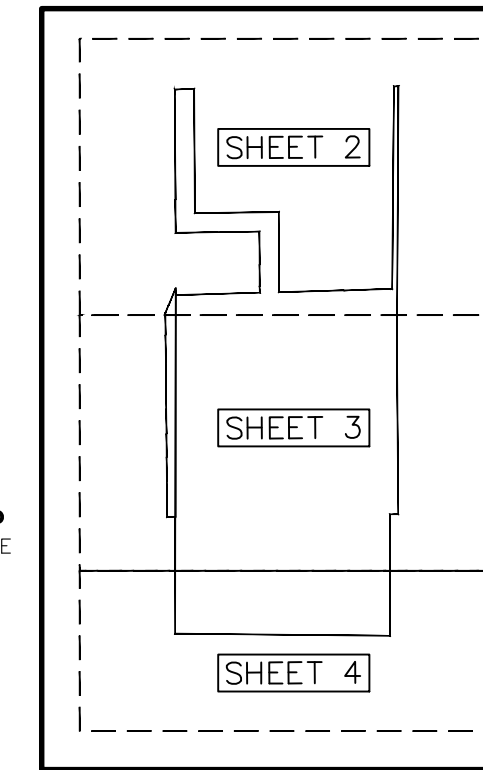
DESCRIPTION: "B"

A PARCEL OF LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTH 1/2 OF SAID NORTHWEST 1/4 OF SECTION 30; THENCE RUN NORTH 89°02'18" EAST, ALONG THE NORTH LINE OF SAID SOUTH 1/2, A DISTANCE OF 2024.51 FEET, TO AN INTERSECTION WITH THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, ALSO BEING THE NORTHERLY EXTENSION OF THE EAST LINE OF WESTGLEN, A SUBDIVISION AS RECORDED IN PLAT BOOK 14, PAGE 51 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE RUN SOUTH 00°34'45" WEST, ALONG SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, A DISTANCE OF 21.73 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD, AS LAID OUT AND NOW IN USE FOR THE POINT OF BEGINNING; THENCE RUN NORTH 88°43'09" EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, A DISTANCE OF 517.82 FEET, TO A POINT BEING 157.08 FEET, WESTERLY OF THE EAST LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4, THENCE RUN SOUTH 00°28'52" WEST, A DISTANCE OF 646.35 FEET, TO A POINT LYING 17.97 FEET NORTH OF THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 ALSO BEING AT A POINT LYING 154.62 FEET, WESTERLY OF THE EAST LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4, THENCE RUN SOUTH 88°53'19" WEST, A DISTANCE OF 259.44 FEET, TO AN INTERSECTION WITH THE EAST LINE OF SAID WESTGLEN, THENCE RUN NORTH 00°37'24" EAST, ALONG SAID EAST LINE OF WESTGLEN SUBDIVISION, A DISTANCE OF 188.73 FEET, TO THE NORTHERLY LINE OF SAID WESTGLEN SUBDIVISION, THENCE RUN SOUTH 89°22'14" WEST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 259.53 FEET TO A POINT OF INTERSECTION WITH THE SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, ALSO BEING THE EASTERLY LINE OF SAID WESTGLEN, THENCE RUN NORTH 00°34'45" WEST, ALONG SAID WEST LINE 453.94 FEET TO A POINT OF INTERSECTION WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF EDWARDS ROAD AND THE POINT OF BEGINNING.

LESS AND EXCEPT:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTH 1/2 OF SAID NORTHWEST 1/4 OF SECTION 30; THENCE RUN NORTH 89°02'18" EAST, ALONG THE NORTH LINE OF SAID SOUTH 1/2, A DISTANCE OF 2024.51 FEET, TO AN INTERSECTION WITH THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, ALSO BEING THE NORTHERLY EXTENSION OF THE EAST LINE OF WESTGLEN, A SUBDIVISION AS RECORDED IN PLAT BOOK 14, PAGE 51 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE SOUTH 00°34'45" WEST, ALONG SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, A DISTANCE OF 21.73 FEET, TO THE SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD, AS LAID OUT AND NOW IN USE FOR THE POINT OF BEGINNING; THENCE RUN NORTH 88°43'09" EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, A DISTANCE OF 60.02 FEET TO A POINT; THENCE SOUTH 00°19'48" WEST ALONG A LINE 60 FEET EAST OF AND PARALLEL TO THE EAST LINE OF TRACT "A" AND LOT 7 OF WESTGLEN SUBDIVISION, PLAT BOOK 14, PAGE 51, ST. LUCIE COUNTY, FLORIDA, A DISTANCE OF 394.11 FEET; THENCE NORTH 89°30'46" EAST ALONG A LINE 60 FEET NORTH OF AND PARALLEL TO THE NORTH LINE OF LOT 8 OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 259.73 FEET; THENCE SOUTH 00°21'56" WEST ALONG A LINE 60 FEET EAST OF AND PARALLEL TO THE EAST LINE OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 247.76 FEET; THENCE RUN SOUTH 88°53'19" WEST A DISTANCE OF 60.02 FEET TO AN INTERSECTION WITH THE EAST LINE OF SAID WESTGLEN SUBDIVISION; THENCE RUN NORTH 00°37'24" EAST ALONG SAID EAST LINE OF WESTGLEN SUBDIVISION, A DISTANCE OF 188.33 FEET, TO THE NORTHERLY LINE OF LOT 8 OF SAID WESTGLEN SUBDIVISION; THENCE RUN SOUTH 89°22'14" WEST ALONG SAID NORTHERLY LINE OF SAID WESTGLEN SUBDIVISION, A DISTANCE OF 259.69 FEET, TO A POINT OF INTERSECTION WITH THE SAID WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, ALSO BEING THE EASTERLY LINE OF SAID WESTGLEN SUBDIVISION; THENCE RUN NORTH 00°34'45" WEST ALONG SAID WEST LINE 453.29 FEET TO A POINT OF INTERSECTION WITH SAID SOUTHERLY RIGHT OF WAY LINE OF EDWARDS ROAD AND THE POINT OF BEGINNING.



LEGEND

- A/C - AIR CONDITIONER
- AKA - ALSO KNOWN AS
- L - ARC LENGTH
- EL - ELEVATION
- FND. - FOUND
- I.R./CAP - IRON ROD & CAP
- INV. - INVERT
- O.R.B. - OFFICIAL RECORD BOOK
- P.B. - PLAT BOOK
- P.B./C.R. - PALM BEACH COUNTY RECORD
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- PGS. - PAGES
- P.R.M. - PERMANENT REFERENCE MONUMENT
- R - RADIUS
- RE - ROOF ELEVATION
- RGE - RANGE
- SEC - SECTION
- Δ - DELTA (CENTRAL ANGLE)
- SQ. FT. - SQUARE FEET
- TWP. - TOWNSHIP
- OHE- - ELECTRICAL WIRES OVERHEAD
- FM- - FORCE MAIN
- W- - WATER MAIN
- IRR- - IRRIGATION LINE
- TEL- - PHONE OR FIBER OPTIC LINE
- STM- - STORM LINE
- SS- - SEWER LINE
- 1000 - EXISTING ELEVATION

SYMBOLS:

- ▲ = HORIZONTAL CONTROL POINT
- ⊕ = BENCHMARK
- ♻️ = TRASH CONTAINER
- ⊕ = UNIDENTIFIED HANDHOLE
- ⊕ = UNIDENTIFIED BOX
- ⊕ = NATURAL GAS MARKER
- ⊕ = SIGN
- ⊕ = BOLLARD
- ⊕ = TRAFFIC HANDHOLE
- ⊕ = CROSSWALK SIGNAL
- ⊕ = MAST ARM / TRAFFIC LIGHT
- ⊕ = SET/FOUND BOUNDARY POINT
- ⊕ = FOUND CONCRETE MONUMENT
- ⊕ = FIBER OPTIC BOX
- ⊕ = FIBER OPTIC VAULT
- ⊕ = TELEPHONE SERVICE MANHOLE
- ⊕ = CABLE TV HANDHOLE
- ⊕ = CABLE TV BOX
- ⊕ = SEWER GATE VALVE
- ⊕ = SANITARY MANHOLE
- ⊕ = DRAINAGE MANHOLE
- ⊕ = YARD DRAIN
- ⊕ = AREA OF APPARENT PHYSICAL USE BY ADJOINING LANDS
- ⊕ = CATCH BASIN
- ⊕ = DRAINAGE PIPE END
- ⊕ = ELECTRIC SWITCH
- ⊕ = ELECTRIC HANDHOLE
- ⊕ = ELECTRIC VAULT
- ⊕ = ELECTRIC METER
- ⊕ = ELECTRIC BOX
- ⊕ = TRANSFORMER
- ⊕ = GROUND LIGHT
- ⊕ = LIGHT POLE
- ⊕ = CONCRETE POWER POLE
- ⊕ = WOOD POWER POLE
- ⊕ = GUY WIRE ANCHOR
- ⊕ = PUMP
- ⊕ = FIRE HYDRANT
- ⊕ = WIRE GATE VALVE
- ⊕ = BACKFLOW PREVENTER
- ⊕ = IRRIGATION RISER/PEDASTAL
- ⊕ = IRRIGATION CONTROL VALVE
- ⊕ = WATER METER
- ⊕ = WELL
- ⊕ = WATER VALVE
- ⊕ = SECTION CORNER

NOTES

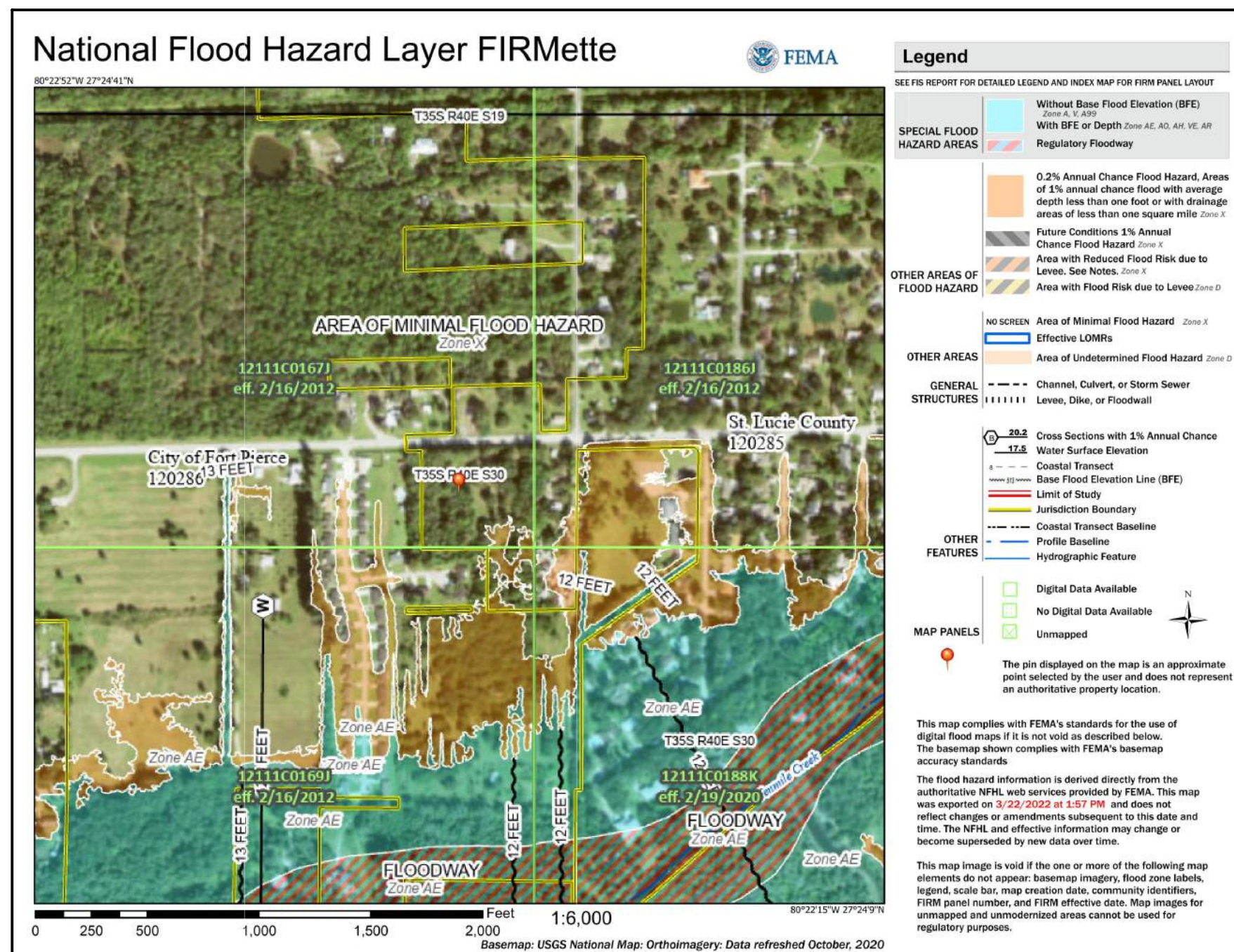
1. THIS SURVEY OR REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
2. COORDINATES SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT), AS PUBLISHED BY PALM BEACH COUNTY.
3. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
4. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5. FLOOD ZONE - "X" & ZONE AE, PANEL NO. 12111C0167J, 12111C0169J, 1211C0186J, 12111C018188K EFFECTIVE DATE OF FEBRUARY 16, 2012.
6. BEARINGS SHOWN HEREON ARE RELATIVE TO THE EAST LINE OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 35 SOUTH RANGE 40 EAST.
7. BEARINGS AND DISTANCES ARE RECORDED, UNLESS NOTED OTHERWISE.
8. LANDS SHOWN HEREON WERE ABSTRACTED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: 035447.078366 AND ORDER NO: 1008471. EFFECTIVE DATE DECEMBER 08th, 2021 @ 5:00AM. PLOTTABLE INSTRUMENTS ARE SHOWN ON THE SURVEY.
9. LANDS SHOWN HEREON WERE ABSTRACTED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: PULTE ORANGE GARDENS AND ORDER NO: 10204683. EFFECTIVE DATE FEBRUARY 4th, 2022 @ 5:00AM. PLOTTABLE INSTRUMENTS ARE SHOWN ON THE SURVEY.
10. PARENT BENCHMARK: PORT SAINT LUCIE BRASS DISK, "QUAIL" ELEVATION = 14.26'
11. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL BOUNDARIES-
12. THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY FROM EDWARDS ROAD, AND McNEIL ROAD A PUBLIC RIGHT-OF-WAY OWNED AND MAINTAINED BY SAINT LUCIE COUNTY.
13. AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK OR BUILDING CONSTRUCTION.
14. AT THE TIME OF THE SURVEY THERE WAS NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS, BUT THE SURVEYOR DOES HAVE KNOWLEDGE OF A PROPOSED WIDENING OF EDWARDS ROAD AND THE PROPOSED RIGHT-OF-WAY IS SHOWN HEREON.
15. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
16. SITE ADDRESS: 4963 EDWARDS ROAD , FORT PIERCE, FLORIDA 34981
17. ADJACENT LAND OWNERS SHOWN HEREON WERE OBTAINED FROM THE SAINT LUCIE COUNTY PROPERTY APPRAISER'S WEB-SITE ON DECEMBER 27, 2021.
18. THE LEGAL DESCRIPTION MATCHES THE LEGAL DESCRIPTION IN THE TITLE COMMITMENT.

CERTIFIED TO:

FIDELITY NATIONAL TITLE INSURANCE COMPANY
 PULTE HOME COMPANY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY
 ORANGE GARDENS DEVELOPMENT, INC., A FLORIDA CORPORATION

CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON FEBRUARY 2, 2021. I FURTHER CERTIFY THAT THIS SPECIFIC PURPOSE SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.



REVISIONS	DATE	BY

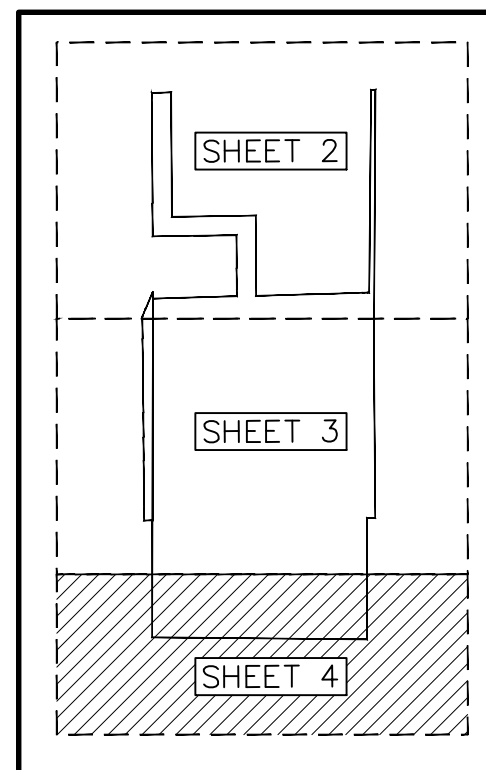
CAULFIELD & WHEELER, INC.
 CIVIL ENGINEERING - LAND PLANNING
 ANDSCAPE ARCHITECTURE - SURVEYING
 7900 GLADES ROAD - SUITE 100
 BOCA RATON, FLORIDA 33434
 PHONE (561) 392-1991 / FAX (561) 750-1452

BOUNDARY SURVEY
 4963 EDWARDS ROAD,
 FORT PIERCE, FLORIDA 34981

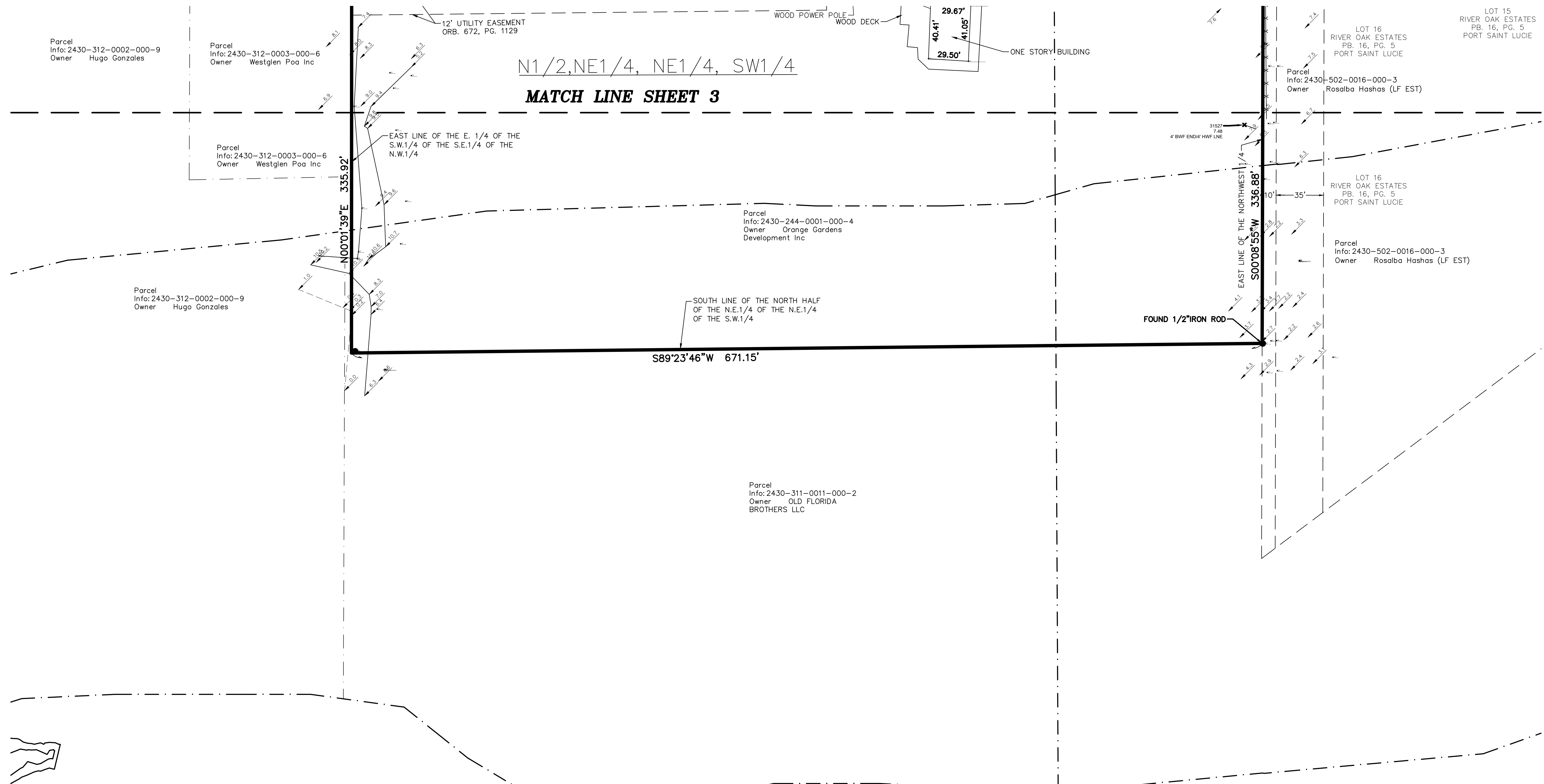
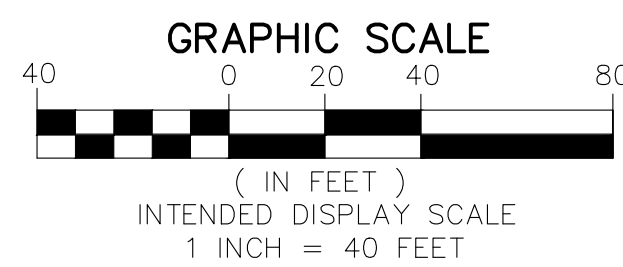
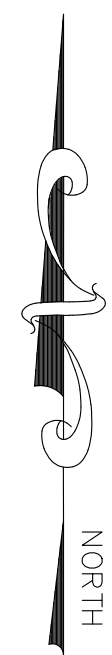
DATE	03/22/22
DRAWN BY	AMS
F.B./ PG.	ELEC
SCALE	SHOWN

DAVID P. LINDLEY
 REGISTERED LAND
 SURVEYOR NO. 5005
 STATE OF FLORIDA
 L.B. 3591

JOB #	0000
SHT. NO.	1
OF 4 SHEETS	



NORTH
KEY MAP
NOT TO SCALE

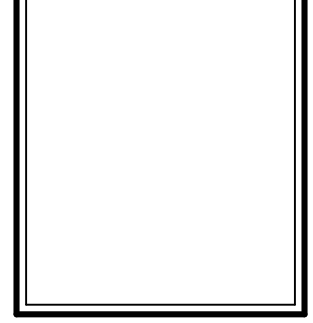


REVISIONS	DATE	BY

CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING - LAND PLANNING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1452

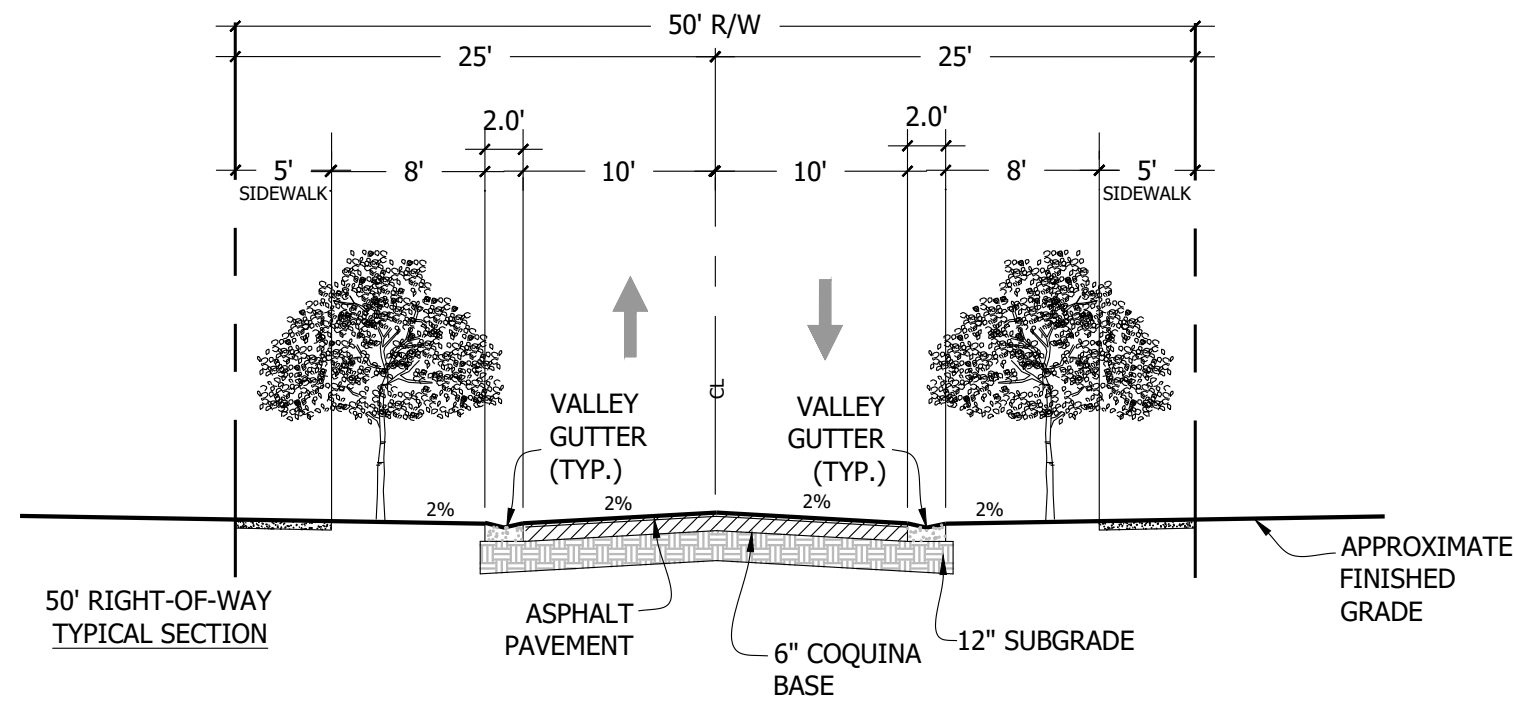
BOUNDARY SURVEY
4963 EDWARDS ROAD,
FORT PIERCE, FLORIDA 34981

DATE 03/22/22
DRAWN BY AMS
F.B./ PG. ELEC
SCALE SHOWN

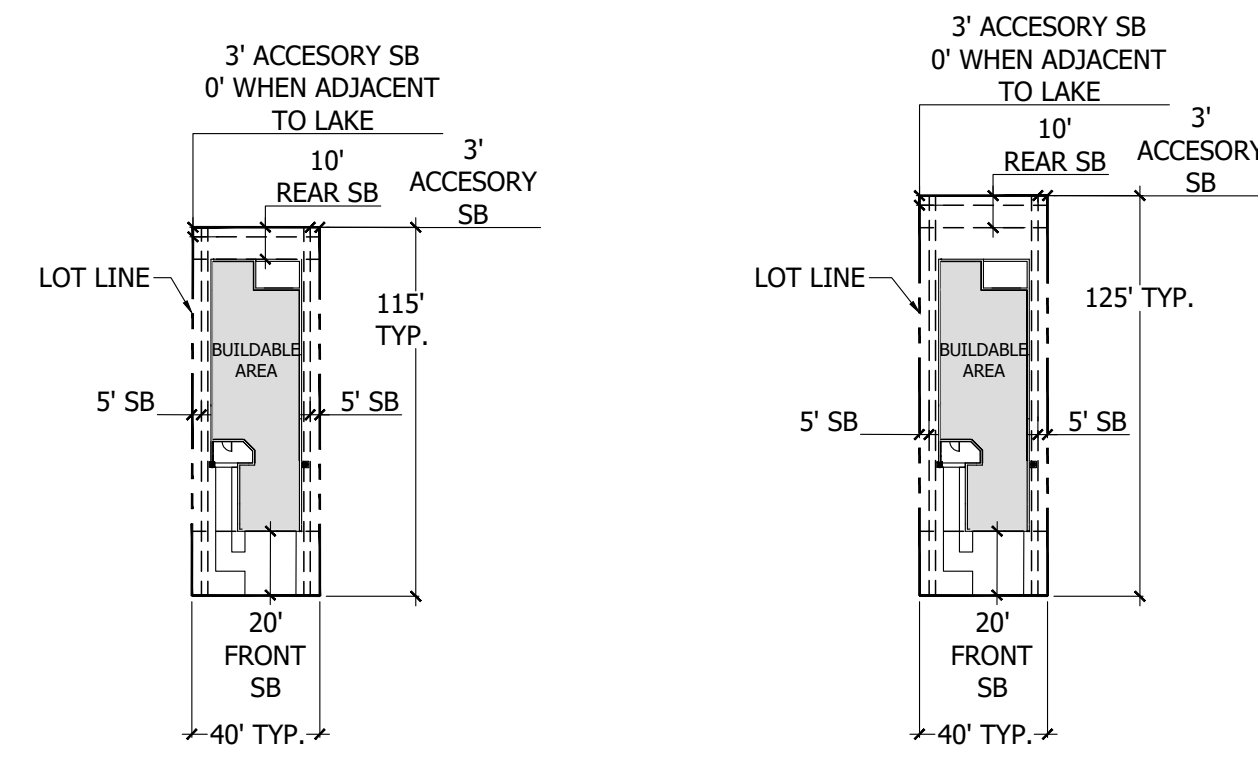


JOB # 0000
SHT. NO.
4
OF 4 SHEETS

50' ROW TYPICAL



LOT TYPICALS

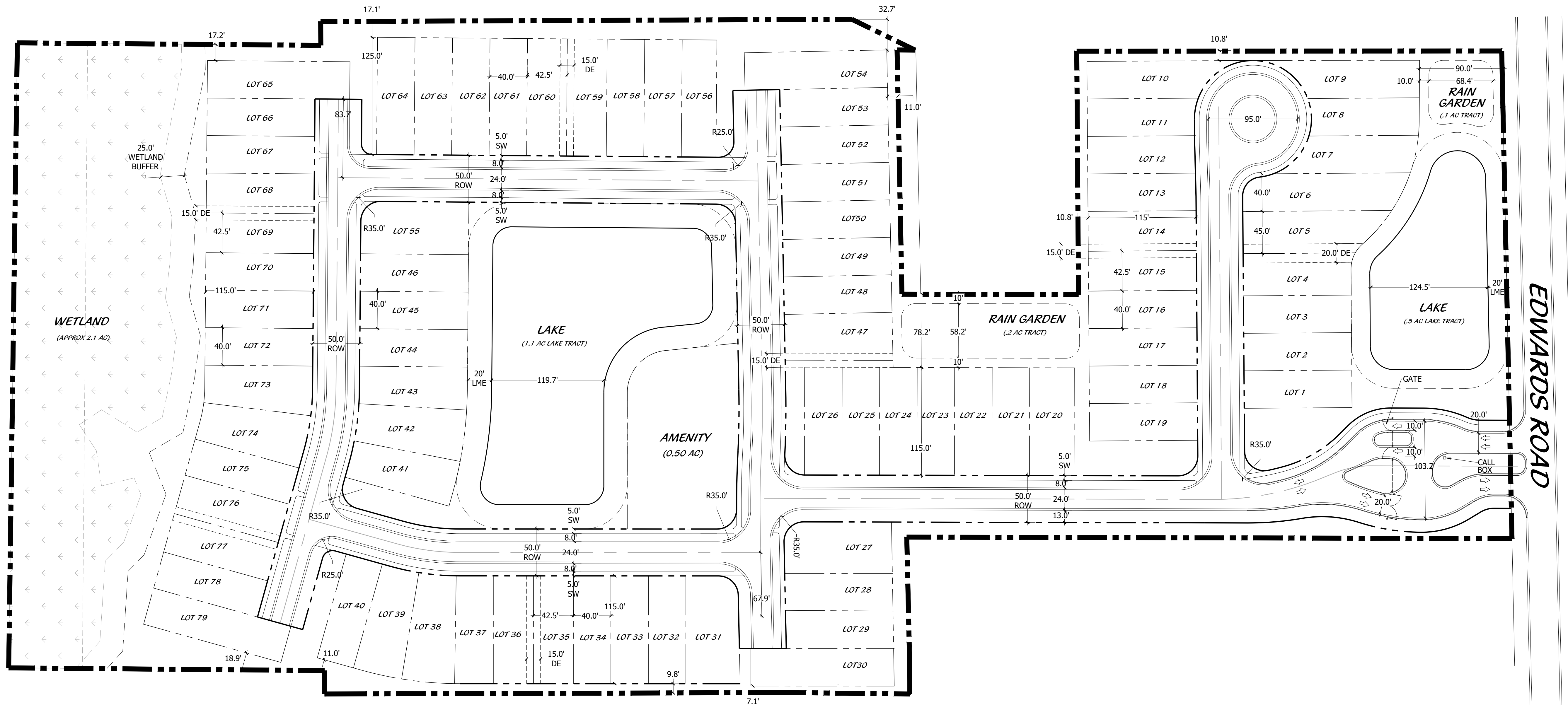


SITE DATA

SITE AREA: 22.03 AC
 WETLAND & BUFFER AREA: 2.60 AC
 DEVELOPABLE AREA: 19.43 AC

LOTS: 79 - 40' SINGLE FAMILY (69' - 40' X 115', 9' - 40' X 125')
 LF SITE PERIMETER: 6,425 LF
 LF ROADS: 3,487 LF

OPEN SPACE: 6.9 AC (31.4% OF TOTAL AREA *INCLUDES WETLAND)
 ALL DRAINAGE: 2.9 AC (14.9% OF DEVELOPABLE AREA)
 LAKE (TOB): 2.6 AC (13.4% OF DEVELOPABLE AREA)
 LAKE (EOW): 1.6 AC (8.2% OF DEVELOPABLE AREA)



PROJECT TEAM

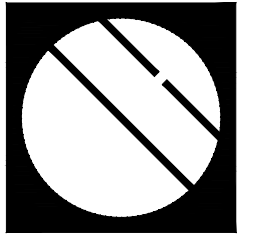
CLIENT: PULTE HOMES

AGENT / PLANNER / LANDSCAPE ARCHITECT: COTLEUR & HEARING
 1934 COMMERCE LN #1, JUPITER, FL 33458

ENVIRONMENTAL: EW CONSULTANTS
 1000 SE MONTEREY COMMONS BLVD #208, STUART, FL 34996

TRAFFIC ENGINEER: O'ROURKE ENGINEERING
 1642 NW PALM LAKE DR, STUART, FL 34994

CIVIL ENGINEER: EDC
 10250 SW VILLAGE PKWY SUITE 201, PORT ST. LUCIE, FL 34987



Cotleur & Hearing

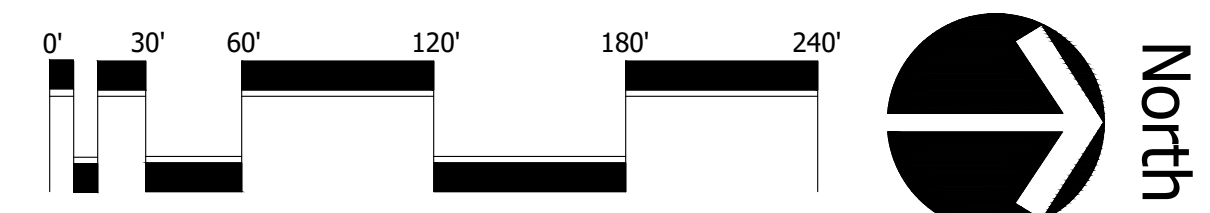
Landscape Architects
 Land Planners
 Environmental Consultants

1934 Commerce Lane
 Suite 1
 Jupiter, Florida 33458
 561.747.6336 · Fax 747.1377
 www.cotleurhearing.com
 Lic# LC-C000239

PULTE - EDWARDS RD

Ft. Pierce, Florida

CONCEPTUAL SITE PLAN



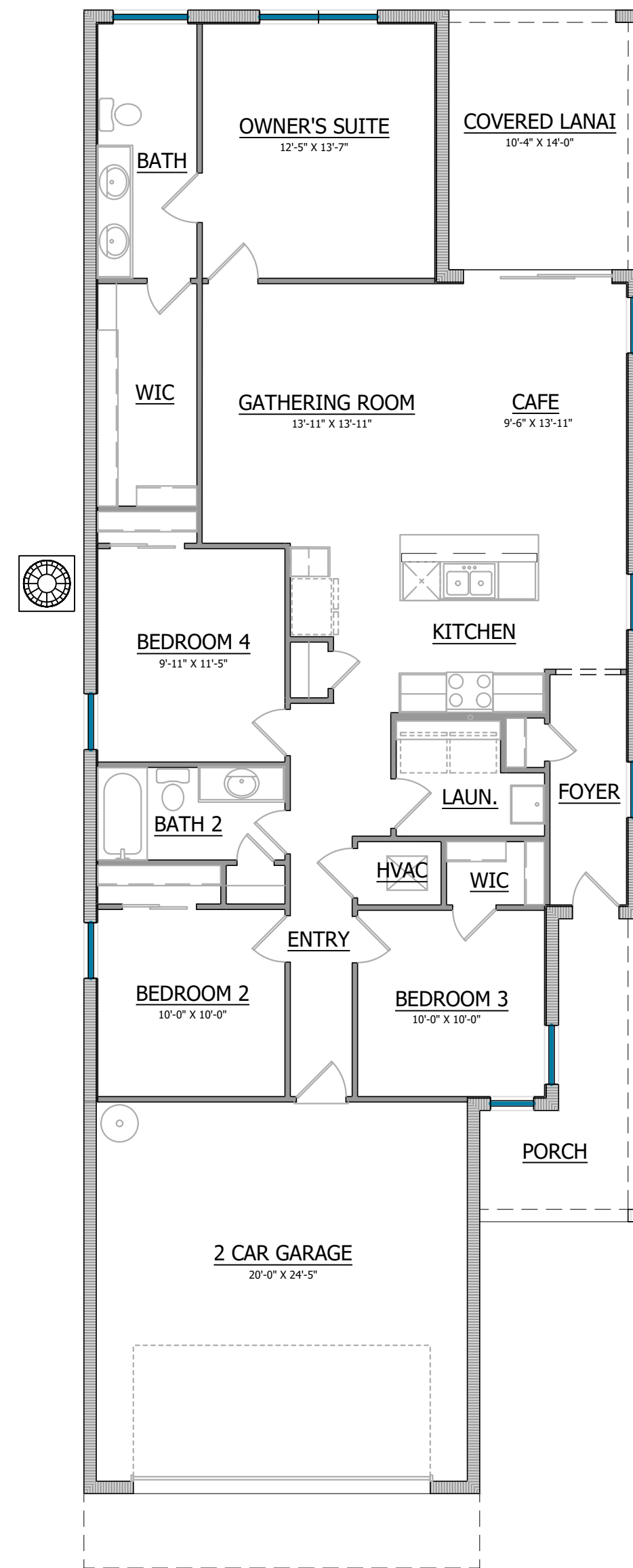
Scale: 1" = 60'-0"

DESIGNED DTS/JLD/ACE
 DRAWN JLD/ACE
 APPROVED DTS
 JOB NUMBER 21-0913
 DATE 04-01-22
 REVISIONS

January 22, 2021 9:21:40 a.m.
 Drawing: CAS1A CONCEPT.DWG

SHEET 1 OF 1
 © COTLEUR & HEARING, INC.
 These drawings are the property of the architect and are not to be used for extensions or on other projects except by agreement in writing with the architect. Immediately report any discrepancies to the architect.

DANIEL



FIRST FLOOR PLAN

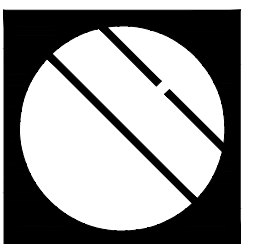
NO SCALE



FRONT ELEVATION

NO SCALE

- Typically 2-car garages will vary from left to right depending on lot conditions.
- No three (3) same models will be located next to each other on the same side of the street.
- The models construction consists of mainly concrete blocks and stucco.
- Each model embodies its own unique massing including features such as, entry ways and windows placed in different locations.
- Window locations vary with each model.
- The internal streetscape reduces monotony by providing street trees and different model types.
- All models feature alternative design elements such as paver driveways and numerous distinct plantings to reduce visual monotony.



Cotleur & Hearing

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561.747.6336 · Fax 747.1377
www.cotleurhearing.com
Lic# LC-26000535

PULTE - EDWARDS RD

Ft. Pierce, Florida

DANIEL

DESIGNED	DTS
DRAWN	JS
APPROVED	DTS
JOB NUMBER	21-0913
DATE	03-30-22
REVISIONS	

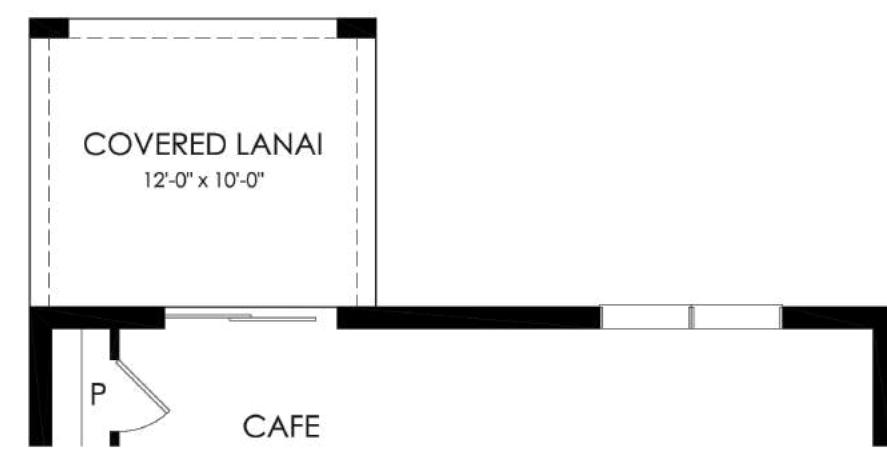
February 23, 2021
Drawing: 191216 Arch dwg.DWG

SHEET 1 OF 2

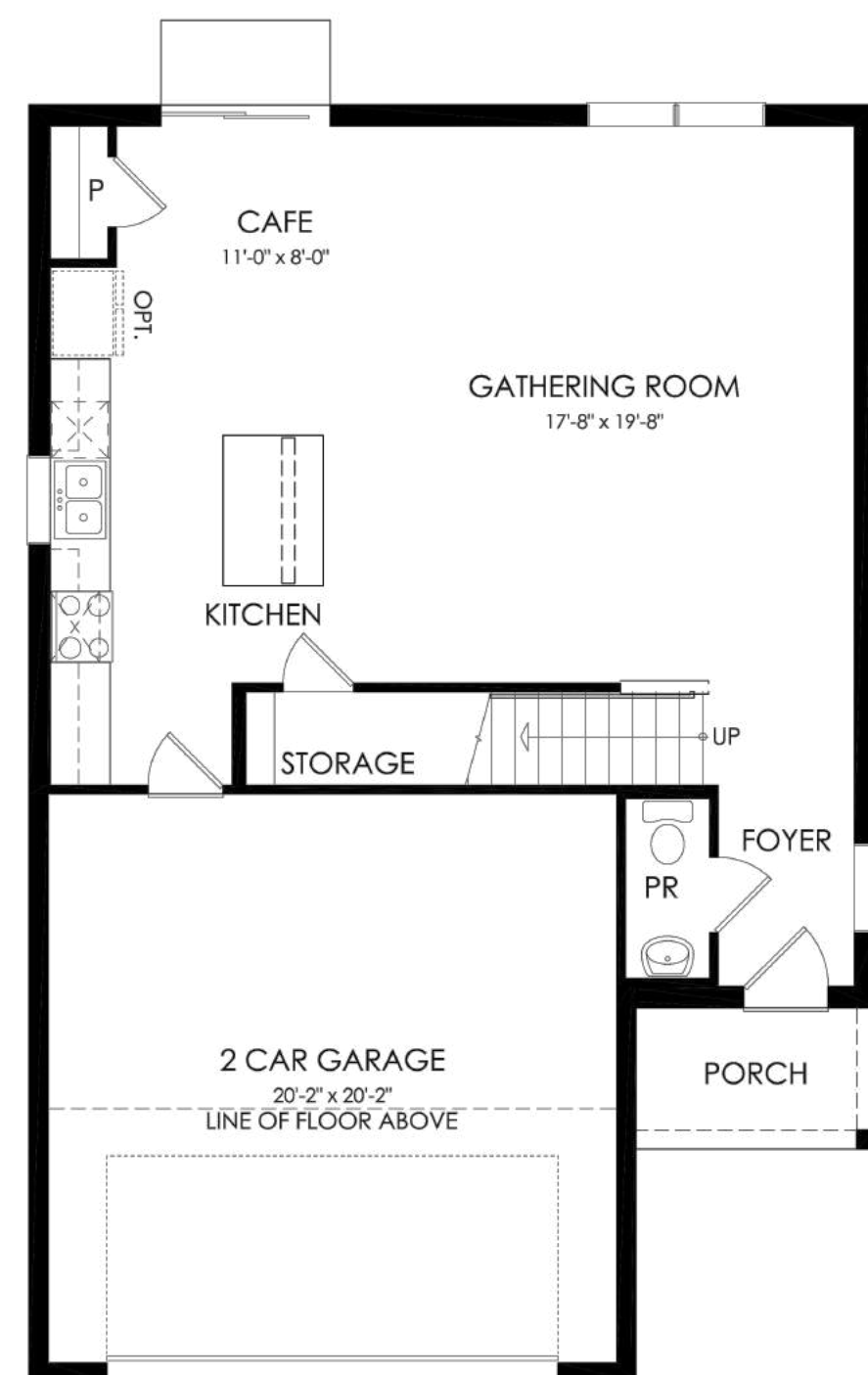
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Design Guideline

HAMDEN

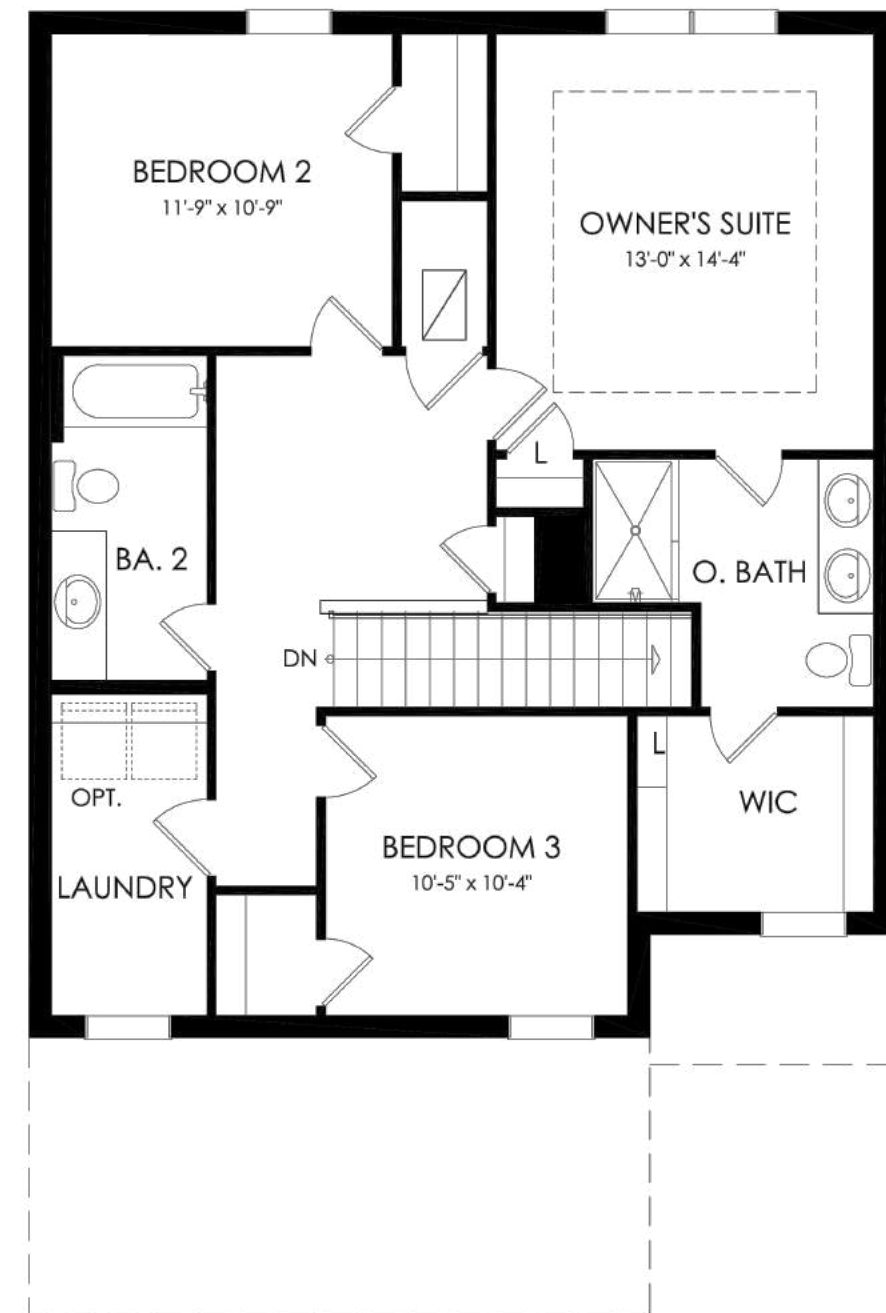


Covered Lanai



FIRST FLOOR PLAN

NO SCALE



SECOND FLOOR PLAN

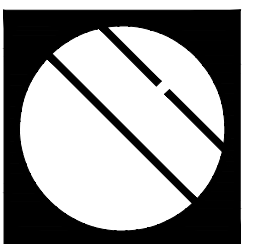
NO SCALE



FRONT ELEVATION

NO SCALE

- a. Typically 2-car garages will vary from left to right depending on lot conditions.
- b. No three (3) same models will be located next to each other on the same side of the street.
- c. The models construction consists of mainly concrete blocks and stucco.
- d. Each model embodies its own unique massing including features such as, entry ways and windows placed in different locations.
- e. Window locations vary with each model.
- f. The internal streetscape reduces monotony by providing street trees and different model types.
- g. All models feature alternative design elements such as paver driveways and numerous distinct plantings to reduce visual monotony.



Cotleur & Hearing

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Lic# LC-26000535

PULTE - EDWARDS RD

Ft. Pierce, Florida

HAMDEN

DESIGNED	DTS
DRAWN	JS
APPROVED	DTS
JOB NUMBER	21-0913
DATE	03-30-22
REVISIONS	

February 23, 2021
Drawing: 191216 Arch dwg.DWG

SHEET 2 OF 2

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Design Guideline

PULTE - EDWARDS RD

Fort Pierce, Florida



SITE PLAN



PULTE - EDWARDS RD

Fort Pierce, Florida



SITE PLAN



North



Pre-Application Meeting

1. f.

Meeting Date: 04/27/2022

REQUESTED ACTION

Hillpointe Residential Multi-Family Dwellings - 2101 S. Jenkins Road and 2151 S. Jenkins Road

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Pre-Application Packet Hillpointe Residential

Form Review

Form Started By: Alicia Rosenthal
Final Approval Date: 04/01/2022

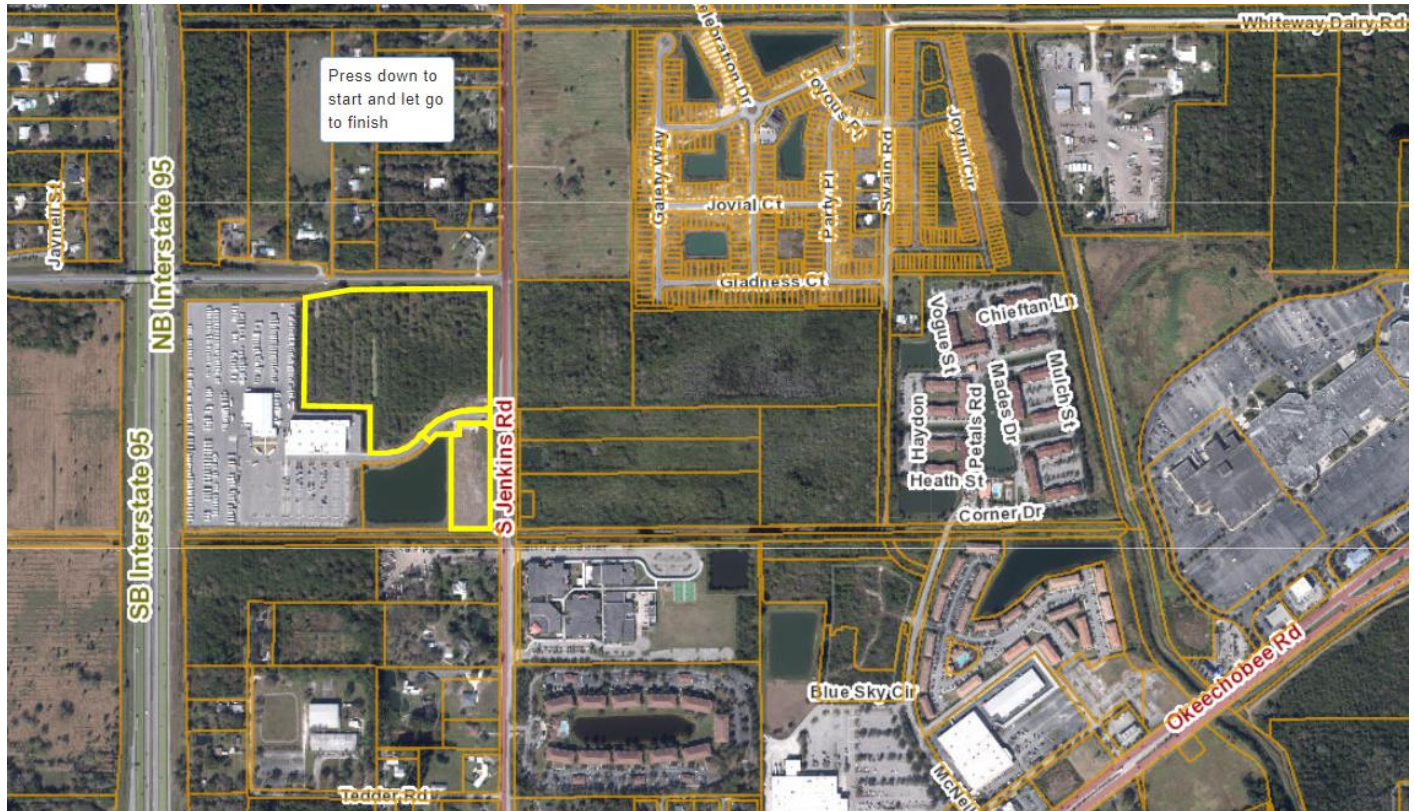
Started On: 04/01/2022 03:24 PM

Site Address: 2101 S Jenkins RD
Sec/Town/Range: 13/35S/39E
Parcel ID: 2313-800-0002-000-7
Jurisdiction: Fort Pierce

Use Type: 1000
Account #: 185066
Map ID: 23/13S
Zoning: General Co

Site Address: 2151 S Jenkins RD
Sec/Town/Range: 13/35S/39E
Parcel ID: 2313-800-0004-000-1
Jurisdiction: Fort Pierce

Use Type: 1000
Account #: 185068
Map ID: 23/13S
Zoning: General Co





Pre-Application Meeting

Pre-application meetings are scheduled on the 4th Wednesday of each month at 10:00 AM and the deadline for submittal is the first Friday of the month. The meetings are held both in person, in the 2nd Floor Conference Room of City Hall, or virtually via Microsoft Teams, which is set up by the Planning Department. The applicant or property owner is required to attend (in-person or virtually); architects, engineers, or contractors for the proposal are encouraged to attend. The fee for a pre-application meeting is **\$300** (\$250 + \$50 Building Department Fee) with an additional \$250 fee for a "no show". To discuss or schedule a pre-application meeting please contact the Planning Department at **(772) 467-3737** or email us at **planning_dl@cityoffortpierce.com**.

The minimum submittal requirements are as follows:

Site Plan
 Detailed Project Narrative
 Floor Plan
 Survey

Proposed Use of the Property: _____

Property address or location

Parcel ID(s)

Property Owner(s) Name

Applicant/Representative, Company

Street Address

Street Address

City **State** **Zip**

City **State** **Zip**

Phone Number

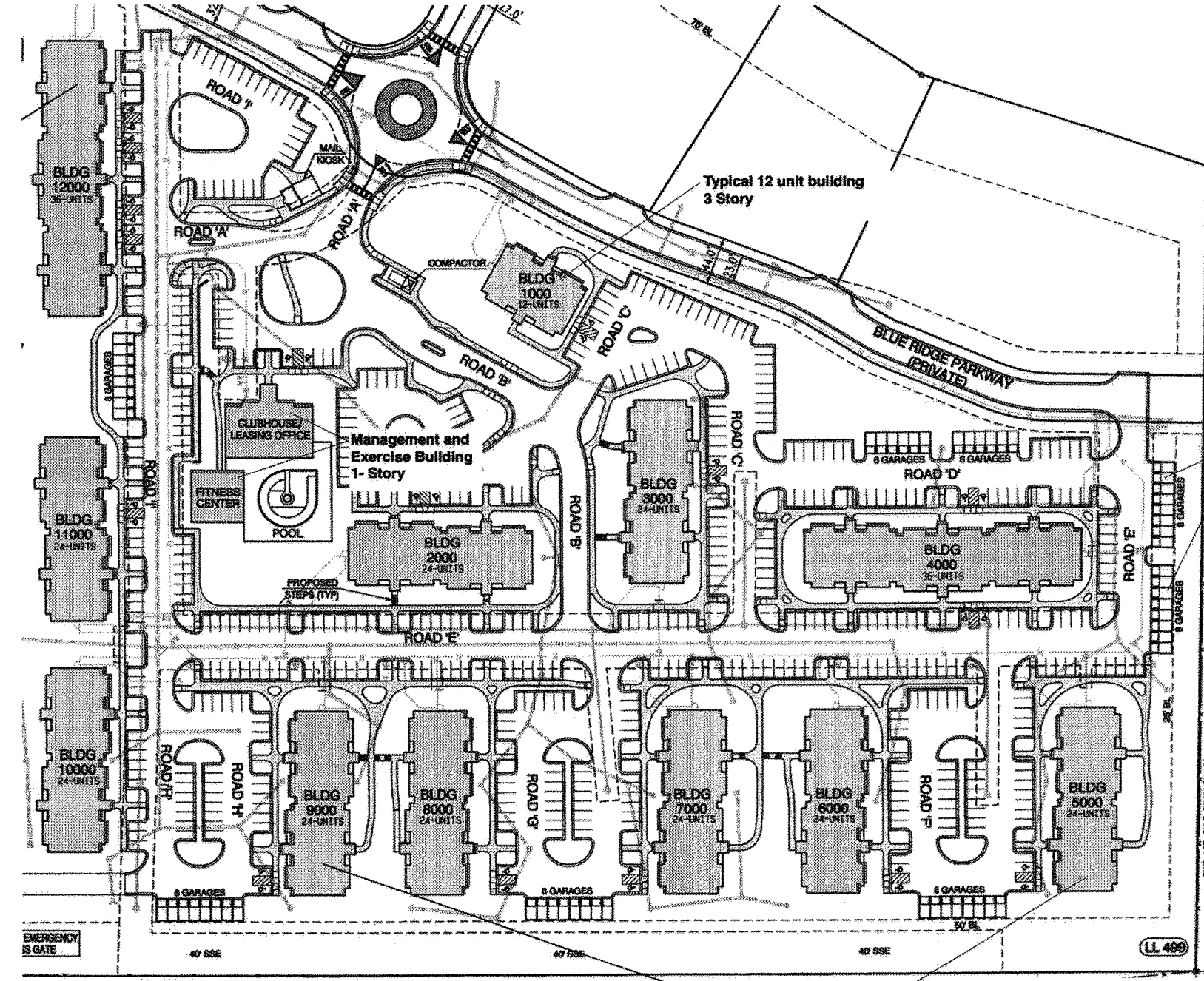
Phone Number

Email Address
 jessica.gorski@campingworld.com

Email Address

The property owner is aware that a Pre-Application meeting has been requested.
Property Owner's Signature Brent Moody Brent Moody, President

The purpose of the pre-application meeting is to assist the applicant in assembling a complete application. The pre-application meeting provides an applicant or property owner with specific process information, code requirements, and feedback from representatives of the Planning, Building, Engineering and Utilities Departments, for the proposal. The meeting also provides the applicant an opportunity to address any concerns or challenges that may arise during the process.



BUILDING LOCATIONS WITH FACEBRICK

Scale: NTS
The red marking on the buildings indicate the locations of the facebrick on this sheet—Consult with the architect with any questions.

FRONT COMPUTATIONS FOR FACEBRICK

Area required is 80% of the building elevation face for 24 unit building:
Length 168' x 29' high less two breezeways @ 29' x 8'-6" (493 sf)=4379sf
Area of brick or stone is 80% of 4379 or 3503 sf.

A=6'-7" x 29'-8" x 4 areas=771
B=21'-0" x 20'-8" x 4 areas=434 x 4=1736 sf
C=Balcony 10'-0" x 9'-0" x 3=270 x 4 areas=1080 sf
D=Breezeway 29'-0" x 2'-8'-6" x 4'-6"=96 x two areas=192 sf

TOTAL: 3778(exceeds 3503 required for 80%)(86%)

Area required is 80% of the building elevation face/36 unit building:
Length 252.5' x 29' high less three breezeways @ 29' x 8'-6" (739 sf)=6582sf
Area of brick or stone is 80% of 6582 or 5266 sf.

A=6'-7" x 29'-8" x 6 areas=1155
B=21'-0" x 20'-8" x 6 areas=434 x 6=2604 sf
C=Balcony 10'-0" x 9'-0" x 3=270 x 6 areas=1620 sf
D=Breezeway 29'-0" x 2'-8'-6" x 4'-6"=96 x 3 areas=288 sf

TOTAL: 5667(exceeds 5266 required for 80%)(86%)

WALL FRAMING SCHEDULE					
WALL TYPE	FRAMING	BLOCKING	STRUCTURAL SHEATHING	ADDITIONAL REQUIREMENTS	FIRE RATING
A	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	THERMO-BRACE RED WALL SHEATHING WITH 16 GAUGE, 15/16" x 1-1/4" LED (TYP) ORIGIN STAPLES (1" PENETRATION INTO STUD) WITH SCREW PARALLEL TO FRAMING @ 12" O.C. AT PANEL EDGES AND TO INTERMEDIATE FRAMING MEMBERS (BLOCK HORIZONTAL PANEL JOINTS)	ON INTERIOR FACE OF WALL INSTALL 1/2" THICK OPSIS BOARD WITH #4 x 1-1/4" LONG TYPE W OR S SCREWS @ 12" O.C. AT PANEL EDGES AND TO INTERMEDIATE FRAMING MEMBERS	1HR
B	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	1 ROW OF SOLID BLOCKING AT MIDHEIGHT OF STUD	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN "TIE" OF PANEL.	SCREWS SHALL BE 1-1/4" LONG No. 8 TYPE S OR W OR S SCREWS. INSTALL STRUCTURAL OPT BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS "BOND" TRANSVERSE WALLS	1HR
C	2x6 studs @ 24" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN OPT. BS SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN "TIE" OF PANEL.	SCREWS SHALL BE 1-1/4" LONG No. 8 TYPE S OR W OR S SCREWS. INSTALL STRUCTURAL OPT BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS "BOND" TRANSVERSE WALLS	1HR
D	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	1 ROW OF SOLID BLOCKING AT MIDHEIGHT OF STUD	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN "TIE" OF PANEL.	SCREWS SHALL BE 1-1/4" LONG No. 8 TYPE S OR W OR S SCREWS. INSTALL STRUCTURAL OPT BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS "BOND" TRANSVERSE WALLS	1HR
E	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	THERMO-BRACE RED WALL SHEATHING WITH 16 GAUGE, 15/16" x 1-1/4" LED (TYP) ORIGIN STAPLES (1" PENETRATION INTO STUD) WITH SCREW PARALLEL TO FRAMING @ 12" O.C. AT PANEL EDGES AND TO INTERMEDIATE FRAMING MEMBERS (BLOCK HORIZONTAL PANEL JOINTS)	ON INTERIOR FACE OF WALL INSTALL 1/2" THICK OPSIS BOARD WITH #4 x 1-1/4" LONG TYPE W OR S SCREWS @ 12" O.C. AT PANEL EDGES AND TO INTERMEDIATE FRAMING MEMBERS	1HR
F	2x6 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN OPT. BS SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN "TIE" OF PANEL.	SCREWS SHALL BE 1-1/4" LONG No. 8 TYPE S OR W OR S SCREWS. INSTALL STRUCTURAL OPT BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS "BOND" TRANSVERSE WALLS	1HR
G	2x6 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN "TIE" OF PANEL.	SCREWS SHALL BE 1-1/4" LONG No. 8 TYPE S OR W OR S SCREWS. INSTALL STRUCTURAL OPT BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS "BOND" TRANSVERSE WALLS	1HR
H	2x4 studs @ 16" o.c. (No. 2 S.P.F.)	1 ROW OF SOLID BLOCKING AT MIDHEIGHT OF STUD	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN "TIE" OF PANEL.	SCREWS SHALL BE 1-1/4" LONG No. 8 TYPE S OR W OR S SCREWS. INSTALL STRUCTURAL OPT BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS "BOND" TRANSVERSE WALLS	1HR
I	2x6 studs @ 24" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WOOD WALL SHEATHING (4'-0" MAX SPACING)	3/8" OSB WALL SHEATHING TO WALL FRAMING WITH 8d NAILS @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" NAIL SPACING AT ALL FRAMING MEMBERS IN "TIE" OF PANEL.	INSTALL WOOD SHEATHING ON ONE SIDE OF WALL ONLY	1HR
J	2x6 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN "TIE" OF PANEL.	SCREWS SHALL BE 1-1/4" LONG No. 8 TYPE S OR W OR S SCREWS. INSTALL STRUCTURAL OPT BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS "BOND" TRANSVERSE WALLS	1HR
A AND E ALTERNATE	2x6 studs @ 16" o.c. (No. 2 S.P.F.)	ROWS OF BRIDGING @ HORIZONTAL JOINTS IN WALL SHEATHING (4'-0" MAX SPACING)	OPSIS BOARD USED AS STRUCTURAL SHEATHING. SCREW ON BOARD TO WALL FRAMING @ 4" O.C. ALONG PANEL EDGES (BLOCK HORIZONTAL PANEL JOINTS) PROVIDE 12" SCREW SPACING AT ALL FRAMING MEMBERS IN "TIE" OF PANEL.	SCREWS SHALL BE 1-1/4" LONG No. 8 TYPE S OR W OR S SCREWS. INSTALL STRUCTURAL OPT BOARD ON BOTH SIDES OF WALL DO NOT PENETRATE OPT. @ INTERIOR TRANSVERSE WALLS SHEATHING IS CONTINUOUS "BOND" TRANSVERSE WALLS	1HR

See PEC Framing drawings referenced for construction for additional details and information

WALL FRAMING NOTES:

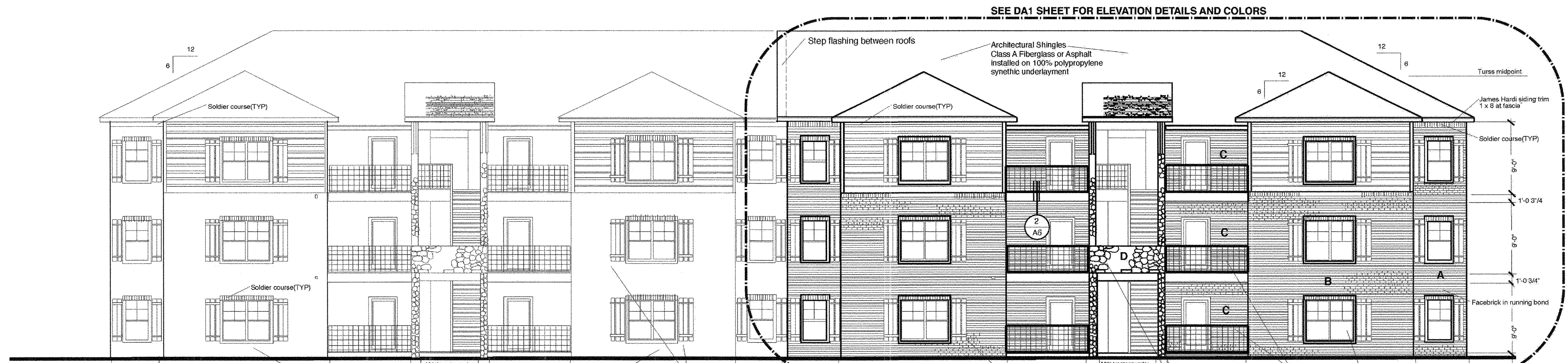
- INTERIOR, NON-BEARING, WALLS NOT LABELED WITH A WALL TYPE SHALL BE 2 x STUDS @ 16" O.C.(STUD GRADE S.P.F.). SEE ARCHITECTURAL DRAWINGS FOR STUD SIZE.
- PLUMBING WALLS SHALL BE A MINIMUM OF 2" x 6".
- 10d NAILS SHALL BE 3" LONG x 0.131" DIAMETER MINIMUM. 8d NAILS SHALL BE 2 1/2" LONG x 0.131" DIAMETER MINIMUM.
- WALL SHEATHING MAY BE INSTALLED WITH LONG DIMENSION HORIZONTAL OR VERTICAL.
- 7/16" THICK ZIP SYSTEM SHEATHING PANELS BY HUBER WOODS, LLC MAY BE USED WHERE 3/8" OSB IS SPECIFIED.
- PEC IS NOT RESPONSIBLE FOR FIRE RATING REQUIREMENTS, SPECIFICATIONS, AND DETAILS. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATING REQUIREMENTS, SPECIFICATIONS, AND DETAILS. ARCHITECT IS SOLELY RESPONSIBLE FOR PROVIDING FIRE RATING INFORMATION. FIRE RATING DETAILING SHALL NOT MODIFY STRUCTURAL FRAMING AND CONNECTION REQUIREMENTS SHOWN IN THE STRUCTURAL DRAWINGS.



REAR ELEVATION

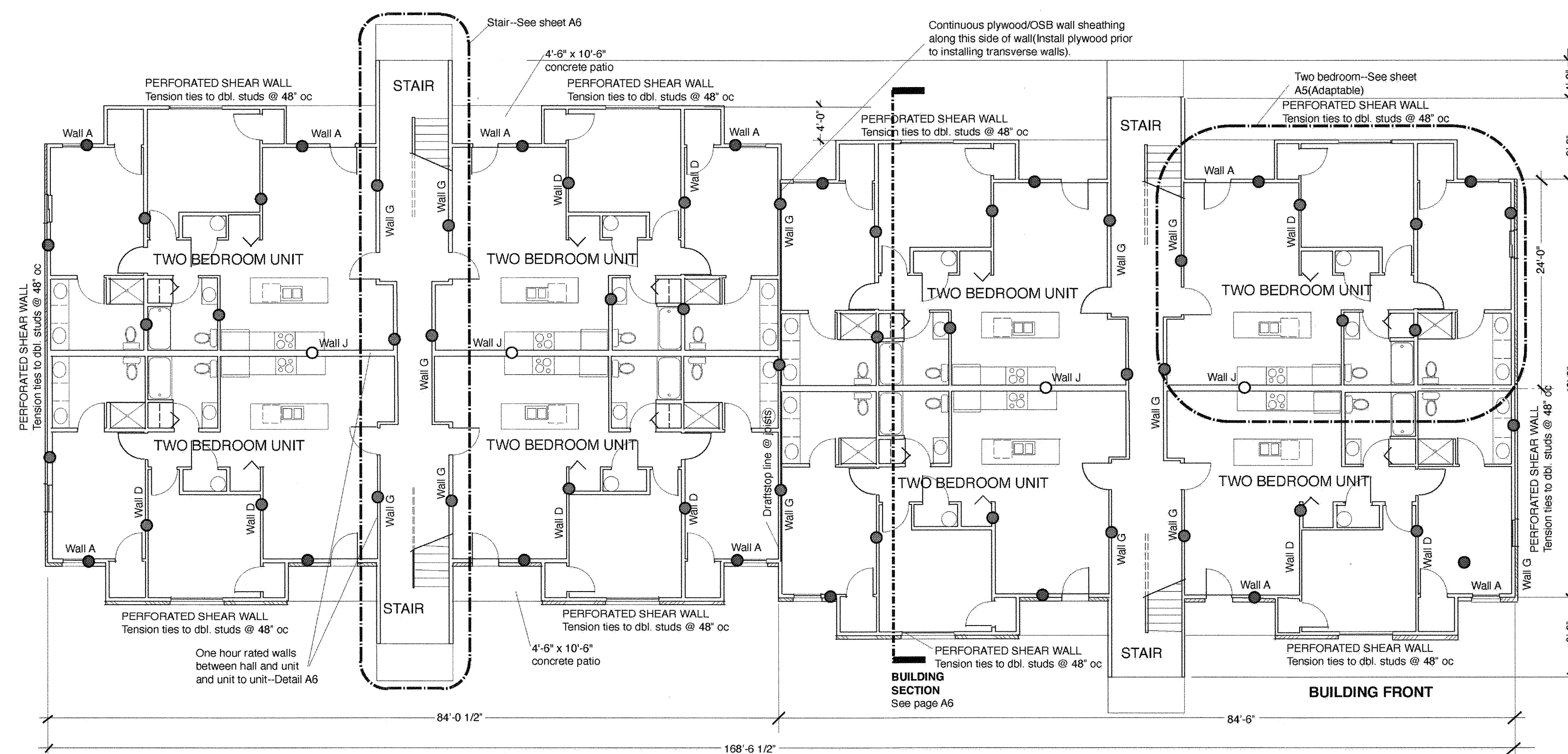
IMPORTANT NOTE:
All bedroom windows are required to have sills below 44" 5.7 sq. ft. of clear opening and be 24" high x 20" wide when open for egress use.

Scale: 1"=10'-0"



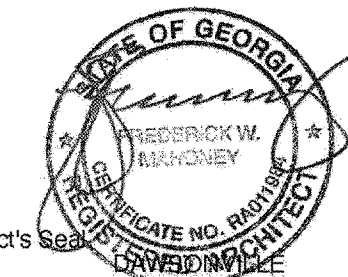
FRONT ELEVATION

Scale: 1"=10'-0"



BUILDING FIRST LEVEL PLAN

Scale: 1"=10'-0" Area: 9207.87 sf/floor/Group R2/Type VAN/PA 13R fire suppression
Note: All first level units are to be future adaptable Type B apartments



REVISION:

POINTE GRAND DAWSONVILLE
Blue Ridge Parkway
Dawsonville, Georgia

PROJECT:

OWNER:
Hillpawitz, LLC
8830 Nacooch Highway
Building 300
Athens, GA 30606

ARCHITECT:
Architectural Resources of Georgia, LLC
Frederick W. Mahoney
Architect
Georgia RA11984
147 Steepleview Drive
Athens, GA 30606
Phone: 517-874-0882
AROGALLC@gmail.com

DATE:
9/18/2021

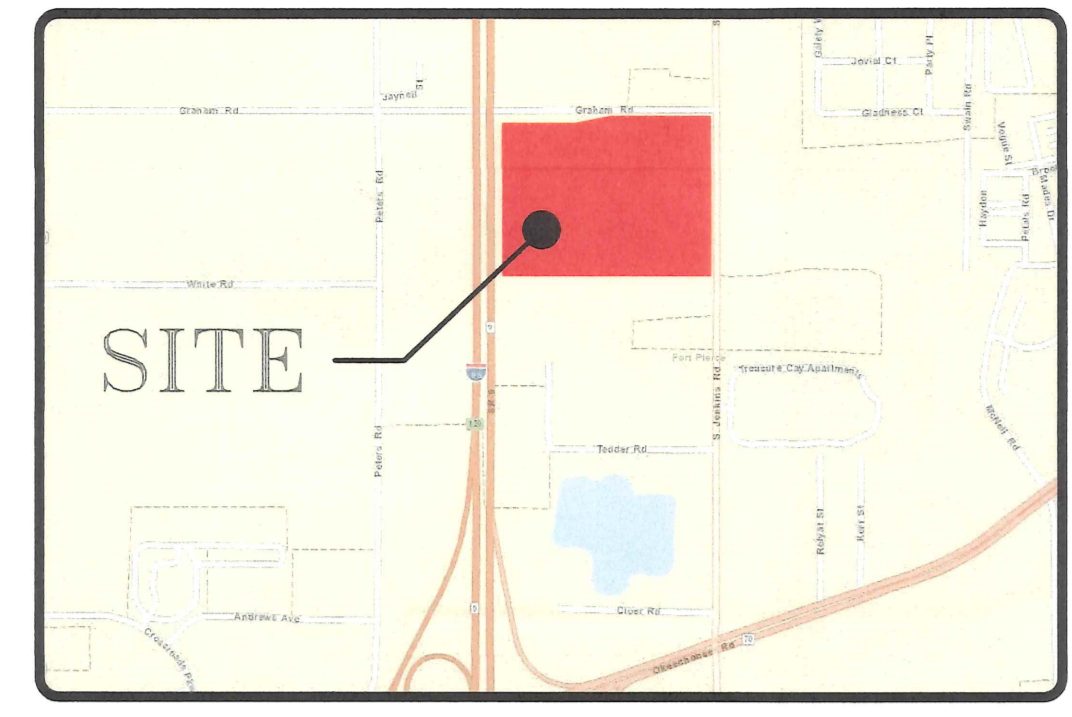
PAGE:
A-3

Date:
12/10/2021

BOUNDARY, TOPOGRAPHIC & TREE SURVEY

FOR: CAMPING WORLD

EAST 1/4 CORNER SECTION 13
FD PK NAIL/WASHER



ST. LUCIE COUNTY, FLORIDA
VICINITY MAP
NO SCALE



ENGINEERS & SURVEYORS
ENVIRONMENTAL
10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455
www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8986

SPT	DRAWN BY	CHECKED BY	DATE
16-292	MSY	2018	
16-292	MSY	2018	
16-292	MSY	2018	

DATE	REVISION COMMENTS
2/27/2018	ADDED TREE LOCATIONS - SPT
3/15/18	ADDED TOPIC - SPT
3/15/18	ADDED PARCEL ACRES - SPT

DATE	REVISION COMMENTS

ROUTE TOPOGRAPHIC & TREE SURVEY
FOR: CAMPING WORLD
LANDS LYING IN SECTION 13,
TOWNSHIP 35 SOUTH, RANGE 39 EAST
ST. LUCIE COUNTY, FLORIDA



10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455

S-16-342

1 OF 2

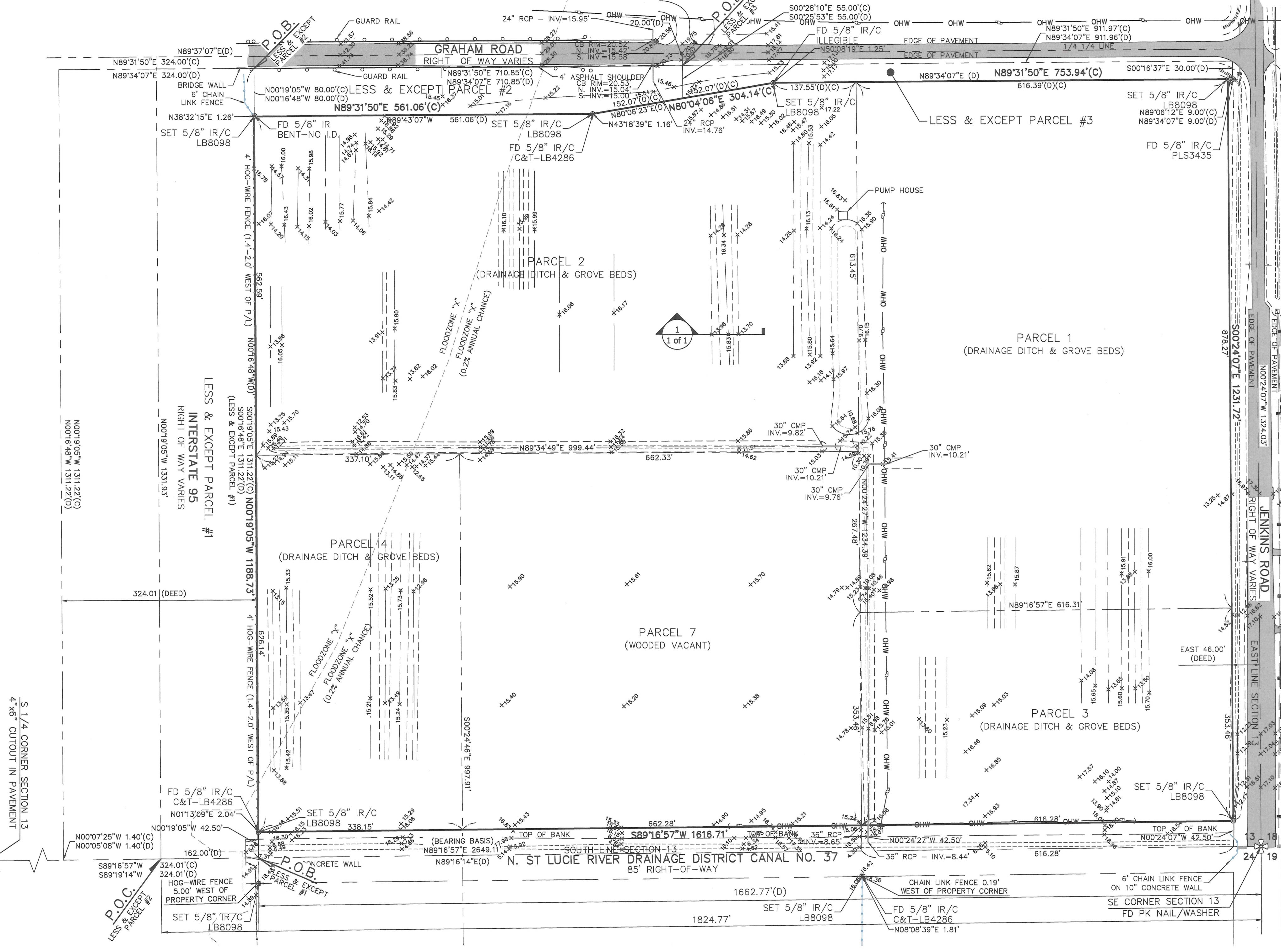
LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ST. LUCIE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:
PARCELS 1 AND 2:
THE E (1/2) OF THE SE (1/4) OF THE SE (1/4) AND THE NE (1/4) OF THE SW (1/4) OF THE SE (1/4) AND THE NW (1/4) OF THE SE (1/4) OF THE SE (1/4) OF SECTION 13, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, LESS AND EXCEPTING THE FOLLOWING DESCRIBED LANDS:
(A) THAT PART OF:
THE NE (1/4) OF THE SW (1/4) OF THE SE (1/4) AND THE NW (1/4) OF THE SE (1/4) OF THE SE (1/4) OF SECTION 13, TOWNSHIP 35 SOUTH, RANGE 39 EAST, LYING WITHIN THE BOUNDARIES DESCRIBED AS FOLLOWS:
LESS & EXCEPT PARCEL 1:
BEGIN AT A POINT ON THE SOUTH BOUNDARY OF ABOVE SECTION 13 LOCATED SOUTH 89°19'14" WEST 162.77 FEET OF THE SOUTHEAST CORNER OF SAID SECTION 13, THENCE CONTINUE SOUTH 89°19'14" WEST 324.01 FEET, THENCE NORTH 0°05'08" WEST 1.40 FEET, THENCE NORTH 0°16'48" WEST 1311.22 FEET TO A POINT ON THE SOUTH BOUNDARY OF GRAHAM ROAD, THENCE NORTH 89°34'07" EAST 324.00 FEET, THENCE SOUTH 0°16'48" EAST 1311.22 FEET TO THE POINT OF BEGINNING. (LESS & EXCEPT PARCEL 1 AKA I-95)
LESS & EXCEPT PARCEL 2:
COMMENCE AT A POINT ON THE SOUTHERLY BOUNDARY OF ABOVE SECTION 13 LOCATED SOUTH 89°19'14" WEST 1824.77 FEET OF THE SOUTHEAST CORNER OF SAID SECTION 13, THENCE RUN NORTH 0°16'48" WEST 1331.93 FEET, THENCE NORTH 89°34'07" EAST 182.00 FEET, THENCE SOUTH 0°16'48" EAST 20 FEET TO THE POINT OF BEGINNING, THENCE NORTH 89°34'07" EAST 710.85 FEET, THENCE SOUTH 0°25'53" EAST 55.00 FEET, THENCE SOUTH 80°08'23" WEST 152.07 FEET, THENCE SOUTH 89°34'07" WEST 561.06 FEET, THENCE NORTH 0°16'48" WEST 80 FEET TO THE POINT OF BEGINNING.
TOGETHER WITH ALL RIGHTS OF INGRESS, EGRESS, LIGHT, AIR, AND VIEW BETWEEN THE REMAINING PROPERTY OF THE GRANTORS NAMED IN DEED FILED IN OFFICIAL RECORD BOOK 2096 PAGE 908 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA AND ANY FACILITY CONSTRUCTED ON THE ABOVE DESCRIBED PROPERTY.
THAT PART OF:
LESS & EXCEPT PARCEL 3:
THE NW (1/4) OF THE SE (1/4) OF THE SE (1/4) OF SECTION 13, TOWNSHIP 35 SOUTH RANGE 39 EAST, LYING WITHIN THE BOUNDARIES DESCRIBED AS FOLLOWS:
COMMENCE AT A POINT ON THE SOUTH BOUNDARY OF ABOVE SECTION 13 LOCATED SOUTH 89°19'14" WEST 1824.77 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 13, THENCE RUN NORTH 0°16'48" WEST 1331.93 FEET, THENCE NORTH 89°34'07" EAST 872.79 FEET, THENCE SOUTH 0°25'53" EAST 20 FEET TO THE POINT OF BEGINNING, THENCE NORTH 89°34'07" EAST 911.97 FEET TO A POINT ON THE WEST BOUNDARY OF JENKINS ROAD, THENCE SOUTH 0°16'37" EAST 30 FEET, THENCE SOUTH 89°34'07" WEST 761.89 FEET, THENCE SOUTH 80°08'23" WEST 152.07 FEET, THENCE NORTH 0°25'23" WEST 55.00 FEET TO THE POINT OF BEGINNING.
THE NORTH 353.45 FEET OF THE SOUTH 395.95 FEET OF THE E (1/2) OF THE SE (1/4) OF THE SE (1/4) OF SECTION 13, TOWNSHIP 35 SOUTH, RANGE 39 EAST.
THE EAST 46 FEET FOR JENKINS ROAD RIGHT-OF-WAY.
RIGHT-OF-WAY FOR DRAINAGE CANALS.
PARCEL 3:
THE NORTH 353.45 FEET OF THE SOUTH 395.95 FEET OF THE EAST ONE-HALF ((1/2)) OF THE SOUTHEAST QUARTER (SE (1/4)) OF THE SOUTHEAST QUARTER (SE (1/4)) OF SECTION 13, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, LESS THE EAST 46 FEET FOR JENKINS ROAD RIGHT-OF-WAY.
PARCEL 4:
THAT PART OF THE SE (1/4) OF THE SW (1/4) OF THE SE (1/4) LYING EASTERLY OF THE EASTERLY RIGHT-OF-WAY OF I-95, OF SECTION 13, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA.
PARCEL 7:
THE SW (1/4) OF THE SE (1/4) OF THE SE (1/4) OF SECTION 13, TOWNSHIP 35 SOUTH, RANGE 39 EAST, LYING AND BEING IN ST. LUCIE COUNTY, FLORIDA, EXCEPTING, HOWEVER, RIGHTS OF WAY FOR DRAINAGE CANALS AND PUBLIC ROADS.

SURVEYORS NOTES AND REPORT:

1. REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF ENGINEERING, DESIGN AND CONSTRUCTION, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING SURVEYOR, AND WILL MAKE THIS SURVEY INVALID.
2. PARCEL CONTAINS 45.00 ACRES, MORE OR LESS.
3. THE EXPECTED USE OF THIS SURVEY AND MAP IS COMMERCIAL.
4. CURRENT DESCRIPTION(S) SHOWN HEREON PROVIDED BY THE CLIENTS AND/OR THEIR AGENTS. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, ABANDONMENT'S, DEED RESTRICTIONS, OR MURPHY ACT DEEDS. A FORMAL TITLE COMMITMENT HAS NOT BEEN PROVIDED.
5. NOT ALL IMPROVEMENTS WERE LOCATED, INCLUDING UNDERGROUND UTILITIES, UTILITY SERVICES, AS PART OF THIS SURVEY.
6. THE HEREON DESCRIBED PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE DESIGNATION "X" (WITH A 0.2% ANNUAL CHANCE FOR FLOOD) ACCORDING TO FLOOD INSURANCE RATE MAP NO. 1211100167J, SAINT LUCIE COUNTY, FLORIDA, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.), EFFECTIVE DATE FEBRUARY 16, 2012.
7. THE LAST DATE OF FIELD WORK WAS MAY 24, 2018.
8. REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
9. BEARINGS, IF SHOWN HEREON, ARE BASED UPON NORTH AMERICAN DATUM OF 1983, FLORIDA STATE PLANE PROJECTION PER THE LINE LABELED HEREON AS (BEARING BASIS) AND ALL OTHER BEARINGS ARE RELATIVE THERETO. DISTANCES ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
10. IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
11. THE OWNERSHIP OF PERIMETER FENCES, WALLS, HEDGES AND LANDSCAPING SHOWN HEREON ARE NOT KNOWN AND ARE NOT LISTED AS ENCROACHMENTS. THEIR RELATIVE LOCATION IS SHOWN IN RELATION TO THE BOUNDARY LINES SHOWN.
12. THE SURVEY MAP SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.
13. FOR CLARITY PURPOSES, THERE IS ADDITIONAL TOPOGRAPHIC INFORMATION NOT SHOWN AS A PART OF THIS SURVEY. REFER TO CAD FILES FOR THE ADDITIONAL TOPOGRAPHIC INFORMATION.

MICHAEL T. OWEN PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION #5556
SIGNATURE DATE: 02/27/2018



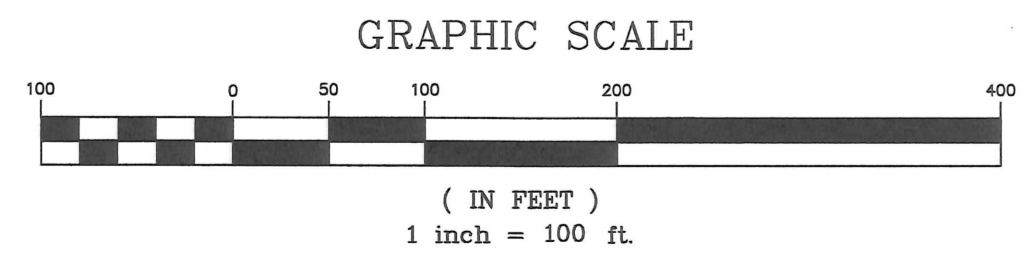
LEGEND

(P)	PLAT DATA	INFO.	INFORMATION
(C)	CALCULATED FROM FIELD MEASUREMENTS	TOB	TOP OF BANK
(D)	DEED OR DESCRIPTION	OHW	OVERHEAD UTILITY WIRES
(M)	MEASURED DIMENSION	N	NORTHING (OR NORTH)
(R)	RECORD DATA	E	EASTING (OR EAST)
P.O.C.	POINT OF COMMENCEMENT	D.S.	DRAINAGE STRUCTURE (CURB INLET)
P.O.B.	POINT OF BEGINNING	D.C.B.	DRAINAGE STRUCTURE (CATCH BASIN)
L.B.	LICENSED BUSINESS	SPOT	SPOT ELEVATION
PRM	PERMANENT REFERENCE MONUMENT	B	BENCHMARK
IR/C	5/8" IRON ROD & CAP	MA	MAG NAIL & DISC
CM	CONCRETE MONUMENT	IL	IDENTIFICATION
CCR	CERTIFIED CORNER RECORD	ORL	OFFICIAL RECORDS BOOK
FD / FND	FOUND	PB	PLAT BOOK
R	IRON ROD	PA	PAGE
MA	MAG NAIL & DISC	CA	CENTRAL ANGLE
IL	IDENTIFICATION	R	RADIUS
ORL	OFFICIAL RECORDS BOOK	L	ARC LENGTH
PB	PLAT BOOK		
PA	PAGE		
CA	CENTRAL ANGLE		
R	RADIUS		
L	ARC LENGTH		

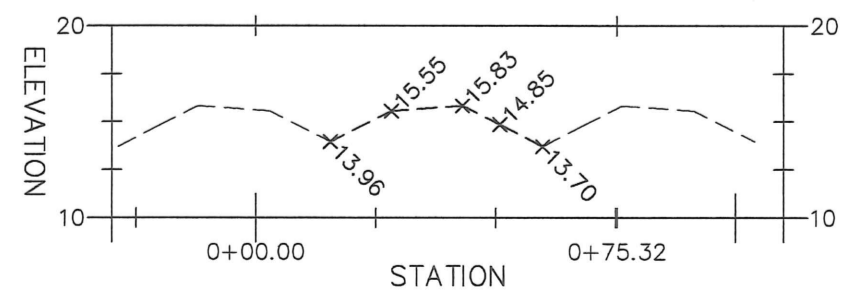
N.S.L.R.W.C.D.	NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT
EL	ELEVATION
SC	SECTION CORNER
SC1/4	SECTION 1/4 CORNER
N	NORTHING (OR NORTH)
E	EASTING (OR EAST)
D.S.	DRAINAGE STRUCTURE (CURB INLET)
D.C.B.	DRAINAGE STRUCTURE (CATCH BASIN)
SPOT	SPOT ELEVATION
B	BENCHMARK
MA	MAG NAIL & DISC
IL	IDENTIFICATION
ORL	OFFICIAL RECORDS BOOK
PB	PLAT BOOK
PA	PAGE
CA	CENTRAL ANGLE
R	RADIUS
L	ARC LENGTH

FURROW LINE LEGEND

---	CENTER OF SWALE
---	FURROW GRADE BREAK
---	CENTER TOP OF FURROW
---	FURROW GRADE BREAK
---	CENTER OF SWALE



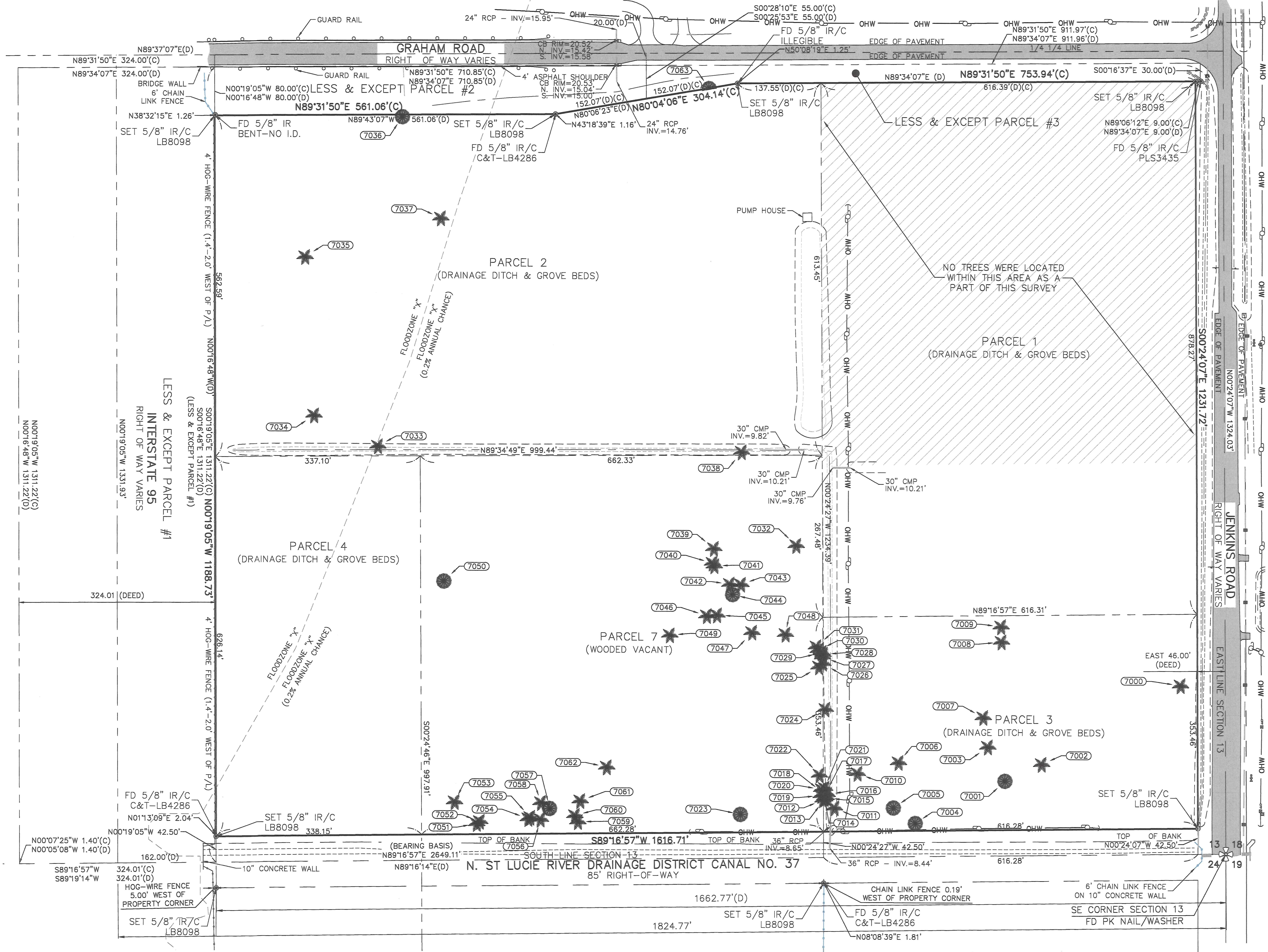
FURROW SECTION - SECTION 1



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.

BOUNDARY, TOPOGRAPHIC & TREE SURVEY

FOR: CAMPING WORLD

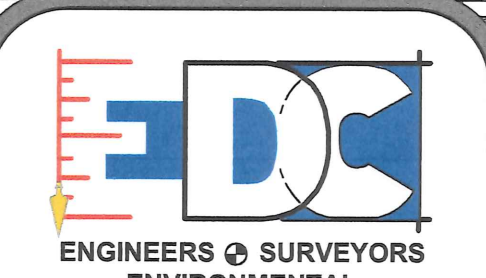
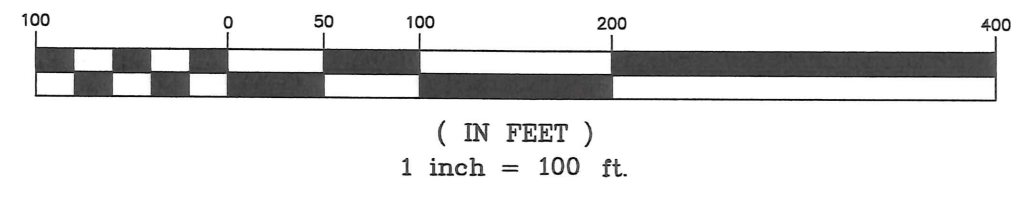


TREE SCHEDULE					
#	TREE	DBH (Inches)	CLEAR TRUNK HEIGHT	NORTHING	EASTING
7000	CABBAGE PALM	-	10'+	1124647.79	856322.28
7001	LAUREL OAK	24	-	1124489.05	856034.06
7002	CABBAGE PALM	-	10'+	1124517.18	856094.35
7003	CABBAGE PALM	-	10'+	1124545.30	856005.54
7004	LAUREL OAK	15	-	1124418.67	855886.52
7005	LAUREL OAK	21	-	1124443.98	855850.26
7006	CABBAGE PALM	-	10'+	1124519.05	855858.52
7007	CABBAGE PALM	-	10'+	1124593.75	855997.76
7008	CABBAGE PALM	-	10'+	1124718.50	856027.41
7009	CABBAGE PALM	-	10'+	1124743.69	856026.72
7010	CABBAGE PALM	-	10'+	1124501.05	855790.97
7011	CABBAGE PALM	-	10'+	1124443.87	855753.22
7012	CABBAGE PALM	-	10'+	1124456.97	855734.18
7013	CABBAGE PALM	-	10'+	1124458.81	855736.93
7014	CABBAGE PALM	-	10'+	1124460.82	855737.16
7015	CABBAGE PALM	-	10'+	1124460.97	855739.27
7016	CABBAGE PALM	-	10'+	1124465.83	855741.10
7017	CABBAGE PALM	-	10'+	1124467.61	855738.59
7018	CABBAGE PALM	-	10'+	1124467.63	855735.72
7019	CABBAGE PALM	-	10'+	1124464.18	855731.20
7020	CABBAGE PALM	-	10'+	1124474.44	855732.00
7021	CABBAGE PALM	-	10'+	1124476.35	855737.06
7022	CABBAGE PALM	-	10'+	1124498.24	855728.39
7023	LAUREL OAK	36	-	1124432.64	855598.31
7024	CABBAGE PALM	-	10'+	1124606.50	855737.71
7025	CABBAGE PALM	-	10'+	1124676.38	855726.79
7026	CABBAGE PALM	-	10'+	1124682.07	855733.41
7027	CABBAGE PALM	-	10'+	1124693.03	855732.80
7028	CABBAGE PALM	-	10'+	1124697.12	855733.44
7029	CABBAGE PALM	-	10'+	1124699.91	855731.16
7030	CABBAGE PALM	-	10'+	1124703.60	855725.45
7031	CABBAGE PALM	-	10'+	1124709.52	855722.53
7032	CABBAGE PALM	-	10'+	1124876.45	855688.63
7033	CABBAGE PALM	-	10'+	1125036.73	854998.98
7034	CABBAGE PALM	-	10'+	1125087.17	854893.65
7035	CABBAGE PALM	-	10'+	1125348.37	854877.89
7036	LAUREL OAK	15	-	1125579.96	855037.47
7037	CABBAGE PALM	-	10'+	1125413.26	855101.33
7038	CABBAGE PALM	-	10'+	1125030.21	855598.35
7039	CABBAGE PALM	-	10'+	1124871.05	855553.00
7040	CABBAGE PALM	-	10'+	1124846.95	855550.98
7041	CABBAGE PALM	-	10'+	1124842.31	855553.87
7042	CABBAGE PALM	-	10'+	1124812.12	855579.45
7043	CABBAGE PALM	-	10'+	1124811.77	855597.93
7044	LAUREL OAK	16	-	1124794.98	855584.20
7045	CABBAGE PALM	-	10'+	1124761.31	855558.58
7046	CABBAGE PALM	-	10'+	1124760.08	855541.91
7047	CABBAGE PALM	-	10'+	1124732.88	855616.57
7048	CABBAGE PALM	-	10'+	1124729.96	855671.58
7049	CABBAGE PALM	-	10'+	1124727.75	855481.03
7050	LAUREL OAK	18	-	1124814.57	855108.58
7051	CABBAGE PALM	-	10'+	1124415.16	855164.11
7052	CABBAGE PALM	-	10'+	1124418.67	855169.10
7053	CABBAGE PALM	-	10'+	1124450.91	855127.39
7054	CABBAGE PALM	-	10'+	1124423.74	855249.02
7055	CABBAGE PALM	-	10'+	1124425.76	855252.22
7056	CABBAGE PALM	-	10'+	1124422.80	855269.09
7057	LAUREL OAK	18	-	1124440.76	855284.09
7058	CABBAGE PALM	-	10'+	1124450.30	855269.73
7059	CABBAGE PALM	-	10'+	1124419.12	855330.69
7060	CABBAGE PALM	-	10'+	1124429.35	855325.74
7061	CABBAGE PALM	-	10'+	1124453.68	855334.41
7062	CABBAGE PALM	-	10'+	1124509.52	855378.04
7063	LAUREL OAK	34	-	1125629.38	855542.37

LEGEND

- | | | | | | |
|----------|------------------------------------|------|--------------------------------------|----------------|--|
| (P) | PLAT DATA | INFO | INFORMATION | N.S.L.R.W.C.D. | NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT |
| (C) | CALCULATED FROM FIELD MEASUREMENTS | TOB | TOP OF BANK | EL | ELEVATION |
| (D) | DEED OR DESCRIPTION | OHW | OVERHEAD UTILITY WIRES | (C) | SECTION CORNER |
| (M) | MEASURED DIMENSION | WUP | WOOD UTILITY POLE | (1/4) | SECTION 1/4 CORNER |
| (R) | RECORD DATA | N | NORTHING (OR NORTH) | (PCP) | PERMANENT CONTROL POINT |
| P.O.C. | POINT OF COMMENCEMENT | E | EASTING (OR EAST) | (P) | PROPERTY CORNER (AS DESCRIBED) |
| P.O.B. | POINT OF BEGINNING | N | NORTHING (OR NORTH) | P/K | PARKER KALON |
| LB | LICENSED BUSINESS | E | EASTING (OR EAST) | CB | CATCH BASIN |
| PRM | PERMANENT REFERENCE MONUMENT | DR | DRAINAGE STRUCTURE (CURB INLET) | U.E. | UTILITY EASEMENT |
| IR/C | 5/8" IRON ROD & CAP | DR | DRAINAGE STRUCTURE (CATCH BASIN) | P.U.E. | PRIVATE UTILITY EASEMENT |
| CM | CONCRETE MONUMENT | SP | SPOT ELEVATION | D.E. | DRAINAGE EASEMENT |
| CR | CERTIFIED CORNER RECORD | B | BENCHMARK | P.D.E. | PRIVATE DRAINAGE EASEMENT |
| FD / FND | FOUND | G | GUY ANCHOR | L.S.E. | LANDSCAPE EASEMENT |
| IR | IRON ROD | PL | PROPERTY LINE | C | CENTERLINE |
| MAG/D | MAG NAIL & DISC | N | NUMBER | | |
| ID | IDENTIFICATION | TYP | TYPICAL | | |
| ORB | OFFICIAL RECORDS BOOK | NAV | NAVIGATIONAL | | |
| PB | PLAT BOOK | NVD | NATIONAL GEODETIC VERTICAL DATUM | | |
| PA | PAGE | FLD | FLORIDA DEPARTMENT OF TRANSPORTATION | | |
| CA | CENTRAL ANGLE | | | | |
| R | RADIUS | | | | |
| L | ARC LENGTH | | | | |

GRAPHIC SCALE



ENGINEERS & SURVEYORS ENVIRONMENTAL
 10250 VILLAGE PARKWAY
 UNIT 201
 PORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 8685
 L.B. CERTIFICATE OF AUTHORIZATION 8089

DRAWN BY	SPT
CHECKED BY	AKO
FILE NAME	16-342 BNDY.2018
LAYOUT	SHEET 1
AS SHOWN	SCALE
DATE	FEBRUARY 27, 2018

ADDED TREE LOCATIONS - SPT	REVISION COMMENTS
REMOVED PER COUNTY COMMENTS - SPT	
ADDED PARCEL INCREASE - SPT	
DATE	

ROUTE TOPOGRAPHIC & TREE SURVEY
FOR: CAMPING WORLD
 LANDS LYING IN SECTION 13,
 TOWNSHIP 35 SOUTH, RANGE 39 EAST
 ST. LUCIE COUNTY, FLORIDA



10250 VILLAGE PARKWAY
 UNIT 201
 PORT ST. LUCIE, FL 34987
 772-462-2455

S-16-342

2 OF 2

Z:\EDC_Survey\Projects\16-342_Jenkins and Graham - Camping World\Drawings\16-342_RouteMap_07/27/18 9:58:38 AM_AutoCAD.dwg (External Documentation).plc

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.

**LETTER OF JUSTIFICATION
HILLPOINTE
Pre-Application Request
April 1, 2022**

REQUEST

On behalf of the Petitioner, Engineering, Design, & Construction, Inc. (EDC) is requesting a pre-application meeting to discuss a proposed multi-family development located in the City of Fort Pierce, Florida. The project currently consists nine (9) multi-family buildings, a clubhouse with gym and associated site improvements. The petitioner would like to schedule a pre-application meeting with the City of Fort Pierce to discuss the proposed development. The subject parcels are located west of Jenkins Road and south of Graham Road in Fort Pierce Florida.

SITE CHARACTERISTICS & PROJECT HISTORY

The subject parcels are currently undeveloped. The property addresses and parcel information are outlined in the below table:

Parcel ID	Parcel Address	Acreage	FLU	Zoning
2313-800-0002-000-7	2101 S. Jenkins Road	14.82	GC	C-3
2313-800-0004-000-1	2151 S. Jenkins Road	2.43	GC	C-3
TOTAL ACRES:		17.25		

The subject parcels total approximately 17.25 acres. The applicant is proposing an 9-unit multi-family development with recreation area and associated site improvements. The subject properties have a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

The owner's name and address is:
FREEDOMROADS PROPERTY COMPANY LLC
 250 Parkway DR Ste 270
 Lincolnshire, IL 60069

The map to the right depicts the parcels associated with this request.

Parcel 1 North Parcel:

To the north of this parcel lies the right-of-way of Graham Road followed by single family homes. These parcels are located in the Low Density Residential Future land use and in the C-1 Zoning district



To the south of this parcel lies the access to an existing commercial development known as Camping world followed by a 3-acre drainage lake. These parcels have a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

To the east of the subject parcel lies the Camping World commercial facility. This site has a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district

To the west of this parcel lies the right-of-way of S Jenkins Road followed by vacant parcels across this road. These vacant lots lie in the Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

Parcel 2 South Parcel:

To the north of this parcel lies the access to an existing commercial development known as Camping world followed by a 3-acre drainage lake. These parcels have a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

To the south of this parcel lies truck and boat storage. This site has a future land use of Low Density Residential and lies in the AR-1 Zoning district.

To the east of this parcel lies by a 3-acre drainage lake and the Camping World commercial Facility. These parcels have a Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

To the west of this parcel lies the right-of-way of S Jenkins Road followed by vacant parcels across this road. These vacant lots lie in the Future Land Use Designation of General Commercial (GC) and are located in the General Commercial Zone (C-3) Zoning district.

The applicant is submitting this application to obtain general feedback as to the approval process, fees, and any comments the City Staff has regarding the project.

Based on the above and attached information, the applicant respectfully requests a pre-application meeting to discuss this parcel.

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