



TO: Technical Review Committee

FROM: Planning Department

RE: Technical Review Project: #22-07000010
(Minor Site Plan)

MEETING DATE : June 16, 2022

**Minor Site Plan- Caliber Car Wash- 2404-111-0006-000-9
NW Corner of US Hwy 1 and Sunny Lane**

The above referenced project is being submitted for your review and comments. The applicant is requesting a minor site plan, design, and concurrency review to construct a 3,770 square foot automated car wash with vacuum spots and associated utilities and drainage infrastructure.

Please send all comments to planning@cityoffortpierce.com and/or through interoffice mail to the Planning Department.

If you have comments, please respond prior to Tuesday, June 14, 2022.

If you have any questions, please contact the Planning Department at 772-467-3737.

Thank you



May 16, 2022

City of Fort Pierce Planning Department
planning_dl@cityoffortpierce.com
772-467-3737
P.O. Box 1480
Fort Pierce, FL 34954

PROJECT NARRATIVE

The proposed project is located within the City of Fort Pierce, bound to the east by Highway US 1, on the north side of Sunny Lane and east of Sandridge Road. The existing site is a vacant lot that mostly consists of grassy ground coverage with few trees disbursed throughout the site. A paved private road runs through a portion of the western side of the site, with varying width and no curbs. The site is within Flood Zone X according to the City of Fort Pierce FIRM panel number 12111C0179K effective 2/19/2020 and no additional base flood elevation is required.

The project proposes new construction of a +/- 3,770 SF 100% Automated Carwash with 26 parking spaces (2 ADA spaces) with vacuums for self service and 6 angled parking for employees and bug prep station (total parking: 32 spaces). As customers enter the site, they will be directed to the pay station before entering the carwash tunnel and a bypass lane to the parking area is provided for customer convenience to exit the line, if desired. The project also proposes adjustments to the private road as to create a polished appearance and to provide safe passage to all that use it.

The potential hours of operation for the car wash are from 7 am to 8 pm Monday to Saturday, and 8 am to 6 pm on Sundays. It is expected for the car wash to be operated by 3 employees. There is a designated area indoors and restroom available for customers to use.

Being eco-friendly and having zero impact on the environment is a top priority at Caliber Car Wash. All water is filtered, cleaned, and reused using a water reclamation system. Furthermore, 100% of all the cleaning chemicals are completely biodegradable and environmentally friendly. Water is recycled 3 times and then released into an oil/water separator, which is its last stop prior to being released into the municipalities sewer system. This system ensures that no harmful contaminants enter the sewer system, ground water or retention ponds.

Stormwater runoff that occurs on-site is proposed to be fully contained and treated on-site through a series of interconnected pipes and two small retention ponds on the east and west sides of the site. Since the project is still in early design stages, stormwater calculations have not been executed. The project will adjust the stormwater design as needed to best fit the project once the geotechnical report has been received. An initial meeting with South Florida Water Management District (SFWMD) was held on 12/7/2021 to discuss the requirements for stormwater design and ERP permitting and additional coordination will continue as needed.

A preliminary meeting with Florida Department of Transportation (FDOT) was conducted on 12/9/2021. FDOT District 4 Access Management informed the applicant that the project will be required to adjust the existing northbound left turn lane along Highway US 1 onto Sunny Lane. Currently the turn lane is sub-standard as it does not meet design requirements for the 40 mph US1 roadway and is currently 170 feet in total length. The turn lane will be extended as required to meet FDOT standards.

Utilities, such as water, sewer, and electric, will likely be provided by Fort Pierce Utility Authority (FPUA). Coordination with FPUA for utility connection points and requirements has already commenced. The project proposes to connect to the existing 8" PVC water main, that is adjacent to the western boundary, at the northwest portion of the site. Wastewater connection is proposed via a possible existing double sanitary sewer lateral (according to record drawings for Taylor Creek Commons provided by LBFH dated 8/3/1989) or through tapping into the existing 8" PVC sanitary sewer main within Sandridge Road if lateral is not located. Electric service to the building will require the construction of a new transformer on-site by FPUA.

Sincerely,

Kristhian Morales
Senior Engineer
Bowman

(954) 686-1562
kmorales@bowman.com



DEVELOPMENT REVIEW

Property Information

Property address or Location NW Corner of US1 and Sunny Lane, Ft. Pierce Florida
 Parcel ID #(s) 2404-111-0006-000-9
 Project description To construct a 3,770 SF automated car wash with vacuum spots and associated utilities and drainage infrastructure

Application Type

- Site Plan Conditional Use w/New Construction Conceptual Development Plan
 Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: 3,770 Site Acreage: 1.49
Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Brightwork Acquisition, LLC

Property Owner(s)

Four Harvard Circle, Ste. 800

Street Address

West Palm Beach FL 33409

City State Zip

813-690-3759

Phone Number

rcarlson@brightworkre.com

Email Address

Kristhian Morales - Bowman

Applicant/Representative, Title, Company

910 SE 17th Street Suite 300

Street Address

Fort Lauderdale FL 33316

City State Zip

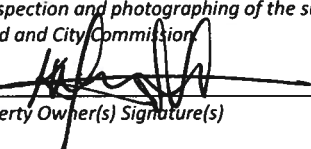
(954) 686-1562

Phone Number

kmorales@bowman.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.


 Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING-DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev1>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- ~~Beach/Dune System protection plan, if applicable (see Section 125-313)~~
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact	
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III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU		
**Proposed Zoning/FLU		
*Change in Demand	Trips	Trips
Impact to Capacity		

IV. Project Description

PHASING	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units:	Single Family: Multifamily:
Non-residential (square footage):	
Mixed-use (describe use):	
(If this is a single phase project, name it Phase I – Total)	

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding



DESIGN REVIEW

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Design Review Application Checklist **(City Code of Ordinances 125-314)**

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

April 8, 2022

LETTER OF AUTHORIZATION

RE: Proposed Caliber Carwash – Ft. Pierce
NW Corner of Sunny Lane and US Highway 1
Parcel ID: 2404-111-0006-000-9 (Prop ID: 146285)

TO WHOM IT MAY CONCERN:

This letter is to designate the following Parties are to act as authorized agent/applicants on behalf of the property owners associated with the proposed redevelopment project: BW SUNNY FEDERAL, LLC. (hereinafter the "Property Owner"):

Bowman Consulting Group [Jenny Baez, Kristhian Morales]
910 SE 17th Street, Suite 300, Fort Lauderdale FL 33316

The Property owner grants the above-mentioned Parties authorization to make application submittals and negotiate conditions in matters related to government regulations and permitting activities with the State of Florida, City of Ft. Pierce, ST. Lucie County, South Florida Water Management District (SFWMD), Florida Department of Transportation (FDOT) and other entities in relation to the above-mentioned site (located at the northwest corner of Sunny Lane and US Highway 1, FL and associated with Parcel ID #2404-111-0006-000-9).

OWNER:

BW SUNNY FEDERAL, LLC, a Florida limited liability company

By: Brightwork Real Estate, Inc., its Manager

By: _____

Bradford G. Douglas, President

3708 W Swann Avenue, Suite 200

Tampa, FL 33609

Attn: Ronnie Carlson

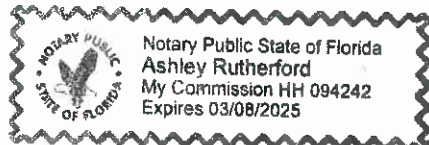
rcarlson@brightworkre.com

260-316-4302

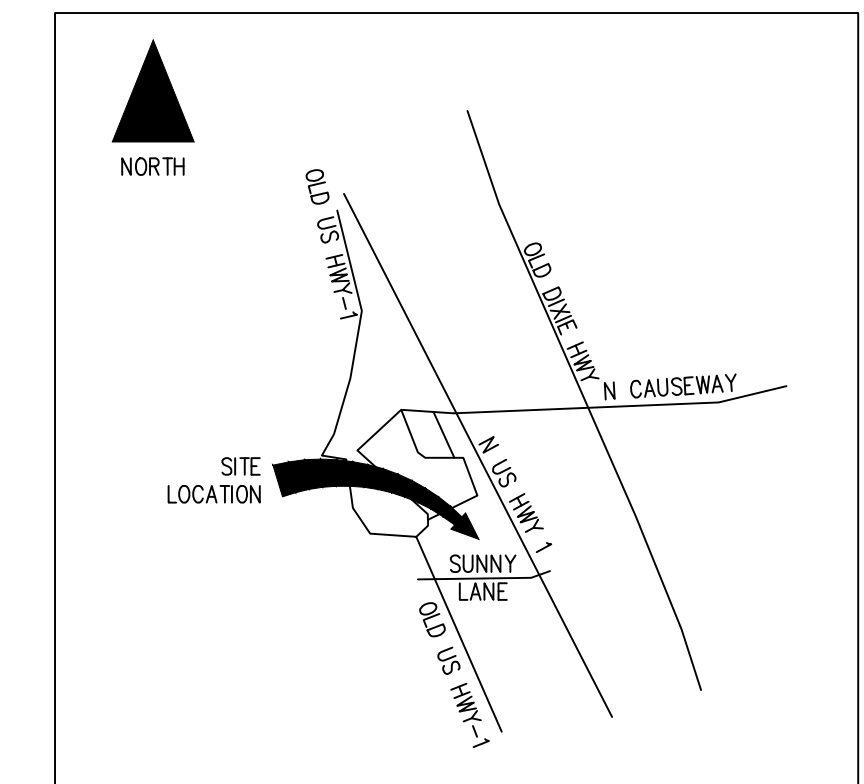
STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

The foregoing was acknowledged before me this 8th day of April, 2022, by Bradford G. Douglas, President of Brightwork Real Estate, Inc., the Manager of BW SUNNY FEDERAL, LLC, a Florida limited liability company, on behalf of said company. He is personally known to me.

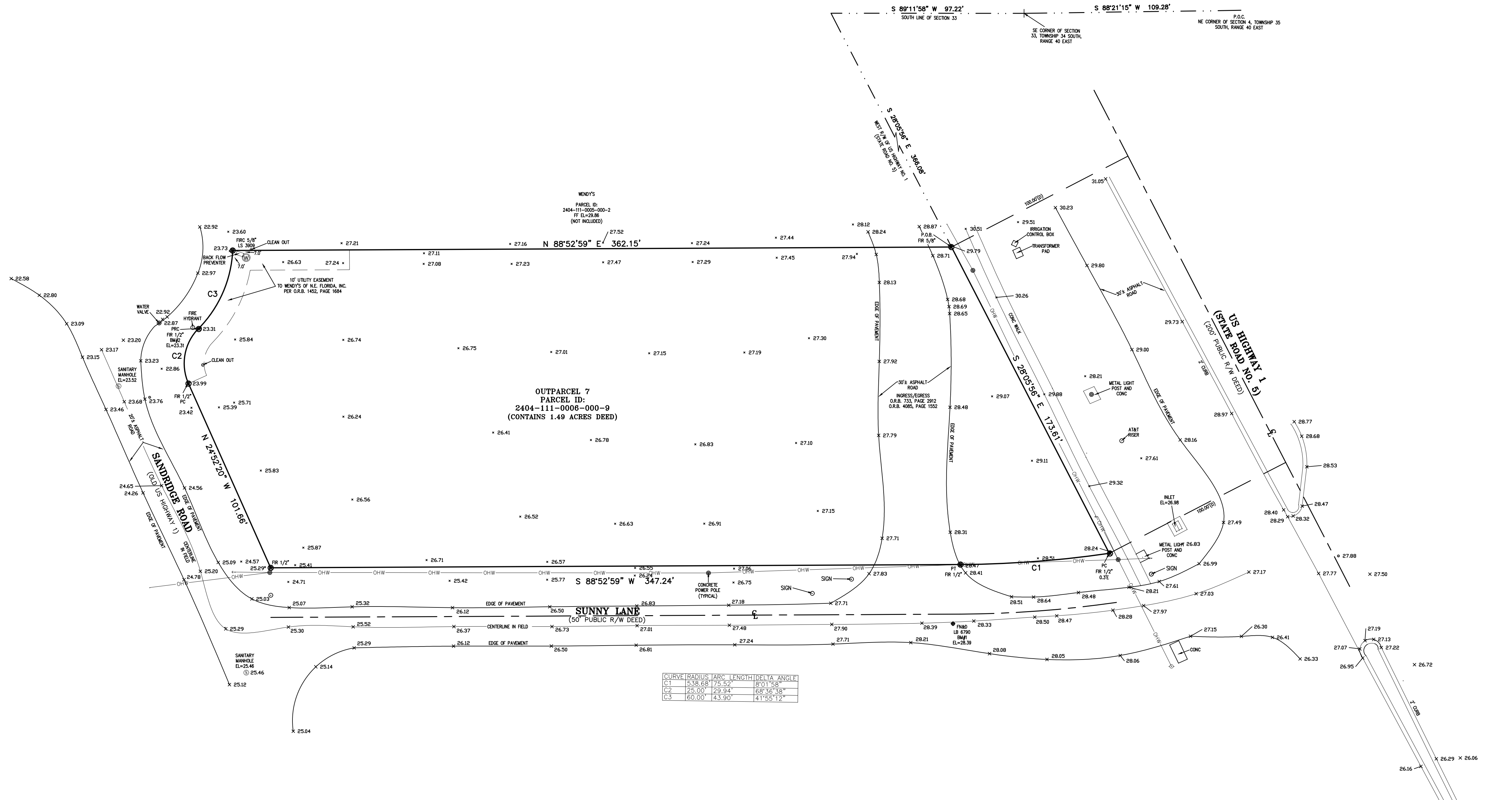
NOTARY SEAL



NOTARY PUBLIC
Ashley Rutherford
Print Name



LOCATION MAP: NOT TO SCALE



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE
C1	538.68'	75.52'	8°01'58"
C2	25.00'	12.94'	88°18'58"
C3	60.00'	143.90'	41°55'12"

SURVEYORS NOTES:

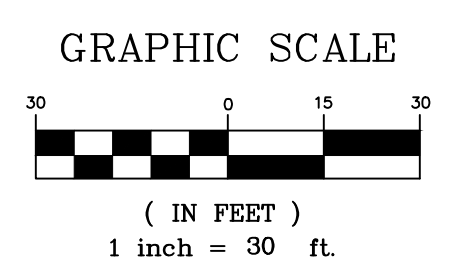
- LEGAL DESCRIPTION PROVIDED BY CLIENT. ADJOINERS SHOWN HAVE NOT BEEN SURVEYED.
- NO UNDERGROUND FOUNDATIONS HAVE BEEN LOCATED.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY AND/OR EASEMENTS OF RECORD.
- SEPTIC TANKS AND WELLS IF SHOWN ARE APPROXIMATE LOCATIONS AND SHOULD BE FIELD VERIFIED BY A LICENSED CONTRACTOR FOR CORRECT POSITION AND SEPARATION. UNDERGROUND UTILITIES OR FOOTERS HAVE NOT BEEN LOCATED.
- THE WESTERLY R/W LINE OF NORTH HIGHWAY 1 IS ASSUMED TO BEAR S 28°05'56" E AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
- ALL RIGHTS-OF-WAY SHOWN HEREON ARE OPEN TO TRAVEL UNLESS OTHERWISE NOTED.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 1211100179K, HAVING AN EFFECTIVE DATE OF FEBRUARY 19, 2020, THIS PROPERTY APPEARS TO LIE WITHIN ZONE X, OUTSIDE SPECIAL FLOOD HAZARD AREA.
- ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND ARE REFERENCED TO U.S. SURVEY FEET.
- THE BOUNDARY DETERMINATION AND DELINEATION SHOWN ON THIS MAP OF SURVEY WAS BASED UPON THE PROFESSIONAL OPINION OF THE REGISTERED SURVEYOR PURSUANT TO NORMAL PRINCIPALS AND PRACTICES OF LAND SURVEYING AND IS NOT INTENDED TO IMPLY OR DETERMINE OWNERSHIP. THIS SURVEY DOES NOT INTEND TO DELINEATE LOCAL AREAS OF CONCERN OR ANY OTHER JURISDICTIONAL DETERMINATION.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT AND USE OF THE PERSONS AND/OR ENTITIES NAMED HEREON FOR THE PURPOSES IDENTIFIED HEREON ONLY. UNLESS OTHERWISE STATED, CERTIFICATION OF THIS SURVEY MAP APPLIES ONLY TO THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER S11 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.022, FLORIDA STATUTES. THE CERTIFICATION IN NO WAY CONSTITUTES NEITHER GUARANTEE NOR WARRANTY TO ANY OTHER INFORMATION NOT SHOWN HEREON. ADDITIONS, DELETIONS OR REVISIONS TO THIS DRAWING BY OTHERS ARE NOT PERMITTED AND THIS SURVEY MAY NOT BE TRANSFERRED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SIGNING SURVEYOR. THIS SURVEY IS NOT VALID FOR ANY OTHER PURPOSE OTHER THAN INTENDED BY THE SIGNING SURVEYOR.
- ELEVATIONS, IF SHOWN, ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM 1988.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WAS PROVIDED TO THE SURVEYOR. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT PROVIDED BY FIRST FIDELITY TITLE INSURANCE COMPANY. ORDER NUMBER: 10056198, DATED DECEMBER 03, 2021 AT 5:00 PM. AS TO SCHEDULE B-11, THE FOLLOWING APPLIES:

- ITEM 1.** Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this form. (NOT A SURVEY MATTER)
- ITEM 2.** Taxes and assessments for the year 2022 and subsequent years, which are not yet due and payable. (NOT A SURVEY MATTER)
- ITEM 3.** Standard Exceptions:
- A. Any encroachment, encumbrance, violation, or adverse circumstance affecting the Title that may be disclosed by an accurate and complete land survey of the Land. (RESOLVED BY THE MAP OF SURVEY REFLECTED HEREON)
 - B. Rights or claims of parties in possession not shown by the public records. (NOT A SURVEY MATTER)
 - C. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records. (NOT A SURVEY MATTER)
 - D. Taxes or assessments which are not shown as existing liens in the public records. (NOT A SURVEY MATTER)
- ITEM 4.** Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the insured land. (NOT A SURVEY MATTER)
- ITEM 5.** Reservations in favor of Trustees of the Internal Improvement Fund of the State of Florida of an undivided three-quarters interest in and to all phosphates, minerals and metals, together with an undivided one-half interest in and to all petroleum, in, on or under the surface of the insured land, as contained in that certain Deed, recorded in Deed Book 212, Page 53, created pursuant to Section 270.11, Florida Statutes. (SUBJECT PARCEL LIES WITHIN THIS AGREEMENT)
- (Note: As to said reservation, the reservation for mining and exploration have been modified by the release of the right of entry into the insured premises, as contained in Section 270.11 of the Florida Statutes)
- ITEM 6.** Easement Agreement recorded in Official Records Book 665, Page 2459. (SUBJECT PARCEL LIES WITHIN THIS AGREEMENT)

- ITEM 7.** Declaration of Restrictions and Grant of Easements recorded in Official Records Book 712, Page 83; as affected by First Amendment recorded in Official Records Book 733, Page 2912; Waiver recorded in Official Records Book 1982, Page 945. (SUBJECT PARCEL IS INCLUDED IN ANNEXED AGREEMENT PER OFFICIAL RECORDS BOOK 2060, PAGE 1747)
- ITEM 8.** Declaration of Restrictions and Covenants recorded in Official Records Book 1427, Page 1176. (NOT A SURVEY MATTER)
- ITEM 9.** Sanitary Sewer Easement recorded in Official Records Book 1452, Page 1684. (LIES ON SUBJECT PARCEL. DEPICTED ON MAP OF SURVEY)
- ITEM 10.** Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements. (NOT A SURVEY MATTER)
- Note: The following item(s) are being shown for informational purposes only:
- A. Agreement with the Fort Pierce Utilities Authority recorded in Official Records Book 665, Page 407. (ENTIRE SITE IS SUBJECT TO UTILITY AGREEMENTS WITH FT. PIERCE UTILITY AUTHORITY PER THIS AGREEMENT)
 - B. Assignment recorded in Official Records Book 2060, Page 1747. (SUBJECT PARCEL LIES WITHIN THIS BLANKET SIGN AGREEMENT)

LEGAL DESCRIPTION:

Commence at the Northeast corner of Section 4, Township 35 South, Range 40 East, St. Lucie County, Florida, said point being on 1" iron pipe; thence run South 88°21'15" West, a distance of 109.28 feet, to the Southeast corner of Section 33, Township 34 South, Range 40 East, St. Lucie County, Florida; thence run South 89°11'58" West, along the South line of said Section 33, a distance of 97.22 feet, to the West right-of-way line of US Highway No. 1 (State Road No. 5, being 200 feet in width); thence South 28°05'56" East, along said right of way line, a distance of 366.08 feet to the Point of Beginning; thence continuing Southeast along said line, a distance of 173.61 feet to the point of curvature of a non-tangent curve, concave to the North having a radius of 538.68 feet, a central angle of 8°01'58", and a chord of 75.46 feet bearing South 84°52'01" West; thence West along said curve, a distance of 75.52 feet; thence South 88°52'59" West, a distance of 347.24 feet; thence North 24°52'20" West, a distance of 101.66 feet to the point of curvature of a curve, concave to the East, having a radius of 25.00 feet; thence North along the arc of said curve, through a central angle of 88°36'38", a distance of 29.94 feet to the point of curvature of a reverse curve, concave to the Northwest, having a radius of 60.00 feet, a central angle of 41°55'12", and a chord of 42.93 feet bearing North 22°46'42" East; thence Northeast along said curve, a distance of 43.90 feet; thence North 88°52'59" East, a distance of 362.15 feet to the Point of Beginning.

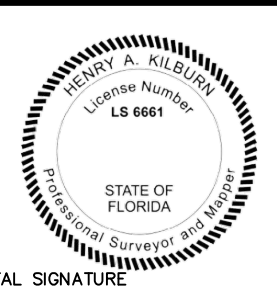


CONTROLLING BENCHMARK
NATIONAL GEODETIC SURVEY
PID AF3261
PUBLISHED ELEVATION 6.19 NAVD 1988

ADDRESS: NORTH US HIGHWAY 1, PORT PIERCE, FL. 34946

CERTIFIED TO:
BRIGHTWORK ACQUISITIONS, LLC, A FLORIDA LIMITED LIABILITY COMPANY
SUNNY LANES HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY
BROOKS, SHEPPARD, & ROCHA, PLLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c) 8, 9, 10, 13, 16, 17, 18 and 19 of Table A thereof. The fieldwork was completed on January 04, 2022.



GSS Surveying and Mapping, LLC
700 22nd Place
Suite 2A
Vero Beach, FL 32960
772-696-5300



GSS Surveying and Mapping, LLC
4620 Lipscomb St NE
Suite 2
Palm Bay, FL 32905
321-914-3978

ALTA/NSPS LAND TITLE
BOUNDARY AND
TOPOGRAPHIC SURVEY

FIELD DATE: 01-04-2022	DWG NAME:
FIELD BY: JT/DB	XREF 1:
FIELD BOOK: FILE	XREF 2:
PAGE:	XREF 3:
DRAWN BY: EAD/KC	XREF 4:
CHECKED BY: HAK	XREF 5:
JOB #: 21-1234	SHEET # 1 of 1

CONSTRUCTION PLANS FOR:

CALIBER CAR WASH

US HIGHWAY 1 AND SUNNY LANE

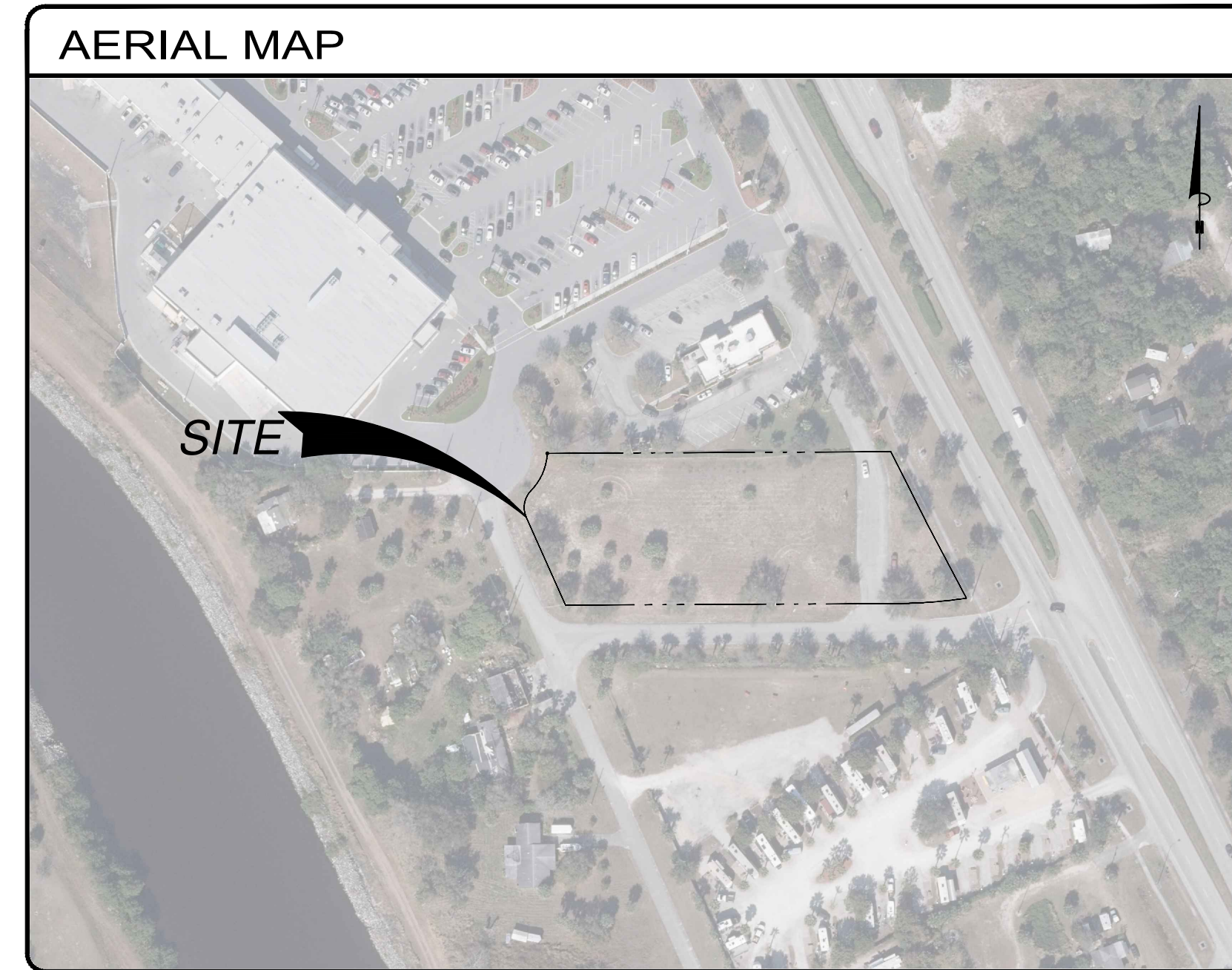
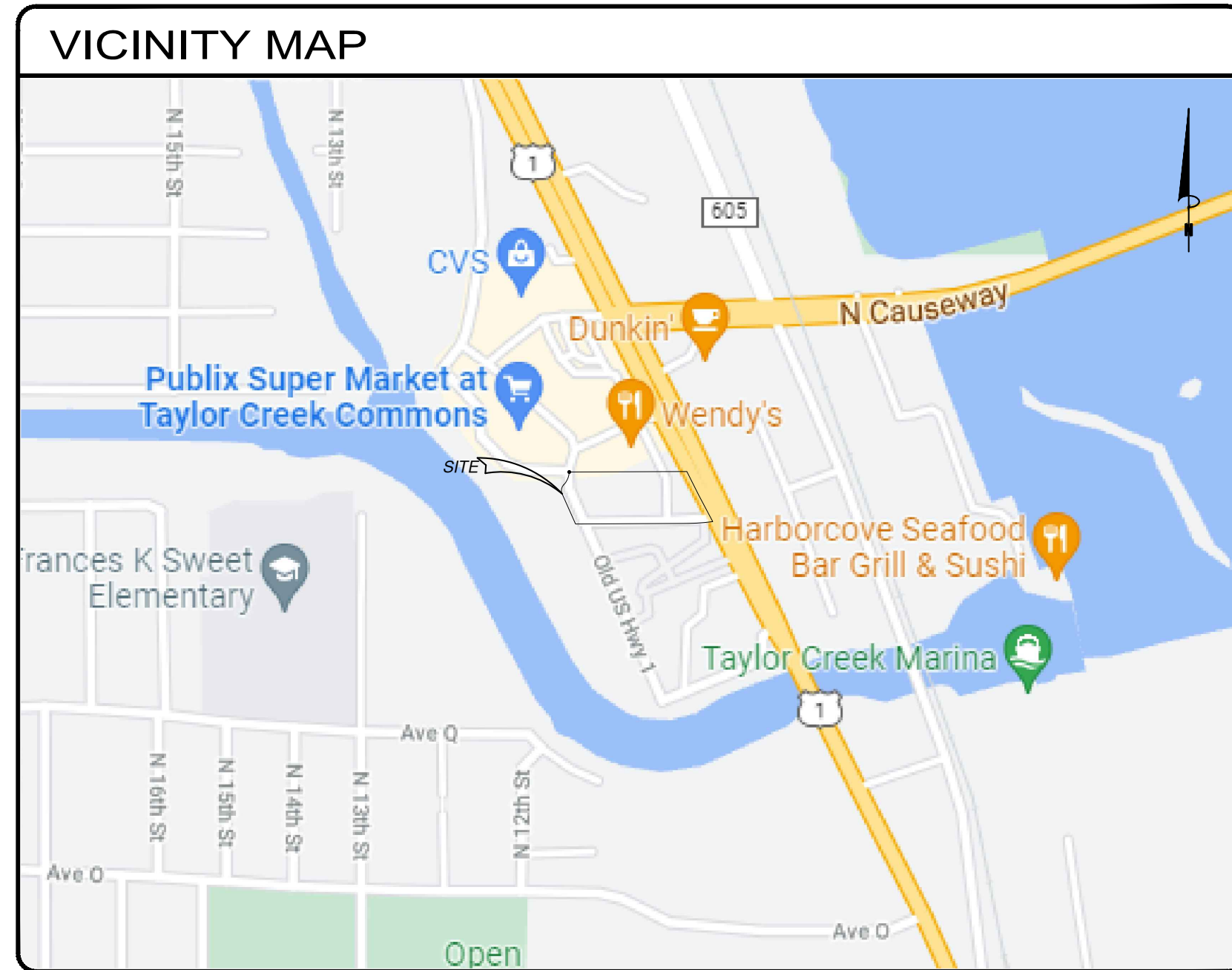
FORT PIERCE, FL 34949

PROJECT TEAM

PROPERTY OWNER/DEVELOPER:
SUNNY LANES HOLDINGS LLC
140 SW CHAMBER CT #200
PORT ST. LUCIE, FL 34986

SURVEYOR:
GSS SURVEYING AND MAPPING, LLC
700 22ND PLACE, SUITE 2A
VERO BEACH, FL 32960
PHONE: (772) 696-5300

CIVIL ENGINEER:
BOWMAN CONSULTING GROUP
910 SE 17TH STREET SUITE 300
FORT LAUDERDALE, FL 33316
PHONE: (954) 314-8466
CONTACT: KRISTHIAN MORALES



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GENERAL NOTES

- I HEREBY CERTIFY THAT I, MY SUCCESSORS OR ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THE APPROVED SITE PLAN.
- _____
DEVELOPER SIGNATURE
- NO SITE WORK SHALL BE CONDUCTED PRIOR TO OBTAINING A SITE PERMIT FROM THE CITY. CALL THE CITY GROWTH MANAGEMENT DEPARTMENT TO SCHEDULE THE PRE-CONSTRUCTION MEETING WHICH MUST BE HELD BEFORE INSTALLING ANY REQUIRED EROSION CONTROLS OR OBTAINING ANY SITE PERMITS.
 - ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SODDED FOLLOWING FINAL GRADING. ALLOW THE THICKNESS OF SOD WITH A 2-INCH UNDERCUT. SOD SHALL BE ARGENTINE BAHIA AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
 - OWNER WILL MAINTAIN STORM SYSTEM.
 - ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.

LEGAL DESCRIPTION

A PARCEL OF LAND IN ST LUCIE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SECTION 4, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, SAID POINT BEING AN 1" IRON PIPE; THENCE RUN SOUTH 88°21'15" WEST, A DISTANCE OF 109.28 FEET, TO THE SOUTHEAST CORNER OF SECTION 33, TOWNSHIP 34 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN SOUTH 89°11'58" WEST, ALONG THE SOUTH LINE OF SAID SECTION 33, A DISTANCE OF 97.22 FEET, TO THE WEST RIGHT-OF-WAY LINE OF US HIGHWAY NO. 1 (STATE ROAD NO. 5, BEING 200 FEET IN WIDTH); THENCE SOUTH 28°05'56" EAST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 366.08 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHEAST ALONG SAID LINE, A DISTANCE OF 173.61 FEET TO THE POINT OF CURVATURE OF A NON-TANGENT CURVE, CONCAVE TO THE NORTH HAVING A RADIUS OF 538.68 FEET, A CENTRAL ANGLE OF 8°01'56", AND A CHORD OF 75.46 FEET BEARING SOUTH 84°52'01" WEST; THENCE WEST ALONG SAID CURVE, A DISTANCE OF 75.52 FEET; THENCE SOUTH 88°52'59" WEST, A DISTANCE OF 347.24 FEET; THENCE NORTH 24°52'20" WEST, A DISTANCE OF 101.66 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 25.00 FEET; THENCE NORTH ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 68°36'38", A DISTANCE OF 29.94 FEET TO THE POINT OF CURVATURE OF A REVERSE CURVE, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 41°55'12", AND A CHORD OF 42.93 FEET BEARING NORTH 22°46'42" EAST; THENCE NORTHEAST ALONG SAID CURVE, A DISTANCE OF 43.90 FEET; THENCE NORTH 88°52'59" EAST, A DISTANCE OF 362.15 FEET TO THE POINT OF BEGINNING.

FLOOD ZONE NOTE

FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12111C0179K; MAP DATE: 02/19/2020.

DATUM NOTE

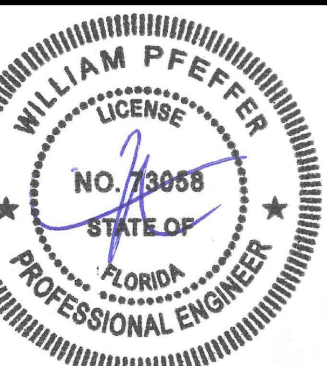
ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.



Know what's below.
Call before you dig.

COVER SHEET
CALIBER CAR WASH
US HIGHWAY 1 AND SUNNY LANE
FORT PIERCE, FL 34946
ST. LUCIE COUNTY

011027-01-001
BOWMAN PROJECT NUMBER



PLAN STATUS		
DATE	DESCRIPTION	
JP	JP	KM
DESIGN	DRAWN	CHKD
JOB No. 011027-01-001		
DATE: 5/10/2022		
FILE: 01-011027-01-001-COV.dwg		
SHEET C-1.0		

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTORS SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
a. BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY GSS SURVEYING AND MAPPING, LLC, DATED 1/4/2022

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HESHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

2. ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY PERMITS AND CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE PLANS AND THE GEOTECHNICAL REPORT AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THE BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY GSS SURVEYING AND MAPPING, LLC, DATED 1/4/2022, SHALL BE CONSIDERED A PART OF THESE PLANS.

8. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOWMAN BY THE OWNER AND THE TIME OF PREPARATION. CONTRACTORS SHALL VERIFY THAT THE ACTUAL SITE FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOWMAN IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

9. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.

10. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/ELEVATION PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY POINTS, PAVEMENT, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.

11. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.

12. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.

14. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT STRUCTURES, ET CETERA WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.

15. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONTRACTOR'S MANAGER PRIOR TO THE START OF CONSTRUCTION.

16. ALL CONCRETE SHALL HAVE THE MINIMUM COMpressive STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

17. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

18. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.

19. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOWMAN, AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOWMAN WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS BOWMAN AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

20. BOWMAN WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CORRECTIONS. THE CONTRACTOR'S DESIGN INTENT AND INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOWMAN SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOWMAN HAS REVIEWED THAT ENTIRE ASSEMBLY OF WHICH THAT ITEM IS A COMPONENT. BOWMAN WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOWMAN WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OR CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

21. NEITHER THE PROFESSIONAL ACTIVITIES OF BOWMAN, NOR THE PRESENCE OF BOWMAN OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION / PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACTOR DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOWMAN AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR AND SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOWMAN SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

22. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR

SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH THE RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.

23. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM SHOULD BE INCLUDED IN THE CONTRACTOR'S PRICE.

24. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

25. CONTRACTOR SHALL CONFIRM ADA ACCESSIBILITY PRIOR TO INSTALLING FINISHING COURSES OF SIDEWALKS AND PARKING AREAS.

26. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.

27. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED) PRIOR TO CERTIFICATE OF OCCUPANCY. THESE EASEMENTS SHALL BE SKETCHED, DESCRIBED, AND RECORDED AT THE SOLE COST OF THE CONTRACTOR.

28. CONTRACTOR SHALL PROVIDE MINIMUM 48 HOUR NOTICE TO ENGINEER AND APPLICABLE AGENCIES FOR SCHEDULING INSPECTIONS.

29. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OR RECORD AND CITY OF FT. PIERCE FOR THE FOLLOWING: CATCH BASINS, FIRE HYDRANTS, VALVES, AND ALL REQUIRED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

30. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.

31. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH M.U.T.C.D. AND APPROVED BY CITY OF FT. PIERCE AND ST. LUCIE COUNTY WHERE APPLICABLE TO PRIOR TO IMPLEMENTATION.

32. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

33. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION FROM CITY OF FT. PIERCE.

34. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE. ALL RESTORED TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY'S TRAFFIC ENGINEERING STANDARDS.

SANITARY NOTES

A. GENERAL:
1. DISTANCE AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.

B. MATERIALS:
1. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS. (2" SHALL BE DR-25)

2. DUCTILE IRON PIPE (DIP) SHALL BE CEMENT OR POLYURETHANE INSIDE AND SHALL HAVE A COAL TAR EPOXY COATING, MANUFACTURED IN ACCORDANCE WITH ANSIIAWWA C151/A21-51-88 OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 52 (4"-12") & CLASS 51 (14"-20") (UNLESS OTHERWISE SPECIFIED).

3. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.

C. INSTALLATION:
1. PIPE AND FITTINGS:
a. SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UNI-BELL PLASTICS PIPE ASSOCIATION'S RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE.

b. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSIIAWWA C600-99 OR LATEST REVISION.

c. BEDDING AND INITIAL BACKFILL (12 INCHES) OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCKS LARGER THAN 1" DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF CITY OF FT. PIERCE. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" DIAMETER.

d. SERVICE:
a. MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE FLORIDA BUILDING CODE.
b. SERVICE LATERALS SHALL TERMINATE AT A DEPTH 30" BELOW FINISHED GRADE AS INDICATED ON PLUMBING PLAN.
c. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE PAINTED RED, EXTENDING 18" (MIN) ABOVE GRADE.
d. EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.
e. CONTRACTOR SHALL ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG, AT PROJECT COMPLETION, CUT BACK TO FINISHED GRADE.

f. CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE CITY'S BUILDING AND ZONING DEPARTMENT, PLUMBING SECTION.
D. TESTING:
1. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
2. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST
3. MAINHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT. NO VISIBLE LEAKAGE ALLOWED.
4. SEWER PIPE LEAK ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION.
5. SANITARY SEWER SHALL BE TELESIED AND LAMPED AT DEVELOPER'S EXPENSE, PRIOR TO FINAL ACCEPTANCE. OWNER / CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO CERTIFICATION TO ANY AGENCY.
6. VISIBLE INFILTRATION LEAKAGE INTO MANHOLES AND SEWER PIPE SHALL NOT BE PERMITTED.

E. MATERIALS:
1. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 UP TO 12" SIZE & CLASS 51 FOR 14" AND LARGER WITH INTERIOR CEMENT LINING AND BITUMINOUS COATED OUTSIDE, WATER MAIN & EPOXY LINED & COATED FORCE MAIN MANUFACTURED IN ACCORDANCE WITH ANSIIAWWA C151/A21-51-91 OR LATEST REVISION. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 300 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE UNLESS OTHERWISE NOTED ON THE PLANS.
2. ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE CONFORMING TO ANSIIAWWA C600-99 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE O.D. (PVC ON-SITE ONLY).

3. FITTINGS FOR MAINS 4" AND LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO ANSIIAWWA C110/A21-10-93 OR LATEST REVISION. GATE VALVES, GATE VALVE GASKETS, BOLTS AND NUTS, ALL FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME MATERIALS AS THE PIPE & USE MUELLER SERIES 1100 RESTRAINED JOINT ADAPTERS.
4. VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED MOUNTED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSIIAWWA C508-87 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.
5. GATE VALVES 12" AND SMALLER SHALL BE MUELLER H616 OR APPROVED EQUAL. SEATED GATE VALVES SHALL BE AMERICAN 500/2500 LINE OR CLOW F-6100, CONFORMING TO ANSIIAWWA C509-87.

6. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.
c. GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.

7. TAPPING SLIDES SHALL BE MUELLER H616 OR APPROVED EQUAL PER CITY OF FT. PIERCE.
8. VALVE BOXES SHALL BE TYLER/UNION 461-S OR APPROVED EQUAL PER CITY OF FT. PIERCE.
9. RETAINER GLANDS SHALL CONFORM TO ANSIIAWWA C111/A21-11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. USE ONLY CAST IRON OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.

10. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90. NO SUBSTITUTIONS ALLOWED.
11. FIRE HYDRANTS SHALL HAVE A 1/4" MAIN VALVE OPENING. PUMPER NOZZLE TO BE 1/8" FROM FINISH GRADE. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TEE AND CONTROL VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSIIAWWA C502-85 (OR LATEST REVISION). HYDRANTS SHALL BE KENNEDY GUARDIAN K-814 OR APPROVED EQUAL. BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OR NEAREST DRIVING LANE FOR FIRE HYDRANTS.

12. ALL WATER MAIN PIPE, INCLUDING FITTINGS, INSTALLED ON OR AFTER AUGUST 28, 2003, EXCEPT PIPE INSTALLED UNDER A CONSTRUCTION FOR WHICH WHICH THE DEPARTMENT RECEIVED A COMPLETE APPLICATION BEFORE AUGUST 28, 2003, SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE. PIPE SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO THE PIPE WALL, AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT A GREATER THAN 90 DEGREE INTERVALS AROUND THE PIPE AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONT. LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP.

C. SERVICE CONNECTION:
1. SANITARY STOPS SHALL BE MANUFACTURED OR BRASS ALLOY IN ACCORDANCE WITH ASTM B-82 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.
2. CURB STOPS SHALL BE MUELLER APPROVED OR EQUAL.
3. METER STOPS SHALL BE 90° LOCK WING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-82. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT "O" RING SEALED AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

4. SERVICE PIPING SHALL BE TYPE "K" DRAWN COPPER.
D. INSTALLATION:
1. GENERAL:
CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE BY USING ONE OF THE FOLLOWING METHODS:
a. METHOD A WHICH INVOLVES A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW ONE.
b. METHOD B WHICH INVOLVES A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.
c. WHICH INVOLVES A TAP WITH ONE GATE VALVE REQUIRING DISINFECTION OF THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE TEST.
2. BEDDING:
BEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PIPE) FOR ALL PIPES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE CITY OF FT. PIERCE. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

3. PVC PIPE:
a. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS.
c. INSTALLATION:
1. PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FINGER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL PAIRED LAYERS NOT TO EXCEED 8 INCHES TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS.
3. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY CITY OF FT. PIERCE ENGINEERING DEPARTMENT / FDOT AND THE ENGINEER OF RECORD AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.

D. MATERIAL:
1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIME ROCK BASE.
2. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
3. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.
4. DISTANCE FROM THE TOP OF THE VALVE ACTUATOR NUT TO FINAL GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 16 INCHES

2. BEDDING AND INITIAL BACKFILL FOR MAINS SHALL BE SAND WITH NO ROCKS LARGER THAN 1" IN DIAMETER.

3. USE "DETECTO" TAPE ON ALL PVC MAINS (18" ABOVE), AND USE "NON-DETECTO" TAPE ON ALL D.I.P. MAINS (18" ABOVE).

4. A THREE (3) FOOT HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER MAINS AND OBSTRUCTIONS (IE. CATCH BASINS, POWER POLES, ETC.). FIVE (5) FOOT OF SEPARATION IS REQUIRED BETWEEN WATER MAINS AND TREES.

5. ANY UTILITY EASEMENTS COVERING WWS UTILITIES WILL BE PROCESSED FOLLOWING WWS REQUIREMENTS.

B. MATERIALS:
1. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 UP TO 12" SIZE & CLASS 51 FOR 14" AND LARGER WITH INTERIOR CEMENT LINING AND BITUMINOUS COATED OUTSIDE, WATER MAIN & EPOXY LINED & COATED FORCE MAIN MANUFACTURED IN ACCORDANCE WITH ANSIIAWWA C151/A21-51-91 OR LATEST REVISION. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 300 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE UNLESS OTHERWISE NOTED ON THE PLANS.
2. ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE CONFORMING TO ANSIIAWWA C600-99 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE O.D. (PVC ON-SITE ONLY).

3. FITTINGS FOR MAINS 4" AND LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO ANSIIAWWA C110/A21-10-93 OR LATEST REVISION. GATE VALVES, GATE VALVE GASKETS, BOLTS AND NUTS, ALL FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME MATERIALS AS THE PIPE & USE MUELLER SERIES 1100 RESTRAINED JOINT ADAPTERS.
4. VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED MOUNTED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSIIAWWA C508-87 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.
5. GATE VALVES 12" AND SMALLER SHALL BE MUELLER H616 OR APPROVED EQUAL. SEATED GATE VALVES SHALL BE AMERICAN 500/2500 LINE OR CLOW F-6100, CONFORMING TO ANSIIAWWA C509-87.

6. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.
c. GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.

7. TAPPING SLIDES SHALL BE MUELLER H616 OR APPROVED EQUAL PER CITY OF FT. PIERCE.
8. VALVE BOXES SHALL BE TYLER/UNION 461-S OR APPROVED EQUAL PER CITY OF FT. PIERCE.
9. RETAINER GLANDS SHALL CONFORM TO ANSIIAWWA C111/A21-11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. USE ONLY CAST IRON OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.

10. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90. NO SUBSTITUTIONS ALLOWED.
11. FIRE HYDRANTS SHALL HAVE A 1/4" MAIN VALVE OPENING. PUMPER NOZZLE TO BE 1/8" FROM FINISH GRADE. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TEE AND CONTROL VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSIIAWWA C502-85 (OR LATEST REVISION). HYDRANTS SHALL BE KENNEDY GUARDIAN K-814 OR APPROVED EQUAL. BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OR NEAREST DRIVING LANE FOR FIRE HYDRANTS.

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BEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PIPE) FOR ALL PIPES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE CITY OF FT. PIERCE. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

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2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL PAIRED LAYERS NOT TO EXCEED 8 INCHES TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS.
3. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY CITY OF FT. PIERCE ENGINEERING DEPARTMENT / FDOT AND THE ENGINEER OF RECORD AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.

D. MATERIAL:
1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIME ROCK BASE.
2. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
3. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.
4. DISTANCE FROM THE TOP OF THE VALVE ACTUATOR NUT TO FINAL GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 16 INCHES

6. SERVICE:
a. COVER OVER SERVICE LINES SHALL BE 18" MINIMUM, 36" MAXIMUM BELOW FINISHED GRADE AND 36" UNDER PAVEMENT.

b. SERVICES UP TO 2" SHALL BE TYPE "K" COPPER PER CITY OF FT. PIERCE.
c. METER STOPS SHALL HAVE 8" TO 10" COVER AS REQUIRED FOR PROPER METERBOX INSTALLATION.

d. WATER SERVICES UNDER PAVEMENT SHAL BE ENCASED IN A SCHEDULE 80 PVC SLEEVE FOR THE FULL LENGTH OF THE PAVEMENT AND FOR 2 BENEATH THE EDGE. SLEEVE DIAMETER SHALL BE TWICE THE DIAMETER OF THE SERVICE PIPE.

e. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE, PAINTED BLUE EXTENDING 18" (MINIMUM) ABOVE GRADE UNLESS INDICATED OTHERWISE.

E. TESTING:
1. BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSIIAWWA C600-99 OR LATEST REVISION. THE PRESSURE TEST SHALL NOT HAVE MORE THAN ±5 P.S.I. DURING THE TEST.
2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY OF FT. PIERCE AND THE ENGINEER OF RECORD.
3. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSIIAWWA C651-92, 150 PSI MINIMUM STARTING TEST PRESSURE, WITH BACTERIOLOGICAL SAMPLES APPROVED BY THE ST. LUCIE COUNTY PUBLIC HEALTH DEPARTMENT.

4. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1200' MAXIMUM FOR LINES GREATER THAN 1200' IN LENGTH. PROVIDE A MINIMUM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SEGMENTS. SAMPLE POINTS MUST BE APPROVED BY ST. LUCIE COUNTY PUBLIC HEALTH DEPARTMENT

5. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA: $0.5 \times \frac{L \times 10000}{L}$

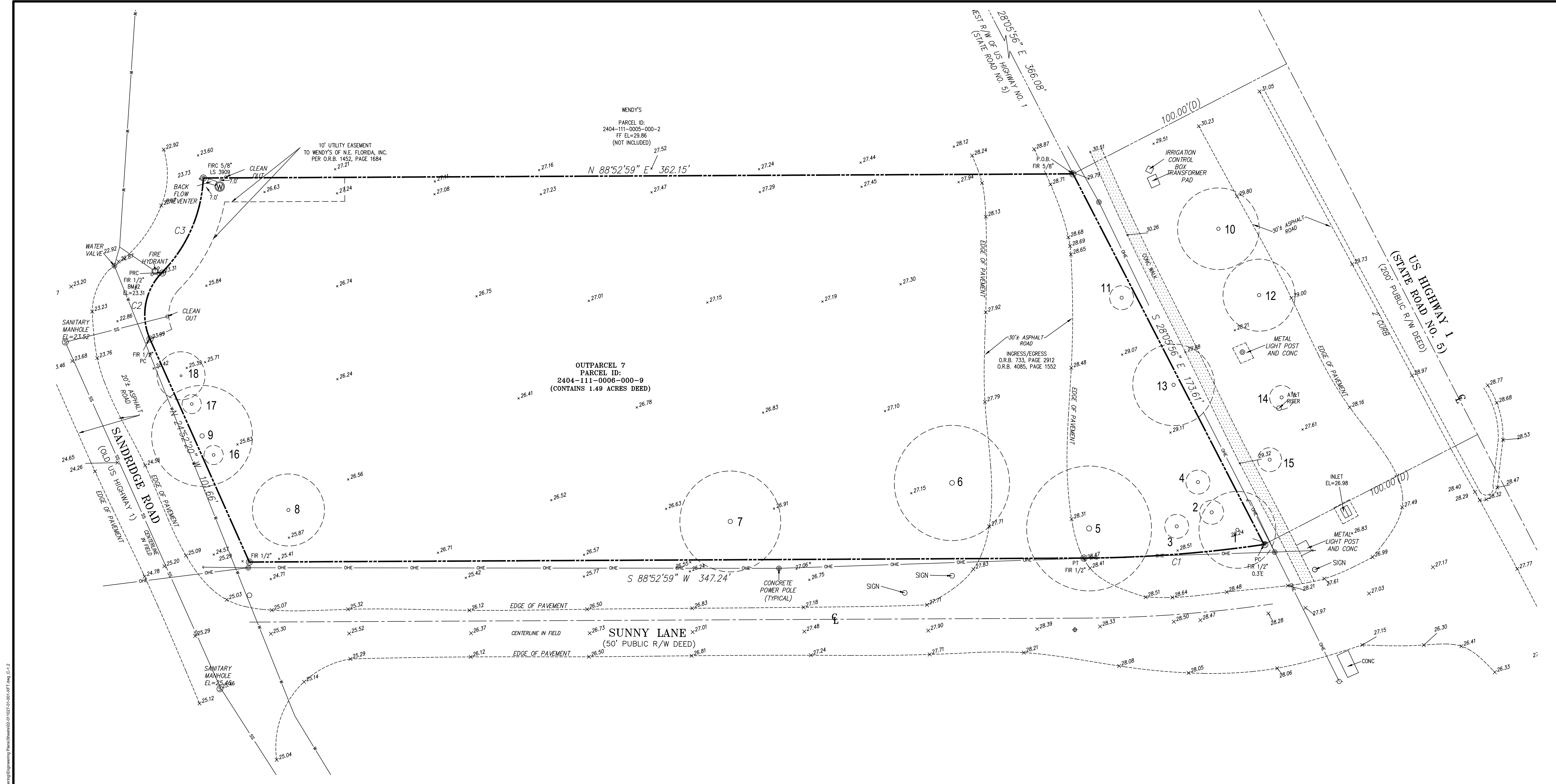
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7. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.
c. GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.

8. VALVE BOXES SHALL BE TYLER/UNION 461-S OR APPROVED EQUAL PER CITY OF FT. PIERCE.
9. RETAINER GLANDS SHALL CONFORM TO ANSIIAWWA C111/A21-11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. USE ONLY CAST IRON OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.

10. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90. NO SUBSTITUTIONS ALLOWED.
11. FIRE HYDRANTS SHALL HAVE A 1/4" MAIN VALVE OPENING. PUMPER NOZZLE TO BE 1/8" FROM FINISH GRADE. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TEE AND CONTROL VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSIIAWWA C502-85 (OR LATEST REVISION). HYDRANTS SHALL BE KENNEDY GUARDIAN K-814 OR APPROVED EQUAL. BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OR NEAREST DRIVING LANE FOR FIRE HYDRANTS.

12. ALL WATER MAIN



LEGEND	
PROPERTY LINE	---
EX. CONCRETE SIDEWALK	▨
EX. CONCRETE D CURB	▩
EX. SIGN	⊕
EX. STORM INLET	⊞
EX. STORM SEWER	— STM — STM —
EX. SANITARY SEWER	— SS —
EX. WATER	— W —
EX. OVERHEAD POWER	— OHE —
EX. POWER POLE	⊙
EX. FIRE HYDRANT	⊙
EX. TREE	⊙

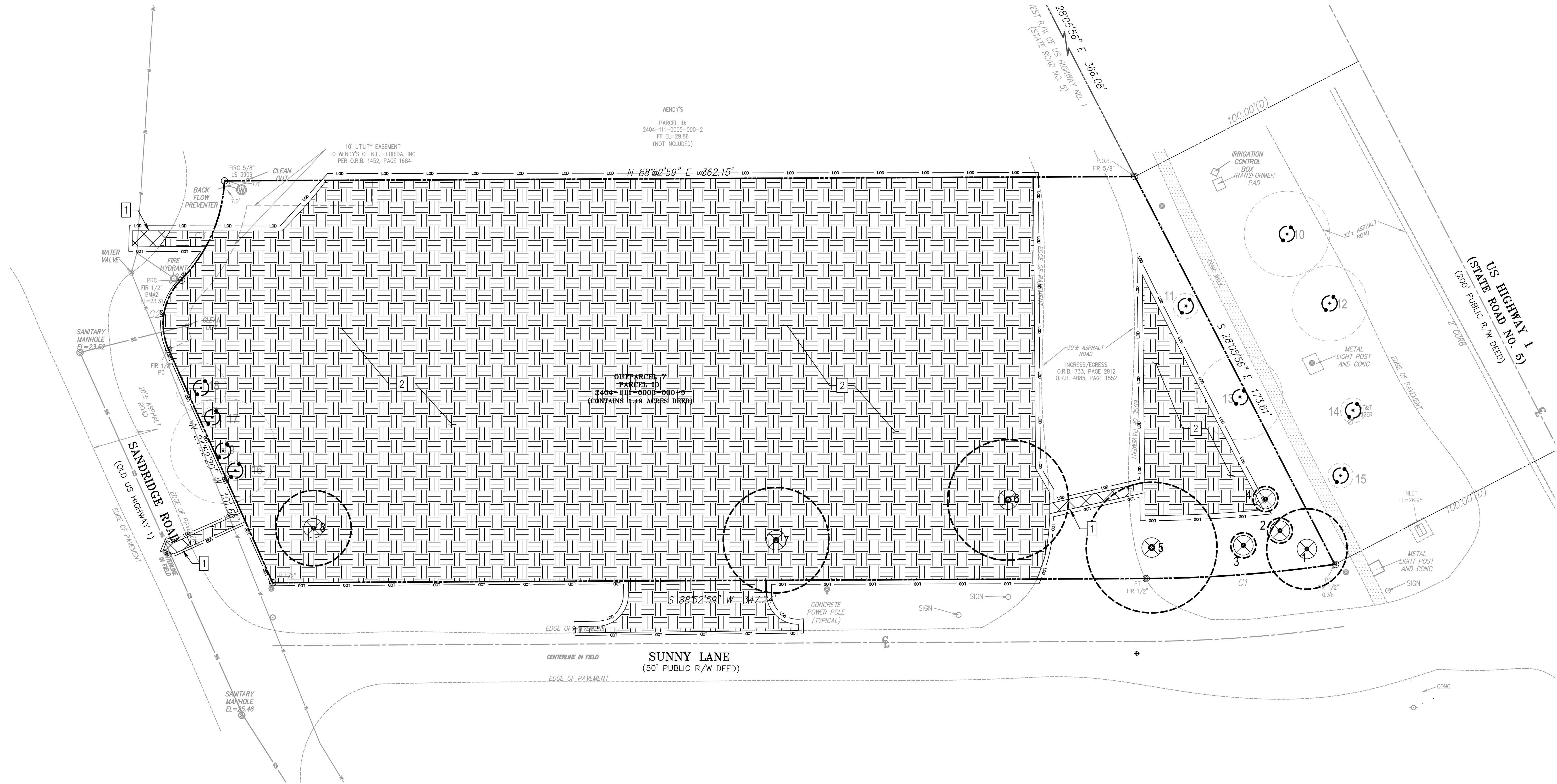
FLOOD ZONE NOTE
 FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12111C0179K; MAP DATE: 02/19/2020.

DATUM NOTE
 ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.

811
 Know what's below.
 Call before you dig.

GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft.

Plot Date/Time: May, 18, 22, 09:58:36
 Drawing: V:\011027-01-001 (RNG) - Caliber Car Wash\011027-01-001-NFT.dwg
 User: JPFEIFFER



GENERAL DEMOLITION NOTES

1. THE LOCATION OF THE UTILITIES SHOWN HAVE BEEN DETERMINED BY INFORMATION GATHERED AND SHALL NOT BE USED AS EXACT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY EXACT LOCATIONS PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES FOR REMOVAL AND RELOCATIONS OF THE RESPECTIVE UTILITY. THE CONTRACTOR SHALL VERIFY ANY WORK THAT MAY BE DONE BY THE UTILITY COMPANIES.
3. CONTRACTOR SHALL PROTECT THE PUBLIC WITH BEST MANAGEMENT PRACTICES.
4. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL STRUCTURES, PAVEMENT, AND VEGETATION THAT IS NOT TO BE DISTURBED AND IS RESPONSIBLE FOR ANY DAMAGES TO THEM.
5. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM THE WORK, ACCORDING TO GOVERNING AUTHORITIES AND SHALL OBTAIN THE PROPER PERMITS REQUIRED FOR DISPOSAL AND DEMOLITION.
6. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO DEMOLITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
8. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES, TANKS, ETC.
9. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
10. THE CONTRACTOR SHALL REFER TO THE ASBESTOS REPORT TO DETERMINE IF ASBESTOS ABATEMENT IS REQUIRED. IF REQUIRED, ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
11. LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS. ANY DAMAGE TO ANY SURROUNDING AREAS SHALL BE REPAIRED / REPLACED AT THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROTECT ADJACENT STRUCTURES, PAVEMENT, UTILITIES, LANDSCAPE, ETC. FROM DAMAGE DURING CONSTRUCTION.
12. CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL UTILITIES TO BE REMOVED HAS BEEN DISCONTINUED AND SHUT OFF. ALL UTILITY LINES SHALL BE CAPPED PER UTILITY COMPANY STANDARDS.
13. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS TO DETERMINE IF EXISTING PERIMETER TREES/LANDSCAPING ARE TO REMAIN OR BE REMOVED.

LEGEND	
OPEN SPACE TO BE CLEARED AND GROOMED	PROPERTY LINE
ASPHALT PAVEMENT TO BE REMOVED	EX. CONCRETE SIDEWALK
LIMIT OF DISTURBANCE	EX. CONCRETE D CURB
TREE TO BE REMOVED	EX. SIGN
TREE TO REMAIN	EX. STORM INLET
	EX. STORM SEWER
	EX. SANITARY SEWER
	EX. WATER
	EX. OVERHEAD POWER
	EX. POWER POLE
	EX. FIRE HYDRANT

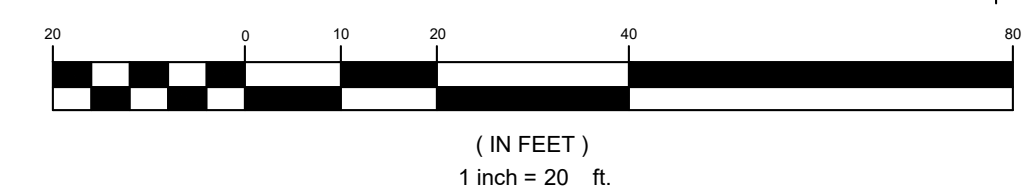
LIMITS OF DISTURBANCE SHOWN OFFSET 1FT FROM PROPERTY LINE FOR READIBILITY PURPOSES

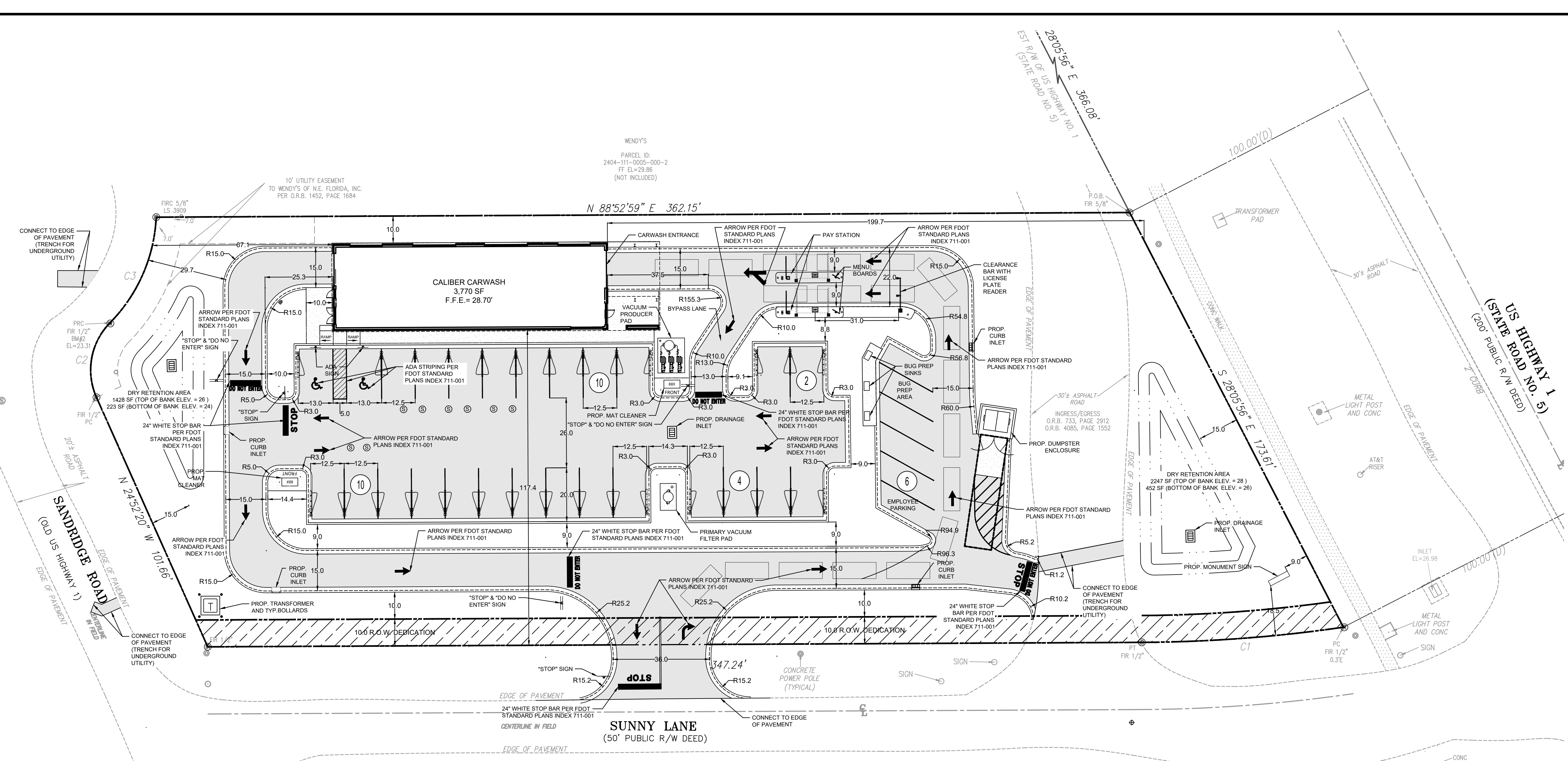
DEMOLITION NOTES

- 1 ASPHALT PAVEMENT TO BE REMOVED
- 2 OPEN SPACE TO BE CLEARED AND GROOMED



GRAPHIC SCALE





SITE SUMMARY	
ZONING	C-3 GENERAL COMMERCIAL
FLU	COMMERCIAL
USE	CARWASH
TYPE OF CONSTRUCTION	NEW
PARCEL ID	2404-111-0005-000-9
LOT	
SIZE	64,904 SF
BUILDING	
CAR WASH	3,175 SF
COVERED AREA	565 SF
TOTAL	3,770 SF

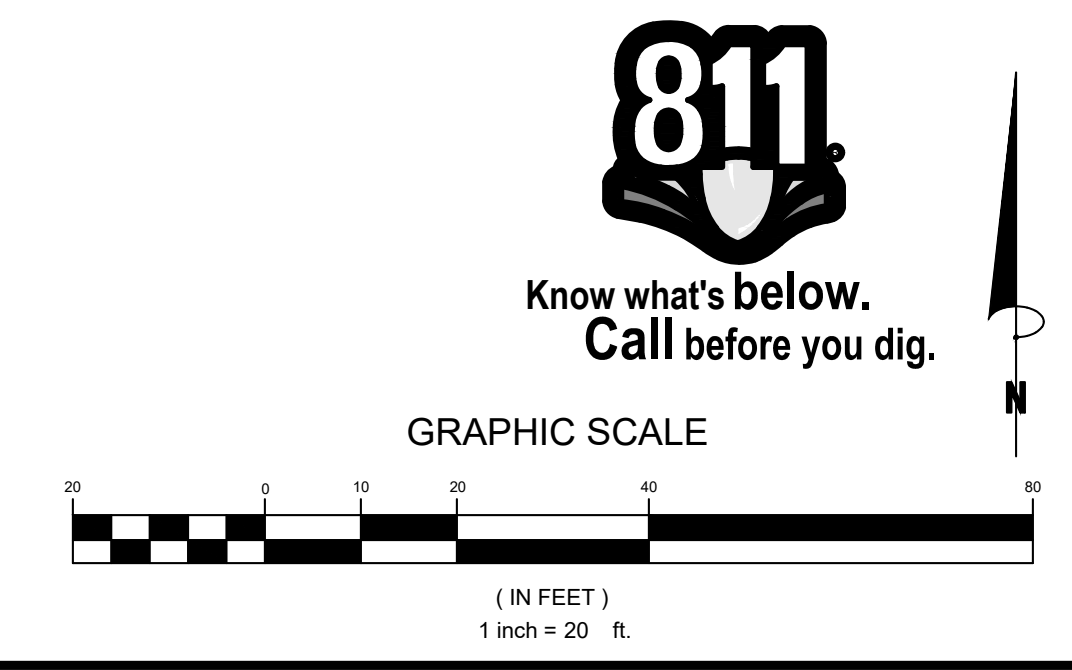
PARKING CALCULATIONS			
USE	AREA	RATIO	REQUIRED SPACES
OTHER RETAIL	3,770	1 PARKING SPACE PER 200 SF GFA	19 SPACES
STANDARD PARKING PROVIDED			30
HANDICAP PARKING REQUIRED			2
HANDICAP PARKING PROVIDED			2
TOTAL PARKING PROVIDED			32

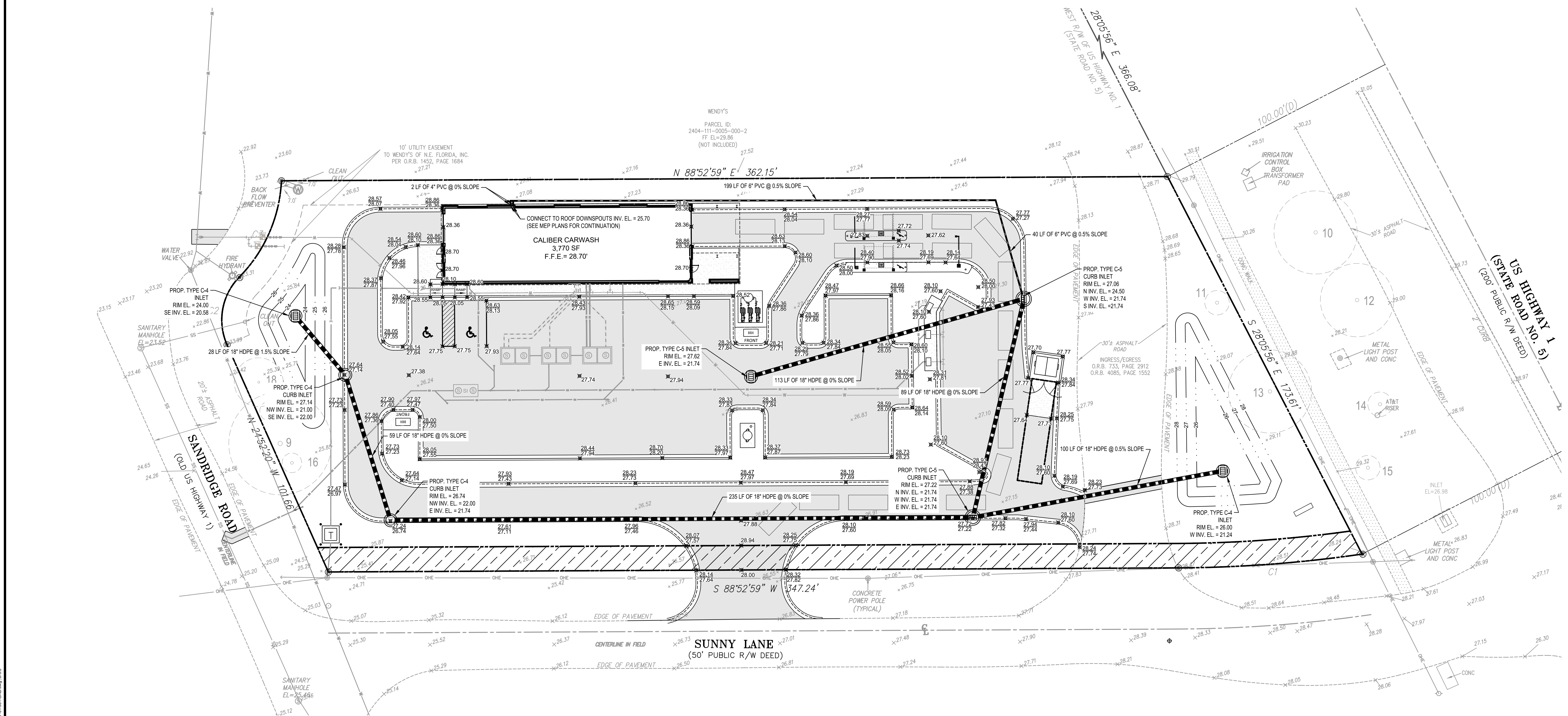
SITE AREA CALCULATIONS			
AREA	SF	ACRES	%
TOTAL AREA	65,377	1.50	100
TOTAL AFFECTED AREA	57,215	1.31	88
PROP. PERVIOUS AREA	27,366	0.63	41.9
PROP. IMPERVIOUS AREA	38,011	0.87	58.1
PROP. BUILDING AREA	3,770	0.09	5.8
PROP. PAVEMENT AREA	34,241	0.79	52.4

BUILDING SETBACKS		
SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	25'	117.4'
REAR (NORTH)	10'	10.0'
SIDE (EAST)	15'	199.7'
SIDE (WEST)	15'	67.1'

LANDSCAPE BUFFER		
SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	0'	20.0'
REAR (NORTH)	10'	10.0'
SIDE (EAST)	0'	15.0'
SIDE (WEST)	0'	15.0'

LEGEND	
PROP. ASPHALT DRIVE	
PROP. CONC. SIDEWALK	
PROP. TYPE 'F' CURB	
PROP. TYPE 'ROLL UP' CURB	
PROP. PARKING STRIPE	
PROP. HANDICAP MARKING	
PROP. SITE SIGNAGE	
PROP. DIRECTIONAL ARROW	
PROP. BOLLARD	
PROP. PARKING COUNT	
PROP. CURB INLET	
PROP. SANITARY MANHOLE	
PROP. STORM MANHOLE	
PROP. VACCUM	
PROP. DRAINAGE INLET	
PROP. MONUMENT SIGN	
PROPERTY LINE	
EX. CONCRETE SIDEWALK	
EX. CONCRETE D CURB	
EX. SIGN	
EX. POWER POLE	
EX. STORM INLET	

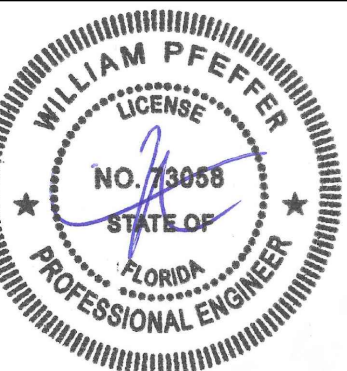
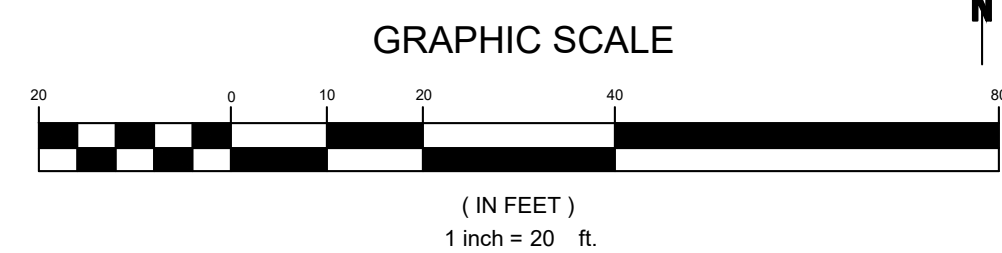




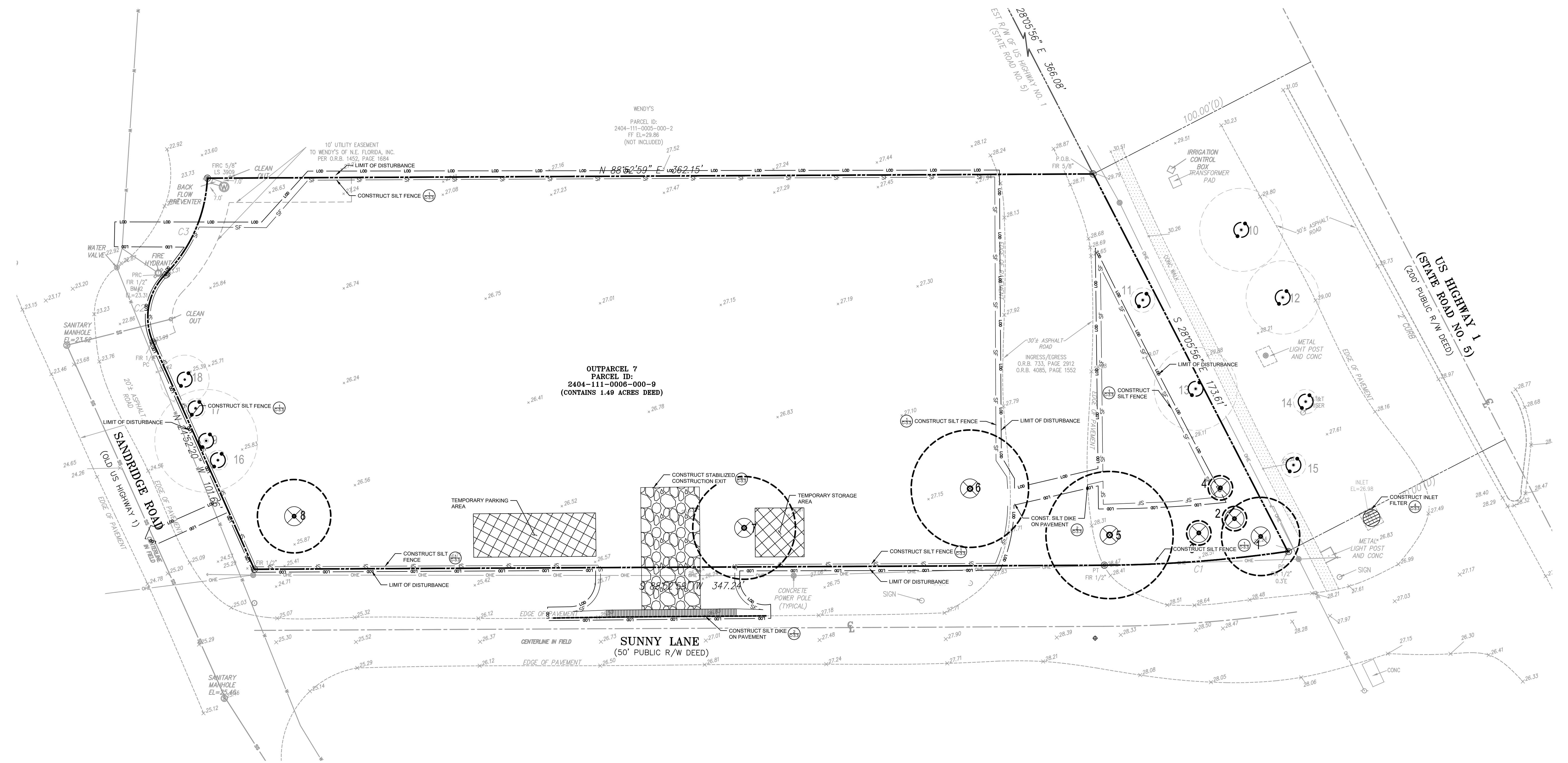
LEGEND	
PROP. ASPHALT DRIVE	EX. CONCRETE SIDEWALK
PROP. CONC. SIDEWALK	EX. CONCRETE D CURB
PROP. TYPE "F" CURB	EX. SIGN
PROP. TYPE "ROLL UP" CURB	EX. POWER POLE
PROP. PARKING STRIPE	EX. STORM SEWER
PROP. HANDICAP MARKING	EX. SANITARY SEWER
PROP. BOLLARD	EX. WATER
PROP. CURB INLET	EX. OVERHEAD POWER
PROP. CATCH BASIN	EX. STORM INLET
PROP. SETTLING TANK	EX. FIRE HYDRANT
PROP. SAND/OIL INTERCEPTOR	
PROP. SANITARY MANHOLE	
PROP. CLEANOUT	
PROP. BACKFLOW PREVENTER	
PROP. WATER METER	
PROP. STORM PIPE	
PROP. WATER LINE	
PROP. ELECTRIC LINE	
PROP. SEWER LATERAL	
PROP. GRADE	

FLOOD ZONE NOTE
 FLOOD ZONE: X: BASE FLOOD ELEVATION: NONE; PANEL #12111C0179K; MAP DATE: 02/19/20.

DATUM NOTE
 ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.



PLAN STATUS	
DATE	DESCRIPTION
JP	JP
DESIGN	DRAWN
	CHKD
JOB No.	011027-01-001
DATE:	5/10/2022
FILE:	05-011027-01-001-CRD.dwg



GENERAL EROSION CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT(S) FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE FDEP GENERIC PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SOODED/LANDSCAPED PER PLANS. THESE AREA SHALL BE SOODED/LANDSCAPED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH FDEP GENERIC PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO CONSTRUCTION ACTIVITIES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
- CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- ALL EXISTING SIGNALIZATION EQUIPMENT TO REMAIN IS ASSUMED TO BE IN GOOD WORKING ORDER UNLESS PALM BEACH COUNTY IS NOTIFIED IN WRITING PRIOR TO THE START OF CONSTRUCTION. ANY SUBSEQUENT DAMAGE TO THE SIGNAL EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING THE CONSTRUCTION ACTIVITIES. (ONCE CONTRACTOR IS SELECTED, A QUALIFIED FOREMAN/SUPERVISOR WILL BE DESIGNATED AND AVAILABLE AT THE PRE-CONSTRUCTION MEETING)
- ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED, DURING ANY PHASE OF DEVELOPMENT, AT THE DISCRETION OF THE COUNTY'S INSPECTOR.

CONSTRUCTION SEQUENCE

- CONDUCT PRE-CONSTRUCTION MEETING WITH THE COUNTY TO DISCUSS EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION PHASING.
- INSTALL AND POST SWPPP AND SITE COMPLIANCE SIGNAGE PUBLICLY VISIBLE.
- INSTALL INLET PROTECTION, SILT DIKES, AND SILT FENCE ON THE SITE AS SHOWN.
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- PREPARE TEMPORARY PARKING AND STORAGE AREAS.
- DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
- BEGIN GRADING THE SITE.
- BEGIN CONSTRUCTION OF UTILITIES.
- BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
- BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
- COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED.
- COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
- OBTAIN CONCURRENCE FROM THE OWNER AND THE COUNTY THAT THE SITE HAS BEEN FULLY STABILIZED.
- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.

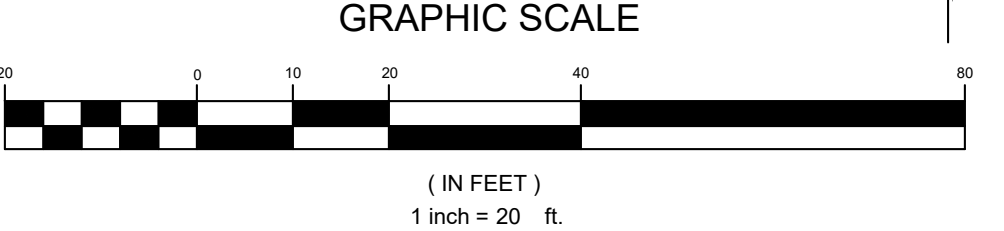
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BMP MAINTENANCE NOTES

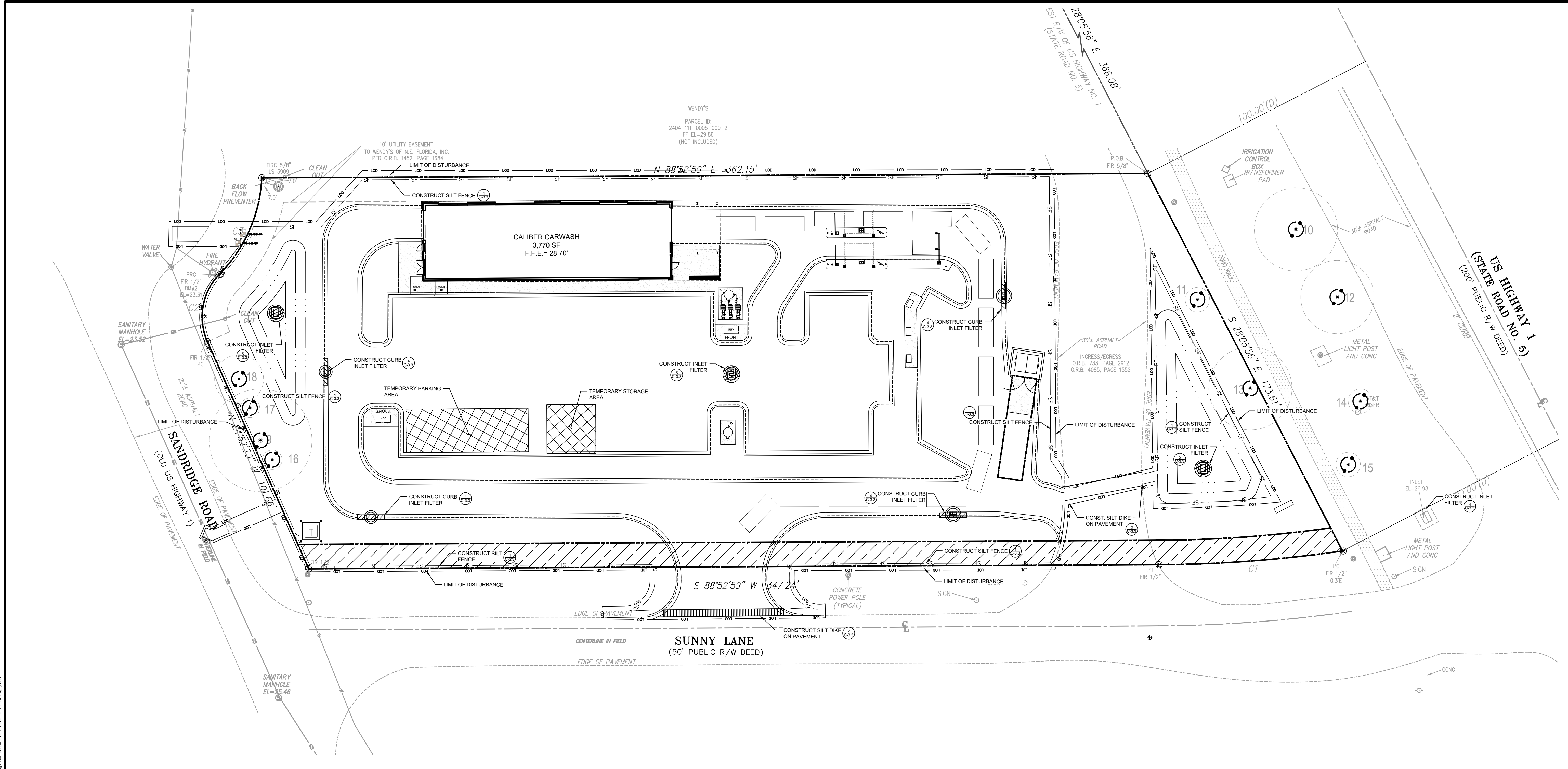
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- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
 - ALL SEEDED/SOODED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF GRASS IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
 - THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT FROM THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE EXIT AS CONDITIONS DEMAND.
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LEGEND	
LIMIT OF DISTURBANCE	PROPERTY LINE
PROP. SILT DIKE ON PAVEMENT	EX. CONCRETE SIDEWALK
PROP. SILT FENCE	EX. CONCRETE D CURB
TEMPORARY PARKING AND STAGING AREAS	EX. SIGN
STABILIZED CONSTRUCTION EXIT	EX. POWER POLE
INLET FILTER	EX. SANITARY MANHOLE
TREE TO BE REMOVED	EX. STORM SEWER
PROP. TREE BARRIER	EX. SANITARY SEWER
	EX. WATER
	EX. OVERHEAD POWER
	EX. STORM INLET
	EX. FIRE HYDRANT

LIMITS OF DISTURBANCE SHOWN OFFSET 1FT FROM PROPERTY LINE FOR READABILITY PURPOSES



User: JPFEFER Plot Date/Time: May, 10, 22, 09:59:28 Drawing: V011027-01-001-ESI.dwg File Path: C:\Users\JPFEFER\OneDrive\Documents\Projects\011027-01-001-ESI.dwg C:\3.1



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CONSTRUCTION SEQUENCE

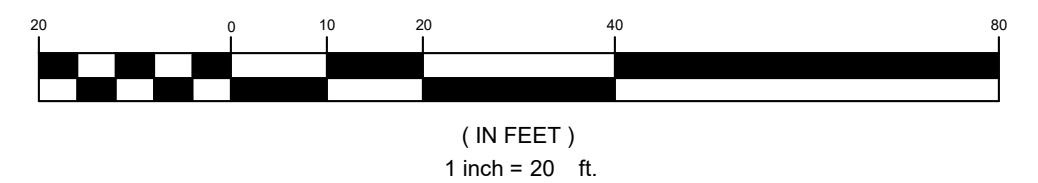
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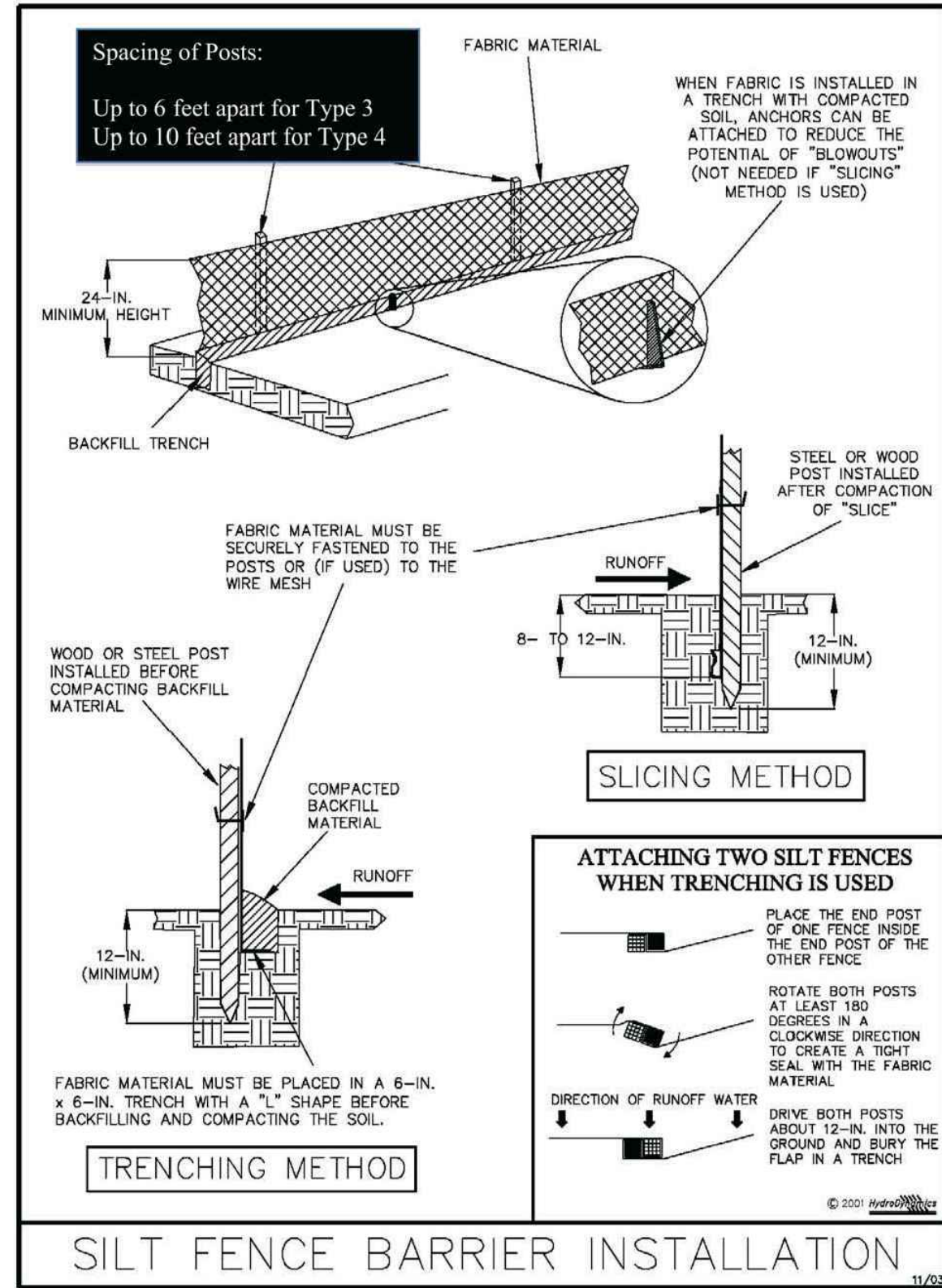
BMP MAINTENANCE NOTES

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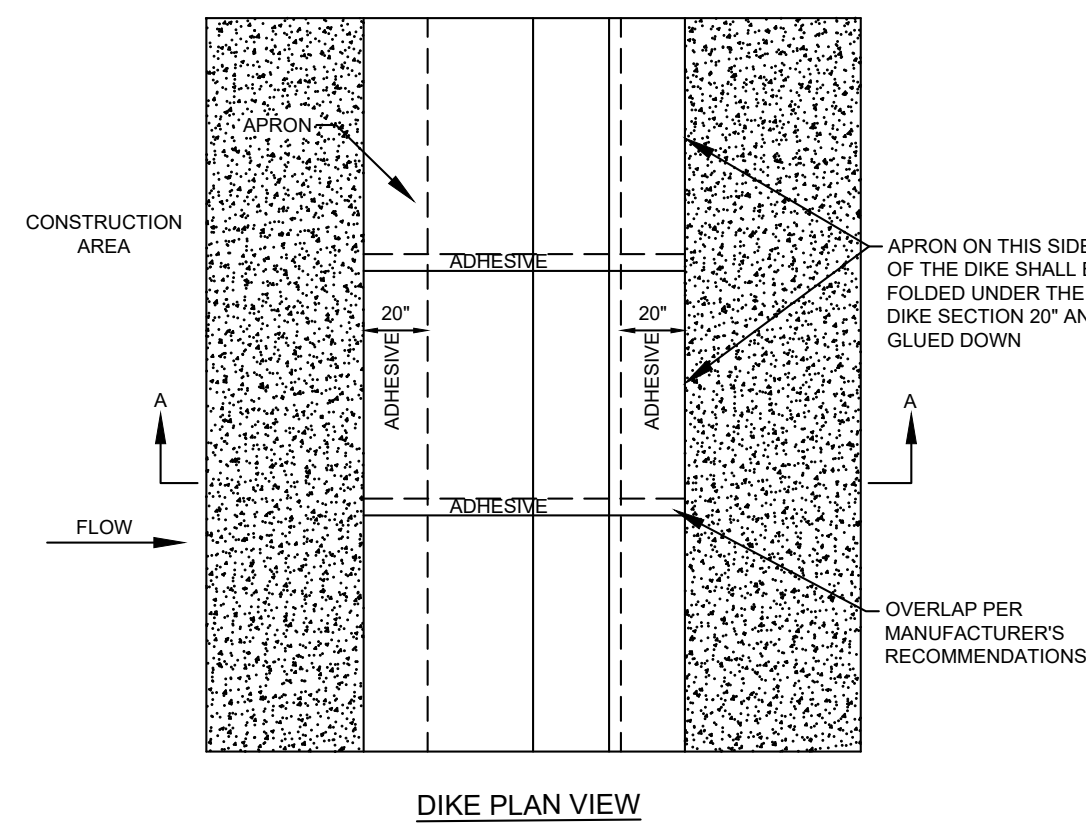
LEGEND	
PROP. TYPE "F" CURB	PROPERTY LINE
PROP. TYPE "ROLL UP" CURB	EX. CONCRETE SIDEWALK
PROP. CURB INLET	EX. CONCRETE D CURB
LIMIT OF DISTURBANCE	EX. SIGN
PROP. SILT DIKE ON PAVEMENT	EX. POWER POLE
PROP. SILT FENCE	EX. SANITARY MANHOLE
TEMPORARY PARKING AND STAGING AREAS	EX. STORM SEWER
CURB INLET FILTER	EX. SANITARY SEWER
INLET FILTER	EX. WATER
PROP. TREE BARRIER	EX. OVERHEAD POWER
	EX. STORM INLET
	EX. FIRE HYDRANT

LIMITS OF DISTURBANCE SHOWN OFFSET 1FT FROM PROPERTY LINE FOR READABILITY PURPOSES



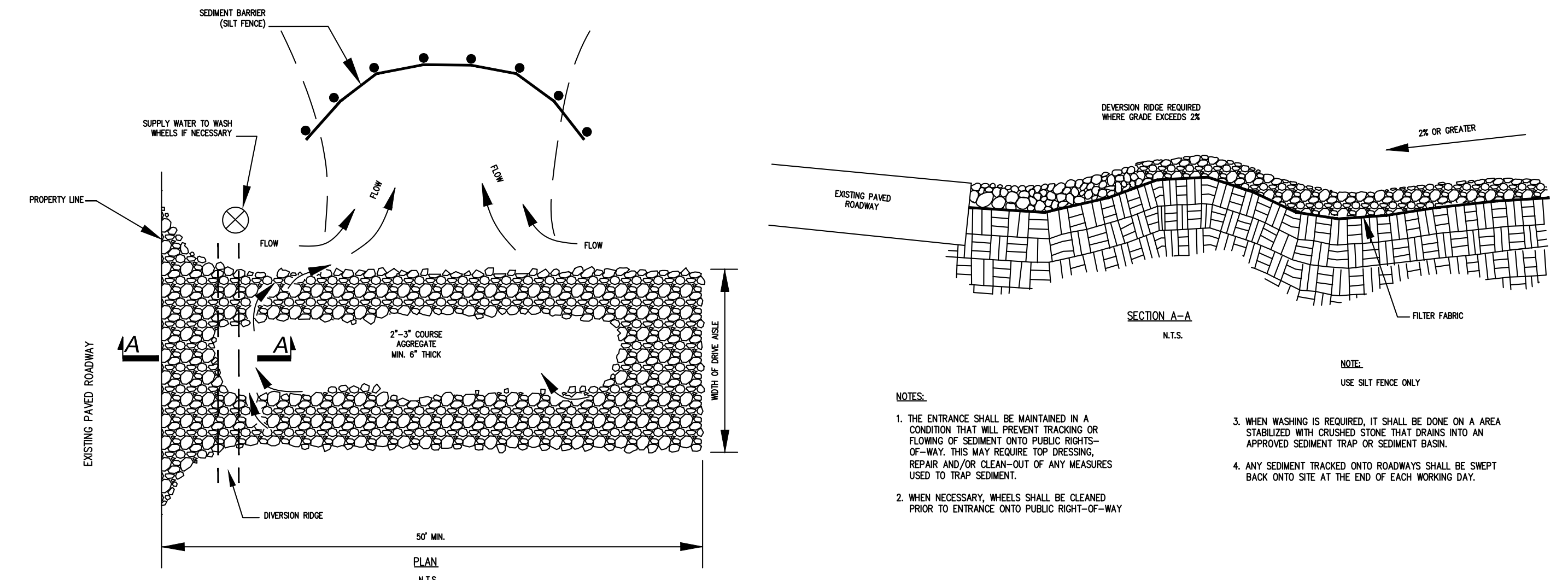


1 SILT FENCE BARRIER
C-3.3 NOT TO SCALE



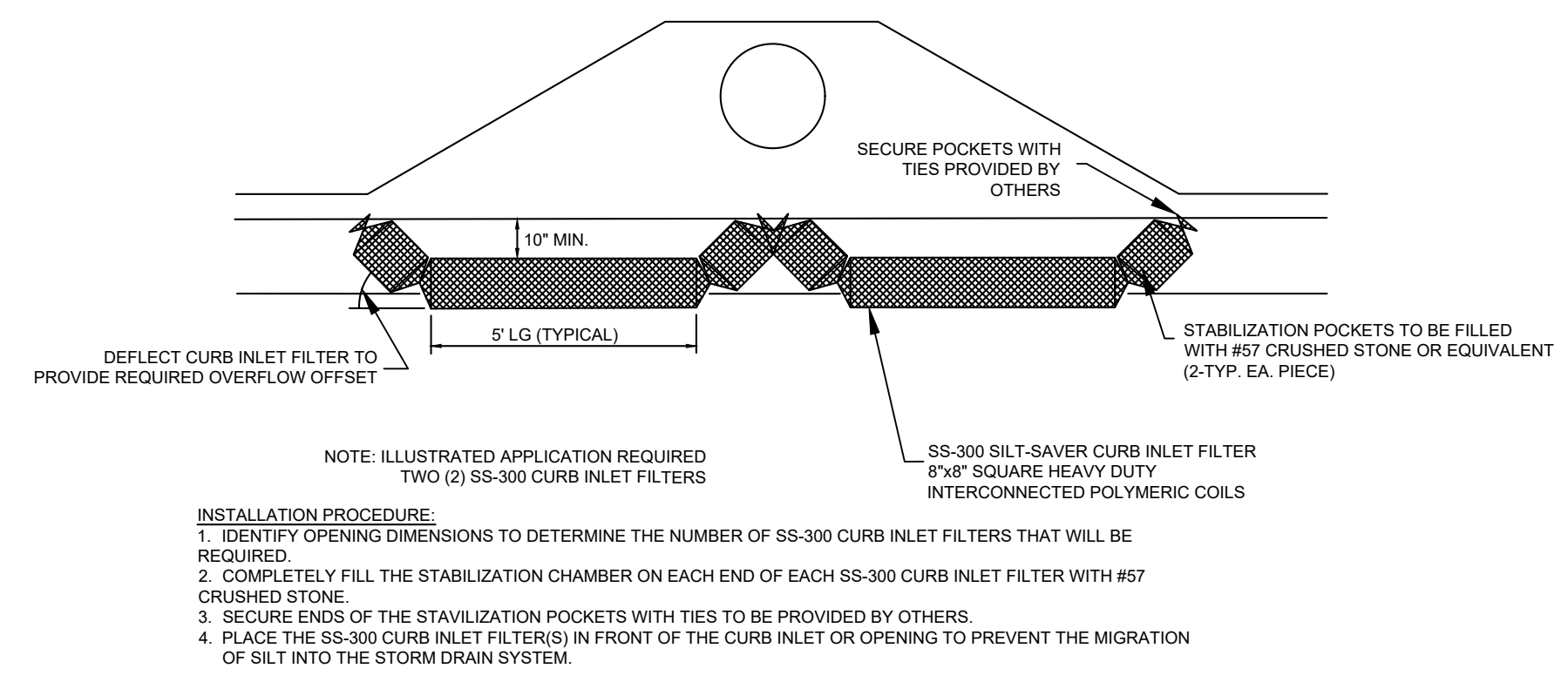
NOTES:
1. INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.
2. ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS. ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.

2 SILT DIKE ON EXISTING PAVEMENT
C-3.3 NOT TO SCALE

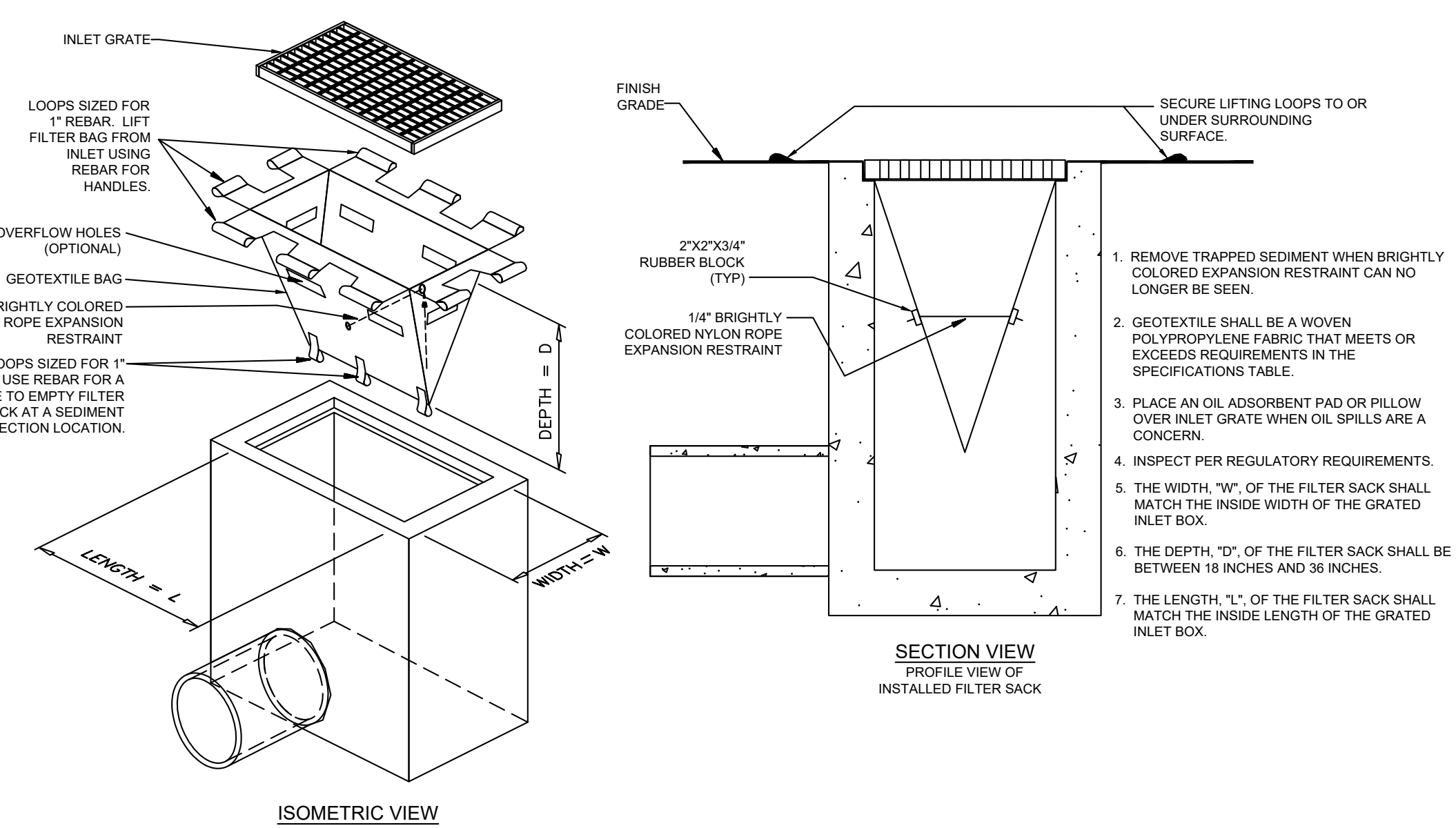


NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT ISLANDING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. ANY SEDIMENT TRACKED ONTO ROADWAYS SHALL BE SWEEPED BACK ONTO SITE AT THE END OF EACH WORKING DAY.

3 STABILIZED CONSTRUCTION EXIT
C-3.3 NOT TO SCALE

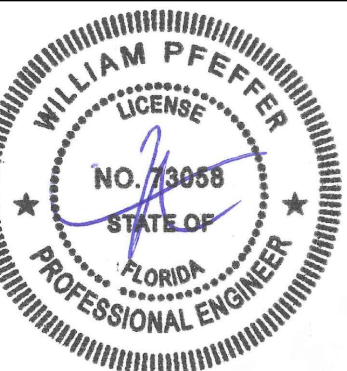


4 CURB INLET FILTER
C-3.3 NOT TO SCALE



5 INLET FILTER DETAIL
C-3.3 NOT TO SCALE

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4833	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPEARANT OPENING SIZE	ASTM D-4761	40 US SEIVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	0.55 SEC-1
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	150 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4833	45 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPEARANT OPENING SIZE	ASTM D-4761	20 US SEIVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	1.5 SEC-1

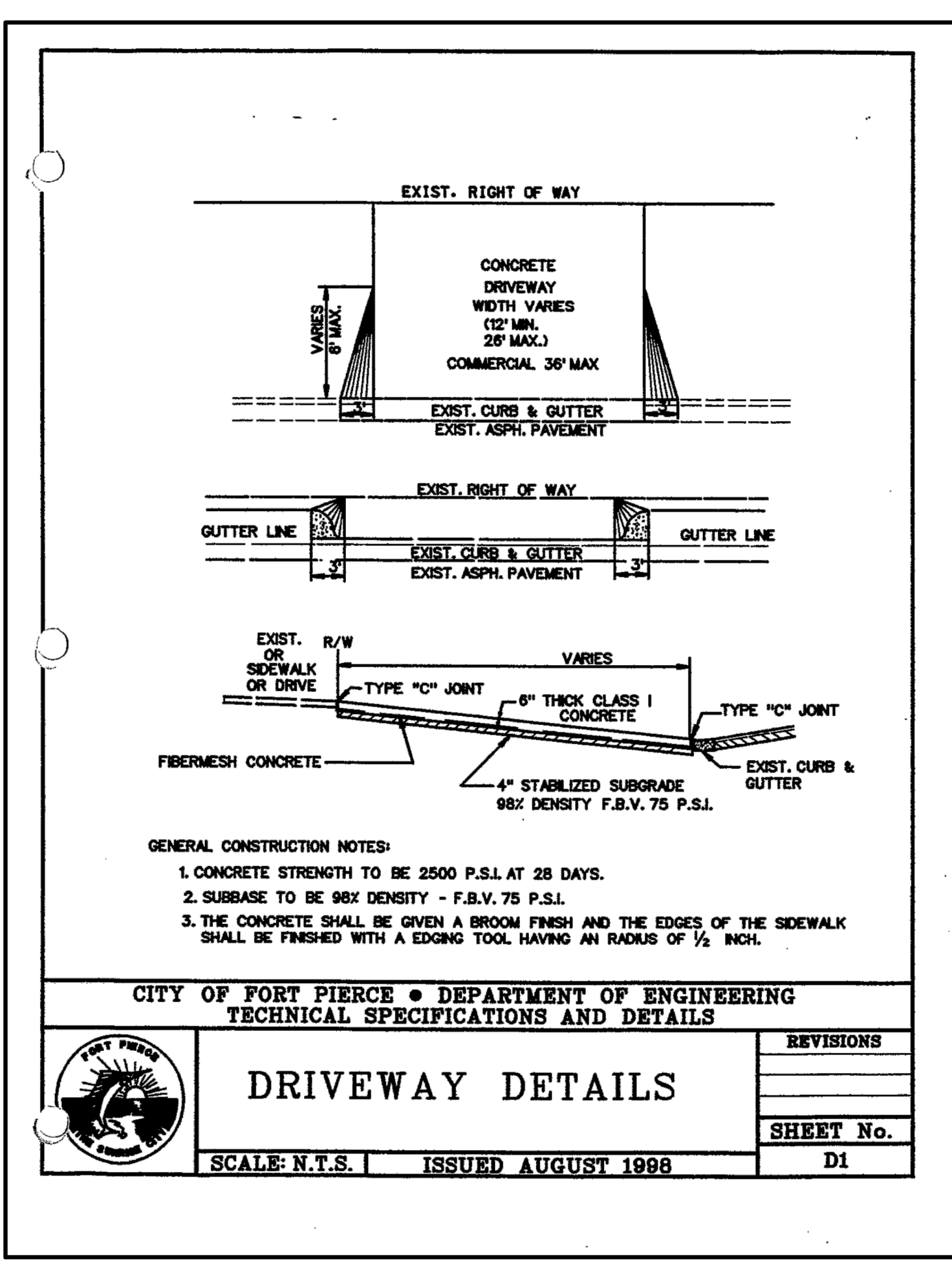


PLAN STATUS

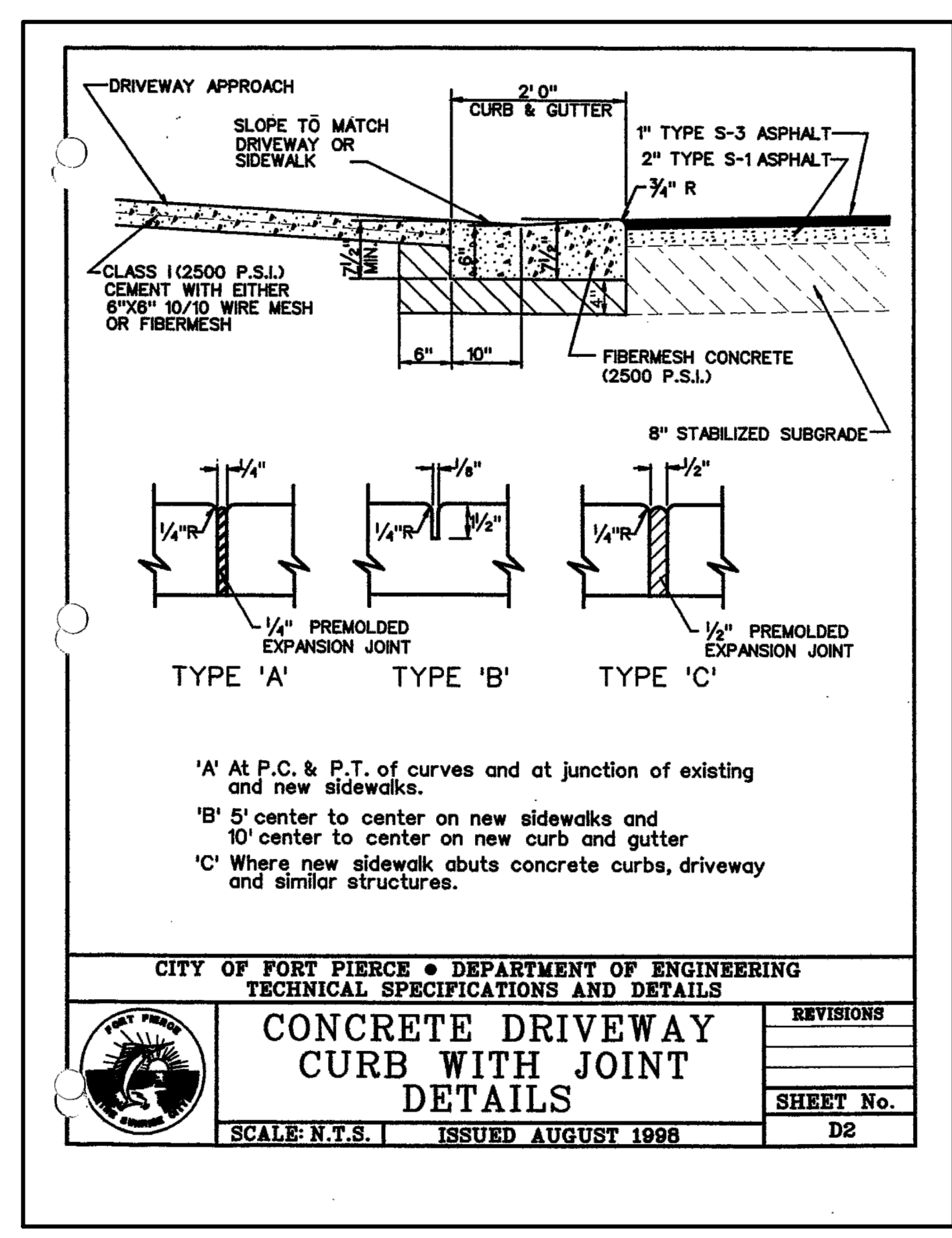
DATE	DESCRIPTION
JP	DESIGN
JP	DRAWN
	CHKD

JOB No. 011027-01-001
DATE: 5/10/2022
FILE: 08-011027-01-001-ESD.dwg

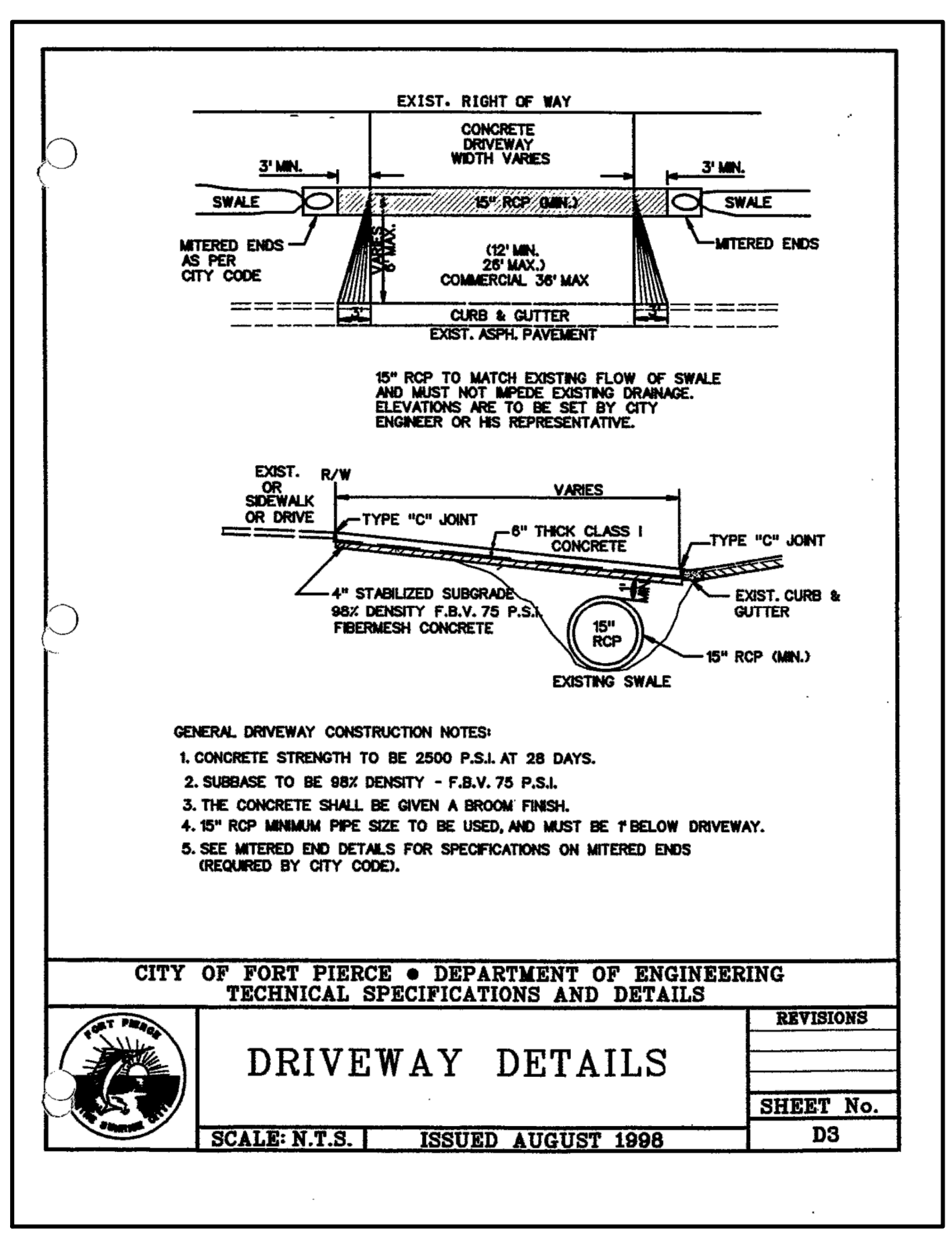
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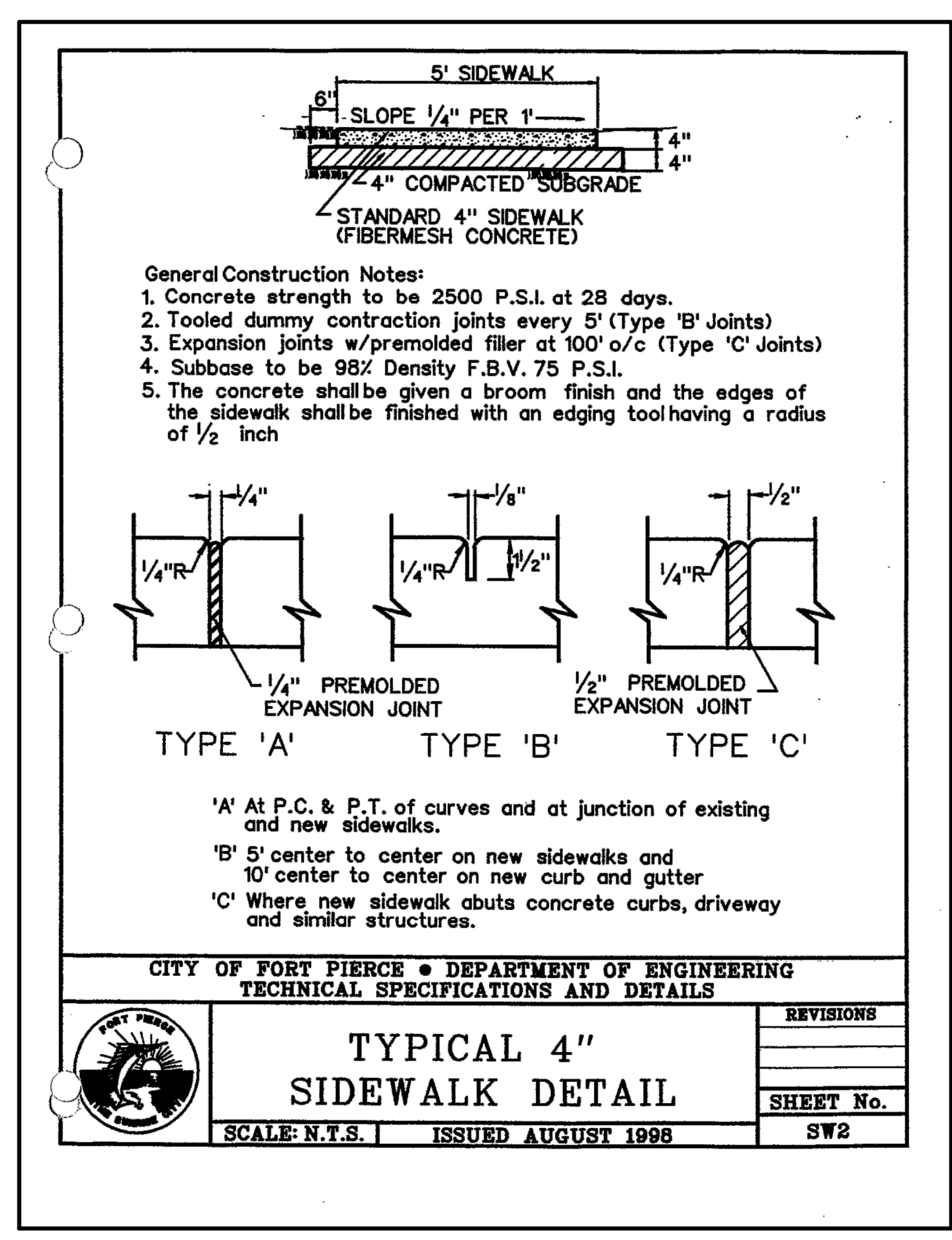
1 DRIVEWAY DETAIL
NOT TO SCALE



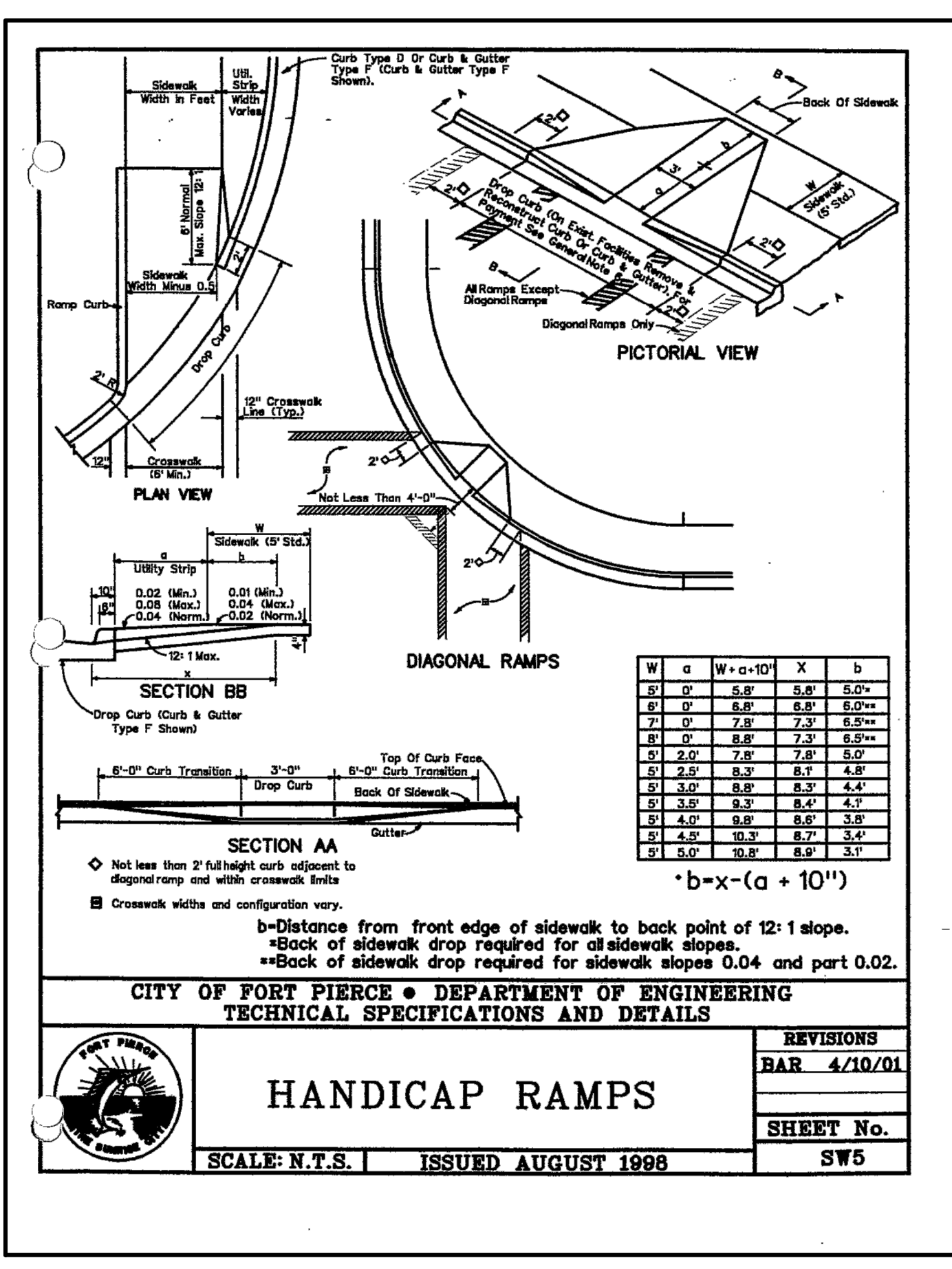
2 CONCRETE DRIVEWAY CURB
NOT TO SCALE



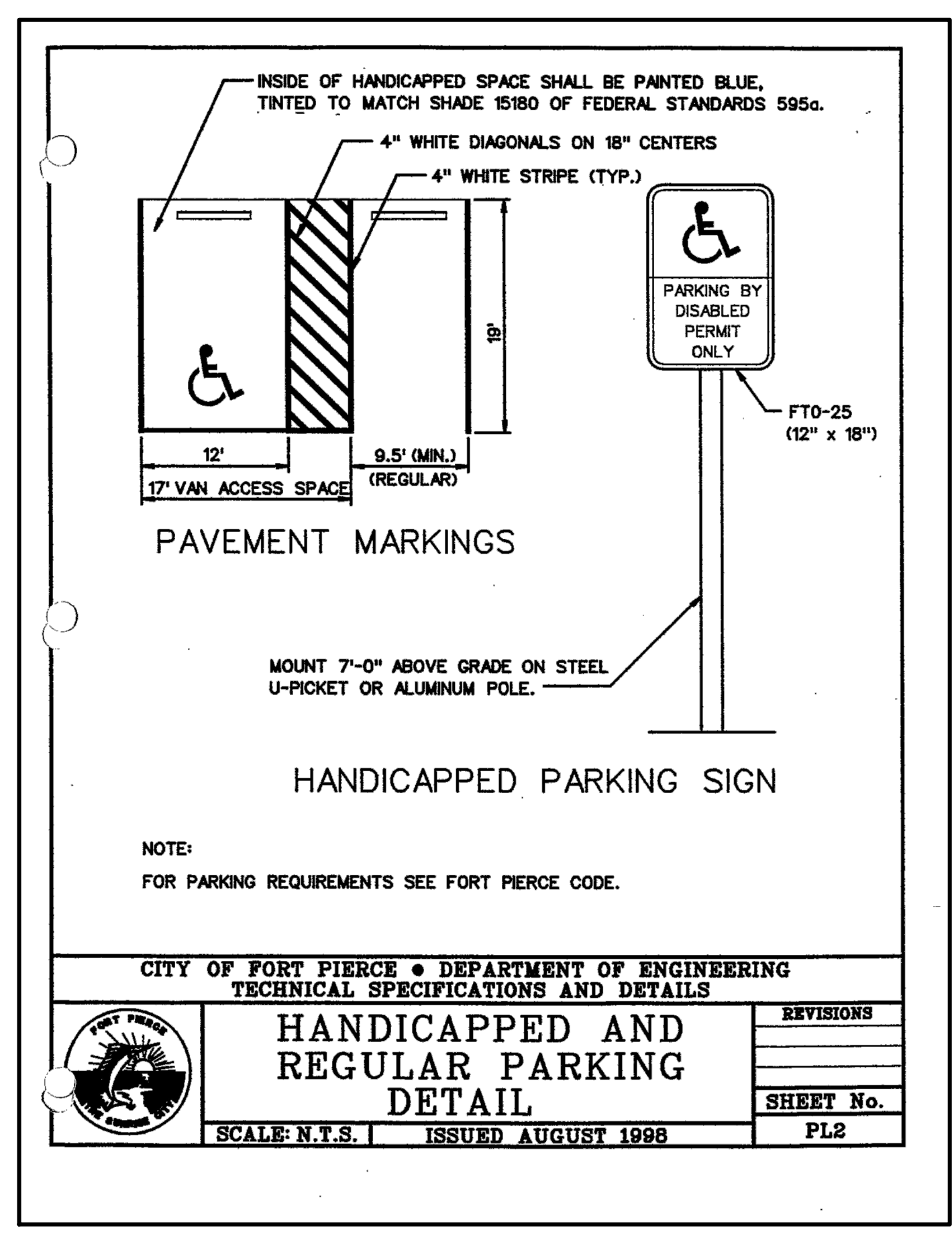
3 DRIVEWAY DETAIL
NOT TO SCALE



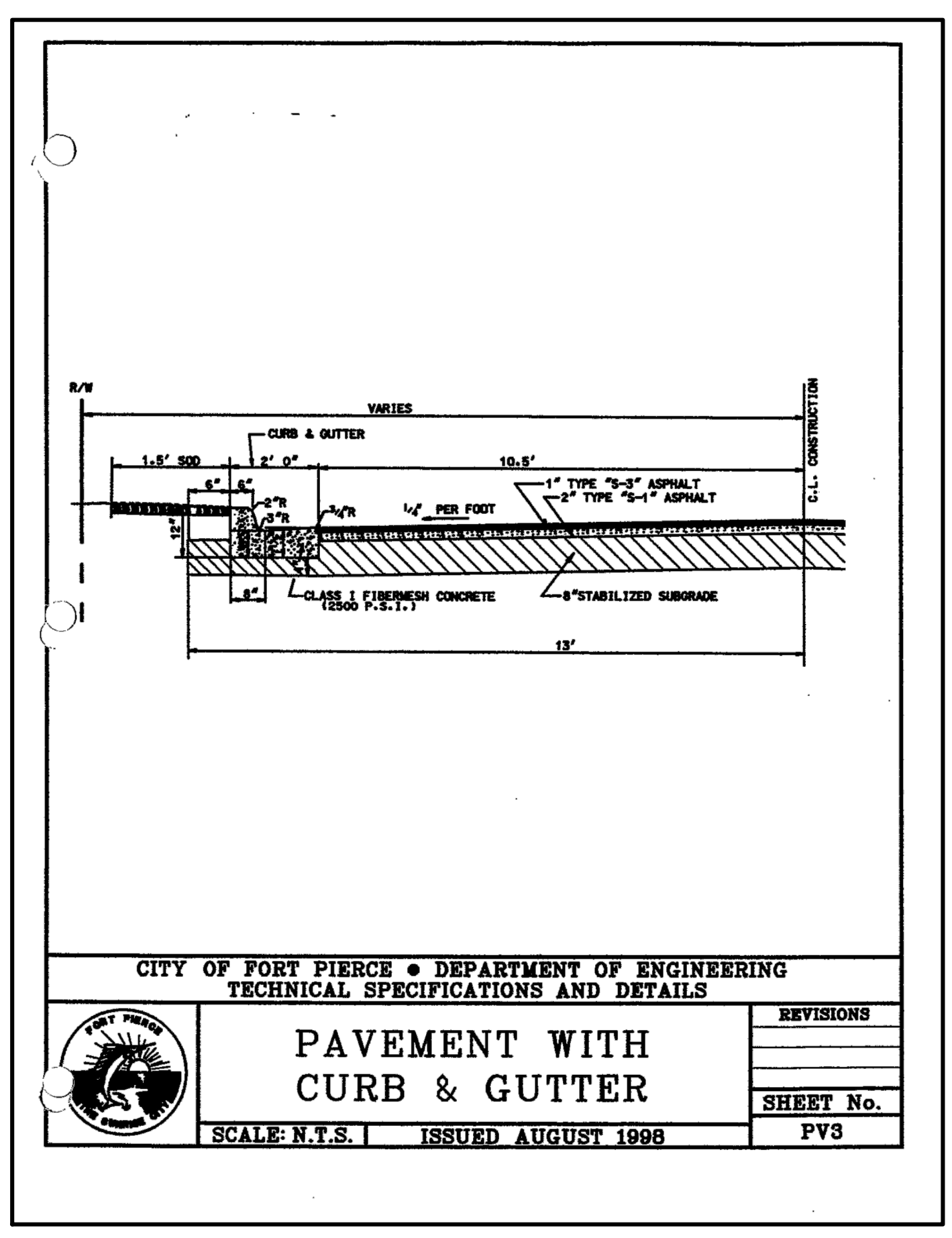
4 TYPICAL 4\"/>



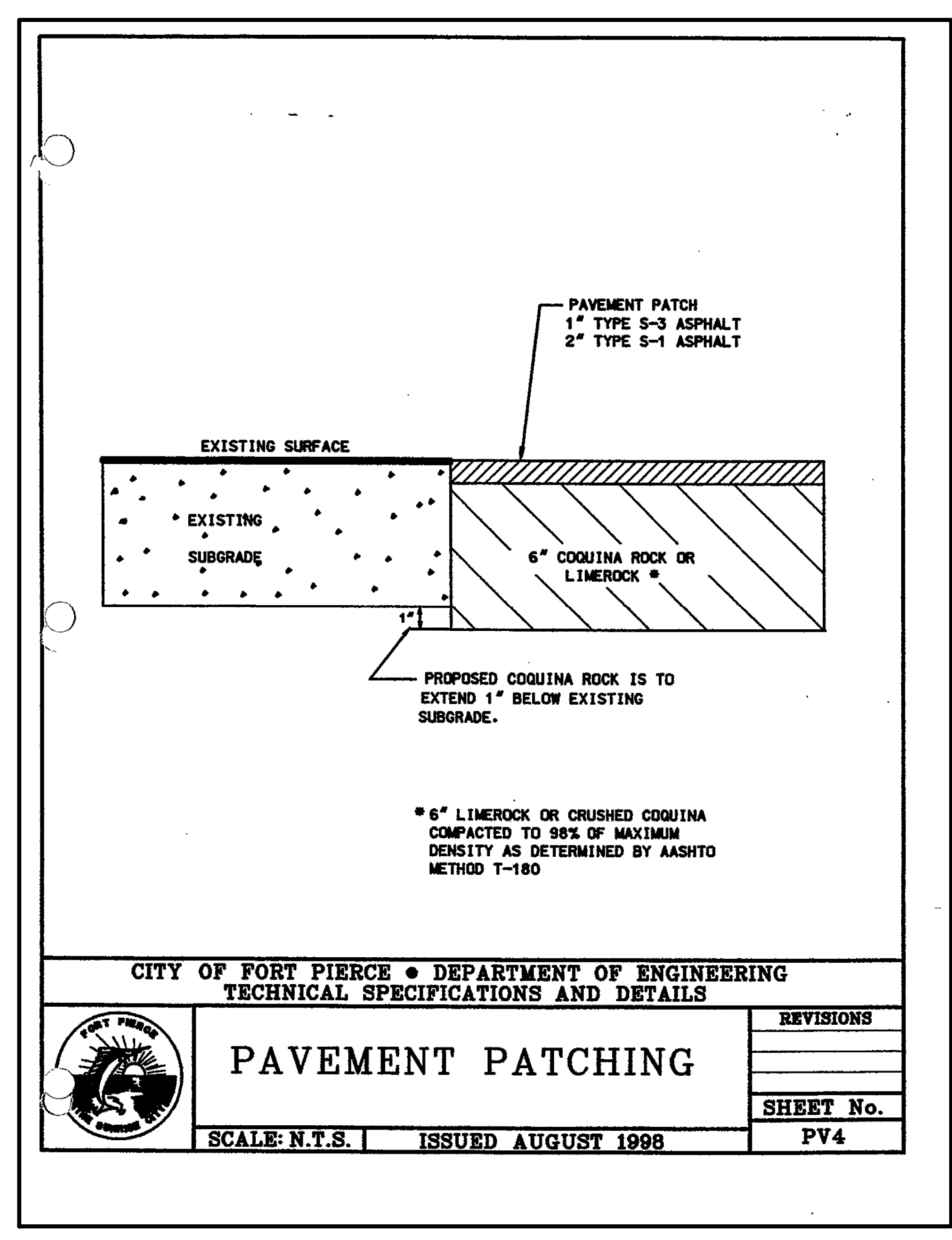
5 HANDICAP RAMPS
NOT TO SCALE



6 HANDICAPPED AND REGULAR PARKING
NOT TO SCALE



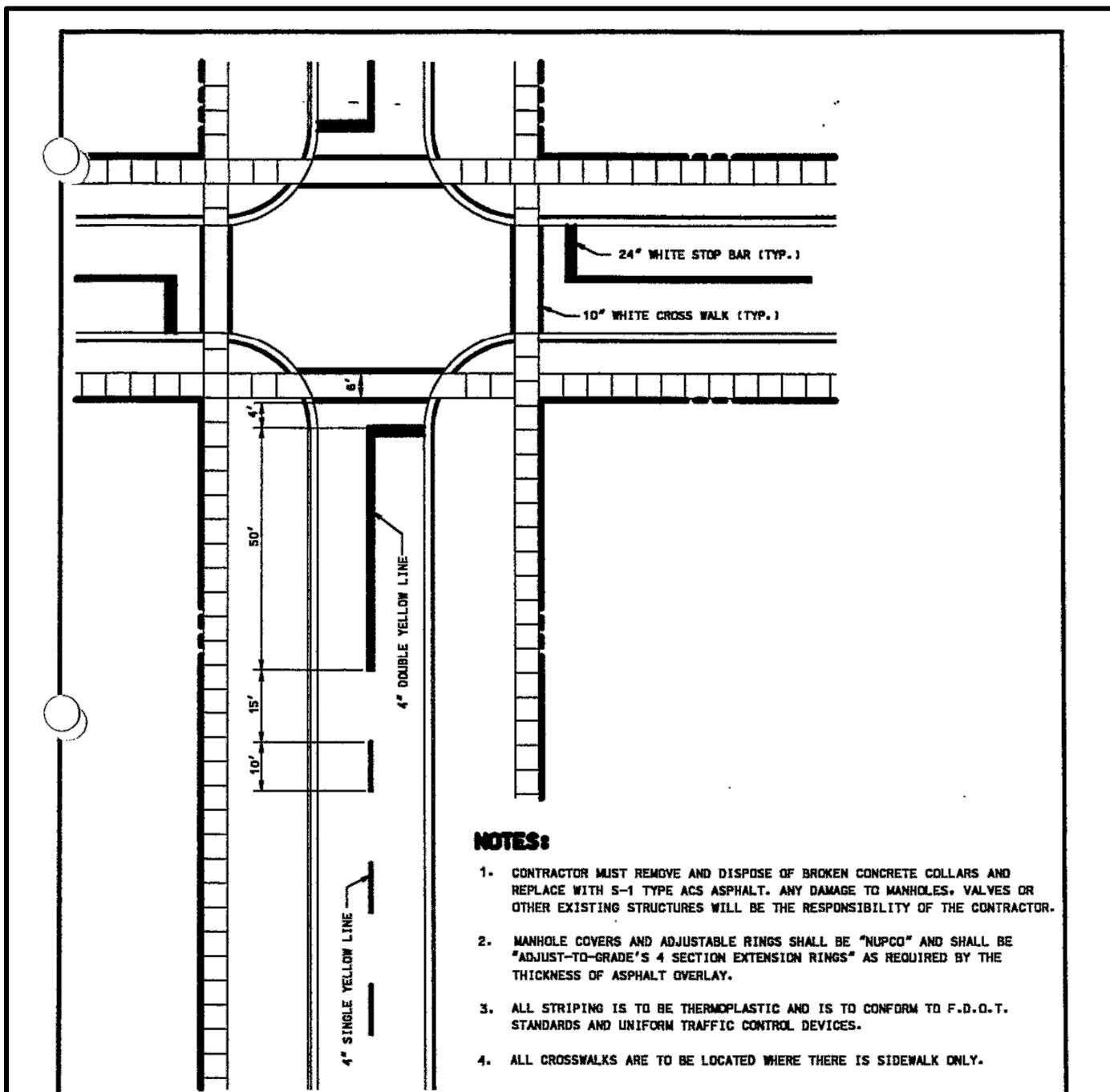
7 PAVEMENT WITH CURB AND GUTTER
NOT TO SCALE



8 PAVEMENT PATCHING
NOT TO SCALE

PLAN STATUS

DATE	DESCRIPTION
JP	JP KM
DESIGN	DRAWN CHKD
JOB No.	011027-01-001
DATE:	5/10/2022
FILE:	08-011027-01-001-DET.dwg



- NOTES:**
1. CONTRACTOR MUST REMOVE AND DISPOSE OF BROKEN CONCRETE COLLARS AND REPLACE WITH 3/4" TYPE A/C ASPHALT. ANY DAMAGE TO MANHOLES, VALVES OR OTHER EXISTING STRUCTURES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 2. MANHOLE COVERS AND ADJUSTABLE RINGS SHALL BE "RUPCO" AND SHALL BE "ADJUST-TO-GRADE" 4 SECTION EXTENSION RINGS AS REQUIRED BY THE THICKNESS OF ASPHALT OVERLAY.
 3. ALL STRIPING IS TO BE THERMOPLASTIC AND IS TO CONFORM TO F.O.D.T. STANDARDS AND UNIFORM TRAFFIC CONTROL DEVICES.
 4. ALL CROSSWALKS ARE TO BE LOCATED WHERE THERE IS SIDEWALK ONLY.

CITY OF FORT PIERCE • DEPARTMENT OF ENGINEERING
TECHNICAL SPECIFICATIONS AND DETAILS

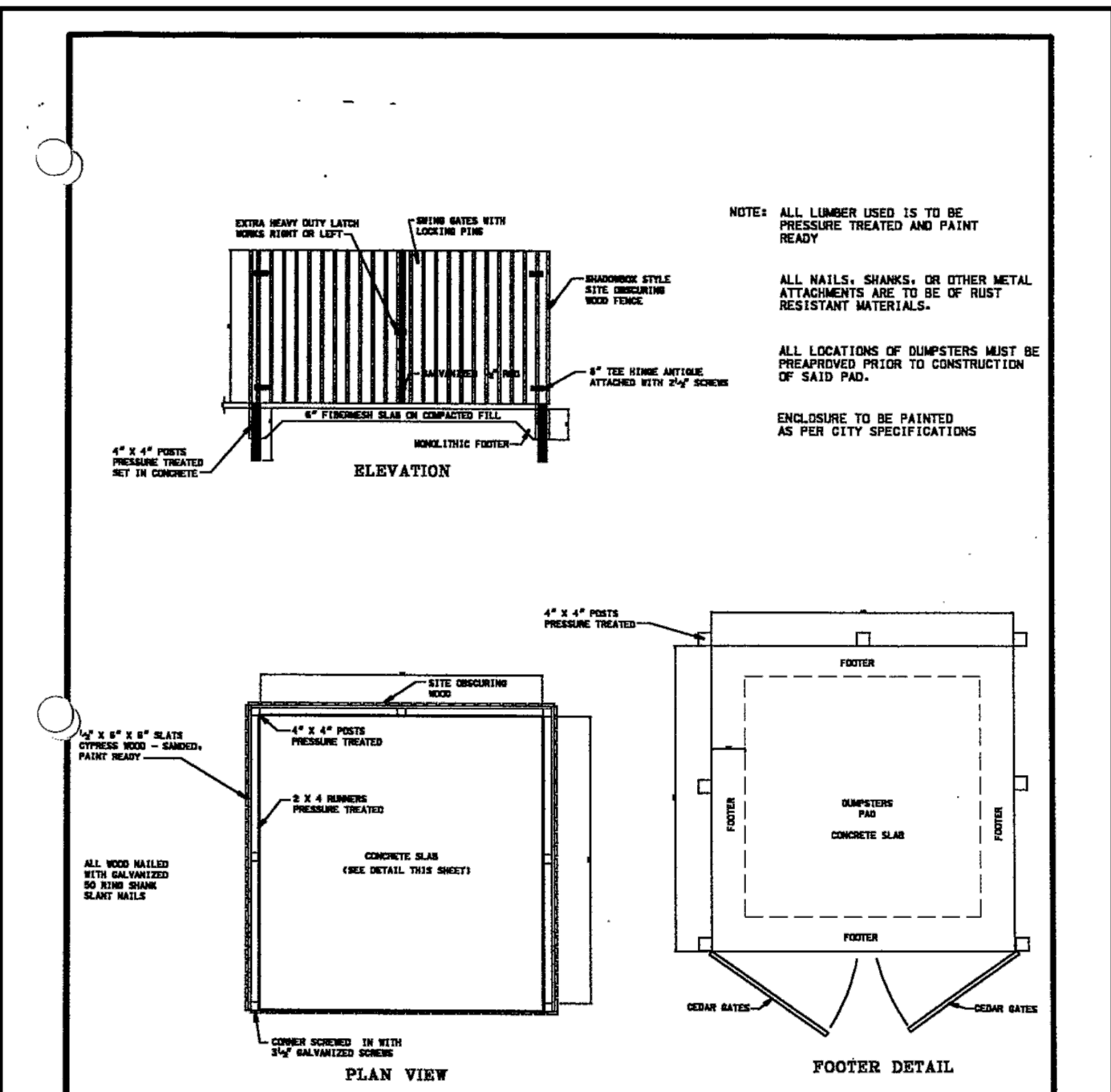
TYPICAL STREET STRIPING DETAIL

SCALE: N.T.S. ISSUED DECEMBER 2000

REVISIONS

SHEET No. STP 01

1 STREET STRIPING DETAIL
NOT TO SCALE



CITY OF FORT PIERCE • DEPARTMENT OF ENGINEERING
TECHNICAL SPECIFICATIONS AND DETAILS

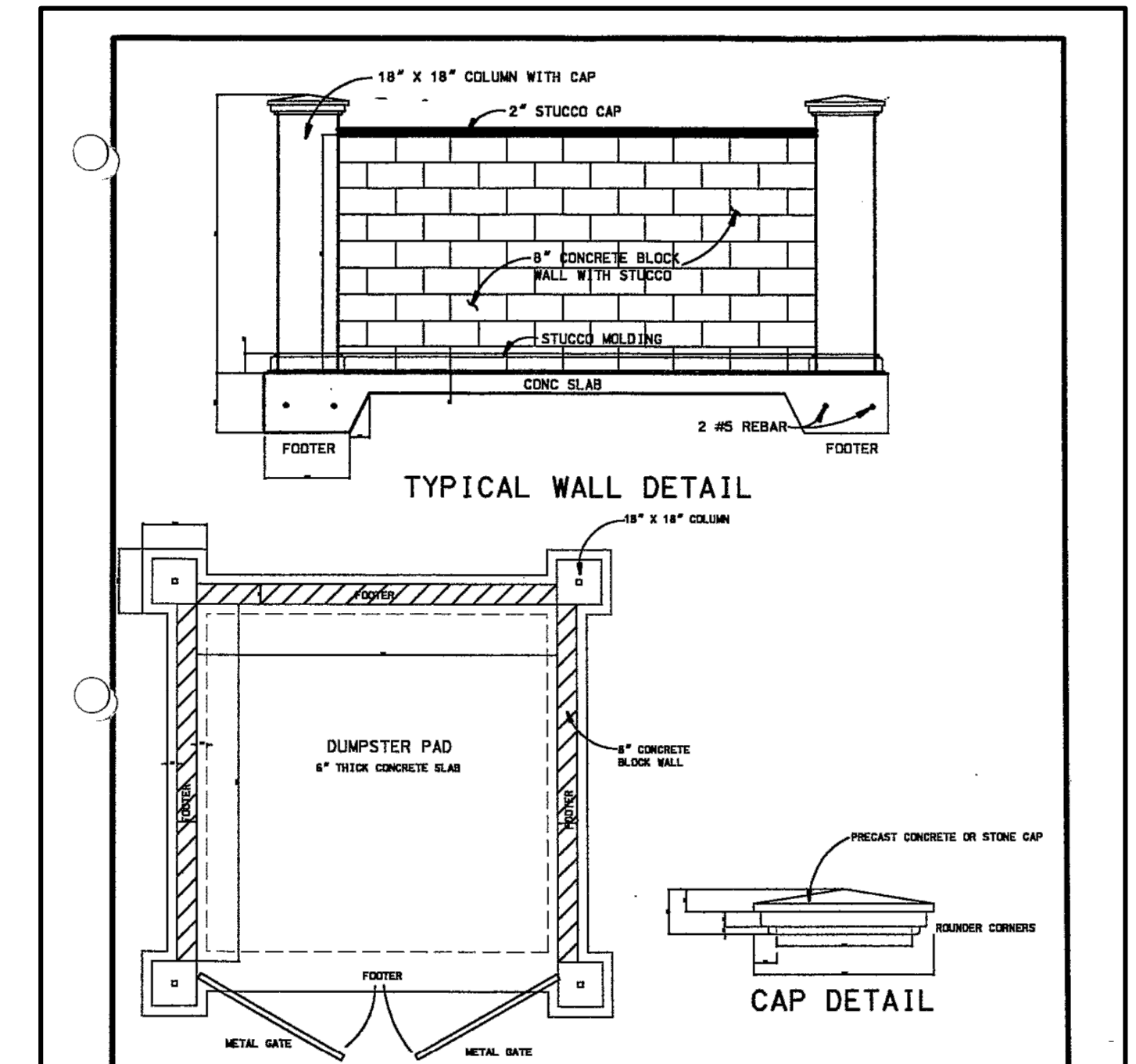
DUMPSTER PAD DETAILS

SCALE: N.T.S. ISSUED AUGUST 1999

REVISIONS

SHEET No. 003

2 DUMPSTER PAD
NOT TO SCALE



CITY OF FORT PIERCE • DEPARTMENT OF ENGINEERING
TECHNICAL SPECIFICATIONS AND DETAILS

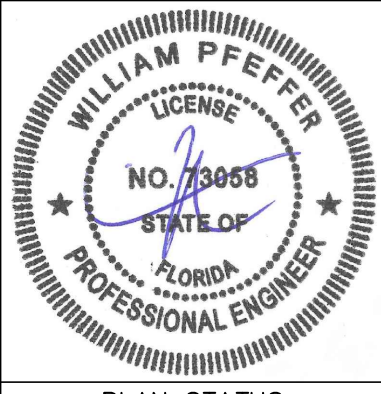
DUMPSTER PAD DETAILS

SCALE: N.T.S. ISSUED AUGUST 1999

REVISIONS

SHEET No. 003

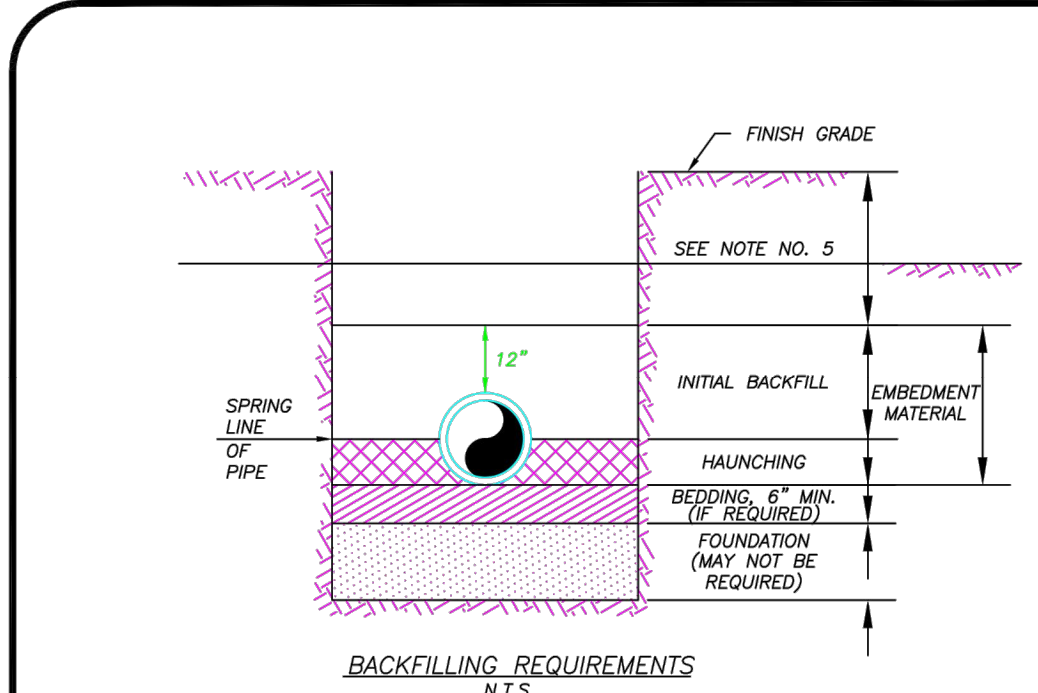
3 DUMPSTER PAD
NOT TO SCALE



DATE	DESCRIPTION

JP	JP	KM
DESIGN	DRAWN	CHKD
JOB No. 011027-01-001		
DATE: 5/10/2022		
FILE: 08-011027-01-001-DET.dwg		

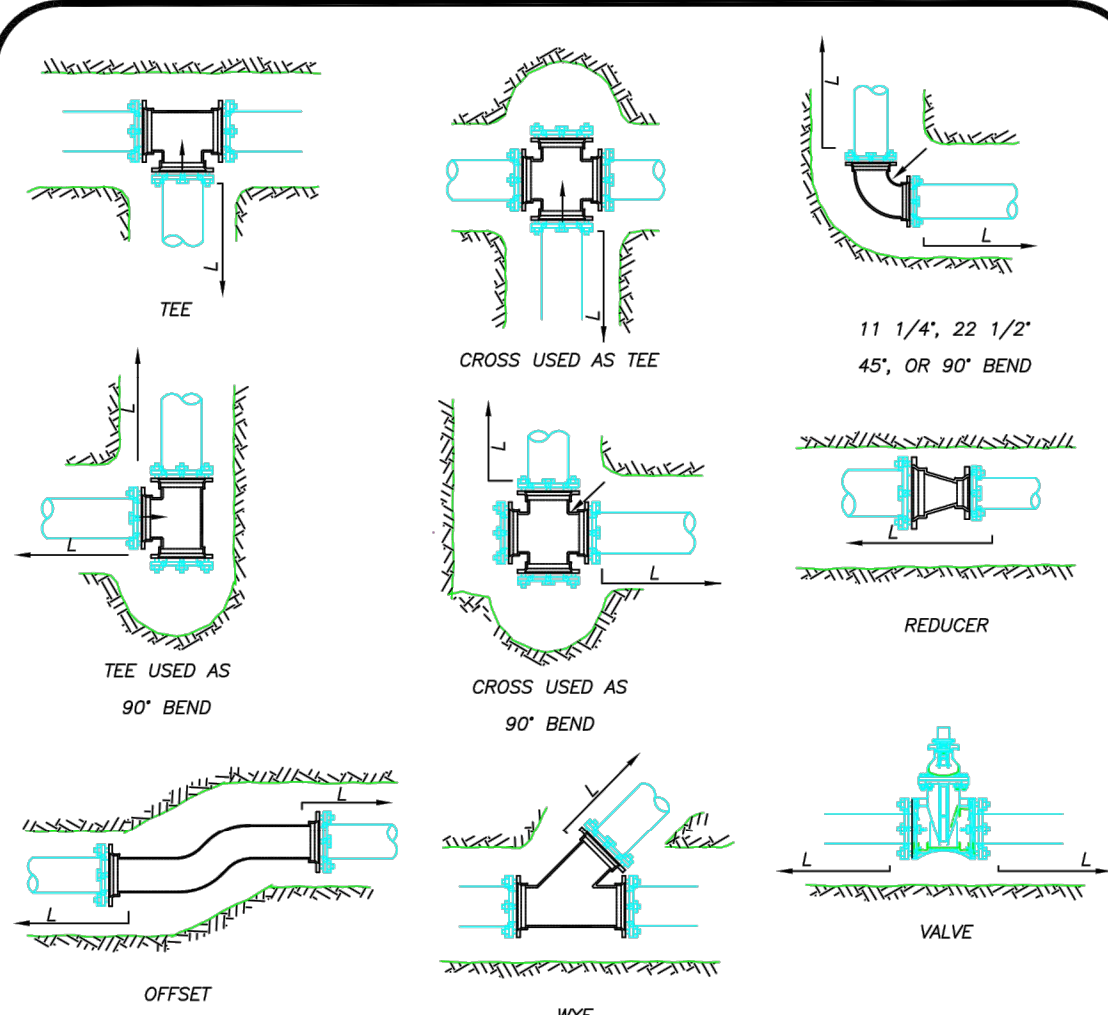
User: JPETER... Drawing: V:\011027... Caliber Car Wash\011027-01-001-DET.dwg... 08-011027-01-001-DET.dwg



- NOTES:**
- 1) IN CERTAIN SOIL CONDITIONS A FOUNDATION MAY BE REQUIRED.
 - 2) BEDDING IS REQUIRED PRIMARILY TO BRING THE TRENCH BOTTOM UP TO GRADE. BEDDING MATERIALS SHALL PROVIDE A UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE.
 - 3) HAUNCHING MATERIAL SHALL BE HAND PLACED TO THE SPRINGLINE OF THE PIPE. MATERIAL SHALL BE CONSOLIDATED UNDER THE PIPE AND HAND TAMPED TO PROVIDE ADEQUATE SIDE SUPPORT.
 - 4) INITIAL BACKFILL MATERIAL SHALL BE HAND PLACED TO 12" ABOVE THE TOP OF PIPE. THE SOIL SHALL BE COMPACTED TO 100% MAX. DENSITY (ASHTO T-99).
 - 5) BACKFILL SHALL BE COMPACTED TO 100% OF MAX. DENSITY AS PER ASHTO T-99, TO A POINT 30" BELOW PROPOSED PROFILE GRADE OR EXISTING GRADE. THE FINAL 30" OF BACKFILL SHALL BE COMPACTED TO 98% OF MAX. DENSITY AS PER ASHTO T-180.
 - 6) DENSITY TEST SHALL BE PERFORMED AT AREAS DETERMINED BY THE UTILITIES ENGINEER OR PERMIT AGENCY HAVING JURISDICTION, AT THE CONTRACTORS EXPENSE.
 - 7) CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL TRENCH SAFETY REGULATIONS.

BACKFILLING REQUIREMENTS				M-2			
DATE	DESIGN	REVISION	BY	DATE	DESIGN	REVISION	BY
2015	JAC		JAC	2015	JAC		JAC
DESIGNED BY: JAC CHECKED BY: JAC DATE: 2015				WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY			

1 BACKFILL REQUIREMENTS
C-5.1 NOT TO SCALE



- MECHANICAL JOINT ANCHORING REQUIREMENTS (N.T.S.)**

MECHANICAL JOINT ANCHORING REQUIREMENTS				M-3			
DATE	DESIGN	REVISION	BY	DATE	DESIGN	REVISION	BY
2015	JAC		JAC	2015	JAC		JAC
DESIGNED BY: JAC CHECKED BY: JAC DATE: 2015				WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY			

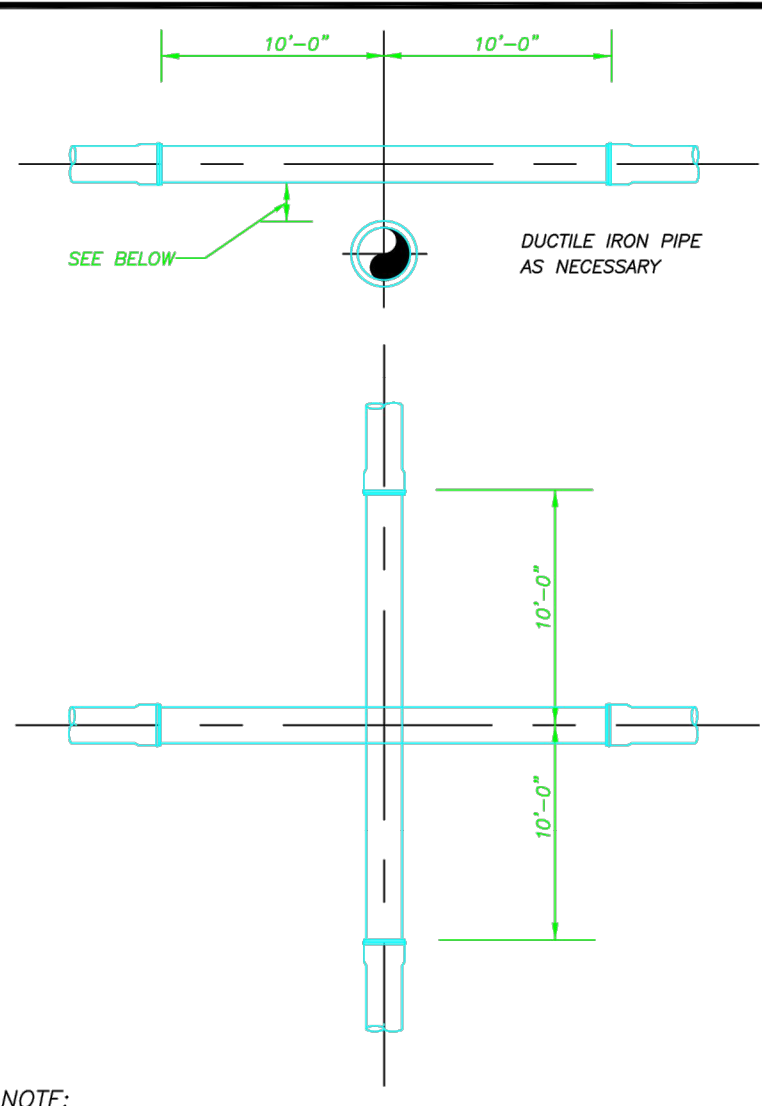
2 MECHANICAL JOINT ANCHORING
C-5.1 NOT TO SCALE

MECHANICAL JOINT RESTRAINT NOTES

- NOTES:**
- 1) THE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING THE REQUIRED LENGTH TO BE RESTRAINED BASED UPON THE PROJECT AREA SOIL TYPE, PROPOSED TRENCH CONDITIONS AND DEPTH, PRESSURE OF 150 PSI, AND A SAFETY FACTOR OF TWO (2). A DRAWING OF EVERY TYPICAL FITTING ASSEMBLY WITHIN THE PROJECT SHALL BE SUBMITTED WHICH REFLECTS THE RESTRAINT DETAIL PROPOSED FOR USE, INCLUDING LENGTH OF PIPE RESTRAINT.
 - 2) REQUIRED RESTRAINED LENGTH CALCULATIONS SHALL ALSO CONSIDER THE CONDITIONS OF OTHER BENDS OR FITTINGS THAT WILL BE LOCATED WITHIN THE CALCULATED RESTRAINED LENGTH (L) OF THE BEND OR FITTING IN QUESTION.
 - 3) EVERY JOINT OR FITTING MUST BE RESTRAINED ON BOTH SIDES OF THE BEND AND FOR TEES ALONG THE BEND ALSO.

MECHANICAL JOINT RESTRAINT				M-4			
DATE	DESIGN	REVISION	BY	DATE	DESIGN	REVISION	BY
2015	JAC		JAC	2015	JAC		JAC
DESIGNED BY: JAC CHECKED BY: JAC DATE: 2015				WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY			

3 MECHANICAL JOINT RESTRAINT
C-5.1 NOT TO SCALE

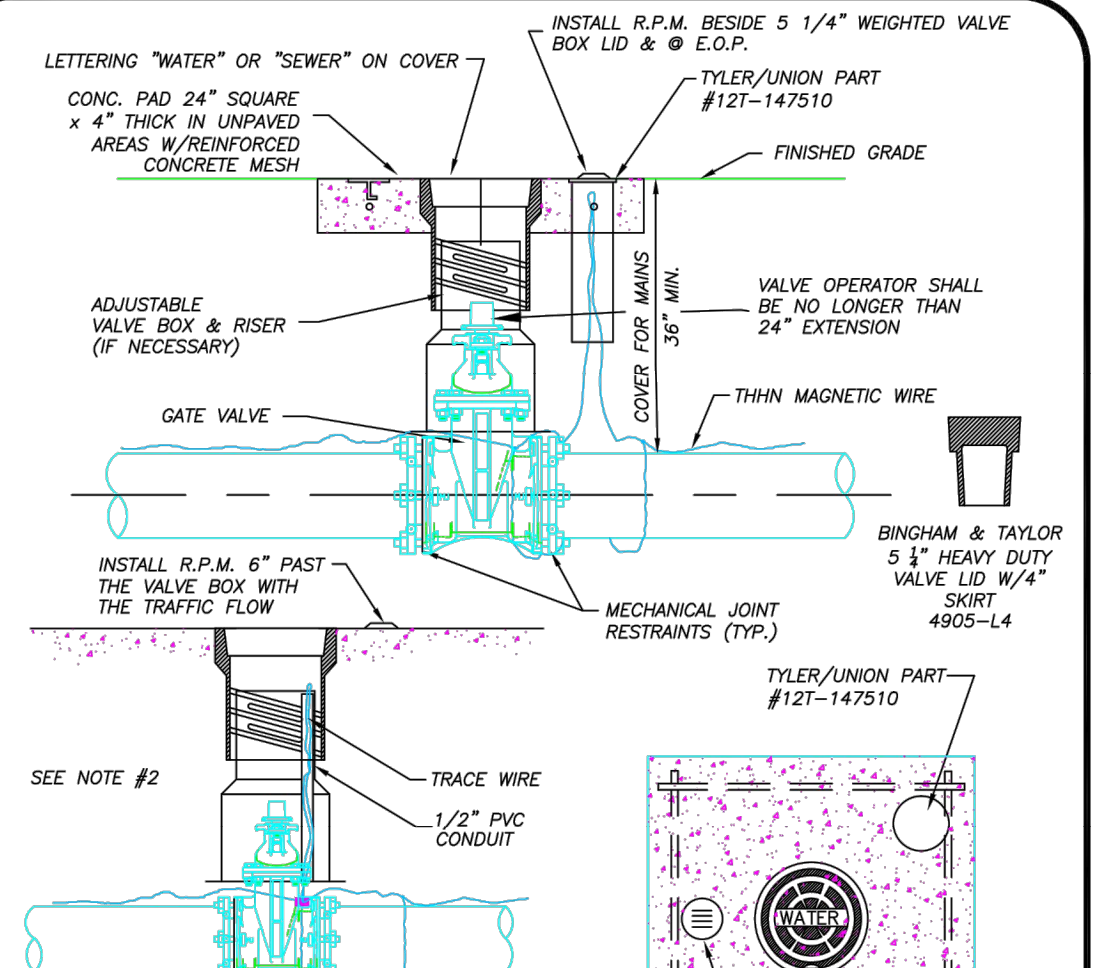


NOTE:
PLEASE REFER TO FORT PIERCE UTILITIES STANDARD SEPARATION STATEMENT FOR WATER / SEWER CONFLICTS.

UTILITY CROSSING DETAIL (N.T.S.)

UTILITY CROSSING DETAIL				M-5			
DATE	DESIGN	REVISION	BY	DATE	DESIGN	REVISION	BY
2015	JAC		JAC	2015	JAC		JAC
DESIGNED BY: JAC CHECKED BY: JAC DATE: 2015				WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY			

4 UTILITY CROSSING
C-5.1 NOT TO SCALE



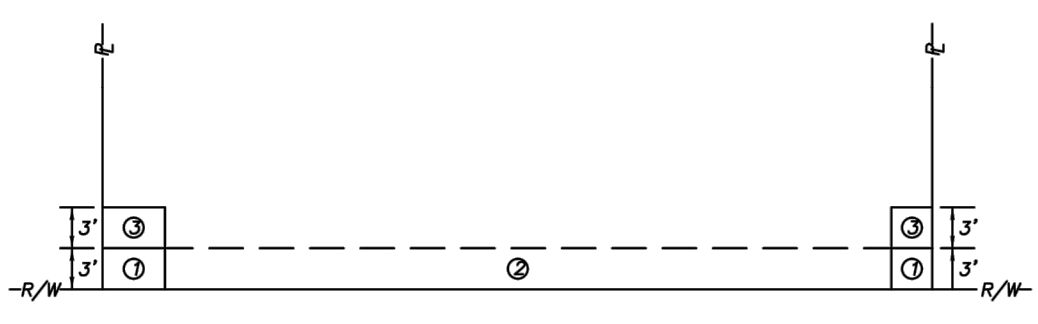
- NOTES:**
1. BLUE REFLECTIVE PAVEMENT MARKER (RPM) FOR WATER VALVES AND GREEN RPM FOR WASTEWATER VALVES PAVEMENT EDGE.
 2. FOR WATER AND WASTEWATER VALVES INSTALLED IN PAVED AREAS, ELIMINATE CONCRETE PAD AND CHOOSE THE MAGNETIC WIRE IN 1/2" PVC INSIDE THE VALVE BOX SEVEN INCHES BELOW GRADE.
 3. DIP MAY BE USED AS RISERS ONLY IF A VALVE BOX IS NOT MANUFACTURED FOR THAT DEPTH. NO PVC RISERS SHALL BE USED IN ANY CIRCUMSTANCES.

TYPICAL GATE VALVE & VALVE BOX DETAIL				M-6			
DATE	DESIGN	REVISION	BY	DATE	DESIGN	REVISION	BY
2015	JAC		JAC	2015	JAC		JAC
DESIGNED BY: JAC CHECKED BY: JAC DATE: 2015				WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY			

5 TYPICAL GATE VALVE
C-5.1 NOT TO SCALE

GENERAL POLICY

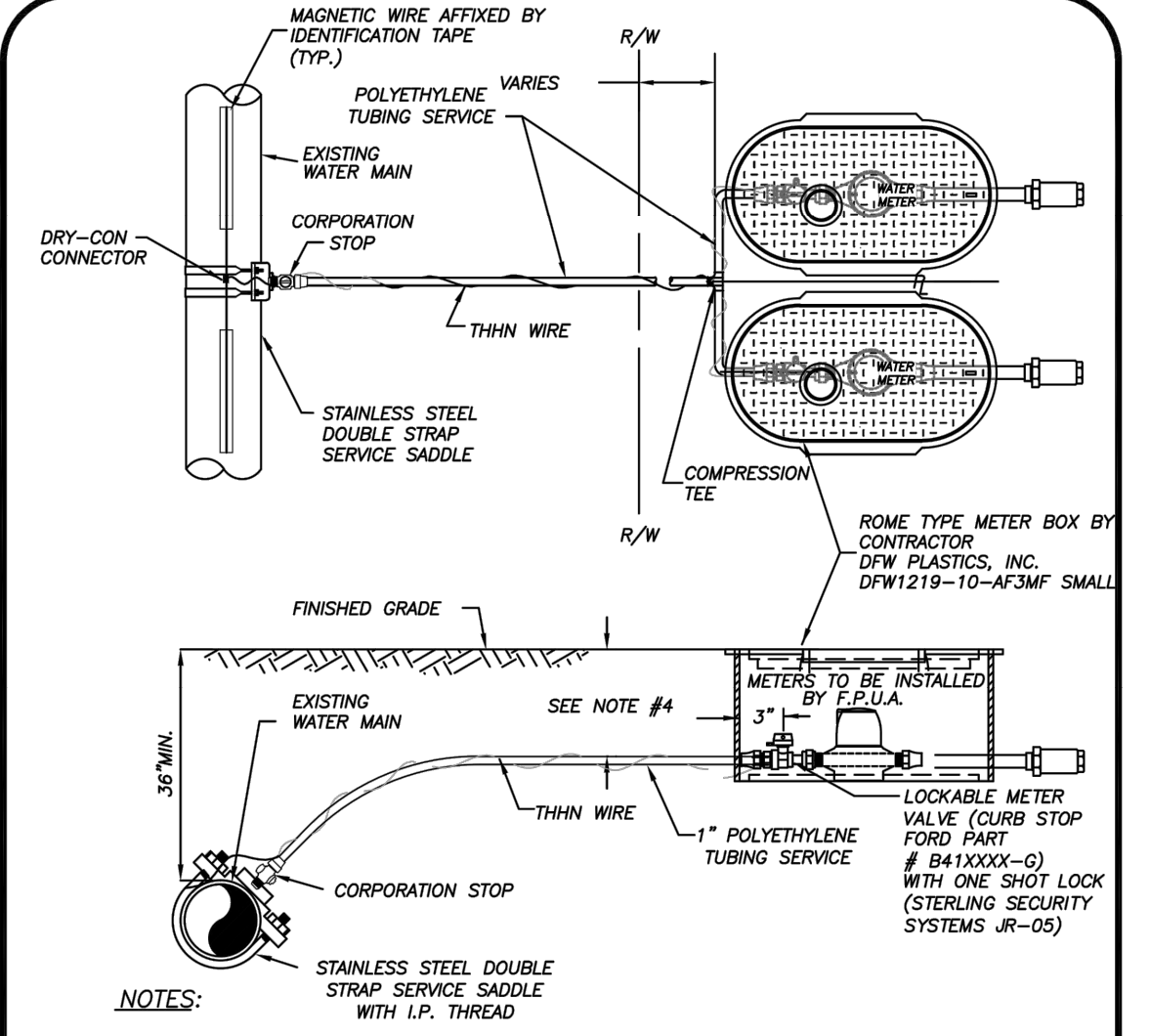
WHERE COST JUSTIFIED AND OPERATIONALLY FEASIBLE, IT IS THE GENERAL POLICY OF THE F.P.U.A. TO PROVIDE WATER, ELECTRIC, SEWER AND GAS SERVICE FROM THE STREET SIDE OF A PIECE OF PROPERTY, DEPENDING ON FACTORS SUCH AS LOCATION OF EXISTING SUPPLY SOURCE FACILITIES, NEAR OR SIDE LOT LINE SUPPLY MAY BE AUTHORIZED, BUT ONLY WITH PRIOR APPROVAL FROM THE F.P.U.A.



- NOTES:**
1. THE PREFERRED POINT OF CONNECTION TO THE F.P.U.A. WATER METER, AREA (A), SHALL BE LOCATED IN THE CORNER OF THE PROPERTY, SELECTED BY THE F.P.U.A. AS THE BEST LOCATION FOR THE WATER METER. EVERY EFFORT WILL BE MADE TO SELECT THE CORNER WHERE TWO WATER SERVICES AND METERS CAN BE CONNECTED.
 2. IF PHYSICAL BARRIERS OR OTHER OBSTACLES PREVENT THE CONNECTION OF THE BUILDING SERVICE LINE TO THE F.P.U.A. WATER SERVICE, WITHIN AREA (A), THE F.P.U.A. ENGINEERING DEPARTMENT MAY AUTHORIZE THE CONNECTION ALONG THE PORTION OF THE R/W LINE MARKED AREA (B), OR ALONG THE PROPERTY LINES MARKED AREA (C).
 3. HORIZONTAL SEPARATION OF WATER AND WASTEWATER SERVICES SHOULD BE A MINIMUM OF 6 FEET AND PREFERABLY TO FEET.
 4. ALL METERS SHALL BE INSTALLED IN AN UNRESTRICTED AREA FOLLOWING EASE OF ACCESS AND PROVIDING ADEQUATE PROTECTION.
 5. THE F.P.U.A. SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE WATER LATERAL WITHIN THE EASEMENT OR RIGHT-OF-WAY, UP TO THE POINT OF CONNECTION.

WATER METER PLACEMENT POLICY				W-1			
DATE	DESIGN	REVISION	BY	DATE	DESIGN	REVISION	BY
2015	JAC		JAC	2015	JAC		JAC
DESIGNED BY: JAC CHECKED BY: JAC DATE: 2015				WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY			

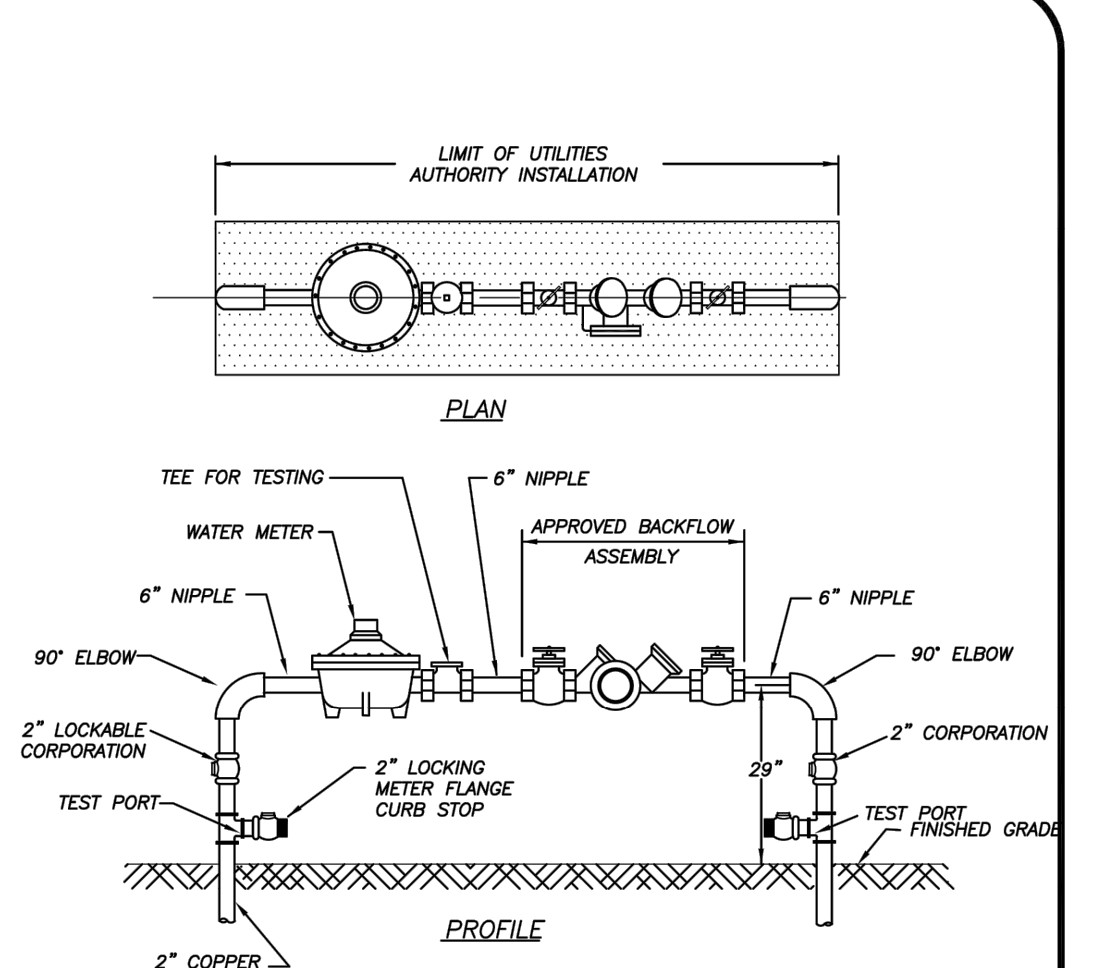
6 WATER METER
C-5.1 NOT TO SCALE



- NOTES:**
1. BLUE 10 GAUGE THIN WIRE SHALL BE ATTACHED TO THE SERVICE LINE.
 2. WHERE SERVICES UNDER PAVEMENT ARE REQUIRED, THE POLYETHYLENE TUBING SHALL BE INSTALLED WITHIN SCHEDULE 40 PVC CASING PIPE.
 3. 1" & 3/4" METER SIZES SHALL REQUIRE A LOCKABLE METER VALVE (CURB STOP).
 4. MINIMUM COVER IN UNPAVED AREAS SHALL BE 30", IN PAVED AREAS OR PLANNED ROADWAYS OR SVALES MIN. COVER SHALL BE 36".

TYPICAL DOUBLE WATER SERVICE CONNECTION				W-3			
DATE	DESIGN	REVISION	BY	DATE	DESIGN	REVISION	BY
2015	JAC		JAC	2015	JAC		JAC
DESIGNED BY: JAC CHECKED BY: JAC DATE: 2015				WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY			

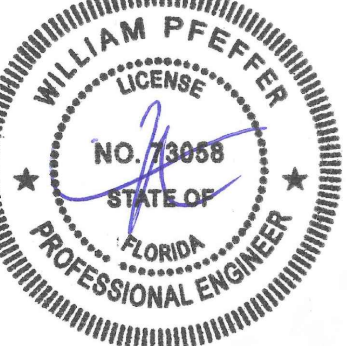
7 DOUBLE WATER SERVICE CONNECTION
C-5.1 NOT TO SCALE



- NOTES:**
1. LANDSCAPING REQUIRED PER CITY OF FORT PIERCE OR ST. LUCIE COUNTY ORDINANCE, NO PLANTS OR TREES WITHIN 18" AROUND METER OR BACKFLOW. NO SLOPER JOINTS.
 2. ASSEMBLY TO BE 29" FROM FINISH GRADE TO CENTERLINE OF THE FLANGED 90° BEND.

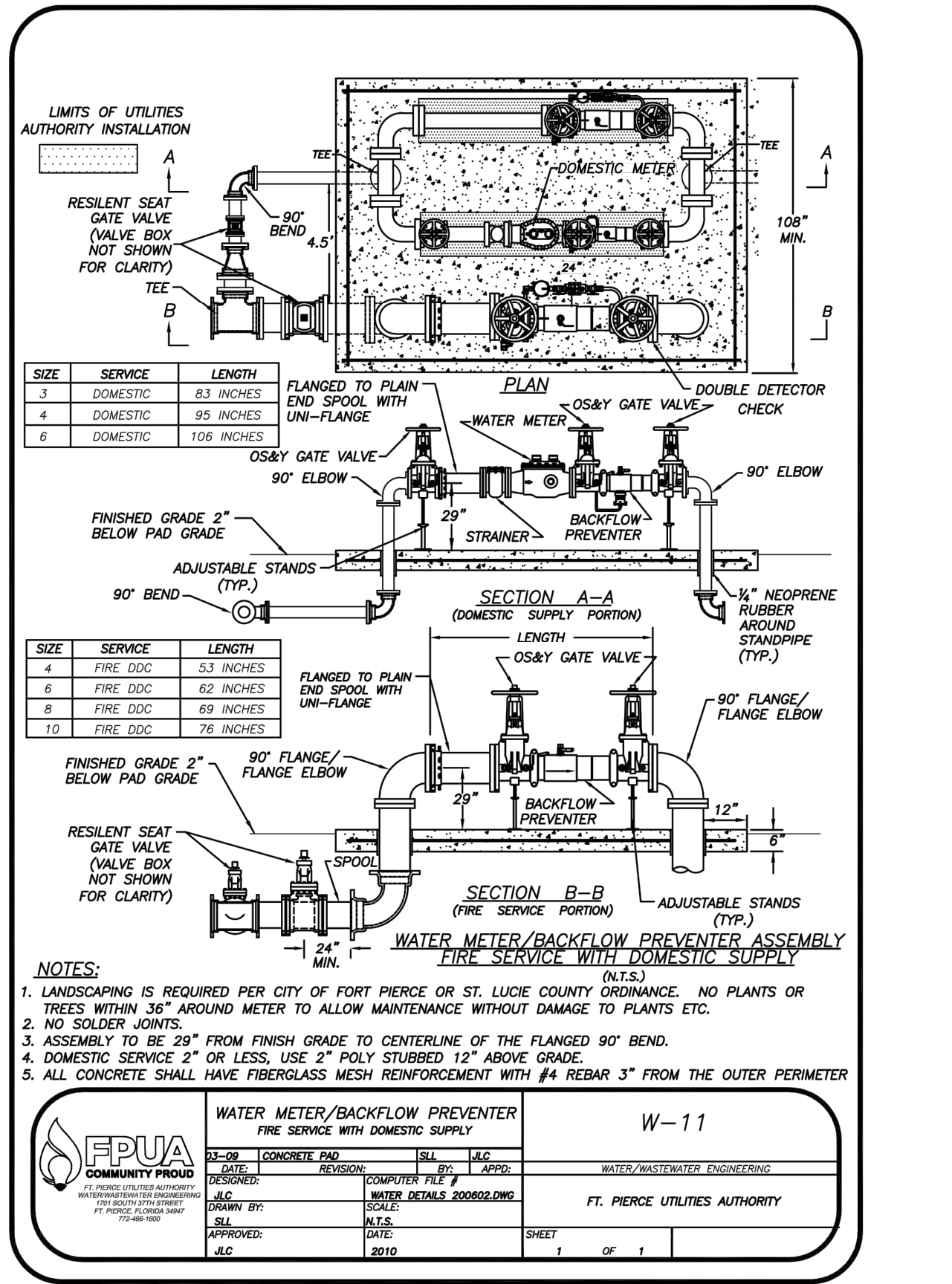
WATER METER/BACKFLOW PREVENTER ASSEMBLY-DOMESTIC SERVICES CENTER SIZE 2\"/> <th colspan="4">W-8</th>				W-8			
DATE	DESIGN	REVISION	BY	DATE	DESIGN	REVISION	BY
2015	JAC		JAC	2015	JAC		JAC
DESIGNED BY: JAC CHECKED BY: JAC DATE: 2015				WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY			

8 WATER METER / BACKFLOW PREVENTER
C-5.1 NOT TO SCALE

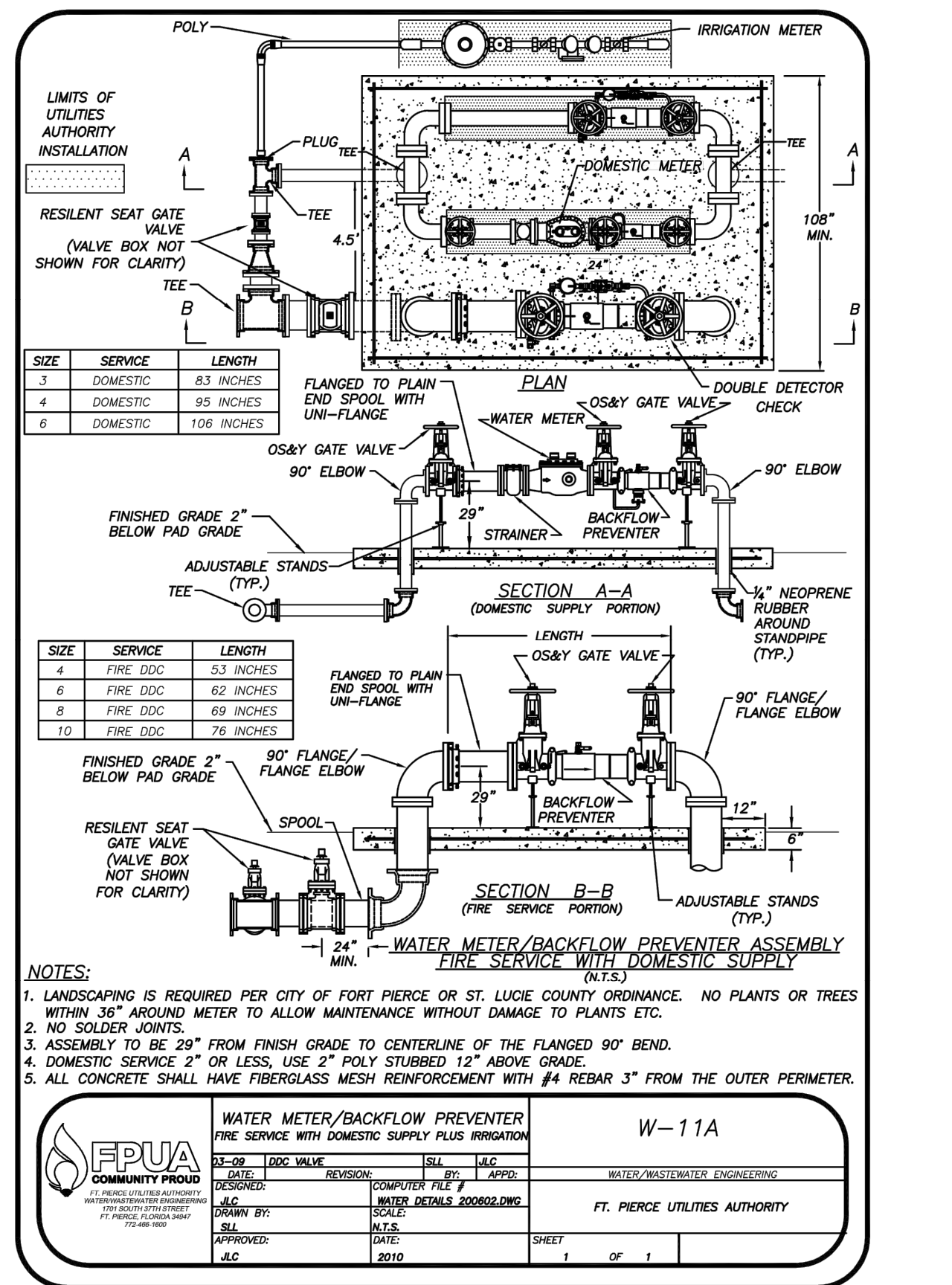


PLAN STATUS	

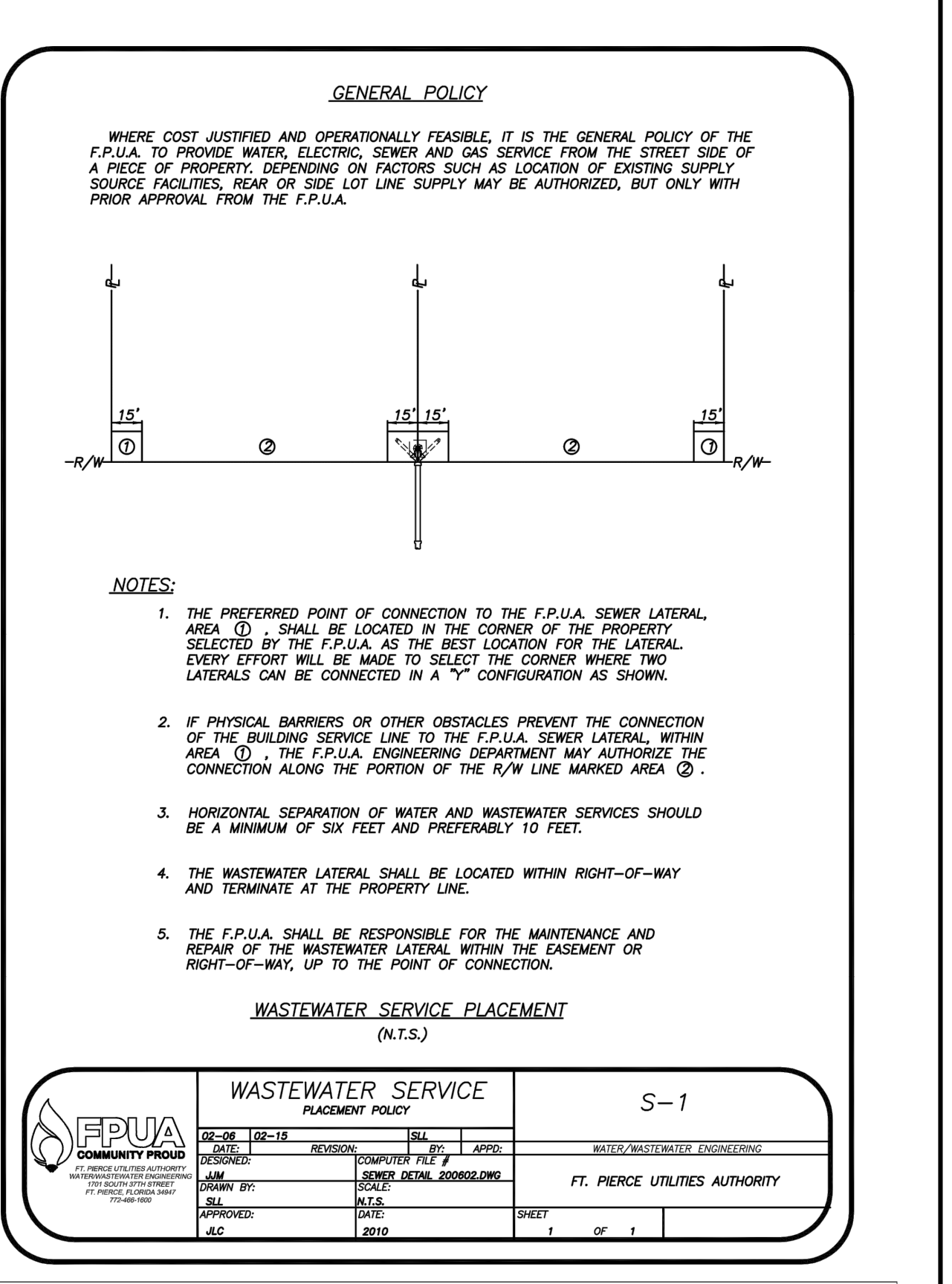
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JP	DESIGN
JP	DRAWN
KM	CHKD
JOB No. 011027-01-001	
DATE: 5/10/2022	
FILE: 11-011027-01-001-UTD.dwg	



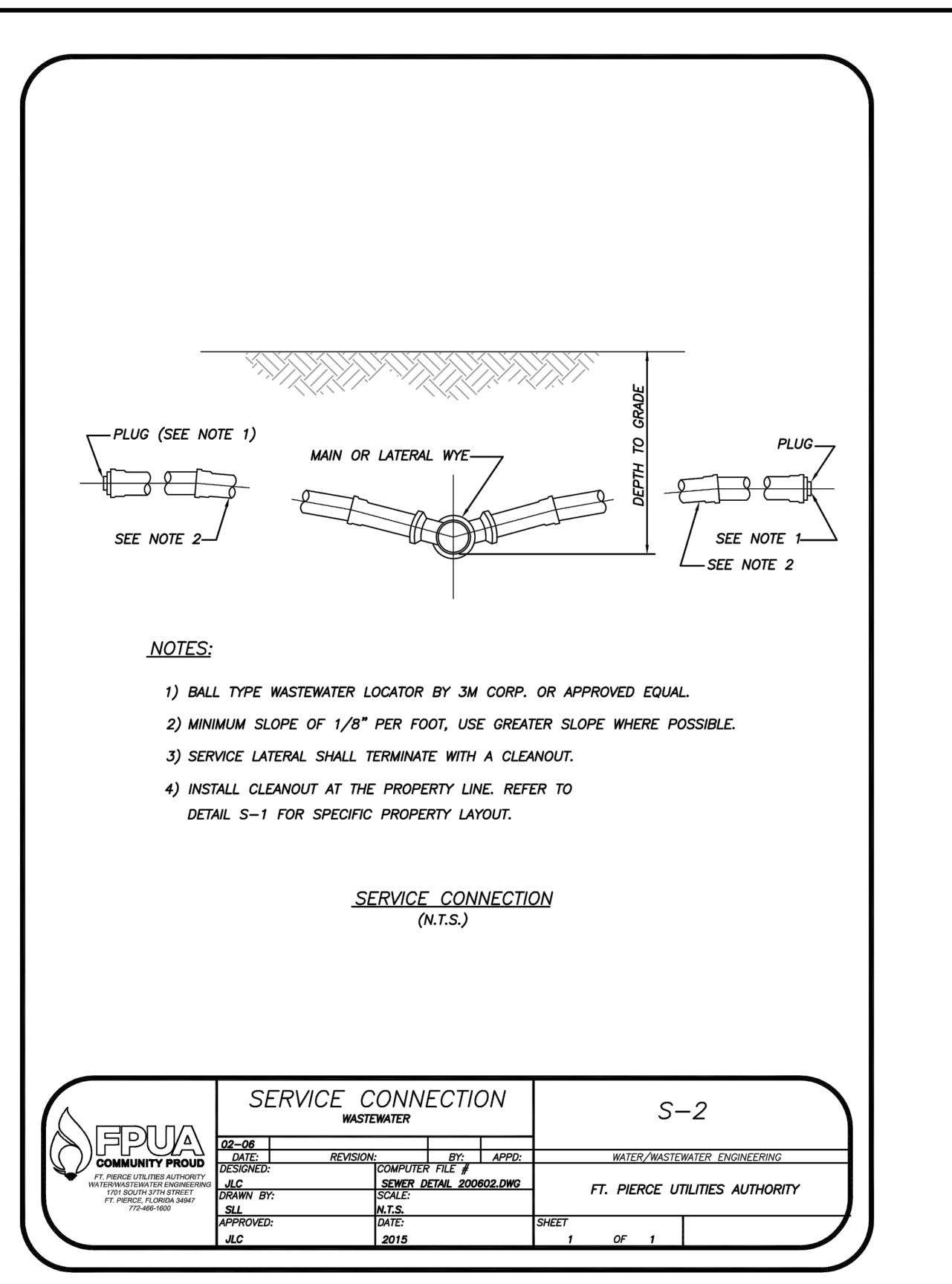
1 WATER METER / BACKFLOW PREVENTER
C-5-2 NOT TO SCALE



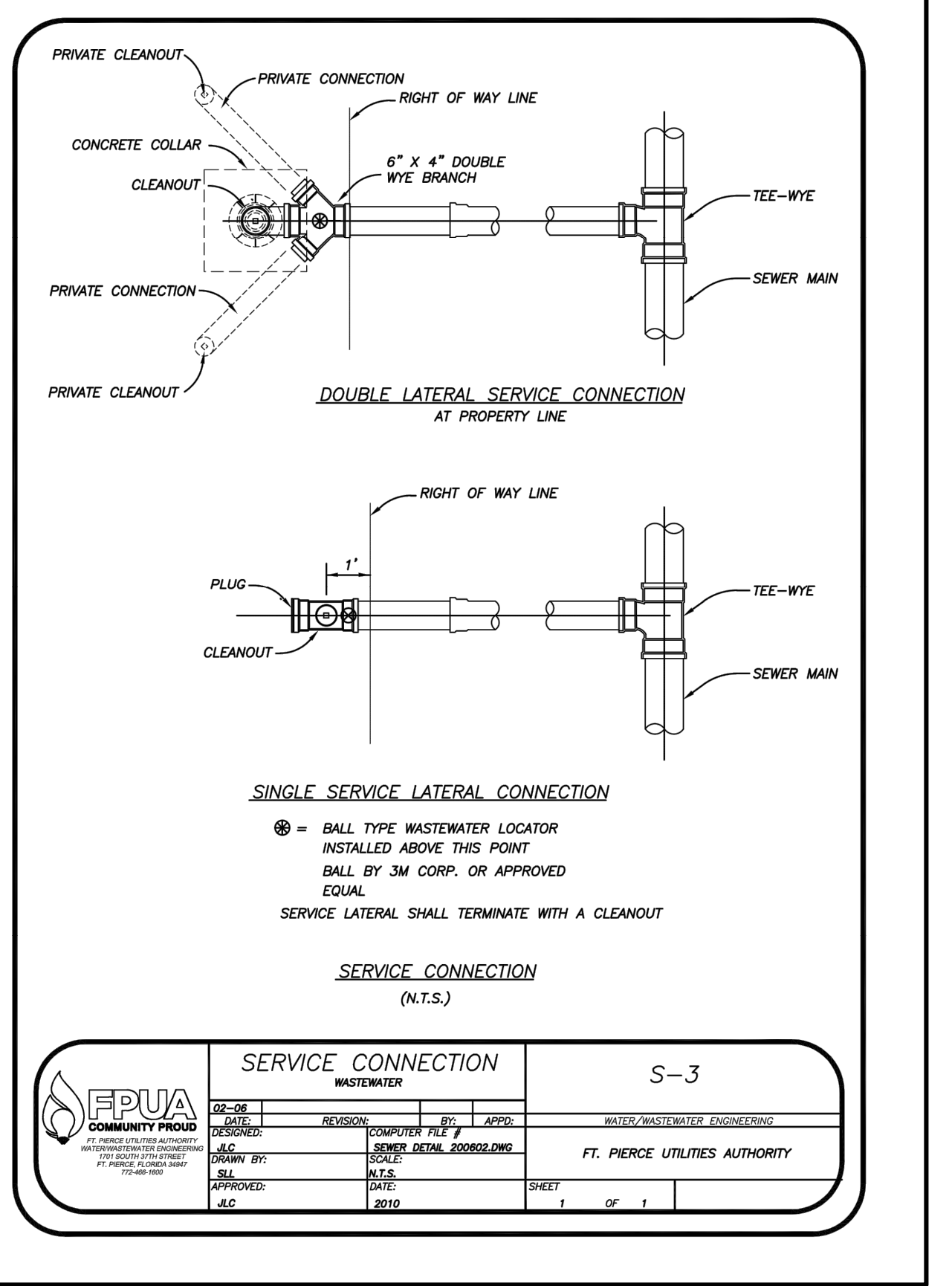
2 WATER METER / BACKFLOW PREVENTER
C-5-2 NOT TO SCALE



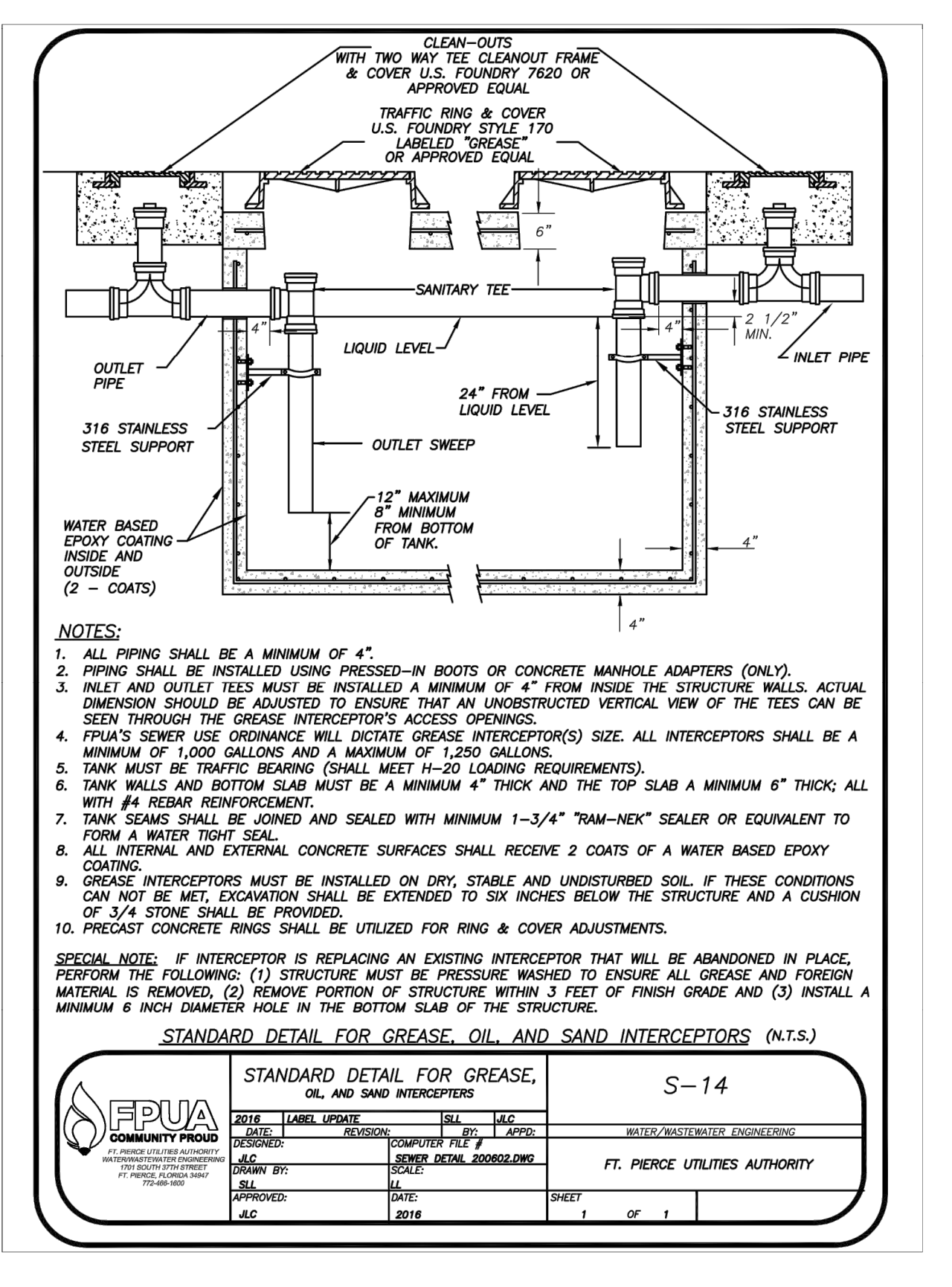
3 WASTEWATER SERVICE
C-5-2 NOT TO SCALE



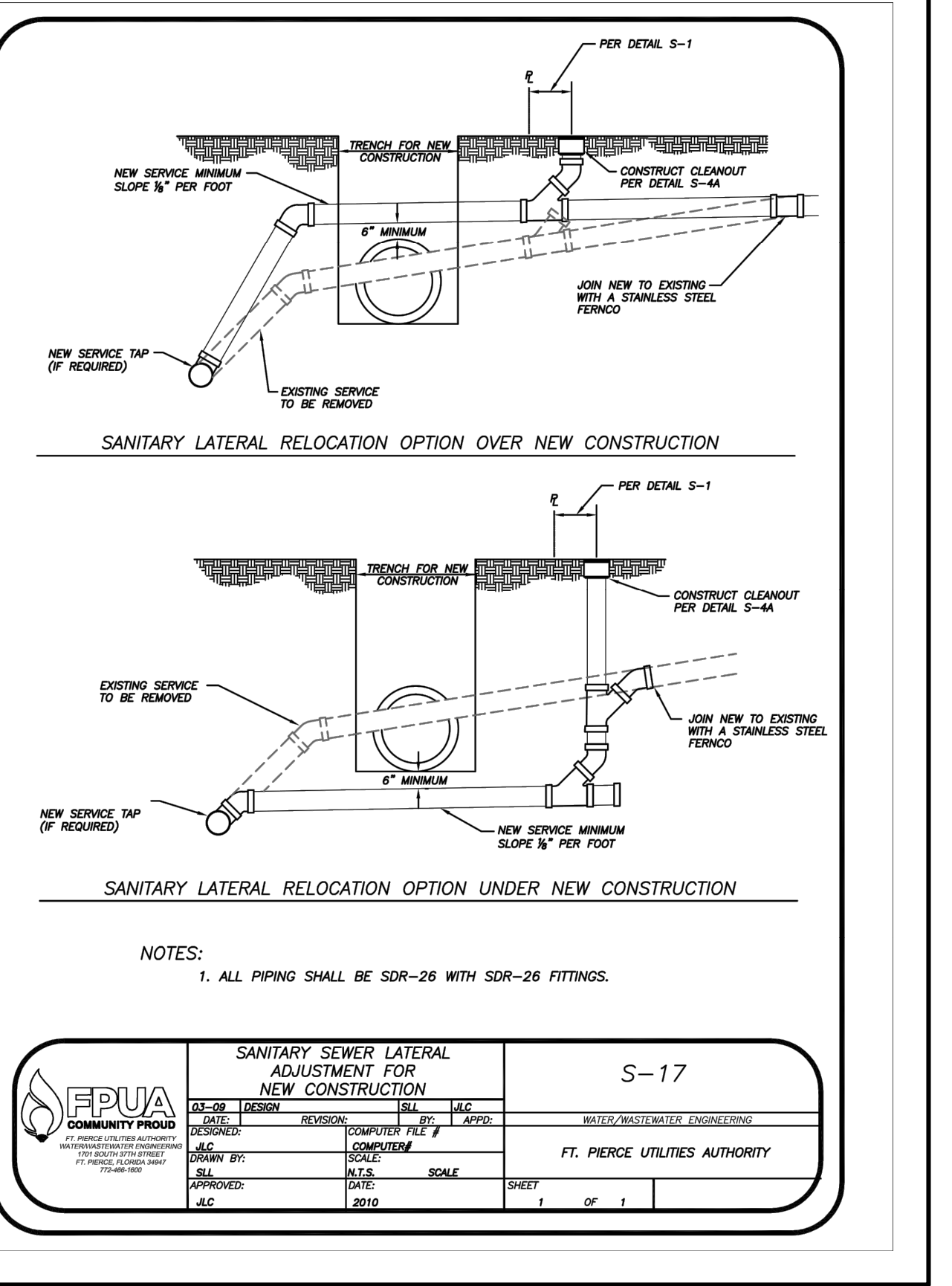
4 SERVICE CONNECTION
C-5-2 NOT TO SCALE



5 SERVICE CONNECTION
C-5-2 NOT TO SCALE



6 GREASE, OIL AND SAND INTERCEPTOR
C-5-2 NOT TO SCALE



7 SANITARY SEWER LATERAL
C-5-2 NOT TO SCALE

PRODUCT INFORMATION

1,500 GALLON OIL/WATER SEPARATOR

TANK = 12,300 #
LID = 5,600 #
DESIGN MAY VARY

SPECIFICATIONS

MEET ASTM C 933

RATING: A-16 (H-20), ASSUME 4" MAX EARTH COVER WITH 3" WATER TABLE BELOW GRADE

CONCRETE: 5,000 PSI @ 28 DAYS

STEEL REINFORCEMENT: MEETS ASTM A 615, PLACEMENT AS REQUIRED BY DESIGN

INLET & OUTLET BOOT MEETS ASTM C 923, ACCEPTS 4" & 6" PVC

BUTYL SEALANT: MEETS ASTM C 900, USED ON JOINTS

ACCESS OPENING SUITABLE FOR 24" RISER AND/OR RING & COVER

INTERNAL PIPING BY OTHERS PER MUNICIPAL SPECS

CALL FOR ADDITIONAL SPECS

OIL WATER SEPARATOR

CUP-OWS

1,500 GALLON CAPACITY

SCALE: NONE

CSP-CTJ

TIE JOINT W/REBAR

NOTE: THIS DETAIL APPLIES TO THE FIRST SCORE LINE IN FROM THE EDGE OF TRUCK SLAB OR DRIVE, ALONG THE ENDS AND BOTH SIDES OF DRIVE.

SCALE: NONE

CSP-CSJ

SCORE JOINT DETAIL

SCALE: NONE

CSP-CCJ

CONSTRUCTION JOINT DETAIL

SCALE: NONE

CSP-TSB

TRAFFIC STOP & BAR

SCALE: NONE

CSP-STP

STOP SIGN

SCALE: NONE

CSP-CPD

GUARD POST (BOLLARD)

SCALE: NONE

CSP-HCL

HANDICAP SYMBOL

SCALE: NONE

CSP-TCW

CROSSWALK STRIPING

SCALE: NONE

CSP-TAR

PAVEMENT TRAFFIC ARROWS

SCALE: NONE

CSP-HCS2

HANDICAP WALL SIGN

SCALE: NONE

CSP-HCS

HANDICAP POST SIGN

SCALE: NONE

CUP-WCW

CAR WASH WATER CONNECTION CONFIGURATION

SCALE: NONE

NOTES:
1. ALL EQUIPMENT SHALL BE INSTALLED AS PER LOCAL CODES.
2. THE PUBLIC MAIN AND THE DOMESTIC USES WITHIN THE BUILDING MUST BE PROTECTED FROM THE CAR WASH EQUIPMENT BY A REDUCED PRESSURE ZONE (RPZ) BACKFLOW ASSEMBLY.
3. THE WATER SYSTEM SHOULD BE CONFIGURED IN AN EFFORT TO LIMIT HEADLOSSES TO THE CAR WASH EQUIPMENT. AN RPZ BACKFLOW ASSEMBLY SHOULD BE INSTALLED ON THE CAR WASH EQUIPMENT AND A SEPARATE DOUBLE CHECK BACKFLOW ASSEMBLY SHOULD BE INSTALLED ON THE DOMESTIC USES.
4. WHERE ALLOWED BY CODE THE FOLLOWING BACKFLOW ASSEMBLIES MAY BE USED:
WATTS SERIES 302 DOUBLE CHECK VALVE ASSEMBLY (SIZE: 1/2" - 2")
WATTS SERIES 303 REDUCED PRESSURE ZONE ASSEMBLY (SIZE: 1/4" - 3")
5. REFER TO ARCHITECTURAL PLANS FOR BUILDING CONFIGURATION AND REPORT ANY DISCREPANCIES TO ENGINEER.

CSP-CAP

COMPRESSED AIR PIPING LOOP

SCALE: NONE

CSP-PTR

PAVEMENT TRANSITION

SCALE: NONE

CSP-PSC

PAVEMENT SECTION (CONCRETE)

SCALE: NONE

CSP-HCR

HANDICAP CURB RAMP (NON FLARE)

SCALE: NONE

CSP-CRC

ROLL CURB & GUTTER

SCALE: NONE

CSP-CCC

CONCRETE CURB & GUTTER

SCALE: NONE

CSP-DMP2

DOUBLE DUMPSTER PAD

SCALE: NONE

CSP-DMP

DUMPSTER PAD PLAN

SCALE: NONE

CSP-DSW

DUMPSTER SCREENING WALL - SPLIT FACE CMU

SCALE: NONE

CSP-DGT

DUMPSTER GATE

SCALE: NONE

CUP-BPS

BUG PREP STATION

SCALE: NONE

CSP-DUMPSTER

DUMPSTER DETAILS

SCALE: NONE

CLP-RRM

RIVER ROCK MULCH

SCALE: NONE

CUP-PCS

CONDUIT SLEEVE

SCALE: NONE

CSP-FSC

SCREENING FENCE (3 RAIL)

SCALE: NONE

CSP-CSA2

8" CONCRETE PAD W/APRON

SCALE: NONE

CSP-DGT

DUMPSTER GATE

SCALE: NONE

CSP-CSA2

8" CONCRETE PAD W/APRON

SCALE: NONE

CUP-PCS

CONDUIT SLEEVE

SCALE: NONE

CSP-CCC

CONCRETE CURB & GUTTER

SCALE: NONE

CSP-CCC

CONCRETE CURB & GUTTER

SCALE: NONE

Bowman

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Suite 300
Fort Lauderdale, FL 33316
Phone: (954) 314-9498
www.bowman.com
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ST. LUCIE COUNTY

STANDARD DETAILS

CALIBER CAR WASH

US HIGHWAY 1 AND SUNNY LANE
FORT PIERCE, FL 34946

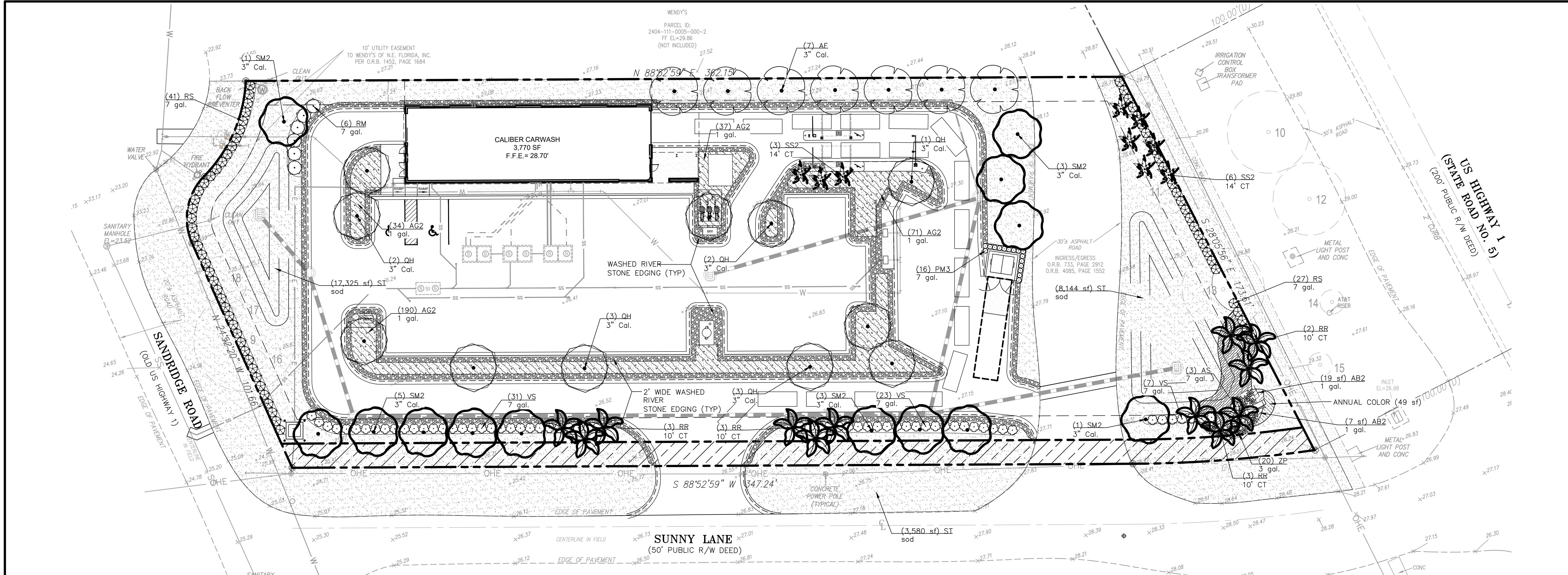
011027-01-001
BOWMAN PROJECT NUMBER

PLAN STATUS

DATE	DESCRIPTION
JP	DESIGN
JP	DRAWN
KM	CHKD

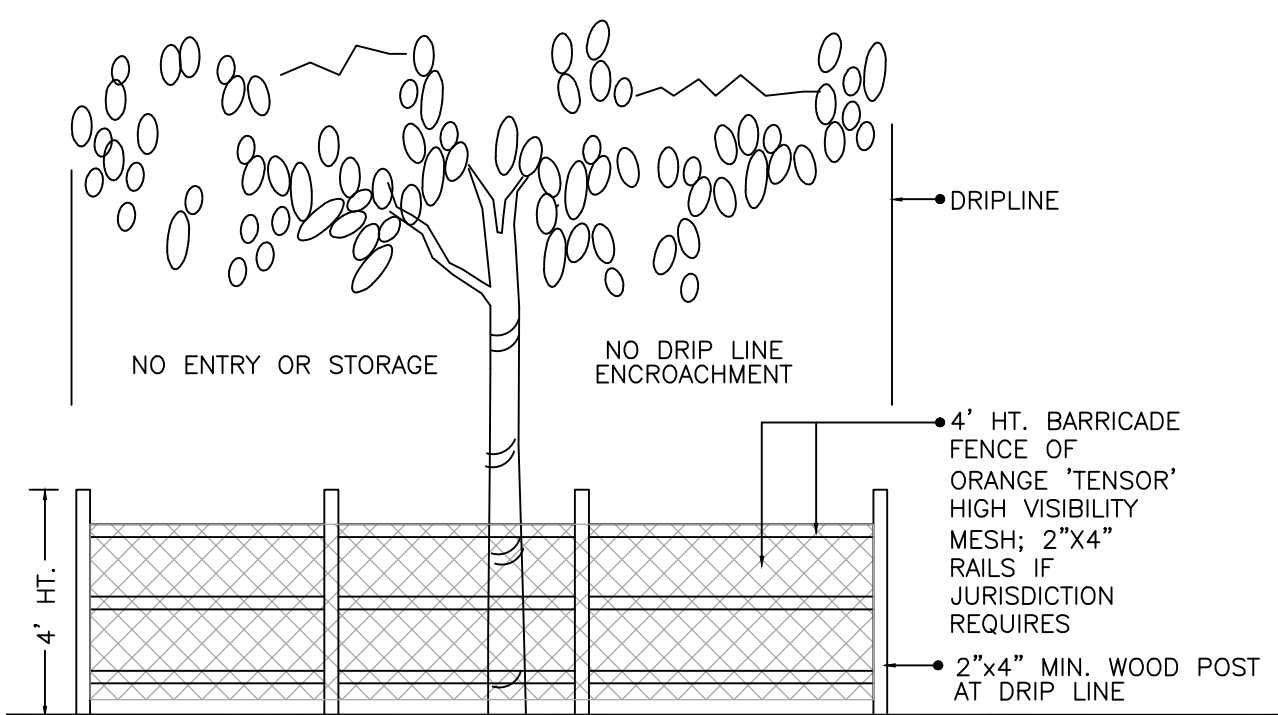
JOB NO: 011027-01-001
DATE: 5/10/2022
FILE: 09-011027-01-001-DET.dwg

C-6.0 SHEET



TREE NUMBER	SIZE	TREE TYPE	ACTION TAKEN
1	16" DBH	HW	REMOVED - UTILITY CONFLICT
2	12' CT	PALM	REMOVED
3	12' CT	PALM	REMOVED
4	12' CT	PALM	REMOVED
5	26" DBH	HW	REMOVED - UTILITY CONFLICT
6	24" DBH	HW	REMOVED
7	21" DBH	HW	REMOVED - UTILITY CONFLICT
8	15" DBH	HW	REMOVED
9	21" DBH	HW	SAVED
10	17" DBH	HW	SAVED
11	10' CT	PALM	SAVED
12	15" DBH	HW	SAVED
13	17" DBH	HW	SAVED
14	10' CT	PALM	SAVED
15	10' CT	PALM	SAVED
16	8' CT	PALM	SAVED
17	8' CT	PALM	SAVED
18	10" DBH	HW	SAVED

*TREES BELOW POWER LINES HAVE NOT BEEN INCLUDED IN THE REPLACEMENT CALCULATIONS



TREE PRESERVATION BARRICADE FENCING DETAIL

NT8

REQUIRED LANDSCAPE BUFFER YARD TABLE

10' LANDSCAPE BUFFER AGAINST ALL R.O.W.
 1 TREE PER EVERY 300 SQUARE FEET OF BUFFER AREA
 3' CONTINUOUS HEDGE ENTIRE LENGTH OF ABUTTING R.O.W.
EAST PROPERTY ROW: 1,637 S.F. LANDSCAPE BUFFER AREA - 5.46 OR 5 TREES REQUIRED - 5 TREES PROVIDED
SOUTH PROPERTY ROW: 3,528 S.F. LANDSCAPE BUFFER AREA - 11.77 OR 12 TREES REQUIRED - 12 TREES PROVIDED
WEST PROPERTY ROW: 820 S.F. LANDSCAPE BUFFER AREA - 2.73 OR 3 TREES REQUIRED - EXISTING TREES MEET REQUIREMENT
ADJACENT PROPERTY OWNER: 10' LANDSCAPE BUFFER AGAINST VEHICULAR USE AREA
 1 TREE PER EVERY 200 SQUARE FEET OF LANDSCAPE BUFFER AREA - 1,349/200 = 6.75 OR 7 TREES REQUIRED - 7 TREES PROVIDED

REQUIRED PARKING LOT LANDSCAPE TABLE

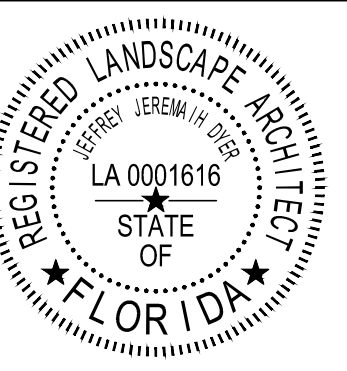
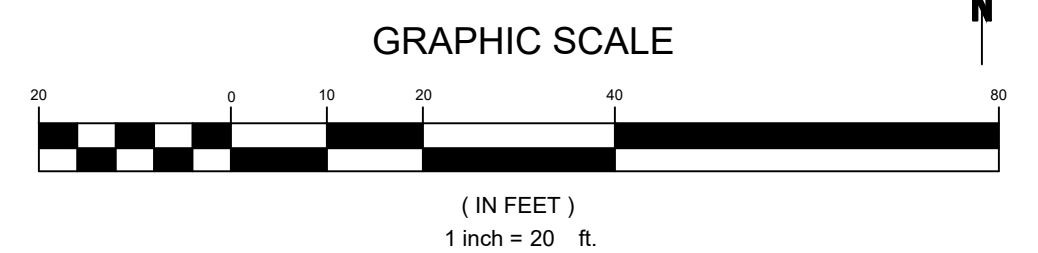
TOTAL PARKING / VEHICULAR USE AREA IS 24,570 S.F.
 1 SQUARE FOOT OF LANDSCAPE REQUIRED FOR EVERY 15 SQUARE FEET OF PARKING / VEHICULAR USE AREA - 24,570/15 = 1,638 SQUARE FEET OF INTERIOR LANDSCAPE AREA REQUIRED
5,167 S.F. OF INTERIOR PARKING LANDSCAPE AREA PROVIDED (21%)
 1 TREE REQUIRED FOR EVERY 100 S.F. OF REQUIRED INTERIOR LANDSCAPE AREA
 1,638 / 100 = 16.38 OR 16 TREES REQUIRED
REQUIREMENT MET - SEE TREE PLANTING SCHEDULE

TREE MITIGATION CALCULATIONS:

39" OF REMOVED TREES 14" AND OVER AND 3 PALMS WITH 10' CT PROVIDED - 4 - 3" CAL. TREES (12" OF REPLACEMENT)
 3 10' CT PALMS
 27" OF TREE MITIGATION REMAINING

PLANT SCHEDULE

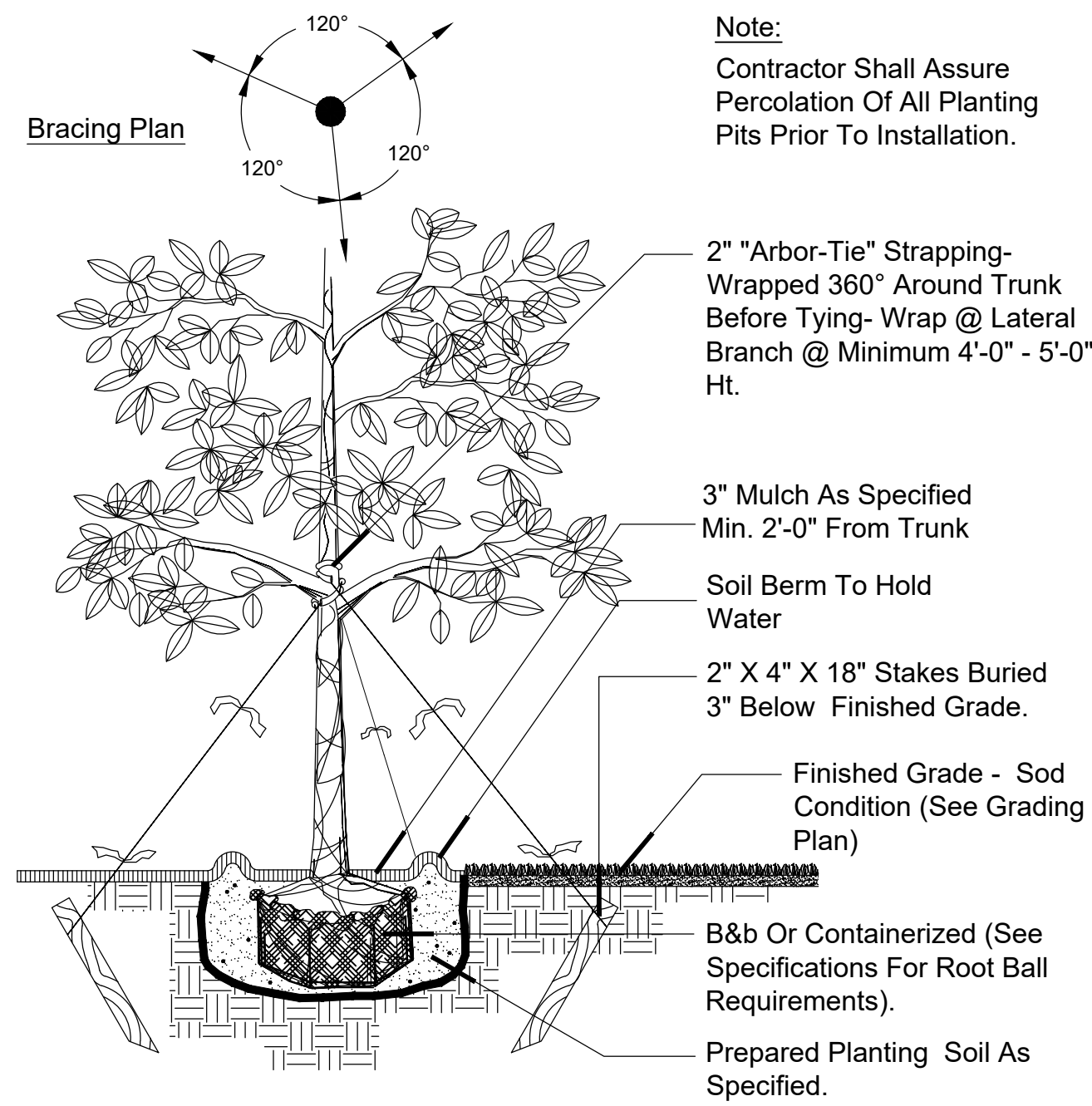
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	AF	Acer rubrum Florida Flame / Florida Flame Red Maple	3" Cal.	8&8	7	12'	MINIMUM HT. AT TIME OF PLANTING
	QH	Quercus virginiana 'QV1A' / Highrise Live Oak	3" Cal.	8&8	11	12'	MINIMUM HT. AT TIME OF PLANTING
	SM2	Swietenia mahagoni / West Indian Mahogany	3" Cal.	8&8	13	12'	MINIMUM HT. AT TIME OF PLANTING
	RR	Roystonia regia / Royal Palm	10' CT	Field Grown	12		
	SS2	Sabal palmetto / Cabbage Palmetto	14' CT	Field Grown	9		
	AS	Allamanda schottii / Bush Allamanda	7 gal.	Pot	3	18"	MIN. HT.
	PM3	Podocarpus macrophyllus 'Maki' / Maki Podocarpus	7 gal.	Pot	16	4'	HT. MIN.
	RS	Rhaphiolepis indica 'Snow White' / Snow White Indian Hawthorn	7 gal.	Pot	68		MIN. 24" HT.
	RM	Rhaphiolepis x 'Mortic' TM / Majestic Beauty Indian Hawthorn	7 gal.	Pot	6		
	VS	Viburnum suspensum / Sandankwa Viburnum	7 gal.	Pot	61		MIN. 24" HT.
	ZP	Zamia pumila / Coontie Cycad	3 gal.	Pot	20		
	MG3	Muhlenbergia capillaris 'Gulf Coast' / Gulf Coast Pink Muhly Grass	3 gal.	Pot	30' o.c.	84	
	AB2	Agapanthus africanus 'Blue' / Blue African Lily	1 gal.	Pot	36' o.c.	26 sf	
	AG2	Arachis glabrata / Perennial Peanut	1 gal.	Pot	36' o.c.	339	
	ST	Stenotaphrum secundatum 'ProVista' / ProVista St. Augustine Grass	sod		29,063 sf		



PLAN STATUS

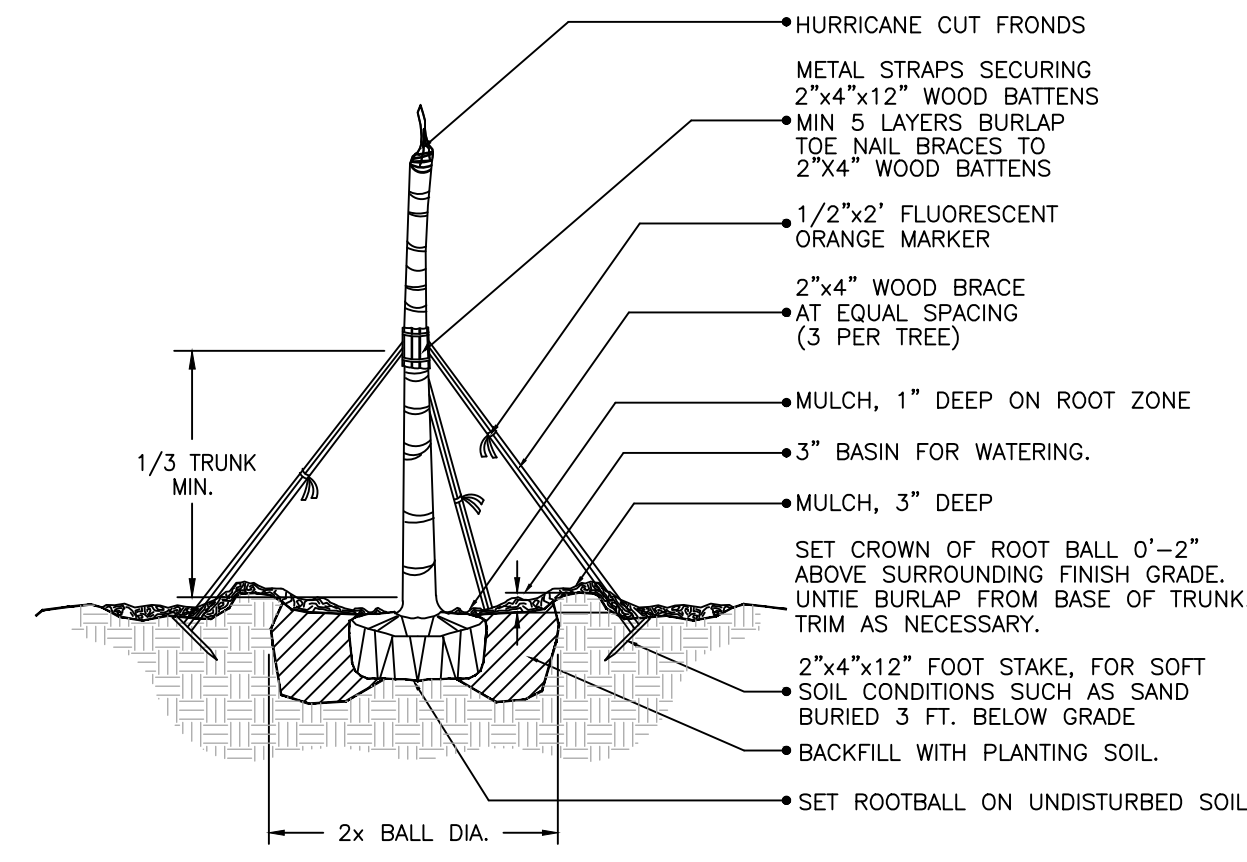
DATE	DESCRIPTION
DESIGN	JP
DRAWN	JP
CHKD	KM

DATE: 5/10/2022
 FILE: 05-011027-01-001-LSP.dwg



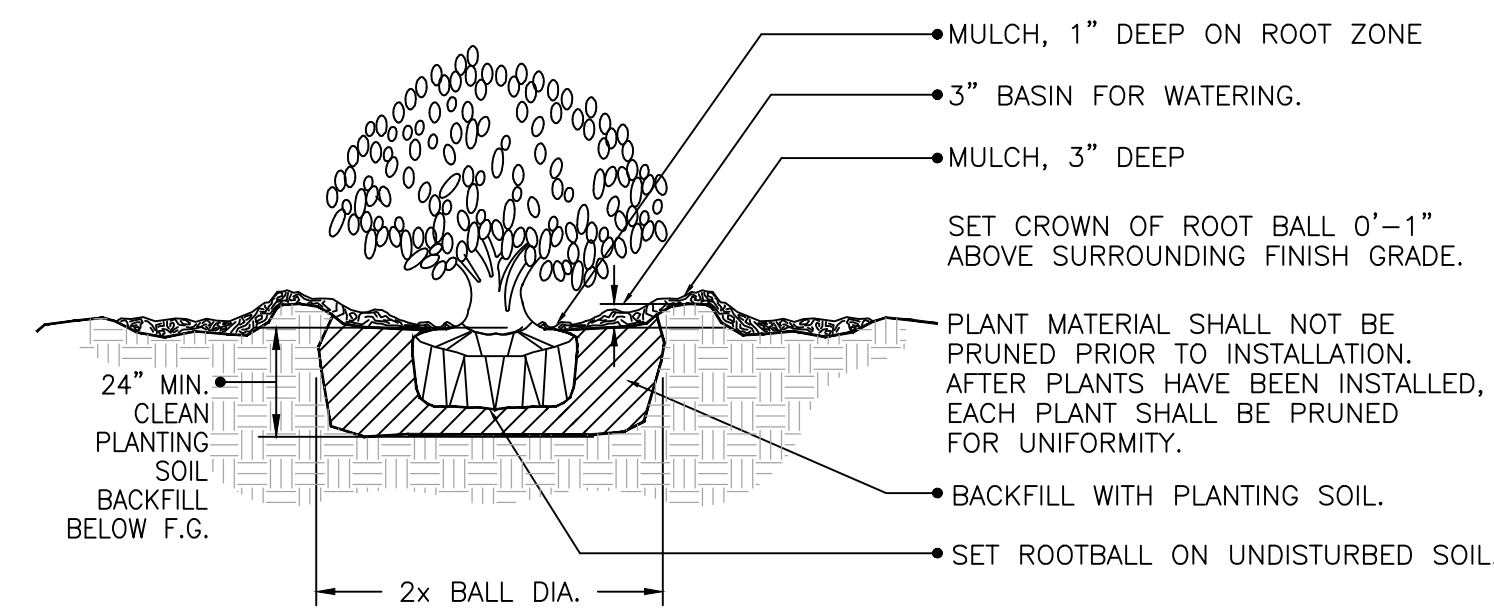
LARGE TREE PLANTING DETAIL

NTS



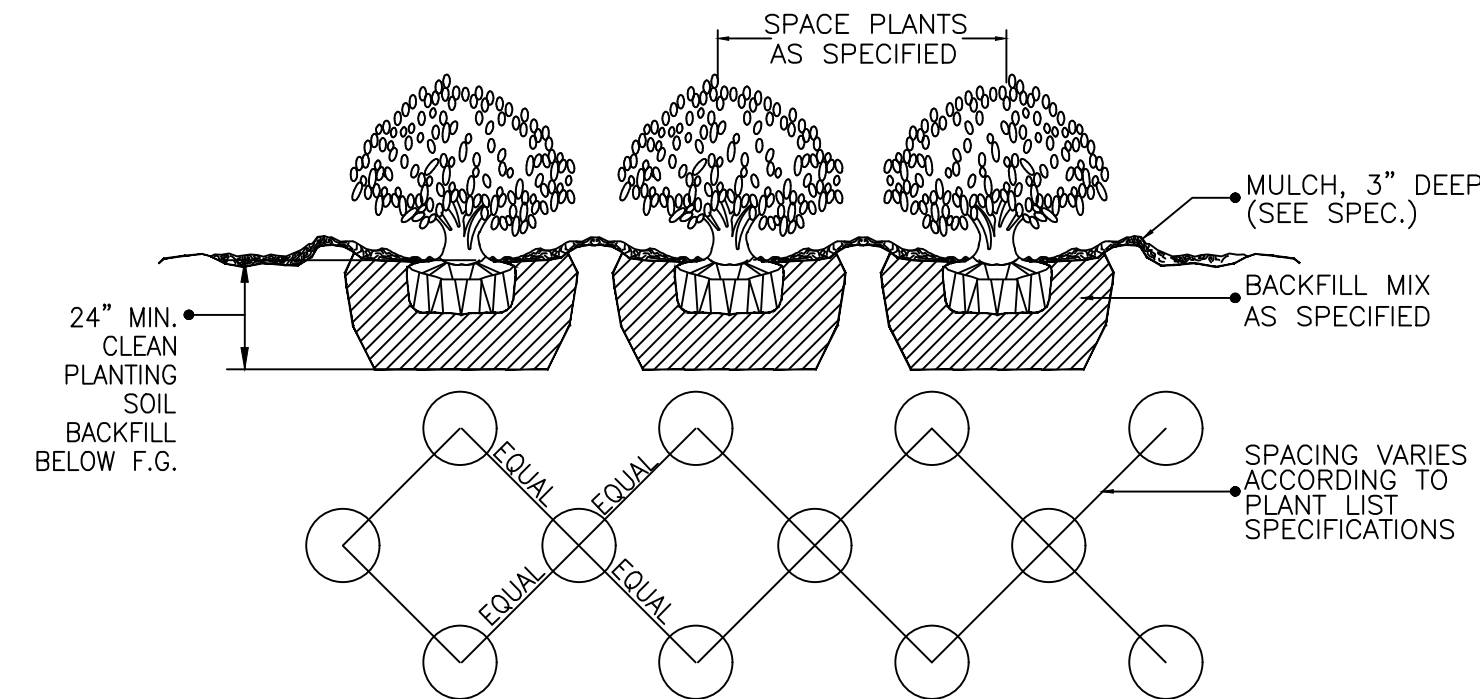
CIGARED SABAL PALM PLANTING DETAIL

NTS



SHRUB PLANTING DETAIL

NTS



SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

NTS

GENERAL LANDSCAPE NOTES:

ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, OR BETTER, AS GIVEN IN GRADES AND STANDARDS FOR NURSER PLANTS PART 1 AND PART 2. STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE

ALL TREES SHALL HAVE A FLORIDA NO. 1 OR BETTER GRADES AND STANDARDS CERTIFICATION TAG ATTACHED AT TIME OF DELIVERY THROUGH FINAL INSPECTION

ALL TREE ISLANDS ARE TO BE A MINIMUM OF 100 S.F. AND 10' MIN. WIDTH AND 10' MIN. DEPTH - SEE SHEET C2.0 FOR THE MEASURED LAYOUT PLAN

SHRUBS SHALL BE A MINIMUM OF 2' HT. AT TIME OF PLANTING AND HEDGES SHALL BE MAINTAINED AT 36" MIN. HT.

ALL TREES SHALL BE A MINIMUM OF 12' HT. WITH 5' MIN. CLEAR TRUNK FROM FINISHED GRADE AND MEASURE 2 1/2" AT 54" ABOVE TOP OF ROOTBALL.

50% OF THE REQUIRED REPLACEMENT TREES SHALL BE SPECIES OTHER THAN PALMS. 3 PALMS ARE THE EQUIVELANT OF 1 OVERSTORY TREE.

ALL LANDSCAPED AREAS SHALL CONSIST OF EXISTING SOIL MIXED WITH 50% RECYCLED TOPSOIL. TOPSOIL SHALL BE FREE OF TREE ROOTS, ROCK OR OTHER CONSTRUCTION DEBRIS AND TOPSOIL STRUCTURE SHALL BE INDICATIVE OF LOCAL TOPSOIL. PLANTING SOIL SHALL EXTEND TO A DEPTH AS TO PROVIDE ADEQUATE AREA FOR ROOT GROWTH OF PROPOSED PLANT MATERIAL

ALL AREAS OF LANDSCAPING SHALL BE MULCHED TO A DEPTH OF 3" UNLESS COMPLETELY COVERED WITH GRASS OR OTHER APPROVED GROUND COVER

50% OF THE REQUIRED REPLACEMENT TREES SHALL BE SPECIES OTHER THAN PALMS. 3 PALMS ARE THE EQUIVELANT OF 1 OVERSTORY TREE.

PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, FINAL LANDSCAPE INSTALLATION SHALL BE CERTIFIED AS COMPLETE AND IN CONFORMANCE TO THE APPROVED LANDSCAPE PLAN BY SUBMISSION OF A CERTIFICATION LETTER BY A LANDSCAPE ARCHITECT

MAINTENANCE OF LANDSCAPE AND IRRIGATION IS REQUIRED. ANY DEAD PLANT MATERIAL SHALL BE IMMEDIATELY REPLACED WITH HEALTHY PLANT MATERIAL. MAINTENANCE SHALL ALSO INCLUDE THE SUFFICIENT WEEDING, WATERING, FERTILIZING, PRUNING, MOWING, EDGING, MULCHING AND OTHER HORTICULTURAL PRACTICES SO AS TO ENSURE THAT THE LANDSCAPING CONTINUES TO MAINTAIN A HEALTHY, NEAT AND ORDERLY APPEARANCE

TREES PLANTED FOR TREE MITIGATION REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, INCLUDING REPLACEMENT OF UNHEALTHY OR DEAD TREES. **THE PROPERTY OWNER SHALL SUBMIT TO AN ON-SITE INSPECTION OF THE PLANTED/PRESERVED VEGETATION 12 MONTHS AFTER THE ISSUANCE OF THE FINAL DEVELOPMENT ORDER OR PERMIT APPROVAL**

IRRIGATION SCHEDULE FOR NEW TREES BASED ON UF/IFAS ENH857

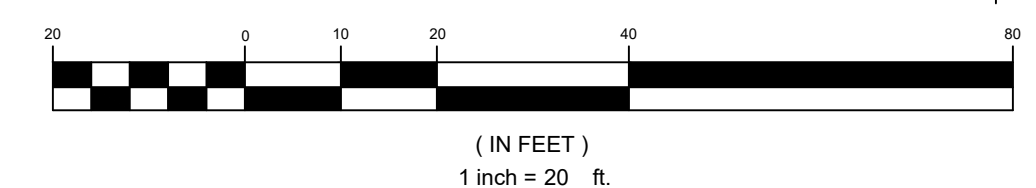
Trunk diameter of tree	Irrigation schedule for vigor*	Irrigation schedule for survival
< 2"	Daily for 2 weeks, every other day for 2 months, then weekly until established.	Twice weekly for 2-3 months.
2" to 4"	Daily for 1 month, every other day for 3 months, then weekly until established.	Twice weekly for 3-4 months.
Over 4"	Daily for 6 weeks, every other day for 5 months, then weekly until established.	Twice weekly for 4-5 months.

NOTE: NEWLY PLANTED & RELOCATED TREES SHALL RECEIVE 3 GAL PER CALIPER INCH FOR EACH DAY THAT WATERING IS SCHEDULED PER THE ABOVE CHART; I.E. FOR VIGOR, A 4" TREE SHALL RECEIVE 12 GALLONS OF WATER DAILY FOR 1 MONTH, THEN EVERY OTHER DAY FOR 3 MONTHS, THEN WEEKLY UNTIL ESTABLISHED



Know what's below.
Call before you dig.

GRAPHIC SCALE



Bowman

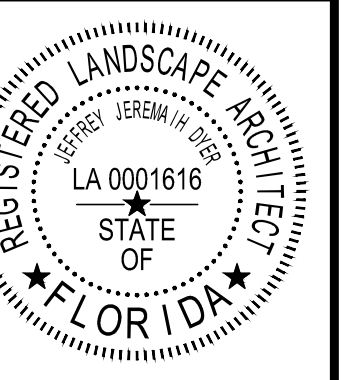
Bowman Consulting Group, Ltd.
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Phone (954) 314-8488
www.bowman.com
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LANDSCAPE DETAILS

CALIBER CAR WASH
US HIGHWAY 1 AND SUNNY LANE
FORT PIERCE, FL 34946

ST. LUCIE COUNTY
FORT PIERCE, FL

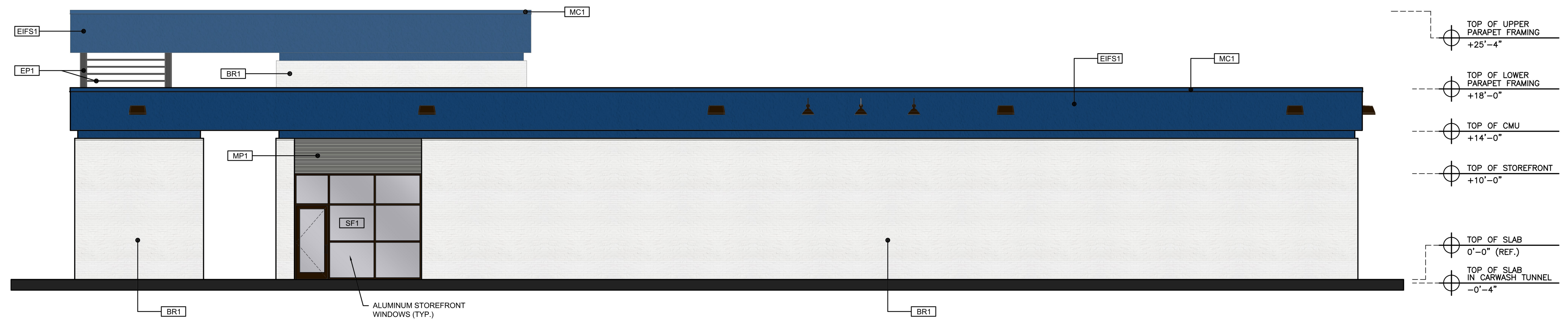
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BOWMAN PROJECT NUMBER



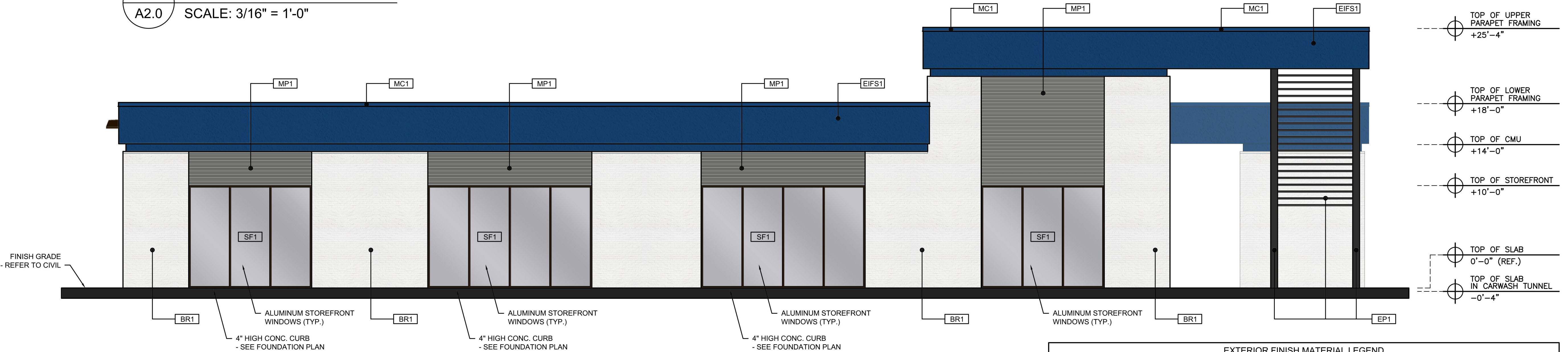
PLAN STATUS

DATE	DESCRIPTION
JP	JP
DESIGN	DRAWN
	CHKD
JOB No.	011027-01-001
DATE:	5/10/2022
FILE:	05-011027-01-001-LSP.dwg

SHEET **L-2.0**

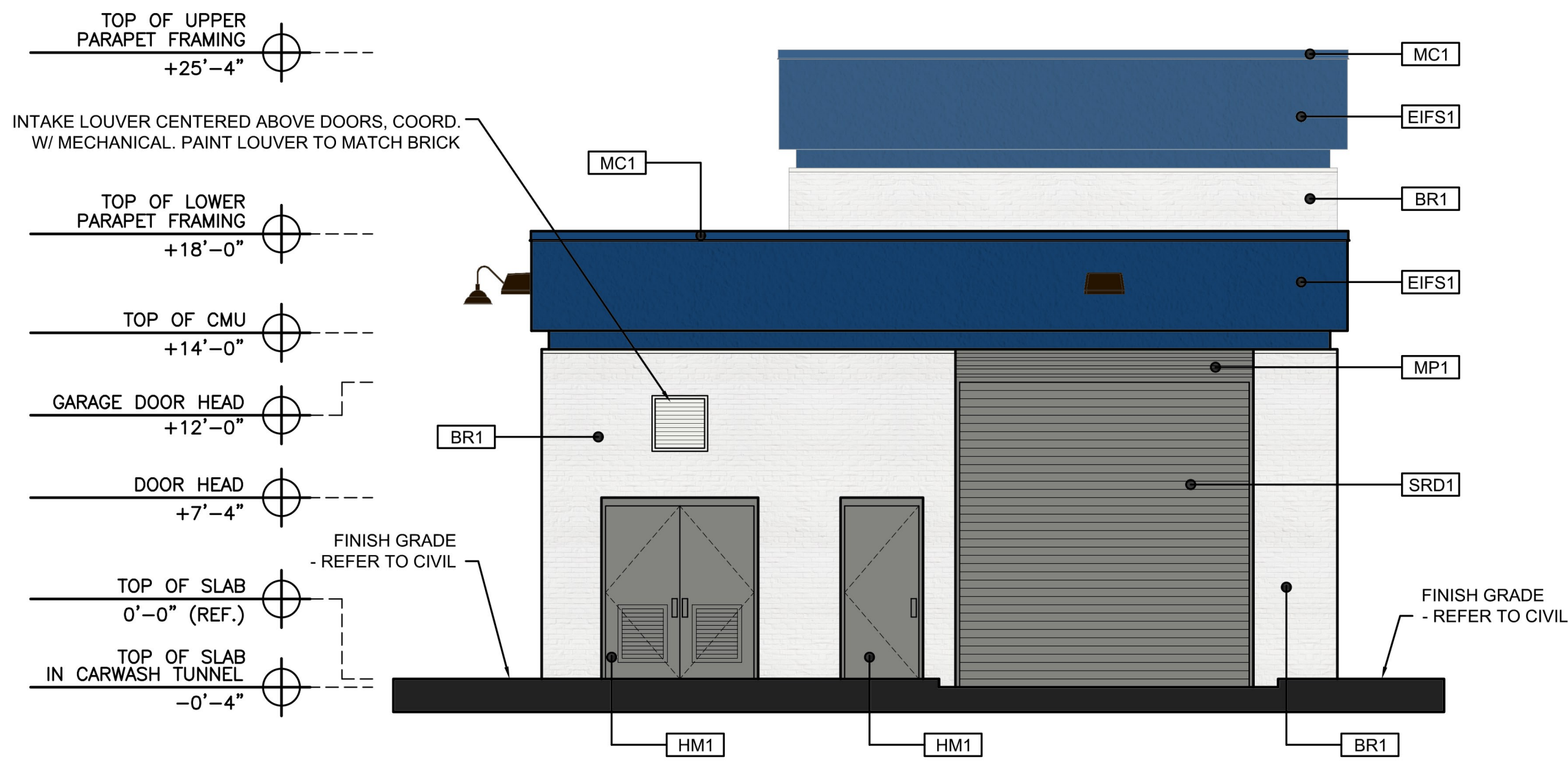


1 RIGHT SIDE ELEVATION
A2.0 SCALE: 3/16" = 1'-0"

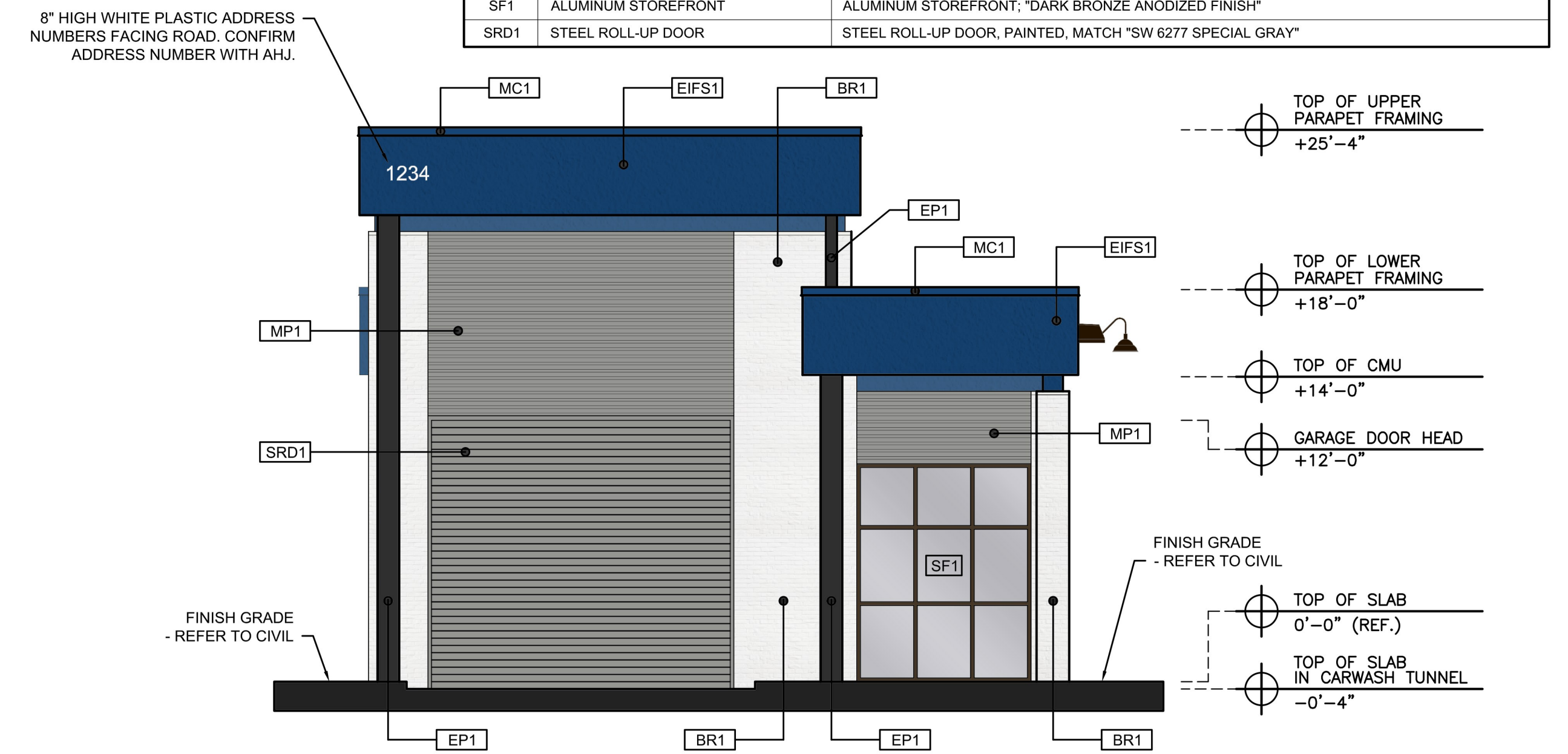


2 LEFT SIDE ELEVATION
A2.0 SCALE: 3/16" = 1'-0"

EXTERIOR FINISH MATERIAL LEGEND		
MARK	MATERIAL	SPECIFICATIONS
EIFS1	EXTERIOR INSULATION FINISH SYSTEM	BASF EIFS FINE FINISH, COLOR "SW 6811 HONORABLE BLUE"; INSTALL PER MFG'S SPECIFICATIONS
BR1	BRICK VENEER	MODULAR BRICK VENEER, PAINTED "SW 7006 EXTRA WHITE"
HM1	HOLLOW METAL DOOR & FRAME	PAINTED, MATCH "SW 6277 SPECIAL GRAY"
MC1	METAL COPING	24 GA KYNAR FINISHED CAP FLASHING W/ STANDING SEAM JOINTS, MATCH "SW 6277 SPECIAL GRAY"
MP1	HORIZONTAL METAL WALL PANELS	7.2 PANEL BY MBCI WITH RIBBED EXPOSED FASTENERS; COLOR TO MATCH "MBCI SLATE GRAY"
EP1	EXTERIOR STRUCTURAL STEEL	PAINTED BLACK
EP2	EXTERIOR DECORATIVE STEEL	PAINTED BLACK
SF1	ALUMINUM STOREFRONT	ALUMINUM STOREFRONT; "DARK BRONZE ANODIZED FINISH"
SRD1	STEEL ROLL-UP DOOR	STEEL ROLL-UP DOOR, PAINTED, MATCH "SW 6277 SPECIAL GRAY"



3 REAR ELEVATION
A2.0 SCALE: 3/16" = 1'-0"



4 FRONT ELEVATION
A2.0 SCALE: 3/16" = 1'-0"

CALIBER CAPITAL CARWASH
 PROTOTYPICAL DESIGN (LOCATION TO BE DETERMINED)
 NARROW PROTOTYPICAL ELEVATIONS (CL1)

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DATE	OCT. 26, 2021
DRAWN BY	SAM
REVISED	
JOB NO.	21-XXX
DATE	
SHEET NUMBER	A2.0


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PROGRESS SET - NOT FOR CONSTRUCTION

US HWY 1

East from the Proposed Caliber Car Wash.

Legend

 Sunny Ln & N US Hwy 1



Environmental Assessment

Caliber Car Wash – Fort Pierce

Parcel ID: 2404-111-0006-000-9

Unassigned Address

NW corner of US1 and Sunny Lane
Fort Pierce, St. Lucie County, Florida

May 16, 2022

Prepared for:

Caliber Car Wash

Prepared by:

Bowman

910 SE 17th Street, Suite 300, Ft. Lauderdale, FL., 33316

www.bowman.com

Project Number: 010832-01-002

1.0 Project Overview

Bowman has prepared the following Environmental Assessment for the proposed Caliber Car wash (Parcel IDs: 2404-111-0006-000-9) Project Site. The report has been prepared in conformance with standards set forth by local authorities, water management districts (South Florida Water Management District [SFWMD]), state wildlife and environmental agencies (Florida Department of Environmental Protection [FDEP] and Florida Fish and Wildlife Commission [FWC]) and Federal agencies (U.S. Army Corps of Engineers [USACE] and U.S. Fish and Wildlife Service [USFWS]) for the protection of environmental resources.

The Site consists of approximately 1.49 acres of mostly vacant land located at the northwest corner of Sunny Lane and N US Highway 1, under the jurisdiction of the City of Fort Pierce.

The purpose of conducting an Environmental Assessment is to provide due diligence and facilitate sound decision making that supports sustainable development. This report addresses the following environmental topics such as but not limited to protected species, wildlife, vegetative communities, and wetlands.

Current Uses and Historical Uses

The proposed project Site is zoned as C-3 (General Commercial), and future land use is GC (General Commercial). The property falls under the jurisdiction of the City of Fort Pierce, and is within St. Lucie County, Florida. An overview map of the Site location is shown in **Figure 1**.



Figure 1. Site Location map

The current site is predominantly vacant with sparse vegetation occurring on-site mostly in the form of ground coverage, although several trees were observed within the project bounds, which includes cabbage palm and oak species. There appears to be a privately owned through road that is recorded within ORB 733, Page 2912 and ORB 4085, Page 1552 and does not have curbing or drainage infrastructures.

Historically the site appeared to be upland habitat that was rough graded around 1989 by the Taylor Creek Commons project, which included the Publix shopping center along with several outparcels (the site is considered Outparcel 1). The site was rough graded to approximately 30.0' NGVD with swales along the perimeter to direct runoff within the perimeter of the site. According to aerial photography from Google Earth the site was cleared, and structures were removed by approximately 2017 (**Figure 2**).



Figure 2: Aerial photograph of the project site in 2005 (Left). Aerial photograph of the project site in 2022 (Right).

2.0 Topography

Although the site was originally rough graded to approximately 28.5' NAVD (Conversion Factor: NAVD= NGVD-1.5') the site's elevation is ultimately lower as settlement and erosion may have occurred through the years. The general topography of the site is nearly flat with most grades ranging between 25.5 to 28.0 feet NAVD except for the eastern isolated portion of the site which is about 28.3 to 29.0 feet NAVD. The approximate 30' wide road is between 27.3 to 28.7 feet NAVD with grades directing runoff south/ southwest. See Survey in **Appendix A: Survey and Additional Maps**.

Stormwater onsite likely allows for sheet flow around the perimeter of the site through vegetated swales that will direct the water to stay within the swales instead of accumulating within the roadways. The survey shows some minor topographic relief surrounding the perimeter of the site before sloping upwards to meet grades edge of pavement. Additionally, since most of the site is considered pervious area percolation through the sandy soils should be expected. Details of the easements and site topography can be found in survey descriptions and plats (**Appendix A: Survey and Additional Maps**).

3.0 FEMA Flood Map

Bowman reviewed FEMA Flood Zone Map number: 12111C0179K, City of Ft. Pierce (120286). According to Federal Emergency Management Agency (FEMA) this project Site is in Zones X, with no minimum base flood elevation (BFE) requirements (**Figure 3**).

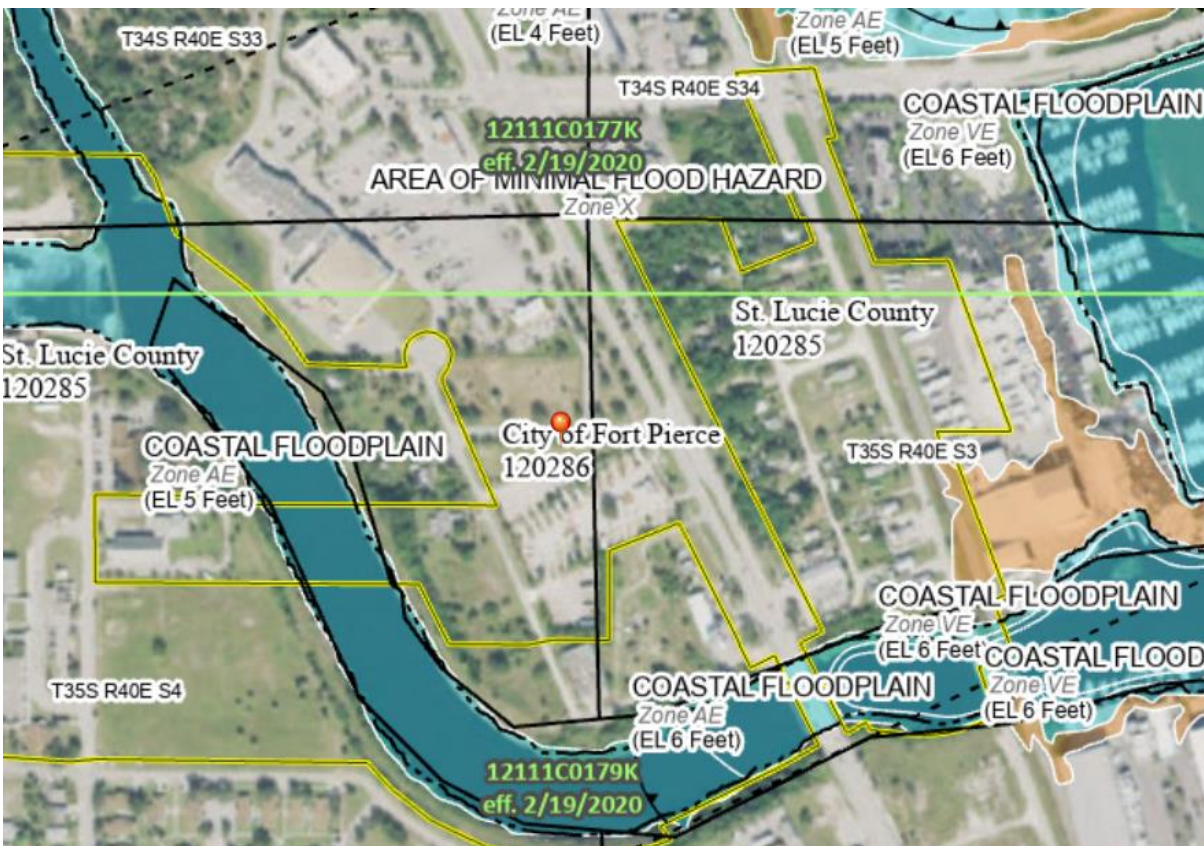


Figure 3: FEMA flood zone map

4.0 Soils

The Web Soil Survey available through USDA’s website for St. Lucie County, Florida was reviewed prior to the Site visit. Further descriptions for soil types were accumulated from *Soil Survey of St. Lucie County, Florida*, published by National Cooperative Soil Survey (1978), a joint effort of the USDA and other federal and state agencies.

Soil types mapped by the WSS are generally limited to the upper 80 inches of soil profile and possess several distinguishing factors. Classifications are generally good indicators to plausible Site conditions and should include factors such as but not limited to soil drainage, presence of clayey soil types and groundwater fluctuation rates. The Web Soil Survey Map is shown in **Figure 4** and a summary table of soil types and acreage is within **Table 1**.

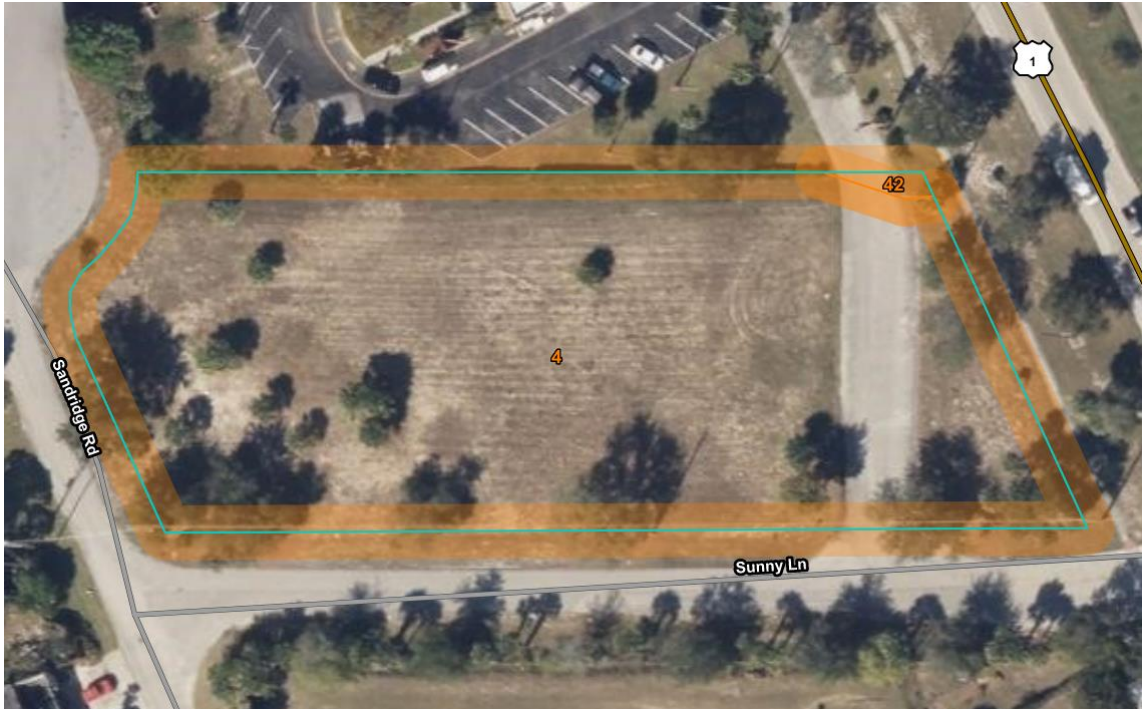


Figure 4: Web Soil Survey of Caliber Car Wash Ft. Pierce Project Site, St. Lucie County, Florida.

Table 1. Acreage of Soils by Type

Map Unit Designation	Approximate Acreage
4 – Arents, 0 to 5% slopes	± 1.48 acres
42 – St. Lucie sand, 0 to 8% slopes	± 0.01 acres
Total approximate acreage	± 1.49 acres

4 – Arents, 0 to 5 percent slopes +/- 1.48 acres

This soils classification consists of soil material dug from several areas and is used to fill shallow depressions, sloughs, or marshes above their natural ground levels. In most places, Arents soil is made up of loose sand mineral materials with amounts of loamy and weakly cemented sandy materials that were subsoils. The water table is between depths of 20 and 50 inches for most of the year. Available water capacity and permeability rates are variable and is considered hydrologic soil group A.

This excessively drained, nearly level to sloping soil is on high dunelike ridges and in undulating areas. Slopes are smooth to convex on the ridges and concave in the undulating areas. Typically, the surface layer is gray sand 6 inches thick. The underlying material, to a depth of 80 inches or more, is light gray and white sand. The water table is typically at a depth greater than 80 inches with very rapid permeability and available water capacity. These areas typically have sand pine habitats with sparse ground cover. The hydrologic soil group is A and not hydric.

5.0 Vegetation (FLUCCS)

The *Florida Land Use, Cover and Forms Classification System (FLUCCS)* organizes and classifies most habitat communities and land uses into various descriptions with corresponding unique code. According to the FLUCCS, most of the Site is classified as upland habitats with a tidal wetland within the northeast corner. **Table 2** depicts the FLUCCS classification and approximate acreage of given classes. Land cover classifications at the Site were mapped using FLUCCS and are shown in **Figure 5**.

Much of the site exists as ground cover with exposed sandy soils and

in its natural state with most of the disturbances being along the drainage easement located along the southern and western boundary. Geotechnical crews conducted soil samples before the environmental team was able to traverse the site. There are several cleared paths throughout the site approximately 20 feet wide. As a result of the impacts there were various trees that were knocked down and mounds of sand. No Gopher Tortoise Burrows seemed to be impacted due to Geotechnical exploration.

FLUCCS Vegetation Descriptions

740: Disturbed Land

Disturbed lands are those areas which have been changed due primarily to human activities. The site has been rough graded as part of the Taylor Creek Commons shopping center development. This area is sparsely vegetated consisting of mostly groundcover (**Figure 6**) with several trees within the project boundaries. The property appears to be maintained and mowed with exposed sandy soils observed throughout. Vegetation includes but is not limited to live oak (*Quercus virginiana*), cabbage palm (*Sabal palmetto*), greenbrier (*Smilax* sp.), Laurel Oak (*Quercus laurifolia*), Mexican Clover (*Richardia scabra*), buttonweed (*Spemacoce verticillate*), saw palmetto (*Serenoa repens*), tickseed (*Coreopsis* sp.) and Brazilian pepper (*Schinus terebinthifolia*).

814: Roads

This transportation classification contains a privately owned road for the purposes of ingress and egress with an easement over the given land. See Survey in **Appendix A** for said information for easements.

Table 2. Acreage of FLUCCS

FLUCCS Designation	Approximate Acre
740: Disturbed Land	± 1.365 acres
814: Roads	± 0.125 acres
Total approximate acreage	± 1.49 acres



Figure 5: Florida Land Cover Classification System Map for RaceTrac Market Project Site, Palm Beach County, Florida.



Figure 6: Site Photo of typical habitat and vegetation on-site

6.0 Wetlands

Bowman has reviewed the entire Project Site for potential state and federally regulated wetlands and other water features that would likely be subject to regulation by South Florida Water Management District (SFWMD), the State Florida Department of Environmental Protection (FDEP), and the Federal U.S. Army Corp of Engineers (USACE).

A preliminary evaluation of the Site was performed by Bowman prior to the field investigation by examination of the aerial photography, the U.S. Fish and Wildlife Service National Wetlands Inventory (NWI) information obtained from the Wetlands Online Mapper, the USDA St. Lucie County Florida Soils Survey (USDA Natural Resource Conservation Service, Web Soil Survey, Survey Area Data), and GIS information obtained from the St. Lucie County Tax Parcel Appraiser Web Map. According to NWI map (**Figure 7**) no wetlands were identified and historical aerial photographs were reviewed for signs of depressional areas or ponding (See Appendix B for historical photos).



Figure 7: NWI online mapping service.

Using the above information as guides, the Project Site was then visited on 4/13/2022 to review existing Site conditions, search for wetlands, and identify the approximate location and extent of those areas that will likely be considered jurisdictional waters by all three agencies.

Based on the results of this field investigation, there are no signs of Federal or State jurisdictional wetlands or other surface waters (OSWs). Therefore, no wetland impacts or mitigation are required.

7.0 Wildlife Assessment

The current listing status for all of Florida’s federal and state-listed species may be found in *Florida’s Endangered and Threatened Species List* (updated February 2022). Federally listed species primarily fall under jurisdiction of U.S. Fish and Wildlife Services (USFWS), while Florida Fish and Wildlife Conservation Commission’s (FFWCC) works in partnership to help conserve these species.

Listed species may be categorized as either state or federal protected species and further classified as endangered (E), threatened (T), threatened due to similarity of appearance (SAT), and candidate species for listing (C) in accordance with *Rules 68A-27.003, 68A-27.004 and 68A-27.005, of Florida Administrative Code (FAC)*. Migratory birds, including their feathers, eggs, and nests are also protected under the federal Migratory Bird Treaty Act of 1918 and state Rule 68A-16.001, F.A.C., and state Rule 68A-4.001, F.A.C.

St. Lucie County Listed Species

The federal list of endangered and threatened animals and plants is administered by the USFWS and is published in *50 CFR 17 (animals)* and *50 CFR 23 (plants)*. Bald Eagles are not federally listed as endangered or threatened but are protected under the Bald and Golden Eagle Protection Act (BGEPA), Migratory Bird Treaty Act, and FFWCC’s Bald Eagle rule (FAC 68A-16.002) and are therefore included in discussions. Species designated at a state level will include those threatened and species of special concern (SSC) by FFWCC. Potential species for St. Lucie County and their likelihood of occurrence on-Site are detailed below (**Table 4**). Presence of potential habitat on Site was determined by reviewing federal and state species profiles and habitat requirements as well as habitat observed during the Site visit. Likelihood of occurrence for each species was based on presence of potential habitat and review of federal and state location databases, as well as eBird.org and inaturalist.org records. Those with habitat on Site and potential for occurrence are discussed further in this section.

Table 4: Federal/State Listed Fauna and Flora Potentially found in St. Lucie County, Florida.

Scientific Name	Common Name	State	Federal	Habitat on Site	Likelihood of Occurrence	Observed (Yes or No)
Birds*						
<i>Aphelocoma coerulescens</i>	Florida Scrub-Jay	T	T	No	Not Likely	No
<i>Athene cucularia floridana</i>	Florida Burrowing Owl	T	--	No	Not Likely	No
<i>Calidris canutus rufa</i>	Red Knot	T	T	No	Not Likely	No
<i>Charadrius melodus</i>	Piping Plover	T	T	No	Not Likely	No
<i>Egretta caerulea</i>	Little Blue Heron	T	--	No	Not Likely	No
<i>Egretta tricolor</i>	Tricolored Heron	T	--	No	Not Likely	No
<i>Elanoides forficatus</i>	Swallow-tailed Kite	--	--	No	Not Likely	No
<i>Falco sparverius paulus</i>	Southeastern American Kestrel	T	--	No	Not Likely	No
<i>Grus canadensis pratensis</i>	Florida Sandhill Crane	T	--	No	Not Likely	No
<i>Haliaeetus leucocephalus</i>	Bald Eagle	--	--	No	Not Likely	Yes
<i>Haematopus palliatus</i>	American Oystercatcher	T	--	No	Not Likely	No
<i>Mycteria americana</i>	Wood Stork	T	T	No	Not Likely	No
<i>Picoides borealis</i>	Red-cockaded Woodpecker	E	--	No	Not Likely	No
<i>Platalea ajaja</i>	Roseate Spoonbill	T	--	No	Not Likely	No
<i>Polyborus plancus audubonii</i>	Audubon’s Crested Caracara	T	T	No	Not Likely	No
<i>Rynchops niger</i>	Black Skimmer	T	--	No	Not Likely	No

Scientific Name	Common Name	State	Federal	Habitat on Site	Likelihood of Occurrence	Observed (Yes or No)
<i>Rostrhamus sociabilis plumbeus</i>	Everglades Snail Kite	E	E	No	Not Likely	No
<i>Sterna antillarum</i>	Least Tern	T	--	No	Not Likely	No
Insects						
<i>Danaus plexippus</i>	Monarch butterfly	--	C	No	Not Likely	No
<i>Cylargus (=Hemiargus) thomasi bethunebakeri</i>	Miami Blue Butterfly	E	E	No	Not Likely	No
<i>Strymon acis bartrami</i>	Bartram's Hairstreak Butterfly	E	E	No	Not Likely	No
<i>Anaea troglodyta floralis</i>	Florida Leafwing Butterfly	E	E	No	Not Likely	No
Mammals						
<i>Peromyscus polionotus niveiventris</i>	Southeastern Beach Mouse	T	--	No	Not Likely	No
<i>Puma (=Felis) concolor coryi</i>	Florida panther	E	E	No	Not Likely	No
<i>Trichechus manatus</i>	West Indian manatee	E	E	No	Not Likely	No
Reptiles						
<i>Alligator mississippiensis</i>	American alligator	SSC	--	No	Not Likely	No
<i>Caretta caretta</i>	Loggerhead turtle	T	T	No	Not Likely	No
<i>Chelonia mydas mydas</i>	Green sea turtle	T	T	No	Not Likely	No
<i>Crocodylus acutus</i>	American crocodile	T	T	No	Not Likely	No
<i>Dermochelys coriacea</i>	Leatherback turtle	E	E	No	Not Likely	No
<i>Drymarchon corais couperi</i>	Eastern indigo snake	T	T	No	Not Likely	No
<i>Eretmochelys imbricata</i>	Hawksbill sea turtle	E	E	No	Not Likely	No
<i>Gopherus polyphemus</i>	Gopher Tortoise	SSC	-	Yes	Not Likely	No
<i>Tantilla oolitica</i>	Rim rock crowned snake	T	-	No	Not Likely	No
Plants						
<i>Dalea carthagenensis floridana</i>	Florida Prairie-clover	E	-	No	Not Likely	No
<i>Asimina tetramera</i>	Four-petal Pawpaw	E	-	No	Not Likely	No
<i>Jacquemontia reclinata</i>	Beach Jacquemontia	E	-	No	Not Likely	No
<i>Polygala smallii</i>	Tiny Polygala	E	-	No	Not Likely	No
<i>Cladonia perforata</i>	Florida Perforate Cladonia	E	-	No	Not Likely	No

* Avian species common names follow the American Ornithological Society's nomenclature guidelines and are capitalized indicating standardized species names.

Potential for State-listed Birds

Overall, the site does not contain habitat for State/ Federally listed species as the site is sparsely vegetated and few mature trees occur on-site to provide suitable foraging or nesting habitat.

Although the site is within a core foraging area for known wood stork colony, the site does not contain suitable foraging or roosting habitat. Therefore, it is unlikely to observe the Wood Stork on-site. See below figure depicting adjacent active nesting sites as provided by FDEP dataset. The closest active nesting site is approximately 13.29 miles south of the site.

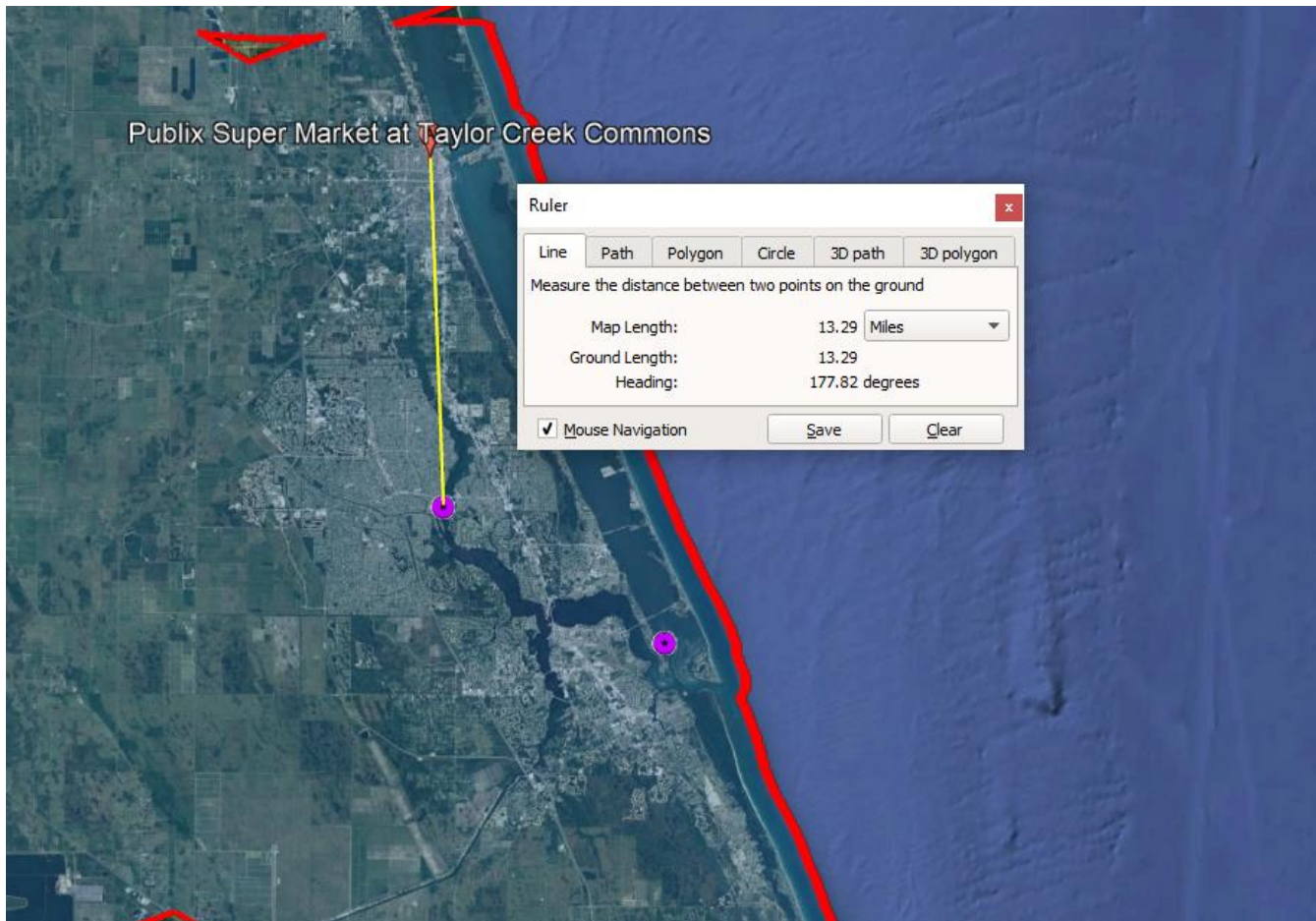


Figure 8: Image of Wood Stork colonies and foraging habitat with 18.6 mile radial buffer.

Bald Eagle

As previously mentioned, the Bald Eagle (*Haliaeetus leucocephalus*) is protected by both federal and state laws, although it is no longer listed as an endangered or threatened species. It's protected under the Bald and Golden Eagle Protection Act, Migratory Bird Treaty Act, and FFWCC's Bald Eagle rule (FAC 68A-16.002). The Bald Eagle is relatively common in Florida and builds the largest conspicuous nests typically in tall, mature trees near water sources or shorelines (Florida Fish and Wildlife Conservation Commission, 2021e). Through implementation of FFWCC's rule a protective buffer zone of 660 feet from eagle nests would be warranted. An eagle permit would not be required outside buffer zone.

Biologist conducted a review of FFWCC and Audubon's Eagle Watch databases for recorded bald eagle nests within the vicinity. There was one nests located nearby, using FFWCC geodata map and Audubon Florida Eagle Watch mapper, with the closest nest being 2 miles northeast on Jack Island. During pedestrian transects, no eagle nests were observed on-site, therefore, no additional permitting for Bald Eagles will be required, unless a new nest is found within 660 feet of the Site.

For additional information, please contact the EagleWatch Program Manager at eaglewatch@audubon.org or 407-644-0190.

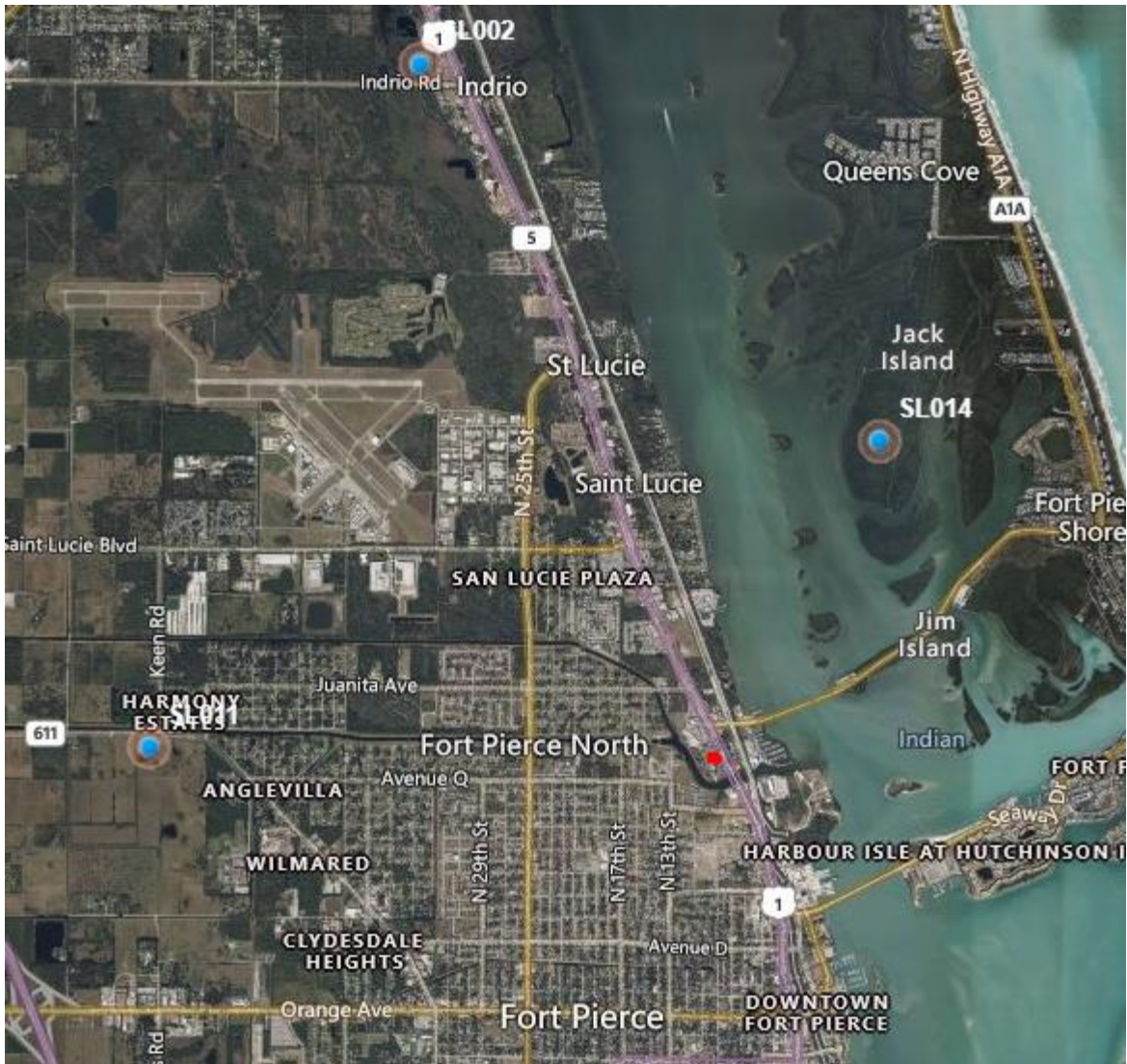


Figure 9: Eagle Nest Map, the red dot signifies the approximate location of the project site.

Gopher Tortoise

The gopher tortoise (*Gopherus polyphemus*) has been regulated in Florida since 1972 and has been protected since 1988. With Florida representing the largest population of this endemic species, the tortoise may be found in parts of all 67 counties. Through the implementation of the Gopher Tortoise Management Plan by FFWCC, the goal is to restore, and maintain secure, viable populations throughout Florida. They are found on well-drained, sandy soils that historically supported longleaf pine and scrub oak. They also require adequate herbaceous ground cover and an open to sparse canopy/shrub layer allowing sunlight reaching the ground. Habitat is not present for the species at the Site. Therefore, a survey to locate burrows should not be required by FFWCC about this species and burrow surveys (Florida Fish and Wildlife Conservation Commission, 2021h).

The burrow survey must cover at least 15 percent of designated tortoise habitat to be impacted by proposed activity and be no older than 90 days prior to submittal of application. A 100 percent survey is required to

determine a “10 or Fewer” permit and no more than 90 days prior to relocation activity. Overall, construction activities that will occur within a 25-foot radius of a burrow require a permit.

A Gopher Tortoise survey was conducted during pedestrian transects on-site and no tortoises or burrowing activity was observed.

Commensal Species

Commensal species are those that obtain food, seek refuge and other positive interactions with the gopher tortoise. According to FFWCC, the gopher tortoise presence is important to over 350 species that benefit from the burrows dug. Since the gopher tortoise benefits numerous species, they are recognized as a keystone species. Without the burrows, these species that rely on them will diminish or cease to exist. The species that are dependent on resources provided by the burrow or its community of inhabitants are known as priority commensals.

FFWCC has authorized the limited relocation of a multiple species known as priority commensals which may be encountered during the process of relocating Gopher Tortoise. This includes the state-Threatened Florida pine snake (*Pituophis melanoleucus mugitus*), the federally Threatened eastern indigo snake (*Drymarchon corais couperi*), the Florida mouse (*Podomys floridanus*), gopher frog (*Rana capito*), and eastern diamondback rattlesnake (*Crotalus adamanteus*).

Since no Gopher Tortoise burrows were located on-site, it is also likely that no commensal species will occur, and none were observed during pedestrian transects.

Wildlife Observed

Wildlife observed within the Site during a pedestrian survey conducted on 4/13/2022, are noted in **Table 4**. Wildlife observations include those of direct observation and identification of the animal and indirect observations. Indirect observations include calls, tracks, and other signs of wildlife in the vicinity.

Table 4. Wildlife species observed within the RaceTrac Market Project Site.

Scientific Name	Common Name
Birds	
<i>Corvus ossifragus</i>	Fish Crow
<i>Mimus polyglottos</i>	Northern Mockingbird
<i>Zenaida macroura</i>	Mourning Dove
Reptiles	
<i>Anolis sagrei</i>	Brown anole
Mammals	
<i>Sciurus carolinensis</i>	Eastern gray squirrel

9.0 Summary

- The Site has been vacant since the 1960s (oldest historical aerial), however the site was likely filled and rough graded as part of the Taylor Creek Commons shopping center development. See Taylor Creek Commons Civil Plans in attached appendix.
- The site ranges from 25.5 to 28.0 feet NAVD and has a private ingress/egress through road connecting the shopping plaza to Sunny Lane.
- The upland type of habitat is classified as disturbed lands as it seems to be maintained with mostly ground cover and obvious signs of mowing.
- No Federally or State jurisdictional wetlands or other surface waters occur on-site
- Minimal wildlife was observed on-site.
- No Federally or State listed species were observed on-site and no suitable habitat was observed for listed species.

References

- Florida Fish and Wildlife Conservation Commission. (2021e, August 23). *Bald Eagle (Haliaeetus leucocephalus)*. Retrieved from <https://myfwc.com/wildlifehabitats/profiles/birds/raptors-and-vultures/bald-eagle/>
- Florida Fish and Wildlife Conservation Commission. (2021h, August 23). *Gopher Tortoise (Gopherus polyphemus)*. Retrieved from <https://myfwc.com/wildlifehabitats/profiles/reptiles/gopher-tortoise/>
- U.S. Fish and Wildlife Service. (2019). *Species status assessment (SSA) report for the eastern indigo snake (Drymarchon couperi) version 1.1*. Atlanta, Georgia.
- U.S. Fish and Wildlife Services. (2007). *Wood Stork (Mycteria americana)*. Jacksonville, Florida: Jacksonville Ecological Services Field Office.

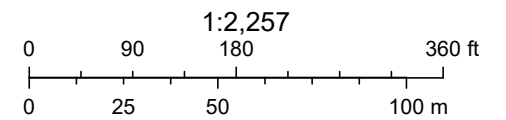
Appendix A:

Survey and Additional Figures

Saint Lucie County Property Appraiser



November 12, 2021



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),



Parcel Report



Parcel
PARCELNO: 2404-111-0006-000-9
Property ID: 146285
Owner1: Sunny Lanes Holdings Llc
SiteAddress: N US HIGHWAY 1
Owner
Owner1: Sunny Lanes Holdings Llc
Owner2:
Owner3:
MailingAddress: 140 SW Chamber Ct #200 Port St Lucie, FL 34986

Overview
PrimaryLandUse: 1000 - Vac Comm
DistrictGroup: 0022 - Fort Pierce
Subdivision: Metes and Bounds
Just/Market Value: \$275,800
FinishedArea:
Acres: 1.49
TotalArea: 64,904

Legal Description
LegalDescription: 04 35 40 THAT PART OF SEC MPDAF: FROM NE COR OF SEC RUN S 88 21 15 W 109.28 FT TO SE COR OF SEC 33 34 40, TH S 89 11 58 W ALG S LI 97.22 FT TO W RD R/W LI US 1, TH S 28 05 56 E ALG W R/W LI 366.08 FT TO POB: TH CONT S 28 05 56 E 173.61 FT TO CURVE CONC N, R OF 538.68 FT, TH SWLY ALG ARC 75.52 FT, TH S 88 52 59 W 347.24 FT TO ELY RD R/W LI SANDBRIDGE RD (OLD US #1), TH N 24 52 20 W ALG ELY R/W LI 101.66 FT TO CURVE CONC SE, R OF 25.00 FT, TH NWLY ALG ARC 29.94 FT TO CURVE CONC SW, R OF 60 FT, TH NELY ALG ARC 43.90 FT, TH N 88 52 59 E 362.14 FT TO POB (1.49 AC) (OR 2060-1744)

Year	Just/Market Value	Building Value	Land Value	SFYI Value	Assessed Value	Exemption Amount	County Taxable	Save Our Home OR 10% Cap Differential	Ag Credit
2021	\$275,800	\$0	\$275,800	\$0	\$275,800	\$0	\$275,800	\$0	\$0
2020	\$275,800	\$0	\$275,800	\$0	\$275,800	\$0	\$275,800	\$0	\$0
2019	\$275,800	\$0	\$275,800	\$0	\$275,800	\$0	\$275,800	\$0	\$0
2018	\$275,800	\$0	\$275,800	\$0	\$275,800	\$0	\$275,800	\$0	\$0

Tax Links

- [SLC Tax Collector's Office taxes for this parcel](#)
- [Download TRIM notice for this parcel](#)

Improvements

Building Sequence: 1
Bedrooms: 0
Bathrooms: 0
Building Type: -
Story Height:
No of Living Units:
Total Finished Area: 0
Gross Sketched Area: 0
Year Built:
Effective Year:
Primary Roof Cover:
Primary Roof Structure:
Primary Wall:
A/C %: 0

Special Assessments

Description	Start Year	Units	Amount
Fort Pierce Stormwater Charge	2002	4.4	\$303.60

Land Lines

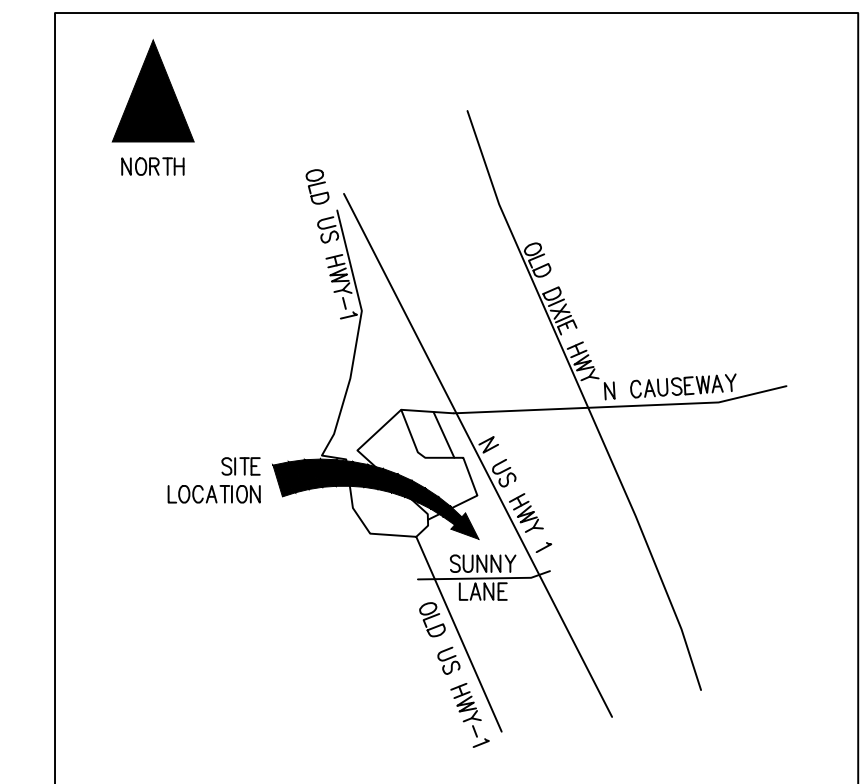
Line Number	Units	Unit Type
1	64,904	SqFt

Sales History

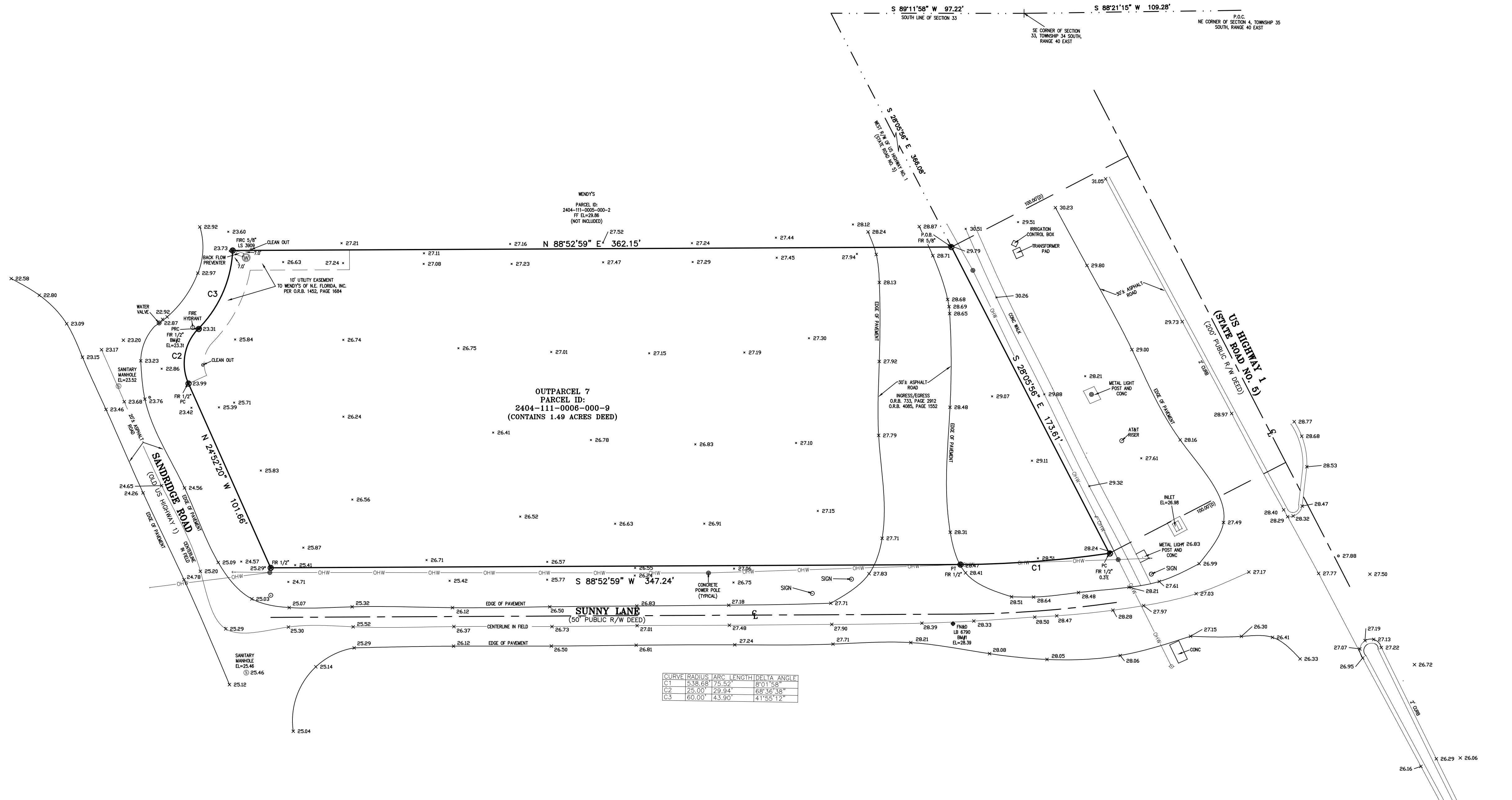
Sale Date	Sale Price	Sale Code	Deed Type	Grantor	Book Page	View Document
08/30/2004	\$850,000	XX00	WD	Taylor Creek Commons No 4 LLC	2060-1744	Clerk of Courts
05/20/2004	\$200,000	XX01	WD	Cimarron Apartments Inc	1977-969	Clerk of Courts
07/08/1994	\$675,000	XX02	WD	TAYLOR CREEK ASSOCIATES LTD	910-946	Clerk of Courts

Photos





LOCATION MAP: NOT TO SCALE



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE
C1	538.68'	75.52'	8°01'58"
C2	25.00'	12.94'	88°18'58"
C3	60.00'	143.90'	41°55'12"

SURVEYORS NOTES:

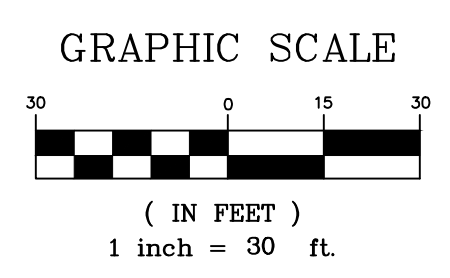
- LEGAL DESCRIPTION PROVIDED BY CLIENT. ADJOINERS SHOWN HAVE NOT BEEN SURVEYED.
- NO UNDERGROUND FOUNDATIONS HAVE BEEN LOCATED.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY AND/OR EASEMENTS OF RECORD.
- SEPTIC TANKS AND WELLS IF SHOWN ARE APPROXIMATE LOCATIONS AND SHOULD BE FIELD VERIFIED BY A LICENSED CONTRACTOR FOR CORRECT POSITION AND SEPARATION. UNDERGROUND UTILITIES OR FOOTERS HAVE NOT BEEN LOCATED.
- THE WESTERLY R/W LINE OF NORTH HIGHWAY 1 IS ASSUMED TO BEAR S 28°05'56" E AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
- ALL RIGHTS-OF-WAY SHOWN HEREON ARE OPEN TO TRAVEL UNLESS OTHERWISE NOTED.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 1211100179K, HAVING AN EFFECTIVE DATE OF FEBRUARY 19, 2020, THIS PROPERTY APPEARS TO LIE WITHIN ZONE X, OUTSIDE SPECIAL FLOOD HAZARD AREA.
- ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND ARE REFERENCED TO U.S. SURVEY FEET.
- THE BOUNDARY DETERMINATION AND DELINEATION SHOWN ON THIS MAP OF SURVEY WAS BASED UPON THE PROFESSIONAL OPINION OF THE REGISTERED SURVEYOR PURSUANT TO NORMAL PRINCIPALS AND PRACTICES OF LAND SURVEYING AND IS NOT INTENDED TO IMPLY OR DETERMINE OWNERSHIP. THIS SURVEY DOES NOT INTEND TO DELINEATE LOCAL AREAS OF CONCERN OR ANY OTHER JURISDICTIONAL DETERMINATION.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT AND USE OF THE PERSONS AND/OR ENTITIES NAMED HEREON FOR THE PURPOSES IDENTIFIED HEREON ONLY. UNLESS OTHERWISE STATED, CERTIFICATION OF THIS SURVEY MAP APPLIES ONLY TO THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER S11 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.022, FLORIDA STATUTES. THE CERTIFICATION IN NO WAY CONSTITUTES NEITHER GUARANTEE NOR WARRANTY TO ANY OTHER INFORMATION NOT SHOWN HEREON. ADDITIONS, DELETIONS OR REVISIONS TO THIS DRAWING BY OTHERS ARE NOT PERMITTED AND THIS SURVEY MAY NOT BE TRANSFERRED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SIGNING SURVEYOR. THIS SURVEY IS NOT VALID FOR ANY OTHER PURPOSE OTHER THAN INTENDED BY THE SIGNING SURVEYOR.
- ELEVATIONS, IF SHOWN, ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM 1988.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WAS PROVIDED TO THE SURVEYOR. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT PROVIDED BY FIRST FIDELITY TITLE INSURANCE COMPANY. ORDER NUMBER: 10056198, DATED DECEMBER 03, 2021 AT 5:00 PM. AS TO SCHEDULE B-11, THE FOLLOWING APPLIES:

- ITEM 1.** Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this form. (NOT A SURVEY MATTER)
- ITEM 2.** Taxes and assessments for the year 2022 and subsequent years, which are not yet due and payable. (NOT A SURVEY MATTER)
- ITEM 3.** Standard Exceptions:
- A. Any encroachment, encumbrance, violation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. (RESOLVED BY THE MAP OF SURVEY REFLECTED HEREON)
 - B. Rights or claims of parties in possession not shown by the public records. (NOT A SURVEY MATTER)
 - C. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records. (NOT A SURVEY MATTER)
 - D. Taxes or assessments which are not shown as existing liens in the public records. (NOT A SURVEY MATTER)
- ITEM 4.** Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the insured land. (NOT A SURVEY MATTER)
- ITEM 5.** Reservations in favor of Trustees of the Internal Improvement Fund of the State of Florida of an undivided three-quarters interest in and to all phosphates, minerals and metals, together with an undivided one-half interest in and to all petroleum, in, on or under the surface of the insured land, as contained in that certain Deed, recorded in Deed Book 212, Page 53, created pursuant to Section 270.11, Florida Statutes. (SUBJECT PARCEL LIES WITHIN THIS AGREEMENT)
- (Note: As to said reservation, the reservation for mining and exploration have been modified by the release of the right of entry into the insured premises, as contained in Section 270.11 of the Florida Statutes)
- ITEM 6.** Easement Agreement recorded in Official Records Book 665, Page 2459. (SUBJECT PARCEL LIES WITHIN THIS AGREEMENT)

- ITEM 7.** Declaration of Restrictions and Grant of Easements recorded in Official Records Book 712, Page 83; as affected by First Amendment recorded in Official Records Book 733, Page 2912; Waiver recorded in Official Records Book 1982, Page 945. (SUBJECT PARCEL IS INCLUDED IN ANNEXED AGREEMENT PER OFFICIAL RECORDS BOOK 2060, PAGE 1747)
- ITEM 8.** Declaration of Restrictions and Covenants recorded in Official Records Book 1427, Page 1176. (NOT A SURVEY MATTER)
- ITEM 9.** Sanitary Sewer Easement recorded in Official Records Book 1452, Page 1684. (LIES ON SUBJECT PARCEL. DEPICTED ON MAP OF SURVEY)
- ITEM 10.** Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements. (NOT A SURVEY MATTER)
- Note: The following item(s) are being shown for informational purposes only:
- A. Agreement with the Fort Pierce Utilities Authority recorded in Official Records Book 665, Page 407. (ENTIRE SITE IS SUBJECT TO UTILITY AGREEMENTS WITH FT. PIERCE UTILITY AUTHORITY PER THIS AGREEMENT)
 - B. Assignment recorded in Official Records Book 2060, Page 1747. (SUBJECT PARCEL LIES WITHIN THIS BLANKET SIGN AGREEMENT)

LEGAL DESCRIPTION:

Commence at the Northeast corner of Section 4, Township 35 South, Range 40 East, St. Lucie County, Florida, said point being on 1" iron pipe; thence run South 88°21'15" West, a distance of 109.28 feet, to the Southeast corner of Section 33, Township 34 South, Range 40 East, St. Lucie County, Florida; thence run South 89°11'58" West, along the South line of said Section 33, a distance of 97.22 feet, to the West right-of-way line of US Highway No. 1 (State Road No. 5, being 200 feet in width); thence South 28°05'56" East, along said right of way line, a distance of 366.08 feet to the Point of Beginning; thence continuing Southeast along said line, a distance of 173.61 feet to the point of curvature of a non-tangent curve, concave to the North having a radius of 538.68 feet, a central angle of 8°01'58", and a chord of 75.46 feet bearing South 84°52'01" West; thence West along said curve, a distance of 75.52 feet; thence South 88°52'59" West, a distance of 347.24 feet; thence North 24°52'20" West, a distance of 101.66 feet to the point of curvature of a curve, concave to the East, having a radius of 25.00 feet; thence North along the arc of said curve, through a central angle of 88°36'38", a distance of 29.94 feet to the point of curvature of a reverse curve, concave to the Northwest, having a radius of 60.00 feet, a central angle of 41°55'12", and a chord of 42.93 feet bearing North 22°46'42" East; thence Northeast along said curve, a distance of 43.90 feet; thence North 88°52'59" East, a distance of 362.15 feet to the Point of Beginning.

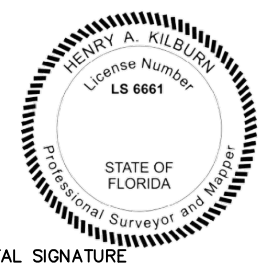


CONTROLLING BENCHMARK
NATIONAL GEODETIC SURVEY
PID AF3261
PUBLISHED ELEVATION 6.19 NAVD 1988

ADDRESS: NORTH US HIGHWAY 1, PORT PIERCE, FL. 34946

CERTIFIED TO:
BRIGHTWORK ACQUISITIONS, LLC, A FLORIDA LIMITED LIABILITY COMPANY
SUNNY LANES HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY
BROOKS, SHEPPARD, & ROCHA, PLLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c) 8, 9, 10, 13, 16, 17, 18 and 19 of Table A thereof. The fieldwork was completed on January 04, 2022.



GSS Surveying and Mapping, LLC
700 22nd Place
Suite 2A
Vero Beach, FL 32960
772-696-5300



GSS Surveying and Mapping, LLC
4620 Lipscomb St NE
Suite 2
Palm Bay, FL 32905
321-914-3978

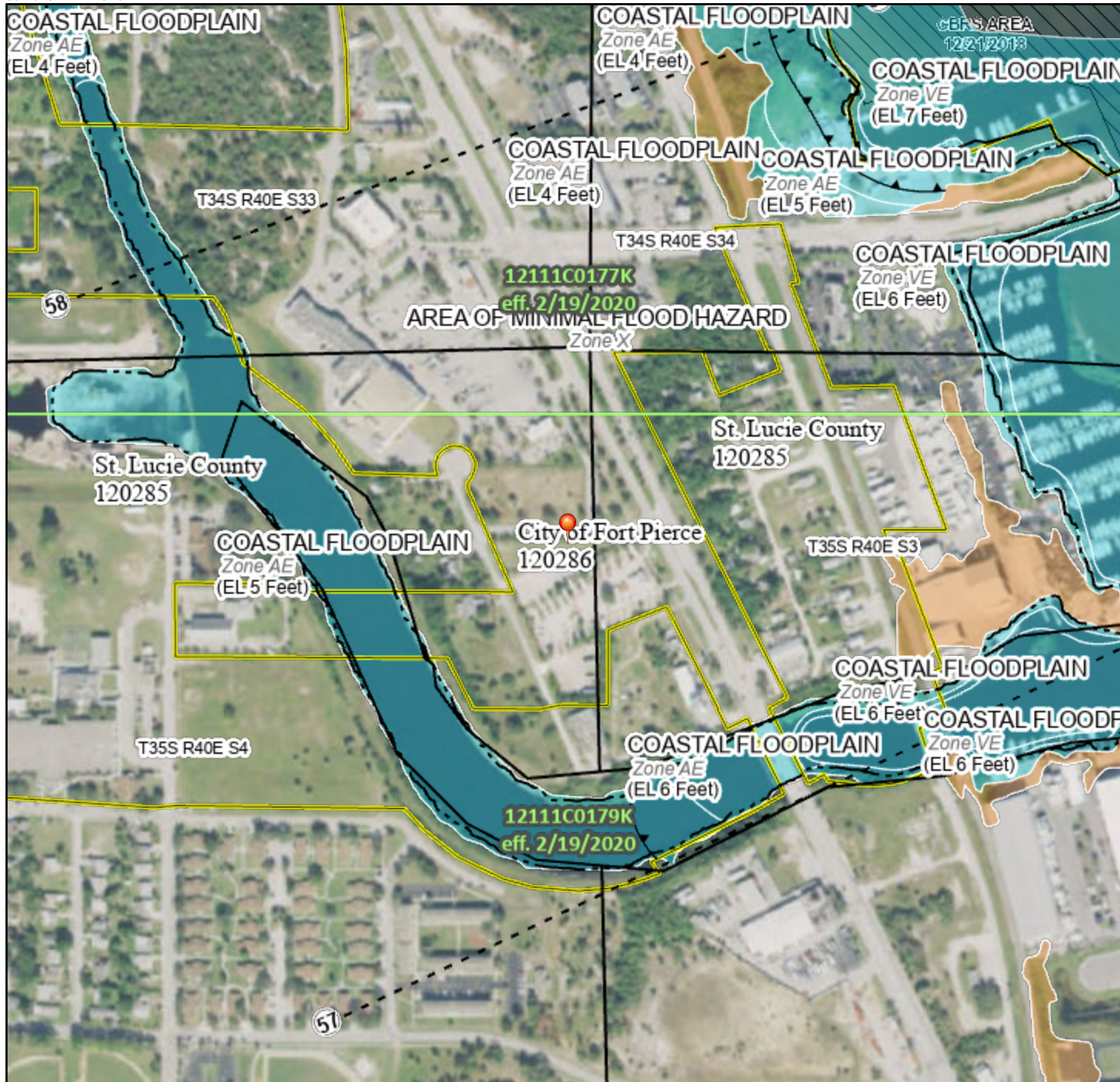
ALTA/NSPS LAND TITLE
BOUNDARY AND
TOPOGRAPHIC SURVEY

FIELD DATE: 01-04-2022	DWG NAME:
FIELD BY: JT/DB	XREF 1:
FIELD BOOK: FILE	XREF 2:
PAGE:	XREF 3:
DRAWN BY: EAD/KC	XREF 4:
CHECKED BY: HAK	XREF 5:
JOB #: 21-1234	SHEET # 1 of 1

National Flood Hazard Layer FIRMette



80°20'19"W 27°28'20"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|---|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
Zone A, V, A99 |
| | | With BFE or Depth Zone AE, AO, AH, VE, AR |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
| | | Future Conditions 1% Annual Chance Flood Hazard Zone X |
| | | Area with Reduced Flood Risk due to Levee. See Notes. Zone X |
| | | Area with Flood Risk due to Levee Zone D |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard Zone X |
| | | Effective LOMRs |
| | | Area of Undetermined Flood Hazard Zone D |
| GENERAL STRUCTURES | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation |
| | | 17.5 |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

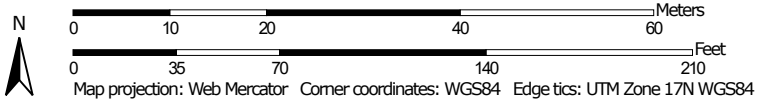
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **11/12/2021 at 11:49 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Soil Map—St. Lucie County, Florida




Map Scale: 1:781 if printed on A landscape (11" x 8.5") sheet.




MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida

Survey Area Data: Version 15, Aug 25, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 18, 2022—Jan 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

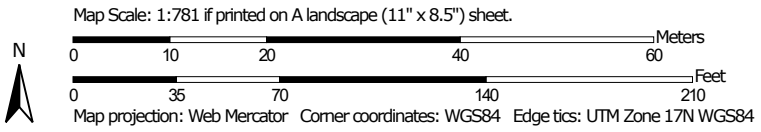
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
4	Arents, 0 to 5 percent slopes	1.5	99.5%
42	St. Lucie sand, 0 to 8 percent slopes	0.0	0.5%
Totals for Area of Interest		1.5	100.0%

Hydrologic Soil Group—St. Lucie County, Florida




Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines


 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points






 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida
 Survey Area Data: Version 15, Aug 25, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 18, 2022—Jan 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
4	Arents, 0 to 5 percent slopes	A	1.5	99.5%
42	St. Lucie sand, 0 to 8 percent slopes	A	0.0	0.5%
Totals for Area of Interest			1.5	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Caliber Car Wash

Fort Pierce, Florida

Legend



740: Disturbed Land

814:
Roads
+/- 5458 SF

740: Disturbed Land

Google Earth

200 ft





May 19, 2022

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

Location

St. Lucie County, Florida



Local office

Florida Ecological Services Field Office

Endangered species

This resource list is for informational purposes only and does not constitute an analysis of project level impacts.

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species¹ and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries²).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information. IPaC only shows species that are regulated by USFWS (see FAQ).
2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

Mammals

NAME	STATUS
Florida Panther Puma (=Felis) concolor coryi Wherever found No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/1763	Endangered
Puma (=mountain Lion) Puma (=Felis) concolor (all subsp. except coryi) No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/6049	SAT
Southeastern Beach Mouse Peromyscus polionotus niveiventris Wherever found No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/3951	Threatened
West Indian Manatee Trichechus manatus Wherever found There is final critical habitat for this species. The location of the critical habitat is not available. https://ecos.fws.gov/ecp/species/4469	Threatened Marine mammal

Birds

NAME	STATUS
Audubon's Crested Caracara <i>Polyborus plancus audubonii</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/8250	Threatened
Florida Scrub-jay <i>Aphelocoma coerulescens</i> Wherever found No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/6174	Threatened
Wood Stork <i>Mycteria americana</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/8477	Threatened

Reptiles

NAME	STATUS
American Alligator <i>Alligator mississippiensis</i> Wherever found No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/776	SAT
American Crocodile <i>Crocodylus acutus</i> There is final critical habitat for this species. The location of the critical habitat is not available. https://ecos.fws.gov/ecp/species/6604	Threatened
Eastern Indigo Snake <i>Drymarchon corais couperi</i> Wherever found No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/646	Threatened
Hawksbill Sea Turtle <i>Eretmochelys imbricata</i> Wherever found There is final critical habitat for this species. The location of the critical habitat is not available. https://ecos.fws.gov/ecp/species/3656	Endangered
Leatherback Sea Turtle <i>Dermochelys coriacea</i> Wherever found There is final critical habitat for this species. The location of the critical habitat is not available. https://ecos.fws.gov/ecp/species/1493	Endangered
Loggerhead Sea Turtle <i>Caretta caretta</i> There is final critical habitat for this species. The location of the critical habitat is not available. https://ecos.fws.gov/ecp/species/1110	Threatened

Insects

NAME	STATUS
Miami Blue Butterfly <i>Cyclargus (=Hemiargus) thomasi bethunebakeri</i> Wherever found No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/3797	Endangered
Monarch Butterfly <i>Danaus plexippus</i> Wherever found No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/9743	Candidate

Flowering Plants

NAME	STATUS
Fragrant Prickly-apple <i>Cereus eriophorus</i> var. <i>fragrans</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/982	Endangered
Lakela's Mint <i>Dicerandra immaculata</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/6390	Endangered
Tiny Polygala <i>Polygala smallii</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/996	Endangered

Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

THERE ARE NO CRITICAL HABITATS AT THIS LOCATION.

Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Birds of Conservation Concern <https://www.fws.gov/program/migratory-birds/species>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>

The birds listed below are birds of particular concern either because they occur on the [USFWS Birds of Conservation Concern](#) (BCC) list or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ [below](#). This is not a list of every bird you may find in this location, nor a guarantee that every bird on this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME	BREEDING SEASON (IF A BREEDING SEASON IS INDICATED FOR A BIRD ON YOUR LIST, THE BIRD MAY BREED IN YOUR PROJECT AREA SOMETIME WITHIN THE TIMEFRAME SPECIFIED, WHICH IS A VERY LIBERAL ESTIMATE OF THE DATES INSIDE WHICH THE BIRD BREEDS ACROSS ITS ENTIRE RANGE. "BREEDS
------	--

ELSEWHERE" INDICATES THAT THE BIRD DOES NOT LIKELY BREED IN YOUR PROJECT AREA.)

<p>American Kestrel <i>Falco sparverius paulus</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA https://ecos.fws.gov/ecp/species/9587</p>	Breeds Apr 1 to Aug 31
<p>American Oystercatcher <i>Haematopus palliatus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/8935</p>	Breeds Apr 15 to Aug 31
<p>Bald Eagle <i>Haliaeetus leucocephalus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities. https://ecos.fws.gov/ecp/species/1626</p>	Breeds Sep 1 to Jul 31
<p>Black Skimmer <i>Rynchops niger</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/5234</p>	Breeds May 20 to Sep 15
<p>Great Blue Heron <i>Ardea herodias occidentalis</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	Breeds Jan 1 to Dec 31
<p>Lesser Yellowlegs <i>Tringa flavipes</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9679</p>	Breeds elsewhere
<p>Magnificent Frigatebird <i>Fregata magnificens</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	Breeds Oct 1 to Apr 30
<p>Prairie Warbler <i>Dendroica discolor</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds May 1 to Jul 31
<p>Red-headed Woodpecker <i>Melanerpes erythrocephalus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds May 10 to Sep 10
<p>Reddish Egret <i>Egretta rufescens</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/7617</p>	Breeds Mar 1 to Sep 15
<p>Ruddy Turnstone <i>Arenaria interpres morinella</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	Breeds elsewhere
<p>Short-billed Dowitcher <i>Limnodromus griseus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9480</p>	Breeds elsewhere

Swallow-tailed Kite *Elanoides forficatus*

Breeds Mar 10 to Jun 30

This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

<https://ecos.fws.gov/ecp/species/8938>

Willet *Tringa semipalmata*

Breeds Apr 20 to Aug 5

This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

Probability of Presence Summary

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the FAQ "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.
2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.
3. The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

To see a bar's probability of presence score, simply hover your mouse cursor over the bar.

Breeding Season (■)

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

Survey Effort (|)

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps. The number of surveys is expressed as a range, for example, 33 to 64 surveys.

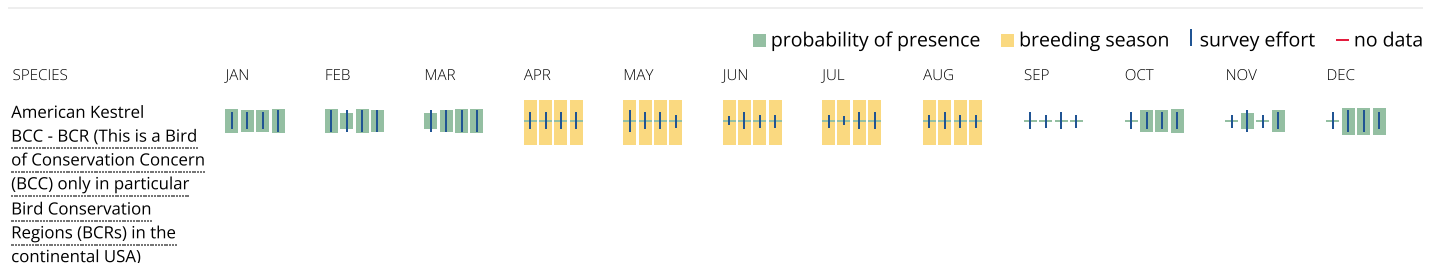
To see a bar's survey effort range, simply hover your mouse cursor over the bar.

No Data (-)

A week is marked as having no data if there were no survey events for that week.

Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.



SPECIES	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Short-billed Dowitcher BCC Rangewide (CON) (This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.)	++++			++++	++++	++++	++	++++			++++	++++
Swallow-tailed Kite BCC Rangewide (CON) (This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.)	++++	++++					++	++++	++++	++++	++++	++++
Willet BCC Rangewide (CON) (This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.)												

Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the migratory birds potentially occurring in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [AKN Phenology Tool](#).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering, migrating or present year-round in my project area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may refer to the following resources: [The Cornell Lab of Ornithology All About Birds Bird Guide](#), or (if you are unsuccessful in locating the bird of interest there), the [Cornell Lab of Ornithology Neotropical Birds guide](#). If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

NOT FOR CONSULTATION

Marine mammals

Marine mammals are protected under the [Marine Mammal Protection Act](#). Some are also protected under the Endangered Species Act¹ and the Convention on International Trade in Endangered Species of Wild Fauna and Flora².

The responsibilities for the protection, conservation, and management of marine mammals are shared by the U.S. Fish and Wildlife Service [responsible for otters, walrus, polar bears, manatees, and dugongs] and NOAA Fisheries³ [responsible for seals, sea lions, whales, dolphins, and porpoises]. Marine mammals under the responsibility of NOAA Fisheries are **not** shown on this list; for additional information on those species please visit the [Marine Mammals](#) page of the NOAA Fisheries website.

The Marine Mammal Protection Act prohibits the take (to harass, hunt, capture, kill, or attempt to harass, hunt, capture or kill) of marine mammals and further coordination may be necessary for project evaluation. Please contact the U.S. Fish and Wildlife Service Field Office shown.

1. The [Endangered Species Act](#) (ESA) of 1973.
2. The [Convention on International Trade in Endangered Species of Wild Fauna and Flora](#) (CITES) is a treaty to ensure that international trade in plants and animals does not threaten their survival in the wild.
3. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following marine mammals under the responsibility of the U.S. Fish and Wildlife Service are potentially affected by activities in this location:

NAME

West Indian Manatee *Trichechus manatus*
<https://ecos.fws.gov/ecp/species/4469>

Coastal Barrier Resources System

Projects within the [John H. Chafee Coastal Barrier Resources System](#) (CBRS) may be subject to the restrictions on federal expenditures and financial assistance and the consultation requirements of the Coastal Barrier Resources Act (CBRA) (16 U.S.C. 3501 et seq.). For more information, please contact the local [Ecological Services Field Office](#) or visit the [CBRA Consultations website](#). The CBRA website provides tools such as a flow chart to help determine whether consultation is required and a template to facilitate the consultation process.

THERE ARE NO KNOWN COASTAL BARRIERS AT THIS LOCATION.

Data limitations

The CBRS boundaries used in IPaC are representations of the controlling boundaries, which are depicted on the [official CBRS maps](#). The boundaries depicted in this layer are not to be considered authoritative for in/out determinations close to a CBRS boundary (i.e., within the "CBRS Buffer Zone" that appears as a hatched area on either side of the boundary). For projects that are very close to a CBRS boundary but do not clearly intersect a unit, you may contact the Service for an official determination by following the instructions here: <https://www.fws.gov/service/coastal-barrier-resources-system-property-documentation>

Data exclusions

CBRS units extend seaward out to either the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward extent of the units is not shown in the CBRS data, therefore projects in the offshore areas of units (e.g., dredging, breakwaters, offshore wind energy or oil and gas projects) may be subject to CBRA even if they do not intersect the CBRS data. For additional information, please contact CBRA@fws.gov.

Facilities

Wildlife refuges and fish hatcheries

REFUGE AND FISH HATCHERY INFORMATION IS NOT AVAILABLE AT THIS TIME

Wetlands in the National Wetlands Inventory

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

THERE ARE NO KNOWN WETLANDS AT THIS LOCATION.

Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

Data precautions

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

Appendix B:

Historical Aerials



FDOT Aerial 1969



FDOT Aerial 1980



FDOT Aerial 1992

Appendix C:

Taylor Creek Commons Plans

BOUNDARY SURVEY

PREPARED FOR
HOLLAND CONSTRUCTION

LEGAL DESCRIPTIONS

PARCEL 1

Being that part of the North 150 feet of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 of Section 33, Township 34 South, Range 40 East, St. Lucie County, Florida, lying West of Old State Road 4, also known as Sand Ridge Road and subject to rights-of-way and easements of record, said parcel being situate in St. Lucie County, Florida.

PARCEL 2

A parcel of land in the Southeast 1/4 of Section 33, Township 34 South, Range 40 East, St. Lucie County, Florida, being more particularly described as follows:

Being that part of the North 3/4 of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 of said Section 33, lying West of State Road No. 5, less and excepting the North 150 feet and less and excepting State Road No. 4, and less and excepting a permanent and perpetual easement to Ft. Pierce Farms Water Control District for Canal No. 1.

PARCEL 3

Being that part of the South 1/4 of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 of Section 33, Township 34 South, Range 40 East, St. Lucie County, Florida, lying West of the Easterly right-of-way line of State Road 4 (Old U. S. Highway No. 1, also known as Sand Ridge Road), excepting therefrom that part conveyed to Central & Southern Florida Flood Control District, as recorded in Deed Book 259, page 567 of the Public Records of St. Lucie County, Florida and also less and excepting that part conveyed to Fort Pierce Farms Drainage District, as recorded in Official Records Book 169, page 1590 of the Public Records of St. Lucie County, Florida, subject to the right-of-way for said State Road No. 4 (Old U. S. Highway No. 1).

LESS AND EXCEPTING therefrom the following described parcel in Warranty Deed recorded in Official Record Book 370, page 2177 of the Public Records of St. Lucie County, Florida:

Being that part of the South 1/2 of the South 1/2 of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 of Section 33, Township 34 South, Range 40 East, St. Lucie County, Florida, lying West of that part conveyed to Fort Pierce Farms Drainage District, now known as Fort Pierce Farms Water Control District, as recorded in Official Records Book 169, page 1590 of the Public Records of St. Lucie County, Florida.

PARCEL 4

Being all that portion of the South 1/4 of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 of Section 33, Township 34 South, Range 40 East, St. Lucie County, Florida, described as follows: For a POINT OF BEGINNING commence at the point of intersection of the West right-of-way line of State Road No. 5, as now laid out and existing, with the South line of the Southeast 1/4 of the Southeast 1/4 of said Section 33, thence run West, along the South line of said Southeast 1/4 of the Southeast 1/4, a distance of 392.30 feet, more or less, to the East right-of-way line of State Road No. 4 (Old No. 1 Highway); thence run Northerly, along the East right-of-way line of State Road No. 4, a distance of 152.17 feet, more or less, to the North line of the South 1/4 of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 of said Section 33; thence run East, along the North line of the South 1/4 of the South 1/2 of the Southeast 1/4 of the Southeast 1/4 of said Section 33, a distance of 380.46 feet, more or less, to the West right-of-way line of State Road No. 5; thence run Southerly, along the said West right-of-way line of State Road No. 5, a distance of 187.02 feet, more or less, to the POINT OF BEGINNING.

PARCEL 5

Being all that portion of the North 1/2 of the North 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 4, Township 35 South, Range 40 East, St. Lucie County, Florida, described as follows: For a POINT OF BEGINNING commence at the point of intersection of the West right-of-way of State Road No. 5, as now laid out and existing, with the North line of the Northeast 1/4 of the Northeast 1/4 of said Section 4; thence run West, along the North line of said Northeast 1/4 of the Northeast 1/4, a distance of 392.30 feet, more or less, to the East right-of-way line of State Road No. 4 (Old No. 1 Highway); thence run Southerly, along the East right-of-way line of State Road No. 4, a distance of 383.51 feet, more or less, to the South line of the North 1/2 of the North 1/2 of the Northeast 1/4 of the Northeast 1/4 of said Section 4; thence run East, along the South line of the North 1/2 of the North 1/2 of the Northeast 1/4 of the Northeast 1/4 of said Section 4, a distance of 415.40 feet, more or less, to the West right-of-way line of State Road No. 5; thence run Northerly, along the West right-of-way line of State Road No. 5, a distance of 391.50 feet, more or less, to the POINT OF BEGINNING.

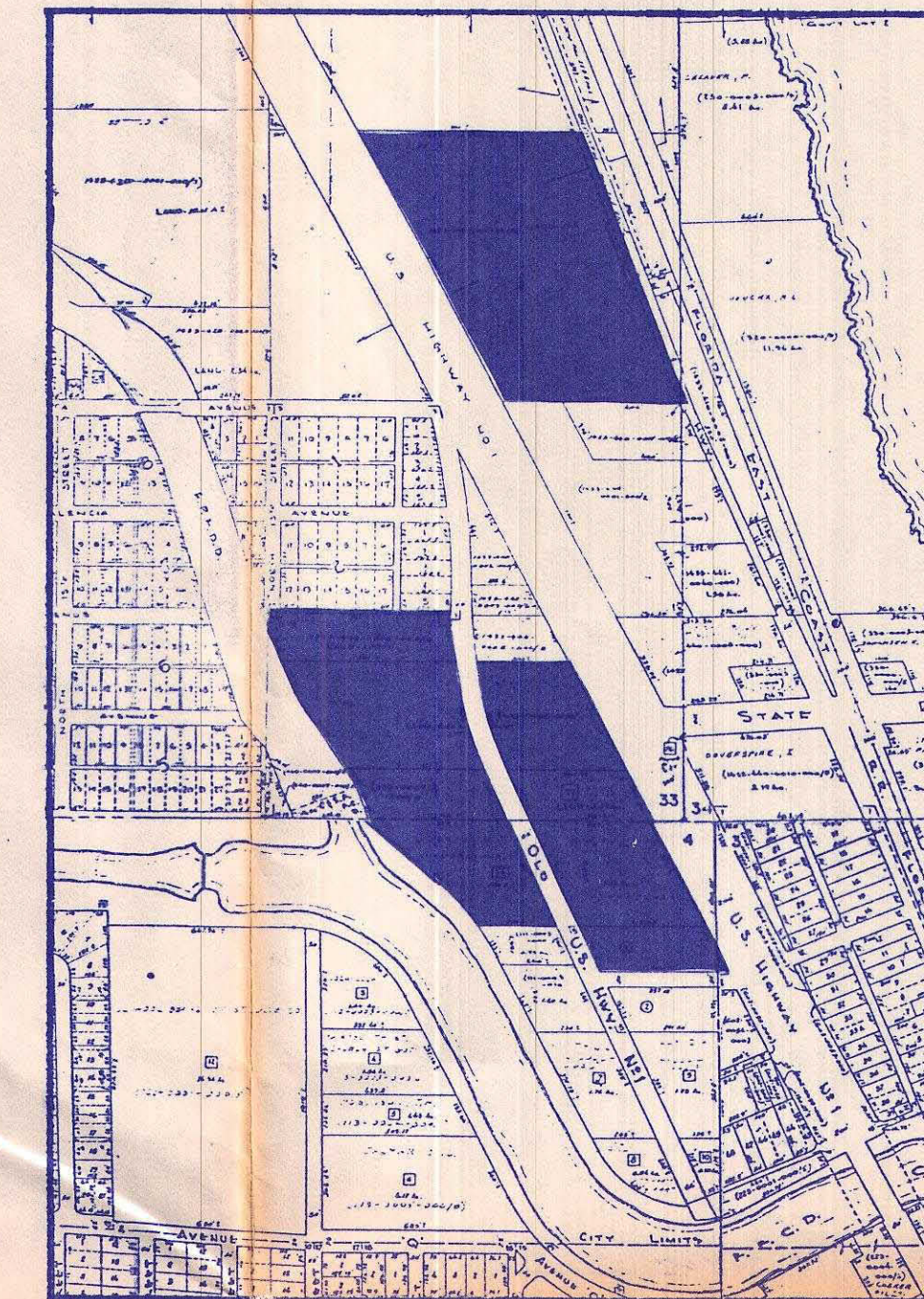
PARCEL 6

Being that part of the North 1/2 of the North 1/2 of the Northeast 1/4 of the Northeast 1/4, of Section 4, Township 35 South, Range 40 East, St. Lucie County, Florida, lying East of the Easterly right-of-way line of the Central and Southern Florida Flood Control District Canal C-25 (Taylor Creek) and West of the Easterly right-of-way line of State Road No. 4 (Old U. S. Highway No. 1, also known as Sand Ridge Road), subject to the right-of-way of State Road No. 4 (Old U. S. Highway No. 1).

PARCEL 7

Being that part of an un-numbered Tract, lying West of U. S. Highway No. 1 (State Road No. 5), in Section 3, Township 35 South, Range 40 East, St. Lucie County, Florida and also that part of an unnumbered tract in Section 4, Township 35 South, Range 40 East, all lying North of a platted street running East and West through Hillside Subdivision, as shown on the plat of Hillside Subdivision in File in Plat Book 7, Page 43 of the Public Records of St. Lucie County, Florida. Said unnumbered tracts being more particularly described as follows:

From the Northeast corner of Section 4, Township 35 South, Range 40 East, run South, along the East line of said Section 4, a distance of 406.61 feet, more or less, to the West right-of-way line of U. S. Highway No. 1 (State Road No. 5) for the POINT OF BEGINNING; thence run southeasterly, along the said West right-of-way line, 91.35 feet, more or less, to the North right-of-way line of said platted street in Hillside Subdivision; thence run West, along the said North right-of-way line, 420.97 feet, more or less, to the East right-of-way line of Old U. S. No. 1 (State Road No. 4); thence run northwesterly, along the said East right-of-way line, 162.10 feet, more or less, to the North line of an unnumbered tract in Hillside Subdivision; thence run East, 413.88 feet, more or less, to the West right-of-way line of U. S. Highway No. 1 (State Road No. 5); thence run southeasterly, along said West right-of-way, 67.87 feet, more or less, to the POINT OF BEGINNING.



LOCATION MAP

SURVEYOR'S NOTES:

1. Reproductions of this sketch are not valid unless sealed with an Embossed Surveyors Seal.
2. Lands shown hereon were not abstracted by this office for Rights-of-ways, easements of record, ownership, abandonments, deed restrictions, zoning set-backs or Murphy Act Deeds.
3. Legal Descriptions of Parcels 1-8 shown hereon were provided by the client. All others were created by this office.
4. Bearings shown hereon are relative to assumed datum using the centerline of U. S. Highway No. 1 (State Road No. 5) as N28°05'56"W.
5. Elevations shown hereon are based on N.G.V.D. and U.S.C. & G.S. benchmark NO. C-231 Elevation 7.70.
6. The southern boundary of Parcel 7 was held to the westerly extension of the North line of the Plat of Hillside Subdivision and not the true break-down of the Section. This was based on information shown on Survey drawings in my possession, dated as early as 1937.
7. The northern boundary of Parcel 1 was held to the line as surveyed in April 1945 by F. E. Englar.
8. The Right-of-way of State Road No. 4 (Old U.S. Highway No. 1) was located from the centerline of the existing roadway, as being the monument, and being the intent of the right-of-way as per Deed Book 74, page 458 and Deed Book 77, page 231.
9. The Right-of-way of the Ft. Pierce Farms Water Management District Canal No. 1 is shown as per Right-of-way map by S. P. Musick.
10. The Right-of-way of the South Florida Water Management District Canal No. C-25 (Taylor Creek) is shown as per their Right-of-way Maps and found Drainage District Monuments.
11. The lands in Section 33, Township 34 South, Range 40 East area pro-rational sectional breakdown as per Manual of Instructions, 1973.
12. Parcels 1 through 7 and Parcel A create no vacancies, gaps, holes, or hiatus of lands.
13. Sunny Lane right-of-way (50 feet wide), as shown on Plat of Hillside Subdivision as per Plat Book 7 at page 43 of the Public Records of St. Lucie County, Florida.
14. The lands shown hereon do not lie in the City Limits of Ft. Pierce, Florida.

NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

LOCATED IN FLOOD ZONE C AND POSSIBLY A PORTION IN FLOOD ZONE B
THESE ZONES ARE NOT TERMED SPECIAL FLOOD HAZARD AREAS

SCANNED/POSTED
SPERMITTING

JAMES A. KIRBY III
REGISTERED LAND SURVEYOR

JAK 1921 ORANGE AVENUE
PO. BOX 1826
FT. PIERCE, FLA. 34954
(305) 464-9621

CERTIFICATE OF SURVEYOR

I HEREBY CERTIFY that the attached map of survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction on 5-11-1989. I further certify that this survey meets the minimum technical standards set forth in rule 21HH-6 adopted by the Florida Board of Land Surveyors, pursuant to Florida Statute 472.027. There are no above ground encroachments other than those shown hereon, subject to the qualifications noted hereon.

Dated this 11th day of May 1989.

James A. Kirby, III
James A. Kirby, III
Professional Land Surveyor
Florida Registration No. 2391

CERTIFIED TO:

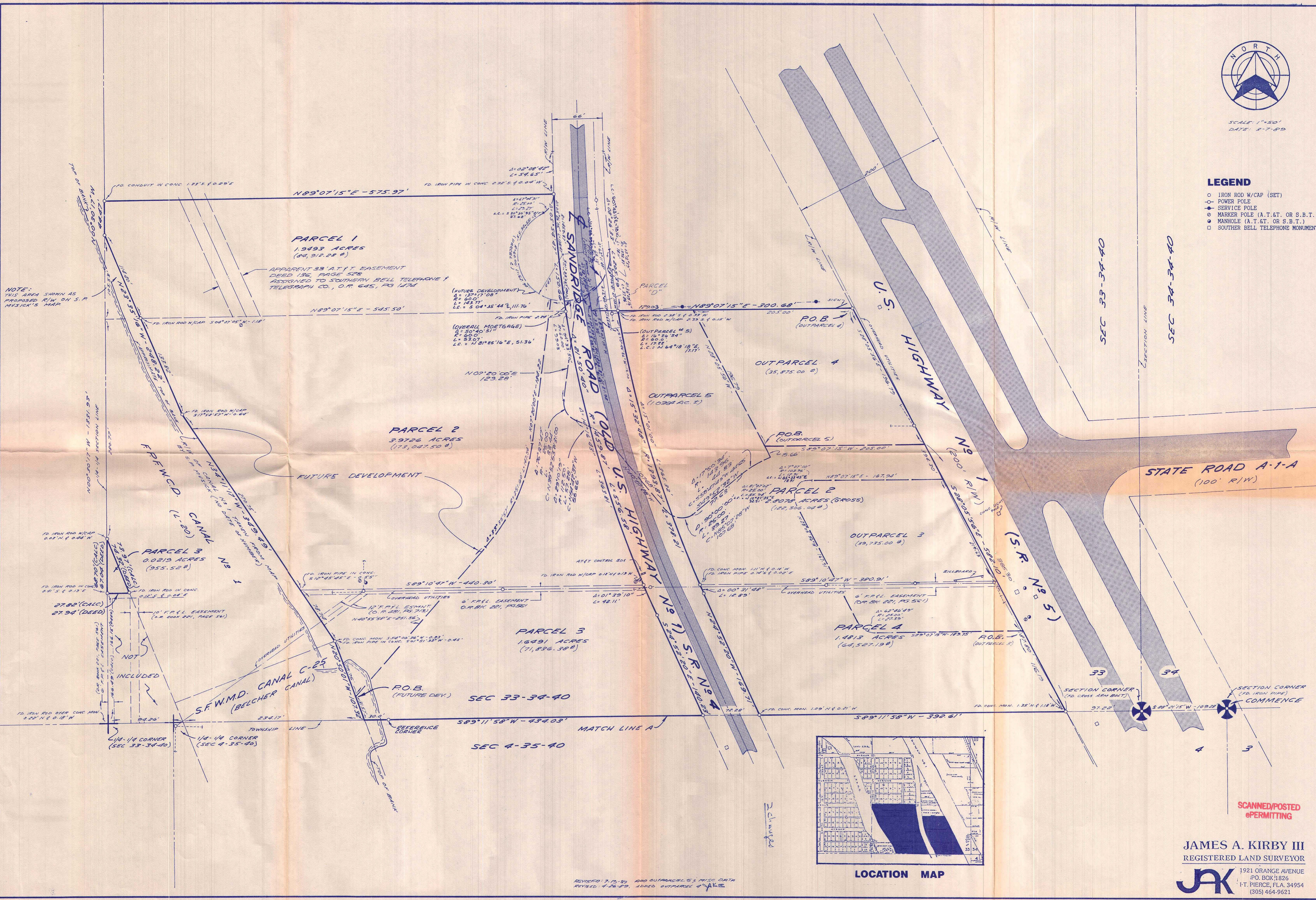
Lawyers Title Insurance Corporation
Neill, Griffin, Jeffries & Lloyd
Taylor Creek Associates, Ltd.
Chicago Title Insurance Company
Stewart Title Guaranty Company
Commonwealth Land Title Insurance Company
NCNB National Bank of North Carolina
Associated Land Title Group, Inc.



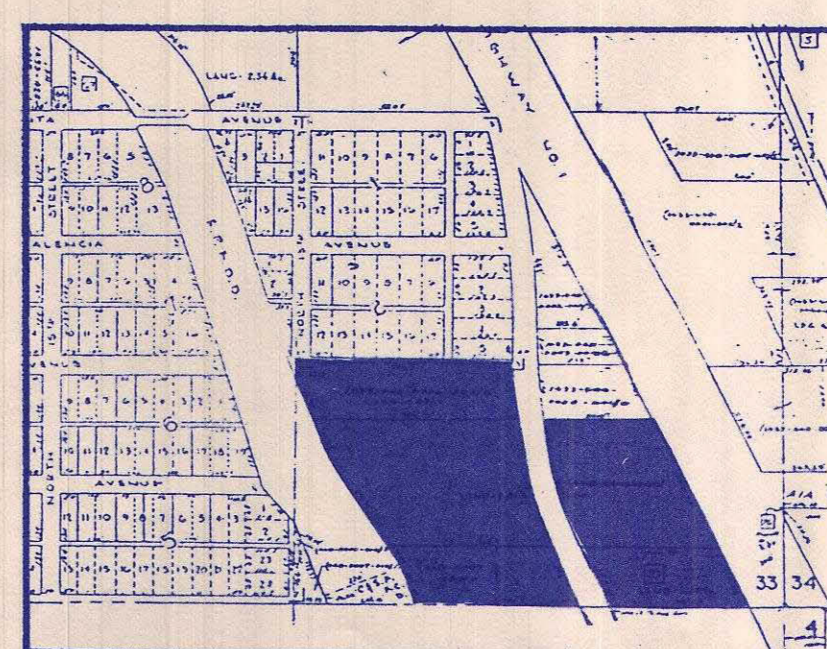
SCALE: 1"=50'
DATE: 3-7-89

LEGEND

- IRON ROD W/CAP (SET)
- SERVICE POLE
- MARKER POLE (A.T.&T. OR S.B.T.)
- MANHOLE (A.T.&T. OR S.B.T.)
- SOUTHERN BELL TELEPHONE MONUMENT



NOTE:
THIS AREA SHOWN AS
PROPOSED R/W ON S.R.
MUSICK'S MAP



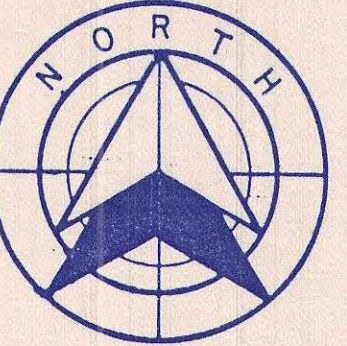
REVISED 7-15-89 ADD OUTPARCEL 5'S MISC DATA
REVISED 4-26-89, ADDED OUTPARCEL 4 TAKE

FB 35-40 BK 4, PG 9-36
FB 34-40 BK 4, PG 39

JAMES A. KIRBY III
REGISTERED LAND SURVEYOR

JAK
1921 ORANGE AVENUE
P.O. BOX 1826
FT. PIERCE, FLA. 34954
(305) 464-9621

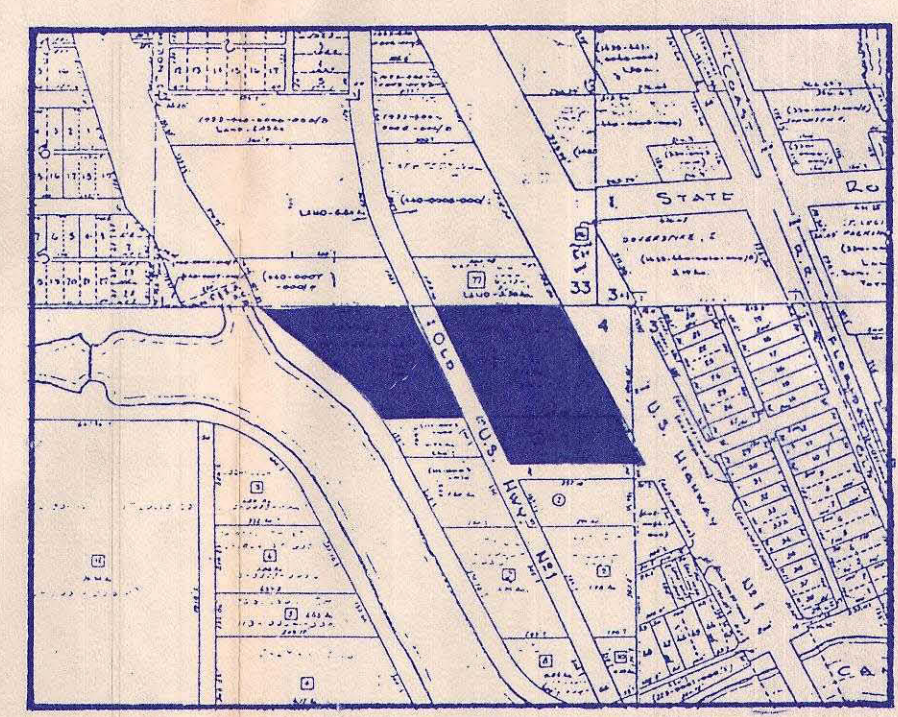
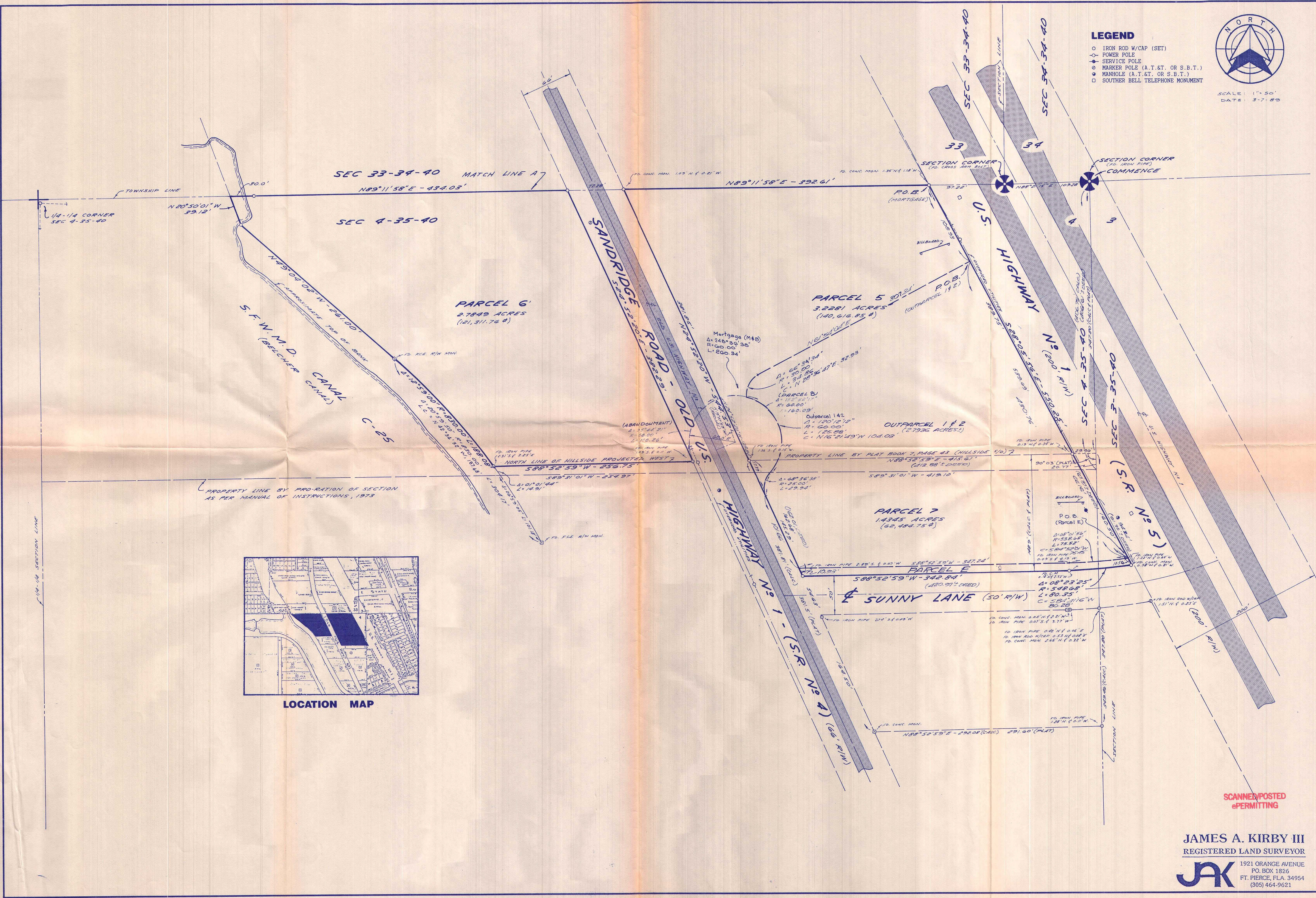
SCANNED/POSTED
ePERMITTING



LEGEND

- IRON ROD W/CAP (SET)
- POWER POLE
- ◆ SERVICE POLE
- ⊙ MARKER POLE (A.T.&T. OR S.B.T.)
- ⊙ MANHOLE (A.T.&T. OR S.B.T.)
- SOUTHERN BELL TELEPHONE MONUMENT

SCALE: 1" = 50'
DATE: 3-7-89



LOCATION MAP

SCANNED/POSTED
ePERMITTING

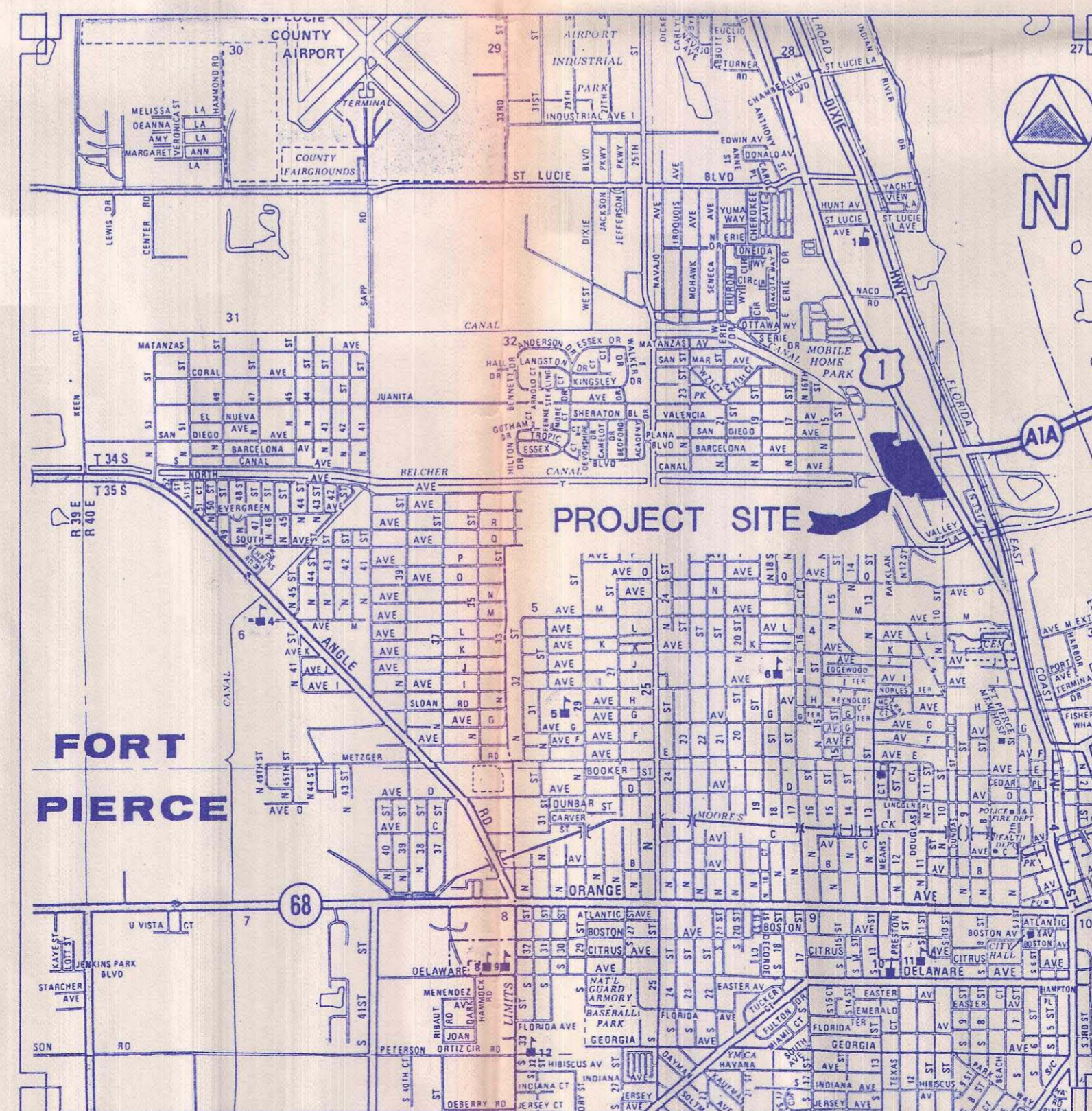
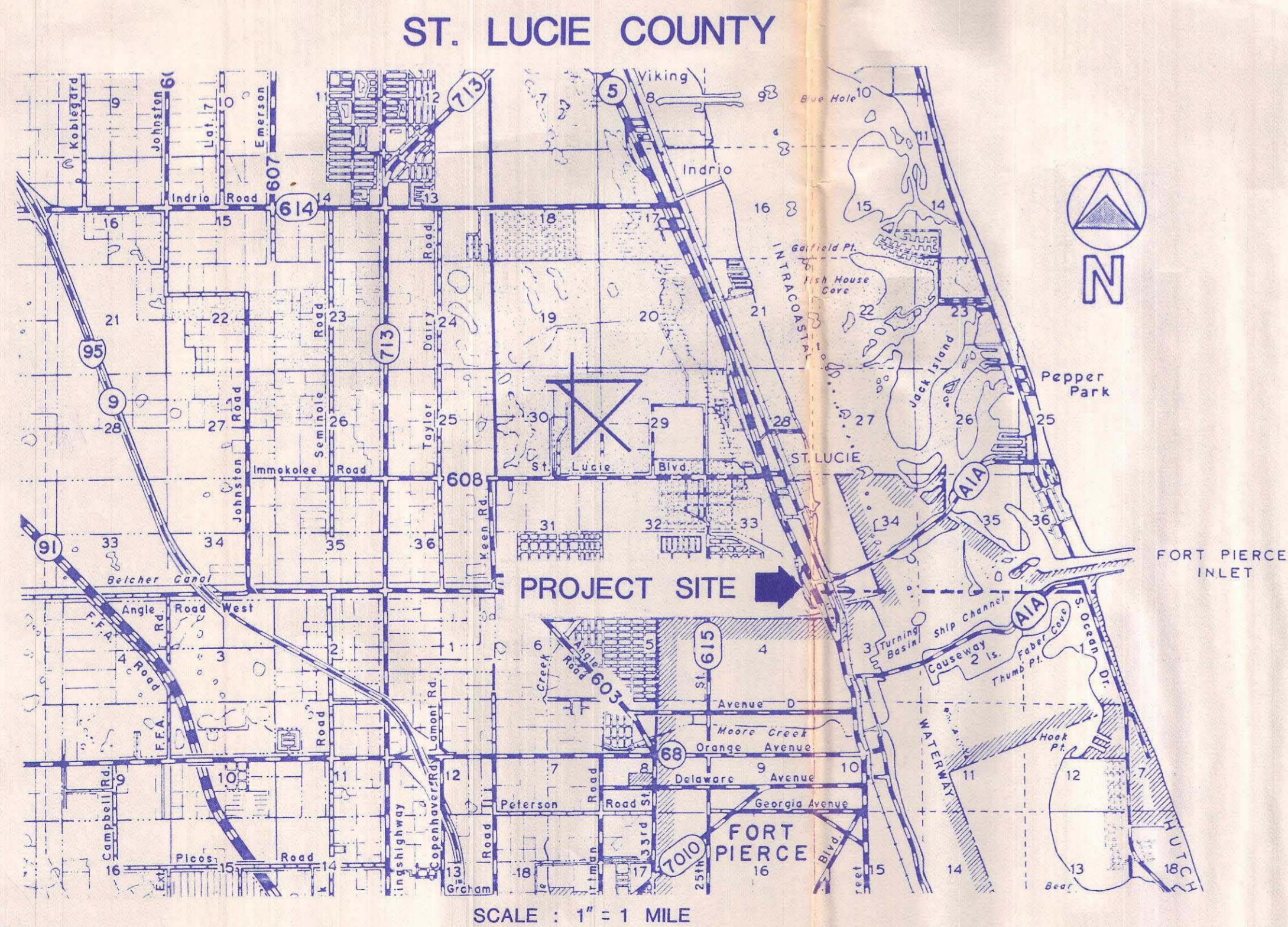
JAMES A. KIRBY III
REGISTERED LAND SURVEYOR

JAK 1921 ORANGE AVENUE
PO. BOX 1826
FT. PIERCE, FLA. 34954
(305) 464-9621

CONSTRUCTION PLANS and SPECIFICATIONS
 OF
 PAVING , DRAINAGE , WATER DISTRIBUTION AND WASTEWATER COLLECTION / TRANSMISSION IMPROVEMENTS
 FOR

Taylor Creek Commons

HOLLAND CONSTRUCTION COMPANY
 ST. LUCIE COUNTY , FLORIDA



INDEX OF SHEETS

1. TITLE AND INDEX OF SHEETS
2. COMPUTED LAYOUT (POSSIBLE STRIPING DETAILS)
3. PAVING, GRADING AND DRAINAGE (ON-SITE)
4. PAVING, GRADING AND DRAINAGE (U.S. HIGHWAY NO. 1)
5. PAVING, GRADING AND DRAINAGE (NORTH SANDRIDGE ROAD - OLD U.S. NO. 1)
6. PAVING, GRADING AND DRAINAGE (SOUTH SANDRIDGE ROAD - OLD U.S. NO. 1)
7. PAVING, GRADING AND DRAINAGE (SUNNY LANE)
8. WATER DISTRIBUTION AND WASTEWATER COLLECTION
9. WASTEWATER PUMPING STATION
10. CONSTRUCTION DETAILS - PAVING AND DRAINAGE
11. CONSTRUCTION DETAILS - WATER DISTRIBUTION
12. CONSTRUCTION DETAILS - WASTEWATER COLLECTION
13. PROFILE OF WASTEWATER TRANSMISSION SYSTEM
14. PROFILE OF WASTEWATER COLLECTION SYSTEM
15. SUMMARY OF ESTIMATED QUANTITIES AND SUPPLEMENTARY CONDITIONS
16. SPECIFICATIONS



LINDAHL, BROWNING, FERRARI & HELLSTROM, INC.
 consulting engineers, planners & surveyors

Jupiter Stuart Fort Pierce Vero Beach

M.E. Sanders
 M.E. SANDERS

AUG 0 3 1989

#38814

SCANNED/POSTED
 ePERMITTING

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 5600855-5

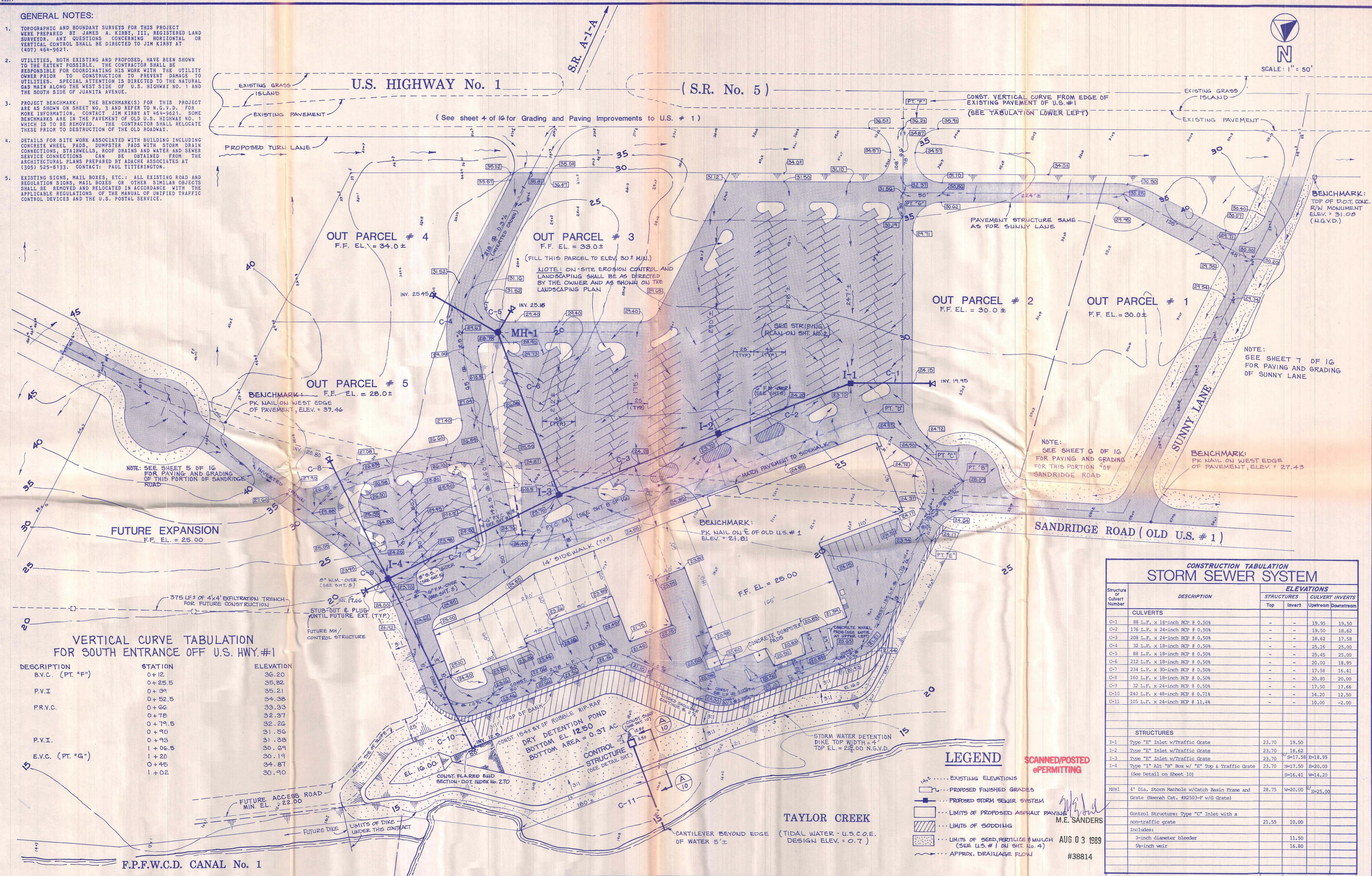
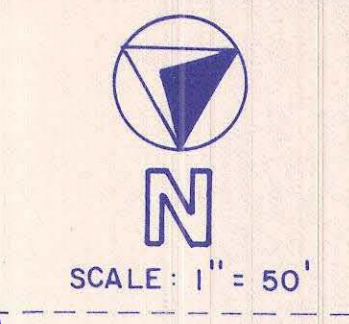
SHEET 1 OF 16

HOLLAND CONSTRUCTION COMPANY (89 - 040)

AUGUST 3, 1989

GENERAL NOTES:

1. TOPOGRAPHIC AND BOUNDARY SURVEYS FOR THIS PROJECT WERE PREPARED BY JAMES A. KIRBY, III, REGISTERED LAND SURVEYOR. ANY QUESTIONS CONCERNING HORIZONTAL OR VERTICAL CONTROL SHALL BE DIRECTED TO JIM KIRBY AT (407) 464-9621.
2. UTILITIES, BOTH EXISTING AND PROPOSED, HAVE BEEN SHOWN TO THE EXTENT POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE UTILITY OWNER PRIOR TO CONSTRUCTION TO PREVENT DAMAGE TO UTILITIES. SPECIAL ATTENTION IS DIRECTED TO THE NATURAL GAS MAIN ALONG THE WEST SIDE OF U.S. HIGHWAY NO. 1 AND THE SOUTH SIDE OF JUANITA AVENUE.
3. PROJECT BENCHMARK: THE BENCHMARK(S) FOR THIS PROJECT ARE AS SHOWN ON SHEET NO. 3 AND REFER TO N.G.V.D. FOR MORE INFORMATION. CONTACT JIM KIRBY AT 464-9621. SOME BENCHMARKS ARE IN THE PAVEMENT OF OLD U.S. HIGHWAY NO. 1 WHICH IS TO BE REMOVED. THE CONTRACTOR SHALL RELOCATE THESE PRIOR TO DESTRUCTION OF THE OLD ROADWAY.
4. DETAILS FOR SITE WORK ASSOCIATED WITH BUILDING INCLUDING CONCRETE WHEEL PADS, DUMPSTER PADS WITH STORM DRAIN CONNECTIONS, STAIRWELLS, ROOF DRAINS AND WATER AND SEWER SERVICE CONNECTIONS CAN BE OBTAINED FROM THE ARCHITECTURAL PLANS PREPARED BY ADACHE ASSOCIATES AT (305) 525-8133. CONTACT: PAUL TITTINGTON.
5. EXISTING SIGNS, MAIL BOXES, ETC.: ALL EXISTING ROAD AND REGULATION SIGNS, MAIL BOXES OR OTHER SIMILAR OBJECTS SHALL BE REMOVED AND RELOCATED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS OF THE MANUAL OF UNIFIED TRAFFIC CONTROL DEVICES AND THE U.S. POSTAL SERVICE.



VERTICAL CURVE TABULATION FOR SOUTH ENTRANCE OFF U.S. HWY. #1

DESCRIPTION	STATION	ELEVATION
B.V.C. (PT. "F")	0+12	36.20
	0+25.5	35.82
P.V.I.	0+39	35.21
	0+52.5	34.38
P.R.V.C.	0+66	33.33
	0+78	32.37
	0+79.5	32.26
	0+90	31.56
P.V.I.	0+93	31.38
	1+06.5	30.69
E.V.C. (PT. "G")	1+20	30.19
	0+45	34.87
	1+02	30.90

CONSTRUCTION TABULATION STORM SEWER SYSTEM

Structure or Culvert Number	DESCRIPTION	ELEVATIONS		
		STRUCTURES Top	CULVERTS Invert	UPSTREAM DOWNSTREAM
CULVERTS				
C-1	88 L.F. x 18-inch RCP @ 0.50%	-	-	19.95 19.50
C-2	176 L.F. x 24-inch RCP @ 0.50%	-	-	19.50 18.62
C-3	208 L.F. x 24-inch RCP @ 0.50%	-	-	18.62 17.58
C-4	32 L.F. x 18-inch RCP @ 0.50%	-	-	25.16 25.00
C-5	88 L.F. x 18-inch RCP @ 0.50%	-	-	25.45 25.00
C-6	212 L.F. x 18-inch RCP @ 0.50%	-	-	20.00 18.95
C-7	234 L.F. x 30-inch RCP @ 0.50%	-	-	17.58 16.41
C-8	160 L.F. x 18-inch RCP @ 0.50%	-	-	20.80 20.00
C-9	32 L.F. x 24-inch RCP @ 0.50%	-	-	17.50 17.66
C-10	240 L.F. x 48-inch RCP @ 0.71%	-	-	14.20 12.50
C-11	105 L.F. x 24-inch RCP @ 11.4%	-	-	10.00 -2.00
STRUCTURES				
I-1	Type "E" Inlet w/traffic Grate	23.70	19.50	
I-2	Type "E" Inlet w/traffic Grate	23.70	18.62	
I-3	Type "E" Inlet w/traffic Grate	23.70	17.58	18.95
I-4	Type "I" Alt. "B" Box w/ "E" Top & Traffic Grate (See Detail on Sheet 10)	23.70	17.50	14.20
MH-1	4' Dia. Storm Manhole w/Catch Basin Frame and Grate (Nemah Cat. #R2503-P w/G Grate)	28.75	20.00	25.00
Control Structure: Type "C" Inlet with a non-traffic grate				
		21.55	10.00	
Includes:				
	3-inch diameter bleeder		11.50	
	5/8-inch weir		16.80	

LEGEND

- EXISTING ELEVATIONS
- PROPOSED FINISHED GRADES
- PROPOSED STORM SEWER SYSTEM
- LIMITS OF PROPOSED ASPHALT PAVING
- LIMITS OF SODDING
- LIMITS OF SEED, FERTILIZE & MULCH (SEE U.S. #1 ON SHT. NO. 4)
- APPROX. DRAINAGE FLOW

SCANNED/POSTED & PERMITTING

M.E. SANDERS

AUG 03 1989

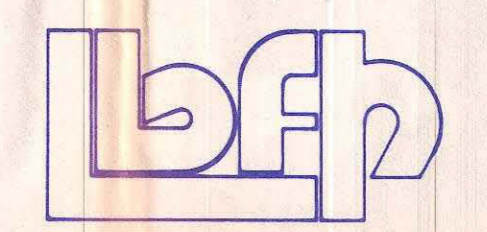
#38814

TAYLOR CREEK COMMONS
FORT PIERCE, FLORIDA

PAVING, GRADING and DRAINAGE
(ON-SITE)

DATE	BY	DESCRIPTION

FIELD:
DRAWN BY: J.A.K. CADD
CHECKED BY: T.L.K.
DATE: 8-3-89
JOB NO. 89-040



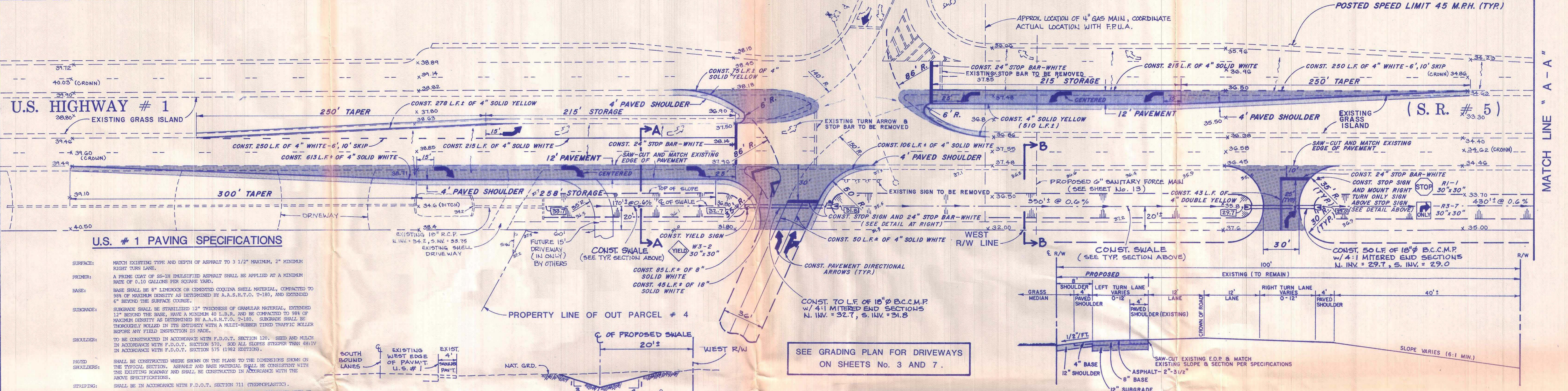
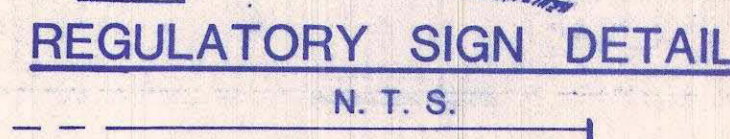
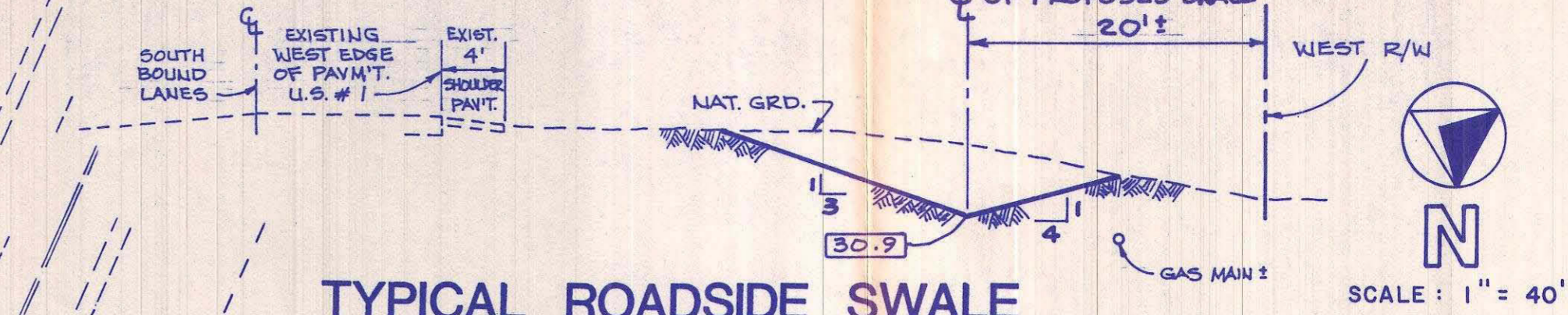
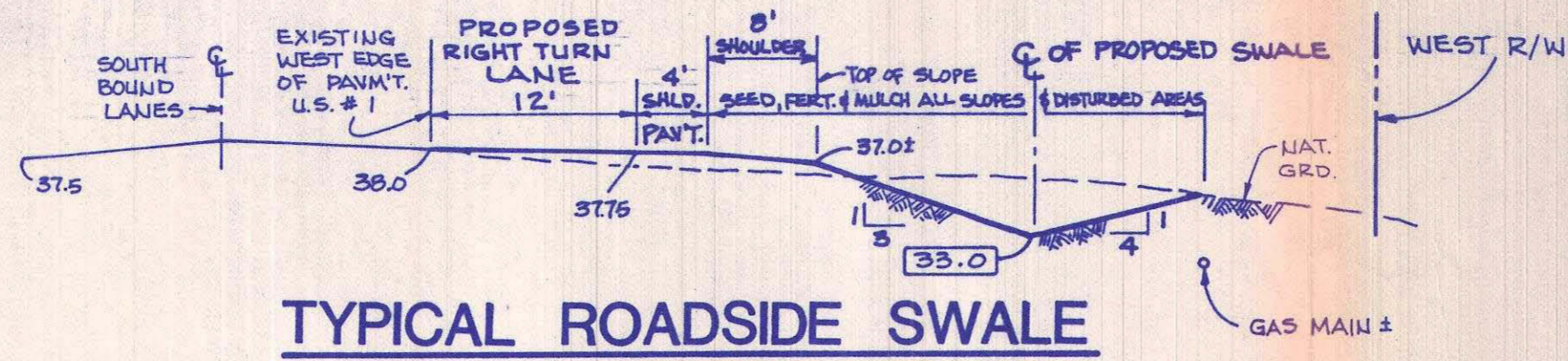
LINDAHL, BROWNING, FERRARI & HELLSTROM, INC.
CONSULTING ENGINEERS, PLANNERS & SURVEYORS

10 CENTRAL PARKWAY SUITE 420 STUART, FLORIDA 33497

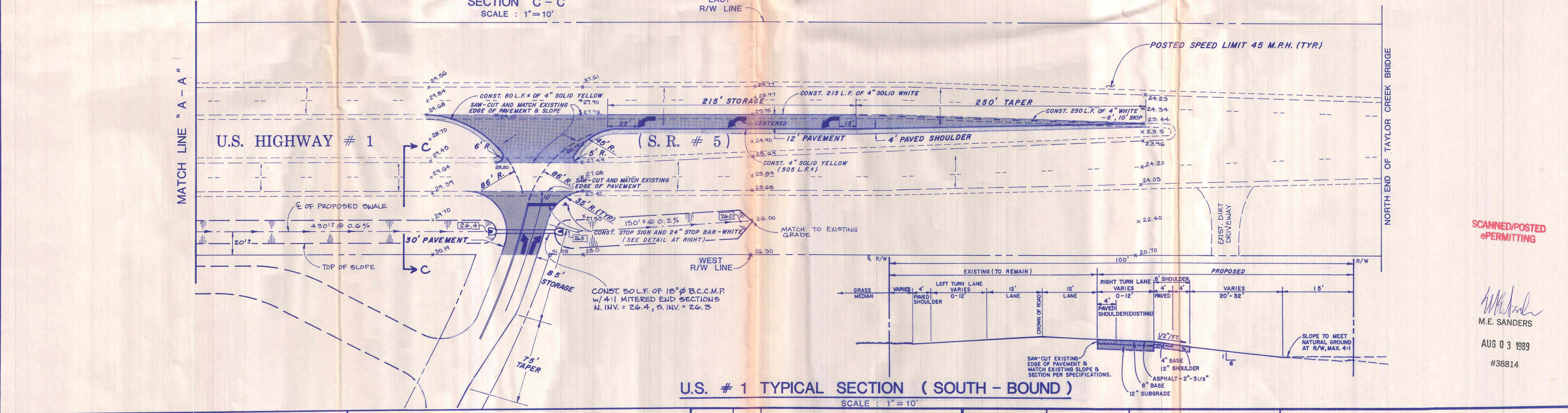
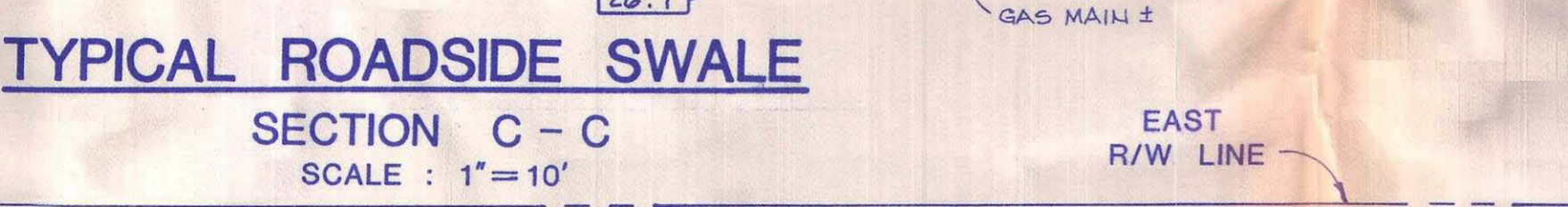
1905 SOUTH 25TH STREET SUITE 205 FORT PIERCE, FLORIDA 33450

SCALE: 1" = 50' DR. NO. SHEET 3 OF

- NOTES :
1. ALL STRIPING IN D.O.T. R/W TO BE IN ACCORDANCE WITH STND. INDEX 17346.
 2. REFLECTIVE PAVEMENT MARKERS SHALL BE INSTALLED IN ACCORDANCE WITH STND. INDEX 17352.
 3. TRAFFIC SHALL BE MAINTAINED PER STND. INDEX SERIES 600 (APPROPRIATE INDEX FOR WORK BEING PERFORMED.)
 4. LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL CONFIRM THE ACTUAL LOCATION OF THESE, AND OTHER UTILITIES NOT SHOWN, WITH THE UTILITY OWNER PRIOR TO CONSTRUCTION, AND SHALL COORDINATE HIS CONSTRUCTION TO PREVENT DAMAGE TO THE UTILITIES.
 5. ALL EXISTING ROAD SIGNS, REGULATORY SIGNS, MAIL BOXES OR OTHER SIMILAR OBJECTS SHALL BE REMOVED AND RELOCATED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS OF THE MANUAL OF UNIFIED TRAFFIC CONTROL DEVICES AND THE U.S. POSTAL SERVICE.



- U.S. # 1 PAVING SPECIFICATIONS**
- SURFACE:** MATCH EXISTING TYPE AND DEPTH OF ASPHALT TO 3 1/2" MAXIMUM, 2" MINIMUM RIGHT TURN LANE.
- PRIMER:** A PRIME COAT OF 88-1H EMULSIFIED ASPHALT SHALL BE APPLIED AT A MINIMUM RATE OF 0.10 GALLONS PER SQUARE YARD.
- BASE:** BASE SHALL BE 6" LIMECK OR CEMENTED COQUINA SHELL MATERIAL, COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. T-180, AND EXTENDED 6" BEYOND THE SURFACE COURSE.
- SUBGRADE:** SUBGRADE SHALL BE STABILIZED 12" THICKNESS OF GRANULAR MATERIAL, EXTENDED 12" BEYOND THE BASE, HAVE A MINIMUM 40 L.B./Y. AND BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. T-180. SUBGRADE SHALL BE THOROUGHLY ROLLED IN ITS ENTIRETY WITH A MULTI-ROCKER TYPED TRAFFIC ROLLER BEFORE ANY FIELD INSPECTION IS MADE.
- SHOULDER:** TO BE CONSTRUCTED IN ACCORDANCE WITH F.D.O.T. SECTION 120. SEED AND MULCH IN ACCORDANCE WITH F.D.O.T. SECTION 570. SOIL ALL SLOPES STEEPER THAN 4H:1V IN ACCORDANCE WITH F.D.O.T. SECTION 575 (1982 EDITION).
- PAVED SHOULDERS:** SHALL BE CONSTRUCTED WHERE SHOWN ON THE PLANS TO THE DIMENSIONS SHOWN ON THE TYPICAL SECTION. ASPHALT AND BASE MATERIAL SHALL BE CONSISTENT WITH THE ABOVE SPECIFICATIONS.
- STRIPING:** SHALL BE IN ACCORDANCE WITH F.D.O.T. SECTION 711 (THERMOPLASTIC).
- NOTE:**
1. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH ST. LUCIE COUNTY CODE AND/OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1987 EDITION.
 2. THE CONTRACTOR MAY SUBSTITUTE THE SUBGRADE ABOVE BY PROVIDING A 15" BASE ALTERNATE (DOUBLE COURSE) ON COMPACTED SOIL, IN ACCORDANCE WITH THE ABOVE SPECIFICATIONS.



TAYLOR CREEK COMMONS
FORT PIERCE, FLORIDA

U.S. HIGHWAY # 1
PAVING, GRADING and DRAINAGE

DATE	BY	DESCRIPTION

FIELD:
DRAWN BY: R. D. H.
CHECKED BY: T. L. K.
DATE: 8-3-89
JOB NO. 89-040

LINDAHL, BROWNING, FERRARI & HELLSTROM, INC.
CONSULTING ENGINEERS, PLANNERS & SURVEYORS

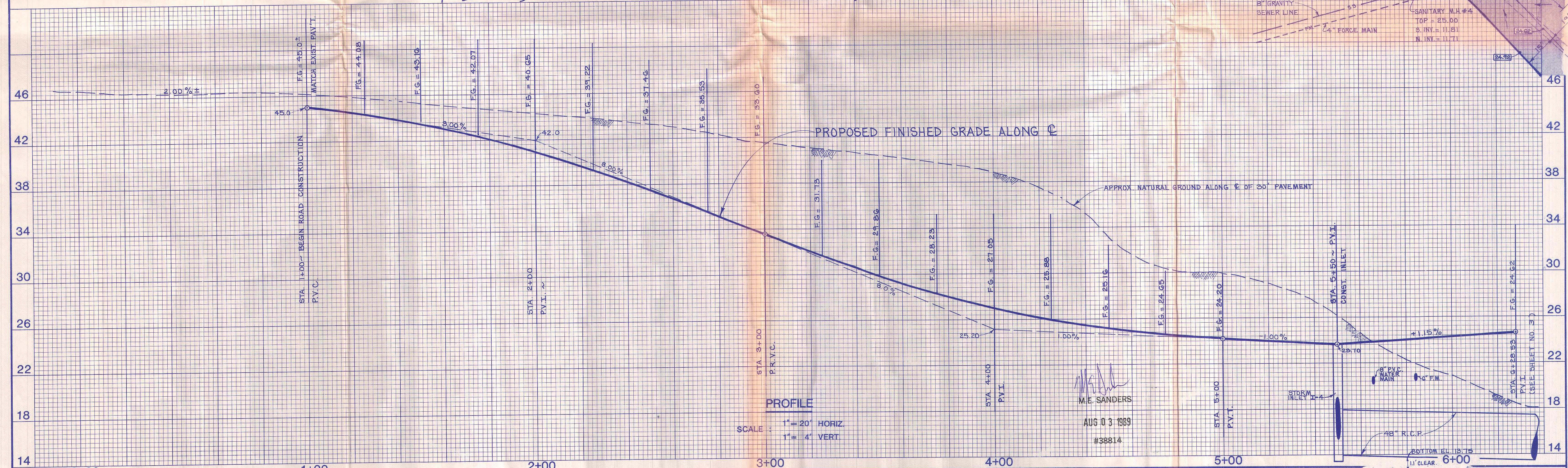
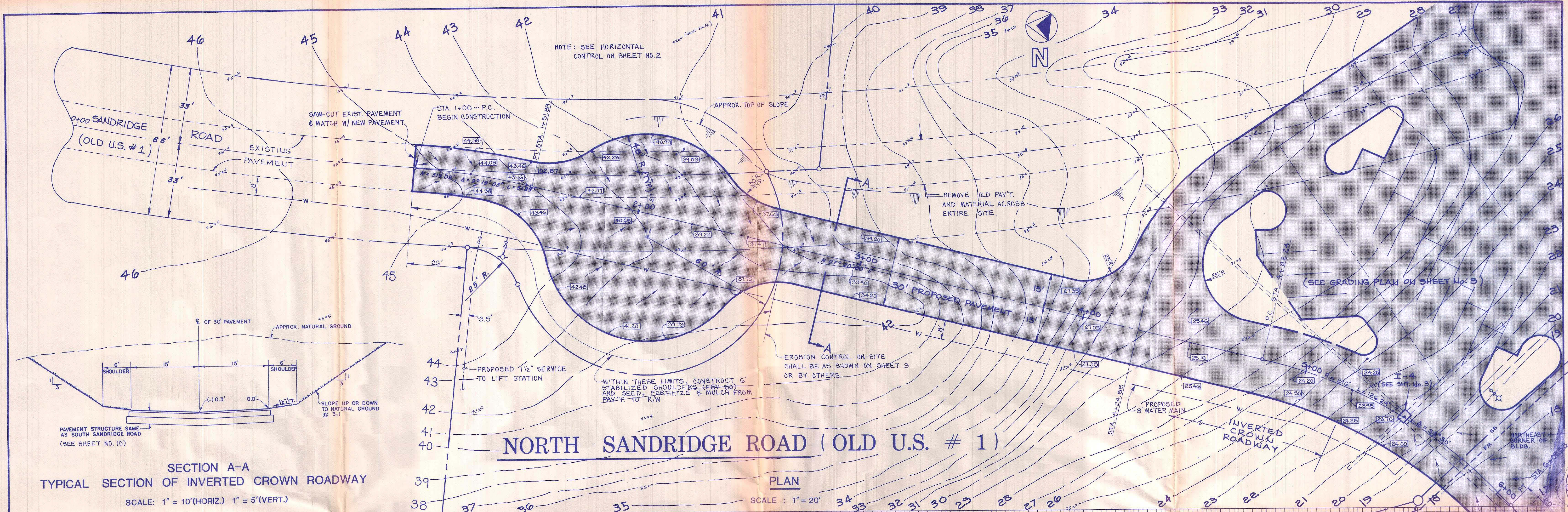
10 CENTRAL PARKWAY SUITE 420 STUART, FLORIDA 33497

1905 SOUTH 25TH STREET SUITE 205 FORT PIERCE, FLORIDA 33450

SCALE: AS SHOWN DR. NO. SHEET 4 OF

SCANNED/POSTED & PERMITTING

M.E. SANDERS
AUG 03 1989
#38814



TAYLOR CREEK COMMONS
FORT PIERCE, FLORIDA

DATE		BY	DESCRIPTION	REVISION

FIELD:	
DRAWN BY:	R. D. H.
CHECKED BY:	T. L. K.
DATE:	8-3-89
JOB NO.:	89-040

SEAL

SCANNED/POSTED ePERMITTING

PAVING, GRADING & DRAINAGE
PLAN / PROFILE
NORTH SANDRIDGE ROAD

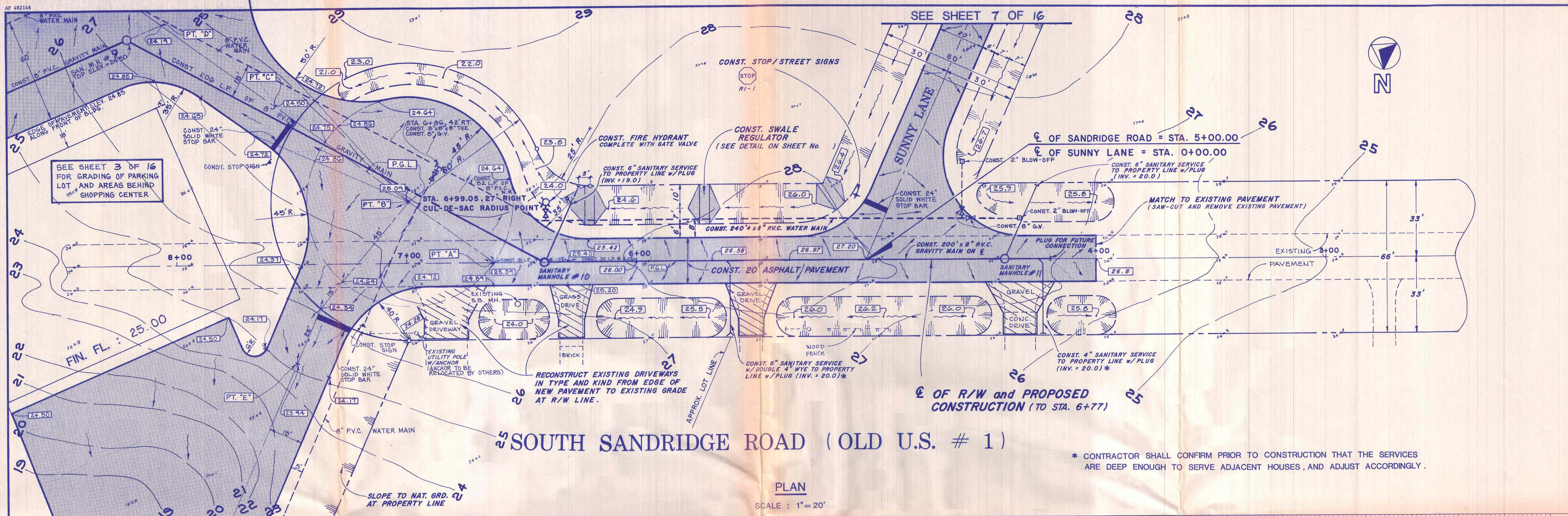
LINDAHL, BROWNING, FERRARI & HELLSTROM, INC.
CONSULTING ENGINEERS, PLANNERS & SURVEYORS

P.O. BOX 727
JUPITER, FLORIDA 33458

10 CENTRAL PARKWAY
SUITE 420
STUART, FLORIDA 33497

1905 SOUTH 25TH STREET
SUITE 205
FORT PIERCE, FLORIDA 33450

SCALE: AS SHOWN DR. NO. SHEET 5 OF

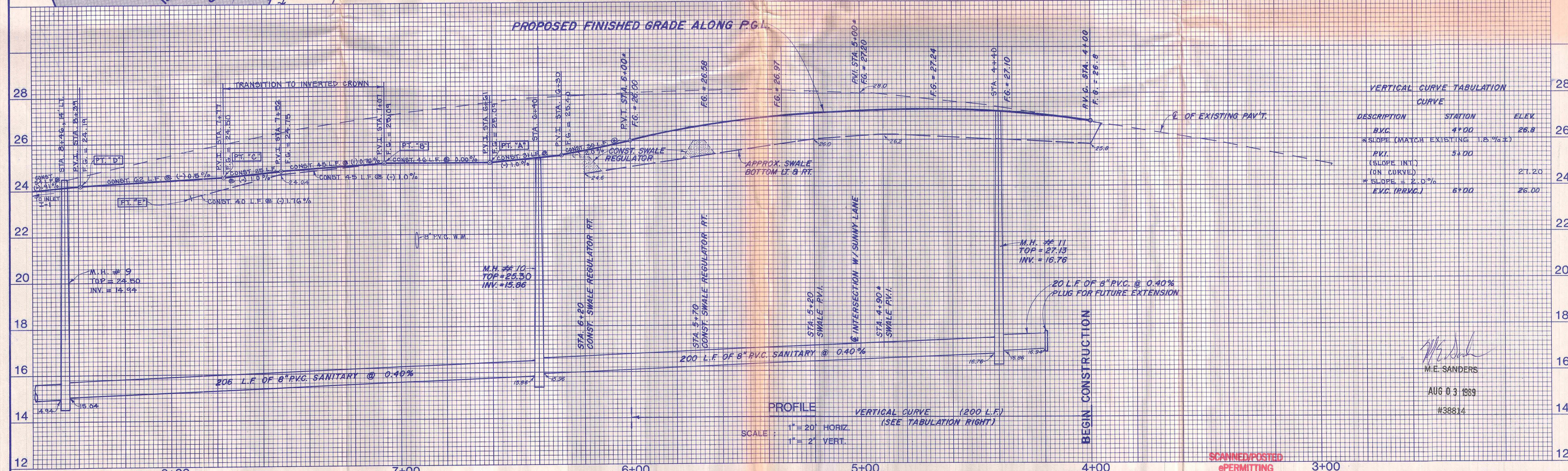


SOUTH SANDRIDGE ROAD (OLD U.S. # 1)

PLAN

SCALE: 1" = 20'

* CONTRACTOR SHALL CONFIRM PRIOR TO CONSTRUCTION THAT THE SERVICES ARE DEEP ENOUGH TO SERVE ADJACENT HOUSES, AND ADJUST ACCORDINGLY.



PROFILE VERTICAL CURVE (200 L.F.) (SEE TABULATION RIGHT)

SCALE: 1" = 20' HORIZ. 1" = 2' VERT.

TAYLOR CREEK COMMONS
FORT PIERCE, FLORIDA

DATE	BY	REVISION	DESCRIPTION

FIELD:	
DRAWN BY:	R. D. H.
CHECKED BY:	T. L. K.
DATE:	8-3-89
JOB NO.	89-040

PAVING, GRADING & DRAINAGE
PLAN / PROFILE
SOUTH SANDRIDGE ROAD

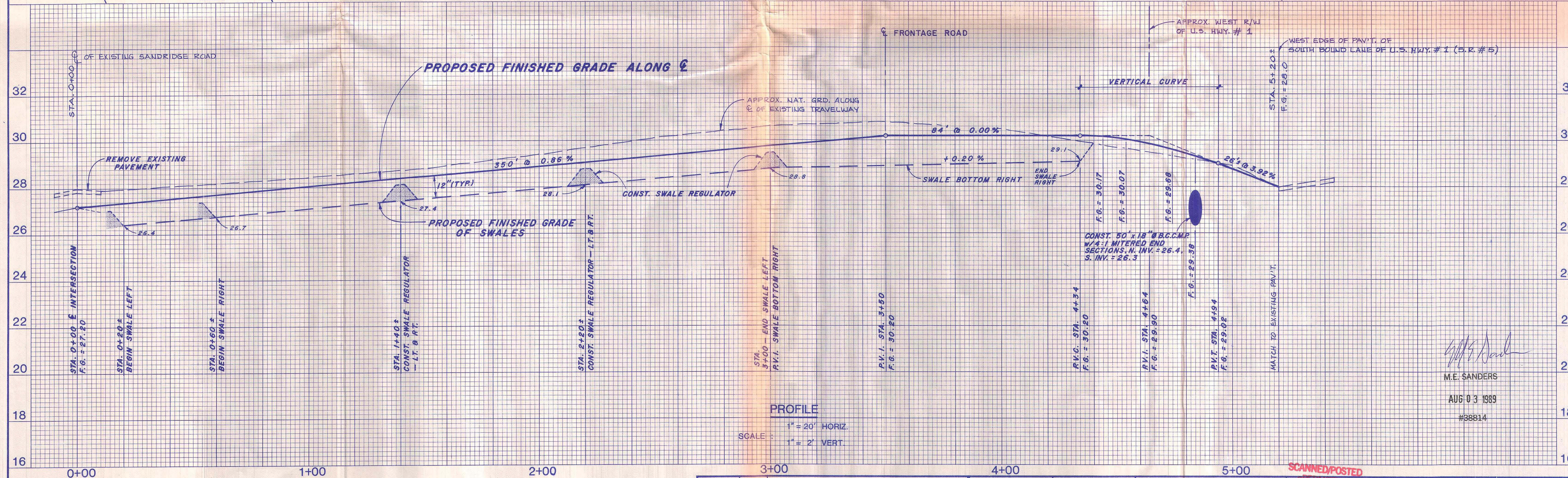
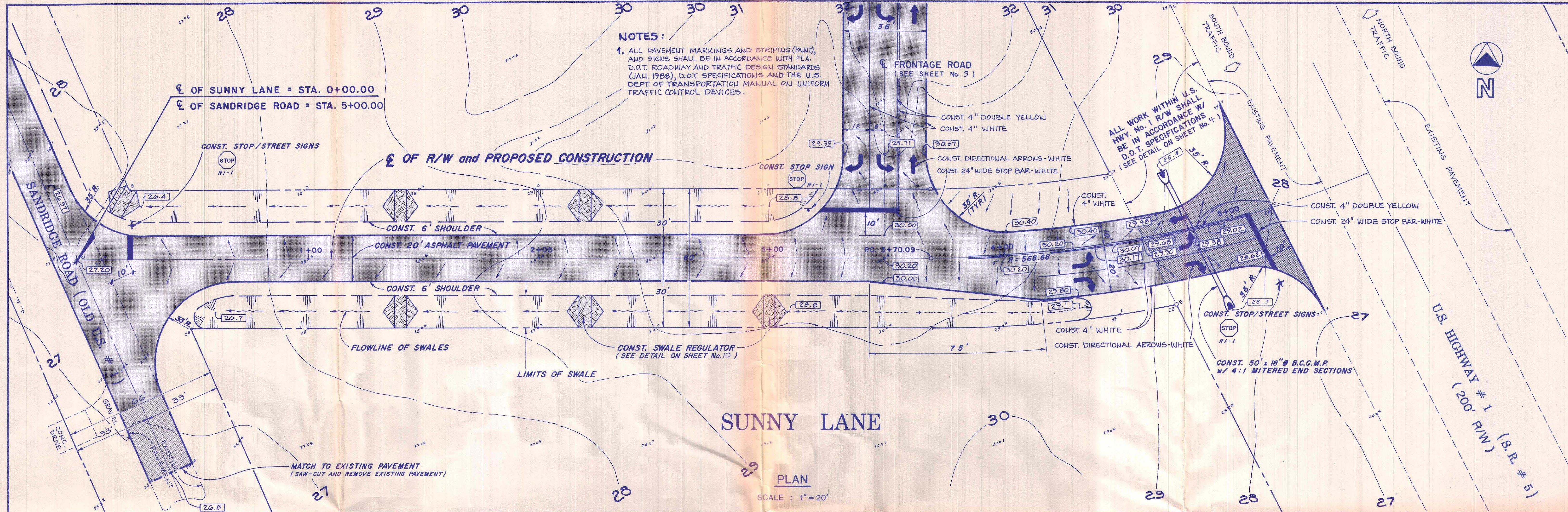
LINDAHL, BROWNING, FERRARI & HELLSTROM, INC.
CONSULTING ENGINEERS, PLANNERS & SURVEYORS

10 CENTRAL PARKWAY SUITE 409 STUART, FLORIDA 34994
1905 SOUTH 25TH STREET FORT PIERCE, FLORIDA 34947

P.O. BOX 727 JUPITER, FLORIDA 33468

SCALE: AS SHOWN DR. NO. SHEET 6 OF

SCANNED POSTED PERMITTING



TAYLOR CREEK COMMONS
 FORT PIERCE, FLORIDA

DATE	BY	DESCRIPTION	REVISION
8-3-89			

FIELD:
 DRAWN BY: R. D. H.
 CHECKED BY: T. L. K.
 DATE: 8-3-89
 JOB NO. 89-040

PAVING, GRADING & DRAINAGE
PLAN / PROFILE
 SUNNY LANE

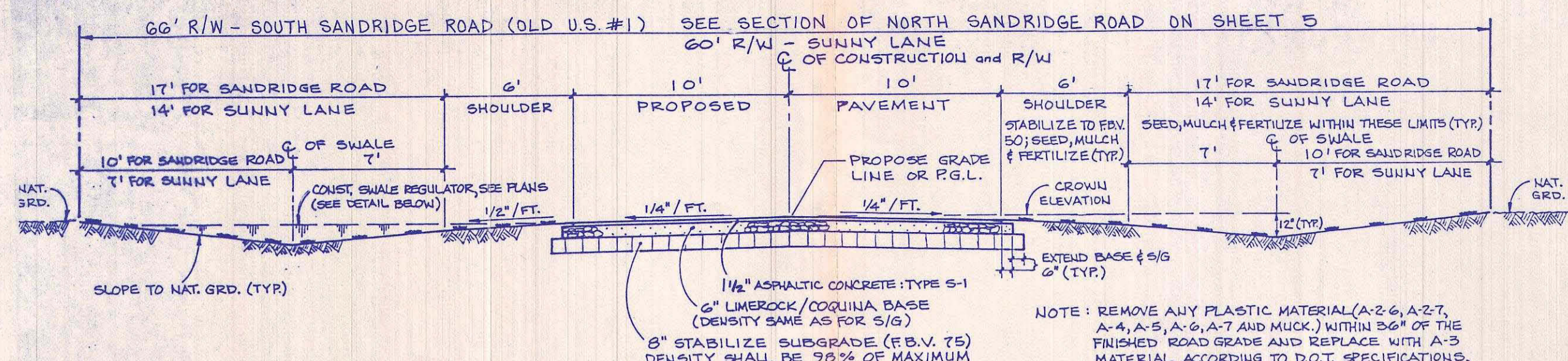
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LINDAHL, BROWNING, FERRARI & HELLSTROM, INC.
 CONSULTING ENGINEERS, PLANNERS & SURVEYORS

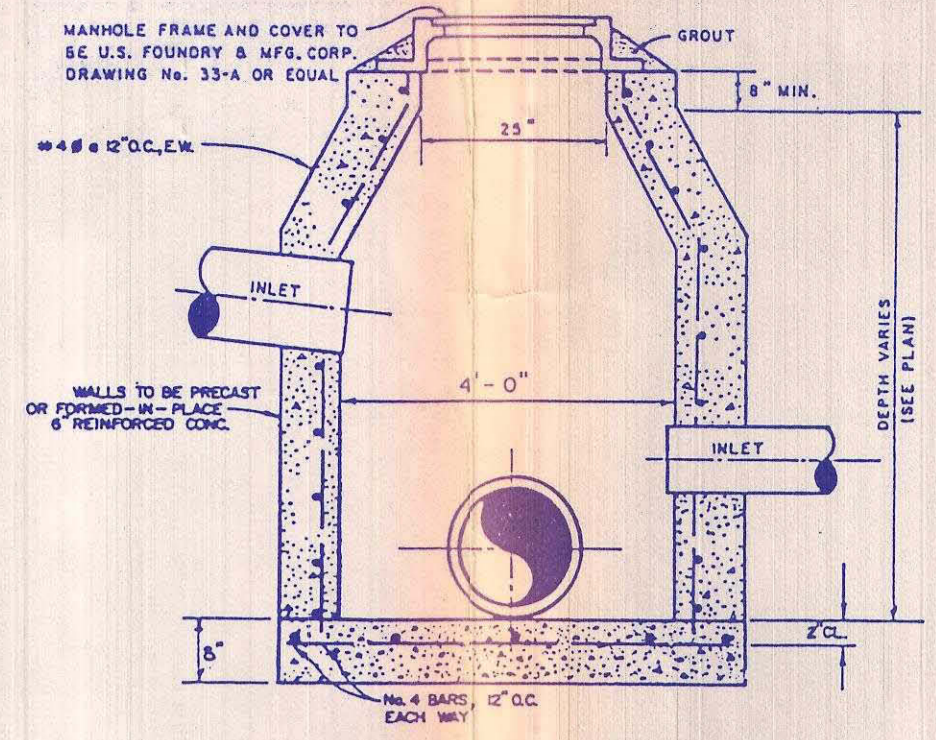
10 CENTRAL PARKWAY SUITE 420 JUPITER, FLORIDA 33458
 1905 SOUTH 25TH STREET SUITE 205 FORT PIERCE, FLORIDA 33450

M.E. SANDERS
 AUG 03 1989
 #38814

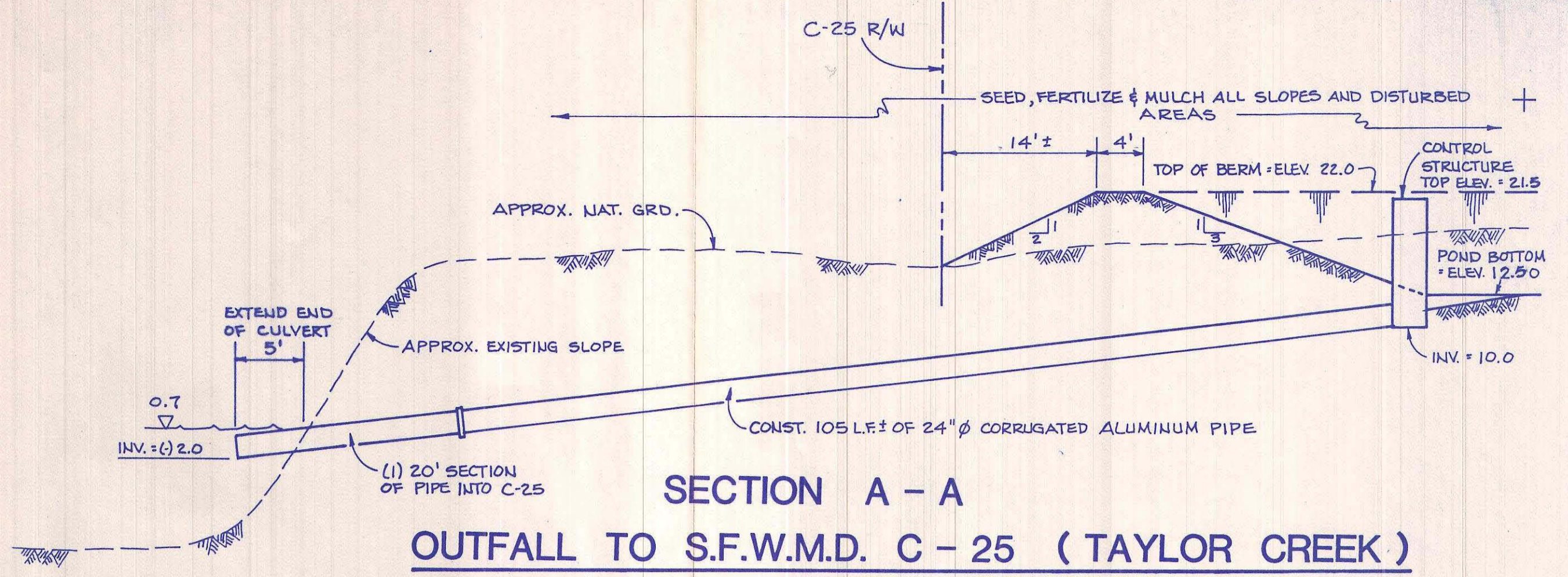
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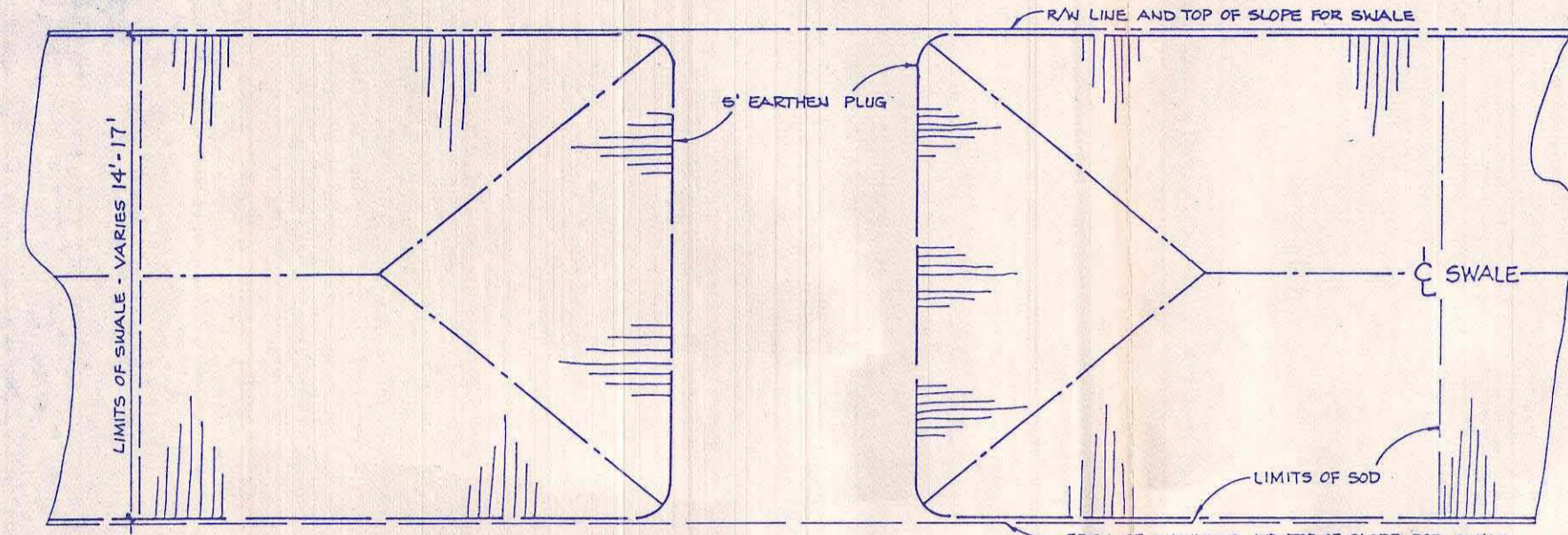
TYPICAL ROADWAY SECTIONS OF CONSTRUCTION (OFF - SITE)
N.T.S.



TYPICAL 4 FT. STORM MANHOLE
N.T.S.



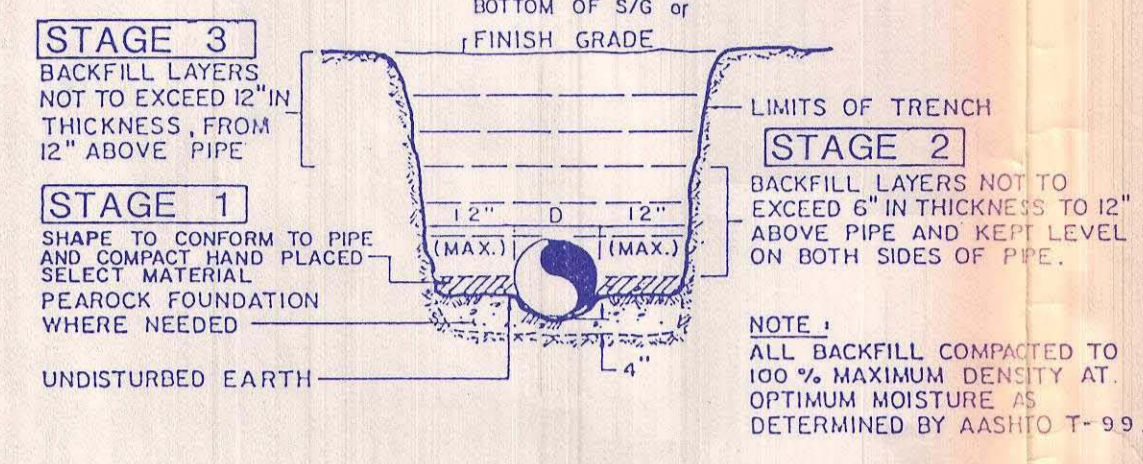
**SECTION A - A
OUTFALL TO S.F.W.M.D. C - 25 (TAYLOR CREEK)**
SCALE : 1" = 10'



PLAN

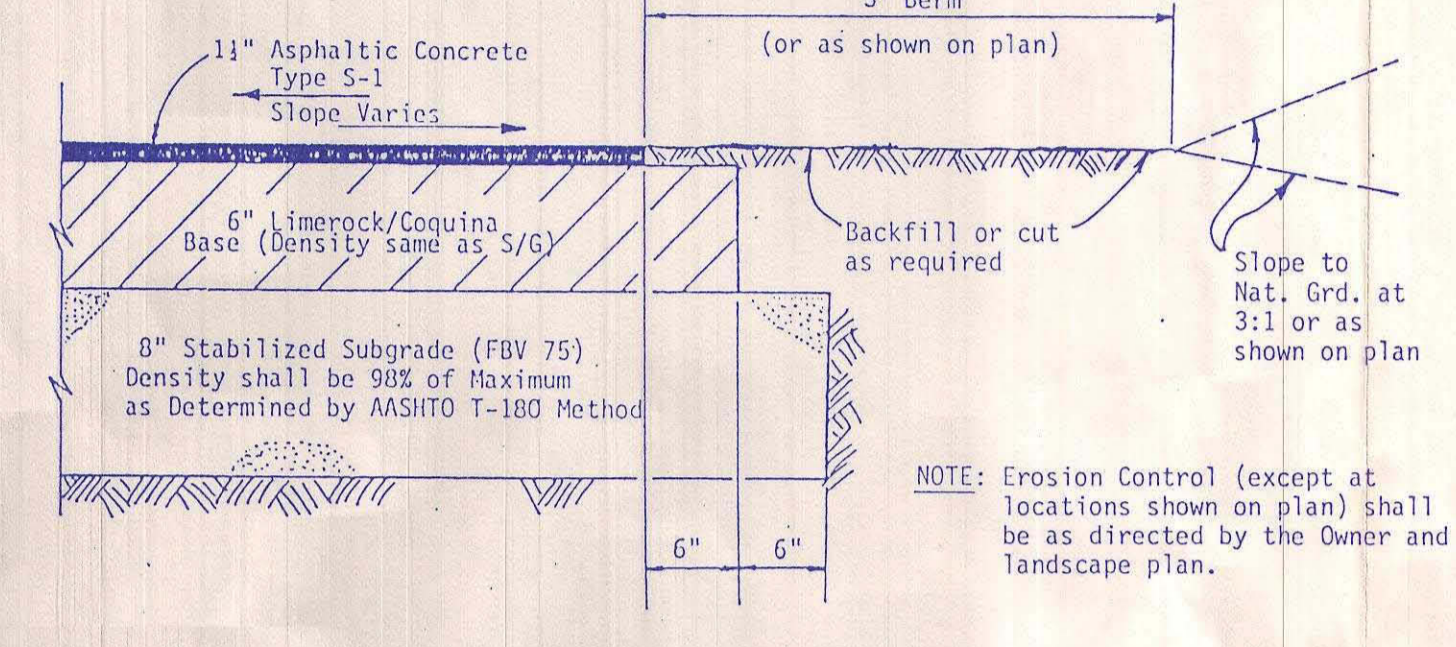


**TYPICAL SECTION
WATER QUALITY SWALE REGULATOR**
SCALE : N.T.S.



TYPICAL STORM SEWER PIPE BEDDING DETAIL
N.T.S.

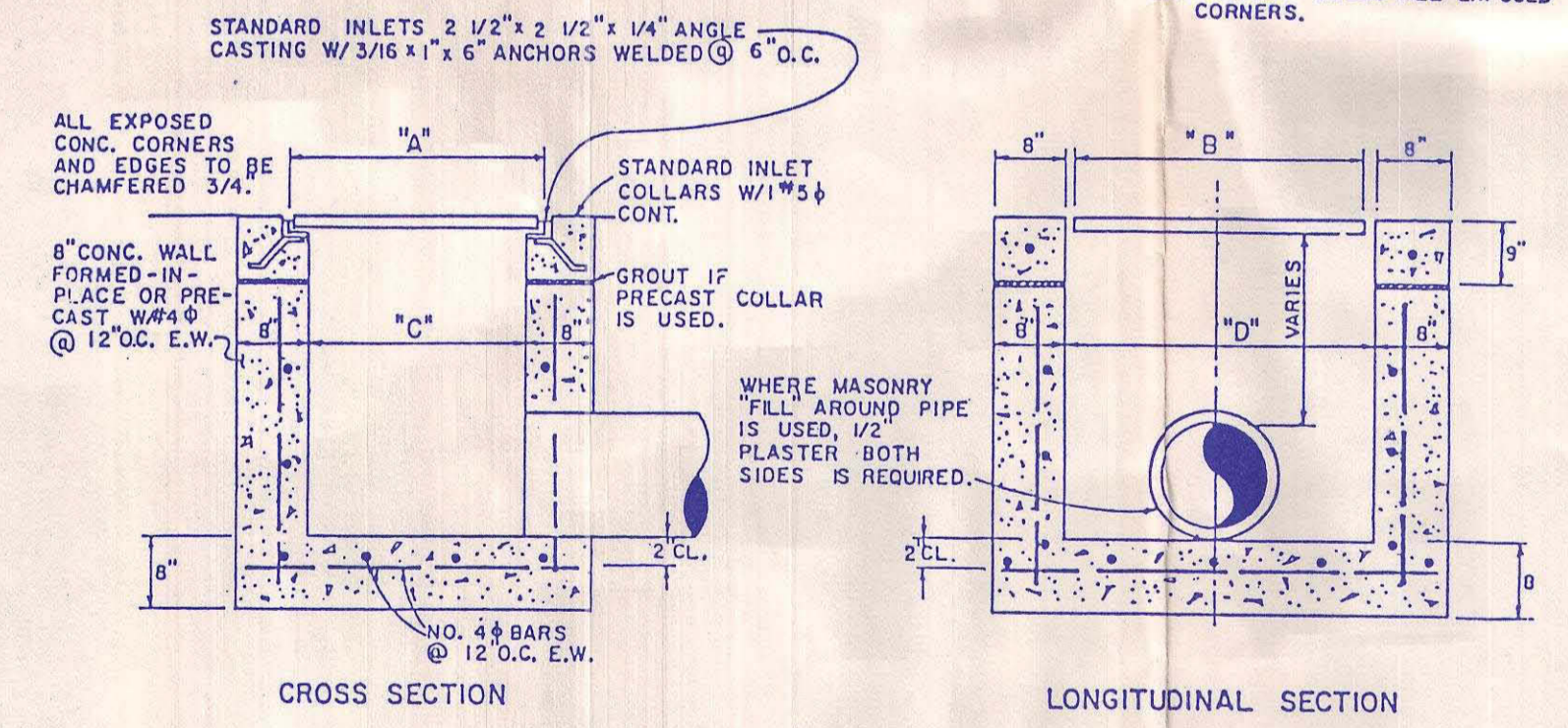
- A. LESS THAN 10-FT. OF MATERIAL OVER TOP OF PIPE
 - STAGE 1 } COMPACT TO FIRMNESS APPROXIMATELY EQUAL TO UNDISTURBED SOIL ADJACENT TO TRENCH
 - STAGE 2 }
 - STAGE 3 }
- B. MORE THAN 10-FT. OF MATERIAL OVER TOP OF PIPE
 - STAGE 1 } 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99, METHOD C
 - STAGE 2 }
 - STAGE 3 } SAME AS "A" ABOVE



TYPICAL SECTION OF PAVED PARKING AREAS
N.T.S.

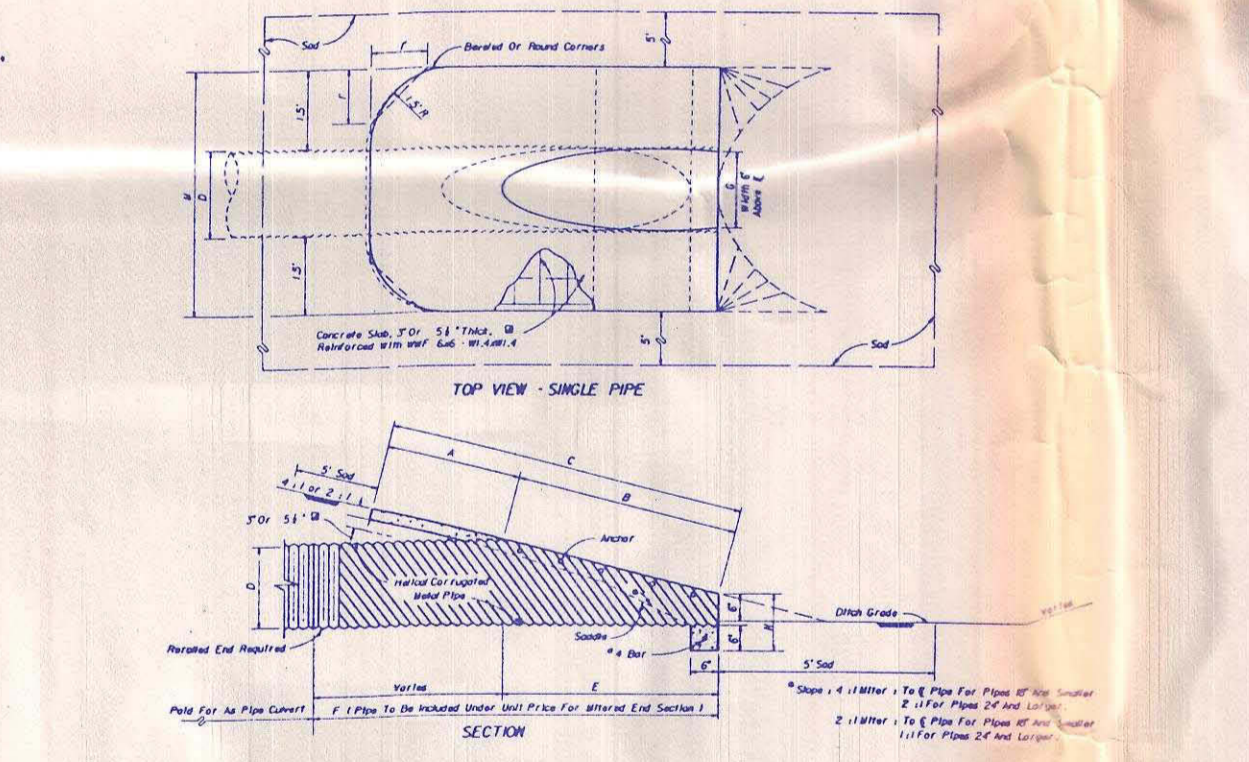
MAX. C.F.S.	TYPE INLET	"A"	"B"	"C"	"D"	GRATE APPROX. WT.
15.65	G	2'-0"	3'-0"	2'-0"	3'-11"	235 LBS.
23.49	D	4'-0"	3'-0"	4'-11"	3'-11"	380 LBS.
35.23	E	3'-4"	4'-4"	3'-0"	4'-6"	450 LBS.
58.20	H	3'-4"	6'-6"	3'-0"	6'-7"	725 LBS.

NOTES: (1) GRATES TO BE CAST IRON WITH ONE (1) SHOP COAT OF RED LEAD PAINT AND WITH A FIELD COAT TO MEET FLA. D.O.T. STANDARD SPECIFICATION ARTICLE 971, 1986 EDITION. (2) SEE DETAIL OF OPENING IN INLET SIDES. (3) BEVELED EDGES AT ALL EXPOSED CORNERS.

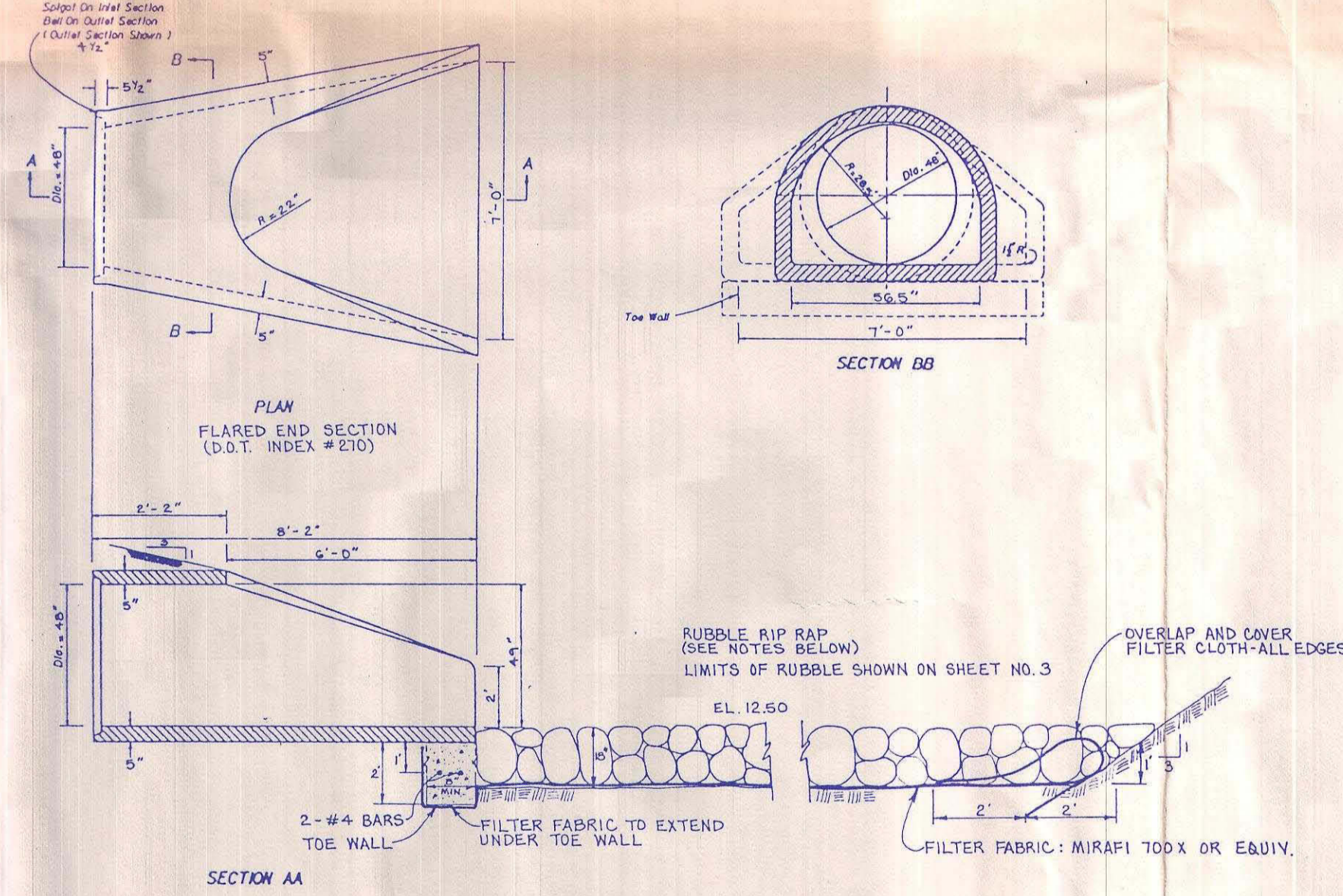


INLET DETAILS
N.T.S.

DIMENSIONS AND QUANTITIES		APPROXIMATE WEIGHTS	
NO.	DESCRIPTION	NO.	DESCRIPTION
1	CONCRETE INLET	1	CONCRETE INLET
2	CONCRETE COLLAR	2	CONCRETE COLLAR
3	CONCRETE WALL	3	CONCRETE WALL
4	CONCRETE FLOOR	4	CONCRETE FLOOR
5	CONCRETE CURB	5	CONCRETE CURB
6	CONCRETE SIDEWALK	6	CONCRETE SIDEWALK
7	CONCRETE DRIVEWAY	7	CONCRETE DRIVEWAY
8	CONCRETE DRIVEWAY	8	CONCRETE DRIVEWAY
9	CONCRETE DRIVEWAY	9	CONCRETE DRIVEWAY
10	CONCRETE DRIVEWAY	10	CONCRETE DRIVEWAY
11	CONCRETE DRIVEWAY	11	CONCRETE DRIVEWAY
12	CONCRETE DRIVEWAY	12	CONCRETE DRIVEWAY
13	CONCRETE DRIVEWAY	13	CONCRETE DRIVEWAY
14	CONCRETE DRIVEWAY	14	CONCRETE DRIVEWAY
15	CONCRETE DRIVEWAY	15	CONCRETE DRIVEWAY
16	CONCRETE DRIVEWAY	16	CONCRETE DRIVEWAY
17	CONCRETE DRIVEWAY	17	CONCRETE DRIVEWAY
18	CONCRETE DRIVEWAY	18	CONCRETE DRIVEWAY
19	CONCRETE DRIVEWAY	19	CONCRETE DRIVEWAY
20	CONCRETE DRIVEWAY	20	CONCRETE DRIVEWAY

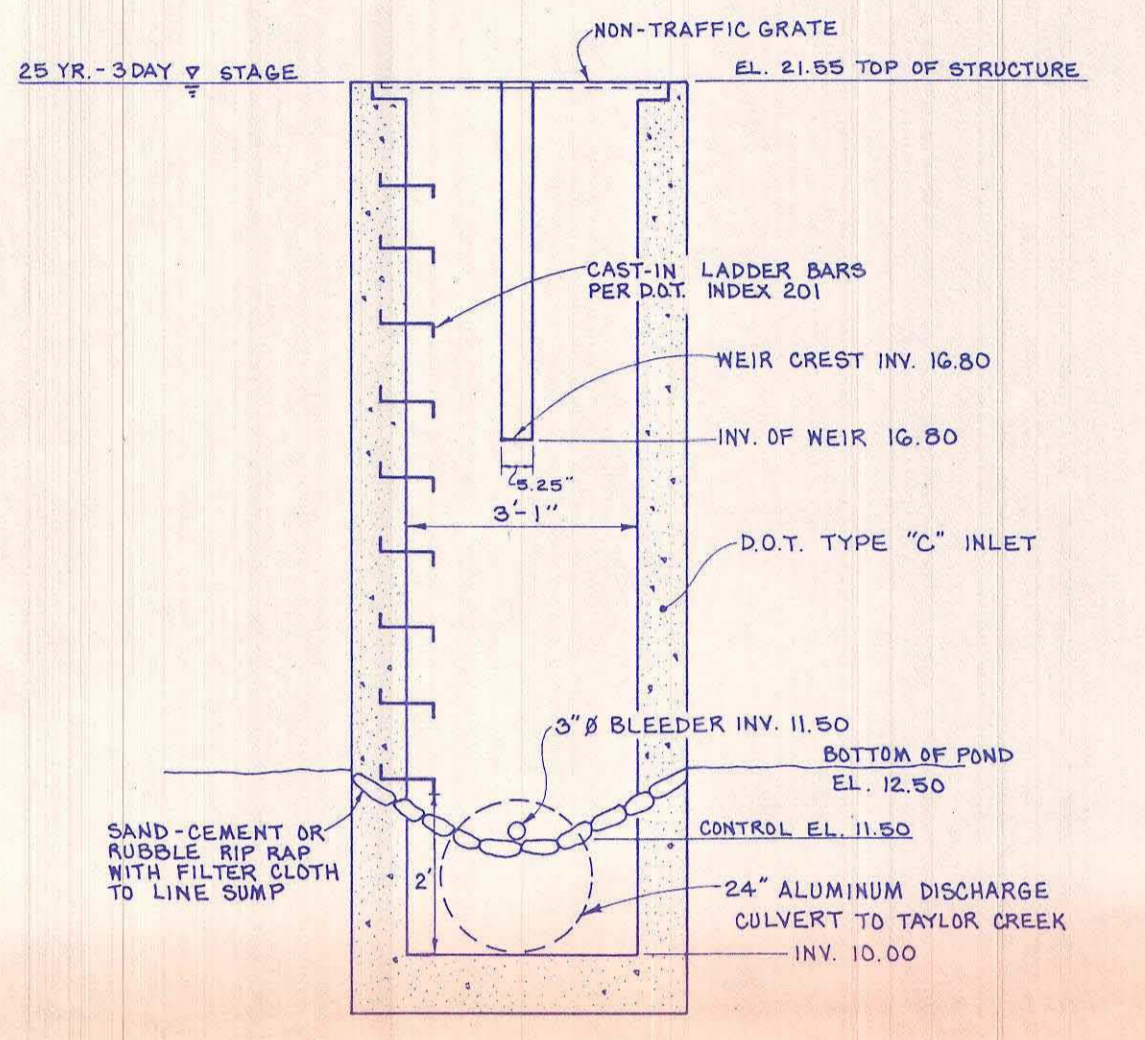


TYPICAL SECTION OF CONCRETE MITERED END ROUND CORRUGATED ALUMINUM PIPE
(INDEX No. 272) N.T.S.



FLARED END SECTION AND RUBBLE RIP-RAP DETAIL
N.T.S.

- NOTES
- RIP-RAP INSTALLATION SHALL BE IN ACCORDANCE TO SECTION 530-3.3 D.O.T. SPECIFICATIONS.
 - RUBBLE SHALL CONSIST OF BROKEN STONE OR CONCRETE. BROKEN STONE IS TO BE SOUND AND DURABLE, WITH A MINIMUM SPECIFIC GRAVITY OF 1.9. PIECES SHALL BE ROUGHLY ANGULAR. RUBBLE SHALL BE A GRADED MIXTURE WITH THE WEIGHT OF INDIVIDUAL PIECES RANGING FROM 10 TO 200 LBS. (6" TO 18" DIAMETER). NOT MORE THAN 25% OF THE TOTAL VOLUME SHALL BE COMPOSED OF PIECES LESS THAN 60 LBS. (12 INCHES).



**SECTION B-B
CONTROL STRUCTURE**
N.T.S.

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR HIS REPRESENTATIVE (461-2450) FOR INSPECTION AT THE FOLLOWING CHECKPOINTS:
- AT COMMENCEMENT OF CONSTRUCTION.
 - PRIOR TO ANY MAJOR DEVIATION FROM THE APPROVED PAVING AND DRAINAGE.
 - PRIOR TO BACKFILL OF TRENCHES CONTAINING HYDRAULIC CONDUITS, SO THAT JOINTING MAY BE MUTUALLY APPROVED.
 - PRIOR TO CONCRETE POURS FOR POURED-IN-PLACE DRAINAGE STRUCTURES.
 - UPON COMPLETION OF SUBGRADE COMPACTING.
 - AT THE TIME OF DELIVERY OF BASE MATERIAL.
 - UPON COMPLETION OF THE BASE AND PRIOR TO PRIMING.
 - IMMEDIATELY PRIOR TO AND UPON THE FIRST APPLICATION OF THE PLANT-MIXED WEARING COURSE.
 - UPON COMPLETION OF CONSTRUCTION. A FINAL INSPECTION WILL BE MADE WITH OUR REPRESENTATIVE.

M.E. SANDERS
M.E. SANDERS
AUG 03 1989
#38814

SCANNED/POSTED & PERMITTING

DATE	BY	REVISION

DESIGNED: T. L. K.
DRAWN: R. D. H.
CHECKED: M. S.

APPROVED: _____
DATE: _____
REGISTERED ENGINEER NO.: _____
STATE OF FLORIDA

LINDAHL, BROWNING, FERRARI & HELLSTROM, INC.
CONSULTING ENGINEERS, PLANNERS & SURVEYORS
BLDG. 9000, SUITE 104 10 CENTRAL PARKWAY 2222 COLONIAL ROAD
210 JUPITER LAKES BLVD. SUITE 420 SUITE 201
JUPITER, FL 33468 STUNNY, FL 33497 FT. PIERCE, FL 34950
407-746-9248 407-266-3883 407-461-2480

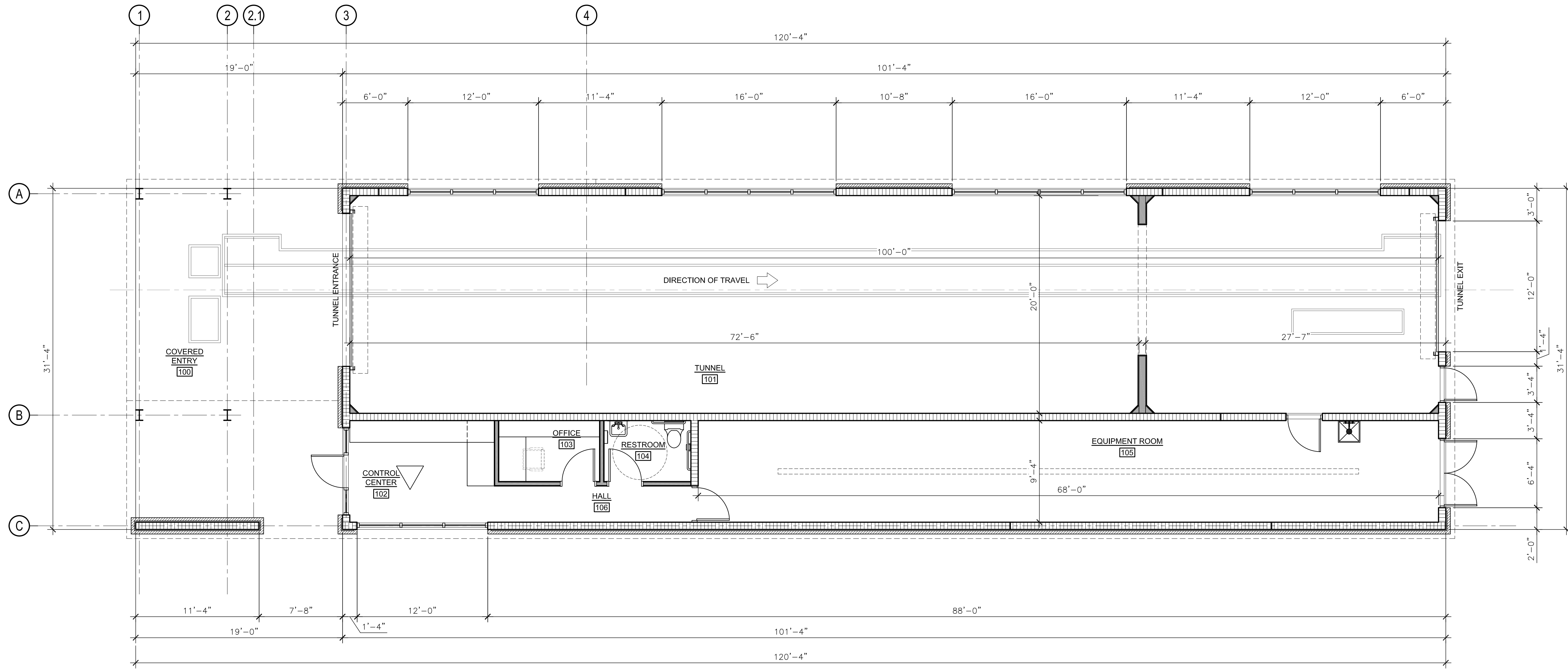
TAYLOR CREEK COMMONS
FORT PIERCE, FLORIDA

PAVING / DRAINAGE CONSTRUCTION DETAILS

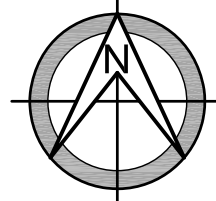
89 - 040 PROJECT NO.
DATED: AS SHOWN
SCALE: AS SHOWN



SHEET 10 OF



NORTH
ORIENTATION
VARIES



1 **PROTOTYPICAL FLOOR PLAN - NARROW PROTOTYPE (LEFT TUNNEL / TOWER: ENTRY)**
A1.0 SCALE: 3/16" = 1'-0"

CALIBER CAPITAL CARWASH
PROTOTYPICAL DESIGN (LOCATION TO BE DETERMINED)

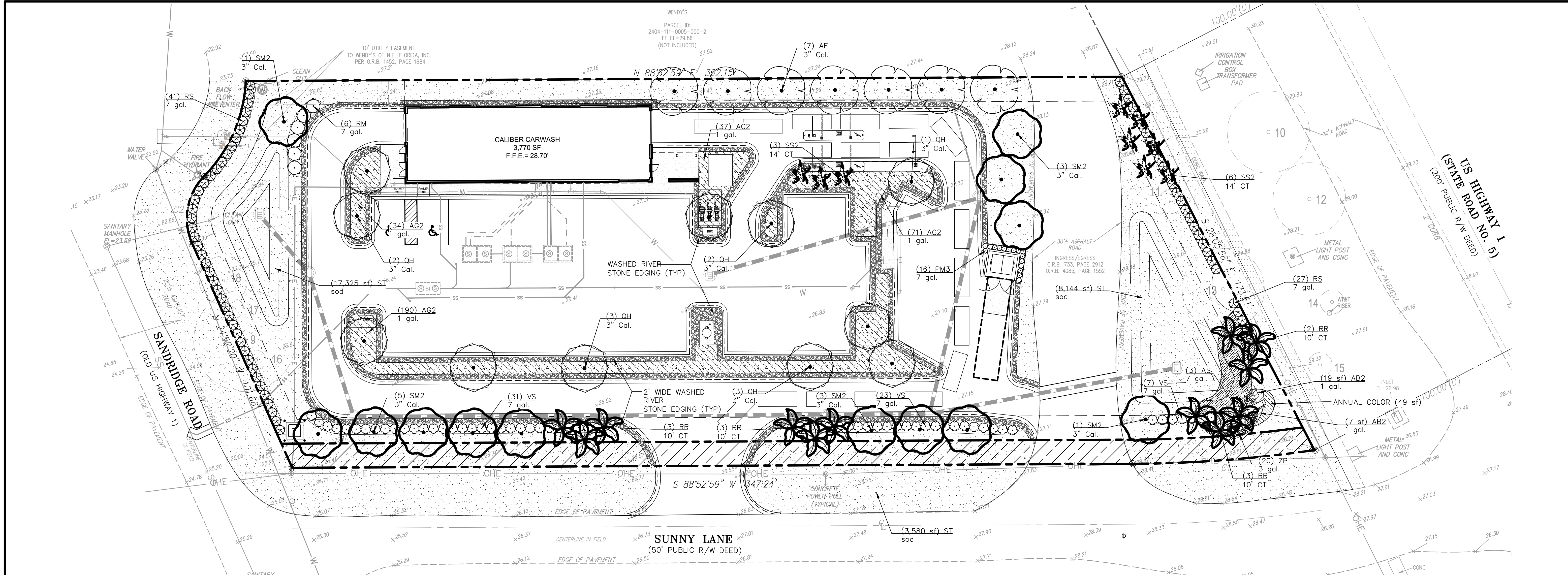
NARROW PROTOTYPICAL FLOOR PLAN (CL1)

CONN + ARCHITECTS
1960-C Buford Boulevard Tallahassee, Florida 32308 | 850-878-9794
www.CONNarchitects.com | Lic. No. AA-C001662

DATE	JAN. 07, 2022
DRAWN BY	SAM
REVISED	
JOB NO.	21-XXX
DATE	
SHEET NUMBER	A1.0

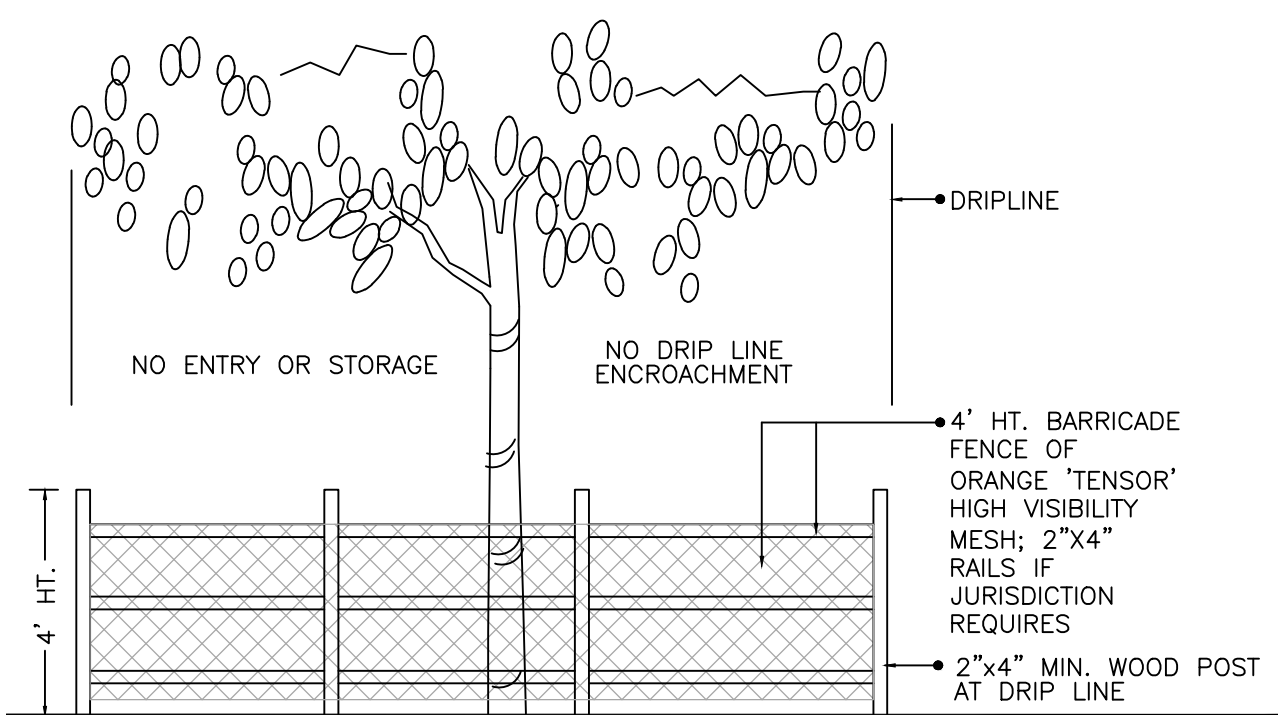
PROGRESS SET - NOT FOR CONSTRUCTION

CONNECTION ARCHITECTS ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY FIRM. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, AGE, SEX, OR HANDICAP. ANY PART OF THESE DOCUMENTS MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPIING, RECORDING, OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF CONN ARCHITECTS, P.C.



TREE NUMBER	SIZE	TREE TYPE	ACTION TAKEN
1	16" DBH	HW	REMOVED - UTILITY CONFLICT
2	12' CT	PALM	REMOVED
3	12' CT	PALM	REMOVED
4	12' CT	PALM	REMOVED
5	26" DBH	HW	REMOVED - UTILITY CONFLICT
6	24" DBH	HW	REMOVED
7	21" DBH	HW	REMOVED - UTILITY CONFLICT
8	15" DBH	HW	REMOVED
9	21" DBH	HW	SAVED
10	17" DBH	HW	SAVED
11	10' CT	PALM	SAVED
12	15" DBH	HW	SAVED
13	17" DBH	HW	SAVED
14	10' CT	PALM	SAVED
15	10' CT	PALM	SAVED
16	8' CT	PALM	SAVED
17	8' CT	PALM	SAVED
18	10" DBH	HW	SAVED

*TREES BELOW POWER LINES HAVE NOT BEEN INCLUDED IN THE REPLACEMENT CALCULATIONS



TREE PRESERVATION BARRICADE FENCING DETAIL

NT8

REQUIRED LANDSCAPE BUFFER YARD TABLE

10' LANDSCAPE BUFFER AGAINST ALL R.O.W.
 1 TREE PER EVERY 300 SQUARE FEET OF BUFFER AREA
 3' CONTINUOUS HEDGE ENTIRE LENGTH OF ABUTTING R.O.W.
EAST PROPERTY ROW: 1,637 S.F. LANDSCAPE BUFFER AREA - 5.46 OR 5 TREES REQUIRED - 5 TREES PROVIDED
SOUTH PROPERTY ROW: 3,528 S.F. LANDSCAPE BUFFER AREA - 11.77 OR 12 TREES REQUIRED - 12 TREES PROVIDED
WEST PROPERTY ROW: 820 S.F. LANDSCAPE BUFFER AREA - 2.73 OR 3 TREES REQUIRED - EXISTING TREES MEET REQUIREMENT
ADJACENT PROPERTY OWNER: 10' LANDSCAPE BUFFER AGAINST VEHICULAR USE AREA

1 TREE PER EVERY 200 SQUARE FEET OF LANDSCAPE BUFFER AREA - 1,349/200 = 6.75 OR 7 TREES REQUIRED - 7 TREES PROVIDED

REQUIRED PARKING LOT LANDSCAPE TABLE

TOTAL PARKING / VEHICULAR USE AREA IS 24,570 S.F.
 1 SQUARE FOOT OF LANDSCAPE REQUIRED FOR EVERY 15 SQUARE FEET OF PARKING / VEHICULAR USE AREA - 24,570/15 = 1,638 SQUARE FEET OF INTERIOR LANDSCAPE AREA REQUIRED
5,167 S.F. OF INTERIOR PARKING LANDSCAPE AREA PROVIDED (21%)
 1 TREE REQUIRED FOR EVERY 100 S.F. OF REQUIRED INTERIOR LANDSCAPE AREA
 1,638 / 100 = 16.38 OR 16 TREES REQUIRED

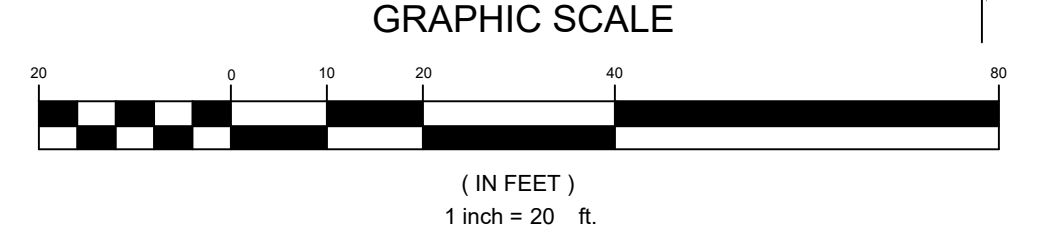
REQUIREMENT MET - SEE TREE PLANTING SCHEDULE

TREE MITIGATION CALCULATIONS:

39" OF REMOVED TREES 14" AND OVER AND 3 PALMS WITH 10' CT PROVIDED - 4 - 3" CAL. TREES (12" OF REPLACEMENT)
 3 10' CT PALMS
 27" OF TREE MITIGATION REMAINING

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	AF	Acer rubrum Florida Flame / Florida Flame Red Maple	3" Cal.	8&8	7	12'	MINIMUM HT. AT TIME OF PLANTING
	QH	Quercus virginiana 'QVITA' / Highrise Live Oak	3" Cal.	8&8	11	12'	MINIMUM HT. AT TIME OF PLANTING
	SM2	Swietenia mahogani / West Indian Mahogany	3" Cal.	8&8	13	12'	MINIMUM HT. AT TIME OF PLANTING
	RR	Roystonia regia / Royal Palm	10' CT	Field Grown	12		
	SS2	Sabal palmetto / Cabbage Palmetto	14' CT	Field Grown	9		
	AS	Allamanda schottii / Bush Allamanda	7 gal.	Pot	3	18"	MIN. HT.
	PM3	Podocarpus macrophyllus 'Maki' / Maki Podocarpus	7 gal.	Pot	16	4'	HT. MIN.
	RS	Rhaphiolepis indica 'Snow White' / Snow White Indian Hawthorn	7 gal.	Pot	68	MIN.	24" HT.
	RM	Rhaphiolepis x 'Mortic' TM / Majestic Beauty Indian Hawthorn	7 gal.	Pot	6		
	VS	Viburnum suspensum / Sandankwa Viburnum	7 gal.	Pot	61	MIN.	24" HT.
	ZP	Zamia pumila / Coontie Cycad	3 gal.	Pot	20		
	MG3	Muhlenbergia capillaris 'Gulf Coast' / Gulf Coast Pink Muhly Grass	3 gal.	Pot	30' o.c.	84	
	AB2	Agapanthus africanus 'Blue' / Blue African Lily	1 gal.	Pot	36' o.c.	26 sf	
	AG2	Arachis glabrata / Perennial Peanut	1 gal.	Pot	36' o.c.	339	
	ST	Stenotaphrum secundatum 'ProVista' / ProVista St. Augustine Grass	sod		29,063 sf		



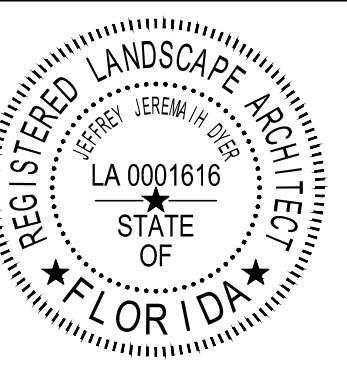
Bowman

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 910 SE 17TH ST.
 Suite 300
 Fort Lauderdale, FL 33316
 Phone (954) 314-9468
 www.bowman.com
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LANDSCAPE PLAN
 CALIBER CAR WASH
 US HIGHWAY 1 AND SUNNY LANE
 FORT PIERCE, FL 34946

ST. LUCIE COUNTY
 FORT PIERCE, FL

011027-01-001
 BOWMAN PROJECT NUMBER



PLAN STATUS

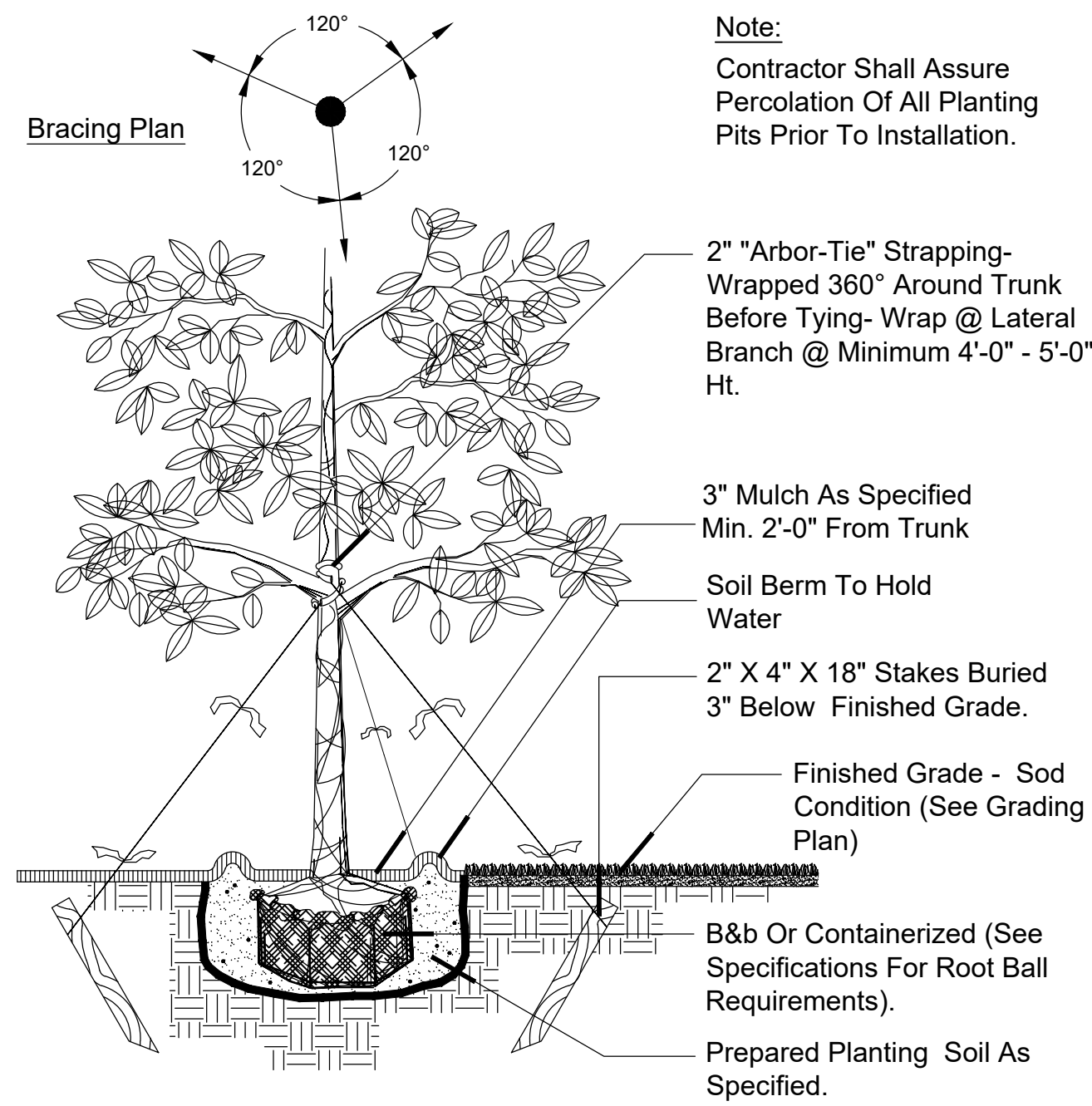
DATE	DESCRIPTION
JP	DESIGN
JP	DRAWN
KM	CHKD

DATE: 5/10/2022
 FILE: 05-011027-01-001-LSP.dwg

811
 Know what's below.
 Call before you dig.

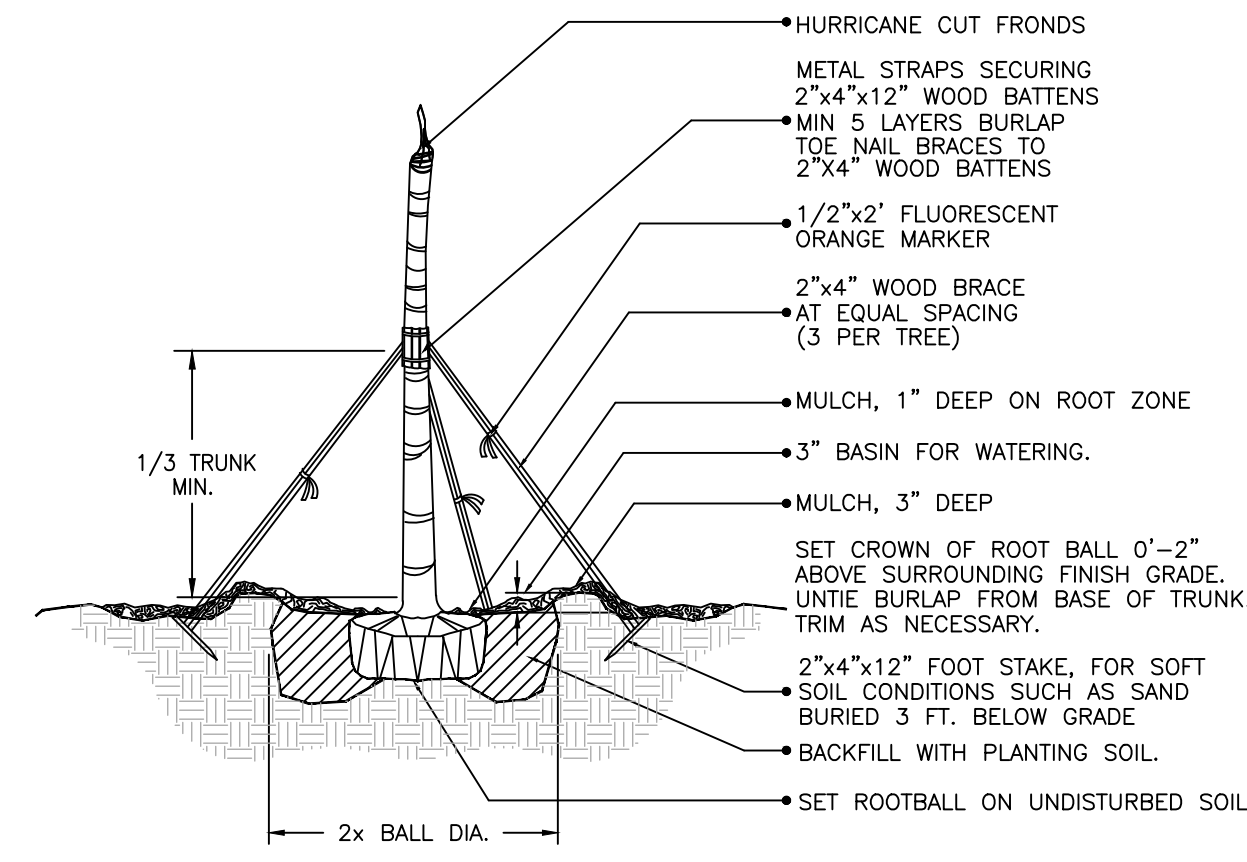
GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft.

L-1.0
 SHEET



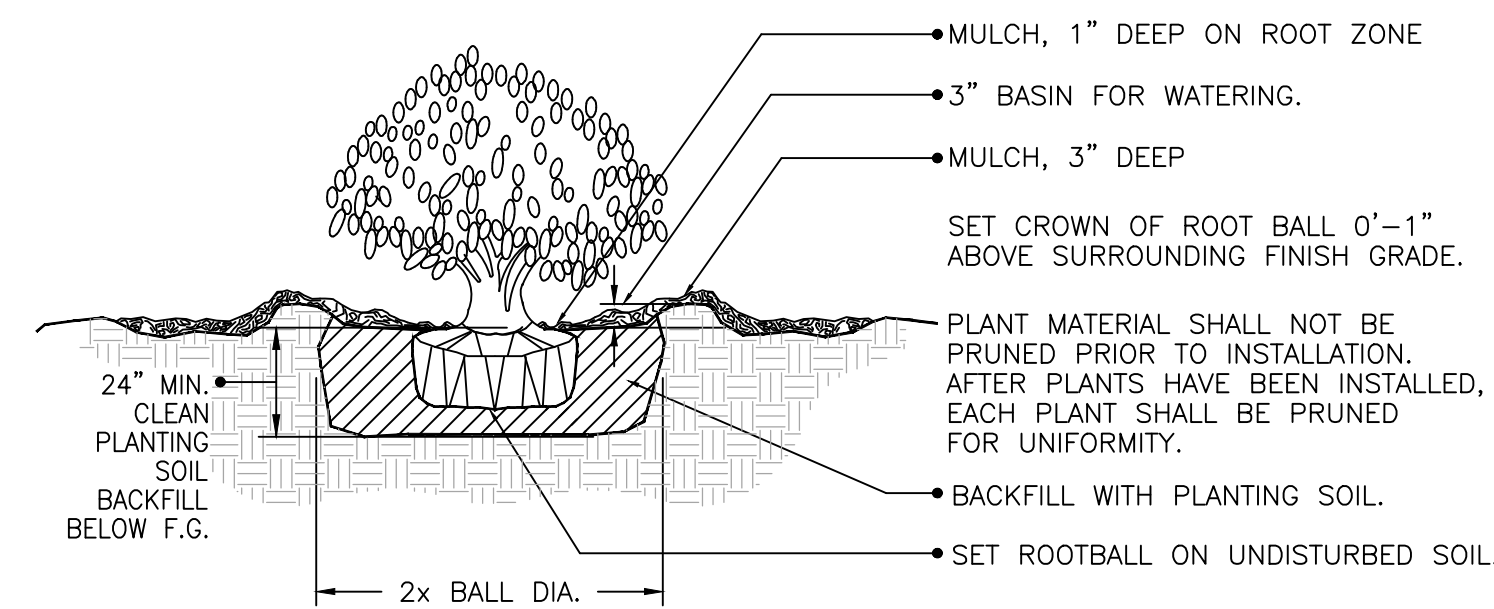
LARGE TREE PLANTING DETAIL

NTS



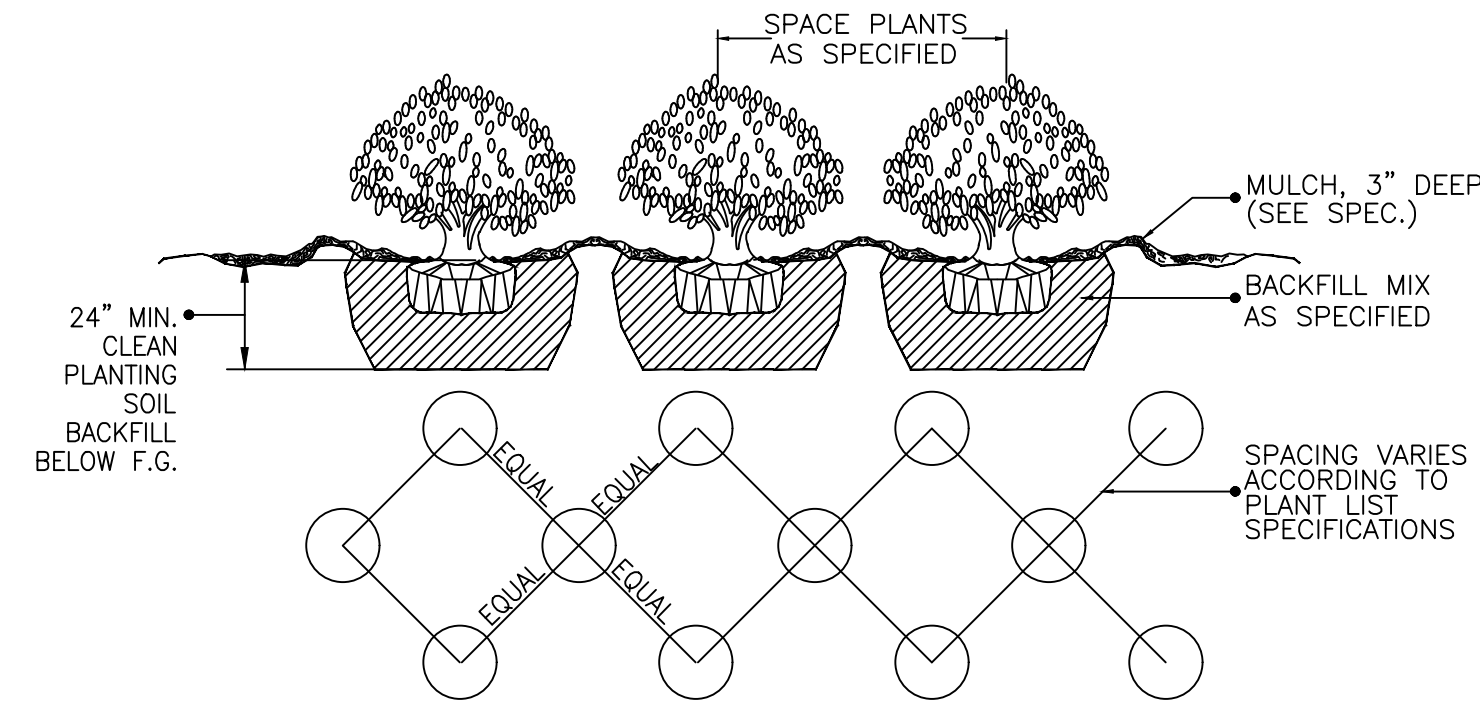
CIGARED SABAL PALM PLANTING DETAIL

NTS



SHRUB PLANTING DETAIL

NTS



SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

NTS

GENERAL LANDSCAPE NOTES:

ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1, OR BETTER, AS GIVEN IN GRADES AND STANDARDS FOR NURSER PLANTS PART 1 AND PART 2. STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE

ALL TREES SHALL HAVE A FLORIDA NO. 1 OR BETTER GRADES AND STANDARDS CERTIFICATION TAG ATTACHED AT TIME OF DELIVERY THROUGHOUT FINAL INSPECTION

ALL TREE ISLANDS ARE TO BE A MINIMUM OF 100 S.F. AND 10' MIN. WIDTH AND 10' MIN. DEPTH - SEE SHEET C2.0 FOR THE MEASURED LAYOUT PLAN

SHRUBS SHALL BE A MINIMUM OF 2' HT. AT TIME OF PLANTING AND HEDGES SHALL BE MAINTAINED AT 36" MIN. HT.

ALL TREES SHALL BE A MINIMUM OF 12' HT. WITH 5' MIN. CLEAR TRUNK FROM FINISHED GRADE AND MEASURE 2 1/2" AT 54" ABOVE TOP OF ROOTBALL.

50% OF THE REQUIRED REPLACEMENT TREES SHALL BE SPECIES OTHER THAN PALMS. 3 PALMS ARE THE EQUIVELANT OF 1 OVERSTORY TREE.

ALL LANDSCAPED AREAS SHALL CONSIST OF EXISTING SOIL MIXED WITH 50% RECYCLED TOPSOIL. TOPSOIL SHALL BE FREE OF TREE ROOTS, ROCK OR OTHER CONSTRUCTION DEBRIS AND TOPSOIL STRUCTURE SHALL BE INDICATIVE OF LOCAL TOPSOIL. PLANTING SOIL SHALL EXTEND TO A DEPTH AS TO PROVIDE ADEQUATE AREA FOR ROOT GROWTH OF PROPOSED PLANT MATERIAL

ALL AREAS OF LANDSCAPING SHALL BE MULCHED TO A DEPTH OF 3" UNLESS COMPLETELY COVERED WITH GRASS OR OTHER APPROVED GROUND COVER

50% OF THE REQUIRED REPLACEMENT TREES SHALL BE SPECIES OTHER THAN PALMS. 3 PALMS ARE THE EQUIVELANT OF 1 OVERSTORY TREE.

PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, FINAL LANDSCAPE INSTALLATION SHALL BE CERTIFIED AS COMPLETE AND IN CONFORMANCE TO THE APPROVED LANDSCAPE PLAN BY SUBMISSION OF A CERTIFICATION LETTER BY A LANDSCAPE ARCHITECT

MAINTENANCE OF LANDSCAPE AND IRRIGATION IS REQUIRED. ANY DEAD PLANT MATERIAL SHALL BE IMMEDIATELY REPLACED WITH HEALTHY PLANT MATERIAL. MAINTENANCE SHALL ALSO INCLUDE THE SUFFICIENT WEEDING, WATERING, FERTILIZING, PRUNING, MOWING, EDGING, MULCHING AND OTHER HORTICULTURAL PRACTICES SO AS TO ENSURE THAT THE LANDSCAPING CONTINUES TO MAINTAIN A HEALTHY, NEAT AND ORDERLY APPEARANCE

TREES PLANTED FOR TREE MITIGATION REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, INCLUDING REPLACEMENT OF UNHEALTHY OR DEAD TREES. **THE PROPERTY OWNER SHALL SUBMIT TO AN ON-SITE INSPECTION OF THE PLANTED/PRESERVED VEGETATION 12 MONTHS AFTER THE ISSUANCE OF THE FINAL DEVELOPMENT ORDER OR PERMIT APPROVAL**

IRRIGATION SCHEDULE FOR NEW TREES BASED ON UF/IFAS ENH857

Trunk diameter of tree	Irrigation schedule for vigor*	Irrigation schedule for survival
< 2"	Daily for 2 weeks, every other day for 2 months, then weekly until established.	Twice weekly for 2-3 months.
2" to 4"	Daily for 1 month, every other day for 3 months, then weekly until established.	Twice weekly for 3-4 months.
Over 4"	Daily for 6 weeks, every other day for 5 months, then weekly until established.	Twice weekly for 4-5 months.

NOTE: NEWLY PLANTED & RELOCATED TREES SHALL RECEIVE 3 GAL PER CALIPER INCH FOR EACH DAY THAT WATERING IS SCHEDULED PER THE ABOVE CHART; I.E. FOR VIGOR, A 4" TREE SHALL RECEIVE 12 GALLONS OF WATER DAILY FOR 1 MONTH, THEN EVERY OTHER DAY FOR 3 MONTHS, THEN WEEKLY UNTIL ESTABLISHED



Know what's below.
Call before you dig.

GRAPHIC SCALE



Bowman

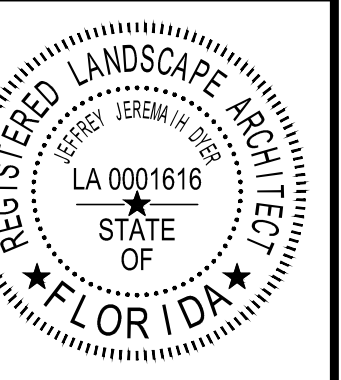
Bowman Consulting Group, Ltd.
910 SE 17TH ST.
SUITE 300
Fort Lauderdale, FL 33316
Phone (954) 314-8488
www.bowman.com
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LANDSCAPE DETAILS

CALIBER CAR WASH
US HIGHWAY 1 AND SUNNY LANE
FORT PIERCE, FL 34946

ST. LUCIE COUNTY
FORT PIERCE, FL

011027-01-001
BOWMAN PROJECT NUMBER



PLAN STATUS


DATE	DESCRIPTION
JP	JP
DESIGN	DRAWN
	CHKD
JOB No.	011027-01-001
DATE:	5/10/2022
FILE:	05-011027-01-001-LSP.dwg

SHEET **L-2.0**

Wendy's

North from Proposed Caliber Car Wash.

Legend

 Sunny Ln & N US Hwy 1



Property Identification

Site Address: N US HIGHWAY 1
 Sec/Town/Range: 04/35S/40E
 Parcel ID: 2404-111-0006-000-9
 Jurisdiction: Fort Pierce

Use Type: 1000
 Account #: 146285
 Map ID: 24/04N
 Zoning: General Co

Ownership

BW Sunny Federal LLC
 3708 W Swann AVE Ste 200
 Tampa, FL 33609



Legal Description

04 35 40 THAT PART OF SEC MPDAF: FROM NE COR OF SEC RUN S 88 21 15 W 109.28 FT TO SE COR OF SEC 33 34 40, TH S 89 11 58 W ALG S LI 97.22 FT TO W RD R/W LI US 1, TH S 28 05 56 E ALG W R/W LI 366.08 FT TO POB: TH CONT S 28 05 56 E 173.61 FT TO CURVE CONC N, R OF 538.68 FT, TH SWLY ALG ARC 75.52 FT, TH S 88 52 59 W 347.24 FT TO ELY RD R/W LI SANDBRIDGE RD (OLD US #1), TH N 24 52 20 W ALG ELY R/W LI 101.66 FT TO CURVE CONC SE, R OF 25.00 FT, TH NWLY ALG ARC 29.94 FT TO CURVE CONC SW, R OF 60 FT, TH NELY ALG ARC 43.90 FT, TH N 88 52 59 E 362.14 FT TO POB (1.49 AC)

Current Values

Just/Market Value: \$275,800
 Assessed Value: \$275,800
 Exemptions: \$0
 Taxable Value: \$275,800

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 1.49
 Land Size (SF): 64,904

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Building Design Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	160

Sources/links:

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this parcel: [Download PDF](#)

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Apr 13, 2022	4809 / 2393	0001	SP	Sunny Lanes Holdings Llc	\$700,000
Aug 30, 2004	2060 / 1744	XX00	WD	Taylor Creek Commons No 4 LLC	\$850,000
May 20, 2004	1977 / 0969	XX01	WD	Cimarron Apartments Inc	\$200,000
Jul 8, 1994	0910 / 0946	XX02	WD	TAYLOR CREEK ASSOCIATES LTD	\$675,000

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View: Roof Cover: Roof Structure:
 Building Type: Year Built: N/A Frame:
 Grade: Effective Year: N/A Primary Wall:

Story Height:

No. Units: 0

Secondary Wall:

Interior Data

Bedrooms: 0

Electric:

Primary Int Wall:

Full Baths: 0

Heat Type:

Avg Hgt/Floor: 0

Half Baths: 0

Heat Fuel:

Primary Floors:

A/C %: 0%

Heated %: N/A%

Sprinkled %: 0%



Image
or
Sketch
unavailable
for display

Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
----------	-------------	------	-----------	-----------

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

Current Year Values

Current Values Breakdown

Building:	\$0
Land:	\$275,800
Just/Market:	\$275,800
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$275,800
Exemption(s):	\$0
Taxable:	\$275,800

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2002	0041	4.4	Fort Pierce Stormwater Charge	\$303.60

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2021	\$275,800	\$275,800	\$0	\$275,800
2020	\$275,800	\$275,800	\$0	\$275,800
2019	\$275,800	\$275,800	\$0	\$275,800
2018	\$275,800	\$275,800	\$0	\$275,800

Permits

Number	Issue Date	Description	Amount	Fee
--------	------------	-------------	--------	-----

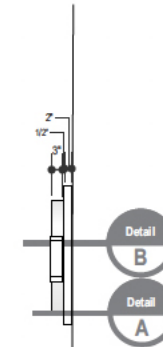
Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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Letter Set - 2 - Channel Letter Set
Front View
 Qty: 1



Scale
 1/4" = 1'-0"



Colors & Finishes

Colors shown here may not exactly match manufacturers color chart swatch or actual sample. Client to either provide samples or specifications for custom colors prior to production or approve DeNyse color samples or color specifications

- C1** ● PANTONE 294 C
- C2** ○ WHITE
- C3** ● PANTONE 2727 C
- C5** ○ White LEDs

Fonts Used

Font Name 1
 Font Name 2

Construction Specifications

- A** Existing Facade
- B** .063" Aluminum Letter Returns
- C** 3/16" Clear Polycarbonate backs
- D** White LED's
- E** .125" Routed aluminum faces, painted.
- F** Clear acrylic backing w/ digitally printed vinyl to match PMS 2727C
- G** Disconnect switch UL Outdoor rated toggle type w/neoprene boot per NEC 6
- H** Primary electrical feed in UL conduit / customer supplied UL junction box.
- I** Transformers within UL enclosure (removable lid), 1/4" x 1" min screws.
- J** .080" Aluminum shoebox (all jumps contained within shoebox) painted.
- K** #12 Tek screws fastening shoe-box to 1 1/2" x 1 1/2" aluminum angle.
- L** 1/2" spacers with threaded rod.
- M** 3/8" thru bolts with 1 5/8" x 1 5/8" 12 gauge unistrut backer

Electrical Notes

- Disconnect switch(s) UL & ID labels
- Vent - 2" Dia. Louvered

FINAL ELECTRICAL HOOK UP BY OTHERS

Suitable for Wet Location

Electrical Requirements: _____

Connection Type: permanent continuous operation

Number of Circuits: _____ 20 amp Dedicated Branch Circuit(s)

Primary Wire Size: 12 awg / conduit size: 1/2"

Secondary Wire Size: 18 awg

Max. Line Current: _____



Inspected and labeled in accordance with UL Standard for Electric Signs Installed using UL listed parts and methods of installation in accordance with Article 600 of the National Electric Code and other applicable local codes. This includes proper grounding and bonding.



This lighted product may contain Fluorescent, Neon, HID lamps or components that use Mercury in them. Dispose of these lamps & components according to the laws of the authority having jurisdiction.

This sign is fabricated using UL approved 406/19 Acrylic Adhesive

Scale
 1/4" = 1'-0"



Customer Signature Required

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Management Company
 Caliber Car Wash

Property Name & Address
 Caliber Car Wash

Opportunity Number
 42344

DeNyse Representative
 Nick Shepherd

Designer
 dsmith

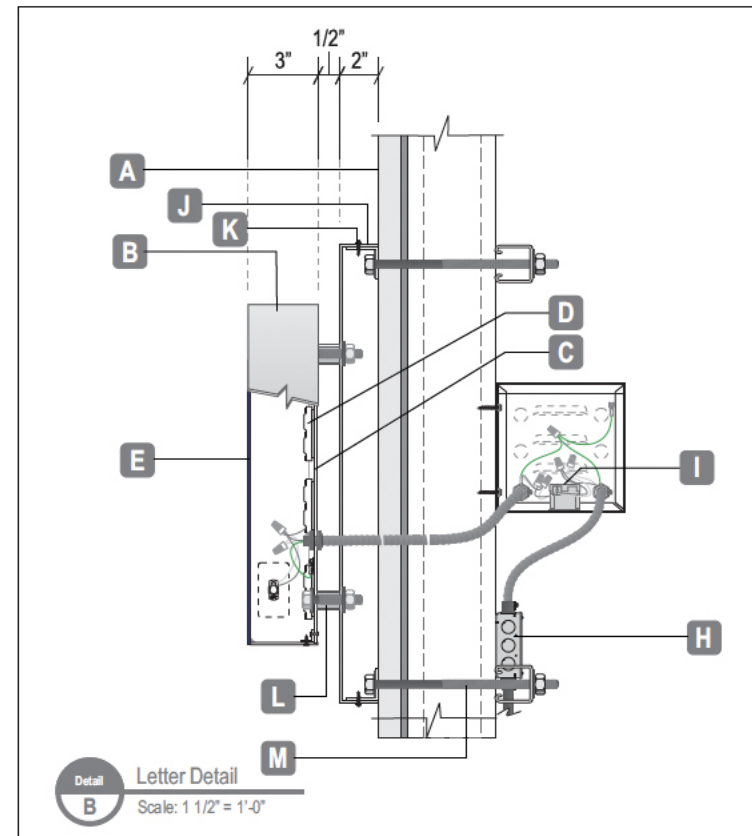
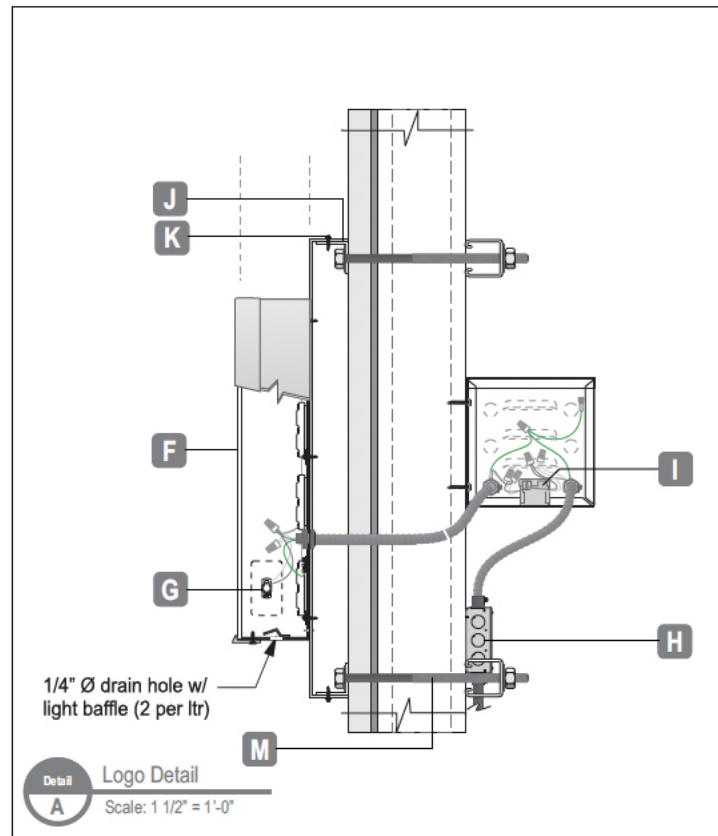
Date
 09.21.2021

Revision Date

2	10.04.2021	dsmith
	10.06.2021	ns

Filepath

- Concept
- Preliminary
- Production



Colors & Finishes

Colors shown here may not exactly match manufacturers color chart swatch or actual sample. Client to either provide samples or specifications for custom colors prior to production or approve DeNyse color samples or color specifications

- C1** ● PANTONE 294 C
- C2** ○ WHITE
- C3** ● PANTONE 2727 C
- C4** ● Digitally Printed Image (color match not required)
- C5** ○ White LEDs
- C6** ● SW 6959 BLUE CHIP

Construction Specifications

- A Cabinet:** Fabricated aluminum cabinet with 2" retainers painted to match, internally illuminated with LED's
- B Faces:** .080" aluminum panel routed and painted with .50" clear shoulder cut acrylic with second surface light diffusing vinyl and first surface white block out vinyl and digitally printed vinyl.
- C** N/A
- D** N/A
- E Footer:** 3000 PSI Poured tube pillar concrete footer with #5 rebar on 12" centers.
- F Primary Electrical**
- G Steel Support Pole:** 4" diameter schedule 40 HSS pole, direct buried in concrete pier footer.

Electrical Notes

- Disconnect switch(s) UL & ID labels
- Vent - 2" Dia. Louvered

FINAL ELECTRICAL HOOK UP BY OTHERS

Suitable for Wet Location
 Electrical Requirements: _____
 Connection Type: permanent continuous operation
 Number of Circuits: _____ 20 amp Dedicated Branch Circuit(s)
 Primary Wire Size: 12 awg / conduit size: 1/2"
 Secondary Wire Size: 18 awg
 Max. Line Current: _____

Inspected and labeled in accordance with UL Standard for Electric Signs. Installed using UL listed parts and methods of installation in accordance with Article 600 of the National Electric Code and other applicable local codes. This includes proper grounding and bonding.

This lighted product may contain Fluorescent, Neon, HID lamps or components that use Mercury in them. Dispose of these lamps & components according to the laws of the authority having jurisdiction.

This sign is fabricated using UL approved 406/19 Acrylic Adhesive

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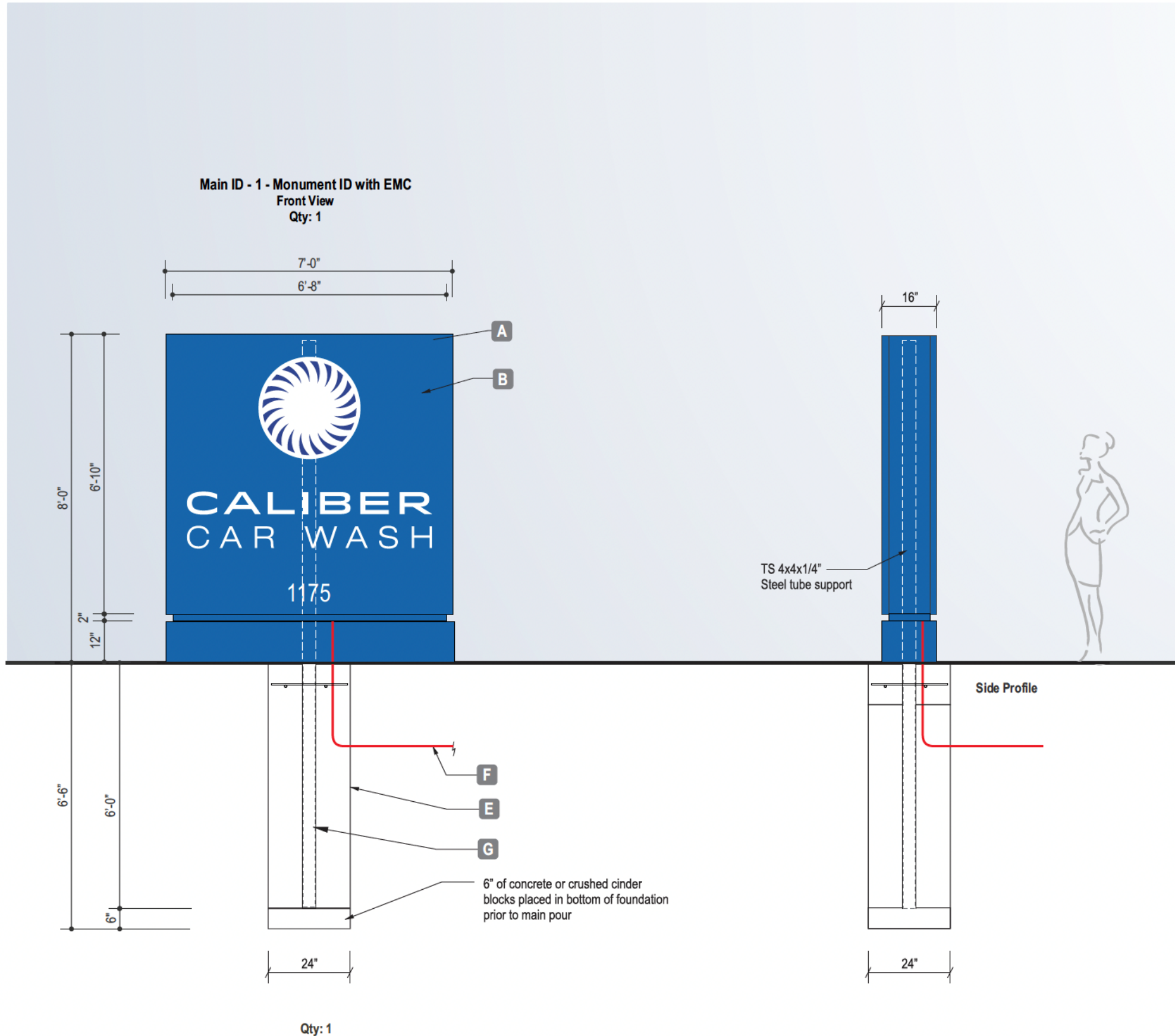
Date
09.21.2021

Revision Date

2	10.04.2021 dsmith
	10.06.2021 ns

Filepath

- Concept
- Preliminary
- Production



Qty: 1

Scale
3/8" = 1'-0"

Customer Signature Required

AGREEMENT FOR SALE AND PURCHASE

This Agreement for Sale and Purchase ("Agreement") is dated as of the Effective Date (as defined below), by and between SUNNY LANES HOLDINGS, LLC, a Florida limited liability company ("Seller"), and BRIGHTWORK ACQUISITIONS, LLC, a Florida limited liability company ("Buyer").

1. Sale of Property. Seller agrees to sell to Buyer and Buyer agrees to purchase from Seller upon the terms and conditions set forth below, certain land located at 1831 US Highway 1 in Ft. Pierce, Florida, (the "Real Property"), and more particularly described on Exhibit A attached hereto together with all improvements located thereon and to the extent assignable, all tenements, hereditaments and appurtenances thereto and all development and other rights related to the Real Property, including without limitation:

(i) all agreements, leases, contracts, covenants, easements and restrictions related to or benefiting the Real Property and any and all rights of Seller thereunder, including development rights, air rights, water and well rights, density (lot coverage) rights, and drainage rights;

(ii) all approvals, permits, and applications with or from governmental authorities related to or benefiting the Real Property; and

(iii) all documents and work product of all professionals in connection with the Real Property, including all environmental studies and water samplings, all soil or engineering tests, and all construction, engineering, architectural, landscaping, and other plans, drawings, specifications, surveys, maps, site plans, plats, and other graphics related to development of the Real Property.

All of the foregoing are hereinafter collectively referred to as the "Property."

2. Purchase Price. Subject to the adjustments permitted or required pursuant to this Agreement, Buyer shall pay to Seller a total purchase price of ~~2700,000.00~~ for the Property. The purchase price shall be payable at Closing by wire transfer.

3. Earnest Money Deposit. Within three (1) business days after the execution of this Agreement by Buyer and Seller, Buyer shall deposit with "Escrow Agent" (defined in ¶ 16 below) the sum of ~~210,000.00~~. The above deposit, together with any additional deposits are hereinafter referred to as the "Deposit." The Deposit shall be placed in an interest bearing trust account and shall be held in escrow until:

(i) the Deposit, together with interest accrued thereon, is returned to Buyer pursuant to the provisions of this Agreement;

(ii) the Deposit, together with interest accrued thereon, is delivered to Seller pursuant to the provisions of this Agreement; or

(iii) Closing, in which case the Deposit, together with interest accrued thereon, shall be applied towards the purchase price for the Property.

4. Feasibility Study Period. Buyer shall at all reasonable times from the Effective Date of this Agreement until Closing (or until this Agreement is terminated prior to Closing), have access to the Property for itself, its agents and contractors for the purpose of conducting all such inspections, environmental reports, surveys, soil tests, drainage and percolation tests, and general collection of engineering data, as Buyer may deem necessary. Buyer shall have seventy-five (75) days from the Effective Date (the "Feasibility Study Period") to evaluate the feasibility of Buyer's purchase and ultimate development of the Property. Notwithstanding anything to the contrary herein, Buyer shall not undertake any invasive testing, including without limitation a Phase II Environmental Assessment, without Seller's prior written consent which consent may be withheld in Seller's sole discretion. Prior to entering onto the Property, Buyer shall provide Seller with proof of liability insurance for each of its consultants, contractors or other party acting by, through or on behalf of Buyer that will be entering upon the Property, in amounts no less than \$1,000,000.00. Within five (5) business days after the Effective Date, Seller shall deliver to Buyer copies of all materials identified in ¶ 1 in Seller's possession. If, on or before the expiration of the Feasibility Study Period, Buyer notifies Seller that Buyer has determined, at Buyer's option and in Buyer's sole, absolute and complete discretion, that its purchase and ultimate development of the Property, for any reason whatsoever (regardless of the results of such inspections, tests, etc.), is not feasible and that Buyer therefore desires to terminate this Agreement, the Deposit and all interest earned thereon shall be returned to Buyer, Buyer shall deliver to Seller, at Seller's request, the results of Buyer's studies and investigations with respect to the Property, this Agreement shall terminate, and Buyer and Seller shall be relieved of any further liability or obligation hereunder except for the Inspection Indemnity described in ¶ 22 and the Broker Indemnity described in ¶ 26 below. Buyer's failure to notify Seller prior to the end of the Feasibility Study Period of Buyer's election to terminate the Agreement shall be deemed Buyer's acceptance of the Property "as-is" and Buyer's waiver of Buyer's termination rights hereunder.

5. Intentionally Deleted.

6. Closing. Closing shall take place as a "mail away" closing at the offices of Escrow Agent, in Tampa, Florida, or at such other location as Buyer and Seller agree, on or before the date which is 30 days after the end of the Feasibility Study Period, unless otherwise extended by the provisions of this Agreement or otherwise mutually agreed upon between the Buyer and Seller in writing, at which time Escrow Agent shall accept tender of the deed for recording and tender of the Purchase Price balance for delivery to Seller. Buyer shall have the right to extend the Closing date by one (1), thirty (30) day period upon written notice to Seller no less than five (5) days prior to the then scheduled Closing date. Simultaneously with such extension, Buyer shall deposit an additional \$10,000.00 to Escrow Agent, which shall be considered non-refundable but applicable to the Purchase Price.

7. Deed / Closing Documents. Seller shall convey marketable fee simple title to the Property to Buyer by special warranty deed free and clear of all liens and encumbrances, except as hereinafter provided. At Closing, Seller shall deliver to Buyer and Escrow Agent its affidavit in form sufficient for the purpose of deleting the standard exceptions for construction liens and claims of parties in possession from the title policy hereinafter described and all other documents reasonably necessary to effectuate this Agreement.

8. Seller's Work. Seller shall be cooperative, in Seller's reasonable discretion, with Buyer's intended development of the Property and permitting efforts in connection

therewith by signing necessary permit application documents in a timely manner, provided, however, such cooperation shall be at no expense to Seller and no permits or approvals shall be obtained by Buyer or binding on Seller until after Closing.

9. Title Insurance. Not more than 10 days after the Effective Date, Buyer shall obtain a written commitment issued by a nationally recognized title insurance underwriter reasonably acceptable to Buyer (the "Company") binding the Company to insure marketable title to the Property in Buyer subject only to exceptions of record set forth in said title commitment upon recording of the Special Warranty Deed (the "Title Binder"). The Title Binder shall be accompanied by legible copies of all exceptions noted on Schedule B of the Title Binder, with a copy of the Title Binder and all exceptions being provided to Seller within two (2) business days of Buyer's receipt of same.

10. Survey. Buyer may, at Buyer's expense, obtain a current survey of the Property (the "Survey") prepared and certified by a registered Florida land surveyor. If the Survey identifies any issues unacceptable to Buyer, in its sole discretion, such defect shall be treated in the same manner as a title defect under ¶ 11 below.

11. Defects in Title. Buyer shall notify Seller of any objections to title revealed in the Title Binder or Survey within 30 days after receipt of each, but in no event more than 55 days after the Effective Date. If Buyer fails to so notify Seller in writing of its objections to title to the Property, title to the Property shall be deemed to have been approved by Buyer. Seller shall have a period of 15 days after receipt of notice of any defect to agree to cure such title matters objected to prior to Closing or refuse to cure such matters. Seller's failure to notify Buyer of Seller's agreement to cure such matters shall be deemed Seller's refusal to cure any and all such title objections. If the Seller is unable or unwilling to cure any title defect within such period, Buyer may at its option and within five (5) days of receipt of Seller's notice (or upon expiration of such 15 day period if Seller provides no such notice): (i) terminate this Agreement, or (ii) accept a conveyance of title to the Property in its existing condition without reduction of the Purchase Price. If Buyer elects to terminate this Agreement, the Deposit, together with any interest accrued thereon, shall be returned to the Buyer and thereafter the parties shall have no further rights or obligations hereunder or to each other except as set forth in ¶ 22 and ¶ 26.

12. Closing Costs.

- (a) Buyer shall pay the following costs and expenses in connection with the Closing:
 - (i) the cost of the Survey and all other costs of Buyer's investigation;
 - (ii) the premium payable for the Title Binder and owner's policy issued pursuant thereto;
 - (iii) closing and escrow fees
- (b) Seller shall pay the following costs and expenses in connection with the Closing:

- (i) all recording fees and documentary stamps required by law to be affixed to the Special Warranty Deed;
- (ii) costs and expenses relating to title curative actions or requirements undertaken by Seller.

Each party shall pay their own attorneys' fees and costs.

(c) Taxes and assessments for the Real Property only (specifically excluding any and all tangible and intangible personal property taxes and assessments, for which the Seller shall be solely responsible) for the year of the Closing shall be pro-rated to the date of Closing. If the Closing occurs before the tax rate is fixed for the then current year, the apportionment of taxes shall be upon the basis of the tax rate of the preceding year applied to the latest assessed valuation. If there are any differences between such estimated amount and the final amount of the taxes due, either party may by written notice to the other party require the reparation of the taxes, provided such notice is received by the other party within thirty (30) days of receipt of the then current year tax bill.

13. Seller's Representations and Additional Covenants. Seller represents, warrants, and agrees that each of the following is true and correct on the date of this Agreement and shall be true and correct on the date of Closing, and it shall be a condition of Buyer's obligation to close the purchase of the Property that each of the following is true and correct on the date of Closing:

(a) Seller is authorized to execute the Agreement and to fulfill its obligations under the Agreement.

(b) Seller has no knowledge of any pending or threatened condemnation or similar proceeding or assessments affecting the Property or any portion thereof, nor has Seller knowledge that any such action is presently contemplated.

(c) There are no contracts, leases or other agreements of any nature with any party that will be binding on the Property or the Buyer after Closing, except as provided to Buyer pursuant to ¶ 1 above.

(d) Intentionally Deleted.

(e) Seller has no knowledge of any legal actions, suits, or other legal or administrative proceedings, pending or threatened, against the Property, and Seller has no knowledge of any facts that might result in any such action, suit or other proceedings.

(f) Intentionally Deleted.

(g) Seller has no knowledge of any uncured violations of federal, state, or municipal laws, ordinances, orders, regulations or requirements affecting any portion of the Property.

(h) Seller has no knowledge of any episode of environmental discharge or spill with respect to the Property or any lands abutting the Property.

(i) Seller's has no knowledge of any claims of any additional third parties affecting the use, title, occupancy or development of the Property.

(j) As of the Closing Date, Seller shall cause to be paid all services, materials, and labor furnished with respect to the Property prior to the Closing date to the extent incurred or caused by Seller (and expressly excluding any such matters due or resulting from the actions of Buyer), and that to Seller's best knowledge there are no mechanics', materialmens' or professional services liens (or rights to claim any such liens) against the Real Property that have not been disclosed in writing by Seller to Buyer.

(k) Except for those items to be prorated as hereinafter set forth, Seller shall be solely liable for the payment of all costs and expenses, liabilities, obligations, and claims arising out of Seller's ownership and operation of the Property prior to Closing to the extent incurred or caused by Seller (and expressly excluding any such matters due or resulting from the actions of Buyer); and Seller hereby agrees to defend, indemnify and hold Buyer harmless therefrom.

(l) That Seller has no notice or any knowledge of any actual or threatened settlement, earth movement, termite infestation or other damage affecting the Property, or any reduction or curtailment of any utility service now available to the Property.

(m) That the representations, warranties, indemnities, and covenants contained in this Article shall survive the Closing date and run in favor of and benefit Buyer and its successors and assigns for a period of one hundred eighty (180) days after Closing. Seller hereby indemnifies and holds Buyer harmless from any losses, costs, expenses, obligations and attorneys' fees incurred should a claim, demand, action or cause of action be instituted, made or taken resulting from a breach of the representations or warranties contained in this Article, and these indemnities shall survive the Closing date for a period of one hundred eighty (180) days after Closing.

(n) Buyer shall promptly disclose to Seller, in writing, any conditions or events that arise or occur subsequent to the Effective Date that become known to Buyer that have an adverse effect on the Property or the development or use thereof, or on Buyer's capacity or ability to perform its obligations under this Agreement. To the extent Buyer is aware of any fact or information regarding the Property or Seller's representations prior to Closing and Buyer does not object to same prior to Closing, Buyer shall be deemed to have accepted such representation and shall have no right to object thereafter.

For the purpose of this paragraph, "knowledge" is deemed to be the actual present knowledge of the Seller's majority owner (or the principals thereof), without investigation. The representations, warranties and agreements set forth in this paragraph shall survive Closing for a period of one hundred eighty (180) days after Closing.

14. Default.

(a) If the sale and purchase of the Property is not closed because of default of the Buyer, and if Seller is not in default under this Agreement, the Deposit, together with all interest accrued thereon, shall be delivered to the Seller, and this shall be Seller's sole

remedies for Buyer's default hereunder (except for Buyer's obligations under the Inspection Indemnity described in ¶ 22 and Broker Indemnity described in ¶ 26 below), it being understood and agreed that Seller's damages in the event of Buyer's default cannot be ascertained with reasonable certainty at this time.

(b) If the sale and purchase of the Property is not closed because of default of the Seller and if Buyer is not in default under this Agreement, at the option of Buyer, (i) the Deposit, together with all interest accrued thereon, shall be returned to the Buyer upon demand, or (ii) Buyer may seek to enforce specific performance of Seller's obligations hereunder, together with actual out of pocket expenses arising out of Seller's default, not to exceed \$25,000.00, and these shall be Buyer's sole remedies for Seller's default hereunder.

15. Escrow Agent. In the event of doubt as to its duties or liabilities under this provision of this Agreement, Escrow Agent may, in its sole discretion, continue to hold the Deposit until the parties mutually agree to the disbursement thereof, or until a judgment of a court of competent jurisdiction shall determine the rights of the parties thereto, or it may deposit all the monies then held pursuant to this Agreement with the Clerk of the Court for St. Lucie County, Florida, and upon notifying all parties concerned by such action, all liability on the part of the Escrow Agent shall fully terminate except to the extent of accounting for any monies theretofore delivered out of the escrow. In the event of any suit between Buyer and Seller wherein Escrow Agent is made a party by virtue of acting as such Escrow Agent hereunder, or in the event of any suit wherein Escrow Agent interpleads the subject matter of this escrow, Escrow Agent shall be entitled to recover reasonable attorneys' fees and costs incurred, said fees and costs to be charged and assessed as court costs in favor of the prevailing party and charged to the non-prevailing party. All parties agree that Escrow Agent shall not be liable to any party or person whomsoever for misdelivery to Buyer or Seller of monies subject to this escrow, unless such misdelivery shall be due to willful breach of this Agreement or gross negligence on the part of Escrow Agent.

16. Notices. Any notice required or permitted to be given by the terms of this Agreement or under any applicable law by either party shall be in writing and shall be delivered by one or more of the following methods (i) hand delivered (ii) certified or registered mail, postage prepaid, return receipt requested, (iii) overnight delivery with receipted service or (iv) electronic mail (email). Such written notice shall be addressed as follows:

As to Buyer: Brightwork Acquisitions, LLC
 c/o Brightwork Real Estate, Inc.
 Attn: T. Austin Simmons
 3708 W. Swann Avenue
 Tampa, FL 33609
 Email: asimmons@brightworkre.com

As to Seller: Sunny Lanes Holdings, LLC
 Attn: Tim Ioannides
 140 SW Chamber Court, #200
 Port St. Lucie, FL 34986
 Email: timioannides@aol.com

With copies to: Fox McCluskey Bush Robison, PLLC
Attn: Tyson Waters, Esq.
3461 SE Willoughby Blvd.
Stuart, FL 34994
Email: twaters@foxmclluskey.com

As to Escrow Agent: Brooks, Sheppard & Rocha, PLLC
Attn: Michael R. Rocha, Esquire
400 N. Tampa Street, Suite 1910
Tampa, FL 33602
Phone: (813) 543-5900
Fax: (813) 543-5901
Email: mrocha@bsrfirm.com

Any party may, by subsequent written notice, designate a different address or party for receiving notice. Notice shall be deemed to have been given when made as required above and actually delivered or when delivery is made and refused.

17. Attorneys' Fees. In the event it becomes necessary for either party to enforce the terms of this Agreement, the prevailing party shall be entitled, in addition to such damages or other relief as may be granted, to recover reasonable attorneys' fees and costs, such attorneys' fees to include those incurred on any appeal.

18. Condemnation. Should any governmental entity having the power of condemnation initiate eminent domain proceedings prior to the time of Closing hereunder to condemn any portion of or any interest in the Real Property, Buyer, at its sole option, may elect to:

(a) Terminate Buyer's obligation to purchase the Property by giving written notice to Seller within ten (10) days after notification and receive back the Deposit, together with all interest accrued thereon; or

(b) Complete the purchase of the Property in accordance with the terms of this Agreement without diminution of the purchase price or change of the terms hereof, in which event at Closing Seller shall assign to Buyer all sums to be awarded or to be awarded in connection with said condemnation; Seller shall not negotiate a settlement of any pending or threatened eminent domain proceeding without the prior written consent of the Buyer.

19. Further Assurances. From and after the Closing date, each party, upon demand, will execute and deliver any and all written further assurances that are necessary to evidence, complete, perfect, or any combination thereof, the transactions contemplated by this Agreement, so long as no further assurance operates to impose any new or additional liability upon any party. The parties will so perform all other acts that are necessary for any such purpose, so long as no new or additional liabilities are incurred that are not contemplated by this Agreement.

20. Effective Date. The "Effective Date" as used herein shall be the date on which the last of the Buyer and the Seller signs this Agreement.

21. Miscellaneous. This Agreement may be modified only by an instrument in writing signed by both parties. This Agreement shall be binding upon and inure to the benefit of the parties hereto, their respective successors and assigns. The waiver of any breach of any term or condition hereof shall not be deemed a waiver of any other or subsequent breach, whether of like or of different nature. The captions contained herein are not part of this Agreement, are only for the convenience of the parties and do not modify, amplify or give full notice of any of the terms, covenants and conditions of any articles, paragraph, clause or provisions of this Agreement. This agreement shall be interpreted and construed in accordance with the laws of the State of Florida. The invalidity or unenforceability of any provision hereof shall not affect the validity or enforceability of the remainder of this Agreement. Whenever used herein, the singular form shall include the plural and vice versa, and the use of any gender shall include all genders, as appropriate.

22. Inspection Indemnity. Notwithstanding anything contained in this Agreement, Buyer shall (i) promptly pay or cause to be removed any liens filed against the Property as a result of any actions taken by or on behalf of Buyer; (ii) promptly repair and restore the Property to substantially the same condition existing immediately prior to the conduct of Buyers entry thereon; and (iii) shall indemnify, defend and hold Seller harmless from and against all claims, damages or losses incurred to the Property or anyone on the Property as a result of the actions taken by Buyer, any of its agents, representatives or contractors, or any person performing the feasibility activity or other activities on Buyer's behalf; these obligations collectively are referred to herein as the "Inspection Indemnity." The terms of this Inspection Indemnity shall survive any termination of this Agreement.

23. Disclaimer. Except as otherwise expressly provided in this Agreement, Buyer acknowledges that it has examined the Property and is buying the Property "As Is," without warranty or representation of any kind whatsoever, express or implied, including, without limitation, any implied warranty of fitness of the Property for a particular purpose, whether by Seller, or by an agent, broker, employee or other representative of Seller. All understandings and agreements heretofore between the parties are hereby merged in this Agreement, which alone shall fully and completely express the parties' agreement. Buyer acknowledges that it shall have had by Closing an adequate opportunity to inspect the Property and to make such legal, factual and other inquiries and investigations as Buyer deems necessary, desirable or appropriate with respect to the Property.

24. Recording This Agreement. Buyer shall not record this Agreement or any memorandum thereof. In the event that Buyer shall breach this paragraph, Seller shall have the right to terminate this Agreement.

25. Entire Agreement. This Agreement and the exhibits attached hereto contain the entire Agreement between the parties. There are no promises, agreements, conditions, undertakings, warranties or representations, oral, written, express or implied, between the parties other than as herein set forth.

26. Brokerage. Buyer and Seller each represent and warrant to the other that with the exception of SLC Commercial representing Seller, and Brightwork Real Estate, Inc. representing Buyer, each of whose fee of 3% of the aggregate Purchase Price shall be paid by Seller pursuant to separate agreement at Closing, and only if a Closing occurs as

contemplated in this Agreement, neither has had any dealings with any person, firm, broker or finder in connection with the negotiations of this Agreement and/or the consummation of the purchase and sale contemplated hereby and no broker or other person, firm or entity is entitled to any commission or finder's fee in connection with this transaction. Buyer and Seller do each hereby indemnify, defend, protect and hold the other harmless from and against any costs, expenses or liabilities for compensation, commission or charge which may be claimed by any broker, finder or other similar party by reason of any actions of the indemnifying party, and these obligations are referred to herein collectively as the "Broker Indemnity."

27. Assignment. Buyer may not assign this Agreement without the prior written notice of Seller, which consent may be withheld in Seller's sole and absolute discretion, except that Buyer may assign this Agreement to another entity whereby Buyer, or one or more of Buyer's principals, controls or owns no less than fifty percent (50%) of such entity, which limited assignment shall not require Seller's approval but shall only be effective upon notice of such assignment to Seller.

28. Intentionally Deleted.

29. Time is of the Essence. Time is of the essence with respect to this Agreement. Whenever any time period is to be computed hereunder, the day from which the period shall run is not to be included, and any period ending on a Saturday, Sunday or legal holiday will be extended to the next business day.

30. Like Kind Exchange. Buyer or Seller may elect to acquire or sell the Property in a manner which will qualify for treatment as a like kind exchange under Section 1031 of the Internal Revenue Code. In the event either party makes such an election, the other party will cooperate in any reasonable manner and at no expense to the other party to allow the exchanging party to effect such an exchange; provided, however, that in no event shall (i) either party be required to take title to any other property to facilitate the tax free exchange, or (ii) the exchange activity delay the Closing. It is understood and agreed that if either party elects to effect such an exchange, funds will be transferred to a qualified "Exchange Agent" as designated by the exchanging party.

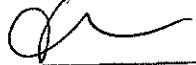
31. Radon Disclosure. Radon is a naturally occurring radio active gas that when accumulated in a building in sufficient quantities may present health risks to persons who are exposed to it over time. Levels of radon that exceed federal and state guidelines have been found in buildings in Florida. Additional information regarding radon or radon testing may be obtained from your County Public Health unit.

[Signatures Follow on Next Page]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed by their duly authorized officers on the date(s) set forth below.

SELLER:

SUNNY LANES HOLDINGS, LLC

By: 

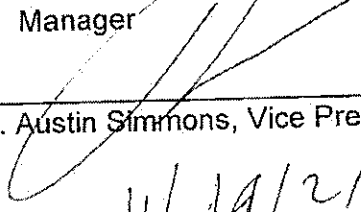
Name: Tim Ioannides

Dated: 11/19/2021

BUYER:

BRIGHTWORK ACQUISITIONS, LLC, a
Florida limited liability company

By: BRIGHTWORK REAL ESTATE,
INC., a Florida corporation, as
Manager

By: 
T. Austin Simmons, Vice President

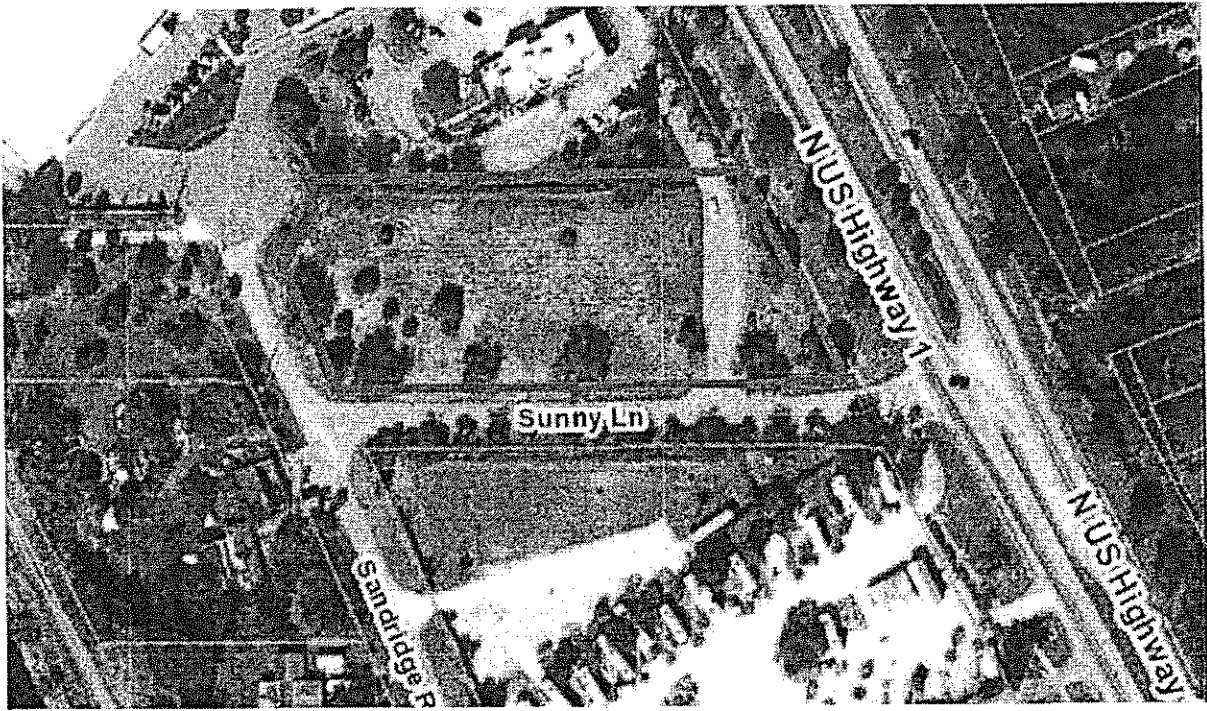
Dated: 11/19/21

EXHIBIT A

Parcel ID No.: 2404-111-0006-000-9

LEGAL DESCRIPTION (OUTPARCEL 7)


COMMENCE AT THE NORTHEAST CORNER OF SECTION 4, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; SAID POINT BEING AN 1" IRON PIPE; THENCE RUN SOUTH 88° 21' 15" WEST, A DISTANCE OF 109.28 FEET, TO THE SOUTHWEST CORNER OF SECTION 33, TOWNSHIP 34 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA; THENCE RUN SOUTH 89° 11' 58" WEST, ALONG THE SOUTH LINE OF SAID SECTION 33, A DISTANCE OF 97.22 FEET, TO THE WEST RIGHT-OF-WAY LINE OF US HIGHWAY NO. 1 (STATE ROAD NO. 5, BEING 200 FEET IN WIDTH); THENCE SOUTH 28 DEGREES 05 MINUTES 56 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 173.61 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHEAST ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 173.61 FEET TO THE POINT OF CURVATURE OF A NON-TANGENT CURVE, CONCAVE TO THE NORTH, HAVING A RADIUS OF 538.68 FEET, A CENTRAL ANGLE OF 01 DEGREE 01 MINUTE 56 SECONDS, AND A CHORD OF 75.46 FEET BEARING SOUTH 52 MINUTES 01 SECOND WEST; THENCE WEST ALONG SAID CURVE, A DISTANCE OF 75.46 FEET; THENCE SOUTH 88 DEGREES 52 MINUTES 59 SECONDS WEST, A DISTANCE OF 109.28 FEET; THENCE NORTH 24 DEGREES 52 MINUTES 20 SECONDS WEST, A DISTANCE OF 25.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 68 DEGREES 36 MINUTES 38 SECONDS, A DISTANCE OF 29.94 FEET TO THE POINT OF CURVATURE OF A REVERSE CURVE, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 109.28 FEET, A CENTRAL ANGLE OF 41 DEGREES 55 MINUTES 12 SECONDS, AND A CHORD OF 109.28 FEET BEARING NORTH 22 DEGREES 46 MINUTES 42 SECONDS EAST; THENCE NORTH ALONG SAID CURVE, A DISTANCE OF 43.90 FEET; THENCE NORTH 88 DEGREES 52 MINUTES 59 SECONDS EAST, A DISTANCE OF 362.15 FEET TO THE POINT OF BEGINNING.



Trailer Park

South from the Proposed Caliber Car Wash.

Legend

 Sunny Ln & N US Hwy 1



Memorandum

To: City of Fort Pierce

From: Jenny Baez / Branch Manager

Date: 05/20/2022

Re: Caliber Carwash – NW Corner of Sunny Lane and N. US Highway 1, Fort Pierce, FL 34946

This memorandum summarizes the anticipated trip generation and preliminary trip distribution for the proposed Caliber Car Wash development to be located on the NW Corner of Sunny Lane and North US Highway 1, Fort Pierce, FL 34946. The proposed development consists of a 3,770 SF Car Wash. Currently, the site is vacant, mainly vegetated with spread-out small trees and palms. The site location for the proposed Caliber Car Wash is depicted in **Figure 1**.



Figure 1 Site Location and Proposed Access Location

Access to the site is proposed via one driveway with Right-in and Right/Left-out access along Sunny Lane.

Trip Generation

The morning peak hour and evening peak hour trip generation were calculated as per the Institute of Transportation Engineers (ITE) Trip Generation Manual. Trip Generation rates are as follows:

Based on the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 10th edition*. The total trip generation for the existing and proposed developments is presented in **Table 1**:

- Existing development: Vacant Site
- Proposed development: Automated Car Wash (LU-948)

Table 1. ITE Site Trip Generation Analysis

Land Use	Land Use Code ⁽¹⁾	Intensity	Units	Time period	Average Rate/ Fitted Curve Eq. ⁽¹⁾	Trips ⁽¹⁾			Pass-By Trips ⁽²⁾			Primary Trips			
						In	Out	Total	In	Out	Total	In	Out	Total	
Existing Vacant Site	0	0.00	0	AM ⁽³⁾	0.00	0	0	0	0	0	0	0	0	0	0
				PM ⁽³⁾	0.00	0	0	0	0	0	0	0	0	0	0
Proposed Automated Car Wash	948	1.00	Car Wash Tunnels	AM ⁽⁴⁾	77.50	39	39	78	0	0	0	39	39	78	
				PM ⁽³⁾	77.50	39	39	78	0	0	0	39	39	78	
Net Trips New Trip				AM ⁽³⁾	-	39	39	78	0	0	0	39	39	78	
				PM ⁽³⁾	-	39	39	78	0	0	0	39	39	78	

(1) Based on the Institute of Transportation Engineers Trip Generation, 10th Edition

(2) Pass-By Rates for LU- 948 were assumed 0 since no value is found on the Institute of Transportation Engineers (ITE) Trip Generation Handbook, 3rd Edition

(3) Peak Hour of Adjacent Street

(4) Peak Hour of Adjacent Street 7AM and 9AM was assumed to be the same as the Peak Hour of Adjacent Street 4PM and 6PM

Based on the ITE Trip Generation Manual, 10th Edition, the proposed development is expected to generate a total of 78 trips during the morning peak hour, and 78 trips during the evening peak hour. The existing undeveloped site is vacant and does not generate any trips.

This instrument prepared by:

Michael R. Rocha, Esq.
Brooks, Sheppard & Rocha, PLLC
400 N. Tampa Street, Suite 1910
Tampa, FL 33602

_____[Space Above This Line for Recording Data]_____

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made as of the 14th day of April, 2022, by SUNNY LANES HOLDINGS, LLC, a Florida limited liability company, having an address of 140 S.W. Chamber Court, Suite 200, Port St. Lucie, Florida 34986 (“Grantor”), to BW SUNNY FEDERAL, LLC, a Florida limited liability company, having an address of 3708 West Swann Avenue, Suite 200, Tampa, FL 33609 (“Grantee”).

WITNESSETH:

That Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, transfers and conveys unto Grantee and Grantee’s successors and assigns, the following described land in St. Lucie County, Florida (the “Land”):

See **Exhibit “A”** attached hereto and incorporated herein by reference for the description of the Land conveyed herein.

Parcel ID No.: 2404-111-0006-000-9

SUBJECT TO real estate taxes for the year 2022 and all subsequent years, and all easements, restrictions, and reservations of record; provided, however, that reference thereto shall not serve to re-impose same.

TOGETHER WITH all the tenements, hereditaments and appurtenances with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same unto Grantee and Grantee’s successors and assigns in fee simple forever.

And Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said Land in fee simple; that the Grantor has good right and lawful authority to sell and convey said Land; and, subject to the matters described above, that the Grantor will warrant and defend the title to the Land against the lawful claims and demands of all persons claiming by, through or under the Grantor, but against none other.

IN WITNESS WHEREOF, the Grantor has executed this deed on the day and year first above written.

Signed, sealed and delivered in the presence of:

WITNESSES:

E. Chandler
Print Name: Erin Chandler
Ingrid Brann
Print Name: Ingrid Brann

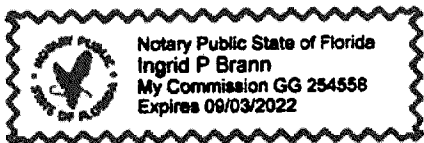
GRANTOR:

SUNNY LANES HOLDINGS, LLC, a Florida limited liability company

By: [Signature]
Tim Ioannides, Manager

STATE OF FLORIDA
COUNTY OF ST. LUCIE

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 13th day of April, 2022, by Tim Ioannides, as Manager of SUNNY LANES HOLDINGS, LLC, a Florida limited liability company, on behalf of said limited liability company. He is personally known to me or produced _____ as identification.



Ingrid P. Brann
NOTARY PUBLIC
Print Name: Ingrid P. Brann
My commission expires: 9/3/2022
Commission No. GG-254558

EXHIBIT "A"**PARCEL 1: (Fee Simple Estate)**

Commence at the Northeast corner of Section 4, Township 35 South, Range 40 East, St. Lucie County, Florida, said point being an 1" iron pipe; thence run South 88°21'15" West, a distance of 109.28 feet, to the Southeast corner of Section 33, Township 34 South, Range 40 East, St. Lucie County, Florida; thence run South 89°11'58" West, along the South line of said Section 33, a distance of 97.22 feet, to the West right-of-way line of US Highway No. 1 (State Road No. 5, being 200 feet in width); thence South 28°05'56" East, along said right of way line, a distance of 366.08 feet to the Point of Beginning; thence continuing Southeast along said line, a distance of 173.61 feet to the point of curvature of a non-tangent curve, concave to the North having a radius of 538.68 feet, a central angle of 8°01'56", and a chord of 75.46 feet bearing South 84°52'01" West; thence West along said curve, a distance of 75.52 feet; thence South 88°52'59" West, a distance of 347.24 feet; thence North 24°52'20" West, a distance of 101.66 feet to the point of curvature of a curve, concave to the East, having a radius of 25.00 feet; thence North along the arc of said curve, through a central angle of 68°36'38", a distance of 29.94 feet to the point of curvature of a reverse curve, concave to the Northwest, having a radius of 60.00 feet, a central angle of 41°55'12", and a chord of 42.93 feet bearing North 22°46'42" East; thence Northeast along said curve, a distance of 43.90 feet; thence North 88°52'59" East, a distance of 362.15 feet to the Point of Beginning.


PARCEL 2: (Non-Exclusive Easement Estate)

TOGETHER WITH: Non-Exclusive Easement(s), for the benefit of Parcel 1, as set forth and created by that certain Declaration of Restrictions and Grant of Easements recorded in Official Records Book 712, Page 83; as affected by First Amendment recorded in Official Records Book 733, Page 2912; and as affected by Waiver recorded in Official Records Book 1982, Page 945, all of the Public Records of St. Lucie County, Florida, over, under and across the lands described therein.

N Old US 1

West from the Proposed Caliber Car Wash.

Legend

 Sunny Ln & N US Hwy 1

