



TO: Technical Review Committee

FROM: Planning Department

RE: Technical Review Project: #22-07000009  
(Minor Site Plan)

MEETING DATE : June 16, 2022

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**Minor Site Plan – Dockside/On the Edge  
1136 Seaway Drive**

The above referenced project is being submitted for your review and comments. The applicant is requesting a minor site plan and design review for a proposed deck and building expansion to an existing restaurant known as “On the Edge”. The applicant is proposing a 920 square foot expansion to the existing building footprint and a 1,715 square foot expansion to the existing deck.

Please send all comments to [planning@cityoffortpierce.com](mailto:planning@cityoffortpierce.com) and/or through interoffice mail to the Planning Department.

If you have comments, please respond prior to Tuesday, June 14, 2022.

If you have any questions, please contact the Planning Department at 772-467-3737.

Thank you



**DESIGN REVIEW**

**Property Information**

Property address or Location 1136 Seaway Drive, Fort Pierce, FL 34949  
 Parcel ID #(s) 2401-501-0307-000-7  
 Project description Building expansion that maintains the existing parking and drainage.

**Dockside View, LLC**

Property Owner(s)  
2751 NE 48th Street  
 Street Address  
Lighthouse Point FL 33064  
 City State Zip  
(772) 468-3555  
 Phone Number  
jzebrowski1921@yahoo.com  
 Email Address

Stephen Cooper, Principal Engineer, SCPE  
 Applicant/Representative, Title, Company  
7450 S Federal Highway  
 Street Address  
Port Saint Lucie FL 34952  
 City State Zip  
(772) 336-2933  
 Phone Number  
scooper@scpeinc.com  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

*Joseph J. Howell*  
 Property Owner(s) Signature(s)

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**  
 CALL 772.467.3737 OR E-MAIL [PLANNING\\_DL@CITYOFFORTPIERCE.COM](mailto:PLANNING_DL@CITYOFFORTPIERCE.COM)  
 For more information, please refer to the website:  
<https://www.cityoffortpiecer.com/971/Application-Submittal-for-Technical-Rev>



**DEVELOPMENT REVIEW**

**Property Information**

Property address or Location 1136 Seaway Drive, Fort Pierce, FL 34949  
 Parcel ID #(s) 2401-501-0307-000-7  
 Project description Building expansion that maintains the existing parking and drainage.

**Application Type**

- Site Plan       Conditional Use w/New Construction       Conceptual Development Plan  
 Minor Amendment       Major Amendment

**Site Information**

*Non-Residential:* Proposed Sq. Ft.: 1,345      Site Acreage: 0.279  
*Residential:* Proposed Units: \_\_\_\_\_ Proposed Sq. Ft.: \_\_\_\_\_ Site Acreage: \_\_\_\_\_

**Dockside View, LLC**

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 Street Address  
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 City State Zip  
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Property Owner(s) Signature(s)

*Joseph Zebrowski*

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<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

**1136 SEAWAY DESIGN NARRATIVE for Design Review Submittal**

**Good Morning Mr. Gilmore.**

**Please find below the detailed Project Narrative to include a description of the design intent of the project, its goals and objectives, and how it reflects the site analysis study results.**

**BACKGROUND: "On The Edge Restaurant" was built in approximately 2009 as part of the Dockside Inn Hotel Marina Resort Complex. The Hotel Buildings were assembled and the Marina Docks entitlements put together by the prior Owner. The New Owner loves Fort Pierce, and intends to improve the property in each and every way possible. He has already invested in building the Docks, and now is ready to expand the Restaurant. The future is bright for the Dockside Inn Hotel Marina Resort!**

**DESIGN /GOALS OF THE PROJECT: The Design intent of this project is to create an upscale yet laid back open air dining & entertainment environment with common design and color elements consistent with and / or complimentary to the other primary existing buildings on the extended property.**

**The overall Resort Concept for the Dockside Inn Resort & Marinas intercorrelates with the Design Concept of the Restaraunt expansion. Guests walk West along the waterfront from the hotel buildings and pool areas to the East, enjoying the views, the schools of fish large and small, an occasional school of dolphins, the passing boats and yachts and the interesting characters upon them, the appropriate background music, the smell of freshly cooking seafood and burgers, likely towards enjoying the Sunset, from the great vantage points the new seating areas will offer.**

**This beautiful Site clearly wants us to focus on the Water frontage, the Views, the Sunsets, in a clean, fresh, open, open air, upscale yet laid back format. Our layout including the series of adjacencies supports those goals. The soaring ceilings and white grey tones are trending. The cleanliness of these finishes is much clearer to the eye than the browns and greens common at Tiki bars.**

**An additional design intent is convenience. The additional bathrooms, Managers office, and Walk In coolers will make life better for both the Guests and the Staff.**

**Another design Intent is durability. Tiki Bars are notoriously high maintenance, and intended to frangibly breakaway in a storm event. The proposed exposed beam roof system and the highest quality Standing Seam Metal Roof above it are designed to withstand 200mph+ winds.**

**Steven M. Weaver Sr.**

**Realtme Property Development Services, Inc.**

**1136 SEAWAY DRIVE SITE ANALYSIS for Design Review Submittal**

**Good Morning Mr. Gilmore.**

Please find below a Site Analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.

**SPECIMEN TREES:** There are several excellent examples of our Florida State Symbol Tree, the Sabal Palm also known as cabbage palm, cabbage palmetto, sabal palm, blue palmetto, Carolina palmetto, common palmetto, Garfield's tree, and swamp cabbage. These examples are estimated to be approaching 40 years old based upon their height and girth.

**NATURAL VEGETATION:** There is no natural, original vegetation on this developed site.

**SIGNIFICANT TOPOGRAPHY:** The property is essentially flat, about 6 or 7 feet above sea level. The transition down to the water level occurs on the north side of the Property.

**WETLANDS:** There are no Wetlands on the Subject Property.

**BUFFERS:** The Dockside Inn complex immediately adjoins to the East of the Subject Property. The Entertainment area and the Pool and major Hotel buildings flow seamlessly as Guests walk Eastward. The Parking Lot and Privacy Fenced Pool area of the Pelican Yacht Club immediately adjoin to the West. There is no interconnectivity anticipated to the West. The two uses are buffered by the Pelican Yacht Club Parking Lot and the 7 foot tall Privacy fence around the Pool area.

**SETBACKS** The C5 Zoning District Setbacks are listed as 25 Feet for the Frontage of the Property.

**VIEWS** Fantastic views East towards the mouth of the Fort Pierce Inlet and West towards downtown Fort Pierce and the Turning Basin are available from the existing and proposed seating areas.

**ORIENTATION** The existing and Proposed Entrances to the building face South/SouthEast, with the Water View Frontage wrapping from the NorthEast to the North West.

**SURROUNDING BUILT ENVIRONMENT** In addition to the surrounding built environment descriptions contained within the above dialogues, The Property (located along the North Side of Seaway Drive) is also across the street from a One Story Duplex built in the 1980s. It is currently not occupied and involved with some Code Enforcement actions.

**OTHER SITE FEATURES THAT INFLUENCE DESIGN ELEMENTS:** The views to the North, West and East are the Driving factors in the design of the existing building, and the Proposed additions. All seating area will have fantastic waterviews. The Kitchen and support facilities are appropriately situated near to but not in the line of site of the Seating areas.

Steven M. Weaver Sr.

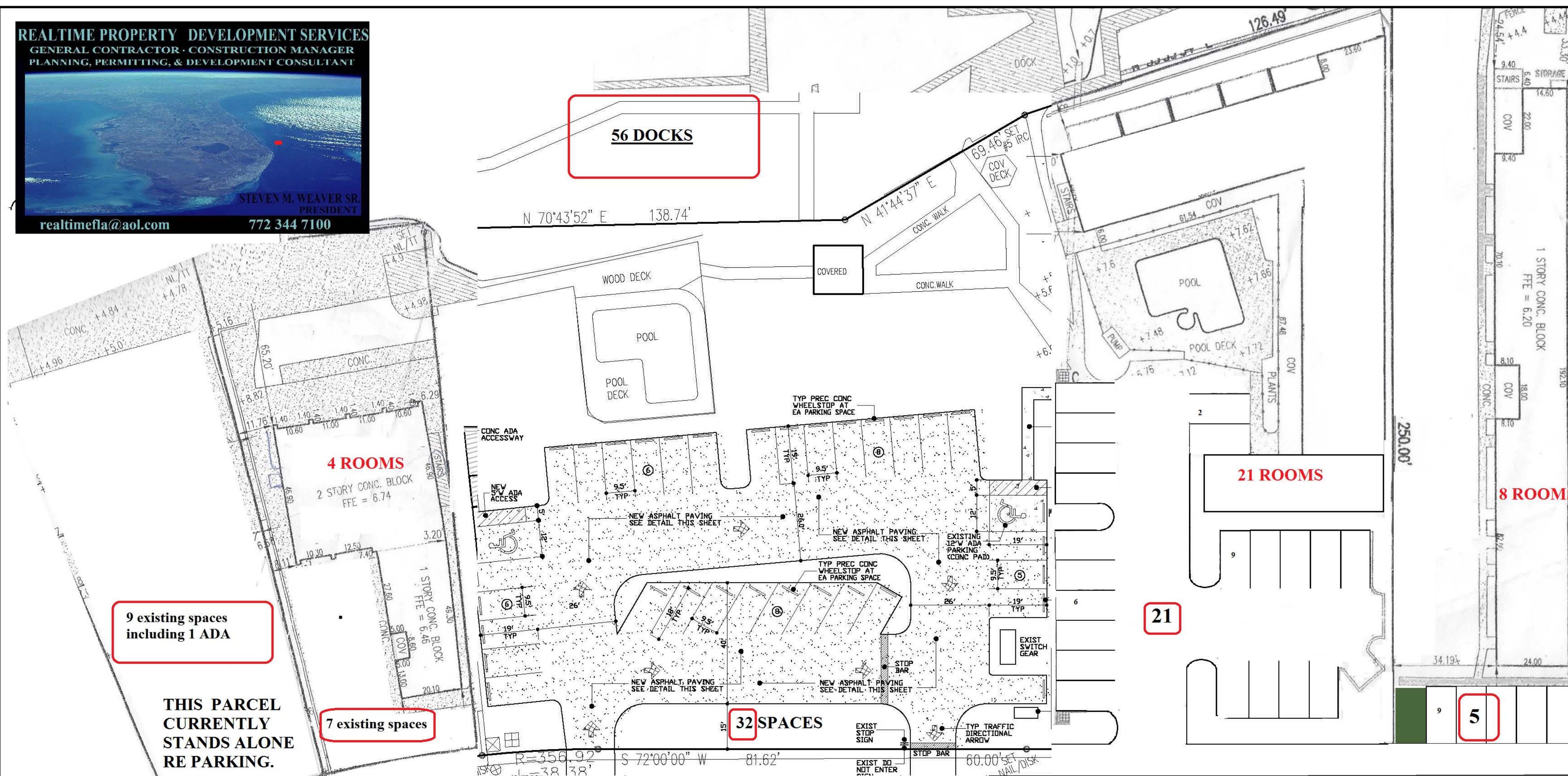
Realtime Property Development Services, Inc.



STEVEN M. WEAVER SR.  
 PRESIDENT

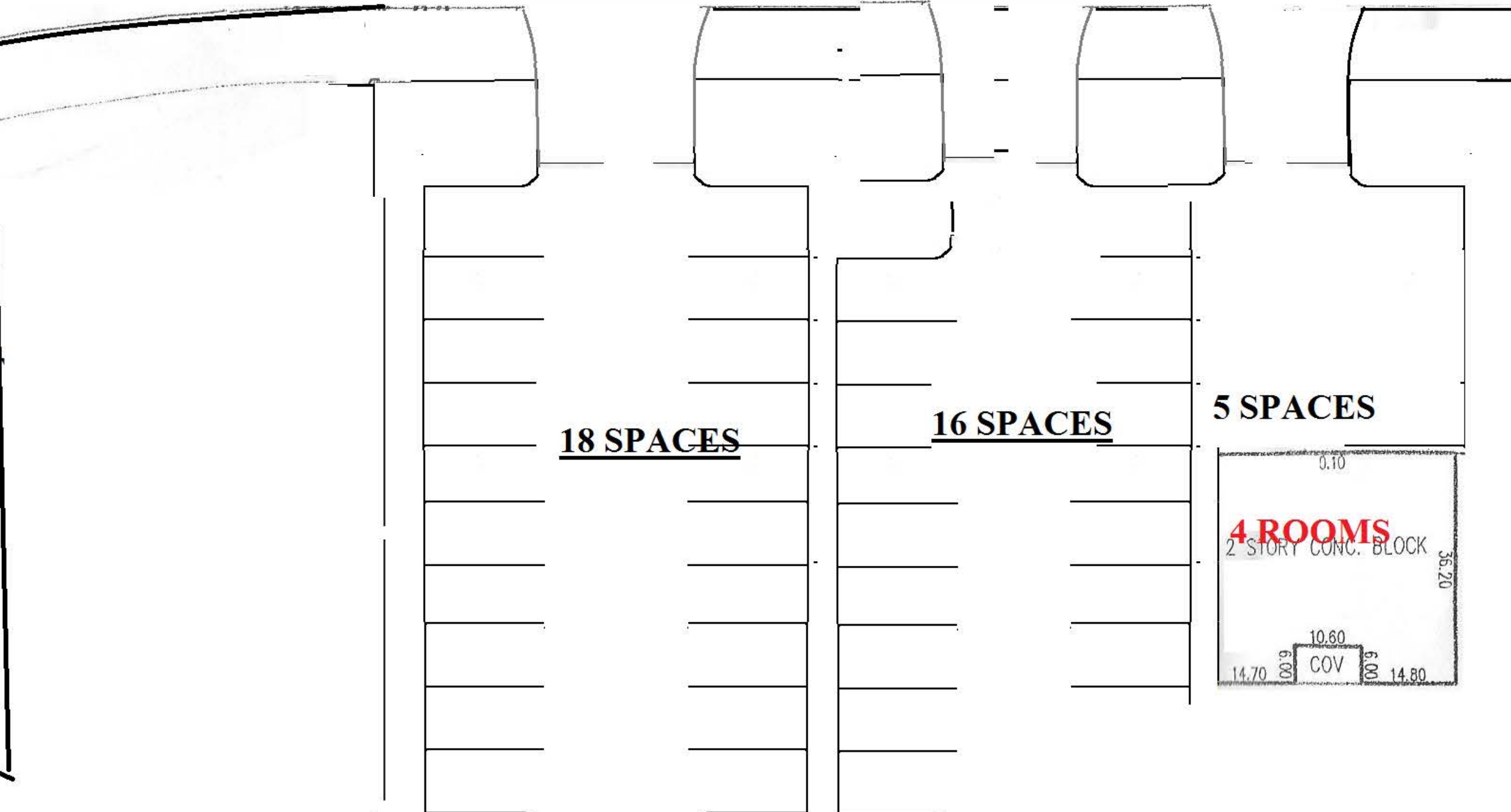
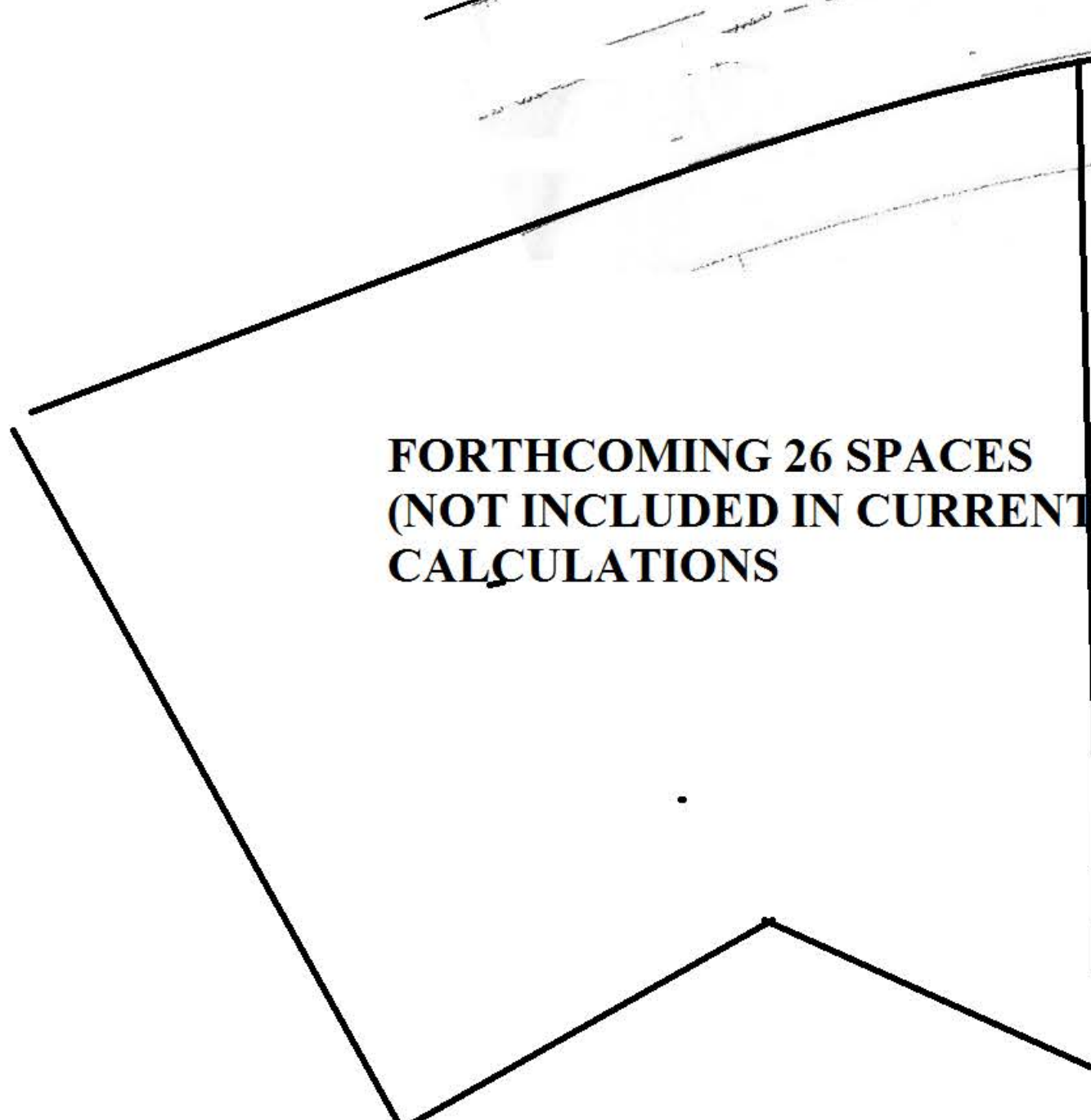
realtimefla@aol.com

772 344 7100



THIS PARCEL CURRENTLY STANDS ALONE RE PARKING.

SEAWAY DRIVE



**DOCKSIDE INN RESTAURANT EXPANSION**  
**PARKING CALCULATIONS:**

<b>37 ROOMS X 1.1 = 41 REQUIRED SPACES</b>	
<b>56 DOCKS REQUIRES 12 SPACES</b>	
<b>1136 RESTAURANT</b>	
<b>TOTAL REQUIRED SPACES</b>	<b>62 SPACES</b>
<b>LESS SMALL BUSINESS EXEMPTION 12 SPACES</b>	
<b>CURRENT NET REQUIRED</b>	<b>50 SPACES</b>
<b>CURRENT PROVIDED PARKING</b>	<b>113 SPACES</b>
<b>CURRENT EXCESS PARKING</b>	<b>63 SPACES</b>

### Property Identification

Site Address: 1136 SEAWAY DR  
 Sec/Town/Range: 01/35S/40E  
 Parcel ID: 2401-501-0307-000-7  
 Jurisdiction: Fort Pierce

Use Type: 2100  
 Account #: 14839  
 Map ID: 24/02N  
 Zoning: Tourist Co

### Ownership

DOCKSIDE VIEW LLC  
 2751 NE 48th ST  
 Lighthouse Point, FL 33064-7113

### Legal Description

FT PIERCE BEACH S/D BLK 19 LOT 7 (OR 3993-2845)

### Current Values

Just/Market Value: \$342,300  
 Assessed Value: \$342,300  
 Exemptions: \$0  
 Taxable Value: \$342,300



**Property taxes are subject to change upon change of ownership.**

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

### Total Areas

Finished/Under Air (SF): 425  
 Gross Sketched Area (SF): 1,953  
 Land Size (acres): 0.26  
 Land Size (SF): 11,341

Taxes for this parcel: [SLC Tax Collector's Office](#)  
 Download TRIM for this parcel: [Download PDF](#)

## Building Design Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	160	170

Sources/links:

### Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Apr 24, 2017	3993 / 2845	0205	WD	At Water Investment Corp	\$5,300,000
Mar 14, 2000	1287 / 0882	XX00	WD	Wagner Emmy	\$290,000
Sep 24, 1996	1038 / 2750	XX01	WD	Greenwald Fred	\$100

### Building Information (1 of 1)

Finished Area: 425 SF

Gross Sketched Area: 1,953 SF

#### Exterior Data

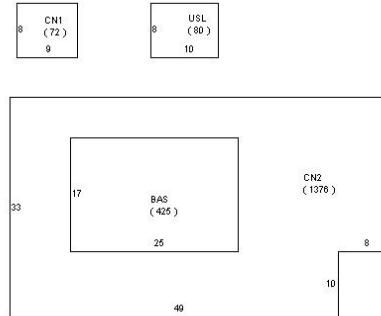
View:	Roof Cover: Cedar Shingl	Roof Structure: Hip
Building Type: REST	Year Built: 2009	Frame:
Grade: Y_C	Effective Year: 2009	Primary Wall: CB Stucco
Story Height: 1 Story	No. Units: 1	Secondary Wall:

Interior Data

Bedrooms: 0  
 Full Baths: 0  
 Half Baths: 0  
 A/C %: 0%

Electric: MAXIMUM  
 Heat Type:  
 Heat Fuel:  
 Heated %: N/A%

Primary Int Wall:  
 Avg Hgt/Floor: 0  
 Primary Floors: Sing Pine  
 Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	425	425	84
CN1	CANOPY	72	0	34
CN2	CANOPY	1376	0	180
USL	Utility Shed Low	80	0	36

Special Features and Yard Items

Type	Qty	Units	Year Blt
SINGLE LIGHT	1	3	2009
ASP1 HIGH	1	4809	2009
CONCRET HIGH	1	1010	2009

Current Year Values


Current Values Breakdown

Building:	\$41,500
Land:	\$300,800
Just/Market:	\$342,300
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$342,300
Exemption(s):	\$0
Taxable:	\$342,300

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2012	0041	5	Fort Pierce Stormwater Charge	\$345.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

### Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2021	\$342,300	\$342,300	\$0	\$342,300
2020	\$342,700	\$342,700	\$0	\$342,700
2019	\$343,100	\$343,100	\$0	\$343,100
2018	\$343,700	\$343,700	\$0	\$343,700

### Permits

Number	Issue Date	Description	Amount	Fee
F01-0001291	Mar 1, 2001	Paving	\$4,000	\$0
F92-000740	Jun 25, 1992	Roof	\$2,300	\$2,300
F97-000969	Sep 11, 1997	Roof	\$2,000	\$2,000
0800000577	May 1, 2008	Demolition	\$0	\$0
0800001033	Jun 26, 2008	Foundation	\$0	\$150
0800000652	Sep 23, 2008	Cleared Lot Permit	\$0	\$150
0800000653	Sep 23, 2008	New Residential Multi Family	\$220,000	\$2,591
BP08-1873	Jan 16, 2009	Alterations/Remodeling	\$2,000	\$100
BP09-252	Mar 11, 2009	Alterations/Remodeling	\$5,000	\$100
BP09-319	Mar 11, 2009	Alterations/Remodeling	\$2,000	\$100
bp09487	Apr 6, 2009	Alterations/Remodeling	\$975	\$50
BP09-1298	Aug 12, 2009	Alterations/Remodeling	\$0	\$20
BP09-0487	Jan 2, 2013	Electric	\$975	\$129
BP16-0997	May 2, 2016	Alterations/Remodeling	\$1,600	\$0
BP16-0448	Dec 15, 2016	Awning/Shutters	\$13,760	\$0
BP18-0265	Feb 6, 2018	Electric	\$250,000	\$0
BP17-3118	Feb 22, 2018	Dock	\$455,667	\$0
BP17-3852	Jan 29, 2018	Plumbing	\$5,157	\$0
BP18-4025	Apr 24, 2019	Electric	\$13,334	\$0

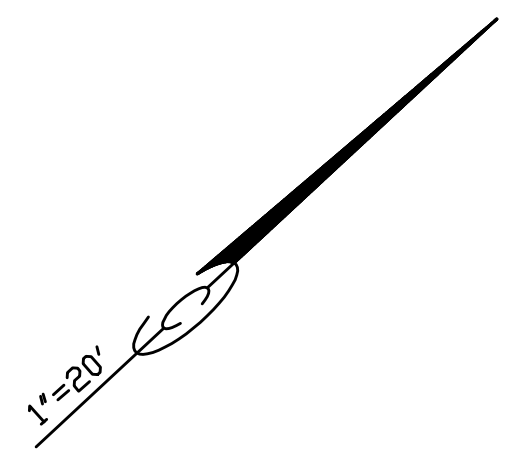
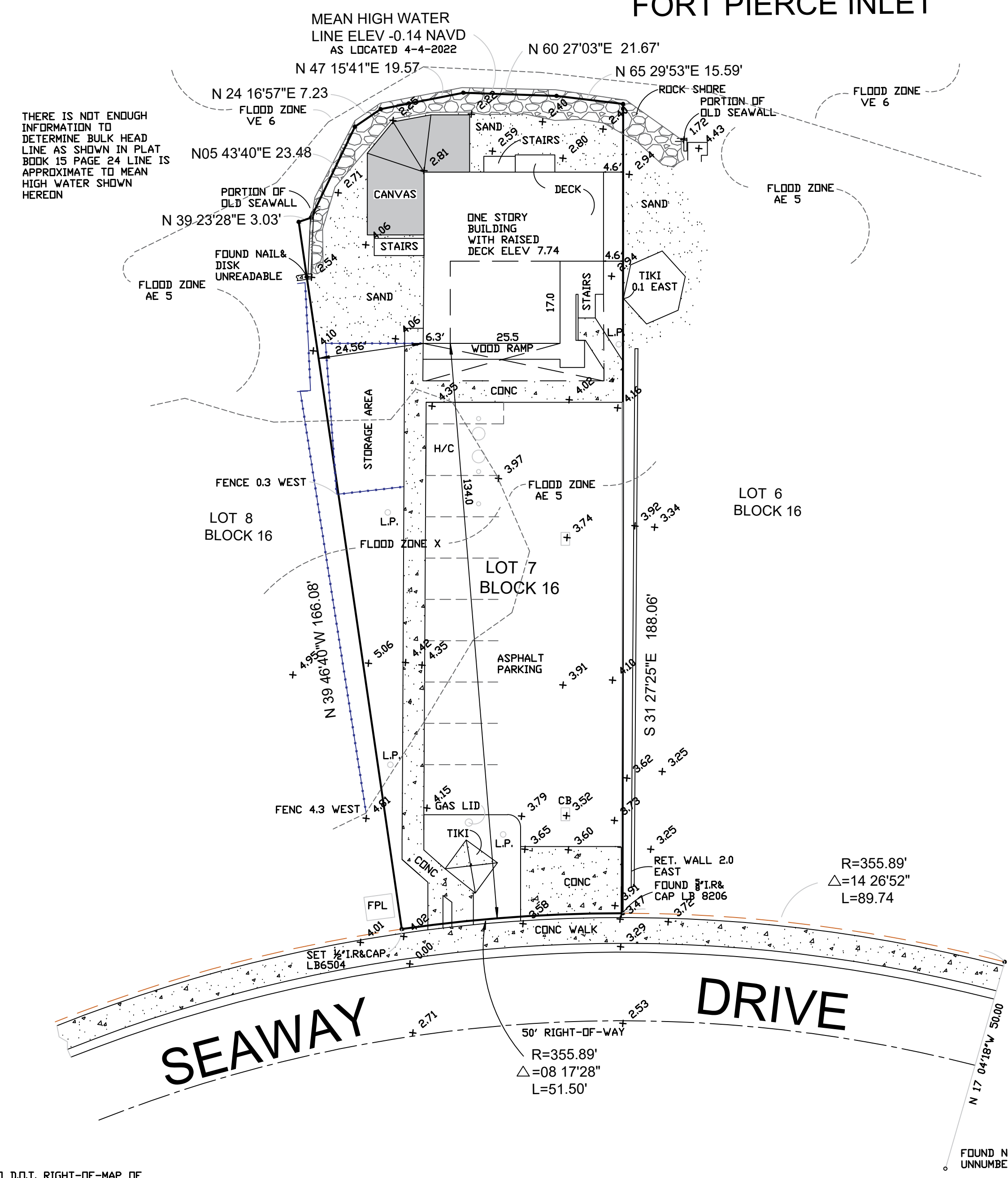
Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

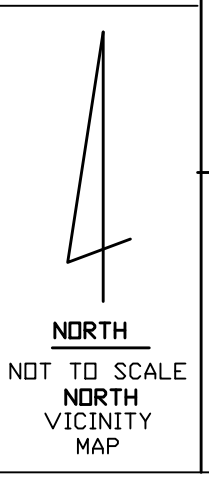
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# FORT PIERCE INLET



- 1) BEARINGS SHOWN HEREIN ARE RELATIVE TO D.O.T. RIGHT-OF-MAP OF SEAWAY DRIVE AND ARE RELATIVE THERETO
- 2) ELEVATIONS SHOWN HEREIN ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 UNLESS OTHERWISE NOTED.
- 3) NO BELOW GROUND IMPROVEMENTS, FOOTERS, FOUNDATIONS OR UTILITIES HAVE BEEN LOCATED OR SHOWN ON THIS SURVEY.

D.R.B. = official record book C.B.S. = concrete block structure P.C.C. = point of compound curve P.C.P. = permanent control point P.D.C. = point of commencement P.O.B. = point of beginning D/E = drainage easement CMP = corrugated metal pipe R.L.S. = registered land surveyor L.B. = licensed business	TRAN = transformer pad F.P.&L. = Florida power and light CM = concrete monument P.R.C. = point of reverse P.I. = point of intersection P.T. = point of tangency * = not field measured W.P.F. = wood privacy fence CHATT = chattahoochee ELEV = elevation	P.B. = plot book TYP = typical R/W = right-of-way Δ = central angle @ = bearing basis line ASPH = asphalt MH = manhole U/E = utility easement CLF = chain link fence P.R.M. = permanent reference monument	P = plot ⚡ = power pole M = MEASURED I.P. = IRON PIPE R.P. = radius point L = ARC LENGTH CL = centerline ALUM = aluminum P.C. = point of curvature	P.G. = page I.R. = iron rod R = radius D = deed D/S = offset C.M.C. = concrete ESMT. = easement CALC. = calculated P.C. = point of curvature
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**Renner Burgess**  
**LAND SURVEYING**  
 801 S.E. 6th Ave., Suite 203 Phone 561-243-4624  
 Delray Beach, FL 33483 Fax 243-4869

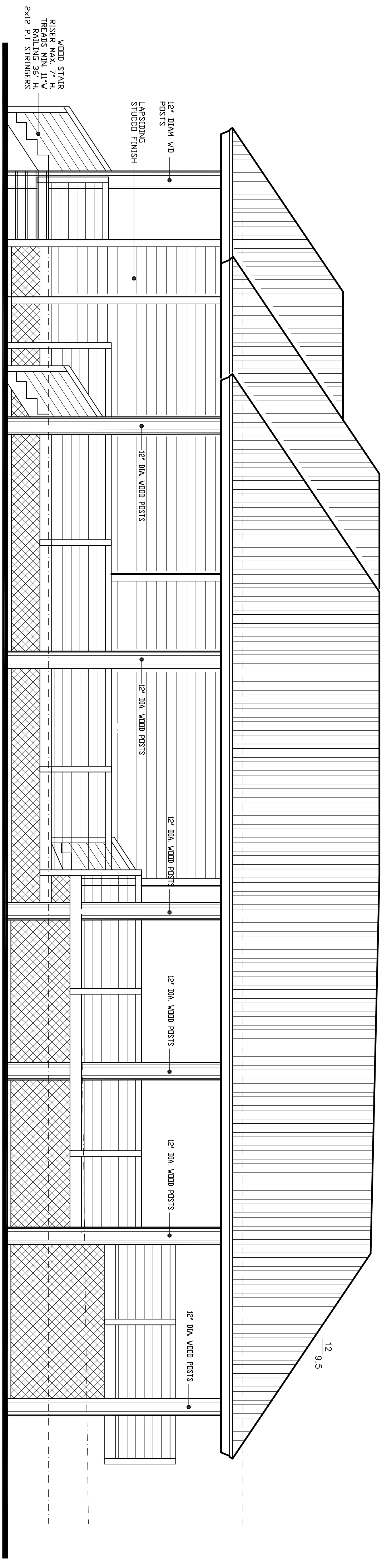
CERTIFIED TO:  
 DOCKSIDE VIEW, LLC  
 REALTIME PROPERTY DEVELOPMENT SERVICES  
 CITY OF FORT PIERCE

AUTHORIZATION NUMBER LB6504  
 I HEREBY CERTIFY THAT THE SKETCH OF BOUNDARY SURVEY SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER SJ-17-050-052, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

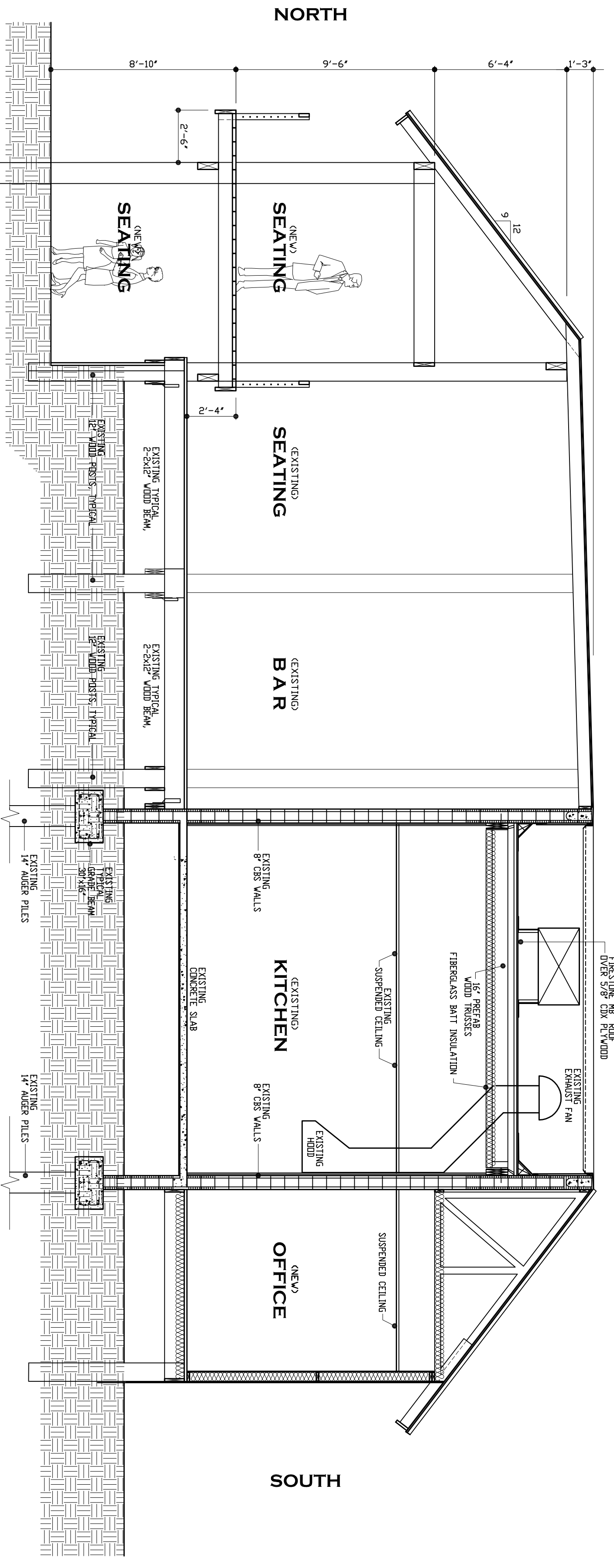
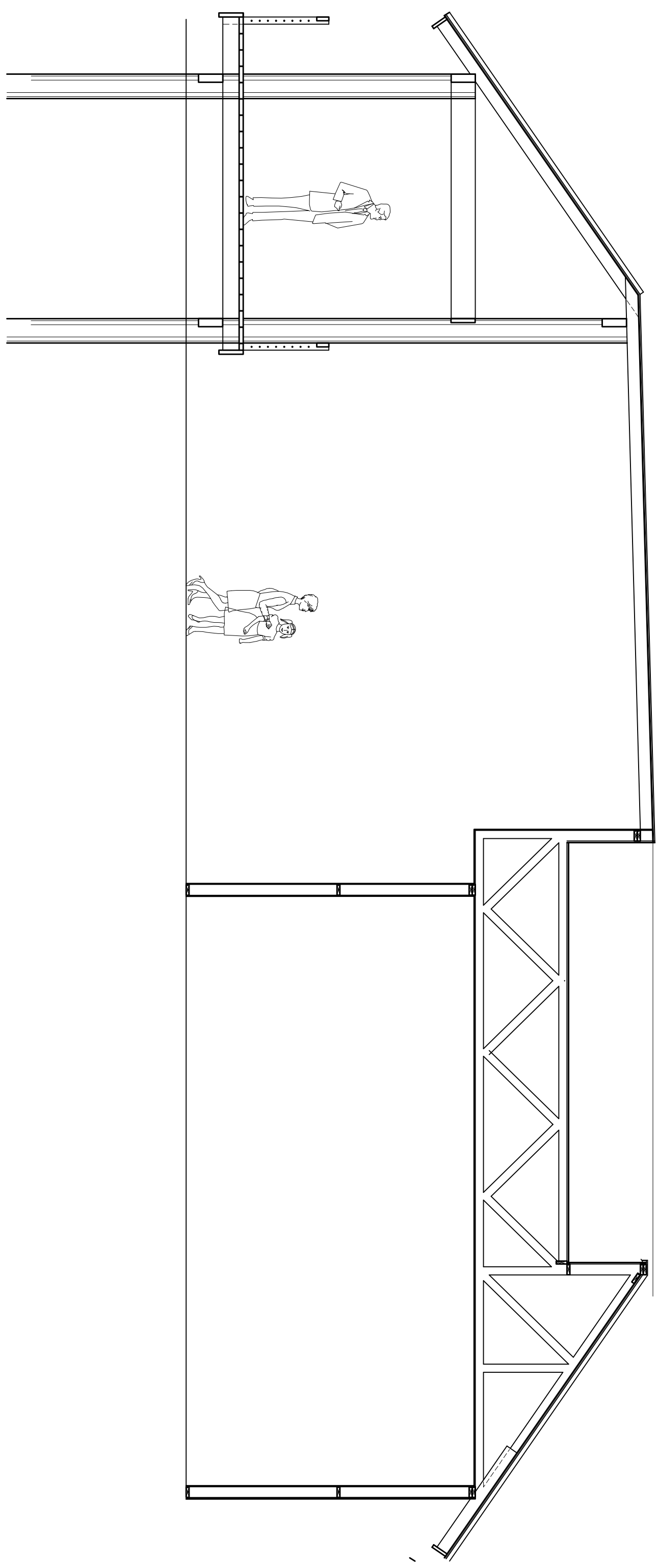
FLOOD ZONE X, AE 5 & VE 6	NOT VALID UNLESS SEALED WITH EMBOSSED SURVEYOR'S SEAL
MAP No 12111C0183K	
MAP DATE 2-19-2020	
DATE 4-6-2022	
JOB NO 3-22-034	

HARRY A BURGESS PLS 5089

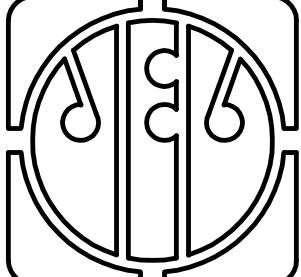




(EAST)  
SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



BUILDING CROSS-SECTION  
SCALE: 1/4" = 1'-0"



**JAMES E. GILGENBACH & PLANNING**  
 SUITE 107 NEWPORT COMMERCE CENTER  
 1239 E NEWPORT CENTER DR DEERFIELD BEACH  
 (954) 426 - 1652 FLORIDA 33442

ARCHITECT  
 ARE-7457

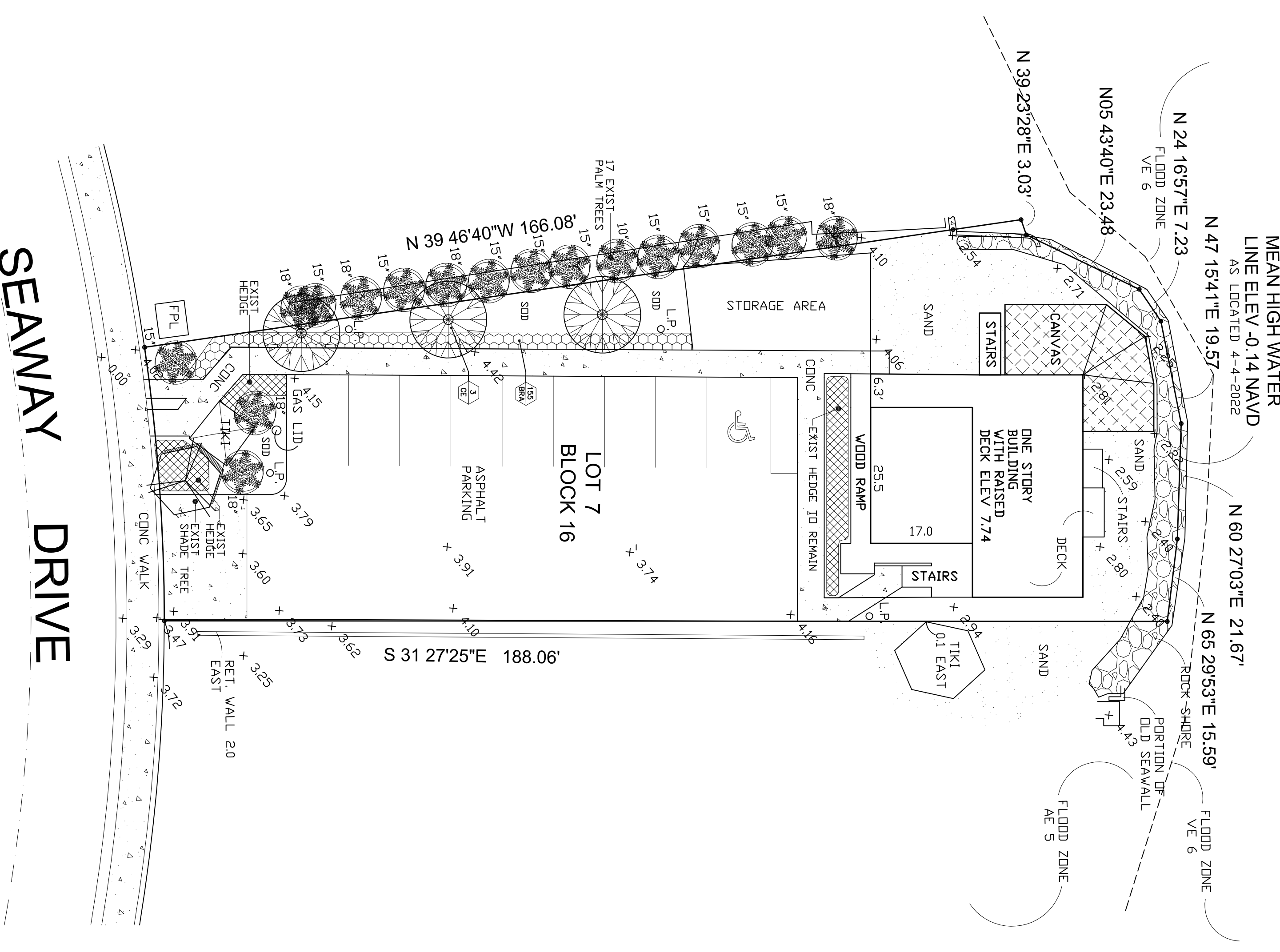
REVISIONS:

1. DRAWINGS ARE NOT TO BE SCALE WITH THE DIMENSIONS. SCALE DIMENSIONS ONLY. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

ADDITION / RENOVATION TO THE  
**ON THE EDGE RESTAURANT**  
 LOT 7, BLK 19, REVISED PLAT OF FT PIERCE, 1136 SEAWAY DRIVE  
 FORT PIERCE, ST LUCIE COUNTY, FLORIDA

DATE: 16 MAY '22  
 PROJECT NO: 21 - A28  
 SHEET: **A5**  
 of 6

# FORT PIERCE INLET

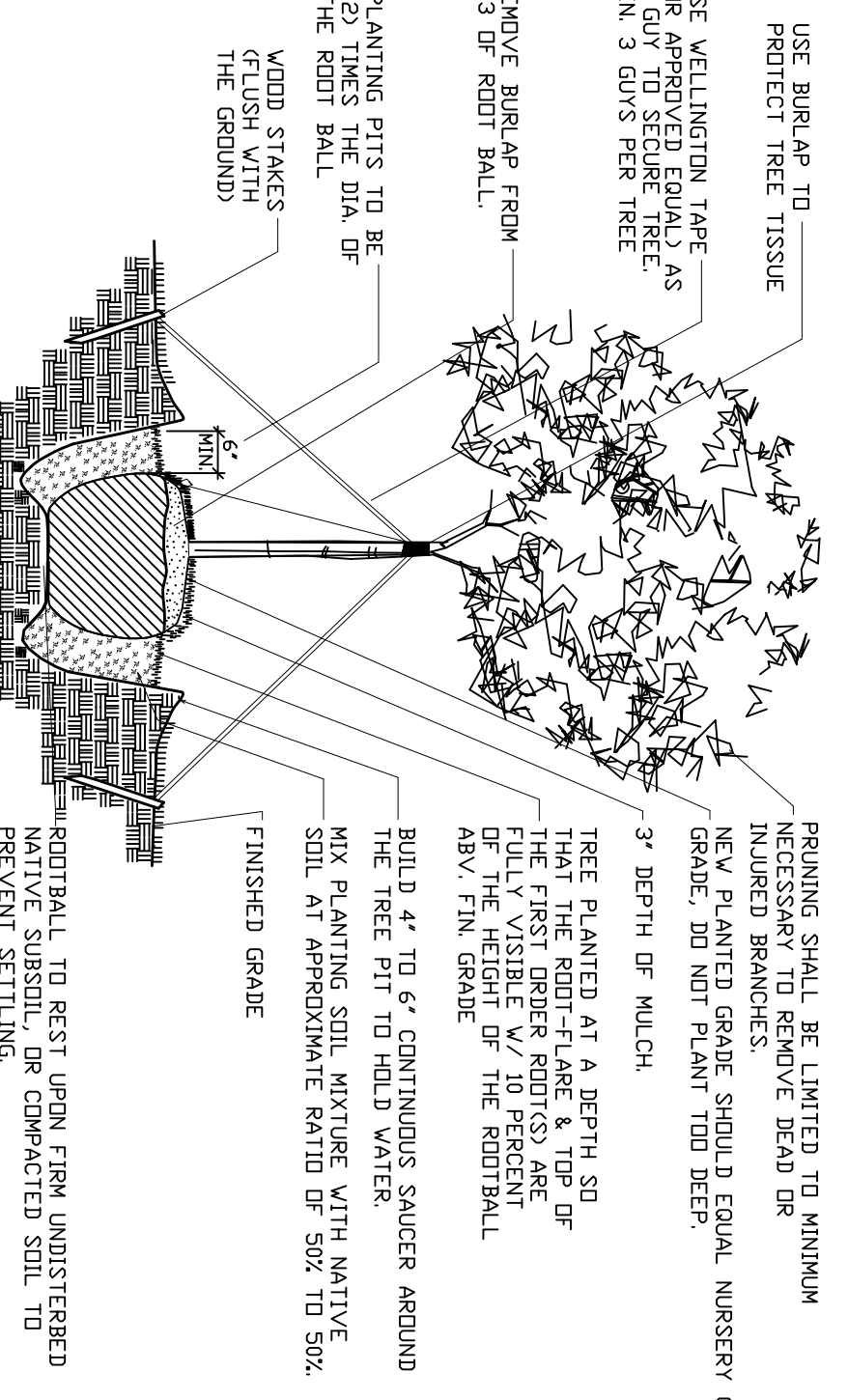


## PLANT LIST:

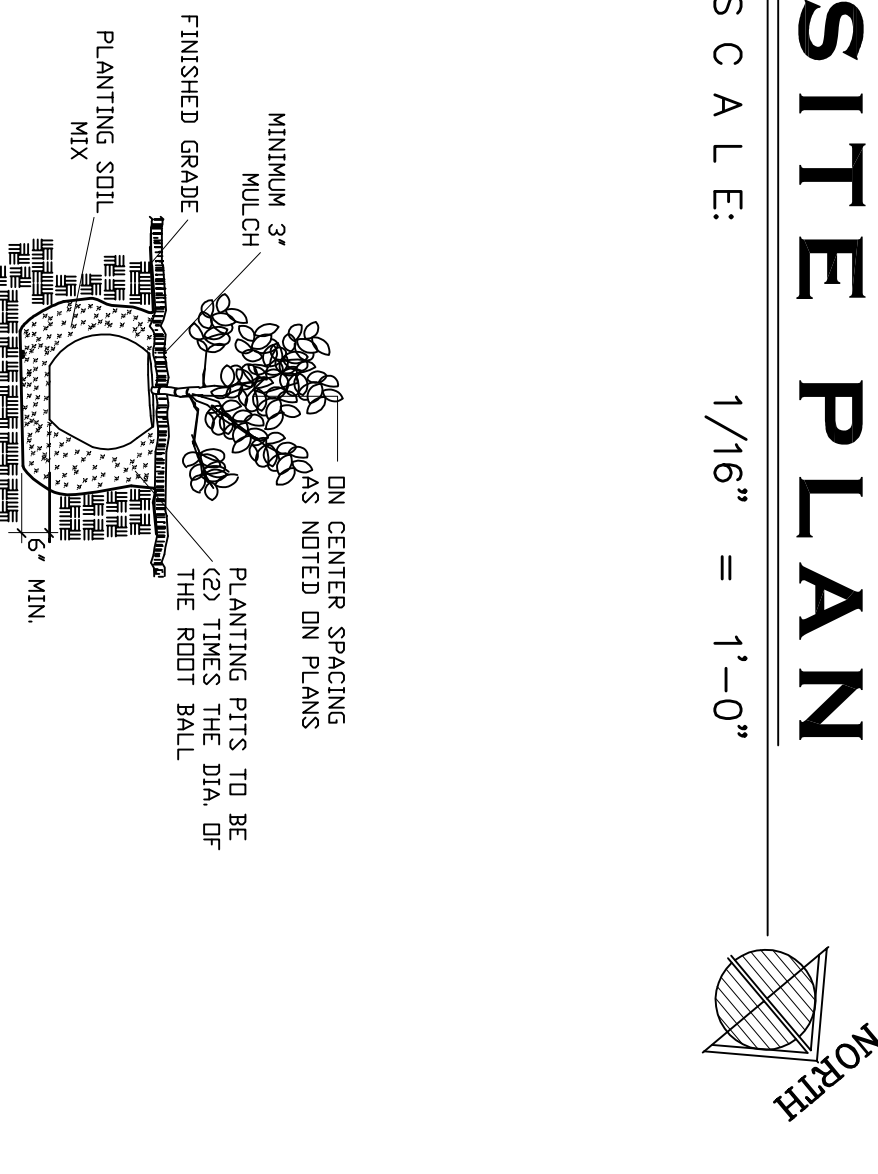
Symbol	Item	Common Name	Specifications	Drought Tolerance	Native	Quantity
CE	Conocarpus erectus 'sericeus'	Silver Buttonwood	MIN 2' DIA., 10' HT. X 3" DB, 50% MIN 2 1/2" B.A.H.	HIGH	YES	3
BR4	Brassia orbicollata 'variegata'	Variegated Dwarf Schefflera	3 Gals., 24" HT. X 18" SP. 24" D.C. MAINTAIN AT MAX 24" HT.	MEDIUM	YES	AS NEEDED
SDD	Stenotaphrum secundatum	St. Augustine Florator	EXISTING			

## PLANTING NOTES:

- All plant material furnished by the contractor shall be Florida #1 or better as set forth by the Florida Department of Agriculture, grades and standards for nursery plants, part 1 & 8 current editions.
- All plant material must meet or exceed the minimum size requirements as specified on the plant list at the time of final inspection.
- Quantities indicated on the plant list are for convenience. The contractor shall verify quantities and make adjustments if any discrepancies occur, the planting plan takes precedence over the plant list.
- All substitutions must be approved by the Landscape Architect and the City of Pierceside Beach prior to installation.
- Trees and palms shall be planted so that heads will be clear of all structures at mature spread.
- Planting soil shall be at least 80% mulch or compost and 20% sand, delivered to the site in a clean, loose and friable condition, and having good drainage characteristics.
- All plant material shall be watered in thoroughly at the time of planting.
- Fertilizer for trees and shrubs shall be a general purpose 50% water soluble fertilizer. The fertilizer shall be applied to the soil in a ring around the plant, not on the trunk. The fertilizer shall be applied in a ring around the plant, not on the trunk. The fertilizer shall be applied in a ring around the plant, not on the trunk.
- All trees and palms to be staked and guyed as shown in planting details.
- All planting beds and tree saucers shall be mulched with a standard size shredded type mulch, (good/press mulch is not to be used), to a minimum depth of 3" and watered down to prevent wind displacement. The use of other types of mulch is required upon special request.
- Soil shall be St. Augustine Florator, unless otherwise specified, and shall be free of weeds and in a healthy growing condition. Sod and staggled joints are a must. Finished grade with closely fitted, staggered joints.
- Any excess soil, stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses.
- Contractor shall be responsible for locating all underground utilities and shall be responsible for repairing any damage.
- All landscaped areas shall receive 100% coverage and 50% watering from an automatic, underground irrigation system. Where an irrigation system already exists, the contractor shall be responsible for coordinating all necessary adjustments with the irrigation contractor or property maintenance personnel. A moisture sensing controller other than a rain switch is required.
- The contractor shall provide a written guarantee to the owner for all plant materials and workmanship for a period of not less than 1 year. The contractor shall be responsible for replacing any plants which die within the guarantee period, replace any plants which have died, with healthy plants of the same species and size without additional cost to the owner, providing plants have been properly maintained by the owner after final acceptance. Any plant materials damaged by storms, lightning or other acts of God are not included in this replacement agreement.



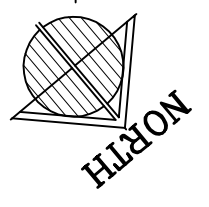
## TREE PLANTING DETAIL



## SHRUB PLANTING DETAIL

## LANDSCAPE SITE PLAN

SCALE: 1/16" = 1'-0"



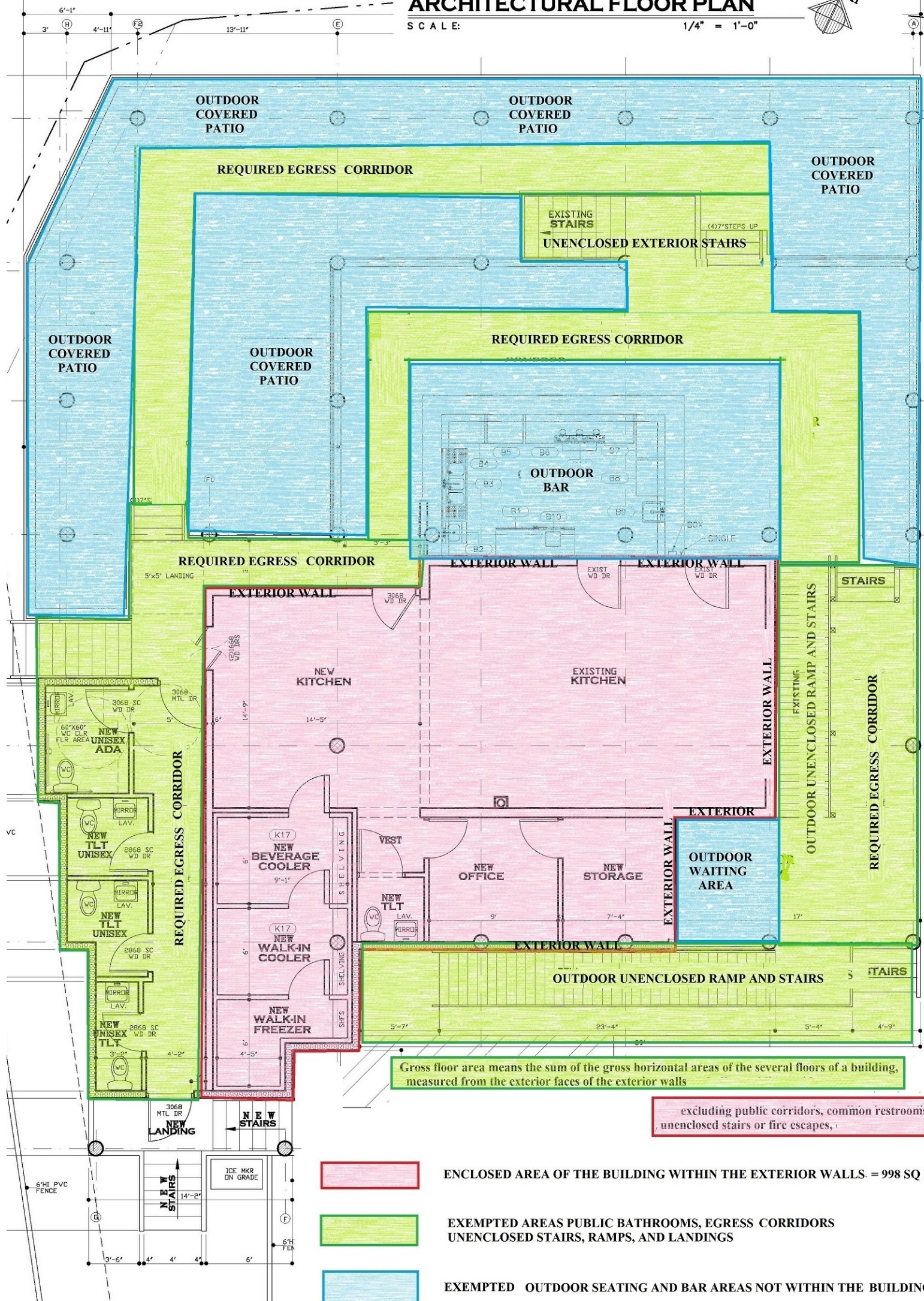
**LEGAL DESCRIPTION:**  
 LOT 7 IN BLOCK 19 OF THE REVISED PLAT OF FT. PIERCE BEACH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC ST. LUCIE COUNTY, FLORIDA.

**PROPERTY ADDRESS:**  
 1136 SEAWAY DRIVE, FORT PIERCE, FLORIDA

<p>DATE: 26 FEB '22                  PROJECT NO: 21 - A28                  SHEET: A1                  of X</p>	<p><b>ADDITION / RENOVATION TO THE ON THE EDGE RESTAURANT</b></p> <p>LOT 7, BLK 19, REVISED PLAT OF FT PIERCE, ST LUCIE COUNTY, FLORIDA</p>	<p>1. DRAWINGS ARE NOT TO BE SCALE WITH THE EXISTING CONDITIONS UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>2. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>3. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>4. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>5. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.</p>	<p>ARCHITECT                  JAMES E. GILGENBACH &amp; PLANNING                  9009 ONE PUTT PLACE                  (561) 809 - 8491</p>	
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# ARCHITECTURAL FLOOR PLAN

SCALE: 1/4" = 1'-0"



Gross floor area means the sum of the gross horizontal areas of the several floors of a building, measured from the exterior faces of the exterior walls

excluding public corridors, common restrooms, unenclosed stairs or fire escapes,

- ENCLOSED AREA OF THE BUILDING WITHIN THE EXTERIOR WALLS = 998 SQ FT
- EXEMPTED AREAS PUBLIC BATHROOMS, EGRESS CORRIDORS UNENCLOSED STAIRS, RAMPS, AND LANDINGS
- EXEMPTED OUTDOOR SEATING AND BAR AREAS NOT WITHIN THE BUILDING

**JAMES E. GILGENBACH & PLANNING**  
 ARCHITECT  
 9009 ONE PUTT PLACE  
 (561) 809 - 8491  
 PORT ST LUCIE  
 FLORIDA 34986

ARCHITECT  
 AR-7457

REVISIONS:

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.  
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.  
 3. CONSTRUCTION SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.  
 4. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL: A. ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR; B. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

**ON THE EDGE RESTAURANT**  
 ADDITION / RENOVATION TO THE  
 LOT 7, BLK 19, REVISED PLAT OF FT PIERCE, ST LUCIE COUNTY, FLORIDA  
 1136 SEAWAY DRIVE  
 ST LUCIE COUNTY, FLORIDA

DATE: 10 DEC '21  
 PROJECT NO: 21 - T28  
 SHEET: of X **A2**

**1160 SEAWAY  
EAST OF SUBJECT PROPERTY**

**BLUE ROOF**

# DESIGN REFERENCE 2

## BLUE ROOF, OPEN AIR



**DESIGN REFERENCE 3  
WHITE MAIN COLOR,  
STANDING SEAM ROOF,  
LAP SIDING LOOK**





**1136 SEAWAY REFERENCE 4 EXPOSED BEAM CEILING**

**1136 SEAWAY  
EXISTING SIGN  
&  
LANDSCAPING**



**1141 SEAWAY  
SOUTH OF SUBJECT PROPERTY**

**1161**

**1151**

**1143**





**1120 SEAWAY  
WEST OF SUBJECT PROPERTY**



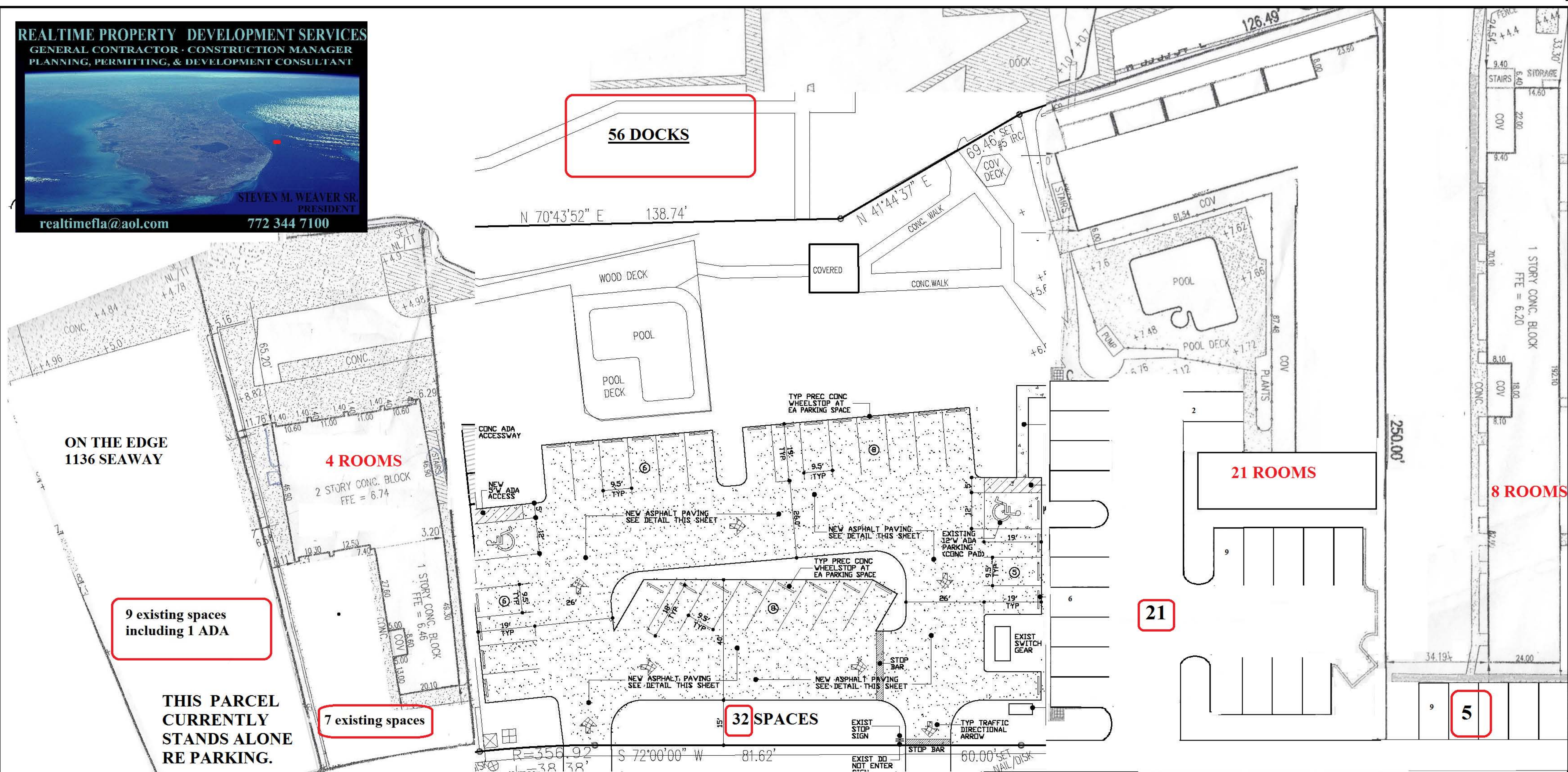
		REQUIRED ITEMS	STATUS	DETAILS
	LINK	<a href="https://cityoffortpierce.com/DocumentCenter/View/3278/Design-Review-REVISED-82421?bidId=">https://cityoffortpierce.com/DocumentCenter/View/3278/Design-Review-REVISED-82421?bidId=</a>	1 Original + 2 Copies + ELECTRONIC COPY	
	DOCUMENT	Design Review Application Checklist (City Code of Ordinances 125-314)		
		SUBMITTAL FOR ADMINISTRATIVE APPROVAL		
	SURVEY	a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.	DONE	send to printer for three copies and disc
	SITE ANALYSIS	b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.	DONE	send to printer for three copies and disc
	NARRATIVE	c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.	DONE	send to printer for three copies and disc
		d. index of neighboring structures		
	PHOTOS OF ADJACENT PROPERTIES	d. Context photographs of neighboring uses and architectural styles.	DONE	at printer for disc
		e. index of design influence photos		
	REFERENCE PHOTOS	e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.	DONE	
	SITE PLAN	g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.	DONE	
	LANDSCAPE PLAN	h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.	send to printer for three copies and disc	
	SIGN	i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.	DONE	label & resend to printer for disc
	RENDERING	In progress	CARSON CHEN IN PROGRESS	
	EXTERIOR ELEVATIONS	j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.	pick up from Jim/send to printer for disc	
	ADDED ITEMS			
		PARKING CALCULATION,	send to printer for three copies and disc	
	GROSS FLOOR	GROSS FLOOR AREA EXHIBIT	send to printer for three copies and disc	



STEVEN M. WEAVER SR.  
 PRESIDENT

realtimfla@aol.com

772 344 7100



ON THE EDGE  
 1136 SEAWAY

4 ROOMS  
 2 STORY CONC. BLOCK  
 FFE = 6.74

9 existing spaces  
 including 1 ADA

THIS PARCEL  
 CURRENTLY  
 STANDS ALONE  
 RE PARKING.

7 existing spaces

32 SPACES

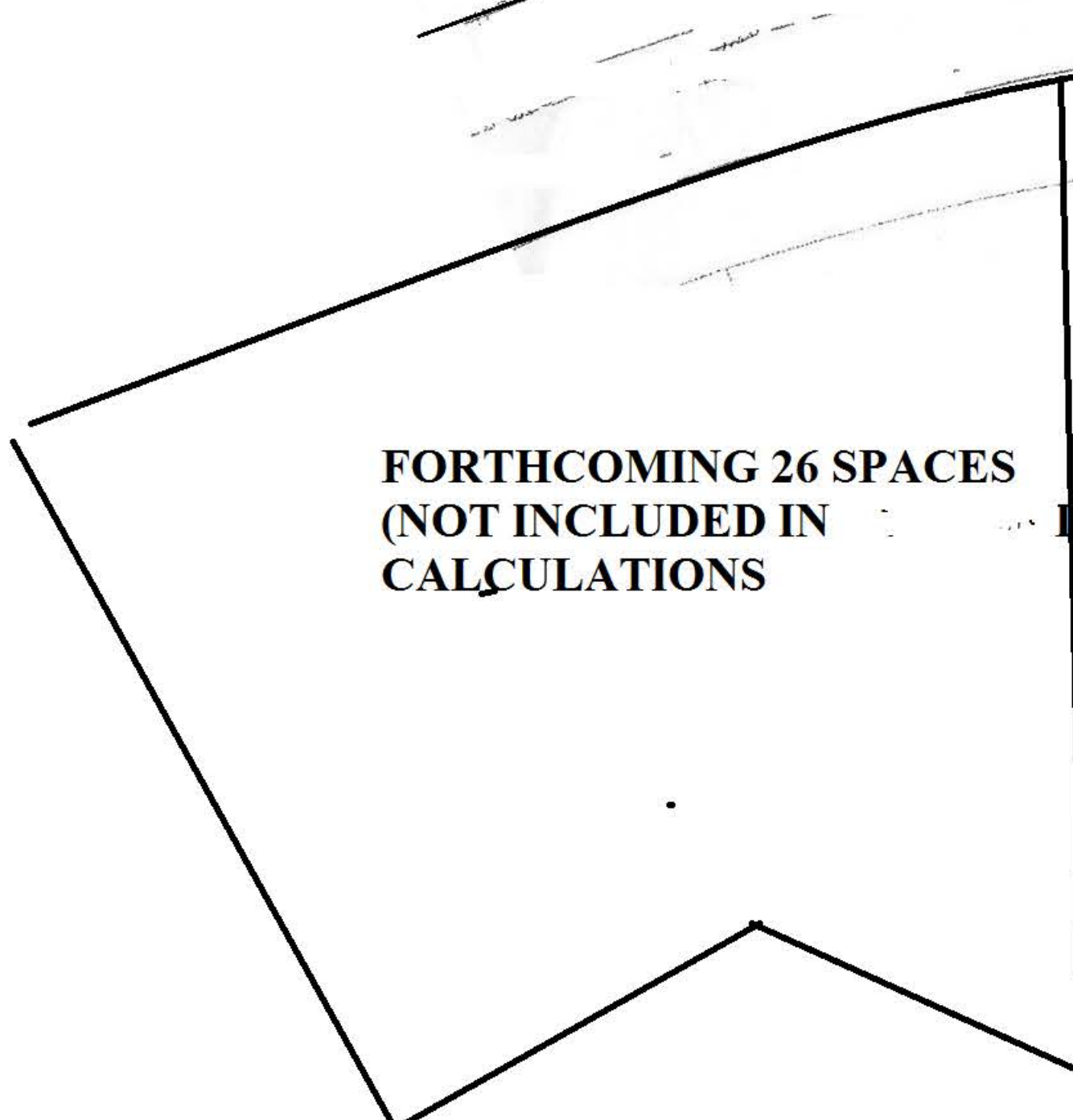
21 ROOMS

8 ROOMS

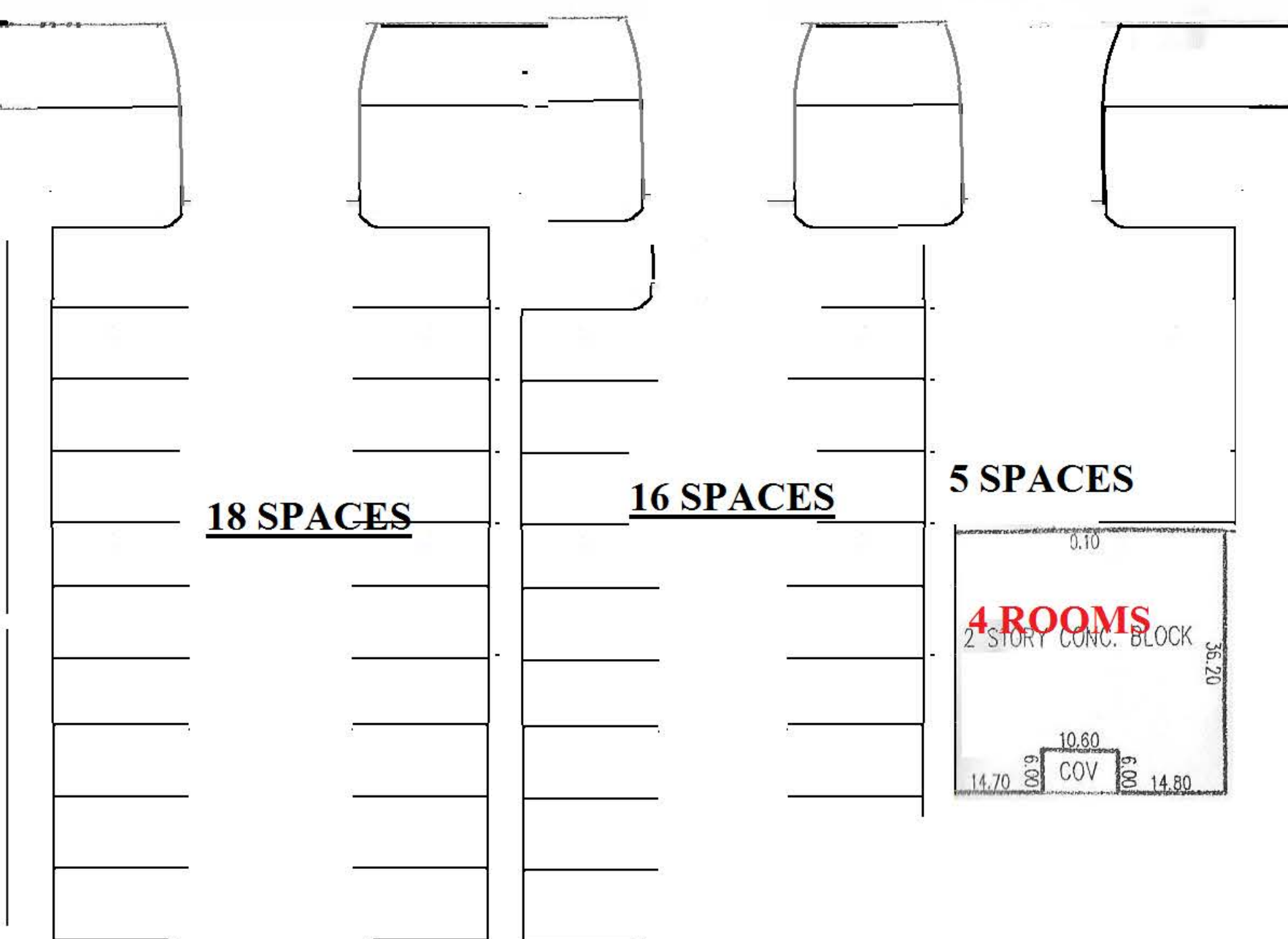
21

5

SEAWAY DRIVE



FORTHCOMING 26 SPACES  
 (NOT INCLUDED IN  
 CALCULATIONS)



18 SPACES

16 SPACES

5 SPACES

4 ROOMS  
 2 STORY CONC. BLOCK

**DOCKSIDE INN RESTAURANT EXPANSION  
 PARKING CALCULATIONS:**

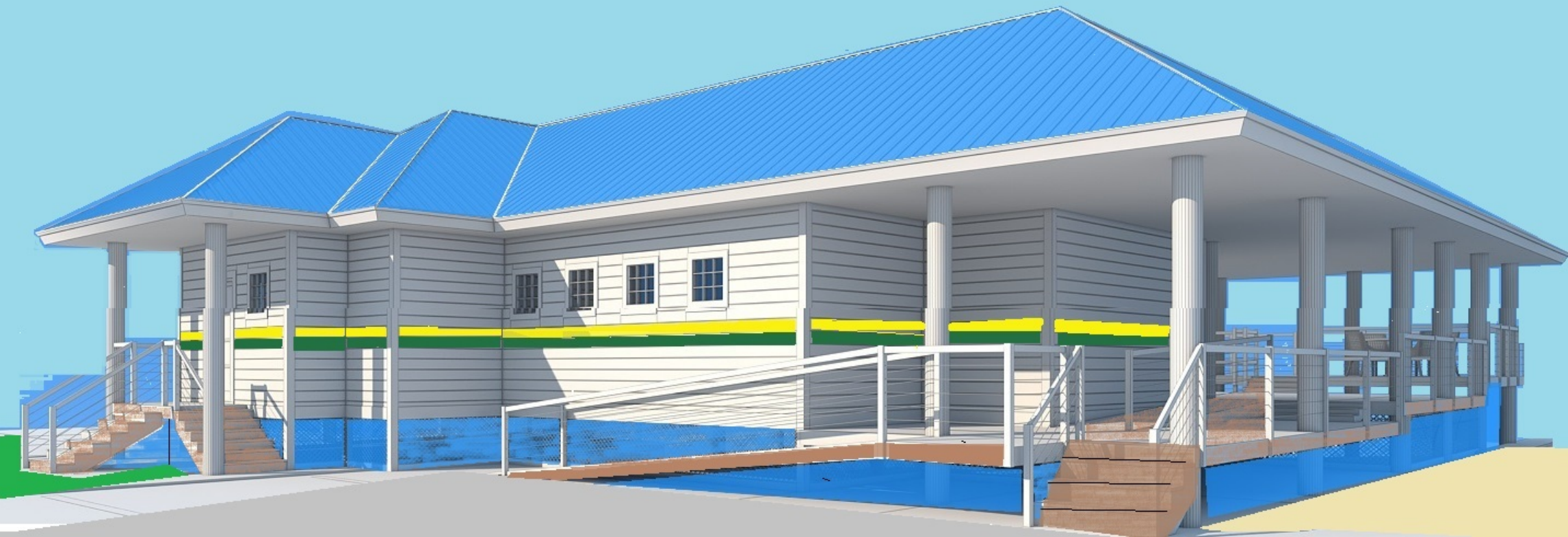
<b>37 ROOMS X 1.1 = 41 REQUIRED SPACES</b>	
<b>56 DOCKS REQUIRES 12 SPACES</b>	
<b>1136 RESTAURANT</b>	
Area within walls per GFA definition:	= 1771 sq ft
Less: Bathrooms, stairs, corridors, low ceiling coolers =	882 sq ft
Net GFA = 889 sqft @ 1 space/100 sqft parking ratio =	9 SPACES
<b>TOTAL REQUIRED SPACES</b>	<b>62 SPACES</b>
<b>LESS SMALL BUSINESS EXEMPTION 12 SPACES</b>	
<b>CALCULATED NET REQUIRED</b>	<b>50 SPACES</b>
<b>CURRENT PROVIDED PARKING</b>	<b>113 SPACES</b>
<b>CALCULATED EXCESS PARKING</b>	<b>63 SPACES</b>

Supplemental Calculation: Deck area is outside of walls/ outside GFA definition- not part of parking calculation = 1974 sq ft  
 Less Required Clear Paths / Corridors = 560 sq ft  
**NET GFA AREA of Decks = 1414 sq feet (should not be part of parking calculation)**

**DESIGN REFERENCE 1**  
**BLUE ROOF**  
**OPENAIR**  
**WOOD DECK**



# 1136 SEAWAY PRELIMINARY RENDERING



Prepared by and return to:

David R. Roy, Esq.  
Attorney at Law  
David R. Roy, P.A.  
4209 N. Federal Highway  
Pompano Beach, FL 33064  
954-784-2961  
File Number: 17-DR-1048

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 1st day of May, 2017 between At-Water Investment Corp., a Florida corporation whose post office address is 1160 Seaway Drive, Fort Pierce, FL 34949 of the County of Saint Lucie, State of Florida, grantor\*, and Dockside View, LLC, a Florida limited liability company whose post office address is 2751 NE 48th Street, Lighthouse Point, FL 33064 of the County of Broward, State of Florida, grantee\*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Saint Lucie County, Florida, to-wit:

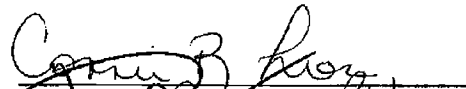
**SEE EXHIBIT "A" ATTACHED HERETO FOR THE LEGAL DESCRIPTIONS AND PARCEL IDENTIFICATION NUMBERS OF THE REAL PROPERTY BEING CONVEYED HEREIN**

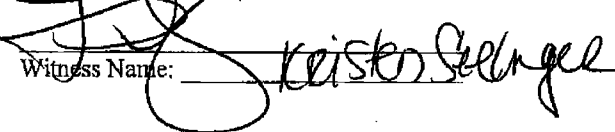
and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

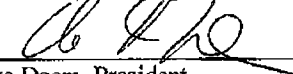
**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

  
Witness Name: Connie R. Los

  
Witness Name: Kristin Seelinger

At-Water Investment Corp., a Florida corporation

By:   
Clive Daem, President

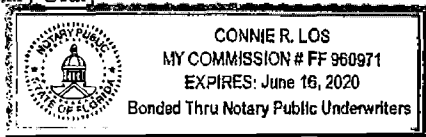
(Corporate Seal)

Warranty Deed continued;  
Page 2  
File No. 17-DR-1048

State of Florida  
County of Saint Lucie

The foregoing instrument was acknowledged before me this 24 day of April, 2017 by Clive Daem, President of At-Water Investment Corp., a Florida corporation, on behalf of the corporation. He  is personally known to me or  has produced a driver's license as identification.

[Notary Seal]



Connie R Los

Notary Public

Printed Name: Connie R Los

My Commission Expires: June 16, 2020

Warranty Deed continued;  
Page 3 of 4 Pages  
File No. 17-DR-1048

**EXHIBIT "A"**  
**Legal Description**

**Parcel 1:**

Lot 35, Block 16, Revised Map Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida.

PIN: 2401-501-0286-000-3

**Parcel 2:**

Lots 4 and 5, Block 19, Revised Map Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida.

PIN: 2401-501-0304-000-6

**Parcel 3:**

Lot 3, Block 18, Revised Map Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida.

PIN: 2401-501-0290-000-4

**Parcel 4:**

Lot 4, Block 18, Revised Map Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida.

PIN: 2401-501-0291-000-1

**Parcel 5:**

Lot 6, Block 19, Revised Map Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida.

PIN: 2401-501-0306-000-0

**Parcel 6:**

Lot 5, Block 18, Revised Map Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida.

PIN: 2401-501-0292-000-8

**Parcel 7:**

Lot 3, Block 19, Revised Map Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida.

PIN: 2401-501-0303-000-9

Warranty Deed continued;  
Page 4 of 4 Pages  
File No. 17-DR-1048

**Parcel 8:**

Lot 7, Block 19, Revised Map Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida.

PIN: 2401-501-0307-000-7

**Parcel 9:**

Lots 1 and 2, Block 19, Revised Map Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida, less and except that portion of Lots 1 and 2, Block 19, Revised Map of Fort Pierce Beach, according to the map or plat thereof as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida, lying seaward of the existing bulkhead contiguous thereto, as conveyed to the Board of Trustees of the Internal Improvement Trust Fund, by Quit Claim Deed recorded in O. R. Book 685, Page 2352, Public Records of St. Lucie county, Florida.

PIN: 2401-501-0302-000-2