



TO: Technical Review Committee

FROM: Planning Department

RE: Technical Review Project: #22-07000021
(Minor Amendment to Site Plan)

MEETING DATE : October 20, 2022

Minor Amendment to Site Plan
Women's Care Center – 2410-709-0017-0003 – 911 Delaware Avenue

The above referenced project is being submitted for your review and comments. The applicant is requesting a Minor Amendment to the site plan to add a 3,000 square foot building and six (6) parking spaces to serve as a medical facility for women's care. The subject property is located at 911 Delaware Avenue.

Please send all comments to planning@cityoffortpierce.com and/or through interoffice mail to the Planning Department.

If you have comments, please respond prior to Tuesday, October 18, 2022.

If you have any questions, please contact the Planning Department at 772-467-3737.

Thank You



DEVELOPMENT REVIEW

Property Information

Property address or Location 510 S. 10th Street, Fort Pierce FL 34950
 Parcel ID #(s) 2410-709-0017-0003
 Project description Site plan modification to add 3000 SF building and 6 parking spaces

Application Type

- Site Plan Conditional Use w/New Construction Conceptual Development Plan
 Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: 24,570 Site Acreage: 0.564
Residential: Proposed Units: 0 Proposed Sq. Ft.: 0 Site Acreage: 0

Women's Care Center Inc

Property Owner(s)

360 N Notre Dame AVE

Street Address

South Bend IN 46617

City State Zip

574-968-7493

Phone Number

lindaosborn.wcc@gmail.com

Email Address

Abraham Chabab PE

Applicant/Representative, Title, Company

1391 NW St Lucie West Blvd#411

Street Address

Port St. Lucie FL 34986

City State Zip

772-475-6630

Phone Number

agchabab1@msn.com

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

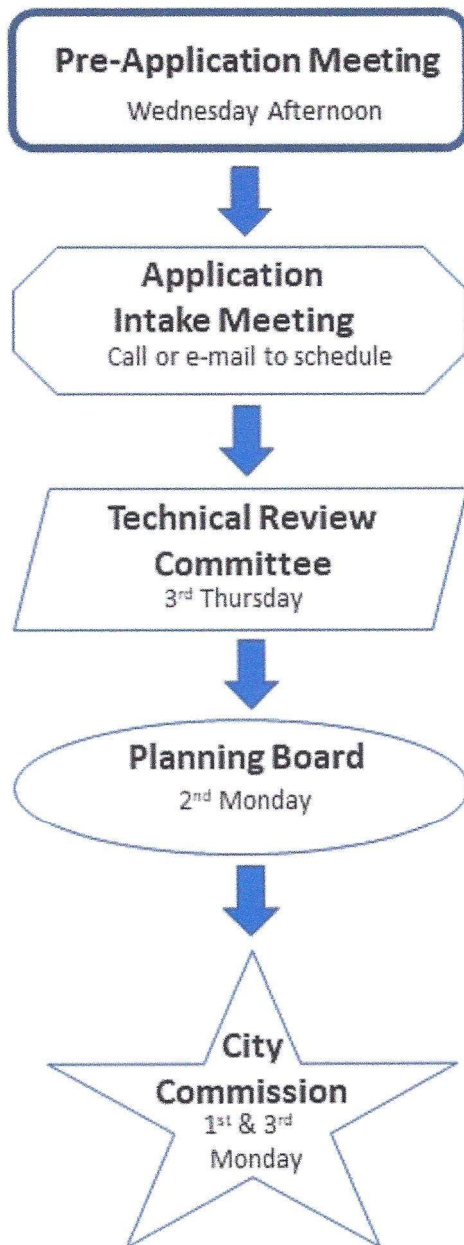
CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev1>

General Information

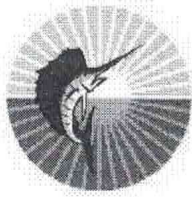
- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic ~~Impact Report~~ Statement
- Concurrency Review submittals (see Concurrency Review application)



DESIGN REVIEW

Property Information

Property address or Location 911 Delaware Ave. Fort Pierce, Florida
 Parcel ID #(s) _____
 Project description Construction of 3042 s.f. addition to existing facility

Women's Care Center, Inc
 Property Owner(s)
360 N. Notre Dame Ave.
 Street Address
South Bend IN 46617
 City State Zip
574-234-0363
 Phone Number
annmanion13@gmail.com
 Email Address

Michael Menard Architectonic Inc.
 Applicant/Representative, Title, Company
806 Delaware Ave.
 Street Address
Ft. Pierce FL 34950
 City State Zip
772-460-7751
 Phone Number
mменard@architectonicinc.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Women's Care Center, Inc.
 By: Benjamin Bogor
 Property Owner(s) Signature(s)
Benjamin Bogor
Director of Operation

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS
 CALL 772.467.3737 OR E-MAIL PLANNING DL@CITYOFFORTPIERCE.COM
 For more information, please refer to the website:
<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	C-1	OP	C-1
South	R-1	RL	R-1
East	C-1	OP	C-1
West	C-1	OP	C-1

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	OP	C-1	1200	0.56	X
**Proposed	OP	C-1	3000	0.56	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 150
**Proposed Zoning/FLU	Total gallons per day 375
**Change in Demand	Total gallons per day 525

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 120
**Proposed Zoning/FLU	Total gallons per day 300
**Change in Demand	Total gallons per day 420

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			0
Urban District	5 acres per 1,000 people			0
Community	2.5 acres per 1,000 people			0
Neighborhood	1.36 acres per 1,000 people			0

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU Enrollment Demand		
**Proposed Zoning/FLU Enrollment Demand		
**Change in Demand	0	0

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	1YD
**Proposed Zoning/FLU	1YD
*Change in Demand	1YD

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact	Stormwater drainage system is designed to meet the requirements of the city of Fort Pierce Chapter 119, section 119-2
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III. Transportation Analysis: *Complete ITE Trip Generation Form (Attached)*

G. Transportation Analysis: Complete ITE Trip Generation Data Form				
Most recent ITE Code for use; HCM Roadway Capacity				
	AADT		AM/PM Peak Hour Trips	
Demand Analysis	Maximum		Maximum	
Current Zoning/FLU	14 trips/day		1 trip/hr	
**Proposed Zoning/FLU	45 trips/day		4 trips/hr	
*Change in Demand	Trips	31 trips/day	Trips	3 trips/hr
Impact to Capacity	Less than 1% de minimis impact			

IV. Project Description

PHASING	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units:	Single Family: Multifamily:
Non-residential (square footage):	
Mixed-use (describe use):	
(If this is a single phase project, name it Phase I – Total)	

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
		3000 SF		3.20.2023	3.20.2024

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

ABRAHAM CHABAB, Inc.
1391 NW St. Lucie West Blvd. # 411
Port St. Lucie, FL 34986
Ph:772-475-6630
Email: agchabab1@msn.com

Sep. 8, 2022

Kevin Freeman, Planning Director
100 N. U.S. Highway 1
Fort Pierce, FL 34950

RE : Women's Care Center Inc., Site Plan Modification
Location: 510 S. 10th Street, Fort Pierce FL 34950

Dear Mr. Freeman:

The site plan modification that is being applied for is to add 3000 SF building and 6 parking spaces to serve as a medical facility for women's care. The existing and proposed buildings have been reviewed and approved by the Historical Society. In addition to the site plan application, we have enclosed the site plan, drainage plan, landscape plan and parking lot lighting plan to start the reviewing process.

Should you have any questions or require any additional information, please contact us at your convenience .

Sincerely

Abraham Chabab

Abraham Chabab, P.E.

cc: Benjamin Bogos, Women's Care Center Inc.
Mike Menard, Architectonic Inc.

This Document Prepared By and Return to:

Melissa Harnage
St. Lucie Title Services, Inc.
800 Virginia Avenue, Suite 47
Fort Pierce, FL 34982

Parcel ID Number: 2410-709-0017-000-3

Warranty Deed

This Indenture, Made this 30 day of October, 2020 A.D., Between
Ethan B. Lennon, a single man and Richard V. Colletti, a married man

of the County of St. Lucie, State of Florida, grantors, and
Women's Care Center, Inc., a corporation existing under the laws of the
State of Indiana
whose address is: 360 N. Notre Dame Avenue, South Bend, IN 46617

of the County of St Joseph, State of Indiana, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of St. Lucie State of Florida to wit:

The West 1/2 of Lot 2 and all of Lots 3, 4 and 5, Block 4, Oakland Park,
according to the Plat thereof, recorded in Plat Book 2, Page 7, of the
Public Recorded of St. Lucie County, Florida.

The property herein conveyed DOES NOT constitute the HOMESTEAD property of
the Grantors.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Printed Name: Carly Corlett
Witness

[Signature] (Seal)
Ethan B. Lennon
P.O. Address:

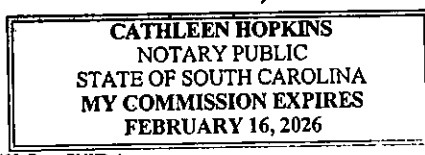
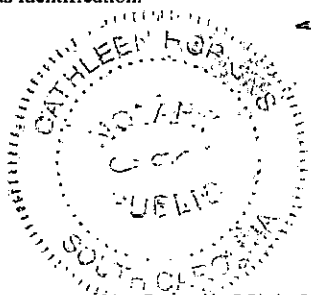
Cathleen Hopkins
Printed Name: Cathleen Hopkins
Witness

STATE OF SOUTH CAROLINA
COUNTY OF HORRY

The foregoing instrument was acknowledged before me by means of X physical presence or _____ online
notarization, this 29 day of October, 2020 by
Ethan B. Lennon

who are personally known to me or who have produced their drivers License
_____ as identification.

Cathleen Hopkins
Printed Name: Cathleen Hopkins
Notary Public
My Commission Expires: FEB 16, 2026



Warranty Deed - Page 2

Parcel ID Number: 2410-709-0017-000-3

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Printed Name: neisse Harnage
Witness

Richard V Colletti (Seal)
Richard V. Colletti
P.O. Address:

[Signature]
Printed Name: Thomas Rouse
Witness

STATE OF Florida
COUNTY OF St Lucie

The foregoing instrument was acknowledged before me by means of physical presence or _____ online notarization, this 30 day of October, 2020 by

Richard V. Colletti

who are personally known to me or who have produced their Drivers License as identification.

[Signature]
Printed Name: _____
Notary Public
My Commission Expires:



BOUNDARY & TOPOGRAPHIC SURVEY

FOR: Womens Care's Center



**ENGINEERS & SURVEYORS
ENVIRONMENTAL**

10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455
www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

DRAWN BY	L.S.	CHECKED BY	M.T.O.	FILE NAME	21-139.dwg	LAYOUT	LAYOUT	SCALE	1"=20'	DATE	February 16, 2021
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REVISION COMMENTS

**BOUNDARY &
TOPOGRAPHIC SURVEY**

FOR: Womens Care Center INC.

RECORD INFORMATION
SEC. 10, TWN58P. 35 SOUTH, RGE. 40 EAST
ST. LUCIE COUNTY, FLORIDA



**ENGINEERS & SURVEYORS
ENVIRONMENTAL**

10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455

21-139

1 OF 2

SYMBOL LEGEND

- WVX WATER VALVE
- ☆ LIGHT POST
- CPP CONCRETE POWER POLE
- WOOD POWER POLE
- WATER SERVICE METER
- ELECTRIC METER
- GUY WIRE
- HAND RAIL
- X 0.00 EXISTING ELEVATION
- OHW— OVERHEAD WIRE

ABBREVIATION LEGEND

- F.E.E. FINISH FLOOR ELEVATION
- FND FOUND
- IRC IRON ROD & CAP
- CL CENTER LINE
- CONC. CONCRETE
- (P) PLAT
- A/C AIR CONDITIONER




ST. LUCIE COUNTY, FLORIDA
VICINITY MAP
NO SCALE

SURVEYORS NOTES AND REPORT:

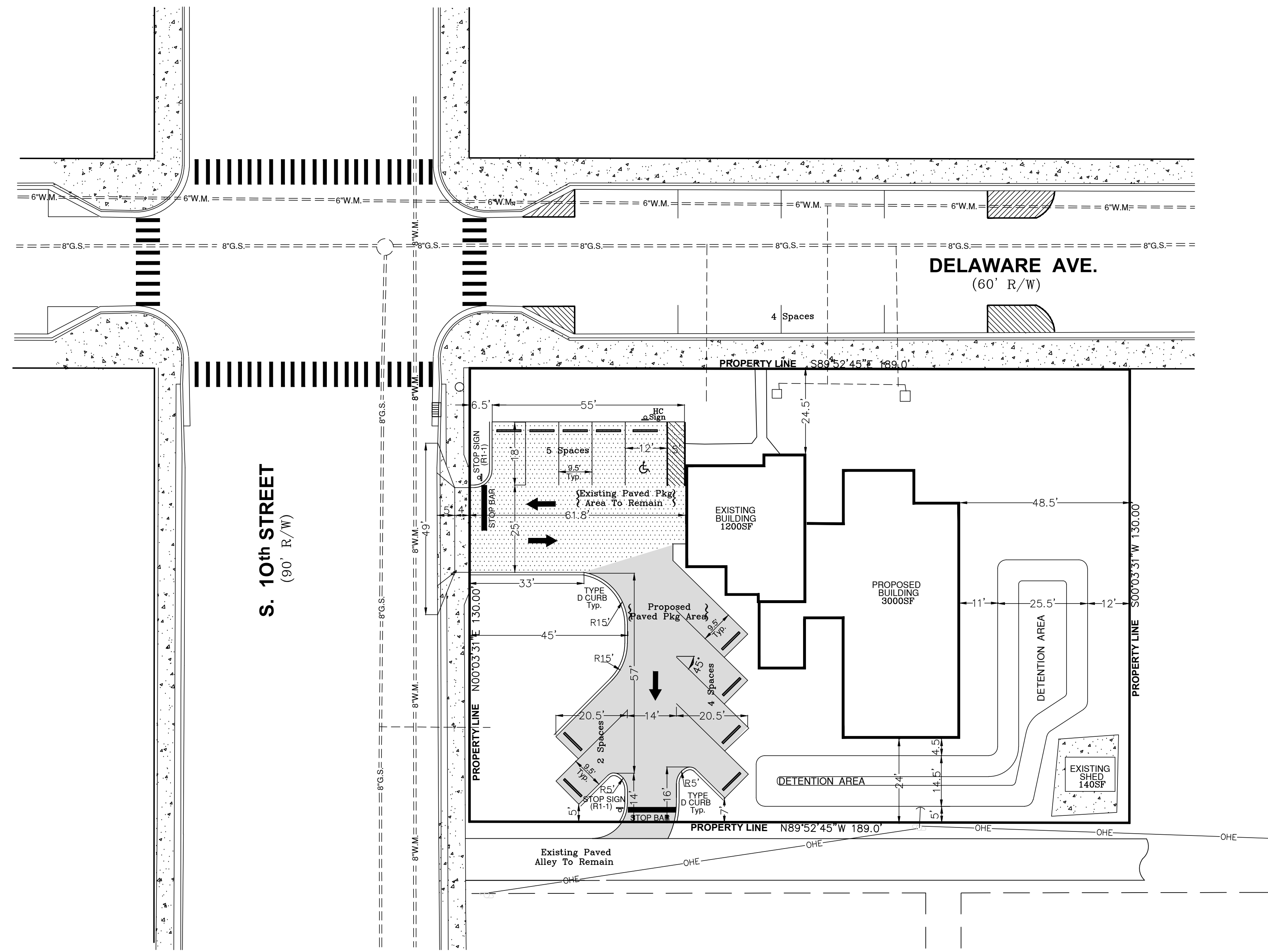
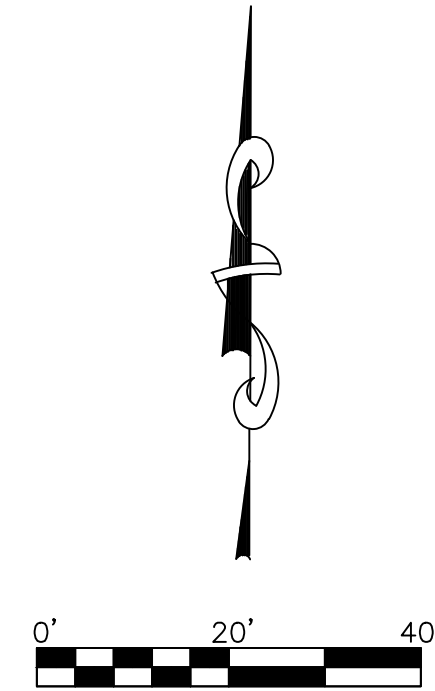
1. REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF ENGINEERING, DESIGN AND CONSTRUCTION, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
2. THE LAST DATE OF FIELD WORK WAS FEBRUARY 9, 2020.
3. CURRENT DESCRIPTION(S) SHOWN HEREON PROVIDED BY: THIS OFFICE. A TITLE SEARCH FOR THIS PROPERTY HAS NOT BEEN ABSTRACTED TO SHOW MATTERS OF RECORD SUCH AS EASEMENTS OR OTHER ENCUMBRANCES OR RESTRICTIONS.
4. PARCELS CONTAIN A TOTAL OF 0.56 ACRES MORE OR LESS.
5. THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (61017-6 F.A.C.), IS "RESIDENTIAL." THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 10,000 FEET. THIS SURVEY EXCEEDS THE REQUIRED DISTANCE ACCURACY.
6. THIS BOUNDARY SURVEY HAS BEEN REFERENCED TO THE FLORIDA STATE PLANE BOUNDARY SYSTEM—EAST ZONE, NAD 83 (1990).
7. SUB-SURFACE IMPROVEMENTS INCLUDING UNDERGROUND UTILITIES, UTILITY SERVICES, WERE NOT LOCATED AS PART OF THIS SURVEY.
8. REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
9. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE BASED ON GPS REAL TIME KINEMATIC (RTK) OBSERVATION. SITE BENCHMARKS UTILIZED ARE SHOWN HEREON.
10. IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION, OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
11. THE OWNERSHIP OF PERIMETER FENCES, WALLS, HEDGES AND LANDSCAPING, IF ANY, SHOWN HEREON ARE NOT KNOWN AND ARE NOT LISTED AS ENCROACHMENTS. THEIR RELATIVE LOCATION IS SHOWN IN RELATION TO THE BOUNDARY LINES SHOWN.
12. THE SURVEY MAP SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.
13. THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATE IN AN AREA OF MINIMAL FLOOD HAZARD AT THIS TIME PURSUANT TO (UNPRINTED) F.E.M.A. FIRM NO. 12111C0179K, HAVING AN EFFECTIVE DATE OF FEBRUARY 19, 2020. FOR APPROXIMATE DELINEATION OF THE FLOOD ZONE LIMITS, REFER TO AFOREMENTIONED FIRM PANELS.
15. BEARINGS, IF SHOWN HEREON, ARE BASED UPON NORTH AMERICAN DATUM OF 1983, FLORIDA STATE PLANE PROJECTION PER THE LINE LABELED HEREON AS (BEARING BASIS) AND ALL OTHER BEARINGS ARE RELATIVE THERETO. DISTANCES ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.

LEGAL DESCRIPTION:

THE WEST 1/2 OF LOT 2 AND ALL OF LOTS 3, 4 AND 5, BLOCK 4, OAKLAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE(S) 7 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.


 MICHAEL T. OWEN PROFESSIONAL SURVEYOR AND MAPPER STATE OF FLORIDA REGISTRATION #5556
 SIGNATURE DATE: 2/16/2021

Z:\EDC\2021\21-139 - Womens Care Center\SURVEY\DWG - PDPS\Survey\21-139.dwg, 2/16/2021 4:21 PM
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



GENERAL NOTES
 PROJECT NAME : WOMEN'S CARE CENTER
 OWNER : WOMEN'S CARE CENTER
 360 N. NOTRE DAME AVE.
 SOUTH BEND, IN 46617
 LOCATION : 510 S. 10 STREET, FORT PIERCE FL 34950
 LAND USE : C OFFICE COM.
 LAND ZONING : C OFFICE COM.
 LEGAL DESCRIPTION : THE WEST 1/2 OF LOT 2 & ALL OF LOTS 3, 4, & 5 BLOCK 4 OAKLAND PARK ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 7 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. SAID LAND CONTAINS 0.56 ACRES, MORE OR LESS.
 PIN : 2410-709-0017-0003
 BUILDING HEIGHT : 20.00 FEET
 NUMBER OF STORIES : ONE
UTILITIES:
 ELECTRICAL : FPUA
 WATER & SEWER : FPUA
 TELEPHONE : ATT
 SOLID WASTE : CITY OF FORT PIERCE

AREA TABULATION:

SITE COVERAGE	ACREAGE	SF	% OF SITE
EXISTING BUILDING	0.0275	1,200	4.88
EXISTING SHED	0.0032	140	0.69
PROPOSED BUILDING	0.0689	3,000	12.21
BUILDING TOTAL	0.0996	4,340	17.68
EXISTING PAVED AREA	0.0549	2,392	9.73
EXISTING SIDEWALKS/PADS	0.0149	650	2.64
PROPOSED PAVED AREA	0.0584	2,545	10.36
TOTAL	0.1282	5,587	22.73
TOTAL IMPERVIOUS	0.2278	9,927	40.40
GREEN AREA/OPEN SPACE	0.3362	14,643	59.60
TOTAL	0.5640	24,570	100.00

PARKING CALCULATIONS :
 PARKING SPACES REQUIRED :
 1 PKG SPACE / 300 SF : 4200SF x 1 PKG / 300SF = 14 PKG SPACES
 TOTAL REQUIRED = 14 PKG SPACES
 PARKING PROVIDED : 14 REGULAR PKG & 1 H.C. = 15 PKG SPACES

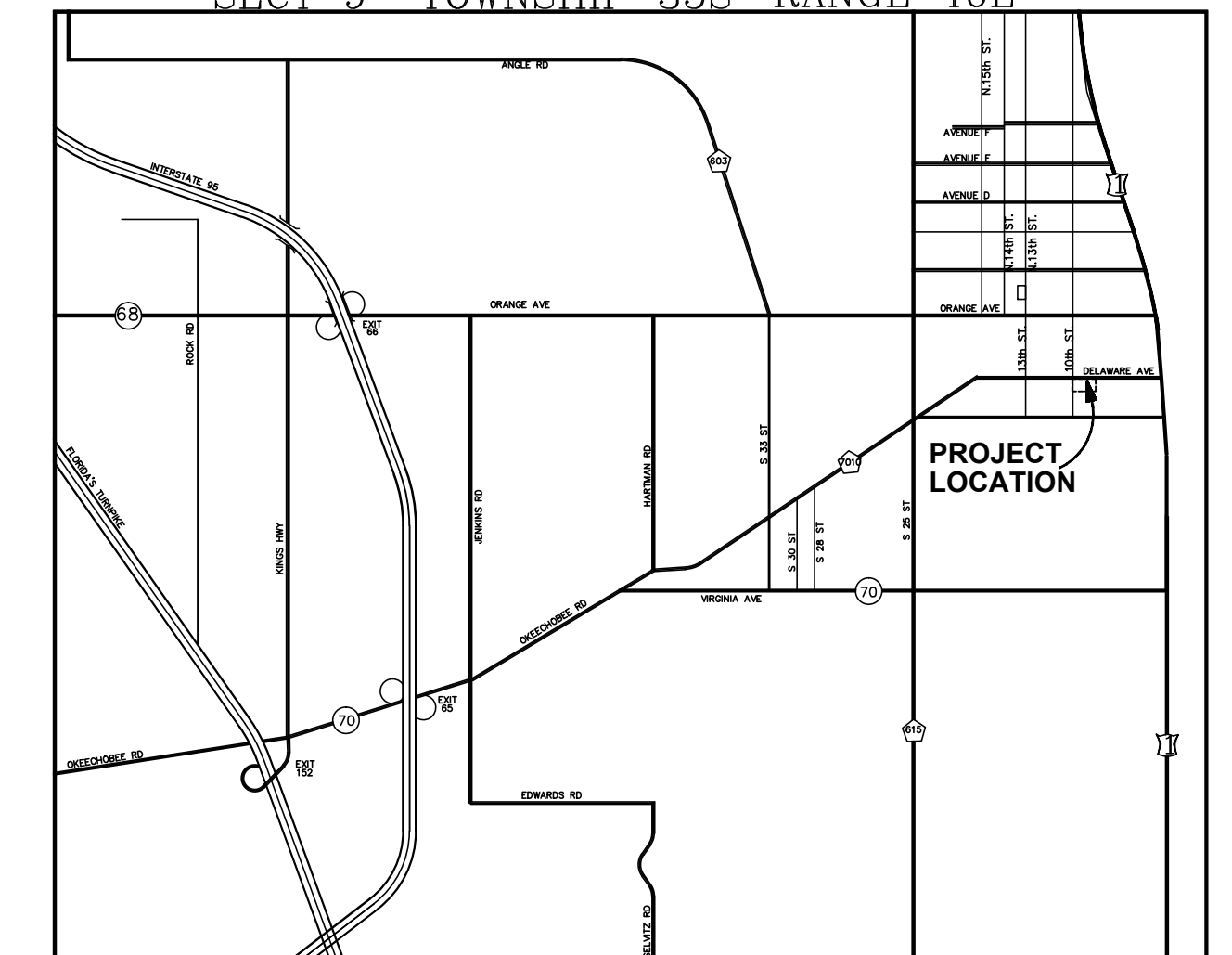
BUILDING SETBACKS: FRONT : 24.50 FT
 REAR : 24.00 FT
 LEFT SIDE : 48.50 FT
 RIGHT SIDE : 61.80 FT

FLOOD ZONE MAP:
 PROPERTY LIES IN F.I.R.M. ZONE X AS SHOWN ON PANEL 12111C-0070 J (2-16-2012)

DRAINAGE STATEMENT :
 ALL DRAINAGE SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF CITY OF FORT PIERCE.

HAZARDOUS WASTE STATEMENT:
 ANY & ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS

LOCATION MAP
 SECT 9 TOWNSHIP 35S RANGE 40E

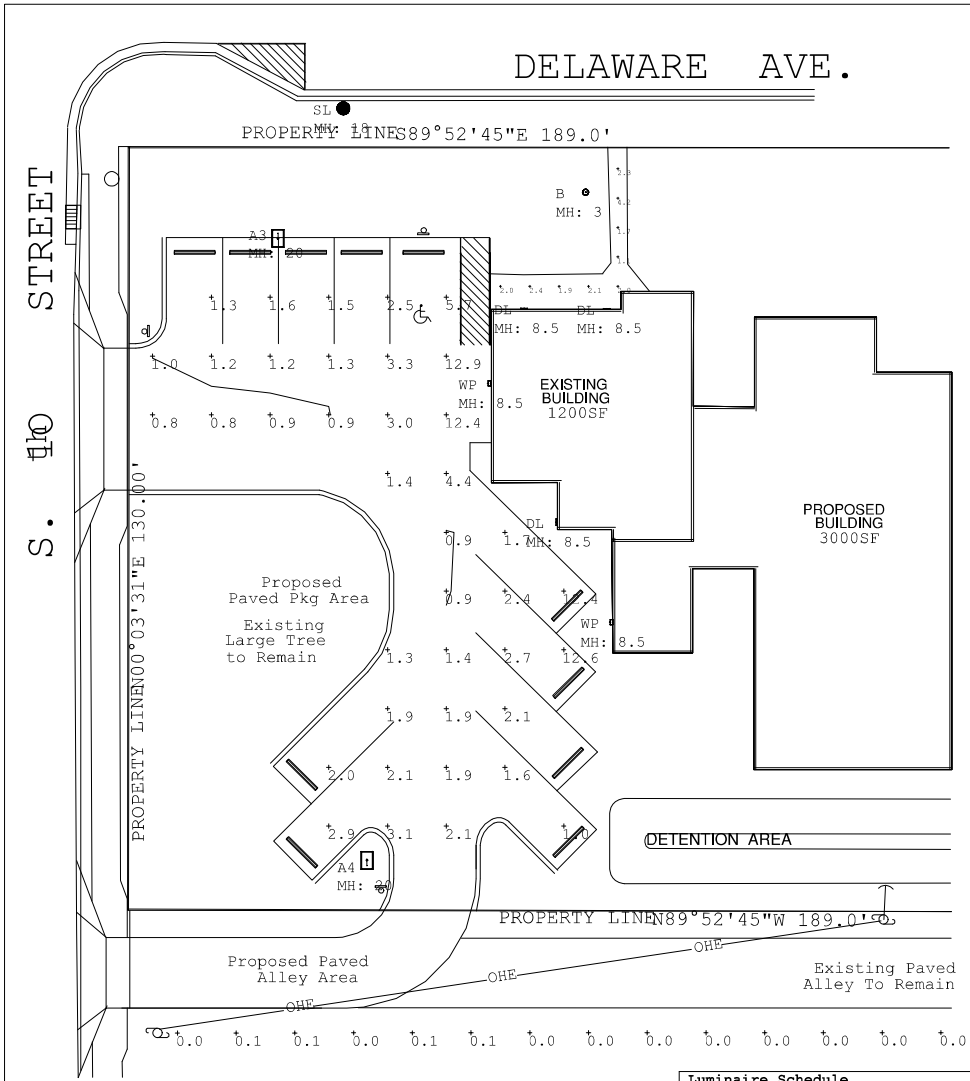


48 HOURS BEFORE DIGGING
 CALL TOLL-FREE
1-800-432-4770
 SUNSHINE STATE ONE CALL
 OF FLORIDA, INC
 UNDERGROUND UTILITIES NOTIFICATION CENTER

ABRAHAM CHABAB, Inc.
 FL. BOARD OF PROF. ENG. AUTH.#26790
 1391 NW St. Lucie West Blvd #411
 PORT ST. LUCIE FL 34986
 Email agchabab1@msn.com
 Ph: 772-475-6630

WOMEN'S CARE CENTER
SITE PLAN

DESIGNED BY	AC	REVISIONS	DATE
DRAWN BY	AC		
DATE	Aug. 15/2022		
SHEET	2 OF 4		



PHOTOMETRIC ANALYSIS NOTES:

THIS PARKING AREA IS WITHIN THE CITY OF FORT PIERCE, AND IS SUBJECT TO LIGHTING REGULATIONS FOUND IN CHAPTER 22, ARTICLE IV, SECTIONS 22-58 AND 22-60 OF THE FORT PIERCE MUNICIPAL CODE.

22-58 CODE REQUIRES THE INTERIOR SIDEWALKS SHALL BE PROVIDED WITH A MINIMUM AVERAGE OF ONE FOOT-CANDLE. THIS PLAN PROVIDES AN AVERAGE 2.2 FOOT-CANDLES ON THE MEANS OF EGRESS. A UNIFORMITY RATIO OF 2.0:1 WAS ACHIEVED, WHICH CONFORMS WITH THE CODE MAXIMUM LIMIT OF 10:1 FOR INTERIOR SIDEWALKS.

22-60 CODE REQUIRES THE OFF-STREET PARKING IN THIS CASE SHALL BE PROVIDED WITH A MINIMUM AVERAGE OF TWO FOOT-CANDLES ON THE PAVEMENT. THIS PLAN PROVIDES AN AVERAGE OF 3 FOOT-CANDLES.

(2) THIS PLAN PROVIDES A UNIFORMITY RATIO OF 3.75 TO 1, WHICH COMPLIES WITH THE CODE REQUIREMENT OF LOWER THAN 4 TO 1.

(3) LIGHTING CONTROL IS BY ASTRONOMIC TIME SWITCH. THIS COMPLIES WITH CODE.

(4) MAXIMUM SPILL TO THE SOUTH IS 0.1 FC. THIS IS WITHIN THE CODE MAXIMUM SPILL LIMIT OF 0.5 FC. THE SOUTHERLY POLE MOUNTED FIXTURE INCLUDES A HOUSE SIDE SHIELD.

(5) THE LIGHTING PLAN USES FULL CUTOFF FIXTURES MOUNTED AT HEIGHTS OF 20 FEET ON POLES, USING R4 DISTRIBUTION AND R3 AREA DISTRIBUTION. THE LIGHTING PLAN ALSO INCLUDES FIXTURES MOUNTED ON THE BUILDING AT 9 FEET. LIGHTING TECHNOLOGY IS LED.

Luminaire Schedule

Tag	Description	Symbol	Qty	Lum. Watts	Lum. Lumens	LLF
DL	FFUA Acorn Light		1	79	4005	0.800
SL	Door Light		3	79	629	0.900
A4	LITHONIA KAD LED 40C 700 40K R4 POLE TOP HS		1	94	8619	0.900
A3	LITHONIA KAD LED 30C 530 40K R3 POLE TOP		1	54	6594	0.900
B	LITHONIA KBAB LED 12C 350 40K R3 BOLLARD		1	16	1209	0.900
WP	LITHONIA KAXW LED P2 40K R3 WALL PACK		2	49	6115	0.900

SITE PHOTOMETRIC ANALYSIS

SCALE 1" = 20'-0"

Submittal Spec Sheet
 Date: 9/26/2022
 Product: KBAB LED Dome Top Round LED Bollard
 Model #: KBAB LED (Standard)

Manufacturer	Model	Color	Height	Material	Notes
Lithonia	KBAB LED	White	12"	Aluminum	

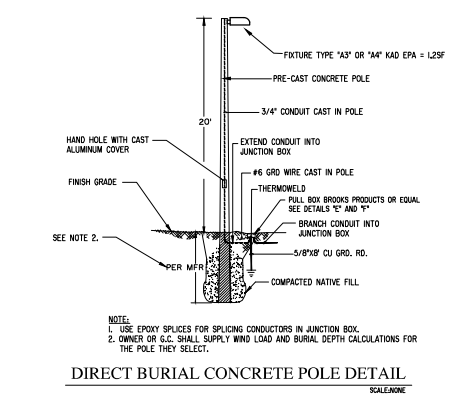
KAD LED LED Area Luminaire

Specifications:
 Height: 2.20'
 Length: 11.00"
 Width: 2.00"
 Weight: 2.00 lbs
 Mount: 1/2" Dia
 Finish: White

40K Capable Luminaire
 This luminaire is an A-E Capable Luminaire, which has been designed and tested for compliance with the A-E Capable Specification for photometric consistency.

Calculation Summary

Label	Avg	Max	Min	Avg/Min
Means of Egress	2.19	4.2	1.1	1.99
Parking Area	3.00	12.9	0.8	3.75
Spill	0.03	0.1	0.0	N.A.



KAXW LED Wall Luminaire

Specifications:
 Length: 11.00"
 Width: 2.00"
 Weight: 2.00 lbs
 Mount: 1/2" Dia
 Finish: White

40K Capable Luminaire
 This luminaire is an A-E Capable Luminaire, which has been designed and tested for compliance with the A-E Capable Specification for photometric consistency.

This item has been electronically signed and sealed by Timothy C. Trewn, PE using a SIAA authentication code. Printed copies of this document are not considered signed and sealed and the SIAA authentication code must be verified on any electronic copies.

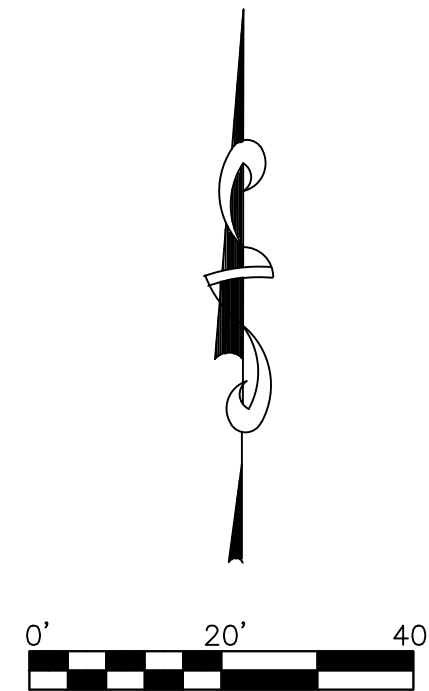
Digitally signed by Timothy Trewn
 Date: 2022.09.26 19:49:08 -04'00'

Fort Pierce Engineering, Inc.
 315 South 7th Street
 Fort Pierce, FL 34950
 Phone: 772-672-4636
 Fax: 772-672-4637

PROJECT NAME: WOMEN'S CARE CENTER ADDITION
CLIENT: ARCHITECTURE INC. 808 DELAWARE AVE. FORT PIERCE, FLORIDA 34909
PROJECT LOCATION: 808 DELAWARE AVE. FORT PIERCE, FLORIDA 34909

ENGINEER SEAL: Timothy C. Trewn, PE No. 61580 State of Florida

SHEET TITLE: SITE PHOTOMETRIC ANALYSIS
DATE: XX-XX-2022
DRAWN: TOT
APPROVED: TOT
DRAWING NUMBER: E-1.2
SHEET 1 OF 1
 21001-20



NOTES :

CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.

THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.

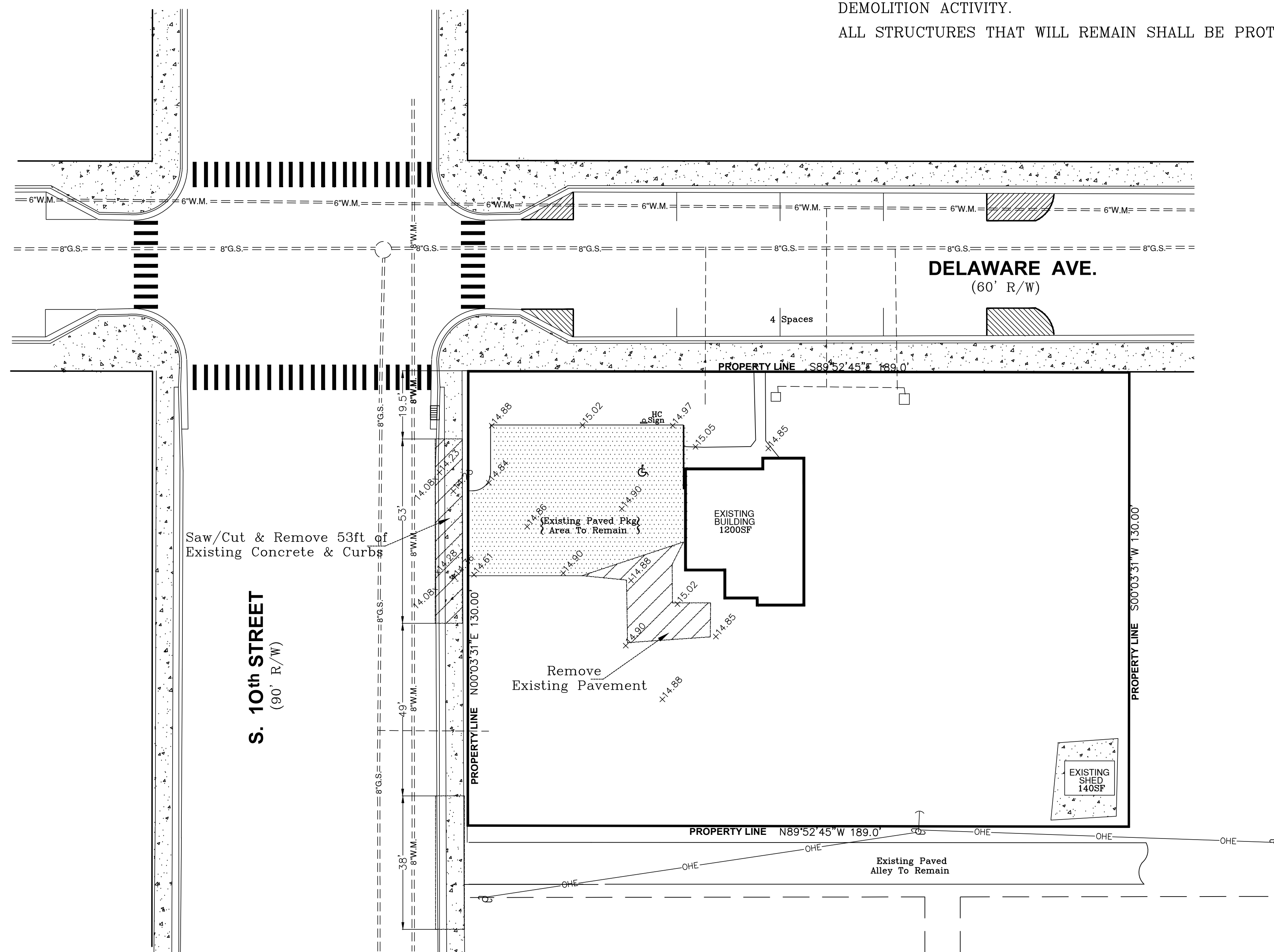
THE CONTRACTOR SHALL SECURE A DEWATERING PERMIT IF DURING DEMOLITION AND CONSTRUCTION THE REQUIREMENTS FOR NO NOTICE ARE EXCEEDED.

SEE LANDSCAPE PLAN FOR TREE REMOVAL/RELOCATION AND TREE PROTECTION.

CONTRACTOR TO COORDINATE WITH ALL UTILITIES OWNERS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITY.

ALL STRUCTURES THAT WILL REMAIN SHALL BE PROTECTED FROM ANY DAMAGES DURING DEMOLITION.

LEGEND	
	TEE
	45° BEND
	90° ELBOW
	F.H. FIRE HYDRANT
	GATE VALVE
	BACKFLOW PREVENTER
	SERVICE CLEAN OUT
	METER BOX
	EXIST. 12" WATER MAIN
	EXIST. 8" FORCE MAIN
	CATCH BASIN
	GAS MAIN
PVC	POLYVINYL CHLORIDE
CIP	CAST IRON PIPE
LEGEND	
	EXISTING GRADE ELEVATION
	HIGH POINT
	PROPOSED ELEVATION
	RUNOFF FLOW DIRECTION
	FDOT MITERED END SECTION
	PIPE INVERT
	CORRUGATED POLYETHYLENE PIPE (N12) MANUF. BY ADS

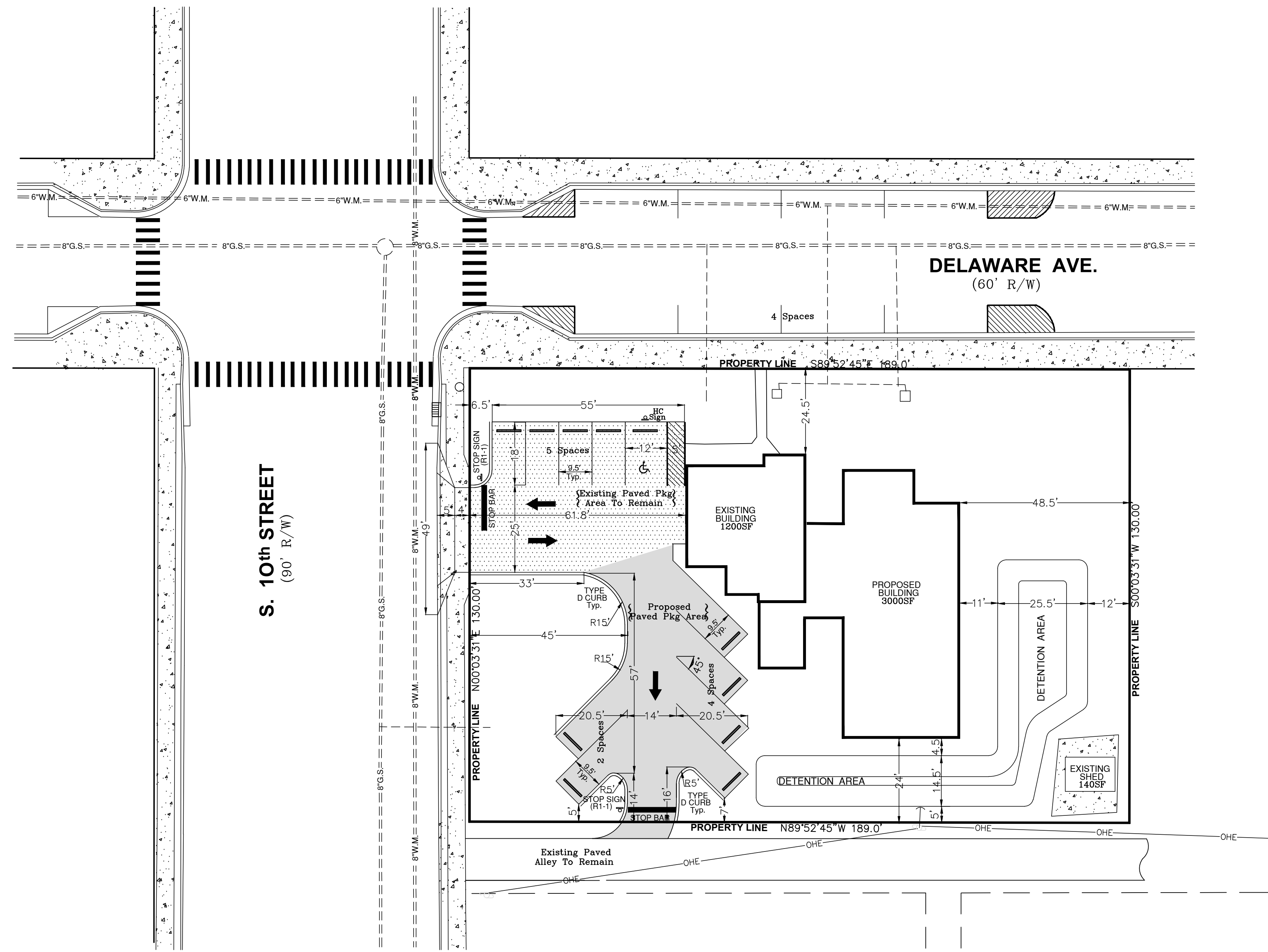
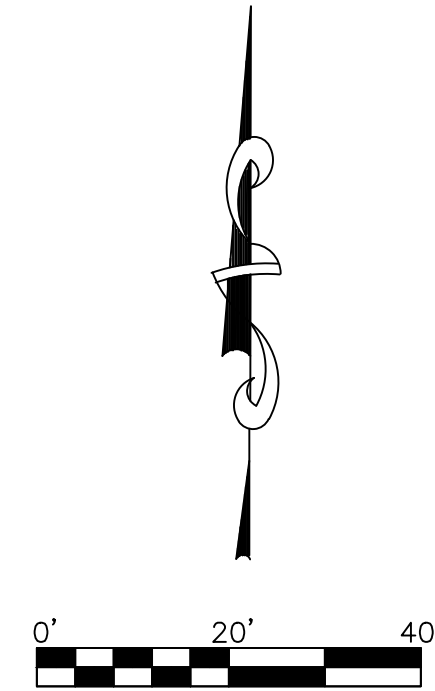


48 HOURS BEFORE DIGGING
CALL TOLL-FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC
UNDERGROUND UTILITIES NOTIFICATION CENTER

ABRAHAM CHABAB, Inc.
FL. BOARD OF PROF. ENG. AUTH.#26790
1391 NW St. Lucie West Blvd #411
PORT ST. LUCIE FL. 34986
Email agchababi@msn.com
Ph: 772-475-6630

WOMEN'S CARE CENTER
DEMOLITION PLAN

DESIGNED BY	AC	REVISIONS	DATE
DRAWN BY	AC		
DATE	Aug. 15/2022		
SHEET	1 OF 4		



GENERAL NOTES

PROJECT NAME : WOMEN'S CARE CENTER
 OWNER : WOMEN'S CARE CENTER
 360 N. NOTRE DAME AVE.
 SOUTH BEND, IN 46617

LOCATION : 510 S. 10 STREET, FORT PIERCE FL 34950

LAND USE : C OFFICE COM.
 LAND ZONING : C OFFICE COM.

LEGAL DESCRIPTION : THE WEST 1/2 OF LOT 2 & ALL OF LOTS 3, 4, & 5 BLOCK 4 OAKLAND PARK ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 7 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. SAID LAND CONTAINS 0.56 ACRES, MORE OR LESS.

PIN : 2410-709-0017-0003
 BUILDING HEIGHT : 20.00 FEET
 NUMBER OF STORIES : ONE

UTILITIES:
 ELECTRICAL : FPUA
 WATER & SEWER : FPUA
 TELEPHONE : ATT
 SOLID WASTE : CITY OF FORT PIERCE

AREA TABULATION:

SITE COVERAGE	ACREAGE	SF	% OF SITE
EXISTING BUILDING	0.0275	1,200	4.88
EXISTING SHED	0.0032	140	0.69
PROPOSED BUILDING	0.0689	3,000	12.21
BUILDING TOTAL	0.0996	4,340	17.68
EXISTING PAVED AREA	0.0549	2,392	9.73
EXISTING SIDEWALKS/PADS	0.0149	650	2.64
PROPOSED PAVED AREA	0.0584	2,545	10.36
TOTAL	0.1282	5,587	22.73
TOTAL IMPERVIOUS	0.2278	9,927	40.40
GREEN AREA/OPEN SPACE	0.3362	14,643	59.60
TOTAL	0.5640	24,570	100.00

PARKING CALCULATIONS :

PARKING SPACES REQUIRED :
 4200SF x 1 PKG / 300SF = 14 PKG SPACES
 TOTAL REQUIRED = 14 PKG SPACES

PARKING PROVIDED : 14 REGULAR PKG & 1 H.C. = 15 PKG SPACES

BUILDING SETBACKS:

FRONT : 24.50 FT
 REAR : 24.00 FT
 LEFT SIDE : 48.50 FT
 RIGHT SIDE : 61.80 FT

FLOOD ZONE MAP:

PROPERTY LIES IN F.I.R.M. ZONE X AS SHOWN ON PANEL 12111C-0070 J (2-16-2012)

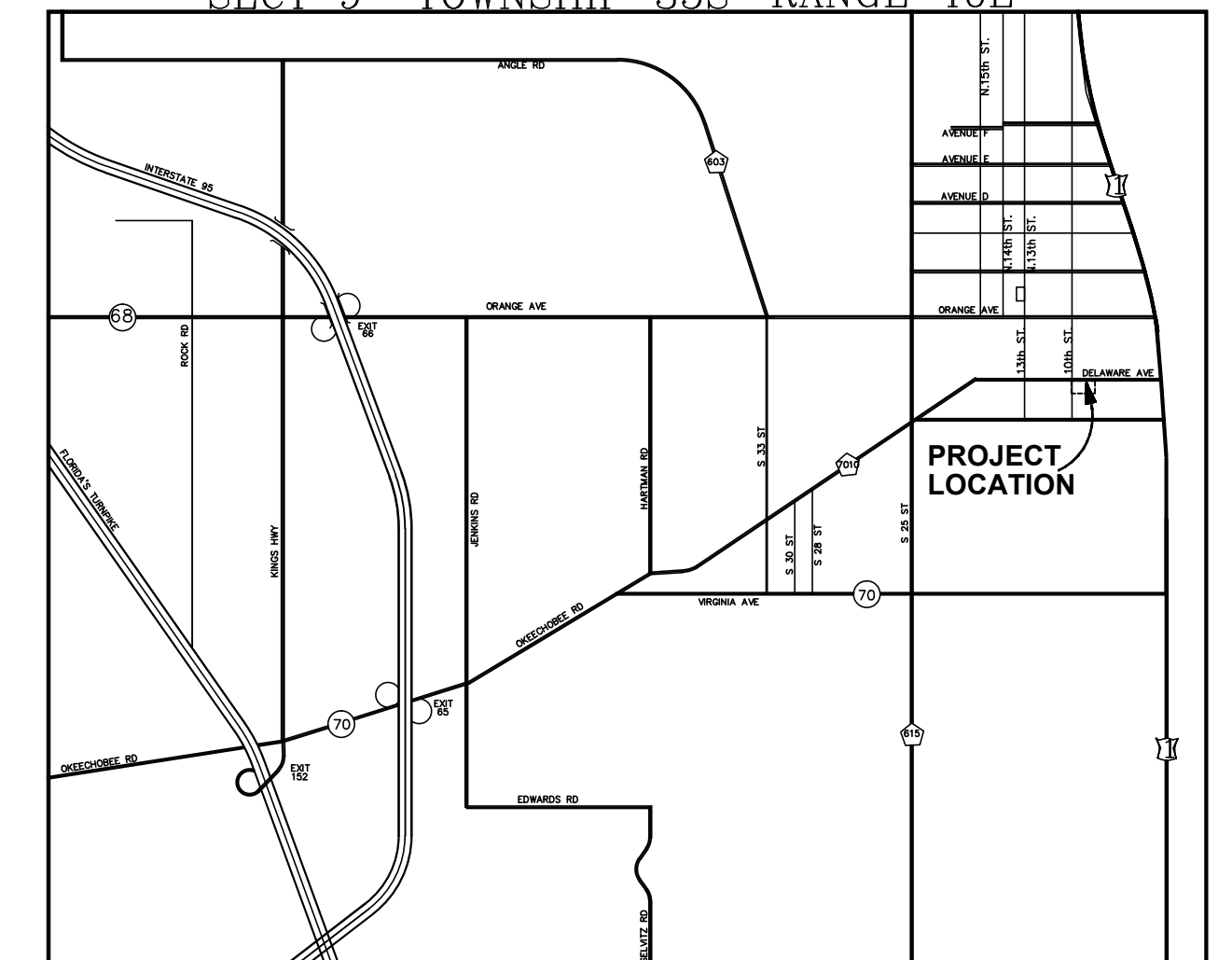
DRAINAGE STATEMENT :

ALL DRAINAGE SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF CITY OF FORT PIERCE.

HAZARDOUS WASTE STATEMENT:

ANY & ALL HAZARDOUS OR TOXIC MATERIALS GENERATED OR USED OR STORED ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS

LOCATION MAP
 SECT 9 TOWNSHIP 35S RANGE 40E



48 HOURS BEFORE DIGGING
 CALL TOLL-FREE
1-800-432-4770
 SUNSHINE STATE ONE CALL
 OF FLORIDA, INC
 UNDERGROUND UTILITIES NOTIFICATION CENTER

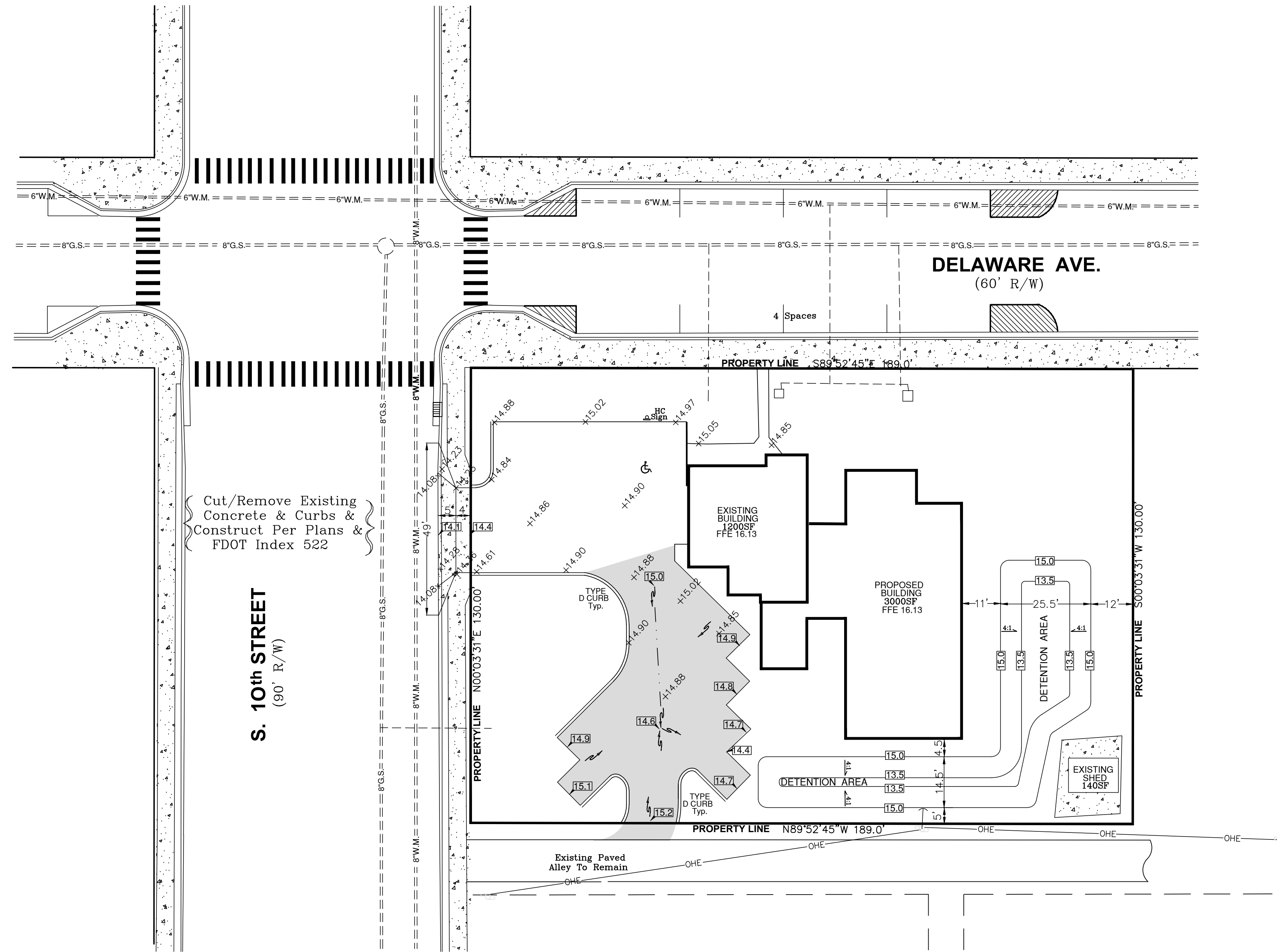
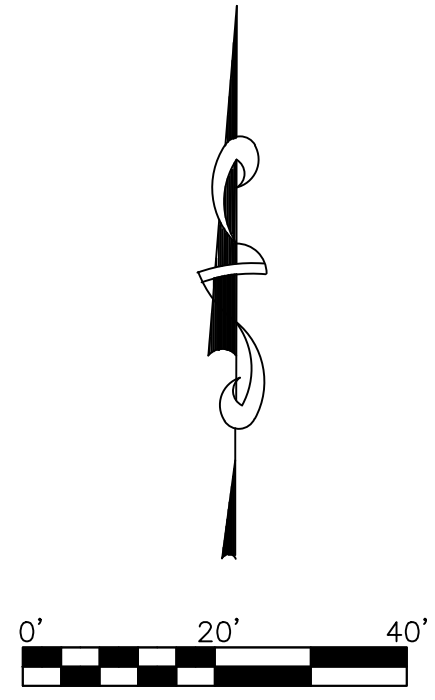
ABRAHAM CHABAB, Inc.
 FL. BOARD OF PROF. ENG. AUTH.#26790

1391 NW St. Lucie West Blvd #411
 PORT ST. LUCIE FL 34986
 Email agchabab1@msn.com
 Ph: 772-475-6630

WOMEN'S CARE CENTER

SITE PLAN

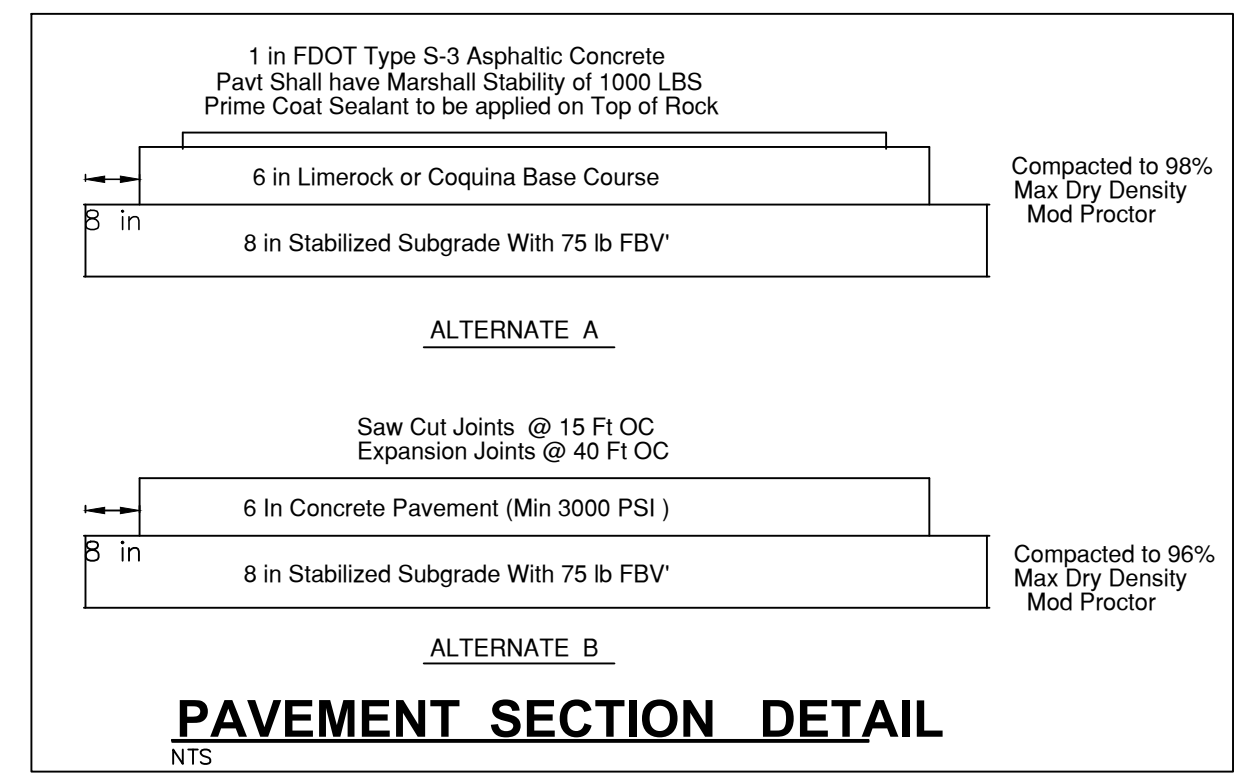
DESIGNED BY	AC	REVISIONS	DATE
DRAWN BY	AC		
DATE	Aug. 15/2022		
SHEET	2 OF 4		



Cut/Remove Existing Concrete & Curbs & Construct Per Plans & FDOT Index 522

S. 10th STREET
(90' R/W)

DELAWARE AVE.
(60' R/W)



LEGEND	
	TEE
	45° BEND
	90° ELBOW
	F.H. FIRE HYDRANT
	GATE VALVE
	BACKFLOW PREVENTER
	SERVICE CLEAN OUT
	METER BOX
	EXIST. 12" WATER MAIN
	EXIST. 8" FORCE MAIN
	CATCH BASIN
	GAS MAIN
	POLYVINYL CHLORIDE
	CAST IRON PIPE
LEGEND	
	EXISTING GRADE ELEVATION
	HIGH POINT
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Email: agchabab1@msn.com
Ph: 772-475-6630

WOMEN'S CARE CENTER	DESIGNED BY	AC	REVISIONS	DATE
	DRAWN BY	AC		
	DATE	Aug. 15/2022		
	SHEET	3 OF 4		
DRAINAGE, GRADING & PAVING PLAN				

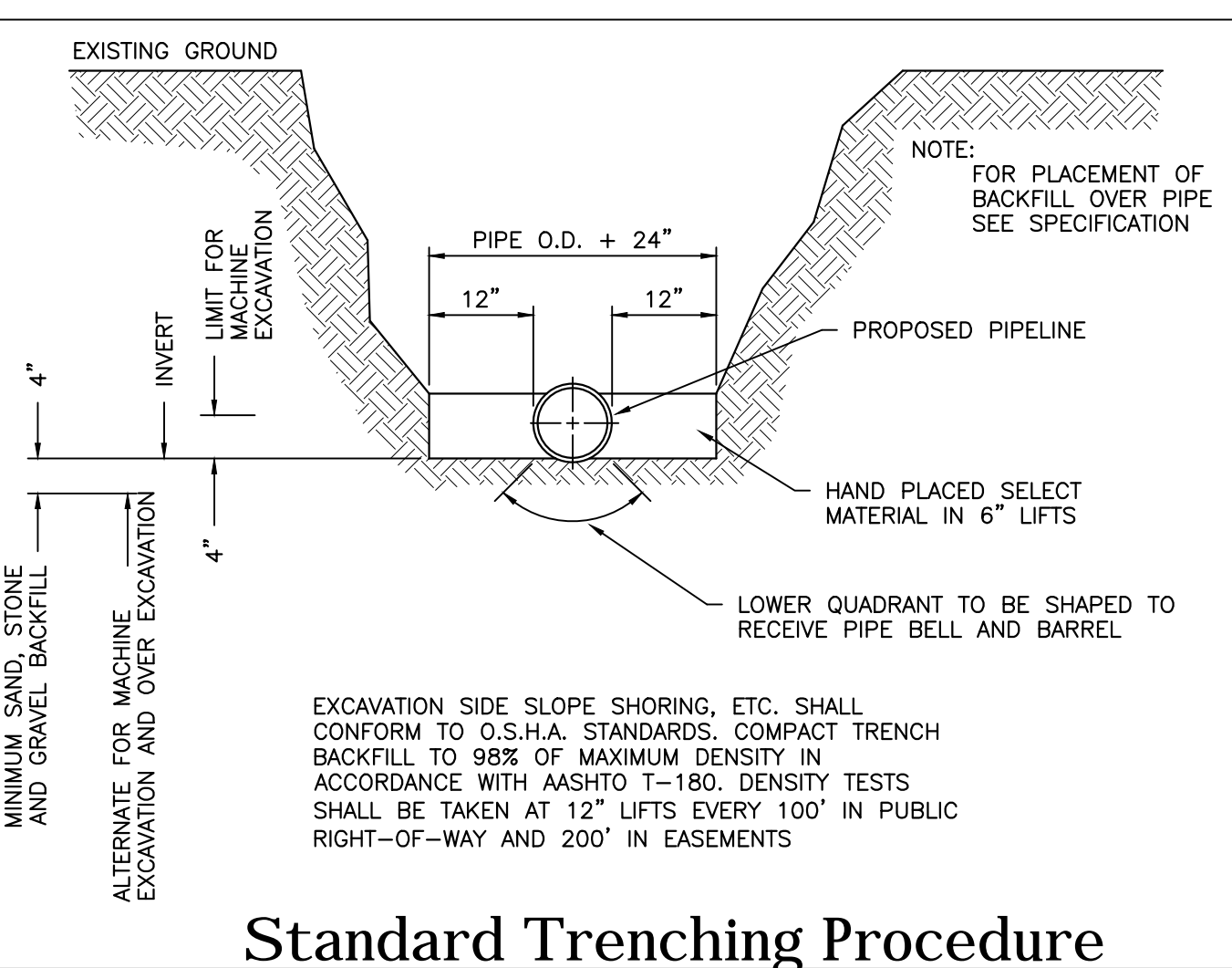
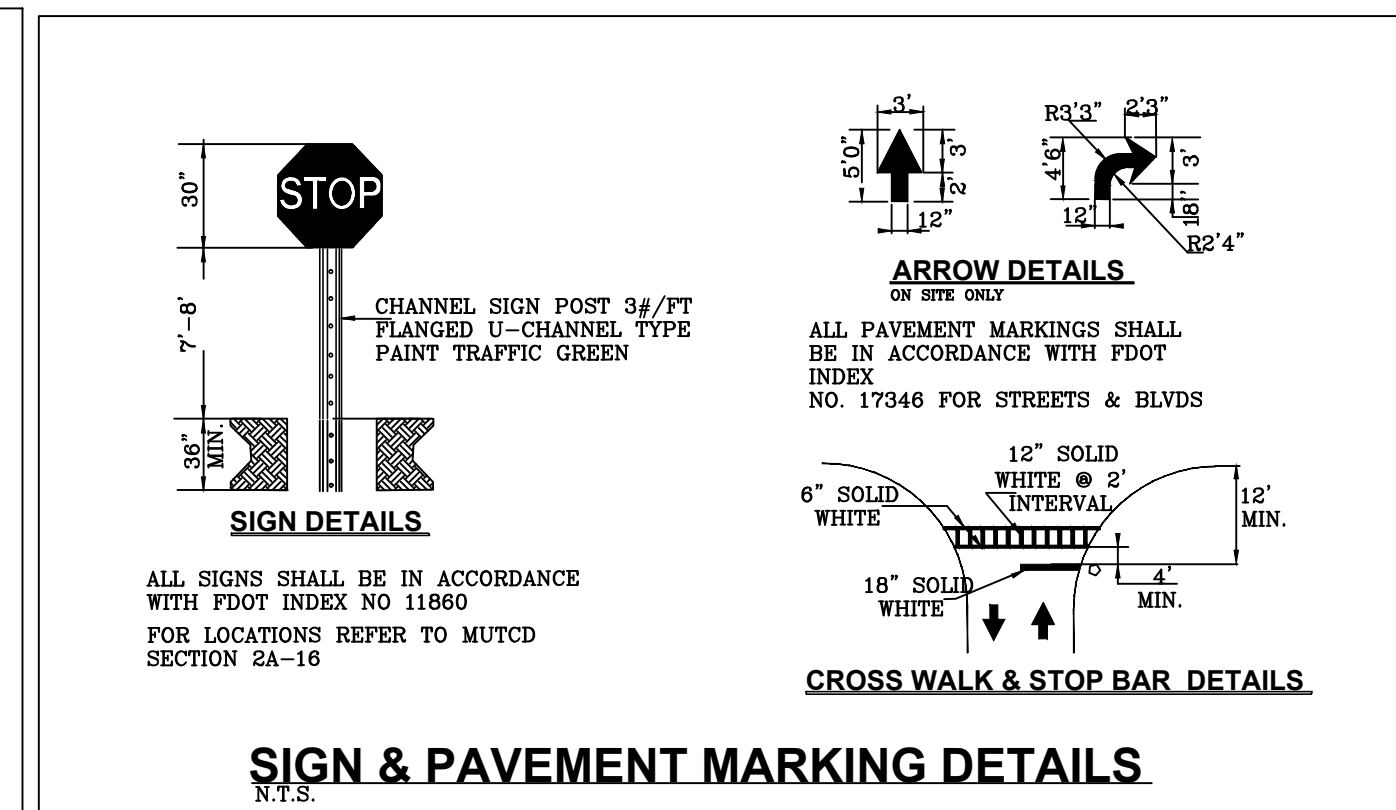
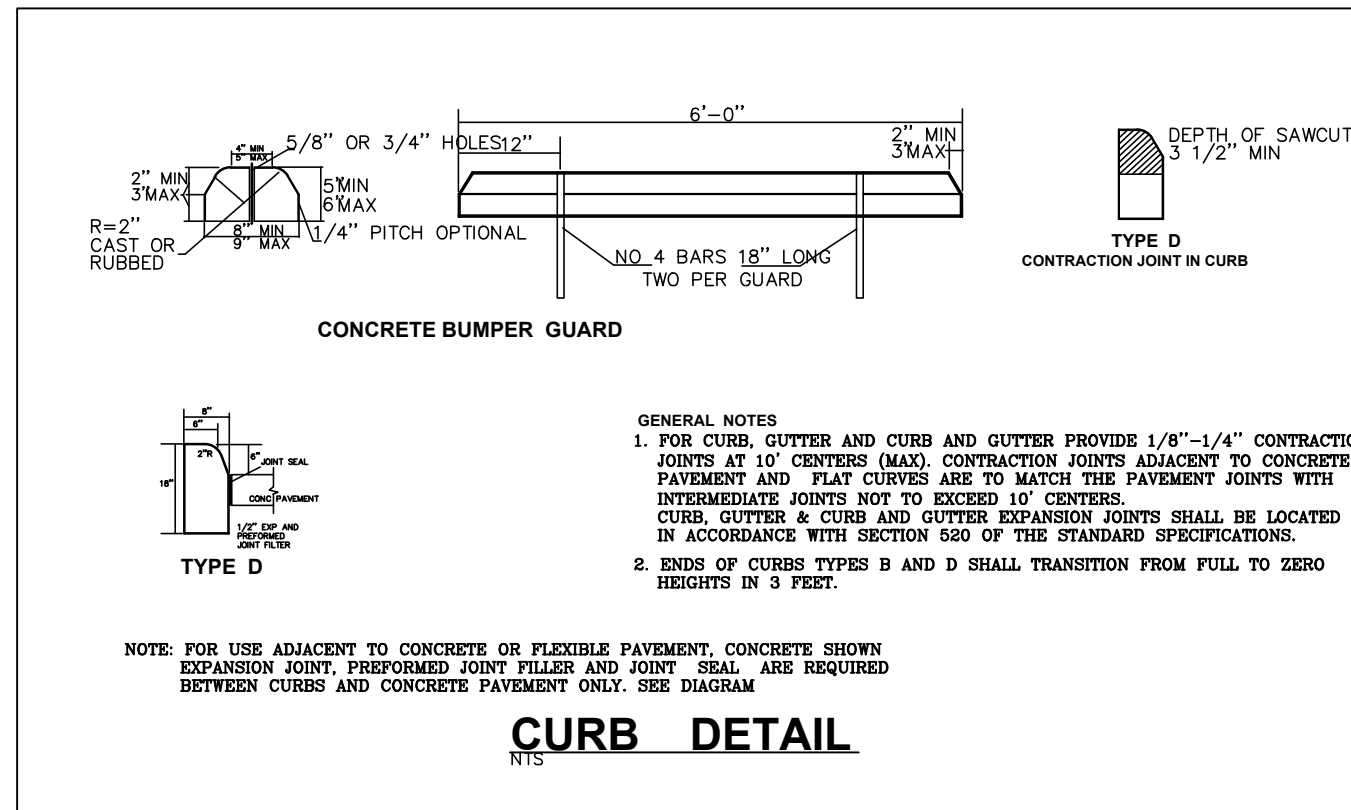
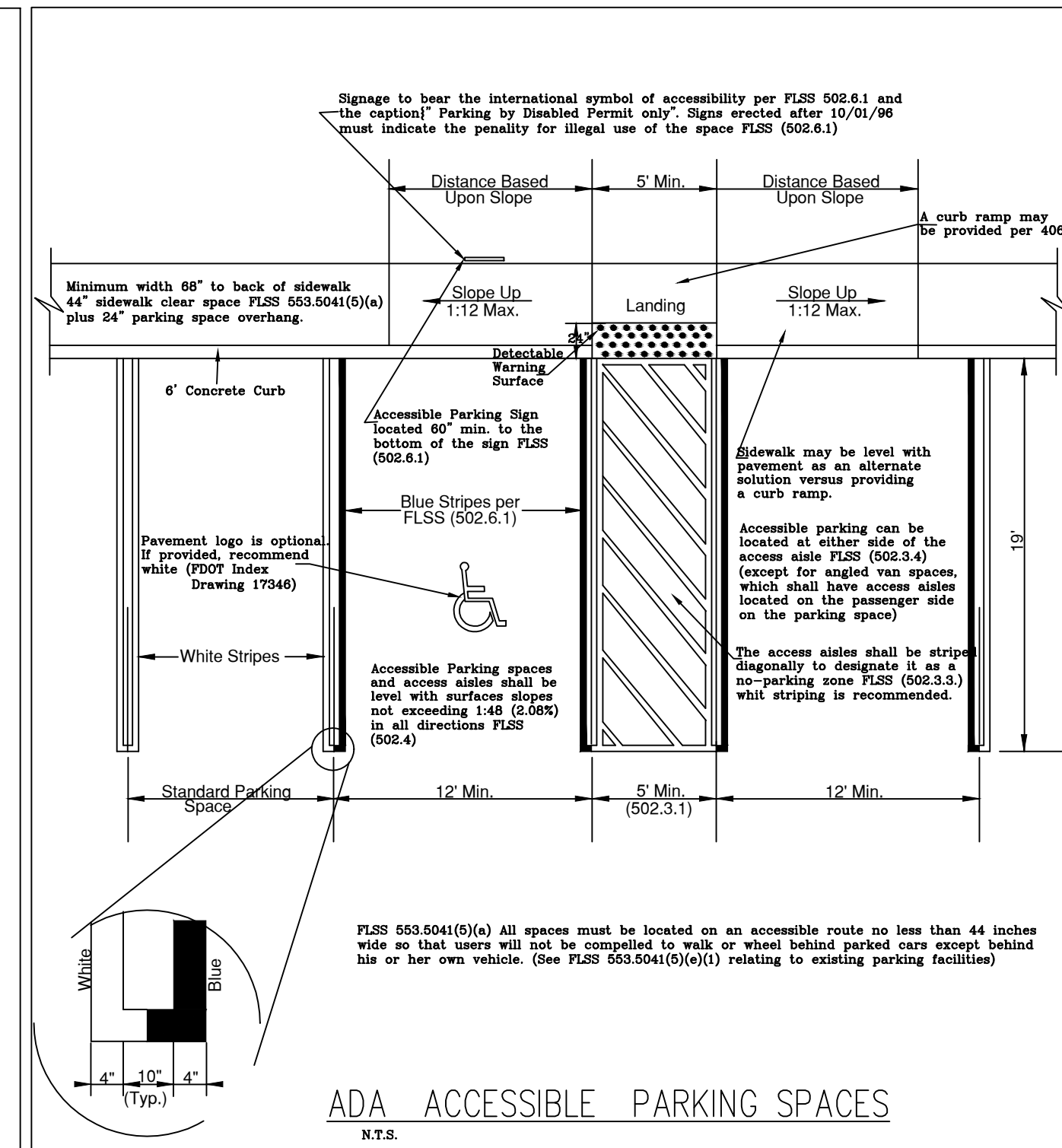
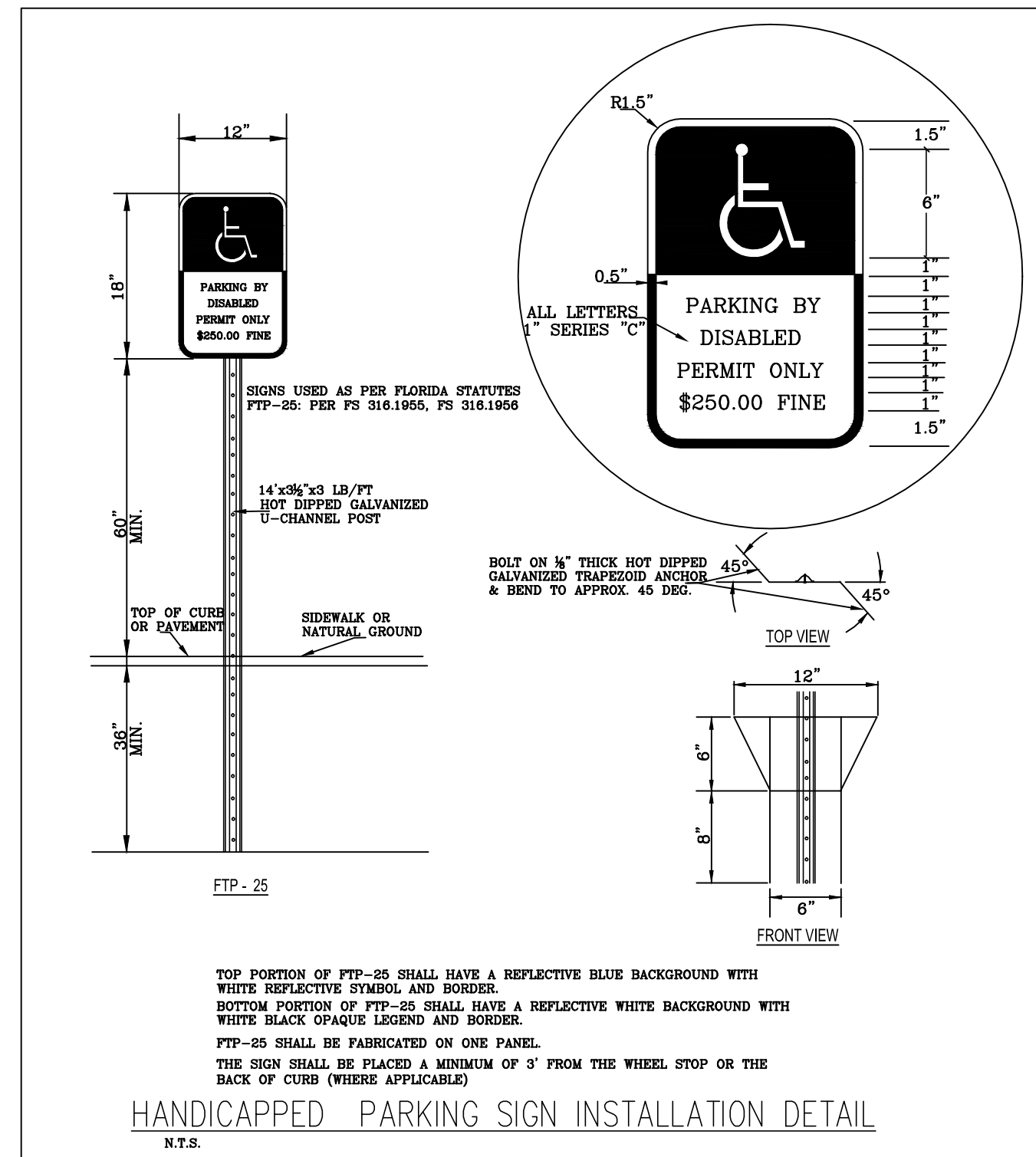
GENERAL NOTES

- All construction shall be in accordance with the latest Florida Department of Transportation Standard Specifications for Road and Bridge Construction with the Standard Specifications of the City of Fort Pierce jurisdiction.
- All applicable City permits must be obtained prior to commencement of construction.
- All work shall be done in a good workmanlike manner . Material installation shall be in accordance with manufacturer's recommendations.
- Shop drawings of all materials being used shall be submitted to the engineer of record for approval prior to commencement of construction .
- Contractor shall notify the city & the engineer of record 48 hours in advance prior to commencing work in city Right-of-Way.
- Contractor to be totally responsible for maintenance of traffic and safety of motorists and pedestrians using this site. Adjacent streets roadways and waterways during construction maintenance and safety procedures shall conform to M.U.T.C.D.
- All Elevations shown or referenced within these plans are based upon information obtained from survey.
- The existing elevations shown are for the purpose of indicating the approximate ground elevation at the location shown and in no way reflect surface conditions or subsurface soil condition.
- The locations of existing utilities shown on the approved plans are to be verified in the field by the contractor. Any discrepancies shall be brought to the attention to the engineer . At no time is the contractor to tamper with existing utilities except as noted on the plans.
- The contractor shall be responsible at all times throughout the duration of construction for the protection of existing and newly installed utilities from damage or disruption of service .
- All muck and yielding material within road right of ways , paved areas , sidewalks , building pads, drainage and utility trenched shall be removed completely and replaced with clean fill material in 8 inch layers compacted to 100% maximum density as determined by A.A.S.H.T.O. T-99C .
- Backfill and Bedding material shall be non-cohesive and non-plastic , free of debris , lumps , clods , wood , broken pavement or any organic or unstable material . No rocks larger than 6 inches shall be permitted as backfill or bedding.
- Record Drawing certified by a Florida Professional Engineer or Land Surveyor shall be submitted for review and approval to engineer of record and proper jurisdictions for final acceptance of the system .
- U.N.C.L.E. registration number must be shown on drawings prior to start of construction in right-of-way and prior to permit issuance .
- Turbidity barriers must be installed at all outfall locations prior to connecting to receiving waters. Turbidity barriers must remain in place until construction is completed , soils are stabilized and vegetation has been established .

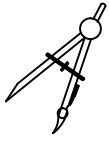
PAVING GRADING AND DRAINAGE NOTES :

- Asphalt pavement shall conform to applicable parts of section 300-339 as described in Florida D.O.T. standard specification for Road and Bridge Construction .
- Limerock base construction shall conform to applicable parts of section 200-230 as described in Florida D.O.T. Standard Specification for Road and Bridge Construction . Base course shall be compacted to a density not less than 98% of the maximum density as determined by A.A.S.H.T.O. T-180 and have a minimum LBR of 100. Prime coat application rate at .10 Gal/SY density tests for base course greater than 8 inches in depth shall be take in 6-in lifts.
- Compacted subgrade construction shall conform to applicable parts of section 120 , as described in Florida D.O.T. Standard Specification for Road and Bridge Construction compacted subgrade shall be compacted to 100 % maximum density as determined by A.A.S.H.T.O. T-99C .
- Proctor tests for subgrade and base materials shall be supplied by the developer . Density tests shall be taken at a minimum of one per 500 square yards . The developer shall pay for all testing if the required density is achieved . Contractor shall be liable for all retests for any failures . Tests location shall be determined by the Engineer of Record . Base/Asphalt shall not commence until satisfactory density tests have been reviewed by the Engineer of Record.
- All underground utilities situated in paved areas , included but not limited to ; sewer and water mains , gas mains , electrical distribution , telephone , etc. shall be completed and approved before any subgrade work commences .
- Concrete for curbs , gutters , drainage inlets , sidewalks , etc. shall be class 1 in accordance with F.D.O.T. Standard Specification for Road and Bridge Construction section 345.
- Pavement markings and signage shall conform to Florida D.O.T. Roadway and Traffic Design Standards , the Manual on Uniform Traffic Control Devices , with the Standards of the Agency having jurisdictions .
- Radii refer to edge of pavement unless otherwise noted.
- Materials and workmanship in county rights-of-way shall meet the requirements of the county.
- No asphalt shall be placed in city , county or state rights-of-way until certified as-built of the finished rock base have been submitted to and approved by proper agency.
- Any Muck (A-8) materials found in subgrade shall be removed and replaced with approved materials .
- All berms and grassed areas will be seeded and mulched . Slopes will be sodded .
- Location of drainage structures shall govern and pipe lengths may have to be adjusted to accomplish construction as shown on plans.
- If hardpan is encountered within retention area or swales , it shall be completely removed and replaced with granular material .
- Erosion and sediment control ; contractor is responsible for providing erosion and sediment control using the latest FDOT standards , baled hay , straw and siltation barriers will be installed where needed to prevent siltation of adjacent property , public right-of-way wetlands and waterways . These measures will remain in place until grassing or sodding has been completed or until siltation and erosion are no longer a threat to adjacent properties.
- Entrance traffic control , stop sign , stop bar and lane delineator shall be in accordance with M.U.T.C.D. specifications.
- MES indicates mitered end section per FDOT index # 272.
- All areas disturbed by construction shall be restored to pre-construction conditions or better.

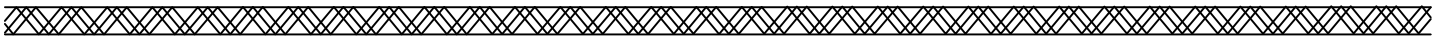
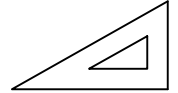
NOTE :
Proposed Sidewalks & Ramps
Must Comply W/ADA Standards



<p>ABRAHAM CHABAB, Inc. FL. BOARD OF PROF. ENG. AUTH.#26790</p>	<p>WOMEN'S CARE CENTER</p>	DESIGNED BY	AC	REVISIONS	DATE
		DRAWN BY	AC		
<p>1391 NW St. Lucie West Blvd #411 PORT ST. LUCIE FL. 34986 Email agchababi@msn.com Ph: 772-475-6630</p>	<p>GENERAL NOTES & DETAILS</p>	DATE	Aug. 15/2022		
		SHEET	4	4	



Abraham Chabab, Inc.
1391 NW St. Lucie West Blvd #411
Port St. Lucie, FL 34986



Sep. 21, 2022

Kevin Freeman, Planning Director
 City of Fort Pierce, Planning Dept.
 100 N. US#1
 Fort Pierce, FL 34954

RE : Traffic Statement for Women’s Care Center
Located at 510 N. 10th Street, Fort Pierce, FL.

Dear Mr. Freeman:

Proposed project is a medical office facility that will occupy 0.56 acres with a 4,200SF building and a parking lot that has 14 parking spaces. The facility will provide services Monday-Saturday from 8am-6pm. In this letter we have provided the following:

Existing Traffic Conditions:

Current level of service is "C" for most streets within 1 mile radius. Orange Ave, 25th Street, Avenue D. Okeechobee Rd and US#1.

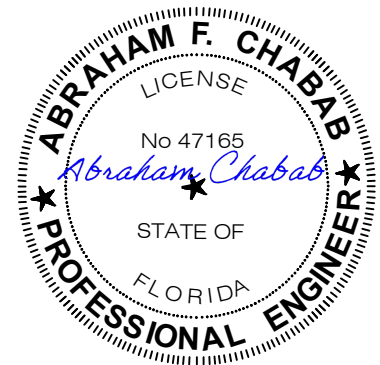
Traffic Distribution From Proposed Development:

Based on Concurrency Management Chapter 22-217, average peak traffic conditions are conducted during weekday hours from 6am-9am for AM counts and 4pm-7pm for PM counts. Trips associated with the proposed development during these hours will generate less than 35 trips per day.

Traffic Statement Summary:

This facility will generate less than 1% of current trip volume. Affected streets should experience little or no impact to traffic entering and exiting this facility and level of service will remain at its current LOS "C" This project has de minimis impacts on roadway links within 1 mile radius and is in compliance with the concurrency plan of the city of Fort Pierce.

This item has been digitally signed by
Abraham Chabab, PE on 9.26.22-7:56:21



Ph:772-475-6630
 Email: agchabab1@msn.com