



CONDITIONAL USE – NO NEW CONSTRUCTION

Property Information

Property address or Location

Parcel ID #(s)

Project description

Site Information

Building Size: _____ Parking Spaces: _____

Property Owner(s)

Applicant/Representative, Title, Company

Street Address

Street Address

City State Zip

City State Zip

Phone Number

Phone Number

Email Address

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Conditional Use approval is valid for one (1) year following City Commission approval.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Submittal Requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- As-built Survey
- Floor Plan of Existing Buildings
- Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage
- Lighting Plan
- Complete Application

The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 125-236, shall be reviewed as a unit in accordance with the requirements of section 125-313 except that:

1. The City Commission shall hold a public hearing in accordance with the provisions of section 125-38 prior to acting on the application for conditional use.
2. In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.



DESIGN REVIEW

Property Information

Property address or Location _____

Parcel ID #(s) _____

Project description _____

Property Owner(s)

Applicant/Representative, Title, Company

Street Address _____

Street Address _____

City State Zip _____

City State Zip _____

Phone Number _____

Phone Number _____

Email Address _____

Email Address _____

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Design Review Application Checklist **(City Code of Ordinances 125-314)**

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



DEVELOPMENT REVIEW

Property Information

Property address or Location _____

Parcel ID #(s) _____

Project description _____

Application Type

- Site Plan
 Conditional Use w/New Construction
 Conceptual Development Plan
 Minor Amendment
 Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: _____ Site Acreage: _____

Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Property Owner(s)

Applicant/Representative, Title, Company

Street Address

Street Address

City State Zip

City State Zip

Phone Number

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Email Address

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General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Architectonic Inc

POV Ft. Pierce Design Narrative

The primary functional design objective of the project was to provide unobstructed views of the ocean and beachfront from the main living floor (project's 2nd floor). The second most important design objective was to provide tall ceilings which are commonly found in new, modern homes. Due to the existing height of the dune and base flood elevation, the 2nd floor elevation needed to rise approximately 9ft 8in above the base floor elevation, consequently, greatly reducing the allowance for tall ceilings and structural requirements for a multi-level design. To achieve a functional, proportional, and aesthetically pleasing design, the project is requesting a Conditional Use height variance to allow the structure's maximum roof height to rise to 35ft, as similar to all of the newly constructed homes on the street. Additional purposes of the Conditional Use is due to the project being east of the Coastal Construction Control Line.

The maximum building height of the home is 35ft to the top of all main living area roofs, except for mechanical space required for the elevator landing and overrun to access the outdoor balcony. The elevator landing and overrun has been designed as an architectural feature consisting primarily of glass and is set back a distance from the front façade to virtually hide its presence when the home is viewed from street level.

Materials of different colors, sizes, and textures along with a meandering thin concrete band that wraps and folds around the exterior add proportion and scale to neighborhood.



ERIC & SANDRA OLSEN RESIDENCE

SURFSIDE DRIVE + FT. PIERCE, FL

MAY 08, 2023
IRRIGATION PLAN

IRRIGATION SPECIFICATIONS

SYSTEM DESCRIPTION:

This is an automatic irrigation system. Water supply is a 3/4" Municipal Water meter (shown on plans). The system consists of seven (7) zones. Flow rate is a minimum of 30 GPM to the valves, which the Contractor shall verify with the City.

WATER SOURCE:

Shall be a 3/4" Municipal Water Meter - with 3/4" PVB. Back flow device shall be code compliant. Contractor is responsible for Code requirements.

SYSTEM PIPE:

All pipe shall be Class 200 PVC or heavier. System Main shall be Sch.40 PVC pipe. All fittings shall be solvent weld Sch.40 fittings unless otherwise indicated in these specifications. Do not use SxMIP adapters except for shrub risers. Class 200 PVC main line pipe. Main shall be pressure tested with all valves in place and prior to backfilling. Test shall be 100 PSI for one hour. Loss of 10 PSI within the hour shall constitute failure. Solvent weld fittings and pipe ends shall be cleaned with an all purpose PVC pipe cleaner prior to applying glue. Main shall have a minimum of 24" of cover. All other pipe, laterals, etc. shall have a minimum 12" of cover. Backfill shall be free of debris and sharp objects. No rock larger than 3/4" shall be in contact with PVC pipe anywhere. All pipe above ground, with the exception of shrub risers, shall be galvanized, copper, bronze or ductile iron, and shall be painted with a flat black epoxy water proof paint. Shrub risers shall be Sch.40 or Sch.80 PVC and shall be painted with flat black epoxy paint.

1. Assembly for Solvent Weld PVC pipe:

- a. Cut square with PVC cutter, and deburr the cut prior to assembly.
- b. Clean PVC pipe with PVC cleaner prior to assembly.
- c. Use gray, heavy bodied, slow drying, high strength glue.
- d. Keep out of service for the length of time as specified by the Manufacturer of the PVC glue.

SLEEVES:

All pipe under paving (walks, planter walls and drives, etc.) shall be sleeved with Sch. 40 PVC or Galvanized Pipe as noted on plans. Sleeves shall extend beyond the edge of pavement and shall be marked. The water line shall be installed in sleeve prior to installation of the sleeve. Cap ends of water line during construction to prevent debris from entering. Sleeves under roads shall have a minimum cover of 18 inches.

SPRINKLERS:

All sprinklers shall be the type referred to in the Irrigation Key and shall be attached to the lateral with either flexible line (swing pipe) or a PVC swing joint such as those manufactured by Lasco, Rainbird or Dura Industries, specifically for irrigation use, being constructed with components utilizing Acme threads and o-ring seals. Pressure rating shall be 200 PSI, or greater, as stated by the manufacturer. Sprinklers using more than 4 GPM shall be connected utilizing PVC swing joints. Barbed fittings shall be same size as sprinkler inlet. Sprinklers shall be set flush with final grade and absolutely vertical. Use Stainless Steel risers on all rotor heads.

1. Spray heads shall be Rainbird 1806, 6" pop-up heads with Rainbird MPR series 5, 8,10 or 15 nozzles, unless otherwise specified in these drawings.

2. Spray heads in shrub beds shall be shrub adapters on Sch.40 risers. Height to be established by landscape architect. This plan requires 18" risers. Risers shall NOT be used next to paved areas and pedestrian walks where they are exposed to damage. In these areas use 12" pop-ups. Paint shrub risers with water proof black epoxy paint.

CONTROLLER:

RAINBIRD ESP-TM2 - 8 station controller to operate 7 sections + master valve. Controller shall be located in the main building (garage) where specified by the Owner. Grounding shall be equal to - or better than the manufacturer's recommendation. It shall also comply with the National Electrical Code. Both of these requirements preclude using the building or electrical supply line for grounding purposes. UL approved Ground Rod shall be utilized unless otherwise specified, or if the minimum resistance reading cannot be made. If minimum grounding cannot be made, utilize grounding plates until specified resistance is met.

RAIN SHUT-OFF DEVICE

Install a rain shut-off device out of the range of the sprinklers as per State DER requirements. Use Rainbird WR2 Series Wireless Sensor. Submit manufacturers equipment sheet prior to installation of any such device.

ELECTRIC CONTROL VALVES:

RAINBIRD PGA 24V electric control valves. All valves shall be housed in 16" x 12" rectangular Carson 1419B valve boxes or larger, and installed as per details. Control Valve shall be rated at 150 PSI or higher. Use bottom inlet whenever possible.

CONTROL WIRE:

Control wire shall be UL approved, solid core, PE or PVC covered irrigation control wire. SIZE: Use a minimum of 14 gage control and 12 gage bond wire. All splices and connections shall be made at pull boxes or valve boxes. (No field splices). Communication wire shall be as recommended by manufacturer. All splices shall be made with 3M brand DBY - 6 Direct Burial Splice Kit. All wire to be encased in UL approved PVC conduit. All wire to be brought back to controller. Wire pull boxes shall be 10" round Ametek or other approved boxes. Wire which is not rated for direct burial shall be installed in water tight conduit with water tight junction boxes.

MAINTENANCE:

It is the contractors responsibility to maintain the system, repairing leaks, repairing broken heads, adjusting sprinkler heads, flushing system, etc. until final acceptance by the Owner. Contractor shall instruct Owner maintenance personnel as to maintenance requirements for this irrigation system. Site shall be cleaned daily of trash and debris.

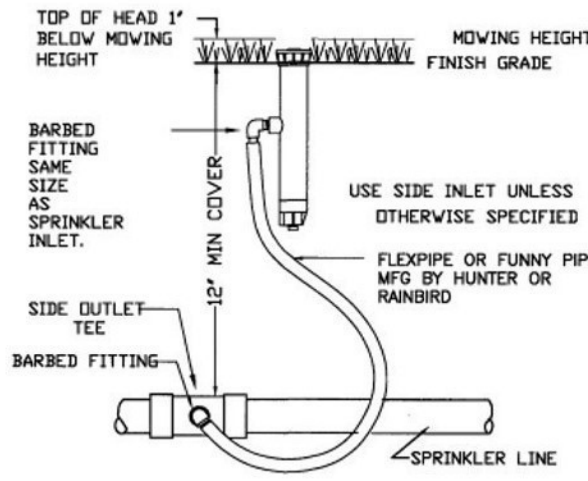
AS-BUILT DRAWINGS:

Contractor shall provide "as-built" drawings showing all changes. All valves and changes of direction on the main line shall have GPS coordinates noted on the as-built drawings. Controller program shall be part of this submission.

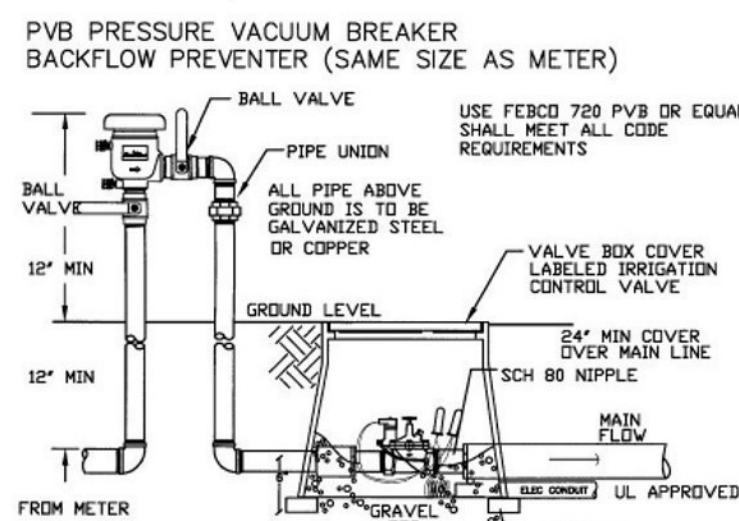
GUARANTEE:

The entire system shall be guaranteed for a period on one year from the time of final acceptance. All manufacturers written warranties and guarantees, as well as "as-built" drawings, maintenance and operational information, shall be turned over to the Owner prior to, and is a condition of final acceptance. Guarantee period shall not commence until all of the documents have been turned over to the Owners representative.

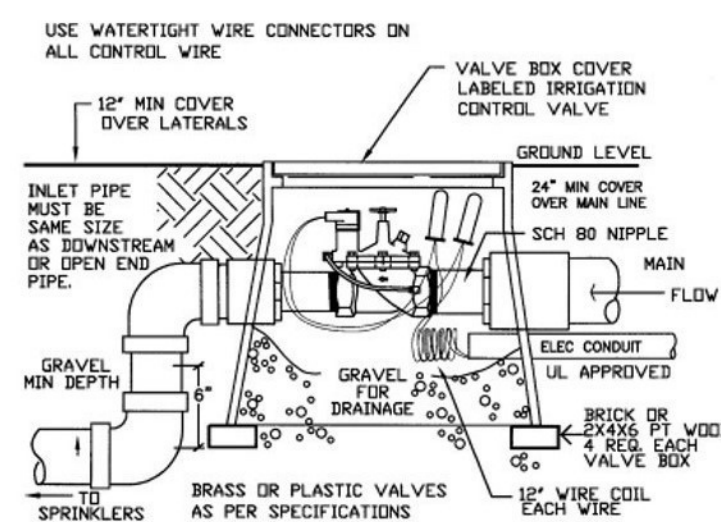
IRRIGATION DETAILS



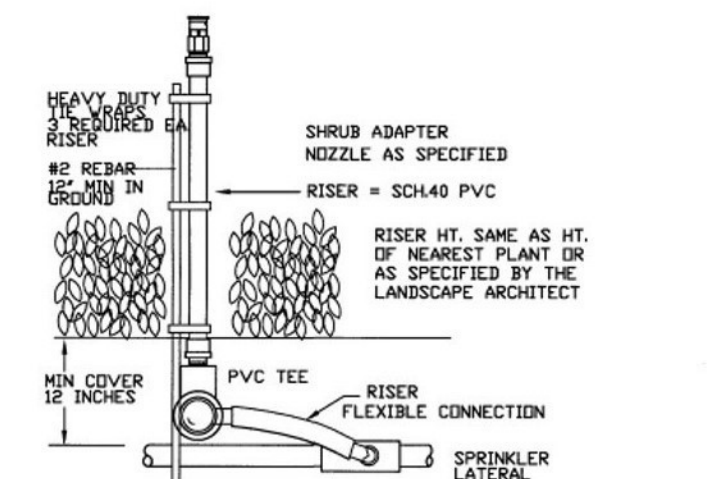
RAINBIRD 1806 POP-UP SPRAY



MASTER CONTROL VALVE WITH PVB and VALVE BOX



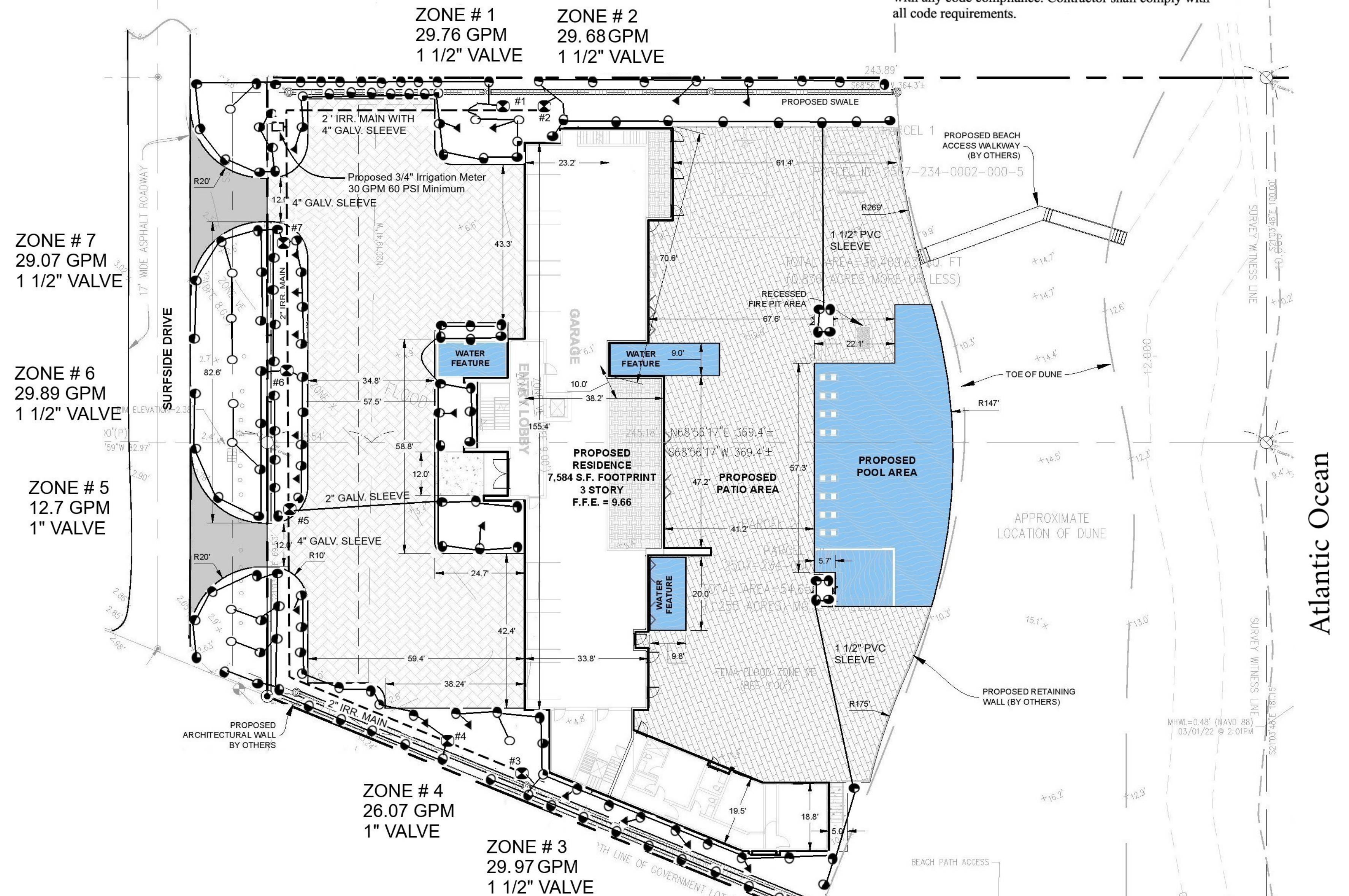
ELECTRIC REMOTE CONTROL VALVE WITH VALVE BOX



SHRUB SPRAY ON RISER

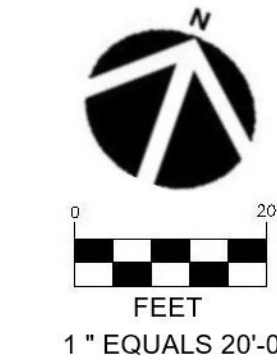


RAINBIRD ESP-TM2-8 CONTROLLER



IRRIGATION KEY

- POP-UP Rainbird 1806
Use with MPR Sprav Nozzles in arc and radius shown on plan:
Number designates radius of throw.
- FULL CIRCLE Rainbird MPR 10
- ◐ THREE QUARTER CIRCLE Rainbird MPR 5, 6 (8), 10, 15
- ◑ HALF CIRCLE Rainbird MPR 5, 6 (8), 10, 15
- ◒ QUARTER CIRCLE Rainbird MPR 5, 6 (8), 10, 15
- BUBBLER Rainbird 1404 - 1 GPM
- ⊗ 24 VOLT ELECTRIC CONTROL VALVE
- Ⓢ CONTROLLER Rainbird ESP-TM2 - 6 Station with WR2 Series Wireless Rain Sensor.



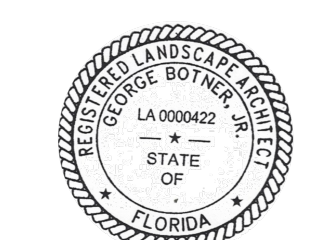
PREPARED BY:



GEORGE BOTNER, PLA, AICP
LANDSCAPE ARCHITECTURE & PLANNING
4320 S E Cove Lake Circle, Suite # 104
Stuart, FL 34997 botnerg@aol.com
(954) 798-7158 (Cell) (772) 221-9558

FL REG. # 0000422

DocuSigned by:



5/8/2023

DocuSigned by:

George Botner

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ERIC & SANDRA OLSEN RESIDENCE

SURFSIDE DRIVE + FT. PIERCE, FL

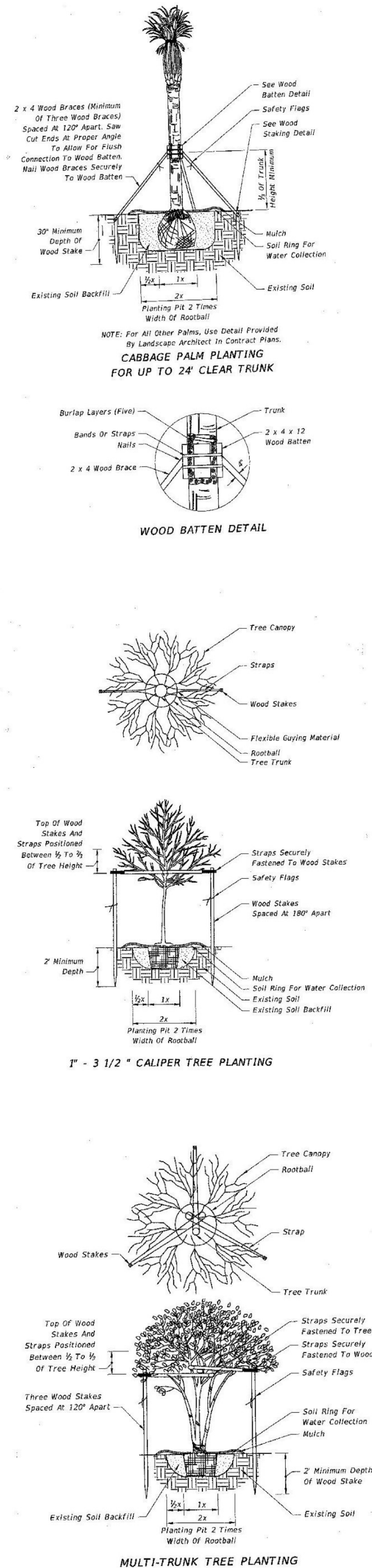
PLANTING PLAN

PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	N*	WW*	SIZE/SPECIFICATIONS
TREES					
3	Ilex vomitoria	Yaupon Holly	X	X	10' Ht., 2" DBH., 50 Gal.
7	Quercus virginiana	Live Oak	X	X	12' Ht., 2 1/2" DBH., 65 Gal.
4	Conocarpus erectus	Green Buttonwood	X	X	12' Ht., 2 1/2" DBH., 65 Gal.
4	Ilex cassine	Dahoon Holly	X	X	12' Ht., 2 1/2" DBH., 65 Gal.
1	Ligustrum lucidum	Tree Ligustrum	X	X	8' Ht., 1 1/2" DBH., 50 Gal.
1	Chrysophyllum oliviforme	Satin Leaf	X	X	10' Ht., 2" DBH., 40 Gal.
PALMS					
6	Wodyetia bifurcata	Foxtail Palm	X	X	8' Ht. Grey Wood, Matched
6	Livistona chinensis	Chinese Fan Palm	X	X	8' Ht. Grey Wood, Matched
8	Roystonea regia	Florida Royal Palm	X	X	6' G.W., Matched
7	Ptychosperma elegans	Solitaire Palm	X	X	8' G.W., Matched
SHRUBS					
39	Ixora coccinea 'Nora Grant'	Nora Grant	X	X	3 Gal., 24" Ht.
10	Chrysobalanus icaco	Cocoplum 'Red Tip'	X	X	3 Gal., 24" Ht.
111	Clusia guttifera 'Dwarf'	Dwarf Clusia	X	X	3 Gal., 24" Ht.
73	Hamelia patens 'Dwarf'	Firebush, Dwarf	X	X	3 Gal., 24" Ht.
8	Ilex vomitoria 'Shillings'	Dwarf Yaupon Holly	X	X	3 Gal., 24" Ht.
9	Gardenia jasminoides	Gardenia 'Jubilation'	X	X	3 Gal., 24" Ht.
GROUNDCOVERS					
597	Juniperus conferta	Shore Juniper	X	X	1 Gal.
255	Gaillardia pulchella	Blanketflower	X	X	1 Gal.
457	Liriope Muscari 'Emerald Goddess'	Liriope Emerald Goddess	X	X	1 Gal.
255	Tulbaghia violacea	Society Garlic	X	X	1 Gal.
LAWN GRASS					
SA	per plan	Stenothrum secundatum	St. Augustine 'Floritam'		Solid sod

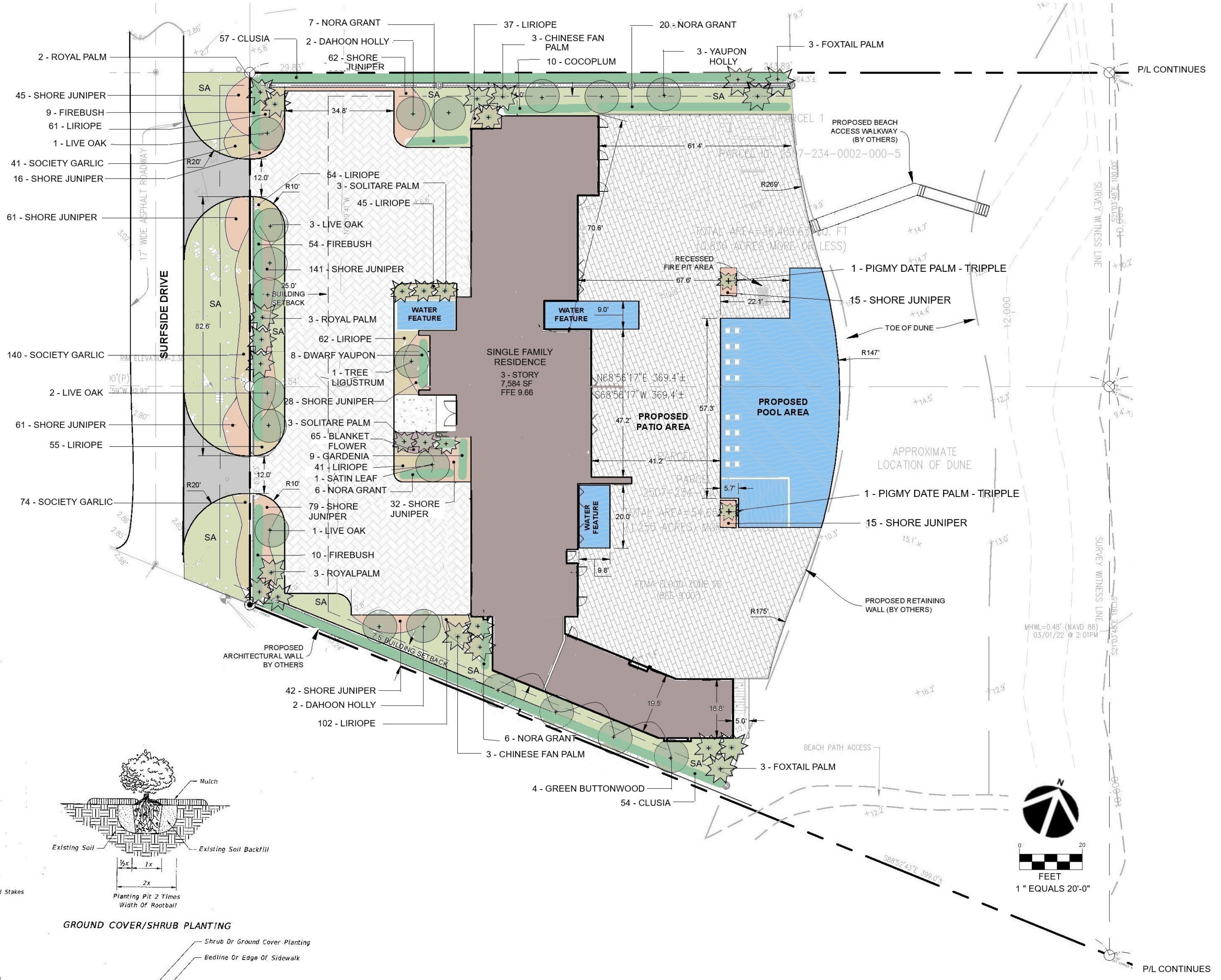
NOTE: *N = Florida Native; WW = Water Wise Drought tolerant

PLANTING DETAILS



PLANTING SPECIFICATIONS

- All plant materials shall be Florida Number 1 as provided in the most current edition of the "Grades and Standards for Nursery Plants, Parts I & II" prepared by the state Department of Agriculture and Consumer Services.
- All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
- Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, Topsoil, Fertilizer, etc. shall be included in the unit cost of the plants.
- Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or Plant List, the plan takes precedence.
- All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded eucalyptus or Floramulch grade "B" or better. Refer to the Plant List for the specified mulch type. Alternative mulch material is required to be approved by Landscape Architect.
- The Planting Plan shall be installed in compliance with all existing codes and applicable deed restrictions.
- PLANTING SOIL:** All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas.
- Planting soil to be a weed-free mixture of 50% sand and 50% much or other organic planting material suitable to the Landscape Architect
- Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
- Contractor shall be responsible for providing final grading of all associated planting areas.
- After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off site.
- No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
- Contractor shall stake and guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during the Warranty Period and removal and disposal of staking after the establishment period.
- Fertilizer is required for plantings and shall be NPK 16-4-8 at 12.5 lbs/1000 s.f. or 345 lbs/acre. Nitrogen 50% slow release form and fertilizer to include secondary/minor micronutrients.
- SUBSTITUTIONS AND CHANGES:** All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Landscape Architect, the Owner and governing municipality.
- WATERING:** All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed and thereafter for a period of 2-months.
- All new plant material shall be guaranteed for 1-year from time of final acceptance of the project. Any plant material not in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10-days of notification. For all replacement plant material, the warranty period shall be extended an additional 45-days beyond the original warranty period. All trees that lean or are blown over, caused by winds less than 75-MPH, will be re-set and braced by the contractor at no additional cost to the Owner.
- The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown submitted.
- No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
- Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
- Root prune all field grown trees a minimum of 8-weeks prior to planting.



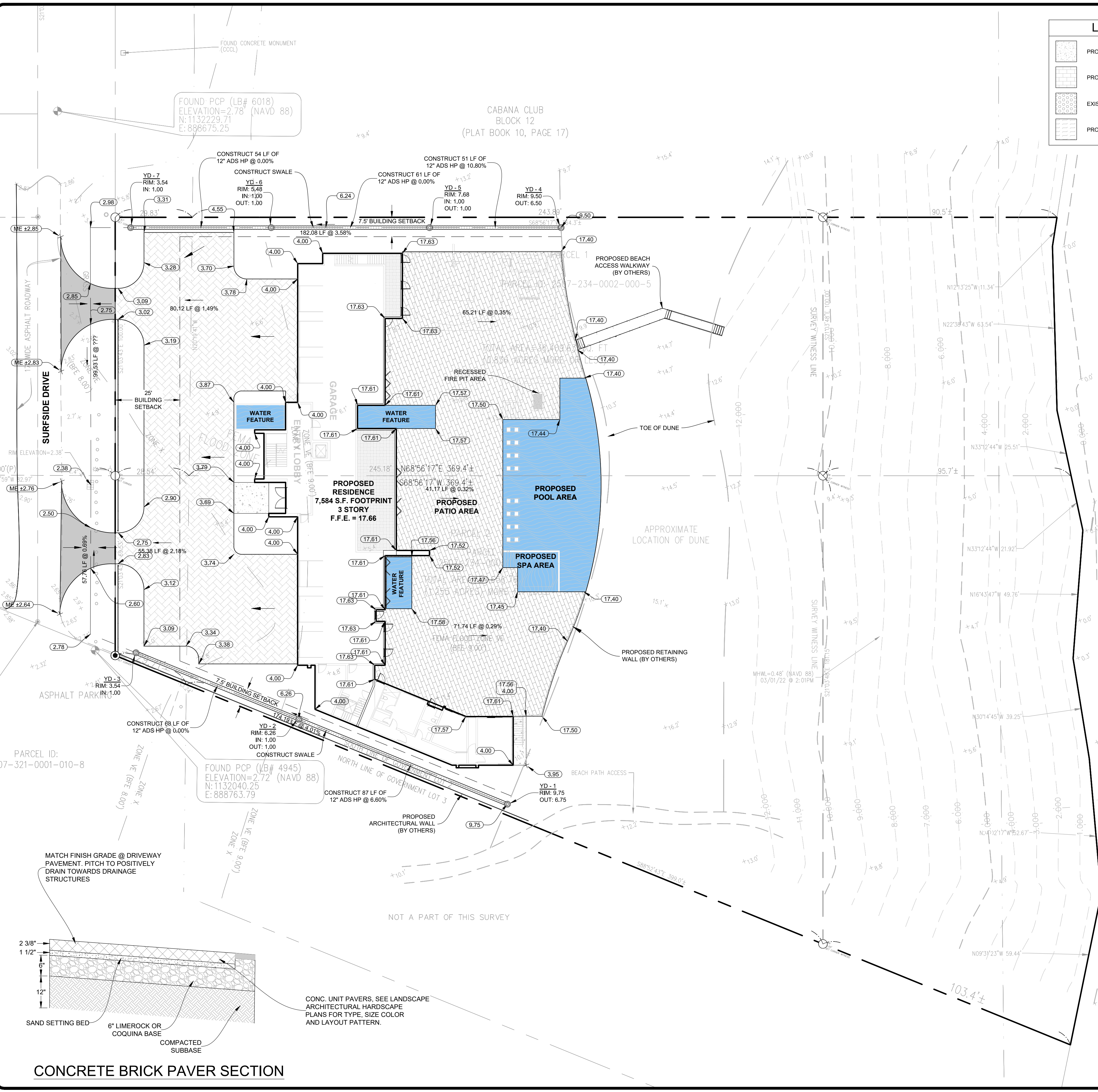
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FL REG. # 0000422



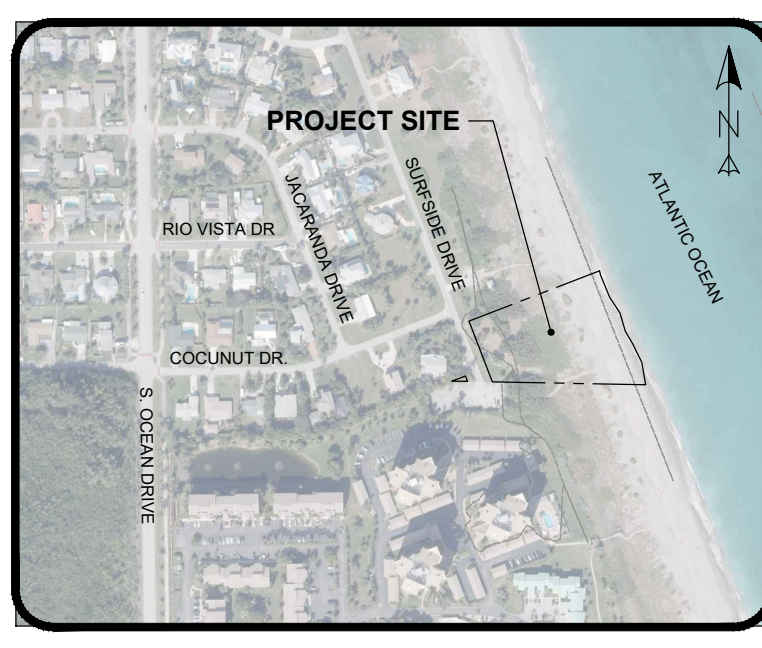
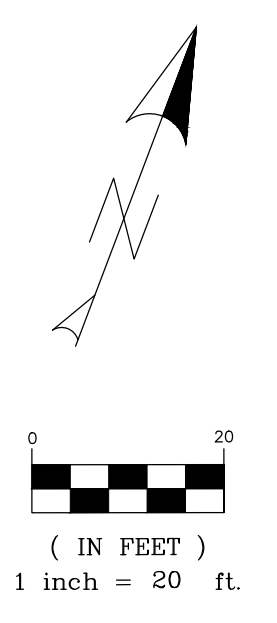
GEORGE BOTNER, PLA, AICP
LANDSCAPE ARCHITECTURE & PLANNING
 4320 S E Cove Lake Circle, Suite # 104
 Stuart, FL 34997 botnerg@aol.com
 (954) 798-7158 (Cell) (772) 221-9558

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



LEGEND

- PROPOSED CONCRETE
- PROPOSED PATIO DECK
- EXISTING COASTAL STRAND
- PROPOSED POOL



SITE DATA

TOTAL SITE AREA: 51,400 S.F. (1.18 AC.)
 PARCEL ID: 2507-234-0002-000-5
 ZONING: (R-2) SINGLE FAMILY INTERMEDIATE
 FUTURE LAND USE: (RL) LOW DENSITY RESIDENTIAL
 PROJECT ADDRESS: SURFSIDE DRIVE, FORT PIERCE FLORIDA, 34949

PROJECT NAME: ARCHITECTONIC - OLSEN, SURFSIDE DRIVE
 OWNER/DEVELOPER: ERIC & SANDRA OLSEN

LAND USE TABLE

LAND USE	AREA (S.F.)	AREA (AC)	PERCENT
GROSS PROPOSED DEVELOPMENT AREA:	51,400 S.F. (±1.18 AC)	100.00%	
PROPOSED DECK	±10,604 S.F.	0.24 AC	20.63%
PROPOSED POOL	±2,505 S.F.	0.06 AC	4.87%
PROPOSED BUILDING	±7,584 S.F.	0.17 AC	14.75%
PROPOSED PAVING	±9,093 S.F.	0.21 AC	17.69%
TOTAL IMPERVIOUS	29,786 S.F.	0.68 AC	57.94%
GREEN AREA/OPEN SPACE	21,614 S.F.	0.50 AC	42.06%

LEGAL DESCRIPTION:

PARCEL 1
 THAT PART OF GOVERNMENT LOT 2 OF SECTION 7, TOWNSHIP 35 SOUTH, RANGE 41 EAST, ST. LUCIE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGIN AT THE MOST SOUTHERN CORNER OF THE TRACT DESIGNATED AS CABANA CLUB, BLOCK 12 ON THE PLAT OF SURFSIDE, UNIT ONE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 10, PAGE 17 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE BEING A POINT IN THE EASTERLY LINE OF SOUTH OCEAN DRIVE; THENCE RUN SOUTHEASTERLY ALONG THE EASTERLY LINE OF SOUTH OCEAN DRIVE (BEING ALSO PARALLEL WITH AND 60 FEET DISTANT FROM THE NORTHEASTERLY LINE OF LOT 2, BLOCK 18, SURFSIDE, UNIT TWO), A DISTANCE OF 100 FEET; THENCE AT RIGHT ANGLES WITH THE LAST LINE, RUN NORTHEASTERLY TO THE HIGH WATER MARK OF THE ATLANTIC OCEAN; THENCE RUN NORTHWESTERLY ALONG SAID HIGH WATER MARK OF THE ATLANTIC OCEAN TO A POINT OF 100 FEET DISTANT FROM THE LAST PRECEDING BOUNDARY LINE WHEN MEASURED AT RIGHT ANGLES THERETO, SAID POINT BEING ON THE SOUTH LINE OF AFORESAID CABANA CLUB TRACT; THENCE SOUTHWESTERLY ALONG THE SOUTH LINE OF CABANA CLUB TRACT TO THE POINT OF BEGINNING; LESS AND EXCEPTING THEREFROM ALL RIGHTS-OF-WAY FOR PUBLIC ROADS AND DRAINAGE CANALS.

PARCEL 2
 A PARCEL OF LAND SITUATE IN GOVERNMENT LOT 2, SECTION 7, TOWNSHIP 35 SOUTH, RANGE 41 EAST, ST. LUCIE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: A PARCEL OF LAND BOUND ON THE NORTH BY THE NORTH LINE OF GOVERNMENT LOT 3 OF SAID SECTION 7, TOWNSHIP 35 SOUTH, RANGE 41 EAST; ON THE WEST BY SOUTH OCEAN DRIVE, AS THE SAME IS DELINEATED ON THE PLAT OF SURFSIDE, UNIT ONE, ON FILE IN PLAT BOOK 10, PAGE 17 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; ON THE NORTH BY A LINE PARALLEL WITH AND 100 FEET SOUTHERLY, AS MEASURED AT RIGHT ANGLES, THE SOUTH BOUNDARY LINE OF BLOCK 12, OF SAID SURFSIDE, UNIT ONE; AS SUCH LINE EXTENDS FROM SOUTH OCEAN DRIVE TO THE HIGH WATER MARK OF THE ATLANTIC OCEAN AND EAST BY SAID HIGH WATER MARK OF THE ATLANTIC OCEAN, LESS AND EXCEPTING THEREFROM ALL RIGHT-OF-WAY FOR PUBLIC ROADS AND DRAINAGE CANALS.

- SURVEYORS NOTES:**
- ALL ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88).
 - ALL LOT DIMENSIONS SHOWN ARE PER PLAT UNLESS OTHERWISE SHOWN.
 - NO UNDERGROUND UTILITIES OR IMPROVEMENTS WERE LOCATED UNLESS OTHERWISE SHOWN.
 - THIS SITE LIES WITHIN FLOOD INSURANCE RATE MAP ZONE X & VE (BFE OF 8.00') MAP# 12111C0183K DATED: 2-19-2020.
 - FLOOD ZONE SHOWN HEREON IS AN INTERPRETATION BY THE SURVEYOR AND IS PROVIDED AS A COURTESY. THE FLOOD ZONE SHOULD BE VERIFIED BY A DETERMINATION AGENCY.
 - THE BEARING BASE FOR THIS SURVEY IS N01D06RE27(MINUTE)25(SECOND)W ALONG THE EAST SECTION LINE OF SECTION 21-32S-40E. THE SAME AS THE EAST LINE OF GOVERNMENT LOT 4 OF SAID SECTION. ALL OTHER BEARINGS ARE RELATIVE THERETO. THE COORDINATES, AS SHOWN ON THIS MAP, REFER TO STATE PLAN COORDINATES, FLORIDA EAST ZONE, NAD 83 (2011 ADJUSTMENT).
 - P.U.D.E. DENOTES PUBLIC UTILITIES AND DRAINAGE EASEMENT, U.E. DENOTES UTILITY EASEMENT, CCL DENOTES COASTAL CONSTRUCTION LINE.
 - THE ACCURACY OF THIS SURVEY IS PREMISED ON THE EXPECTED USE OF THE SURVEY, THE EXPECTED USE / PURPOSE OF THIS SURVEY IS VACANT LOT PURCHASE. ACCURACY ±1 FOOT IN 7,500 FEET OR BETTER.

- CONTRACTORS NOTES:**
- ALL FILL MATERIAL SHALL MEET THE SPECIFICATIONS AND CRITERIA OF F.A.C. 623-33.005(7).
 - FACE OF ARCHITECTURAL WALL SHALL BE AT LEAST 1" FROM PROPERTY LINE
 - YARD DRAINS SHALL BE 12" DIAMETER ADS NYLOPLAST (OR APPROVED EQUIVALENT)
 - ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR TO COORDINATE ELEVATION OF PAVERS AND PATIO DECK SLAB

EDC ENGINEERS & SURVEYORS ENVIRONMENTAL

10250 VILLAGE PARKWAY
 SUITE 201
 PORT ST. LUCIE, FL 34987
 772-462-2455
 www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 8935
 L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY
DRAWN BY
CHECKED BY
FILE NAME
SITE GRADING
LAYOUT
AS SHOWN
SCALE
DATE

REVISION COMMENTS

NO.	DATE	DESCRIPTION

ARCHITECTONIC - OLSON
RESIDENTIAL
SITE GRADING PLAN
 FLORIDA
 FORT PIERCE

STEVEN G. FRINK, P.E. (DATE)
#95595

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