

DELIVER TO:

City of Fort Pierce, Purchasing Division
 Room 101
 100 North U.S. #1
 Fort Pierce, FL 34950

MAIL TO:

City of Fort Pierce Purchasing Division,
 Room 101
 P.O. Box 1480
 Fort Pierce, FL 34954-1480

CITY OF FORT PIERCE

**INVITATION TO BID
 and
 BIDDER ACKNOWLEDGMENT**

Bid Writer: Latonya Hubbard, 772-467-3102

Bid No: 2023-024

Mandatory Site-Visit:

N/A

Bid Title: DISPOSITION OF FPRA SURPLUS
 PROPERTIES – 1204 AVENUE E

Mandatory Site-Visit Location:

N/A

Bid Opening Location:

Purchasing Division Conference Room, Room 101
 100 North U.S. #1, 1st Floor
 Ft. Pierce, Florida 34950

Bid Due Date & Time

3:30PM, THURSDAY, FEBRUARY 27, 2023

If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.

Bidder Name:

2nd Generation Building Corp

I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.

Mailing Address:

966 NW Leonardo Cir.

X

Authorized Signature (Manual)

City, State, Zip Code:

Fort St Lucie FL 34986

Typed or Printed Name:

Joseph Basso

Type of Entity (Select one):

Corporation

Partnership

Proprietorship

Title:

president

2nd Gen. Bldg Corp

Incorporated in the State of: FL **Year:** 2014

Delivery in _____ **days, After Receipt Order**

Phone Number: 772 201 0280

Payment Terms:

Fax Number:

FEIN or SS Number: 47-2591128

E-Mail Address: ginger@2ndgbc.com

Local Business: Y N **MWBE:** Y N

Bid Security is attached, when required, in the amount of \$ 20,000.00

If returning as a "No Bid" state reason:

F.O.B. DESTINATION

THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID



**CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES
Bid No. 2023-024**

Date: 2-23-23

I/we propose to purchase property located at: 1204 Avenue E

PROPOSED SUBMITTED BY:

Legal Name (s): 2nd Generation Building Corp
 Address: 966 NW Leonardo Cir. PSE FL 34986
 Day-time Phone Number: _____ Mobile Number: 772 201 0780
 Email: ginger@2ndgbc.com

INTENDED USE

I/we propose to use the property for:

New construction of either single family home or 2-3 bedroom duplex(es) whichever is allowed for zoning.

Will this property be your primary residence? _____ Yes No

If not above, what do you intend to develop the property for: Rental _____ Resale _____ Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

New construction of either s/f home or duplex(es) Plans and landscape plan are attached to be constructed within 1 year.

(Attach pages as needed)

Total value of all proposed improvements to the property: \$ 130,000.-

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ 20,000.- for the property.

BIDDER'S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.



Bidder of Authorized Representative

Joseph Basso

Typed Name

2-23-23

Date

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

Yes No **Timeline to complete construction project**

Yes No **Construction Cost Estimate**- improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

Yes No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

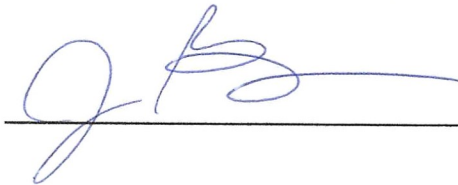
CITY OF FORT PIERCE BIDDER'S CHECKLIST

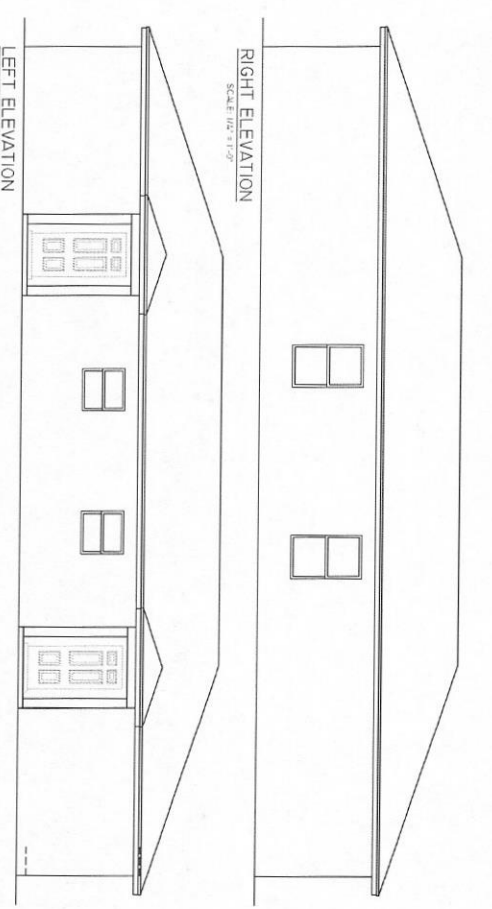
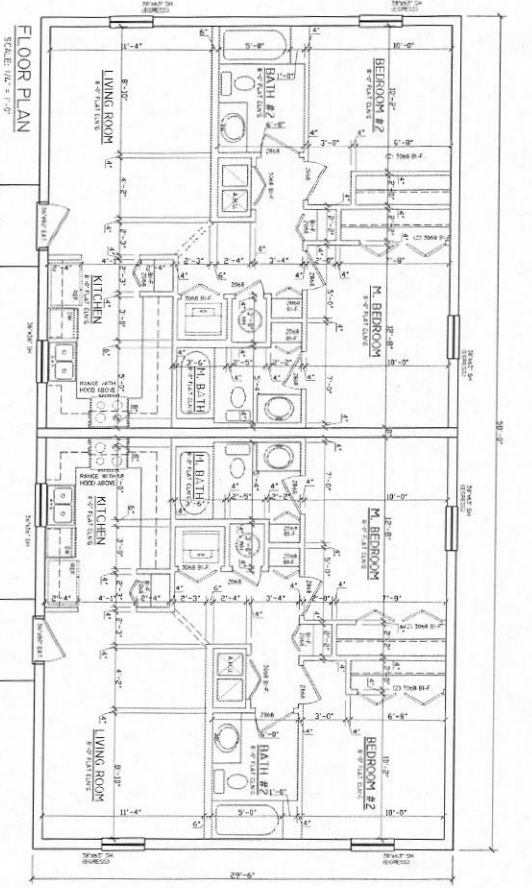
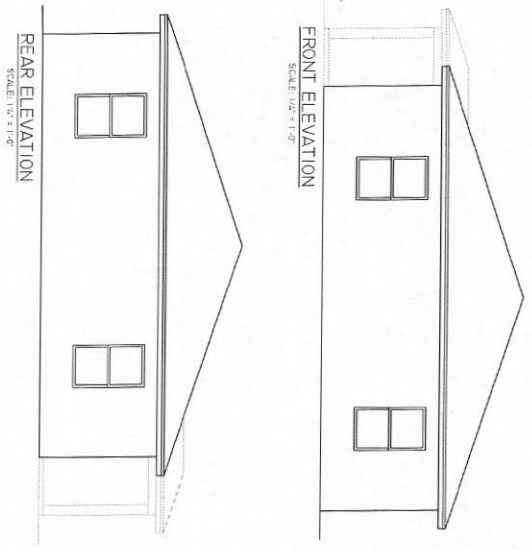
This checklist is provided to assist each Bidder in the preparation of their bid response. Included in this checklist are important requirements, which is the responsibility of each Bidder to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Bidder to read and comply with the Invitation to Bid in its entirety.

Check "Yes" or "No" to each of the following:

	YES	NO
Is the Bidder's Narrative/Summary included?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the proof of Financial Ability/Letter from financial institution included?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the Development Plan included:		
Preliminary building plans included	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Timeline to complete the construction project	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Construction cost estimates included	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Landscaping plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Property development utilization	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is Invitation to Bid cover page (page 1) completed, signed, and attached?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the Offer to Purchase Form (page age 14-16) completed, signed and attached?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Bid envelope is marked accordingly.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

PLEASE SIGN AND RETURN WITH BID:





GENERAL NOTES:
 1. THESE DRAWINGS WERE PREPARED BY THE ARCHITECT AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY OTHER USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED.
 2. THE ARCHITECT HAS NOT CONDUCTED A VISUAL INSPECTION OF THE SITE OR THE EXISTING CONDITIONS THEREIN.
 3. THE ARCHITECT HAS NOT CONDUCTED A VISUAL INSPECTION OF THE EXISTING CONDITIONS THEREIN.
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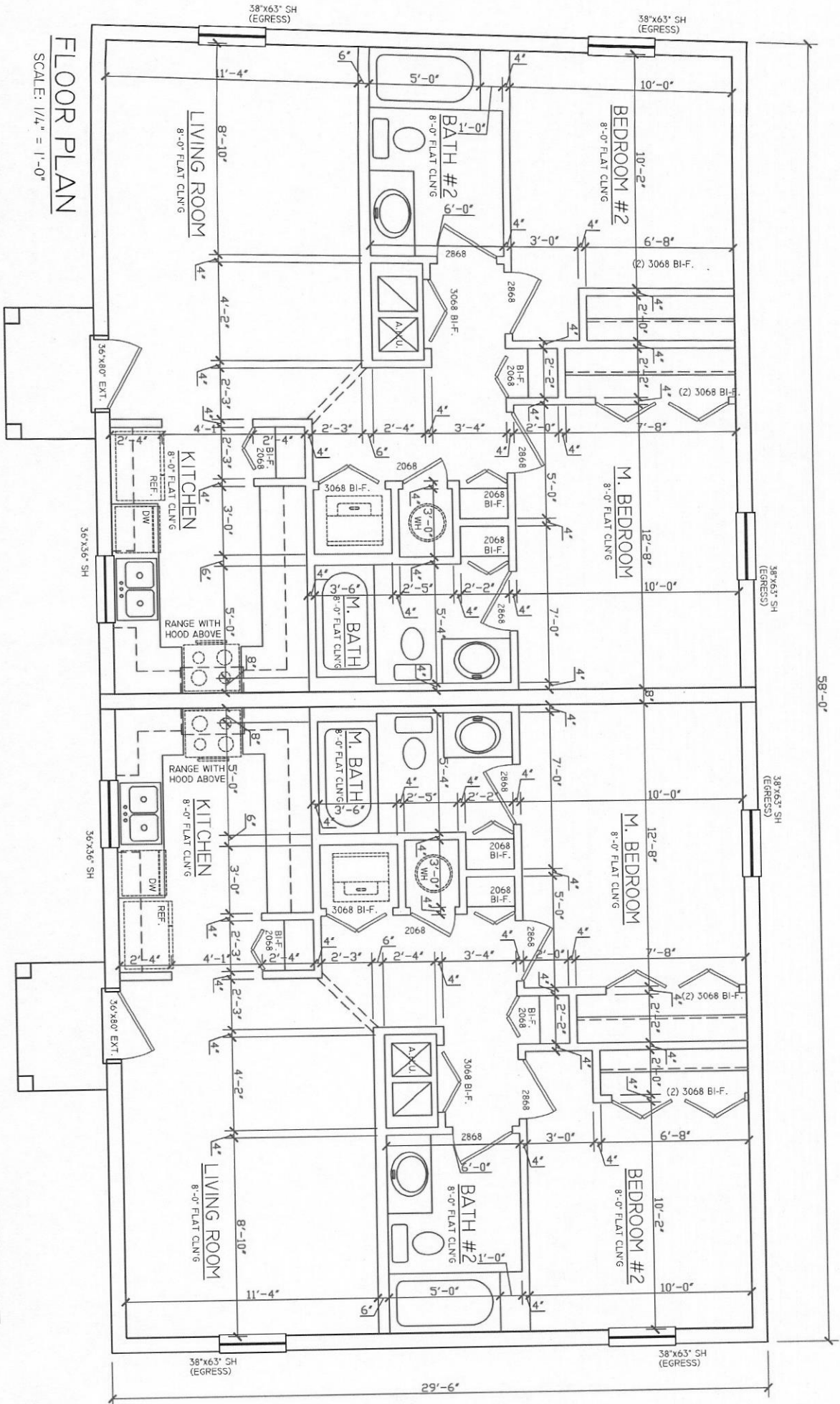
AI <small>ARCHITECT</small>	-DUPLEX FOR- ***	 EDC <small>ENGINEERING AND DESIGN CONCEPTS, INC.</small>	 <small>2155 FAULTY BOY ROAD STE. 6 FALL RIVER, RI 02841 TEL: (401) 724-0740 FAX: (401) 914-6200 EMAIL: INFO@EDC-RI.COM WWW.EDC-RI.COM</small>	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DATE</th> <th style="width: 80%;">DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION								

FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA TABULATION (2-19-20)	
LIVING	865 SQ. FT.
ENTRY	53 SQ. FT.
TOTAL	918 SQ. FT.

AREA TABULATION (2-19-20)	
LIVING	865 SQ. FT.
ENTRY	23 SQ. FT.
TOTAL	878 SQ. FT.



DUPLEX RESIDENCE

AT

1231 AVENUE K

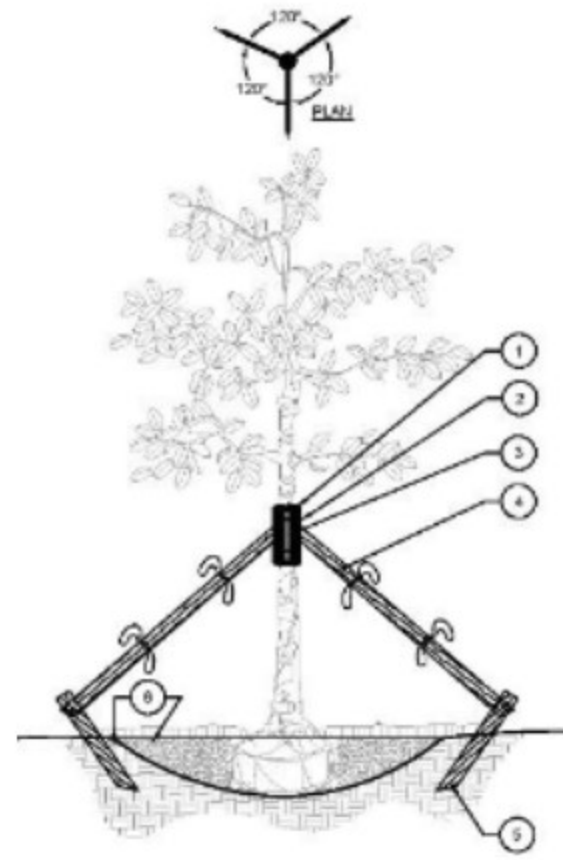
FORT PIERCE, FL

FEBRUARY 9, 2021
PLANTING PLAN

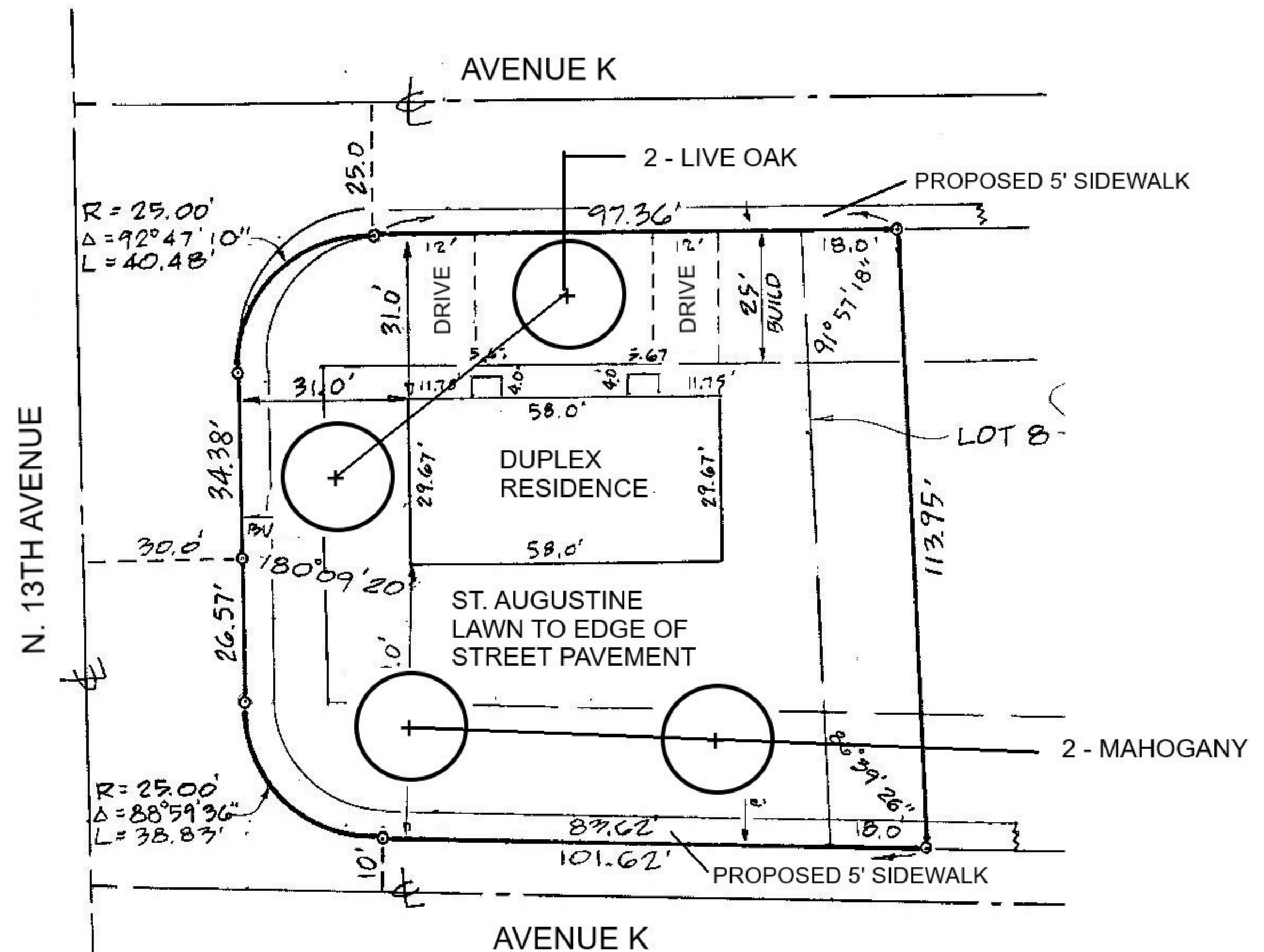
PLANTING SPECIFICATIONS

- All plant materials shall be Florida Number 1 as provided in the most current edition of the "Grades and Standards for Nursery Plants, Parts I & II" prepared by the state Department of Agriculture and Consumer Services.
- All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
- Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, Topsoil, Fertilizer, etc. shall be included in the unit cost of the plants.
- Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or Plant List, the plan takes precedence.
- All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded bark of eucalyptus or Floramulch grade "B" or better. Refer to the Plant List for the specified mulch type. Alternative mulch material is required to be approved by Landscape Architect.
- The Planting Plan shall be installed in compliance with all existing codes and applicable deed restrictions.
- PLANTING SOIL:** All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas.
- Planting soil to be a weed-free mixture of 50% sand and 50% much or other organic planting material suitable to the Landscape Architect.
- Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
- Contractor shall be responsible for providing final grading of all associated planting areas.
- After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off site.
- All planting holes to be hand dug except where machine dug holde will not adversely affect or damage utilities or improvements (see note 7).
- No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
- Contractor shall stake and guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during the Warranty Period and removal and disposal of staking after the establishment period.
- Fertilizer is required for plantings and shall be NPK 16-4-8 at 12.5 lbs/1000 s.f. or 345 lbs/acre. Nitrogen 50% slow release form and fertilizer to include secondary/minor micronutrients.
- SUBSTITUTIONS AND CHANGES:** All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Landscape Architect, the Owner and governing municipality.
- WATERING:** All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed and thereafter for a period of 2-months.
- All new plant material shall be guaranteed for 1-year from time of final acceptance of the project. Any plant material not in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10-days of notification. For all replacement plant material, the warranty period shall be extended an additional 45-days beyond the original warranty period. All trees that lean or are blown over, caused by winds less than 75-MPH, will be re-set and braced by the contractor at no additional cost to the Owner.
- The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown submitted.
- No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
- Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
- Root prune all field grown trees a minimum of 8-weeks prior to planting.

PLANTING DETAIL



- FIVE (5) LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO (2) STEEL BANDS TO SECURE BATTENS
 - FIVE (5) 2 X 4 X 10' WOOD BATTEN
 - THREE (3) 2" X 8' LODGE POLES DRILL USING GALVANIZED SCREWS TO BATTENS AND 2" X 4" STAKES. NO SCREWS SHALL PENETRATE TREE FLANK AT ANY POINT AND AT BASE.
 - 2" X 4" X 10' WOOD STAKES BURIED 3" BELOW FINISHED GRADE
 - FINISHED GRADE (SEE GRADING PLAN)
- NOTES:**
- ALL TREES SHALL BE PLUMB VERTICALLY WITHIN A TOLERANCE OF THREE DEGREES, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
 - FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - ALTERNATE TREE ANCHORING SYSTEMS MAY BE SUBSTITUTED FOR IN-GROUND STAKING SYSTEM UPON APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
 - PRE-APPROVED SYSTEMS: "BRACKS" TREE BRACING "ARBOR" TREE BRACING "RUBBER HOSSWARE" SYSTEMS ARE NOT ALLOWED.



PLANT SPECIFICATIONS

- 2 EACH LIVE OAK QUERCUS VIRGINIANA 12 HT, 5' SPR, 4' CT 2 1/2" CAL (DBH) FLA # 1
- 2 EACH MAHOGANY SWETINIA MAHOGANI 12' HT, 5' SPR, 4' CT 2 1/2" CAL (DBH) FLA #1

LAWN ST. AUGUSTINE "FLORITAM" SOLID SOD, WEED FREE, APPLY IN ALL OPEN AREAS



GEORGE BOTNER PLA AICP
LANDSCAPE ARCHITECTS & PLANNERS
 4320 SE COVE LAKE CIRCLE, SUITE 104, STUART, FL
 34997. (772) 221-9558 CELL: (954) 798-7158
 botnerg@aol.com www.georgebotner.com

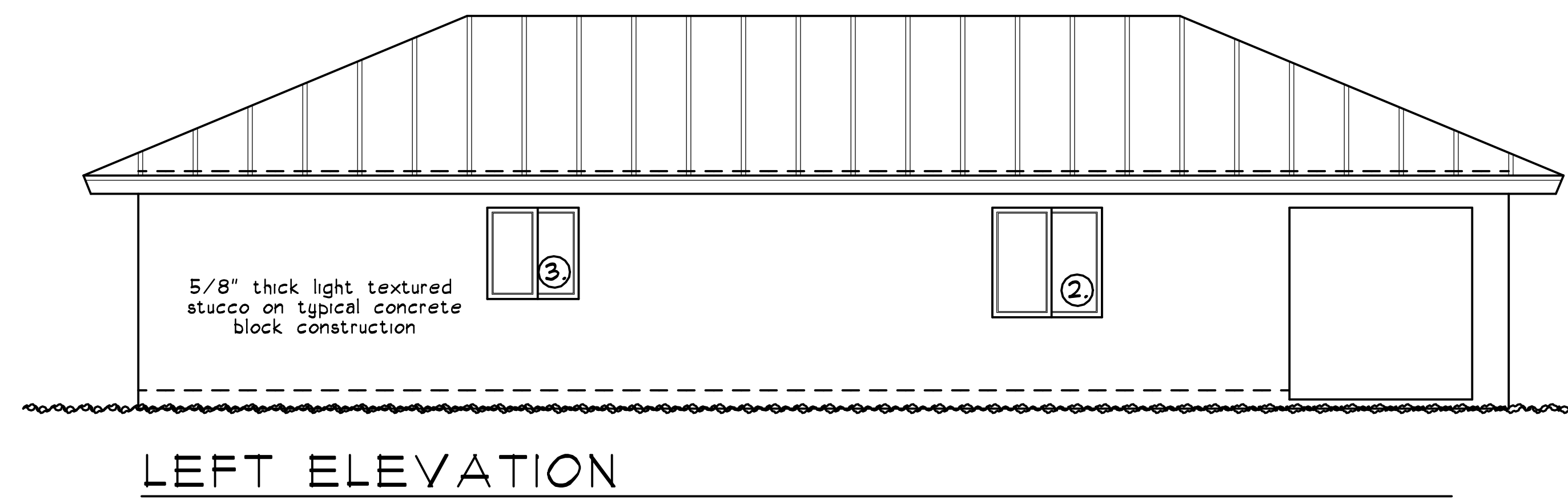
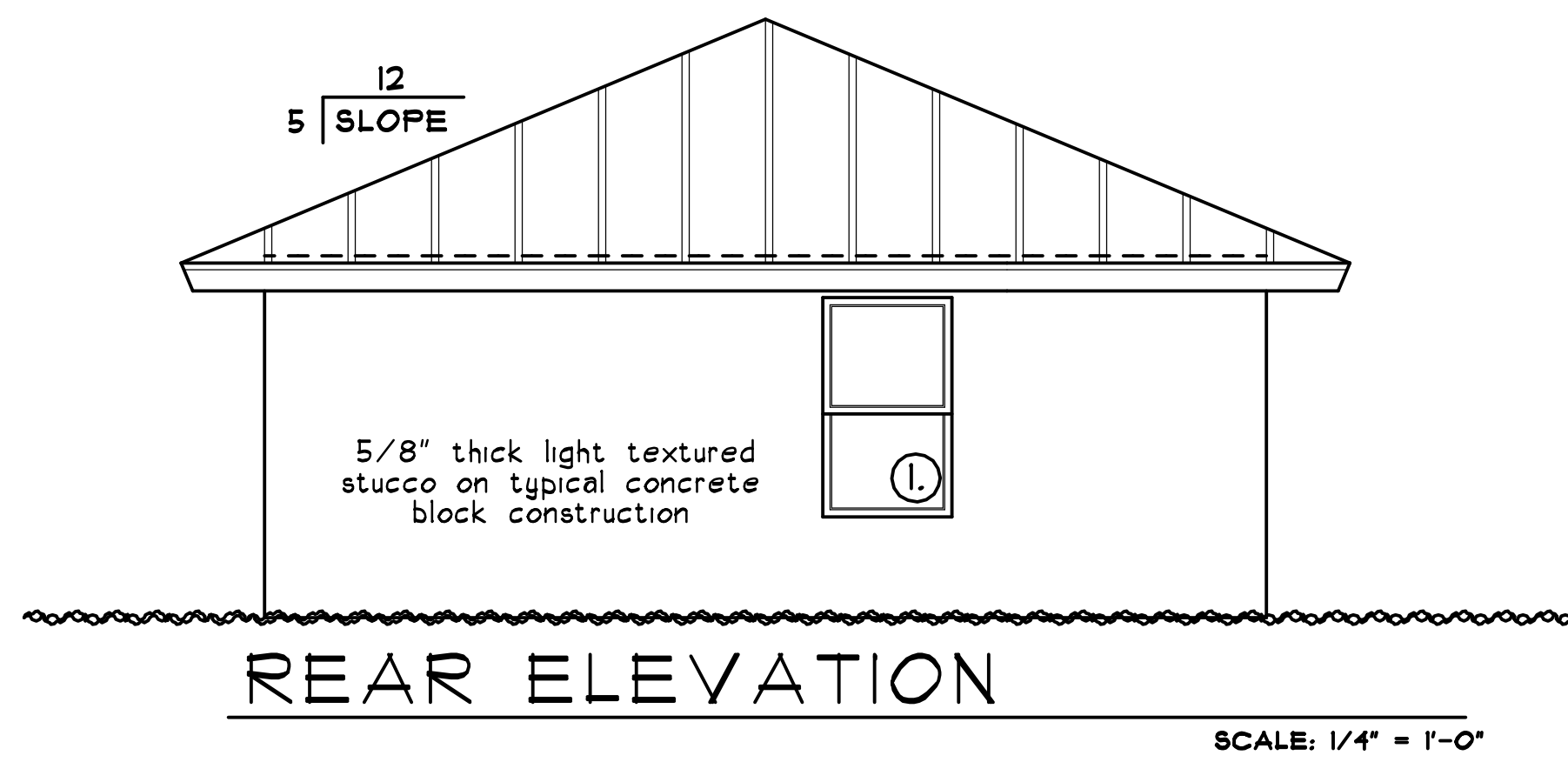
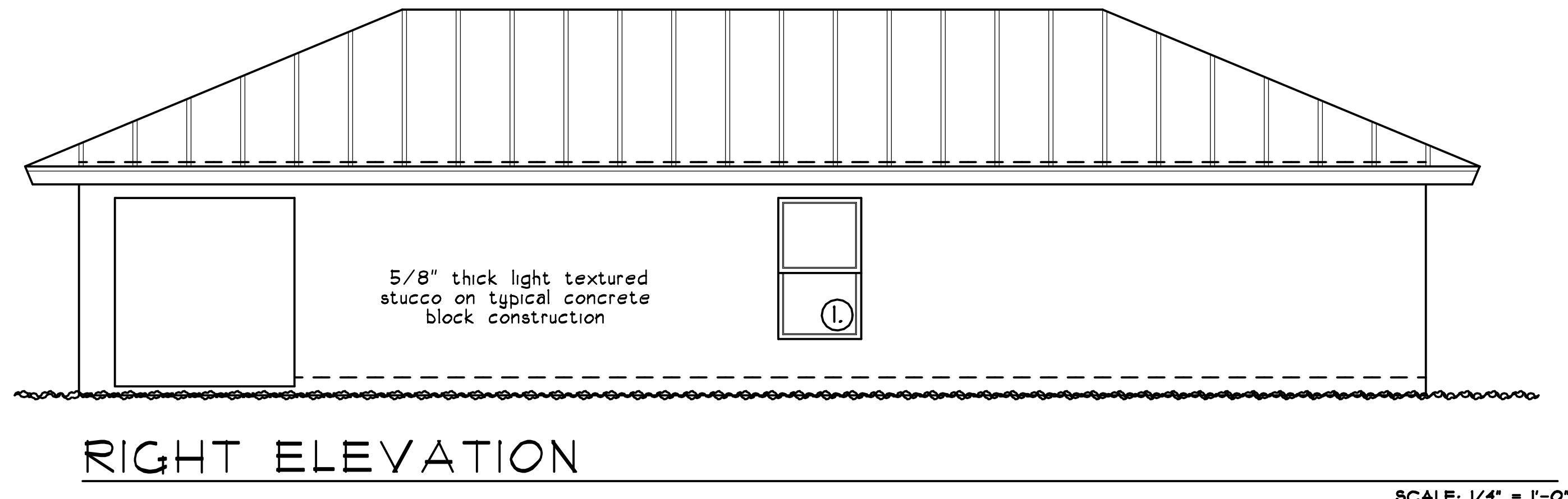
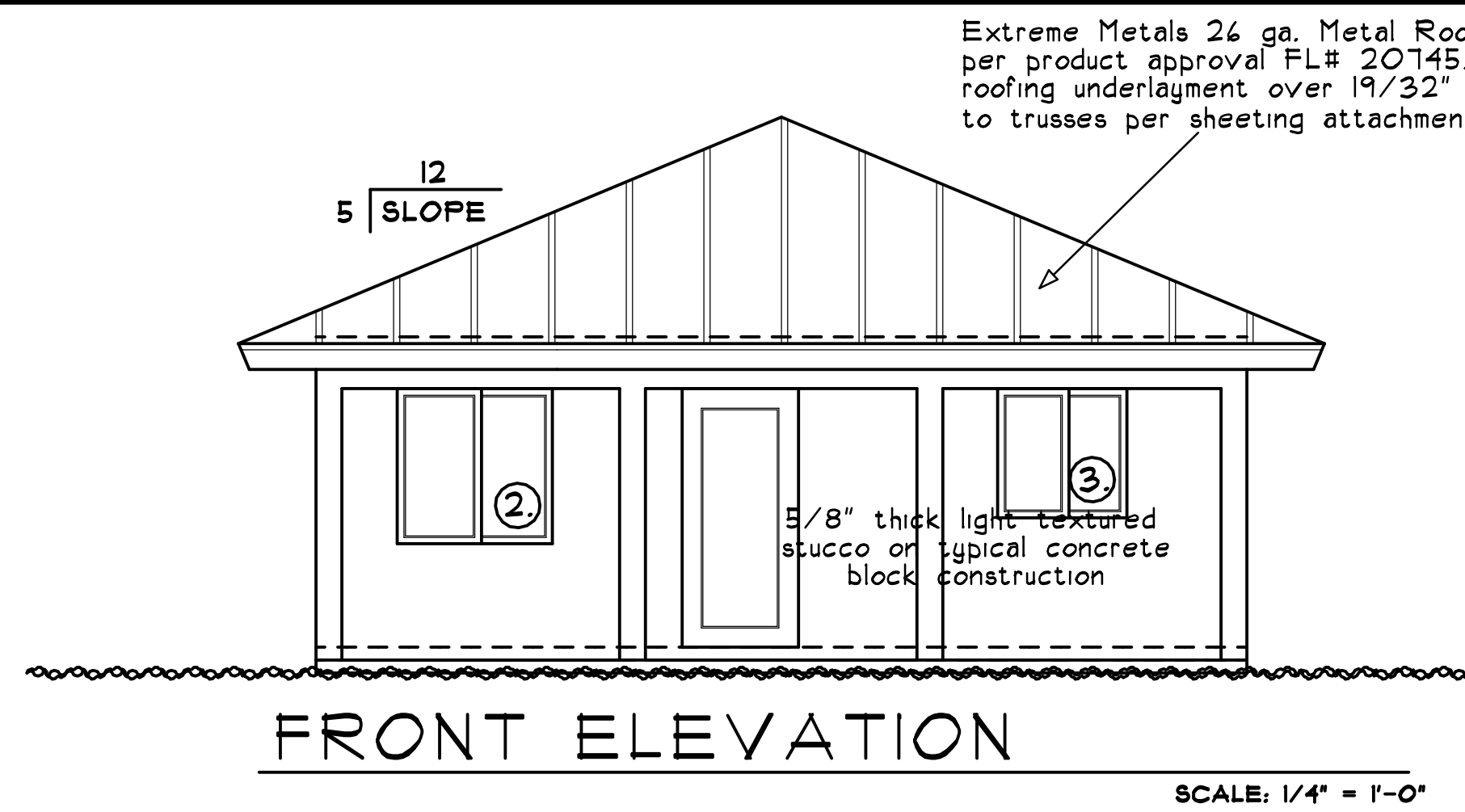
NARRATIVE

DISPOSITION OF SURPLUS PROPERTIES

AS OWNER OF 2ND GENERATION BUILDING CORPORATION, OUR DESIRE IS TO IMPROVE THE CITY, IN OPPORTUNITY ZONES BY CONSTRUCTING SINGLE FAMILY HOMES OR 2-3 BEDROOM DUPLEXES AS TO ADD REVENUE TO THE CITY OF FORT PIERCE.

OUR DUPLEX PLANS AS WELL AS SINGLE FAMILY HOME PLANS ARE IN THE ATTACHMENTS.

WE ARE WORKING IN CLOSE COLLABORATION WITH THE BUILDING DEPARTMENT AND ALL OF ITS DIVISIONS.



Product Approval Submittal Affidavit

Opening Schedule Swing Doors, Overhead Doors, Sliding Doors, Windows & Skylights								
Opening Type	NOA/FL NUMBER	Product	Model #	Manufacturer	Glass	Attachment method	TEST Expiration Date	Maximum Design Pressure of Approved Tests
1.	FL# 239.4	Single Hung	SH-100 Impact	PGT	5/16"	1/4" dia. tapcons w/ min. 1 3/8" penetration to be spaced per product approval. Contractor shall adhere to min. edge distances specified in Product approval		± 80.0 PSF
2.	FL# 242.4	Horizontal Roller	HR-110 Impact	PGT	5/16"	1/4" dia. tapcons w/ min. 1 1/4" penetration to be spaced per product approval. Contractor shall adhere to min. edge distances specified in product approval		± 60.0 PSF
3.	FL# 589.2	Fiberglass door	Smooth star	Therma-Tru		1/4" dia. x 3" tapcons w/ min. 1 1/2" penetration at spaced per product approval on sheet 5 of 1.		± 61.0 PSF
4.	FL# 253.1	French Door	FD-101 Impact	PGT	Type "A"	1/4" dia. tapcons w/ min. 1 3/8" penetration to be spaced per product approval. Contractor shall adhere to min. edge distances specified in Product approval		± 63.1 PSF

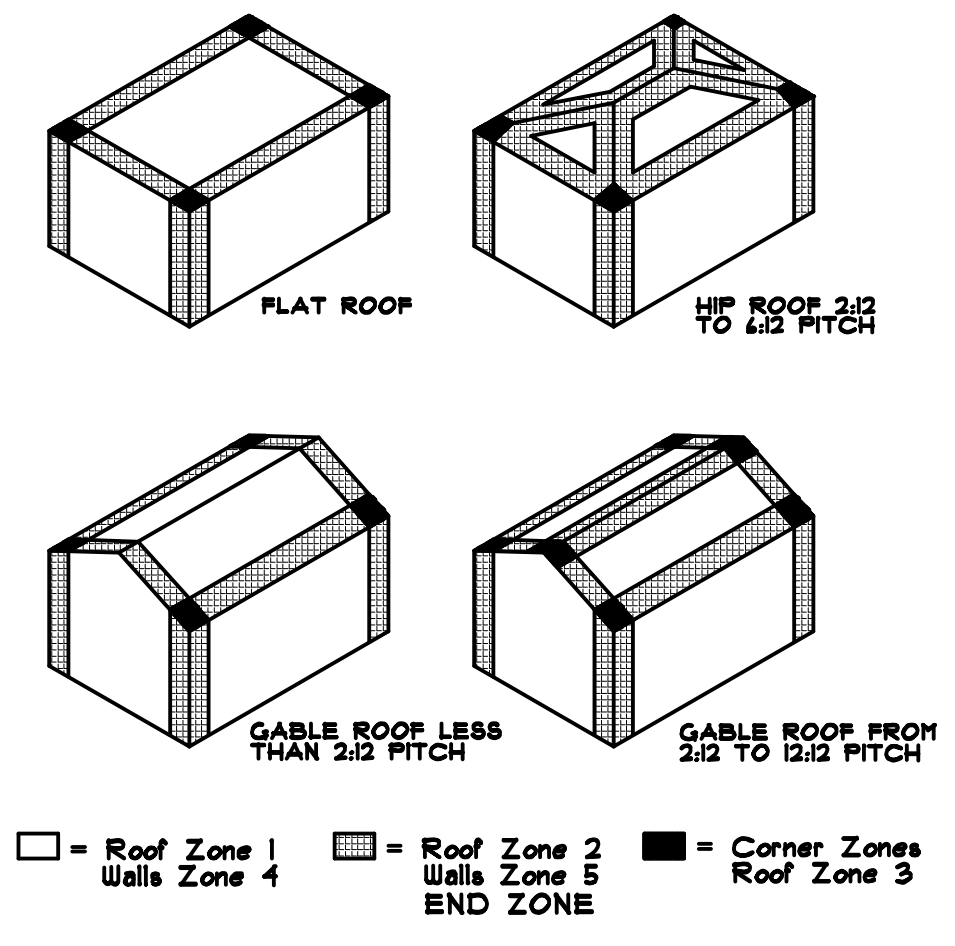
Product	NOA/FL NUMBER	Model #	Manufacturer	Attachment Method	TEST Expiration Date	Maximum Design Pressure of Approved Tests
Mullions						
Roof Underlayment	FL# 11175.1	Peel & Stick	Polyglass			
Roof	FL# 20145.1	EMAX Rib 26 ga.	Extreme Metals	Extreme Metals EMAX Rib Roofing installed per approval over Polyglass peel and stick underlayment over 19/32" CDX sheathing nailed to trusses per nailing pattern detail on roof plan		- 110.0 PSF
Siding		STUCCO ON BLOCK		5/8" Thick light textured stucco on typical Concrete block construction		
Soffit		STUCCO ON LATH		1/2" thick stucco on 3/8" Hi-Rib lath attached to horizontal and vertical wood framing with nails or staples to provide no less than 1 3/4" penetration into horizontal wood framing and 3/4" penetration into vertical framing		
Hurricane Panels						

ALL Product Testing by: Miami-Dade County Building Code Compliance Office / Product Control Division

I have reviewed the above and approved it by my seal below. (Architect or Engineer of Record)

PERMITTING INFORMATION (FORM 100)

Florida Building Code Residential: 6TH Edition and ASCE 7-10 for Wind Loading
 Building Design is: Enclosed Risk Category: II Wind Speed: 160 mph ultimate
 Mean Roof Height: 11'-2" Roof Pitch: 5/12
 Internal Pressure Coefficient: ±0.18
 Subjectability to damage from: Weathering: Negligible Termite: Very Heavy
 Width of Roof End Zone: 5'-6"
 Wind Exposure Classification: B
 Adjustment factor for Exposure Height Using Allowable Stress Design and Load Combination per ASCE 7-10 Section 2.4 DL+LL; DL+O.6WL; 0.6DL+O.6WL
 Exp Height Adj Factor: 1.00 x Load Combo Factor 0.6 = 0.6 applied below
 Components & Cladding Wind Pressure (NET)
 Roof Zone: 1. +16.0/-24.0 psf
 Roof Zone: 2. +16.0/-45.0 psf
 Roof Zone: 3. +16.0/-66.0 psf
 Components & Cladding Wall End Zone Width: 5'-6"
 Components & Cladding Wind Pressure (NET) Wall Zone: 4. +28.0/-30.0 psf
 Wall Zone: 5. +28.0/-38.0 psf
 Components & Cladding Wind Pressure (NET) on Garage Door: +24.0/-29.0 psf
 Shear Walls Considered for Structure? Yes
 Continuous Load Path Provided? Yes
 Are Components and Cladding Details Provided? Yes
 Minimum Soil Bearing Pressure: 2,500 psi, Presumptive: X By Test: _____ psi
 This Building Shall Have the Following:
 APPROVED SHUTTERS: _____ IMPACT GLASS: X BOTH: _____ NEITHER: _____

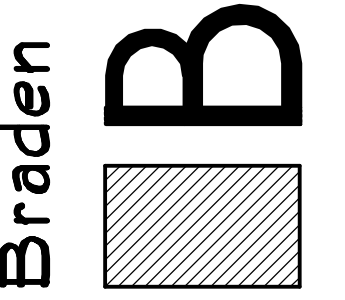


Revisions:
 9-12-19
 Plot 9-24-19
 COA 11-12-19

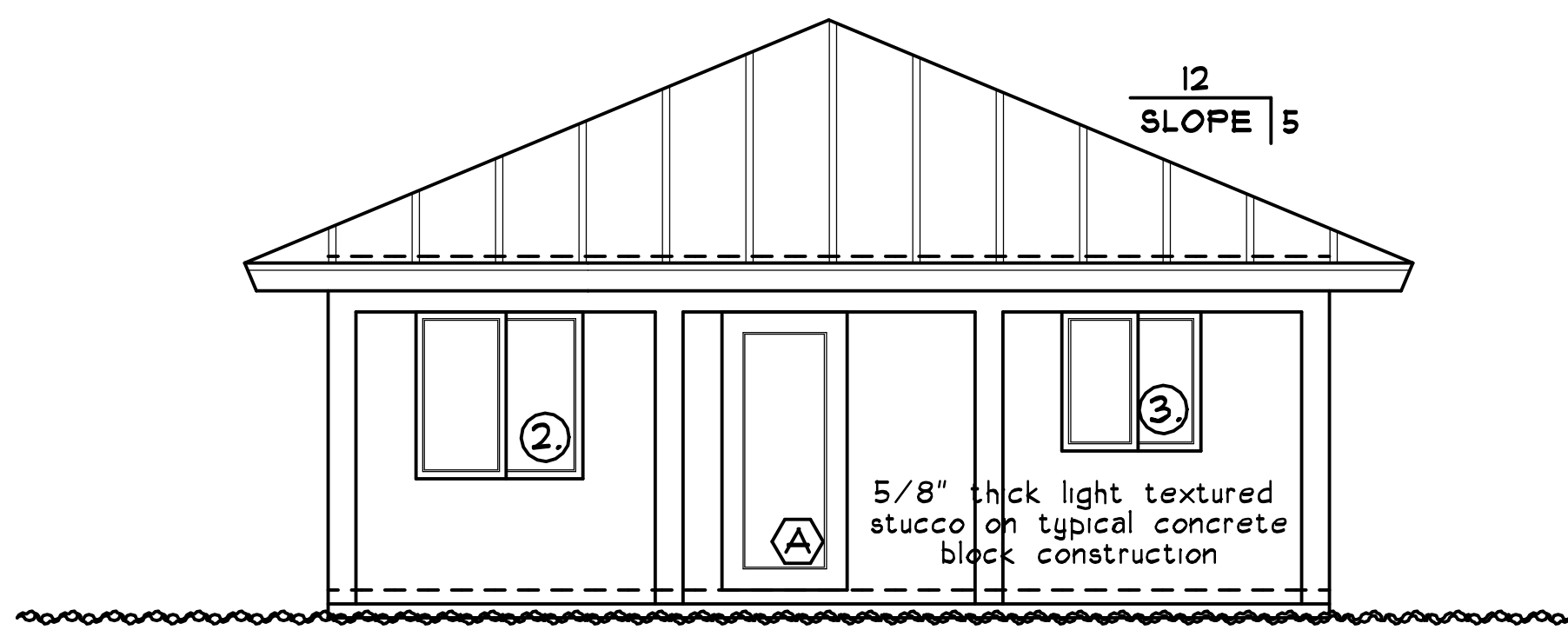
Date Drawn:
 9-6-19
 Drawn by:
 A.B.-K.
 Checked by:
 D.K.B.

Residence For:
 2ND GENERATION BUILDING CORP.

Braden & Braden AIA, PA
 ARCHITECTS - PLANNERS
 417 S.E. COCONUT AVENUE
 Tel: (112) 281-8255
 Fax: (112) 281-8285
 Website: www.bradenarchitects.com
 Stuart, FL 34994 #AAC000032

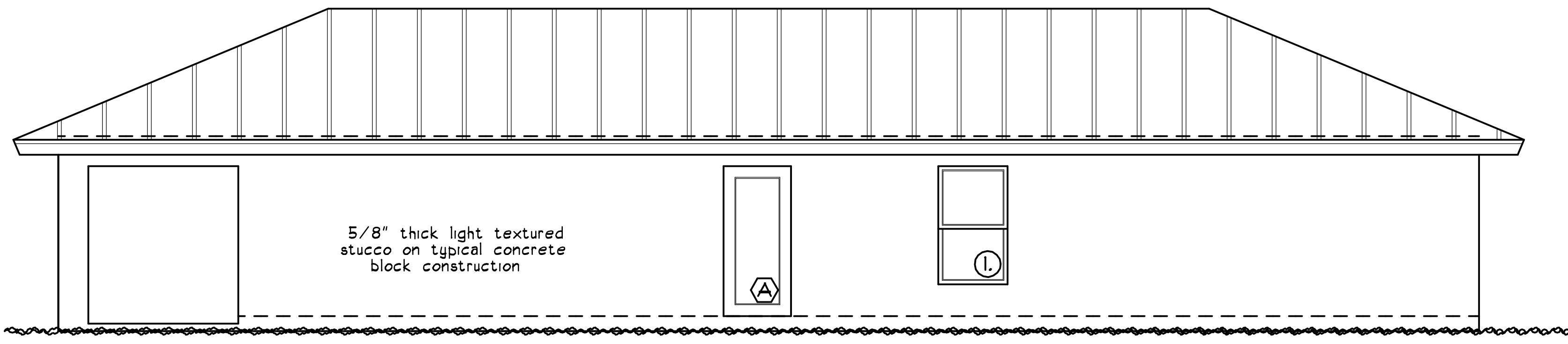


SHEET NO:
 1
 OF 5.
 JOB NUMBER:
 19-183



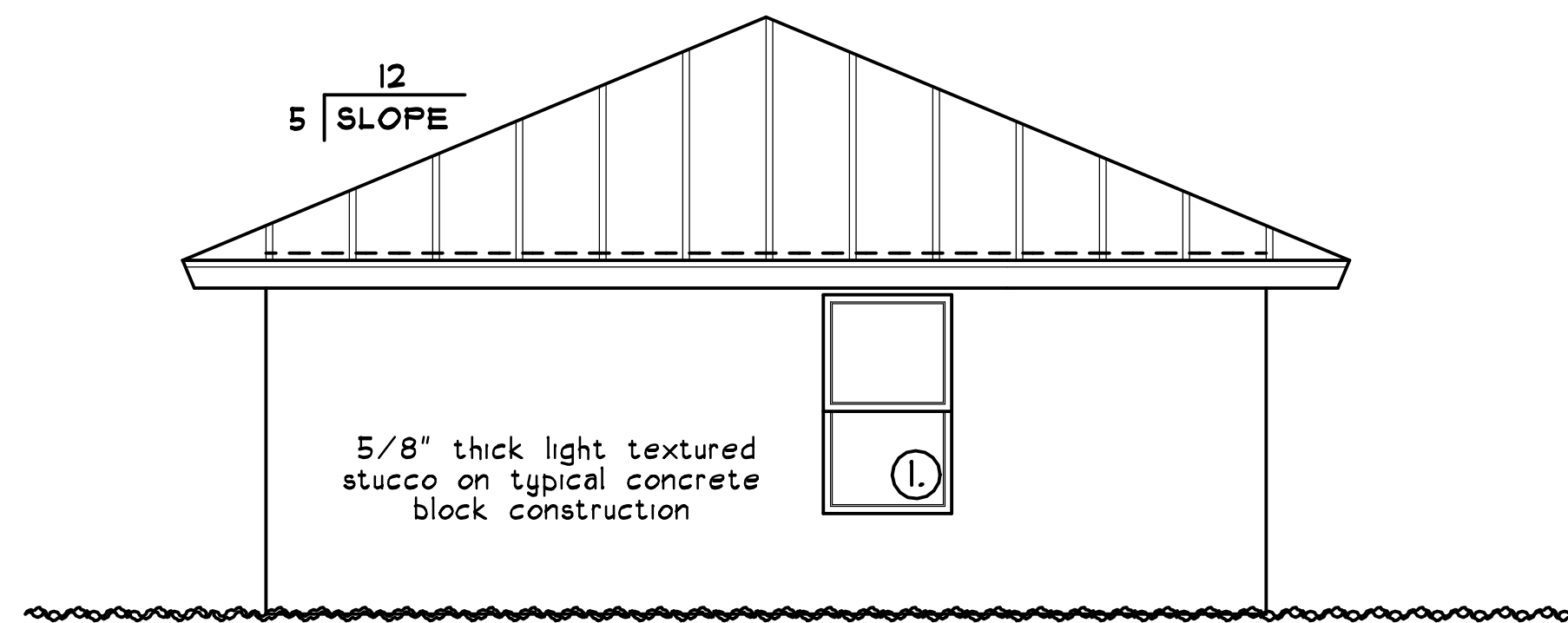
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



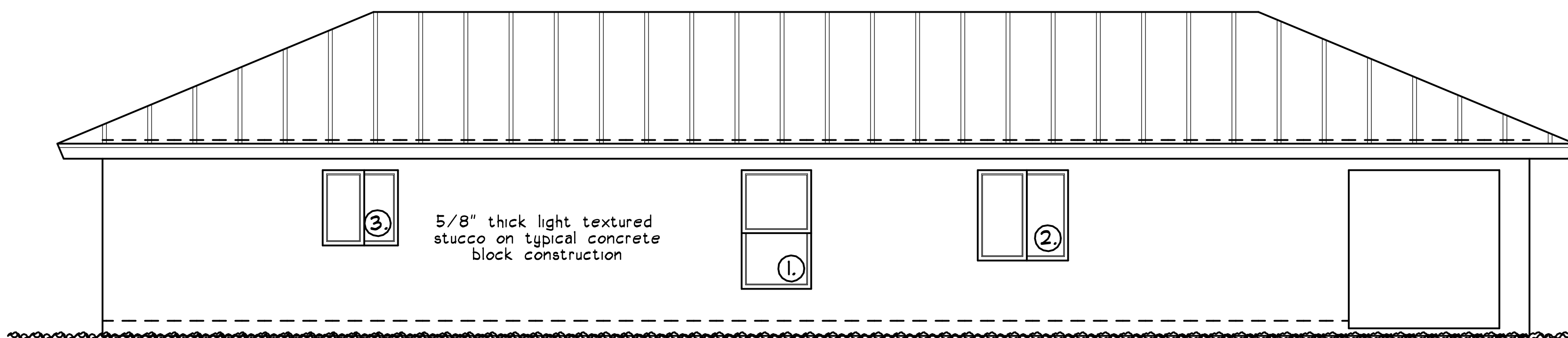
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

Product Approval Submittal Affidavit

Opening Schedule Swing Doors, Overhead Doors, Sliding Doors, Windows & Skylights

Opening Type	NOA/FL NUMBER	Product	Model #	Manufacturer	Glass	Attachment method	TEST Expiration Date	Maximum Design Pressure of Approved Tests
1.	FL# 239.4	Single Hung	SH-100 Impact	PGT	5/16"	1/4" dia. tapcons w/ min. 1 3/8" penetration to be spaced per product approval. Contractor shall adhere to min. edge distances specified in Product approval		± 80.0 PSF
2.	FL# 242.4	Horizontal Roller	HR-110 Impact	PGT	5/16"	1/4" dia. tapcons w/ min. 1 1/4" penetration to be spaced per product approval. Contractor shall adhere to min. edge distances specified in product approval		± 40.0 PSF
3.	FL# 5891.2	Fiberglass door	Smooth star	Therma-Tru		1/4" dia. x 3" tapcons w/ min. 1 1/2" penetration at spaced per product approval on sheet 5 of 7.		± 67.0 PSF
4.	FL# 253.1	French Door	FD-101 Impact	PGT	Type "A"	1/4" dia. tapcons w/ min. 1 3/8" penetration to be spaced per product approval. Contractor shall adhere to min. edge distances specified in Product approval		± 63.1 PSF

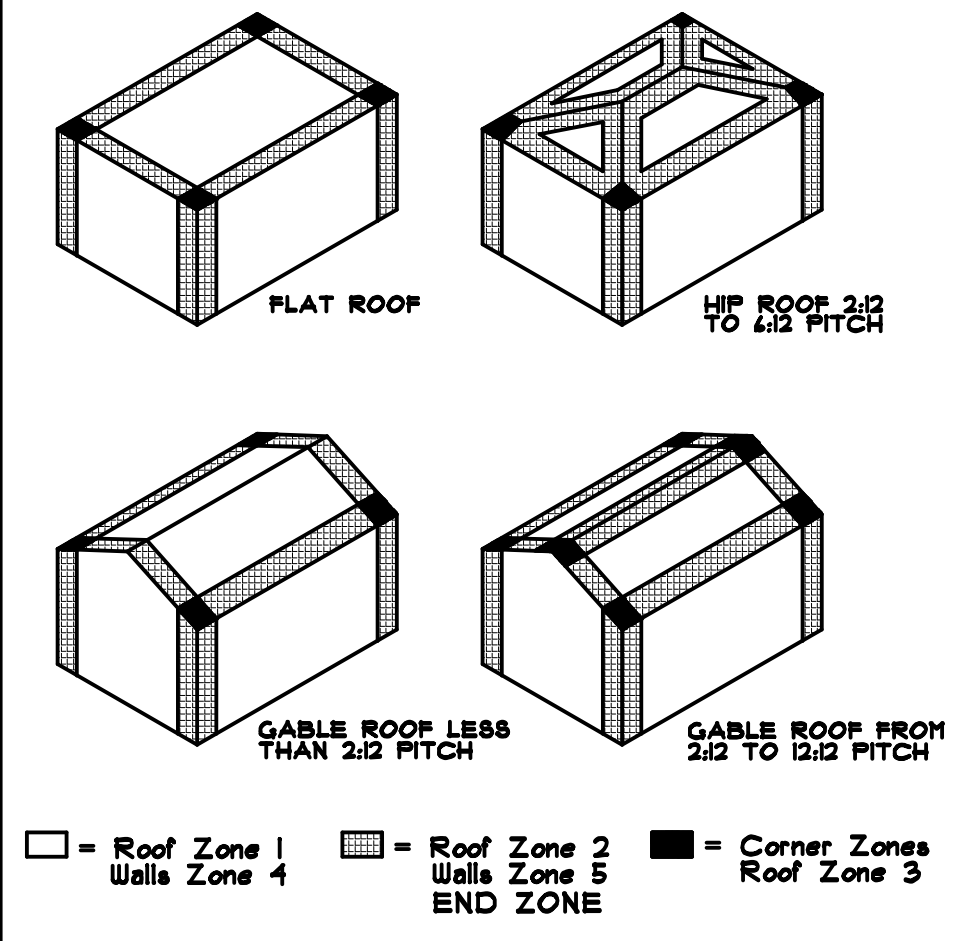
Product	NOA/FL NUMBER	Model #	Manufacturer	Attachment Method	TEST Expiration Date	Maximum Design Pressure of Approved Tests
Mullions						
Roof Underlayment	FL# 11175.1	Peel & Stick	Polyglass			
Roof	FL# 20745.1	EMAX Rib 24 ga.	Extreme Metals	Extreme Metals EMAX Rib Roofing installed per approval over Polyglass peel and stick underlayment over 19/32" CDX sheathing nailed to trusses per nailing pattern detail on roof plan		- 110.0 PSF
Siding		STUCCO ON BLOCK		5/8" Thick light textured stucco on typical Concrete block construction		
Soffit		STUCCO ON LATH		1/2" thick stucco on 3/8" Hi-Rib lath attached to horizontal and vertical wood framing with nails or staples to provide no less than 1 3/4" penetration into horizontal wood framing and 3/4" penetration into vertical framing		
Hurricane Panels						

ALL Product Testing by: Miami-Dade County Building Code Compliance Office / Product Control Division

I have reviewed the above and approved it by my seal below. (Architect or Engineer of Record)

PERMITTING INFORMATION (FORM 100)

Florida Building Code Residential: 6TH Edition and ASCE 7-10 for Wind Loading
 Building Design is: Enclosed Risk Category: II Wind Speed: 160 mph ultimate
 Mean Roof Height: 10'-9" Roof Pitch: 5:12
 Internal Pressure Coefficient: ±0.18
 Subjectability to damage from: Weathering: Negligible Termites: Very Heavy
 Width of Roof End Zone: 5'-6"
 Wind Exposure Classification: B
 Adjustment factor for Exposure Height Using Allowable Stress Design and Load Combination per ASCE 7-10 Section 2.4 DL+LL; DL+0.6WL; 0.6DL+0.6WL
 Exp Height Adj Factor: 1.00 x Load Combo Factor 0.6 = 0.6 applied below
 Components & Cladding Wind Pressure (NET) Roof Zone: 1. +16.0/-26.0 psf
 Roof Zone: 2. +16.0/-45.0 psf
 Roof Zone: 3. +16.0/-66.0 psf
 Components & Cladding Wall End Zone Width: 5'-6"
 Components & Cladding Wind Pressure (NET) Wall Zone: 4. +28.0/-30.0 psf
 Wall Zone: 5. +28.0/-38.0 psf
 Components & Cladding Wind Pressure (NET) on Garage Door: +24.0/-29.0psf
 Shear Walls Considered for Structure? Yes
 Continuous Load Path Provided? Yes
 Are Components and Cladding Details Provided? Yes
 Minimum Soil Bearing Pressure: 2,500 psi, Presumptive: X By Test: ___ psi
 This Building Shall Have the Following:
 APPROVED SHUTTERS: ___ IMPACT GLASS; X BOTH; ___ NEITHER; ___



Revisions :
COA 1-20-20 Sh 2, 3, 4, E-1

Date Drawn: 1-1-20
 Drawn by: A.B.-K.
 Checked by: D.K.B.

Residence For: 2ND GENERATION BUILDING CORP.

Braden & Braden AIA, P.A.
 ARCHITECTS - PLANNERS
 417 S.E. COCONUT AVENUE
 Tel : (772) 281-8288
 Fax : (772) 281-8283
 Website: www.bradenarchitects.com
 Stuart, FL 34996 #AAC00032

SHEET NO: 1
 OF 5.
 JOB NUMBER: 20-05

