

FORT PIERCE REDEVELOPMENT AGENCY

BOARD AGENDA

FPRA Regular Meeting - Tuesday, April 11, 2023 - 5:05 p.m.

City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

4. **APPROVAL OF MINUTES**

- a. Approval of Minutes from March 14, 2023 FPRA Meeting.

5. **COMMENTS FROM THE PUBLIC**

Any person who wishes to comment on any subject on this agenda may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Chairperson, as this section of the Agenda is limited to fifteen minutes. The FPRA Board will not be able to take any official actions under Comments from the Public. Speakers will address the Chairperson, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

6. **CONSENT AGENDA**

- a. Approval of the FPRA Final Budget Amendment for FY2021-22.
- b. Approval of the Interlocal Agreement with St. Lucie County for the Development of the Avenue D Model Block

7. **NEW BUSINESS**

- a. Approval to award RFP No. 2023-016 for Sale of Surplus Property at 424 Douglas Court and 426 Douglas Court, identified by Parcel ID: 2409-501-0199-000-0 and 2409-501-0200-000-1, to the highest ranked responder, Eastern Capital Investments, LLC.
- b. Approval to award RFP No. 2023-017 for Sale of Surplus Property at 612 N 25th Street, identified by Parcel ID: 2404-710-0067-000-3, to the highest ranked responder, Larry Lee Jr. & Family, LLC
- c. FPRA Resolution 23-03 appointing an at-large member to the CRA Advisory Board to fill the remaining term of Ms. Sabrina Taylor.

8. **STAFF COMMENTS**

- a. FPRA Annual Report FY2022

9. **BOARD COMMENTS**

10. **ADJOURNMENT**

Pursuant to Section 286.0105, Florida Statutes, the City hereby advises you that if you or another person decide to appeal and decision made by the Fort Pierce Redevelopment Agency with respect to any matter considered at its meeting or hearing, that you or said person will need a record of the proceedings, and that for such person, affected persons may need to insure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the Agency for the introduction or admission into evidence of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3065 at least 48 hours prior to the meeting.

FPRA Regular Meeting

4. a.

Meeting Date: April 11, 2023

Re: Approval of Minutes from March 14, 2023, FPRA Meeting.

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Approval of Minutes from March 14, 2023 FPRA Meeting.

Attachments

03.14.2023 Minutes

MINUTES OF A REGULAR MEETING OF THE FORT PIERCE REDEVELOPMENT AGENCY, HELD IN THE CITY HALL COMMISSION CHAMBERS, 100 NORTH U.S. #1, FORT PIERCE, FLORIDA, AT 5:05 P.M. ON TUESDAY, FEBRUARY 14, 2023.

1. CALL TO ORDER

Chairwomen Hudson called the February 14, 2023, Regular Meeting of the FPRA to order at 5:05 P.M.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Chairperson Linda Hudson; Commissioner Arnold Gaines; Commissioner Michael Broderick; Commissioner Jeremiah Johnson; Commissioner Curtis Johnson, Jr.

Staff Present: City Clerk Linda Cox
City Manager Nicholas Mimms
City Attorney Tanya Earley

4. APPROVAL OF MINUTES

- a. Approval of Minutes from January 10, 2023 Regular Meeting.

Motion was made by Commissioner Arnold Gaines, seconded by Commissioner Jeremiah Johnson to approve the Minutes from, January 10, 2023, Regular Meeting.

AYE: Chairperson Linda Hudson, Commissioner Arnold Gaines, Commissioner Michael Broderick, Commissioner Jeremiah Johnson, Commissioner Curtis Johnson, Jr.

Passed

5. COMMENTS FROM THE PUBLIC

Any person who wishes to comment on any subject on this agenda may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Chairperson, as this section of the Agenda is limited to fifteen minutes. The FPRA Board will not be able to take any official actions under Comments from the Public. Speakers will address the Chairperson, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

Charles Wilson
Canieria Gardner

6. CONSENT AGENDA

- a. Approval of extension request for 809 Delaware Avenue Commercial Facade Grant for an additional 90 days to allow for Building permit process. New deadline May 26, 2023

Motion was made by Commissioner Michael Broderick, seconded by Commissioner Jeremiah Johnson to approve the Consent Agenda.

AYE: Chairperson Linda Hudson, Commissioner Arnold Gaines, Commissioner Michael Broderick, Commissioner Jeremiah Johnson, Commissioner Curtis Johnson, Jr.

Passed

7. NEW BUSINESS

- a. Approval to negotiate with Lincoln Park Main Street to lease and improve 1,982 square feet of the Means Court Center.

Audria Moore-Wells, Special Projects Coordinator presented Means Court Center shared mixed-use space update and recommendations.

The board discussed the change of use process, current tenant building occupancy, and the space designated for tenant.

Paul Thomas, Director of Building, addressed questions expressed by the Commission regarding change of use process.

Motion was made by Commissioner Arnold Gaines, seconded by Commissioner Michael Broderick to approve negotiations with Lincoln Park Main Street.

AYE: Chairperson Linda Hudson, Commissioner Arnold Gaines, Commissioner Michael Broderick, Commissioner Jeremiah Johnson, Commissioner Curtis Johnson, Jr.

Passed

- b. Small Business Development Poll Results

Marsha Noel, Redevelopment Specialist, presented the small business development poll results and provided recommendations in response the results.

The Board discussed recommendations presented, challenges of small business, invited local entities to join in the effort to help educate small businesses.

Motion was made by Commissioner Jeremiah Johnson, seconded by Commissioner Arnold Gaines to approve recommendation and authorize staff to move forward.

AYE: Chairperson Linda Hudson, Commissioner Arnold Gaines, Commissioner Michael Broderick, Commissioner Jeremiah Johnson, Commissioner Curtis Johnson, Jr.

Passed

8. STAFF COMMENTS

City Manager Nick Mimms- No comments
City Clerk Linda Cox-No comments
City Attorney Tanya Earley – No comments.

- a. FPRA Programs & Activities Summary

- b. Sunrise Theatre Financial Data

9. BOARD COMMENTS

Commissioner Broderick commented on the detailed Sunrise Theater financial data.
Commissioner Gaines congratulated Kynyodda Jones Jr. on National Youth World Class Boxing Championship.

10. ADJOURNMENT

Chairwoman Hudson adjourned the meeting at 6:51 p.m.

ATTEST:

CITY CLERK

CHAIRPERSON

FPRA Regular Meeting

6. a.

Meeting Date: April 11, 2023

Re: FPRA Final Budget Amendment for FY 2021-22

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Approval of the FPRA Final Budget Amendment for FY2021-22.

SUMMARY:

The FPRA Fund is being amended to adjust the budgeted revenues and expenditures to the final actual figures.

RECOMMENDATION:

FPRA Board approve the budget amendment.

ALTERNATIVES:

Staff shall proceed as directed by the FPRA Board.

RESPONSIBLE STAFF:

Finance Director

COORDINATED WITH:

None

Fiscal Impact

Budgeted Y/N: Y

Fiscal Year: 2022

OTHER INFORMATION:

This is the final budget amendment; amending budget to actual financials.

Attachments

FY22 FPRA Final Budget Amendment

Fort Pierce Redevelopment Agency

Final Budget Amendment

Fiscal Year 2021-2022

Operating Revenues	Approved Budget	Increase	Decrease	Amended Budget	Percentage Increase Decrease
Tax Increment Financing	7,760,995	162,869		7,923,864	2.10%
(1) Charges for Services	4,000	11,094		15,094	277.35%
(2) Miscellaneous Revenues	186,100	151,895		337,995	81.62%
(3) Interfund Transfers	0			0	0.00%
Fund Balance	(319,390)	(234,392)		(553,782)	73.39%
Totals	7,631,705	91,466	0	7,723,171	1.20%

Operating Expenditures	Approved Budget	Increase	Decrease	Amended Budget	Percentage Increase Decrease
(1) Personnel Services	108,753		108,753	0	100.00%
(2) Operating Expenditures	941,000	32,026		973,026	3.40%
(3) Capital Outlay	0	66,858		66,858	0.00%
(4) Other Programs & Projects	370,000		85,725	284,275	23.17%
(5) Interfund Transfers	6,211,952	187,060		6,399,012	3.01%
Totals	7,631,705	285,944	194,478	7,723,171	1.20%

MAJOR CHANGES IN BUDGET

- (1) Personnel Expenses done as a transfer to General
- (2) Miscellaneous Expenses increases and decreases
- (3) Building Upgrades and Maintenance
- (4) SROs funds not expensed

- (5) Personnel Costs \$81,945 transferred, \$105,115 for COPS Hiring Grant Officers

FPRA Regular Meeting

6. b.

Meeting Date: April 11, 2023

Re: Interlocal Agreement with St. Lucie County for the Development of the Avenue D Model Block

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Approval of the Interlocal Agreement with St. Lucie County for the Development of the Avenue D Model Block

SUMMARY:

In keeping with the 2020 FPRA Plan, the agency will strive to re-set the economic base and restore neighborhoods within the FPRA boundary through the Development of the Avenue D Model Block initiative. The City, FPRA and St. Lucie County agree to work together to establish affordable housing and economic opportunities through the Avenue D Model Block project. The initiative seeks to improve the quality of life of existing residents around the Avenue D corridor while also inviting economic opportunities and community programs.

The Avenue D Model Block Project is comprised of multiple parcels of land owned separately by each of the parties and generally located at the corner of Avenue D and N. 7th St. in Fort Pierce. The specific parcels of land available will be identified in a Request for Letters of Interest (LOI). The parties desire to collaborate and solicit LOI's for the development of the property collectively with the goals of attracting businesses, mitigating the affordable housing issue, and more effectively providing services to the community.

RECOMMENDATION:

Staff recommends approval to execute the Interlocal Agreement with St. Lucie County for the Development of the Avenue D Model Block.

ALTERNATIVES:

Staff shall proceed as directed by the FPRA Board.

RESPONSIBLE STAFF:

COORDINATED WITH:

Attachments

Ex. A FPRA Plan
ILA Map
Interlocal Agreement

EXHIBIT A

AVENUE D *Model Block*

OVERVIEW

Local retail markets depend on local consumers and residents to activate them. The Avenue D ‘model block’ seeks to help mitigate the affordable housing issue in Fort Pierce, and Florida. No longer are large vacant lots simply used as residual, symptomatic spaces for parking lots and service areas. The proposed model block includes low apartment buildings and provides ample opportunities for renters and owners to set down roots in Fort Pierce. The model block also provides existing residents options in their living experience.

Capitalizing on the existing green corridor, the residences are oriented to highlight views towards Moore's Creek and the downtown area. Large parking lots have been diminished and landscaping helps to break the ‘heat island’ up into smaller, more manageable spaces.

Additional retail and commercial structures are proposed immediately adjacent Avenue D. Here, a Multi-Modal central station is finally afforded a population for its use, and commercial opportunities to further the reach of a major retail thoroughfare.



Varied setbacks, need to engage street better.

Expansive vacant lot would allow for numerous different land uses, or a mix of uses.



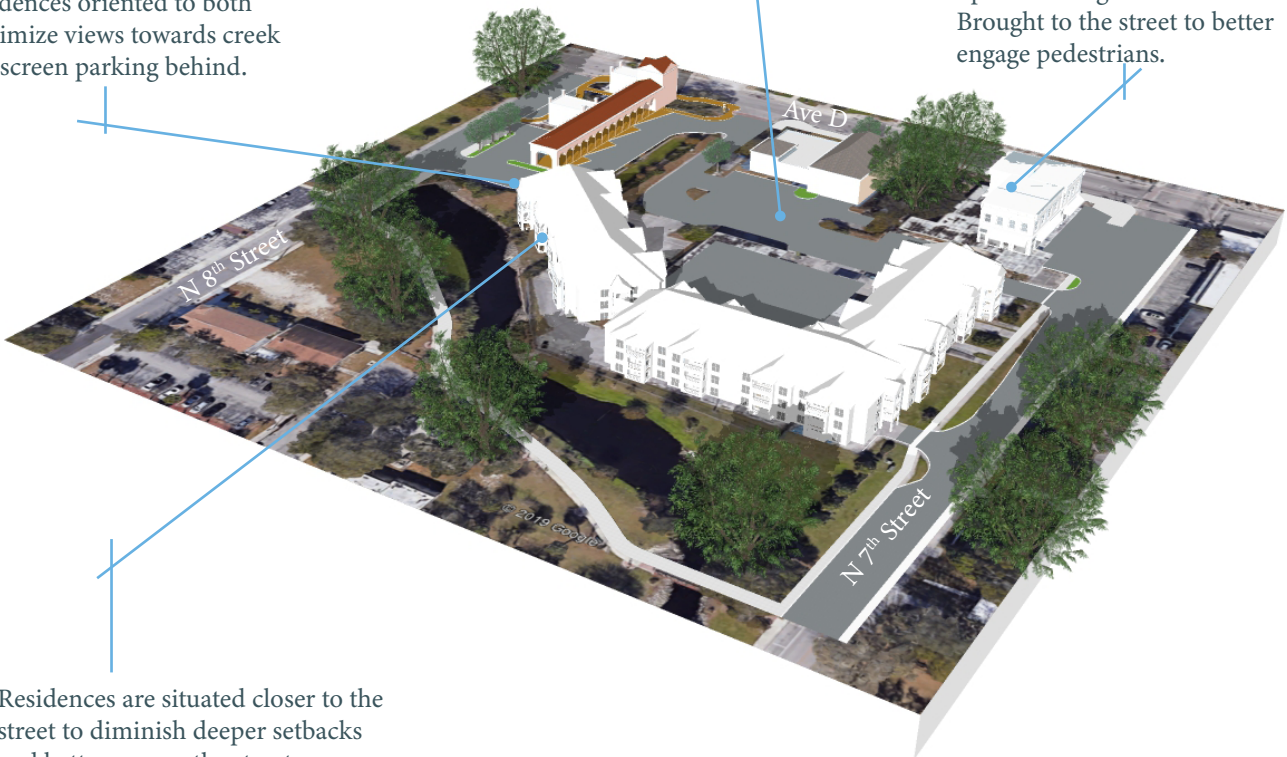
EXISTING

Past development didn't engage the creek in any meaningful way.

New parking maintains access to fire station while better defining parking use areas.

Mixed use development allowing for upstairs living and downstairs retail. Brought to the street to better engage pedestrians.

Residences oriented to both maximize views towards creek and screen parking behind.



PROPOSED

Residences are situated closer to the street to diminish deeper setbacks and better engage the street.

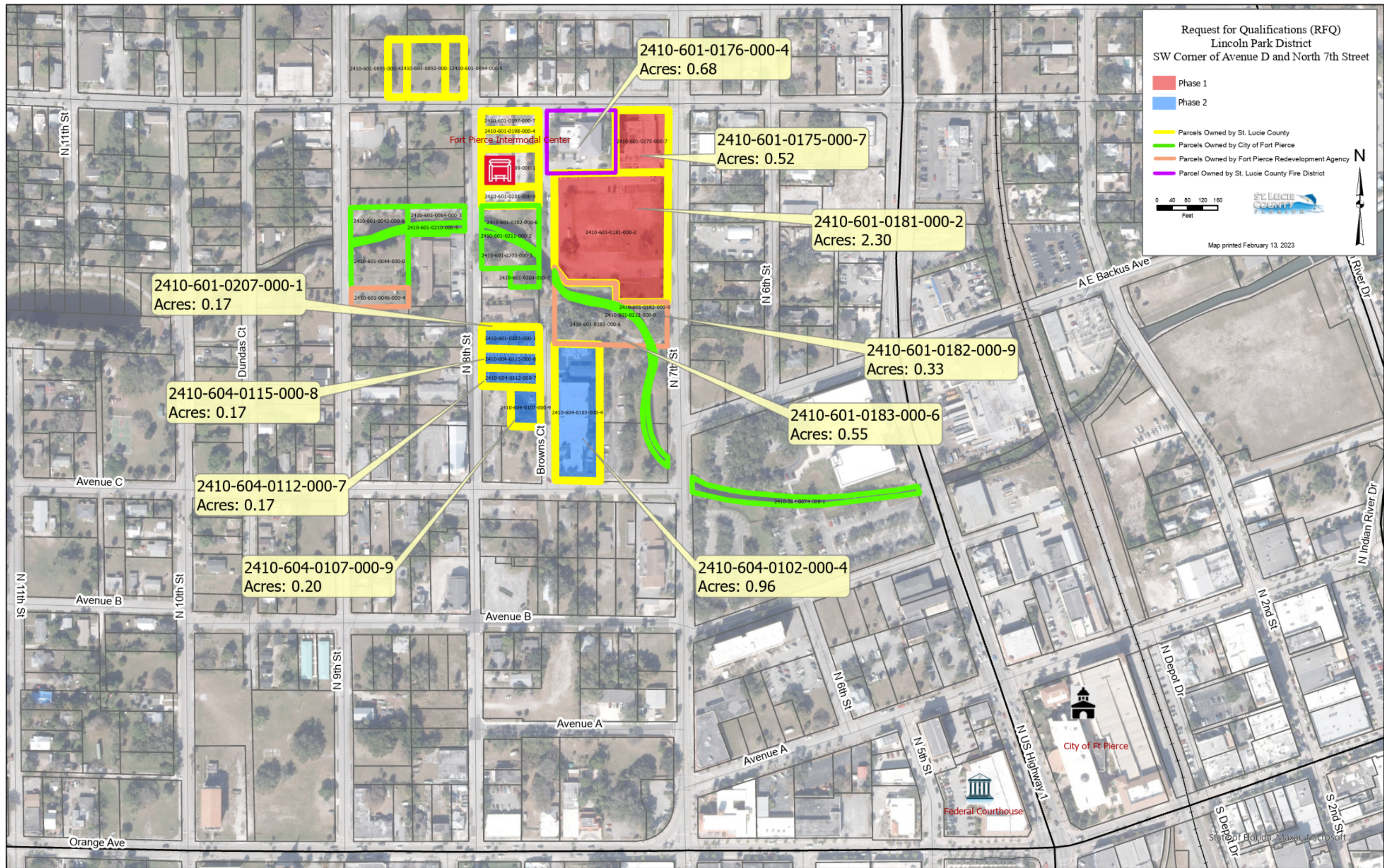
Request for Qualifications (RFQ)
Lincoln Park District
SW Corner of Avenue D and North 7th Street

- Phase 1
- Phase 2
- Parcels Owned by St. Lucie County
- Parcels Owned by City of Fort Pierce
- Parcels Owned by Fort Pierce Redevelopment Agency
- Parcel Owned by St. Lucie County Fire District

0 40 80 120 160
 Feet

ST LUCIE COUNTY
 FLORIDA

Map printed February 13, 2023



**INTERLOCAL AGREEMENT
(DEVELOPMENT OF THE “AVENUE D MODEL BLOCK”)**

THIS INTERLOCAL AGREEMENT is made and entered into this ____ day of _____ 2023, by and between the **CITY OF FORT PIERCE**, a Florida municipal corporation (the “City”), the **CITY OF FORT PIERCE REDEVELOPMENT AGENCY** (the “FPRA”), a public body corporate and politic, and **ST. LUCIE COUNTY**, a political subdivision of the State of Florida (the “County”).

WITNESSETH

WHEREAS, the parties will potentially realize mutual advantage and substantial economic benefit from the development of the “Avenue D Model Block” (the “Project”) to provide affordable workforce housing, jobs, expanded commerce, enhanced public service provision with the redevelopment of the community services facility, and an enhanced tax base; and

WHEREAS, Chapter 163, Florida Statutes provides for the execution of an interlocal agreement as a means for enabling local governments to cooperate and make the most efficient use of their powers; and

WHEREAS, the City has the authority to impose and enforce comprehensive plan goals, objectives and policies as well as land development regulations covering the property within the Project; and

WHEREAS, the FPRA has adopted the 2020 FPRA Community Redevelopment Plan covering the property within the Project between Avenue D, N 8th Street and N 7th Street for mixed-use redevelopment with apartment housing and commercial uses a portion of which is shown in the attached Exhibit A; and

WHEREAS, an interlocal agreement may provide for the parties to cooperate in the development of the Project and allocate responsibilities among themselves and designate one or more parties to the agreement to administer or execute the agreement.

NOW, THEREFORE, in consideration of the premises and undertaking contained herein the parties hereto agree as follows:

1. AUTHORITY

This Agreement is entered into pursuant to Section 163.01, Florida Statutes, Florida Interlocal Cooperation Act.

2. GENERAL DESCRIPTION OF THE PROJECT

The “Avenue D Model Block Project” is comprised of multiple parcels of land owned separately by each of the parties and generally located at the corner of Avenue D and N. 7th St. in Fort Pierce. The specific parcels of land available will be identified in a Request for Letters of Interest (LOI) to be issued in accordance with Section 3 (“Project Property”). The parties desire to collaborate and solicit LOI’s for the development of the Project Property collectively with the goals of attracting businesses, mitigating the affordable housing issue in Fort Pierce and the County, and constructing a new County facility to more effectively provide services to the community.

3. PROJECT PHASES; COOPERATION

The parties agree to collaborate in the development of the Project as provided for herein. The Project is anticipated to be a multi-year project commitment that will be accomplished in two phases, which may be further defined by agreement of the parties.

PHASE 1:

- The County shall take the lead on the procurement process, drafting and issuing a Request for LOI's to prospective vendors to gauge private sector interest in the redevelopment of the Project Property, provide opportunities for interested parties to identify other entities that may be interested in participating as co-developers, and to potentially inform the preparation and issuance of a Request for Proposal (RFP) or other solicitation in Phase 2, if warranted.
- Once the Request for LOI's is issued, each party agrees to provide two representatives to serve on a review committee. The review committee shall review all submissions to the Request for LOI and recommend how to proceed to complete development of the Project ("Phase 2").

PHASE 2:

- The parties agree to fully cooperate on Phase 2 of the Project, which may include drafting and issuing a Request for Proposals or other invitation for a specific use or possible group of uses and drafting an agreement with the proposer approved by the parties' respective boards and managing the development of the Project.
- The parties agree to bring an agenda item before their respective boards for consideration and approval of any recommended proposer and authorization to negotiate an agreement.
- The parties may amend this Interlocal Agreement, or, if all parties agree, the parties may choose to enter into separate agreement(s) to further specify,

allocate, or reallocate responsibilities among themselves for completion of Phase 2.

4. TERMINATION

Any party may terminate this Agreement without cause by giving ninety (90) days prior written notice to the other parties, provided however, that once the parties issue a Request for Proposal or other invitation as part of Phase II, the parties agree not to terminate the Interlocal Agreement with the understanding that all parties must agree on the approval of the selection of a proposer and authorization to negotiate an agreement with the selected proposer. If, after the issuance of one (1) Request for Proposal or other invitation as part of Phase II, the parties do not unanimously approve a proposer and a negotiated agreement, then any party may terminate this agreement without cause by giving ninety (90) days written notice to the other parties.

5. WHOLE AGREEMENT

This Agreement embodies the whole understanding of the parties. There are no promises, terms, conditions or obligations other than those contained herein; and this Agreement shall supersede all previous communications, representations, or agreements, either verbal or written, between the parties hereto.

6. AMENDMENTS

The Agreement may only be amended by a written document signed by all parties and filed with the Clerk of Circuit Court of St. Lucie County, Florida.

7. NOTICES

All notices, requests, consents, and other communications required or permitted under this Agreement shall be in writing and shall be (as elected by the person giving such notice) hand

delivered by messenger or courier service, telecommunicated, or mailed by registered or certified mail (postage prepaid) return receipt requested, addressed to:

As to City:

Fort Pierce City Manager
100 North U.S. One/P.O. Box 1480
Fort Pierce, FL 34954

With a Copy to:

Fort Pierce City Attorney
100 North U.S. One/P.O. Box 1480
Fort Pierce, FL 34954

As to FPRA:

Fort Pierce City Manager
100 North U.S. One/P.O. Box 1480
Fort Pierce, FL 34954

With a Copy to:

Fort Pierce City Attorney
100 North U.S. One/P.O. Box 1480
Fort Pierce, FL 34954

As to County:

St. Lucie County Administrator
2300 Virginia Avenue
Administration Annex
Fort Pierce, FL 34982

With a Copy to:

St. Lucie County Attorney
2300 Virginia Avenue
Administration Annex
Fort Pierce, FL 34982

8. FILING

This Agreement and any subsequent amendments hereto shall be filed with the Clerk of the Circuit Court of St. Lucie County pursuant to Section 163.01(11), Florida Statutes. The Effective Date of this Agreement shall be the date the Agreement is recorded.

9. LIABILITY

The parties to this Agreement shall not be deemed to have assumed any liability for the negligent or wrongful acts or omissions of the other party, or their respective officers, employees, servants or agents. Nothing contained herein shall be construed as a waiver, by either party, of the liability limits established in Section 768.28, Florida Statutes, or any other source of applicable governing law.

10. GOVERNING LAW AND VENUE

This Agreement and the rights of the parties shall be governed by and construed or enforced in accordance with the laws of the State of Florida. Venue for any action arising out of this Agreement is in the courts of St. Lucie County, Florida. Any action shall be tried as a non-jury case.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the date first above written.

ATTEST:

Clerk

CITY OF FORT PIERCE, FLORIDA

BY: _____
Mayor

DATE: _____

**APPROVED AS TO FORM AND
CORRECTNESS:**

BY: _____
City Attorney

ATTEST:

**CITY OF FORT PIERCE
REDEVELOPMENT AGENCY**

BY: _____
Mayor

DATE: _____

**APPROVED AS TO FORM AND
CORRECTNESS:**

BY: _____
City Attorney

**ST. LUCIE COUNTY BOARD OF
COUNTY COMMISSIONERS**

ATTEST:

Deputy Clerk

BY: _____
Chair

Date: _____

**APPROVED AS TO FORM AND
CORRECTNESS:**

BY: _____
County Attorney

FPRA Regular Meeting**7. a.****Meeting Date:** April 11, 2023**Re:** Surplus Property RFP - 2023-016 424 & 426 Douglas Court**Submitted For:** Shyanne Harnage, Economic Development Manager, City Manager

SUBJECT:

Approval to award RFP No. 2023-016 for Sale of Surplus Property at 424 Douglas Court and 426 Douglas Court, identified by Parcel ID: 2409-501-0199-000-0 and 2409-501-0200-000-1, to the highest ranked responder, Eastern Capital Investments, LLC.

SUMMARY:

The Fort Pierce Redevelopment Agency (FPRA) is the owner of real property located at 424 & 426 Douglas Court, identified by Parcel IDs: 2409-501-0199-000-0 and 2409-501-0200-000-1, with a legal description of: LINCOLN PARK NO 2 BLK 7 LOT 7 (OR 2760-656, 660) & LINCOLN PARK NO 2 BLK 7 LOT 8 (OR 2730-2508).

The properties were declared surplus by the FPRA on April 18, 2016.

Request for Proposal (RFP) number 2023-016 was issued on January 30, 2023. The invitation was sent to 508 vendors. Seventeen (17) vendors requested specifications with seven (7) responding.

City staff evaluated the responses in accordance with the information detailed in Section III – Statement of Work pg. 12, Evaluation Criteria. The committee reviewed and scored the responses with respect to Preliminary Development Plan, Timeline, Construction Cost Estimates, Financial Ability, Property Utilization and Summary of Development. The cumulative scores are attached.

In accordance with the Policy for the Disposition of FPRA-owned property, the CRA Advisory Committee reviewed the request and forwarded a recommendation to the FPRA Board for approval of the sale of real property located at 424 & 426 Douglas Court, identified by Parcel IDs: 2409-501-0199-000-0 and 2409-501-0200-000-1 with a legal description of: LINCOLN PARK NO 2 BLK 7 LOT 7 (OR 2760-656, 660) & LINCOLN PARK NO 2 BLK 7 LOT 8 (OR 2730-2508) to Eastern Capital Investments, LLC.

RECOMMENDATION:

Award bid to the highest ranked respondent, Eastern Capital Investments, LLC

ALTERNATIVES:

Award bid to second highest ranked respondent or issue a new bid.

RESPONSIBLE STAFF:

Miriam Garcia, Redevelopment Specialist

COORDINATED WITH:

Purchasing Division

Shyanne Harnage, Economic Development Manager

Attachments

Bid Document 2023-016

Cumulative Evaluation Sheet 2023-016

Chad Ingram

Development U LLC

Eastern Capital Investments

Franky Cherilus

KIB Construction

Allecia Dixon

Telco Investments LLC

DELIVER TO:
 City of Fort Pierce, Purchasing Division
 Room 101
 100 North U.S. #1
 Fort Pierce, FL 34950

MAIL TO:
 City of Fort Pierce Purchasing Division,
 Room 101
 P.O. Box 1480
 Fort Pierce, FL 34954-1480

CITY OF FORT PIERCE



**INVITATION TO BID
 and
 BIDDER ACKNOWLEDGMENT**

Bid Writer: Latonya Hubbard, 772-467-3102

Bid No: 2023-016

Mandatory Site-Visit:
 N/A

Bid Title: DISPOSITION OF FPRA SURPLUS
 PROPERTIES - 424 DOUGLAS COURT AND
 426 DOUGLAS COURT

Mandatory Site-Visit Location:
 N/A

Bid Opening Location:
 Purchasing Division Conference Room, Room 101
 100 North U.S. #1, 1st Floor
 Ft. Pierce, Florida 34950

Bid Due Date & Time
 3:00PM, WEDNESDAY, FEBRUARY 22, 2023

If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.

Bidder Name:

I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.

Mailing Address:

X _____
 Authorized Signature (Manual)

City, State, Zip Code:

Typed or Printed Name:

Type of Entity (Select one):
 Corporation _____
 Partnership _____
 Proprietorship _____

Title:

Incorporated in the State of: _____ **Year:** _____

Delivery in _____ days, After Receipt Order

Phone Number:

Payment Terms:

Fax Number:

FEIN or SS Number:

E-Mail Address:

Local Business: ___Y ___N **MWBE:** ___Y ___N

Bid Security is attached, when required, in the amount of \$ _____
 F.O.B. DESTINATION

If returning as a "No Bid" state reason:

THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID

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SECTION I

GENERAL CONDITIONS, INSTRUCTIONS, AND INFORMATION FOR PROPOSERS

1. GENERAL INFORMATION

These documents constitute the complete set of specification requirements and bid forms. All bid sheets and attachments must be executed and submitted in a sealed envelope. **DO NOT INCLUDE MORE THAN ONE BID PER ENVELOPE (CLEARLY MARK BID AS “ORIGINAL” AND REQUESTED NUMBER OF COPIES AS “COPY” ON EACH SET ENCLOSED).** The face to the envelope shall contain Bidder’s name, return address, the date and time of Bid opening, the bid number and title. Bids not submitted on the enclosed Bid Form shall be rejected. By submitting a bid, the Bidder agrees to be subject to all terms and conditions specified herein. No exceptions to the terms and conditions shall be allowed. Bidders shall submit two (2) complete sets (one [1] original and one [1] electronic copy (PDF) on a Flash Drive) of their bid complete with all supporting documentation. **SUBMITTAL OF A BID IN RESPONSE TO THIS INVITATION TO BID CONSTITUTES AN OFFER BY THE BIDDER.** Bids, which do not comply with the requirements, may be rejected at the option of the City.

2. DELAYS

The City, at its sole discretion, may delay the scheduled due dates indicated above if it is to the advantage of the City to do so. The City will notify proposers of all changes in scheduled due dates by written addendum.

3. EXECUTION OF BID

Bid must contain a manual signature, in ink, of an authorized representative who has the legal ability to bind the Bidder in contractual obligations in the space provided on Page 1 of Bidder/Bid Acknowledgment and on the Bid Response Form. FAILURE TO PROPERLY SIGN THE BID SHALL INVALIDATE SAME, AND IT SHALL NOT BE CONSIDERED FOR AN AWARD. Bids must be typed or legibly printed in ink. All corrections made by Bidder to any part of the bid document must be initialed in ink. The original bid conditions and specifications cannot be changed or altered in any way. Altered bids will not be considered. Clarification of bids submitted shall be in letter form, signed by bidders and attached to the bid.

4. NO RESPONSE

If not submitting a bid, respond by returning only the Proposer acknowledgment form, marking it “No Bid,” and give the reason in the space provided.

5. BID OPENING

Shall be public, at the address, date, and time specified on the bidder Acknowledgment form. The bid time must be and shall be scrupulously observed. Under no circumstances shall bids delivered after the time specified be considered; such bids will be returned unopened. The City will not be responsible for late deliveries or delayed mail. The time/date stamp clock located in the Purchasing Department shall serve as the official authority to determine lateness of any bid. It is the Bidders sole responsibility to assure that his/her bid is complete and delivered at the proper time and place of the bid opening.

Bids, which for any reason are not so delivered, will not be considered. Offers by facsimile, telegram, or telephone are not acceptable. A bid may NOT be altered by the Bidder after opening of the bids. Bid tabulations will be furnished on the City's web site: <https://www.cityoffortpierce.com> and Demandstar <https://www.demandstar.com> .

6. TAXES

The City is exempt from Federal Excise and State Sales Taxes on direct purchases of tangible personal property. The City exemption number is on the face of the Purchase Order. If requested, the Purchasing Director will provide an exemption certificate to the awarded Proposer. Vendors or contractors doing business with the City shall not be exempt from paying sales tax to their suppliers for materials to fulfill contractual obligations with the City Tax Exemption Number in securing such materials. This exemption does not apply to purchases of tangible personal property in the performance of contracts for the City.

7. DISCOUNTS

Cash discounts for prompt payment shall not be considered in determining the lowest net cost for bid evaluation purposes.

8. MISTAKES

- a. Bidders are expected to examine the specifications, delivery schedule, bid prices, extensions and all instructions pertaining to supplies and services. **FAILURE TO DO SO WILL BE AT BIDDER'S RISK.** In the event of extension error(s), the unit price will prevail and the Bidder's total offer will be corrected accordingly.
- b. Written amounts shall take precedence over numerical amounts. In the event of addition error(s), the unit price and extension thereof will prevail and the Bidder's total offer will be corrected accordingly. Bids having erasures or corrections must be initialed in ink by the Bidder.

9. INVOICING AND PAYMENT

Payment for any and all invoice(s) that may arise as a result of a contract or purchase order issued pursuant to this bid specification shall minimally meet the following conditions to be considered as a valid payment request:

- a. A timely submission of a properly certified invoice(s), in strict accordance with the price(s) and delivery elements as stipulated in the contract or purchase order document, and to be submitted to the Finance Department at the address as stipulated on the Purchase Order.
- b. All invoices submitted shall consist of an original and one (1) copy; clearly reference the subject contract or purchase order number; provide a sufficient salient description to identify goods or service for which payment is requested; contain date of delivery; bid number, original or legible copy of signed delivery receipt including both a manual signature and printed name of a designated City employee or authorized agent; be clearly marked as "partial", "complete", or "final" invoice. The City will accept partial deliveries unless otherwise specified into contract or purchase order document.

- c. The invoice shall contain the Bidder's Federal Employer Identification Number (F.E.I.N.).

10. DELIVERY

Unless actual date is specified (or if specified delivery cannot be met), show number of days required to make delivery after receipt of purchase order or contract in space provided. Delivery time may be a basis for making of award. Delivery shall be during the normal working hours of the user department, Monday through Friday, unless otherwise specified and incorporated into contract or purchase order document. Delivery shall be to the location specified in the bid specifications.

11. ADDITIONAL TERMS AND CONDITIONS

No additional terms and conditions included with the bid response shall be evaluated or considered. Any and all such additional terms and conditions shall have no force and effect and are inapplicable to this bid if submitted either purposely through intent or design, or inadvertently appearing separately in transmittal letters, specifications, literature, price lists or warranties. It is understood and agreed that the general and/or any special conditions in these Bid Documents are the only conditions applicable to this bid and the Bidder's authorized signature on the Bid Form attests to this.

12. INTERPRETATION

All Bidders shall carefully examine the Bid Documents. Any ambiguities or inconsistencies shall be brought to the attention of the City in writing prior to the opening of Bids; failure to do so, on the part of the bidder, will constitute an acceptance by the Bidder of any subsequent decision. Any questions concerning the intent, meaning, and interpretation of the Bid Documents shall be requested in writing, and received by the City at least seven (7) days prior to the Bid Opening. Inquiries shall be addressed to the attention of the Contact person as indicated on Page 9. No person is authorized to give oral interpretations of, or make oral changes to, the bid. Therefore, oral statements given before the bid opening will not be binding. Any interpretation of or changes to the bid will be made in the form of a written Addendum to the bid and will be furnished to all Bidders. Receipt of all addenda shall be acknowledged by the Bidders by signing and enclosing said addenda with their bid. The City will record its responses to inquiries and any supplemental instructions in the form of a written addendum. The City will send a written addendum to all Bidders who requested a bid directly from the City Purchasing Department. All proposers should contact the City at least seven (7) calendar days before the bid opening date to ascertain whether any addendums have been issued. Failure to do so could result in rejection of the bid as unresponsive. The City shall not be responsible for providing said addendum to proposers who receive bid packages from other sources.

13. ADDENDUM

Should revisions to the Bid Documents become necessary, the City will provide a written addendum to all proposers who received a bid package from the City Purchasing Department. Bidders who obtain Bid Documents from other sources must officially register with the City Purchasing Department in order to be placed on the mailing list for any forthcoming addendum or their official communications. Failure to register as a prospective Bidder may cause your bid to be rejected as non-responsive if you have failed to submit a bid without an addendum acknowledgment for the most current addendum. Previous addenda are deemed received when

a subsequent addendum is acknowledged. It is the Bidder's responsibility to contact the City in the event that a previous addendum is not received. Latest addendum shall be signed and returned with the bid as acknowledgment of addendum.

14. DISPUTES

Any Bidder who disputes the bid selection or contract award recommendation shall file such dispute according to the bid protest procedures. These procedures are available upon request from the City.

15. CONFLICT OF INTEREST

All bidders must disclose with their bid the name of any officer, director, or agent who is also an employee of the City. All Bidders must disclose the name of any City employee who owns, directly or indirectly, an interest of five percent (5%) or more in the Bidder's firm or any of its branches.

16. LEGAL REQUIREMENTS

Bidders are required to comply with all provisions of Federal, State, County and local laws and ordinances, rules and regulations, that are applicable to the items being bid. Lack of knowledge by the bidder shall in no way be a cause for relief from responsibility or constitute a cognizable defense against the legal effect thereof.

17. DRUG-FREE WORK PLACE (DFW)

Preference shall be given to business with Drug-Free Work Place (DFW) Programs. Whenever two or more bids which are equal with respect to price, quality, and service are received by the City for the procurement of commodities or contractual services, a bid received from a business that completes the attached DFW form certifying that it is a DFW shall be given preference in the award process.

18. MINORITY/WOMEN OWNED BUSINESS ENTERPRISE (MWBE)

Minority/Women Owned Business Enterprise (MWBE) indicates a business entity which is owned and operated by a minority. In this instance, minority group members are citizens of the United States or lawfully admitted permanent residents who are Black, Hispanics, Women, Native Americans, Asian-Pacific, Asian-Indian, and eligible others. An MWBE wishing to participate in the City procurement process may contact the Purchasing Department for information and assistance.

19. PUBLIC ENTITY CRIMES

No award will be executed with any person or affiliate identified on the Department of Management Services "convicted vendor" list. This list is defined as consisting of persons and affiliates who are disqualified from public contracting and purchasing process because they have been found guilty of a public entity crime. No public entity shall award any contract to, or transact any business in excess of the threshold amount provided in Section 287.017, Florida Statutes for Category Two (currently \$10,000.00) with any person or affiliated on the "convicted vendor" list for a period of thirty-six (36) months from the date that person or affiliate was placed on the "convicted vendor" list unless that person or affiliate has been removed from the list pursuant to Section 287.133(3)(f) Florida Statutes

20. AWARD

As the best interest of the City may require, the right is reserved to make award(s) by individual item, group of items, "All or None", or a combination thereof; with one or more suppliers; to reject any or all bids, or waive any minor irregularity or technicality in bids received, and may, at its sole discretion, request a rebid. Bidders are cautioned to make no assumption until the City has entered into a contract or issued a purchase order.

21. EEO STATEMENT

The City is committed to assuring equal opportunity in the award of contracts, and therefore complies with all laws prohibiting discrimination on the basis of race, color, religion, national origin, age or sex.

22. CONTRACTUAL AGREEMENT

The terms, conditions, and provisions in this Invitation to Bid shall be included and incorporated in any final contract or purchase order. The order of precedence will be Bid Document and response, purchase order or contract, and general law. Any and all legal action necessary to enforce a contract or purchase order will be interpreted according to the laws of Florida. The venue shall be Fort Pierce, Florida.

23. GOVERNMENTAL RESTRICTION

In the event that any governmental restrictions are imposed which would necessitate alteration of the material quality, workmanship or performance of the items offered on this bid prior to their delivery, it shall be the responsibility of the Bidder to notify the Purchasing Department at once, indicating in his/her letter the specific regulation which required an alteration, including any price adjustments occasioned thereby. The City reserves the right to accept such alteration or to cancel the contract or purchase order at no further expense to the City.

24. PATENTS AND ROYALTIES

The Bidder, without exemption, shall indemnify and save harmless, the City, its employees and/or any of its Commission/Board from liability of any nature or kind, including cost and expenses for or on account of any copyrighted, patented, or unpatented invention, process, or item manufactured by the Bidder. Further, if such claim is made, or is pending, the Bidder may, at its option and expense, procure for the City the right to use, replace or modify the item to render it non-infringing. If none of the alternatives are reasonably available, the City agrees to return the article on request to the Bidder and receive reimbursement. If the Bidder used any design, device, or materials covered by letters, patent or copyright, it is mutually agreed and understood, without exception, that the bid prices shall include all royalties or cost arising from the use of such design, device, or materials in any way involved in the work.

25. ADVERTISING

In submitting a bid, Bidder agrees not to use the results therefrom as a part of any commercial advertising, without the express written approval, by the appropriate level of authority within the City.

26. ASSIGNMENT

Any purchase order or contract issued pursuant to this Invitation to Bid and the monies which may become due hereunder are not assignable except with the prior written approval of the City, through the Purchasing Department.

27. COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH

Bidder certifies that all material, equipment, etc., contained in his/her bid meets all applicable O.S.H.A. requirements. Bidder further certifies that, if he/she is the successful Bidder, and the material, equipment, etc., delivered is subsequently found to be defective in applicable O.S.H.A. requirement in effect on the date of delivery, all costs necessary to comply with the requirements shall be borne by the Bidder.

28. FACILITIES

The City reserves the right to inspect the Bidder's facilities at any reasonable time, during normal working hours, with prior notice to determine that Bidder has a bona fide place of business, and is a responsible Bidder.

29. REPRESENTATION

A Bidder must have at the time of bid opening, a manufacturing plant in operation, or be a fully authorized agent or representative of the product bid, and capable of producing or providing the items bid, and so certify upon request.

30. DISQUALIFICATION OF BIDDER

More than one bid from an individual, firm, partnership, corporation, or association under the same or different names will not be considered. Reasonable grounds for believing that a Bidder is involved in more than one bid submittal will be cause for rejection of all bids in which such Bidders are believed to be involved. Any or all bids will be rejected if there is reason to believe that collusion exists between Bidders Bids in which the prices obviously are unbalanced will be subject to rejection.

31. ADJUSTMENTS/CHANGES/DEVIATIONS

No adjustments, changes or deviations shall be accepted on any item unless conditions or specifications of a bid expressly so provide. Any other adjustments, changes or deviations shall require prior written approval, and shall be binding ONLY if issued by the City's Purchasing Department. The Bidder shall bear sole responsibility for any and all costs of claims arising from any adjustments, changes or deviations not properly executed as required herein.

32. INSURANCE

The awarded Bidder(s) shall maintain insurance coverage reflecting the minimum amounts and conditions specified in the attached specifications or the Special Terms and Conditions. In the event the proposer is a governmental entity or a self-insured organization, different requirements may apply. Misrepresentation of any material fact, whether intentional or not, regarding the Bidder's insurance coverage, policies or capabilities may be grounds for rejection of the bid and rescission of any ensuing contract.

33. PUBLIC RECORDS

Sealed bids, bids, or replies received by an agency pursuant to a competitive solicitation are exempt from § 119.07(1) and s. 24(a), Art. I of the State Constitution until such time as the agency provides notice of an intended decision or until 30 days after opening the bids, bids, or final replies, whichever is earlier.

34. BID PREPARATION COSTS

Neither the City nor its representatives shall be liable for any expenses incurred in connection with preparation of a response to this Invitation to Bid. Bidders should prepare their bids simply and economically, providing all information and prices as required.

35. COOPERATIVE PURCHASING

Any governmental purchasing authority may participate in this purchase for services and commodities from this successful award.

36. CANCELLATION

This request may be cancelled and any response, bid or bid may be rejected in whole or in part at any time for good cause when in the best interest of the City and /or the Fort Pierce Redevelopment Agency. Section 2-63(a)(7) of the City Code.

ANY AND ALL SPECIAL TERMS AND CONDITIONS, TECHNICAL REQUIREMENTS, SCOPE OF WORK OR SPECIFICATIONS ATTACHED HERETO WHICH VARY FROM THESE GENERAL CONDITIONS SHALL HAVE PRECEDENCE.

SECTION II

INSTRUCTIONS TO BIDDERS

1. **BID OPENING DATE**

Bids are due on or before **3:00 PM, WEDNESDAY, FEBRUARY 22, 2023**

2. **DELIVERY OF BIDS**

Bid response may be submitted in hard copy or electronically. Please see below instructions for submitting your bid response.

HARD COPY SUBMISSIONS

One (1) original and one (1) copy of sealed BIDS. DO NOT USE RINGED BINDERS OF ANY KIND. All copies will be on 8 ½" x 11" plain, white paper, typed or printed, and signed by the Bidder's contractually binding authority and shall be mailed or delivered to:

Delivery Address:

**City of Fort Pierce
Attn: Purchasing Division,
Room 101
100 North U.S. #1
Fort Pierce, FL 34950**

Mailing Address:

**City of Fort Pierce
Attn: Purchasing Division,
Room 101
P.O. Box 1480
Fort Pierce, FL 34954-1480**

OPTIONS FOR ELECTRONIC SUBMISSIONS

Are as follows:

- Via Demandstar Website, (www.demandstar.com) Electronic Bid (E-Bid). Instructions are provided. Please **(see attachment)**
- By forwarding your response, pdf format to purchasing@cityoffortpierce.com no later than 3:00PM ES, February 22, 2023,. **If you decide to use this submission option, your entire submission must be submitted electronically. Please do not mail hard-copies.**

NOTE: Please ensure that if a third-party carrier (Federal Express, UPS, etc.) is used, that the third party is properly instructed to deliver the Bid Submittal **only** to Room 101, in the Purchasing Division on the first (1st) floor at the above address.

Bids mailed to 100 N.US Highway 1 via the United States Postal Services (USPS) are delivered to the Post Office, not to the physical address and, therefore, may not meet the requirements of Selection 2 above. To be considered, a Bid must be received and accepted in the Purchasing Division before the Bid closing date and time.

Copies of the bid documents are available electronically from the Purchasing Division by e-mail request to purchasing@cityoffortpierce.com or on the website of Demandstar.com (www.demandstar.com) and the web site of the City of Fort Pierce (<http://www.cityoffortpierce.com/187/Purchasing>).

Any bids received after the designated time and date listed above will be returned unopened.

3. INQUIRIES/QUESTIONS

3.1 All inquiries will be in a written format and addressed to City of Fort Pierce Economic Development Manager with a copy to the Purchasing Manager:

TO

City of Fort Pierce
Miriam Garcia
Redevelopment Specialist
P. O. Box 1480
Fort Pierce, FL 34954-1480
Fax: (772) 466-5808
Email: mgarcia@cityoffortpierce.com

COPY

City of Fort Pierce
Latonya Hubbard
Purchasing Agent
P.O. Box 1480
Fort Pierce, FL 34954-1480
Fax: (772) 467-3748
Email: purchasing@cityoffortpierce.com

3.2 No inquiries will be received after, **Monday, February 15, 2023, 5:00 P.M.**

4. MINORITY PARTICIPATION AND OUTREACH PROGRAM

Describe your firm's program and/or policies in regard to minority and non-discrimination, including the firm's history of Minority and Women Owned Business Enterprise (M/WBE) participation. Include a strategy for promoting minority participation in this project and a realistic goal for participation. List references of Owners, M/WBE firms or consultants who can speak to your firm's utilization of M/WBE on previous projects.

5. PURCHASING CARD PROGRAM

5.1 The City has implemented a **Purchasing Card Program**. The selected Proposers(s) can take advantage of this program and in consideration receive payment within several days, instead of the City's policy of Net 30 Days After Receipt of Invoice (ARI). **Any percentage off the bid price for the acceptance of Visa will be considered in the bid award.** If no such percentage is given, the City shall assume 0% discount applies.

5.2 Proposers are requested to state on the Bid Response Form, if they will honor the VISA Purchasing Card. In the event of failure on the part of the Proposer to make this statement, the City shall assume the purchase or Contract price shall be governed by the Net 30 ARI (after receipt of invoice).

SECTION III

STATEMENT OF WORK

1. **OBJECTIVE**

The restoration of Fort Pierce's neighborhoods is a key strategy to revitalizing the Fort Pierce Redevelopment Area (FPRA) and City of Fort Pierce as a whole. One way to accomplish this goal is to dispose of surplus property owned by the City/FPRA. The City of Fort Pierce and Fort Pierce Redevelopment Agency sell City and FPRA-owned real property declared as surplus. Once the property has been declared as surplus by the City Commission/FPRA Board, the property shall be offered for sale to the public with a Invitation for Bids (BID).

The City of Fort Pierce and the Fort Pierce Redevelopment Agency have declared surplus and now offer for sale the following described real properties (the "Properties") owned by the City of Fort Pierce or Fort Pierce Redevelopment Agency (the "FPRA"):

- **424 Douglas Court - 2409-501-0199-000-0 AND**
- **426 Douglas Court - 2409-501-0200-000-1**

The City of Fort Pierce and the Fort Pierce Redevelopment Agency reserves the right to accept or reject any or all bides, to award bids on a split-order basis by item number when applicable, to waive any bid in formalities and to re-advertise for bids when deemed in the best interest of the City of Fort Pierce.

2. **GENERAL PROPERTY CONDITIONS**

The subject properties are listed as follows:

424 Douglas Court – Parcel ID# 2409-501-0199-000-0

The subject property is located at 424 Douglas Court is in the City of Fort Pierce, Florida. The lot is rectangular in shape and consists of +/- 0.11 acres or 4,968 square feet. This property is located along the Moore's Creek Linear Park and in the historic Lincoln Park district. This property is close to shopping, restaurants and beaches.

The St. Lucie County Property Appraiser property detail for 2409-501-0199-000-0 is included as Exhibit "A".

The property is zoned Medium Density Residential R-4.

426 Douglas Court – Parcel ID# 2409-501-0200-000-1

The subject property is located at 426 Douglas Court is in the City of Fort Pierce, Florida. The lot is rectangular in shape and consists of +/- 0.11 acres or 4,980 square feet. This property is located along the Moore's Creek Linear Park and in the historic Lincoln Park district. This property is close to shopping, restaurants and beaches.

The St. Lucie County Property Appraiser property detail for 2409-501-0200-000-1 is included as Exhibit "A".

The property is zoned Medium Density Residential R-4.

424 and 426 Douglas Court are being offered in combination and bids separating the

parcels will not be accepted.

3. BID TIMELINE

Advertise	January 30, 2023
Last Day for Inquires/ Question	February 15,2023; 5:00 PM
Bid Due Date	February 22, 2023; 3:00 PM
FPRA Board	March 2023

4. TERMS AND CONDITIONS

Sale of this property will be “as is” and title will be transferred via a Quit Claim Deed. The City will be conveying title to the property by Quit Claim Deed without warranty of title. The City makes no representation that the property is free and clear of all liens and encumbrances.

The sale shall be conditioned upon the offer and submittal requirements. The Bidder will be responsible for all costs to meet code requirements, and other construction costs, if necessary. If the buyer does not commence construction within 18 months of closing, there may be a possibility of reverter. The City, at its sole option, may exercise its reversionary interest in the event the developer does not comply with the deed restrictions.

5. MANDATORY DEPOSIT

A security deposit of ten percent (10%) of the purchase price will be due from the highest ranked proposer in the form of a certified or cashier’s check, payable to the City of Fort Pierce. The security deposit must be submitted within 7 calendar days of notification of highest ranked proposer. The deposit must be received prior to the recommendation of award to appropriate governing body. If the deposit is not received, the City at its sole discretion may award to the second highest ranked respondent, cancel or reissue the solicitation.

The security deposit will be returned if the bid is not accepted by the governing body within ninety (90) days. Should the bid be accepted, the deposit will be applied to the purchase cost.

6. BID SUBMITTAL REQUIREMENTS

The bid shall be submitted in a concise, organized format divided by the following three (3) tabs:

A. TAB 1: Proposer

a. Summary

- i. Developer – If you are a developer – must provide a summary of their experience in the field of property development and provide evidence that they are fully competent to develop the property. In addition, developers and/or contractors shall provide images of previous work. OR
- ii. Owner/Occupant – If you are neighboring property owner or future occupant, please provide a letter explaining why you want to purchase the property.
- iii. Financial Capacity - Proposers proof of financial ability to complete the development project including the construction. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

B. TAB 2: Development Plan

- a. Preliminary Building Plans- Preliminary building plans including elevations floor plans, facades, and landscaping.
- b. Project Timeline- Provide a project schedule identifying specific key tasks and milestones necessary to concurrently develop multiple lots and ensure projects are completed on time and within budget.
- c. Construction Budget/Cost Estimates - improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.
- d. Utilization - Will this be your primary residence? If not, what do you intend to develop the property for?

C. Required Forms

- a. Invitation to Bid Form
- b. Offer to Purchase/ Bid Response Form

7. SELECTION PROCESS/EVALUATION CRITERIA

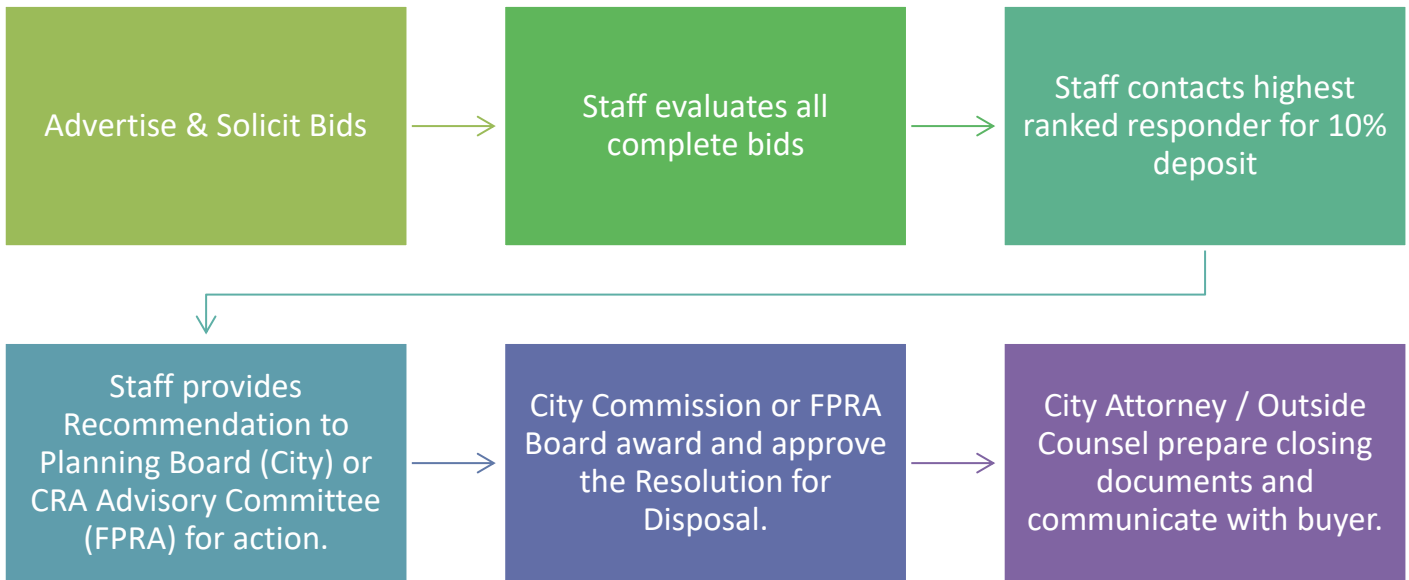
The City of Fort Pierce shall select the best responsive proposer/bid based upon the evaluation criteria, see below.

Bids will be evaluated by the City of Fort Pierce who shall be the sole judge of its own best interests, the bid itself, the qualifications of the applicant and the resulting final negotiated agreement. The city’s decisions in these matters shall be final and binding.

The City’s evaluation will include, but not limited to, consideration of the following:

SCORING/EVALUATION CRITERIA FOR ACCEPTANCE OF SUBMITTALS	POSSIBLE POINTS
Development Plan	MAX 20
Preliminary building plans including elevations, floor plans, facades, landscaping plan	20
Sketches of plans to be developed	15
Detailed description with no drawings	5
Timeline to complete the construction project	MAX 20
Within one year	20
Between 1 to 2 years	15
More than 2 years but less than 3 years	5
Construction Cost Estimates	MAX 10
Detailed cost estimate from licensed contractor	10
Proposer estimated cost with no 3 rd party backup	5
Proof of Financial Ability/Letter from Financial Institution (proof of financial ability to purchase the lot and construct)	MAX 15
Property Utilization Developed for Residential Use	MAX 20
Owner Occupied	20
Develop for Resale	15
Neighboring property owner	10
Develop as Rental Property	5
Narrative/Summary of development	MAX 15
Total Project Score	100

8. AWARD PROCESS





**CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES**

Bid No. 2023-016

Date: _____

I/we propose to purchase property located at: (Check the property proposing to purchase. If proposing to purchase multiple properties, complete a separate Offer to Purchase/Bid Response Form for each).

_____ **424 Douglas Court -2409-501-0199-000-0 AND 426 Douglas Court -2409-501-0200-000-1**

PROPOSED SUBMITTED BY:

Legal Name (s): _____

Address: _____

Day-time Phone Number: _____ Mobile Number: _____

Email: _____

INTENDED USE

I/we propose to use the property for:

Will this property be your primary residence? _____ Yes _____ No

If not above, what do you intend to develop the property for: _____ Rental _____ Resale _____ Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

_____ (Attach pages as needed)

Total value of all proposed improvements to the property: \$ _____

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$_____ for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

___Yes ___No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

___Yes ___No **Timeline to complete construction project**

___Yes ___No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

___Yes ___No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

___Yes ___No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

___Yes ___No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER'S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.

Bidder of Authorized Representative

Typed Name

Date

CITY OF FORT PIERCE BIDDER'S CHECKLIST

This checklist is provided to assist each Bidder in the preparation of their bid response. Included in this checklist are important requirements, which is the responsibility of each Bidder to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Bidder to read and comply with the Invitation to Bid in its entirety.

Check "Yes" or "No" to each of the following:

	YES	NO
Is the Bidder's Narrative/Summary included?	_____	_____
Is the proof of Financial Ability/Letter from financial institution included?	_____	_____
Is the Development Plan included:	_____	_____
Preliminary building plans included	_____	_____
Timeline to complete the construction project	_____	_____
Construction cost estimates included	_____	_____
Landscaping plans	_____	_____
Property development utilization	_____	_____
Is Invitation to Bid cover page (page 1) completed, signed, and attached?	_____	_____
Is the Offer to Purchase Form (page age 14-16) completed, signed and attached?	_____	_____
Bid envelope is marked accordingly.	_____	_____

PLEASE SIGN AND RETURN WITH BID: _____

EXHIBIT "A"

Property Information Card

424 Douglas Court

2409-501-0199-000-0



The subject property is located at 424 Douglas Court in the City of Fort Pierce, Florida. The lot is rectangular in shape and consists of +/- 0.11 acres or 4,968 square feet. This property is located along the Moore's Creek Linear Park and in the historic Lincoln Park district. 424 and 426 Douglas Court are being offered in combination and bids separating the parcels will not be accepted.

BID TIMELINE

Advertise:

January 30, 2023

Bid Deadline:

February 22, 2023

FPRA Board: March 2023

PARCEL ID:

2409-501-0199-000-0

LOT SIZE:

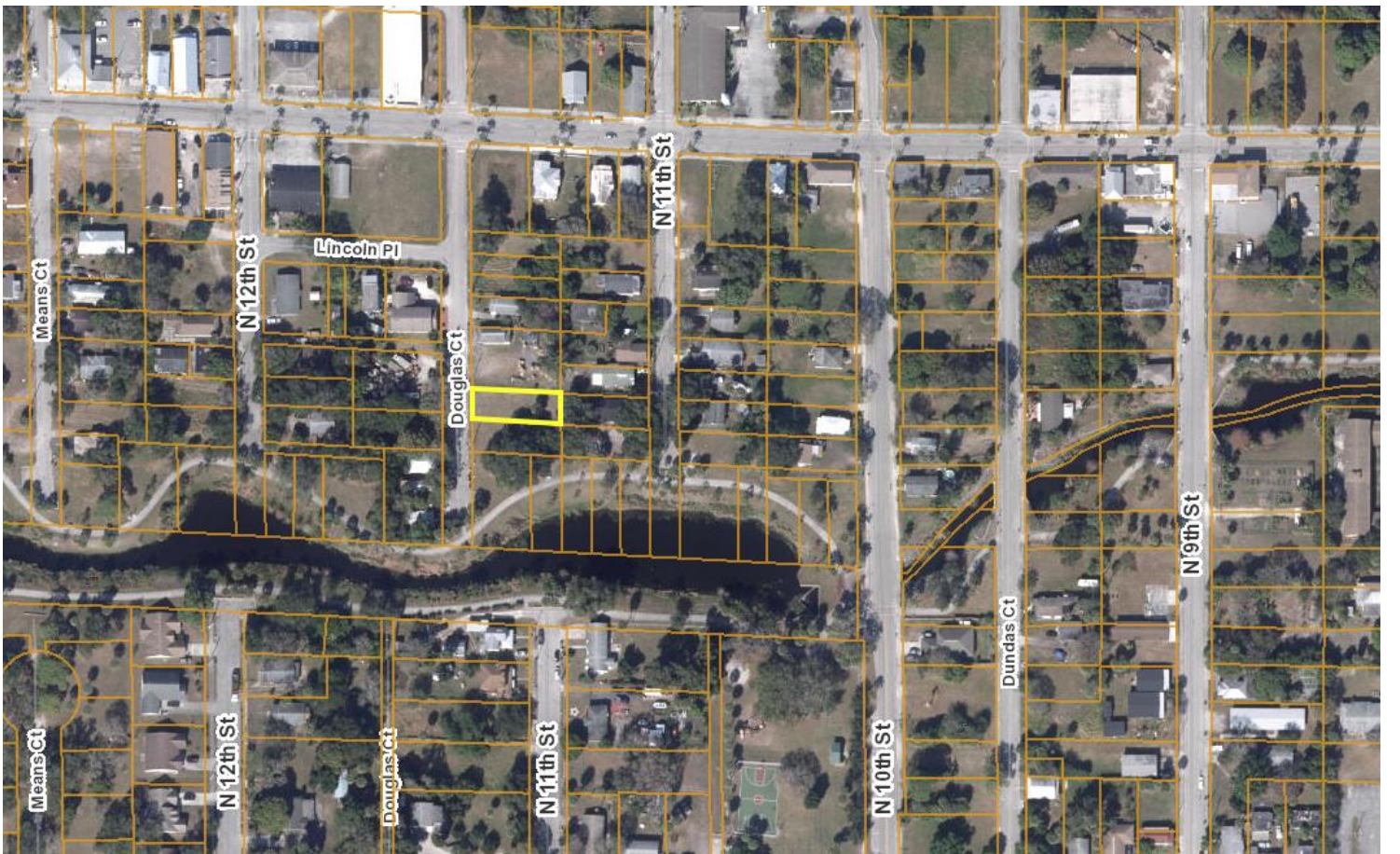
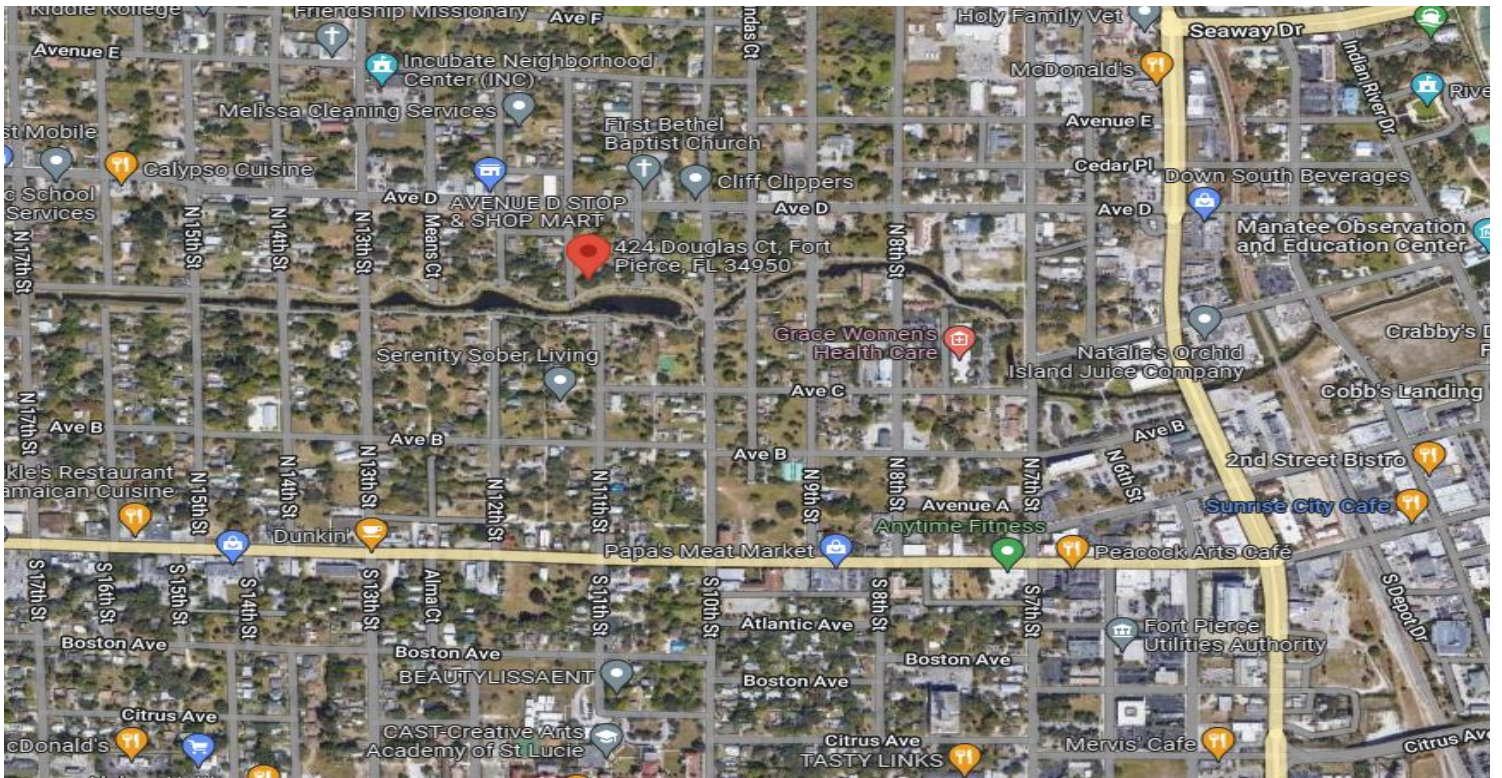
0.11 ac or 4,968 sf

FPRA DISTRICT:

Lincoln Park

ZONING:

R4 – Medium Density
Residential



426 Douglas Court

2409-501-0200-000-1



The subject property is located at 426 Douglas Court in the City of Fort Pierce, Florida. The lot is rectangular in shape and consists of +/- 0.11 acres or 4,980 square feet. This property is located along the Moore's Creek Linear Park and in the historic Lincoln Park district. 424 and 426 Douglas Court are being offered in combination and proposals separating the parcels will not be accepted.

PARCEL ID:

2409-501-0200-000-1

LOT SIZE:

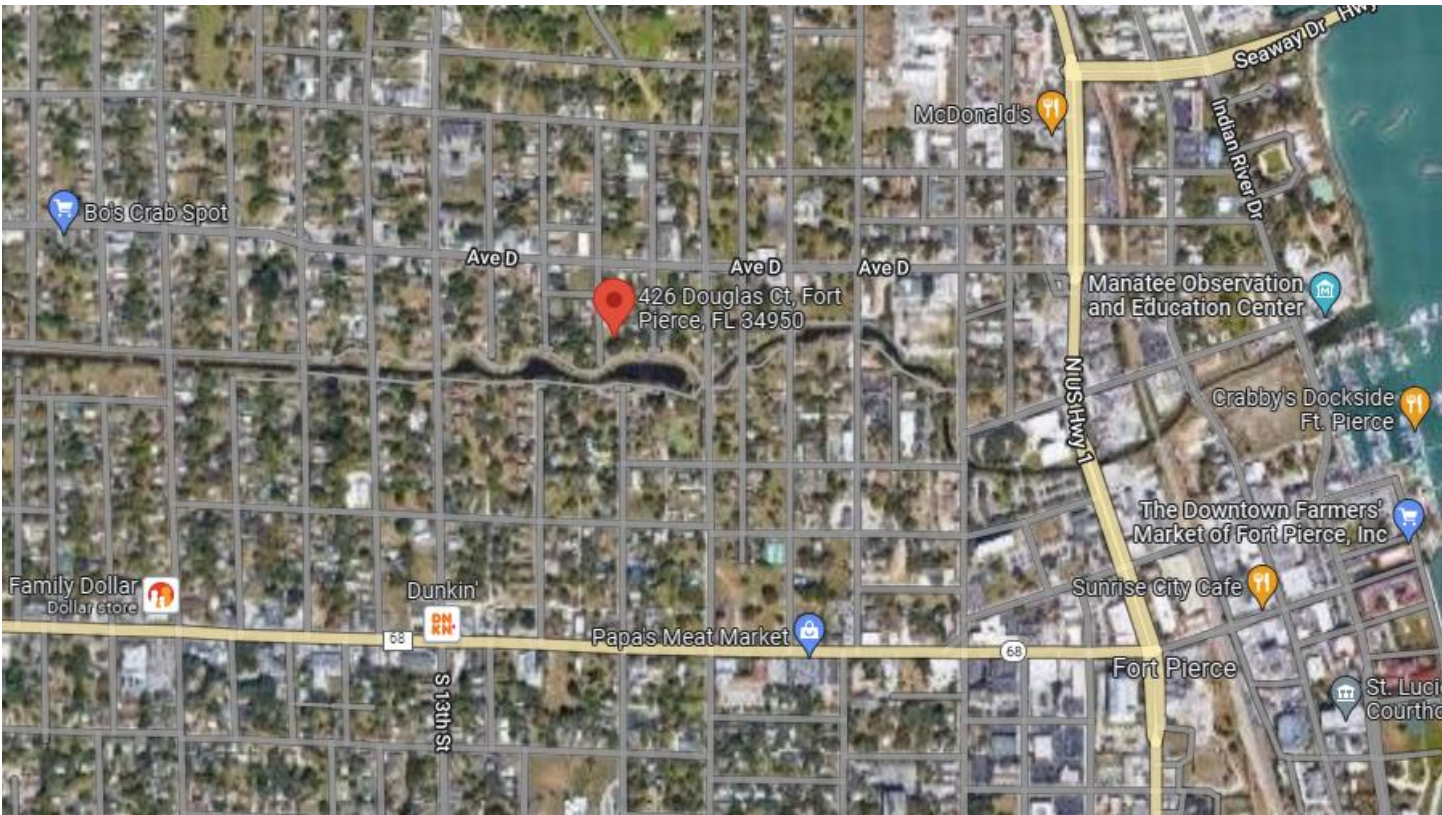
0.11 ac or 4,980 sf

FPRA DISTRICT:

Lincoln Park

ZONING:

R4 – Medium Density Residential



**BID NO. 2023-016 - DISPOSITION OF SURPLUS PROPERTIES
424 & 426 DOUGLAS COURT
CUMULATIVE EVALUATION SHEET**

RESPONDENTS	EVALUATOR #1	EVALUATOR #2	EVALUATOR #3	EVALUATOR #4	TOTAL
Allecia Dixon Port St. Lucie, FL	32	28	40	30	130
Chad Ingram, Agnes Gibson, Christa West Park, FL	75	59	65	70	269
Development U, LLC West Palm Beach, FL	82	84	80	78	324
Eastern Capital Investments, LLC Orlando, FL	95	90	95	78	358
Franckly Cherilus Westlake, FL	15	30	20	15	80
KIB Construction Corp Port St. Lucie, FL	55	27	65	58	205
Telco Investments, LLC. Boynton Beach, FL	83	80	85	85	333

DELIVER TO:
 City of Fort Pierce, Purchasing Division
 Room 101
 100 North U.S. #1
 Fort Pierce, FL 34950

MAIL TO:
 City of Fort Pierce Purchasing Division,
 Room 101
 P.O. Box 1480
 Fort Pierce, FL 34954-1480

CITY OF FORT PIERCE



**INVITATION TO BID
 and
 BIDDER ACKNOWLEDGMENT**

Bid Writer: Latonya Hubbard, 772-467-3102

Bid No: 2023-016

Mandatory Site-Visit:
 N/A

Bid Title: DISPOSITION OF FPRA SURPLUS
 PROPERTIES - 424 DOUGLAS COURT AND
 426 DOUGLAS COURT

Mandatory Site-Visit Location:
 N/A

Bid Opening Location:
 Purchasing Division Conference Room, Room 101
 100 North U.S. #1, 1st Floor
 Ft. Pierce, Florida 34950

Bid Due Date & Time
3:00PM, WEDNESDAY, FEBRUARY 22, 2023

If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.

Bidder Name:
 Chad Ingram, Angus Gibson, Christa Stone

I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.

Mailing Address:
 4311 SW 27th Street

X Chad Ingram
 Authorized Signature (Manual)

City, State, Zip Code:
 West Park, Florida 33023

Typed or Printed Name:
 Chad Ingram

Type of Entity (Select one):
 Corporation _____
 Partnership Real Persons _____
 Proprietorship _____

Title:
 Citizen

Incorporated in the State of: **Year:**

Delivery in 7 **days, After Receipt Order**

Phone Number: 786-389

Payment Terms: Cash @ Closing

Fax Number:

FEIN or SS Number: 265-71-1339

E-Mail Address: FortPierceChad@gmail.com

Local : Y N **MWBE:** Y N

Bid Security is attached, when required, in the amount of \$ \$800.00 when requested
 F.O.B. DESTINATION

If returning as a "No Bid" state reason:

THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID



CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES
 Bid No. 2023-016

Date: 2/22/2023

I/we propose to purchase property located at: (Check the property proposing to purchase. If proposing to purchase multiple properties, complete a separate Offer to Purchase/Bid Response Form for each).

424 Douglas Court -2409-501-0199-000-0 AND 426 Douglas Court -2409-501-0200-000-1

PROPOSED SUBMITTED BY:

Legal Name (s): Chad Ingram, Angus Gibson, & Christa Stone
 Address: 4311 SW 27th Street, West Park, Fl. 33023
 Day-time Phone Number: N/A Mobile Number: 786-389-4891
 Email: FortPierceChad@gmail.com

INTENDED USE

I/we propose to use the property for:

This will be our personal residence as well as our first prototype of our EKhaya housing models. We have developed truly affordable homes ranging from 160sqft to 1500sqft.

We currently do research and studies on seagrass and baitfish in Moore's Creek and will continue working with the county from here

Will this property be your primary residence? Yes No

If not above, what do you intend to develop the property for: Rental Resale Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

1 solar unit within 6-8 months of transfer, 2-3 units within 8-18 months, greenhouse w/ aquaculture. The property will be planted with native trees and flowers as well as a variety of Fruit and nut trees. Outdoor kitchen for weekly community dinners. This is where we intend to live and work!

 _____ (Attach pages as needed)

Total value of all proposed improvements to the property: \$ 250,000.00

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ 8000.00 for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

- Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

- Yes No **Timeline to complete construction project**

- Yes No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

- Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

- Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

- Yes No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER'S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.

Chad Ingram

Bidder of Authorized Representative

Chad Ingram
Typed Name

2/22/2023
Date

EXHIBIT "A"

Property Information Card

424 Douglas Court

2409-501-0199-000-0



The subject property is located at 424 Douglas Court in the City of Fort Pierce, Florida. The lot is rectangular in shape and consists of +/- 0.11 acres or 4,968 square feet. This property is located along the Moore's Creek Linear Park and in the historic Lincoln Park district. 424 and 426 Douglas Court are being offered in combination and bids separating the parcels will not be accepted.

PARCEL ID:

2409-501-0199-000-0

LOT SIZE:

0.11 ac or 4,968 sf

FPRA DISTRICT:

Lincoln Park

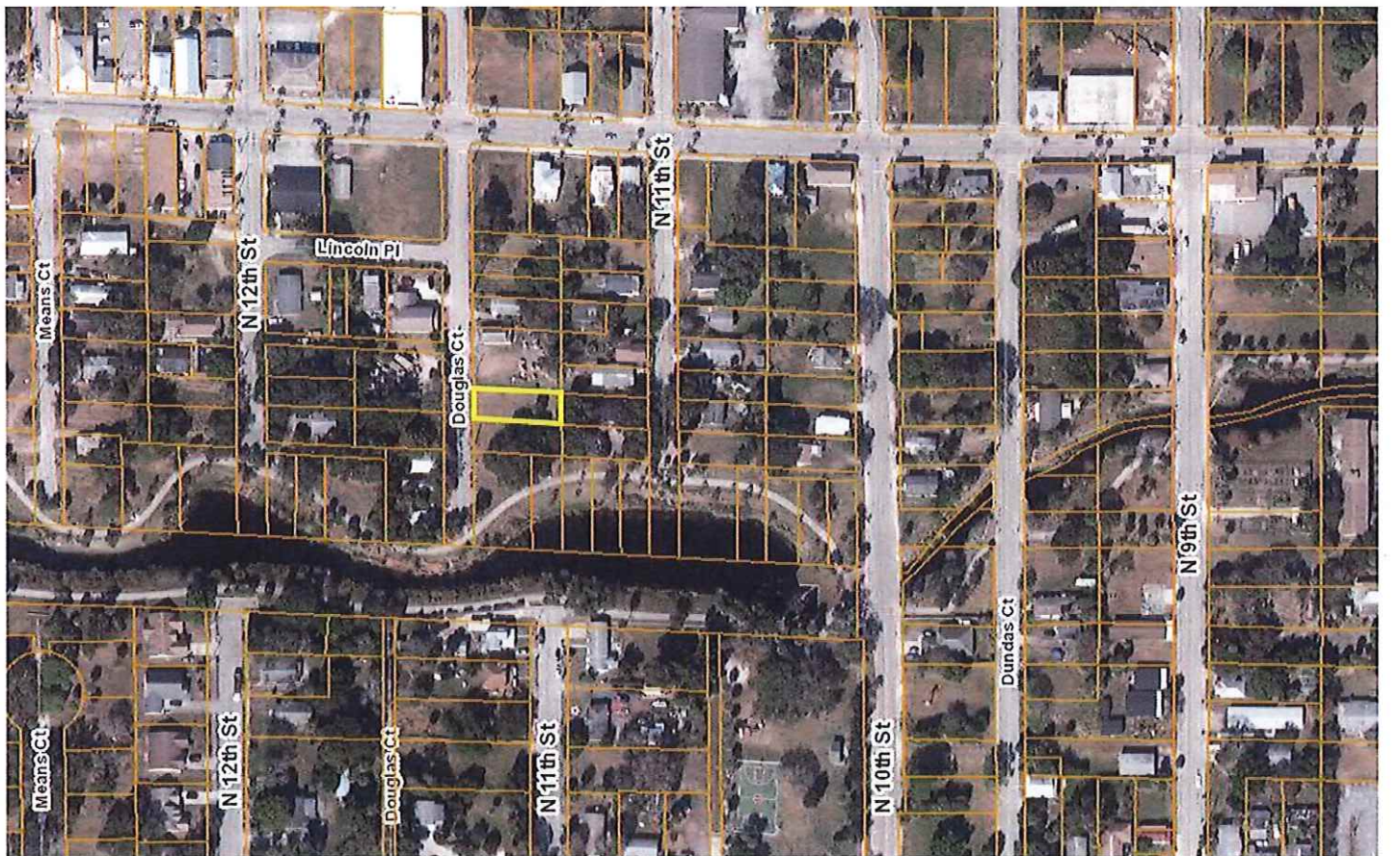
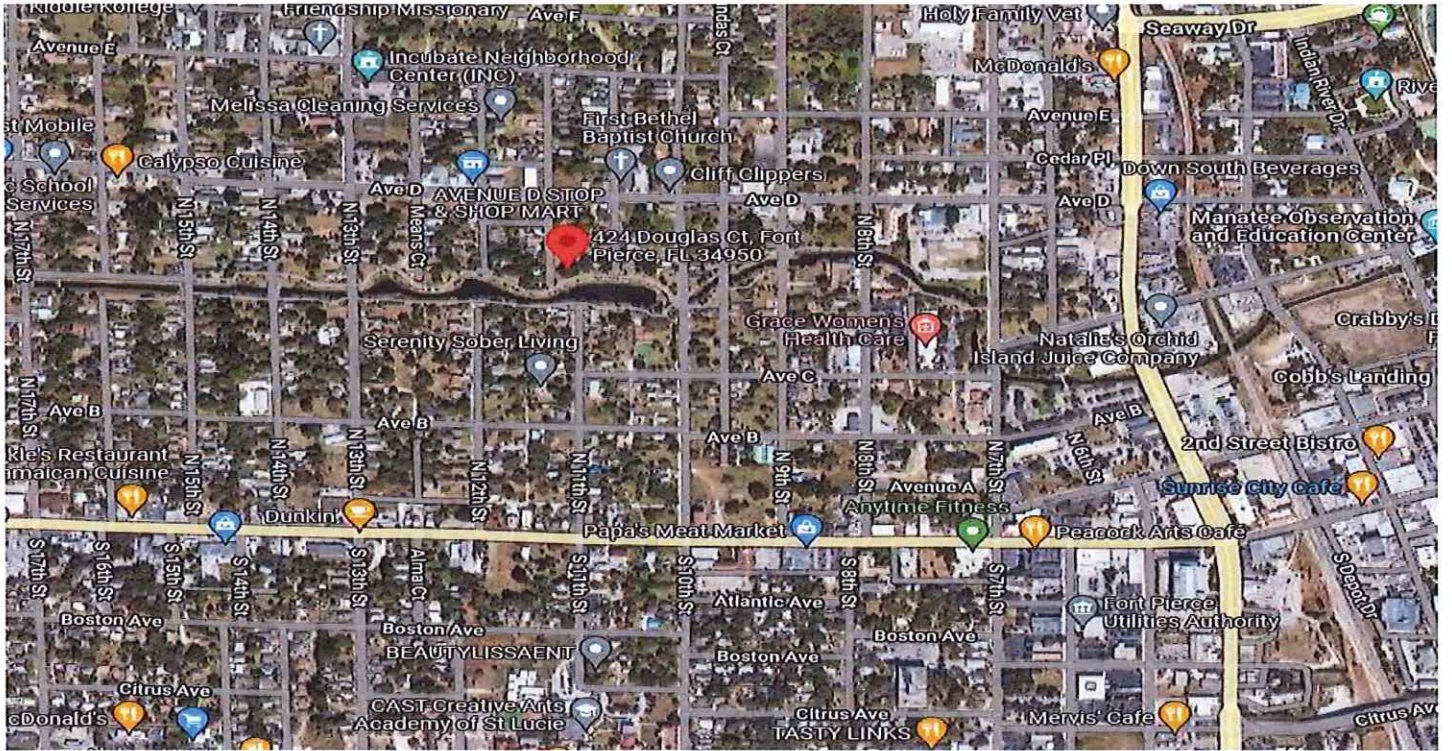
ZONING:R4 – Medium Density
Residential**BID
TIMELINE****Advertise:**

January 30, 2023

Bid Deadline:

February 22, 2023

FPRA Board: March 2023



426 Douglas Court

2409-501-0200-000-1



The subject property is located at 426 Douglas Court in the City of Fort Pierce, Florida. The lot is rectangular in shape and consists of +/- 0.11 acres or 4,980 square feet. This property is located along the Moore's Creek Linear Park and in the historic Lincoln Park district. 424 and 426 Douglas Court are being offered in combination and proposals separating the parcels will not be accepted.

PARCEL ID:

2409-501-0200-000-1

LOT SIZE:

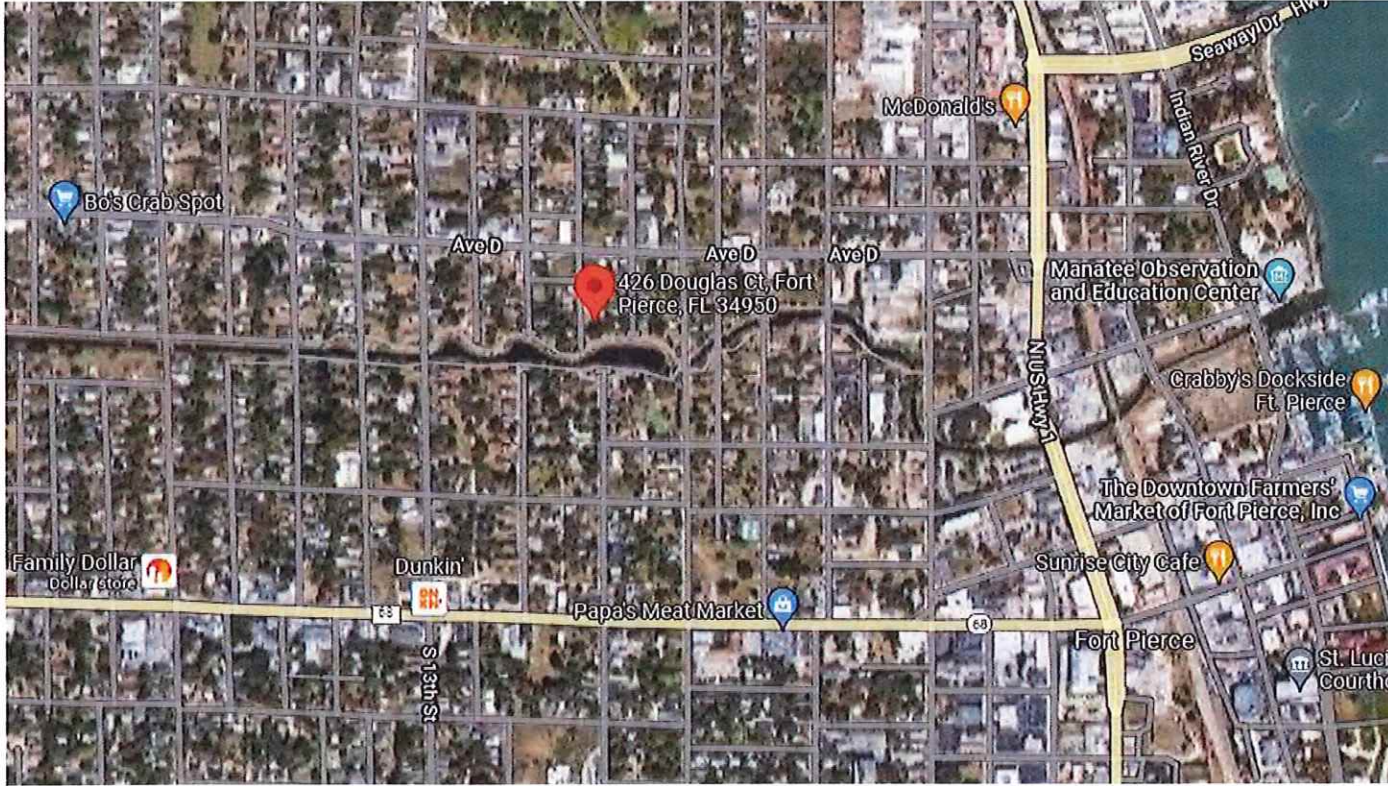
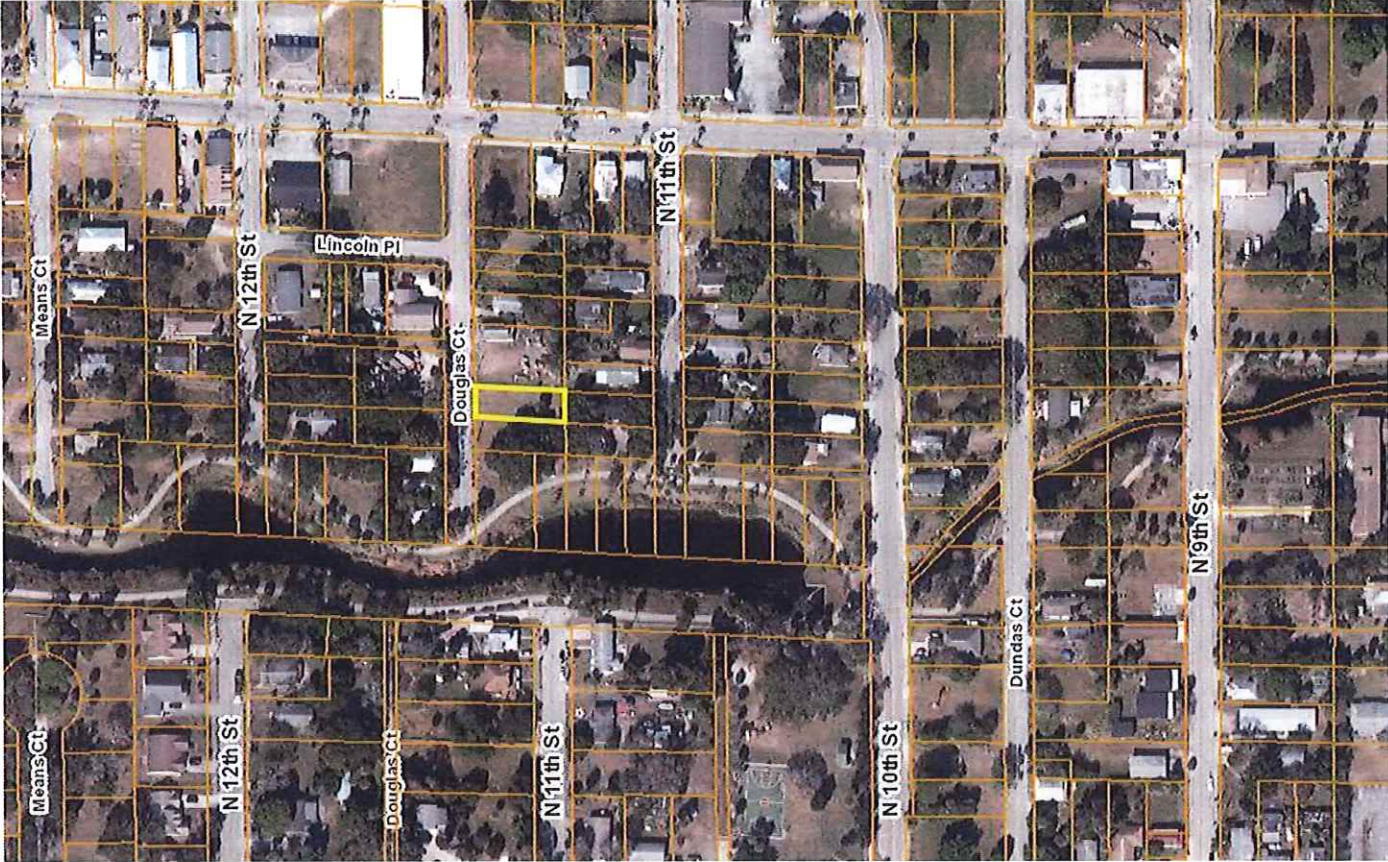
0.11 ac or 4,980 sf

FPRA DISTRICT:

Lincoln Park

ZONING:

R4 – Medium Density Residential



I'd like to thank you for considering selling us this property.

This would be the first prototype of our EKhaya style housing that is intended to bind families and communities together and make it so that the cost of obtaining and keeping quality housing can be kept under control. The housing that I have engineered and designed cuts out 50% of the cost of construction and building houses. One of the tenants of my program is acquiring property at a reasonable cost. This is why I have been advocating for the city to sell their surplus property for the last two years. We believe that if we are able to purchase this property and continue setting up this first Prototype we will be able to reproduce this housing model all over the city.

The properties have been designed using a pattern language to enhance human life and connection.

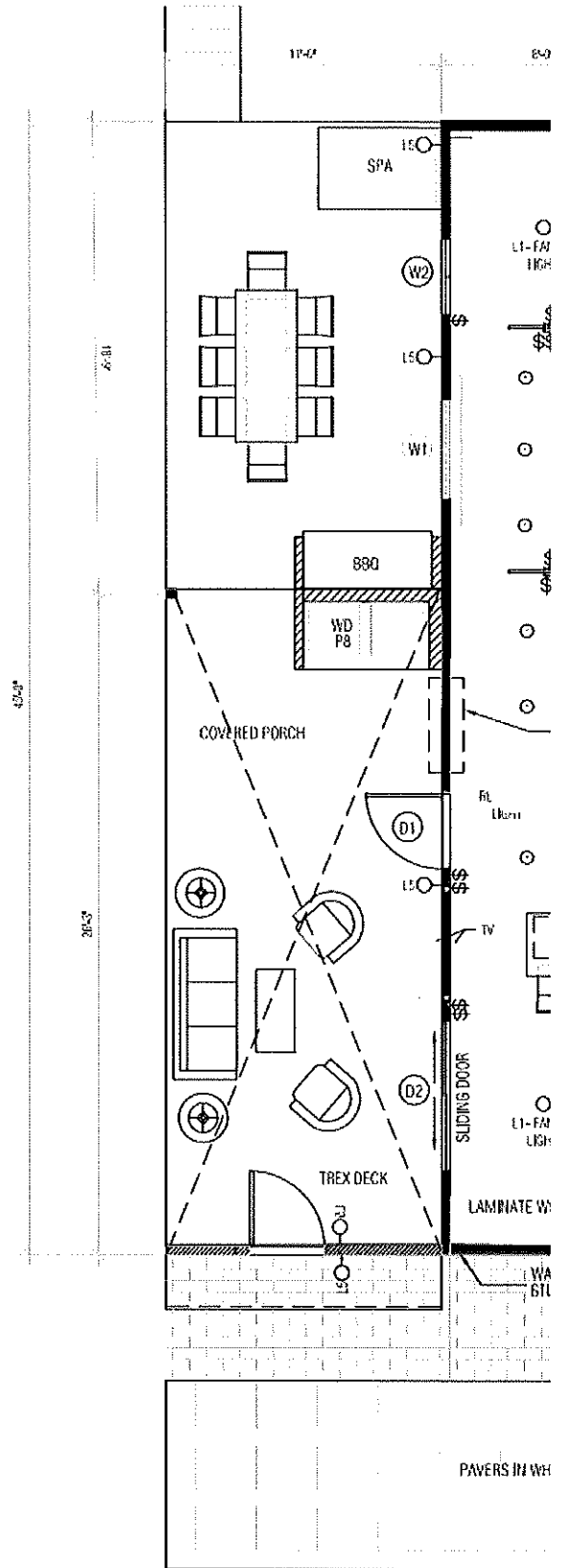
The project's location will enable us to continue and expand our work as far as the cleaning of Moores Creek and re-populating the shoreline with Seagrass and bait fish, these are projects that we are working on with the coastal resource management department of St. Lucie county. Ultimately it will be a place for us to live raise our family and contribute to our community.

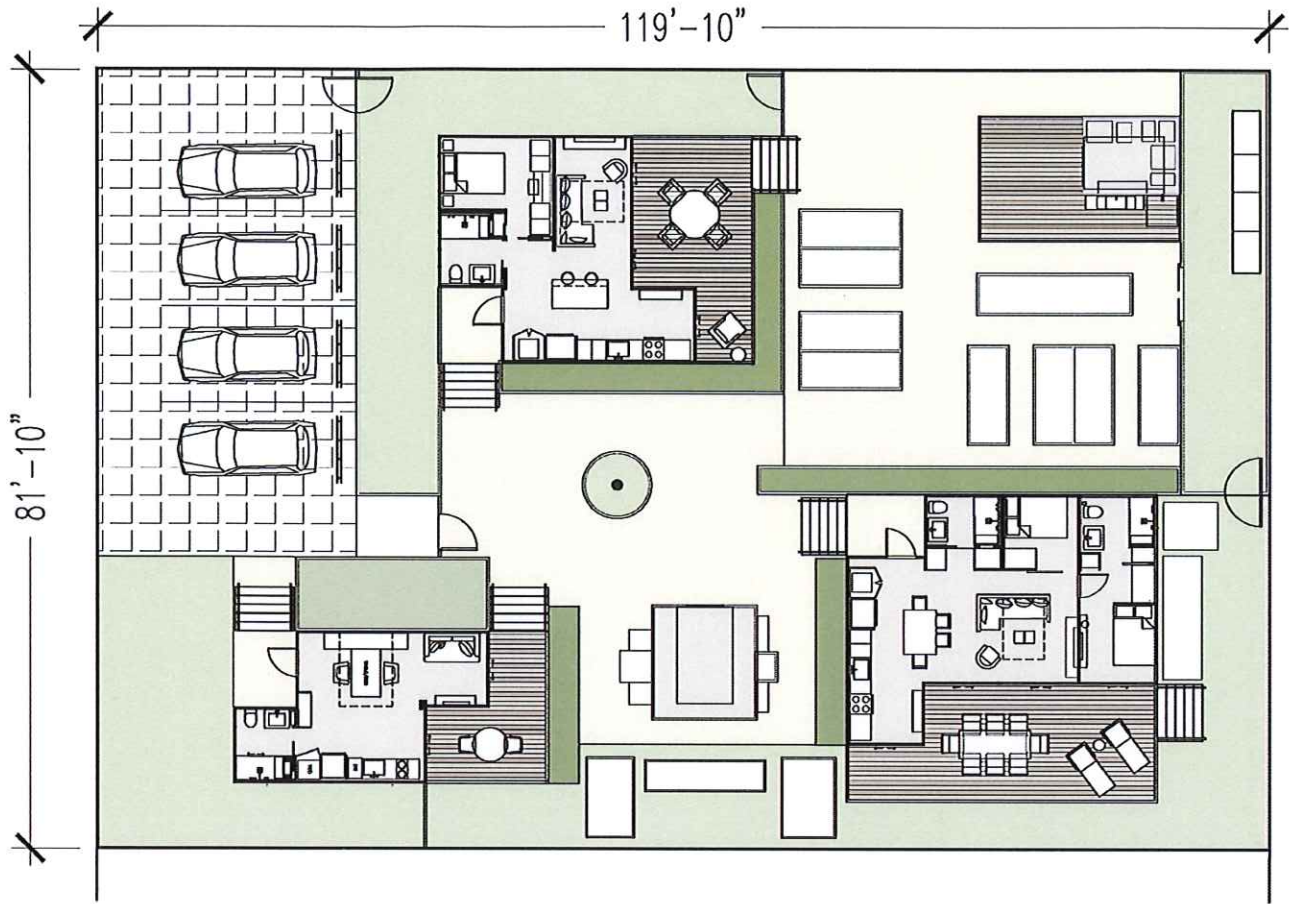
The timeline would be as follows. We would obviously need to quiet the title because it's being transferred quit claim and that takes about three months so within that three months, we would have poured the foundation and set up the beginnings of the first unit which will be complete within six months, that first unit is going to be set up so that we can move onto the property as soon as possible and the rest of the build will continue once we move into our home.

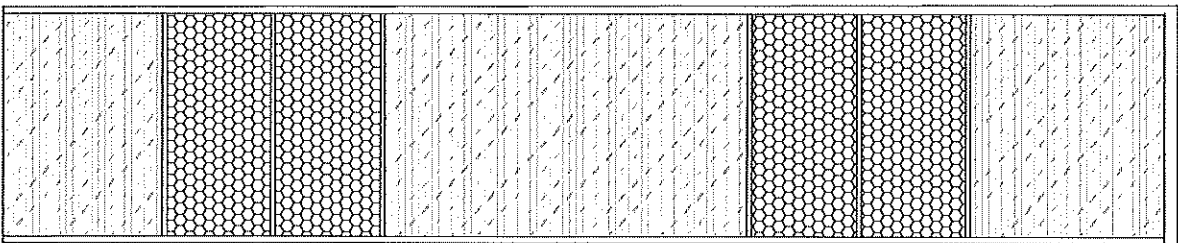
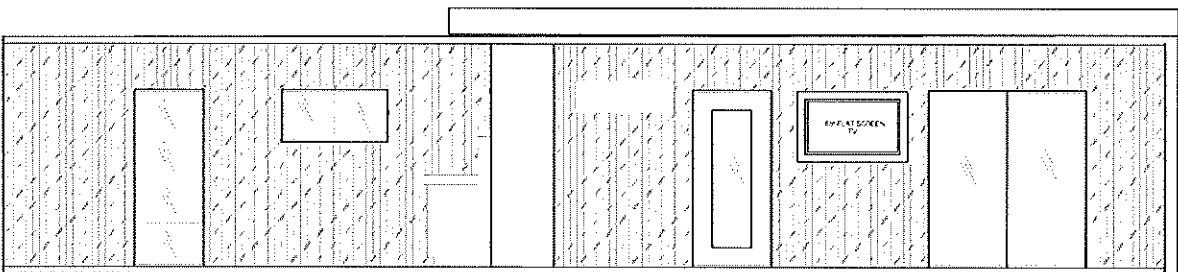
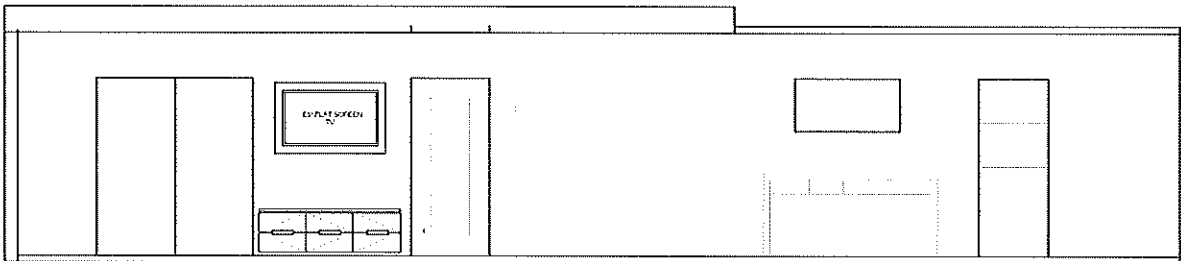
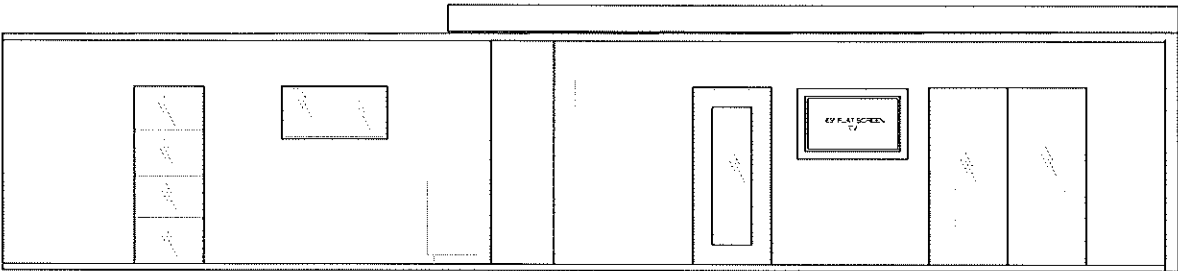
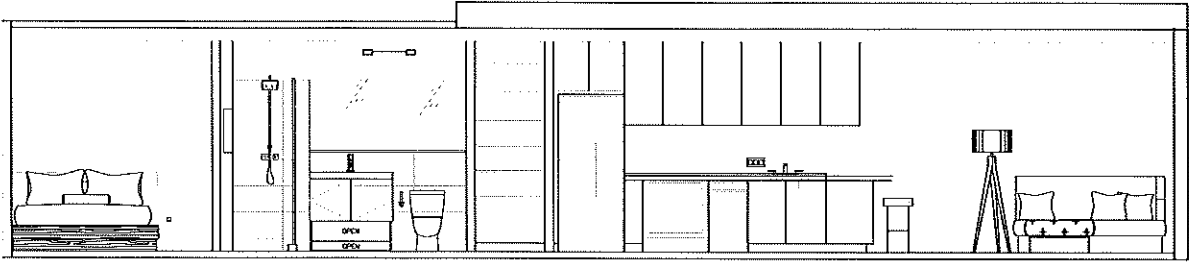
As far as financing the project because we've cut out a massive amount of cost from construction we believe that this project can be paid for with the income that we 3 receive

Moving onto the site within three months will allow us to save from paying rent in Mexico, and in another location here in Florida totaling \$2500 a month towards ongoing construction.



Chad Ingram







Item	Image	Description	Unit	Quantity	Unit Price	Total Price	Remarks
1		Hand saw	pc	1	100000	100000	
2		Circular saw	pc	1	150000	150000	
3		Angle grinder	pc	1	80000	80000	
4		Electric drill	pc	1	120000	120000	
5		Screwdriver	pc	1	50000	50000	
6		Wrench	pc	1	60000	60000	
7		Hammer	pc	1	40000	40000	
8		Saw blade	pc	1	30000	30000	
9		Grinding wheel	pc	1	20000	20000	
10		Drill bit	pc	1	10000	10000	
11		Screw	kg	1	100000	100000	
12		Nail	kg	1	50000	50000	
13		Concrete block	pc	1	100000	100000	
14		Rebar	kg	1	100000	100000	
15		Sand	m3	1	100000	100000	
16		Gravel	m3	1	100000	100000	
17		Cement	kg	1	100000	100000	
18		Water pipe	m	1	100000	100000	
19		Electric wire	m	1	100000	100000	
20		Light fixture	pc	1	100000	100000	
21		Switch	pc	1	50000	50000	
22		Outlet	pc	1	50000	50000	
23		Circuit breaker	pc	1	100000	100000	
24		Conduit pipe	m	1	100000	100000	
25		Cable tie	kg	1	50000	50000	
26		Label tape	kg	1	50000	50000	
27		Marker	kg	1	50000	50000	
28		Safety vest	pc	1	50000	50000	
29		Safety glasses	pc	1	50000	50000	
30		Safety helmet	pc	1	50000	50000	
31		Safety shoes	pc	1	50000	50000	
32		Safety harness	pc	1	50000	50000	
33		Safety net	pc	1	50000	50000	
34		Safety sign	pc	1	50000	50000	
35		Safety tape	kg	1	50000	50000	
36		Safety cone	pc	1	50000	50000	
37		Safety barrier	pc	1	50000	50000	
38		Safety vest (yellow)	pc	1	50000	50000	
39		Safety glasses (clear)	pc	1	50000	50000	
40		Safety helmet (white)	pc	1	50000	50000	
41		Safety shoes (black)	pc	1	50000	50000	
42		Safety harness (blue)	pc	1	50000	50000	
43		Safety net (orange)	pc	1	50000	50000	
44		Safety sign (red)	pc	1	50000	50000	
45		Safety tape (yellow)	kg	1	50000	50000	
46		Safety cone (orange)	pc	1	50000	50000	
47		Safety barrier (white)	pc	1	50000	50000	
48		Safety vest (orange)	pc	1	50000	50000	
49		Safety glasses (dark)	pc	1	50000	50000	
50		Safety helmet (orange)	pc	1	50000	50000	
51		Safety shoes (orange)	pc	1	50000	50000	
52		Safety harness (orange)	pc	1	50000	50000	
53		Safety net (blue)	pc	1	50000	50000	
54		Safety sign (blue)	pc	1	50000	50000	
55		Safety tape (blue)	kg	1	50000	50000	
56		Safety cone (blue)	pc	1	50000	50000	
57		Safety barrier (blue)	pc	1	50000	50000	
58		Safety vest (blue)	pc	1	50000	50000	
59		Safety glasses (blue)	pc	1	50000	50000	
60		Safety helmet (blue)	pc	1	50000	50000	
61		Safety shoes (blue)	pc	1	50000	50000	
62		Safety harness (blue)	pc	1	50000	50000	
63		Safety net (green)	pc	1	50000	50000	
64		Safety sign (green)	pc	1	50000	50000	
65		Safety tape (green)	kg	1	50000	50000	
66		Safety cone (green)	pc	1	50000	50000	
67		Safety barrier (green)	pc	1	50000	50000	
68		Safety vest (green)	pc	1	50000	50000	
69		Safety glasses (green)	pc	1	50000	50000	
70		Safety helmet (green)	pc	1	50000	50000	
71		Safety shoes (green)	pc	1	50000	50000	
72		Safety harness (green)	pc	1	50000	50000	
73		Safety net (red)	pc	1	50000	50000	
74		Safety sign (red)	pc	1	50000	50000	
75		Safety tape (red)	kg	1	50000	50000	
76		Safety cone (red)	pc	1	50000	50000	
77		Safety barrier (red)	pc	1	50000	50000	
78		Safety vest (red)	pc	1	50000	50000	
79		Safety glasses (red)	pc	1	50000	50000	
80		Safety helmet (red)	pc	1	50000	50000	
81		Safety shoes (red)	pc	1	50000	50000	
82		Safety harness (red)	pc	1	50000	50000	
83		Safety net (blue)	pc	1	50000	50000	
84		Safety sign (blue)	pc	1	50000	50000	
85		Safety tape (blue)	kg	1	50000	50000	
86		Safety cone (blue)	pc	1	50000	50000	
87		Safety barrier (blue)	pc	1	50000	50000	
88		Safety vest (blue)	pc	1	50000	50000	
89		Safety glasses (blue)	pc	1	50000	50000	
90		Safety helmet (blue)	pc	1	50000	50000	
91		Safety shoes (blue)	pc	1	50000	50000	
92		Safety harness (blue)	pc	1	50000	50000	
93		Safety net (orange)	pc	1	50000	50000	
94		Safety sign (orange)	pc	1	50000	50000	
95		Safety tape (orange)	kg	1	50000	50000	
96		Safety cone (orange)	pc	1	50000	50000	
97		Safety barrier (orange)	pc	1	50000	50000	
98		Safety vest (orange)	pc	1	50000	50000	
99		Safety glasses (orange)	pc	1	50000	50000	
100		Safety helmet (orange)	pc	1	50000	50000	
101		Safety shoes (orange)	pc	1	50000	50000	
102		Safety harness (orange)	pc	1	50000	50000	
103		Safety net (yellow)	pc	1	50000	50000	
104		Safety sign (yellow)	pc	1	50000	50000	
105		Safety tape (yellow)	kg	1	50000	50000	
106		Safety cone (yellow)	pc	1	50000	50000	
107		Safety barrier (yellow)	pc	1	50000	50000	
108		Safety vest (yellow)	pc	1	50000	50000	
109		Safety glasses (yellow)	pc	1	50000	50000	
110		Safety helmet (yellow)	pc	1	50000	50000	
111		Safety shoes (yellow)	pc	1	50000	50000	
112		Safety harness (yellow)	pc	1	50000	50000	
113		Safety net (green)	pc	1	50000	50000	
114		Safety sign (green)	pc	1	50000	50000	
115		Safety tape (green)	kg	1	50000	50000	
116		Safety cone (green)	pc	1	50000	50000	
117		Safety barrier (green)	pc	1	50000	50000	
118		Safety vest (green)	pc	1	50000	50000	
119		Safety glasses (green)	pc	1	50000	50000	
120		Safety helmet (green)	pc	1	50000	50000	
121		Safety shoes (green)	pc	1	50000	50000	
122		Safety harness (green)	pc	1	50000	50000	
123		Safety net (red)	pc	1	50000	50000	
124		Safety sign (red)	pc	1	50000	50000	
125		Safety tape (red)	kg	1	50000	50000	
126		Safety cone (red)	pc	1	50000	50000	
127		Safety barrier (red)	pc	1	50000	50000	
128		Safety vest (red)	pc	1	50000	50000	
129		Safety glasses (red)	pc	1	50000	50000	
130		Safety helmet (red)	pc	1	50000	50000	
131		Safety shoes (red)	pc	1	50000	50000	
132		Safety harness (red)	pc	1	50000	50000	
133		Safety net (blue)	pc	1	50000	50000	
134		Safety sign (blue)	pc	1	50000	50000	
135		Safety tape (blue)	kg	1	50000	50000	
136		Safety cone (blue)	pc	1	50000	50000	
137		Safety barrier (blue)	pc	1	50000	50000	
138		Safety vest (blue)	pc	1	50000	50000	
139		Safety glasses (blue)	pc	1	50000	50000	
140		Safety helmet (blue)	pc	1	50000	50000	
141		Safety shoes (blue)	pc	1	50000	50000	
142		Safety harness (blue)	pc	1	50000	50000	
143		Safety net (orange)	pc	1	50000	50000	
144		Safety sign (orange)	pc	1	50000	50000	
145		Safety tape (orange)	kg	1	50000	50000	
146		Safety cone (orange)	pc	1	50000	50000	
147		Safety barrier (orange)	pc	1	50000	50000	
148		Safety vest (orange)	pc	1	50000	50000	
149		Safety glasses (orange)	pc	1	50000	50000	
150		Safety helmet (orange)	pc	1	50000	50000	
151		Safety shoes (orange)	pc	1	50000	50000	
152		Safety harness (orange)	pc	1	50000	50000	
153		Safety net (yellow)	pc	1	50000	50000	
154		Safety sign (yellow)	pc	1	50000	50000	
155		Safety tape (yellow)	kg	1	50000	50000	

<p>DELIVER TO: City of Fort Pierce, Purchasing Division Room 101 100 North U.S. #1 Fort Pierce, FL 34950</p> <p>MAIL TO: City of Fort Pierce Purchasing Division, Room 101 P.O. Box 1480 Fort Pierce, FL 34954-1480</p>	<p style="text-align: center;">CITY OF FORT PIERCE</p>  <p style="text-align: center;">INVITATION TO BID and BIDDER ACKNOWLEDGMENT</p>
<p>Bid Writer: Latonya Hubbard</p>	<p>Bid No: 2023-016</p>
<p>Mandatory Site-Visit: <p style="text-align: center;">N/A</p></p>	<p>Bid Title: DISPOSITION OF FPRA SURPLUS PROPERTIES - 424 DOUGLAS COURT AND 426 DOUGLAS COURT</p>
<p>Mandatory Site-Visit Location: <p style="text-align: center;">N/A</p></p>	<p>Bid Opening Location: Purchasing Division Conference Room, Room 101 100 North U.S. #1, 1st Floor Ft. Pierce, Florida 34950</p>
<p>Bid Due Date & Time 3:00PM, WEDNESDAY, FEBRUARY 22, 2023</p>	<p>If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.</p>
<p>Bidder Name: Development U, LLC</p> <hr/> <p>Mailing Address: 2029 Okeechobee Blvd, Suite 1153</p> <hr/>	<p><i>I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.</i></p> <p>X  _____ Authorized Signature (Manual)</p>
<p>City, State, Zip Code: West Palm Beach, FL. 33408</p>	<p>Typed or Printed Name: Luther Robinson II</p>
<p>Type of Entity (Select one):</p> <p>Corporation <input checked="" type="checkbox"/> _____</p> <p>Partnership <input type="checkbox"/> _____</p> <p>Proprietorship <input type="checkbox"/> _____</p>	<p>Title: Managing Member</p>
<p>Incorporated in the State of: FL Year: 2023</p>	<p>Delivery in <u>7</u> days, After Receipt Order</p>
<p>Phone Number: 305-924-1266</p>	<p>Payment Terms: 10% of the purchase price</p>
<p>Fax Number: N/A</p>	<p>FEIN or SS Number: Applied, to be provided at a later date</p>
<p>E-Mail Address: lrobinson@robinsonluxurygroup.com</p>	<p>Local Business: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N MWBE: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p>
<p>Bid Security is attached, when required, in the amount of \$ _____ F.O.B. DESTINATION</p>	<p>If returning as a "No Bid" state reason:</p>
<p>THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID</p>	

The Development U, LLC is a newly formed entity. Incorporation documents have been filed as presented below. An EIN number is pending from the IRS and will provided to the City once received.

Payment Receipt Confirmation

Your payment was successfully processed.

Transaction Summary

Description	Amount
	\$125.00
Total Amount Paid	\$125.00

Customer Information

Customer Name LUTHER ROBINSON
Local Reference ID 300402015813 NEW
Receipt Date 2/3/2023
Receipt Time 12:31:19 PM EST

Payment Information

Payment Type Credit Card
Credit Card Type MAST
Credit Card Number *****8795
Order ID 33663840
Billing Name LUTHER ROBINSON II

Billing Information

Billing Address 2029 OKEECHOBEE BLVD
STE 1 #1153
Billing City, State WEST PALM BEACH, FL
ZIP/Postal Code 33409
Country US
Phone Number 3059223322
This receipt has been emailed to the address below.
Email Address LROBINSON9324@GMAIL.COM



CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES
Bid No. 2023-016

Date: February 22, 2023

I/we propose to purchase property located at: (Check the property proposing to purchase. If proposing to purchase multiple properties, complete a separate Offer to Purchase/Bid Response Form for each).

X 424 Douglas Court -2409-501-0199-000-0 AND 426 Douglas Court -2409-501-0200-000-1

PROPOSED SUBMITTED BY:

Legal Name (s): Development U, LLC
Address: 2029 Okeechobee Boulevard Suite #1153 West Palm Beach, FL. 33409
Day-time Phone Number: 305-924-1266 Mobile Number: 305-924-1266
Email: lrobinson@robinsonluxurygroup.com

INTENDED USE

I/we propose to use the property for:

The development of a residential duplex consisting of (2) two-bedroom/two-bathroom units. Each unit will ample living space, central air conditioning, state of the art appliance, and an in-unit washer and dryer.

Will this property be your primary residence? Yes X No

If not above, what do you intend to develop the property for: X Rental Resale Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

The improvements will include the new construction of a residential duplex consisting of a less than 1,800 SF. The duplex units will be built to house two separate families and include two bedrooms and two bathrooms per unit as depicted within the plans (attached). All systems incorporated into the development will be newly constructed.

(Attach pages as needed)

Total value of all proposed improvements to the property: \$ 175,000 - \$185,000

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ 15,000 for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

Yes No **Timeline to complete construction project**

Yes No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

Yes No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER'S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.



Bidder of Authorized Representative

Luther Robinson II
Typed Name

February 22, 2023
Date

ORIGINAL



THE SUNRISE CITY
FORT PIERCE
Florida

DEVELOPMENT U, LLC

**BID NO: 2023-016 Response to
Invitation to Bid**

**Disposition of FRPA Surplus Properties -
424 Douglas Court & 426 Douglas Court**

City of Fort Pierce, Purchasing Division

February 22, 2023

**Response to Invitation to Bid Disposition
of FRPA Surplus Properties -
424 Douglas Court
426 Douglas Court
BID NO: 2023 - 016**

Development U, LLC
2029 Okeechobee Blvd, STE 1153
West Palm Beach, FL. 33409
Luther Robinson II
Email: lrobinson@robinsonluxurygroup.com
Phone: 305-924-1266

SUMMARY RESPONSE TO SCORING CRITERIA

The Development U, LLC understand the importance of the scoring criteria of this bid opportunity. To that end, we have prepared the following table to summarize our qualifications and directly respond to the scoring criteria as written by the City of Fort Pierce. We hope that this introductory summary assist your review of our submission.

Criteria	Response	Total Points	Team Points
Development Plan Preliminary building plans including elevations, floor plans, facades, landscaping plan Sketches of plans to be developed Detailed description with no drawings	We have preliminary plans developed for this site which include elevations, floor plans, and facades. Landscaping plans will be produced as we proceed with the predevelopment process.	Max 20	18
Timeline to complete construction project Within one year Between 1 to 2 years More than 2 years but less than 3 years	Given the steps required, from the time of property transfer to construction completion we anticipate a 12-month span. We are in special position to expedite our building permit review as we plan to develop a structure that has already been reviewed and approved by the City. The Development U, LLC is currently developing the exact structure we are proposing for the surplus site at a nearby location. We are prepared to duplicate our plans and success to this site and produce newly constructed housing efficiently and effectively.	Max 20	20
Construction Cost Estimates Detailed cost estimates from licensed contractor Proposer estimated cost with no 3rd party backup	At this stage of pre-development our cost are estimated cost with third party back-up for some of the anticipated construction related cost.	Max 10	8
Proot of Financial Ability/Letter from Financial Institution (proof of financial ability to purchase the lot and construct	Our financial proposal includes site acquisition and construction based on the existing balance sheet of the applicant. Proof of funds is included within our submittal package.	Max 15	15
Property Utilization Developed to Residential Use Owner Occupied Developed for Resale Neighboring property owner Develop as Rental Property	Given our research and experience we believe a newly constructed renter occupied is the highest and best use of the property and financially feasible given the status of the real estate and local housing market.	Max 20	5
Narrative/Summary of Development	Included in our submittal package for your review	Max 15	15
Total Project Score		100	81

BIDDER'S NARRATIVE/ SUMMARY



The Development U, LLC is enthused to submit a response to the City of Fort Pierce for disposition of FRPA surplus properties (424 Douglas Court and 426 Douglas Court).

We consider our investment in the community as a partnership with the City and its residents. We recognize that the redevelopment and reimagining of this community will require a well thought out vision. It will require a development partner who has the experience, capacity, commitment, and compassion to focus on the real people and the real places within this community. You will find no team with more ability or passion to execute than the Development U, LLC. As a former resident, Luther Robinson II has decades invested in the community and is filled with the passion that it takes to redevelopment this region of the City.

Complex, urban infill developments are part of the DNA of our team. The challenge of balancing doing what you are great at with the fine nuances of what each community needs is something inherent to us. Simply put, we love collaboration, we love opportunity, and we love to help change neighborhoods and lives.

Although a newly established entity, the track record of the team members of the Development U, LLC was built in the heart of a global health crisis, supply chain catastrophe, and unprecedented cost and inflation. Our team is built on resiliency, dedication, and commitment to quality production of housing for all. From luxury single family homes to low/moderate income rental developments we pride ourselves on the diversity of our portfolio and ability to serve a myriad of clientele. Through our history we have been an innovator on financing our developments. We have been successful at building relationships that result in creative financing structures to bring developments from concept to completion. The company has been able to develop a diverse expertise in real estate from sales to construction. We understand and are hands on for every step of the development process.

As an experienced developer with an eye for communities on the cusp of revitalization, we have made a conscious effort to invest our attention and resources to Fort Pierce. Our existing project in the neighborhood, which is of similar size and scope and in the permitting phase of development is a demonstration of our commitment to the area. These projects are just the commencement of our efforts in the area.

Our knowledge and research have continued to demonstrate the need for newly constructed quality housing in the neighborhood and it is our goal to supply just that. With our existing project and hopes to acquire these additional surplus sites contained in this bid we will continue our efforts to accomplish this goal. The proposed project for this site will consist of a two unit duplex structure, with each unit consisting of two bedroom/two bathroom units. Each unit will be equipped with ample living space, state of the art appliances, storage space fit for a growing family, and in-unit washer and dryer. The remainder of our submittal contains additional details about our development plan including our architectural plans for the site.

BIDDER'S NARRATIVE/SUMMARY

All too often we see sites awarded to developers who have not thought out the neighborhood and client they are serving or financing. With our all cash proposal, we have no doubt that we are the most responsible party for the City to entrust with the successful development of this site. We have short and long term goals for our investment in this community, this is our home. The timeline included in our development plan attached will demonstrate that this project is a priority to our team and will expedited in every way we see possible.

The Development U team is versed in the community needs as well as efficient and effective development processes for a project of this nature and magnitude. Please consider our package for favorable decision of disposition of the surplus sites.

By submission of a bid, the Development U, LLC and its managers agree to be subject to all terms and conditions specified within the bid package.

FINANCIAL ABILITY



Although a newly established entity, The Development U, LLC stands on the relationships, credit worthiness, and financial capacity of its managers. With a combined 10 years of real estate experience, we are able to provide a thorough analysis of various executions for the development of this site.

The Development U, LLC, consisting of Luther Robinson II alongside Allen Bailey, aim to represent the City with the financial sophistication needed to quickly development this project. We also have strong balance sheet and will be self sourcing the construction of this project.

Please see our financial support enclosed which will demonstrate the ability to quickly close on the property acquisition as well as complete the construction.



YOUR INDEPENDENT ADVISOR
 THE PATRIOT FINANCIAL GROUP
 DBA PROVO WEALTH MGMT GROUP
 385 SOUTH ST
 SHREWSBURY MA 01545

For questions regarding the services provided
 by your Independent Advisor call
 (508) 842-0539

MONTHLY STATEMENT

Reporting Period: January 1 - 31, 2023

Account
 ALLEN R BAILEY
 TOO
 INDIVIDUAL

ACCOUNT SUMMARY

Total Account Value: \$7,483,753.68

CHANGE IN ACCOUNT VALUE

	This Month 1/1/23 - 1/31/23	Year to Date 1/1/23 - 1/31/23
BEGINNING VALUE	\$7,116,994.73	\$7,116,994.73
Deposits to Account	3.99	3.99
Dividends and Interest	9,925.31	9,925.31
Market Appreciation/(Depreciation)	424,520.72	424,520.72
Withdrawals from Account	(56,868.84)	(56,868.84)
Other Income or Expense	(10,822.23)	(10,822.23)
ENDING VALUE	\$7,483,753.68	\$7,483,753.68
CHANGE IN VALUE	\$366,758.95	\$366,758.95

*Market Appreciation/
 Depreciation
 The change in value of
 investments due to the market
 assessment of their worth, which
 is separate from value added by
 corporate actions (such as the
 issuance of dividend or interest
 payments) and your own
 additions or withdrawals.*

*Other Income or Expense
 Miscellaneous expenses
 including management fees, as
 well as TD Ameritrade fees (such
 as for wire transfer or returned
 checks) and/or miscellaneous
 income credited to the account
 such as a margin interest
 adjustment, royalties, etc.*

SUMMARY OF HOLDINGS (does not represent an asset allocation)

	Market Value as of 1/31/23	Percent of Account
Cash and Cash Alternatives	531,564.36	0.42%
Fixed Income	1,879,873.66	25.12
Mutual Funds	2,073,042.99	27.70
Stocks	3,080,899.69	41.17
Other Holdings	418,373.04	5.59
TOTAL VALUE	\$7,483,753.68	100.0%

*Fixed Income includes
 Corporate, Municipal, Agency,
 Treasury, CMOs, CDOs, Structured
 Products, etc.*

*Other Holdings
 Typically investments that are not
 publicly traded, such as real
 estate investment trusts, private
 corporations, and limited
 partnerships.*

Questions about reading your Statement -
 Contact us, (800) 431-3500
 Accounts carried by TD Ameritrade Clearing, Inc., Member SIPC





DEVELOPMENT PLAN

The development plan for the proposed sites will consist of the new construction of a two unit duplex structure to be rented to individual and families. Each unit will include a two bedroom/two bathroom floor plan with approximately 900 SF of living space. Some of the unit amenities include state of the art appliance, in unit washer and dryer, and storage space for a growing family. Each unit will also include an covered front porch for enjoyment of the well known regional sunset. Additional amenities and unit features may be considered as we proceed through pre-development and cost are more accurately determined.

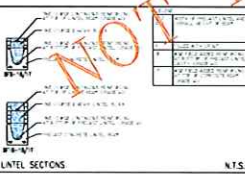
As part of the implementation of our development a minority participation and outreach program will be established. Securing as many minority and women owned businesses to participate in the development and construction process is a priority to our team. As a minority owned business we know many of the challenges businesses face and we hope to provide an opportunity to many. We will work with the City to secure and solicit opportunities in the project as they arise.

The remainder of the package will allow you to review our thought out and researched development plan. We believe this development will be quickly absorbed and well received by the direct market. The accompany documents will display the following:

1. Proposed Design
2. Estimated Timeline
3. Construction Cost Estimates
4. Property Development Utilization

A landscaping plan will be developed as we proceed through the development process. The plan will be submitted to the City for review and comments during the building plan review. Our landscape architect is familiar with the region and will select species that will enhance the community.

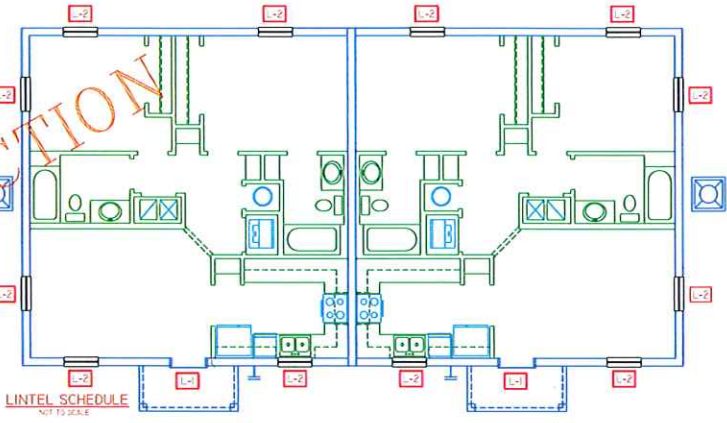
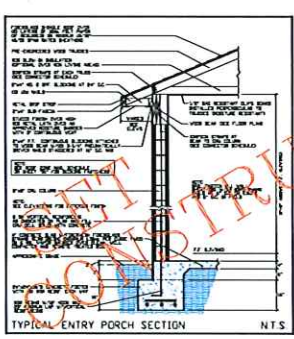
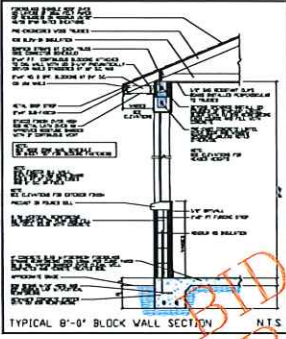
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SPECIFICATIONS
ENGINEERING

GENERAL NOTES:

1. All work shall conform to the specifications of the Florida Building Code, 2010 Edition, and all applicable codes and regulations.
2. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.
3. All materials and workmanship shall be subject to inspection and approval by the engineer.
4. The contractor shall maintain accurate records of all materials and workmanship used on the project.
5. The contractor shall be responsible for the safety of all workers and the public during the construction process.
6. The contractor shall be responsible for the protection of all existing structures and utilities on the site.
7. The contractor shall be responsible for the removal and disposal of all debris and waste materials.
8. The contractor shall be responsible for the cleanup and restoration of the site after the completion of the project.
9. The contractor shall be responsible for the payment of all taxes and fees associated with the project.
10. The contractor shall be responsible for the completion of the project within the specified time frame.



NOT FOR BID SET
CONSTRUCTION

EDC
ENGINEERING AND DESIGN CONCEPTS, INC.

DUPLEX FOR DEVELOPMENT U, LLC


REGISTERED PROFESSIONAL ENGINEER
EDWARD J. JENNIFER, P.E.
FLORIDA LICENSE # 12410
PH: 304.345.5555

A3
SHEET 5 OF 7
DATE: 08/14/2014

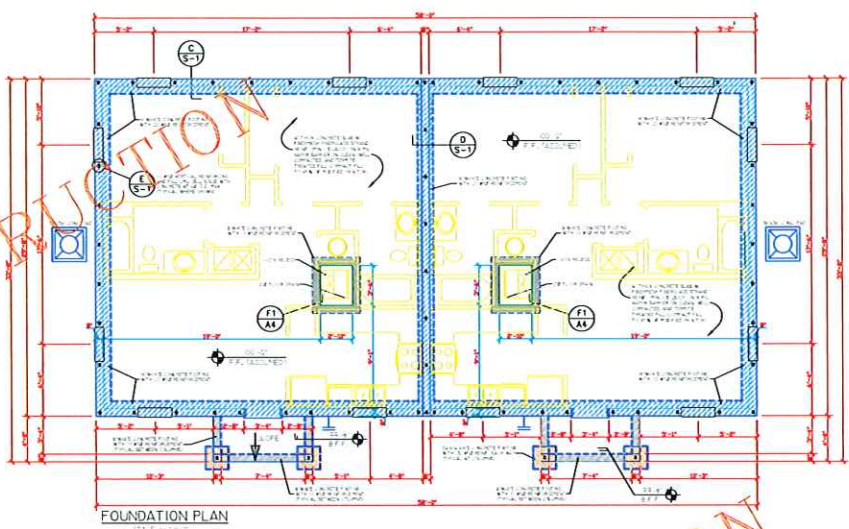
NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

FOOTER DETAIL "F1" N.T.S.



FOOTER DETAIL "F1" N.T.S.



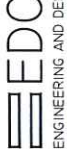


GENERAL NOTES

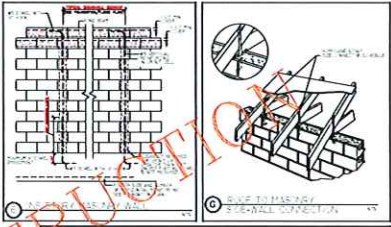
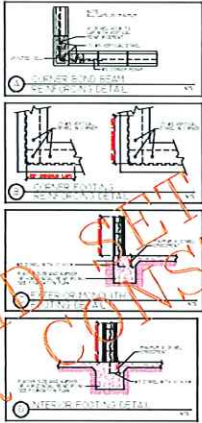
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FOUNDATION SHALL BE CONCRETE ON COMPACTED GRAVEL.
3. ALL REINFORCEMENT SHALL BE #4 BARS UNLESS OTHERWISE NOTED.
4. ALL REINFORCEMENT SHALL BE TYPED AND TIED TOGETHER.
5. ALL REINFORCEMENT SHALL BE PLACED AS SHOWN ON THIS PLAN.
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THIS DRAWING HAS BEEN ELECTRONICALLY CHECKED AND APPROVED FOR THE STATE OF FLORIDA BY THE ENGINEER OF RECORD.

ENGINEER OF RECORD: EDWARD J. SHROYER, P.E.
 1100 W. PALM BLVD., SUITE 100
 PALM BEACH, FLORIDA 33480
 PH: 561.843.3333

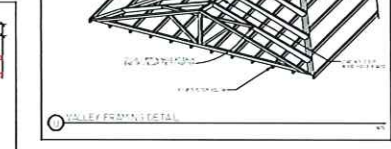
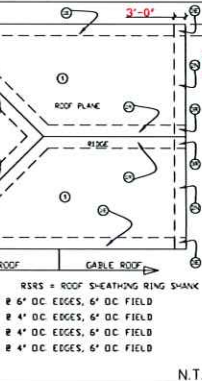



DUPLEX FOR-DEVELOPMENT U, LLC <small>...</small>
A4 <small>SHEET 7 OF 7 10/20/2014</small>

NOT FOR BID SET FOR CONSTRUCTION



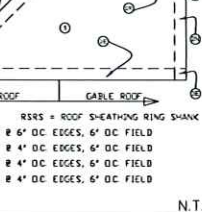
GENERAL NOTES: MASONRY

1. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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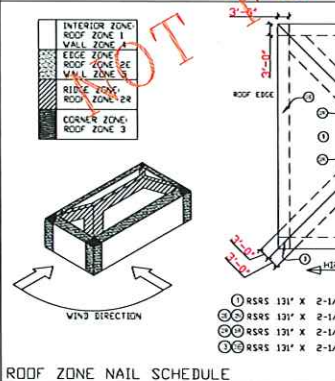
GENERAL NOTES: CONCRETE

1. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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10. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.



GENERAL NOTES: WOOD

1. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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ENGINEERING AND DESIGN CONCEPTS, INC.

EDC

ENGINEERING AND DESIGN CONCEPTS, INC.

DEVELOPMENT U, LLC

SI

ENGINEERING RECORDS
EDWARD J. ANDERSON, P.E.
1000 WEST 11TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.EDCONCEPTS.COM

PRINTED ON RECYCLED PAPER
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SHEET 6 OF 7

Below is sample timeline. This timeline is an example to show the standard steps of development and key milestones.

Date	Timeline Item
2/22/2023	Response to Bid due to City of Fort Pierce
3/31/2023	City of Fort Pierce Award Announced
5/1/2023	Transfer of Property to Developer Submit
5/1/2023	Submit Building Plans for Review*
6/1/2023	Master Permit Approval
6/1/2023	Construction Commencement
12/1/2023	50% Construction Complete
3/1/2024	75% Construction Complete
3/1/2024	Marketing Commencement
4/1/2024	Temporary Certification of Completion
5/1/2024	Permanent Certification of Completion
5/1/2024	100% Occupancy

*Plan set to be submitted have already been reviewed and approved by the City of Fort Pierce due to the submittal and development of the same structure at a nearby location.

CONSTRUCTION COST ESTIMATES

Given these unpredictable times our construction cost can only be provided as estimates. As we proceed through permitting we will seek continuous feedback from our construction partners and vendors. Our design team and partners have proven design standards, construction details, and lessons learned from recent projects into this project throughout the design phase to maximize cost efficiency. This will be supplemented with continuous pricing exercises and value engineering recommendations from the selected general contractor.

Many of the fees listed will be determined throughout the pre-development phase of the project but given our experience the estimated total project cost is \$175,000 - \$185,000.

	Total	Per Unit
Land Acquisition	\$15,000	\$7,500
Impact Fees (Depending on if house was on lot)	\$24,000*	\$12,000*
Architect	\$3,000.00	\$1,500.00
Surveying & Platting	\$350.00	\$175.00
Environmental/Soils	\$2,000	\$1,000
Legal Counsel, Professional Fees	\$2,500	\$1,250
Builder Risk Insurance	TBD	
Insurance	TBD	
P&P Bond (Construction)	TBD	
Taxes	TBD	
Title & Recording	TBD	
Inspection Fee	TBD	
Builder Permit Fee	TBD	
Construction Cost	\$175,000 - \$185,000	\$87,500 - \$92,500

If awarded the Development U, LLC will maintain insurance coverage reflecting the minimum amounts and conditions specified by the City of Fort Pierce.

PROJECT UTILIZATION

As a former Fort Pierce resident, Luther Robinson II is familiar with the community and has a passion to see it reach its full potential. With consideration of the existing residents, history, and growth potential he has developed a plan to implement his vision for the community own parcel at a time. He plans to utilize his company in collaboration with the City to bring transformation to life in Fort Pierce.

With his existing knowledge and data to support, the most appropriate utilization of the site will be newly constructed rental housing. Understanding that the median house age in the surrounding census tract is over fifty years old, we believe some new housing stock will provide an increased quality of living and appreciate the value of the existing housing stock for the surrounding residents.

The site is located in a predominately residential community and with its proximity to Moore's Creek we believe it will serve as a nice home for a long-term family or individual.

Here is some of the supporting data that helped us to determine the proposed plan for the successful utilization of the site.

Total Housing Units	1479
1- to 4- Family Units	1297
Median House Age (Years)	56
Owner-Occupied Units	230
Renter Occupied Units	926
Owner Occupied 1- to 4- Family Units	230
Inside Principal City?	NO
Vacant Units	323

Tract Income Level	Low
Underserved or Distressed Tract	No
2022 FFIEC Estimated MSA/MD/non-MSA/MD Median Family Income	\$84,500
2022 Estimated Tract Median Family Income	\$32,482
2020 Tract Median Family Income	\$26,351
Tract Median Family Income %	38.44
Tract Population	3446
Tract Minority %	92.66
Tract Minority Population	3193
Owner-Occupied Units	230
1- to 4- Family Units	1297

Retrieved from FFIEC.GOV considering 2022 US Census Data

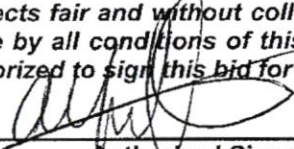
DELIVER TO:
 City of Fort Pierce, Purchasing Division
 Room 101
 100 North U.S. #1
 Fort Pierce, FL 34950

MAIL TO:
 City of Fort Pierce Purchasing Division,
 Room 101
 P.O. Box 1480
 Fort Pierce, FL 34954-1480

CITY OF FORT PIERCE



**INVITATION TO BID
 and
 BIDDER ACKNOWLEDGMENT**

Bid Writer: Latonya Hubbard	Bid No: 2023-016
Mandatory Site-Visit: N/A	Bid Title: DISPOSITION OF FPRA SURPLUS PROPERTIES - 424 DOUGLAS COURT AND 426 DOUGLAS COURT
Mandatory Site-Visit Location: N/A	Bid Opening Location: Purchasing Division Conference Room, Room 101 100 North U.S. #1, 1st Floor Ft. Pierce, Florida 34950
Bid Due Date & Time 3:00PM, WEDNESDAY, FEBRUARY 22, 2023	If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.
Bidder Name: EASTERN CAPITAL INVESTMENTS, LLC	<i>I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.</i> X  Authorized Signature (Manual)
Mailing Address: 16877 E. Colonial Dr, #212	
City, State, Zip Code: Orlando, FL 32820	Typed or Printed Name: Alan Miller
Type of Entity (Select one): Corporation _____ Partnership <u> X </u> Proprietorship _____	Title: Manager
Incorporated in the State of: FL Year: 2019	Delivery in _____ days, After Receipt Order
Phone Number: 847-532-4699	Payment Terms: Full
Fax Number:	FEIN or SS Number: 71-0130170
E-Mail Address: info@eastern-homes.com	Local Business: <u> Y </u> <u> X </u> N MWBE: <u> Y </u> <u> X </u> N
Bid Security is attached, when required, in the amount of \$ _____ F.O.B. DESTINATION	If returning as a "No Bid" state reason:

THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID



CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES
 Bid No. 2023-016

Date: 02/21/2023

I/we propose to purchase property located at: (Check the property proposing to purchase. If proposing to purchase multiple properties, complete a separate Offer to Purchase/Bid Response Form for each).

424 Douglas Court -2409-501-0199-000-0 AND 426 Douglas Court -2409-501-0200-000-1

PROPOSED SUBMITTED BY:

Legal Name (s): Alan Miller
 Address: 35W635 Parsons Road West Dundee, IL 60118
 Day-time Phone Number: _____ Mobile Number: 847-774-6026
 Email: agmiller65@gmail.com

INTENDED USE

I/we propose to use the property for:

If the bid is won by Eastern Capital, we propose to build a 3 bedroom, 2 bathroom home on each lot (424 and 426).

The intention after finishing the homes is to sell one and rent the other.

Will this property be your primary residence? _____ Yes No

If not above, what do you intend to develop the property for: Rental Resale _____ Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

The construction cost estimate for 424 & 426 Douglas is \$300,000. The lots will be cleared and then will under-go the new home construction process from the ground up. Please see slide 4 (Construction Cost Estimate) for a detailed breakdown of all improvements added to the property

(Attach pages as needed)

Total value of all proposed improvements to the property: \$ 300,000

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ \$10,000 for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

Yes No **Timeline to complete construction project**

Yes No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

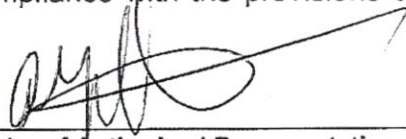
Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

Yes No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER'S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.



Bidder of Authorized Representative

Alan Miller

Typed Name

02/21/2023

Date

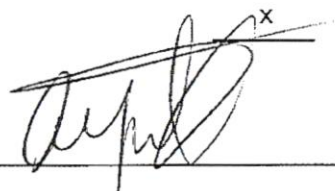
CITY OF FORT PIERCE BIDDER'S CHECKLIST

This checklist is provided to assist each Bidder in the preparation of their bid response. Included in this checklist are important requirements, which is the responsibility of each Bidder to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Bidder to read and comply with the Invitation to Bid in its entirety.

Check "Yes" or "No" to each of the following:

	YES	NO
Is the Bidder's Narrative/Summary included?	x	_____
Is the proof of Financial Ability/Letter from financial institution included?	x	_____
Is the Development Plan included:	x	_____
Preliminary building plans included	x	_____
Timeline to complete the construction project	x	_____
Construction cost estimates included	x	_____
Landscaping plans	x	_____
Property development utilization	_____	_____
Is Invitation to Bid cover page (page 1) completed, signed, and attached?	x	_____
Is the Offer to Purchase Form (page age 14-16) completed, signed and attached?	x	_____
Bid envelope is marked accordingly.	_____	_____

PLEASE SIGN AND RETURN WITH BID: _____





Call 800-274-4482

Email info@ozk.com

Visit ozk.com

Member FDIC

*****AUTO** ALL FOR AADC 328
98725 0.5990 AB 0.507 275 3 71
EASTERN CAPITAL INVESTMENTS LLC
4001 AINSLEY AVE
ORLANDO FL 32833-4716

Statement Date: 01/31/2023

As of 12/19/22, our state specific Terms and Conditions have changed. To view these revisions, please go to ozk.com/disclosures.

INTEREST PLUS CHECKING ACCOUNT

Table with 2 columns: Description and Amount. Rows include: PREVIOUS STATEMENT BALANCE AS OF 12/30/22: 447,955.63; PLUS 1 DEPOSITS AND OTHER CREDITS: 19.58; LESS 2 CHECKS AND OTHER DEBITS: 5,350.97; CURRENT STATEMENT BALANCE AS OF 01/31/23: 442,624.24; NUMBER OF DAYS IN THIS STATEMENT PERIOD: 32

OTHER TRANSACTIONS

Table with 4 columns: DATE, DESCRIPTION, DEBITS, CREDITS. Rows include: 01/17 Monthly Account Analysis and Service Charges 40.00; 01/25 WITHDRAWAL 5,310.97; 01/31 INTEREST 19.58

BALANCE BY DATE

Table with 8 columns: DATE, AMOUNT, DATE, AMOUNT, DATE, AMOUNT, DATE, AMOUNT. Row: 01/17 447,915.63 01/25 442,604.66 01/31 442,624.24

PAYER FEDERAL ID NUMBER: 71-0130170

INTEREST PAID YEAR TO DATE: 19.58

INTEREST EARNED THIS STATEMENT PERIOD

Table with 2 columns: Description and Amount. Rows include: AVERAGE LEDGER BALANCE: 446,775.10; INTEREST EARNED: 19.58; INTEREST PAID THIS PERIOD: 19.58; ANNUAL PERCENTAGE YIELD EARNED: .05%; INTEREST RATE: .05%



Call 800-274-4482

Email info@ozk.com

Visit ozk.com

Member FDIC

*****AUTO**ALL FOR AADC 328

98725 0.5990 AB 0.507 275 3 71



EASTERN CAPITAL INVESTMENTS LLC

4001 AINSLEY AVE

ORLANDO FL 32833-4716

Statement Date: 01/31/2023

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PLUS 1 DEPOSITS AND OTHER CREDITS:	19.58
LESS 2 CHECKS AND OTHER DEBITS:	5,350.97
CURRENT STATEMENT BALANCE AS OF 01/31/23:	442,624.24
NUMBER OF DAYS IN THIS STATEMENT PERIOD:	32

OTHER TRANSACTIONS

DATE	DESCRIPTION	DEBITS	CREDITS
01/17	Monthly Account Analysis and Service Charges	40.00	
01/25	WITHDRAWAL	5,310.97	
01/31	INTEREST		19.58

BALANCE BY DATE

DATE	AMOUNT	DATE	AMOUNT	DATE	AMOUNT	DATE	AMOUNT
01/17	447,915.63	01/25	442,604.66	01/31	442,624.24		

PAYER FEDERAL ID NUMBER: 71-0130170

INTEREST PAID YEAR TO DATE: 19.58

INTEREST EARNED THIS STATEMENT PERIOD

AVERAGE LEDGER BALANCE:	446,775.10
INTEREST EARNED:	19.58
INTEREST PAID THIS PERIOD:	19.58
ANNUAL PERCENTAGE YIELD EARNED:	.05%
INTEREST RATE:	.05%

P.O. BOX 196 OZARK AR 72949

RETURN SERVICE REQUESTED

Date: 02/03/2023

115246-06A**007497

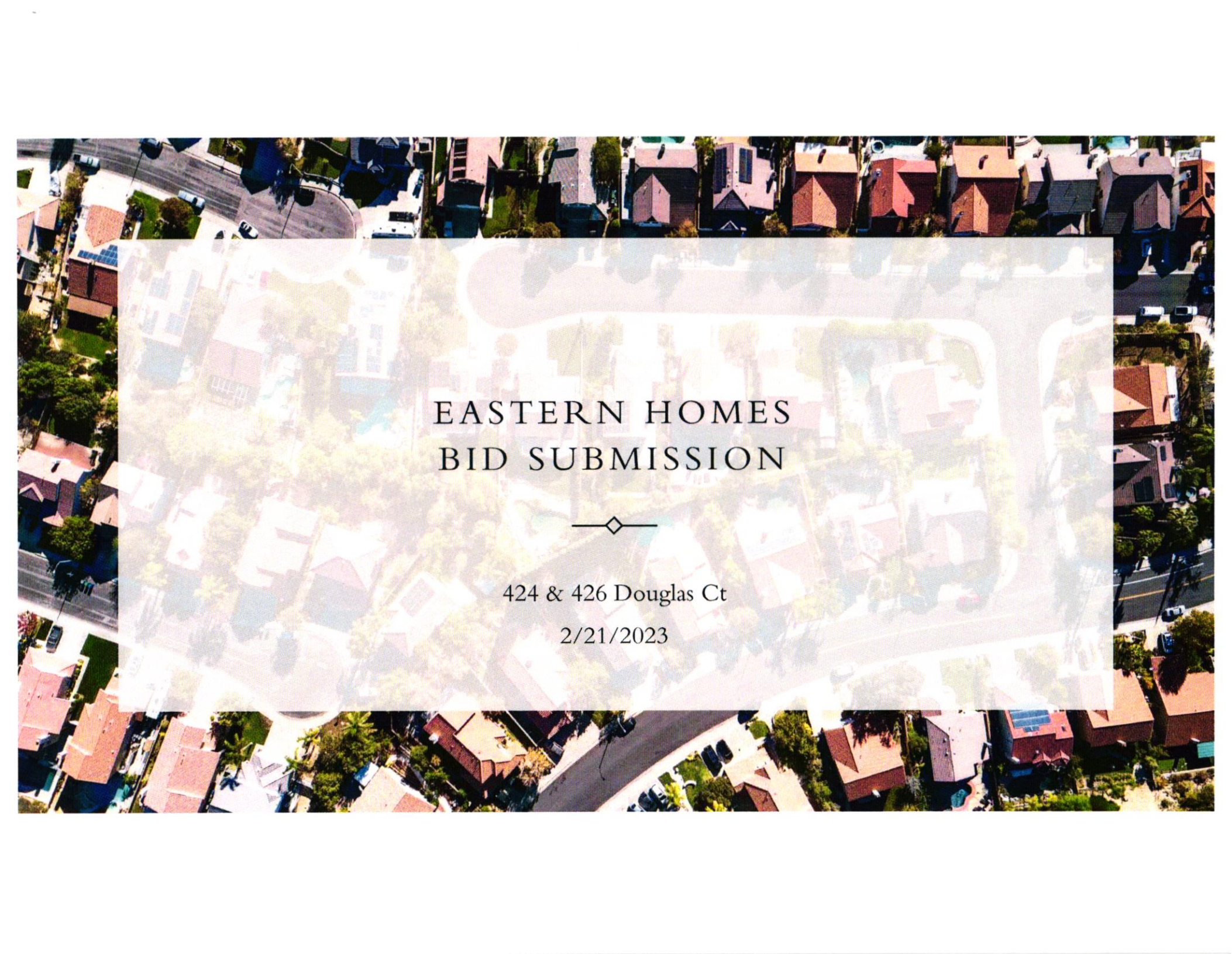


EASTERN CAPITAL INVESTMENTS LLC
4001 AINSLEY AVE
ORLANDO FL 32833-4716

Rate Change Advice

Principal Balance:	\$.00	Maturity Date:	06/29/2024
Current Rate:	9.25%	Original Loan Date:	02/25/2021
Interest Balance:	\$447.74-	Credit Limit:	\$2,500,000.00
One Day's Interest:	\$.00	Date of Last Payment:	07/08/2022
		Last Payment Amount:	\$447.74

On 02/02/2023 your interest rate changed from 9.000000 % to 9.250000 %.



EASTERN HOMES
BID SUBMISSION



424 & 426 Douglas Ct

2/21/2023

Bidder's Summary

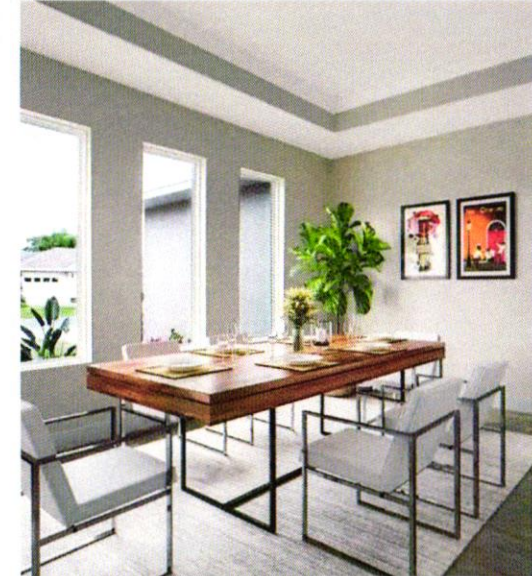


Eastern Homes, founded in central Florida, design and build homes with emphasis on quality and everyday living. Since opening in 2019, Eastern Homes has designed and built 100+ homes. Our leadership team has been in the homebuilding industry for over 15 years and our staff consists of skilled tradespeople. Eastern Homes is currently building homes in Lake, Orange, Seminole, and Brevard County. Currently, we have homes in for permitting in St. Lucie County, and are looking to expand operations into a more predominant role in St. Lucie County. Eastern Home co-founder, John Morris, is originally from Fort Pierce, hopes to join the efforts in revitalizing the area.

Website: <https://eastern-homes.com/>

Bidder's Summary Cont.

Client Home



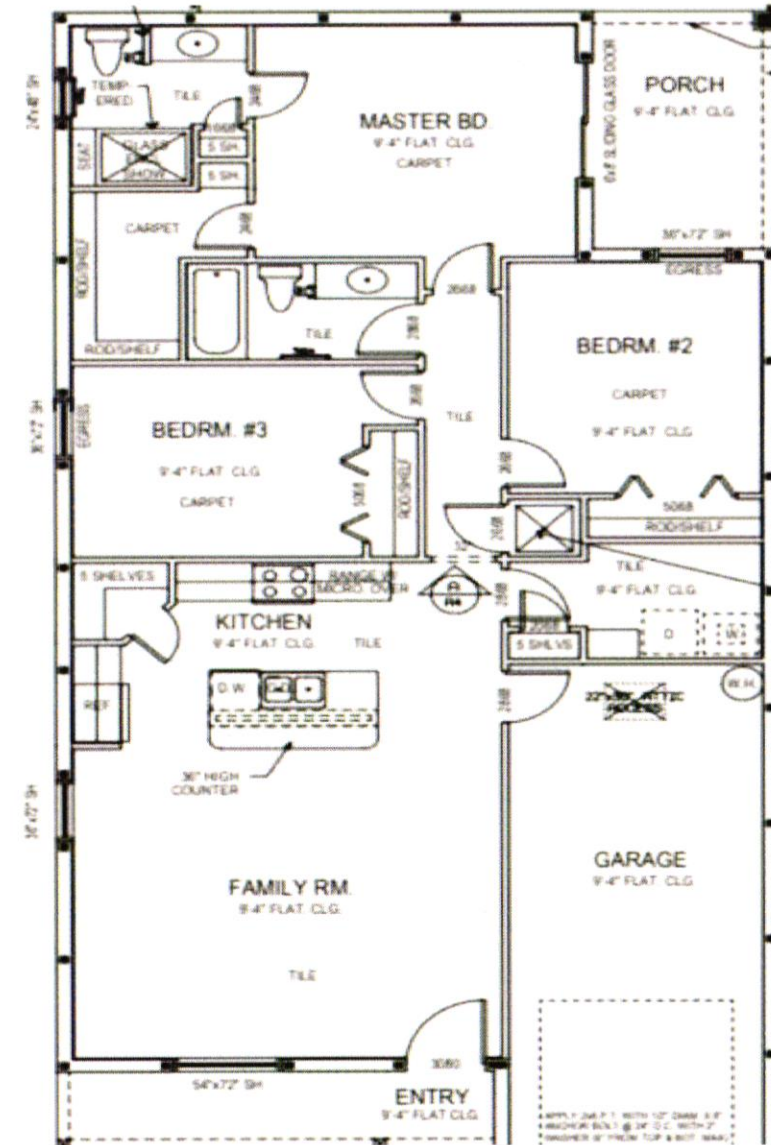
PRELIMINARY BUILDING PLAN

Exterior, Floor Plan & Sq Ft



SQUARE FOOTAGE

A/C LIVING	1,319 sq. feet
GARAGE	295 sq. feet
COV. ENTRY	73 sq. feet
LANAI	95 sq. feet
TOTAL	1,782 sq. feet



PRELIMINARY BUILDING PLAN
Interior- Bathroom, Kitchen & Living Room



TIMELINE

10 months total for both homes



2 months to prepare plans



2 months for permitting approval



6 month build time



Eastern Homes
Let us guide you home



Construction Cost Estimate- 424 & 426 Douglas

- Total construction cost estimate per house - **\$150,000** (excluding the lot purchase)
- Total construction cost estimate for the project - **\$300,000** (excluding the lot purchase)

Construction Cost breakdown *per house					
Item Name	Phase amt				
		Perm Roofing	\$	4,500	
		Ext. Doors/Windows	\$	4,500	Frameless Shower Enclosure \$ 1,500
Clearing lot	\$ 8,250	Ext. Doors/ Garage Doors	\$	750	Soffit \$ 1,500
Footings/foundation	\$ 9,000	Survey Work	\$	1,500	Painting - Int \$ 4,500
Block	\$ 6,000	Stucco	\$	4,500	Painting Ext \$ 4,500
First floor framing	\$ 10,500	Stone Veneer	\$	6,000	Plumbing Final \$ 6,000
Well	\$ 4,500	Wall Insulation/Sheetrock	\$	7,500	HVAC Final \$ 3,000
Power from OUC	\$ 1,500	Attic Insulation	\$	1,500	Electrical Final \$ 1,500
Roof Framing	\$ 4,500	Int Doors	\$	3,000	Appliances \$ 1,500
Rough Plumbing	\$ 4,500	Int Trim	\$	4,500	Flooring \$ 6,000
Septic/Sewer Connection	\$ 1,500	Cabinets	\$	7,500	Driveways \$ 3,000
Rough HVAC	\$ 4,500	CounterTops	\$	3,000	Landscaping \$ 3,000
Rough Electrical	\$ 3,000	Bath Tile	\$	1,500	Grading/Fill import \$ 6,000

Landscaping Plans- Plant List & Square Footage



424 Douglas 4,968 square ft
500 sf Landscaping (10% of lot)
10 Viburnum = 90 sf of shrubs
18 Schillings = 162 sf of shrubs
1 crape myrtle tree, 1 live oak = 250 sf of trees

426 Douglas 4,980 square ft
500 sf Landscaping (10% of lot)
10 Viburnum = 90 sf of shrubs
18 Schillings = 162 sf of shrubs
1 crape myrtle tree, 1 live oak = 250 sf of trees



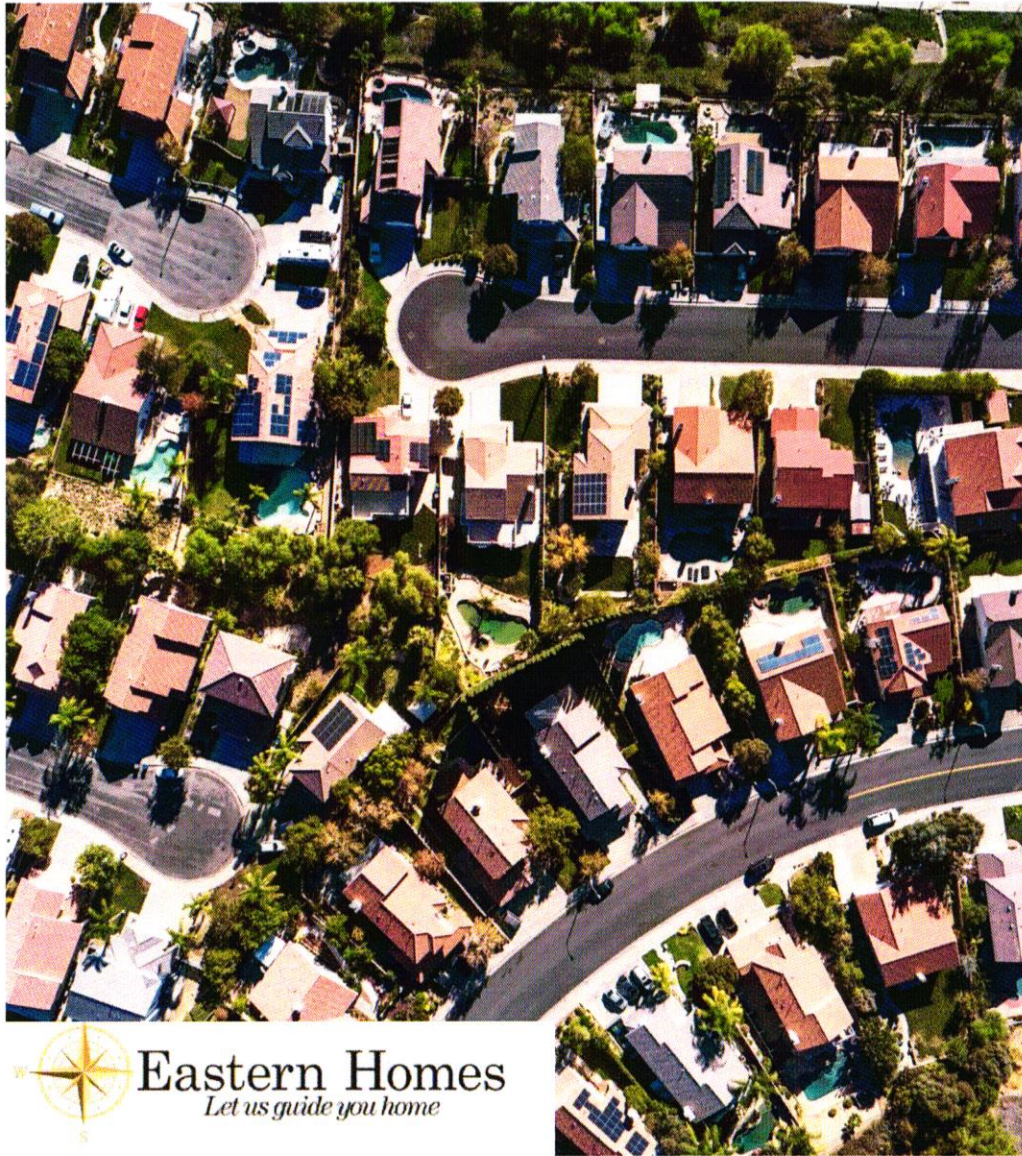
Sweet Viburnum



Schillings Dwarf Yaupon Holly



Crape Myrtle Tree



Property Development Utilization

Eastern Homes intends on building two homes total on 424 & 426 Douglas. Each home will total to 1,782 square feet with 3 bedrooms and 2 baths. After the homes are finished, the goal is to rent one home and sell the other.





P.O. BOX 196 OZARK AR 72949

RETURN SERVICE REQUESTED

Date: 02/03/2023

115246-06A**007497



EASTERN CAPITAL INVESTMENTS LLC
4001 AINSLEY AVE
ORLANDO FL 32833-4716

Rate Change Advice

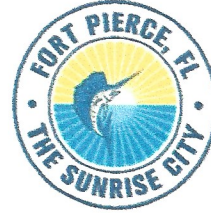
Principal Balance:	\$.00	Maturity Date:	06/29/2024
Current Rate:	9.25%	Original Loan Date:	02/25/2021
Interest Balance:	\$447.74-	Credit Limit:	\$2,500,000.00
One Day's Interest:	\$.00	Date of Last Payment:	07/08/2022
		Last Payment Amount:	\$447.74

On 02/02/2023 your interest rate changed from 9.000000 % to 9.250000 %.

DELIVER TO:
 City of Fort Pierce, Purchasing Division
 Room 101
 100 North U.S. #1
 Fort Pierce, FL 34950

MAIL TO:
 City of Fort Pierce Purchasing Division,
 Room 101
 P.O. Box 1480
 Fort Pierce, FL 34954-1480

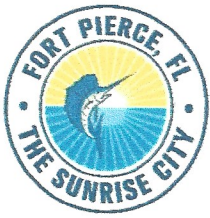
CITY OF FORT PIERCE



**INVITATION TO BID
 and
 BIDDER ACKNOWLEDGMENT**

Bid Writer: Latonya Hubbard	Bid No: 2023-016
Mandatory Site-Visit: N/A	Bid Title: DISPOSITION OF FPRA SURPLUS PROPERTIES - 424 DOUGLAS COURT AND 426 DOUGLAS COURT
Mandatory Site-Visit Location: N/A	Bid Opening Location: Purchasing Division Conference Room, Room 101 100 North U.S. #1, 1st Floor Ft. Pierce, Florida 34950
Bid Due Date & Time 3:00PM, WEDNESDAY, FEBRUARY 22, 2023	If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.
Bidder Name: <u>FRANCKLY Cherilus</u>	I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.
Mailing Address: <u>15522 Goldfinch cir Westlake FL, 33470</u>	
City, State, Zip Code: <u>Westlake, FL, 33470</u>	x <u>FRANCKLY C</u> Authorized Signature (Manual)
Type of Entity (Select one): Corporation <input checked="" type="checkbox"/> Partnership <input type="checkbox"/> Proprietorship <input type="checkbox"/>	Typed or Printed Name: <u>FRANCKLY Cherilus</u>
Incorporated in the State of: <u>FL</u> Year: <u>2021</u>	Delivery in _____ days, After Receipt Order
Phone Number: <u>884 709 4137</u>	Payment Terms: <u>One time cashier check.</u>
Fax Number:	FEIN or SS Number: <u>87-2007460</u>
E-Mail Address: <u>francklycherilus@gmail.com</u>	Local Business: <input checked="" type="checkbox"/> N MWBE: <input type="checkbox"/> Y <input type="checkbox"/> N
Bid Security is attached, when required, in the amount of \$ <u>5,000.00</u> F.O.B. DESTINATION	If returning as a "No Bid" state reason:

THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID



CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES
 Bid No. 2023-016

Date: 2/16/23

I/we propose to purchase property located at: (Check the property proposing to purchase. If proposing to purchase multiple properties, complete a separate Offer to Purchase/Bid Response Form for each).

424 Douglas Court -2409-501-0199-000-0 AND 426 Douglas Court -2409-501-0200-000-1

PROPOSED SUBMITTED BY:

Legal Name (s): _____

Address: _____

Day-time Phone Number: 954-709-4137 Mobile Number: _____

Email: franklycherilus@gmail.com

INTENDED USE

I/we propose to use the property for:

Development

Will this property be your primary residence? _____ Yes No

If not above, what do you intend to develop the property for: Rental Resale Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

Multi family rentals

(Attach pages as needed)

Total value of all proposed improvements to the property: \$ 750,000.00

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ ~~3~~ 5,000.00 for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

- Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.
- Yes No **Timeline to complete construction project**
- Yes No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.
- Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.
- Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?
- Yes No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER'S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.

Franky C.
Bidder of Authorized Representative

Franky Christian
Typed Name

2/16/23
Date



2/16/2023

FRANCKLY CHERILUS
15522 GOLDFINCH CIR
LOXAHATCHEE FL 33470

Dear FRANCKLY CHERILUS:

Please accept this letter as confirmation that as of market close on 02/15/2023, you held a balance in excess of \$12,000.00 in cash and securities in your portfolio at Fidelity Brokerage Services. The balance is based on the total market value of all positions in the account, including core, minus any outstanding debit balances and any amount required to cover short option positions that are in-the-money.

You may withdraw any amount up to and including the full value of the account(s), pending the settlement of any applicable liquidating trade transactions. Account value(s) may change due to factors such as market conditions or customer activities; therefore, the amount available to withdraw may differ from the value provided above.

Per IRS regulations, withdrawals from an IRA made prior to age 59½ may be subject to a 10% early withdrawal penalty. Please consult a tax advisor to review your individual situation.

I hope you find this information helpful. If you have any questions, please contact a Fidelity representative at 800-544-6666 for assistance.


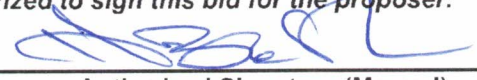
Sincerely,

A handwritten signature in black ink that reads "Clint Brandner".

Clint Brandner
VP, Operations

Fidelity does not provide legal or tax advice. The information herein is general in nature and should not be considered legal or tax advice. Consult an attorney or tax professional regarding your specific situation.

Fidelity Brokerage Services LLC, Member NYSE, SIPC
900 Salem Street, Smithfield, RI 02917
© 2023 FMR LLC. All rights reserved.

<p>DELIVER TO: City of Fort Pierce, Purchasing Division Room 101 100 North U.S. #1 Fort Pierce, FL 34950</p> <p>MAIL TO: City of Fort Pierce Purchasing Division, Room 101 P.O. Box 1480 Fort Pierce, FL 34954-1480</p>	<p>CITY OF FORT PIERCE</p>  <p>INVITATION TO BID and BIDDER ACKNOWLEDGMENT</p>
<p>Bid Writer: Latonya Hubbard</p>	<p>Bid No: 2023-016</p>
<p>Mandatory Site-Visit: N/A</p>	<p>Bid Title: DISPOSITION OF FPRA SURPLUS PROPERTIES - 424 DOUGLAS COURT AND 426 DOUGLAS COURT</p>
<p>Mandatory Site-Visit Location: N/A</p>	<p>Bid Opening Location: Purchasing Division Conference Room, Room 101 100 North U.S. #1, 1st Floor Ft. Pierce, Florida 34950</p>
<p>Bid Due Date & Time 3:00PM, WEDNESDAY, FEBRUARY 22, 2023</p>	<p>If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.</p>
<p>Bidder Name: <u>KIB Construction Corp</u></p> <p>Mailing Address: <u>1232 SW Abacus Ave</u></p>	<p><i>I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.</i></p> <p>X <u></u> Authorized Signature (Manual)</p>
<p>City, State, Zip Code: <u>Fort Saint Lucie, FL 34903</u></p>	<p>Typed or Printed Name: <u>Herematie Baksh</u></p>
<p>Type of Entity (Select one): Corporation <input checked="" type="checkbox"/> Partnership _____ Proprietorship _____</p>	<p>Title: <u>President</u></p>
<p>Incorporated in the State of: <u>FL</u> Year: <u>2018</u></p>	<p>Delivery in _____ days, After Receipt Order</p>
<p>Phone Number: <u>772-224-6371</u></p>	<p>Payment Terms:</p>
<p>Fax Number:</p>	<p>FEIN or SS Number: <u>833032740</u></p>
<p>E-Mail Address: <u>Kibconstcorp@gmail.com</u></p>	<p>Local Business: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N MWBE: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p>
<p>Bid Security is attached, when required, in the amount of \$ _____ F.O.B. DESTINATION</p>	<p>If returning as a "No Bid" state reason:</p>
<p>THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID</p>	

Bid No. 2023-016



CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES
 Bid No. 2023-016

Date: 02-22-2023

I/we propose to purchase property located at: (Check the property proposing to purchase. If proposing to purchase multiple properties, complete a separate Offer to Purchase/Bid Response Form for each).

424 Douglas Court -2409-501-0199-000-0 AND 426 Douglas Court -2409-501-0200-000-1

PROPOSED SUBMITTED BY:

Legal Name (s): KIB Construction Corp
 Address: 1732 SW Abacus Ave, Port St Lucie, FL 34953
 Day-time Phone Number: 772-323-0445 Mobile Number: 772-224-6371
 Email: kibconstcorp@gmail.com

INTENDED USE

I/we propose to use the property for:

Rental

Will this property be your primary residence? _____ Yes No

If not above, what do you intend to develop the property for: Rental _____ Resale _____ Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

KIB Construction Corp is currently in the process of starting another project with city of fort pierce redevelopment. We would love to continue to assist in redvelope fort pierce. Attached is our plans

(Attach pages as needed)

Total value of all proposed improvements to the property: \$ 200,000.00

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ 14,000-00 for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

Yes No **Timeline to complete construction project**

Yes No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

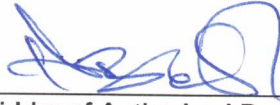
Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

Yes No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER'S ACKNOWLEDGEMENT

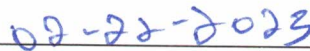
The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.



Bidder of Authorized Representative



Typed Name



Date

CITY OF FORT PIERCE BIDDER'S CHECKLIST

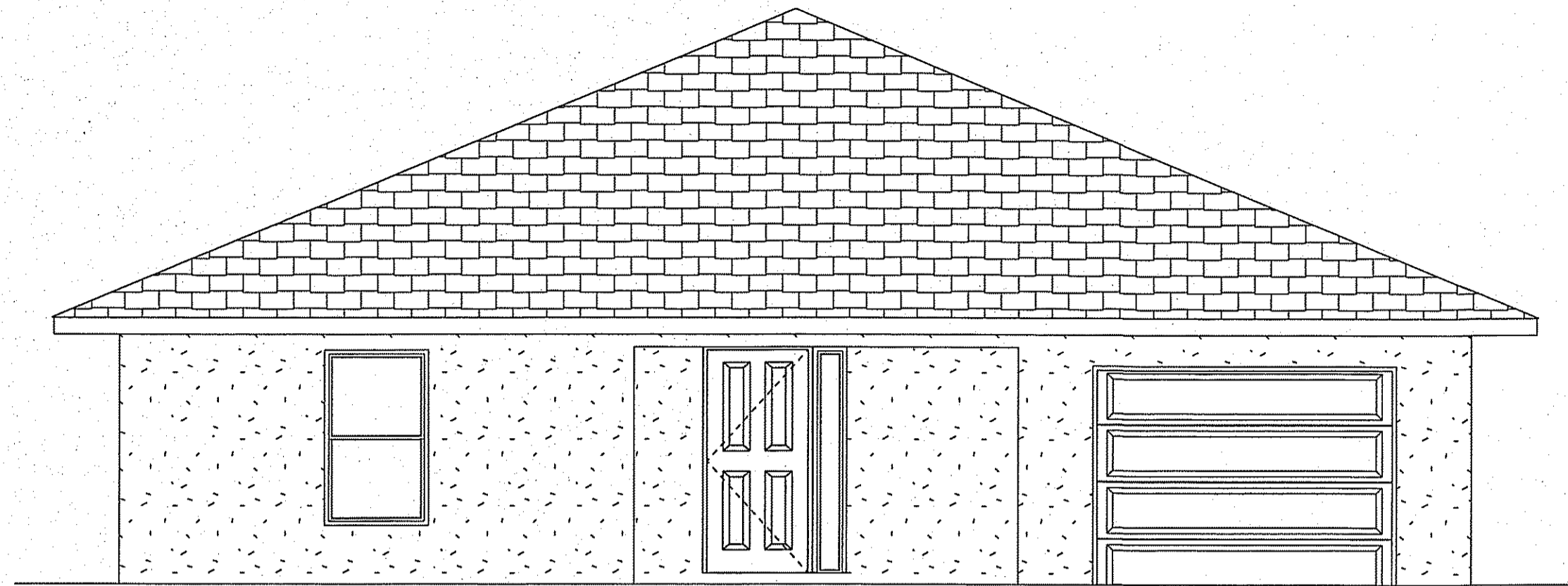
This checklist is provided to assist each Bidder in the preparation of their bid response. Included in this checklist are important requirements, which is the responsibility of each Bidder to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Bidder to read and comply with the Invitation to Bid in its entirety.

Check "Yes" or "No" to each of the following:

	YES	NO
Is the Bidder's Narrative/Summary included?	<u>✓</u>	_____
Is the proof of Financial Ability/Letter from financial institution included?	<u>✓</u>	_____
Is the Development Plan included :		
Preliminary building plans included	<u>✓</u>	_____
Timeline to complete the construction project	<u>✓</u>	_____
Construction cost estimates included	<u>✓</u>	_____
Landscaping plans	<u>✓</u>	<u>✓</u>
Property development utilization	_____	_____
Is Invitation to Bid cover page (page 1) completed, signed, and attached?	<u>✓</u>	_____
Is the Offer to Purchase Form (page age 14-16) completed, signed and attached?	<u>✓</u>	_____
Bid envelope is marked accordingly.	<u>E bidding</u>	<u>✓</u>

PLEASE SIGN AND RETURN WITH BID: _____





Building Department Product Approval Submittal Affidavit									
Permit #		Building Address: SEE PLAN				Contractor: TBD			
Opening Schedule : Swing doors, Overhead Doors, Sliding Doors, Fixed Glass, Windows & Skylights									
Opening ID	FL # or NOA #	Product	Model #	Manufacturer	Glass Description	Attachment Method Type, Size, Spacing & Embedment (DISTANCE FROM CORNER / DISTANCE O.C.)	Building Design Pressure	Product Design Pressure	
SH WIND	NOAH 20-0401.11	SINGLE HUNG	SH 7700A	PGT	IMPACT	1/4" X 1 3/8" MIN. EMBD. TC'S AT ALL PRE PUNCHED FACTORY HOLES		+/- 65	
3068 SC DOOR	FL# 20468.1	SC DOOR	SMOOTH STAR	THERMA-TRU	N/A	1/4" X 1 1/4" MIN. EMBED. TAPCONS AT 6" / 14" O.C.		+/- 67	
3068 SC DOOR WITH 10R2 SL	FL# 20468.2	SC DOOR W/ SL	SMOOTH STAR	THERMA-TRU	IMPACT	1/4" X 1 1/4" MIN. EMBED. TAPCONS AT 6" / 14" O.C. AND 3" & 7" EACH SIDE OF MEETING RAIL TOP AND BOTTOM		+/- 50	
OHD	FL# 16546.4	OVERHEAD DOOR	74W6	CLOPAY	N/A	5/16" X 1 5/8" LAG SCREWS (ONE PER BRACKET)		+36 / -42 PSF	
Product	Model #	Manufacturer			Attachment Method Type, Size, Spacing, Embedment & Stiffener etc.		Building Design Pressure	Product Design Pressure	
Roof	SHINGLES FL#10674.1	OWENS CORNING			PARTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS, MINIMUM 12 GAUGE @ 105 INCH (MM) SHANK WITH MINIMUM 3/8 INCH (10MM) DIAMETER HEAD, ASTM F 1667 OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM 1/4 INCH (6MM) INTO THE ROOF SHEATHING, WHERE THE ROOF SHEATHING IS LESS THAN 3/4 INCH (19MM) THICK, THE PARTENERS SHALL PENETRATE THROUGH THE SHEATHING PASTENERS SHALL COMPLY WITH ASTM F 1667 (8 PER SINGLE)		Vult: 170mph	Vult: 194mph	
UNDERLAYMENT	WEATHER ARMOR SB-1	FL# 26482.2	APOC			Apply directly to the roof deck. Do not apply to shingles or other roof coverings. Start at the lowest point of the roof deck where possible. Overlap seams 3" minimum and endlaps 3" minimum. Peel half of the backing off the roll and apply firm, even pressure from the center to the outer edges. Remove the backing from the remaining half of the roll and apply pressure.		N/A	N/A
VERT. Mullions (2 SH 25)	CM-18531	FL# 15353.8	MI WINDOWS AND DOORS			1/4" X 1 1/4" MIN. EMBED. TAPCON (4 PER CLIP)			+/- 75.6
Hurricane Panels	N/A								
I have reviewed the above product approval information and approve it. Name: Paul Welch P.E. Certification Number: 29945 ALL GLAZED EXTERIOR OPENINGS SHALL BE IMPACT RESISTANT.									

STRUCTURAL NOTES

- DESIGN LOADS IN ACCORDANCE WITH ASCE7-16.
- SOIL BEARING CAPACITY: 2500 PSF (MIN.).
- ALL STRUCTURAL CONCRETE IN BEAMS, LINTELS, VERTICAL CELLS, AND COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- SLAB / FOOTINGS TO BE CONCRETE WITH A MINIMUM 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS. SEE PLAN FOR SIZES & STEEL REQUIREMENTS.
- MINIMUM CONCRETE PROTECTION FOR REINFORCING BARS: FOOTINGS: 3" BEAMS: 1 1/2" SUSPENDED SLABS: 1 1/2"
- LAP ALL REINFORCING STEEL A MINIMUM OF 48 BAR DIAMETERS EXCEPT AS NOTED GRADE 60 STEEL MINIMUM IN BEAMS AND COLUMNS.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- SPLITTING OR CRACKING OF STRUCTURAL COMPONENTS DUE TO INSTALLATION OF HARDWARE IS NOT PERMITTED.
- UNLESS OTHERWISE NOTED, THE INSTALLATION OF SPECIFIED HARDWARE SHALL CONFORM TO THE MANUFACTURERS INSTRUCTIONS AND STANDARD PRACTICES
- UNLESS OTHERWISE NOTED, FOR EXTERIOR WALLS, EXTERIOR PLYWOOD SHEATHING AND INTERIOR DRYWALL IS TO BE NAILED WITH 10d OR BETTER NAILS 6" O.C. EDGES, AND 6" O.C. FIELD, OR SCREWED WITH DRYWALL SCREWS 1.5" LONG AND 0.131 DIA.
- ALL LINTELS SHALL HAVE A MINIMUM 4" BEARING.
- PROVIDE # 5 CORNER BARS W/ 30" MIN. LAP SPLICE FOR BOND BEAM.
- EXTERIOR FRAME WALLS TO BE STUCCO OVER WIRELATH WITH 1" GA. 2" LONG NAILS WITH 3/8" Ø HEAD @ 6" O.C. OVER (2) LAYERS OF (15# FELT OR TYVAK BUILDING WRAP) OVER 19/32" CDX PLYWOOD WITH 10d NAILS TO STUDS @ 6" O.C. PERIMETER AND FIELD.
- BEARING POINTS OF TRUSSES SHALL HAVE VERTICAL STUDS IN A NUMBER EQUAL TO THE NUMBER OF PLYS OF THE BEARING MEMBER WHEN THE BEARING MEMBER IS (2) OR MORE PLYS UNLESS NOTED.
- R606.2.1 CONCRETE MASONRY UNITS**
CONCRETE MASONRY UNITS SHALL CONFORM TO THE FOLLOWING STANDARDS: ASTM C85 FOR CONCRETE BRICK; ASTM C77 FOR CALCIUM SILICATE FACE BRICK; ASTM C90 FOR LOAD-BEARING CONCRETE MASONRY UNITS; ASTM C744 FOR PREFACED CONCRETE AND CALCIUM SILICATE MASONRY UNITS; OR ASTM C1634 FOR CONCRETE FACING BRICK.
- R606.2.7 MORTAR**
EXCEPT FOR MORTARS LISTED IN SECTIONS R606.2.8, R606.2.9 AND R606.2.10, MORTAR FOR USE IN MASONRY CONSTRUCTION SHALL MEET THE PROPORTION SPECIFICATIONS OF TABLE R606.2.7 OR OR THE PROPERTY SPECIFICATIONS OF ASTM C270. THE TYPE OF MORTAR SHALL BE IN ACCORDANCE WITH SECTIONS R606.2.7.1, R606.2.7.2 AND R606.2.7.3
- R606.2.11 GROUT**
GROUT SHALL CONSIST OF CEMENTITIOUS MATERIAL AND AGGREGATE IN ACCORDANCE WITH ASTM C476 OR THE PROPORTION SPECIFICATIONS OF TABLE R606.2.11. TYPE M OR TYPE S MORTAR TO WHICH SUFFICIENT WATER HAS BEEN ADDED TO PRODUCE POURING CONSISTENCY SHALL PERMITTED TO BE USED AS GROUT.

ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NEC (NFPA 70) 2017 EDITION.
- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFACY LAMPS OR A MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFACY LAMPS. (LOW VOLTAGE LIGHTING SHALL NOT BE REQUIRED TO BE HIGH-EFFACY LAMPS)
- RECESSED LIGHTING SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.
- SMOKE DETECTORS TO BE 110V W/ BATTERY BACK UP - ARC FAULT CIRCUIT
- SMOKE DETECTORS TO BE INTERCONNECTED SO THAT ONE SMOKE DETECTOR ACTIVATES ALL SMOKE DETECTORS IN THE RESIDENCE
- PROVIDE BRANCH CIRCUIT ARC-FAULT PROTECTION FOR ALL CIRCUITS SERVING: FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS PER FBC AND NEC REQUIREMENTS.
- PROVIDE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL 125-VOLT, SINGLE-PHASE 15 AND 20 AMP CIRCUITS SERVING: BATHROOMS, GARAGES, KITCHENS, ACCESSORY BUILDINGS, OUTDOORS, OR WITHIN 72" OF EDGE OF ANY SINK.
- CARBON MONOXIDE DETECTORS TO BE INSTALLED WITHIN 10' OF ALL BEDROOMS.
- EXHAUST FANS TO BE VENTED THRU ROOF OR SOFFIT.
- PROVIDE TAMPER RESISTANT RECP/TICLES PER NEC REQUIREMENTS.

ENERGY CONSERVATION NOTES

- RESIDENCE SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE 2020 ENERGY CONSERVATION RESIDENTIAL.
- ATTIC ACCESS DOORS OR HATCHES FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. A WOOD FRAMED OR EQUIVALENT Baffle OR RETAINER IS REQUIRED TO BE PROVIDED WHEN LOOSE FILL IS INSTALLED, TO PREVENT LOOSE FILL FROM SPILLING INTO THE LIVING SPACE.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS R402.4.1 THROUGH R402.4.4.
- WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FT AND MUST BE TESTED LISTED AND LABELED IN ACCORDANCE WITH R402.4.3.
- CONTRACTOR SHALL PROVIDE ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD IN ACCORDANCE WITH FBC 2020 EXERGY CONSERVATION R401.3.

GENERAL NOTES

- THE CONTRACTOR, SUBCONTRACTOR, SUPPLIER, ECT. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ECT.
- STRUCTURAL FEATURES NOT DETAILED ON THESE PLANS WILL BE ADDRESSED BY THE ENGINEER AS CONSTRUCTION PROGRESSES.
- ALL WRITTEN DIMENSIONS ON THESE DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL CONSTRUCTION MUST COMPLY WITH THE FLORIDA BUILDING CODE (FBC) 2020, RESIDENTIAL, FBC 2020 PLUMBING CODE, FBC 2020 MECHANICAL CODE, FBC 2020 ENERGY CONSERVATION, AND THE NEC (NFPA 70) 2017 EDITION.
- RESIDENCE LOCATED IN NEGLIGIBLE WEATHERING AREA, AND IN VERY HEAVY TERMITE INFESTATION AREA PER FRC 301.

ADDITIONAL NOTES

- INTERIOR TO BE 1/2" DRYWALL FINISH.
- ALL INTERIOR GYPSUM BOARD TO BE MIN. 1/2" THICK WITH (15 GAGE, 1 3/8" LONG, 1984" HEAD ; 0.088" DIAMETER, 1 1/2" LONG, ANNULAR-RINGED; 30 COOLER NAIL, 0.088" DIAMETER, 1 5/8" LONG, 5/64" HEAD; OR GYPSUM BOARD NAIL, 0.088" DIAMETER, 1 5/8" LONG, 9/32" HEAD) SPACED AT 7" O.C. FOR NAILS AND 12" O.C. FOR SCREWS.
- WALLS AT SHOWER TO BE TILE. PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1288, C 1326, C 1178, OR C 1276 AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (PER FRC 702.4.1 & FRC 702.4.2).
- WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.
- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200.
- ALL EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER. EXPOSED FOAM PLASTIC INSULATION MATERIALS EXPOSED TO THE UNDERSIDE OF THE ROOF DECK OR ON THE ATTIC WALLS SHALL COMPLY WITH SECTION FRC316.
- PER FRC 702.2.1 ALL GYPSUM BOARD MATERIALS AND ACCESSORIES SHALL CONFORM TO ASTM C 36, C 79, C 475, C 814, C 830, C 931, C 980, C 1002, C 1047, C 1177, C 1178, C 1276, C 1395, C 1398 OR C 1658 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF FRC, AND ADHESIVES FOR THE INSTALLATION OF GYPSUM BOARD SHALL CONFORM TO ASTM C 857
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS OR VAPOR PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.



City of Fort Pierce Building Department
100 N. US 1, Ft. Pierce, FL 34950
(772) 460-2200 ext. 261 (fax) (772) 467-9836

Design Certification for Wind Load Compliance

This Certification is to be completed by the project design architect or engineer. This Certification must be submitted with all applications for building permit(s) involving the construction of new residences (single or multi-family), residential additions, accessory structures requiring a building permit, and any nonresidential structure. This Certification shall not apply to interior renovations (provided that no structural walls, columns or similar component are being affected) or certain other minor permits. For further assistance please contact the Permit Office at (772) 460-2200, ext. 261, 276, 231 or 274.

Project Name & Address	Office use only this side	
KB CONSTRUCTION SPEC	Permit #	
S. 12TH ST.	Occ. Type	
FORT PIERCE, FL	Const. Type	

Certification Statement:

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the building codes currently adopted and enforced by the City of Ft. Pierce. I also certify that structural elements depicted on these plans provide adequate resistance to the wind loads and forces specified by current code provisions.

Design Parameters and Assumptions Used: (please check or complete the appropriate box)

- Building Code Edition used (year, 2020 7th Edition FBC ASCE 7-16 Other _____
- Building Design is (check one) Enclosed Partially Enclosed Open Building
- Mean Roof Height 15 Ft. Roof Pitch: 5 :12 Wind Speed Used in Design: 165 MPH V_w
- Wind Exposure Classification (Refer to Exposure Tables in ASCE 7): B
- Wind Velocity Pressure (Refer to ASCE EQ. 28.3-1 & 30.3.3): 25.0 PSF Components and Cladding 25.0 PSF
- Design Pressure on Exterior Faces of Structure (ASCE 30.4-1): Positive 29.4 PSF-and-Negative -39 PSF
- Importance / Use Factor (Obtain from ASCE Tbl 1.5-2): 1.0
- Risk Category (Obtain from FBC Table 1604.5): 2
- Applicable Internal Pressure Coefficients (Tbl 26.11-1 ASCE 7): 0.18
- Loads: Floor: N/A PSF Roof/Dead: 7 PSF Roof/Live: 20 PSF
- Were Shear Walls Considered for Structure? (Check one) Yes No (If No, attach explanation)
- Is a Continuous Load Path Provided? (Check one) Yes No (If No, attach explanation)
- Are Component and Cladding Details Provided? (Check one) Yes No (If No, attach explanation)
- Minimum Soil Bearing Pressure: 2500 PSF

Design Professional Certification:

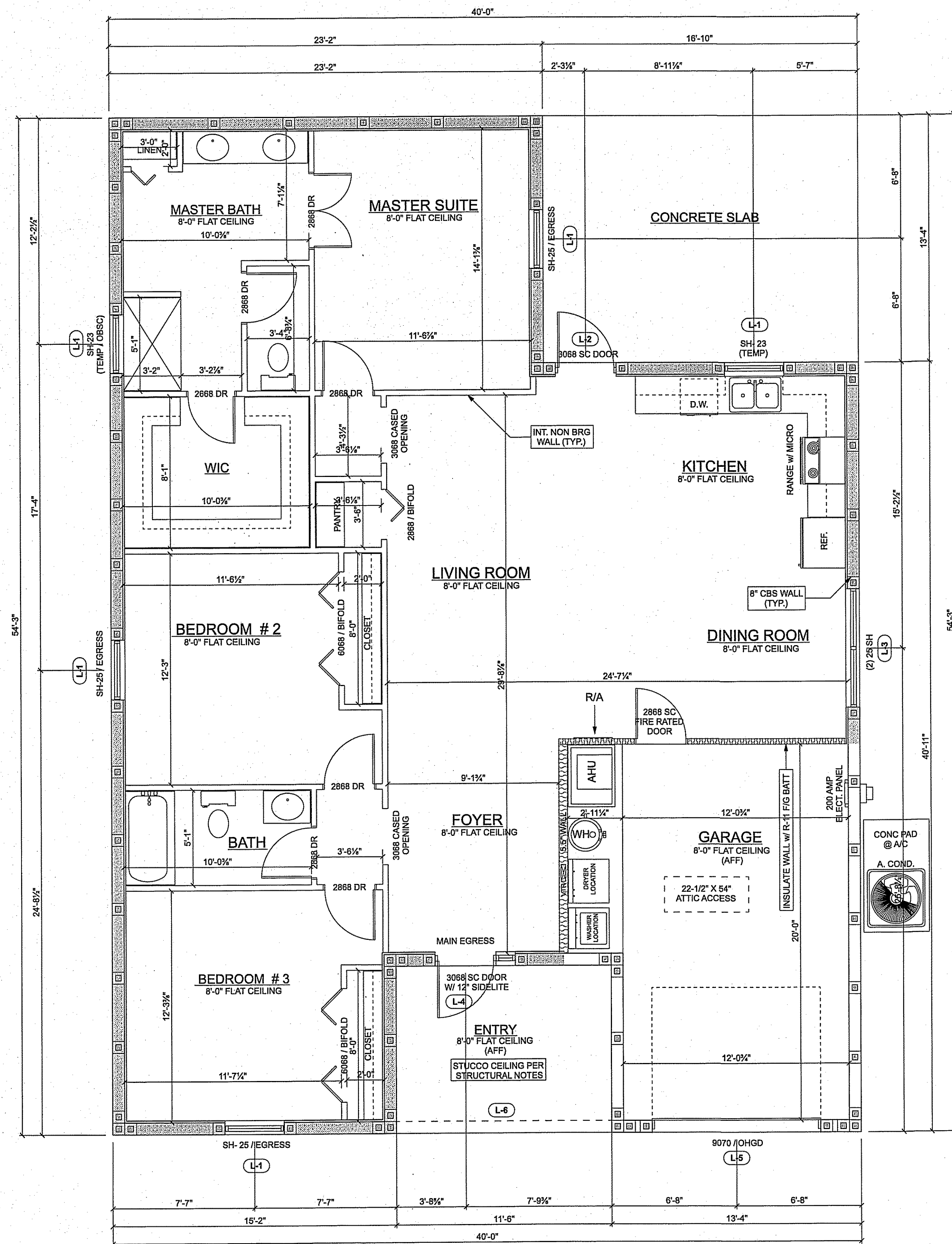
As witnessed by my seal, I hereby certify that the information included with this certification is true and accurate, to the best of my knowledge and belief.

Name PAUL WELCH P.E. Certification No. 29945
(check one) Architect Engineer
Design Firm PAUL WELCH INC. Date 2/11/2023

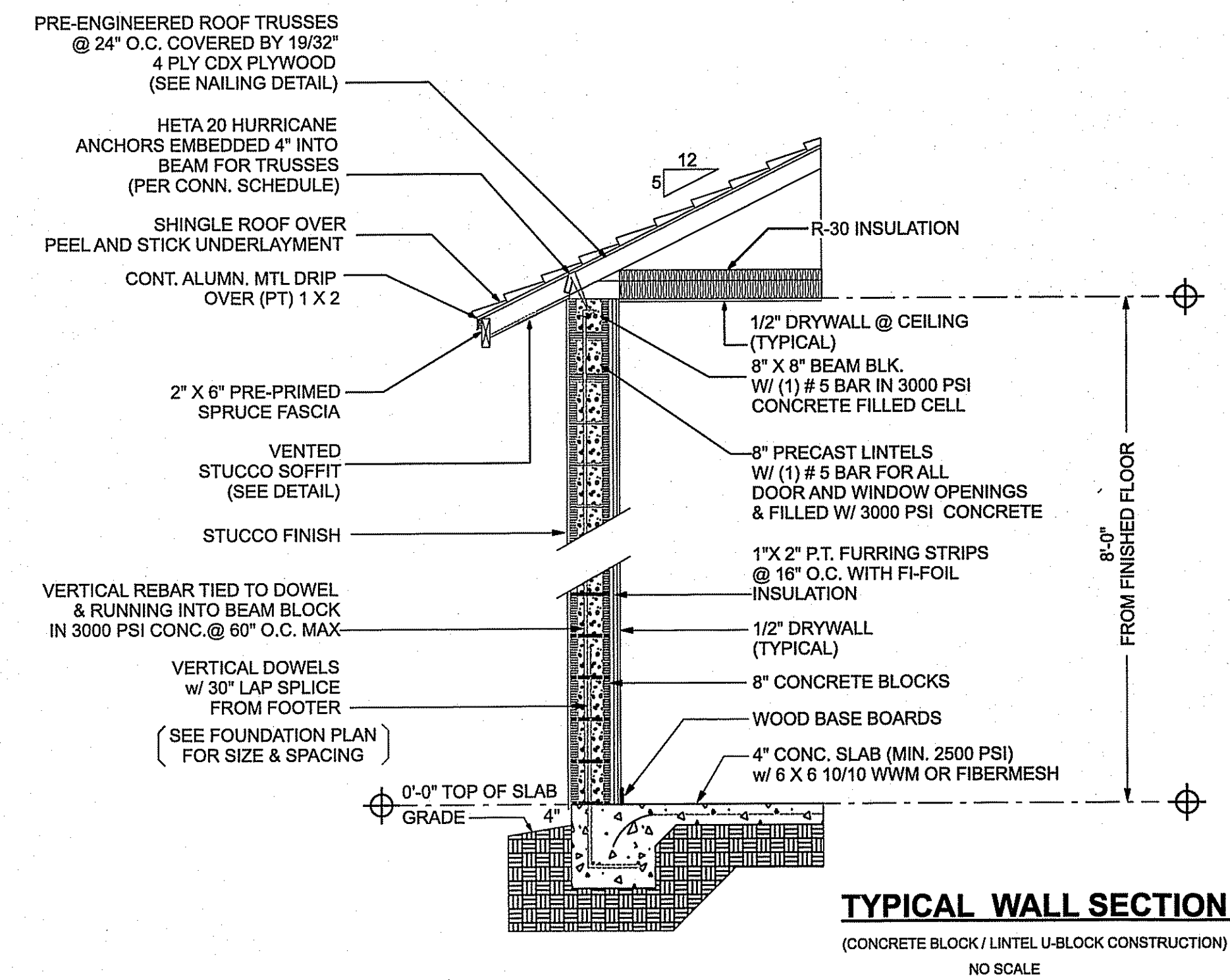
KB CONSTRUCTION SPEC HOME
S. 12TH ST., FT. PIERCE, FL.
INDY: TT2 - 224 - 6311

ENGINEER
PAUL WELCH INC.
MECHANICAL ELECTRICAL
CIVIL ENGINEERING
1884 8W BILTHORPE ST., SUITE # 114
FORT SAINT LUCIE, FL 34954
PHONE : (772) 785-9888
EMAIL: PWELCHINC@AOL.COM
PAUL WELCH P.E.
FLORIDA REGISTRATION NO. 29945

SHEET NUMBER
A-1 OF
7



FLOOR PLAN
1/4" = 1'



TYPICAL WALL SECTION
(CONCRETE BLOCK / LINTEL U-BLOCK CONSTRUCTION)
NO SCALE

LINTEL SCHEDULE

LINTEL #	LENGTH / TYPE	SAFE GRAVITY LOAD	APPLIED GRAVITY LOAD	SAFE UPLIFT LOAD	APPLIED UPLIFT LOAD	COMPOSITE BEAM
L-1	4'-6" 54" U-LINTELS	6133	1000	2724	600	8F16 LB-TT
L-2	4'-6" 54" RECESSED	5206	500	2525	250	8R14 LB-TT
L-3	7'-6" 90" U-LINTELS	2661	1000	1624	850	8F16 LB-TT
L-4	5'-8" 68" RECESSED	4567	100 PLF	1960	100 PLF	8R14 LB-TT
L-5	10'-6" 120" U-LINTELS	1533	500	914	250	8F18 LB-TT
L-6	12'-0" 144" U-LINTELS	1254	500	697	250	8F16 LB-TT

NOTE: WHEN LINTEL IS IN VARIOUS LOCATIONS, WORST CASE LOADING IS SHOWN
NOTE: PROVIDE "CASTCRETE" PRE-CAST CONCRETE LINTEL AS NOTED ON PLANS.

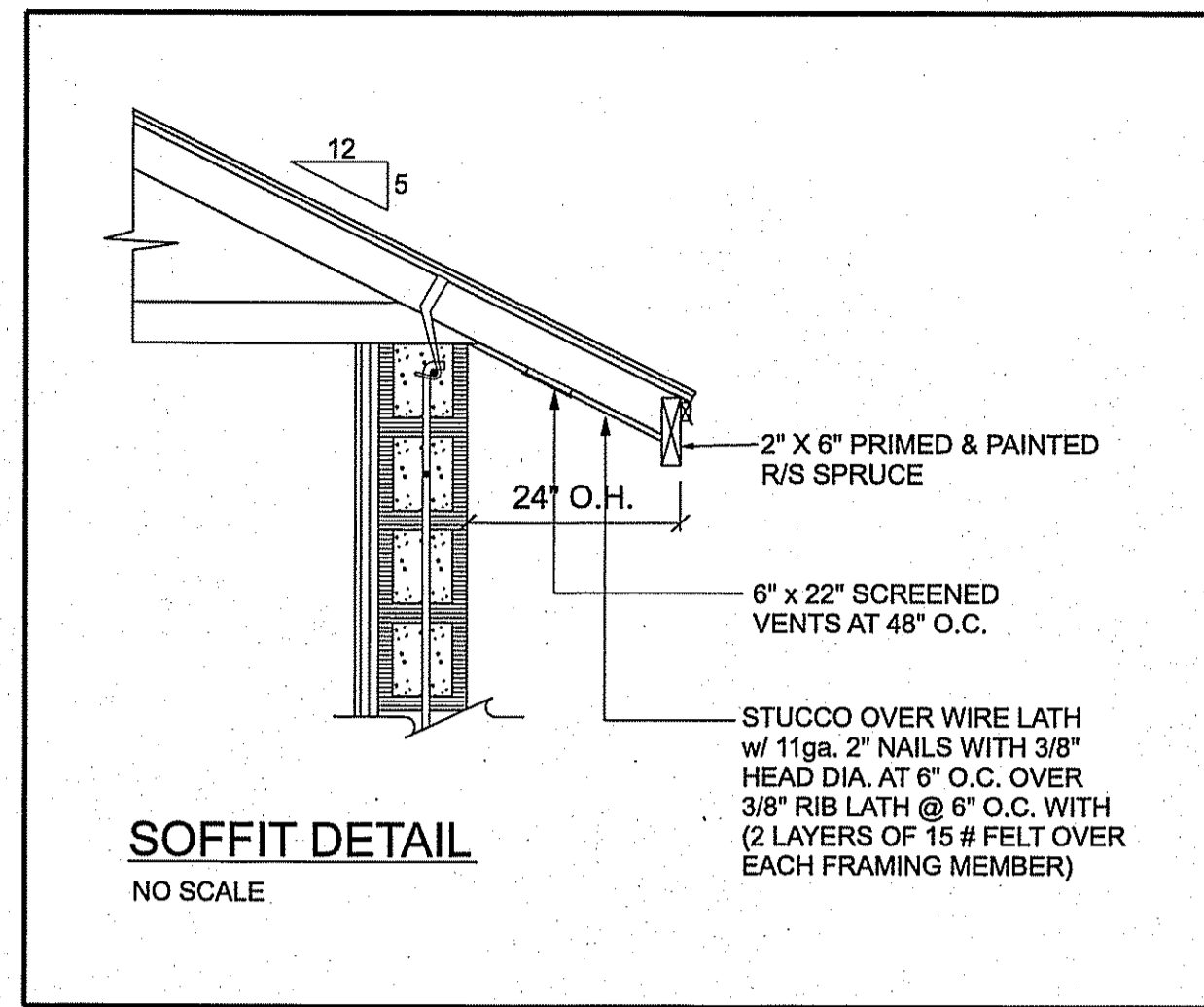
AREA TABULATIONS

LIVING AREA	1542 S.F.
GARAGE	302 S.F.
ENTRY	101 S.F.
TOTAL	1945 S.F.

KB CONSTRUCTION SPEC HOME
S. 12TH ST., FT. PIERCE, FL.
INDY: T12 - 224 - 6311

ENGINEER
PAUL WELCH INC.
MECHANICAL ELECTRICAL
CIVIL ENGINEERING
1894 6th BILTMORE ST., SUITE # 114
FORT SAINT LUCIE, FL 34984
PHONE: (772) 395-9899
EMAIL: PWELCHINC@AOL.COM
PAUL WELCH P.E.
FLORIDA REGISTRATION NO. 29945

SHEET NUMBER
A-2 OF
7

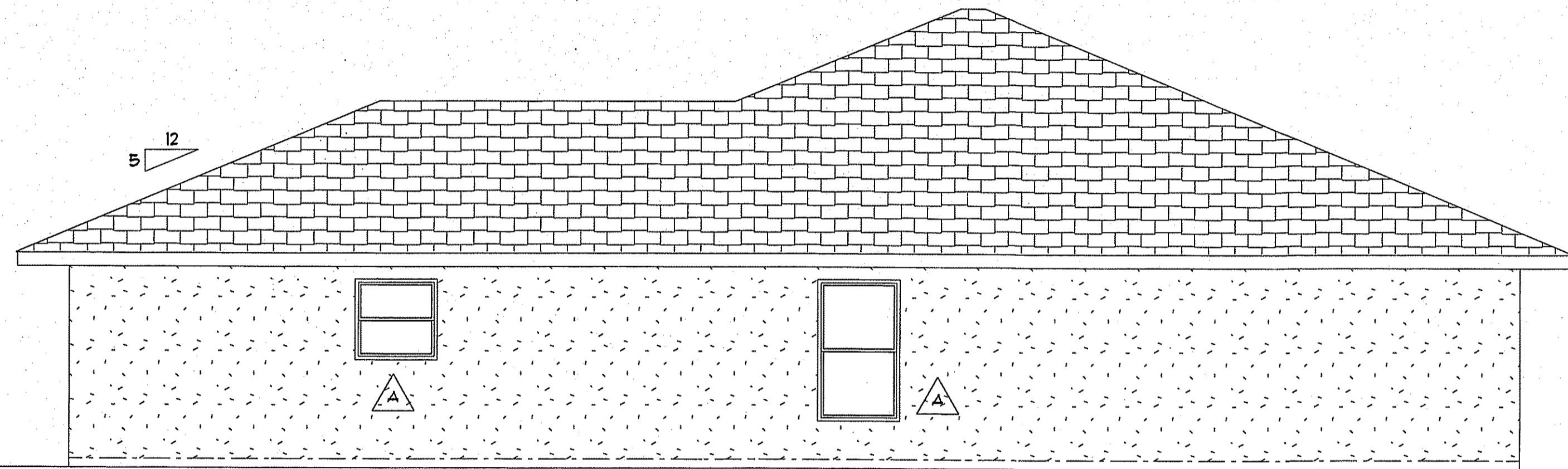


CALCULATE ATTIC VENTILATION

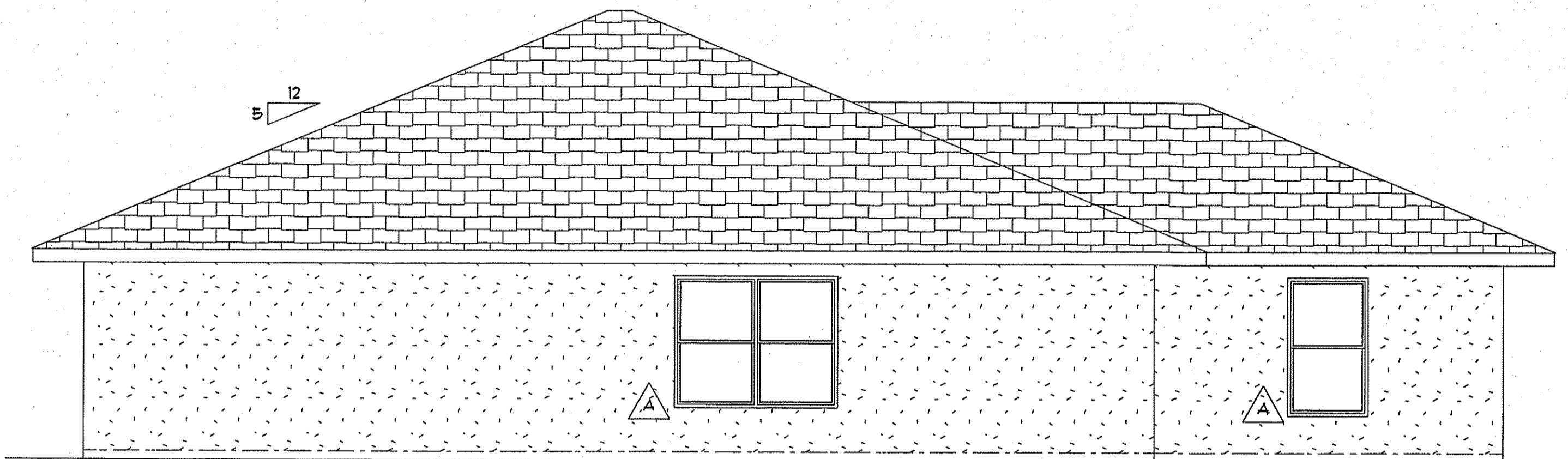
CEILING = 1945 SQ. FT.
 $1945 / 150 = 12.9$ REQUIRED VENTILATION
 188 L.F. OF 6" X 22" VENTS @ 48" O.C. = 43.08 SF / 2
 = 21.5 SF AVAILABLE FOR CROSS VENTILATION
 21.5 SQ. FT. > 12.9 SQ. FT. : VENTILATION O.K.
 USE 6" X 22" VENTS AT 48" O.C.

DESIGN PRESSURES FOR ELEVATIONS

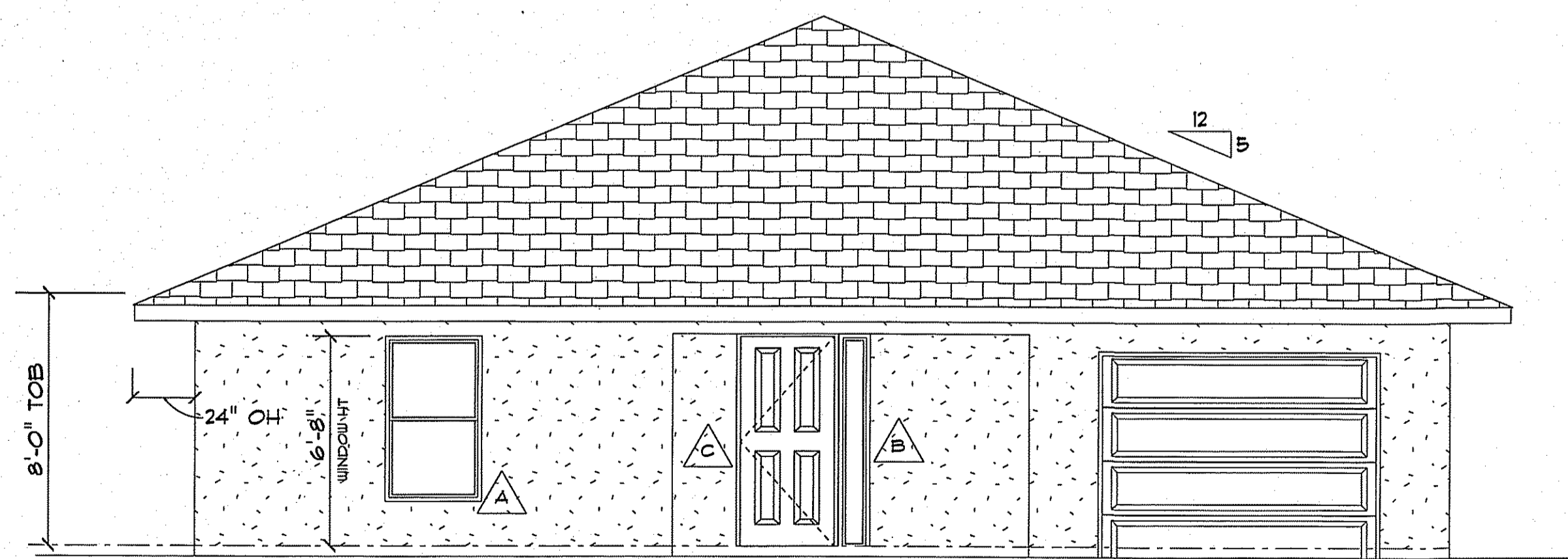
A. 10 SQ. FT. INTERIOR ZONE (4)	+ 29.4 - -31.9
B. 10 SQ. FT. END ZONE (5)	+ 29.4 - -39.4
C. 20 SQ. FT. INTERIOR ZONE (4)	+ 29.3 - -31.8
D. 20 SQ. FT. END ZONE (5)	+ 29.3 - -39.1
E. 20 SQ. FT. END ZONE (5)	+ 28.1 - -37.9



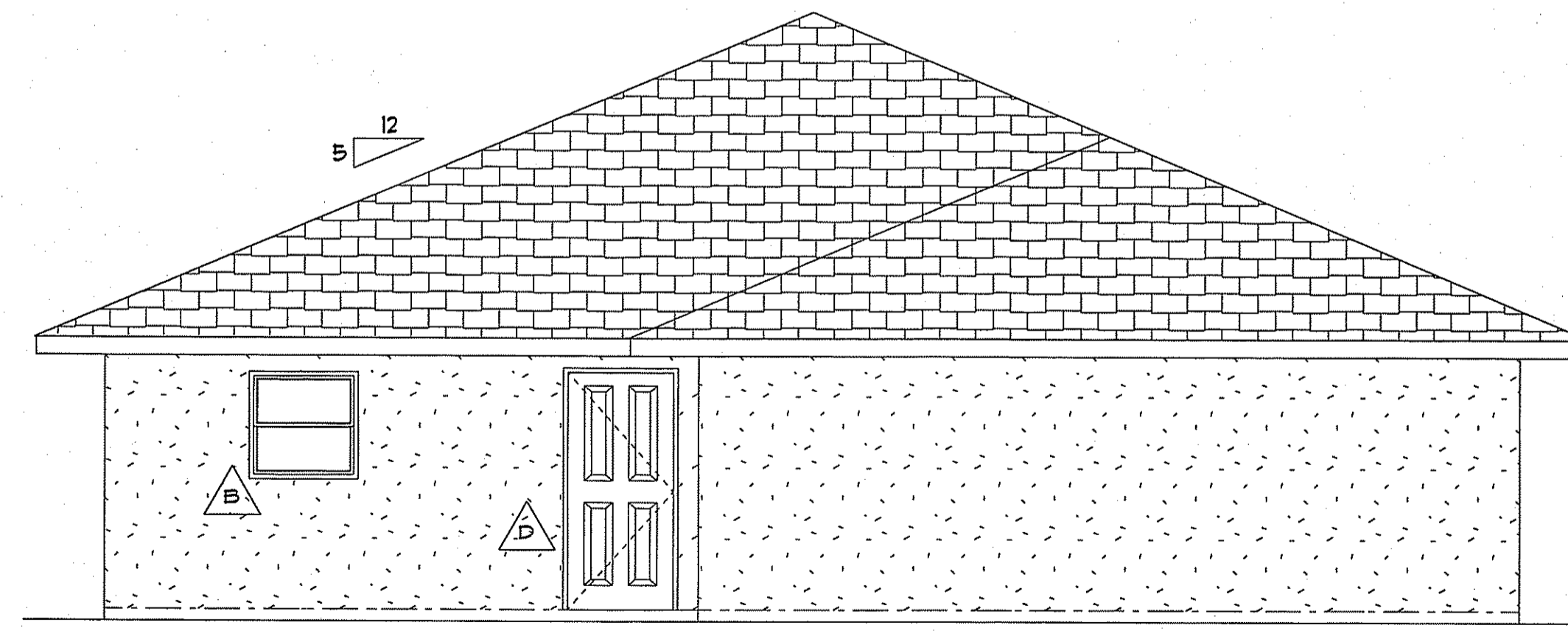
LEFT ELEVATION
1/4" = 1'



RIGHT ELEVATION
1/4" = 1'



FRONT ELEVATION
1/4" = 1'

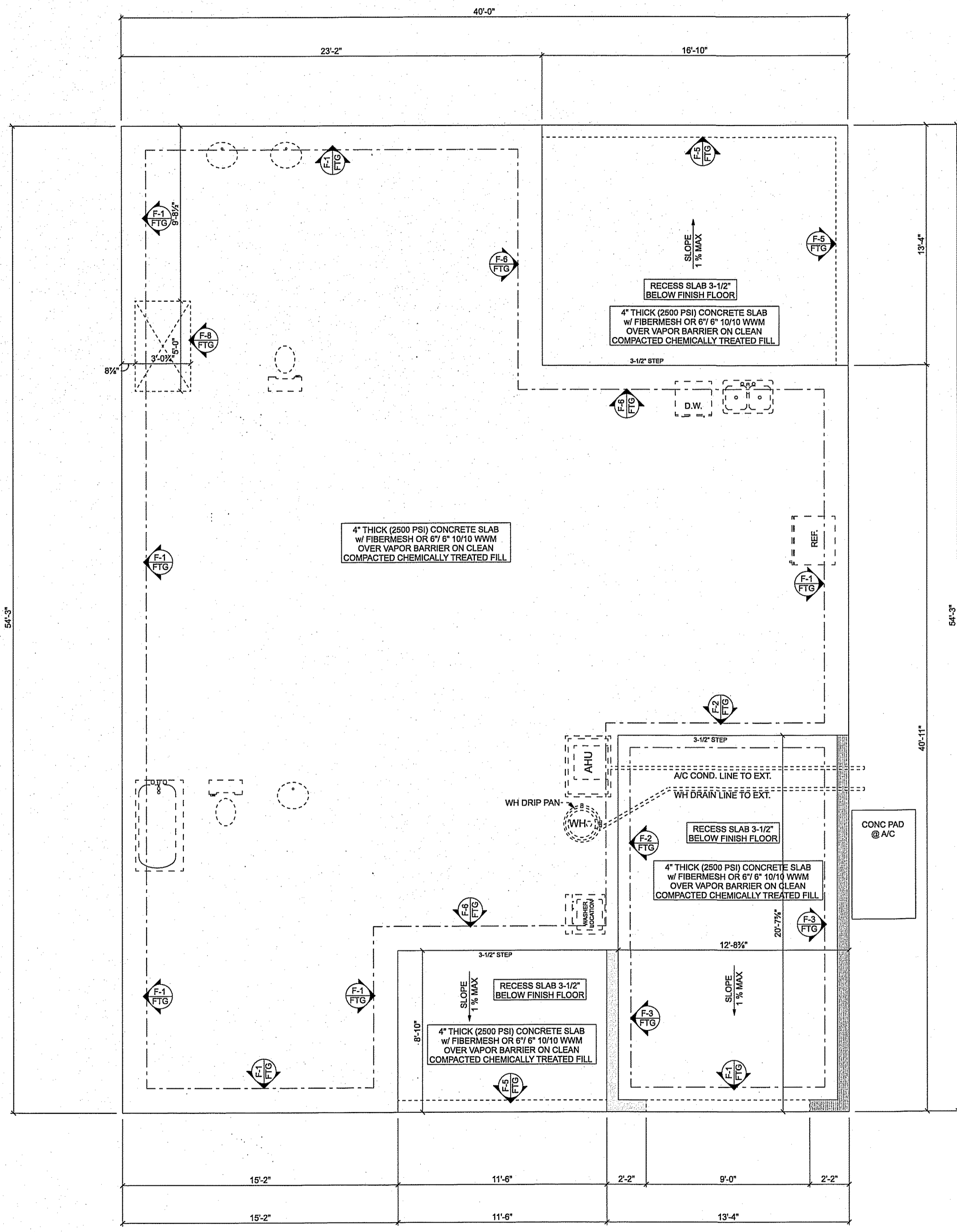


REAR ELEVATION
1/4" = 1'

KB CONSTRUCTION SPEC HOME
 S. 12TH ST., FT. PIERCE, FL.
 INDY: TT2 - 224 - 6311

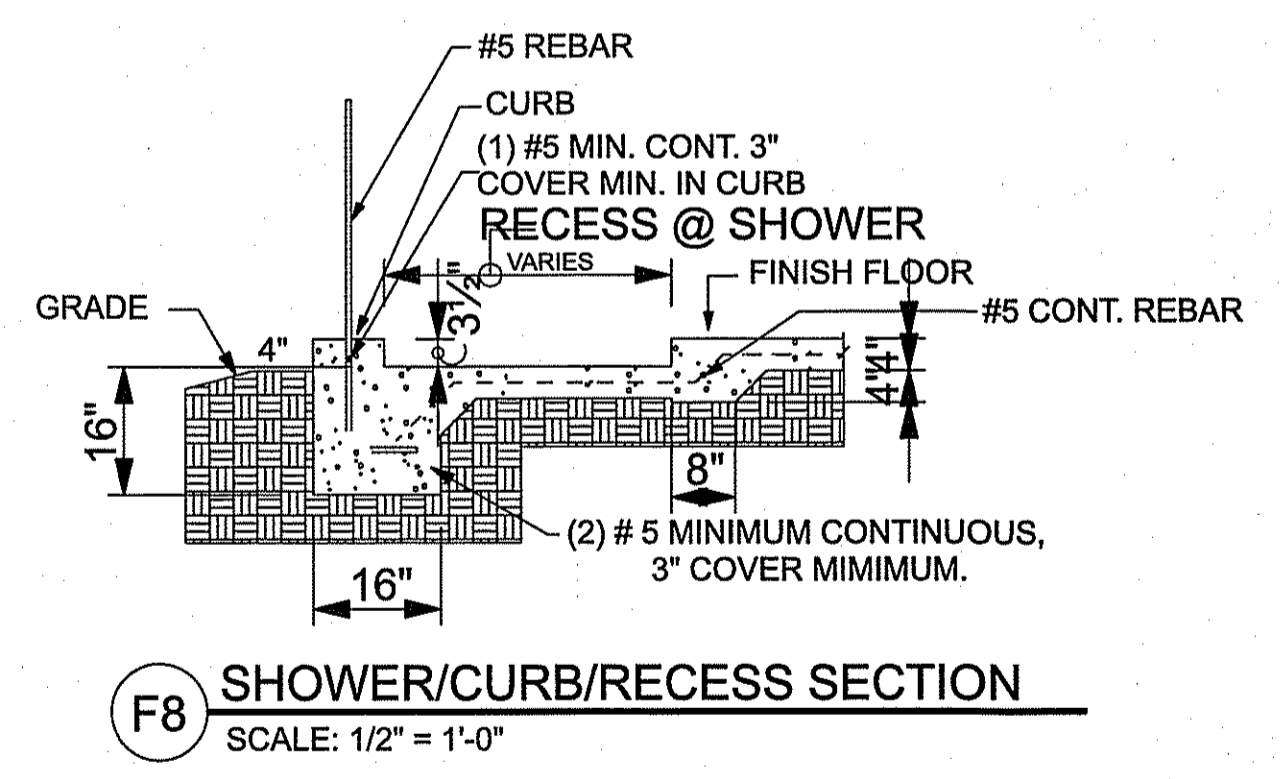
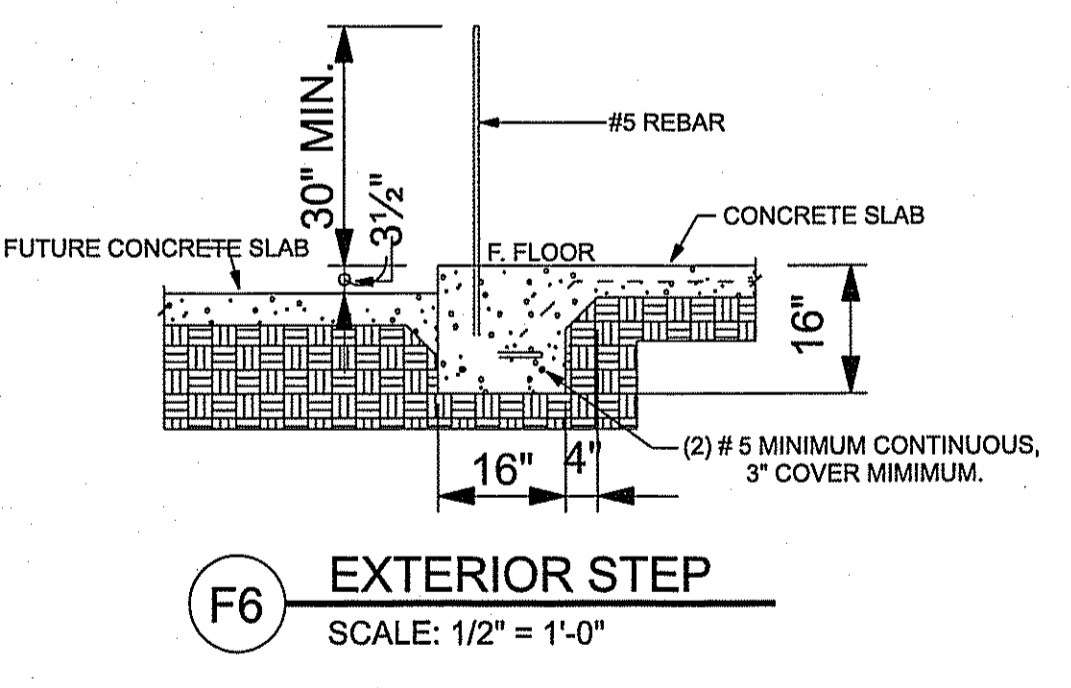
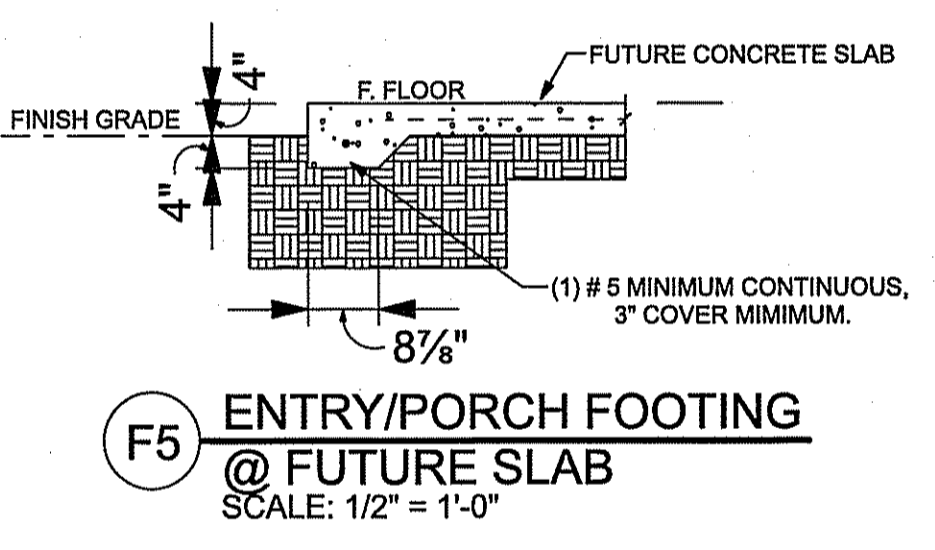
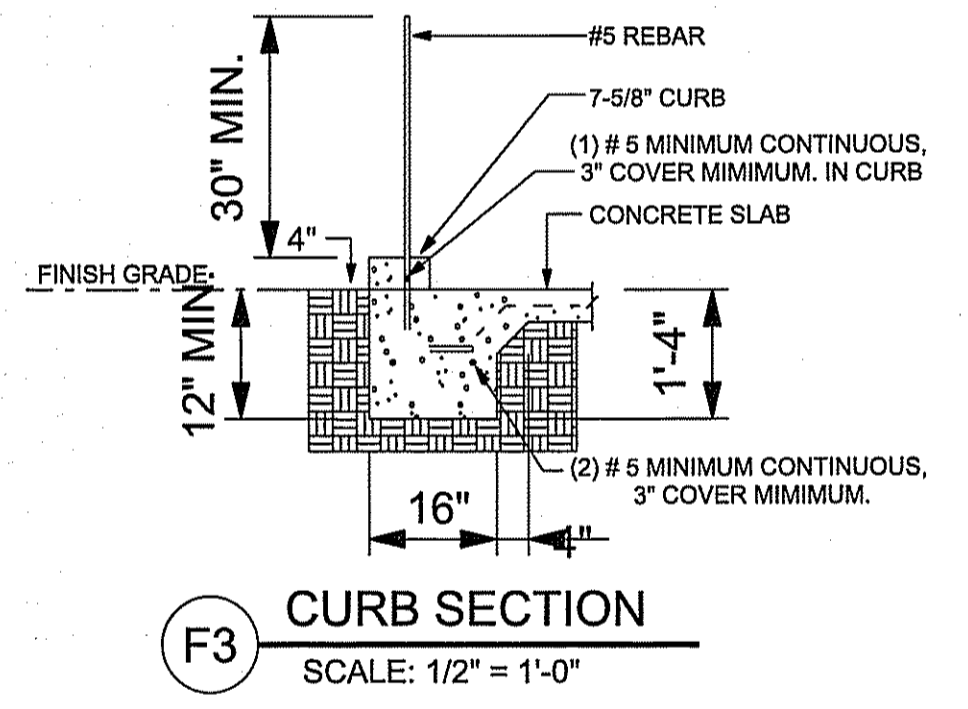
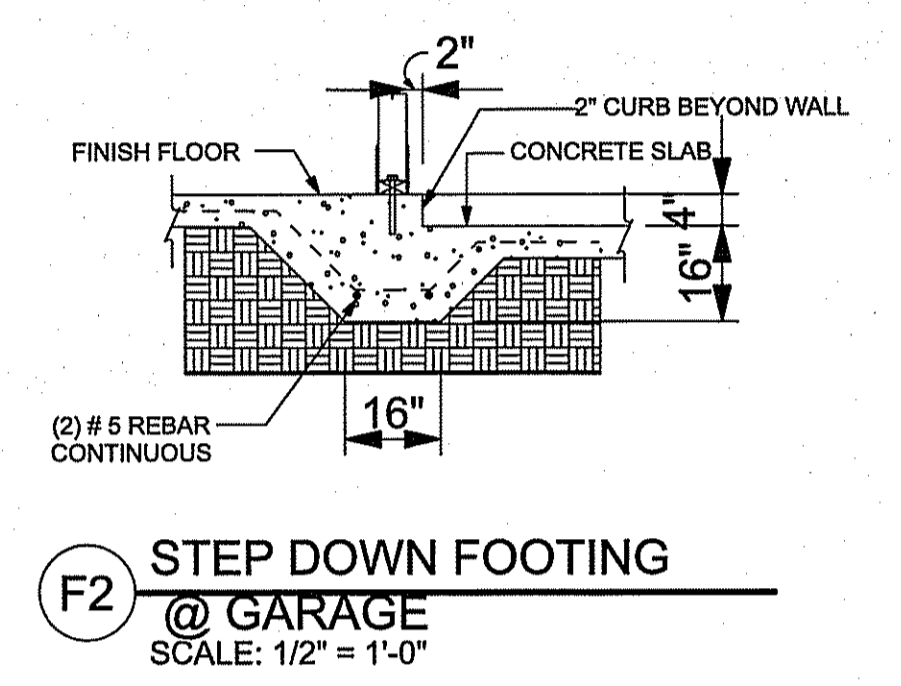
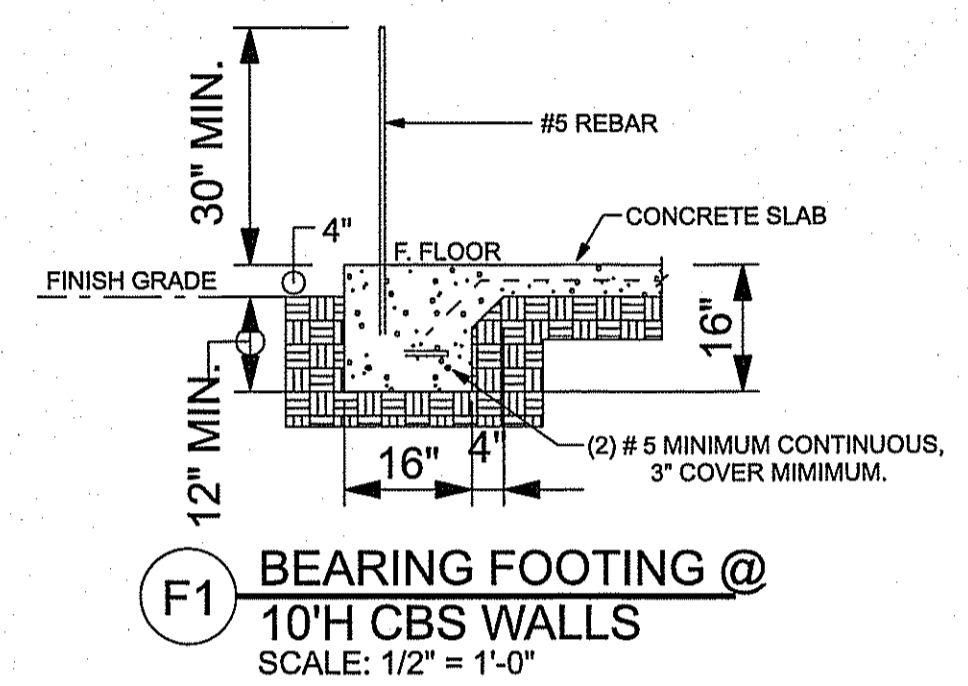
ENGINEER
 PAUL WELCH INC.
 MECHANICAL ELECTRICAL
 CIVIL ENGINEERING
 1884 SW BILTMORE ST., SUITE # 114
 FORT SAINT LUCIE, FL 34954
 PHONE : (772) 795-9888
 EMAIL: PWELCHINC@AOL.COM
 PAUL WELCH P.E.
 FLORIDA REGISTRATION NO. 29949

SHEET NUMBER
A-3 OF
 7



FOUNDATION PLAN
1/4" = 1'

GARAGES FLOOR SURFACE
 1) GARAGE FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL.
 2) THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.



KB CONSTRUCTION SPEC HOME
 S. 12TH ST., FT. PIERCE, FL.
 INDY: T72 - 224 - 6311

ENGINEER
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 FORT SAINT LUCIE, FL 34984
 PHONE : (772) 885-8888
 EMAIL : PAUL@KBCON.COM
 PAUL WELCH P.E.
 FLORIDA REGISTRATION NO. 29945

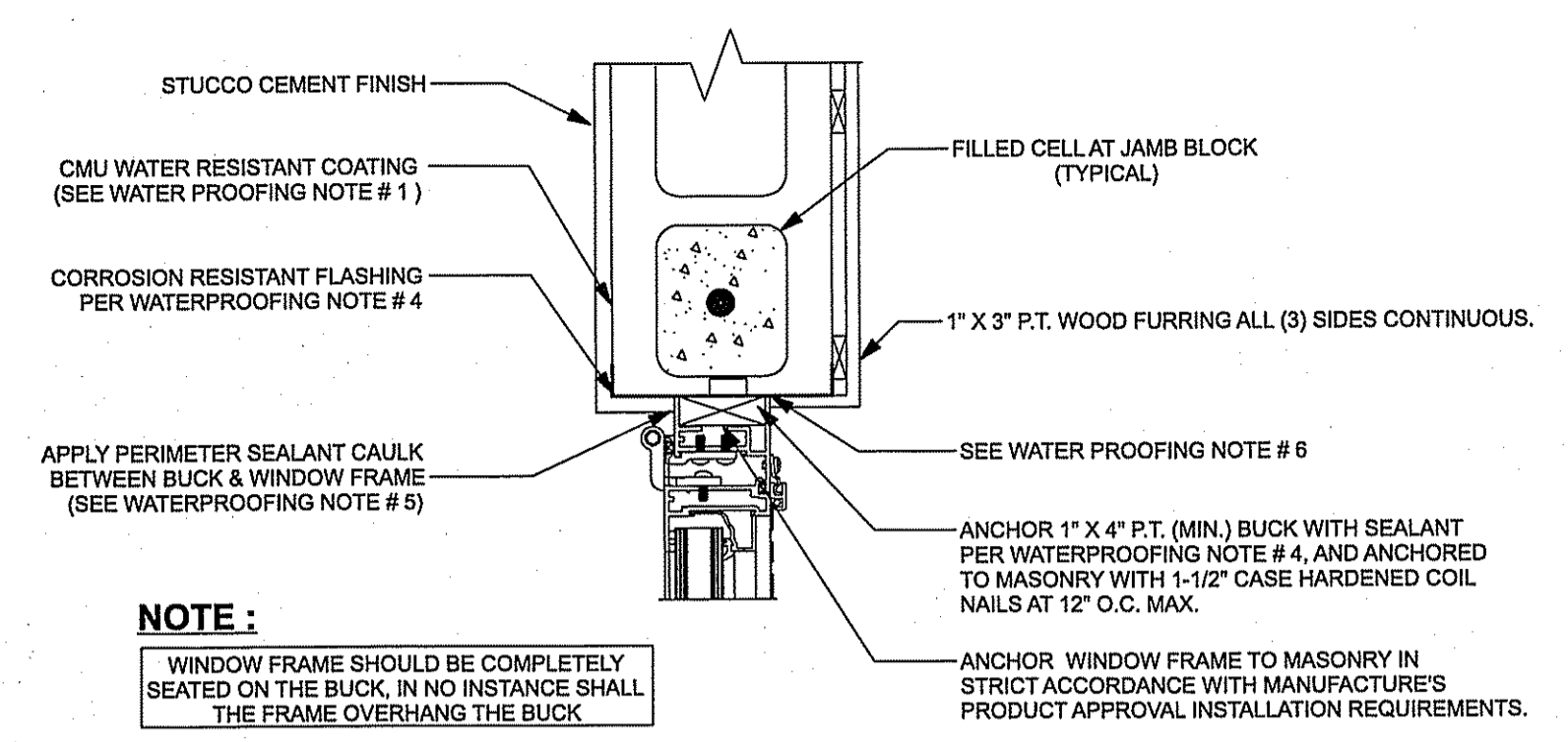
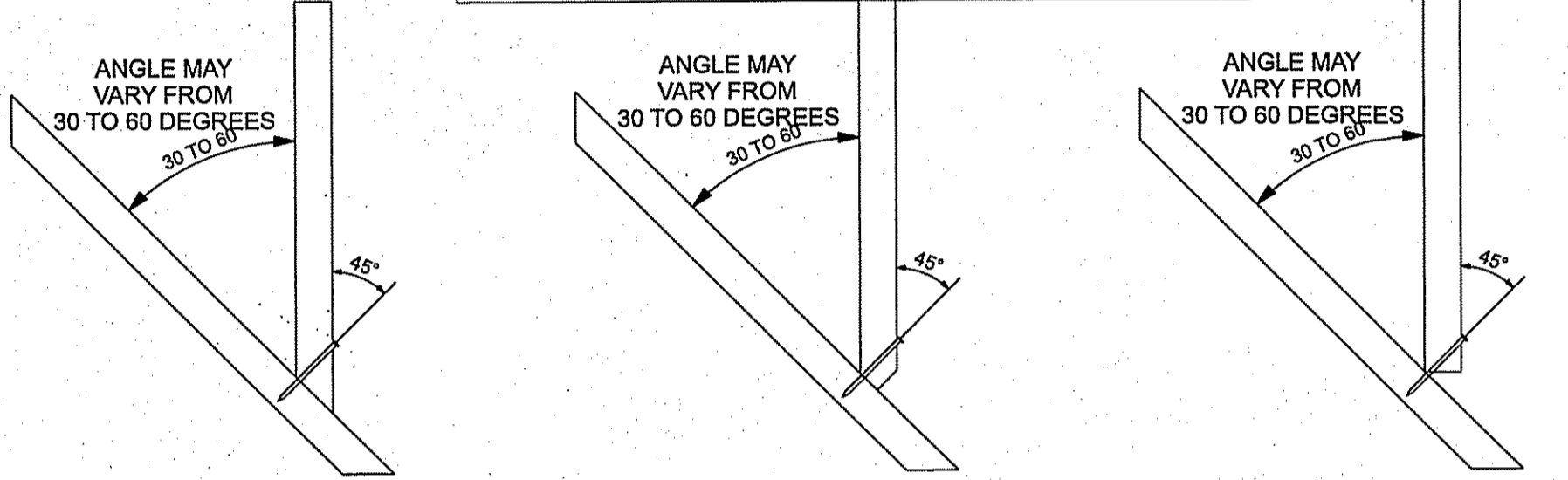
SHEET NUMBER
A-4 OF
7

DIAM.	SP	DF	HF	SPF	SPF-S
.131	88	80.6	69.9	68.4	59.7
.135	93.5	85.6	74.2	72.6	63.4
.162	108.8	99.6	86.4	84.5	73.8
.128	74.2	67.9	58.9	57.6	50.3
.131	75.9	69.5	60.3	59.0	51.1
.148	81.4	74.5	64.6	63.2	52.5

VALUES SHOWN ARE CAPACITY PER TOE-NAIL APPLICABLE DURATION OF LOAD INCREASES MAY BE APPLIED.
EXAMPLE:
 (3) 16d NAILS (.162" DIAM. X 3.5") WITH SPF SPECIES BOTTOM CHORD.
 FOR LOAD DURATION INCREASE OF 1.15:
 3 NAILS X 84.5 (lb/nail) X 1.15 (DOL) = 291.5 lb MAXIMUM CAPACITY

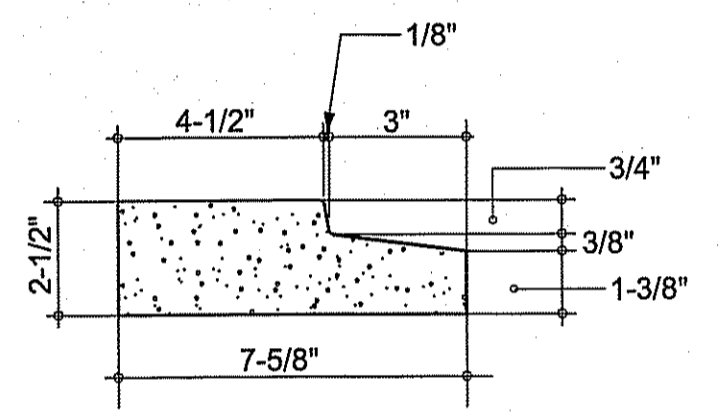
VIEWS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY
 THIS DETAIL APPLICABLE TO THE THREE END DETAILS SHOWN BELOW

- NOTES**
- TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 45 DEGREES WITH THE MEMBER AND MUST HAVE FULL WOOD SUPPORT. (NAIL MUST BE DRIVEN THROUGH AND EXIT THE BACK CORNER OF THE MEMBER END AS SHOWN)
 - THE END DISTANCE, EDGE DISTANCE, AND SPACING OF NAILS SHALL BE SUCH AS TO AVOID UNUSUAL SPLITTING OF THE WOOD.
 - ALLOWABLE VALUE SHALL BE THE LESSER VALUE OF THE TWO SPECIES FOR MEMBERS OF DIFFERENT SPECIES.

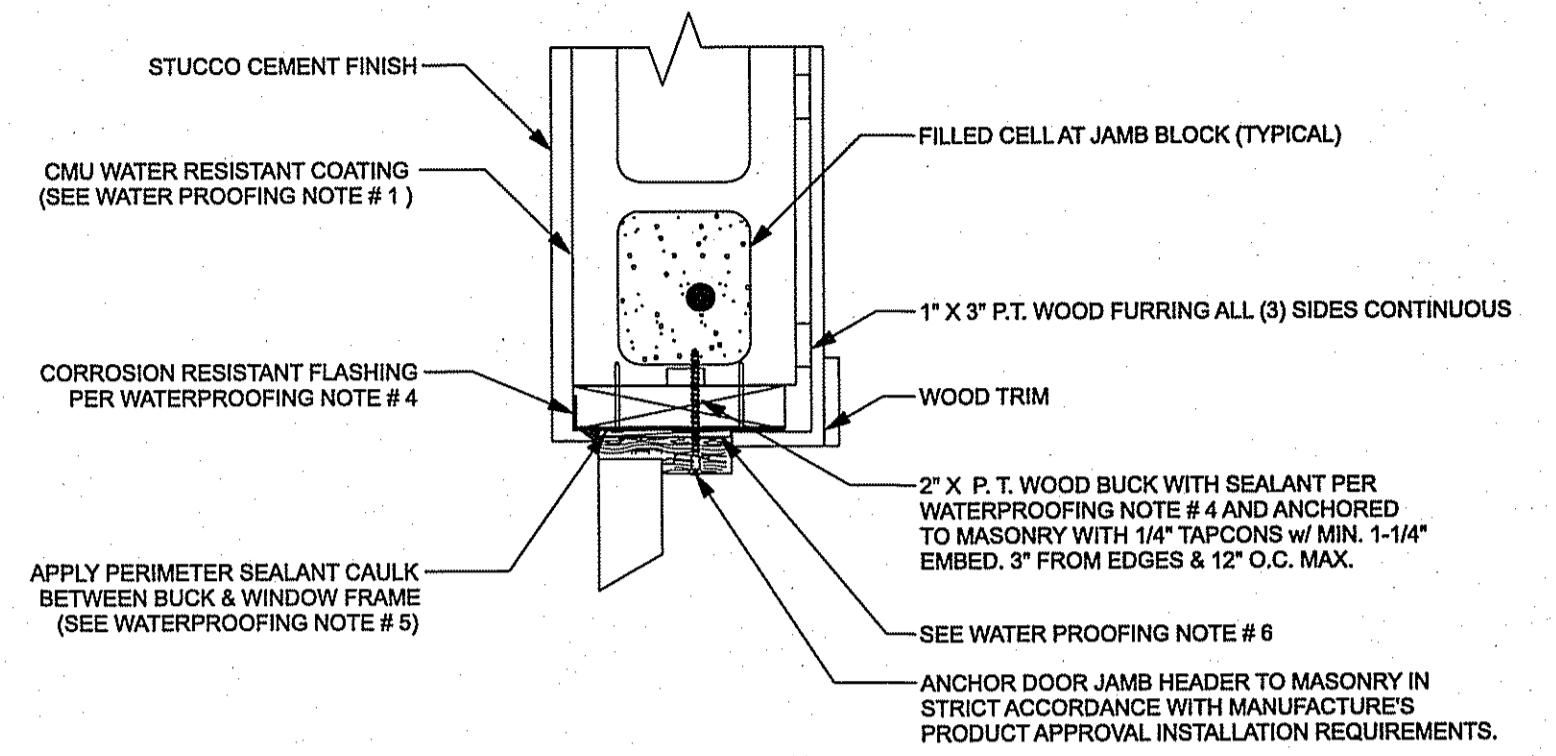


NOTE:
 WINDOW FRAME SHOULD BE COMPLETELY SEATED ON THE BUCK, IN NO INSTANCE SHALL THE FRAME OVERHANG THE BUCK.
 WINDOW HEADER AND JAMBS TYPICAL BUCK DETAIL
 NO SCALE

NOTE:
 TAPCONS TO BE INSTALLED THRU BUCK INTO MASONRY w/ MIN. 1-1/4" EMBEDMENT PER PRODUCT APPROVAL PER FBC 1715.5.4.3
 BUCKS MUST COVER ENTIRE DEPTH OF JAMBS.



PRECAST CONCRETE WINDOW SILL DETAIL
 NO SCALE



EXTERIOR DOOR BUCK DETAIL
 NO SCALE

NOTE:
 TAPCONS TO BE INSTALLED THRU BUCK INTO MASONRY w/ MIN. 1-1/4" EMBEDMENT PER PRODUCT APPROVAL PER FBC 1715.5.4.3.
 BUCKS MUST COVER ENTIRE DEPTH OF JAMBS.

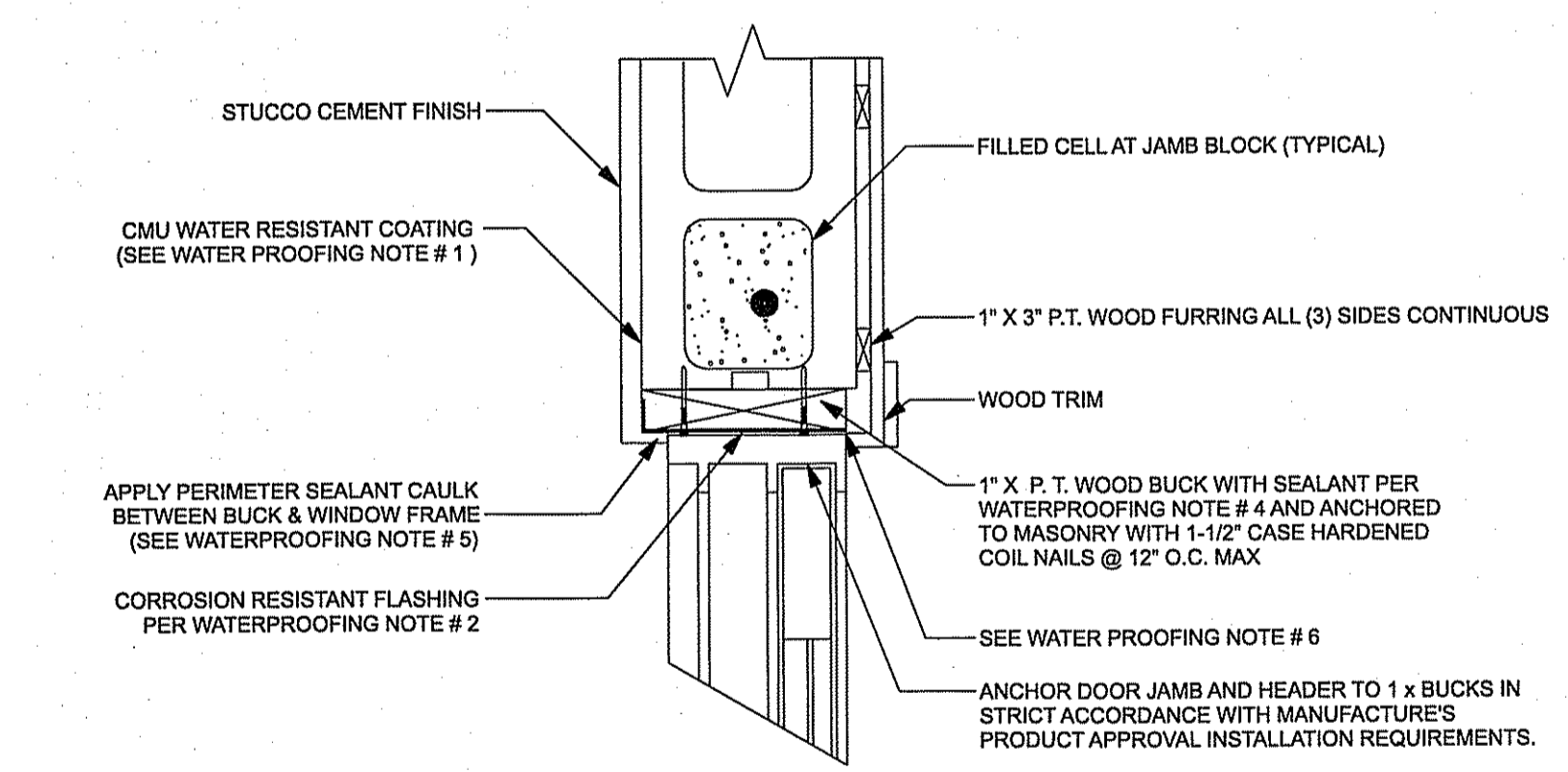
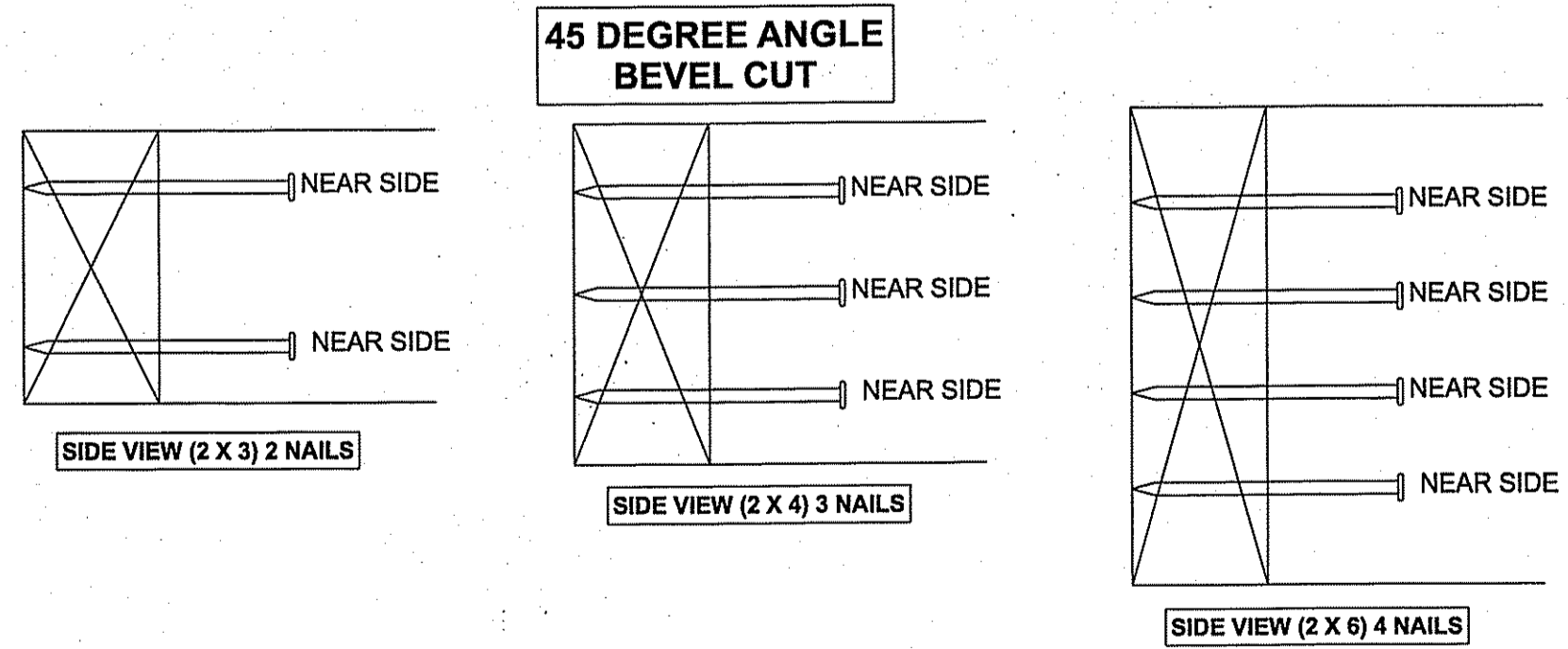
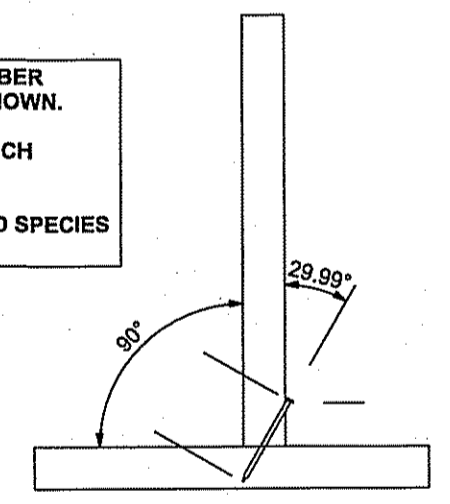
NOTE:
 BUCK 2" X 6" P.T. RIPPED DOWN TO 2 X 4-1/8" P.T. w/ 3/16" TAPCONS 1-1/4" MIN. EMB. 4/12" O.C. w/ #10 SCREWS, PER PRODUCT APPROVAL.

DIAM.	SP	DF	HF	SPF	SPF-S
.131	88.1	80.6	69.9	68.4	59.7
.135	93.5	85.6	74.2	72.6	63.4
.162	118.3	108.3	93.9	91.9	80.2
.128	84.1	76.9	66.7	65.3	57.0
.131	86.1	80.6	69.9	68.4	59.7
.148	106.6	97.6	84.7	82.8	72.3
.120	73.9	67.6	58.7	57.4	50.1
.128	84.1	76.9	66.7	65.3	57.0
.131	88.1	80.6	69.9	68.4	59.7
.148	106.6	97.6	84.7	82.8	72.3

VALUES SHOWN ARE CAPACITY PER TOE-NAIL APPLICABLE DURATION OF LOAD INCREASES MAY BE APPLIED.
EXAMPLE:
 (3) 16d NAILS (.162" DIAM. X 3.5") WITH SPF SPECIES BOTTOM CHORD.
 FOR LOAD DURATION INCREASE OF 1.15:
 3 NAILS X 91.9 (lb/nail) X 1.15 (DOL) = 317.0 lb MAXIMUM CAPACITY

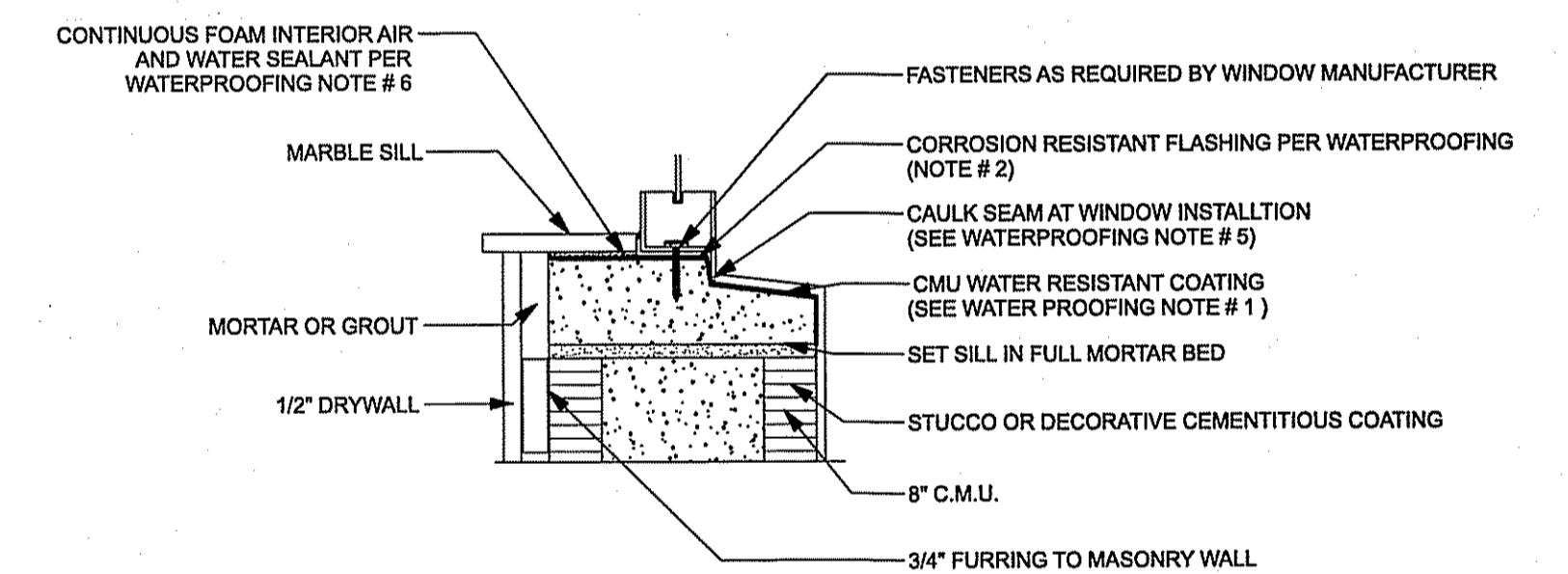
SQUARE CUT
 VIEWS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY

- NOTES**
- TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END AS SHOWN.
 - THE END DISTANCE, EDGE DISTANCE, AND SPACING OF NAILS SHALL BE SUCH AS TO AVOID UNUSUAL SPLITTING OF THE WOOD.
 - ALLOWABLE VALUE SHALL BE THE LESSER VALUE OF THE BOTTOM CHORD SPECIES FOR MEMBERS OF DIFFERENT SPECIES.



SLIDING GLASS DOOR BUCK DETAIL
 NO SCALE

NOTE:
 WINDOW AND DOOR FENESTRATIONS IN ACCORDANCE WITH FBC R703.4 (1.2) AS PER DETAILS PROVIDED



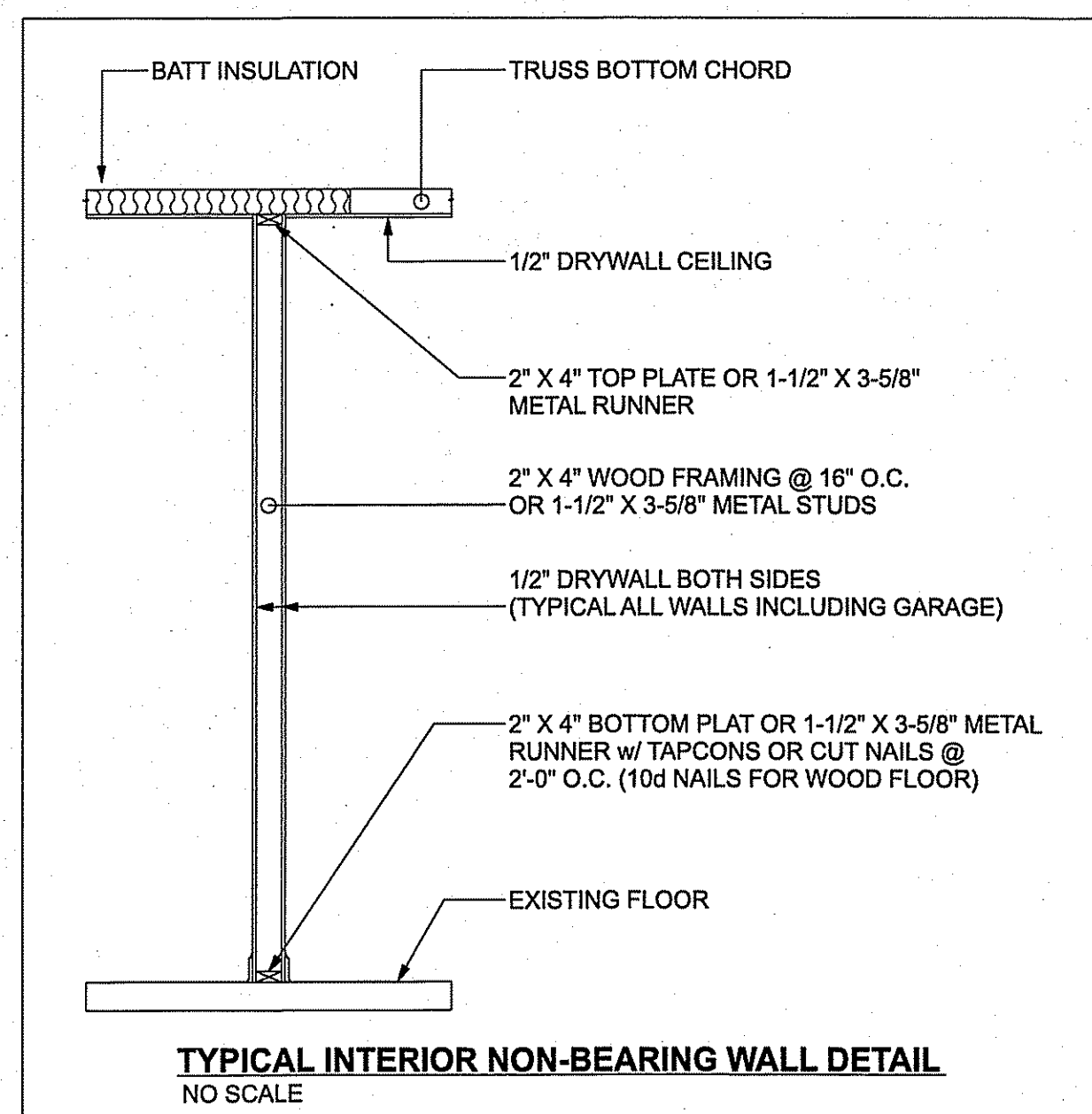
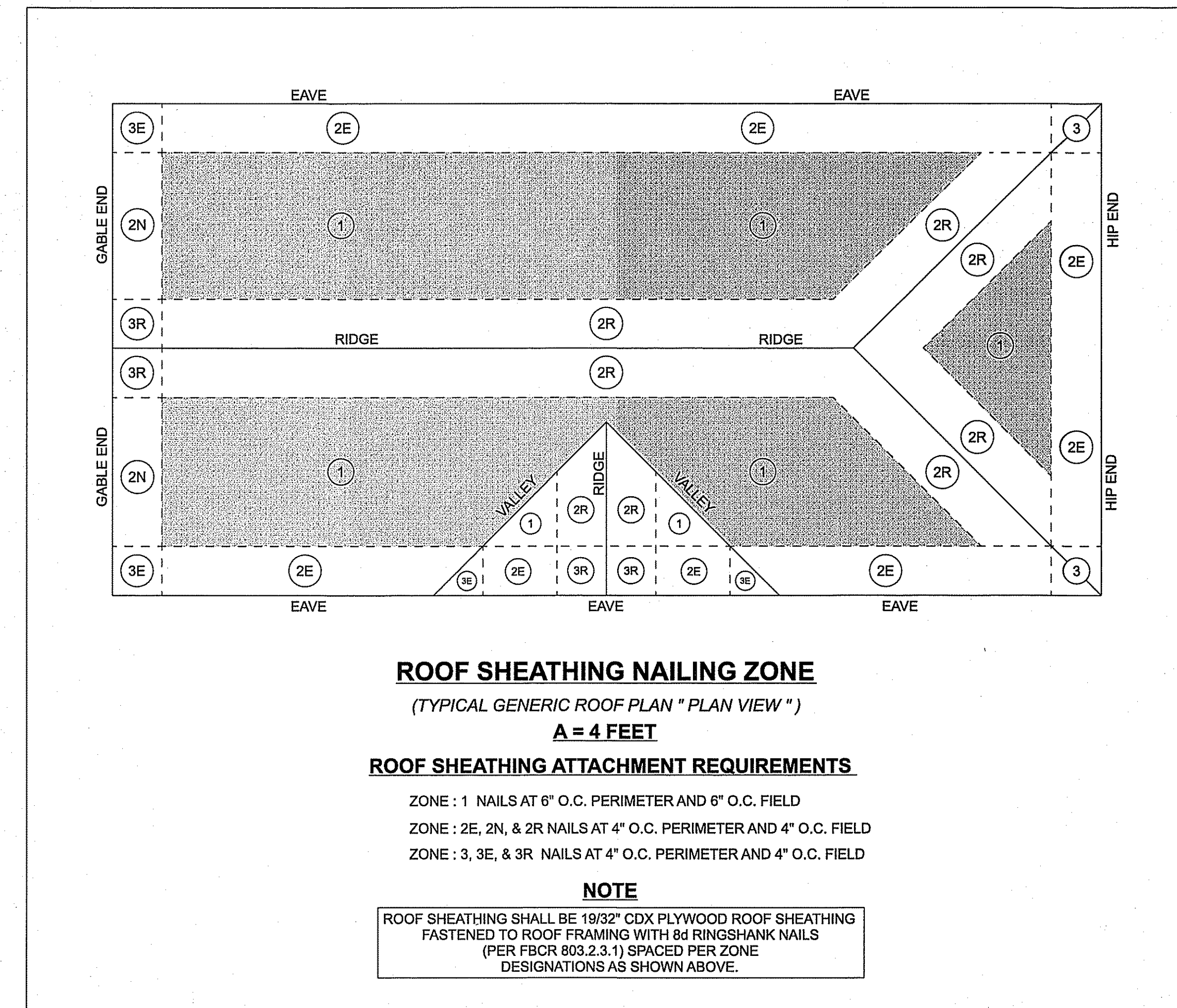
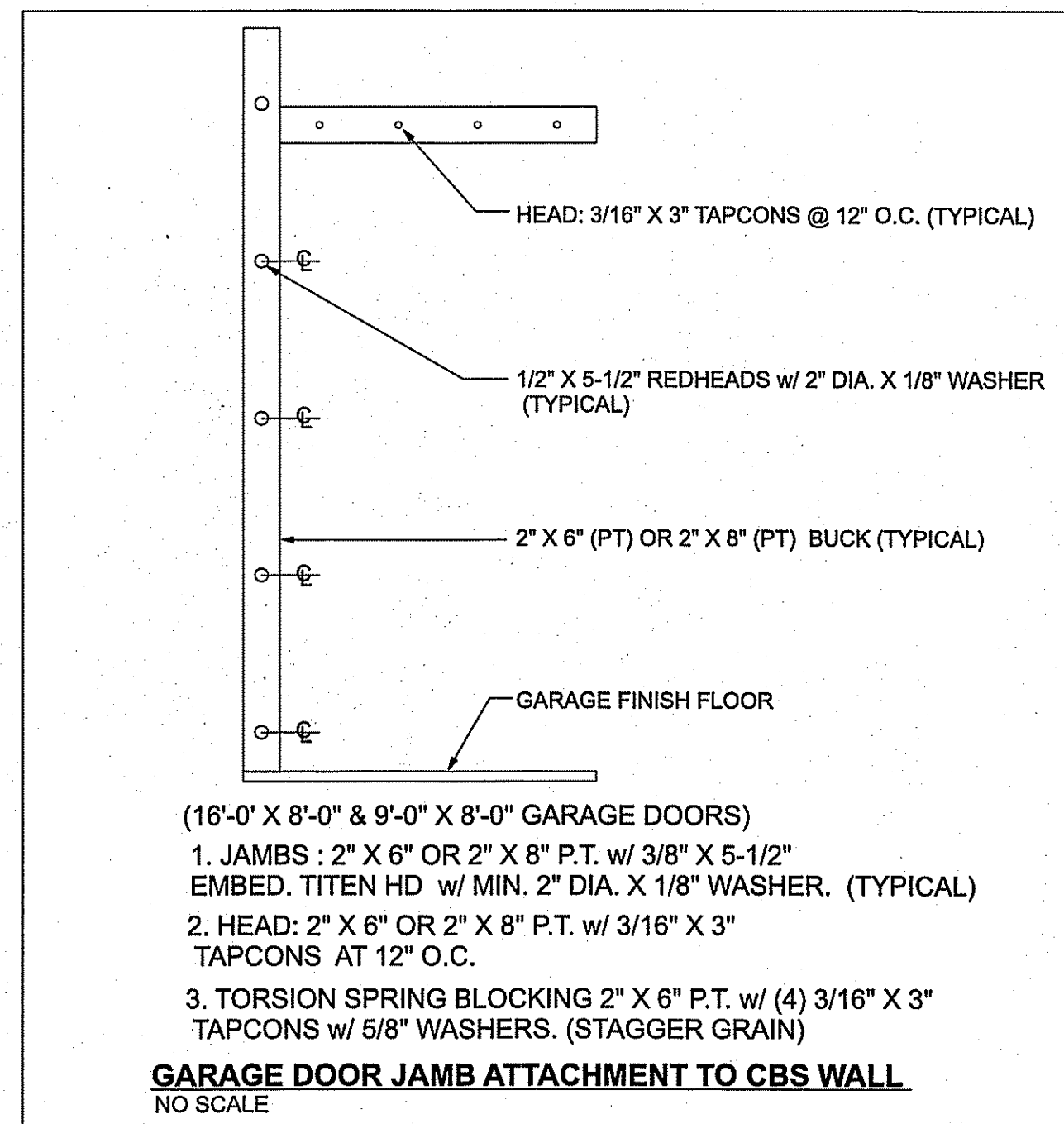
WATERPROOFING NOTES :

- PRIOR TO BUCK INSTALLATION TREAT THE MASONRY OPENING WITH A CMU WATER RESISTANT COATING TO SEAL THE WINDOW / DOOR CAVITY TO PREVENT IT FROM ABSORBING WATER. THE CMU WATER RESISTANT COATING SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE APPLICATION OF THE CMU WATER RESISTANT COATING SHALL INCLUDE THE ENTIRE SURROUND OF THE OPENING (SILLS, JAMBS, HEAD) AND RETURN WALLS OF THE OPENING 8" MINIMUM EACH DIRECTION. ALL CMU WATER RESISTANT COATINGS SHALL BE INSTALLED PRIOR TO BUCK INSTALLATIONS. FBC R703.4 AAAMA-714
- INSTALL BUCKS SO THAT THERE ARE NO EDGE GAPS EXCEEDING 1/8" BETWEEN BUCK AND MASONRY.
- PRIOR TO BUCK INSTALLATION APPLY 3/8" NOMINAL DIAMETER BEAD OF SEALANT BETWEEN THE BUCK AND THE MASONRY TO PREVENT THE PASSAGE OF LIQUID BEHIND THE BUCK. COMPLETELY SEAL THE ENTIRE END OF THE WOOD BUCKS WITH SEALANT TO RESTRICT THE PASSAGE OF LIQUID THROUGH THE CUT ENDS AND THE ENTIRE EXTERIOR FACE AND RETURN SURFACE OF THE BUCK SHALL BE COATED WITH A LIQUID APPLIED WATER RESISTIVE COATING / SEALANT.
- PROVIDE PAN FLASHING AT THE SILL OF WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN A MANNER TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WATER RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. INCORPORATE PAN FLASHING AT HEAD AND SILLS AS WELL. PAN FLASHING SHALL BE CORROSION RESISTANT. (OPTIONAL, NOT REQUIRED)
- PROVIDE CONTINUOUS 3/8" BEAD OF SEALANT ON WINDOW / DOOR FRAMES AT ALL PERIMETER ON FRONT AND BACK SURFACE PRIOR TO WINDOW / DOOR INSTALLATION.
- AFTER WINDOW / DOOR INSTALLATION PROVIDE FOAM SEALANT BETWEEN THE BUCK (OR PRECAST SILL) AND THE WINDOW / DOOR TO ENSURE A WATER RESISTANT INTERIOR AIR SEAL AROUND THE ENTIRE PERIMETER.

ENGINEER
 PAUL WELCH INC.
 MECHANICAL ELECTRICAL
 CIVIL ENGINEERING
 1884 6th BILTMORE ST., SUITE # 114
 PORT SAINT LUCIE, FL 34984
 PHONE: (772) 399-9999
 EMAIL: PWELCH@AOL.COM
 PAUL WELCH P.E.
 FLORIDA REGISTRATION NO. 29945

KB CONSTRUCTION SPEC HOME
 6. 12TH ST., FT. PIERCE, FL.
 INDY: 112 - 224 - 6311

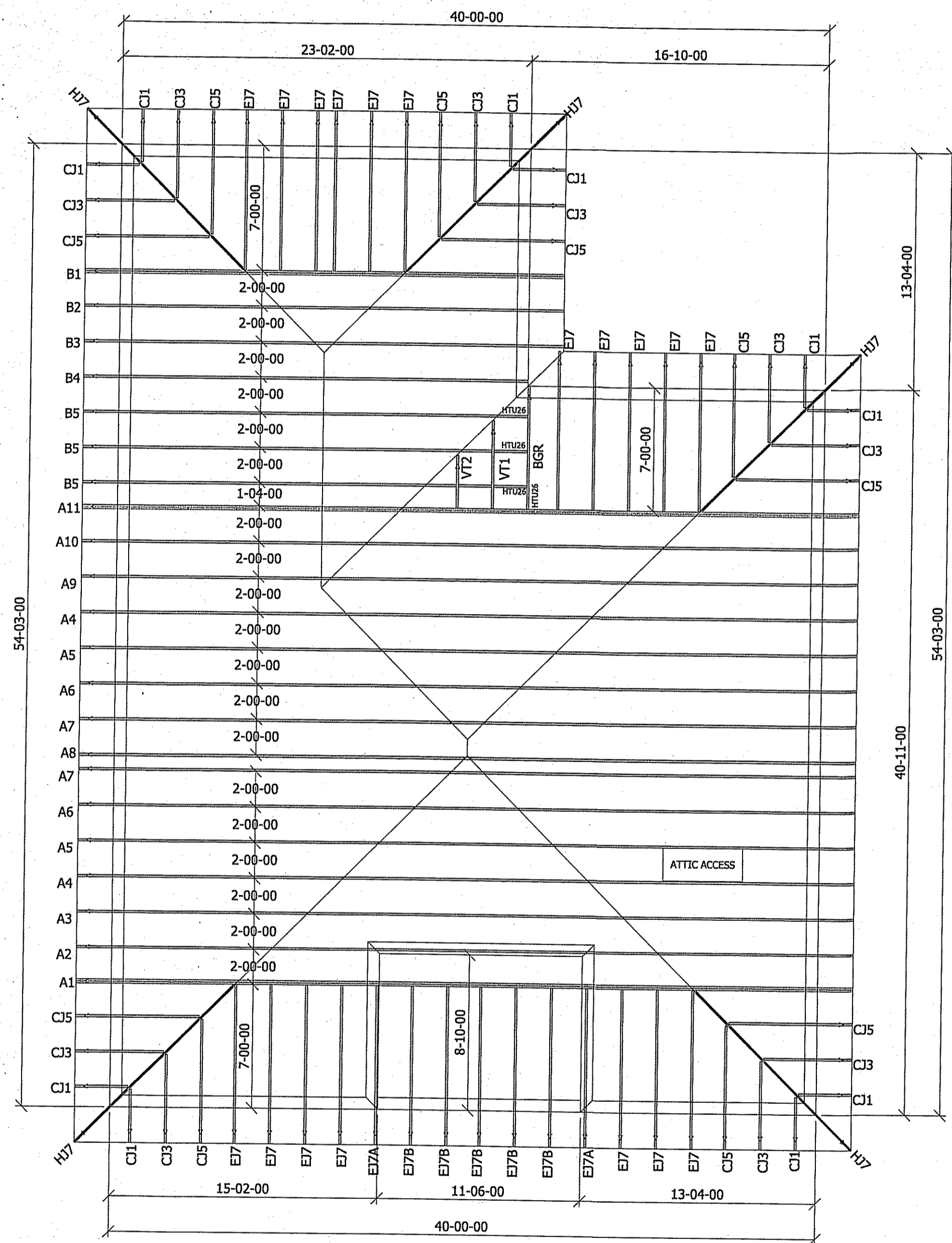
SHEET NUMBER
 A-5 OF
 7



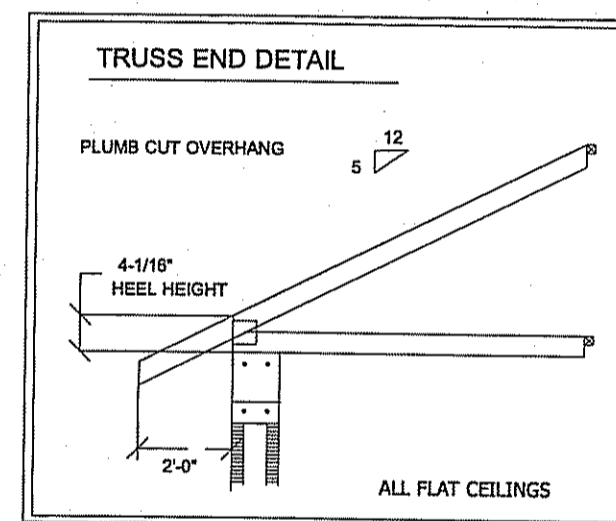
KB CONSTRUCTION SPEC HOME
 6, 12TH ST., FT. PIERCE, FL.
 INDY: TT2 - 224 - 6371

ENGINEER
 PAUL WELCH INC.
 MECHANICAL ELECTRICAL
 CIVIL ENGINEERING
 1984 SW BILTHORE ST., SUITE # 114
 FORT SAINT LUCIE, FL 34984
 PHONE : (772) 885-8888
 EMAIL: PWELCHING@AOL.COM
 PAUL WELCH P.E.
 FLORIDA REGISTRATION NO. 29345

SHEET NUMBER
A-6 OF
 7



Hatch Legend
 8'-00" PT-HT.



Builders FirstSource
 1602 INDUSTRIAL PARK DR
 PLANT CITY FL
 Phone: (813) 759-5922
 Fax: (813) 752-1532
 http://www.bids.com

General Notes:
 - Per ANSI/TPI 1-2007 all "Truss to Wall" connections are the responsibility of the Building Designer, not the Truss Manufacturer.
 - Dimensions are Feet-Inches-Sixteenths.
 - Trusses are to be 24" o.c. unless noted otherwise (U.N.O.)
 - Trusses are not designed to support brick U.N.O.
 - Do not cut or modify trusses without first contacting Builders FirstSource.
 - Immediately contact Builders FirstSource if trusses are damaged.
Connection Notes:
 - All hangers are to be Simpson or equivalent U.N.O.
 - Use Manufacturer's specifications for all hanger connections U.N.O.
 - Use 10d x 1 1/2" Nails in hanger connections to single ply roof gilder trusses.
Floor Truss Notes:
 - Shift truss as required to avoid plumbing traps.
 - Installation Contractor and/or Field Supervisor are to verify all dimensions, trap locations, and options prior to installation.
Dimension Notes:
 - Drawing not to scale. Do not scale dimensions

INDY BAKSH
BAKSH RES
 Lot-727-11

Designed By: LR
 Layout: 3319081_LAY
 Date: 12/02/22
 Revision History:
 Rev1: [???]
 Rev2: [???]
 Rev3: [???]

Comments: ""

SCALE: 1/8" = 1' - 0"

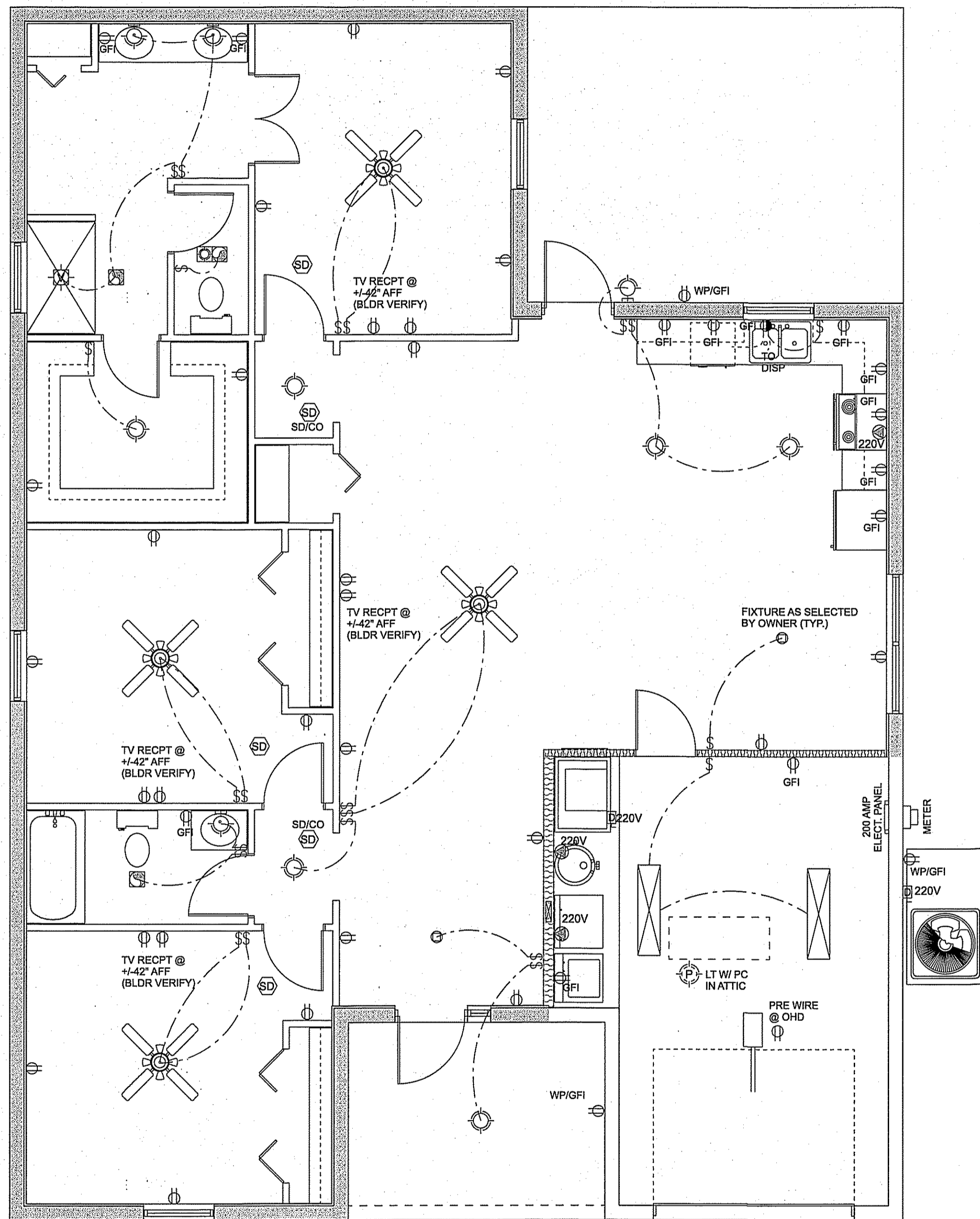
SHEET
 1 of 1

TRUSS CONNECTOR SCHEDULE						
TRUSS ID	BEARING POINT	TRUSS ACTUAL UPLIFT	CONNECTOR ID	CONNECTOR UPLIFT DESIGN	FASTENERS	NOTES
A1	EACH	1706	(1)-HETA 20	1810	(8)-16d	
A11	EACH	2188	(2)-HETA 20	2500	(12)-16d	
B1	EACH	1173	(1)-HETA 20	1810	(8)-16d	
JACKS	1ST	<500	HETA 20	1810	(9)-10d x 1 1/2"	VERIFY
VALLEYS & PIGGY BACKS	CONT.	100 # PLF	()-MIS 16	1000	(14)-10d x 1 1/2"	①
↑ 1 STRAP AT EACH END AND AT 24" O.C.						
ALL OTHERS AT CBS BEARING LESS THAN 1800#	EACH	<1800#	(1)-HETA 20	1810	(9)-10d x 1 1/2"	AT CBS BEARING
ALL OTHERS AT FRAME BEARING LESS THAN 1000#	EACH	<1000#	(1)-MIS 16	1000	(14)-10d x 1 1/2"	AT FRAME BEARING
TRUSS COMPANY	BUILDERS 1ST SOURCE	LAYOUT DATE	12/2/2022	CUT-SHEET DATE	12/2/2022	
NOTE: ALL STRAPPING TO BE SIMPSON STRONG-TIE AS SPECIFIED.						
NOTES:						
① VALLEY TRUSSES MAY BE ATTACHED WITH SIMPSON VTRC W/ (4)-#9 SD X 2 1/2" TO SUPPORTING TRUSS AND (3)-#9 SD X 1 1/2" TO VALLEY TRUSS IN LIEU OF MIS16 AS STATED. VTRC SHALL BE INSTALLED AT EACH END AND 24" O.C. MAX.						
TRUSS NOTES:						
1) ALL ROOF TRUSSES TO BE DESIGNED BY TRUSS COMPANY'S ENGINEER.						
2) CONTRACTOR TO PROVIDE PAUL WELCH INC. AND BUILDING DEPARTMENT WITH ENGINEERED TRUSS DRAWINGS BEFORE INSTALLING TRUSSES.						
3) CONTRACTOR TO VERIFY ALL EXISTING ROOF CONDITIONS, AND DIMENSIONS BEFORE ORDERING, AND INSTALLING TRUSSES.						
4) TRUSS TO TRUSS CONNECTIONS TO BE PROVIDED BY TRUSS COMPANY.						
5) SEE TRUSS CONNECTOR SCH. FOR TRUSS TO WALL CONNECTIONS.						

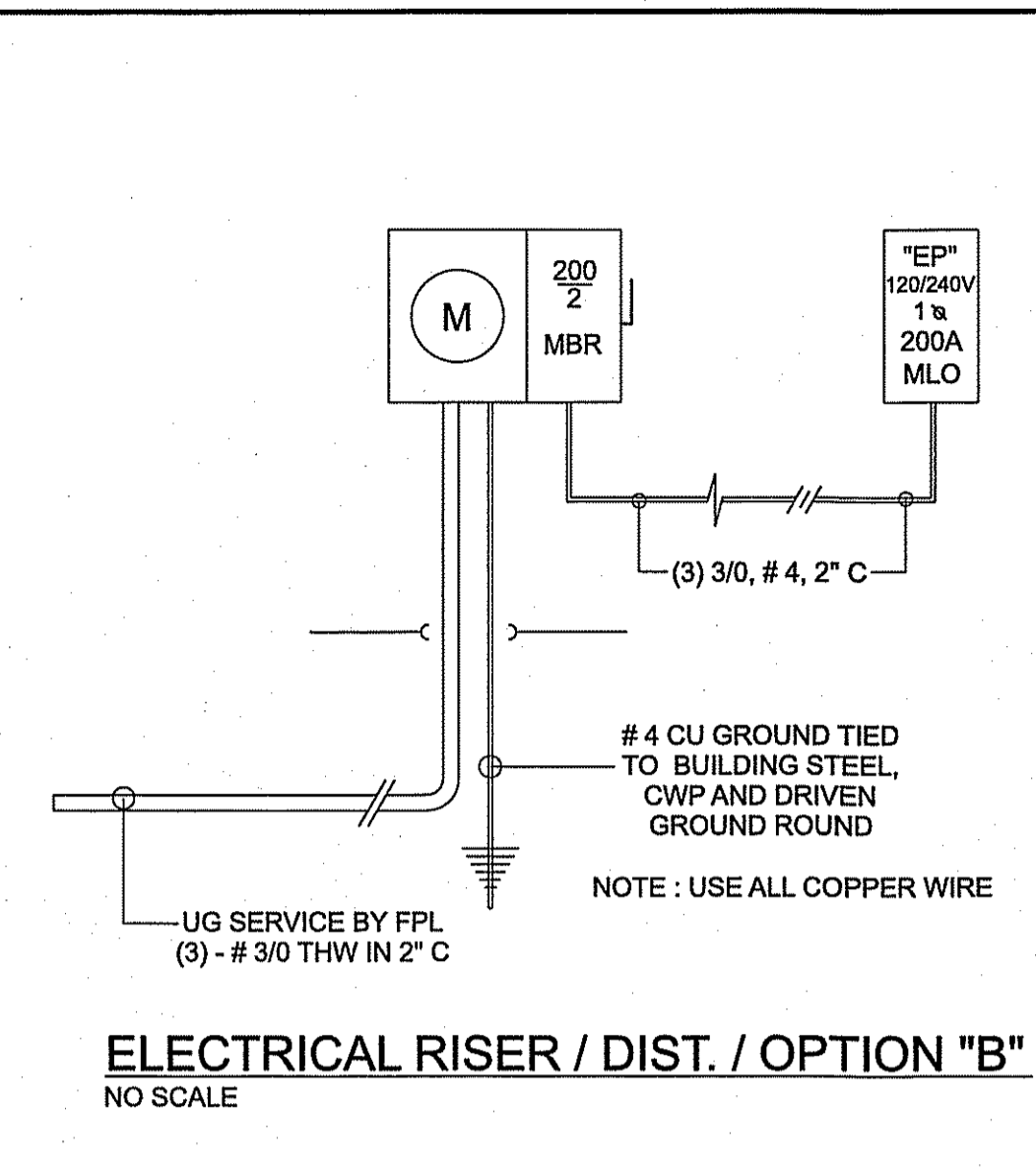
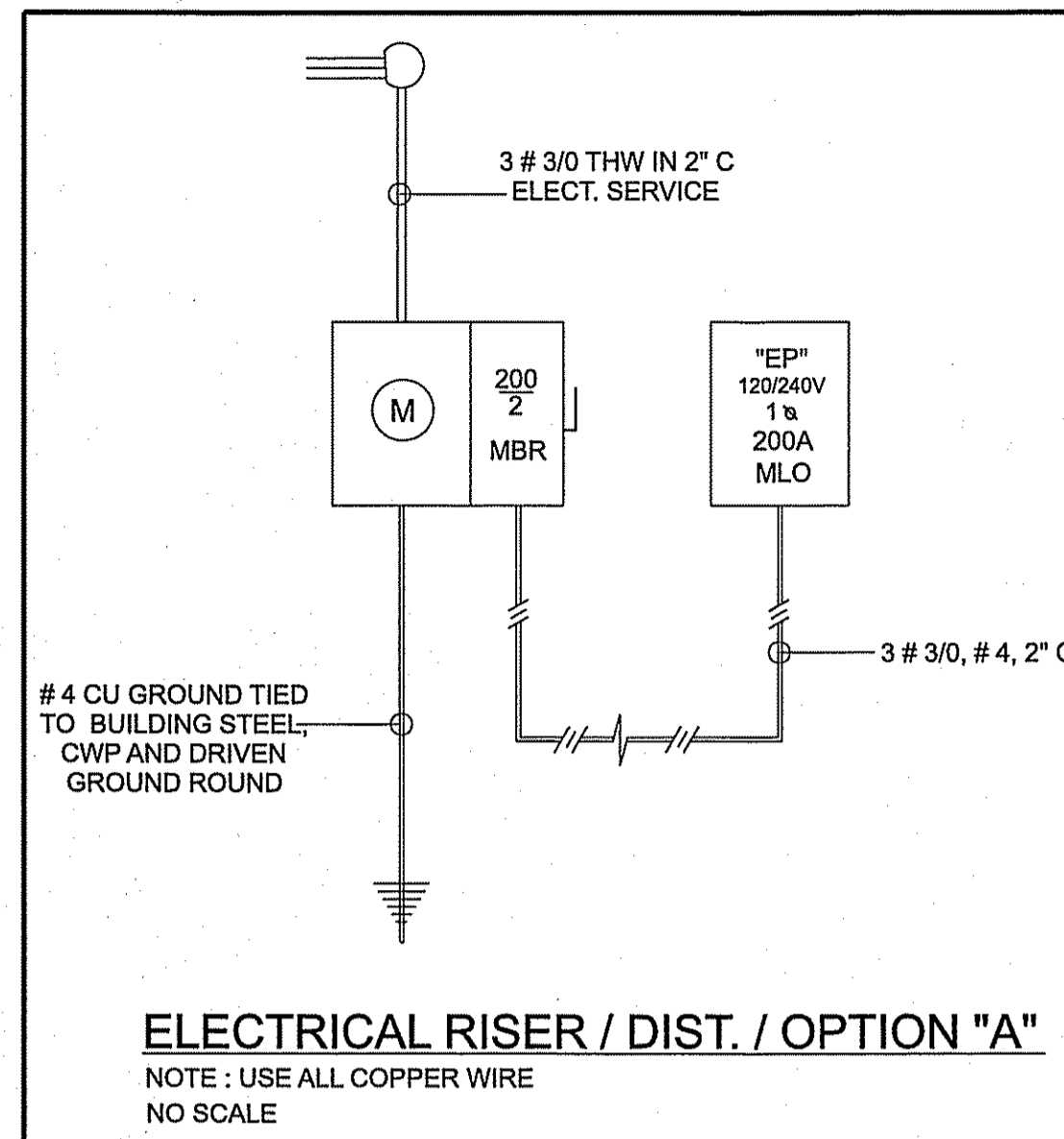
KB CONSTRUCTION SPEC HOME
 6, 12TH ST., FT. PIERCE, FL.
 INDY: T12 - 224 - 6311

ENGINEER
PAUL WELCH INC.
 MECHANICAL ELECTRICAL
 CIVIL ENGINEERING
 1984 GUNNERSHIRE ST., SUITE # 114
 FORT SAINT LUCIE, FL 34984
 PHONE: (888) 855-8888
 EMAIL: PWELCHING@AOL.COM
 PAUL WELCH P.E.
 FLORIDA REGISTRATION NO. 29345

SHEET NUMBER
A-7 OF
7



ELECTRIC PLAN
1/4" = 1'



ELECTRICAL LOAD CALC'S PER NEC 220

1542 S.F. @ 3 VA	4626 VA
TWO 20A APPLIANCE CKTS	3000
LAUNDRY	1500
DRYER	5000
RANGE	12000
WH	4500
DW	1200
WP TUB	1200
REFRIG	1200
MISC	5000
TOTAL	39226 VA
FIRST 10 KW @ 100%	10000
REMAINDER @ 40%	11690.4
TOTAL	21690.4
A/C HEAT @ 100%	10000
TOTAL	31690.4 VA
31690.4 / 240	= 132.0433 AMPS

USE 200 AMP SERVICE

ELECTRICAL SYMBOL LEGEND

SWITCH	⊞	THERMOSTAT	⊕	GFI OUTLET	⊕
3-WAY SWITCH	⊞⊞	SD/CO DETECTOR	⊞	FLUORESCENT LIGHT	⊕
4-WAY SWITCH	⊞⊞⊞	EXHAUST FAN	⊞	GARAGE DOOR OPENER	⊕
DIMMER SWITCH	⊞⊞⊞⊞	DOOR CHIMES	⊞	CEILING FAN	⊕
PUSH BUTTON	⊞⊞	ALARM PAD	⊞	CEILING FAN W/LIGHT	⊕
WP-GFI OUTLET	⊕	SERVICE PANEL	⊞	PENDANT PREWIRE	⊕
110V OUTLET	⊕	SERVICE METER	⊞	SCONCE PREWIRE	⊕
220V OUTLET	⊕	LIGHT FIXTURE	⊕		
4-PLEX OUTLET	⊕	WALL MOUNTED LIGHT FIXTURE	⊕		
SWITCHED OUTLET	⊕	LIGHT FIXTURE W/PULL SWITCH	⊕		
SPECIAL PURPOSE	⊕	RECESSED LIGHT	⊕		
JUNCTION BOX	⊕	VAPOR PROOF RECESSED LIGHT	⊕		
A/C DISCONNECT	⊕	FLOOD LIGHT	⊕		
PHONE OUTLET	⊕	E. FAN LIGHT	⊕		
TV OUTLET	⊕				
FLOOR OUTLET	⊕				

NOTE TO BUILDER:
ALL BEDROOM OUTLETS MUST BE ARC FAULT PROTECTION OUTLETS PER NEC 210-12(b)
SMOKE DETECTORS SHALL BE WIRED TO COMPLY WITH NFPA 72

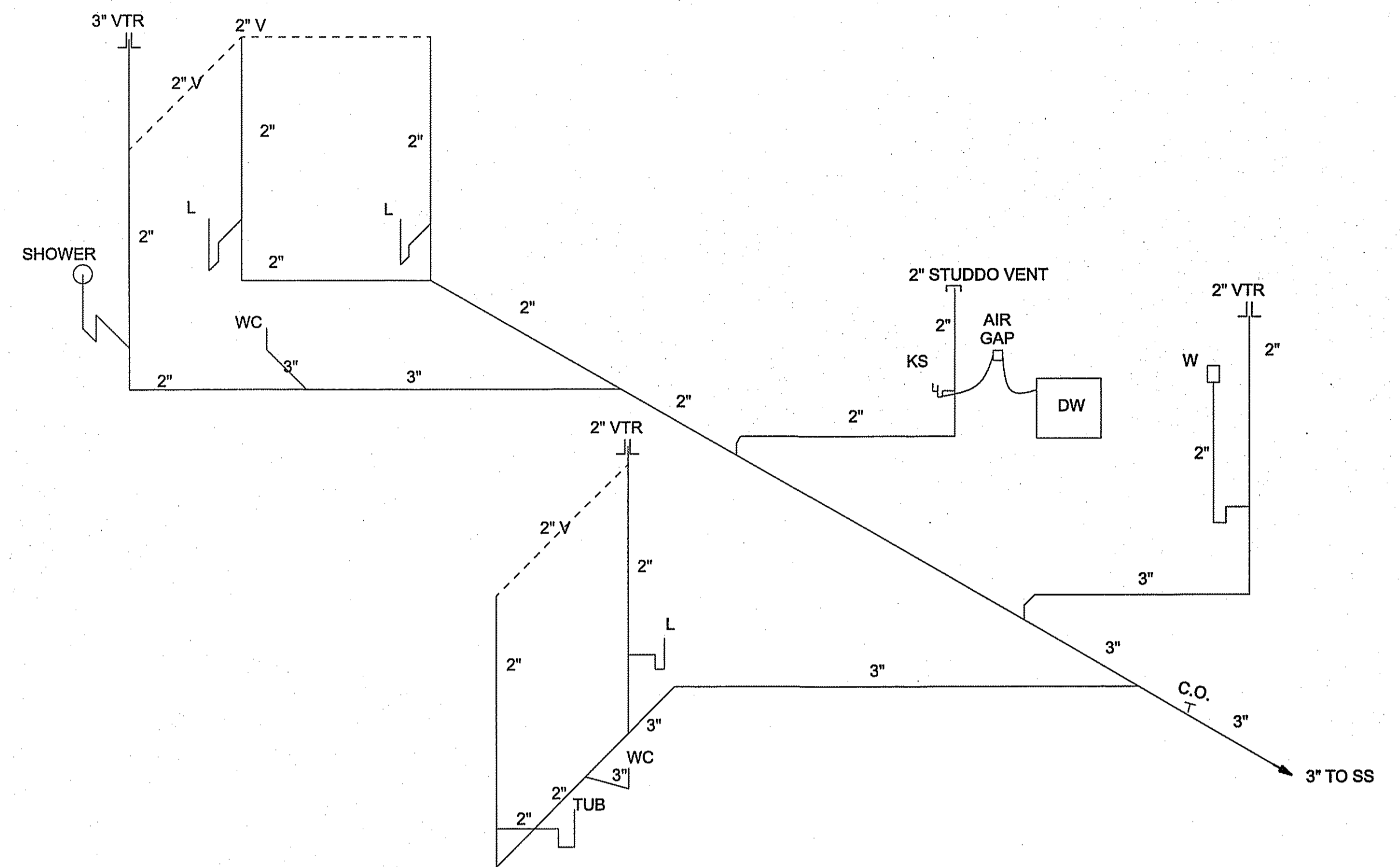
ELECTRICAL NOTES

- 1) ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NEC (NFPA 70) 2017 EDITION.
- 2) A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFACY LAMPS OR A MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFACY LAMPS. (LOW VOLTAGE LIGHTING SHALL NOT BE REQUIRED TO BE HIGH-EFFACY LAMPS)
- 3) RECESSED LIGHTING SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.
- 4) SMOKE DETECTORS TO BE 110V W/ BATTERY BACK UP - ARC FAULT CIRCUIT
- 5) SMOKE DETECTORS TO BE INTERCONNECTED SO THAT ONE SMOKE DETECTOR ACTIVATES ALL SMOKE DETECTORS IN THE RESIDENCE
- 6) PROVIDE BRANCH CIRCUIT ARC-FAULT PROTECTION FOR ALL CIRCUITS SERVING: FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS PER FBC AND NEC REQUIREMENTS.
- 7) PROVIDE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL 125-VOLT, SINGLE-PHASE 15 AND 20 AMP CIRCUITS SERVING: BATHROOMS, GARAGES, KITCHENS, ACCESSORY BUILDINGS, OUTDOORS, OR WITHIN 72" OF EDGE OF ANY SINK.
- 8) CARBON MONOXIDE DETECTORS TO BE INSTALLED WITHIN 10' OF ALL BEDROOMS.
- 9) EXHAUST FANS TO BE VENTED THRU ROOF OR SOFFIT.
- 10) PROVIDE TAMPER RESISTANT RECEPTILES PER NEC REQUIREMENTS.

KB CONSTRUCTION SPEC HOME
S. 12TH ST., FT. PIERCE, FL.
INDY: TT2 - 224 - 6371

SHEET NUMBER
1 OF 1

ENGINEER
PAUL WELCH INC.
MECHANICAL ELECTRICAL
CIVIL ENGINEERING
1894 SW BILTHORE ST., SUITE # 114
FORT SAINT LUCIE, FL 34984
PHONE : (772) 385-3888
EMAIL: PWELCHINC@AOL.COM
PAUL WELCH P.E.
FLORIDA REGISTRATION NO. 29345



PLUMBING RISER
NO SCALE

PLUMBING NOTES:

- 1) ALL WORK SHALL BE IN ACCORDANCE WITH THE FBC 2020-PLUMBING
- 2) DWV PIPING SHALL BE SCHEDULE 40 PVC.
- 3) WATER PIPING IN BUILDING SHALL BE ONE OF THE FOLLOWING: TYPE L COPPER, CPVC, OR PEX.
- 4) SLEEVE ALL PIPING IN CONTACT WITH CONCRETE OR UNDERGROUND WITHIN BLDG.
- 5) HOT WATER PIPING WITH A MINIMUM THERMAL RESISTANCE OF R-3 SHALL BE APPLIED TO PIPING LARGER THAN 1/2" NOMINAL DIAMETER, PIPING FROM WATER HEATER TO KITCHEN OUTLETS, PIPING LOCATED OUTSIDE THE CONDITIONED SPACE, PIPING FROM THE WATER HEATER TO THE DISTRIBUTION MANIFOLD, PIPING LOCATED UNDER THE FLOOR SLAB, BURRIED PIPING, SUPPLY AND RETURN PIPING IN RECIRCULATION SYSTEMS, PIPING WITH RUN LENGTHS GREATER THAN 20 FEET.
- 6) WATER HEATERS INSTALLED SHALL BE IN ACCORDANCE WITH FBC 2020 ENERGY CONSERVATION.

KB CONSTRUCTION SPEC HOME
S. 12TH ST., FT. PIERCE, FL.
INDY: TT2 - 224 - 6371

ENGINEER
PAUL WELCH INC.
MECHANICAL ELECTRICAL
CIVIL ENGINEERING
1984 SW BILTHORPE ST., SUITE # 104
FORT SAINT LUCIE, FL 34984
PHONE : (772) 785-3888
EMAIL: PWELCHINC@AOL.COM
PAUL WELCH P.E.
FLORIDA REGISTRATION NO. 29345

SHEET NUMBER
3-1 OF
1

TAB 1

Proposer

- A. KIB Construction is specialized in general construction in our local communities, we have worked for the city of Fort Pierce SHIP Rehabilitation program, and currently doing Rehabilitation work Indian River, St Lucie County, Martin County and Palm Beach County SHIP, CDBG AND ARPA program. We are experience and continue to build a good relationship with our owners and Government professionals through our customer service.

KIB Have a plan attached.

TAB 2

Development Plan

- A. Attached is a building plan,
 - B. Project Timeline will be 2 years.
 - C. Construction budget- estimated 200K, we are a general contractor so will build this inhouse.
 - D. Utilization – Looking to build for Rental currently.
-


KIB CONSTRUCTION CORP
Summary Balance Sheet
As of February 22, 2023

	Feb 22, 23
ASSETS	
Current Assets	
Checking/Savings	1,561,327.26
Accounts Receivable	142,203.04
Other Current Assets	34,724.16
Total Current Assets	<u>1,738,254.46</u>
TOTAL ASSETS	<u><u>1,738,254.46</u></u>
LIABILITIES & EQUITY	
Liabilities	
Current Liabilities	
Accounts Payable	16,483.00
Credit Cards	118,653.02
Total Current Liabilities	<u>135,136.02</u>
Total Liabilities	135,136.02
Equity	<u>1,603,118.44</u>
TOTAL LIABILITIES & EQUITY	<u><u>1,738,254.46</u></u>

TAB 3

Required Forms attached.

original

DELIVER TO: City of Fort Pierce, Purchasing Division Room 101 100 North U.S. #1 Fort Pierce, FL 34950 MAIL TO: City of Fort Pierce Purchasing Division, Room 101 P.O. Box 1480 Fort Pierce, FL 34954-1480	<p style="text-align: center;">CITY OF FORT PIERCE</p>  <p style="text-align: center;">INVITATION TO BID and BIDDER ACKNOWLEDGMENT</p>
Bid Writer: Latonya Hubbard	Bid No: 2023-016
Mandatory Site-Visit: <p style="text-align: center;">N/A</p>	Bid Title: DISPOSITION OF FPRA SURPLUS PROPERTIES - 424 DOUGLAS COURT AND 426 DOUGLAS COURT
Mandatory Site-Visit Location: <p style="text-align: center;">N/A</p>	Bid Opening Location: Purchasing Division Conference Room, Room 101 100 North U.S. #1, 1st Floor Ft. Pierce, Florida 34950
Bid Due Date & Time 3:00PM, WEDNESDAY, FEBRUARY 22, 2023	If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.
Bidder Name: Allecia Dixon <hr/> Mailing Address: 2313 SE Avalon Road <hr/>	<i>I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.</i> x <u>Allecia Dixon</u> Authorized Signature (Manual)
City, State, Zip Code: Port St. Lucie, FL 34952	Typed or Printed Name: <p style="text-align: center;">Allecia Dixon</p>
Type of Entity (Select one): Corporation _____ Partnership _____ Proprietorship <u> X </u>	Title:
Incorporated in the State of: _____ Year: _____	Delivery in _____ days, After Receipt Order
Phone Number: 772-260-6517	Payment Terms:
Fax Number: 772-673-7753	FEIN or SS Number:
E-Mail Address: umjama@aol.com	Local Business: ___Y___N MWBE: ___Y___N
Bid Security is attached, when required, in the amount of \$ _____ <p style="text-align: center;">F.O.B. DESTINATION</p>	If returning as a "No Bid" state reason:
THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID	



CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES
Bid No. 2023-016

Date: February 21, 2023

I/we propose to purchase property located at: (Check the property proposing to purchase. If proposing to purchase multiple properties, complete a separate Offer to Purchase/Bid Response Form for each).

424 Douglas Court -2409-501-0199-000-0 AND 426 Douglas Court -2409-501-0200-000-1

PROPOSED SUBMITTED BY:

Legal Name (s): Allecia Dixon
Address: 2313 SE Avalon Road, Port St. Lucie, FL 34952
Day-time Phone Number: _____ Mobile Number: 772-260-6517
Email: umjama@aol.com

INTENDED USE

I/we propose to use the property for:

My propose to utilize the property as parcel for the container homes for low income housing for individual who are unable to currently afford the current housing situation.

Will this property be your primary residence? _____ Yes No

If not above, what do you intend to develop the property for: Rental _____ Resale _____ Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

The purpose of purchasing the vacant lots is to allow afford housing for the residents of Fort Pierce. The current rate of 1,000 to 2,200 for one, two or three bedrooms is difficult for individual is difficult. My proposal is to rent container homes two bedrooms and one bath low \$800 energy efficient, comfortable living.

(Attach pages as needed)

Total value of all proposed improvements to the property: \$ 75,000 to 80,000

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ \$10,000 for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

Yes No **Timeline to complete construction project**

Yes No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

Yes No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER'S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.

Allecia Dixon
Bidder of Authorized Representative

Allecia Dixon
Typed Name

02/21/23
Date

CITY OF FORT PIERCE BIDDER'S CHECKLIST

This checklist is provided to assist each Bidder in the preparation of their bid response. Included in this checklist are important requirements, which is the responsibility of each Bidder to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Bidder to read and comply with the Invitation to Bid in its entirety.

Check "Yes" or "No" to each of the following:

	YES	NO
Is the Bidder's Narrative/Summary included?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the proof of Financial Ability/Letter from financial institution included?	<input type="checkbox"/>	<input type="checkbox"/>
Is the Development Plan included:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Preliminary building plans included	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Timeline to complete the construction project	<input type="checkbox"/>	<input type="checkbox"/>
Construction cost estimates included	<input type="checkbox"/>	<input type="checkbox"/>
Landscaping plans	<input type="checkbox"/>	<input type="checkbox"/>
Property development utilization	<input type="checkbox"/>	<input type="checkbox"/>
Is Invitation to Bid cover page (page 1) completed, signed, and attached?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the Offer to Purchase Form (page age 14-16) completed, signed and attached?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Bid envelope is marked accordingly.	<input type="checkbox"/>	<input type="checkbox"/>

PLEASE SIGN AND RETURN WITH BID: *Alicia Hlyon*

Breakdown of Build for a 2 bedroom 1-2 bath unit

Container each are depending upon the condition new or 1x use.

- 20ft \$3,000
- 40ft \$4,500 to \$6,000

- Plumbing: \$7,000
- Site preparation: \$10,000
- Assembly: \$3,000
- HVAC: \$7,000
- Electrical: \$7,000
- Flooring: \$5,000
- Insulation: \$5,500
- Roofing: \$3,000
- Doors and hardware: \$2,000
- Shelves and closets: \$2,000
- Finishes and painting: \$6,000
- Windows: \$4,000

Foundation

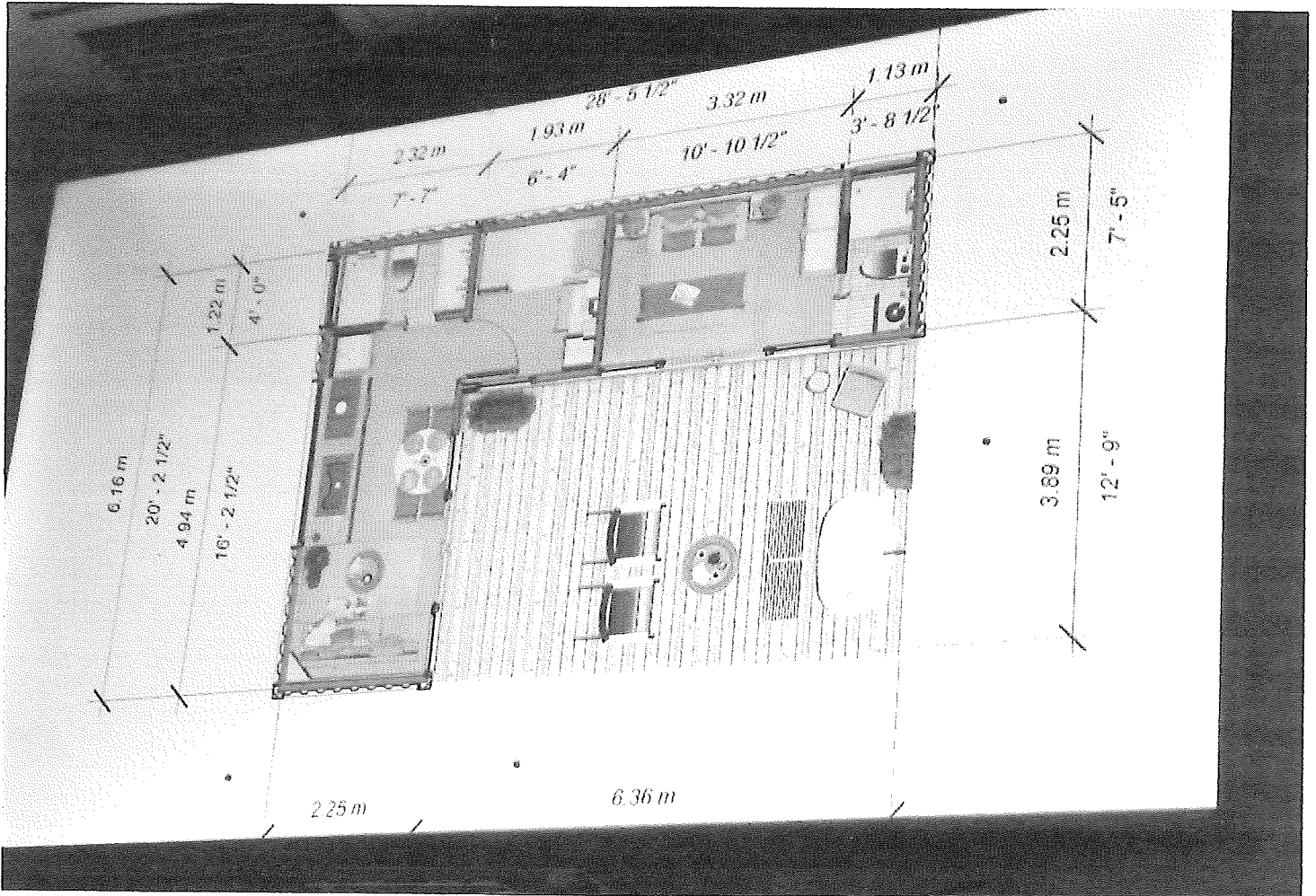
Foundation costs are an important thing to consider, and you have a few options here, too. The most popular foundation choices include slab, concrete pier and trench.

- Trench: About \$5,200 for a large container
- Pier: About \$500 for a large container
- Slab: About \$6,000 for a large container

Attachments:



Attachments:



DELIVER TO:
 City of Fort Pierce, Purchasing Division
 Room 101
 100 North U.S. #1
 Fort Pierce, FL 34950

MAIL TO:
 City of Fort Pierce Purchasing Division,
 Room 101
 P.O. Box 1480
 Fort Pierce, FL 34954-1480

CITY OF FORT PIERCE



**INVITATION TO BID
 and
 BIDDER ACKNOWLEDGMENT**

Bid Writer: Latonya Hubbard, 772-467-3102

Bid No: 2023-016

Mandatory Site-Visit:
 N/A

Bid Title: DISPOSITION OF FPRA SURPLUS PROPERTIES - 424 DOUGLAS COURT AND 426 DOUGLAS COURT

Mandatory Site-Visit Location:
 N/A

Bid Opening Location:
 Purchasing Division Conference Room, Room 101
 100 North U.S. #1, 1st Floor
 Ft. Pierce, Florida 34950

Bid Due Date & Time
 3:00PM, WEDNESDAY, FEBRUARY 22, 2023

If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.

Bidder Name:
 TELCO INVESTMENTS LLC

I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.

Mailing Address:
 P.O. BOX 742371

X Terry Coley
 Authorized Signature (Manual)

City, State, Zip Code:
 Boynton Beach, Florida 33474

Typed or Printed Name:
 Terry Coley

Type of Entity (Select one):
 Corporation LLC
 Partnership _____
 Proprietorship _____

Title: Manager

Incorporated in the State of: NEW MEXICO **Year:** 2013

Delivery in _____ days, After Receipt Order

Phone Number: 786 508-5400

Payment Terms: Cash

Fax Number:

FEIN or SS Number: 80--0961875

E-Mail Address: telco_inv@yahoo.com

Local Business: Y X N **MWBE:** Y Y N

Bid Security is attached, when required, in the amount of \$ _____
 F.O.B. DESTINATION

If returning as a "No Bid" state reason:

THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ \$ 8000.00 _____ for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

Yes No **Timeline to complete construction project**

Yes No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

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Bidder of Authorized Representative

Terry Coley

Typed Name

February 1, 2023

Date

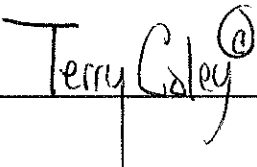
CITY OF FORT PIERCE BIDDER'S CHECKLIST

This checklist is provided to assist each Bidder in the preparation of their bid response. Included in this checklist are important requirements, which is the responsibility of each Bidder to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Bidder to read and comply with the Invitation to Bid in its entirety.

Check "Yes" or "No" to each of the following:

	YES	NO
Is the Bidder's Narrative/Summary included?	<u> X </u>	<u> </u>
Is the proof of Financial Ability/Letter from financial institution included?	<u> X </u>	<u> </u>
Is the Development Plan included:	<u> X </u>	<u> </u>
Preliminary building plans included	<u> X </u>	<u> </u>
Timeline to complete the construction project	<u> X </u>	<u> </u>
Construction cost estimates included	<u> X </u>	<u> </u>
Landscaping plans	<u> X </u>	<u> </u>
Property development utilization	<u> </u>	<u> </u>
Is Invitation to Bid cover page (page 1) completed, signed, and attached?	<u> X </u>	<u> </u>
Is the Offer to Purchase Form (page age 14-16) completed, signed and attached?	<u> X </u>	<u> </u>
Bid envelope is marked accordingly.	<u> X </u>	<u> </u>

PLEASE SIGN AND RETURN WITH BID:



TELCO INVESTMENTS LLC
Specializing in Income Diversification

February 12, 2023

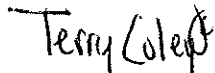
SUMMARY

I Terry Coley is a license real estate broker I have been in the real estate business for close to 40 years now as a broker and investor I have been buying rehab and renting properties in Miami, Fort Lauderdale and I was a member of a partnership that build 48 units townhomes in West Palm Beach my daughter move to Fort Pierce in 2016 I visit and was riding around the area and I saw a lot of boarded up properties and vacant lots.

After doing my research most of the vacant lots and building was own by The City of Fort Pierce I met with City Manager and the Head of the CRA and told them what my plans were and ask for what kind of Incentive that the city could give me if I build new Construction and they agreed to waive all City Impact Fees. I completed two duplexes in January 2022 511 & 513 N 9th street that was the first new construction in that area in 20 years. I recently broke ground on 510 Dundas Court. I own 8 other lots in that area and in the process of acquiring more lots.

I'm going to build Duplexes, Triplexes & Fourplex on those lots we are creating value in this area.

Your Truly,


Terry Coley

TELCO INVESTMENTS LLC
Specializing Income Diversification

Timeline to Construction project : 8 months-12months

Property Utilization/ Intended Use: To build a New Construction Duplex for use as a rental.



Congratulations! Your Exposure Limit has received credit approval, please confirm the terms are accurate and provide documentation to satisfy any outstanding conditions attached. The Exposure Limit does not expire and is continuous until either FACo within their discretion closes it or the borrower fails to update diligence documentation based upon applicable guidelines.

Date: 06/22/2022	Conditional Approval ¹ : 06/07/2022
[REDACTED]	Final Approval: 06/22/2022
Borrower/Business Name: TELCO INVESTMENTS, LLC	Expiration Date: 06/21/2023
Number of Guarantors: 1	Credit Report Expiration: 09/04/2023
Entity Approval Status: Approved	Background Expiration: 09/05/2023

Exposure Limit
Exposure Limit Current Amount: \$2,000,000.00

Property Conditions
<ol style="list-style-type: none"> 1. New Construction experience - Max of five (5) New Construction projects allowed 2. All exposure limits over \$1MM LOC-P loans must close in a borrowing entity.

Schedule of Guarantors								
<table> <tr> <td>Guarantor 1: Terry Coley</td> <td>Guarantor 5:</td> </tr> <tr> <td>Guarantor 2:</td> <td>Guarantor 6:</td> </tr> <tr> <td>Guarantor 3:</td> <td>Guarantor 7:</td> </tr> <tr> <td>Guarantor 4:</td> <td>Guarantor 8:</td> </tr> </table>	Guarantor 1: Terry Coley	Guarantor 5:	Guarantor 2:	Guarantor 6:	Guarantor 3:	Guarantor 7:	Guarantor 4:	Guarantor 8:
Guarantor 1: Terry Coley	Guarantor 5:							
Guarantor 2:	Guarantor 6:							
Guarantor 3:	Guarantor 7:							
Guarantor 4:	Guarantor 8:							

What You Provided to FACo
Requested Exposure Limit: \$5,000,000.00
Total Experience: 17
New Construction Experience: 15
Net Worth: \$1500000

What FACo Validated
Approved Exposure Limit: \$2,000,000.00
Total Experience: 8
New Construction Experience: 7
Net Worth: \$0.00
FICO Score: 697
NO FICO Borrower: No
Foreign National: No
Pro Builder Eligible: Not Eligible

FACo Contacts								
<table> <tr> <td>Sales Rep: Michael Royal</td> <td>Phone: 704-317-5308</td> </tr> <tr> <td>Email: mike.royal@financeofamerica.com</td> <td></td> </tr> <tr> <td>Client Relations Specialist: Ashley Vittorini</td> <td>Phone: 331-998-4349</td> </tr> <tr> <td>Email: ashley.vittorini@financeofamerica.com</td> <td></td> </tr> </table>	Sales Rep: Michael Royal	Phone: 704-317-5308	Email: mike.royal@financeofamerica.com		Client Relations Specialist: Ashley Vittorini	Phone: 331-998-4349	Email: ashley.vittorini@financeofamerica.com	
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Email: mike.royal@financeofamerica.com								
Client Relations Specialist: Ashley Vittorini	Phone: 331-998-4349							
Email: ashley.vittorini@financeofamerica.com								

Business Partner
Contact: N/A
Phone: N/A
Email: N/A
Lender Paid Compensation*:
<i>*Already included in pricing above</i>

¹Until a Final Approval date is entered, this is a conditional approval and is not a commitment or promise to lend. You must comply with all Underwriting Conditions listed below and timely provide requested documentation and information. All information is subject to underwriting review and FACo makes no promise or guarantee that compliance with its Underwriting Conditions will result in a final approval for the Property Approval.

CHDO BY SUNRISE CITY, INC.

5115 NORTH DIXIE HIGHWAY
Pompano Beach, Florida 33069
(561)702-6557 Cell
sunrisechdo@gmail.com

Residence

Toby T. Philpart -President
License# CRC1332466

Bid Proposal:

Date: February 10, 2023
Estimate: 2023-82
Expiration Date: September 10, 2023

Owner: **Telco Investments LLC**
Address: 424 Douglas Court
City/State: Fort Pierce, FL 34950
Project: **New Duplex**

Scope of Work:

Plans, Architect, Engineer	\$22,717.00 Permits	
	\$24,000.00	
Site Prep, Clearing, Grading, Demolition		\$15,000.00
Foundation/Structural, Concrete, Walls		\$40,000.00
Framing, Trusses, Sheathing		\$33,000.00
Roof		\$25,000.00
Exterior Windows & Doors		\$16,787.00
Plumbing Rough-In		\$18,000.00
Electrical Rough-In		\$20,000.00
HVAC Rough-In		\$18,000.00
Exterior Finish (Sliding, Veneer, Paint)		\$16,000.00
Insulation (Walls & Ceiling)		\$ 6,000.00
Interior Walls & Ceiling (Includes wall tile)		\$14,000.00
Cabinets/Vanities (Countertops)		\$20,000.00
Interior Trim, Doors, Mirrors		\$ 9,000.00
Interior Paint		\$ 8,000.00
HVAC: Finish (Furnace, condenser)		\$ 6,500.00
Floor covering (carpet, vinyl, wood, tile)		\$12,000.00
Plumbing: Fixture		\$ 7,500.00
Electrical: Fixture		\$ 5,000.00
Appliances		\$10,000.00

Concrete (garage, driveway, walks)	\$ 16,000.00
Water/Sewer (includes well, septic and city): Connections Rough-in	\$ 8,000.00
Deck/Patio/Pool/Other Exterior Structures	\$ 3,000.00
Landscaping	\$ 7,000.00
Property Budget	\$ 385,502.00
Contractors Fee	\$ 38,550.00
Contingency Fee	\$ 38,550.00
Total	\$ 462,602.00

All proposals are guaranteed to be specified. All work to be completed in workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the proposal. All agreement contingent upon strikes, accidents, or delays beyond our control. This proposal will need to be accepted no later than (5) calendar days after bid submitted or it is void thereafter at the option of the Undersigned.

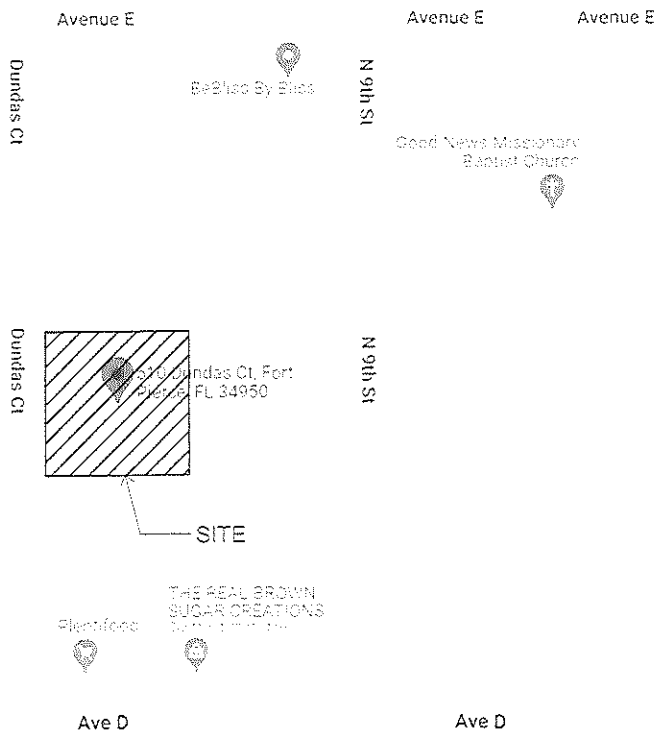
Authorized Signature: Toby Whiplant
 CHDO BY Sunrise City, Inc.

Date: Feb 10, 2023

Accepted Signature: Tessy Coley
 Telco Investments, LLC

Date: 2/12/23

FLORIDA FORT PIERCE LOCATION MAP



DRAWING INDEX

- A-00 LOCATION MAP, CODE RESEARCH, SYMBOLS.
- A-01 GENERAL NOTES
- A-02 SITE PLAN
- A-03 PROPOSED FLOOR PLAN UNIT #1 & UNIT #2
- A-04 PROPOSED ROOF PLAN, ENLARGED FRONT ENTRY AREA
- A-05 ELEVATIONS
- A-06 CEILING PLAN, OWD DETAIL
- A-07 DOOR SCHEDULE & WINDOW SCHEDULE
- A-08 SECTIONS
- A-09 DETAILS

- S-1 STRUCTURE GENERAL NOTES
- S-2 STRUCTURE DETAILS
- S-3 STRUCTURE GROUND FLOOR PLAN
- S-4 STRUCTURE TIE BEAM PLAN
- S-5 STRUCTURE ROOF PLAN
- S-6 STRUCTURE WIND PRESSURE
- E-1 ELECTRICAL NOTES
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- P-1 PLUMBING PLAN
- P-2 PLUMBING RISERS & NOTES
- M-1 MECHANICAL LAYOUT
- M-2 MECHANICAL GENERAL NOTES, EQUIPMENT, SCHEDULE & LEGEND

CODE RESEARCH

GOVERNING CODE	Florida Residential Building Code 2020, 7th Edition								
BUILDING HEIGHT	17'-0" Apartmently								
PROJECT AREA HOUSE	2 Unit A.F.								
TYPE OF CONSTRUCTION	Type III-B								
OCCUPANCY CLASSIFICATION	R-3								
SETBACKS	<table border="0"> <tr> <td>MINIMUM</td> <td>PROVIDED</td> </tr> <tr> <td>Front 10'-0"</td> <td>Front 10'-0"</td> </tr> <tr> <td>Rear 5'-0"</td> <td>Rear 5'-0"</td> </tr> <tr> <td>Side 5'-0"</td> <td>Side 5'-0"</td> </tr> </table>	MINIMUM	PROVIDED	Front 10'-0"	Front 10'-0"	Rear 5'-0"	Rear 5'-0"	Side 5'-0"	Side 5'-0"
MINIMUM	PROVIDED								
Front 10'-0"	Front 10'-0"								
Rear 5'-0"	Rear 5'-0"								
Side 5'-0"	Side 5'-0"								
FOLIO:									
PARCEL ID	3416-001-0077-000-0								
LEGAL DESCRIPTION									
SCOPE OF WORK	CONSTRUCTION OF NEW 2 BEDROOM DUPLEX, NEW INTERIOR AND EXTERIOR WALLS, FOLIATION, SLAB, ROOF, NEW ELECTRICAL, PLUMBING, MECHANICAL AND FINISHING OUT WITH GREEN SPACE.								

SYMBOLS

	IDENTIFICATION NUMBER	DETAIL SYMBOL	1 A2	ELEVATION
	SHEET NUMBER	SECTION SYMBOL		KEY NOTE
	SHEET NUMBER	INTERIOR ELEVATIONS		DOOR SYMBOL
	ELEVATION NUMBER	ENLARGED PLAN/ CALL OUT		WINDOW SYMBOL
				WALL TYPE
				EXISTING WALL
				NEW WALL
				EXISTING WALLS TO BE REMOVED
				BATT INSULATION
				FIRE RATED WALL

DUPLEX
510 DUNDAS COURT
FT. PIERCE, FL 34951

DATE: 04-27-2022
DESIGNER: CAN
DRAWN BY: CP
PLAN REVIEW:

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SITE PLAN

A-00

17'-0" Apartmently
 3416-001-0077-000-0
 CONSTRUCTION OF NEW 2 BEDROOM DUPLEX, NEW INTERIOR AND EXTERIOR WALLS, FOLIATION, SLAB, ROOF, NEW ELECTRICAL, PLUMBING, MECHANICAL AND FINISHING OUT WITH GREEN SPACE.

GENERAL NOTES

THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO SUBMITTING HIS BID.

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO THE SUBMISSION OF ANY BIDS, AND VERIFY THE ARCHITECT'S DIMENSIONS, DETAILS AND INFORMATION PERTAINING TO THE PROJECT. IF ANY DISCREPANCIES, CONFLICTING INFORMATION, ERRORS OR OMISSIONS ARE PRESENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IN WRITING. ANY DISCREPANCY OR CONFLICT NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO THE FINAL BID SUBMISSION SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PUBLIC LIABILITY, PROPERTY, AND WORKMENS COMPENSATION INSURANCE, VALID CERTIFICATES OF ALL SHALL BE PROVIDED.

THE CONTRACTOR SHALL INCLUDE ALL WORK NECESSARY TO ASSURE THE PROJECT'S COMPLIANCE WITH THE MOST STRINGENT REQUIREMENTS OF THE FLORIDA BUILDING CODE, CURRENT LOCAL EDITION, NFPA-101 AND ALL OTHER REGULATION CODES.

THE CONTRACTOR SHALL OBTAIN ALL PERMITS, AND SECURE ALL CERTIFICATES OF INSPECTION AND OCCUPANCY THAT ARE REQUIRED BY THE GOVERNING JURISDICTION. THE OWNER SHALL RECEIVE A COPY OF THE PERMIT UPON ISSUANCE.

THE CONTRACTOR SHALL REFERENCE THE BUILDING SHELL DRAWINGS FOR ALL INFORMATION RELATIVE TO THE BUILDING SHELL AND FOR COORDINATION OF NEW WORK.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS/VENDORS SHALL FAMILIARIZE THEMSELVES WITH AND CONFORM TO ALL REQUIREMENTS SET FORTH BY THE BUILDING OWNER OR MUNICIPALITY RELATIVE TO THE HOURS OF WORK.

THE CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE COORDINATION ALL SUBCONTRACTORS, SUPPLIERS AND VENDORS.

THE CONTRACTOR SHALL NOT ALLOW ON THE PROJECT ANY MATERIALS CONTAINING ASBESTOS, PETROLEUM OR P.O.S. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING ALL CURRENT DRAWINGS TO THE SUBCONTRACTORS/VENDORS AS WELL AS SUPERVISING AND COORDINATING THE WORK OF ALL TRADES IN ACCORDANCE WITH THE SPECIFICATIONS AND MAKING ADJUSTMENTS IN LAYOUT AS REQUIRED. THE ARCHITECT SHALL BE NOTIFIED PRIOR TO THE EXECUTION OF THEIR REVISIONS TO AVOID CONFLICT BETWEEN TRADES FOR PROPER EXECUTION OF THE WORK.

THE CONTRACTOR SHALL INSTALL ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON THE DRAWINGS BUT MENTIONED IN THE SPECIFICATIONS, OR VICE VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY FOR COMPLETION OF THE WORK FOR OPERATION WITHOUT ADDITIONAL EXPENSE TO OWNER.

THE CONTRACTOR SHALL COORDINATE ALL OWNERSHIP SUPPLIED ITEMS AND INCORPORATE THE INSTALLATION INTO THE CONSTRUCTION SCHEDULE.

THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY UTILITIES INCLUDING ELECTRICAL, WATER, AND TELEPHONE REQUIRED FOR THE COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL HAVE A DIGITAL CAMERA ON SITE TO DOCUMENT ANY ISSUES THAT MAY NEED TO BE CLARIFIED. THESE PICTURES SHALL BE EMAILED TO THE ARCHITECT ALONG WITH AN NFI FOR CLARIFICATION.

THE CONTRACTOR SHALL PROVIDE AT ALL TIMES PROTECTION FROM THE WEATHER AND EXCESSIVE DUST THAT MAY IN ANY WAY DAMAGE THE WORK, MATERIAL, FIXTURES, AND EQUIPMENT OR PRESENT DANGER TO PERSONNEL. ANY WORK UNDER CONTRACT BY THE GENERAL CONTRACTOR DAMAGED BY A FAILURE TO PROVIDE ADEQUATE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE SOLE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL MAINTAIN THE JOB SITE FREE FROM RUBBISH AND DEBRIS. DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL CONFORM TO BUILDING REGULATIONS.

THE CONTRACTOR SHALL RUN FIRE RATED WALLS AND PARTITIONS TO THE UNDERSIDE OF RATED ROOF CEILING ASSEMBLY ABOVE. TAPE AND SEAL JOINTS. PROVIDE FIRE DAMPERS AT DUCT PENETRATIONS AS REQUIRED BY CODE. TAPE AND SEAL OTHER PENETRATIONS TO MAINTAIN INTEGRITY OF FIRE-RATED PARTITION USING ONLY UL APPROVED MATERIAL.

THE CONTRACTOR SHALL FINISH GYPSUM WALLBOARD ABUTTING OTHER MATERIAL WITH METAL EDGE STRIPS, CONCEAL PIPING, DUCTWORK AND CONDUIT.

THE CONTRACTOR SHALL BACK ALL ELECTRICAL CABINETS, FIRE EXTINGUISHERS, CABINETS AND OTHER RECESSED EQUIPMENT LOCATED IN FIRE-RATED WALLS WITH 5/8" TYPE 'X' GYPSUM BOARD AS REQUIRED TO MAINTAIN THE RATING.

THE CONTRACTOR SHALL PROVIDE BRACING OR BLOOMING AS REQUIRED TO SUPPORT WALL HOOKING EQUIPMENT, CABINETS, GRILLES, DOORS, WINDOWS, ETC.. WOOD BLOOMING SHALL BE FIRE RETARDANT TREATED. METAL STUDS MAY BE USED IN LIEU OF WOOD BLOOMING.

THE CONTRACTOR SHALL NOT CUT ANY STEEL, WOOD, OR OTHER MAIN STRUCTURAL MEMBERS WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.

ANY ROOM, WALL, FLOOR, OR CEILING FINISH NOT SCHEDULED SHALL BE ASSUMED TO BE IDENTICAL TO THE CLOSEST ROOM OF SIMILAR USE AND TYPE FOR PURPOSES OF BIDDING AND CONSTRUCTION.

NOTIFY THE ARCHITECT IN WRITING OF ANY OBSERVED APPARENT DISCREPANCIES IN WRITING PRIOR TO COMMENCING WITH THE WORK.

ANY DETAIL NOT SPECIFICALLY REFERENCED SHALL BE ASSUMED TO BE SIMILAR TO THAT SHOWN IN THE CLOSEST POSITION WHERE A SIMILAR CONDITION OCCURS FOR THE PURPOSES OF BIDDING AND CONSTRUCTION. NOTIFY THE ARCHITECT IN WRITING OF ANY OBSERVED APPARENT DISCREPANCIES PRIOR TO COMMENCING WITH THE WORK.

WHERE TWO OR MORE DETAILS, MATERIALS, OR CONDITIONS OCCUR IN APPARENT CONFLICT, THE CONTRACTOR SHALL INCLUDE THE MOST COSTLY SOLUTION IN HIS BID AND NOTIFY THE ARCHITECT OF ANY APPARENT DISCREPANCIES PRIOR TO START OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE UPON COMPLETION OF THE WORK A SET OF "AS-BUILT" NEATLY MARKED UP PLANS. THE ELECTRICAL DRAWINGS "AS-BUILT" DRAWINGS SHALL BE INCLUDED. THESE DRAWINGS SHALL BE TRANSMITTED TO THE OWNER.

OWNER, SUBCONTRACTOR, SUPPLIER, ETC., SHALL VERIFY ALL DIMENSIONS, PLANS, SPECIFICATIONS, CONDITIONS AT JOBSITE, ETC. PRIOR TO STARTING ANY WORK AND WITHIN 7(7) SEVEN CALENDAR DAYS OF BUILDERS RECEIPT OF THESE PLANS SHALL NOTIFY THE DESIGNER (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE THE DESIGNER WILL ASSUME NO RESPONSIBILITY FOR ANY ERRORS, AND THE SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE. NOTE: ALL DIMENSIONS ARE NOMINAL TO FACE OF STUD, STEM WALL, OR MUDJOL THIS FOOTINGS UNLESS OTHERWISE NOTED. THE DESIGNER DOES NOT HAVE ANY FIELD SUPERVISION NOR CONSTRUCTION ADMINISTRATION ON THIS PROJECT. ALL CONTRACTORS AND SUBCONTRACTORS SHALL HOLD HARMLESS THE DESIGNER FOR ANY PERSONAL INJURY OR DAMAGE TO THE PROJECT OR TO ADJACENT PROPERTIES AND REMISES. SOIL: ASSUMED BEARING VALUES FOR UNDISTURBED SAND, OR SAND AND ROCK SOIL SHALL BE 2500 P.S.F. THE ASSUMED SOIL CONDITIONS W/ 2500 P.S.F. IS CAPABLE OF SUSTAINING THE CONSTRUCTION OF A ONE OR TWO STORY RESIDENCE. SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPACTED TO MINIMUM OF 95% DENSITY AS PER ASTM D-1557. CONTRACTOR SHALL VERIFY AFTER COMPACTION. CONCRETE: ALL CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 2500 P.S.F. 28 DAYS UNLESS NOTED OTHERWISE. CONCRETE PER ASTM C99. CONCRETE WORK PER ACI 301.

ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR THE OWNER TO THE DESIGNER. ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE DESIGNER WILL FULLY UNCONDITIONALLY AND TOTALLY RELEASE THE DESIGNER FROM ANY AND ALL RESPONSIBILITY, CLAIMS, OR LIABILITIES AGAINST THE DESIGNER FOR CULPABILITY, ETC. FROM DATE SHOWN ON PLANS ORIGIN UNTIL THE END OF TIME.

REBAR: ALL REINFORCEMENT STEEL TO BE ASTM A-615 GRADE 60, BENT, LAPPED AND PLACED IN ACCORD, WITH THESE DRAWINGS AND THE LATEST SPECIFICATIONS IN ACI 318.

CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL COORDINATION AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO POURING OF FLOOR SLABS, FOOTINGS, OR PADS.

THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.

LUMBER USED FOR JOISTS, RAFTERS, TRUSSES, COLUMNS, BEAMS AND JO STRUCTURAL MEMBERS SHALL BE STRESS GRADE NOT LESS THAN (b = 1000 PSI) UNLESS OTHERWISE SPECIFIED. REFER TO STRUCTURAL DRAWINGS. ALL LUMBER IN CONTACT WITH MASONSRY OR CONCRETE TO BE PRESSURE TREATED.

APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURERS PUBLISHED INSTRUCTIONS OR, IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICES.

SMOKE DETECTORS TO BE POWERED BY HOUSE ELECTRIC SERVICE AND HAVE BATTERY BACKUP. MULTIPLE DETECTORS MUST BE INTERCONNECTED AS PER F.B.C. SECTION 905.2.5.

MIRRORS OVER 9 S.F. SHALL BE ANCHORED TO STUDS.

ALL VERTICAL ELEVATION DATUM FOLLOWED BY "AFF" (ABOVE FINISHED FLOOR) IS REFERENCED FROM THE 0'-0" FINISHED FLOOR, IF NOT FOLLOWED BY "AFF" THE VERTICAL ELEVATION DATUM IS REFERENCED FROM THAT ROOMS FLOOR ELEVATION.

TRUSS MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR ROOF TRUSS DESIGN FOR APPROVAL INCLUDING ONE (1) COPY FOR ARCHITECTS REVIEW PRIOR TO FABRICATION. TRUSSES TO BE DESIGNED TO CARRY LOADS OF MISCELLANEOUS EQUIPMENT. COORDINATE LOCATIONS WITH CONTRACTOR PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS. IF THERE IS A DISCREPANCY ON THE DOCUMENTS THE TRUSS MANUFACTURER SHALL NOTIFY THE DESIGNER AND CLOUD THE AREA IN QUESTION ON THE TRUSS MANUFACTURERS SHOP DRAWINGS. IF ANY DEVIATIONS ARE MADE BY THE TRUSS MANUFACTURER WITHOUT NOTIFICATION TO THE DESIGNER, TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ANY CORRECTIONS DEEMED NECESSARY AND ABSORB ALL COSTS INCURRED. ALL CONNECTOR STRAPS SHALL BE OF GALVANIZED STEEL, ASTM A449-75 GRADE A (19" 35,000 PSI). ALL STEEL BEAT DETAILS SUPPORTING OTHER TRUSSES SHALL BE COORDINATED WITH THE TRUSS MANUFACTURER FOR SIZE AND BOLT SPACING REQUIREMENTS. (SEE PLAN). TRUSS BRACING SHALL CONFORM TO F.B.C. SECTION 2319.17.1.2 - FOR CLOS DIRECTLY ATTACHED TO UNDERSIDE OF TRUSSES; AND SECT. 2319.17.1.3 - FOR CLGS DIRECTLY ATTACHED TO TOP FURNISH STRIPS. TEMPORARY & PERMANENT BRACING TO BE IN ACCORDANCE WITH T.P.1. PROCEDURES.

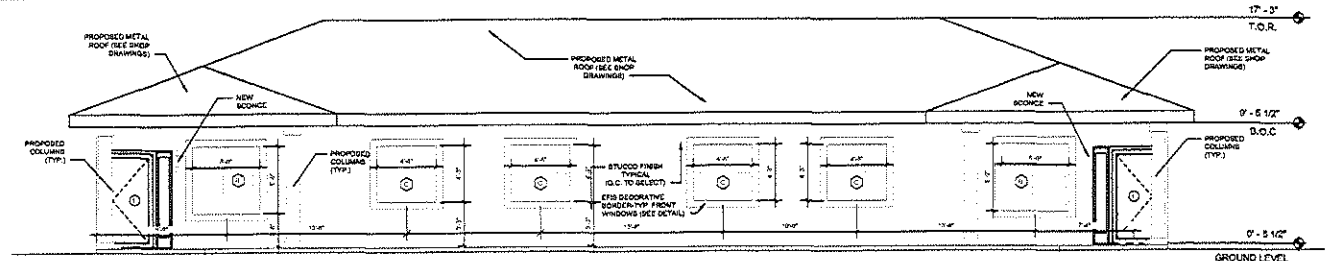
PROJECT INFORMATION

DATE	04-27-2022
DESIGNER	CKR
DRAWN BY	CP
PLAN REVIEW	
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GENERAL NOTES	
A-01	

ARA ENGINEERING, INC.
 7446 NW 115 TH Terrace
 Parkland, Florida 33076
 Telephone: 848 733 6777 Fax: 848 733 6416
 Email: aek@ara-engineering.com CA 0047

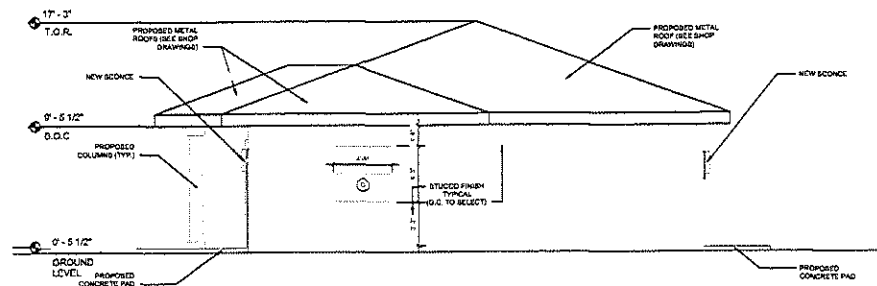
510 DUNDAS COURT
 FT. PIERCE, FL 34951

C:\Users\james\OneDrive\Documents\Projects\510 Dundas Court\510 Dundas Court.dwg (P) 2022/04/27 11:11:11 AM 10/16/2022



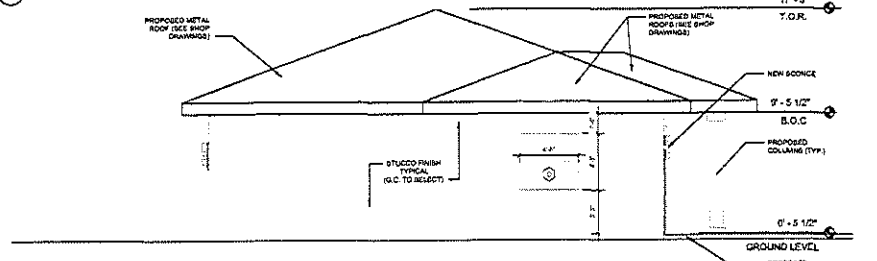
1 FRONT ELEVATION

1/4" = 1'-0"



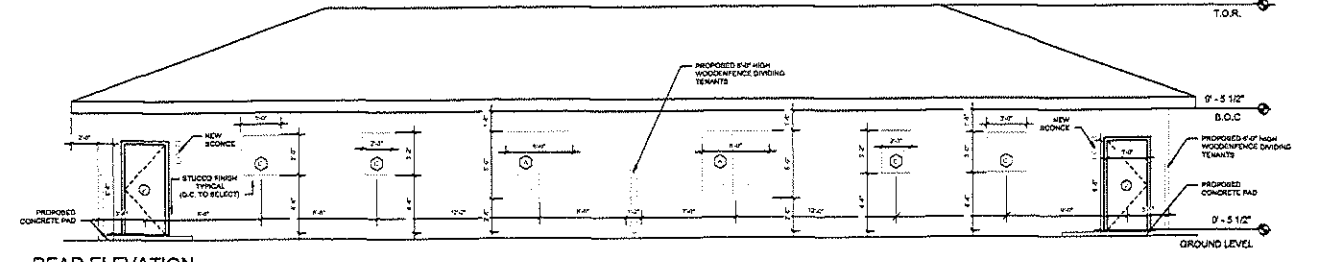
2 LEFT ELEVATION

1/4" = 1'-0"



3 RIGHT ELEVATION

1/4" = 1'-0"



4 REAR ELEVATION

1/4" = 1'-0"

WINDOW NOTE IN BATHROOM

WINDOW GLAZING IN WET SURFACES WITHIN 60" HORIZONTALLY WITH VERTICAL EDGE LESS THAN 60" A.P.F. SHALL BE CATEGORY II SAFETY GLAZING - FBC 9308.4.5 & TABLE R308.3.1 (1). BATHROOM WINDOW SHALL BE OF CATEGORY 'II' SAFETY GLAZING.

CONTRACTOR NOTE

-CONTRACTOR TO FIELD VERIFY ALL STRUCTURAL COLUMNS, BEAMS AND LOAD BEARING WALLS PRIOR TO INSTALLATION OF ANY AND ALL EXTERIOR WINDOW OR DOOR.
-ANY DEVIATIONS FROM CONSTRUCTION DRAWINGS SHALL REQUIRED ARCHITECT'S APPROVAL PRIOR TO CONSTRUCTION.

800 800

DUPLEX
510 DUNDAS COURT
FT. PIERCE, FL 34951

AKA ENGINEERING, INC.
7446 NW 115 TH TERRACE
Parkland, Florida 33076
Tel: 888-943-7323 FAX: 888-776-0419
Email: akainfo@akainc.com CA 9042

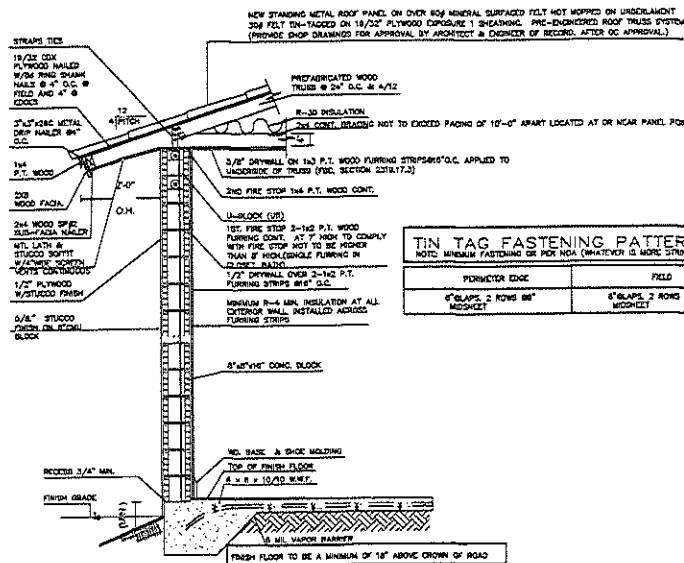
DATE: 04-27-2022
DESIGNER: EAK
DRAWN BY: CP
PLAN REVIEW:

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ELEVATIONS

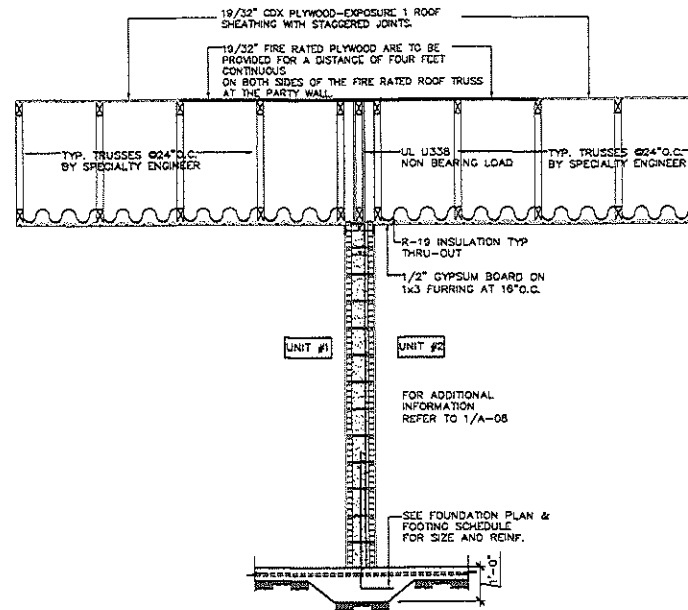
A-05

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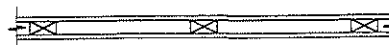
1 WALL SECTION

TIN TAG FASTENING PATTERN	
NOTE: MINIMUM FASTENING OR PEX NAIL (WHATEVER IS MORE STRINGENT)	
PERIMETER EDGE	FIELD
6" SLAPS, 2 ROWS @ 8" MINIMUM	6" SLAPS, 2 ROWS @ 8" MINIMUM



2 SECTION (DEMISING WALL)

ILLUSTRATION



CONSTRUCTION

NOMINAL 2x4 FLAT 24\"/>

1 LAYER 5/8\"/>

GYP-SUM WALLBOARD, WOOD STUDS

ONE LAYER 5/8\"/>

UL DESIGN U338
NON-LOAD BEARING

510 DUNDAS COURT
FT. PIERCE, FL 34951

ARA ENGINEERING, INC.
7446 NW 112 TH TERRACE
Fort Lauderdale, Florida 33306
Telephone 954-774-6477 Fax 954-770-6441
Email ara@ara-engineering.com

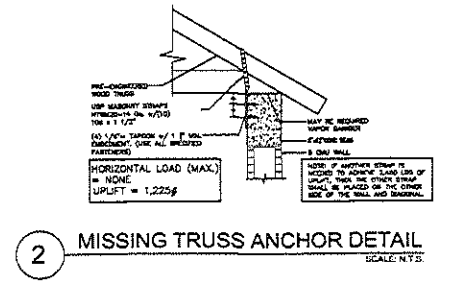
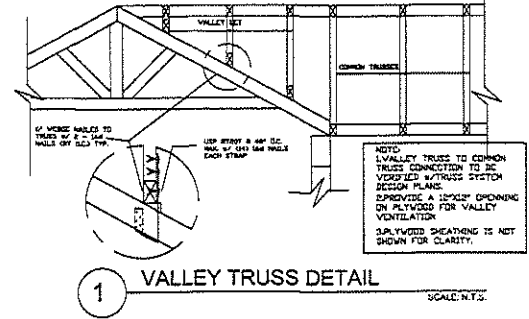
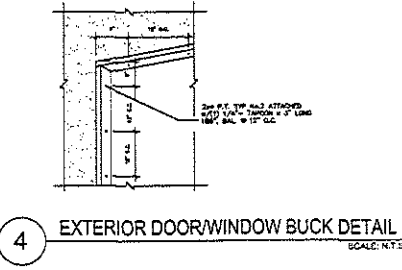
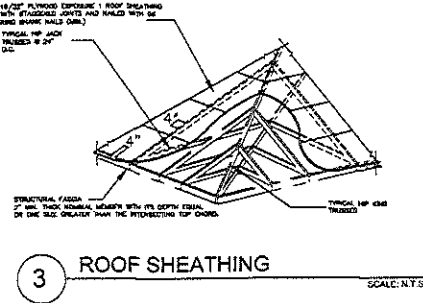
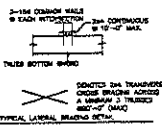
DATE: 04-27-2022
DESIGNER: DAR
DRAWN BY: CP
PLANK REVIEW:

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SECTION
A-08

COMMON ANCHORS		TRUSS ANCHOR SCHEDULE				ALL STRAPS ARE TRIPLE GALVANIZED (EMPHASIS CHANGE COLOR OR COLOR)
ANCHOR	TRUSS IDENTIFICATION	NO. OF STRAPS	STRAP SIZE	STRAP LENGTH	STRAP WEIGHT	REMARKS
1	TO WOOD WALL STUDS @ 24" O.C.	1	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
2	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
3	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
4	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
5	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
6	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
7	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
8	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
9	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
10	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
11	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
12	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
13	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED
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100	TO WOOD WALL STUDS @ 24" O.C.	2	1/2" x 1/8"	120" Min.	0.400 LBS.	NOT USED

- 1. ALL LENGTHS UNDER 300 IN. LENGTH-USE ANCHOR "A" AS TYPICAL.
- 2. WALLS ARE 1/2" x 4" LIND.
- 3. WALLS FOR WIS STRAPS ARE FOR EACH END OF STRAP.
- 4. FASTENERS ARE SUPPLIED WITH THE CONNECTION-"B" DIA. WITH WORKS. SEE CATALOG FOR NUMBER AND LENGTH.



PROJECT

DUPLEX
510 DUNDAS COURT
FT. PIERCE, FL 34951

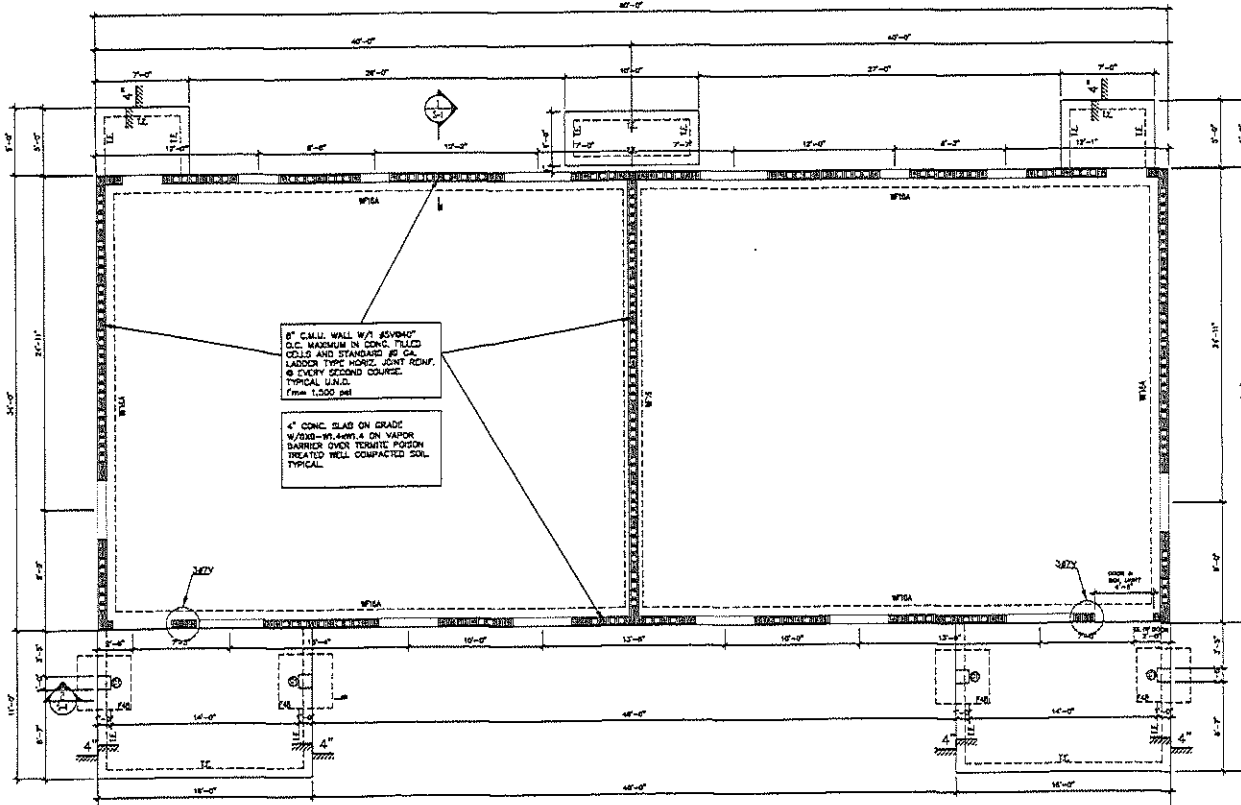
DATE 04-28-2022
DESIGNER EAM
DRAWING BY
PLAN REVIEW

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STRUCTURE
NOTES & DETAILS

S-2

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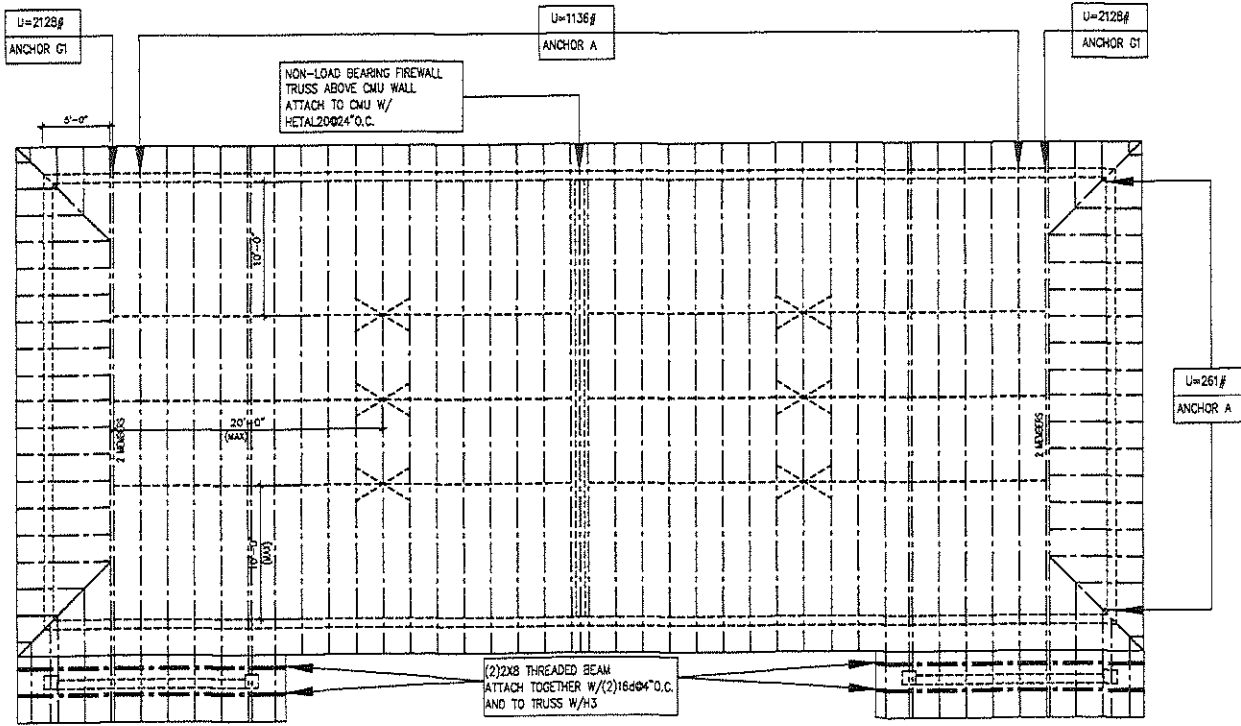
1 GROUND FLOOR PLAN - UNITS #1 & #2
SCALE: 1/4"=1'-0"

- NOTES:**
- COORDINATE SIZE AND LOCATION OF WINDOWS/DOORS OPENING WITH ARCHITECTURAL DRAWINGS AND WINDOW/DOOR MANUFACTURER.
 - REFER TO ARCHITECTURAL DRAWINGS FOR SLOPES, FINISHES AND ELEVATION OF BEAMS, SLABS, NOTIFY CONSULTANTS IF ANY CONFLICT OCCUR.
 - REFER TO ARCH. DRAWINGS AND MECH. PANS FOR MECHANICAL SLAB AND/OR WALL OPENING SIZE AND LOCATION.
 - ALL DIMENSIONS TO BE VERIFIED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
 - PROVIDE MATCHING CORNER BAR FOR BEAMS (OUTSIDE LAYER ONLY) A MINIMUM OF 48 BAR DIAMETERS EACH DIRECTION.
 - WORK THIS DRAWING IN CONJUNCTION WITH ALL ARCHITECTURAL SHEETS.

<p>AREA ENGINEERING, INC. 7446 NW 115 TH TERRACE Parkland, Florida 33076 Telephone: 954-312-6477 Fax: 954-773-0411 Email: ars@ars-engineering.com</p>	<p>DATE: 04-28-2022 DESIGNER: EAB DRAWN BY: GP PLAN REVIEW:</p> <p>This drawing is property of AREA ENGINEERING and is not to be reproduced or copied, in whole or in part, it is only to be used for the project and site specifically identified herein and is not to be used on any other project.</p>
<p>STRUCTURE NOTES & DETAILS</p>	
<p>S-3</p>	

DUPLEX
510 DUNDAS COURT
FT. PIERCE, FL 34951

C:\Users\jw\Documents\Projects\510 Dundas Court\510 Dundas Court.dwg (P) 04/22/2022 10:51:11 AM



- NOTES:**
- COORDINATE SIZE AND LOCATION OF WINDOWS/DOORS OPENING WITH ARCHITECTURAL DRAWINGS AND WINDOW/DOOR MANUFACTURER.
 - REFER TO ARCHITECTURAL DRAWINGS FOR SLOPE, BEZELING AND ELEVATION OF BEAMS. GLASS NOTIFY CONSULTANT IF ANY CONFLICT EXIST.
 - REFER TO ARCH. DRAWINGS AND SPEC. FOR MECHANICAL PLAN ALSO FOR WALL OPENING SIZE AND LOCATION.
 - ALL DIMENSIONS TO BE VERIFIED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
 - PROVIDE MATCHING CORNER BAR FOR BEAMS (OUTSIDE LAYER ONLY) A MINIMUM OF 48 BAR DIAMETERS EACH DIRECTION.
 - WORK THIS DRAWING IN CONJUNCTION WITH ALL ARCHITECTURAL SHEETS.

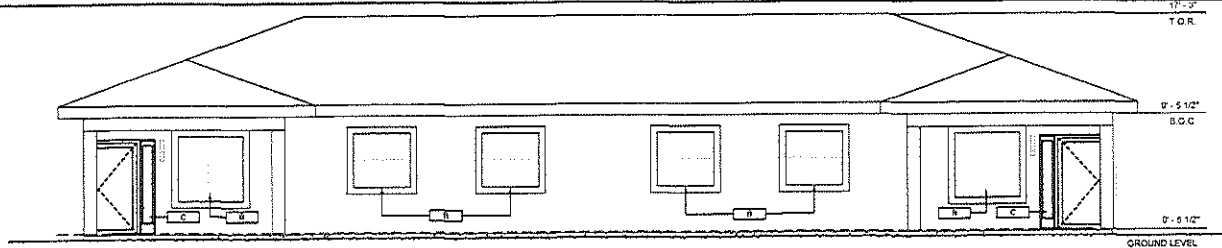
1 ROOF PLAN - UNITS #1 & #2 SCALE: 1/4"=1'-0"

REVISIONS	
DATE	04-22-2022
DESIGNED BY	CAF
CHECKED BY	CAF
PLAN REVIEW	CAF
<p>This drawing is property of ARA ENGINEERING and is not to be reproduced or copied, in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project.</p>	
<p>STRUCTURE NOTES & DETAILS</p>	
<p>S-5</p>	

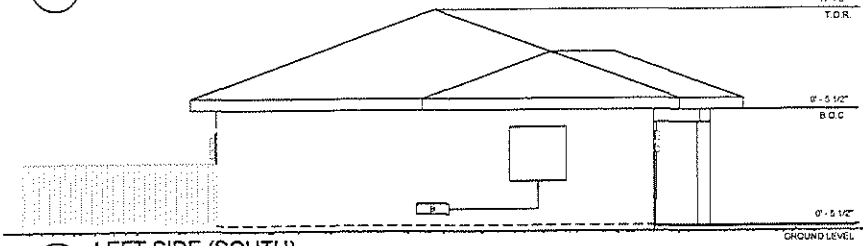
ARA ENGINEERING, INC.
 746 NW 115 THIRDBASS
 Palm Beach, Florida 33406
 Telephone: 561-731-6677 Fax: 561-731-6641
 Email: ara@ara-engineering.com

DUPLEX
510 DUNDAS COURT
FT. PIERCE, FL 34951

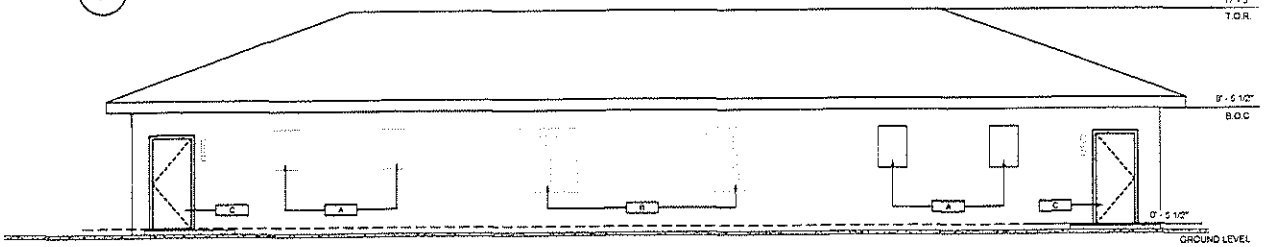
C:\Users\j\OneDrive\Engineering\Projects\510 Dundas Court\510 Dundas Court.dwg, 5/10/2022 12:28:32 PM, 1/4" = 1'-0", 1/4" = 1'-0"



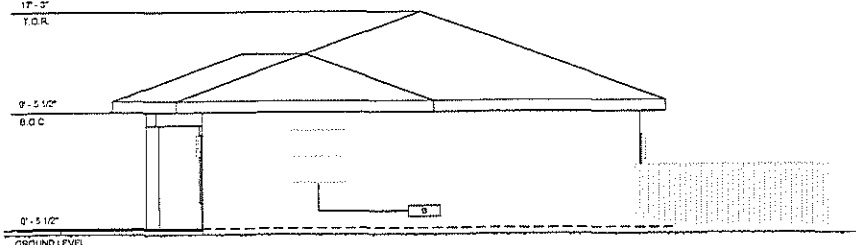
1 FRONT (EAST)
SCALE: 1/4"=1'-0"



3 LEFT SIDE (SOUTH)
SCALE: 1/4"=1'-0"



3 REAR (WEST)
SCALE: 1/4"=1'-0"



4 RIGHT SIDE (NORTH)
SCALE: 1/4"=1'-0"

- NOTES:
1. COORDINATE SIZE AND LOCATION OF WINDOWS/DOORS OPENING WITH ARCHITECTURAL DRAWINGS AND WINDOW/DOOR MANUFACTURERS.
 2. REFER TO ARCHITECTURAL DRAWINGS FOR ALCOVE, RECESSES AND ELEVATION OF BEAMS.
 3. REFER TO MECH. DRAWINGS AND MECH. DRAW. FOR MECHANICAL BLIND AND/OR WALL, GROUND SIZE AND LOCATION.
 4. ALL ORDERS TO BE WORKED WITH THE PROJECT PERMITS TO CONSTRUCTION.
 5. PROVIDE HATCHING CORNER SHEET FOR BEAMS (OUTSIDE LAYER ONLY) A MINIMUM OF 48 BAR SPACING GAIN ORIENTATION.
 6. MARK THIS DRAWING IN CONFORMANCE WITH ALL ARCHITECTURAL SHEETS.

LEGEND	
A	+38.3 psf -51.2 psf
B	+37.4 psf -49.5 psf
C	+36.5 psf -47.8 psf

JOHN WID

**DUPLEX
510 DUNDAS COURT
FT. PIERCE, FL 34951**

AREA ENGINEERING, INC.
ENGINEERS
746 NW 117 TH STREET
Petaluma, Florida 33506
Telephone: 813-731-4427 Fax: 813-731-0411
Email: john@areaeng.com
CA 3042

DATE: 04-28-2022
DESIGNED BY: CAR
SCALE: 1/4" = 1'-0"
PLAN REVIEW: ✓

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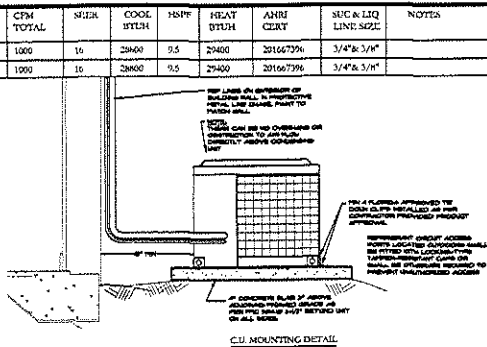
**STRUCTURE
NOTES &
DETAILS**

S-6

SYS #	TONS	MANUF.	HEAT PUMP UNIT MODEL	MCA/MOCP	A.H.U. UNIT MODEL	CFM TOTAL	SEER	COOL BTUH	HSPF	HEAT BTUH	AHRI CERT	SEC & LIQ LINE SIZE	NOTES
1	2.5	GOODMAN	GSZ160013P	17A/30	ASPT37C14A*	1000	16	28600	9.5	24000	20166736	3/4" & 3/8"	
2	2.5	GOODMAN	GSZ160013P	17A/30	ASPT37C14A*	1000	16	28600	9.5	24000	20166736	3/4" & 3/8"	

FAN SCHEDULE					
FAN #	CFM	MANUF.	MODEL #	VOLTS	AMPS
EP-1	50-110	PANASONIC	FV-051VQ3	120	0.27

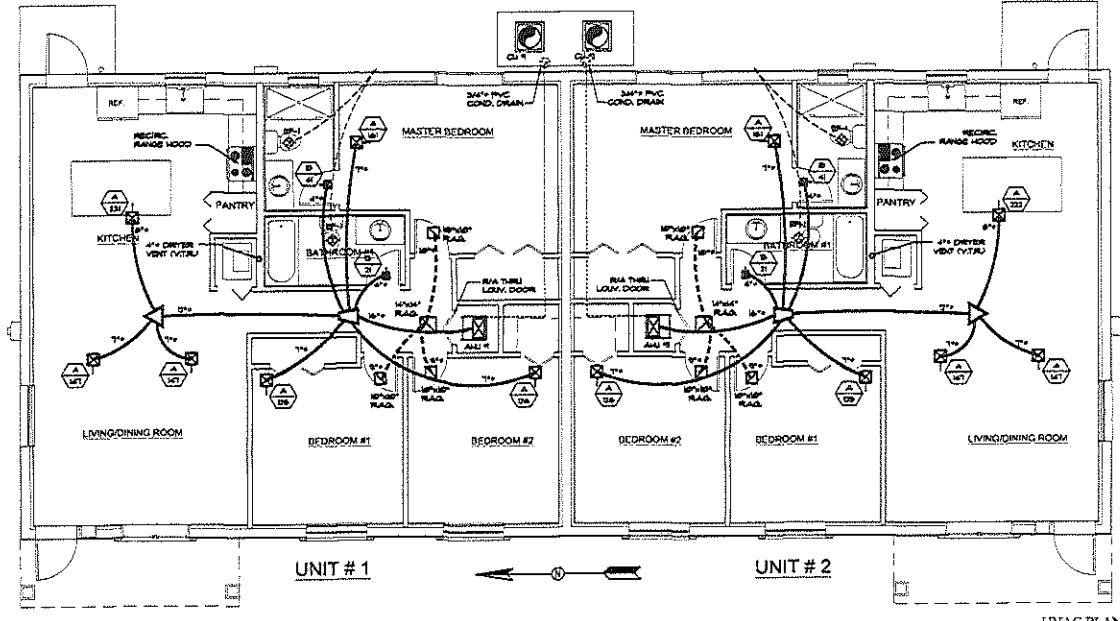
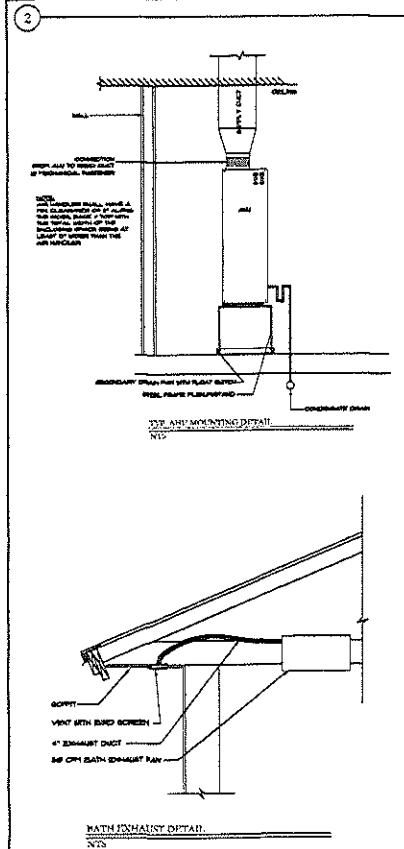
- 19x10 SUPPLY GRILLE
 - 6x6 SUPPLY GRILLE
 - RETURN AIR DUCT
 - SUPPLY AIR DUCT
 - 4" Ø FLEX DUCT
 - 3/4" PVC DRAIN LINE
- NOTE: THE REAT LOAD CALCULATIONS FOR THIS PROJECT WERE CALCULATED USING THE FOLLOWING GLAZING PENETRATION DATA: U:1.01 SHGC:0.48



EQUIPMENT SCHEDULE & LEGEND

- PROVIDE & INSTALL A FILTERED RE-CIRCULATION INCLUDING, BUT NOT LIMITED TO AIR HANDLING UNIT, A/C COMPRESSOR, DUCTWORK AND AIR OUTLETS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED.
- MECHANICAL EQUIPMENT & FITTINGS SHALL BE PROVIDED AS SHOWN ON THE DRAWINGS. WORK SHALL INCLUDE TRIM AND RELATED CONSTRUCTION AS REQUIRED.
- PROVIDE UNDISTURBED, WELL TRAINED WORKERS COMPETENT TO COMPLETE THE WORK AS SPECIFIED.
- UNLESS APPROVED BY THE DESIGNER, PROVIDE RELATED PRODUCTS AND ACCESSORIES FROM ONE MANUFACTURER.
- ALL WORK SHALL COMPLY WITH MANUFACTURER'S SPECIFICATIONS.
- SUB-CONTRACTOR SHALL PROVIDE COPIES OF MANUFACTURER'S INSTALLATION, MAINTENANCE & WARRANTY INFORMATION.
- DELIVER, STORE & TRANSPORT MATERIALS TO AVOID DAMAGE TO THE PRODUCT AND OTHER WORK. REJECT ANY DAMAGED PRODUCTS DELIVERED TO JOB SITE.
- VERIFY LAYOUT AND C.P.M. REQUIREMENTS SHOWN ON DRAWINGS AND NOTIFY DESIGNER OF DISCREPANCIES.
- EXAMINE AND VERIFY THAT JOB CONDITIONS ARE SATISFACTORY FOR ACCEPTABLE WORK.
- MAINTAIN AND USE UP-TO-DATE TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES.
- DUCTWORK SHALL BE 1/2" MINIMUM D POINTS PER CUBIC FOOT DENSITY FIBERGLASS WITH VAPOR BARRIER IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS. DUCTWORK AND COMPONENTS SHALL BE CLASS 1 IN ACCORDANCE WITH 181 TESTS.
- DUCT SHALL BE CLASS 0 OR 1 IN ACCORDANCE WITH SMNA STANDARDS 90A OR 90B AND FRC 3605.4 - METALLIC DUCTS SHALL BE CONSTRUCTED AS SPECIFIED IN THE SMACNA HVAC DUCT CONSTRUCTION STANDARDS-METAL AND FLEXIBLE. ALL DUCTS SHALL BE INSTALLED STRICTLY AS DIRECTED BY MANUFACTURER. FLEXIBLE DUCTS SHALL BE WITHOUT SAGS OR KINKS. MANUFACTURER'S INSTRUCTIONS SHALL BE AVAILABLE UPON REQUEST BY BUILDING OFFICIAL.
- REFRIGERANT PIPING SHALL BE COPPER, HAND DRAWN TYPE L ACR TYP, DEHYDRATED AND SEALED JOINTS TO BE HIGH TEMPERATURE BRAZING ALLOY NOT LESS THAN 95% SILVER.
- REFRIGERANT SUCTION LINE TO BE INSULATED WITH INSULATION HAVING A THERMAL RESISTIVITY OF AT LEAST R-4 AND HAVING AN EXTERNAL PERFORMANCE NOT EXCEEDING 0.05 PER PWH TESTED IN ACCORDANCE WITH ASTM E-817 FRCR-M1414 AND SHALL BE COATED WITH UV PROTECTIVE PAINT WHERE EXPOSED.
- LIQUID AND SUCTION LINES TO BE SIZED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- PROVIDE GASKETS AT ALL GRILLES AND DISPIERSERS.
- DRYER VENT SHALL BE MIN. 26 GAUGE METAL PIPE WITH SMOOTH INTERIOR SURFACE OR APPROVED METAL MATERIAL AND INSTALLED AND UTILIZED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND FRC 3042. MINIMUM SIZE OF EXHAUST DUCT SHALL BE 4" INTERIOR DIMENSIONS. MAXIMUM LENGTH SHALL NOT EXCEED 20' FROM DRYER LOCATION TO WALL, ROOF CAP OR ENGINEERED EXHAUST SYSTEM WITH BACK DRAFT DAMPER.
- BALANCED AIR RETURN - RETURN AIR SHALL BE 1/2 TIMES THE GROSS SECTIONAL AREA (50 INCHES) OF THE SUPPLY DUCT ENTERING THE ROOM ITS SERVING & THE DOOR HAVING UNRESTRICTED 1" UNDERCUT. ALL SUPPLY AIR INTO THE MASTER SUITE SHALL BE INCLUDED.
- SIZING FOR THE WALL TRANSFER GRILLES SHALL USE 50 SQUARE INCHES TO 10 CFM OF SUPPLY AIR WITH UNRESTRICTED 1" DOOR UNDERCUT.
- DUCTS SHALL NOT BE INSTALLED IN OR WITHIN 6" OF THE GROUND.
- BATH EXHAUST SHALL BE CONSTRUCTED OF METAL AND TERMINATE TO THE EXTERIOR OF THE BUILDING IN ACCORDANCE WITH FRC-M 61.21. DRYER VENT MIN. 4" GALVANIZED METAL DUCT BE LISTED AND BE LABEL AND CONSTRUCTED AS PER FRC 3046 AND VENTED TO THE EXTERIOR WITH BACK DRAFT DAMPER AS 3046.46 AC SHALL BE IN COMPLIANCE WITH FRC RESIDENTIAL 70-2020 EDITION.
- AHU UNITS SHALL HAVE A DRAIN PAN WITH OVERFLOW SHUT OFF SWITCH OR OTHER APPROVED MEANS OF SECONDARY CONDENSATE DRAINAGE.
- MECHANICAL EQUIPMENT AND APPLIANCES SHALL BE LOCATED AT OR ABOVE THE ELEVATION OF SECTION 10.2.4 CONDENSATE DRAIN LINES SHALL DISCHARGE AT LEAST 1 FOOT (25.4CM) AWAY FROM THE STRUCTURE SIDEWALL, WHETHER BY UNDERGROUND PIPING, TALL EXTENSIONS OR SPLASH BLOCKS, AS PER 2020 FRC-R34.8.
- ALL ENVIRONMENTAL AIR EXHAUST SHALL TERMINATE NOT LESS THAN 3 FEET FROM OPERABLE OPENINGS AS PER 2020 FRC 601.2.
- RETURN AIR OPENINGS SHALL NOT BE LOCATED LESS THAN 18" IN ANY DIRECTION FROM AN OPEN COMBUSTION CHAMBER OR DRAFT HOOD OF ANOTHER APPLIANCE LOCATED IN THE SAME ROOM OR SPACE PER FRC 601.5.
- WHOLE HOME MECHANICAL VENTILATION OPTION REQUIRED, SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE M1507.3.10 FRC-2020.
- FOR AIR HANDLING UNITS INSTALLED IN ATTIC, POST NOTICE TO HOMEOWNER ON ELECTRICAL SERVICE PANEL PER ITEM 4 UNDER FRC 6 845.3.4.
- THIS PROJECT IS SUBJECT TO AN ENVELOPE LEAKAGE TEST PER 845.4.2, FRC ENERGY CODE.

GENERAL HVAC NOTES



HVAC PLAN

DESIGN DATE

DATE: 04-27-2022
 DESIGNER: DMV
 DRAWN BY: DM
 PLAN REVIEW:

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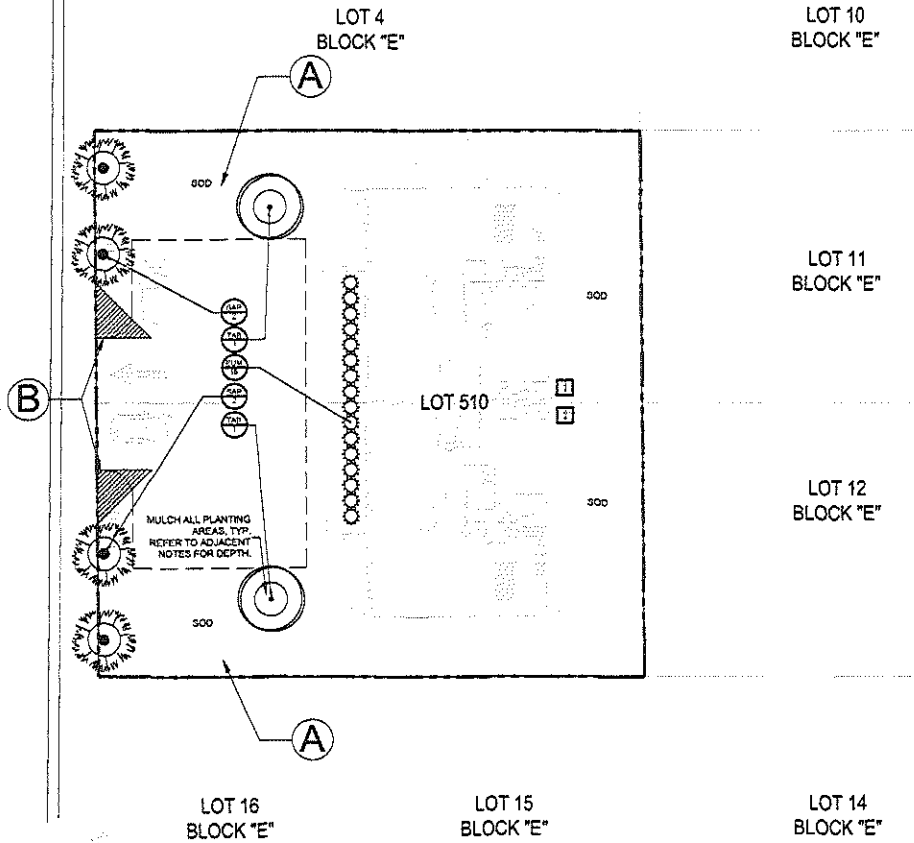
MECHANICAL

M-00

ARA ENGINEERING, INC.
 Mechanical, Electrical, Plumbing
 7416 NW 15 TH TERRACE
 Parkland, Florida 3306
 Telephone: 813.941.4114 Fax: 813.941.0011
 Email: arae@araeng.com www.araeng.com
 CA 36612

510 DUNDAS COURT
 FT. PIERCE, FL 34951

DUNDAS STREET | DUNDAS COURT



PERVIOUS & IMPERVIOUS AREA	
TOTAL LOT AREA	= 10,000 S.F.
PERVIOUS AREA (GREEN)	= 25% OF TOTAL LOT AREA SHALL HAVE NO LESS THAN = 2,500 S.F.
IMPERVIOUS AREA (CONCRETE)	= 75% OF TOTAL LOT AREA SHALL NO MORE THAN = 7,500 S.F.
ACTUAL:	
TOTAL PERVIOUS ARCA (GREEN)	= 4,154 S.F. (42%)
TOTAL IMPERVIOUS AREA (CONCRETE)	= 5,846 S. F. (58%)

REFER TO SHEET L1.10 FOR PLANT QUANTITIES & SIZES

CITY OF FORT PIERCE LANDSCAPING - DIVISION 2

SINGLE FAMILY & TWO FAMILY DWELLING UNITS

1. A minimum of four (4) trees must exist or be planted on each developed lot where either a single-family residence or two-family residence is the principal structure.
2. Residential lots must either be fully grass-covered or provided with a combination of grass cover and landscape for the entire ground area, except for impervious areas.
3. Public right-of-way which abuts property on which either a single family or two family residence is the principal structure must be seeded to the back of the curb or edge of the pavement.
4. Trees shall be planted, either on the public right of way or land adjacent to the public right of way so as to serve as shade for sidewalks and contribute to the streetscape design of the adjoining roadway.

General Landscaping Requirements

1. Plant materials shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2", State of Florida, Department of Agriculture, Tallahassee.
2. All trees required shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection.
3. Grass sod shall be clean and free of weeds, pests and diseases.
4. Trees:
 - Minimum Size: 2-1/2" DBH X Twelve (12) feet height X 5'-0" Spd.
 - 5'-0" of Clear Trunk (DBH is measured 4-1/2' above ground level).
- Palms:
 - Minimum Size: 10'-0" CT (Clear-trunk height).
- Shrubs:
 - Minimum Size: 24" height at time of planting.
- Hedges:
 - Minimum Size: 36" height, continuous, unbroken, solid, visual screen.
- Groundcovers:
 - Planted to achieve coverage within 12 months after planting.
5. Tree species shall also be a variety that will have a minimum crown spread and height of 10'-0" at maturity. Three (3) palms may be substituted for one tree.
6. Palms are limited to 50% of the total trees required.
7. Root Barriers: A root barrier system is required for trees planted within 12'-0" of any "public works". Interior dimensions of such system shall be 10'-0" larger X 5'-0" deep. Root Barrier Types: 6" thick concrete with fiber mesh or an acceptable root barrier product.
8. Soil: All landscaped areas shall consist of existing soil mixed with fifty (50) percent recycled top soil. Such soil shall be free of debris, rocks, clay, stones, plants or other foreign materials. Verification of compliance with these soil requirements shall occur as part of the final inspection. Final inspection of required landscape prior to issuance of the certificate of occupancy shall include PH testing to verify compatibility with permitted plantings.
9. Mulch: Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf or 2" of organic mulch. Do not place any mulch over the root ball.
10. Trees which are balled and burlapped must have the burlap removed and folded down at the time of the planting. All twine or rope must be removed. If wire baskets are used, the upper rows must be cut before planting.
11. Planting Techniques: Remove all soil from above the root flare and plant the tree so the top of the root ball is ten (10) percent above the adjacent landscape soil.
12. Stakes & Guying: Guywires must be covered with a protective material where it is in contact with the tree. All stakes and guying materials shall be removed after one year.

CODE REQUIREMENTS / PROVISIONS

SECTION 22-18(7) - INTERIOR VEHICULAR USE AREA:

- REQUIRED:**
1. 2,076 SF OF VEHICULAR USE AREA / 16 SP = 139 SF OF LANDSCAPE AREA PER LOT.
 2. ONE (1) TREE PER 100 SF OF REQUIRED LANDSCAPED AREA: TWO (2) TREES REQUIRED OR (8) PALMS @ 3:1 RATIO.
 3. REMAINDER OF AREA TO BE PLANTED WITH GRASS, GROUND COVER OR OTHER LANDSCAPE TREATMENT.

- PROVIDED:**
1. 10' SF X 16'-0" WIDE WITH CURBING ON ALL SIDES.
 2. 2 TREES PROVIDED.
 3. GRASS PROVIDED.

SECTION 22-43 - CLEAR VISION AREAS:

- REQUIRED:**
1. NO PLANTING, FENCE OR TEMPORARY, OR PERMANENT OBSTRUCTION EXCEEDING TWENTY (24) INCHES IN HEIGHT MEASURED FROM THE TOP OF CURB
 2. TREE BRANCS OR FOLIAGE BELOW 8'-0" IN HEIGHT

SHEET KEY & NOTES:



PROJECT NAME	DUNDAS COURT - RESIDENTIAL DUPLEX
PROJECT ADDRESS	816 DUNDAS COURT, FT. PIERCE, FLORIDA
PROJECT NUMBER	LANDSCAPE PLAN
SCALE:	AS SHOWN
DATE:	07.05.2022
DESIGNER:	DAR

LANDSCAPE ARCHITECT
DANIEL A. ROGERS, FLA
66566

JULY 05, 2022

L-1.01

FPRA Regular Meeting**7. b.****Meeting Date:** April 11, 2023**Re:** Surplus Property RFP - 2023-017 for 612 N 25th Street**Submitted For:** Shyanne Harnage, Economic Development Manager, City Manager

SUBJECT:

Approval to award RFP No. 2023-017 for Sale of Surplus Property at 612 N 25th Street, identified by Parcel ID: 2404-710-0067-000-3, to the highest ranked responder, Larry Lee Jr. & Family, LLC

SUMMARY:

The Fort Pierce Redevelopment Agency (FPRA) is the owner of real property located at 612 N. 25th Street, identified by Parcel ID: 2404-710-0067-000-3, with a legal description of: ELDORADO S/D BLK 3 LOT 11-LESS W5 FT- (OR 2868-1582).

The property was declared surplus by the FPRA on January 16, 2018.

Request for Proposal (RFP) number 2023-017 was issued on January 30, 2023. The invitation was sent to 508 vendors. Eight (8) vendors requested specifications with two (2) responding.

City staff evaluated the responses in accordance with the information detailed in Section III – Statement of Work pg. 12, Evaluation Criteria. The committee reviewed and scored the responses with respect to Preliminary Development Plan, Timeline, Construction Cost Estimates, Financial Ability, Property Utilization and Summary of Development. The cumulative are attached.

In accordance with the Policy for Disposition of FPRA- owned property, the CRA Advisory Committee reviewed the request and forwarded a recommendation to the FPRA Board for approval of the sale of real property located at 612 N. 25th Street, identified by Parcel ID: 2404-710-0067-000-3, with a legal description of: ELDORADO S/D BLK 3 LOT 11-LESS W5 FT- (OR 2868-1582) to Larry Lee Jr. & Family, LLC.

RECOMMENDATION:

Award bid to highest ranked respondent, Larry Lee Jr. & Family, LLC.

ALTERNATIVES:

Issue a new bid

RESPONSIBLE STAFF:

Miriam Garcia, Redevelopment Specialist

COORDINATED WITH:

Purchasing Division
Shyanne Harnage, Economic Development Manager


Attachments

Bid Document 23-017
Cumulative Evaluation Sheet 2023-017
Allecia Dixon
Larry Lee Jr. & Family LLC

DELIVER TO:
 City of Fort Pierce, Purchasing Division
 Room 101
 100 North U.S. #1
 Fort Pierce, FL 34950

MAIL TO:
 City of Fort Pierce Purchasing Division,
 Room 101
 P.O. Box 1480
 Fort Pierce, FL 34954-1480

CITY OF FORT PIERCE



**INVITATION TO BID
 and
 BIDDER ACKNOWLEDGMENT**

Bid Writer: Latonya Hubbard, (772) 467-3102

Bid No: 2023-017

Mandatory Site-Visit:
 N/A

Bid Title: DISPOSITION OF FPRA SURPLUS PROPERTIES – 612 NORTH 25TH STREET

Mandatory Site-Visit Location:
 N/A

Bid Opening Location:
 Purchasing Division Conference Room, Room 101
 100 North U.S. #1, 1st Floor
 Ft. Pierce, Florida 34950

Bid Due Date & Time
 3:30PM, WEDNESDAY, FEBRUARY 22, 2023

If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.

Bidder Name:

Mailing Address:

I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.

X _____
 Authorized Signature (Manual)

City, State, Zip Code:

Typed or Printed Name:

Type of Entity (Select one):
 Corporation _____
 Partnership _____
 Proprietorship _____

Title:

Incorporated in the State of: _____ **Year:** _____

Delivery in _____ **days, After Receipt Order**

Phone Number:

Payment Terms:

Fax Number:

FEIN or SS Number:

E-Mail Address:

Local Business: ___Y ___N **MWBE:** ___Y ___N

Bid Security is attached, when required, in the amount of \$ _____
 F.O.B. DESTINATION

If returning as a “No Bid” state reason:

THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID

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SECTION I

GENERAL CONDITIONS, INSTRUCTIONS, AND INFORMATION FOR PROPOSERS

1. GENERAL INFORMATION

These documents constitute the complete set of specification requirements and bid forms. All bid sheets and attachments must be executed and submitted in a sealed envelope. **DO NOT INCLUDE MORE THAN ONE BID PER ENVELOPE (CLEARLY MARK BID AS “ORIGINAL” AND REQUESTED NUMBER OF COPIES AS “COPY” ON EACH SET ENCLOSED).** The face to the envelope shall contain Bidder’s name, return address, the date and time of Bid opening, the bid number and title. Bids not submitted on the enclosed Bid Form shall be rejected. By submitting a bid, the Bidder agrees to be subject to all terms and conditions specified herein. No exceptions to the terms and conditions shall be allowed. Bidders shall submit two (2) complete sets (one [1] original and one [1] electronic copy (PDF) on a Flash Drive) of their bid complete with all supporting documentation. **SUBMITTAL OF A BID IN RESPONSE TO THIS INVITATION TO BID CONSTITUTES AN OFFER BY THE BIDDER.** Bids, which do not comply with the requirements, may be rejected at the option of the City.

2. DELAYS

The City, at its sole discretion, may delay the scheduled due dates indicated above if it is to the advantage of the City to do so. The City will notify proposers of all changes in scheduled due dates by written addendum.

3. EXECUTION OF BID

Bid must contain a manual signature, in ink, of an authorized representative who has the legal ability to bind the Bidder in contractual obligations in the space provided on Page 1 of Bidder/Bid Acknowledgment and on the Bid Response Form. FAILURE TO PROPERLY SIGN THE BID SHALL INVALIDATE SAME, AND IT SHALL NOT BE CONSIDERED FOR AN AWARD. Bids must be typed or legibly printed in ink. All corrections made by Bidder to any part of the bid document must be initialed in ink. The original bid conditions and specifications cannot be changed or altered in any way. Altered bids will not be considered. Clarification of bids submitted shall be in letter form, signed by bidders and attached to the bid.

4. NO RESPONSE

If not submitting a bid, respond by returning only the Proposer acknowledgment form, marking it “No Bid,” and give the reason in the space provided.

5. BID OPENING

Shall be public, at the address, date, and time specified on the bidder Acknowledgment form. The bid time must be and shall be scrupulously observed. Under no circumstances shall bids delivered after the time specified be considered; such bids will be returned unopened. The City will not be responsible for late deliveries or delayed mail. The time/date stamp clock located in the Purchasing Department shall serve as the official authority to determine lateness of any bid. It is the Bidders sole responsibility to assure that his/her bid is complete and delivered at the proper time and place of the bid opening.

Bids, which for any reason are not so delivered, will not be considered. Offers by facsimile, telegram, or telephone are not acceptable. A bid may NOT be altered by the Bidder after opening of the bids. Bid tabulations will be furnished on the City's web site: <https://www.cityoffortpierce.com> and Demandstar <https://www.demandstar.com>.

6. TAXES

The City is exempt from Federal Excise and State Sales Taxes on direct purchases of tangible personal property. The City exemption number is on the face of the Purchase Order. If requested, the Purchasing Director will provide an exemption certificate to the awarded Proposer. Vendors or contractors doing business with the City shall not be exempt from paying sales tax to their suppliers for materials to fulfill contractual obligations with the City Tax Exemption Number in securing such materials. This exemption does not apply to purchases of tangible personal property in the performance of contracts for the City.

7. DISCOUNTS

Cash discounts for prompt payment shall not be considered in determining the lowest net cost for bid evaluation purposes.

8. MISTAKES

- a. Bidders are expected to examine the specifications, delivery schedule, bid prices, extensions and all instructions pertaining to supplies and services. **FAILURE TO DO SO WILL BE AT BIDDER'S RISK.** In the event of extension error(s), the unit price will prevail and the Bidder's total offer will be corrected accordingly.
- b. Written amounts shall take precedence over numerical amounts. In the event of addition error(s), the unit price and extension thereof will prevail and the Bidder's total offer will be corrected accordingly. Bids having erasures or corrections must be initialed in ink by the Bidder.

9. INVOICING AND PAYMENT

Payment for any and all invoice(s) that may arise as a result of a contract or purchase order issued pursuant to this bid specification shall minimally meet the following conditions to be considered as a valid payment request:

- a. A timely submission of a properly certified invoice(s), in strict accordance with the price(s) and delivery elements as stipulated in the contract or purchase order document, and to be submitted to the Finance Department at the address as stipulated on the Purchase Order.
- b. All invoices submitted shall consist of an original and one (1) copy; clearly reference the subject contract or purchase order number; provide a sufficient salient description to identify goods or service for which payment is requested; contain date of delivery; bid number, original or legible copy of signed delivery receipt including both a manual signature and printed name of a designated City employee or authorized agent; be clearly marked as "partial", "complete", or "final" invoice. The City will accept partial deliveries unless otherwise specified into contract or purchase order document.

- c. The invoice shall contain the Bidder's Federal Employer Identification Number (F.E.I.N.).

10. DELIVERY

Unless actual date is specified (or if specified delivery cannot be met), show number of days required to make delivery after receipt of purchase order or contract in space provided. Delivery time may be a basis for making of award. Delivery shall be during the normal working hours of the user department, Monday through Friday, unless otherwise specified and incorporated into contract or purchase order document. Delivery shall be to the location specified in the bid specifications.

11. ADDITIONAL TERMS AND CONDITIONS

No additional terms and conditions included with the bid response shall be evaluated or considered. Any and all such additional terms and conditions shall have no force and effect and are inapplicable to this bid if submitted either purposely through intent or design, or inadvertently appearing separately in transmittal letters, specifications, literature, price lists or warranties. It is understood and agreed that the general and/or any special conditions in these Bid Documents are the only conditions applicable to this bid and the Bidder's authorized signature on the Bid Form attests to this.

12. INTERPRETATION

All Bidders shall carefully examine the Bid Documents. Any ambiguities or inconsistencies shall be brought to the attention of the City in writing prior to the opening of Bids; failure to do so, on the part of the bidder, will constitute an acceptance by the Bidder of any subsequent decision. Any questions concerning the intent, meaning, and interpretation of the Bid Documents shall be requested in writing, and received by the City at least seven (7) days prior to the Bid Opening. Inquiries shall be addressed to the attention of the Contact person as indicated on Page 9. No person is authorized to give oral interpretations of, or make oral changes to, the bid. Therefore, oral statements given before the bid opening will not be binding. Any interpretation of or changes to the bid will be made in the form of a written Addendum to the bid and will be furnished to all Bidders. Receipt of all addenda shall be acknowledged by the Bidders by signing and enclosing said addenda with their bid. The City will record its responses to inquiries and any supplemental instructions in the form of a written addendum. The City will send a written addendum to all Bidders who requested a bid directly from the City Purchasing Department. All proposers should contact the City at least seven (7) calendar days before the bid opening date to ascertain whether any addendums have been issued. Failure to do so could result in rejection of the bid as unresponsive. The City shall not be responsible for providing said addendum to proposers who receive bid packages from other sources.

13. ADDENDUM

Should revisions to the Bid Documents become necessary, the City will provide a written addendum to all proposers who received a bid package from the City Purchasing Department. Bidders who obtain Bid Documents from other sources must officially register with the City Purchasing Department in order to be placed on the mailing list for any forthcoming addendum or their official communications. Failure to register as a prospective Bidder may cause your bid to be rejected as non-responsive if you have failed to submit a bid without an addendum acknowledgment for the most current addendum. Previous addenda are deemed received when

a subsequent addendum is acknowledged. It is the Bidder's responsibility to contact the City in the event that a previous addendum is not received. Latest addendum shall be signed and returned with the bid as acknowledgment of addendum.

14. DISPUTES

Any Bidder who disputes the bid selection or contract award recommendation shall file such dispute according to the bid protest procedures. These procedures are available upon request from the City.

15. CONFLICT OF INTEREST

All bidders must disclose with their bid the name of any officer, director, or agent who is also an employee of the City. All Bidders must disclose the name of any City employee who owns, directly or indirectly, an interest of five percent (5%) or more in the Bidder's firm or any of its branches.

16. LEGAL REQUIREMENTS

Bidders are required to comply with all provisions of Federal, State, County and local laws and ordinances, rules and regulations, that are applicable to the items being bid. Lack of knowledge by the bidder shall in no way be a cause for relief from responsibility or constitute a cognizable defense against the legal effect thereof.

17. DRUG-FREE WORK PLACE (DFW)

Preference shall be given to business with Drug-Free Work Place (DFW) Programs. Whenever two or more bids which are equal with respect to price, quality, and service are received by the City for the procurement of commodities or contractual services, a bid received from a business that completes the attached DFW form certifying that it is a DFW shall be given preference in the award process.

18. MINORITY/WOMEN OWNED BUSINESS ENTERPRISE (MWBE)

Minority/Women Owned Business Enterprise (MWBE) indicates a business entity which is owned and operated by a minority. In this instance, minority group members are citizens of the United States or lawfully admitted permanent residents who are Black, Hispanics, Women, Native Americans, Asian-Pacific, Asian-Indian, and eligible others. An MWBE wishing to participate in the City procurement process may contact the Purchasing Department for information and assistance.

19. PUBLIC ENTITY CRIMES

No award will be executed with any person or affiliate identified on the Department of Management Services "convicted vendor" list. This list is defined as consisting of persons and affiliates who are disqualified from public contracting and purchasing process because they have been found guilty of a public entity crime. No public entity shall award any contract to, or transact any business in excess of the threshold amount provided in Section 287.017, Florida Statutes for Category Two (currently \$10,000.00) with any person or affiliated on the "convicted vendor" list for a period of thirty-six (36) months from the date that person or affiliate was placed on the "convicted vendor" list unless that person or affiliate has been removed from the list pursuant to Section 287.133(3)(f) Florida Statutes

20. AWARD

As the best interest of the City may require, the right is reserved to make award(s) by individual item, group of items, "All or None", or a combination thereof; with one or more suppliers; to reject any or all bids, or waive any minor irregularity or technicality in bids received, and may, at its sole discretion, request a rebid. Bidders are cautioned to make no assumption until the City has entered into a contract or issued a purchase order.

21. EEO STATEMENT

The City is committed to assuring equal opportunity in the award of contracts, and therefore complies with all laws prohibiting discrimination on the basis of race, color, religion, national origin, age or sex.

22. CONTRACTUAL AGREEMENT

The terms, conditions, and provisions in this Invitation to Bid shall be included and incorporated in any final contract or purchase order. The order of precedence will be Bid Document and response, purchase order or contract, and general law. Any and all legal action necessary to enforce a contract or purchase order will be interpreted according to the laws of Florida. The venue shall be Fort Pierce, Florida.

23. GOVERNMENTAL RESTRICTION

In the event that any governmental restrictions are imposed which would necessitate alteration of the material quality, workmanship or performance of the items offered on this bid prior to their delivery, it shall be the responsibility of the Bidder to notify the Purchasing Department at once, indicating in his/her letter the specific regulation which required an alteration, including any price adjustments occasioned thereby. The City reserves the right to accept such alteration or to cancel the contract or purchase order at no further expense to the City.

24. PATENTS AND ROYALTIES

The Bidder, without exemption, shall indemnify and save harmless, the City, its employees and/or any of its Commission/Board from liability of any nature or kind, including cost and expenses for or on account of any copyrighted, patented, or unpatented invention, process, or item manufactured by the Bidder. Further, if such claim is made, or is pending, the Bidder may, at its option and expense, procure for the City the right to use, replace or modify the item to render it non-infringing. If none of the alternatives are reasonably available, the City agrees to return the article on request to the Bidder and receive reimbursement. If the Bidder used any design, device, or materials covered by letters, patent or copyright, it is mutually agreed and understood, without exception, that the bid prices shall include all royalties or cost arising from the use of such design, device, or materials in any way involved in the work.

25. ADVERTISING

In submitting a bid, Bidder agrees not to use the results therefrom as a part of any commercial advertising, without the express written approval, by the appropriate level of authority within the City.

26. ASSIGNMENT

Any purchase order or contract issued pursuant to this Invitation to Bid and the monies which may become due hereunder are not assignable except with the prior written approval of the City, through the Purchasing Department.

27. COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH

Bidder certifies that all material, equipment, etc., contained in his/her bid meets all applicable O.S.H.A. requirements. Bidder further certifies that, if he/she is the successful Bidder, and the material, equipment, etc., delivered is subsequently found to be defective in applicable O.S.H.A. requirement in effect on the date of delivery, all costs necessary to comply with the requirements shall be borne by the Bidder.

28. FACILITIES

The City reserves the right to inspect the Bidder's facilities at any reasonable time, during normal working hours, with prior notice to determine that Bidder has a bona fide place of business, and is a responsible Bidder.

29. REPRESENTATION

A Bidder must have at the time of bid opening, a manufacturing plant in operation, or be a fully authorized agent or representative of the product bid, and capable of producing or providing the items bid, and so certify upon request.

30. DISQUALIFICATION OF BIDDER

More than one bid from an individual, firm, partnership, corporation, or association under the same or different names will not be considered. Reasonable grounds for believing that a Bidder is involved in more than one bid submittal will be cause for rejection of all bids in which such Bidders are believed to be involved. Any or all bids will be rejected if there is reason to believe that collusion exists between Bidders Bids in which the prices obviously are unbalanced will be subject to rejection.

31. ADJUSTMENTS/CHANGES/DEVIATIONS

No adjustments, changes or deviations shall be accepted on any item unless conditions or specifications of a bid expressly so provide. Any other adjustments, changes or deviations shall require prior written approval, and shall be binding ONLY if issued by the City's Purchasing Department. The Bidder shall bear sole responsibility for any and all costs of claims arising from any adjustments, changes or deviations not properly executed as required herein.

32. INSURANCE

The awarded Bidder(s) shall maintain insurance coverage reflecting the minimum amounts and conditions specified in the attached specifications or the Special Terms and Conditions. In the event the proposer is a governmental entity or a self-insured organization, different requirements may apply. Misrepresentation of any material fact, whether intentional or not, regarding the Bidder's insurance coverage, policies or capabilities may be grounds for rejection of the bid and rescission of any ensuing contract.

33. PUBLIC RECORDS

Sealed bids, bids, or replies received by an agency pursuant to a competitive solicitation are exempt from § 119.07(1) and s. 24(a), Art. I of the State Constitution until such time as the agency provides notice of an intended decision or until 30 days after opening the bids, bids, or final replies, whichever is earlier.

34. BID PREPARATION COSTS

Neither the City nor its representatives shall be liable for any expenses incurred in connection with preparation of a response to this Invitation to Bid. Bidders should prepare their bids simply and economically, providing all information and prices as required.

35. COOPERATIVE PURCHASING

Any governmental purchasing authority may participate in this purchase for services and commodities from this successful award.

36. CANCELLATION

This request may be cancelled and any response, bid or bid may be rejected in whole or in part at any time for good cause when in the best interest of the City and /or the Fort Pierce Redevelopment Agency. Section 2-63(a)(7) of the City Code.

ANY AND ALL SPECIAL TERMS AND CONDITIONS, TECHNICAL REQUIREMENTS, SCOPE OF WORK OR SPECIFICATIONS ATTACHED HERETO WHICH VARY FROM THESE GENERAL CONDITIONS SHALL HAVE PRECEDENCE.

SECTION II

INSTRUCTIONS TO BIDDERS

1. **BID OPENING DATE**

Bids are due on or before **3:30 PM, WEDNESDAY, FEBRUARY 22, 2023**

2. **DELIVERY OF BIDS**

Bid response may be submitted in hard copy or electronically. Please see below instructions for submitting your bid response.

HARD COPY SUBMISSIONS

One (1) original and one (1) copy of sealed BIDS. DO NOT USE RINGED BINDERS OF ANY KIND. All copies will be on 8 ½" x 11" plain, white paper, typed or printed, and signed by the Bidder's contractually binding authority and shall be mailed or delivered to:

Delivery Address:

**City of Fort Pierce
Attn: Purchasing Division,
Room 101
100 North U.S. #1
Fort Pierce, FL 34950**

Mailing Address:

**City of Fort Pierce
Attn: Purchasing Division,
Room 101
P.O. Box 1480
Fort Pierce, FL 34954-1480**

OPTIONS FOR ELECTRONIC SUBMISSIONS

Are as follows:

- Via Demandstar Website, (www.demandstar.com) Electronic Bid (E-Bid). Instructions are provided. Please **(see attachment)**
- By forwarding your response, pdf format to purchasing@cityoffortpierce.com no later than 3:30PM EST, February 22, 2023. **If you decide to use this submission option, your entire submission must be submitted electronically. Please do not mail hard-copies.**

NOTE: Please ensure that if a third-party carrier (Federal Express, UPS, etc.) is used, that the third party is properly instructed to deliver the Bid Submittal **only** to Room 101, in the Purchasing Division on the first (1st) floor at the above address.

Bids mailed to 100 N.US Highway 1 via the United States Postal Services (USPS) are delivered to the Post Office, not to the physical address and, therefore, may not meet the requirements of Selection 2 above. To be considered, a Bid must be received and accepted in the Purchasing Division before the Bid closing date and time.

Copies of the bid documents are available electronically from the Purchasing Division by e-mail request to purchasing@cityoffortpierce.com or on the website of Demandstar.com (www.demandstar.com) and the web site of the City of Fort Pierce (<http://www.cityoffortpierce.com/187/Purchasing>).

Any bids received after the designated time and date listed above will be returned unopened.

3. INQUIRIES/QUESTIONS

3.1 All inquiries will be in a written format and addressed to City of Fort Pierce Economic Development Manager with a copy to the Purchasing Manager:

TO

City of Fort Pierce
Miriam Garcia
Redevelopment Specialist
P. O. Box 1480
Fort Pierce, FL 34954-1480
Fax: (772) 466-5808
Email: mgarcia@cityoffortpierce.com

COPY

City of Fort Pierce
Latonya Hubbard
Purchasing Agent
P.O. Box 1480
Fort Pierce, FL 34954-1480
Fax: (772) 467-3748
Email: purchasing@cityoffortpierce.com

3.2 No inquiries will be received after, **Monday, February 15, 2023, 5:00 P.M.**

4. MINORITY PARTICIPATION AND OUTREACH PROGRAM

Describe your firm's program and/or policies in regard to minority and non-discrimination, including the firm's history of Minority and Women Owned Business Enterprise (M/WBE) participation. Include a strategy for promoting minority participation in this project and a realistic goal for participation. List references of Owners, M/WBE firms or consultants who can speak to your firm's utilization of M/WBE on previous projects.

5. PURCHASING CARD PROGRAM

5.1 The City has implemented a **Purchasing Card Program**. The selected Proposers(s) can take advantage of this program and in consideration receive payment within several days, instead of the City's policy of Net 30 Days After Receipt of Invoice (ARI). **Any percentage off the bid price for the acceptance of Visa will be considered in the bid award.** If no such percentage is given, the City shall assume 0% discount applies.

5.2 Proposers are requested to state on the Bid Response Form, if they will honor the VISA Purchasing Card. In the event of failure on the part of the Proposer to make this statement, the City shall assume the purchase or Contract price shall be governed by the Net 30 ARI (after receipt of invoice).

SECTION III

STATEMENT OF WORK

1. **OBJECTIVE**

The restoration of Fort Pierce's neighborhoods is a key strategy to revitalizing the Fort Pierce Redevelopment Area (FPRA) and City of Fort Pierce as a whole. One way to accomplish this goal is to dispose of surplus property owned by the City/FPRA. The City of Fort Pierce and Fort Pierce Redevelopment Agency sell City and FPRA-owned real property declared as surplus. Once the property has been declared as surplus by the City Commission/FPRA Board, the property shall be offered for sale to the public with a Invitation for Bids (BID).

The City of Fort Pierce and the Fort Pierce Redevelopment Agency have declared surplus and now offer for sale the following described real properties (the "Properties") owned by the City of Fort Pierce or Fort Pierce Redevelopment Agency (the "FPRA"):

- **612 N. 25th Street**

The City of Fort Pierce and the Fort Pierce Redevelopment Agency reserves the right to accept or reject any or all bides, to award bids on a split-order basis by item number when applicable, to waive any bid in formalities and to re-advertise for bids when deemed in the best interest of the City of Fort Pierce.

2. **GENERAL PROPERTY CONDITIONS**

The subject property is listed as follows:

612 N 25th Street – Parcel ID# 2404-710-0067-000-3

The subject property is located at 612 N 25th Street is in the City of Fort Pierce, Florida. The lot is rectangular in shape and consists of +/- 0.14 acres or 6,110 square feet. This property is located one of the main corridors of Fort Pierce and is close to shopping, restaurants, and beaches.

The St. Lucie County Property Appraiser property detail for 2404-710-0067-000-3 is included as Exhibit "A".

The property is zoned Medium Density Residential R-4.

3. **BID TIMELINE**

Advertise	January 30, 2023
Last Day for Inquiries /Questions	February 15, 2023; 5:00PM
Bid Due Date	February 22, 2023; 3:30PM
FPRA Board	March 2023

4. **TERMS AND CONDITIONS**

Sale of this property will be "as is" and title will be transferred via a Quit Claim Deed. The City will be conveying title to the property by Quit Claim Deed without warranty of title. The City makes no representation that the property is free and clear of all liens and encumbrances.

The sale shall be conditioned upon the offer and submittal requirements. The Bidder

will be responsible for all costs to meet code requirements, and other construction costs, if necessary. If the buyer does not commence construction within 18 months of closing, there may be a possibility of reverter. The City, at its sole option, may exercise its reversionary interest in the event the developer does not comply with the deed restrictions.

5. MANDATORY DEPOSIT

A security deposit of ten percent (10%) of the purchase price will be due from the highest ranked proposer in the form of a certified or cashier's check, payable to the City of Fort Pierce. The security deposit must be submitted within 7 calendar days of notification of highest ranked proposer. The deposit must be received prior to the recommendation of award to appropriate governing body. If the deposit is not received, the City at its sole discretion may award to the second highest ranked respondent, cancel or reissue the solicitation.

The security deposit will be returned if the bid is not accepted by the governing body within ninety (90) days. Should the bid be accepted, the deposit will be applied to the purchase cost.

6. BID SUBMITTAL REQUIREMENTS

The bid shall be submitted in a concise, organized format divided by the following three (3) tabs:

A. TAB 1: Proposer

a. Summary

- i. Developer – If you are a developer – must provide a summary of their experience in the field of property development and provide evidence that they are fully competent to develop the property. In addition, developers and/or contractors shall provide images of previous work. OR
- ii. Owner/Occupant – If you are neighboring property owner or future occupant, please provide a letter explaining why you want to purchase the property.
- iii. Financial Capacity - Proposers proof of financial ability to complete the development project including the construction. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

B. TAB 2: Development Plan

- a. Preliminary Building Plans- Preliminary building plans including elevations floor plans, facades, and landscaping.
- b. Project Timeline- Provide a project schedule identifying specific key tasks and milestones necessary to concurrently develop multiple lots and ensure projects are completed on time and within budget.
- c. Construction Budget/Cost Estimates - improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.
- d. Utilization - Will this be your primary residence? If not, what do you intend to develop the property for?

C. Required Forms

- a. Invitation to Bid Form
- b. Offer to Purchase/ Bid Response Form

7. SELECTION PROCESS/EVALUATION CRITERIA

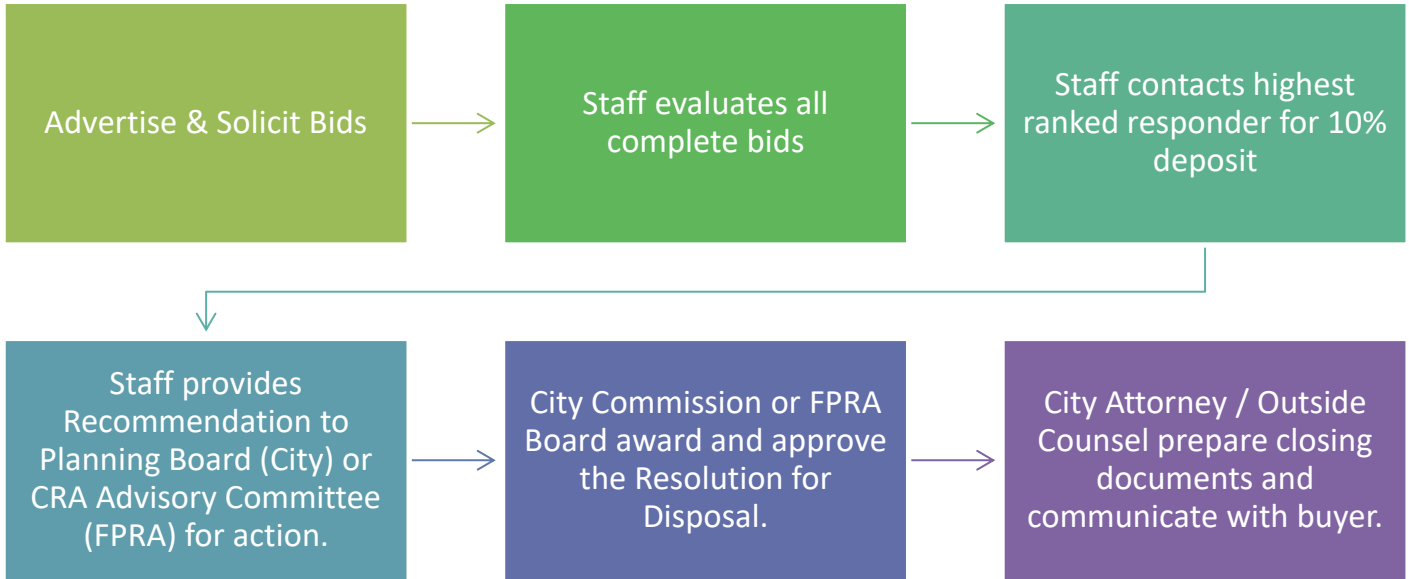
The City of Fort Pierce shall select the best responsive proposer/bid based upon the evaluation criteria, see below.

Bids will be evaluated by the City of Fort Pierce who shall be the sole judge of its own best interests, the bid itself, the qualifications of the applicant and the resulting final negotiated agreement. The city’s decisions in these matters shall be final and binding.

The City’s evaluation will include, but not limited to, consideration of the following:

SCORING/EVALUATION CRITERIA FOR ACCEPTANCE OF SUBMITTALS	POSSIBLE POINTS
Development Plan	MAX 20
Preliminary building plans including elevations, floor plans, facades, landscaping plan	20
Sketches of plans to be developed	15
Detailed description with no drawings	5
Timeline to complete the construction project	MAX 20
Within one year	20
Between 1 to 2 years	15
More than 2 years but less than 3 years	5
Construction Cost Estimates	MAX 10
Detailed cost estimate from licensed contractor	10
Proposer estimated cost with no 3 rd party backup	5
Proof of Financial Ability/Letter from Financial Institution (proof of financial ability to purchase the lot and construct)	MAX 15
Property Utilization Developed for Residential Use	MAX 20
Owner Occupied	20
Develop for Resale	15
Neighboring property owner	10
Develop as Rental Property	5
Narrative/Summary of development	MAX 15
Total Project Score	100

8. AWARD PROCESS





CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES
Bid No. 2023-017

Date: _____

I/we propose to purchase property located at: 612 NORTH 25TH STREET.

PROPOSED SUBMITTED BY:

Legal Name (s): _____

Address: _____

Day-time Phone Number: _____ Mobile Number: _____

Email: _____

INTENDED USE

I/we propose to use the property for:

Will this property be your primary residence? _____ Yes _____ No

If not above, what do you intend to develop the property for: _____ Rental _____ Resale _____ Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

_____ (Attach pages as needed)

Total value of all proposed improvements to the property: \$ _____

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$_____ for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

___Yes ___No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

___Yes ___No **Timeline to complete construction project**

___Yes ___No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

___Yes ___No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

___Yes ___No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

___Yes ___No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER’S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder’s qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder’s qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.

Bidder of Authorized Representative

Typed Name

Date

CITY OF FORT PIERCE BIDDER'S CHECKLIST

This checklist is provided to assist each Bidder in the preparation of their bid response. Included in this checklist are important requirements, which is the responsibility of each Bidder to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Bidder to read and comply with the Invitation to Bid in its entirety.

Check "Yes" or "No" to each of the following:

	YES	NO
Is the Bidder's Narrative/Summary included?	_____	_____
Is the proof of Financial Ability/Letter from financial institution included?	_____	_____
Is the Development Plan included:	_____	_____
Preliminary building plans included	_____	_____
Timeline to complete the construction project	_____	_____
Construction cost estimates included	_____	_____
Landscaping plans	_____	_____
Property development utilization	_____	_____
Is Invitation to Bid cover page (page 1) completed, signed, and attached?	_____	_____
Is the Offer to Purchase Form (pages 14 - 16) completed, signed and attached?	_____	_____
Bid envelope is marked accordingly.	_____	_____

PLEASE SIGN AND RETURN WITH BID: _____

EXHIBIT "A"

Property Information Card

612 N 25th Street

2404-710-0067-000-3



The subject property is located at 612 N 25th Street in the City of Fort Pierce, Florida. The lot is rectangular in shape and consists of +/- 0.14 acres or 6,110 square feet. This property is located one of the main corridors of Fort Pierce and is close to shopping, restaurants, and beaches.

PARCEL ID:

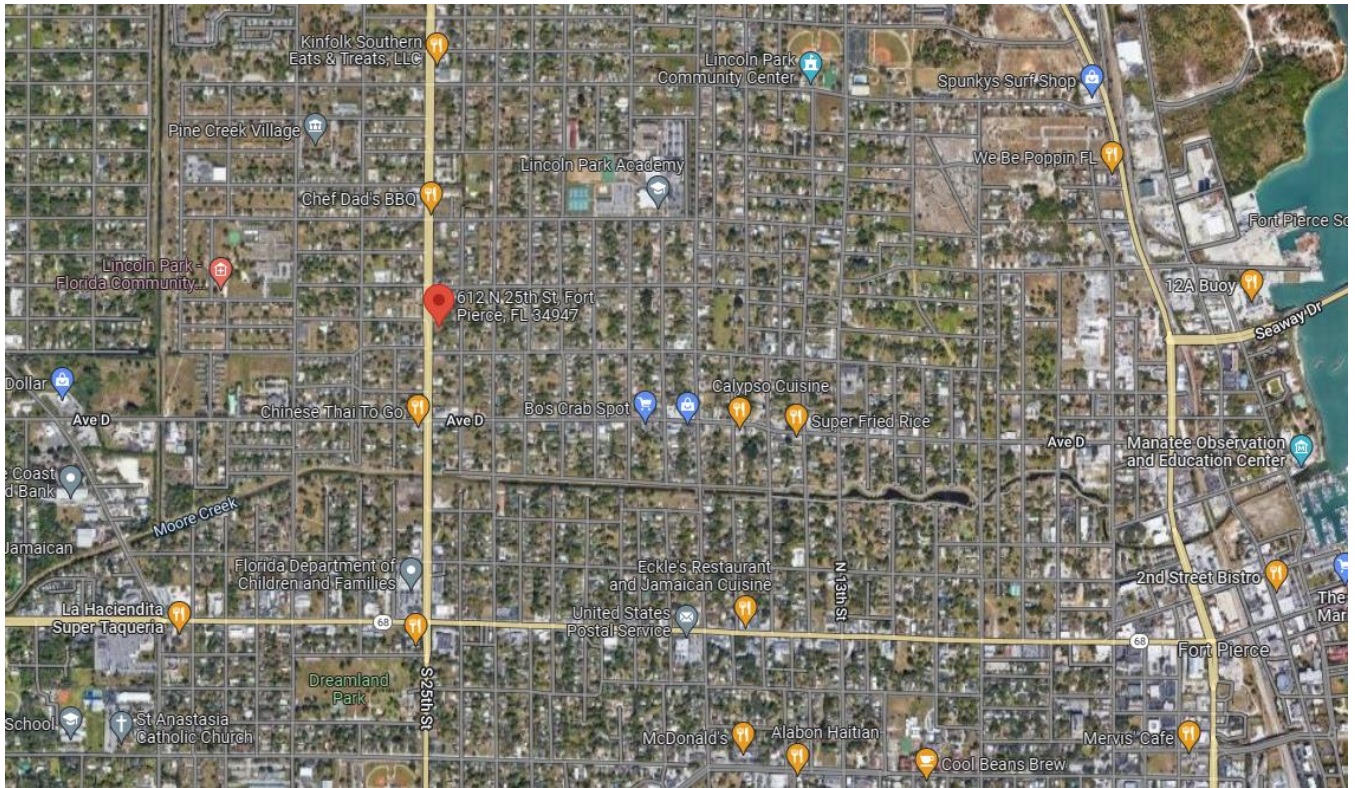
2404-710-0067-000-3

LOT SIZE:

0.14 ac or 6,110 sf

ZONING:

R4 – Medium Density Residential



**BID NO. 2023-017 - DISPOSITION OF SURPLUS PROPERTIES
612 NORTH 25TH STREET
CUMULATIVE EVALUATION SHEET**

RESPONDENTS	EVALUATOR #1	EVALUATOR #2	EVALUATOR #3	EVALUATOR #4	TOTAL
Allecia Dixon Port St. Lucie, FL	27	28	35	20	110
Larry Lee Jr. & Family, LLC Port St. Lucie, FL	75	66	75	75	291

Original

DELIVER TO:

City of Fort Pierce, Purchasing Division
Room 101
100 North U.S. #1
Fort Pierce, FL 34950

MAIL TO:

City of Fort Pierce Purchasing Division,
Room 101
P.O. Box 1480
Fort Pierce, FL 34954-1480

CITY OF FORT PIERCE



**INVITATION TO BID
and
BIDDER ACKNOWLEDGMENT**

Bid Writer: Latonya Hubbard, (772) 467-3102

Bid No: 2023-017

Mandatory Site-Visit:

N/A

Bid Title: DISPOSITION OF FPRA SURPLUS
PROPERTIES – 612 NORTH 25TH STREET

Mandatory Site-Visit Location:

N/A

Bid Opening Location:
Purchasing Division Conference Room, Room 101
100 North U.S. #1, 1st Floor
Ft. Pierce, Florida 34950

Bid Due Date & Time

3:30PM, WEDNESDAY, FEBRUARY 22, 2023

If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.

Bidder Name:

Allecia Dixon

I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.

Mailing Address:

2313 SE Avalon Rd
PSL, FL 34952

x Allecia Dixon
Authorized Signature (Manual)

City, State, Zip Code:

Typed or Printed Name:

Allecia Dixon

Type of Entity (Select one):

Corporation _____
Partnership _____
Proprietorship _____

Title:

Incorporated in the State of: _____ Year: _____

Delivery in _____ days, After Receipt Order

Phone Number: 772-260-6517

Payment Terms:

Fax Number:

FEIN or SS Number:

E-Mail Address: umjama@aol.com

Local Business: ___Y___N MWBE: ___Y___N

Bid Security is attached, when required, in the amount of \$ _____
F.O.B. DESTINATION

If returning as a "No Bid" state reason:

THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID



CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
 DISPOSITION OF CITY SURPLUS PROPERTIES
 Bid No. 2023-017

Date: 2-22-23

I/we propose to purchase property located at: **612 NORTH 25TH STREET.**

PROPOSED SUBMITTED BY:

Legal Name (s): Allecia C. Dixon
 Address: 2313 SE Avalon Rd Port St. Lucie, FL 34952
 Day-time Phone Number: _____ Mobile Number: 772-260-6517
 Email: umjama@aol.com

INTENDED USE

I/we propose to use the property for:

My purpose the use of this parcel to build a ADU unit for affordable housing

Will this property be your primary residence? _____ Yes No

If not above, what do you intend to develop the property for: Rental _____ Resale _____ Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

The current market for affordable housing has surpass the majority of the residents of Fort Pierce. I am looking to make it so individuals would be able to still reside in the hometown at a affordable rate in the low \$800 with building ADU.

(Attach pages as needed)

Total value of all proposed improvements to the property: \$ 75,000 to 80,000

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ 5,000 for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

Yes No **Timeline to complete construction project**

Yes No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

Yes No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER'S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.

Allecia Nelson
Bidder of Authorized Representative

Allecia Dixon
Typed Name

2-22-23
Date

CITY OF FORT PIERCE BIDDER'S CHECKLIST

This checklist is provided to assist each Bidder in the preparation of their bid response. Included in this checklist are important requirements, which is the responsibility of each Bidder to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Bidder to read and comply with the Invitation to Bid in its entirety.

Check "Yes" or "No" to each of the following:

	YES	NO
Is the Bidder's Narrative/Summary included?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the proof of Financial Ability/Letter from financial institution included?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the Development Plan included:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Preliminary building plans included	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Timeline to complete the construction project	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Construction cost estimates included	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Landscaping plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Property development utilization	<input type="checkbox"/>	<input type="checkbox"/>
Is Invitation to Bid cover page (page 1) completed, signed, and attached?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the Offer to Purchase Form (pages 14 - 16) completed, signed and attached?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Bid envelope is marked accordingly.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

PLEASE SIGN AND RETURN WITH BID: *Allena Klyon*

EXHIBIT "A"

Property Information Card

612 N 25th Street

2404-710-0067-000-3



The subject property is located at 612 N 25th Street in the City of Fort Pierce, Florida. The lot is rectangular in shape and consists of +/- 0.14 acres or 6,110 square feet. This property is located one of the main corridors of Fort Pierce and is close to shopping, restaurants, and beaches.

PARCEL ID:

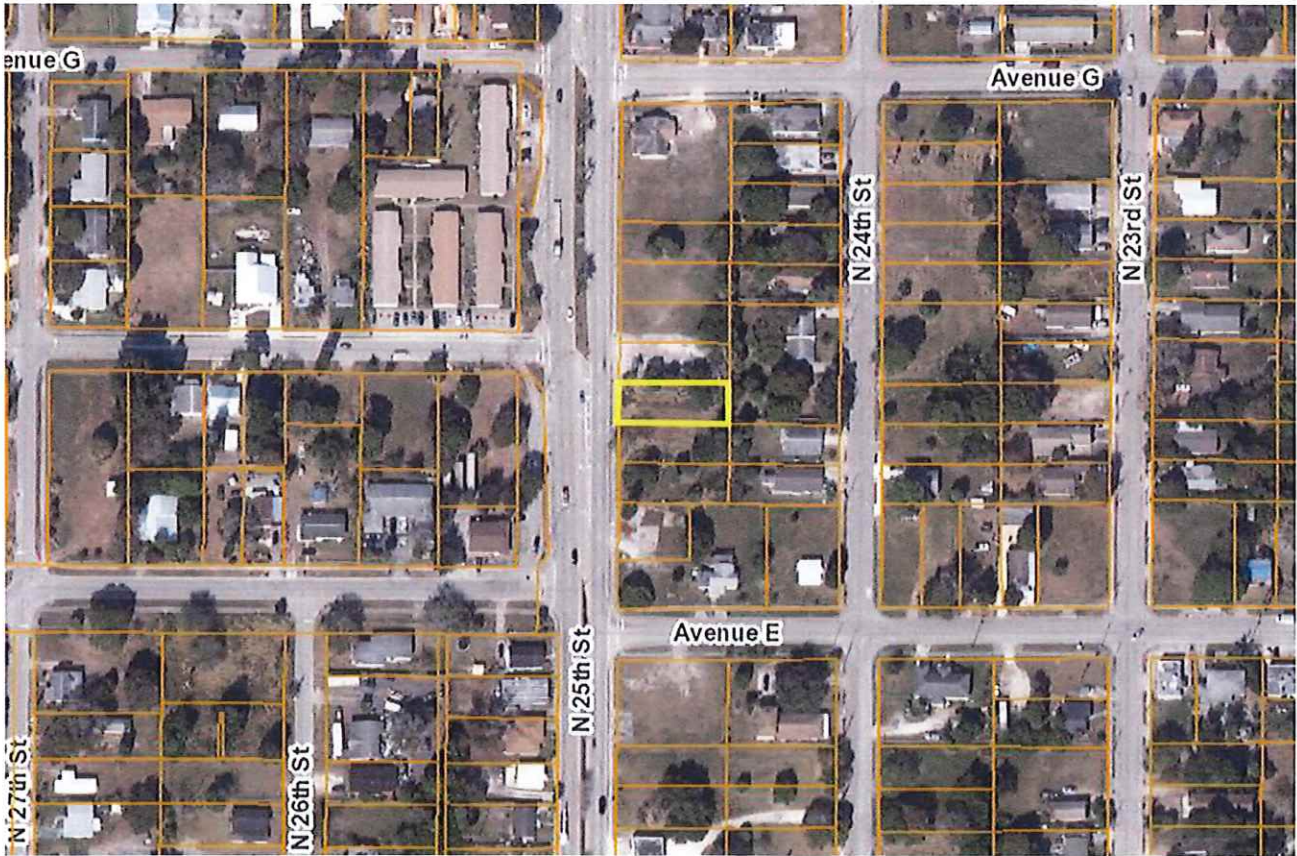
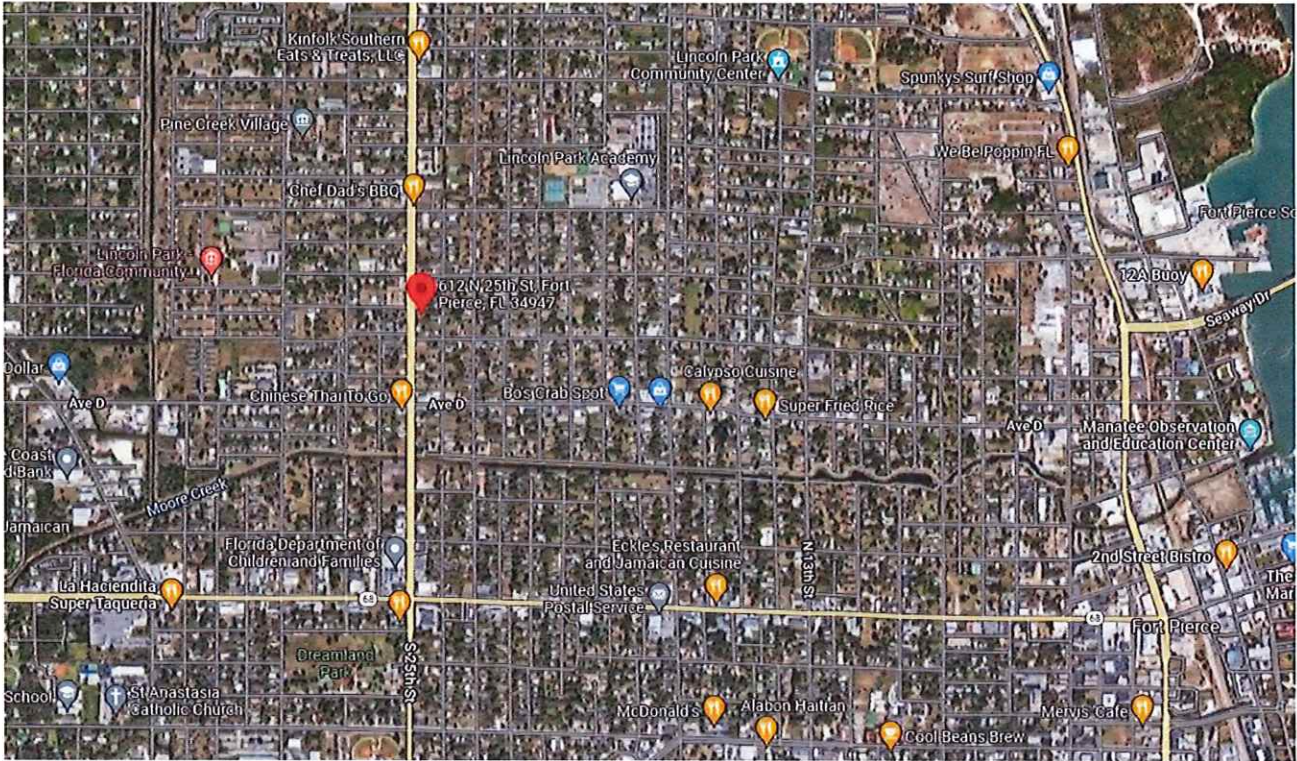
2404-710-0067-000-3

LOT SIZE:

0.14 ac or 6,110 sf

ZONING:

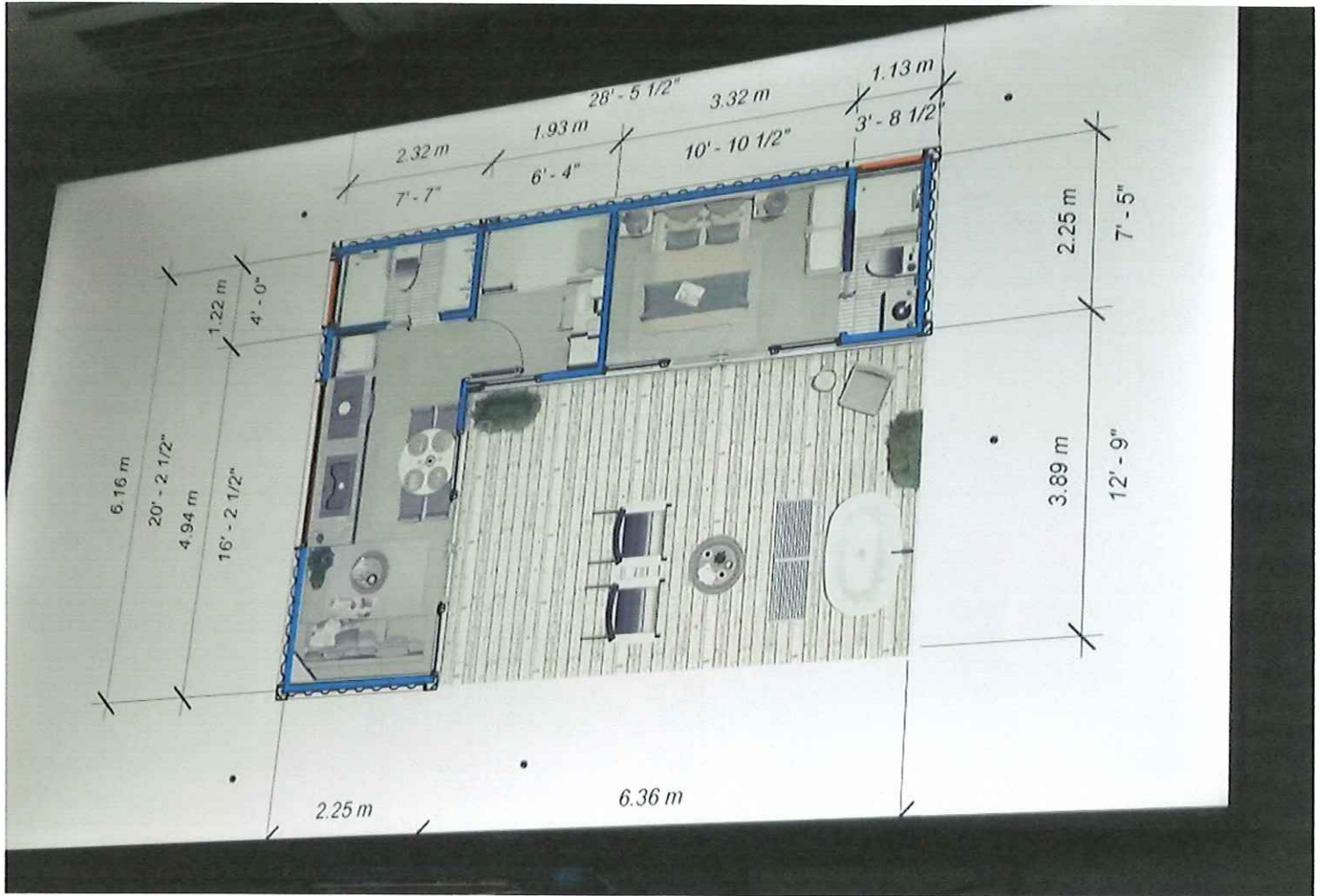
R4 – Medium Density Residential





Attachments:



Attachments:



DELIVER TO: City of Fort Pierce, Purchasing Division Room 101 100 North U.S. #1 Fort Pierce, FL 34950 MAIL TO: City of Fort Pierce Purchasing Division, Room 101 P.O. Box 1480 Fort Pierce, FL 34954-1480	CITY OF FORT PIERCE  INVITATION TO BID and BIDDER ACKNOWLEDGMENT
Bid Writer: Latonya Hubbard, (772) 467-3102	Bid No: 2023-017
Mandatory Site-Visit: N/A	Bid Title: DISPOSITION OF FPRA SURPLUS PROPERTIES – 612 NORTH 25 TH STREET
Mandatory Site-Visit Location: N/A	Bid Opening Location: Purchasing Division Conference Room, Room 101 100 North U.S. #1, 1st Floor Ft. Pierce, Florida 34950
Bid Due Date & Time 3:30PM, WEDNESDAY, FEBRUARY 22, 2023	If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.
Bidder Name: <u>LARRY LEE JR AND FAMILY LLC</u> Mailing Address: <u>7936 SADDLE BROOK DRIVE</u> <hr/>	<i>I hereby certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the proposer.</i> X  Authorized Signature (Manual)
City, State, Zip Code: <u>PORT SAINT LUCIE, FL 34986</u>	Typed or Printed Name: <u>LUCIAN LEWIS III</u>
Type of Entity (Select one): Corporation <input checked="" type="checkbox"/> <u>✓</u> Partnership <input type="checkbox"/> Proprietorship <input type="checkbox"/>	Title: <u>AUTHORIZED AGENT</u>
Incorporated in the State of: <u>FL</u> Year: <u>2011</u>	Delivery in _____ days, After Receipt Order
Phone Number: <u>772.529.2232</u>	Payment Terms: <u>CASHIER CHECK</u>
Fax Number:	FEIN or SS Number: <u>27-4725083</u>
E-Mail Address: <u>LARRY.LEE51@GMAIL</u>	Local Business: <input checked="" type="checkbox"/> <u>Y</u> <input type="checkbox"/> <u>N</u> MWBE: <input type="checkbox"/> <u>Y</u> <input type="checkbox"/> <u>N</u>
Bid Security is attached, when required, in the amount of \$ _____ F.O.B. DESTINATION	If returning as a "No Bid" state reason:
THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR BID	

To: **The City of Fort Pierce**

From: Lucian Lewis Authorized Agent for Larry Lee Jr and Family LLC


Date: February 22, 2023

Dear, Evaluators,

My intent for this correspondence, is to bring light to what is considered a game changer for the City of Fort Pierce and the Lincoln Park community. The above entity, has embraced giving back to a community that is once again starting to thrive. The concept to memorialize those who have come before us, is commendable and a great investment back into the community.

On behalf of the Larry Lee Jr and family LLC, I ask that you view this proposal as a vehicle to capture Ft Pierce as a city full of history and do whatever is in your power, to help **"RESTORE THE VILLAGE"** by restoring the memories.

Thank you for your consideration and time in advance.



Lucian (Luke) Lewis III

Authorized Agent



CITY OF FORT PIERCE
OFFER TO PURCHASE/BID RESPONSE FORM
DISPOSITION OF CITY SURPLUS PROPERTIES
 Bid No. 2023-017

Date: 2/19/2023

I/we propose to purchase property located at: **612 NORTH 25TH STREET.**

PROPOSED SUBMITTED BY:

Legal Name (s): LUCIAN LEWIS III
 Address: 475 NW DOVER COURT, PORT SAINT LUCIE, FL 34983
 Day-time Phone Number: 772-577-1166 Mobile Number: SAME AS DAYTIME
 Email: LUCIANLEWIS1000@GMAIL.COM

INTENDED USE

I/we propose to use the property for:

MEMORIAL PARK FOR USE BY THE PUBLIC THAT
WILL BE FUNDED WITH PRIVATE MONEY

Will this property be your primary residence? _____ Yes No

If not above, what do you intend to develop the property for: _____ Rental _____ Resale Other

IMPROVEMENTS

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

THE PROPERTY WILL BE USED AS A BOTANICAL GARDEN
FOR USE BY THE PUBLIC TO DISPLAY COMMUNITY HISTORY
ITEMS TO ACCOMPLISH THIS FEAT, WILL BE MADE POSSIBLE
THROUGH BRONZE PLAQUES AND ENGRAVED BRICK PAVERS,
NAMING CITY PIONEERS AND THEIR TIMELINES. AN ADJOINING
PROPERTY HAS BEEN DONATED BY THE NEIGHBORING OWNER
TO INCREASE THE FOOTPRINT AS WELL (Attach pages as needed)

Total value of all proposed improvements to the property: \$ 60,000 DOLLARS

BID/BID AMOUNT

I/we offer to pay the City of Fort Pierce \$ 5000 DOLLARS for the property.

REQUIRED INFORMATION

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered.

Yes No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

Yes No **Timeline to complete construction project**

Yes No **Construction Cost Estimate-** improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

Yes No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

Yes No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

Yes No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

BIDDER'S ACKNOWLEDGEMENT

The Bidder understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Bidder, and such information is warranted by the Bidder to be true. Bidder understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Bidder's qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Bidder's qualifications to perform, shall cause the rejection of the Bid, and if after the award, to cancel the sale of agreement. The Bidder acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the bid is not met according to an agreed upon timeline.



Bidder of Authorized Representative

LUCIAN LEWIS III

Typed Name

2/19/2023

Date

LANDSCAPE PLANS

A copy of the attached rendering outlines a visual of the landscape conceptional drawing for the proposed project. As an overview, the landscape will exceed the city's requirement for trees and scrubs, as the intended use for this project is a garden like environment.

The front view of the project will be lined with hedges in accordance with the city's requirement and be bordered on both sides with like kind scrubs. The rear of the property will host royal palms, while the interior of the garden will embrace ixora plants, crotons and annual flowering planted around benches, to ensure colors year round.

Additional trees will be planted throughout the property to provide shade for visitors.





LANDSCAPE PROPOSAL

To Larry Lee Jr and Family LLC

Date: 2/7/2022

The below submittal consists of work to be performed at 612 North 25th Street and the adjoining property of which both, are described below

Parcel 1- Parcel ID 2404-710-0067-000-3

Parcel 2- Parcel ID 2404-710-0066-000-6

Combined, the total estimate for work at the properties are noted below. Total area is 0.28 acres

- Site survey for the property
- Obtain necessary permitting
- Mobilize equipment needs for the job
- Off-site fueling charge
- Deploy dump trucks for removal of yard waste
- Estimated dump fees
- Grade and level property for preparation
- Bring in fill to meet city elevation requirements
- Prepare landscape with irrigation
- Install irrigation pumps
- Prepare and layout walkway for pavers
- Install/fill/seal pavers
- Landscape property with plantings
- Transport and lay sod

Clear/grade/removal charges- \$14000 dollars

Paver cost/Installation \$16000 Dollars

Irrigation system and lines \$5200 Dollars

Flowers/Sod including labor \$12,500 Dollars

Palm trees donated. Labor only 12 palms \$3000 Dollars

LANDSCAPE ESTIMATE: \$50,700.00

612 NORTH 25th STREET TIMELINE

- Submit bid by 2/22/23
- Await city review and approval of acceptance
- 30 Days-Upon award review drawings with the city for changes/edits
- 60 Days- respond back with items noted for review corrections
- 75 Days- Apply for any permits needed to move forward
- 90 Days – Start project
- 90-120 days- Engage city during build for recommendations
- 150 Days- complete project/ final approvals
- 180 days or less- Ribbon cutting ceremony with the city and media



February 21, 2023

RE: Lucian Lewis III
Account #xxxx5751

Dear Sirs:

This letter is giving as per our customer's authorization.

Mr. Lewis has a balance in excess of \$70,000.00 in available funds in our bank.

Do not hesitate to contact me if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Margarita Ponte', written over a light blue horizontal line.

Margarita Ponte
AVP & Assistant Branch Manager
Ph: 772-293-0635

Property Utilization Summary

The Lincoln Park neighborhood is one of the oldest communities in Fort Pierce. As the city expanded beyond the original Fort established in the 1800's, a settlement called Edgartown emerged and over time, the community developed a bustling commercial district.

During its heyday in the 1950s and 1960s, Avenue D was the main corridor in the Village of Lincoln Park – it was St. Lucie County's bustling center for African American-owned shops, restaurants, businesses and a theater.

As the county began to grow, the 25th STREET corridor was also propelled into the limelight when residents traveling from Port Saint Lucie to Vero Beach, quickly realized it provided easy congestion free travel from Port St Lucie to the north end of the county.

Today, the Lincoln Park area is experiencing revitalization, celebrating its rich cultural history and making progress to again become the center of pride for the community.

It is with a mindset to preserve its historical value, the need for a memorial garden to recognize pioneers and their contributions was born. Our vision is to have a place where their struggles and work can be memorialized and visited for generations to come.

The Larry Lee Jr and Family LLC, is spearheading this project through private contributions to create a memorial garden lined with pavers and bronze markers, in recognition of pioneers and their timelines. It will also provide a place of reflection where time will stand still in a forever evolving community and city.

It is with the above summary, that I ask the City of Fort Pierce to consider this bid for the property located at 612 NORTH 25th STREET.

Best Regards.

Larry Lee Jr and Family LLC

7. SELECTION PROCESS/EVALUATION CRITERIA

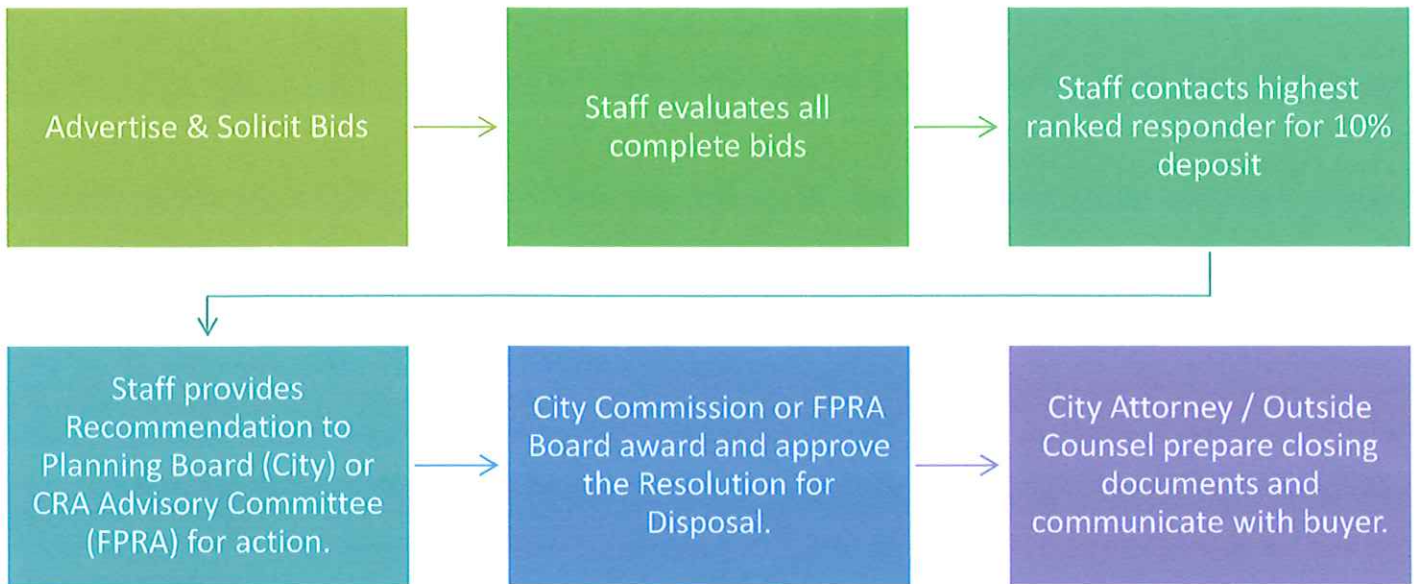
The City of Fort Pierce shall select the best responsive proposer/bid based upon the evaluation criteria, see below.

Bids will be evaluated by the City of Fort Pierce who shall be the sole judge of its own best interests, the bid itself, the qualifications of the applicant and the resulting final negotiated agreement. The city's decisions in these matters shall be final and binding.

The City's evaluation will include, but not limited to, consideration of the following:

SCORING/EVALUATION CRITERIA FOR ACCEPTANCE OF SUBMITTALS	POSSIBLE POINTS
Development Plan	MAX 20
Preliminary building plans including elevations, floor plans, facades, landscaping plan	20
Sketches of plans to be developed	15
Detailed description with no drawings	5
Timeline to complete the construction project	MAX 20
Within one year	20
Between 1 to 2 years	15
More than 2 years but less than 3 years	5
Construction Cost Estimates	MAX 10
Detailed cost estimate from licensed contractor	10
Proposer estimated cost with no 3 rd party backup	5
Proof of Financial Ability/Letter from Financial Institution (proof of financial ability to purchase the lot and construct)	MAX 15
Property Utilization Developed for Residential Use	MAX 20
Owner Occupied	20
Develop for Resale	15
Neighboring property owner	10
Develop as Rental Property	5
Narrative/Summary of development	MAX 15
Total Project Score	100

8. AWARD PROCESS



COPY

To: **The City of Fort Pierce**

From: Lucian Lewis Authorized Agent for Larry Lee Jr and Family LLC

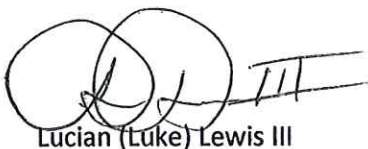
Date: February 22, 2023

Dear, Evaluators,

My intent for this correspondence, is to bring light to what is considered a game changer for the City of Fort Pierce and the Lincoln Park community. The above entity, has embraced giving back to a community that is once again starting to thrive. The concept to memorialize those who have come before us, is commendable and a great investment back into the community.

On behalf of the Larry Lee Jr and family LLC, I ask that you view this proposal as a vehicle to capture Ft Pierce as a city full of history and do whatever is in your power, to help **"RESTORE THE VILLAGE"** by restoring the memories.

Thank you for your consideration and time in advance.

A handwritten signature in black ink, consisting of a large, stylized 'L' followed by 'L' and 'III' with a horizontal line extending to the right.

Lucian (Luke) Lewis III

Authorized Agent

FPRA Regular Meeting

7. c.

Meeting Date: April 11, 2023

Re: CRA Appointment

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

FPRA Resolution 23-03 appointing an at-large member to the CRA Advisory Board to fill the remaining term of Ms. Sabrina Taylor.

SUMMARY:

Applications were sought for the open position. Applications for all eligible applicants are attached.

RECOMMENDATION:

Select an at-large member.

ALTERNATIVES:

Continue to seek applications.

RESPONSIBLE STAFF:

Linda W. Cox, City Clerk

COORDINATED WITH:

Communications Department

Attachments

23-03

Geller, Amanda

Ingram, Chad

Qvarnstrom, Donna

FPRA RESOLUTION NO. 23-03

A RESOLUTION OF THE FORT PIERCE REDEVELOPMENT AGENCY, A DEPENDENT SPECIAL DISTRICT OF THE CITY OF FORT PIERCE, FLORIDA; **CERTIFYING THE APPOINTMENT OR REAPPOINTMENT OF MEMBERS TO THE COMMUNITY REDEVELOPMENT AGENCY ADVISORY COMMITTEE**; AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT RESOLVED BY THE FORT PIERCE REDEVELOPMENT AGENCY OF THE CITY OF FORT PIERCE, FLORIDA, that the following be and are hereby appointed by the Fort Pierce Redevelopment Agency to serve as members of the Community Redevelopment Agency Advisory Committee in accordance with FRPA Resolution No. 13-05, 16-01 and 21-18; said terms to commence upon adoption of this resolution and to expire as indicated below, or when a successor has been duly appointed.

<u>Name</u>	<u>Seat</u>	<u>Term Expires</u>
_____	At-Large (unexpired term of Taylor)	7/27/2024

BE IT FURTHER RESOLVED that this Resolution shall become effective upon adoption.

IN WITNESS WHEREOF, this Resolution has been duly adopted this 11th day of April, 2023.

LINDA HUDSON, Chair
Fort Pierce Redevelopment Agency

ATTEST

LINDA W. COX, Agency Secretary

APPROVED AS TO FORM
AND CORRECTNESS:

TANYA M. EARLEY
Agency Attorney



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3065 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: _____

Name:	Phone:
Home Address: City/Zip Code:	How long at this address?
Are you a citizen of the United States? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation:	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location:	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge – (feel free to attach a resume):	
Are you currently a member of a Commission-appointed board/committee? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify:	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Applicant Email Address:
Date:	Applicant's Signature <i>Amanda Geller</i>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 467-3841 or via email at lcox@cityoffortpierce.com



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3065 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: _____

Name:		Phone:	
Home Address: City/Zip Code:		How long at this address?	
Are you a citizen of the United States?		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation:			
Do you own a business that operates within the City of Fort Pierce?		<input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, list the address and nature of said business:			
Do you now or in the future plan to do business with the City of Fort Pierce?		<input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, in what capacity?			
Are you employed by a business that is located within the City of Fort Pierce?		<input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, state the business and location:			
Do you have special training or knowledge in the area of:			
Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No		Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No		Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No	
		Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No	
		Other:	
Describe your education, background, training and knowledge – (feel free to attach a resume):			
Are you currently a member of a Commission-appointed board/committee?		<input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please specify:			
Have you ever been convicted of a felony?		<input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, what was the nature of the crime(s) you were convicted of:			
Referred by:		Applicant Email Address:	
Date:	Applicant's Signature <i>Chad Ingram</i>		

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 467-3841 or via email at lcox@cityoffortpierce.com



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3065 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: _____

Name:	Phone:
Home Address: City/Zip Code:	How long at this address?
Are you a citizen of the United States? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation:	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location:	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge – (feel free to attach a resume):	
Are you currently a member of a Commission-appointed board/committee? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify:	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Applicant Email Address:
Date:	Applicant's Signature <i>Donna Quarnstrom</i>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 467-3841 or via email at lcox@cityoffortpierce.com

FPRA Regular Meeting

8. a.

Meeting Date: April 11, 2023

Re: FPRA Annual Report FY2022

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

FPRA Annual Report FY2022

Attachments

FPRA Annual Report FY 2022

Map



ANNUAL REPORT

FISCAL YEAR 2022

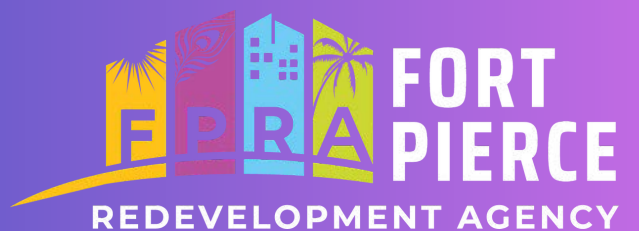


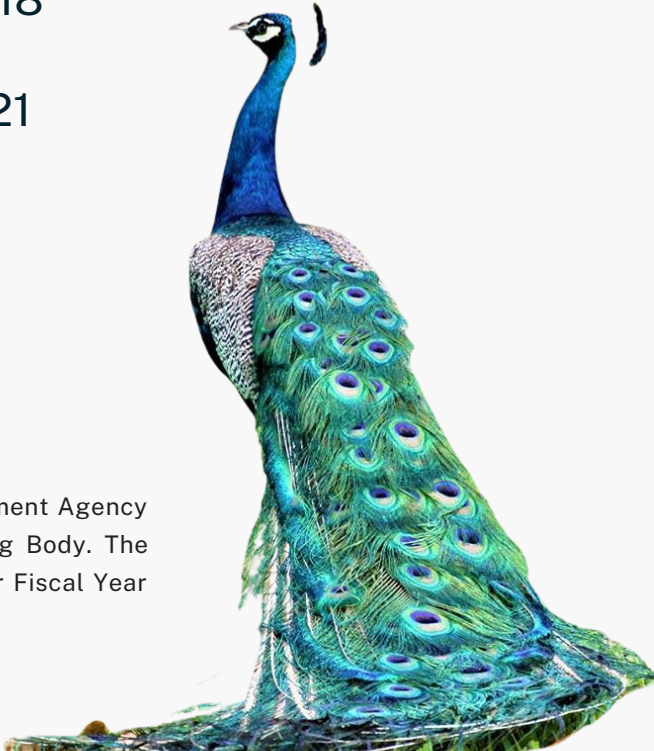


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ANNUAL REPORT

Chapter 163 of the Florida Statutes requires each Community Redevelopment Agency to provide an annual report by March 31 of each year to the Governing Body. The following Annual Report includes accomplishments and financial data for Fiscal Year 2022.





MESSAGE FROM THE DIRECTOR

We are pleased to present the 2022 Fort Pierce Redevelopment Agency Annual Report. The FPRA has made significant progress in our quest to achieve the community's goals for redevelopment set forth in the FPRA Plan. The revitalization of our community continues to be a top priority for the City of Fort Pierce. Led by an energetic, engaged, and knowledgeable FPRA Board, our dedicated team has made great strides in propelling the redevelopment area forward. This report outlines our wide-ranging accomplishments in Fiscal Year 2022 like promoting and leveraging investment in the community through incentives and grant programs, creating public-private partnerships to promote development in the urban core, and expanding community engagement efforts through charettes and events. We look forward to continued progress in 2023 to achieve our mission to restore neighborhoods, foster arts and culture, reset the economic base and connect our community.

A handwritten signature in blue ink, appearing to read 'N/C Mimms'.

Nicholas C. Mimms, P.E., ICMA-CM
City Manager/FPRA Director



OUR HISTORY

To guide the City in its efforts to redevelop both the physical and economic environment of its Downtown, the City established the Fort Pierce Redevelopment Agency (FPRA) in 1982 with the adoption of Ordinance No. H-239. Noting that other areas of the community also need targeted redevelopment activity as well, the City Commission expanded the boundaries of the Redevelopment Area in 1995 & 1996 to include the areas south of Atlantic Avenue to Citrus Avenue and Delaware Avenue. Seeing the success of the FPRA in encouraging redevelopment within the City's core and noting the state of decline for other areas of the City, the Commission substantially expanded the boundaries of the Redevelopment Area again in 2000 to include the neighborhoods west of 7th Street, the Port, and South Beach.



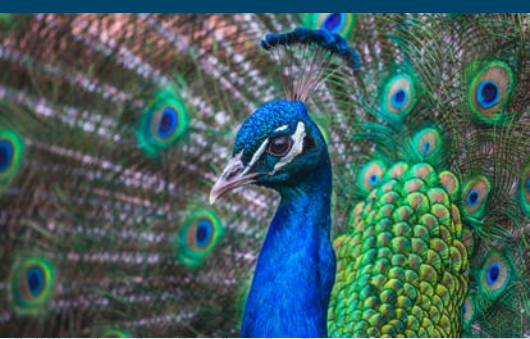
OUR MISSION

The Fort Pierce Community Redevelopment Plan presents a four (4) point Action Plan that focuses on: Restoring the Neighborhoods within the Redevelopment Area; Fostering Arts and Culture; Re-Setting the Economic Base of the Fort Pierce Redevelopment Area; and, Connecting neighborhoods, destinations and employment centers.



What is a CRA?

A Community Redevelopment Agency (CRA) is a dependent district established by City government for the purpose of carrying out redevelopment activities that include reducing or eliminating blight, improving the economic health of an area, and encouraging public and private investments in a CRA district. The CRA is governed by State Statutes, Chapter 163, Part III.





CRA Advisory Committee

- Kyle Kauffmann, Chair
- Carolyn Mann-Lurry
- Michael Brown Jr.
- Al Johnson
- Hoyt Murphy Jr.
- Phil Thompson
- Daniel Lee
- Brandon Nobile

The purpose and function of the CRA Advisory Committee is to study, review and provide recommendations, guidance and advice as to matters relevant to the purposes and goals of the Fort Pierce Redevelopment Agency; and to serve as a liaison between the community within the fort pierce redevelopment district boundaries and the Fort Pierce Redevelopment Agency Board.

FPRA LEADERSHIP

The Fort Pierce Redevelopment Agency Board consists of five (5) members who also serve as the Mayor and City Commission. The purpose of the Agency is to revitalize both the physical and economic environment of the redevelopment area. From left to right: Board Member Arnold Gaines, Board Member Jeremiah Johnson, Chairperson Linda Hudson, Board Member Curtis Johnson & Board Member Michael Broderick.



FPRA Board Meetings:

- 2nd Tuesday of each month
- 5:05 pm
- Commission Chambers
100 N. U.S. Highway 1
Fort Pierce, FL 34950

CRA Advisory Meetings:

- 1st Wednesday of each month
- 3:30 pm
- 2nd Floor Conference Room
100 N. U.S. Highway 1
Fort Pierce, FL 34950

Redevelopment Web Page

www.choosefortpierce.com

FPRA STAFF

Nick Mimms
FPRA Director

Marsha Commond
Redevelopment Specialist

Sara Delgado
Redevelopment Assistant

Miriam Garcia
Redevelopment Specialist

Shyanne Harnage
Economic Development Manager

Audria Moore-Wells
Special Projects Coordinator



REDEVELOPMENT ACTIVITIES & ACCOMPLISHMENTS



KING'S LANDING

FPRA Goal 5.4; 7.1; 8.1

Ten years ago, the City demolished the old H.D. King Power Plant and spent the last decade cleaning up the 7-acre site. The City of Fort Pierce and Fort Pierce Redevelopment Agency worked tirelessly for years to find the right redevelopment project for the former H.D. King Plant site in Downtown Fort Pierce and in 2019, history was made. Following a competitive bid process, the FPRA Board selected Audubon Development as the highest ranked bidder in June 2019. The redevelopment of the former H.D. King Power Plant Site remains a top priority for the City of Fort Pierce and FPRA. The development agreement with Audubon Development for the \$85-million-dollar King's Landing mixed-use development was executed in November 2019. Although the time provisions were extended due to the COVID-19 Pandemic, both parties worked together to complete all obligations in the agreement.

On February 7, 2022, the City Commission approved the site plan and all necessary development review applications for King's Landing. On March 8, 2022, the FPRA Board passed a resolution to convey the eleven parcels to Audubon Development and the FPRA executed the warranty deed transferring the parcels to Audubon Development.

Audubon Development is responsible for meeting all benchmarks and deadlines as outlined in the amended and restated agreement that was executed on February 8, 2022. Audubon subsequently began the subsurface debris removal process with a \$170,000 contribution from the FPRA and applied for building permits for the Phase I infrastructure by the deadline of August 22, 2022.

In tandem with the development of King's Landing, the City partnered with the Fort Pierce Utilities Authority and Economic Development Council to apply for a Florida Job Growth Grant through the Florida Department of Economic Opportunity. On August 30, 2022, Governor Ron DeSantis awarded the City of Fort Pierce a \$2.7 million Florida Job Growth Grant to help fund infrastructure improvements in Downtown Fort Pierce. The critical infrastructure improvements include water, wastewater, electric, fiber, natural gas, roadway and sidewalk improvements. The infrastructure upgrades will stimulate more than \$72 million of private investment on along Indian River Drive.





FISHERMAN'S WHARF

FPRA Goal 5.4; 7.1; 8.1

Fisherman's Wharf is located at the southern end of the Port and only a quarter mile from the former King Plant site, acts as a buffer between the working port area and historic Downtown Fort Pierce. It is currently underutilized and represents a significant opportunity to create a destination waterfront development in the Fort Pierce Redevelopment Area.

In early 2020, the Fort Pierce Redevelopment Agency (FPRA) embarked upon a two-phase solicitation process - Request for Qualifications and Request for Proposals - for the redevelopment of Fisherman's Wharf. The goal for the redevelopment is to create a unique place where people will visit and gather to shop, dine, work, and live. Retaining waterfront accessibility to all residents and visitors and enhancing the waterfront for public use is a top priority while also achieving redevelopment of the parcels that will add to the tax base and stimulate the economic activity in the redevelopment area.

The FPRA ultimately executed a development agreement with the highest ranked proposer, Pierce 1 Marina, to develop a \$26 Million mixed-use project including a state-of-the-art automated dry stack boat storage facility, restaurants, water taxi, marina, residential and retail. Throughout 2021 and 2022, both parties worked on their respective obligations per the agreement. The FPRA Board, City of Fort Pierce and Pierce 1 Marina have since executed several amendments to the agreement to extend the deadlines in the agreement for the City to cure title and survey objections raised by the developer. Pierce 1 Marina is expected to submit their development review package for all necessary land development approvals and site plan approval in December 2022.



DOWNTOWN MASTER PLAN

FPRA Goal 5.4; 7.1; 8.1

The City and FPRA have embarked upon numerous planning studies that address the downtown including the 2020 FPRA Redevelopment Plan, the 2020 Parking Study, the 2021 Retail Market Study and Strategies, the 2008 Downtown Waterfront Charrette, the 2020 Port of Fort Pierce Master Plan, the 2014 Martin and St. Lucie Regional Waterways Plan. With many new projects planned or underway, it is important for us to have a strong vision for the future with a plan that is both comprehensive and relevant. The FPRA seeks to establish a clear vision for future development within the Central Business District and adopt an implementation strategy to guide (re)development efforts. S&ME's approach will seek to foster sustainable growth while preserving and enhancing the City's unique character, in accordance with the recently adopted revisions of the City's Future Land Use designation.

In March 2022, the Fort Pierce Redevelopment Agency approved S&ME's proposal and initiated the Downtown Master Plan. The community was invited to participate in a series of interactive events in June 2022 as part of the Downtown Master Planning process. During the week, a team of design experts met with stakeholders like local citizens, businesses, community groups, and property owners to develop a shared vision for the future of Downtown Fort Pierce and adopt an implementation strategy to guide development. As part of this effort, the public had three opportunities to collaborate and share their ideas with the project team as well as to learn more about the Downtown Master Planning process.

Stakeholders were also encouraged to provide their feedback online by visiting the Downtown Master Plan project website. This interactive platform allowed community members to share insights by taking a brief survey; commenting on development, mobility, arts and culture, and green space on an interactive map; and prioritizing spending with a budget game.

The Downtown Master Plan will be completed and presented to the FPRA Board in November 2022.



301 SOUTH OCEAN DRIVE FPRA Goal 7.0; 18.3; 22

The Fort Pierce Redevelopment Agency issued a Request for Proposals for two FPRA-owned parcels on South Hutchinson Island in September 2022. The two parcels (301 S. Ocean Drive and 306 Hernando Street) offer approximately .65 acres of property for redevelopment. The property is just steps from the beach and two blocks from Jetty Park. The FPRA will seek a firm to create a redevelopment project that capitalizes on the site's prominent location and provides a mix of complementary uses including a public parking component to serve the South Beach District.

In preparation for the solicitation, the FPRA initiated the demolition of a structure that was on the site so that the site can be offered as a clean slate



OLD ST. ANASTASIA SCHOOL FPRA Goal 12; 12.1; 12.5; 13; 22

On March 8, 2022, the FPRA terminated the lease agreement with The Lindsay School of the Arts due to lack of substantial progress in accordance with Article 2.2(a) of the First Amendment to Agreement to Lease and Improve the Old Anastasia Catholic School. The Lindsay School of the Arts has since vacated the premises and staff has been contacted by various parties interested in the redevelopment of this property. In preparation for the next solicitation, the FPRA demolished the dilapidated accessory building behind the school to make the property more appealing and prime for redevelopment. In addition, the FPRA will work with a contractor to improve the exterior façade of the building.



INFILL LIEN REDUCTION PROGRAM

FPRA Goal 7.0 & 18.3

In January 2022, the City launched an Infill Lien Reduction Program to encourage new construction on vacant property throughout the entire city. The program promotes reinvestment and revitalization of vacant infill properties by providing the property owner relief from the liens levied prior to their ownership in exchange for the development of that vacant parcel. To be eligible for the program, the property must be an infill vacant lot within the city limits of Fort Pierce with no active code enforcement or nuisance abatement cases against it.

The applicant must also affirm that they were not an owner or affiliated in any way with the property at the time the liens were originally recorded. Via development agreement, the City will waive all soft costs associated with the liens and provide a 50% refund of the hard costs paid. There will be specific time parameters associated with obtaining building permits and completing the new residential construction to be eligible for the refund. The majority of inquiries and applications received to date have been for parcels within the Fort Pierce Redevelopment Area.



IMPACT FEE MORATORIUM

FPRA Goal 7.1

The City passed ordinance 22-009 extending the moratorium on the imposition and collection of City impact fees within the Fort Pierce Redevelopment Area until September 7, 2022.

The intent of this moratorium is to assist businesses in the Fort Pierce Redevelopment Agency boundaries reduce their startup costs and to contribute to the sense of vitality that occurs when buildings are occupied. It is our hope that this moratorium will encourage and entice development within the FPRA boundaries. Since infill locations are within the urban core of our community, typically they already have much of the needed infrastructure. Unless extraordinary capital improvements are required, infrastructure costs can be substantially lower for infill development relative to a similar project in an undeveloped area.



FPRA INCENTIVE PROGRAM

FPRA Goal 5.7; 5.9; 7; 7.1; 9

COMMERCIAL FAÇADE

The Commercial Façade Grant Program is intended to support the revitalization of the commercial corridors in the FPRA district by stimulating private investment in improvements that enhance the appearance of buildings and properties and eliminate blight and non-conforming design standards. The Commercial Façade Reimbursable Grants were awarded on April 12, 2022, to the following properties 809 Delaware Avenue, 825 N. Indian River Drive, 1105 Seaway Drive, and 906 Delaware Avenue. The recipients were required to complete their projects within 18 months of the approval of the agreement. We are looking forward to seeing the revitalization that these projects will bring to the FPRA District.



BEFORE



- The Commercial Façade Grant was approved for up to \$100,000 for a dollar-for-dollar matching grant that could be used to improve sites visible from the public right of way within the FPRA. Each applicant was eligible to receive up to \$25,000 for exterior upgrades.
- The Interior Uplift Grant was approved for \$50,000 for a dollar-for-dollar matching grant to commercial property owners and tenants for interior upgrades with a focus on projects that remedy degraded building systems and extend the economic viability of the building. Each applicant was eligible to receive up to \$10,000 for interior upgrades.
- The FPRA Paint Program was approved for funding of \$50,000 for a reimbursable grant up to \$1,000 per home or business, toward the cost of exterior paint and paint supplies.

INTERIOR UPLIFT GRANT

The Interior Uplift Grant is an incentive program available to commercial property owners and businesses for interior upgrades with a focus on projects that remedy degraded building systems and extend the economic viability of the building. The Interior Uplift Grants were awarded on August 9, 2022, to the following properties 616 Atlantic Ave, 118 N 19th St., 709 S. 5th St., 300 S. 6th St. and 710 Orange Ave. The applicants are required to complete their projects within 18 months of the approval of the agreement.

PAINT PROGRAM

The intent of FPRA Paint Program is to support the revitalization of the FPRA district and assisting property owners to restore and improve the appearance of their commercial and residential properties. The FPRA Paint Program offers financial assistance in the form of a reimbursable grant up to \$1,000 per home or business, toward the cost of exterior paint and paint supplies. The funds will be distributed on a first come, first served basis until all funds are depleted.

SUNRISE THEATRE

FPRA Goal 11.2

The Sunrise Theatre's vision is to be the Treasure Coast's #1 Live Event Destination while fostering an inclusive and welcoming environment for all. Operationally, the use of event management software has enabled information stored in one place for ease of use and access to staff. A new, redesigned website provides for a fresh, updated look and feel for the Sunrise customer experience. Enhanced digital advertising has increased audience reach and effectively communicated and engaged targeted audiences for performances.

The Sunrise Theatre Foundation 501(c)3 with Sunrise Theatre Staff assistance reorganized and is focused on successful fundraising efforts and community awareness of their efforts. While supporting children's programs at the Sunrise Theatre, the Sunrise Theatre Foundation has included financial support of Sunrise Theatre operations and improvements in their mission.

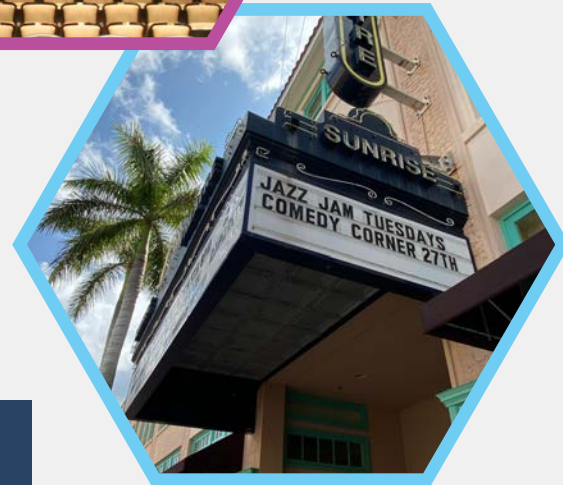
The Sunrise Theatre entered into a consulting agreement with Professional Facilities Management (PFM) to assist with programming, post-performance surveys to patrons, overall operation review and assessment.

Continued focus on artist, patron and staff safety measures through additional safe distance, masks when required signage and hand sanitizers throughout the facility.

The Sunrise Theatre applied for and was awarded a \$150,000 Department of Cultural Affairs Grant in June of 2022. This grant is to be utilized for marketing of performances, graphic design work, social media and other marketing related efforts.

The Sunrise Theatre with assistance from the Sunrise Theatre Advisory Board developed a 5-Year Strategic Plan. The strategic plan is based on a foundation focusing on:

- Enhancing operational excellence with an emphasis on customer service
- Inclusive programming efforts
- Expanding donations, sponsorships and membership programs
- Building a strong foundation



DOWNTOWN POLICE DETAIL

In an effort to achieve the FPRA's goal of improving public safety and perception of safety within the Redevelopment Area, the FPRA Board implemented and funded a Fort Pierce Police Department Downtown Detail. Detail Officers will patrol the downtown area from Seaway Drive to Citrus Avenue East of US-Highway 1 to check in with our local businesses with the focus of overall safety and building rapport. This detail will serve as a conduit, not only for public safety, but also to build bonds between officers and citizens, visitors, and business owners.

The FPRA Downtown Detail Officers will also provide additional officer presence during events such as parades and festivals. This presence will be above and beyond what is already required through the City's special event permitting process.

Weekly Downtown Detail Hours

FRIDAY	6 PM - 2 AM
SATURDAY	8 AM - 2 AM
SUNDAY	8 AM - 12 PM



MENTORING THE YOUTH



SCHOOL RESOURCE OFFICERS

Fort Pierce Police School Resource Officers understand that campus safety for the students and staff is of the utmost importance. Thanks to the continued support from the FPRA, School Resource Officers are able to conduct patrols on foot, Segway, and now UTV's making it easy to respond quickly to all situations. In Fiscal Year 2022, School Resource Officers attended the following trainings - Lockdown Drills, Behavioral & Psychological Indicators of School Shooters, Annual Active Shooter Training with St Lucie County Sheriff's Office, Bullying Prevention awareness K-12, Code Red Drills, Annual Taser refresher, and ATV / UTV Operator. As stated in the Redevelopment Plan, the FPRA will continue to support the law enforcement and social service providers that are located within the Redevelopment Area and that serve residents of the Community Redevelopment Area.

OAKS AT MOORE'S CREEK - PHASE II

FPRA Goal 5.3 & 5.4

The Oaks at Moore's Creek Phase II is well on its way to becoming a reality. Much has developed in the progress of the 15-lot single-family subdivision. In this public, private partnership between the OMCII, LLC, the FPRA, and the City of Fort Pierce, the entities are working intimately together to identify avenues of funding and innovative methods of community engagement.

In November 2021, the City Commission approved allocating \$722,323.69 to provide a paved public roadway complete with storm drainage facilities, sidewalks, curb and gutter, street lighting, a water distribution system, and a sanitary sewer collection system to support the construction of the affordable, workforce housing development. Then in April 2022, the developers received approval for construction financing from the Florida Community Loan Fund. Coupled with a \$500,000 predevelopment loan previously approved by the Florida Housing Coalition, positioned the project for continued advancement.

Keeping in step with the shared commitment to seeing this project stay on track, the preliminary plat was approved in July 2022 and the developer launched the project website shortly after. As part of the developer's homebuyer outreach plan, major employers in St. Lucie County were contacted and partnerships with local organizations were established. The initial campaign resulted in the developers securing mortgage pre-approval letters for nine potential homebuyers. During the same time, city staff worked closely with the Fort Pierce Utilities Authority to design the plans for infrastructure.

NEW CONSTRUCTION, AFFORDABLE HOUSING COMING SOON!
OAKS AT MOORE'S CREEK, PHASE 2

FOUR MODELS TO CHOOSE FROM STARTING AT \$238K.

THE REGENCY THE STARBURST THE HERON THE SEABREEZE

HERON MODEL
2,092 Sqft Area
3 bedrooms
2.5 baths
1 garage



SEABREEZE MODEL
2,000 Sqft Area
3 bedrooms
2.5 baths
1 garage

STARBURST MODEL
1,534 Sqft Area
3 bedrooms
2 baths
1 garage



REGENCY MODEL
1,800 Sqft Area
3 bedrooms
2 baths
1 garage



MEANS COURT CENTER INCUBATE NEIGHBORHOOD FPRA Goal 9.3 & 9.4

In October 2021, the FPRA approved the lease agreement with Incubate Neighborhood Center to lease and improve the majority of the Means Court Center for utilization as a multi-service community hub.

Within eight months of taking possession of approximately 25,000 square feet of space and the surrounding property, Incubate Neighborhood Center (INC) completed a total transformation of the first level of the two-story building. The improvements completed included a business technology center, conference room, shared office workspace, copy center, internet café, tv production studio, library, an interactive art gallery, new furniture, painting, and carpeting. In March 2022, INC unveiled its progress during a Community Partner Open House and a Ribbon Cutting Ceremony in April.

While facility improvements were underway, INC launched the implementation of an entrepreneurship national business model, workforce development, basic computer courses, credit repair workshops, grant writing workshops, and a homeownership program. Approximately 75 individuals were engaged at different stages of the initiatives. INC also established partnerships with Hands of St. Lucie, Drug-Free St. Lucie, the Department of Health, and Treasure Coast Food Bank.

As our nation planned to celebrate Juneteenth as a national holiday, INC planned, coordinated, and hosted the City of Fort Pierce's inaugural celebration of Juneteenth in the form of a Block Party. This event, attended by more than 1,000 people, featured local vendors, a line-up of performances, and a local art showcase.



HIGHWAYMEN MUSEUM

FPRA Goal 11.2

In November 2021, a grant was submitted to the Florida Department of State to renovate the Jackie L. Caynon, Sr. Building to house the City of Fort Pierce Highwaymen Museum. The project received overwhelming support from Senator Gayle Harrell and Representative Dana Trabulsky. In February 2022, the FPRA was notified that the grant was approved for funding. The grant was one of 152 reviewed by a panel in three days. The project received the fourth-highest score and full funding in the amount of \$483,662.

Located in the historical Lincoln Park District, this dedicated space will showcase a copious collection of original Highwaymen art. The museum's central theme will be focused on cultural heritage and serve as a tribute to the Highwaymen artists. In searching for an organization to oversee the daily operations of the museum, to be located at 1234 Avenue D, a request for proposal was issued in June 2022. The Original Florida Hall of Fame Highwaymen, Inc. was the sole responsive bidder and staff received authorization to enter into negotiations with the organization to lease and improve the facility.



The space will offer museum visitors an eclectic experience in highwaymen art and artifacts, and it will promote and provide educational programming for learning institutions world-wide. Highwaymen paintings are bought, sold, and celebrated throughout the country. The artistic contributions the twenty-six original artists have made to the American arts landscape have an even heightened appeal due to the Highwaymen's inspirational story of resilience and fortitude amidst the dark, stifling era of Jim Crow rule. Constructing a museum to honor these men and women will preserve their important and unique role in America's history, and it will be reflective of the area's commitment to recognize and promote diverse cultural representations.

THE ROOT

FPRA Goal 11.1



The model for The ROOT is based on an open space venue that utilizes temporary structures to engage the community through food, popup spaces for small business owners, and entertainment.

The Avenue D commercial corridor is on the cusp of a major transformation that has the potential to alter the course of the community and its residents. The ROOT (Recognizing Ourselves In Others Together) is viewed as an integral component of that makeover. Since breaking ground in 2021 and prior to work beginning at the location, 1134 and 1136 Avenue D, Lincoln Park Young Professionals (LPYP) began activating the site. They hosted "Community Pop Ups and Shopping Events". Due to the huge success, LPYP created, Buy Back the Block, a monthly marketplace held on second Saturdays to allow a few small businesses and food truck vendors to showcase and sell their items.

With the onset of the initial site preparation in November 2021, the community engagement activities ceased. The project has experienced unanticipated interruptions, due in part to some supply chain issues and inclement weather. Despite those minor setbacks, the project is moving ahead and is expected to be completed in early 2023.

PARKING LOT - 1200 AVENUE D FPRA GOAL 18.3



As part of the FPRA's continued efforts to guide the revitalize the communities within the boundaries of the redevelopment area, the board approved funding a plan to develop a parking lot on three parcels owned by the FPRA at the corner of Avenue D and Means Court.

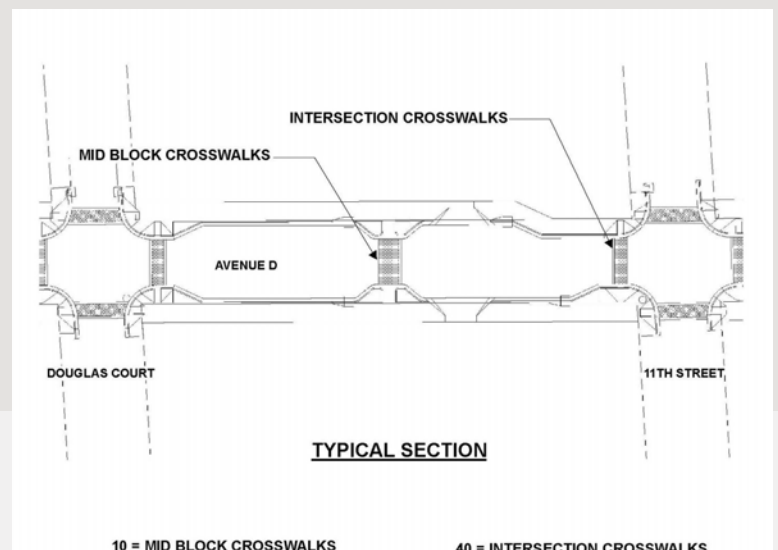
In May 2022, the Parking Committee recommended the installation of free public parking as a method to address the anticipated demand for parking once the City of Fort Pierce Highwaymen Museum, is completed. The new permanent parking area is located within close proximity of the museum and will provide overflow parking for patrons.

AVENUE D RECONSTRUCTION FPRA GOAL 15; 15.1; 16; 16.1; 16.2; 16.3

The Avenue D roadway improvement project is part of a larger vision to revitalize the area and provide connectivity between two of City's oldest historic districts, Lincoln Park and Edgartown. The portion of Avenue D, between U.S. Highway 1 and 29th Street is an important element of the vision to revitalize the historically African-American community and integral to the regeneration of the Avenue D commercial corridor. The plans involve milling and resurfacing, along with the removal of the existing brick paver crosswalks and subsequent construction of new stamped asphalt crosswalks, landscaping and street lighting.

In relation to Edgartown, the improvements are in step with the historic concept envisioned for this neighborhood. Avenue D between U.S. Highway 1 and Indian River Drive is to receive a complete reconstruction with a new roadway, curb & gutter, sidewalks, crosswalks, drainage improvements, raised plateau intersection at 2nd Street, decorative streetlights, ADA upgrades, landscape, and irrigation.

The 1.84-mile project is estimated to cost \$3,000,000 and is in the design phase. The final plans are expected to be completed by the end of July 2022 and construction is expected to begin during the 1st quarter of the 2023 fiscal year. It is estimated that the project will take eight months to complete.





FINANCIAL STATEMENTS

FISCAL YEAR ENDING
SEPTEMBER 30, 2022

Community Redevelopment Agency Annual Report

Fort Pierce Redevelopment Agency

Florida Department of Economic Opportunity Special District Accountability Program ID

383

Registered Agent	Mr. Nicholas Mimms
Mailing Address	100 North U.S. 1 Fort Pierce, FL 34954
Office Address	P.O. Box 1480
Telephone	(772) 467-3000
Fax	(772) 489-8042
Email	nmimms@cityoffortpierce.com
Website	www.cityoffortpierce.com/169/Fort-Pierce-Redevelopment-Agency
County(ies)	St. Lucie
Local Governing Authority	City of Fort Pierce
Date Created / Established	Wednesday, December 8, 1982
Creation Documents	City Ordinance H-239
Board Selection	Identical to Local Governing Authority
Authority to Issue Bonds	Yes
Revenue	Tax Increment Financing
Most Recent Update	Monday, October 15, 2018

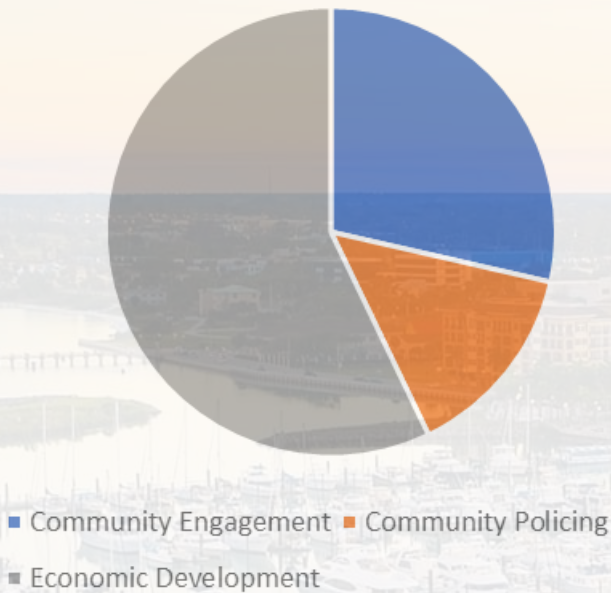
Total number of Activities started	6
Total number of Activities completed	14
Current Year Taxable Value in CRA	\$ 915,117,390.00
Actual expended increment revenue	\$ 7,664,861.00
Base Year Taxable Value in CRA	\$ 311,043,186.00
Current Year Tax Increment Value	\$ 604,074,204.00
Total amount expended for low and middle income affordable housing	\$ -

The following is a summary of this community redevelopment agency's achievement of its redevelopment plan's goals.

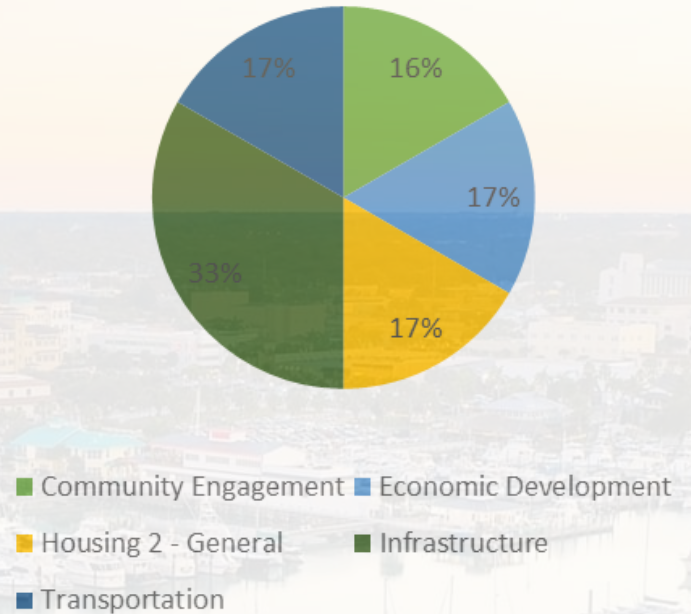
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Community Engagement	70
Economic Development	70
Economic Development	70
Housing 2 - General	69
Economic Development	75

COMMUNITY REDEVELOPMENT ANNUAL REPORT

COMPLETED (C) ACTIVITIES BY COUNT



STARTED (S) ACTIVITIES BY COUNT



ACTIVITIES SUMMARY (\$)





Request for Qualifications (RFQ)
Lincoln Park District
SW Corner of Avenue D and North 7th Street

- Phase 1
- Phase 2
- Parcels Owned by St. Lucie County
- Parcels Owned by City of Fort Pierce
- Parcels Owned by Fort Pierce Redevelopment Agency
- Parcel Owned by St. Lucie County Fire District

0 40 80 120 160
 Feet

ST LUCIE COUNTY
 FLORIDA

Map printed February 13, 2023

