



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

RECEIVED

~~JUL 28 2023~~

COA# 23-40

Bldg. Permit # _____

CITY OF FORT PIERCE
PLANNING & ZONING

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 209 Ave D

Parcel ID #: 2403-705-0117-000-0

Type of Designation:

- Contributing Non-contributing Site within the _____ Historic District
- Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)

Name(s): James Michael Nole

Mailing Address: 1501 Thumb Point Dr Fort Pierce, FL 34949

Phone Number(s): 772-971-4401

Email: nole.s+mic@gmail.com

Applicant

Name(s): _____

Mailing Address: _____

Phone Number(s): _____

Email: _____

Representative

Name(s): _____

Mailing Address: _____

Phone Number(s): _____

Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I/We, James Michael Nole as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

James Michael Nole
Signature of Owner

7-28-23
Date

RECEIVED

JUL 31 2023

CITY OF FORT PIERCE
PLANNING & ZONING

Description of Requested Work

Please indicate the type of work requested:

- Fence Shed Door(s) Roof
- Window(s) Signage Shutter(s) Porch

- Rehabilitation New Construction Demolition Relocation

- Site Improvements (describe) Complete renovation
- Other (describe) _____

Please provide a detailed description of the proposed work to be performed: Complete renovation.
Please see attached plans.

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition - Plans for what will be taking the demolished structure's place should be submitted.

Construction in Motion



PROPOSED RENOVATION FOR HISTORIC STRUCTURE



EXISTING HISTORIC STRUCTURE

Duplex Renovation
 SECTION 10 TOWNSHIP 35S RANGE 40E
 PARCEL ID 2403-705-0117-000-0

*James Nole
 209 Avenue D
 Fort Pierce, Florida*

INDEX OF DRAWINGS

A-1	COVER
A-2	FOUNDATION PLAN
A-3	FLOOR PLAN
A-4	ELEVATIONS
A-5	BUILDING SECTIONS
A-6	TRUSS/FLOOR JOIST LAYOUT
A-7	FIRST/SECOND FLOOR ELECTRICAL LAYOUT
A-8	FIRST/SECOND FLOOR HVAC LAYOUT
A-9	FIRST/SECOND FLOOR PLUMBING LAYOUT
A-10	DETAILS
A-11	DETAILS
A-12	FENESTRATION DETAILS

SQUARE FOOTAGE

FINISHED UNDER FLOOR	148 SQ FT
FINISHED FLOOR	208 SQ FT
FINISHED ROOF	208 SQ FT
TOTAL WORK AREA VIEW	564 SQ FT

TRUSSES:	N/A
DRAWN BY:	GG
DATE:	12/17/2022
ENGINEER:	Joseph Simmons P.E.
DATE:	12/17/2022
ENGINEER #:	52101
REVISED:	
REVISED:	

SHEET NO.	A-1
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General Scope of Work:
 1. THE SCOPE OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF FORT PIERCE FLORIDA, AND THE FLORIDA RESIDENTIAL BUILDING CODE 2020, 7TH EDITION.
 2. SCOPE OF WORK INCLUDES: EXISTING BLOCKS AND INSTALL NEW CONCRETE BLOCKS AND RECONSTRUCT ALL WALLS FLOOR JOISTS ROOF TRUSSING ALL ELECTRICAL HVAC ALL INTERIOR COMPLETE RENOVATION WITH THE FINISH PRODUCT TO KEEP TO THE ORIGINAL HISTORIC APPEARANCE.
 3. (COMPLETE 2 STORY RENOVATION)

MOISTURE AND THERMAL PROTECTION
 1. LUMBER: FURNISH & BLDG: DOUGLAS FIR/LARCH, HEM-FIR, SOUTHERN PINE, NO.2 OR BETTER, MAX. MOISTURE CONTENT: USE PRESURE TREATED WHERE NOTED AND OR REQUIRED AND IDENTIFIED PER FIG. 2003.1.8.1.
 2. FLOOR FINISH: FURNISH & INSTALL NEW CONCRETE BLOCKS AND RECONSTRUCT ALL WALLS FLOOR JOISTS ROOF TRUSSING ALL ELECTRICAL HVAC ALL INTERIOR COMPLETE RENOVATION WITH THE FINISH PRODUCT TO KEEP TO THE ORIGINAL HISTORIC APPEARANCE.
 3. FLOOR FINISH: FURNISH & BLDG: DOUGLAS FIR/LARCH, HEM-FIR, SOUTHERN PINE, NO.2 OR BETTER, MAX. MOISTURE CONTENT: USE PRESURE TREATED WHERE NOTED AND OR REQUIRED AND IDENTIFIED PER FIG. 2003.1.8.1.
 4. ANCHOR ADHESIVE: FURNISH & BLDG: 3 COMPONENT CAT. PA. 4
 5. FINISH: FURNISH & BLDG: DOUGLAS FIR/LARCH, HEM-FIR, SOUTHERN PINE, NO.2 OR BETTER, MAX. MOISTURE CONTENT: USE PRESURE TREATED WHERE NOTED AND OR REQUIRED AND IDENTIFIED PER FIG. 2003.1.8.1.
 6. FINISH: FURNISH & BLDG: DOUGLAS FIR/LARCH, HEM-FIR, SOUTHERN PINE, NO.2 OR BETTER, MAX. MOISTURE CONTENT: USE PRESURE TREATED WHERE NOTED AND OR REQUIRED AND IDENTIFIED PER FIG. 2003.1.8.1.
 7. FINISH: FURNISH & BLDG: DOUGLAS FIR/LARCH, HEM-FIR, SOUTHERN PINE, NO.2 OR BETTER, MAX. MOISTURE CONTENT: USE PRESURE TREATED WHERE NOTED AND OR REQUIRED AND IDENTIFIED PER FIG. 2003.1.8.1.

PAINT & FINISHES
 1. INTERIOR FINISHES: FURNISH & BLDG: SHEET PAPER TURNING, INSTALLATION: INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR THE GIVEN CONDITION.
 2. CAULKING / SEALANT: USE SILICONE II (PAINTABLE).
 3. SHEET ROCK (GYPSUM) WALL BOARD SHALL BE U.S. GYPSUM OR EQUAL, INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR THE GIVEN CONDITION.
 4. PAINT INTERIOR COATS OF LATEX SEMI-GLOSS
 5. FLOOR FINISH AS SELECTED BY OWNER.
 6. CROWN MOULDING AND BASE BOARD MOULDINGS TO BE SELECTED BY HOME OWNER
 7. BACK-SPLASH TILES BEHIND STOVE TO BE SELECTED BY HOMEOWNER
 8. TILE BEHIND STOVE TO BE SELECTED BY HOMEOWNER
 9. COUNTERTOPS TO BE SELECTED BY HOMEOWNER

DOORS
 1. ALL OLD EXISTING INTERIOR DOORS TO BE REPLACED WITH NEW MODERN RAISED PANEL DOORS AS SHOWN TO MATCH NEW INSTALLED DOORS.

ELECTRICAL
 1. ALL OLD EXISTING ELECTRICAL OUTLETS AND LIGHT SWITCHES IN THE AREA OF RENOVATION MUST BE PLACED AT CORRECT HEIGHT AS SHOWN. ALL NEW ELECTRICAL OUTLETS AND LIGHT SWITCHES TO BE PLACED AS SHOWN. IF POSSIBLE, CONTACT HOME OWNER IF THERE IS A PROBLEM.
 2. ALL RECESSED CEILING LIGHT FIXTURES TO BE PLACED IN WALLS AS SHOWN. IF POSSIBLE, CONTACT HOME OWNER IF THERE IS A PROBLEM.

REFERENCE SYMBOLS

2X	FRAME WALL
2X	FRAME WALL WITH INSULATION
2X	BEARING WALL WITH STUDS AT 16" O.C.

DOOR NUMBER
 WINDOW NUMBER
 REMODELING NUMBER

BUILDING SECTION TAG
 DETAIL NUMBER
 SHEET NUMBER
 DETAIL NUMBER
 SHEET NUMBER
 ELEVATION NUMBER
 INTERIOR ELEVATION KEY
 VIEW ORIENTATION

WINDOW SCHEDULE

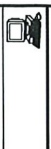
TAG	TYPE	R/O SIZE	N.O.A.
3000 SH	SINGLE-HUNG (IMPACT) SCREEN	37" x 37"	GLAZING: YES CLEAR FRAME: ALUMINUM INTERIOR/ EXTERIOR FINISH VINYL PRODUCT APPROVAL: 17-0517.02 SHGC: 0.25 U-VALUE: .067
3050 SH	SINGLE-HUNG (IMPACT) SCREEN	37" x 61"	GLAZING: YES CLEAR FRAME: ALUMINUM INTERIOR/ EXTERIOR FINISH VINYL PRODUCT APPROVAL: 17-0517.02 SHGC: 0.25 U-VALUE: .067
2000 SH	SINGLE-HUNG (IMPACT) SCREEN	25" x 37"	GLAZING: YES CLEAR FRAME: ALUMINUM INTERIOR/ EXTERIOR FINISH VINYL PRODUCT APPROVAL: 17-0517.02 SHGC: 0.25 U-VALUE: .067

EXTERIOR DOOR SCHEDULE

TAG	TYPE	SIZE	N.O.A.
3050	SWINGING/PEDESTRIAN DOOR	36"x60"	

NOTE: REFER TO MANUFACTURER DATA TO VERIFY ALL ROUGH OPENING MEASUREMENTS.

COMMUNITY:



OWNERS
 James Nolo
 209 Avenue D
 Fort Pierce, Florida

OWNER REVIEW ACKNOWLEDGMENT
 OWNER'S SIGNATURE _____ DATE _____
 OWNER'S SIGNATURE _____ DATE _____
 ALL REVISIONS ARE SUBJECT TO CONTRACT AND SPECIFICATIONS TO CONTRACT AND PERMITS.

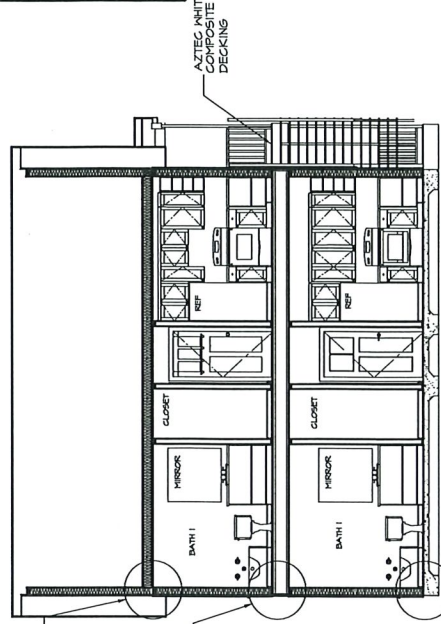
REVISIONS
X
X
X

AREA TABULATION	
OVERALL DIMENSIONS ARE TAKEN FROM EXTERIOR FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE SUBJECT TO PERMITS.	
FINISHED/RAIR ROOM	1484
FRONT PORCH	288
REAR PORCH	624
TOTAL WORK AREA	2376

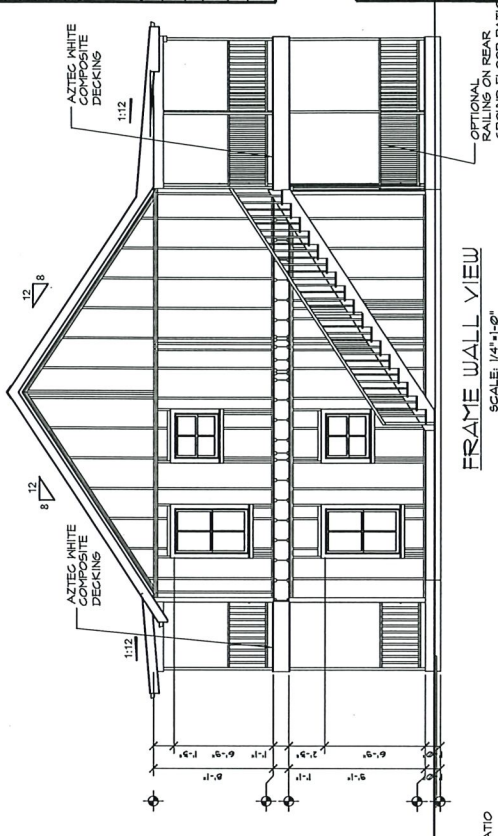
12162022
 Duplex
 Renovation

FEATR SERIES: X
 CSTRUCT TYP: TBD
 BUILDERS: TBD
 DRAWN BY: GG
 CHECKED BY: GG
 SHEET NO.

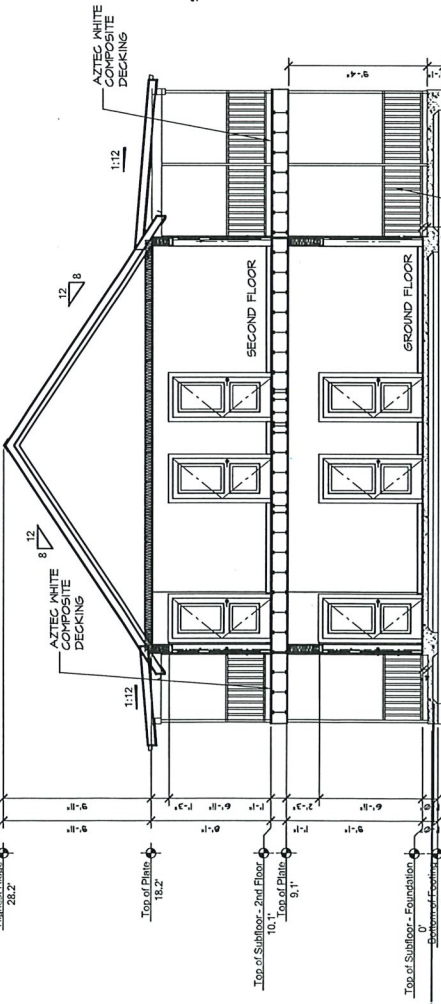
A-5
 LAST PLOT
 DATE: 08/08/22
 FILE: *



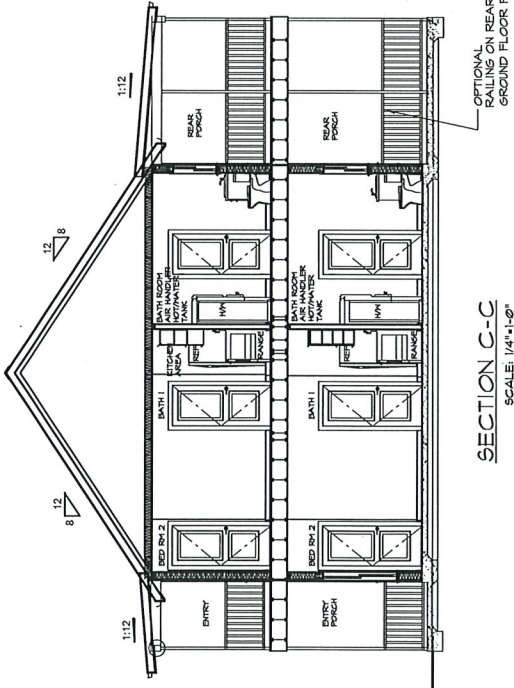
SECTION B-B
 SCALE: 1/4" = 1'-0"



FRAME WALL VIEW
 SCALE: 1/4" = 1'-0"



SECTION A-A
 SCALE: 1/4" = 1'-0"



SECTION C-C
 SCALE: 1/4" = 1'-0"

AZTEC WHITE COMPOSITE

COMMUNITY:

OWNERS
 JAMES W. WOODS
 209 AVENUE D
 FORT PIERCE, FLORIDA

OWNER REVIEW ACKNOWLEDGMENT

OWNER'S SIGNATURE _____ DATE _____

OWNER'S SIGNATURE _____ DATE _____

CONTRACTOR'S SIGNATURE _____ DATE _____

CONTRACTOR'S SIGNATURE _____ DATE _____

CONTRACTOR'S SIGNATURE _____ DATE _____

NO.	REVISIONS
1	X
2	X
3	X
4	X
5	X
6	X
7	X
8	X
9	X
10	X
11	X
12	X
13	X
14	X
15	X
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33	X
34	X
35	X
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37	X
38	X
39	X
40	X
41	X
42	X
43	X
44	X
45	X
46	X
47	X
48	X
49	X
50	X

AREA TABULATION

FINISHED AREA	1484
FRONT PORCH	268
REAR PORCH	624
TOTAL WORK AREA	2376

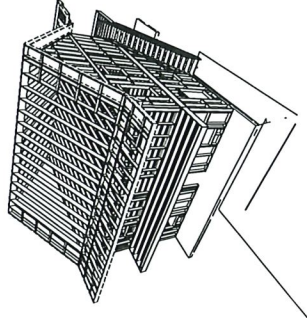
12162022
 Duplex
 Renovation

SHEET NO.

A-6

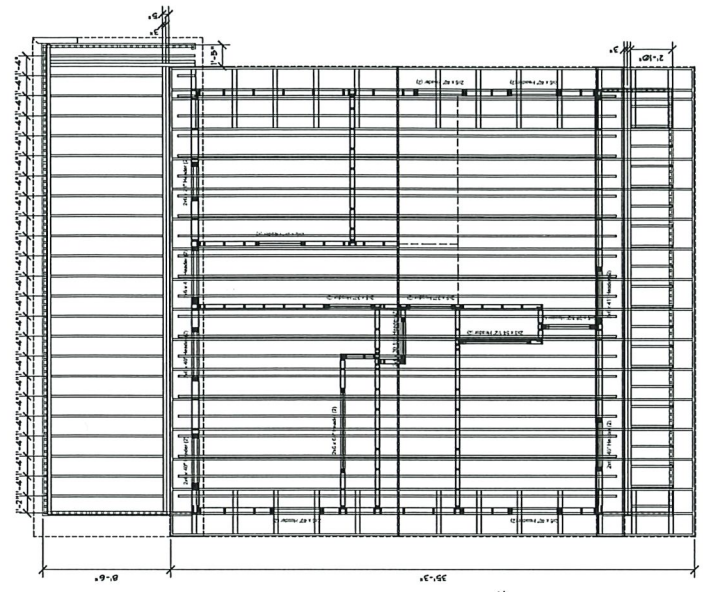
LAST PLOT
 DATE: 01/06/2022

FILE #



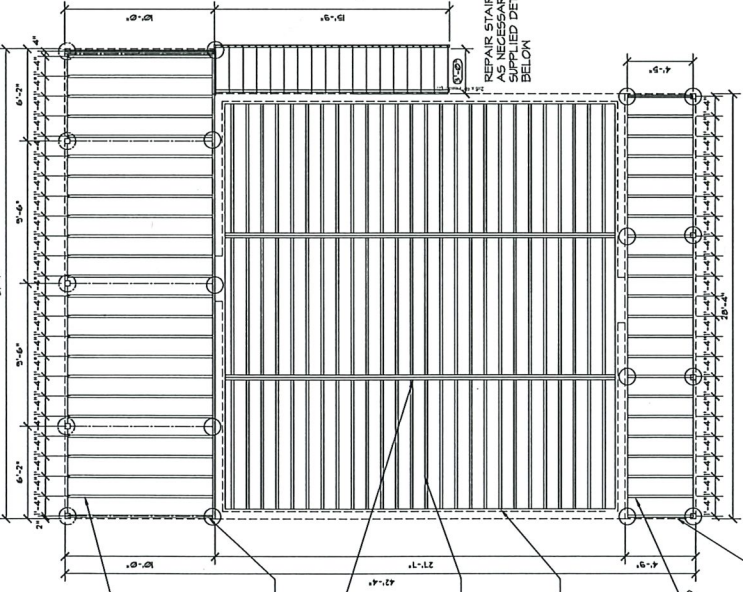
FRAME ISOMETRIC

- 2x P.T. 5Y2P2 FLOOR JOISTS @ 12" O.C. ATTACHED TO RIM JOISTS N' (TYP. @ BACK PORCH)
- 2x P.T. 5Y2P2 RIM JOIST (TYP. @ BACK PORCH)
- (2) 2x P.T. 5Y2P2 FLOOR JOISTS ATTACHED TO RIM JOIST N' (TYP. @ LIVING AREA)
- 2x P.T. 5Y2P2 RIM JOIST @ 12" O.C. ATTACHED TO RIM JOISTS N' (TYP. @ LIVING AREA)
- 2x P.T. 5Y2P2 RIM JOIST ATTACHED TO FRAME WALL N' TO 4" O.C. STAGGERED IN 2 ROWS (TYP. @ LIVING AREA)
- 2x P.T. 5Y2P2 FLOOR JOISTS @ 16" O.C. ATTACHED TO RIM JOIST N' (TYP. @ FRONT PORCH)
- 2x 2x6 P.T. 5Y2P2 RIM JOIST (TYP. @ FRONT PORCH)



ROOF FRAME TRUSS

SCALE: 1/4"=1'-0"



FLOOR JOISTS

SCALE: 1/4"=1'-0"

REPAIR STAIRWAY AS NECESSARY PER DETAIL BELOW

COMMUNITY:	
OWNERS:	DATE
JAMES NOB	
209 Avenue D	
FOUNTAIN VALLEY	
OWNER'S SIGNATURE	DATE
I AM RESERVING THE RIGHT TO MAKE ANY CHANGES TO THIS PLAN AND SPECIFICATIONS WITHOUT NOTICE.	

FINISHED/DIRT	1484
FRONT PORCH	268
REAR PORCH	624
TOTAL WORK AREA	2376

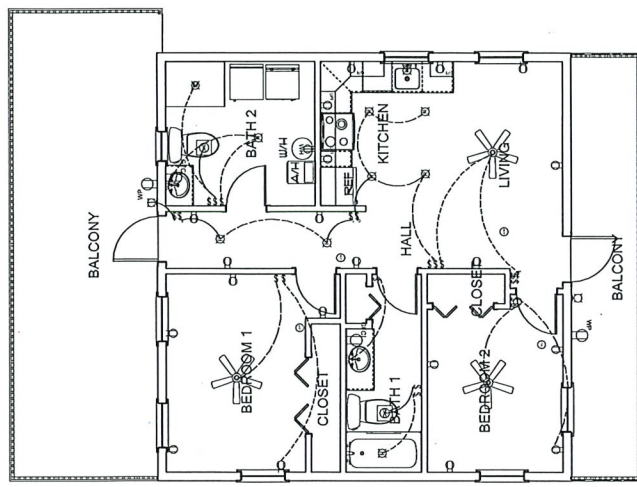
REVISIONS	
X	
X	
X	

AREA TABULATION	
FINISHED/DIRT	1484
FRONT PORCH	268
REAR PORCH	624
TOTAL WORK AREA	2376

12162022
Duplex
Renovation

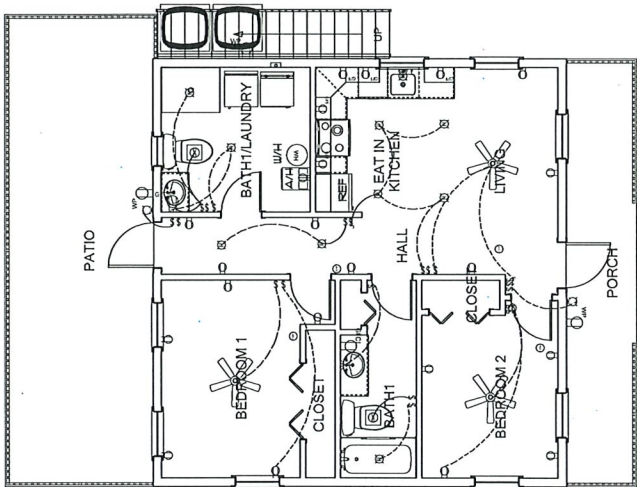
HEAT: SERIES: X
CSTRCT: PKR:TD
BUILDER: TD
DRAWN BY: GG
CHECKED BY: GG
SHEET NO:
A-7

DATE: 07/20/2022 FILE: *



SECOND FLOOR ELECTRIC
SCALE: 1/4"=1'-0"

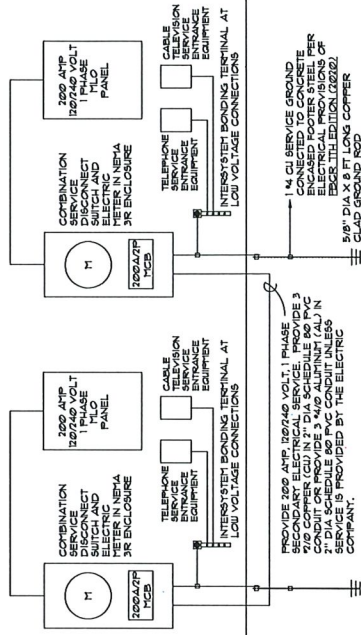
LIVING AREA
782 SQ FT



FIRST FLOOR ELECTRIC
SCALE: 1/4"=1'-0"

LIVING AREA
782 SQ FT

GENERAL NOTES:
A. ELECTRICAL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE, AND THE LOCAL ELECTRICAL CODES AND ALL LOCAL POWER COMPANY REQUIREMENTS.
B. ALL CONDUCTORS SHALL BE TYPE THHN/THWN UNLESS NOTED OTHERWISE.
C. PROVIDE 3 #10 CU #14 GROUNDING CONDUIT OR PROVIDE 3 #10 AL #14 GND IN 2" CONDUIT. (CONDUIT TO TERMINATE ABOVE BOPFT + OVERHANG.)



200 AMP ELECTRICAL RISER
NOT TO SCALE

ELECTRICAL NOTES

- RECEPTACLES TO BE LOCATED WITHIN 6" OF A DOOR OPENING AND NOT MORE THAN 12" ABOVE.
- ALL NEW WORK SHALL BE:
- A) LISTED AND LABELED BY AN INDEPENDENT TESTING LABORATORY.
- B) USED AND INSTALLED IN ACCORDANCE WITH LISTING INSTRUCTIONS.
- C) INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- THAT MEET THE VOLTAGE, SINGLE PHASE, 60 HZ, 20 AMP RECEPTACLE IN THE FIELD.
- SMOKE DETECTORS SHALL BE INSTALLED AS FOLLOWS:
- A) ALL INSTALLATIONS SHALL BE INSTALLED AS FOLLOWS:
- B) CEILING INSTALLATIONS - MIN. 6" FROM ANY VERTICAL SURFACE, EXCEPT IN CASES WHERE THE DETECTOR IS MOUNTED ON A WALL.
- C) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- D) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- E) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- F) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- G) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- H) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- I) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- J) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- K) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- L) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- M) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- N) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- O) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- P) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- Q) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- R) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- S) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- T) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- U) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- V) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- W) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- X) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- Y) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- Z) DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

IMPORTANT NOTE:

- ALL ELECTRICAL WORK MUST BE CHECKED PRIOR TO COMMENCING WORK.

LOAD CALCULATIONS	
200 Amp PANEL	
1188 Sq. Ft. X 3.0 watts per Sq. Ft.	= 3564 watts
2. Appliances circ @ 1500 watts each	= 3000 watts
2. Range @ 8 Kw	= 8000 watts
2. Dishwasher and disposal @ 1500 watts each	= 3000 watts
2. Microwave @ 2000 watts	= 4000 watts
2. water heater 4500	= 9000 watts
2. Dryer @ 5 Kw	= 10000 watts
2. Refrigerator @ 1500 watts	= 3000 watts
4. Bathroom 1 @ 1500 watts	= 6000 watts
Sub Total	52564 watts
First: 10 Kw @ 100%	= 10,000 watts
Remainder @ 40%	= 17790 watts
A/C heat @ 100%	= 8000 watts
Total watts	35790
Divided by 240 volts = 149.125 Amps	

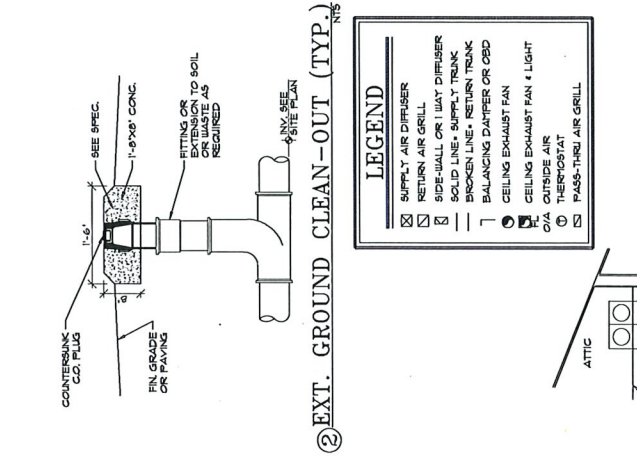
ELECTRICAL LEGEND	
SYMBOL	TITLE
[Symbol]	FLOURESCENT FIXTURE
[Symbol]	RECEPTACLE
[Symbol]	220 RECEPTACLE
[Symbol]	CABLE TV JACK
[Symbol]	SWITCH
[Symbol]	CO/SMOKE DETECTOR
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	EXHAUST FAN
[Symbol]	EXHAUST FAN
[Symbol]	CEILING FAN WITH LIGHT
[Symbol]	CEILING FAN WITH LIGHT
[Symbol]	PENDANT LIGHT
[Symbol]	RECESSED CAN LIGHT
[Symbol]	TELEPHONE/DATA JACK
[Symbol]	FLOOD LIGHT
[Symbol]	CHANGELER

NOTE: ALL CABLE JACKS, INTERNET JACKS, & TELEPHONE JACKS TO BE PLACED PER OWNER'S SPECIFICATIONS.

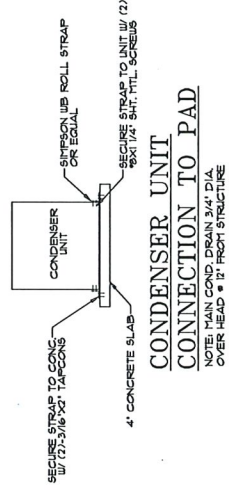
COMMUNITY:	
OWNERS:	
OWNER REVIEW/Acknowledgment:	
OWNER'S SIGNATURE:	DATE:
OWNER'S SIGNATURE:	DATE:
All measures the result to comply with all applicable codes and regulations.	

REVISIONS
X
X
X

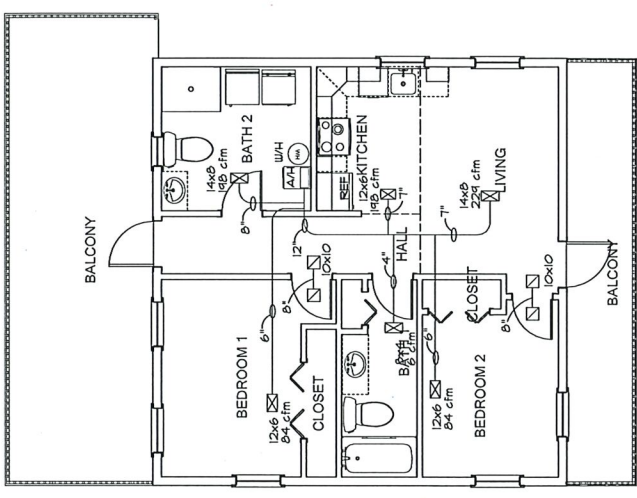
AREA TABULATION	
FINISHED/AREA	1484
FRONT PORCH	268
REAR PORCH	624
WORK AREA	276
12162022	
Duplex	
Renovation	
FEATS SERIES: X	
CONTRACT NUMBER:	
BUILDER/ID:	
DRAWN BY: GG	
CHECKED BY: GG	
SHEET NO.:	
A-8	
LAST P.C.P.	
DATE: 12/06/22	
FILE #:	



SECOND FLOOR HVAC
SCALE: 1/4" = 1'-0"
LIVING AREA
782 SQ. FT.



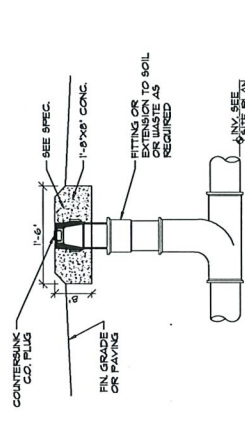
CONDENSER UNIT CONNECTION TO PAD
NOTE: MAIN COND. DRAIN 3/4" DIA. OVER HEAD 8" FROM STRUCTURE



FIRST FLOOR HVAC
SCALE: 1/4" = 1'-0"
LIVING AREA
782 SQ. FT.

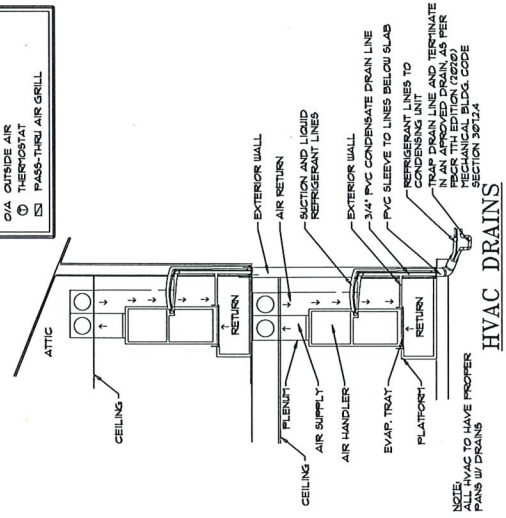
HVAC NOTES

- ALL MECHANICAL EQUIPMENT SHALL BE PROVIDED WITH PROPER CLEARANCE FOR SERVICING, PER MFG. REQUIREMENTS.
- ALL DUCT SYSTEMS INSTALLED IN NON-CONDITIONED AREAS SHALL BE CONSTRUCTED OF A VALUE OF NO LESS THAN R-6 RATINGS. ALL SEAMS SHALL BE SEALED WITH GLASS FAB. PLASTIC AND INSTALLED AS PER FBC 7TH EDITION (2020) MECHANICAL BLDG. CODE SECTION 602.
- FRESH AIR INTAKES SHALL NOT BE LOCATED CLOSER THAN 10 FT. FROM ANY CHIMNEY OR VENT OUTLET, OR SANITARY SEWER VENT OUTLET.
- ALL FLEX DUCTS SHALL BE APPROVED UL 181 CLASS 1 AIR DUCT AS PER NFPA 36A 2-3.1
- FRESH AIR INTAKES SHALL NOT BE LOCATED CLOSER THAN 10 FT. FROM ANY CHIMNEY OR VENT OUTLET, OR SANITARY SEWER VENT OUTLET.
- ALL EXHAUST AND OUTSIDE AIR INLET DUCTS SHALL BE CONSTRUCTED OF SMOOTH GALV. METAL OR OTHER MATERIALS AS PER FBC 7TH EDITION (2020) MECHANICAL CODE SECTION 603 OR OTHER MATERIALS AS PER FBC 7TH EDITION (2020) MECHANICAL CODE SECTION 603.
- ENCLOSED SUPPORT PLATFORMS SHALL BE CONSTRUCTED IN ACCORDANCE TO FBC 7TH EDITION (2020) MECHANICAL CODE SECTION 603.1
- BATHROOMS CONTAINING BATHUBS, SHOWERS, SEATS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTED IN ACCORDANCE WITH FBC 7TH EDITION (2020) MECHANICAL CODE SECTION 403.
- ALL EXHAUSTED BATH ROOMS, SHALL HAVE UNDER-CUT DOORS FOR MAKE-UP AIR TO BE RETURNED TO EQUAL AIR EXHAUSTED.
- ALL FIRE RATED CEILING AND WALLS SHALL HAVE AN APPROVED FIRE OR FIRE/SMOKE BARRIER LOCATED AT CEILING OR WALL PENETRATION AND BE SLEAVED WITH ACCESS DOORS TO FBC 7TH EDITION (2020) MECHANICAL CODE SECTION 607.
- GRILLES AND DIRUSERS SHALL BE PROVIDED WITH BALANCING DAMPERS.



EXT. GROUND CLEAN-OUT (TYP)

	SUPPLY AIR DIFFUSER
	RETURN AIR GRILL
	SIDE WALL OR WAY DIFFUSER
	SOLID LINE - SUPPLY TRUNK
	BROKEN LINE - RETURN TRUNK
	BALANCING DAMPER OR OBD
	CEILING EXHAUST FAN
	CEILING EXHAUST FAN & LIGHT
	OUTSIDE AIR
	THERMOSTAT
	PASS-THRU AIR GRILL



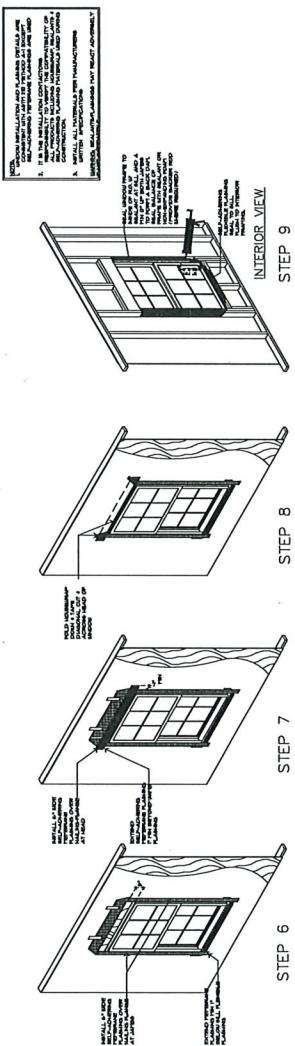
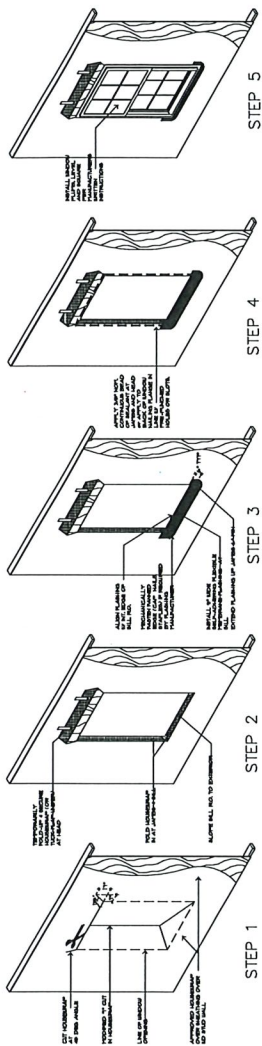
HVAC DRAINS
NOTE: ALL HVAC TO HAVE PROPER PANS W/ DRAINS

COMMUNITY: _____
 CLIENTS: _____
 OWNER REVIEW/ACKNOWLEDGMENT: _____
 OWNER'S SIGNATURE: _____ DATE: _____
 OWNER'S SIGNATURE: _____ DATE: _____
 ALL DRAWINGS ARE SUBJECT TO CHANGE WITHOUT NOTICE TO OBTAIN PERMITS AND INSPECTIONS.

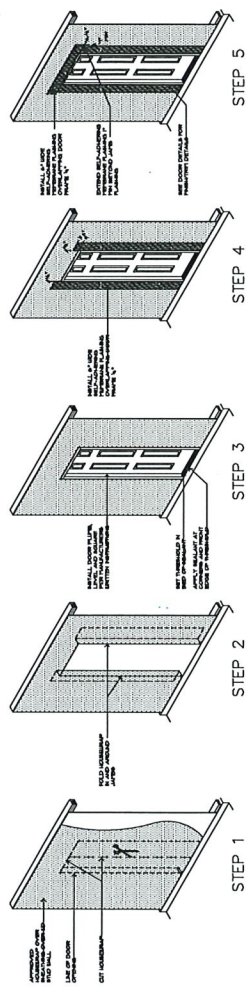
NO.	REVISIONS
1	
2	
3	
4	
5	

AREA TABULATION	
FINISHED AREA	1484
FRONT PORCH	288
REAR PORCH	624
TOTAL WORK AREA	2396

12162022
 Duplex
 Renovation
 FEATS SERIES: X
 CONTRACT MARKED
 BUILT BY: _____
 DRAWN BY: GCG
 CHECKED BY: GCG
 SHEET NO.: _____
A-12
 LAST PLOT DATE: 10/26/22 FILE: *



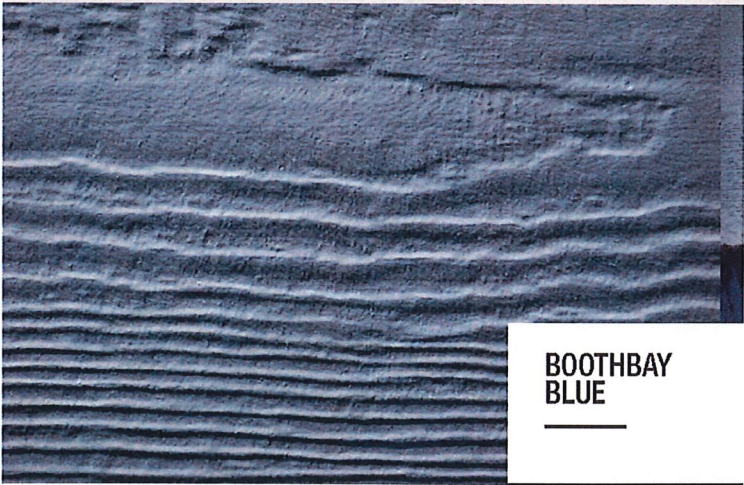
WINDOW FLASHING INSTALLATION DETAILS
 SCALE: 1/8" = 1'-0"



DOOR FLASHING INSTALLATION DETAILS
 SCALE: 1/8" = 1'-0"

209 Ave D Exterior Improvements

Below is an example of the house color: James Hardie Board color Boothbay Blue



This is an example of the windows that will be on the front of house
3050 SH Impact with screen



This is an example of the windows that will be on the front of house
3068 Swinging/Pedastrian Door.

