

Property Identification

Site Address: 209 Avenue D
 Sec/Town/Range: 10/35S/40E
 Parcel ID: 2403-705-0117-000-0
 Jurisdiction: Fort Pierce

Use Type: 0800
 Account #: 16022
 Map ID: 24/10N
 Zoning: Medium Den

Ownership

James Nole
 1147 Hernando ST Apt A
 Fort Pierce, FL 34949

Legal Description

ASSESSOR'S MAP OF N PART OF FORT PIERCE BLK 13-H- LOT 4 (MAP 24/10C)

Current Values

Just/Market Value: \$59,300
 Assessed Value: \$59,300
 Exemptions: \$0
 Taxable Value: \$59,300



Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Total Areas

Finished/Under Air (SF): 1,484
 Gross Sketched Area (SF): 1,884
 Land Size (acres): 0.1
 Land Size (SF): 4,300

Taxes for this parcel: [SLC Tax Collector's Office](#)
 Download TRIM for this parcel: [Download PDF](#)

Building Design Wind Speed

| Occupancy Category | I | II | III |
|--------------------|-----|-----|-----|
| Speed | 140 | 160 | 160 |

Sources/links:

Sale History

| Date | Book/Page | Sale Code | Deed | Grantor | Price |
|--------------|-------------|-----------|------|-------------------------|-----------|
| Jul 20, 2021 | 4656 / 0384 | 0001 | WD | Durrett Jr James E | \$95,000 |
| Feb 4, 2020 | 4380 / 0132 | 0001 | WD | KOBET LLC | \$45,000 |
| Jul 25, 2019 | 4326 / 1091 | 0111 | QC | AABAA International Inc | \$100 |
| Dec 16, 2015 | 3820 / 0436 | 0205 | WD | DeSantis William | \$145,000 |
| Nov 10, 2005 | 2413 / 2753 | XX00 | WD | Lipscomb Donald | \$110,000 |
| Oct 20, 2003 | 1836 / 0035 | XX00 | WD | Leeland Frank A | \$50,100 |
| May 8, 2001 | 1395 / 0842 | XX00 | WD | Smodish Jeff | \$29,000 |
| Jan 31, 1997 | 1058 / 2502 | XX00 | WD | Elsie A Fuller | \$20,000 |
| Oct 5, 1995 | 0980 / 1464 | XX01 | QC | Jude Fischer | \$43,000 |
| May 29, 1991 | 0740 / 1984 | XX00 | WD | Elsie A Fuller | \$52,000 |
| Sep 17, 1990 | 0710 / 0482 | XX01 | WD | Lon F Parsons | \$100 |
| Oct 1, 1980 | 0341 / 0582 | XX01 | CV | | \$6,000 |

Building Information (1 of 1)

Finished Area: 1,484 SF
 Gross Sketched Area: 1,884 SF

Exterior Data

View:
 Building Type: MFH
 Grade: MFAQ
 Story Height: 2 Story

Roof Cover: Sheet Metal
 Year Built: 1901
 Effective Year: 1901
 No. Units: 3

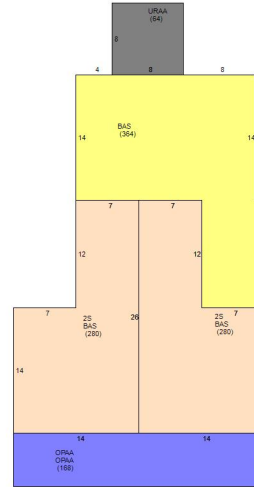
Roof Structure: Gable
 Frame:
 Primary Wall: Wood no Sh
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 3
 Half Baths: 0
 A/C %: 100%

Electric: AVERAGE
 Heat Type:
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Double Pine
 Sprinkled %: N/A%



Sketch Area Legend

| Sub Area | Description | Area | Fin. Area | Perimeter |
|----------|---|------|-----------|-----------|
| 2S | ONE FULL STORY OVER BASE (TOTAL 2 FLOORS) | 560 | 560 | 160 |
| BAS | BASE AREA | 924 | 924 | 254 |
| OPAA | Open Porch Attached Average | 336 | 0 | 136 |
| URAA | Utility Room Attached Average | 64 | 0 | 32 |

Special Features and Yard Items

| Type | Qty | Units | Year Blt |
|---------------|-----|-------|----------|
| Fen WoodSB 6' | 1 | 114 | 2009 |

Current Year Values


Current Values Breakdown

| | |
|----------------------------|----------|
| Building: | \$3,400 |
| Land: | \$55,900 |
| Just/Market: | \$59,300 |
| Ag Credit: | \$0 |
| Save Our Homes or 10% Cap: | \$0 |
| Assessed: | \$59,300 |
| Exemption(s): | \$0 |
| Taxable: | \$59,300 |

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

| Start Year | AssessCode | Units | Description | Amount |
|------------|------------|-------|-------------------------------|---------|
| 1999 | 0041 | 1 | Fort Pierce Stormwater Charge | \$69.00 |

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

| Year | Just/Market | Assessed | Exemptions | Taxable |
|------|-------------|----------|------------|----------|
| 2022 | \$59,300 | \$59,300 | \$0 | \$59,300 |
| 2021 | \$48,700 | \$48,700 | \$0 | \$48,700 |
| 2020 | \$51,100 | \$51,100 | \$0 | \$51,100 |

Permits

| Number | Issue Date | Description | Amount | Fee |
|------------|--------------|------------------------|----------|----------|
| BP2006-408 | May 30, 2006 | Roof | \$12,925 | \$129 |
| F91000285 | Mar 14, 1991 | Alterations/Remodeling | \$10,000 | \$10,000 |
| F91-000619 | May 7, 1991 | Roof | \$845 | \$845 |
| BP20-0475 | Feb 24, 2020 | Demolition | \$800 | \$0 |
| BP21-5400 | Dec 20, 2021 | Demolition | \$2,000 | \$0 |
| BP21-4380 | Jan 4, 2021 | Electric | \$0 | \$0 |

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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