



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 1106 Avenue E

Parcel ID #: 2404-828-0021-000-1

Type of Designation: Contributing Non-contributing Site within the _____ Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner / Applicant Information

Property Owner(s) Name(s): 2nd Generation Building Corp.

Mailing Address: 966 NW Leonardo Circle PSL 34986

Phone Number(s): (772) 201-0280 Email: joe @ 2ndgbc.com

Applicant Name(s): Joseph Basso

Mailing Address: 966 NW Leonardo Cir. PSL 34986

Phone Number(s): 772-201-0280 Email: joe @ 2ndgbc.com

Representative Name(s): _____

Mailing Address: _____

Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

① We, Joseph Basso as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

[Signature] Signature of Owner 7-21-23 Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|--|-------------------------------------|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

- Site Improvements (describe) _____
- Other (describe) _____

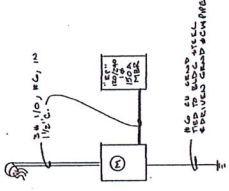
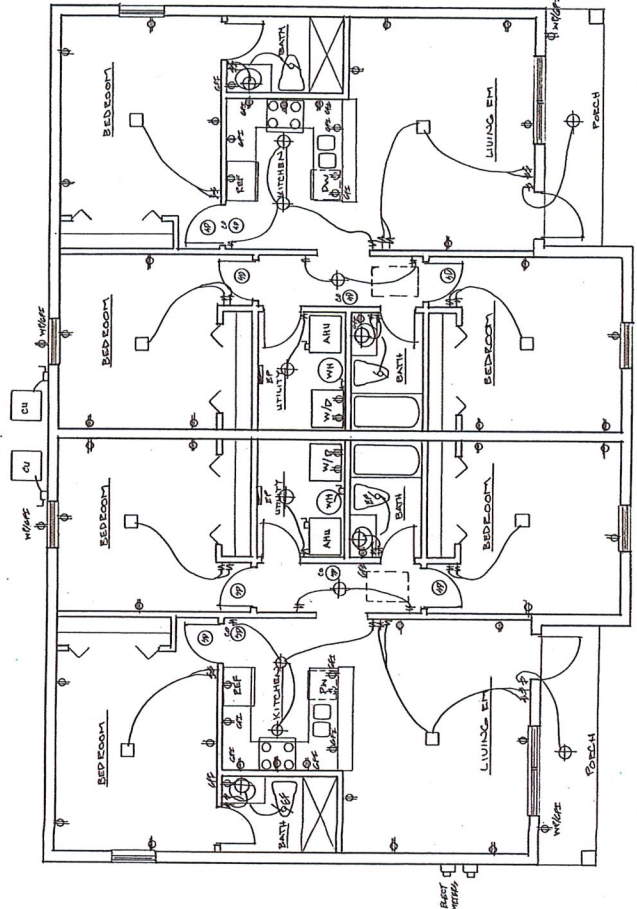
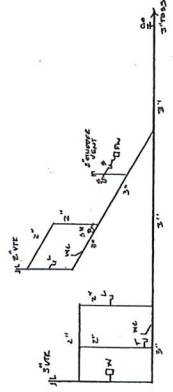
Please provide a detailed description of the proposed work to be performed: new construction
of CBS with stucco exterior of 1 duplex building -
2 units total - square footage is 2320 s.f.
as stated on plans. Stucco exterior consists of
stucco lap siding and stucco bands around window

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
 - Site Plan with dimensions.
 - Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
 - Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
 - Material(s) specifications and/or sample(s)
 - Color samples.
-
- Demolition - Plans for what will be taking the demolished structure's place should be submitted.



- ELECTRICAL LEGEND**
- ⚡ SINGLE POLE SWITCH
 - ⚡ THREE WAY SWITCH
 - ⚡ DUPLEX CONVENIENCE OUTLET
 - ⚡ 220V OUTLET
 - ⚡ MOTOR OUTLET
 - ⚡ HALL MOUNT LIG. FIXTURE
 - ⚡ GFI GROUND FAULT PROTECTION
 - ⚡ PHONE OUTLET
 - ⚡ J.B. FOR PAN/LIGHT CONDUIT
 - ⚡ CABLE TELEVISION OUTLET
 - ⚡ WEATHER PROOF
 - ⚡ RECESSED FIXTURE
 - ⚡ CEILING MOUNT FIXTURE
 - ⚡ SMOKE DETECTORS
 - ⚡ DOORBELL
 - ⚡ CHIMNEY

ELECTRICAL LOAD CALCULATIONS

ITEM	WTS
100% SQ. FEET	3121 VA
2-20 AMP APPLIANCE CIRCUITS	3000 VA
1-20 AMP WATER HEATER	3000 VA
1 DRYWASHER	1200 VA
1 LAUNDRY	1500 VA
1 RANGE	12000 VA
1 WATER HEATER	4500 VA
1 MISCELLANEOUS	2500 VA
TOTAL	10000 VA
FIRST 10 KW @ 100%	10000 VA
REMAINING @ 40%	1007 VA
AC / HEAT @ 100%	12000 VA
TOTAL	13207 VA
IBELL	132 AMPS
IBELL	240

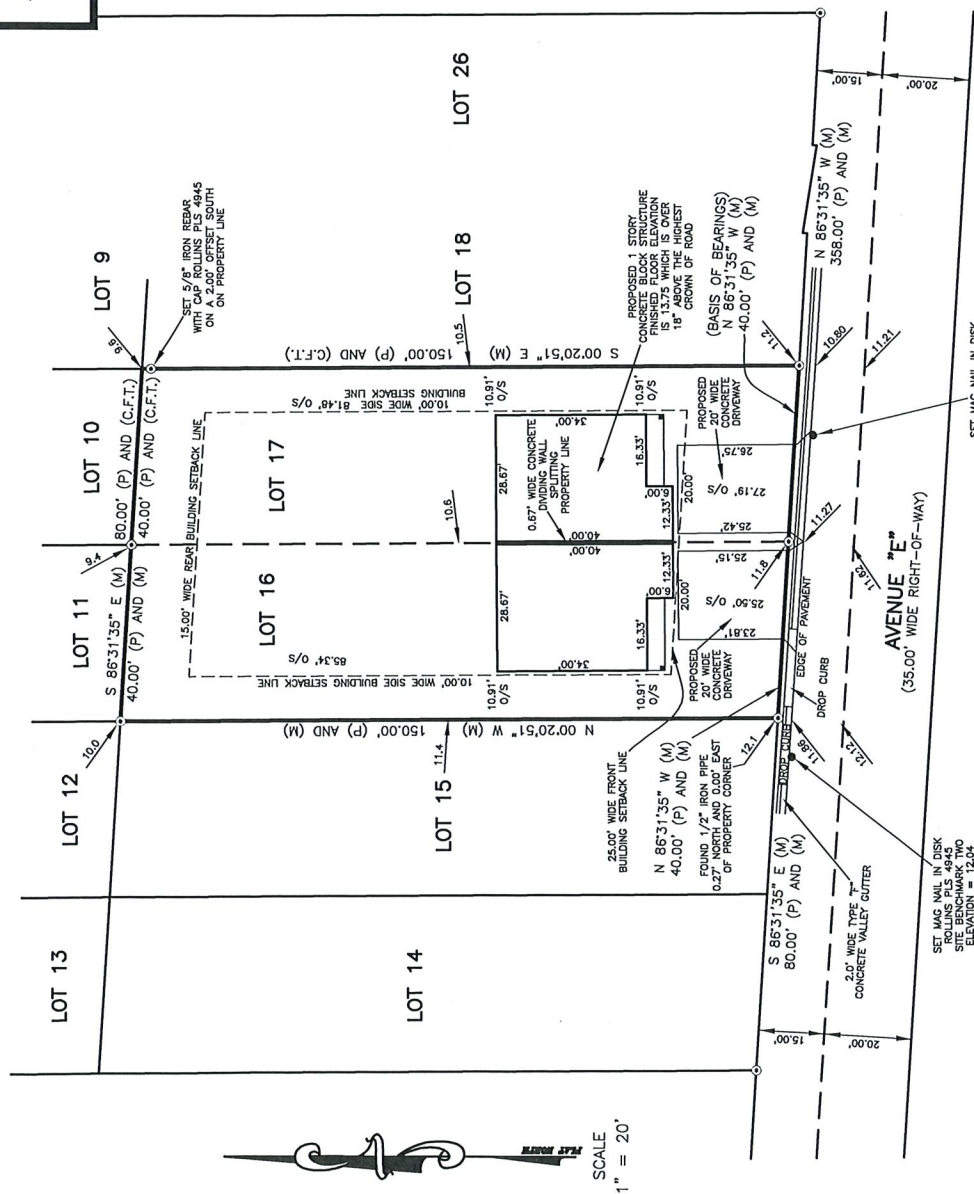
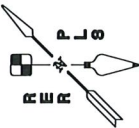
PROVIDE 150 AMP SERVICE
 PROVIDE AFCI FAULT AND TAMPER PROOF RECEPTACLES THROUGHOUT

LEGAL DESCRIPTION:

ALL OF LOTS 16 AND 17, JACKSON'S SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 83 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

BOUNDARY AND TOPOGRAPHIC SURVEY CONSTRUCTION LAYOUT SURVEY

ROLAND E. ROLLINS
PROFESSIONAL LAND SURVEYOR
3221 SOUTHWEST CRUMPACKER STREET
PORT ST. LUCIE, FLORIDA 34953
772-873-4700



NORTH 10TH STREET

SCALE
1" = 20'

- ABBREVIATIONS:
- A/C = AIR CONDITIONER
 - (C) = CALCULATED
 - (C.F.T.) = CALCULATED FROM TRAVERSE
 - CL = CENTERLINE
 - C.B.S. = CONCRETE BLOCK STRUCTURE
 - C.L.S. = CONSTRUCTION LAYOUT SURVEY
 - E/P = EDGE OF PAVEMENT
 - E.O.W. = EDGE OF WATER
 - E.L.P.B. = ELECTRONIC FIELD BOOK
 - E.L.P.B. = ELEVATION
 - FIRM = FLOOD INSURANCE RATE MAPS
 - FND. = FOUND
 - (L.D.) = LEGAL DESCRIPTION
 - (M) = MEASURED
 - N.G.V.D. OF 1929 = NATIONAL GEODETIC VERTICAL DATUM OF 1929.
 - N.G.V.D. OF 1988 = NORTH AMERICAN VERTICAL DATUM OF 1988.
 - N.T.S. = NOT TO SCALE
 - O/S = OFFSET
 - P.C.P. = PERMANENT CONTROL POINT
 - (P) = PLAT
 - P.O.B. = POINT OF BEGINNING
 - P.R.M. = PERMANENT REFERENCE MONUMENT
 - (R) = RECORD
 - P.C. = POINT OF CURVATURE
 - P.I. = POINT OF INTERSECTION
 - S/W = SIDEWALK
 - T.O.S. = TOP OF SLOPE
 - T.O.B. = TOP OF BANK

NOTE: THE BEARINGS ARE REFERENCED ON THE NORTH RIGHT-OF-WAY LINE OF AVENUE E AND THE SOUTH LINE OF LOTS 16 AND 17, JACKSON'S SUBDIVISION ON GRID NORTH FLORIDA EAST NAD83 PROJECTION, WHICH BEARS NORTH 86°31'35" WEST

NOTE: ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

ADDRESS OF SUBJECT PROPERTY:
1108 AVENUE E, FORT PIERCE, FLORIDA

CERTIFICATIONS AS WORDED AND PROVIDED BY CLIENT
CERTIFY TO:

- 1) 2ND GENERATION BUILDING CORPORATION

FLOOD ELEVATION INFORMATION

MAP NUMBER 1211102279K DATE OF FIRM FEBRUARY 19, 2020

COMMUNITY NUMBER 122287 PANEL 0278

FIRM ZONE X SUFFIX K

APPENDIX	FIELD BOOK	PAGE	DATE	CHECKED BY
BOUNDARY SURVEY	E.F.B.		07/05/2023	R.E.R.
TOPOGRAPHIC SURVEY	E.F.B.		07/05/2023	R.E.R.
C.L.S.			07/11/2023	R.E.R.

BENCHMARK REFERENCE:
FOUND BRASS DISK IN CONCRETE VERTICAL CONTROL MARK NATIONAL GEODETIC SURVEY M350 1978. LOCATED 64 FEET PLUS OR MINUS SOUTH OF THE CENTERLINE OF ORANGE AVENUE (STATE ROAD NUMBER 68), 63.6 FEET PLUS OR MINUS EAST OF THE CENTERLINE OF EIGHTH STREET, 11.5 FEET PLUS OR MINUS WEST OF THE ENTRANCE TO THE BUILDING, THE 4" BRASS DISK IS SET IN THE FOUNDATION OF THE MAIN ENTRANCE TO THE FIRMS STAMPED PRESTRESS-REINFORCED CONCRETE IS STAMPED 1978. ELEVATION = 17.52. N.A.V.D. OF 1988.

- LEGEND:
- = SET 5/8" IRON REBAR WITH CAP RINGS REBAR 4945 ON A 2.00' OFFSET SOUTH ON A PROPERTY LINE
 - = SET MAG NAIL IN DISK ROLLS P.L.S. NUMBER 4945
 - ⊕ = FEE HYDRANT
 - ⊖ = WATER METER
 - ⊙ = CONCRETE POWER POLE
 - ⊚ = ANCHOR AND GUY WIRE
 - ⊛ = OVERHEAD WIRES
 - ⊜ = NOT TO SCALE
 - ⊝ = FENCELINE
 - ⊞ = ALUMINUM LIGHT POST ON CONCRETE BASE
 - ⊟ = TELEPHONE SERVICE
 - ⊠ = CABLE TELEVISION SERVICE

NOTES:

- 1) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, OWNERSHIP AND/OR RIGHT-OF-WAYS OF RECORD.
- 2) NO UNDERGROUND OR INTERIOR IMPROVEMENTS WERE LOCATED EXCEPT AS NOTED BY CLIENT.
- 3) BUILDING SETBACKS ARE 90' OR RADIAL TO THE PROPERTY LINE.
- 4) ALL EASEMENTS SHOWN ARE PER RECORD PLAT UNLESS OTHERWISE NOTED.

DATE OF LAST FIELD WORK: 07/05/2023
PLOT DATE AND TIME: 07/11/2023 8:30 AM EST
LOT SQUARE FOOTAGE: 0.275± ACRE
SCALE: 1" = 20'

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE FOR SURVEYS AS CONTAINED IN CHAPTER 31-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

ROLAND E. ROLLINS PROFESSIONAL LAND SURVEYOR, NUMBER 4945 THIS SURVEY IS PRINTED ON PAPER FROM THE C. IF IT BECOMES INVALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

JOB NUMBER: RR230604

DUPLEX RESIDENCE AT 1106 AVENUE E FT. PIERCE, FL

PLANTING PLAN

JULY 28, 2023

QTY.	BOTANICAL NAME	COMMON NAME	N'	WW'	SIZESPECIFICATIONS
------	----------------	-------------	----	-----	--------------------

2	<i>Quercus virginiana</i>	Live Oak	X	X	17" Ht. x 1 1/2" DBH, 65 Gal.
1	<i>Cardia sepioides</i>	Orange Geiger	X	X	12" Ht. x 1 1/2" DBH, 65 Gal.
1	<i>Tabebuia rosea</i>	Pink Trumpet Tree	X	X	12" Ht. x 1 1/2" DBH, 65 Gal.
SHRUBS					
4	<i>Nora Grant</i>	Nora Grant Holly	X	X	24" Ht. x 16" Spr.
4	<i>Gardenia jasminoides</i>	Gardenia	X	X	16" Ht. x 12" Spr.
6	<i>Ilex vomitoria 'Shillings'</i>	Ilex Vomitoria 'Shillings'	X	X	16" Ht. x 12" Spr.

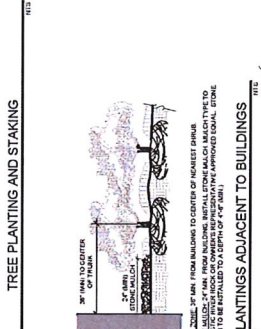
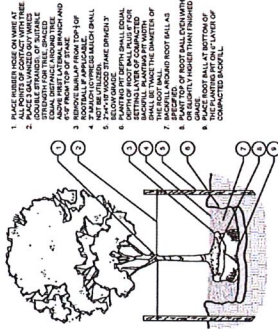
LAWN GRASS	per plan	<i>Stenotaphrum secundatum</i>	St. Augustine 'Floriant'	Solid sod
------------	----------	--------------------------------	--------------------------	-----------

NOTE: * N = Florida Native; WW = Water Wise Drought tolerant

PLANTING SPECIFICATIONS

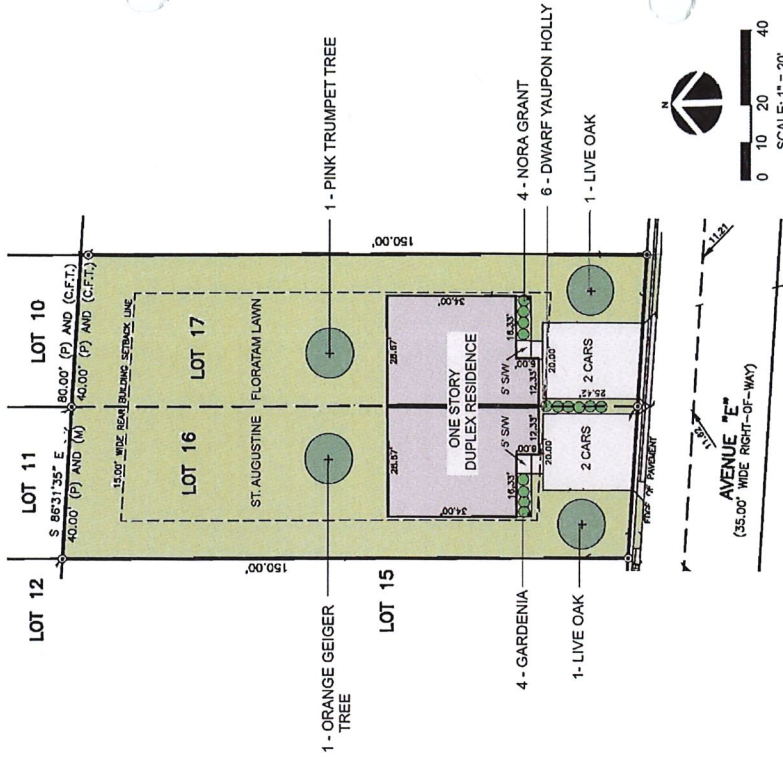
- All plant materials shall be of the sizes as specified in the 'Grades and Standards for Nursery Plants, Parts I & II' prepared by the state Department of Agriculture and Consumer Services.
- All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
- Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Much of the quantities are for planting in the landscape.
- Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or Plant List, the plan takes precedence.
- All planting beds and water basins shall be covered with a 3" minimum depth of shredded eucalyptus or Floramulch grade "B" or better. Refer to the Plant List for the specified mulch type. Protective mulch material is required to be approved by Landscape Architect.
- The planting plan shall be installed in compliance with all existing codes and applicable deed restrictions.
- PLANTING SOIL:** All trees and shrubs shall be planted with a minimum of 12" topsoil and ground beneath the rootball. Minimum topsoil shall be 6" for groundcover areas.
- Planting soil to be a weed-free mixture of 50% sand and 50% mulch or other organic planting material suitable to the Landscape Architect.
- Contractor shall be responsible for providing final grading of all associated planting areas.
- Contractor shall be responsible for providing utility locations and installing facilities, as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
- Contractor shall be responsible for providing final grading of all associated planting areas.
- After final grade, area to be re-graded to 6" depth and all rock and foreign inorganic materials removed.
- All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 7).
- No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
- Contractor shall stake and guy all trees and palms at time of planting as per the appropriate detail. Contractor shall be responsible for providing final grading and goring during the Warranty Period and removal and disposal of staking after the establishment period.
- Fertilizer is required for plantings and shall be NPK 16-4-8 at 12.5 lbs/1000 s.f. or 345 lbs/acre. Nitrogen 50% slow release form and fertilizer to include secondary/minor micronutrients.
- SUBSTITUTIONS AND CHANGES:** All substitutions and changes shall be approved in writing immediately after the establishment period. All substitutions shall be brought to the attention of the Owner. All substitutions shall be made at the time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed thereafter for a period of 2-months.
- All new plant material shall be guaranteed for 1-year from time of final acceptance of the project. All new plant material in healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10-business days of the date of final acceptance. All trees that lean or are blown over, caused by winds less than 75-MPH, will be re-set and braced by the contractor at no additional cost to the Owner.
- The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The unit price breakdown shall be submitted with the bid. The unit price breakdown shall be submitted with the bid. The unit price breakdown shall be submitted with the bid.
- No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
- Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
- Root-prune all field grown trees a minimum of 8-weeks prior to planting.

PLANTING DETAILS



GENERAL PLANTING NOTES

- All dimensions F' and less are exaggerated for illustrative purposes only.
- Plant containers shall be removed prior to planting. If plants are not container grown, remove a minimum of the top 1/3 of burlap, fabric, or wire mesh. Never fill or handle the tree by the trunk.
- The uppermost root on all trees shall be covered by no more than 1" of soil. Use hand tools to carefully remove all excess soil. The top or root ball shall be set 1"-2" above finish grade and set in a hole that is 1/3 wider than the root ball and 1/3 deeper. After placing the tree, backfill the bottom of the planting pit to make the rootball. After placing the tree, backfill the bottom of the rootballs with 3 or 4 vertical slices (top to bottom) equally distributed around the tree.
- Backfill shall be loosened existing soil. Remove rocks, sticks, or other deleterious material greater than 1" in any direction prior to backfilling. Water and tamp to remove air pockets. If existing soils contain excessive sand, clay, or other material not conducive to proper plant growth, contact Landscape Architect prior to planting.
- Soil rings shall be constructed of existing soil at the outer edge of the planting pit, with a height of 3" and gently sloping sides. Do not take soil on top of rootball.
- Mulch shall be a 3" deep layer placed to the edge of the trunk flare, around the base of shrub, or solidly around groundcover. Never pile mulch against the plant trunk. Allow air to meet trunk of all plants.
- Stems shall be a minimum 1" wide nylon or polypropylene. All used stakes or anchors shall be located beyond the edge of soil ring and located below finished grade, unless otherwise specified. Remove above ground guying systems at the end of the establishment period.



PREPARED BY:



FL REG. # 0000422

GEORGE BOTNER, P.L.A. AICP
LANDSCAPE ARCHITECTURE & PLANNING
4320 S E Cove Lake Circle, Suite # 104
Stuart, FL 34997
botner@aol.com
(954) 798-7158 (Cell) (772) 221-9558