



THE SUNRISE CITY

FORT PIERCE
PLANNING DEPARTMENT
Florida



TO: TECHNICAL REVIEW COMMITTEE

THROUGH: KEVIN FREEMAN, PLANNING DIRECTOR

FROM: MARIA LEWICKA, AICP, HISTORIC PRESERVATION PLANNER

RE: **MINOR SITE PLAN**
1021 N 12TH STREET
TECHNICAL REVIEW PROJECT# 23-07000001

DATE: JANUARY 5, 2023

Minor Site Plan Application – 1021 N 12th Street

Parcel ID: 2404-804-0002-000-8

Attached is an Application for Minor Site Plan submitted by John George, G.C., to build three (3) duplexes with parking, landscaping, drainage and other associated improvements.

The property is zoned R-4, Medium Density Residential and is designated as RM, Medium Density Residential Future Land Use. The subject site has approximately 0.63 acres.

Please review and provide comments on the project. Please send all comments to my email mlewicka@cityoffortpierce.com or through interoffice mail to the Planning Department. If you have comments please respond by January 13, 2023.

Please do not hesitate to contact me should you require any additional information at 772-467-3738.

Thank you.

Maria Lewicka, AICP

Attachments



DEVELOPMENT REVIEW

Property Information

Property address or Location 1021 N 12th ST FORT PIERCE FL 34950
 Parcel ID #(s) 2404-804-0002-000-8
 Project description DUPLEX

Application Type

- Site Plan Conditional Use w/New Construction Conceptual Development Plan
 Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: _____ Site Acreage: _____
 Residential: Proposed Units: 6 Proposed Sq. Ft.: 5,370 Site Acreage: 27,300

VINCENT MARCELLINO
 Property Owner(s)

5625 NW WAXMAN CT
 Street Address

PORTSTUE FL 34986
 City State Zip

954 914 5090
 Phone Number

HORIZON-PALMS@HOTMAIL.COM
 Email Address

JOHN GEORGE G.C
 Applicant/Representative, Title, Company

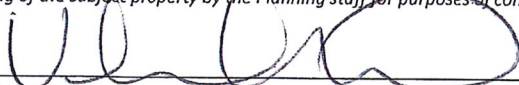
686 OLD NIXIE HWY
 Street Address

NEBO BEACH FL 33962
 City State Zip

772 834 7001
 Phone Number

GEORGE CONSTRUCTION 30 GMAIL COM
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.


 Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS
 CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM
 For more information, please refer to the website:
<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev1>



DESIGN REVIEW

Property Information

Property address or Location 1021 N 12TH ST FORT PIERCE FL 34950
 Parcel ID #(s) 2404-804-0002-000-8
 Project description DUPLEX

VINCENT MARCELLINO
 Property Owner(s)

JOHN GEORGE G.C.
 Applicant/Representative, Title, Company

5625 NW WAWAN CT
 Street Address

686 OLD DIXIE HWY
 Street Address

FORT ST LUCIE FL 34986
 City State Zip

VERO BEACH FL 33962
 City State Zip

954 914 5090
 Phone Number

772 834 7001
 Phone Number

HORIZON-PALMS@HOTMAIL.COM
 Email Address

George.construction3@gmail.com
 Email Address

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This Document Prepared By and Return to:
Melissa Harnage
St. Lucie Title Services, Inc.
800 Virginia Avenue, Suite 47
Fort Pierce, FL 34982

Parcel ID Number: 2404-804-0002-000/8

Warranty Deed

This Indenture, Made this 4th day of March, 2020 A.D., Between
Betty Robinson

of the County of St. Lucie, State of Florida, grantor, and
Vincent Marcelino

whose address is: 5625 NW Wawan Ct., Port St. Lucie, FL 34986

of the County of St. Lucie, State of Florida, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of
-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of St. Lucie State of Florida to wit:

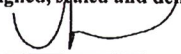
Lot 2, Block 1, Nobles and Nottingham Subdivision, according to the
Plat thereof as recorded in Plat Book 4, Page 41, of the Public
Records of St. Lucie County, Florida.


The property herein conveyed is vacant and unimproved land and DOES NOT
constitute the HOMESTEAD property of the Grantor.

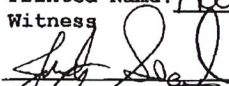
and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set her hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

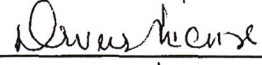

Printed Name: Melissa Harnage
Witness


Betty Robinson (Seal)
P.O. Address: PO Box 2075, Fort Pierce, FL 34954



Printed Name: Judy Seaborn
Witness

STATE OF Florida
COUNTY OF St. Lucie

The foregoing instrument was acknowledged before me by means of physical presence or online
notarization, this 4 day of March, 2020 by
Betty Robinson

who is personally known to me or who has produced her 
as identification




Printed Name: _____
Notary Public
My Commission Expires: _____

Property Identification

Site Address: 1021 N 12th ST
Sec/Town/Range: 04/35S/40E
Parcel ID: 2404-804-0002-000-8
Jurisdiction: Fort Pierce

Use Type: 0000
Account #: 17717
Map ID: 24/04S
Zoning: Medium Den

Ownership

Vincent Marcelino
8015 Plantation Lakes DR
Port St Lucie, FL 34986

Legal Description

NOBLES AND NOTTINGHAM S/D BLK 1 LOTS 2, 17 AND 18 (0.63 AC - 27,300 SF) (OR 4461-1965)

Current Values

Just/Market Value: \$34,900
Assessed Value: \$32,450
Exemptions: \$0
Taxable Value: \$32,450



Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)

Total Areas

Finished/Under Air (SF): 0
Gross Sketched Area (SF): 0
Land Size (acres): 0.63
Land Size (SF): 27,300

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	160	160

Sources/links:

SITE CONSTRUCTION FOR MARCELLINO DUPLEX 1021 N 12TH STREET FORT PIERCE, FLORIDA 25 JULY 2022

- CONTENTS:**
- COVER
 - SITE PLAN
 - C-1: DEMOLITION/EROSION CONTROL PLAN
 - C-2: SITE PLAN LAYOUT
 - C-3: DRAINAGE PLAN
 - C-4: PROJECT DETAILS
 - C-5: PROJECT DETAILS
 - C-6: PROJECT DETAILS
 - C-7: UTILITIES PLAN
 - L-1: LANDSCAPE PLAN
 - L-2: IRRIGATION PLAN
 - L-3: LANDSCAPE DETAILS
 - L-1 LIGHTING PLAN
- OWNER:**
VINCENT MARCELLINO
5625 NW WAWAN COURT
PORT ST. LUCIE, FL. 34986
(954)914-5090
- ENGINEERS:**
DESIGNWEST ENGINEERS
111 MONUMENT AVENUE
KISSIMMEE, FL. 34741
(203)514-4221
- SURVEYOR:**
RENNER BURGESS
LAND SURVEYING
801 S.E. 6TH AVENUE
SUITE 203
DELRAY BEACH, FL. 33483
(561) 243-4624
- CONTRACTOR:**
GEORGE AND ASSOCIATES INC
FORT PIERCE, FL. 34950
772-834-7001

PROJECT DESCRIPTION PROJECT SUMMARY

A- THE DUPLEX PROJECT 2 BEDROOMS 1 BATH 860 SQFT LIVING SPACE IS PLANNED FOR LOW INCOME WORKING FAMILY AND RETIREES. EACH UNIT WILL BE COMPRISED OF 2 BEDROOMS 1BATH A KITCHEN SPACE AND A COMMON AREA (GREAT ROOM) FOR THE FAMILY.

B- PARKING REQUIREMENTS GENERATED BY THIS PROJECT WILL BE ACCOMMODATED 2 PARKING SPACE FOR EACH UNIT.

C- OCCUPANCY FOR THIS PROJECT IS SCHRDULED FOR WINTER 2023

PROPOSAL, BUILDING AND CONTRACTING DELIVERY METHOD

A- THE OWNER HAS DECIDED TO USE HIS CONTRACTOR "DELIVERY METHOD" FOR THIS PROJECT WITH AN EARLY SITE PACKAGE TO COMPLY WITH THE SCHEDULE.

SUBSTRUCTURE FOUNDATIONS

- A- FOUNDATION: 3,000 PSI CAST INPLACE CONCRETE.
- B- FOOTINGS- SPREAD FOOTING BASE ON ENGINEER RECOMMENDATION.
- C- SLAB ON GRADE- 4 INCH THICK SLAB CONCRETE ON GRADE, ON COMPACTED FILL COMPLYING WITH REQUIREMENTS OF FLORIDA 2020 BUILDING CODE.

Building designed with 2020 Florida Building Code 7th Edition Residential and include the applicable wind criteria (Ultimate design wind speed (Vult) and 3-second gust/nominal wind speed (Vasd) both in miles per hour, wind exposure and risk category.
All documents are properly signed, dated and sealed as required for the method of submittal. (FBC 107)



**VINCENT MARCELLINO
PROJECT DUPLEX
FORT PIERCE, FL**

**CONSULTING ENGINEERS
VINCENT MARCELLINO
PE 81084
DESIGNWEST ASSOCIATE**

DESIGNWEST ENGINEERS, INC. ENGINEERING DESIGN CRITERIA MEETS OR EXCEEDS 2020 FLORIDA BUILDING CODE AND 2017 NCEC. WIND SPEEDS AND PRESSURE COEFFICIENTS ARE BASED ON 3 SECOND GUST WIND SPEEDS AND PRESSURE COEFFICIENTS ARE BASED ON 3 SECOND GUST WIND SPEEDS. ALL DIMENSIONS ARE TO BE DESIGNED TO MEET FACTOR = 1.0 EXCEPT AS NOTED.

DRAWING NO.	PH 203-514-5221	SCALE	AS SHOWN	SHEET NO.	1 OF 1
DATE	07/25/22	PROJECT	DESIGNWEST ASSOCIATE	PROJECT	DESIGNWEST ASSOCIATE
DESIGNED BY	PH 203-514-5221	CHECKED BY	PH 203-514-5221	DATE	07/25/22
APPROVED BY	PH 203-514-5221	DATE	07/25/22	PROJECT	DESIGNWEST ASSOCIATE

SHEET NO
COVER

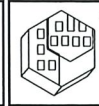


DESIGNWEST ENGINEERS AND ASSOCIATE INC.

Fine Architectural Design
111 Monument Avenue, Suite 300
Kissimmee, FL 34741
PH 203-514-5221
designwestassoc@aol.com

REVISIONS -

NO.	DATE	DESCRIPTION
1	08/28/2022	ISSUED FOR PERMITS
2	09/01/2022	REVISED PER COMMENTS
3	09/05/2022	REVISED PER COMMENTS
4	09/08/2022	REVISED PER COMMENTS
5	09/12/2022	REVISED PER COMMENTS
6	09/15/2022	REVISED PER COMMENTS

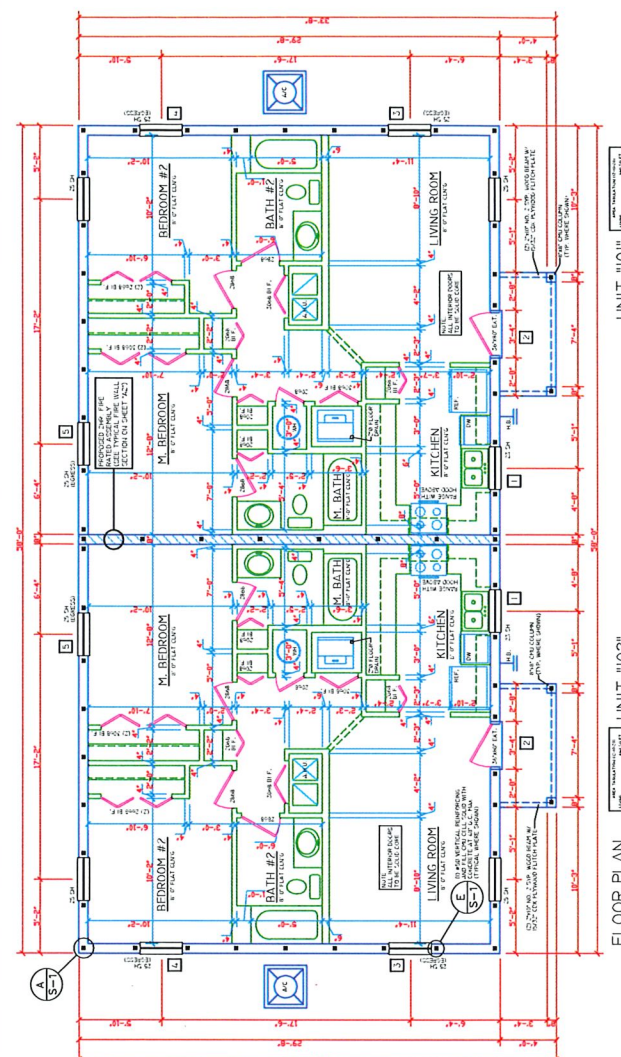


ENGINEERING AND DESIGN CONCEPTS, INC.
 1021 N. 12TH ST., FORT PIERCE, FL 34950

DUPLEX FOR -
 MARCELLINO
 BUILDING 1
 1021 N. 12TH ST., FORT PIERCE, FL 34950

ENGINEER OF RECORD
 EDWARD F. SHINSKIE, PE
 1707 WILD WAKE ROAD
 MIAMI, FLORIDA 33174
 PH: 305-565-5225
 FAX: 305-565-5225

AI
 SHEET 1 OF 7
 ELECTRICAL



UNIT "101"

UNIT "102"

SHEET INDEX

A1	ELEVATIONS, WINDLOAD DESIGN CRITERIA, ATTIC VENT CALCULATIONS, AND FLOOR PLANS
A2	NOTES, AND WALL SECTIONS
A3	LINEEL SCHEDULE, AND WALL SECTIONS
A4	FOUNDATION PLAN, AND FOOTING DETAILS
A5	TRUSS LAYOUT, CONNECTOR SCHEDULE, REACTION SUMMARY, AND CONNECTOR DETAILS
SI	DETAILS, NOTES, AND ROOF SHEATHING NAILS SCHEDULE
EPI	ELECTRICAL LAYOUT, ELECTRICAL LOAD CALCULATIONS, ELECTRICAL RISER DIAGRAM, AND PLUMBING RISER DIAGRAM

Digitally signed
 Edward F. Shinskie Jr.
 Date: 2022.12.08
 15:20:04 -05'00'

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SIGNED BY EDWARD F. SHINSKIE, PE. THE DATE AND TIME OF SIGNING IS 12/08/2022 15:20:04. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED, AND THE SIGNATURE MUST BE VERIFIED ON AN ELECTRONIC COPY.

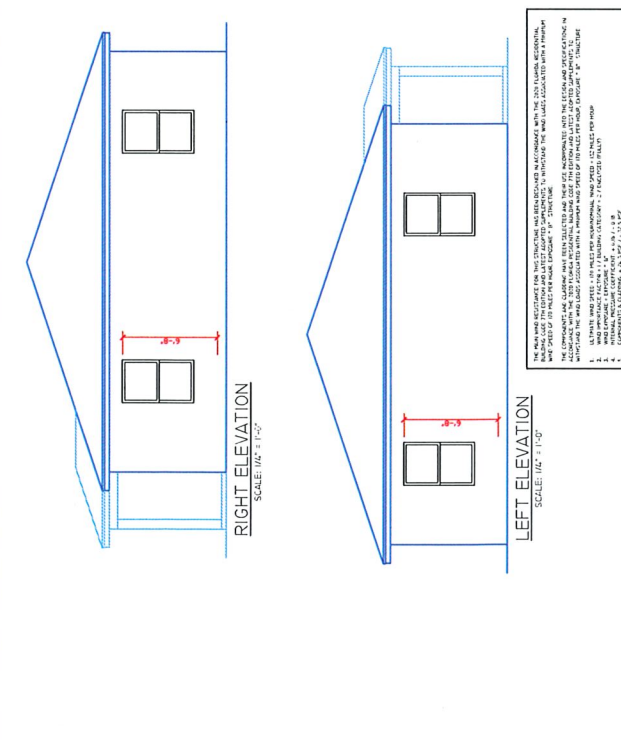
DESIGN CRITERIA

GENERAL NOTES	1. THESE DRAWINGS SHALL BE APPROVED WITH THE SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER OF RECORD.
FULLY ENCLOSED	2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE SUPPLEMENTARY REQUIREMENTS.
WIND SPEED 175 MPH	3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE SUPPLEMENTARY REQUIREMENTS.
EXPOSURE B	4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE SUPPLEMENTARY REQUIREMENTS.
BUILDING CATEGORY	5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE SUPPLEMENTARY REQUIREMENTS.
TWO (2)	6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE SUPPLEMENTARY REQUIREMENTS.

WINDLOAD DESIGN INFORMATION

WIND DIRECTION	WIND SPEED (MPH)	WIND DIRECTION	WIND SPEED (MPH)
0°	175	180°	175
45°	175	225°	175
90°	175	270°	175
135°	175	315°	175

ATTIC VENTILATION CALCULATION UNIT "1" - 516' 0" B'P
 SCOURGE ATTIC VENTILATION OF 1700 SQ. FT. OF THE TOTAL CEILING SQUARE FOOTAGE, BASED ON AN APPROXIMATE 5.000 FT. OF ATTIC VENTILATION IS REQUIRED. SUGGESTED SPLIT PROVIDING 5.000 FT. OF FRICTIONAL VENTILATION AND 12.000 FT. OF VENTILATION.
 TOTAL PROPOSED VENTILATION 17.000 FT. EXCEEDS THE REQUIRED 12.000 FT. OF VENTILATION REQUIRED.
 CALCULATING TYP. CONTINUOUS RISE. G. BASED ON A VENT PROVIDING 17.000 FT. OF VENTILATION FOR EACH FT. OF VENTILATION FOR EACH UNIT.



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

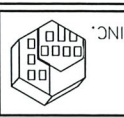
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"

THE DRAWING INDICATES FOR THIS STRUCTURE HAS BEEN CALCULATED ACCORDING TO THE 2021 FLORIDA BUILDING CODE, THE 2021 FLORIDA ELECTRICAL CODE, AND THE 2021 FLORIDA MECHANICAL, PLUMBING, AND HEATING CODE. THE STRUCTURE IS CLASSIFIED AS A SINGLE-FAMILY DWELLING. THE STRUCTURE IS CLASSIFIED AS A SINGLE-FAMILY DWELLING. THE STRUCTURE IS CLASSIFIED AS A SINGLE-FAMILY DWELLING. THE STRUCTURE IS CLASSIFIED AS A SINGLE-FAMILY DWELLING.

TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE FOLLOWING PLANS COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE 2021 FLORIDA RESIDENTIAL BUILDING CODE 7TH EDITION AND LATEST ADOPTED SUPPLEMENTS



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY EDWARD F. SHINSKE, PE ON THE DATE 4/20/17 AT 10:58 AM. THE SIGNATURE AND SEAL ARE NOT REPRODUCIBLE IN THIS PRINTED COPY.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THEY ARE VERIFIED BY AN ELECTRONIC COPY.
 MUST BE VERIFIED ON ANY ELECTRONIC COPY.

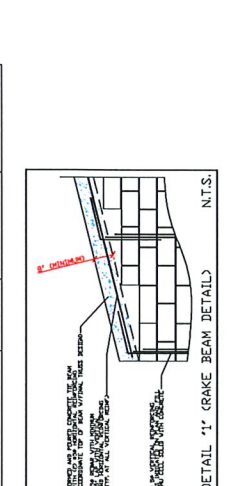
TABLE 23.0.1 MINIMUM LINE LOADS IN POUNDS PER SQUARE FOOT OF HORIZONTAL PROJECTION

ROOF SLOPE	TRIBUTARY LOADED AREA IN SQUARE FEET PER LINEAL FOOT OF HORIZONTAL PROJECTION	MINIMUM LINE LOAD PER SQUARE FOOT
FLAT OR PITCH LESS THAN 4 INCHES PER 12	20	12
PITCH 4 INCHES PER FOOT (3.33) TO LESS THAN 12 INCHES PER FOOT (1.0)	16	12
PITCH 12 INCHES PER FOOT (1.0) AND GREATER	12	12

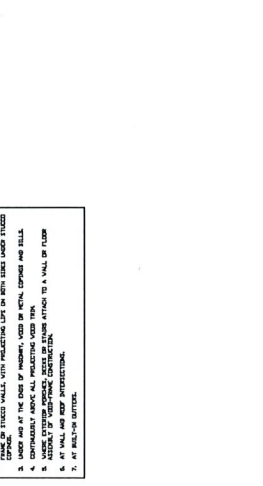
FOR 90° TO 180° SLOPE, POUND PER SQUARE FOOT = 0.0209 HORIZONTAL INCH PER FOOT + 8.33 HORIZONTAL INCH PER FOOT

TABLE 23.0.2 METAL FLASHING MATERIAL

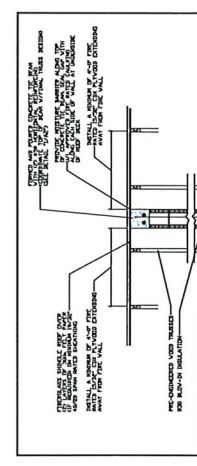
MATERIAL	GAGE MINIMUM (INCHES)	GAGE WEIGHT (LBS. PER SQ. FT.)
COPPER	0.024	1.19 (27)
ALUMINUM	0.024	2.9
STAINLESS STEEL	0.075	2.9 (ZINC COATED 900)
ALUMINUM ZINC COATED STEEL	0.075	2.9 (ZINC ALUMINUM ZINC)
ZINC ALLOY	0.027	2.5 (60-40)
PAINTED TENSILE		1.25 (24-22)



GENERAL NOTES:
 1. THE FLASHING SHALL BE INSTALLED OVER THE ROOFING MATERIAL AND UNDER THE FINISH SURFACE.
 2. THE FLASHING SHALL BE INSTALLED OVER THE ROOFING MATERIAL AND UNDER THE FINISH SURFACE.
 3. THE FLASHING SHALL BE INSTALLED OVER THE ROOFING MATERIAL AND UNDER THE FINISH SURFACE.
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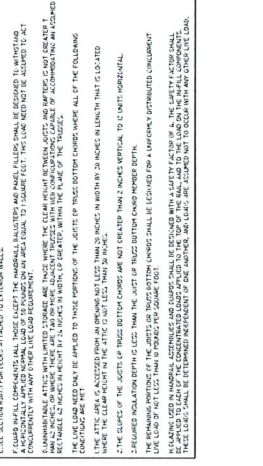
GENERAL NOTES:
 1. THE WALL SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
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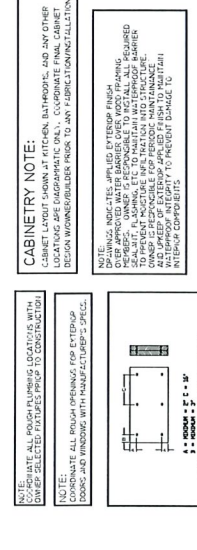
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 9. THE WALL SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
 10. THE WALL SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:

TABLE 23.0.3 MINIMUM LINE LOADS IN POUNDS PER SQUARE FOOT OF HORIZONTAL PROJECTION

ROOF SLOPE	TRIBUTARY LOADED AREA IN SQUARE FEET PER LINEAL FOOT OF HORIZONTAL PROJECTION	MINIMUM LINE LOAD PER SQUARE FOOT
FLAT OR PITCH LESS THAN 4 INCHES PER 12	20	12
PITCH 4 INCHES PER FOOT (3.33) TO LESS THAN 12 INCHES PER FOOT (1.0)	16	12
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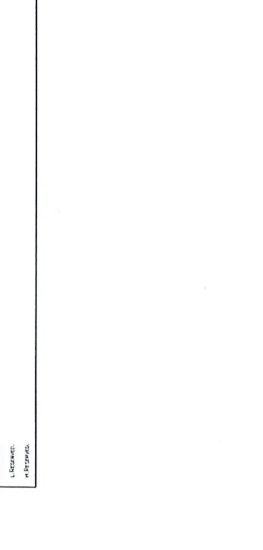
GENERAL NOTES:
 1. THE BUCK SHALL BE INSTALLED OVER THE ROOFING MATERIAL AND UNDER THE FINISH SURFACE.
 2. THE BUCK SHALL BE INSTALLED OVER THE ROOFING MATERIAL AND UNDER THE FINISH SURFACE.
 3. THE BUCK SHALL BE INSTALLED OVER THE ROOFING MATERIAL AND UNDER THE FINISH SURFACE.
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 10. THE BUCK SHALL BE INSTALLED OVER THE ROOFING MATERIAL AND UNDER THE FINISH SURFACE.



GENERAL NOTES:
 1. THE CABINET SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
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 6. THE CABINET SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
 7. THE CABINET SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
 8. THE CABINET SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
 9. THE CABINET SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
 10. THE CABINET SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:

TABLE 23.0.4 MINIMUM LINE LOADS IN POUNDS PER SQUARE FOOT OF HORIZONTAL PROJECTION

ROOF SLOPE	TRIBUTARY LOADED AREA IN SQUARE FEET PER LINEAL FOOT OF HORIZONTAL PROJECTION	MINIMUM LINE LOAD PER SQUARE FOOT
FLAT OR PITCH LESS THAN 4 INCHES PER 12	20	12
PITCH 4 INCHES PER FOOT (3.33) TO LESS THAN 12 INCHES PER FOOT (1.0)	16	12
PITCH 12 INCHES PER FOOT (1.0) AND GREATER	12	12



GENERAL NOTES:
 1. THE WALL SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
 2. THE WALL SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
 3. THE WALL SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
 4. THE WALL SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
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 9. THE WALL SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:
 10. THE WALL SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:

NO.	DATE	REVISIONS

ENGINEERING AND DESIGN CONCEPTS, INC.
 1021 N. 12TH ST., FORT PIERCE, FL 34950
 BUILDING I
 MARCELLINO
 -DUPLEX FOR-

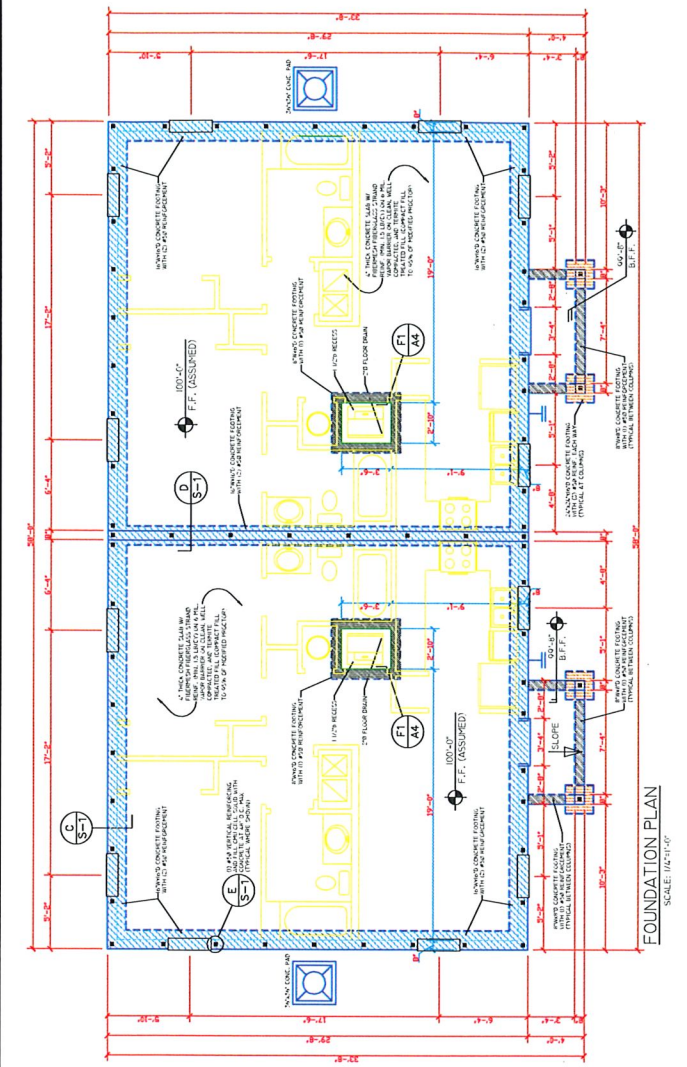


ENGINEER OF RECORD
 EDWARD F. SHINSKE, PE
 4707 WILD TURKEY ROAD
 MIAMI, FLORIDA 33174
 PH. 521-653-5223

DESIGNED BY
 SHEET A OF 7
 DRAWING TITLE
 FOUNDATION PLAN

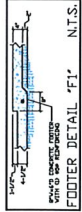
DATE OF ISSUE
 11/11/11

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

PILE FOUNDATION NOTES:
 THE APPROVED PILING SHALL BE A MINIMUM NUMBER OF PILES PER UNIT AS SHOWN ON THE FOUNDATION PLAN. THE PILES SHALL BE INSTALLED TO THE REQUIRED DEPTH AND SHALL BE PROTECTED FROM DAMAGE BY THE EXCAVATION CONTRACTOR. THE PILES SHALL BE PROTECTED FROM DAMAGE BY THE EXCAVATION CONTRACTOR. THE PILES SHALL BE PROTECTED FROM DAMAGE BY THE EXCAVATION CONTRACTOR.



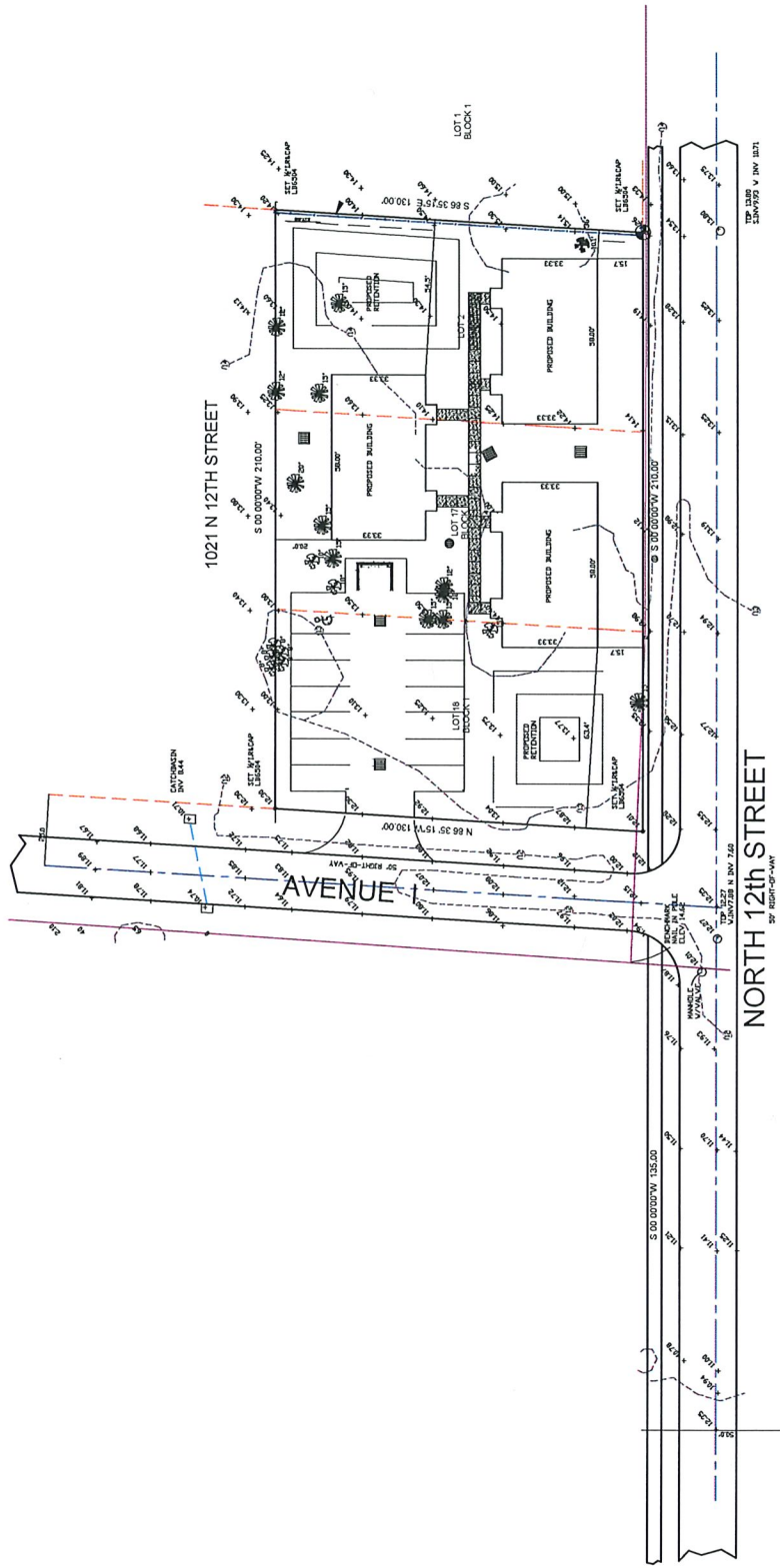
GENERAL NOTES:
 1. THESE DRAWINGS SHALL BE INSTALLED WITH THE FOUNDATION PLAN AND SHALL BE INSTALLED WITH THE FOUNDATION PLAN AND SHALL BE INSTALLED WITH THE FOUNDATION PLAN.
 2. THE FOUNDATION PLAN SHALL BE INSTALLED WITH THE FOUNDATION PLAN AND SHALL BE INSTALLED WITH THE FOUNDATION PLAN.
 3. THE FOUNDATION PLAN SHALL BE INSTALLED WITH THE FOUNDATION PLAN AND SHALL BE INSTALLED WITH THE FOUNDATION PLAN.
 4. THE FOUNDATION PLAN SHALL BE INSTALLED WITH THE FOUNDATION PLAN AND SHALL BE INSTALLED WITH THE FOUNDATION PLAN.

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EDWARD F. SHINSKE, PE
 4707 WILD TURKEY ROAD
 MIAMI, FLORIDA 33174
 PH. 521-653-5223



LOTS 1, 2, 3, AND 7, BLOCK 2, OF THE PLAY OF NOBLES AND NOTTINGHAM
 SQUARE, IN PLAT BOOK 4 PAGE 41 OF THE PUBLIC RECORDS OF
 ST. LUCIE COUNTY, FLORIDA



PROPOSED SURVEY SITE PLAN

AS SHOWN FROM FLORIDA DIVISION RECORD IN THE AREA FOR
 FROM MAP "ILLUSTRATION DATED 8-2-1928"

- FRUIT TREE
- PALM TREE
- DM TREE

- 1) BUILDING FOOTPRINTS ARE SHOWN
- 2) AS DISTANCE OF ANY CHANGE IN RESTRICTIONS OF RECORD
- 3) "STAIN" MARKS ARE RELATIVE TO THE "STAIN" MARKS IN THE ORIGINAL RECORD
- 4) ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF

THIS IS A PRELIMINARY PLAN. THE SURVEYOR HAS NOT BEEN TO THE SITE AND HAS NOT OBSERVED THE PROPOSED IMPROVEMENTS. THE SURVEYOR HAS NOT BEEN TO THE SITE AND HAS NOT OBSERVED THE PROPOSED IMPROVEMENTS. THE SURVEYOR HAS NOT BEEN TO THE SITE AND HAS NOT OBSERVED THE PROPOSED IMPROVEMENTS.



801 S.E. 8th Ave., Suite 203
 Delray Beach, FL 33402
 Phone: 243-4824
 Fax: 243-4889

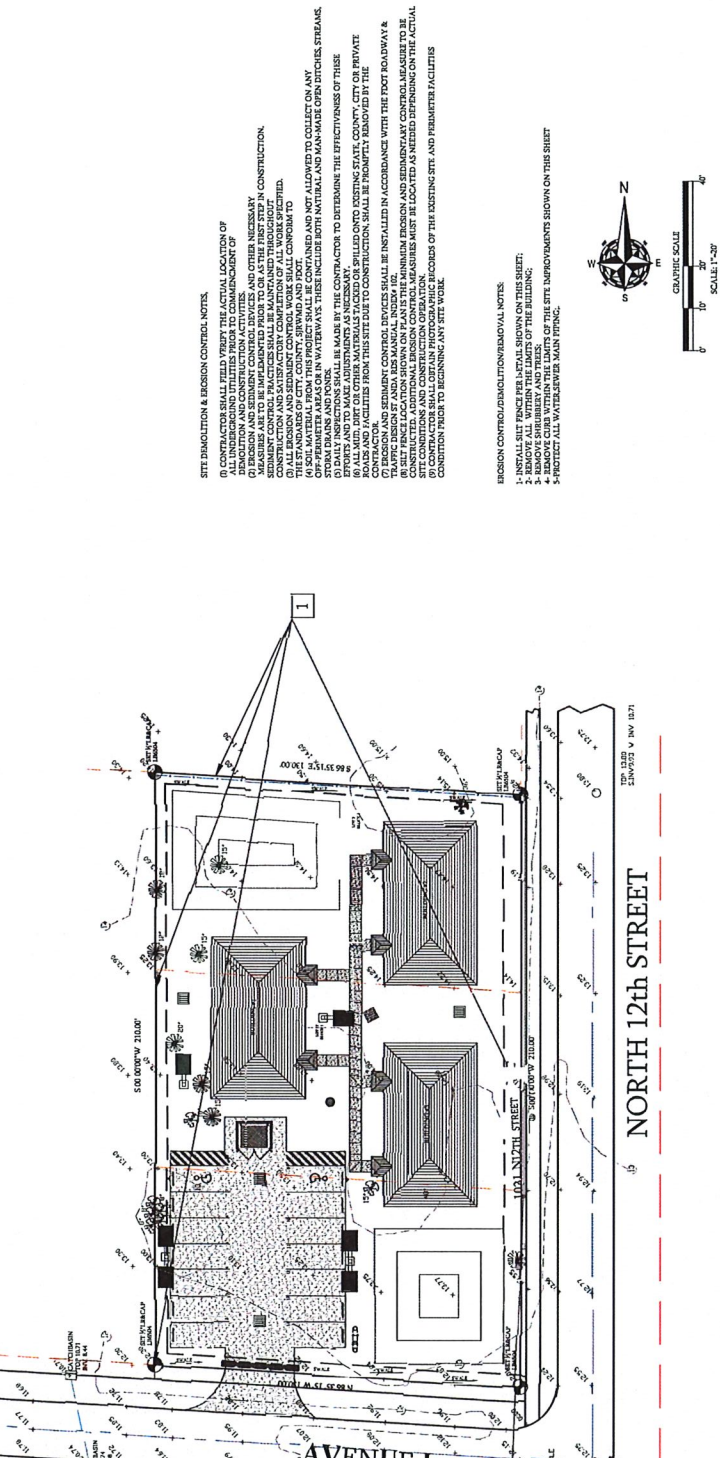
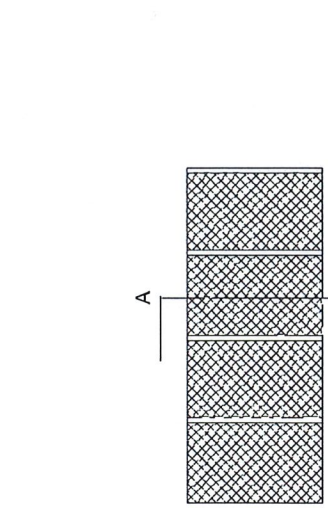
AUTHORIZATION NUMBER: UNB004
 SURVEY NUMBER: 2002-001
 COUNTY: ST. LUCIE
 DATE: 1-15-2002

Digitally signed by Robert Burgess
 DN: cn=Robert Burgess, o=Robert Burgess
 Date: 2002.01.15 10:51:17 -0500



1021 N 12TH STREET
 NORTH 12TH STREET
 AVENUE

1051117
 -05/00'



EROSION CONTROL NOTES:

- 1- INSTALL EROSION CONTROL DEVICES WITHIN THE LIMITS OF THE BUILDING.
- 2- REMOVE ALL WITHIN THE LIMITS OF THE BUILDING.
- 3- REMOVE ALL WITHIN THE LIMITS OF THE BUILDING.
- 4- REMOVE CURB WITHIN THE LIMITS OF THE SITE IMPROVEMENTS SHOWN ON THIS SHEET.
- 5- PROTECT ALL WATER/SEWER MAIN PIPING.

DEMOLITION & EROSION CONTROL NOTES:

- 1- CONTRACTOR SHALL FIELD VERIFY THE ACTUAL LOCATION OF EXISTING UTILITIES AND DEMOLITION ACTIVITIES.
- 2- EROSION AND SEDIMENT CONTROL DEVICES AND OTHER NECESSARY CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD.
- 3- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS OF CITY, COUNTY, STATE AND FEDERAL AGENCIES.
- 4- OFF-FORMER AREAS OR IN WATERWAYS, THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, RIVERS AND TO MAKE ADJUSTMENTS AS NECESSARY.
- 5- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF THESE MEASURES AND TO MAKE ADJUSTMENTS AS NECESSARY.
- 6- EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOOT ROADWAY & OFF-FORMER AREAS OR IN WATERWAYS, THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, RIVERS AND TO MAKE ADJUSTMENTS AS NECESSARY.
- 7- EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOOT ROADWAY & OFF-FORMER AREAS OR IN WATERWAYS, THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, RIVERS AND TO MAKE ADJUSTMENTS AS NECESSARY.
- 8- CONTRACTOR SHALL OBTAIN PHOTOGRAPHIC RECORDS OF THE EXISTING SITE AND PERIMETER FACILITIES CONDITION PRIOR TO BEGINNING ANY SITE WORK.

DEMOLITION & EROSION CONTROL PLAN

Building designed with 2020 Florida Building Code 7th Edition Residential and include the applicable wind criteria (Ultimate design wind speed (Vult) and 3-second gust/nominal wind speed (Vasd) both in miles per hour, wind exposure and risk category. All documents are properly signed, dated and sealed as required for the method of submittal. (FBC 107)

ENGINEERING CONSULTING AND DESIGN SERVICES FOR EXISTING DUPLEXES AND CONVERSION TO DUPLEXES WITH SWALE RETENTION AND SWALE RETENTION. BUILDING PERMITS AND CONSTRUCTION PERMITS. THE CITY OF FORT PIERCE, FLORIDA, AND CLADDING ARE TO BE DESIGNED TO MEET FACTOR = 1.0 INTERNAL PRESSURE COEFFICIENT = + 0.5, 3 WINDOWS, DOORS, AND CLADDING ARE TO BE DESIGNED TO MEET

1021 NORTH 12th STREET
 VINCENT MARCELLINO PROJECT DUPLEX FORT PIERCE, FL
 DESIGNWEST ENGINEERS AND ASSOCIATE INC.

LOTS 1, 3, AND 7 BLOCK 2 OF THE PLAT OF NOBLES AND NOTTINGHAM SUBDIVISION AS RECORDED IN PLAT BOOK 4 PAGE 41 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

Notes:
 1. Point - Dotted Line Type
 2. (187) - Diameter of Tree measured at Chest Height
 3. D.E. - Drainage Easement

SITE LAYOUT
 EXISTING GRADE HT.
 NEW GRADE HT.
 The first floor finish is 0.00 feet above the datum of the road.
 Property shall drain into the public area right-of-way.

PROPOSED SITE LAYOUT
 SITE DATA:
 ZONING: RM
 EXISTING LAND USE: RESIDENTIAL
 PROPOSED LAND USE: RESIDENTIAL
 BUILDING TYPE OF CONSTRUCTION: TWO (2)
 1 STORY BUILDING LESS THAN 15 IN HEIGHT
 BUILDING SETBACK REQUIRED:
 FRONT: 25 FT.
 SIDE: 10 FT.
 REAR: 10 FT.
 PARKING REQUIREMENTS:
 PROVIDED:
 SF: 100

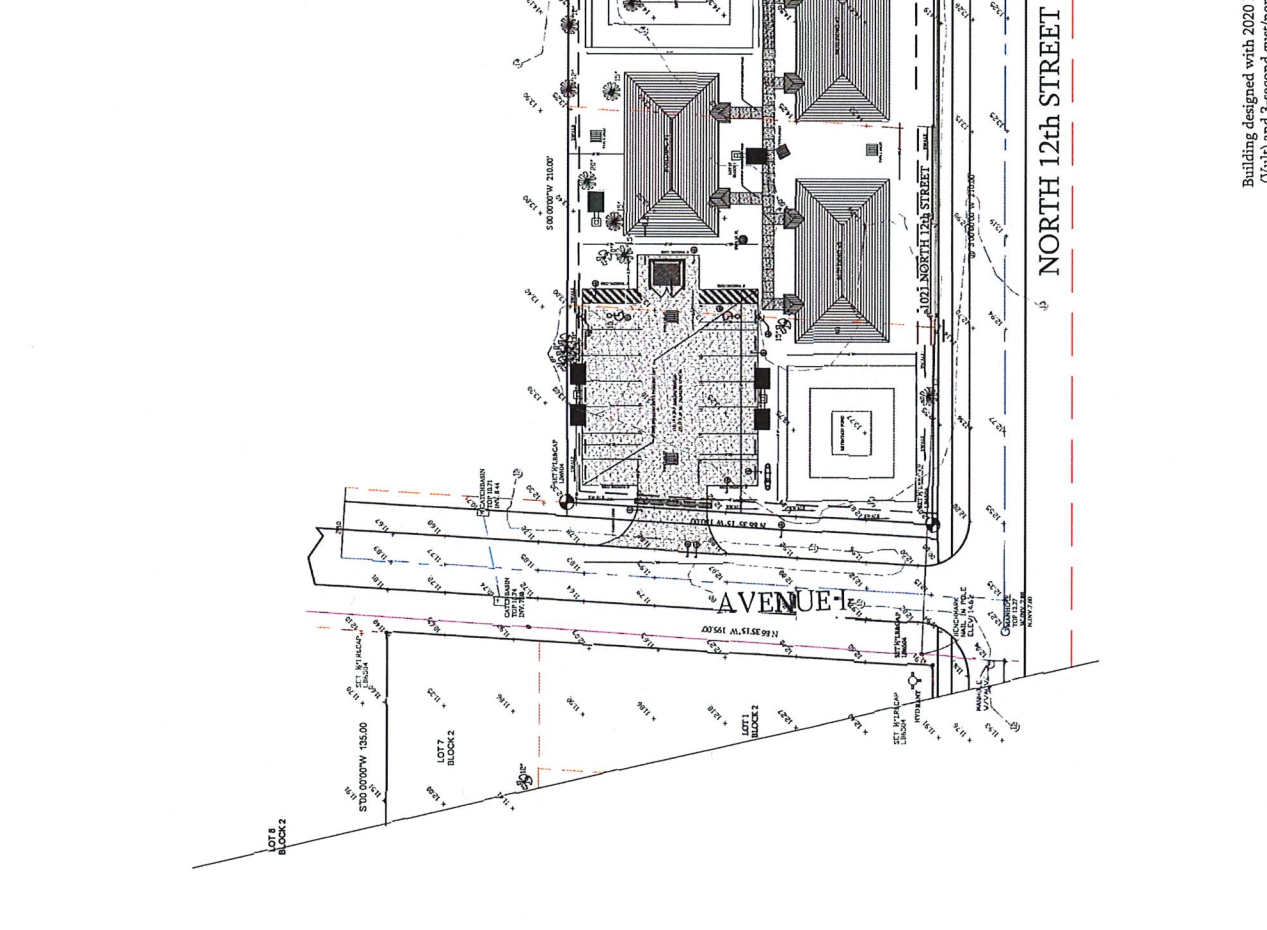
SWALE RETENTION
 4000 S.F. X 1.25 RAINFALL / 12" = 387 C.F. REQUIRED
 EAST SIDE = 500' X 70' X 0.5" = 188 C.F. RETAINED
 WEST SIDE = 500' X 70' X 0.5" = 188 C.F. RETAINED
 168 C.F. + 50 C.F. = 218 C.F. > 217 C.F.

COMPENSATING STORAGE CALCULATION:
 297 C.F. - 25C.F. = 322.45C.F. - 32Z.45 C.F. OF SOIL REMOVED

NOTE:
 THE CITY OF FORT PIERCE GUIDELINES FOR EROSION SEDIMENT CONTROL (AKA THE BLUE SHEET) WILL GUIDE THE IMPLEMENTATION OF EROSION SEDIMENT CONTROL MEASURES.

Building designed with 2020 Florida Building Code 7th Edition Residential and include the applicable wind criteria (Ultimate design wind speed (Vult) and 3-second gust/nominal wind speed (V3s)) both in miles per hour, wind exposure and risk category.
 All documents are properly signed, dated and sealed as required for the method of submittal. (FBC 107)

AVENUE
 NORTH 12th STREET

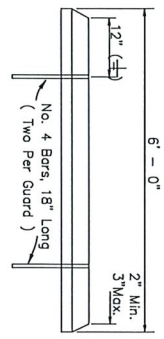


LOT 6 BLOCK 2
 LOT 7 BLOCK 2
 LOT 1 BLOCK 2
 LOT 3 BLOCK 2

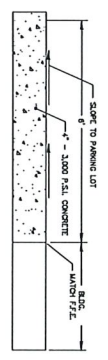
1021 NORTH 12th STREET

AVENUE

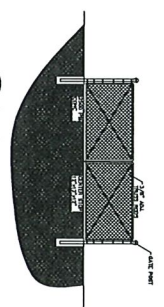
1021 NORTH 12th STREET



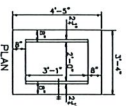
4 WHEEL STOP
C-4



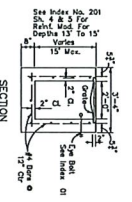
5 CONC. SIDEWALK
C-4



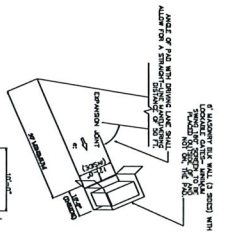
1 SWING GATE DETAIL
C-4



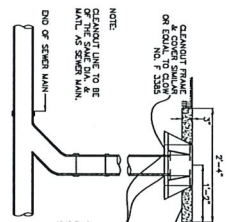
TYPE C INLET
NOT TO SCALE



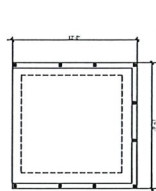
C TYPE C INLET
C-4



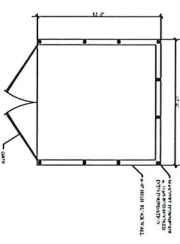
D DUMPSTER PAD STALL DETAIL
C-4



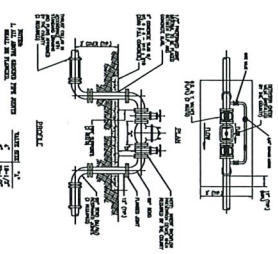
E SEWER CLEAN-OUT
C-4



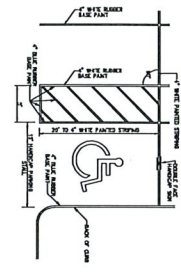
J DUMPSTER FOUNDATION
C-4



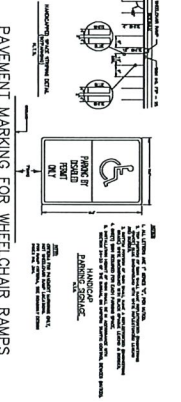
K FOOTER DETAIL
C-4



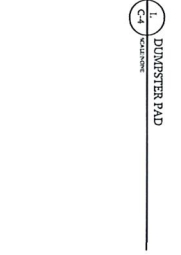
F DETECTOR CHECK VALVE ASSEMBLY
C-4



G HANDICAP PARKING STALL DETAIL
C-4



H HANDICAP PARKING SIGN DETAIL
C-4



L DUMPSTER PAD
C-4

PROJECT DETAILS

Building designed with 2020 Florida Building Code 7th Edition Residential and include the applicable wind criteria (Ultimate design wind speed (Vult) and 3-second gust/nominal wind speed (Vasd) both in miles per hour, wind exposure and risk category). All documents are properly signed, dated and sealed as required for the method of submittal. (FBC 107)

DESIGNWEST ENGINEERS AND ASSOCIATE, INC. 1021 N 12TH STREET

ENGINEERING NOTES: 1. ALL ENGINEERING DESIGN CRITERIA MEETS OR EXCEEDS 2020 7TH EDITION FLORIDA BUILDING CODE, AND 2017 NBC CONSTRUCTION 160 MPH WIND SPEED, 2. BUILDING WIND EXPOSURE CATEGORY 'A' AND WIND BRACKET 'A', 3. WIND PRESSURE COEFFICIENTS: FACTOR = 1.0 INTERNAL PRESSURE COEFFICIENT = -.55, 3. WINDOWS, DOORS, AND CLADDING ARE TO BE DESIGNED TO MEET

CONSULTING ENGINEERS
VINCENT MARCELLINO, P.E.
PE 81934
DESIGNWEST ASSOCIATE

VINCENT MARCELLINO
PROJECT DUPLEX
FORT PIERCE, FL

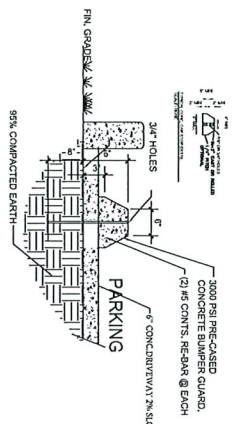


Fine Architectural Design
111 Monument Avenue, Suite 300
Kissimmee, FL 34741
PH. 203-514-5221 designwestassoc@aol.com

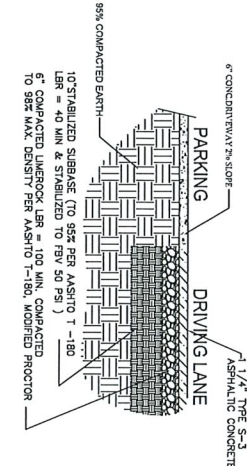


SHEET NO.
C-4

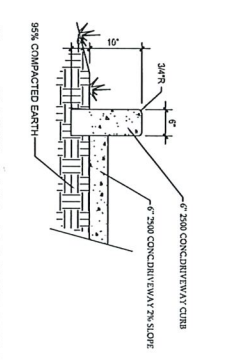
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DRAWN BY: G. BUCKLEY	DATE: 05/20/2021	REVISIONS:



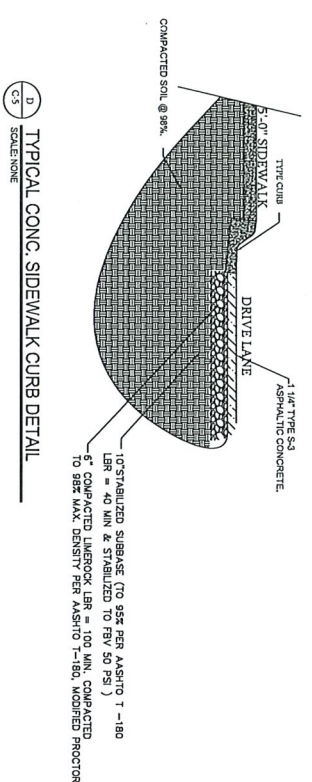
A TYP. CONCRETE BUMPER GUARD
SCALE: NONE



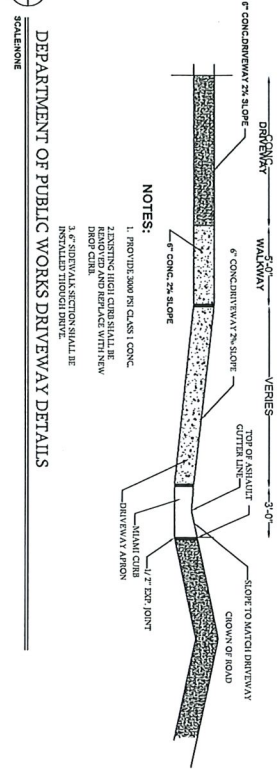
B TYPICAL CONC. PAVEMENT EDGE DETAIL
SCALE: NONE



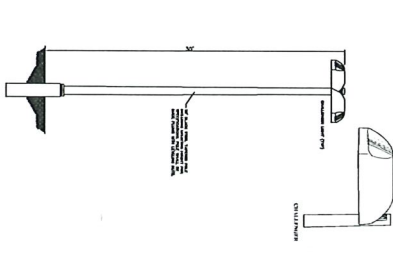
C TYPICAL CONC. CAR STOP DETAIL
SCALE: NONE



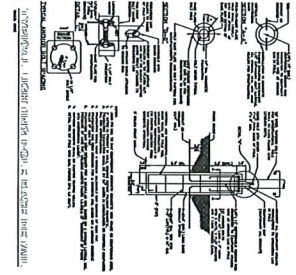
D TYPICAL CONC. SIDEWALK CURB DETAIL
SCALE: NONE



E DEPARTMENT OF PUBLIC WORKS DRIVEWAY DETAILS
SCALE: NONE



VERTICAL SIGN POST DETAIL
SCALE: NONE



F HORIZONTAL SIGN POST DETAIL
SCALE: NONE

NO.	DATE	BY	REVISION
1	01/18/21	MM	ISSUED FOR PERMITS
2	01/18/21	MM	ISSUED FOR PERMITS
3	01/18/21	MM	ISSUED FOR PERMITS
4	01/18/21	MM	ISSUED FOR PERMITS
5	01/18/21	MM	ISSUED FOR PERMITS
6	01/18/21	MM	ISSUED FOR PERMITS
7	01/18/21	MM	ISSUED FOR PERMITS
8	01/18/21	MM	ISSUED FOR PERMITS
9	01/18/21	MM	ISSUED FOR PERMITS
10	01/18/21	MM	ISSUED FOR PERMITS

GENERAL NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND THE 2017 N.E.C. ELECTRICAL CODE.
 2. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND THE 2017 N.E.C. ELECTRICAL CODE.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND THE 2017 N.E.C. ELECTRICAL CODE.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND THE 2017 N.E.C. ELECTRICAL CODE.
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DESIGNWEST ENGINEERS AND ASSOCIATE INC. 1021 N 12TH STREET



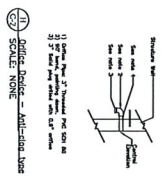
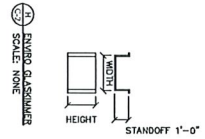
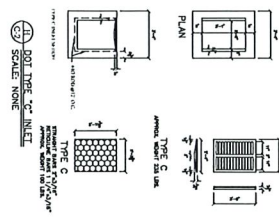
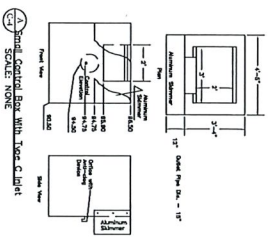
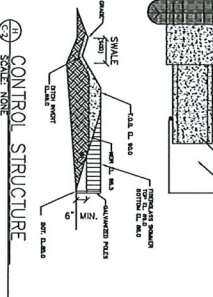
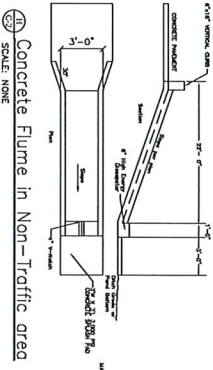
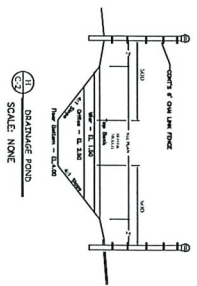
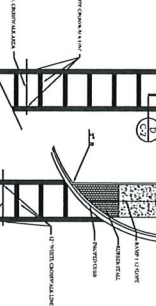
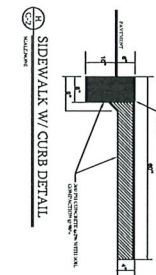
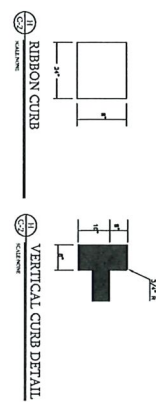
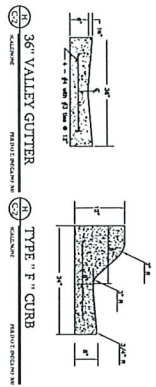
SHEET NO. C-5

Fine Architectural Design
 111 Monument Avenue, Suite 300
 Kissimmee, FL 34741
 PH. 203-514-5221 designwestassoc@aol.com

CONSULTING ENGINEERS
 VINCENT MARCELINO, P.E.
 PE 81984
 DESIGNWEST ASSOCIATE

VINCENT MARCELINO
 PROJECT DUPLEX
 FORT PIERCE, FL

Building designed with 2020 Florida Building Code 7th Edition Residential and include the applicable wind criteria (Ultimate design wind speed (Vult) and 3-second gust/nominal wind speed (Vasd) both in miles per hour, wind exposure and risk category. All documents are properly signed, dated and sealed as required for the method of submittal. (FBC 107)



CONTRACTION JOINTS SHALL BE SPACED AT INTERVALS OF TEN FEET EXCEPT WHERE A LESSER INTERVAL IS REQUIRED FOR CLOSER BUT NO SECTION SHALL BE LESS THAN FOUR FEET IN LENGTH. CONTRACTION JOINTS IN CURB AND GUTTER SHALL BE CONSTRUCTED PER FDOT INDEX NO. 200

PROJECT DETAILS

Building designed with 2020 Florida Building Code 7th Edition Residential and include the applicable wind criteria (Ultimate design wind speed (Vult) and 3-second gust/nominal wind speed (Vasd) both in miles per hour, wind exposure and risk category). All documents are properly signed, dated and sealed as required for the method of submittal. (FBC 107)

DESIGNWEST ENGINEERS AND ASSOCIATE INC. 1021 N 12TH STREET



SHEET NO. C-6

Fine Architectural Design
 111 Monument Avenue, Suite 300
 Kissimmee, FL 34741
 PH. 203-514-5221 designwestassoc@aol.com

BUILDER	DATE	DESIGNED BY	REVISION
S. ADAMSON	SCALE	CHECKED BY	
	AS SHOWN	J.H.W.	

CONSULTING ENGINEERS
 VINCENT MARCELINO, P.E.
 PE 81854
 DESIGNWEST ASSOCIATE

VINCENT MARCELINO
 PROJECT DEPLEX
 FORT PIERCE, FL





SHEET NO
C-7

111 Monument Avenue, Suite 300
Kissimmee, FL 34741
PH 203-514-5221
desinvestiastassoc@aol.com

CONSULTING ENGINEERS
VINCENT MARCELLINO, P.E.
DESIGNWEST ASSOCIATE

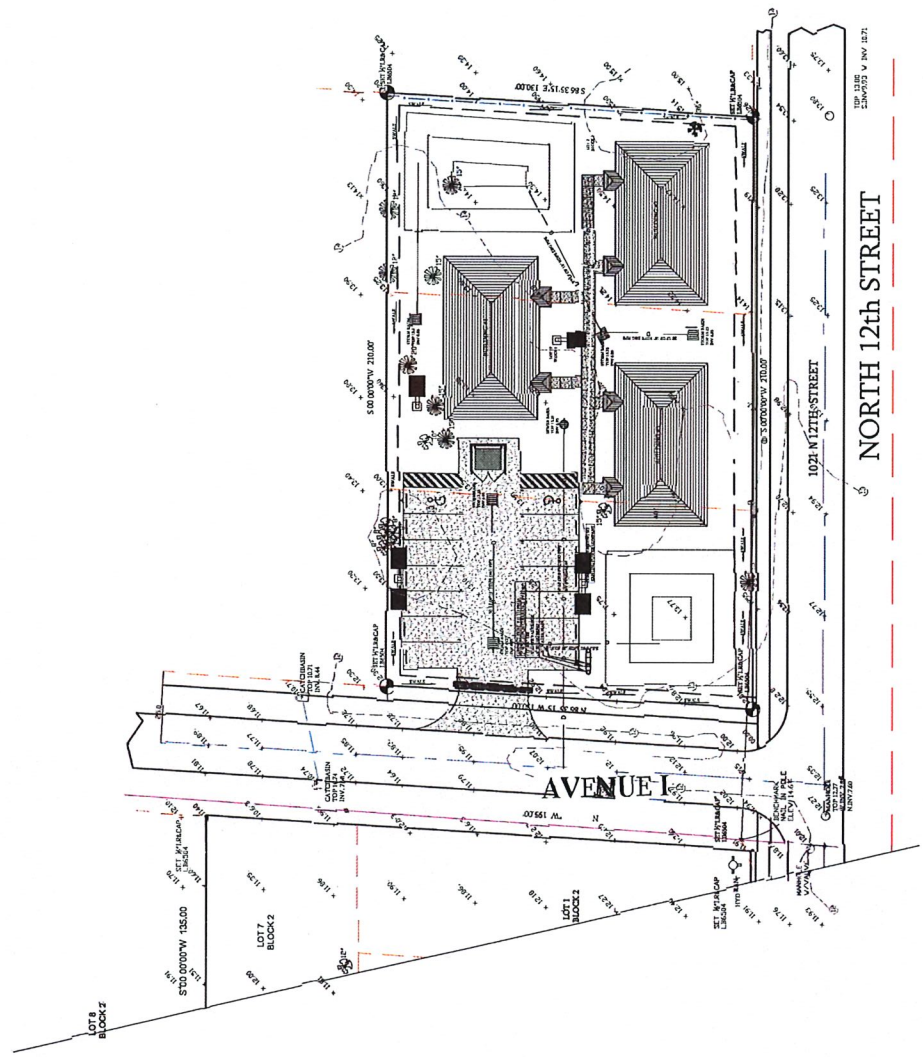
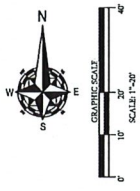
VINCENT MARCELLINO
PROJECT DUPLEX
FORT PIERCE, FL



DESIGNWEST ENGINEERS AND ASSOCIATE INC.

DESIGNWEST ENGINEERS AND ASSOCIATE INC. HAS REVIEWED THIS PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES AND 2017 N.E.C. FACTOR - 1.0 INTERNAL PRESSURE COEFFICIENT + .05. 3 WINDOWS, DOORS, AND CLADDING ARE TO BE DESIGNED TO MEET CRITERIA FOR WIND SPEEDS OF 150 MPH. ALL OTHERS ARE TO BE DESIGNED TO MEET CRITERIA FOR WIND SPEEDS OF 120 MPH. THIS PLAN IS TO BE USED FOR PERMITS ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. ALL OTHERS ARE TO BE DESIGNED TO MEET CRITERIA FOR WIND SPEEDS OF 120 MPH. THIS PLAN IS TO BE USED FOR PERMITS ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.

UTILITES PLAN



LOTS 2, 17 AND 18 BLOCK 1 OF THE PLAT OF NOBLES AND NOTTINGHAM SUBDIVISION AS RECORDED IN PLAT BOOK 4 PAGE 41 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA

Building designed with 2020 Florida Building Code 7th Edition Residential and include the applicable wind criteria (Ultimate design wind speed (Vult) and 3-second gust/nominal wind speed (V3s)) both in miles per hour, wind exposure and risk category. All documents are properly signed, dated and sealed as required for the method of submittal. (FBC 107)

PLANTING SPECIFICATIONS

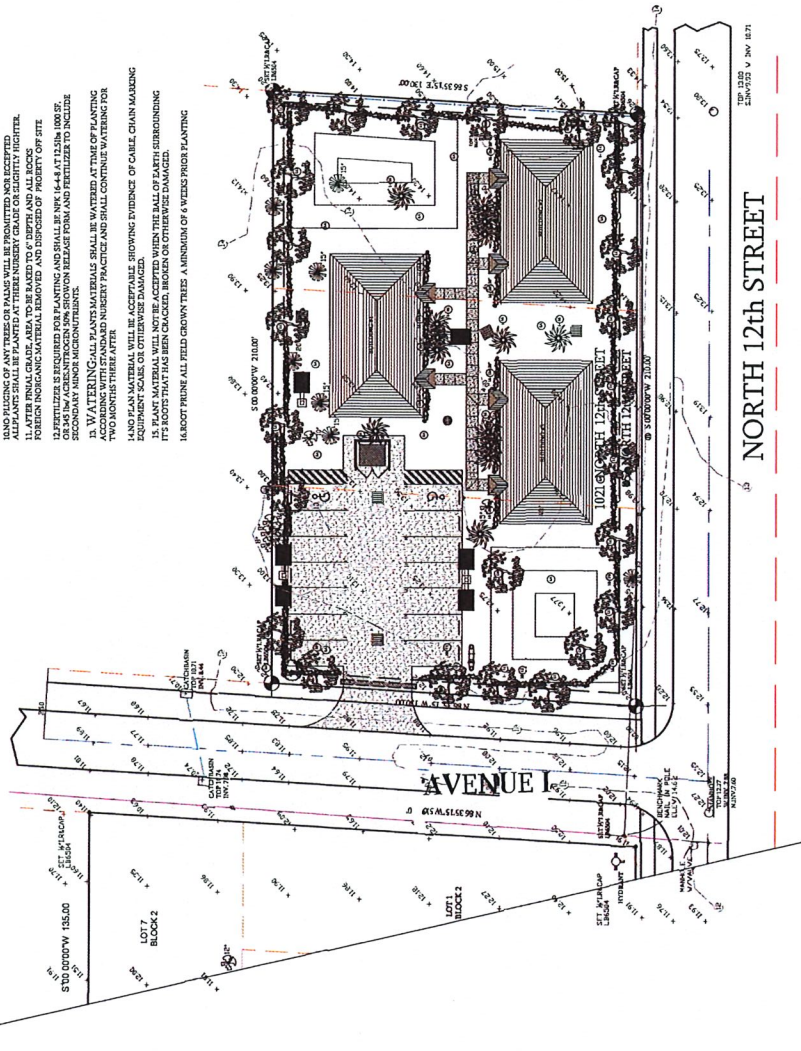
1. ALL PLANT MATERIALS SHALL BE FLORIDA NUMBER 1 AS PROVIDED IN THE MOST CURRENT EDITION OF THE FLORIDA PLANTING HANDBOOK, PREPARED BY THE STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
2. ALL TREES, SHRUBS AND CROUCHING COVERS SHALL BE OF THE SIZE AS SPECIFIED IN THE PLANT LIST.
3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - a. PLANTING CONTRACTOR SHALL VERIFY ALL QUANTITIES.
 - b. PLANTING CONTRACTOR SHALL VERIFY ALL QUANTITIES.
 - c. PLANTING CONTRACTOR SHALL VERIFY ALL QUANTITIES.
 - d. PLANTING CONTRACTOR SHALL VERIFY ALL QUANTITIES.
 - e. PLANTING CONTRACTOR SHALL VERIFY ALL QUANTITIES.
4. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
5. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
6. THE PLANTING PLAN SHALL BE REINSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
7. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
8. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
9. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
10. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
11. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
12. FERTILIZER IS REQUIRED FOR PLANTING AND SHALL BE NPK 16-4-4 AT 12.5lb 1000 SF.
13. WATERING: ALL PLANTS MATERIALS SHALL BE WATERED AT TIME OF PLANTING ACCORDING WITH STANDARD NURSERY PRACTICE AND SHALL CONTINUE WATERING FOR TWO MONTHS THEREAFTER.
14. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING THE ROOTS THAT HAS BEEN CHECKED, BROKEN OR OTHERWISE DAMAGED.
15. ROOT PRUNING: ALL FIELD CROWN TREES A MINIMUM OF 6 WEEKS PRIOR PLANTING.

LANDSCAPE PLANTING PLAN



LOTS 17 AND 18 IN BLOCK 1 OF THE PLAT OF VINEY AND WESTSHAM SUBDIVISION AS RECORDED IN PLAT BOOK 4 PAGE 41 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PLANTING NOTES:
 1. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
 2. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
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 11. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE TREE RESTRICTIONS.
 12. FERTILIZER IS REQUIRED FOR PLANTING AND SHALL BE NPK 16-4-4 AT 12.5lb 1000 SF.
 13. WATERING: ALL PLANTS MATERIALS SHALL BE WATERED AT TIME OF PLANTING ACCORDING WITH STANDARD NURSERY PRACTICE AND SHALL CONTINUE WATERING FOR TWO MONTHS THEREAFTER.
 14. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING THE ROOTS THAT HAS BEEN CHECKED, BROKEN OR OTHERWISE DAMAGED.
 15. ROOT PRUNING: ALL FIELD CROWN TREES A MINIMUM OF 6 WEEKS PRIOR PLANTING.



NORTH 12th STREET

KEY	QTY	COMMON NAME	SCIENTIFIC NAME	N'W W SIZES/NOTES
(D)	6	DWARF BULBY	LAX CRESSING	12" 2 1/2" OAL
(L)	6	LADDER OAK	QUERUS LAURIFOLIA	12" 2 1/2" OAL
(O)	5	LIVE OAK	QUERUS LAURIFOLIA	12" 2 1/2" OAL
(M)	8	MOROGUAY	LAX CRESSING	12" 2 1/2" OAL
(P)	2	PINK TABERBERIA	LAX CRESSING	12" 2 1/2" OAL
(T)	3	PAHOAUA TREE	LAX CRESSING	12" 2 1/2" OAL
PALMS				
SP	3	SABAL PALM	SABAL PALMETTO	10' CT CLEAN TRUNKS
SHRUBS/LAWN				
(C)	65	COCCULIN	CHRYSEALANTHUS ROB TP	3 GALL"*
(B)	35	FRENCH SPART	HAMELIA PALMISTAN GLAUBA	3 GALL"*
(M)	16	SABAL PALM	LADRA COCCINEA NORA GRANEL	3 GALL"*
(M)	16	SABAL PALM	DIORH COCCINEA NORA MAHI YELLOW	3 GALL"*
(C)	62	SABAL PALM	CLUSA GUTIFERA	3 GALL"*
(C)	44	SABAL PALM	HYBRANTHUS BAGRANS	3 GALL"*
(C)	27	AUGUSTINO	THUNBERGIA INDOCHINENSIS	3 GALL"*
(C)	27	AUGUSTINO	FLORILAM	3 GALL"*

PLANT LIST

VINCENT MARCELLINO
PROJECT DUPLEX
FORT PIERCE, FL

DESIGNWEST ENGINEERS AND ASSOCIATE INC.
1021 NORTH 12th STREET

DESIGNWEST ENGINEERS AND ASSOCIATE INC.
111 Monument Avenue, Suite 300
Kissimmee, FL 34741
PH 203-514-5221
designwestassoc@aol.com

DATE: 02/04/2021

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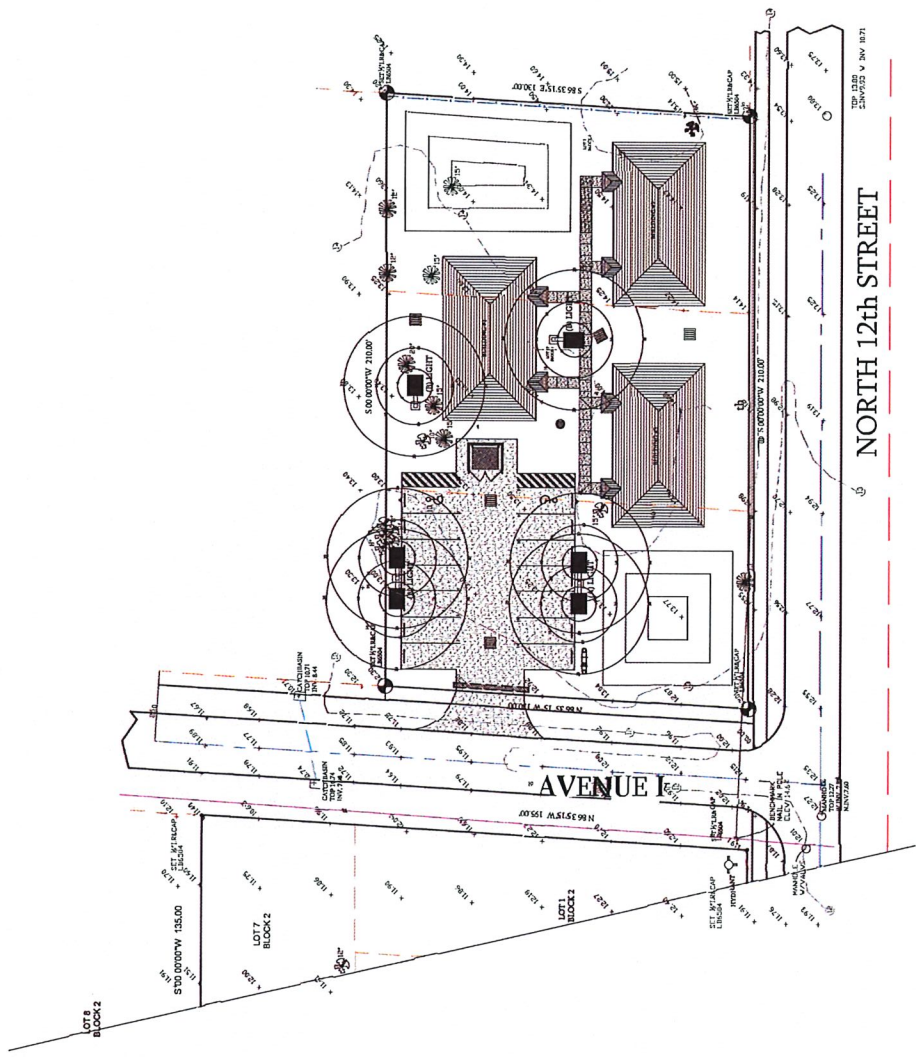
SHEET NO
LT-1

PROJECT: 111 Monument Avenue, Suite 300
Kissimmee, FL 34741
PH 203-514-5221 designstassoc@aol.com
DESIGNER: AS SHOWN
DATE: NETWORK
PROJECT: NETWORK

DESIGN WEST ENGINEERS
CONSULTING ENGINEERS
REGISTERED PROFESSIONAL ENGINEER
FL 81984
DESIGN WEST ASSOCIATE
VINCENT MARCELLINO
PROJECT DUPLEX
FORT PIERCE, FL

1021 NORTH 12th STREET
DESIGN WEST ENGINEERS AND ASSOCIATE INC

PARKING LOT NOTES:
ALL PARKING LOT LIGHTING HAS 20'
AVERAGES FOOT-CANDELL PER. 200 SEC. 802



PARKING LOT LIGHTING

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