



DEVELOPMENT REVIEW

Property Information

Property address or Location _____

Parcel ID #(s) _____

Project description _____

Application Type

- Site Plan
 Conditional Use w/New Construction
 Conceptual Development Plan
 Minor Amendment
 Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: _____ Site Acreage: _____

Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Property Owner(s)

Street Address _____

City _____ State _____ Zip _____

Phone Number _____

Email Address _____

Applicant/Representative, Title, Company

Street Address _____

City _____ State _____ Zip _____

Phone Number _____

Email Address _____

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

Kenneth H Simigran, Managing Member

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Prepared by, record and return to:
David M. Shaw, Esquire
Haile, Shaw & Pfaffenberger, P.A.
660 U.S. Highway One, Third Floor
North Palm Beach, Florida 33408

Parcel ID# 2324-411-0000-000-3

WARRANTY DEED

THIS INDENTURE made this 1st day of February, 2007, by and between BECKER HOLDING CORPORATION, a Florida corporation ("Grantor") whose mailing address is 2627 S. Jenkins Road, Ft. Pierce, Florida 34981 and WESTCITY FP SHOPS, LLC, a Florida limited liability company ("Grantee") whose mailing address is 599 NW 82nd Avenue, Plantation, Florida 33324.

WITNESSETH:

Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable considerations to it in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to Grantee and Grantee's assigns forever, the following described land, lying and being in the County of St. Lucie, State of Florida, to wit:

That part of the North ½ of the Northeast ¼ of the Southeast ¼ lying South of Okeechobee Road (State Road No. 70, formerly State Road No. 8), and the East 200 feet of the North 296.9 feet of the Southwest ¼ of the Northeast ¼ of the Southeast ¼, all lying in Section 24, Township 35 South, Range 39 East, St. Lucie County, Florida, LESS I-95 right-of-way as set out in Official Record Book 267, at Page 1155.

TOGETHER WITH all improvements thereon and rights, benefits, easements, appurtenances and hereditaments thereto appertaining.

SUBJECT TO real property taxes for the year 2007 and subsequent years; zoning, restrictions, prohibitions, easements and other matters of record, the provisions of which are not reimposed hereby.

Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has executed these presents on this, the day and year first above written.

WITNESSES:

GRANTOR:

[Signature]
Print Name: Cecilia C. Collins

[Signature]
Print Name: Margaret J. Averill

BECKER HOLDING CORPORATION
A Florida corporation

By: [Signature]
Name: Jeffrey L. Cusson
Title: President

STATE OF FLORIDA

COUNTY OF INDIAN RIVER

The foregoing instrument was acknowledged before me this 1st day of February, 2007, by JEFFREY L. CUSSON, as President of Becker Holding Corporation, a Florida corporation, on behalf of the corporation. He is personally known to me or has produced _____ as identification.

[Signature]
Notary Public-State of Florida

Margaret J. Averill
Printed name of notary

My Commission Expires: _____



Property Identification

Site Address: 2671 S JENKINS RD Use Type: 1700 Parcel ID: 2324-411-0000-000-3 Jurisdiction: Fort Pierce Account #: 14291 Map ID: 23/24S Sec/Town/Range: 24/35S/39E Zoning: General Co

Ownership

WestCity FP Shops LLC
9293 NW 15th ST
Coral Springs, FL 33071

Legal Description

24 35 39 THAT PART OF N 1/2 OF NE 1/4 OF SE 1/4 LYG S OF OKEE RD-LESS E 40 FT RD R/W- AND E 200 FT OF N 296.9 FT OF SW 1/4 OF NE 1/4 OF SE 1/4-LESS I-95 R/W AS IN OR 267-1155- (3.84 AC - 167,270 SF) (OR 2757-2222)

Current Values

Just/Market: \$1,371,200 Assessed: \$1,371,200 Year
Exemptions: \$0 Taxable: \$1,371,200 2022
2021
2020

Historical Values 3-year

Just/Market Assessed Exemptions Taxable
2022 \$1,371,200 \$1,371,200 \$0 \$1,371,200
2021 \$1,319,900 \$1,319,900 \$0 \$1,319,900
2020 \$1,318,600 \$1,318,600 \$0 \$1,318,600

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
02-01-2007	2757 / 2222	XX00	WD	Becker Holding Corp	\$2,750,000
11-01-1984	0451 / 1863	XX00	CV		\$335,000

Primary Building Information

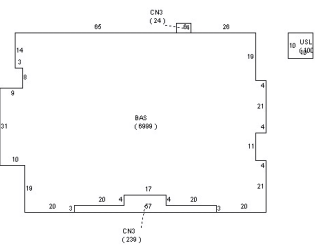
Finished Area of this building: 6,999 SF
Gross Sketched Area: 7,362 SF

Exterior Data

View: Roof Cover: Metal Roof Structure: Hip Building Type: LROF
Year Built: 1985 Frame: Conc Blk Grade: Y_C Effective Year: 1985
Primary Wall: Hardi Plank Story Height: 1 Story No. Units: N/A1 Secondary Wall:

Interior Data

Bedrooms: 0 A/C %: 100% Electric: MAXIMUM Primary Int Wall:
Full Baths: 0 Heated %: 100% Heat Type: FrdHotAir Avg Hgt/Floor: 0
Half Baths: 0 Sprinkled %: 0% Heat Fuel: ELEC Primary Floors: Carpet



Total Areas

Finished/Under Air (SF): 6,999
Gross Sketched Area (SF): 7,362
Land Size (acres): 3.84
Land Size (SF): 167,270
Total Building Count: 1

Special Features and Yard Items

Type	Qty	Units	Year Blt
CEMENT CURB	1	192	1985
CONCRETE LOW	1	29480	1985



Thomas Engineering Group
840 SE Osceola Street
Stuart, FL, 34994
(772) 888-3138
www.ThomasEngineeringGroup.com

Planning Department
City of Fort Pierce
P.O. Box 1480
Fort Pierce, FL 34954

March 22, 2023

**Re: Project Narrative
2671 S. Jenkins Rd.
Fort Pierce, Florida**

To whom it may concern,

Please find below a narrative for the proposed car wash located at 2671 S. Jenkins Rd. The subject property, which is approximately 3.84 acres, currently consists of an existing abandoned structure (real estate office) and its associated parking lot. The site is located within Section 24, Township 35S, and Range 39E; south of and adjacent to SR 70/Okeechobee Road, west of and adjacent to South Jenkins Road, just east of I-95. The site has one existing full access point on S. Jenkins Rd.

Project Narrative

The site is composed of a single parcel and all fall within the Future Land Use designation of GC-General Commercial with a Zoning Classification of C-3. The development proposes the subdivision of the existing parcel into three separate parcels. A plat has been submitted separately to support this application.

Of these three parcels, the front parcel is proposed to be developed as a one tunnel car wash. The proposed car wash has a footprint of 5,035 SF, along with 30,951 SF of vehicular use area and 1,582 SF of concrete sidewalk. This development is consistent with the Future Land Use designation for the site and is allowed within the C-3 zoning classification.

Location and Site Information

Parcel ID:	2324-411-0000-000-3
Parcel Address:	SW Martin Hwy (CR714) and High Meadow Avenue
Existing Zoning:	C-3, General Commercial
Future Land Use:	GC, General Commercial
Census Tract:	Not Applicable
Community Redevelopment	Not Applicable
Municipal Service Taxing Unit:	Not Applicable
Storm Surge Zone:	Not Applicable
Gross Area of Site:	3.84 acres
Non-Residential Gross Area:	123,710 SF commercial
Adjacent Existing or Proposed Development:	
North:	Okeechobee Rd. (SR 70)
South:	Not Applicable
East:	Wawa
West:	I-95
Zoning District Designation of Abutting Properties:	
North, South, East, and West:	C-3
Future Land Use Designations of Abutting Properties:	
North, South, East, and West:	General Commercial

Should you have any questions or need further information please do not hesitate to contact us at 772-888-3138.

Sincerely,

Brandon Ulmer, P.E.



LOCATION MAP

PROJECT: S. JENKINS RD. CAR WASH	
LOCATION: FORT PIERCE, FLORIDA	
PROJECT NO: FJ220037	PAGE NO: 1 OF 1
PREPARED BY: NJL	DATE: 12/16/2022
CHECKED BY: BMU	SCALE: N.T.S.



THOMAS
ENGINEERING GROUP

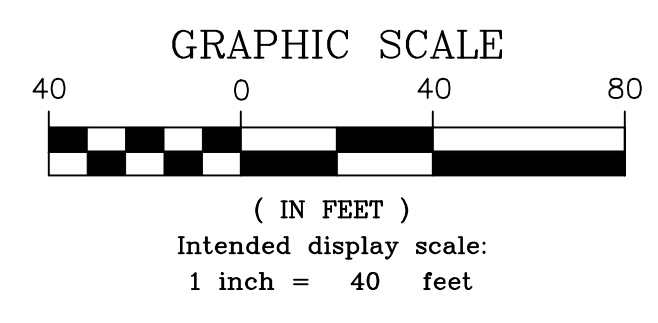
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

125 W. INDIANTOWN RD. SUITE 206 JUPITER, FL 33458 PHONE: (561) 203-7503



NORTH LINE OF NORTH HALF OF NE 1/4, OF SE 1/4, SECTION 24

EAST 1/4 CORNER, SECTION 24 (CALCULATED)



PROPERTY ADDRESS
2671 SOUTH JENKINS ROAD, FORT PIERCE, FLORIDA
PARCEL ID: 2324-411-0000-000-3

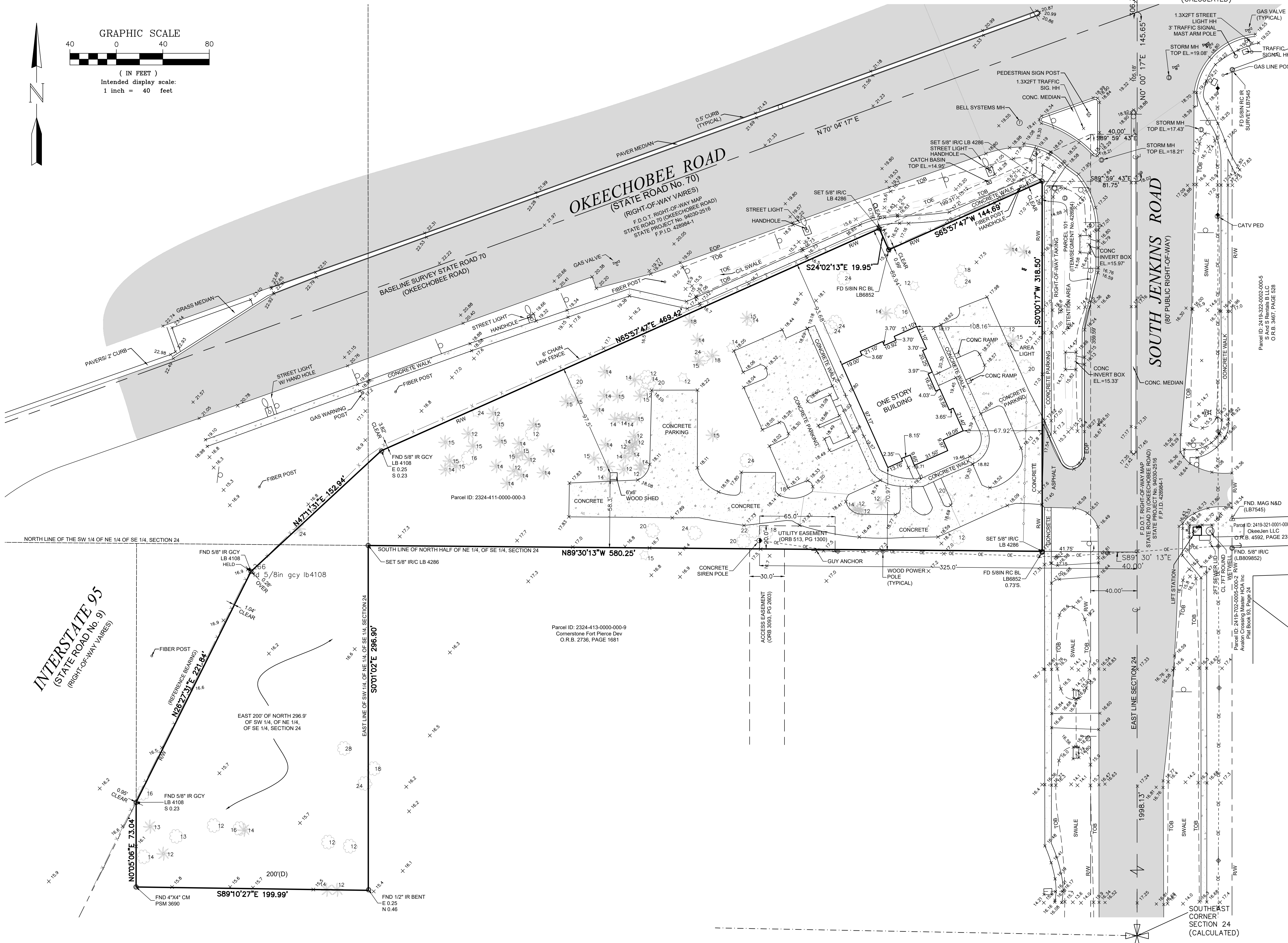
LEGAL DESCRIPTION
THAT PART OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 LYING SOUTH OF OKEECHOBEE ROAD (STATE ROAD NO. 70, FORMERLY STATE ROAD NO. 8), AND THE EAST 200 FEET OF THE NORTH 296.9 FEET OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL LYING IN SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, ST. LUCIE COUNTY, FLORIDA, LESS 1.95 RIGHT-OF-WAY AS SET OUT IN OFFICIAL RECORD BOOK 267, AT PAGE 1155.

SURVEYORS NOTES

1. THE LAST DATE OF DATA ACQUISITION WAS OCTOBER 12, 2022.
2. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE", AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 5J-17.050 THROUGH 5J-17.053, OF THE FLORIDA ADMINISTRATIVE CODE.
3. THIS SURVEY MAP AND/OR REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
4. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5. THE BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH, AND ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983(2011). THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE 95, AS SHOWN, HAVING A BEARING OF NORTH 26°27'31" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
6. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, AS ESTABLISHED BY NGS BENCHMARK GCV, HAVING A PUBLISHED ELEVATION OF 16.56
7. THE FEATURES SHOWN HEREON ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN VERTICAL DATUM OF 1983(2011) ADJUSTMENT, AS ESTABLISHED USING FLORIDA DEPARTMENT OF TRANSPORTATION FFRN.
8. ALL DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
9. THIS SURVEY DOES NOT HAVE THE BENEFIT OF A CURRENT TITLE COMMITMENT, OPINION, OR ABSTRACT. DURING THE COURSE OF THE SURVEY SOME SEARCHES OF THE PUBLIC RECORDS WERE MADE, BUT THESE SEARCHES WERE NOT EXHAUSTIVE AND SHOULD NOT BE CONSIDERED A SUBSTITUTE FOR A PROPER TITLE COMMITMENT, OPINION, OR ABSTRACT OBTAINED FROM A TITLE AGENCY OF OTHER TITLE PROFESSIONAL.
10. THE DESCRIPTION OF OF THE LAND CONTAINED IN THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT OR THE CLIENTS REPRESENTATIVE.
11. THIS SURVEY DELINEATES THE BOUNDARY LOCATION ACCORDING TO THE LEGAL DESCRIPTION, BUT DOES NOT DETERMINE OWNERSHIP OR PROPERTY RIGHTS.
12. UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED EXCEPT AS SHOWN.
13. INTERIOR IMPROVEMENTS, IF ANY WERE NOT LOCATED EXCEPT AS SHOWN.
14. SYMBOLS SHOWN HEREON ARE NOT TO SCALE.
15. THE TREES SHOWN HEREON WERE NOT PREPARED WITH THE BENEFIT OF AN ARBORIST. TREE SPECIMEN NOMENCLATURE IS GENERALLY COMMON (OAK, PAL, PINE, ETC.). CONSULT WITH AN ARBORIST FOR FURTHER CLASSIFICATION.
16. THE FEATURES SHOWN HEREON WERE ACQUIRED USING RTK GPS AND TRIGONOMETRIC METHODS AND WERE VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS FOR AN EXPECTED HORIZONTAL ACCURACY OF 0.10'
17. NO JURISDICTIONAL OR WETLANDS WERE DETERMINED OR LOCATED AS PART OF THIS SURVEY.
18. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN AREAS HAVING FLOOD ZONE DESIGNATIONS OF "X" AS SHOWN ON FLOOD RATE MAP NUMBER 12111C0167J, MAP REVISED 2/16/2012, ST. LUCIE COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
19. SUBMITTAL TO A JURISDICTIONAL AGENCY MAY REQUIRE ADDITIONAL FIELD AND/OR OFFICE WORK.
20. SUBJECT PARCEL CONTAINS 3.84 ACRES MORE OR LESS.

LEGEND

- B.B. DENOTES BEARING BASIS
- (C) DENOTES CALCULATED DATA
- C/L DENOTES CENTERLINE
- C/M DENOTES CONCRETE MONUMENT
- CONC. DENOTES CONCRETE
- F.D.O.T. DENOTES FLORIDA DEPARTMENT OF TRANSPORTATION
- FND. DENOTES FOUND
- ID DENOTES IDENTIFICATION
- IR DENOTES IRON ROD
- IR & C DENOTES 5/8" IRON ROD & CAP
- L.B. DENOTES LICENSED BUSINESS
- N.A.V.D. DENOTES NORTH AMERICAN VERTICAL DATUM
- NO DENOTES NUMBER
- NO ID DENOTES NO IDENTIFICATION NUMBER
- NW DENOTES NORTHWEST
- OE DENOTES OVERHEAD ELECTRIC
- O.H.U. DENOTES OVERHEAD UTILITIES
- O.R.B. DENOTES OFFICIAL RECORDS BOOK
- P.G. DENOTES PAGE
- PK&D DENOTES P.K. NAIL AND DISK
- P.L.S. DENOTES PROFESSIONAL LAND SURVEYOR
- SW DENOTES SOUTHWEST
- TOB DENOTES TOP OF BANK
- TYP. DENOTES TYPICAL
- + DENOTES PLUS OR MINUS
- DENOTES SET 5/8" IRON ROD & CAP (LB 4286)
- DENOTES SET PARKER KALON NAIL & DISK (LB 4286)
- DENOTES PINE TREE AND DIAMETER AT 4 FT HIGH
- DENOTES PALM TREE AND DIAMETER AT 4 FT HIGH
- DENOTES OAK TREE AND DIAMETER AT 4 FT HIGH
- DENOTES SIGN



INTERSTATE 95
(STATE ROAD No. 9)
(RIGHT-OF-WAY VAIRES)

CERTIFICATION
I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEVE THIS IS TRUE, ACCURATE AND COMPLETE DEPICTION OF A FIELD SURVEY PERFORMED UNDER MY DIRECTION AND COMPLETED ON SEPTEMBER 16, 2021. I FURTHER CERTIFY THAT SAID DRAWING IS IN COMPLIANCE WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER, IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

COMPUTER FILE REF.	FIELD BK./PG.
18-033.001	

CULPEPPER & TERPENING, INC
CONSULTING ENGINEERS | LAND SURVEYORS
2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981
151 SW FLAGLER AVENUE • STUART, FLORIDA 34994
PHONE: 772-464-3537 • FAX: 772-464-9497 • www.ct-eng.com
STATE OF FLORIDA CERTIFICATION No. LB 4286

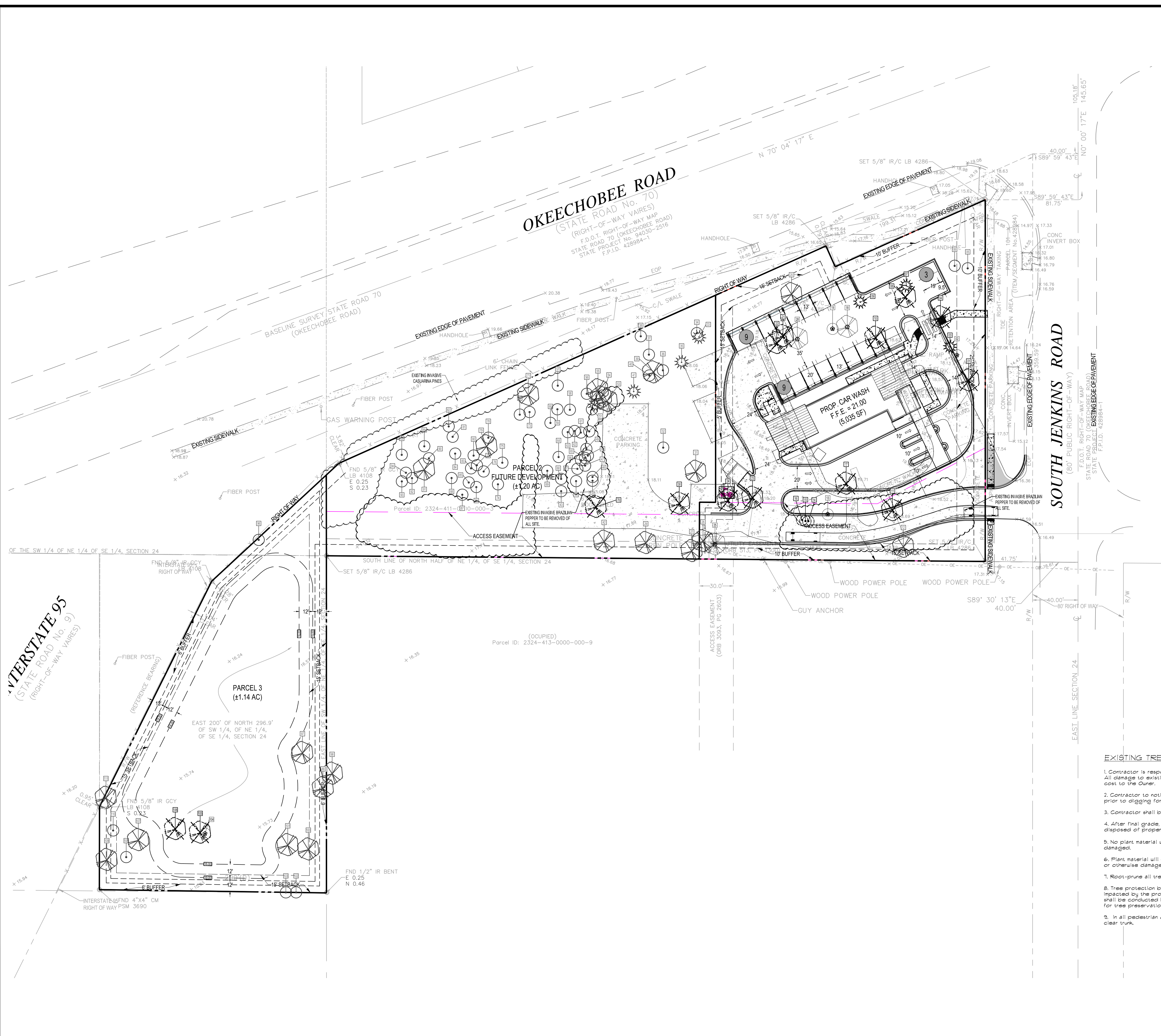
- REVISIONS -		BY	DATE

FIELD	SG	DATE
CALCS	RJ	10/12/22
DRAWN	TM	10/12/22
DETAILED		
CHECKED	JDJ	10/14/22
APPROVED	TPK	10/14/22

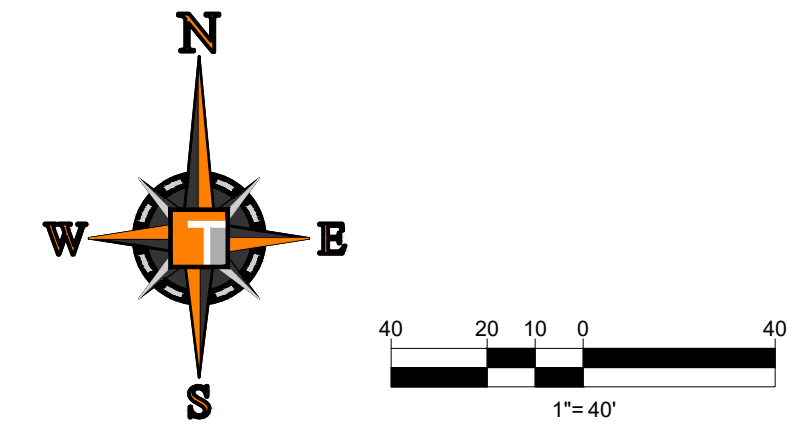
BOUNDARY, TOPOGRAPHY & TREE LOCATION
PREPARED FOR
WESTCITY FP SHOPS, LLC

DATE: 10/12/2022
HORIZ. SCALE: 1"=40'
VERT. SCALE: N/A
JOB NO. 18-033.001
SHEET 1 OF 1

18-033.001 Okeechobee Rd. & Jenkins Rd. SW Corner Survey (1:384) 10/12/2022 11:58:50 AM. DWG to PDF.plt



THIS PLAN WAS PREPARED BY ISA CERTIFIED ARBORIST, MICHAEL GROSSWIRTH, FL-9157A, AND SHALL SERVE AS THE ARBORIST'S REPORT FROM THIS PROJECT.



REFER TO SHEET L-1.1 FOR DISPOSITION PLAN AND SHEET L-2.0 FOR LANDSCAPE PLAN AND PLANTING SCHEDULE.

ALL EXISTING INVASIVE & EXOTIC SPECIES, SHRUBS, & GROUNDCOVER NOT SHOWN ON THIS PLAN SHALL BE REMOVED FROM SITE

ANY PVIOUS AREA TO REMAIN THAT IS DISTURBED BY CONSTRUCTION & IS NOT NOTED ON THE LANDSCAPE PLAN TO HAVE SHRUBS OR GROUNDCOVER SHALL BE SODDED

- EXISTING TREE NOTES:**
- Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by contractor shall be repaired at no additional cost to the Owner.
 - Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4710 Two Full Business Days prior to digging for underground utility locations.
 - Contractor shall be responsible for providing final grading of all associated planting areas.
 - After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.
 - No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
 - Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
 - Root-prune all trees a minimum of (2) weeks prior to planting.
 - Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.
 - In all pedestrian areas, all trees and palms shall be maintained to allow for clear passage at an 8 foot clear trunk.

THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 6500 NW 31ST AVENUE SUITE 1000 JUPITER, FL 33468
 4890 W. KENNEDY BLVD. SUITE 100 JUPITER, FL 33468
 P: 561-203-7503
 P: 813-379-4100
 P: 954-202-7000

REVISIONS			
REV.	DATE	COMMENT	BY
x	xxxx/xx	xxx	xxx

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PROJECT No.:	F220037
DRAWN BY:	LD
CHECKED BY:	MDG
DATE:	6-29-22
CAD I.D.:	DISPOSTION PLAN

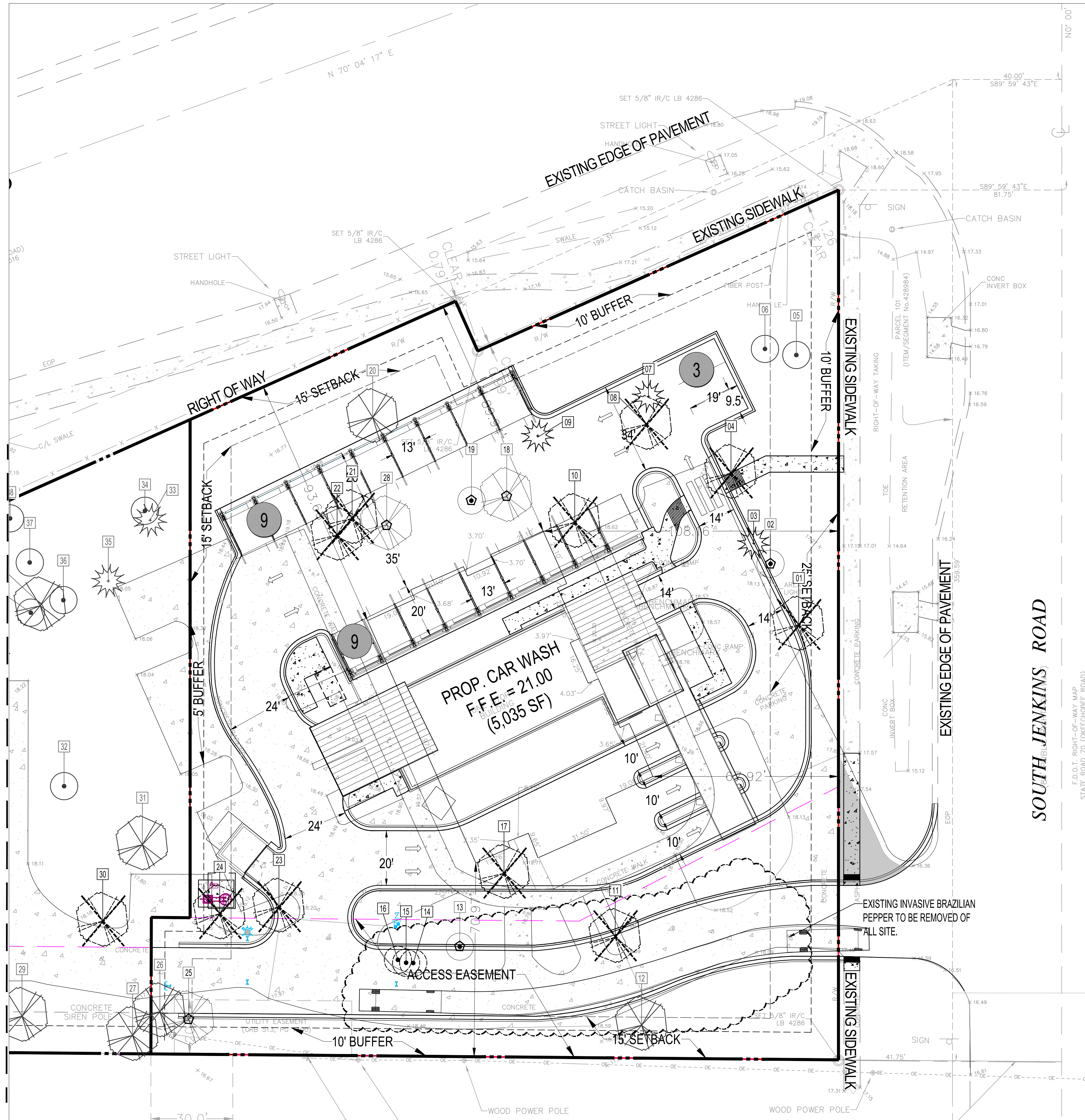
PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.
 FOR
MRE REAL ESTATE & INVESTMENT
 CITY OF FORT PIERCE FLORIDA

THOMAS ENGINEERING GROUP
 PEBWORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD, SUITE 206
 JUPITER, FL 33468
 PH: (561) 203-7503
 FX: (561) 203-7721
www.ThomasEngineeringGroup.com



SHEET TITLE:
OVERALL DISPOSITION PLAN
 SHEET NUMBER:
L-1.0

MATCH LINE (SEE SHEET L-1.2)

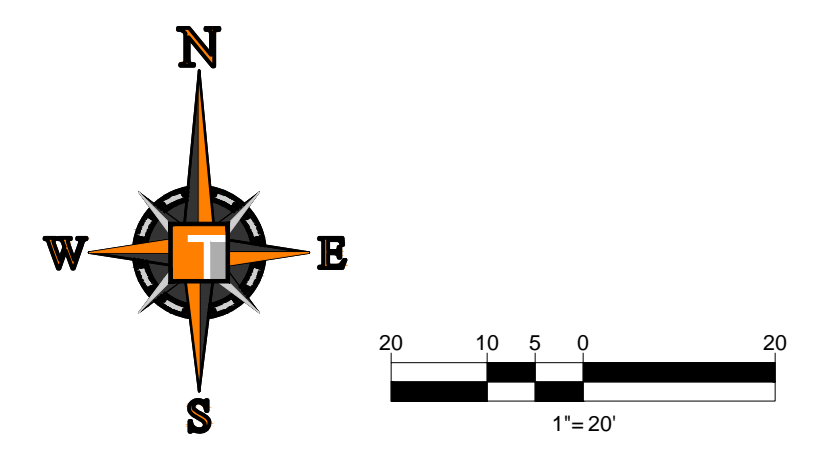


EXISTING TREE DISPOSITION CHART

TREE NO.	BOTANICAL NAME	COMMON NAME	DBH	HT.	CONDITION	DISPOSITION	COMMENTS	PROTECTED
1	Quercus virginiana	Live Oak	20	25	Poor	Relocate	One sided	NO
2	Sabal palmetto	Cabbage Palm	15	20	Poor	Relocate	Wrapped in vines	YES
3	Pinus palustris	Longleaf Pine	12	30	Poor	remove	Decline	NO
4	Quercus virginiana	Live Oak	18	30	Poor	remove	Wrapped in vines	NO
5	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
6	Sabal palmetto	Cabbage Palm	14	18	Fair	REMAIN		YES
7	Pinus palustris	Longleaf Pine	8	60	Poor	remove		NO
8	Quercus virginiana	Live Oak	24	30	Poor	remove	Wrapped in vines	NO
9	Pinus palustris	Longleaf Pine	12	48	Fair	remove		NO
10	Quercus virginiana	Live Oak	20	30	Fair	remove		NO
11	Quercus virginiana	Live Oak	20	30	Fair	remove		NO
12	Quercus virginiana	Live Oak	12	30	Fair	REMAIN		YES
13	Sabal palmetto	Cabbage Palm	12	20	Fair	Relocate		YES
14	Syagrus romanzoffiana	Queen Palm	12	20	Poor	remove		NO
15	Syagrus romanzoffiana	Queen Palm	12	12	Poor	remove		NO
16	Syagrus romanzoffiana	Queen Palm	14	15	Poor	remove		NO
17	Quercus virginiana	Live Oak	20	30	Fair	remove		NO
18	Quercus virginiana	Live Oak	16	30	Fair	Relocate		YES
19	Sabal palmetto	Cabbage Palm	14	20	Fair	Relocate		YES
20	Quercus virginiana	Live Oak	24	40	Fair	REMAIN		YES
21	Quercus virginiana	Live Oak	24	20	Fair	remove		NO
22	Quercus virginiana	Live Oak	24	20	Fair	remove		NO
23	Quercus virginiana	Live Oak	20	20	Fair	remove		NO
24	Quercus virginiana	Live Oak	18	25	Fair	Relocate		YES
25	Quercus virginiana	Live Oak	8	25	Fair	Relocate		YES
26	Quercus virginiana	Live Oak	22	25	Fair	REMAIN		YES
27	Quercus virginiana	Live Oak	20	25	Fair	REMAIN		YES
28	Quercus virginiana	Live Oak	19	25	Fair	REMAIN		YES
29	Quercus virginiana	Live Oak	24	24	Fair	REMAIN		YES
30	Cupaniopsis anacardioides	Carrowood	20	20	Poor	remove	INVASIVE	NO
31	Quercus virginiana	Live Oak	24	20	Fair	REMAIN		YES
32	Sabal palmetto	Cabbage Palm	15	8	Fair	REMAIN		YES
33	Pinus palustris	Longleaf Pine	14	80	Poor	REMAIN		YES
34	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
35	Pinus palustris	Longleaf Pine	14	60	Poor	REMAIN		YES
36	Sabal palmetto	Cabbage Palm	18	45	Fair	REMAIN		YES
37	Sabal palmetto	Cabbage Palm	14	18	Fair	REMAIN		YES
38	Sabal palmetto	Cabbage Palm	18	25	Fair	REMAIN		YES
39	Quercus virginiana	Live Oak	24	40	Fair	REMAIN		YES
40	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
41	Pinus palustris	Longleaf Pine	12	38	Poor	REMAIN		YES
42	Quercus virginiana	Live Oak	20	20	Fair	REMAIN		YES
43	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
44	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
45	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
46	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
47	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
48	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
49	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
50	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
51	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
52	Pinus palustris	Longleaf Pine	12	20	Fair	REMAIN		YES
53	Quercus virginiana	Live Oak	20	20	Fair	REMAIN		YES
54	Quercus virginiana	Live Oak	14	20	Fair	REMAIN		YES
55	Quercus virginiana	Live Oak	12	20	Fair	REMAIN		YES
56	Sabal palmetto	Cabbage Palm	14	10	Fair	REMAIN		YES
57	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
58	Sabal palmetto	Cabbage Palm	15	10	Fair	REMAIN		YES
59	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
60	Sabal palmetto	Cabbage Palm	12	12	Fair	REMAIN		YES
61	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
62	Sabal palmetto	Cabbage Palm	14	10	Fair	REMAIN		YES
63	Sabal palmetto	Cabbage Palm	14	10	Fair	REMAIN		YES
64	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
65	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
66	Sabal palmetto	Cabbage Palm	12	10	Fair	REMAIN		YES
67	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
68	Sabal palmetto	Cabbage Palm	15	12	Fair	REMAIN		YES
69	Sabal palmetto	Cabbage Palm	15	10	Fair	REMAIN		YES
70	Cupaniopsis anacardioides	Carrowood	20	20	Poor	remove	INVASIVE	NO
71	Quercus virginiana	Live Oak	20	20	Fair	REMAIN		YES
72	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
73	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
74	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
75	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
76	Sabal palmetto	Cabbage Palm	12	8	Fair	REMAIN		YES
77	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
78	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
79	Quercus virginiana	Live Oak	12	20	Fair	REMAIN		YES
80	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
81	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
82	Sabal palmetto	Cabbage Palm	12	20	Fair	REMAIN		YES
83	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
84	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
85	Sabal palmetto	Cabbage Palm	12	20	Fair	REMAIN		YES
86	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
87	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
88	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
89	Sabal palmetto	Cabbage Palm	12	20	Fair	REMAIN		YES
90	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
91	Quercus virginiana	Live Oak	16	20	Fair	REMAIN		YES
92	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
93	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
94	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
95	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
96	Sabal palmetto	Cabbage Palm	24	24	Fair	REMAIN		YES
97	Quercus virginiana	Live Oak	28	28	Fair	REMAIN		YES
98	Quercus virginiana	Live Oak	18	18	Fair	REMAIN		YES
99	Quercus virginiana	Live Oak	24	24	Fair	REMAIN		YES
100	Quercus virginiana	Live Oak	12	12	Fair	REMAIN		YES
101	Quercus virginiana	Live Oak	12	12	Fair	REMAIN		YES
102	Sabal palmetto	Cabbage Palm	12	12	Fair	REMAIN		YES
103	Sabal palmetto	Cabbage Palm	14	14	Fair	REMAIN		YES
104	Sabal palmetto	Cabbage Palm	14	14	Fair	Relocate		YES
105	Quercus virginiana	Live Oak	16	16	Fair	Relocate		YES
106	Quercus virginiana	Live Oak	12	12	Fair	Relocate		YES
107	Quercus virginiana	Live Oak	13	13	Fair	REMAIN		YES
108	Sabal palmetto	Cabbage Palm	12	12	Fair	REMAIN		YES
109	Quercus virginiana	Live Oak	14	14	Fair	REMAIN		YES
110	Sabal palmetto	Cabbage Palm	13	13	Fair	REMAIN		YES
111	Quercus virginiana	Live Oak	16	16	Fair	REMAIN		YES

TOTAL DBH ON SITE: 1672
 TOTAL DBH TO REMAIN: 1424.0
 TOTAL QUALIFIED PALMS TO BE REMOVED: 248
 TOTAL QUALIFIED PALMS TO BE REPLACED @ 1:1: 3
 TOTAL QUALIFIED PALMS TO BE RELOCATED: 4

PARCEL	TOTAL DBH ON PARCEL	TOTAL DBH TO REMAIN	TOTAL QUALIFIED PALMS TO BE REMOVED, REPLACED @ 1:1	TOTAL QUALIFIED PALMS TO BE RELOCATED
PARCEL 1	430	82	3	3
PARCEL 2	889	27 TO 95	0	0
PARCEL 3	254	96 TO 111	0	1



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 JUPITER, FL 33468
 P: 561-203-7503
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REVISIONS

REV.	DATE	COMMENT	BY:
x	xxx/xx	xxx	xxx

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PROJECT No.: F220037
 DRAWN BY: LD
 CHECKED BY: MDG
 DATE: 6-28-22
 CAD I.D.: DISPOSITION PLAN

PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.

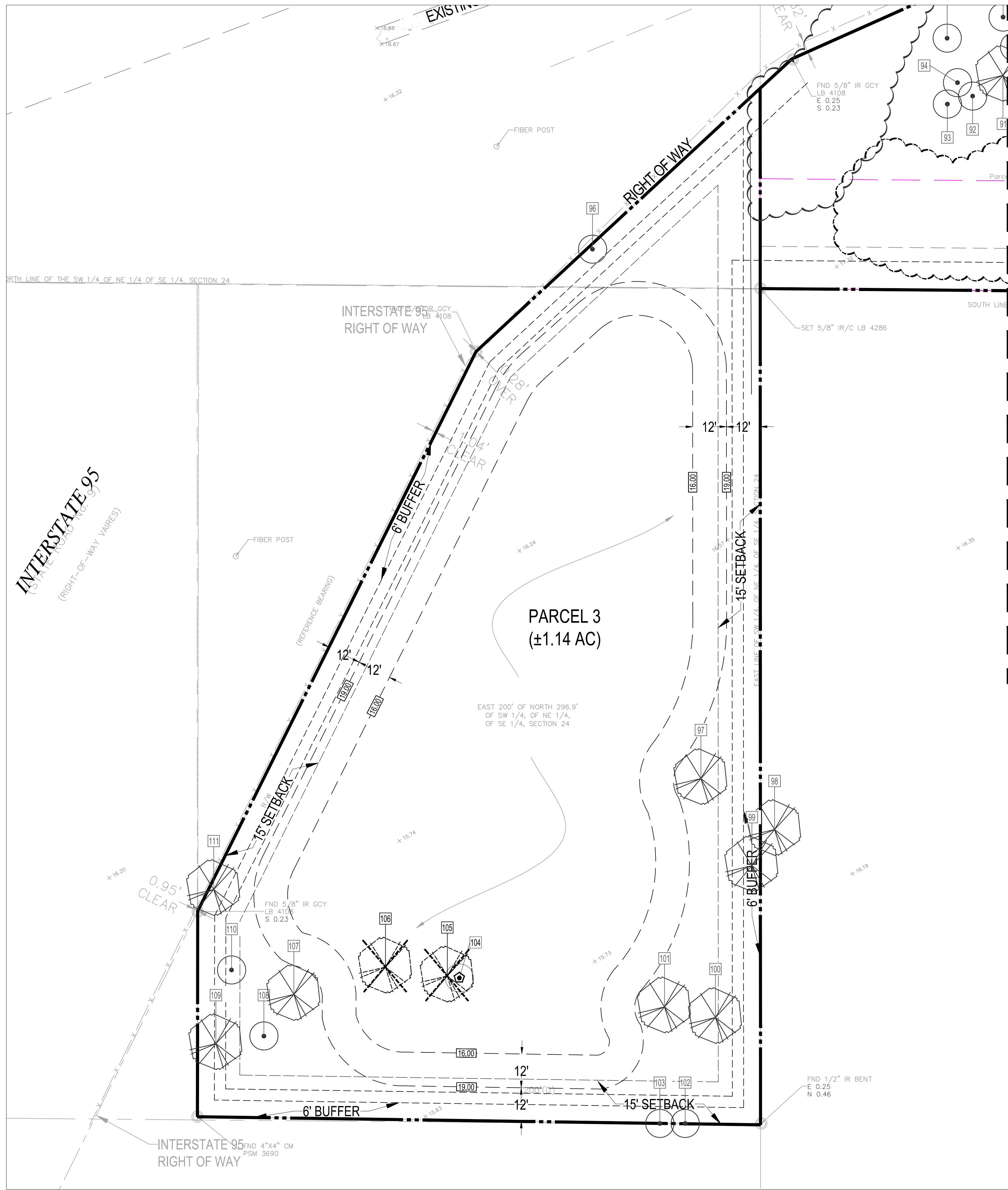
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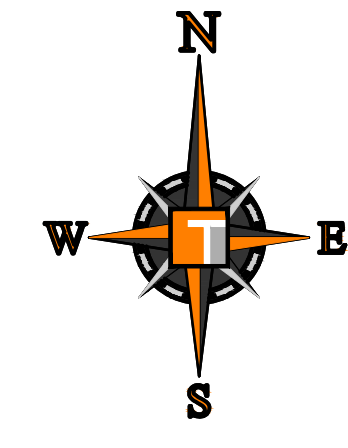
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REGISTERED LANDSCAPE ARCHITECT
 LA 6666871
 OF
 FLORIDA
 MICHAEL D. GROSSWIRTH
 FLORIDA LICENSE NO. 6666871
 EXPIRES 08/31/2025

SHEET TITLE:
**DISPOSITION PLAN
 PARCEL 1**
 SHEET NUMBER:
L-1.1



MATCH LINE (SEE SHEET L-1.1)



EXISTING TREE DISPOSITION CHART
FT. PIERCE, FL

TREE NO.	BOTANICAL NAME	COMMON NAME	DBH	HT.	CONDITION	DISPOSITION	COMMENTS	PROTECTED
1	Quercus virginiana	Live Oak	20	25	Poor	remove	One island	NO
2	Sabal palmetto	Cabbage Palm	15	25	Poor	Relocate	Wrapped in vines	YES
3	Pinus palustris	Longleaf Pine	12		Poor	remove	Decline	NO
4	Quercus virginiana	Live Oak	18	30	Poor	remove	Wrapped in vines	NO
5	Sabal palmetto	Cabbage Palm	14	20	Fair	REMAIN		YES
6	Sabal palmetto	Cabbage Palm	14	18	Fair	REMAIN		YES
7	Pinus palustris	Longleaf Pine	8	60	Poor	remove		NO
8	Quercus virginiana	Live Oak	24	30	Poor	remove	Wrapped in vines	NO
9	Pinus palustris	Longleaf Pine	12	48	Fair	remove		NO
10	Quercus virginiana	Live Oak	20	30	Fair	remove		NO
11	Quercus virginiana	Live Oak	20		Fair	remove		NO
12	Quercus virginiana	Live Oak	12		Fair	REMAIN		YES
13	Sabal palmetto	Cabbage Palm	12		Fair	Relocate		YES
14	Syagrus romanzoffiana	Queen Palm	12		Poor	remove		NO
15	Syagrus romanzoffiana	Queen Palm	12		Poor	remove		NO
16	Syagrus romanzoffiana	Queen Palm	14	15	Poor	remove		NO
17	Quercus virginiana	Live Oak	20	30	Fair	remove		NO
18	Quercus virginiana	Live Oak	16	36	Fair	Relocate		YES
19	Sabal palmetto	Cabbage Palm	14		Fair	Relocate		YES
20	Quercus virginiana	Live Oak	24	40	Fair	REMAIN		YES
21	Quercus virginiana	Live Oak	24	20	Fair	remove		NO
22	Quercus virginiana	Live Oak	24		Fair	remove		NO
23	Quercus virginiana	Live Oak	20		Fair	remove		NO
24	Quercus virginiana	Live Oak	18		Fair	remove		NO
25	Quercus virginiana	Live Oak	8	25	Fair	Relocate		YES
26	Quercus virginiana	Live Oak	22	25	Fair	REMAIN		YES
27	Quercus virginiana	Live Oak	20	25	Fair	REMAIN		YES
28	Quercus virginiana	Live Oak	10		Fair	Relocate		YES
29	Quercus virginiana	Live Oak	24		Fair	REMAIN		YES
30	Cupaniopsis anacardioides	Carrotwood	24		Poor	remove	INVASIVE	NO
31	Quercus virginiana	Live Oak	24		Fair	REMAIN		YES
32	Sabal palmetto	Cabbage Palm	15	8	Fair	REMAIN		YES
33	Pinus palustris	Longleaf Pine	14	60	Poor	REMAIN		YES
34	Sabal palmetto	Cabbage Palm	15	20	Fair	REMAIN		YES
35	Pinus palustris	Longleaf Pine	14	60	Poor	REMAIN		YES
36	Sabal palmetto	Cabbage Palm	18	45	Fair	REMAIN		YES
37	Sabal palmetto	Cabbage Palm	14	18	Fair	REMAIN		YES
38	Sabal palmetto	Cabbage Palm	18	25	Fair	REMAIN		YES
39	Quercus virginiana	Live Oak	24	40	Fair	REMAIN		YES
40	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
41	Pinus palustris	Longleaf Pine	12	35	Poor	REMAIN		YES
42	Quercus virginiana	Live Oak	20		Fair	REMAIN		YES
43	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
44	Sabal palmetto	Cabbage Palm	12		Fair	REMAIN		YES
45	Sabal palmetto	Cabbage Palm	12		Fair	REMAIN		YES
46	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
47	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
48	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
49	Sabal palmetto	Cabbage Palm	12		Fair	REMAIN		YES
50	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
51	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
52	Pinus palustris	Longleaf Pine	12		Poor	REMAIN		YES
53	Quercus virginiana	Live Oak	20		Fair	REMAIN		YES
54	Quercus virginiana	Live Oak	14		Fair	REMAIN		YES
55	Quercus virginiana	Live Oak	12		Fair	REMAIN		YES
56	Sabal palmetto	Cabbage Palm	14	10	Fair	REMAIN		YES
57	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
58	Sabal palmetto	Cabbage Palm	15	10	Fair	REMAIN		YES
59	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
60	Sabal palmetto	Cabbage Palm	12	12	Fair	REMAIN		YES
61	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
62	Sabal palmetto	Cabbage Palm	14	10	Fair	REMAIN		YES
63	Sabal palmetto	Cabbage Palm	14	10	Fair	REMAIN		YES
64	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
65	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
66	Sabal palmetto	Cabbage Palm	12	10	Fair	REMAIN		YES
67	Sabal palmetto	Cabbage Palm	14	12	Fair	REMAIN		YES
68	Sabal palmetto	Cabbage Palm	15	12	Fair	REMAIN		YES
69	Sabal palmetto	Cabbage Palm	15	10	Fair	REMAIN		YES
70	Cupaniopsis anacardioides	Carrotwood	20		Poor	remove	INVASIVE	NO
71	Quercus virginiana	Live Oak	20		Fair	REMAIN		YES
72	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
73	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
74	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
75	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
76	Sabal palmetto	Cabbage Palm	12		Fair	REMAIN		YES
77	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
78	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
79	Quercus virginiana	Live Oak	12		Fair	REMAIN		YES
80	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
81	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
82	Sabal palmetto	Cabbage Palm	12		Fair	REMAIN		YES
83	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
84	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
85	Sabal palmetto	Cabbage Palm	12		Fair	REMAIN		YES
86	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
87	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
88	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
89	Sabal palmetto	Cabbage Palm	12		Fair	REMAIN		YES
90	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
91	Quercus virginiana	Live Oak	16		Fair	REMAIN		YES
92	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
93	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
94	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
95	Sabal palmetto	Cabbage Palm	15		Fair	REMAIN		YES
96	Sabal palmetto	Cabbage Palm	24		Fair	REMAIN		YES
97	Quercus virginiana	Live Oak	28		Fair	REMAIN		YES
98	Quercus virginiana	Live Oak	18		Fair	REMAIN		YES
99	Quercus virginiana	Live Oak	24		Fair	REMAIN		YES
100	Quercus virginiana	Live Oak	12		Fair	REMAIN		YES
101	Quercus virginiana	Live Oak	12		Fair	REMAIN		YES
102	Sabal palmetto	Cabbage Palm	12		Fair	REMAIN		YES
103	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
104	Sabal palmetto	Cabbage Palm	14		Fair	REMAIN		YES
105	Quercus virginiana	Live Oak	16		Fair	Relocate		YES
106	Quercus virginiana	Live Oak	12		Fair	Relocate		YES
107	Quercus virginiana	Live Oak	13		Fair	REMAIN		YES
108	Sabal palmetto	Cabbage Palm	12		Fair	REMAIN		YES
109	Quercus virginiana	Live Oak	14		Fair	REMAIN		YES
110	Sabal palmetto	Cabbage Palm	13		Fair	REMAIN		YES
111	Quercus virginiana	Live Oak	16		Fair	REMAIN		YES

TOTAL DBH ON SITE: 1672
 TOTAL DBH TO REMAIN: 1424.0
 TOTAL DBH TO BE REMOVED: 248
 TOTAL QUALIFIED PALMS TO BE REMOVED, REPLACED @ 1:1: 4
 TOTAL QUALIFIED PALMS TO BE RELOCATED: 3

PARCEL	TOTAL DBH ON PARCEL	TOTAL DBH TO REMAIN	TOTAL DBH TO BE REMOVED	TOTAL QUALIFIED PALMS TO BE REMOVED, REPLACED @ 1:1	TOTAL QUALIFIED PALMS TO BE RELOCATED
PARCEL 1	438	82	240	0	3
PARCEL 2	980	27 TO 95	0	0	0
PARCEL 3	250	98 TO 111	0	0	0

NOTE: NATIVE TREES WITH A DBH OF 14" OR GREATER ARE REQUIRED TO BE MITIGATED @ 1:1 INCH INCH; ONLY PALMS WITH A MIN. 10' OF CLEAR TRUNK ARE PROTECTED PER SEC. 22-194(B); FURTHERMORE, PROTECTED/RELOCATED PALMS WILL COUNT TOWARDS ANY REQUIRED PALM TREE MITIGATION AT A RATE OF ONE PALM PRESERVED/PROTECTED = ONE PALM REMOVED PER SEC. 22-194(D).2

Note: Relocated palm not counted towards palm tree mitigation requirement, instead counted to min. LS reqs

ELEVATIONS BASED ON NAVD 88

THOMAS
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

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TAMPA, FL 33609
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REVISIONS

REV.	DATE	COMMENT	BY
x	xxxx/xx	xxx	xxx

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PROJECT No.: F220037
 DRAWN BY: LD
 CHECKED BY: MDG
 DATE: 6-29-22
 CAD I.D.: DISPOSITION PLAN

PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.

FOR
MRE REAL ESTATE & INVESTMENT

CITY OF FORT PIERCE
FLORIDA

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REGISTERED LANDSCAPE ARCHITECT
LA 666871
OF
MICHAEL D. GROSSWIRTH
FLORIDA LICENSE NO. 666871
FLORIDA BUSINESS CERT. # 2019-00002520

SHEET TITLE:
**DISPOSITION PLAN
PARCEL 3**

SHEET NUMBER:
L-1.2

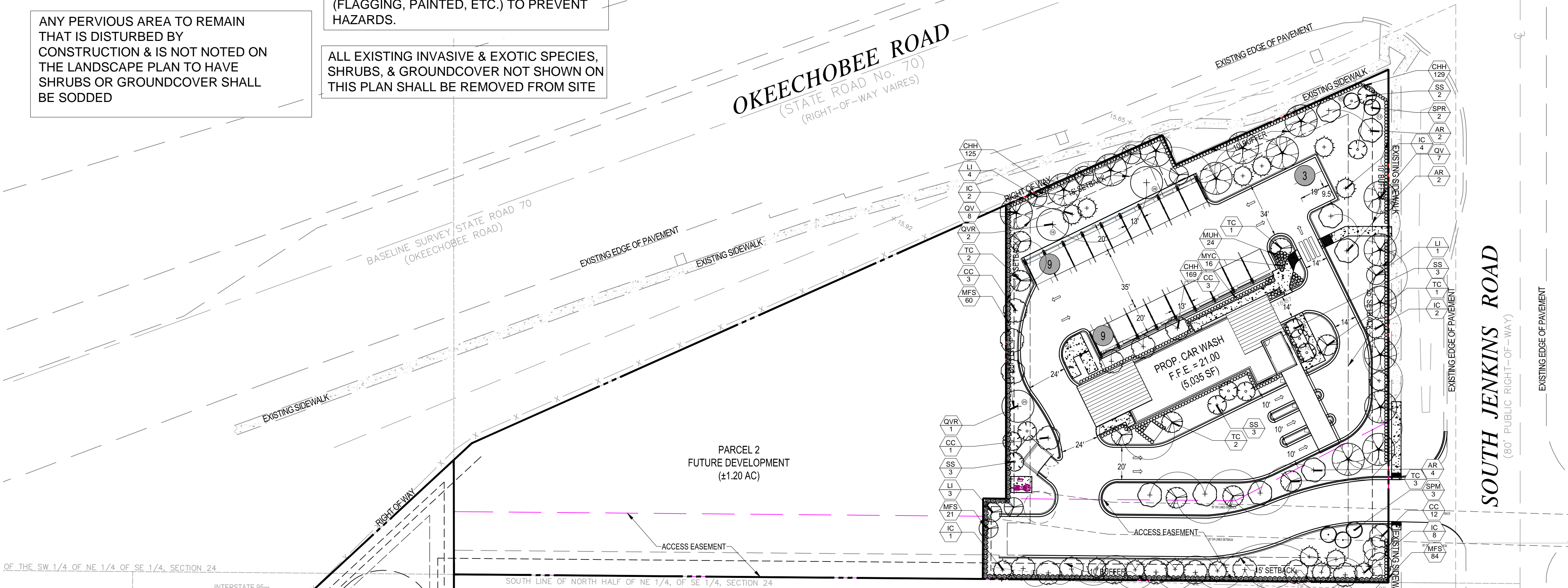
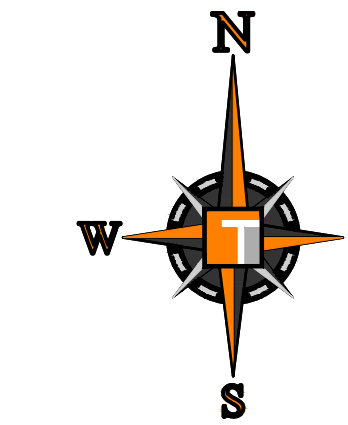
REFER TO SHEET L-1.0 FOR DISPOSITION PLAN, SHEET L-2.1 FOR LANDSCAPE DETAILS AND SHEET L-2.2 FOR LANDSCAPE GENERAL NOTES.

ANY PERVIOUS AREA TO REMAIN THAT IS DISTURBED BY CONSTRUCTION & IS NOT NOTED ON THE LANDSCAPE PLAN TO HAVE SHRUBS OR GROUNDCOVER SHALL BE SODDED

ALL TREES AND PALMS PLANTED SHALL BE SECURELY GUYED, BRACED, AND/OR STAKED AT THE TIME OF PLANTING UNTIL ESTABLISHMENT. ALL STABILIZATION SYSTEMS SHALL BE CLEARLY MARKED (FLAGGING, PAINTED, ETC.) TO PREVENT HAZARDS.

ALL EXISTING INVASIVE & EXOTIC SPECIES, SHRUBS, & GROUNDCOVER NOT SHOWN ON THIS PLAN SHALL BE REMOVED FROM SITE

ALL MECHANICAL EQUIPMENT, BACKFLOW PREVENTERS, DUMPSTER ENCLOSURES, A/C UNITS, ETC., SHALL BE SCREENED IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS.



General Landscape Notes:

- All plants shall conform to established nursery grades and standards, to be Florida No. 1 or better, and shall be free of disease and insects at the time of installation.
- Trees shall be a minimum of twelve (12) feet in height and have a caliper of two and one-half (2 1/2) inches at four and one-half (4 1/2) feet above the ground when installed.
- All required trees, except palms, shall have a minimum of five (5) feet of clear trunk and a minimum five (5) foot canopy spread at the time of planting.
- All palm trees shall have a minimum clear trunk of ten (10) feet when installed. Three palm trees are equal to one shade tree having a mature canopy spread of fifteen (15) feet.
- Shrubs shall be a minimum of twenty-four (24) inches in height above grade immediately after planting.
- Groundcovers, other than grass, shall be planted in a manner as to present a finished appearance and reasonably complete coverage within four (4) months after planting.
- Turf grass shall be installed using solid sod and shall be either Bahia or St. Augustine sod.
- All existing native vegetation found on the site and is not in direct conflict with the proposed buildings or parking areas shall be left undisturbed. A suitable protective barrier, constructed of metal, wood, safety fencing, or other durable material, will be placed around the staked out locations of existing native vegetation.
- No fill materials, construction materials, concrete, paint, chemicals, or other foreign materials shall be stored, deposited, or disposed of within any areas that have been staked or fenced off as being undisturbed native vegetation areas.
- Existing understory shall be maintained in areas of undisturbed native vegetation.
- All Category 1 exotic plant species will be eradicated from the site.
- Conspicuous, durable barricades will be erected around each individual tree or areas of vegetation that are to be preserved. In the event that any protective barricades are removed or altered and land clearing or construction work is being conducted on the site, all work at the site will be stopped until the barriers are restored and any necessary corrective actions taken to repair or replant any vegetation removed or damaged as a result of these encroachments.
- Irrigation to conform to all local and State regulations with regard to water consumption.
- All new landscaping shall be provided with 100% irrigation coverage through the establishment period, not less than 1-year.

PLANT SCHEDULE PARCEL 1

TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
AR	8	Red Maple	Acer Rubrum	B & B	4" Cal	14-16' ht.	6-7'	Yes	High	5' CT
CC	19	Silver Button Wood	Conocarpus erectus sericeus	B & B	3" Cal	14' Ht	5'	Yes	Medium	
LI	8	Crape Myrtle	Lagerstroemia indica 'Muskogee'	B & B	8" Cal.	14-16' ht.	6-7'	No	High	5' CT; Multi-trunk trunks @ 2" Cal
QV	15	Southern Live Oak	Quercus virginiana	B & B	6" Cal	16' Ht	6-7'	Yes	High	6' CT
TC	9	Silver Trumpet	Tabebuia caraiba	B & B	4" Cal	12-14' ht.	6'	No	High	6' CT
MITIGATION PALMS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
SPM	3	Cabbage Palmetto	Sabal palmetto	B & B		18-22' oa	10'	Yes	High	For 1:1 Palm Mitigation
MITIGATION TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
IC	17	Dahoon Holly	Ilex cassine	B & B	4" DBH	16' Ht	5-6'	Yes	High	5' CT
PALM TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
SS	11	Cabbage Palmetto	Sabal palmetto	FG		10-18' c.t.	10'	Yes	High	Slick
RELOCATED PALMS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
SPR	2	Cabbage Palmetto	Sabal palmetto	B & B	As noted on Sheet L-1.0		8-10'	Yes	High	Relocated
RELOCATED TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
QVR	3	Southern Live Oak	Quercus virginiana	B & B	As noted on Sheet L-1.0			Yes	High	6' CT
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
CHH	423	Red Tip Cocoplum	Chrysobalanus icaco 'Red Tip'	NA	24"	36"	18"	Yes	High	Full to base
MFS	165	Simpson's Stopper	Myrcianthes fragrans	NA	24"	48"	36"	Yes	High	
MUH	24	Pink Muhly Grass	Muhlenbergia capillaris	NA	24"	24"	18"	Yes	High	
MYC	16	Wax Myrtle	Myrica cerifera	NA	24"	24"	18"	Yes	High	full to base

ELEVATIONS BASED ON NAVD 88

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PROJECT No.: F220037
DRAWN BY: LD
CHECKED BY: MDG
DATE: 6-29-22
CAD I.D.: LANDSCAPE PLAN

PROJECT:

SWC OKEECHOBEE RD. & JENKINS RD.

FOR

MRE REAL ESTATE & INVESTMENT

CITY OF FORT PIERCE
FLORIDA

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REGISTERED LANDSCAPE ARCHITECT
OF
FLORIDA
MICHAEL D. GROSSWIRTH
LA 6666871

SHEET TITLE:
OVERALL LANDSCAPE PLAN

SHEET NUMBER:
L-2.0

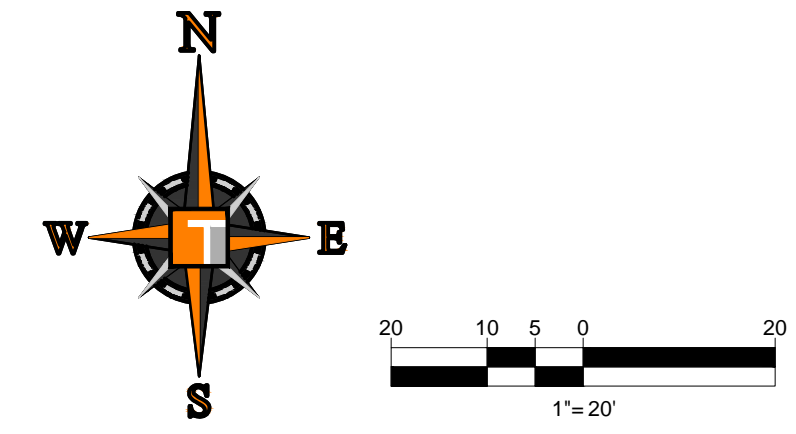
REFER TO SHEET L-1.0 FOR DISPOSITION PLAN, SHEET L-2.1 FOR LANDSCAPE DETAILS AND SHEET L-2.2 FOR LANDSCAPE GENERAL NOTES.

ALL TREES AND PALMS PLANTED SHALL BE SECURELY GUYED, BRACED, AND/OR STAKED AT THE TIME OF PLANTING UNTIL ESTABLISHMENT. ALL STABILIZATION SYSTEMS SHALL BE CLEARLY MARKED (FLAGGING, PAINTED, ETC.) TO PREVENT HAZARDS.

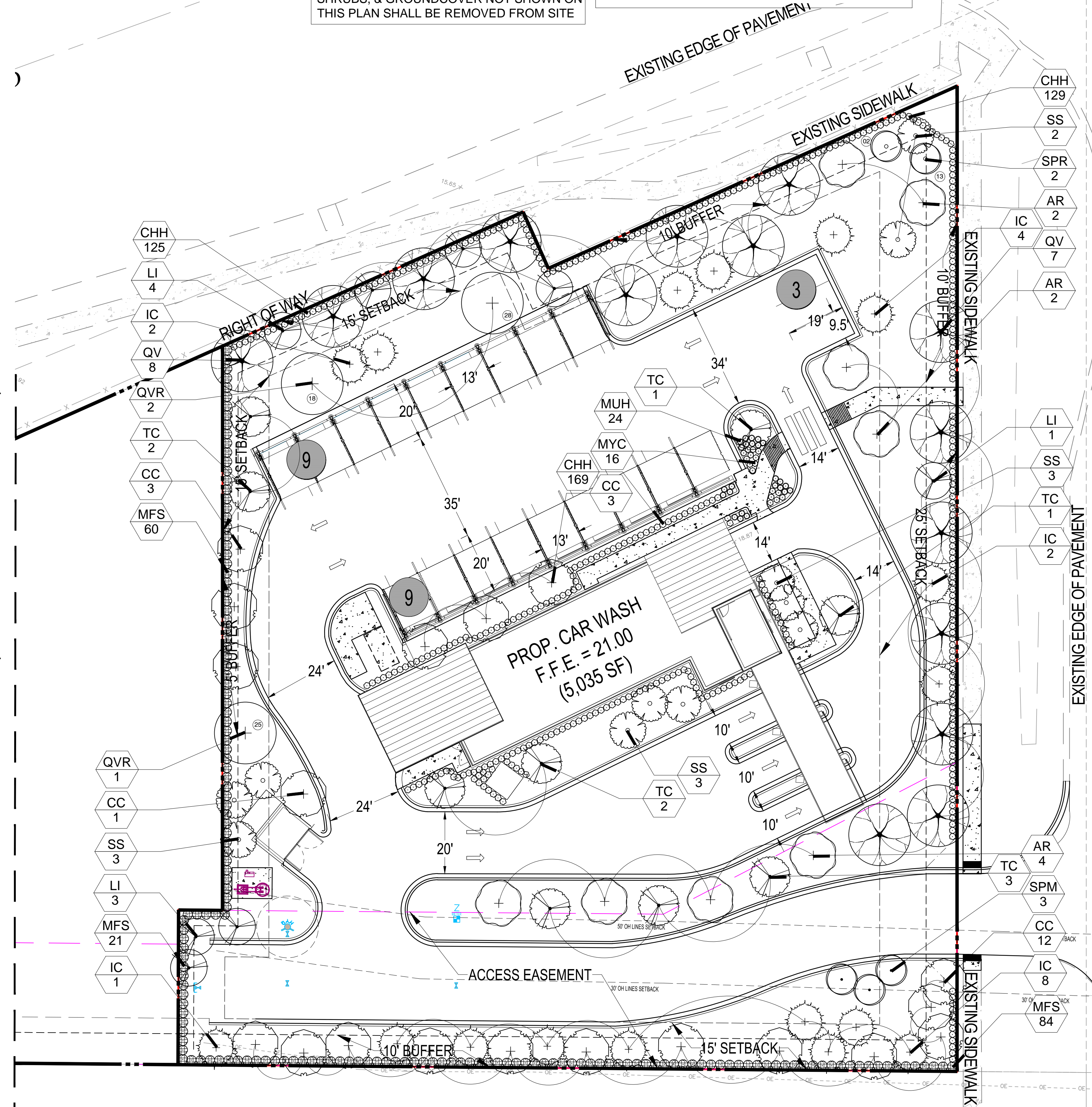
ALL MECHANICAL EQUIPMENT, BACKFLOW PREVENTERS, DUMPSTER ENCLOSURES, A/C UNITS, ETC., SHALL BE SCREENED IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS.

ANY PVIOUS AREA TO REMAIN THAT IS DISTURBED BY CONSTRUCTION & IS NOT NOTED ON THE LANDSCAPE PLAN TO HAVE SHRUBS OR GROUNDCOVER SHALL BE SODDED

ALL EXISTING INVASIVE & EXOTIC SPECIES, SHRUBS, & GROUNDCOVER NOT SHOWN ON THIS PLAN SHALL BE REMOVED FROM SITE



MATCH LINE (SEE SHEET L-2.2)



SOUTH JENKINS ROAD

LANDSCAPE CODE COMPLIANCE CHART - PARCEL 1								
FORT PIERCE - CODE OF ORDINANCES; CH. 123; ART II								
TOLTA PARCEL 1: 65,756.87 sq ft	ZONING: C-3 General Commercial							
TOTAL VUA: 30,951 sq ft (0.71 AC/ 47.07%)								
TOTAL LANDSCAPE AREA: 28,188.50 sq ft (0.86 AC/57.13%)								
Min. Planting Requirements: Trees: 12' ht., 2.5" Cal, 5' CT <50% Palms: 10' CT (3:1) Shrubs: 24" h.t.								
SEC. 123-37 - GENERAL LANDSCAPE REQUIREMENTS								
4 - Landscape Strips Between Street R/O/W and VUA Use, Building and/or Retention Areas 10' wide minimum Landscape Strip 1 Tree/300 sq.ft. S Jenkins Rd: 283.57 If (283.57 If * 10 = 2,835.7 sq ft) Okeechobee Rd: 271.04 If (271.04 If * 10 = 2,710.4 sq ft)	<table border="1"> <thead> <tr> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>10 TREES</td> <td>10 TREES</td> </tr> <tr> <td>10 TREES</td> <td>10 TREES</td> </tr> </tbody> </table>	REQUIRED	PROVIDED	10 TREES	10 TREES	10 TREES	10 TREES	
REQUIRED	PROVIDED							
10 TREES	10 TREES							
10 TREES	10 TREES							
36" ht. Continuous Visual Screen								
6 - Vehicular Use, Building, Retention/Detention Areas Adjacent to Other Property 10' width minimum Landscape Strip 1 Tree/200 sq.ft. (XX If x 10' = XX sq.ft.) West: 232.21 If (232.21*10 = 2,322.1 sq ft) South: 250.84 If (250.84 * 10 = 2,508.4 sq ft)	<table border="1"> <tbody> <tr> <td>12 TREES</td> <td>12 TREES</td> </tr> <tr> <td>13 TREES</td> <td>13 TREES</td> </tr> </tbody> </table>	12 TREES	12 TREES	13 TREES	13 TREES			
12 TREES	12 TREES							
13 TREES	13 TREES							
6' Continuous Visual Screen								
7 - Interior Vehicular Use Areas 1 sq.ft. of Interior Landscape Area/15 sq.ft. of VUA 30,951 sf 1 Tree/100 sq.ft. of Required Interior Landscape Area 2,063.4/100 = 21 TREES	<table border="1"> <tbody> <tr> <td>2,063.4 interior landscape</td> <td>17,811.9 sf interior landscape</td> </tr> <tr> <td>21 TREES</td> <td>21 TREES</td> </tr> </tbody> </table>	2,063.4 interior landscape	17,811.9 sf interior landscape	21 TREES	21 TREES			
2,063.4 interior landscape	17,811.9 sf interior landscape							
21 TREES	21 TREES							
TOTAL	66 TREES	66 TREES						
SEC. 123-66 - TREE PROTECTION AND MITIGATION								
(d)(2) Native Trees with a DBH of 14" or greater Shall be Mitigated Inch:Inch								
Trees Preserved on-site, which exceed minimum code, count towards mitigation	Total palms (1:1): 3 PALMS							
Planted Trees in Excess of Code Count at 50% towards mitigation:	Deficit Inches: 240"							
66 trees over code	Trees Over Code Minimum: 33 credits							
	Total DBH over Code Minimum: 199.5"							
	Total Mitigation Required: 40.5"							

When property is not suitable for on-site mitigation, the applicant's plan may, with city approval, provide for use of a site on city public lands providing that the applicant furnishes all necessary services incident to such mitigation on public property, including, but not limited to, funding plants material and labor. Any contributions shall be placed at the City of Fort Pierce Tree Preservation Funds.

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SHEET TITLE:
LANDSCAPE PLAN PARCEL 1

SHEET NUMBER:
L-2.1

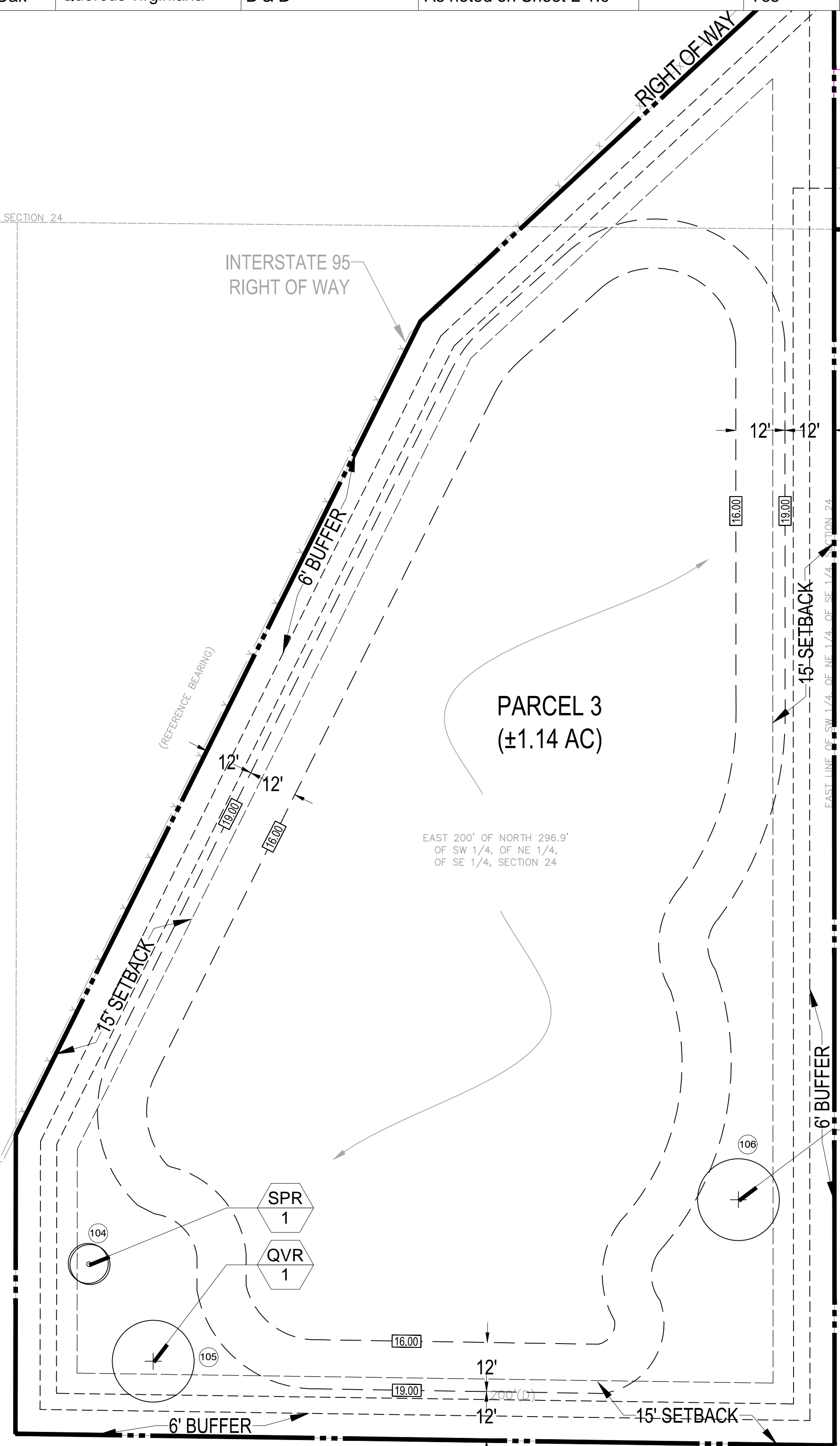
PLANT SCHEDULE PARCEL 3

RELOCATED PALMS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	SPREAD	NATIVE	XERIC	REMARKS
SPR	1	Cabbage Palmetto	Sabal palmetto	B & B	As noted on Sheet L-1.0	8-10'	Yes	High	Relocated

RELOCATED TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	SPREAD	NATIVE	XERIC	REMARKS
QVR	2	Southern Live Oak	Quercus virginiana	B & B	As noted on Sheet L-1.0		Yes	High	6' CT

3/4TH LINE OF THE SW 1/4, OF NE 1/4, OF SE 1/4, SECTION 24

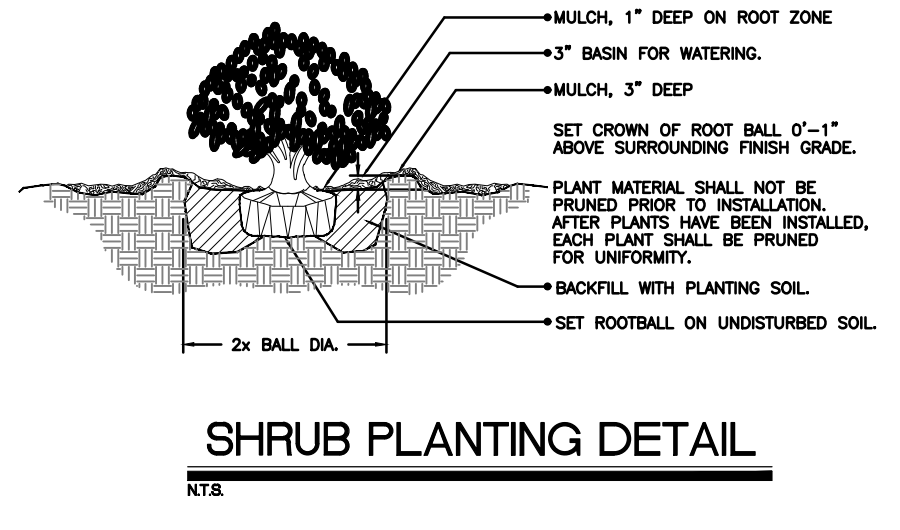
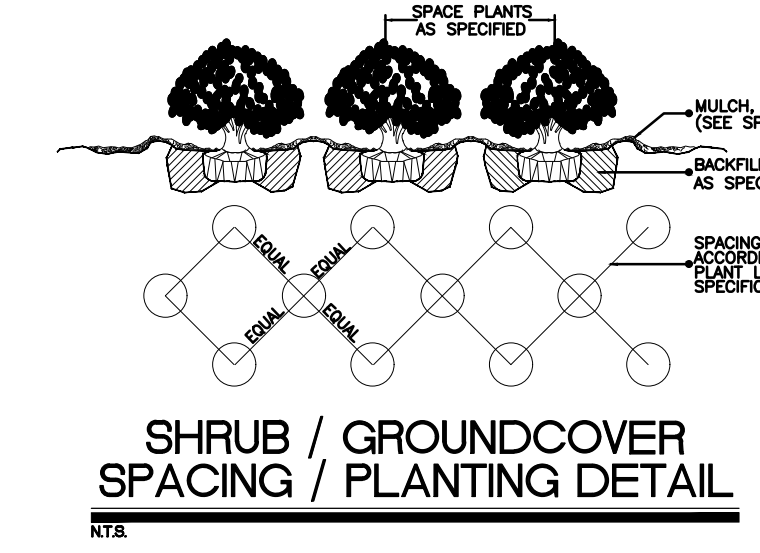
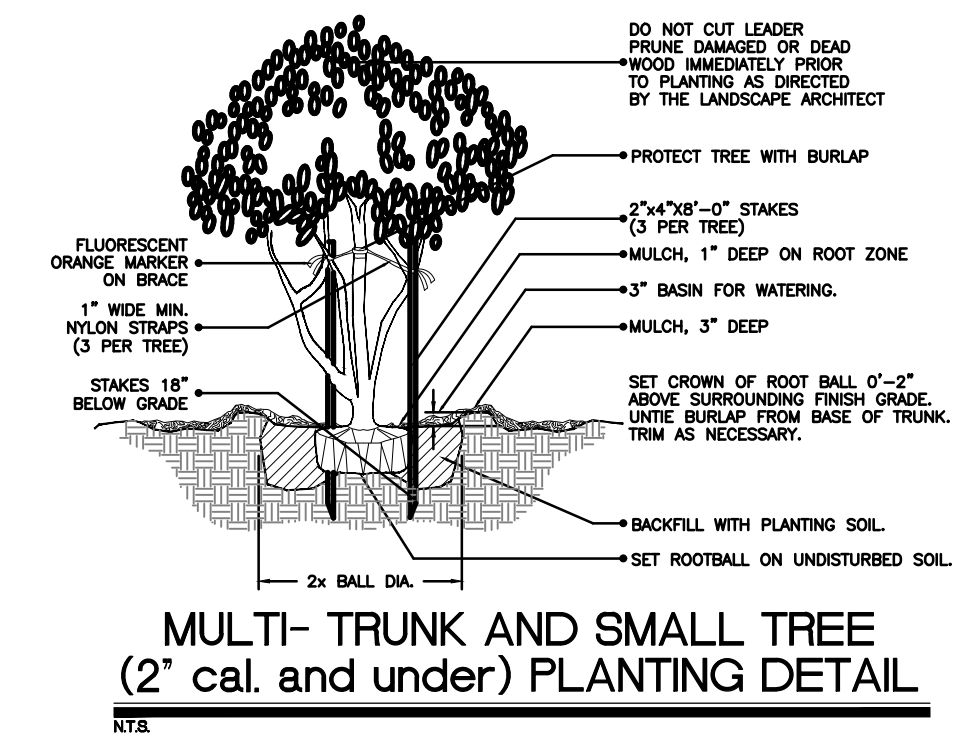
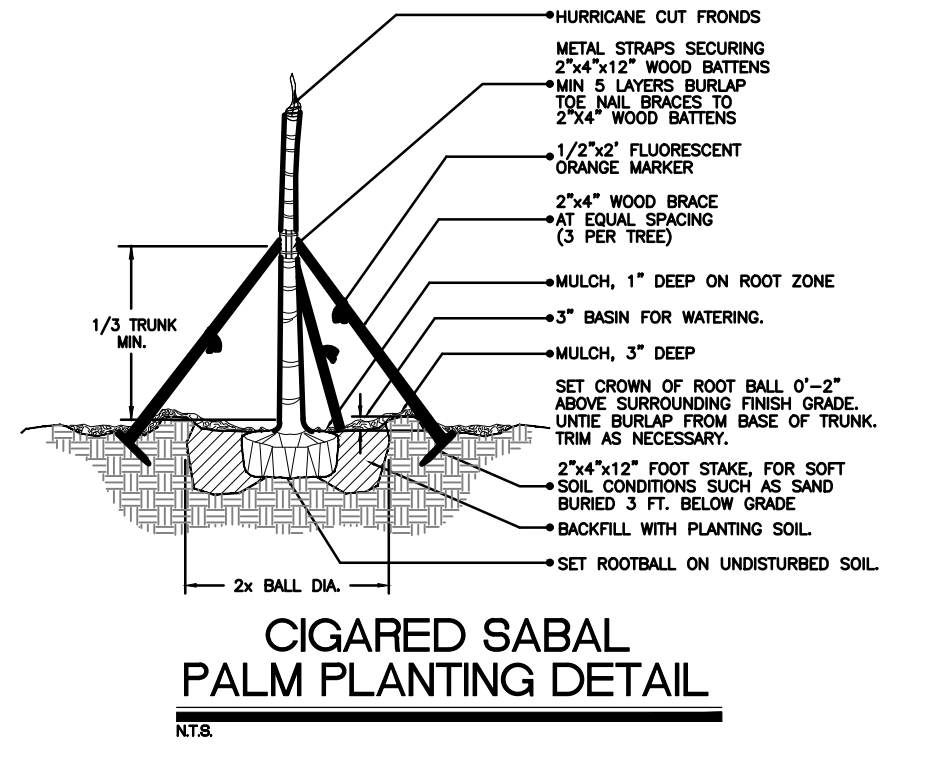
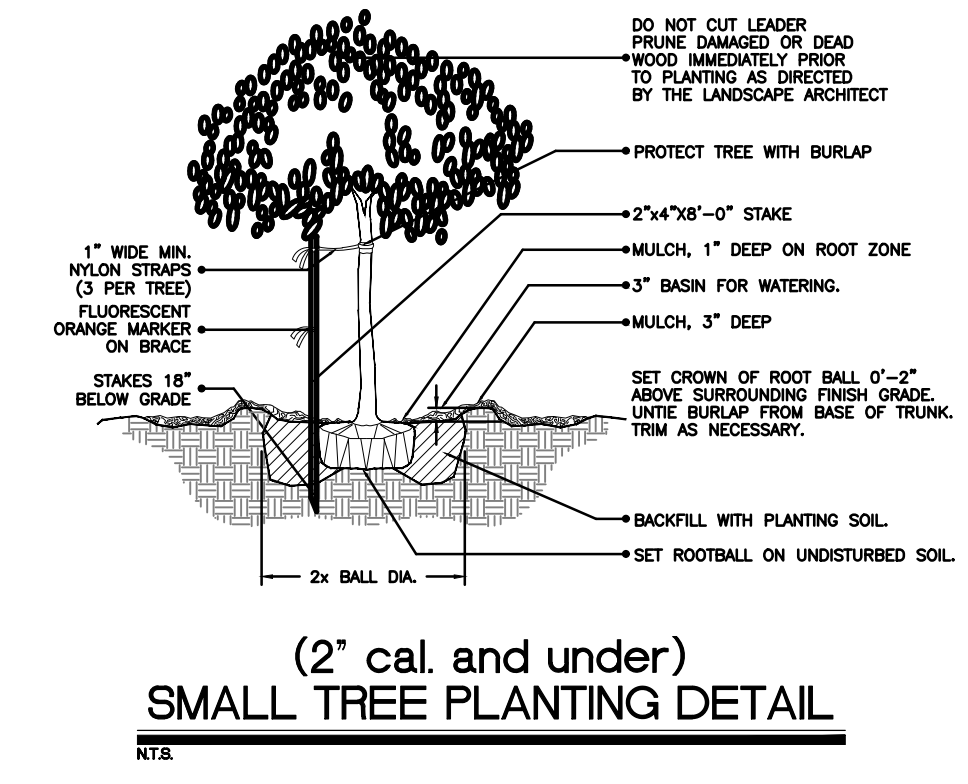
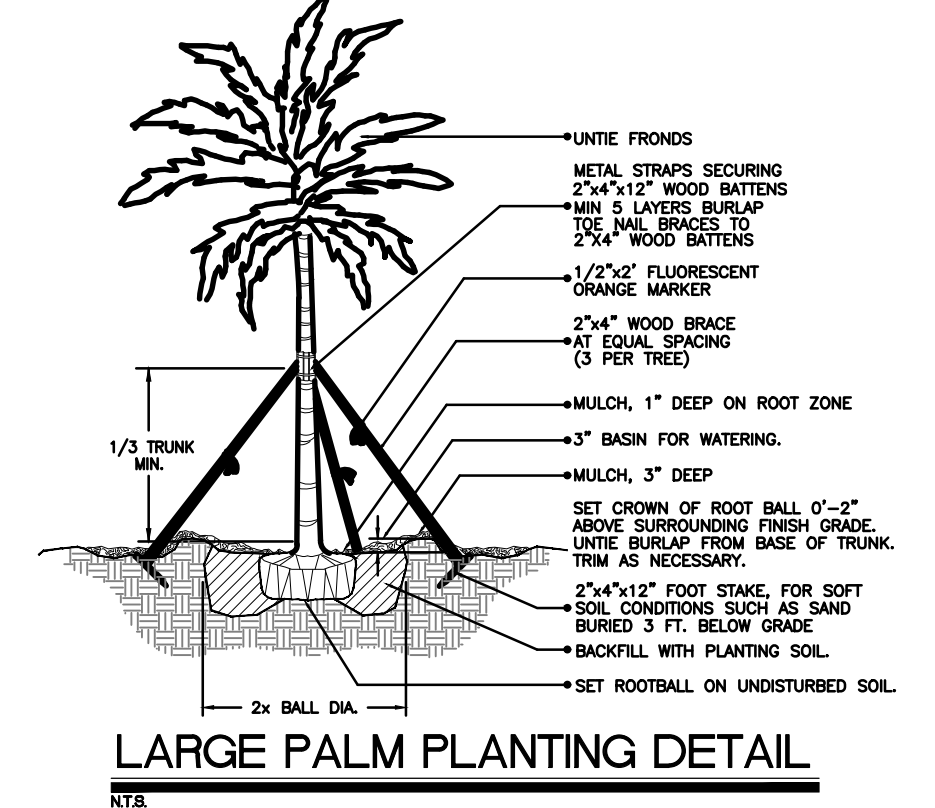
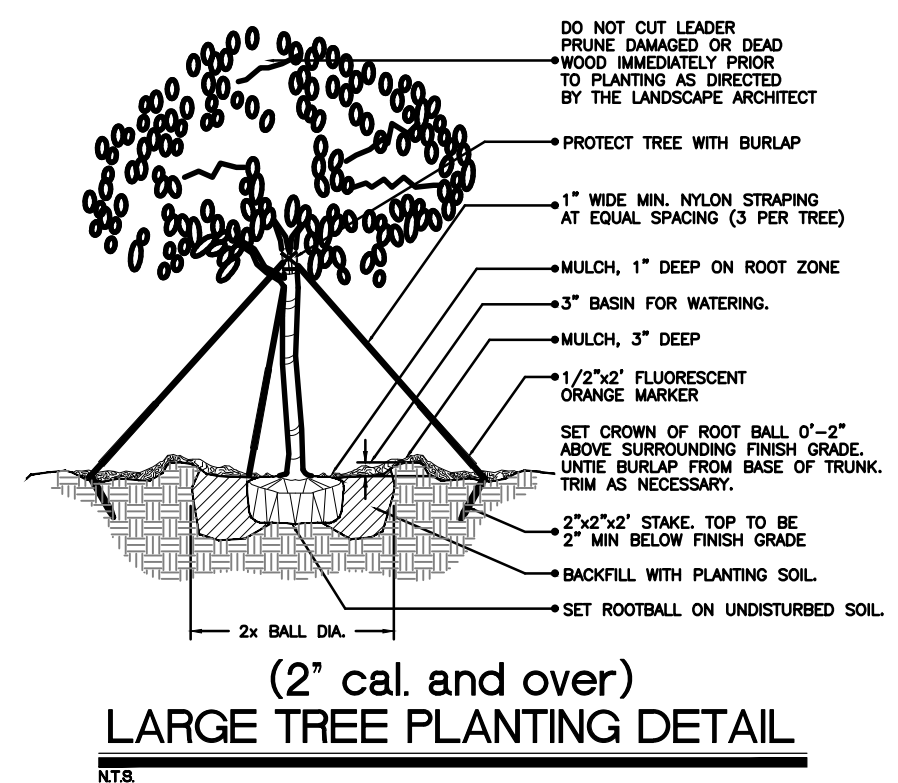
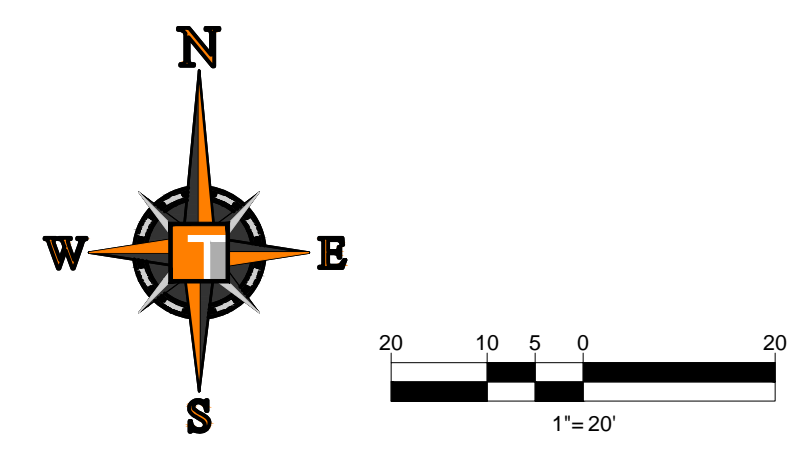
INTERSTATE 95
(RIGHT-OF-WAY VAIRES)



EAST 200' OF NORTH 296.9'
OF SW 1/4, OF NE 1/4,
OF SE 1/4, SECTION 24

PARCEL 3
(±1.14 AC)

MATCH LINE (SEE SHEET L-2.1)



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REGISTERED LANDSCAPE ARCHITECT
OF
FLORIDA

MICHAEL D. GROSSWIRTH

LA 6666871
OF
FLORIDA LICENSE NO. 6666871
FLORIDA BUSINESS CERT. OF ACTS NO. 27523

SHEET TITLE:
**LANDSCAPE PLAN
PARCEL 3 & DETAILS**

SHEET NUMBER:
L-2.2

ELEVATIONS BASED ON NAVD 88

LANDSCAPE GENERAL NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALLS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS, EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTON BY DRIVING OR PARKING INSIDE THE DRIP - LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP - LINE.

2. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH OVER FOUR INCHES (4") CALIPER AS FIXED AND AGREED UPOON DURING DAMAGES, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY, WHICH EVER IS GREATER. CALIPER SHALL BE MEASURED AT GREATEST HEIGHT OR FOUR FEET (4') ABOVE SURROUNDING GROUND.

D. MATERIALS

1. SUBMITTALS: GENERAL SAMPLES OF PLANTING MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN. MATERIALS SAMPLE SUBMITTALS: MULCH ONE (1) CUBIC FOOT TOPSOIL ONE (1) CUBIC FOOT PLANTS ONE (1) REPRESENTATIVE SAMPLE OF EACH VARIETY

2. PLANT MATERIALS

A) GENERAL PLANT SPECIES, SIZES, & QUANTITIES SHALL, AT A MINIMUM, CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" PARTS I AND II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA NO. 1 AS AN ABSOLUTE MINIMUM UNLESS OTHERWISE SUPERSEDED BY A FLORIDA FANCY DESIGNATION, AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL - BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B) MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE TOP OF ROOT BALL (TRUNK FLARE) AND/OR ACROSS THE AVERAGE SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C) INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH PRELIMINARY APPROVAL SHALL NOT SUPERSEDE THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES, PRESENCE OF INSECTS, AND OTHER CONDITIONS THAT MAY HAVE OCCURRED SINCE THE NURSERY INSPECTION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

D) AMENDED PLANTING SOIL: PLANTING SOIL FOR USE IN BACK FILLING PLANTING HOLES SHALL BE FORTY PERCENT (40%) TOPSOIL, FORTY PERCENT (60%) SAND AND FERTILE, FIBROUS, AND OF A LOAMY CHARACTER, WITHOUT MIXTURE OF SUBSOL MATERIALS, AND OBTAINED FROM A WELL-DRAINED, ARABLE SITE. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, COARSE SAND, STONES, LIME, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, OR NOXIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. PH RANGE SHALL BE 5.0 TO 7.0 INCLUSIVE.

E) SAND SHALL BE CLEAN, WELL DRAINING NATIVE SAND. IF REQUESTED, CONTRACTOR SHALL AT ANY TIME AND AT NO COST TO OWNER, SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY OWNER.

E. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL NATURAL OR MAN - MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER DELIVERED TO THE SITE SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

F. COMMERCIAL FERTILIZER

1. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

- 1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL
- 2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14 - 14 - 14
- 3. SOD - 8 - 8 - 8

IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24 - 10 - 5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT THE RATE AND DEPTH SPECIFIED BY MANUFACTURER.

G. MULCH

1. MULCH SHALL BE FROM SHREDDED WOOD DERIVED FROM MELALEUCA OR OTHER INVASIVE TREE SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS, SPORES, ETC. AND RENDER THEM BARRER.

2. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF THREE INCHES (3"). MULCH IS TO BE KEPT 2-3" FROM THE STEM OF ALL GROUNDCOVERS & 3-6" FROM THE TRUNK OF ALL TREES & PALMS.

3. MULCH SHALL BE GRADE "B" SHREDDED, AND SHALL BE APPLIED EVENLY AND SMOOTH TO PLANTED AREAS.

4. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFIED ACCORDINGLY. NO CYPRESS MULCH OR PINE BARK SHALL BE USED.

H. DIGGING AND HANDLING

1. PROTECT ROOT SYSTEMS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER EROSION, AND OTHER HARMFUL CRITERIA AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE UNDOUBTLY PACKED TO PREVENT BREAKING AND DRYING OUT DURING LOADING, TRANSIT, AND UNLOADING/PLANTING. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTFRUP" OR EQUAL) TO MINIMIZE TRANSPORATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (8&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS, AND IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. NO PLANT WITH A ROOTBALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BARRERED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BN" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS BY

"GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION, PRUNING PRACTICED OTHER THAN MINIMAL PRUNING OF FRONDS, PRIMARILY TO REACH A "CLEAR TRUNK" SPECIFICATION, MAY CONSTITUTE REJECTION, OF ALL PALMS SUBJECTED TO SUCH PRACTICE. LIKEWISE, EXCESSIVE PRUNING OR "SHAVING" OF ROOT BALLS TO MEET "CLEAR TRUNK" CRITERIA MAY CONSTITUTE REJECTION ON SITE. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL ON THE PLANTING DETAILS SHEET.

5. EXCAVATION OF PLANTING HOLES SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS, AND PREPARED SUB-BASES.

I. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL - ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, AND SHALL MEET MINIMUM SPECIFICATIONS IN THE PLANT LIST.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS OR WITH CIRCLING ROOTS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NEED AUTHORIZATION FROM THE OWNER. LIKEWISE, SUBSTITUTION OF CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE BALLED AND BURLAPPED/FIELD GROWN WILL NEED AUTHORIZATION FROM THE OWNER AND LA OF RECORD PRIOR TO THE ORDERING OF ANY MATERIALS.

5. ALL PLANT MATERIALS SHALL MEET THE MINIMUM SPECIFICATIONS LISTED IN THE PLANT SCHEDULE; SIZE (HEIGHT/SPREAD) SPECIFICATIONS TAKE PRECEDENCE OVER GALLON SIZES (IF GALLON SIZES ARE SPECIFIED).

J. COLLECTED STOCK

1. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOT BALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

K. NATIVE STOCK

1. PLANTS COLLECTED FROM WILD OR NATIVE STAND SHALL BE CONSIDERED GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

L. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN A BIDDER'S TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CORRECTION PRIOR TO THE SUBMISSION OF BIDS. DRAWINGS SHALL TAKE PRECEDENCE. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE. WHERE NO GALLON SIZE IS SPECIFIED ON CONTAINERIZED SHRUBS OR GROUNDCOVERS, THE HEIGHT & SPREAD SPECIFICATIONS SHALL PREVAIL.

M. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS, BEING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT- END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER, AREAS ADJACENT TO BUILDINGS SHALL BE SLOPED AWAY FROM THE BUILDINGS.

N. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP LAWN AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY AFFECT THE VIABILITY OF THE PLANTS TO BE INSTALLED, HE/SHE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S CONSTRUCTION MANAGER OR DESIGNEE.

2. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE PROHIBITED TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER DEBRIS ANYWHERE WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE JURISDICTIONAL MUNICIPALITY

3. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES. INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORM WATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

4. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMBEROCK AND LIMBEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO MINIMUM DEPTH OF APPROXIMATELY 20% GREATER THAN THE RECOMMENDED PLANTING SOIL DEPTH - UNLESS OTHERWISE SPECIFIED BY JURISDICTIONAL CODE. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON SITE SOURCE OR AN IMPORTED SOURCE. IF LIMBEROCK CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UPDATE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE OR CONTRACT OWNER'S CONSTRUCTION MANAGER OR DESIGNEE FOR RESOLUTION.

CONTRACTOR IS TO ENSURE THAT ALL COMPACTED SOIL, ROAD CURB, & EXCESS DEBRIS SHALL BE REMOVED & A 24" LAYER OF NON-LIMBEROCK PLANTING SOIL FAVORABLE TO SHRUB GROWTH & SUSTAINABILITY EXISTS OVER ALL PLANTING AREAS. TREE PITS SHALL BE EXCAVATED & BACKFILLED WITH PLANTING SOIL TO A MINIMUM DEPTH OF 30".

5. RECOMMENDED PLANTING SOIL DEPTH IS GENERALLY AS FOLLOWS:

ALL TREES AND TALL SHRUBS (INDICATED AS 'SHRUBS' & 'SHRUBS AREAS' ON THE PLANT SCHEDULE) SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL; MINIMUM TOPSOIL SHALL BE 6" FOR LOW SHRUBS/GROUNDCOVER AREAS AND 2" FOR SODDED GRASS AREAS.

THE MINIMUM TOPSOIL DEPTHS ARE IN ADDITION TO A MINIMUM NON-LIMBEROCK SOIL DEPTH OF 10"-18", CONSISTING OF EXISTING UNDISTURBED OR NATIVE SOIL THAT WAS STORED/STOCKPILED ON SITE AND REUSED, OR CLEAN IMPORTED PLANTING SOIL WITH A RANGE OF ORGANIC MATTER BETWEEN 3-5% CONTAINING NO STONES GREATER THAN AN INCH AND A HALF IN DIAMETER IN ANY DIRECTION. TOPSOIL DEPTHS PLUS PLANTING SOIL/EXISTING NATIVE SOIL MINIMUM DEPTHS ARE IN ADDITION TO ANY LIMBEROCK/SUBGRADE, & IN ADDITION TO EXCAVATION WIDTHS REQUIRED FOR TREE PITS AS SHOWN ON THE PLANTING DETAILS.

PURSUANT TO THE ABOVE, THE TOTAL MINIMUM DEPTH OF VIALBE NON-LIMBEROCK PLANTING SOIL, INCLUDING EXISTING VIALBE UNDISTURBED/OR STOCKPILED SOIL (IF PRESENT), REQUIRED TO BE PROVIDED ABOVE ANY LIMESTONE/LIMBEROCK SUBGRADE CONDITION SHALL BE 12" MINIMUM TOTAL NON-LIMBEROCK SOIL DEPTH FOR SOD AREAS; 16" MINIMUM TOTAL NON-LIMBEROCK SOIL DEPTH FOR GROUNDCOVERS; 24" MINIMUM TOTAL NON-LIMBEROCK SOIL DEPTH FOR SHRUBS/SHRUB AREAS; AND 30" MINIMUM TOTAL NON-LIMBEROCK SOIL DEPTH FOR TREE PITS. DESIGNATION OF "TREES", "SHRUBS"/"SHRUB AREAS", AND "GROUNDCOVERS" SHALL BE CONSISTENT WITH THE LABELING OF PLANT MATERIALS SHOWN ON THE LANDSCAPE PLANT'S PLANT SCHEDULE, WITH THE EXCEPTION OF COMMON TURFGRASSES WHICH MAY BE INDICATED AS "GROUNDCOVERS". NONE OF THE ABOVE MINIMUMS SHALL PRECLUDE THE CONTRACTOR FROM EXCAVATING & PROVIDING SOIL IN ACCORDANCE WITH NOTE N.4 OR N.9. IMPORTED PLANTING SOIL SHALL BE IN ACCORDANCE WITH NOTE D.2.D.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE & TAKE REASONABLE MEASURES AS PART OF DUE DILIGENCE TO DETERMINE THE EXTENT OF EXCAVATION REQUIRED & TO DETERMINE THE AMOUNT OF PLANTING SOIL NECESSARY TO ENSURE LONG-TERM SUSTAINABILITY & SURVIVAL OF THE PLANT MATERIALS IN ACCORDANCE WITH THIS CONTRACT.

6. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTING AT NURSERY OR GROWING SITE.

7. GENERAL: COMPLY WITH FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

8. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

9. ALL PLANTING HOLES SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD TO NURSERY STOCK 280.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SEE MATERIALS SECTION D). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE

FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. POOR DRAINAGE CONDITIONS TYPICALLY HAVE A PERCOLATION RATE OF "4" OR LESS PER HOUR, AS DETERMINED BY THE GEOTECHNICAL ENGINEER. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL RECOMMENDED.

10. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS, CURBS, PAVING, AND OTHER HARDSCAPE MATERIALS WHILE INSTALLING TREES.

11. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION D (MATERIALS) OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING HOLE SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- TWO (2) TABLETS PER 1 GAL. PLANT
- THREE (3) TABLETS PER 3 GAL. PLANT
- FOUR (4) TABLETS PER 10 GAL. PLANT

LARGER MATERIALS:

- TWO (2) TABLETS PER HALF INCH (1/2") OF TRUNK CALIPER

12. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE TOP OF THE ROOT SYSTEM (FOR SHRUBS AND GROUNDCOVER) OR TRUNK FLARE (TREES AND PALMS) WILL STAND ONE (1) TO TWO (2) INCHES ABOVE FINAL GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PLANTING HOLE. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

13. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, TURNING SOIL IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET OR OTHER TAMPING DEVICE. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE PULLED FROM UNDERNEATH.

14. PRUNING: FOR DAMAGED OR BROKEN LIMBS, EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE SPECIES. ALL SUCKER GROWTH SHALL BE COMPLETELY REMOVED PRIOR TO DIGGING.

15. SHRUBS AND GROUNDCOVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED IN THE PLANT LIST. CULTIVATE ALL MASS PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE OF ALL DEBRIS. TILL 4" OF PLANTING SOIL MIX INTO THE NEWLY TILLED PLANTING BED FOR GENERAL NUTRIENT DISBURSEMENT. MASS PLANTING BED IS NOW READY TO RECEIVE HOLES FOR NEW PLANTS. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

16. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO ENSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. TREES SHALL USE ABORTIVE AS PER DETAIL SHEET. PAMLS SHALL USE WOOD BRACING PER DETAIL SHEET.

17. MULCHING: PROVIDE A THREE INCH (3") MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUNDCOVER AND VINE BED AND TREE PIT (FOR TREES AND PALMS, MIN. THREE INCH (3") FROM EDGE OF TRUNKS) - UNLESS OTHERWISE REQUIRED BY LOCAL CODES AND SPECIFIED AS SUCH.

18. SYSTEMIC HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR THEIR DESIGNEE, A SYSTEMIC HERBICIDE SHALL BE APPLIED FOR WEED CONTROL. BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. AFTER MULCH HAS BEEN APPLIED TO PLANTING BEDS AND TREE RINGS, TREAT ALL MULCHED AREAS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

O. LAWN SODDING

STENOCTAPHRUM SECUNDATUM, V. 'FLORITAM' UNLESS OTHERWISE NOTED. (ST. AUGUSTINE SOLID SOD). THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING;

COMPLETE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER AND GOVERNING AGENCIES.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND OTHER DEBRIS, AND THE SOIL BROUGHT TO AN EVEN PREPARED GRADE TO ALLOW FOR SOIL PREPARATION BELOW.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR INCHES (4") DEEP. APPLY FERTILIZER AT A RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING COMMERCIAL BROADCAST SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE INCHES (3"). HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY TO PREPARE FOR SOD INSTALLATION.

4. SODDING: THE CONTRACTOR SHALL SOD ALL THE PERVIOUS AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS TO CREATE A UNIFORM, NEW TURF BUNKET FOR THE SITE. ALL PERVIOUS AREAS TO REMAIN THAT ARE DISTURBED BY CONSTRUCTION & NOT SHOWN TO HAVE SHRUBS OR GROUNDCOVER ON THE LANDSCAPE PLAN SHALL BE SODDED BY CONTRACTOR. ALL SOIL OFF-SITE OR IN THE RIGHT-OF-WAY (DEDICATED OR OTHERWISE) SHALL BE BANKIA "ARGENTINE" SOLID SOD UNLESS OTHERWISE NOTED.

A) THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS, AND DISEASE OF ANY KIND, SOD PANELS SHALL BE LAID TIGHTLY TOGETHER TO MAKE A SOLID, SODDED LAWN AREA.

B) SOD SHALL BE LAID IN ROWS WITH EVERY OTHER ROW STAGGERED HALFWAY BETWEEN THE NEXT TO INSURE NO CONTINUOUS STRAIGHT SEAMS. JOIN JOINTS OF SOD TO INSURE A TIGHT FIT AT JOINTS, WITH GAPS NO GREATER THAN 1" BETWEEN SOD PANELS.

C) SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH (4") MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER. CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED TO THOROUGHLY MOISTEN THE SOIL BENEATH. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE JOINTS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

5. DURING DELIVERY, PRIOR TO ADD DRYING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRIND AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE INSTALLED DURING THE DAY OF ITS ARRIVAL.

6. LAWN MAINTENANCE:

A) WITHIN THE SITE, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SLUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY OWNER OR AS IN THE ORIGINAL WORK SCOPE AND PROCESS (INCLUDING REGRADING IF NECESSARY).

B) WATER EVERY DAY FOR FOURTEEN (14) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) UNTIL FULLY ESTABLISHED OR UNTIL AUTOMATIC IRRIGATION SYSTEM IS FULLY OPERATIONAL AND PROGRAMMED ACCORDINGLY. COORDINATE WATERING SCHEDULE WITH NATURAL RAINFALL. RAINFALL EVENTS IN DURATION OF TWENTY (20) MINUTES OR MORE THAT PRODUCE MORE THAN A HALF INCH (1/2") OF PRECIPITATION WILL NEGATE THE NEED FOR WATERING OF THE FOLLOWING DAY IF PREVIOUSLY SCHEDULED. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO A DEPTH OF FOUR INCHES (4").

P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING MATERIALS INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. MAINTENANCE AFTER THE CERTIFICATION OF AN ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF NINETY (90) CALENDAR DAYS COMMENCING AFTER ACCEPTANCE (SEE NEXT SECTION).

R. MAINTENANCE (ALTERNATIVE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR LANDSCAPE AND IRRIGATION MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

S. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CARE & MAINTENANCE OF THE PLANT MATERIAL UNTIL THE END OF ESTABLISHMENT OR 60 DAYS AFTER FINAL LANDSCAPE CERTIFICATION BY THE LANDSCAPE ARCHITECT, WHICHEVER IS LATER, & SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AS NEEDED TO ENSURE ADEQUATE WATERING IS SUPPLIED TO THE PLANT MATERIALS DURING ESTABLISHMENT. AT THE END OF THE ESTABLISHMENT PERIOD, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE IRRIGATION TIMECLOCK IS ADJUSTED TO A NORMAL WATERING CYCLE PER THE IRRIGATION WATERING SCHEDULE SHOWN ON THE IRRIGATION PLANS.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL SOD INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNERS OR OWNER'S DESIGNEE.

3. REPLACEMENT: ANY PLANT NOT IN A HEALTHY, THRIVING GROWING CONDITION SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. SHOULD THE OWNER ELECT, TREES AND PALMS MAY BE GIVEN A PERIOD OF NINETY (90) DAYS BEFORE REMOVAL TO ALLOW THE CONTRACTOR TO RESUBMIT THE TREE OR PALM IN QUESTION AND BRING IT TO A THRIVING, HEALTHY CONDITION. ALL REPLACEMENTS SHALL BE PLANTS OF LIKE KIND, CONDITION AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED WITHIN THESE SPECIFICATIONS. AT NO ADDITIONAL COST TO THE OWNER, ANY REPAIRS FROM THIS REPLACEMENT MATERIAL SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT MATERIAL SHALL BE GUARANTEED TO A ONE (1) YEAR PERIOD FROM THE DAY OF REPLACEMENT ACCEPTANCE BY THE OWNER. SHOULD REPLACEMENT MATERIAL FALL WITHIN THE GUARANTEE PERIOD, OWNER MAY OPT FOR A CREDIT OF THE MONETARY AMOUNT FOR THE REPLACEMENT MATERIALS AT A RATE OF THE ORIGINAL CONTRACT BID RATE, IN LIEU OF AN ADDITIONAL REPLACEMENT.

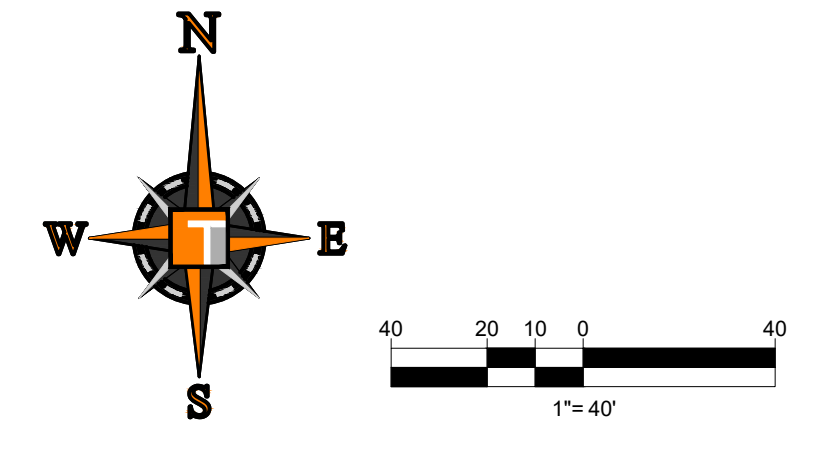
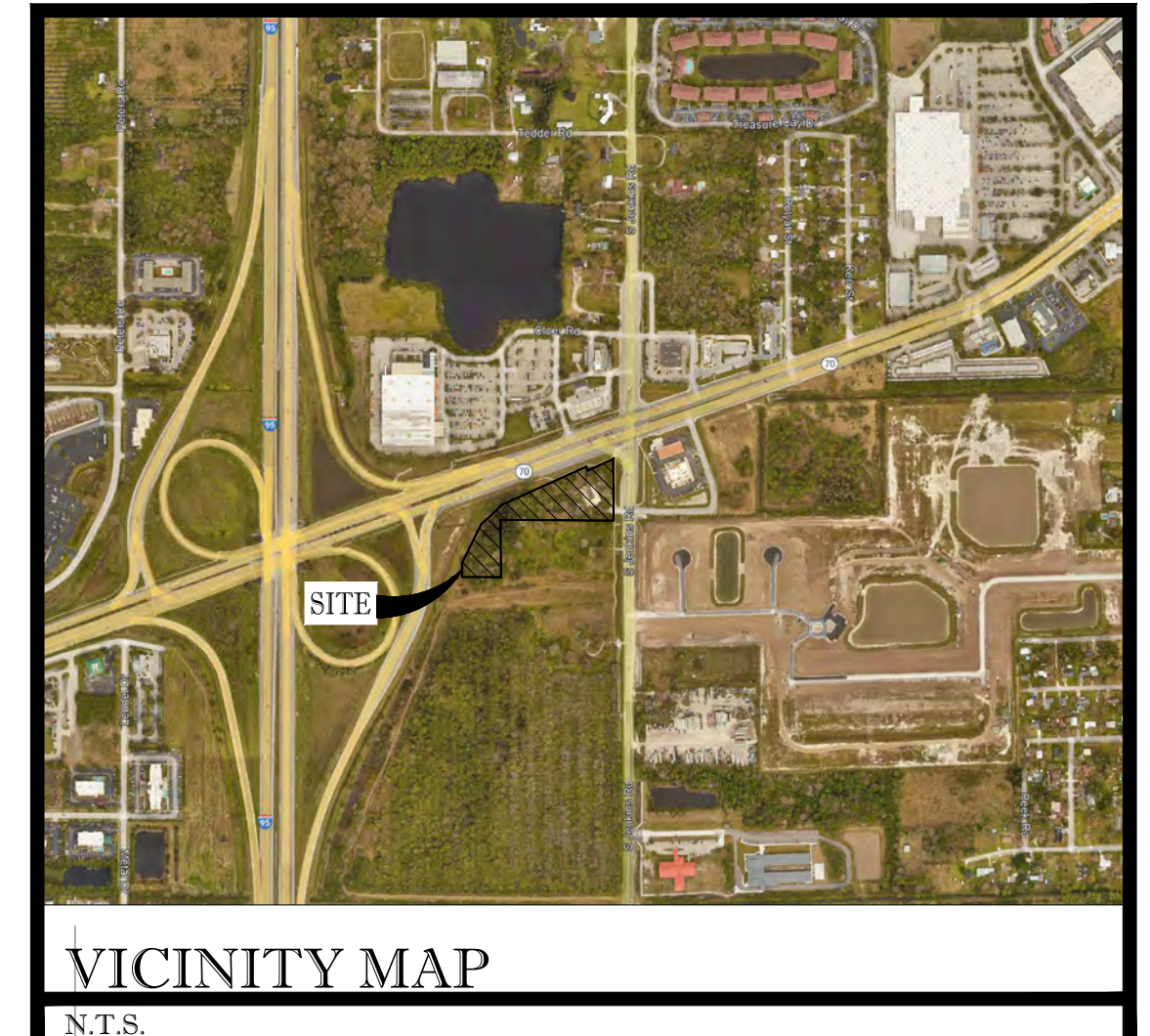
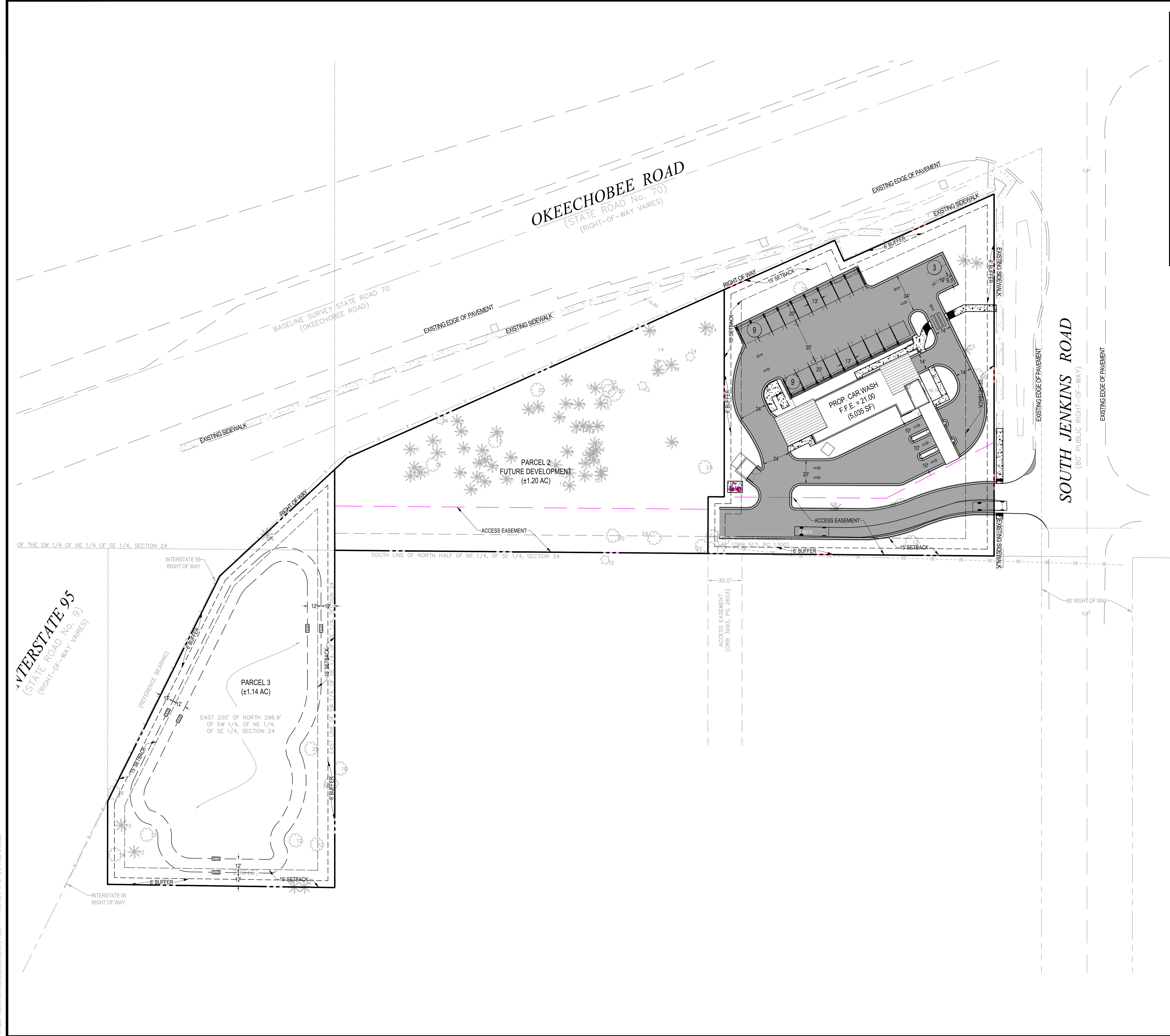
4. IN THE EVENT THE OWNER ELECTS NOT TO CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER OR THEIR DESIGNEE, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH OF ITEMS UNDER REPLACEMENT WARRANTY. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

T. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION BY OWNER OR THEIR DESIGNEE AT THE END OF THE GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTHY, VIGOROUS, AND THRIVING AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPLACED PREVIOUSLY UNDER SAID WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE 90R AS SPECIFIED BY THE OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

U. GRADING AND DRAINAGE NOTES

1. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN



SITE DATA:

Local Jurisdiction: City of Fort Pierce
 Future Land Use: General Commercial
 Zoning District: C-3
 Flood Zone Classification: Flood Zone 'X'

Site Address: 2671 S. Jenkins Rd.

Total Areas	167,412.38 sf	3.84 Ac	
Parcel 1 - Car Wash	65,756.87 sf	1.51 Ac	100.00%
Impervious Area			
Building	5,035.00 sf	0.12 Ac	7.66%
Vehicular Use Area	30,951.00 sf	0.71 Ac	47.07%
Sidewalk	1,582.37 sf	0.04 Ac	2.41%
Total =	37,568.37 sf	0.86 Ac	57.13%
Pervious Area			
Landscape Area	28,188.50 sf	0.65 Ac	42.87%
Total =	28,188.50 sf	0.65 Ac	42.87%
Parcel 2 - Future Development	52,178.73 sf	1.20 Ac	100.00%
Impervious Area			
Total =	- sf	0.00 Ac	0.00%
Pervious Area			
Open Area	52,178.73 sf	1.20 Ac	100.00%
Total =	52,178.73 sf	1.20 Ac	100.00%

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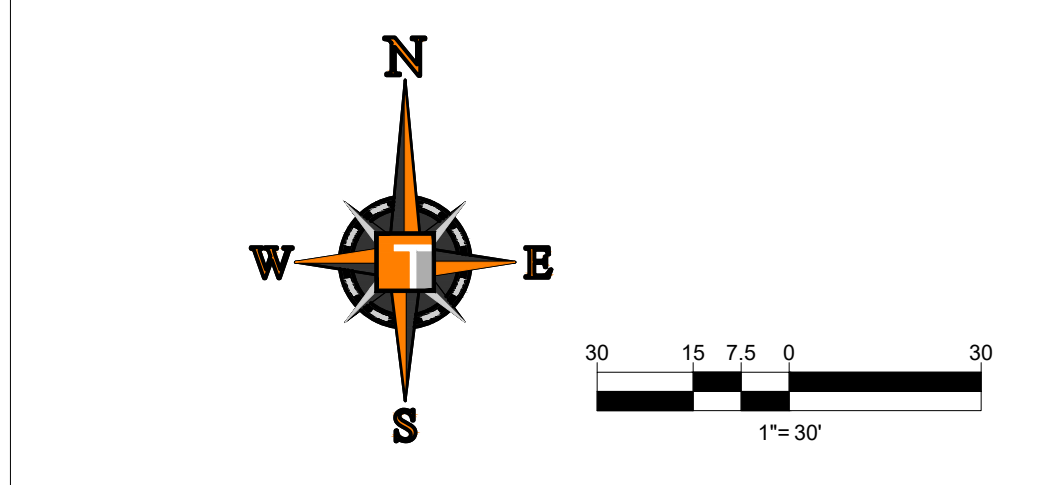
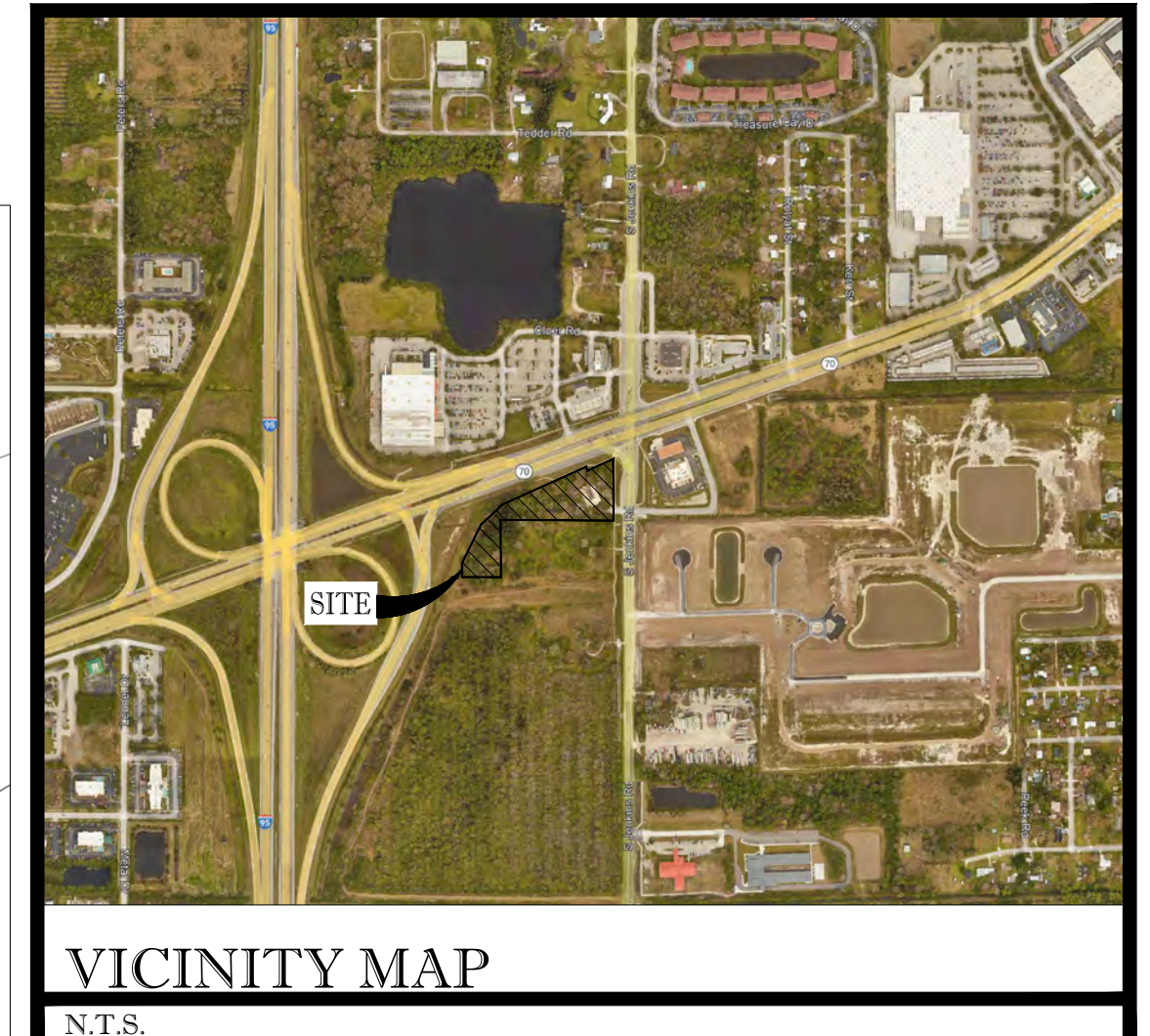
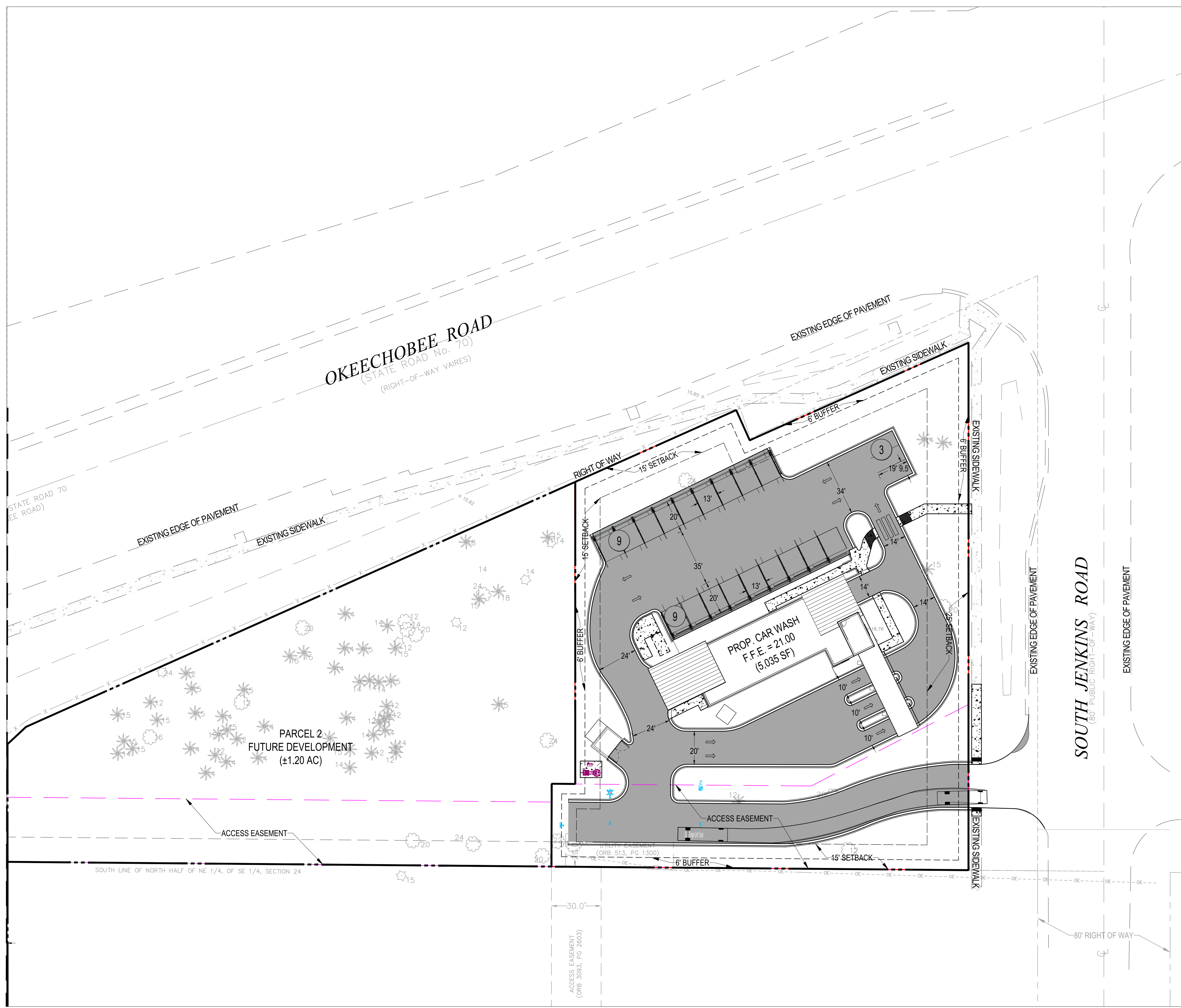
PROFESSIONAL ENGINEER
July 28, 2022
Florida License No. 12458
Florida Board of Professional Engineers, Inc. No. 27528

SHEET TITLE:
SITE PLAN OVERALL

SHEET NUMBER:
C-01

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 R:\Users\brandon\My Documents\2022\06\22\SWC Okeechobee Rd. C-01 SITE PLAN OVERALL

MATCH LINE C-2



SITE DATA:

Local Jurisdiction: City of Fort Pierce
 Future Land Use: General Commercial
 Zoning District: C-3
 Flood Zone Classification: Flood Zone 'X'
 Site Address: 2671 S. Jenkins Rd.

Total Areas	167,412.38 sf	3.84 Ac	
Parcel 1 - Car Wash	65,756.87 sf	1.51 Ac	100.00%
Impervious Area			
Building	5,035.00 sf	0.12 Ac	7.66%
Vehicular Use Area	30,951.00 sf	0.71 Ac	47.07%
Sidewalk	1,582.37 sf	0.04 Ac	2.41%
Total =	37,568.37 sf	0.86 Ac	57.13%
PerVIOUS Area			
Landscape Area	28,188.50 sf	0.65 Ac	42.87%
Total =	28,188.50 sf	0.65 Ac	42.87%
Parcel 2 - Future Development	52,178.73 sf	1.20 Ac	100.00%
Impervious Area			
Total =	- sf	0.00 Ac	0.00%
PerVIOUS Area			
Open Area	52,178.73 sf	1.20 Ac	100.00%
Total =	52,178.73 sf	1.20 Ac	100.00%

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 P: 561-203-7503

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REVISIONS

REV.	DATE	COMMENT	BY
X	xxxx/xx	xxx	xxx

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PROJECT No.: F220037
 DRAWN BY: MJL
 CHECKED BY: BMU
 DATE: 6-28-22
 CAD I.D.: SITE PLAN

PROJECT:
**SWC OKEECHOBEE RD.
 & JENKINS RD.**

FOR
**MRE REAL ESTATE
 & INVESTMENT**

CITY OF FORT PIERCE
 FLORIDA

THOMAS
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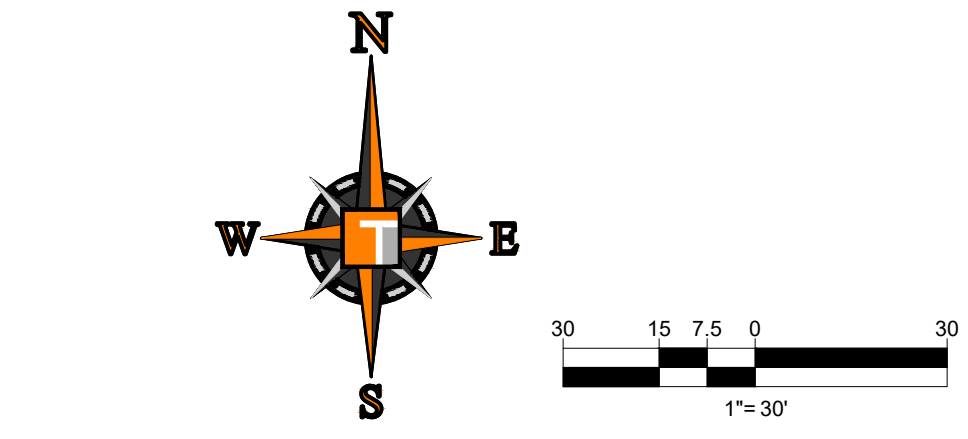
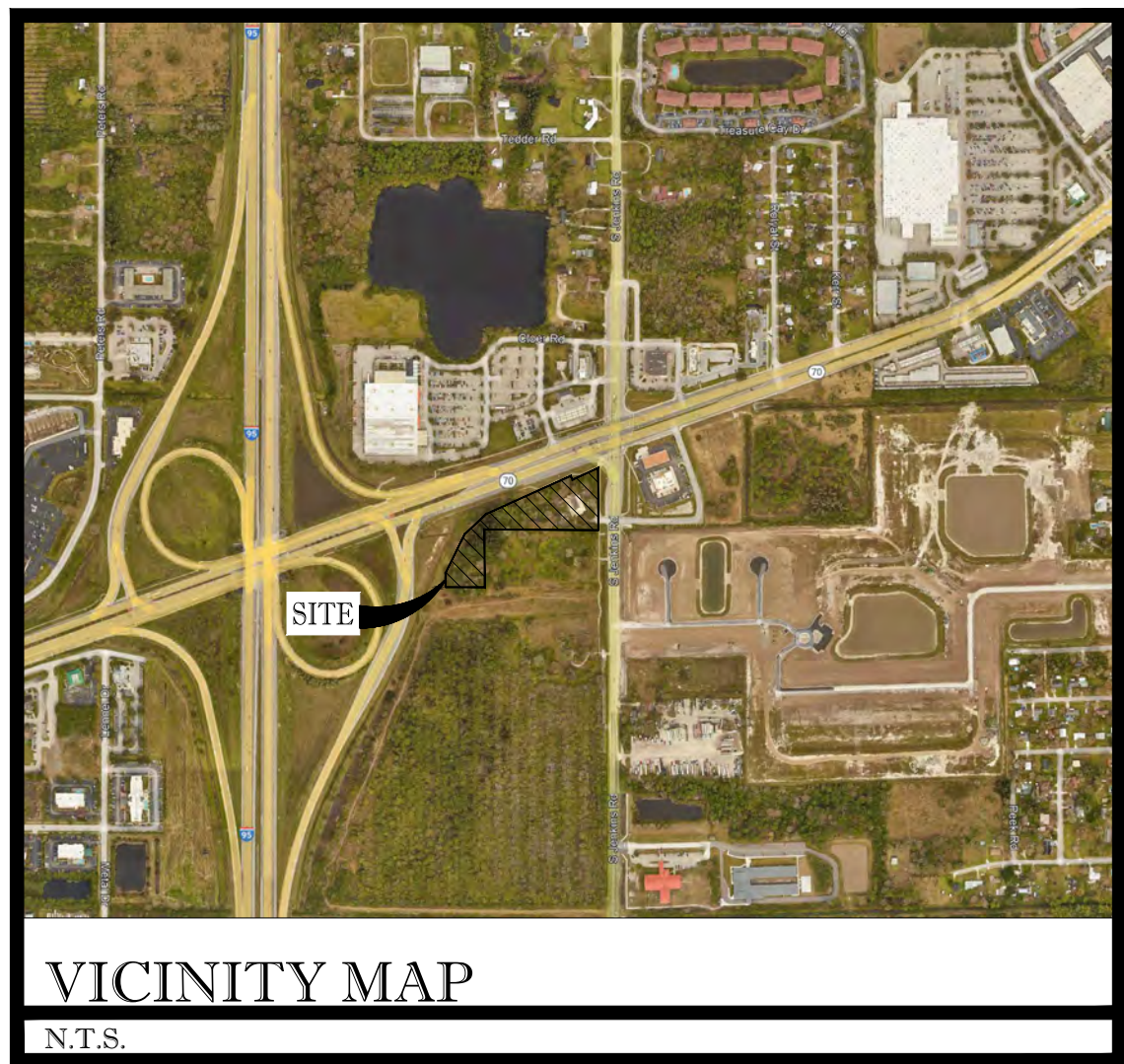
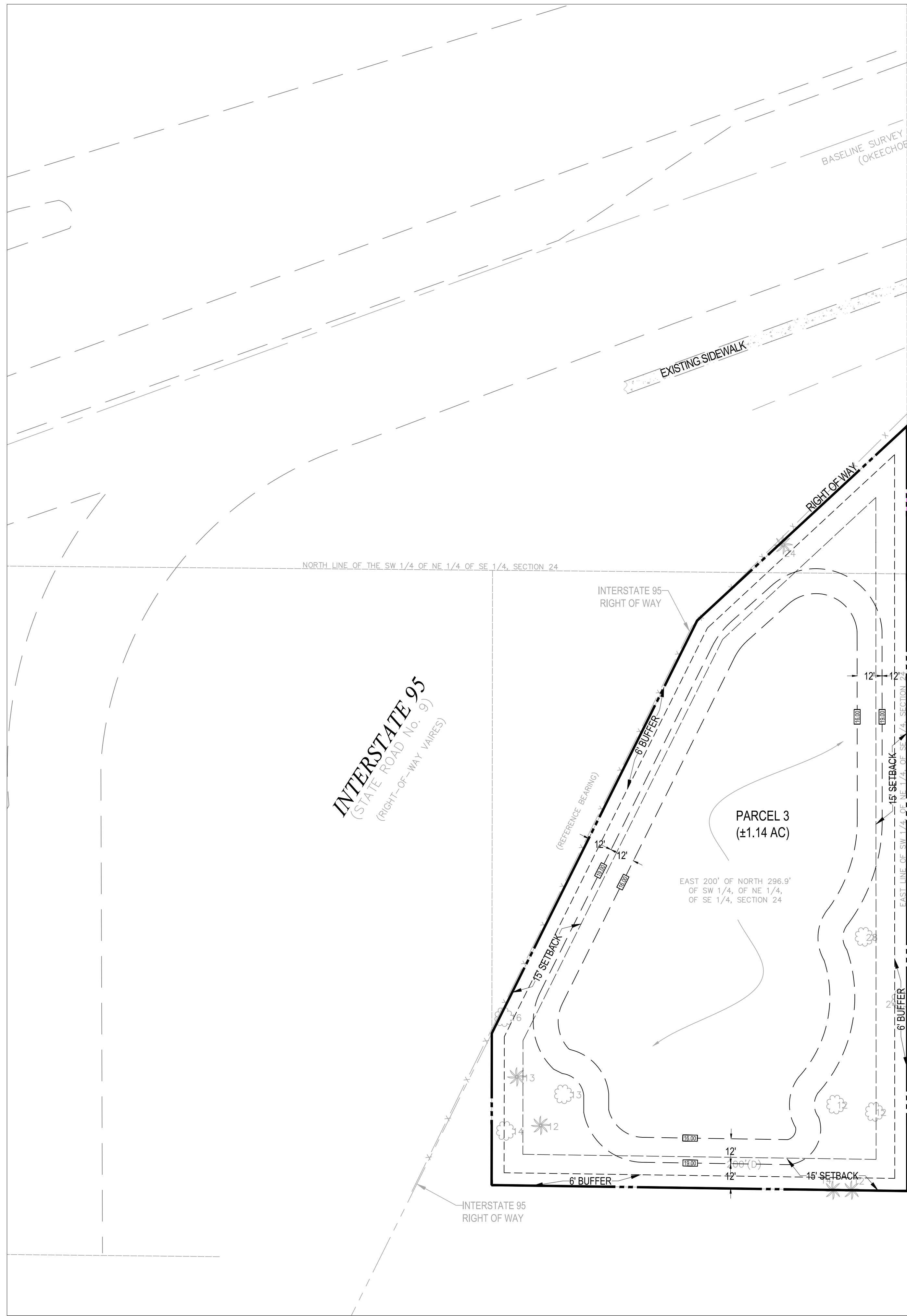
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 125 W. INDIANTOWN RD., SUITE 200
 JUPITER, FL 33468
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 FX: (561) 203-7721
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BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 July 28, 2022
 Florida License No. 68345
 FLORIDA BOARD OF PROFESSIONAL ENGINEERS, No. 27528

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-02

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 R:\Users\brandon.umer\Documents\2022\220622\SWC Okeechobee Rd. & Jenkins Rd. C-02 SITE PLAN PARCEL 1 + 2



SITE DATA:

Local Jurisdiction: City of Fort Pierce
 Future Land Use: General Commercial
 Zoning District: C-3
 Flood Zone Classification: Flood Zone 'X'

Site Address: 2671 S. Jenkins Rd.

Parcel 3 - Retention Area	49,559.23 sf	1.14 Ac	100.00%
Impervious Area			
Total =	- sf	0.00 Ac	0.00%
Pervious Area (Open Space)			
Dry Retention Area	32,164.97 sf	0.74 Ac	64.90%
Landscape Area	17,394.26 sf	0.40 Ac	35.10%
Total =	49,559.23 sf	1.14 Ac	100.00%

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 P: 954-202-7000 | P: 813-379-4100 | P: 561-203-7503

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REVISIONS:

REV:	DATE:	COMMENT:	BY:
x	xxxx/xx	xxx	xxx

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PROJECT No.:	F220037
DRAWN BY:	MJL
CHECKED BY:	BMU
DATE:	6-28-22
CAD I.D.:	SITE PLAN

PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.

FOR
MRE REAL ESTATE & INVESTMENT

CITY OF FORT PIERCE
FLORIDA

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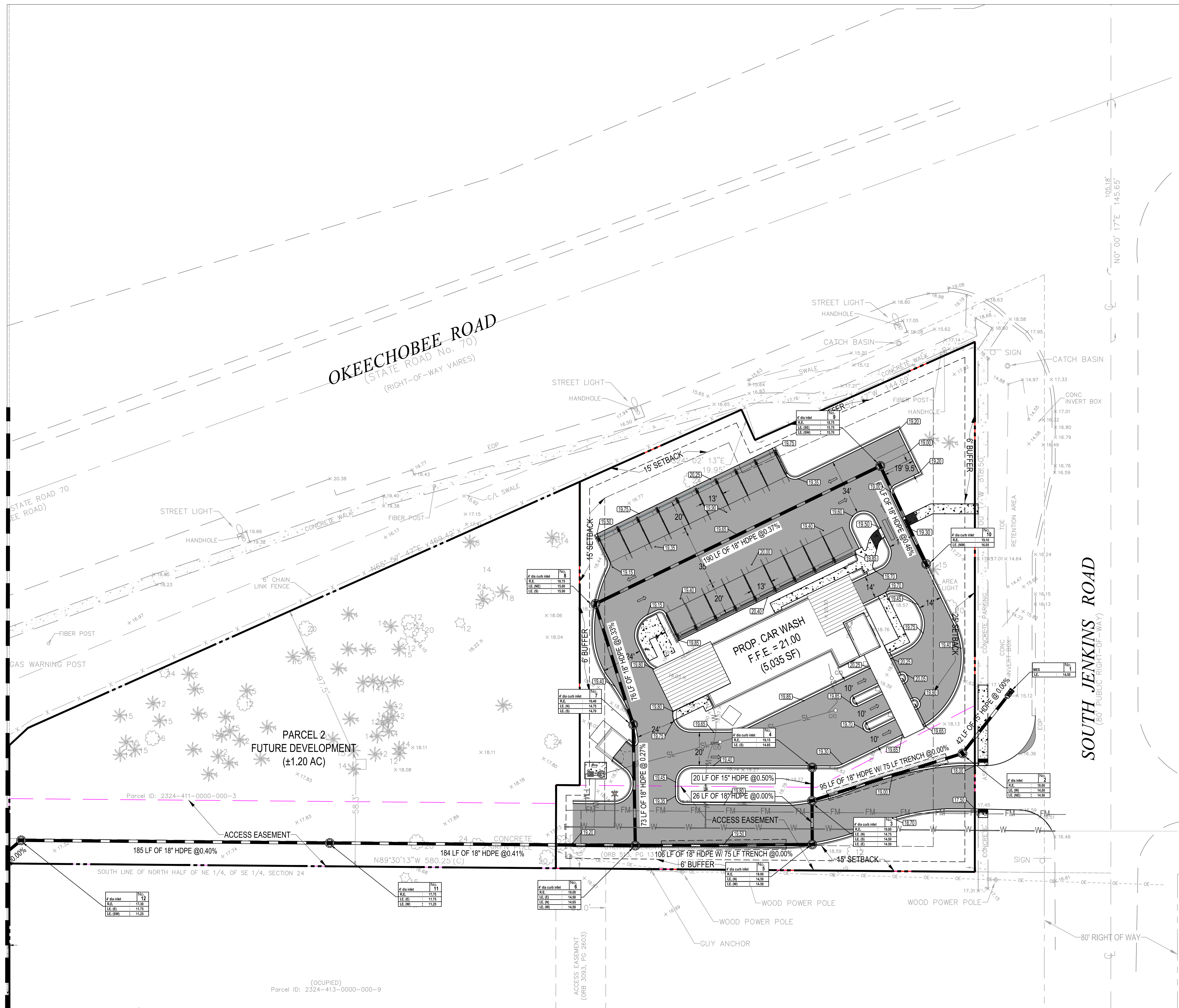
BRANDON UEMER
No. 68345
PROFESSIONAL ENGINEER
July 28, 2022
FLORIDA BOARD OF PROFESSIONAL ENGINEERS, No. 27528

SHEET TITLE:
SITE PLAN

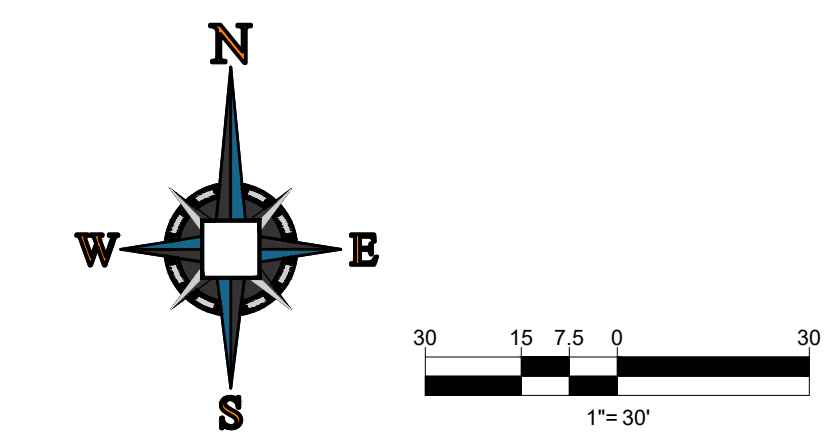
SHEET NUMBER:
C-03

Printing on: Manduca, July 15, 2022, 11:54 AM by: Brandon Uemer
 P:\Users\brandmu\Documents\2022\220037\220037_0303 SITE PLAN PARCEL 3

MATCHLINE C-05



EX. NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
— SL —	SANITARY SEWER LATERAL	— SL —
— W —	UNDERGROUND WATER LINE	— W —
— E —	UNDERGROUND ELECTRIC LINE	— E —
— G —	UNDERGROUND GAS LINE	— G —
— OH —	OVERHEAD WIRE	— OH —
— T —	UNDERGROUND TELEPHONE LINE	— T —
— S —	STORM SEWER	— S —
— S —	SANITARY SEWER MAIN	— S —
⊕	HYDRANT	⊕
⊙	SANITARY MANHOLE	⊙
⊕	CATCH BASIN	⊕
⊕	WATER VALVE	⊕
⊕	BACKFLOW PREVENTER	⊕
⊕	WATER METER	⊕
○	CLEAN OUT	○
⊕	GRADE SPOT SHOT	⊕



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F: 561-203-7500

4850 W. KENNEDY BLVD.
SUITE 100
JUPITER, FL 33468
P: 561-379-4100

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PROJECT No.: F220037
DRAWN BY: MJL
CHECKED BY: BMU
DATE: 6-28-22
CAD I.D.: PGD PLAN

PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.

FOR
MRE REAL ESTATE & INVESTMENT

CITY OF FORT PIERCE
FLORIDA

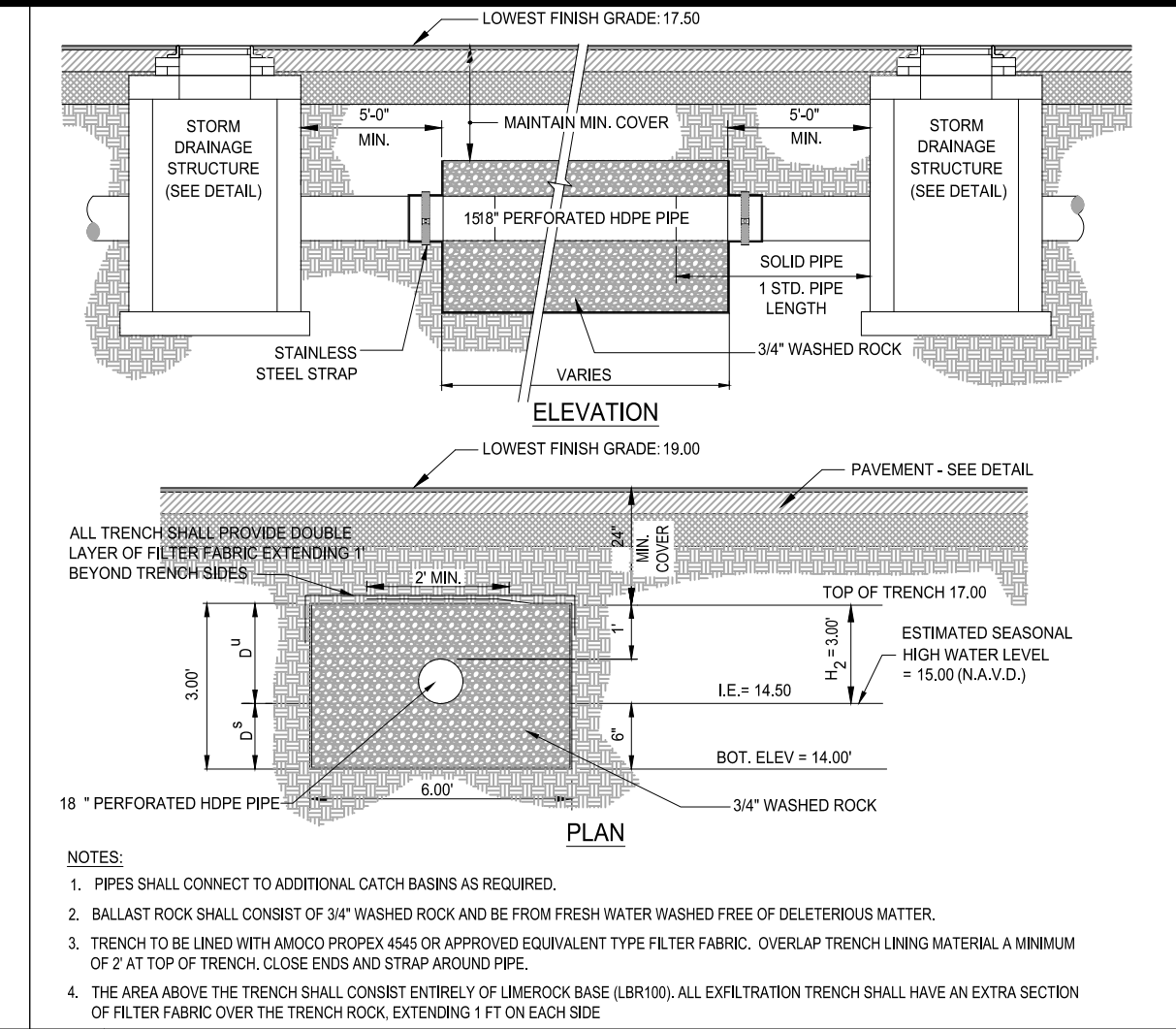
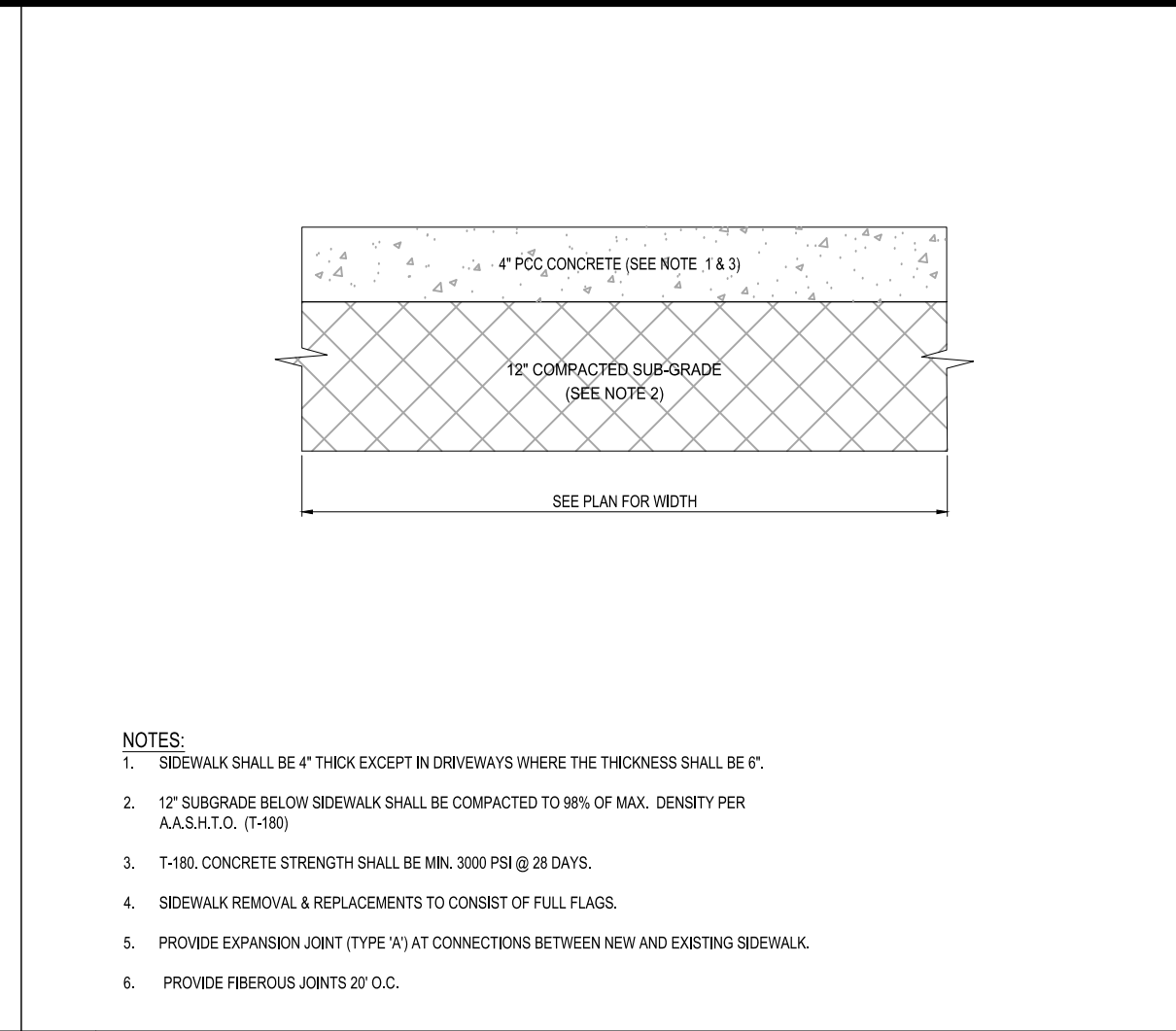
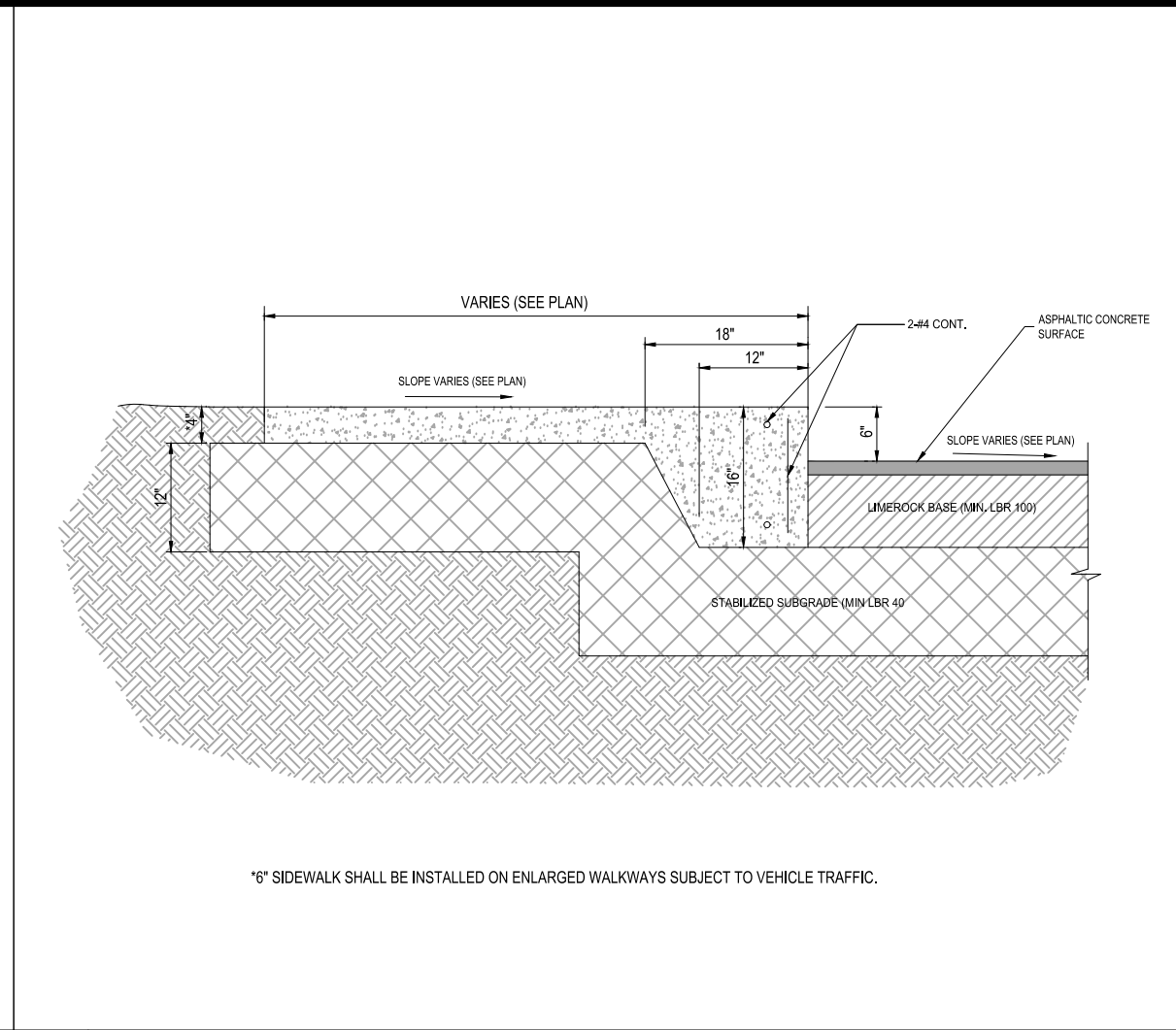
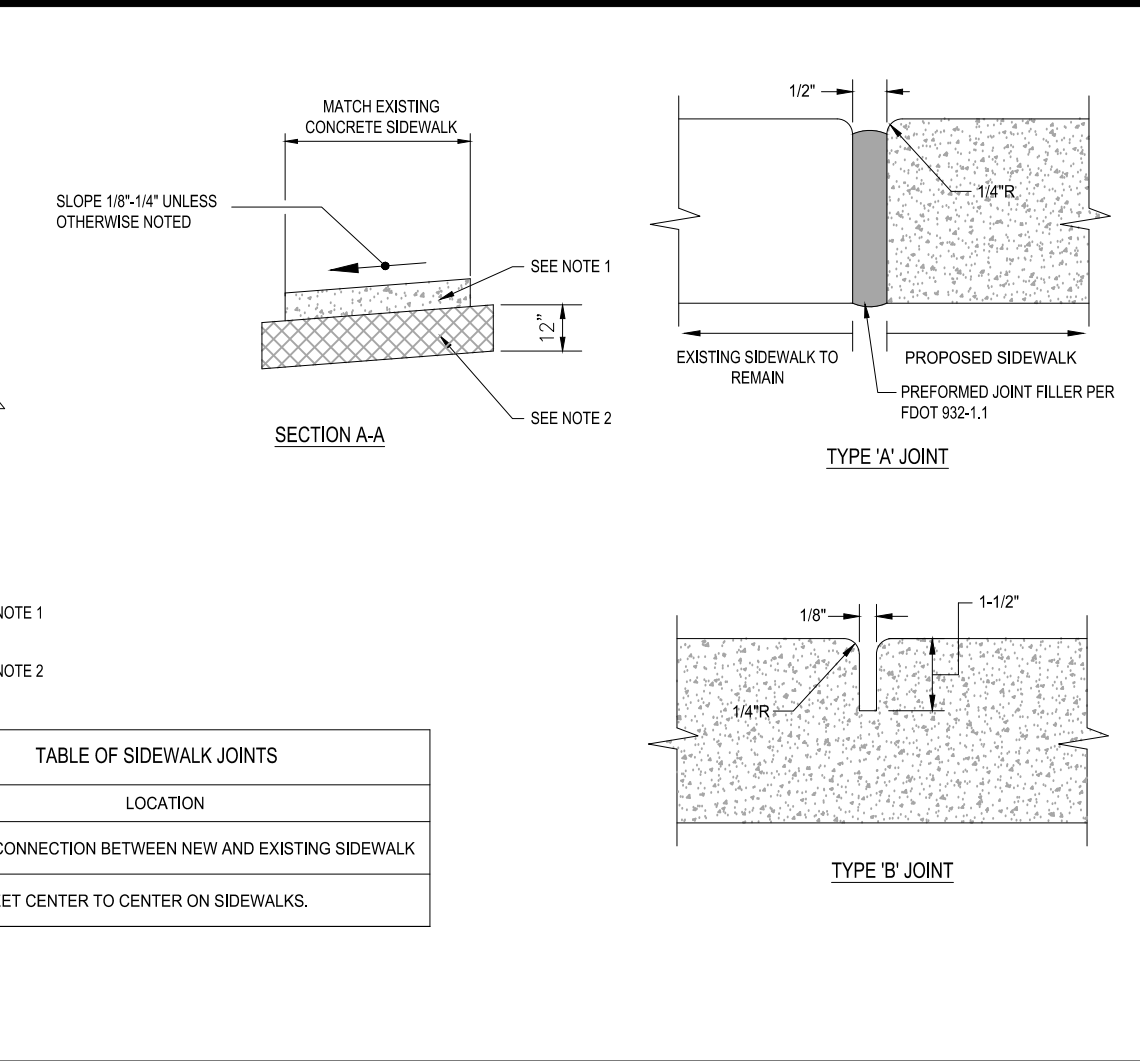
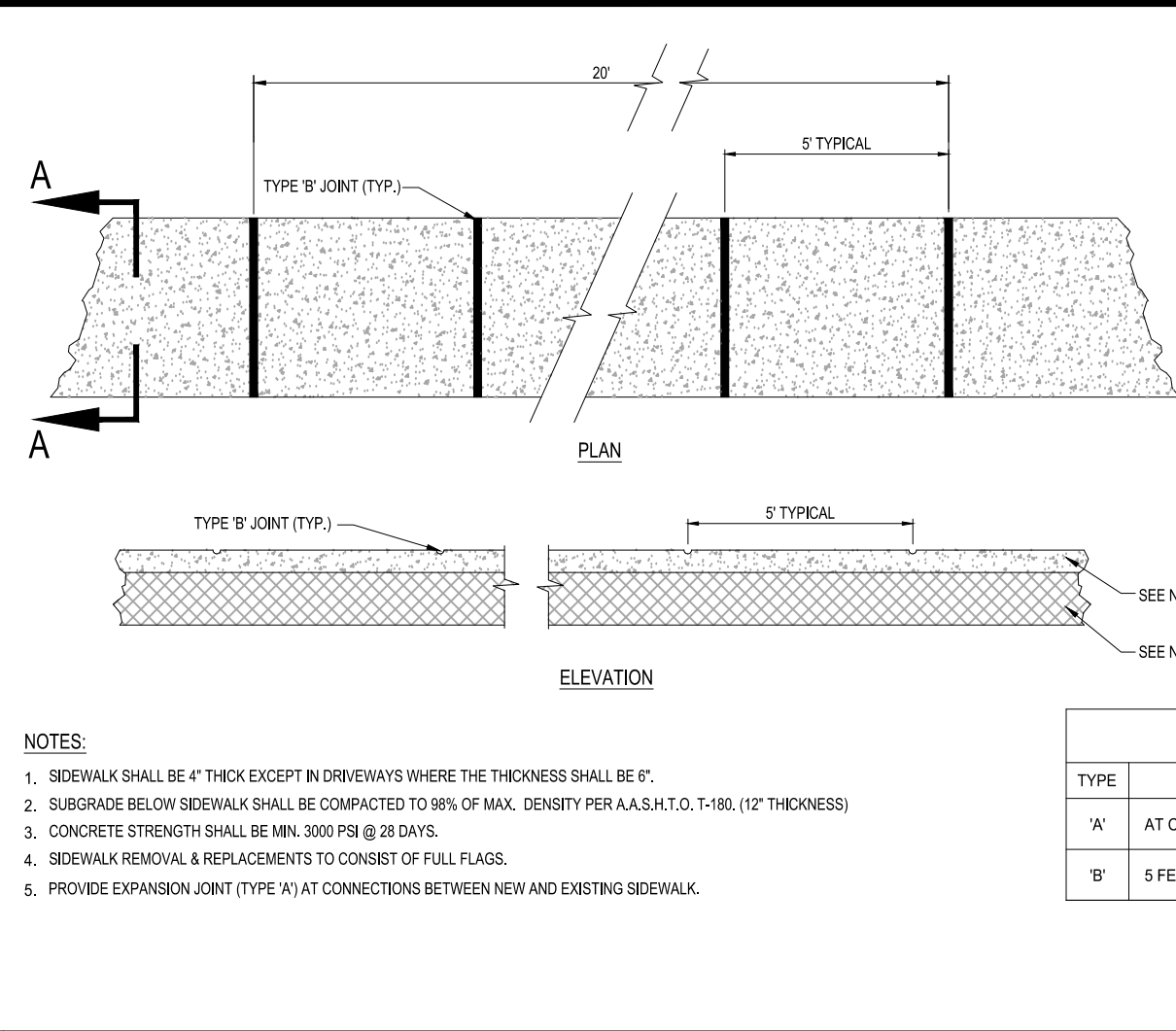
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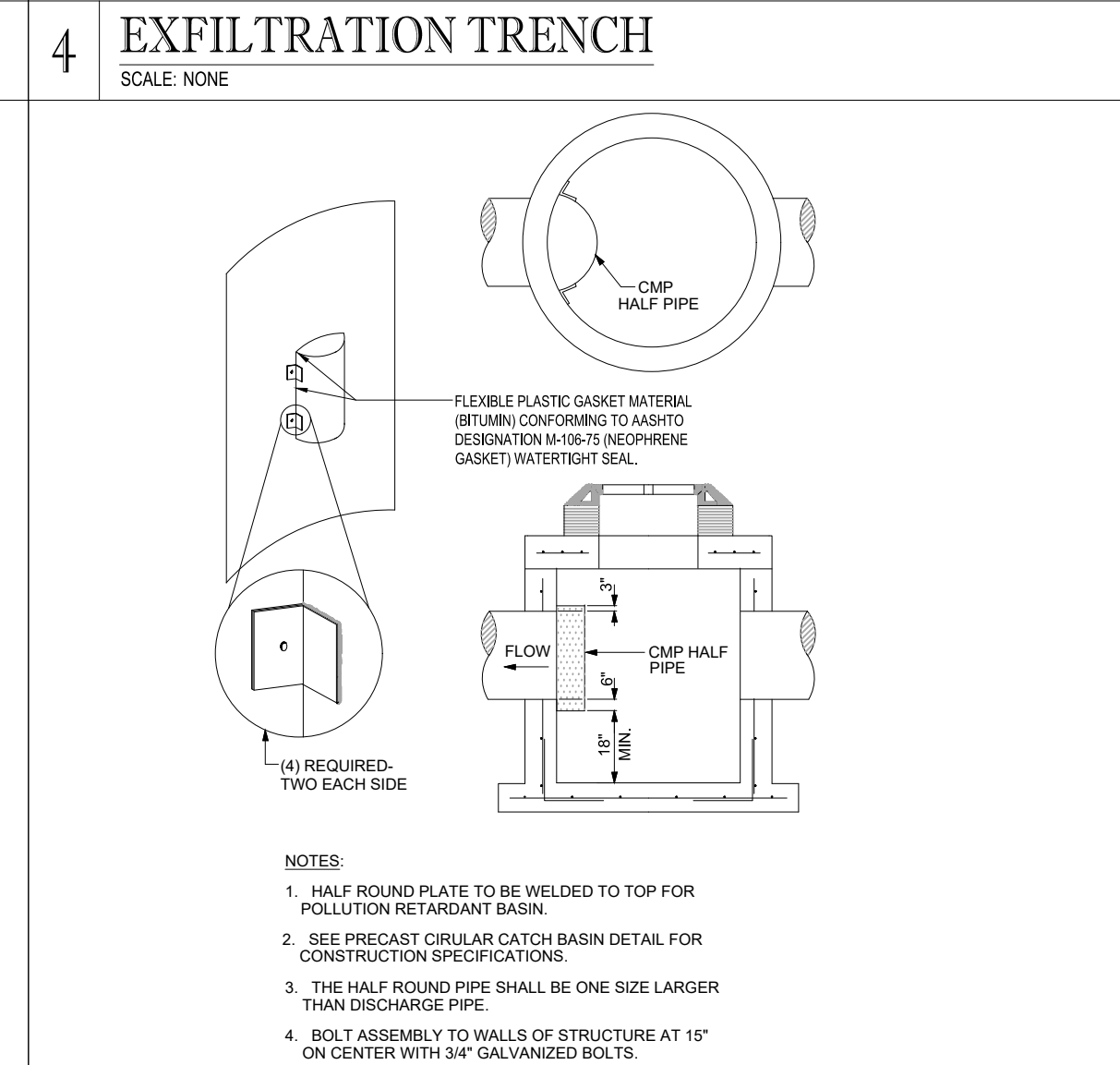
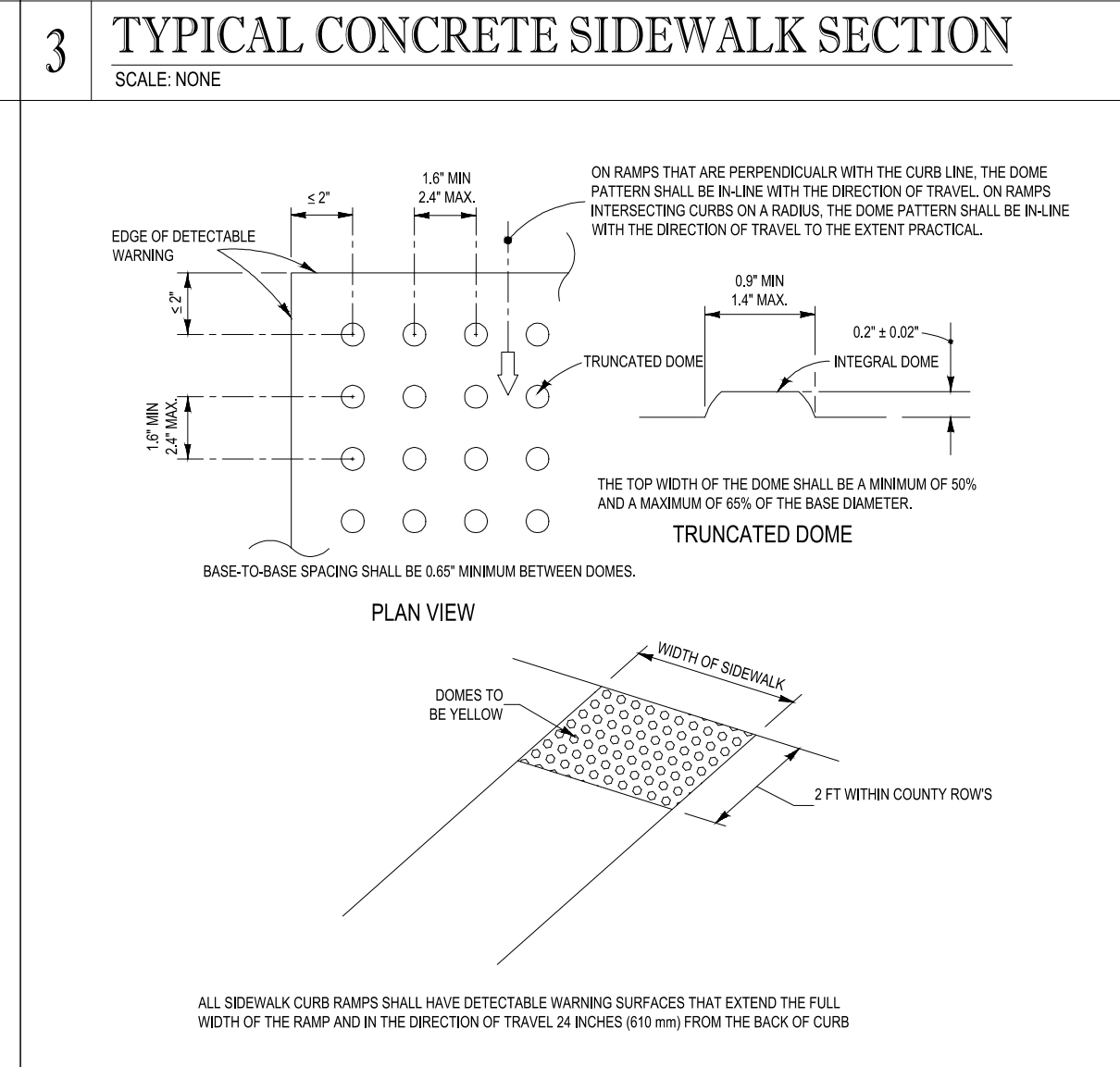
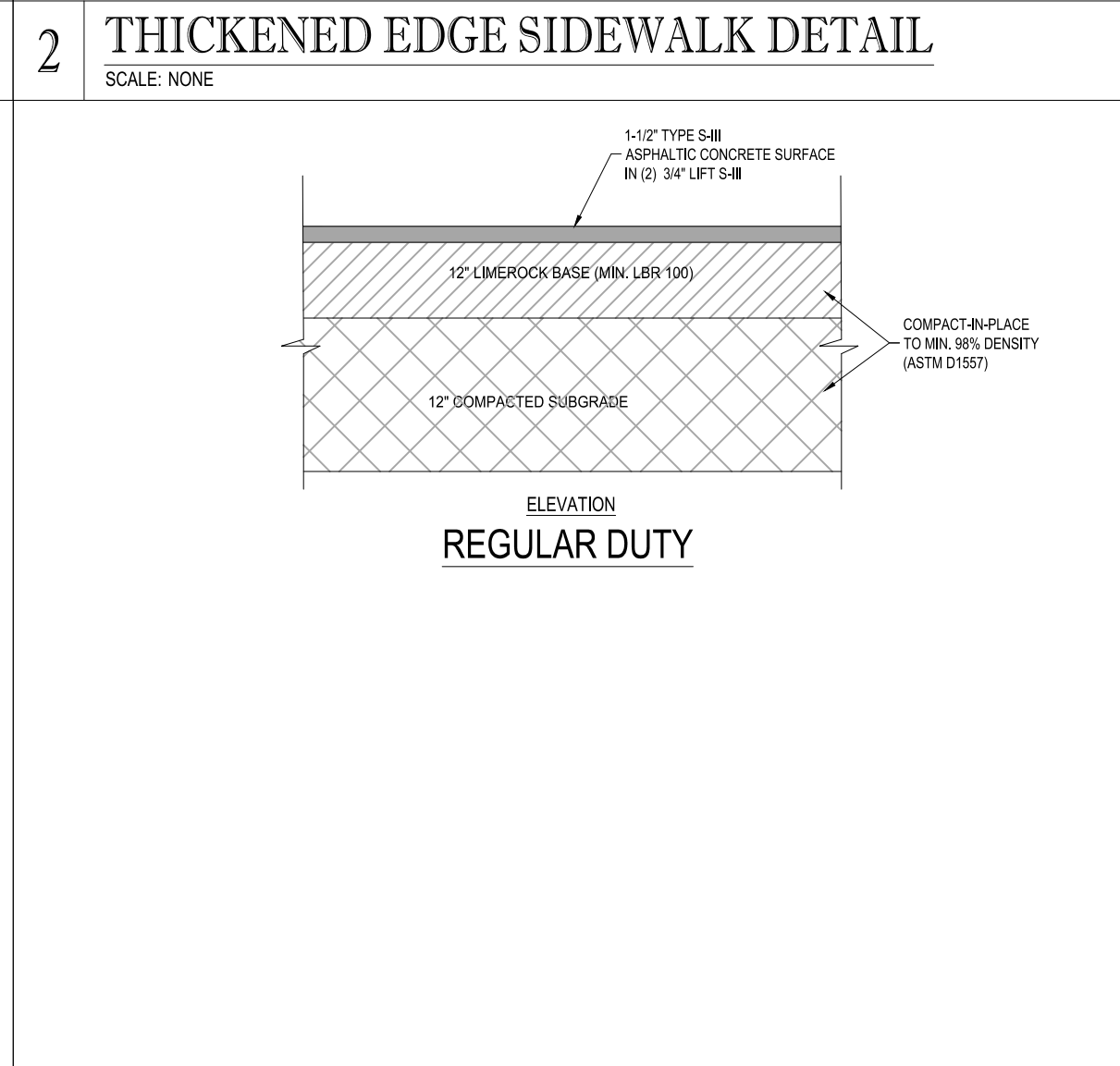
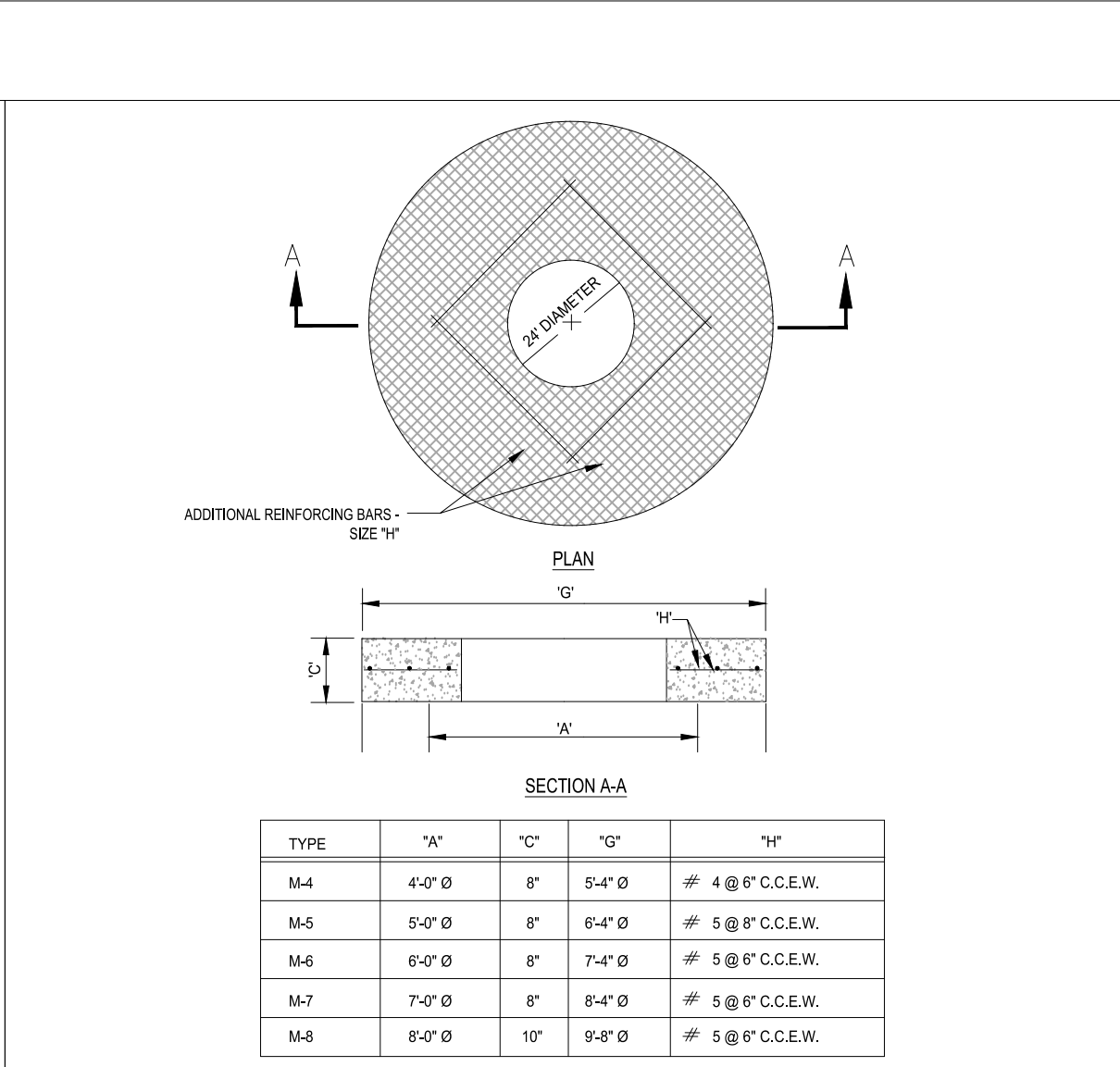
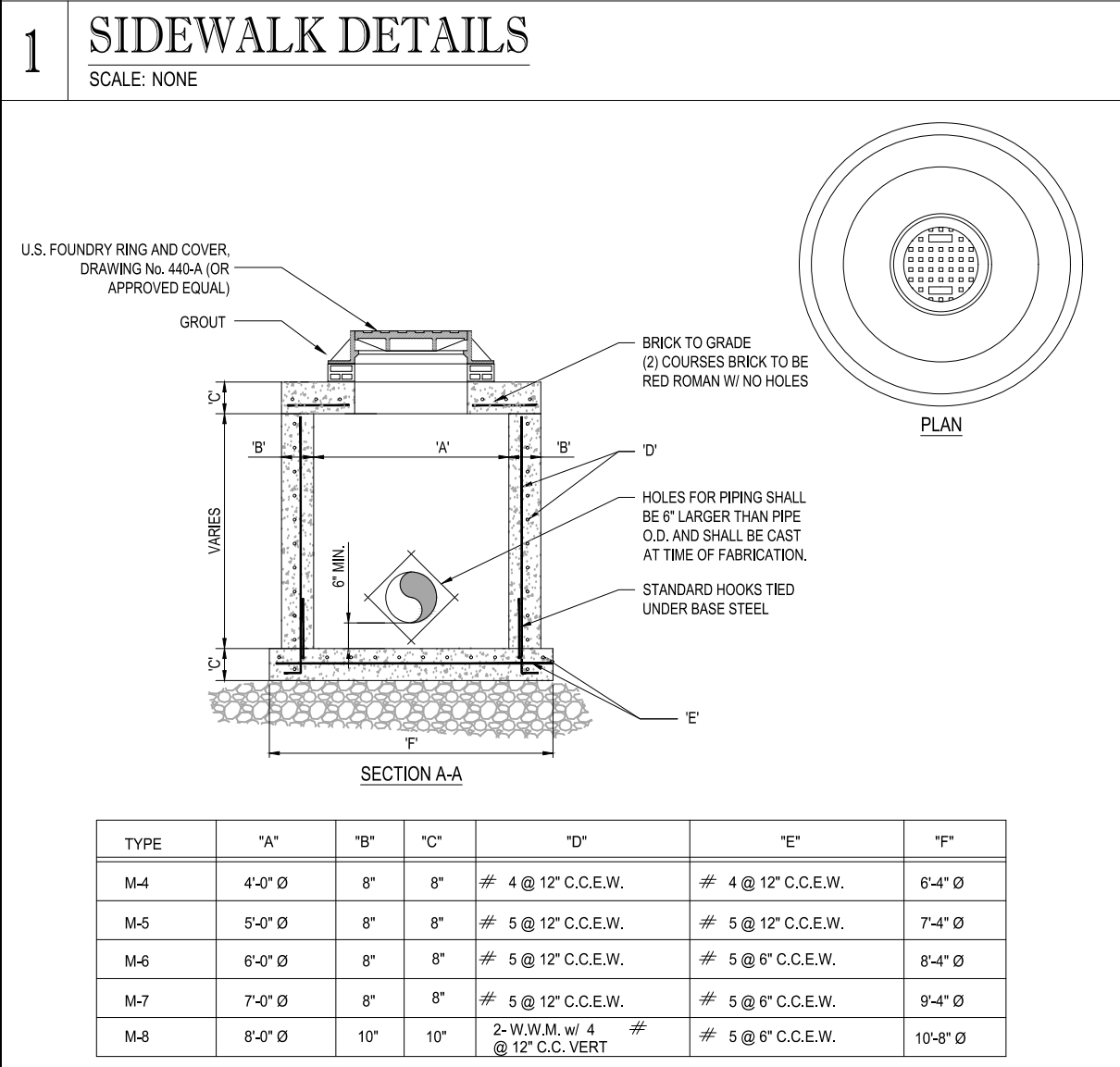
BRANDON JEMER
No. 68345

PROFESSIONAL ENGINEER
July 28, 2022
Florida License No. 12528
Florida Board of Professional Engineers, Inc.

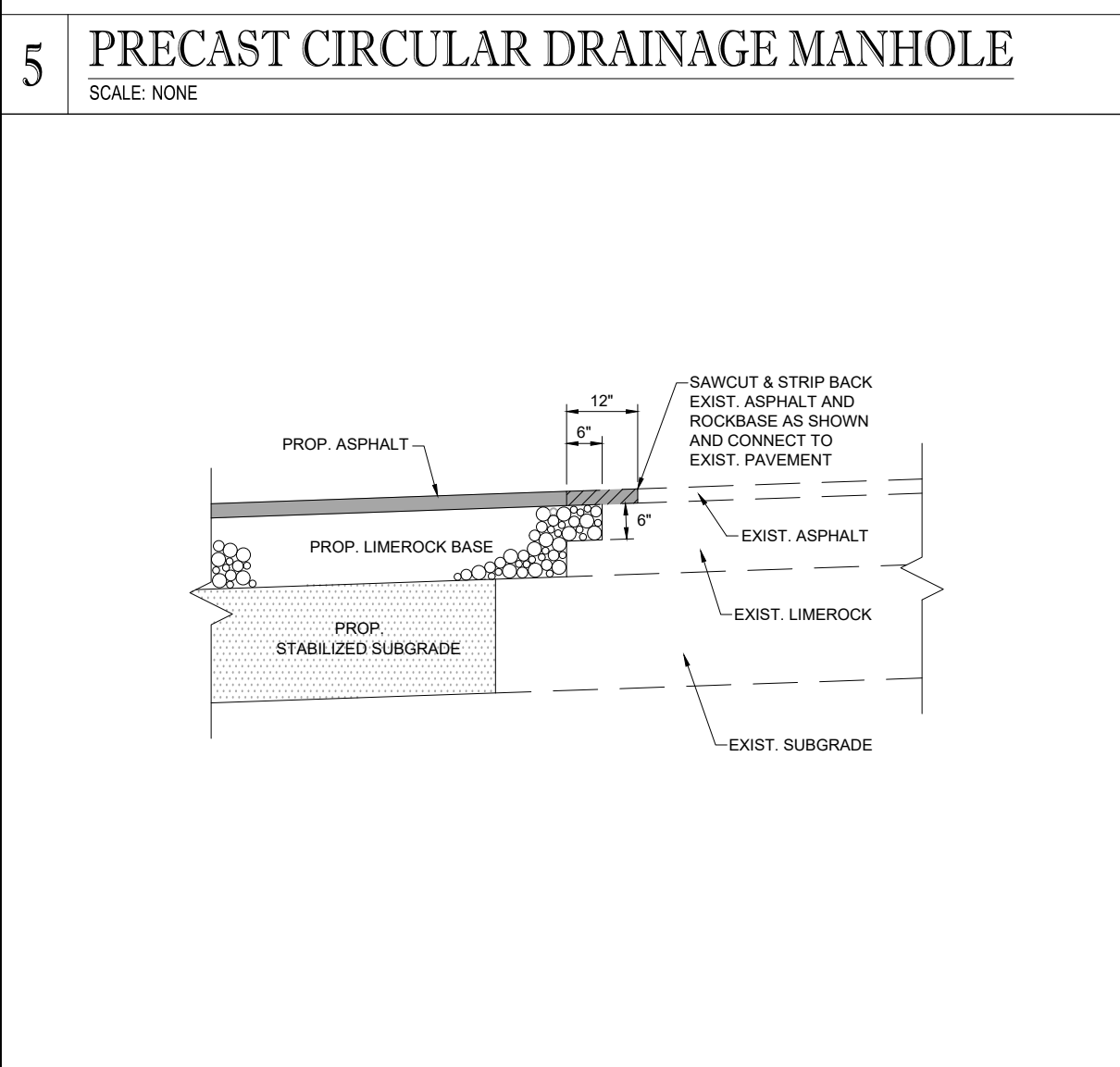
SHEET TITLE:
SHEET NUMBER:
C-04



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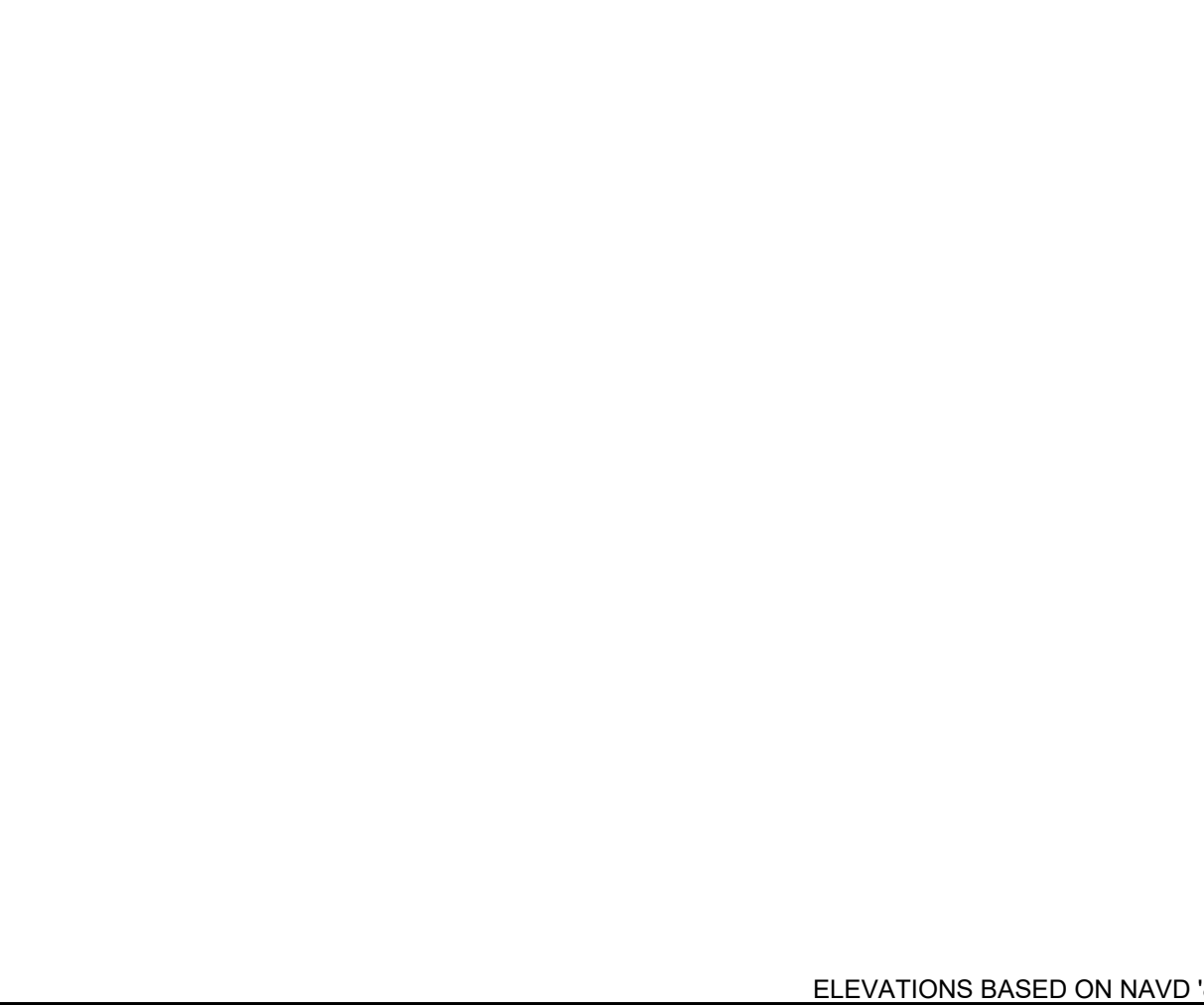
REVISIONS			
REV.	DATE	COMMENT	BY:
X	xxx/xx/xx	xxx	xxx



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PROJECT No.: F220037
 DRAWN BY: MJL
 CHECKED BY: BMJ
 DATE: 6-29-22
 CAD I.D.: PDG DETAILS

PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.
 FOR
MRE REAL ESTATE & INVESTMENT
 CITY OF FORT PIERCE
 FLORIDA



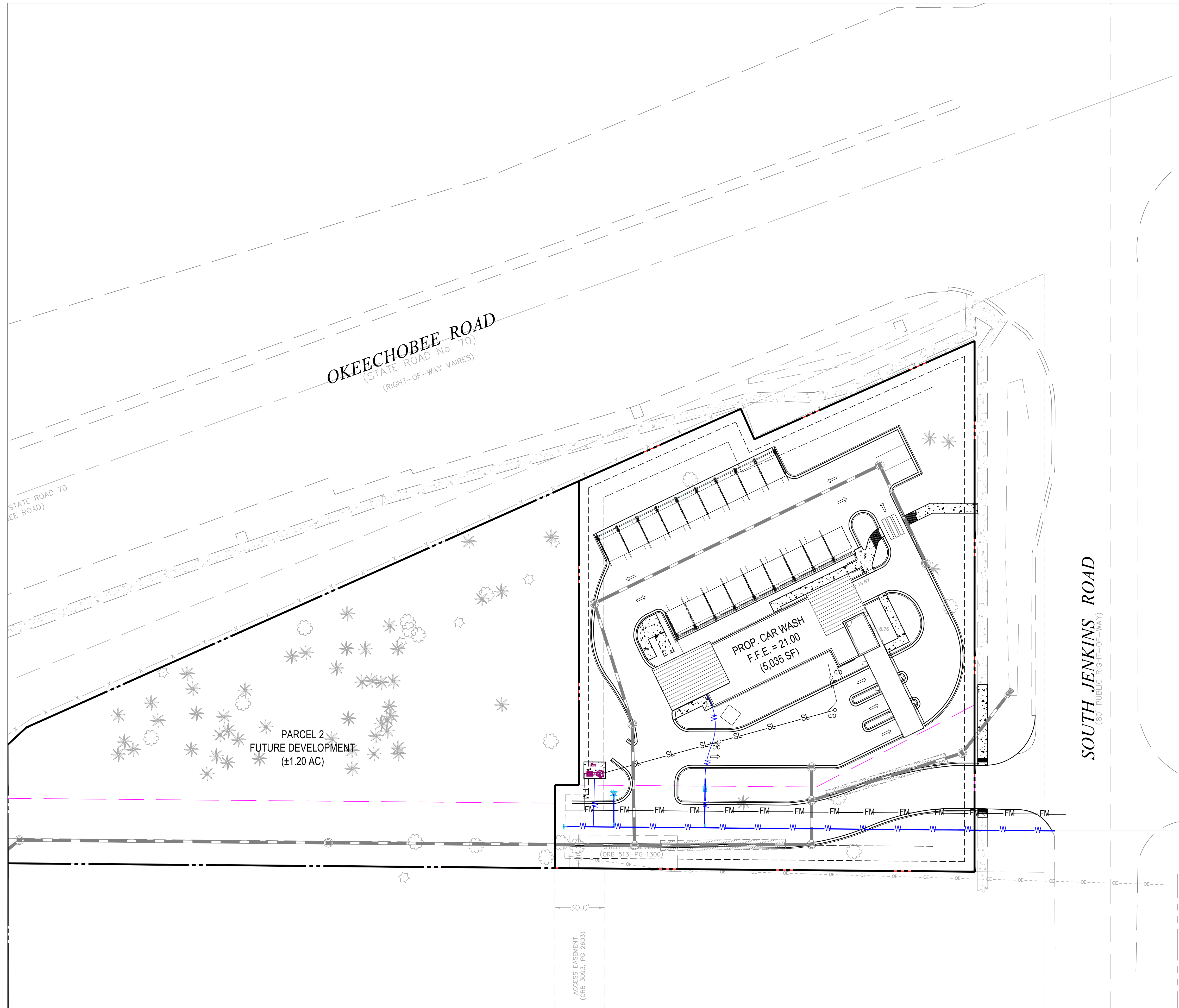
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BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 July 25, 2022
 FLORIDA LICENSE NO. 27528

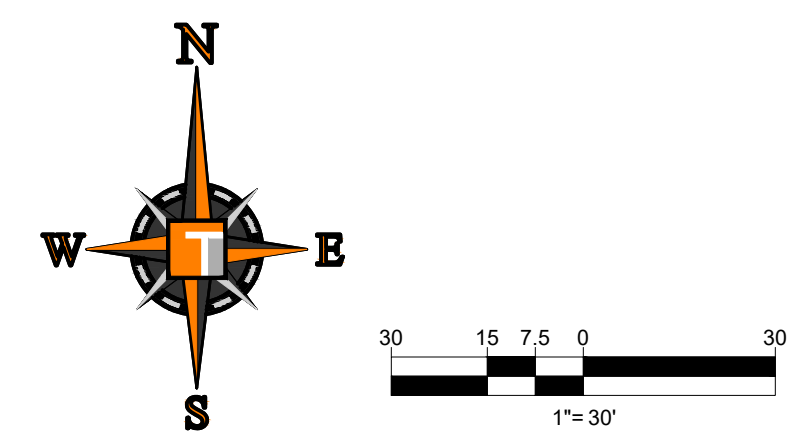
SHEET TITLE:
PAVING, GRADING, & DRAINAGE DETAILS

SHEET NUMBER:
C-06

Project: C-06, 06/29/22, 11:52 AM, by: Brandon Uemer
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EX. NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
SL	SANITARY SEWER LATERAL	SL
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
G	UNDERGROUND GAS LINE	G
OH	OVERHEAD WIRE	OH
T	UNDERGROUND TELEPHONE LINE	T
---	STORM SEWER	---
---	SANITARY SEWER MAIN	S
⊕	HYDRANT	⊕
⊙	SANITARY MANHOLE	⊙
⊞	CATCH BASIN	⊞
∞	WATER VALVE	∞
Z	BACKFLOW PREVENTER	Z
⊞	WATER METER	⊞
○	CLEAN OUT	○
▲	GRADE SPOT SHOT	▲



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REVISIONS			
REV.	DATE	COMMENT	BY
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 DRAWN BY: MJL
 CHECKED BY: BMU
 DATE: 6-29-22
 CAD I.D.: WSU PLAN

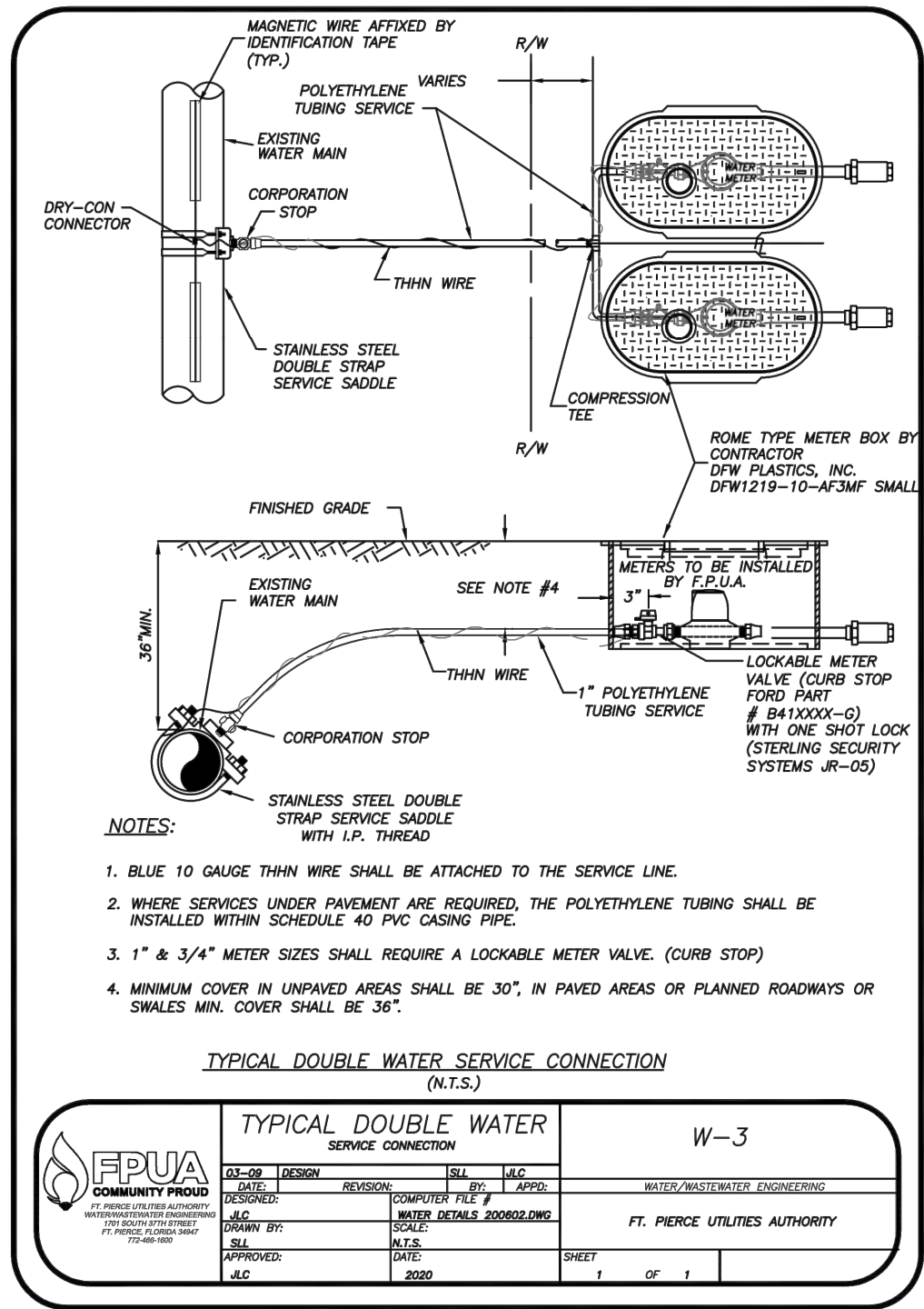
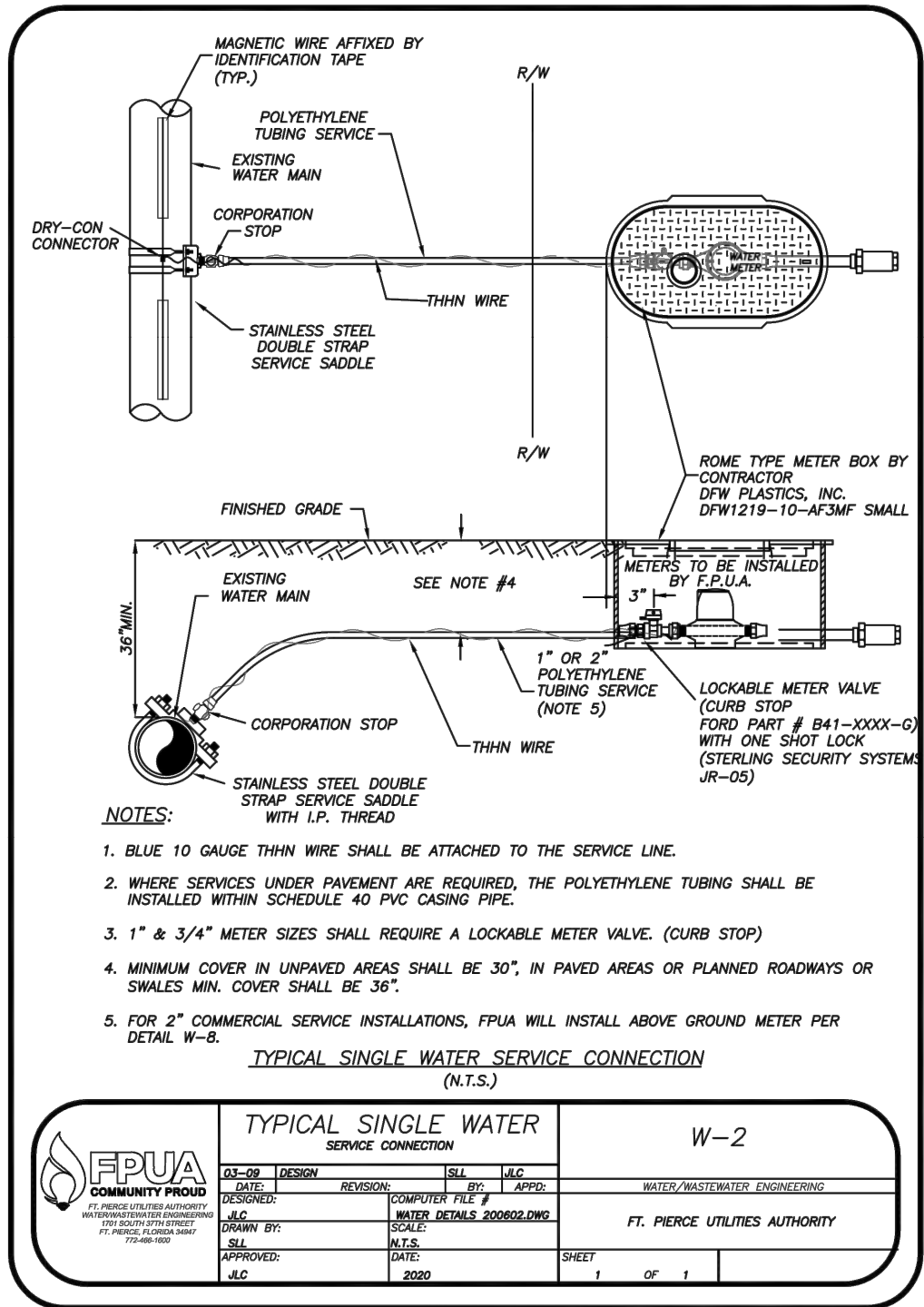
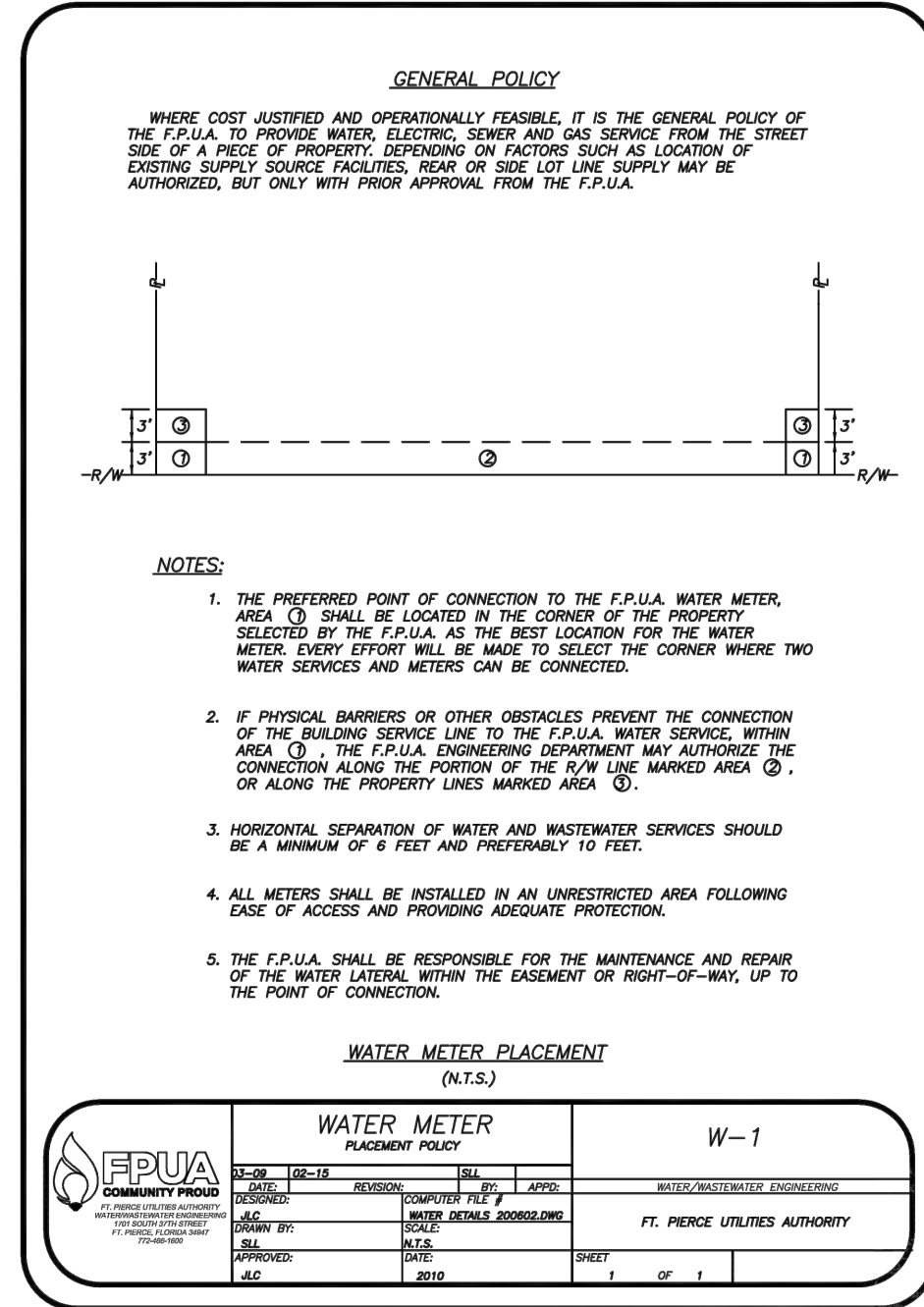
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 FOR
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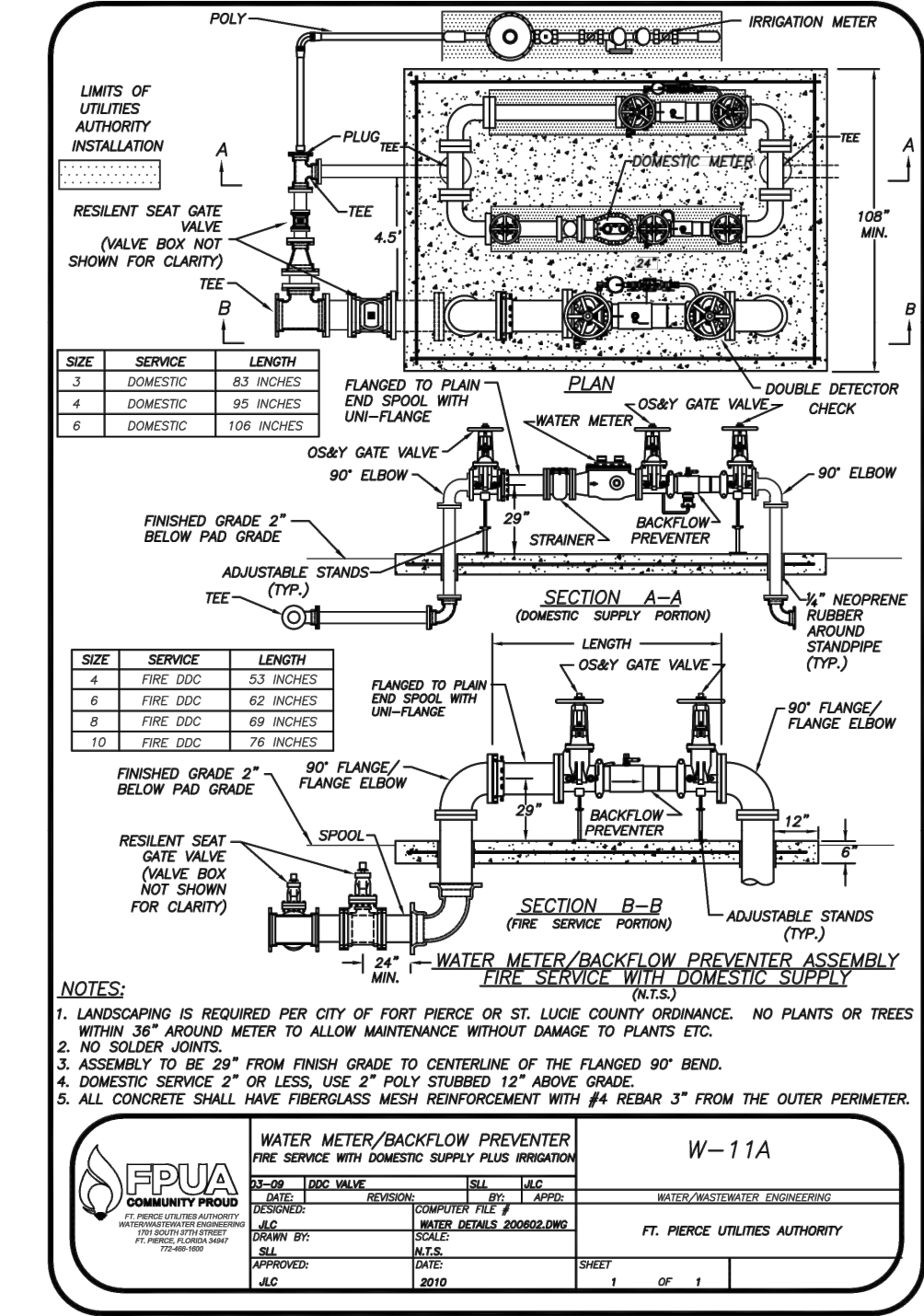
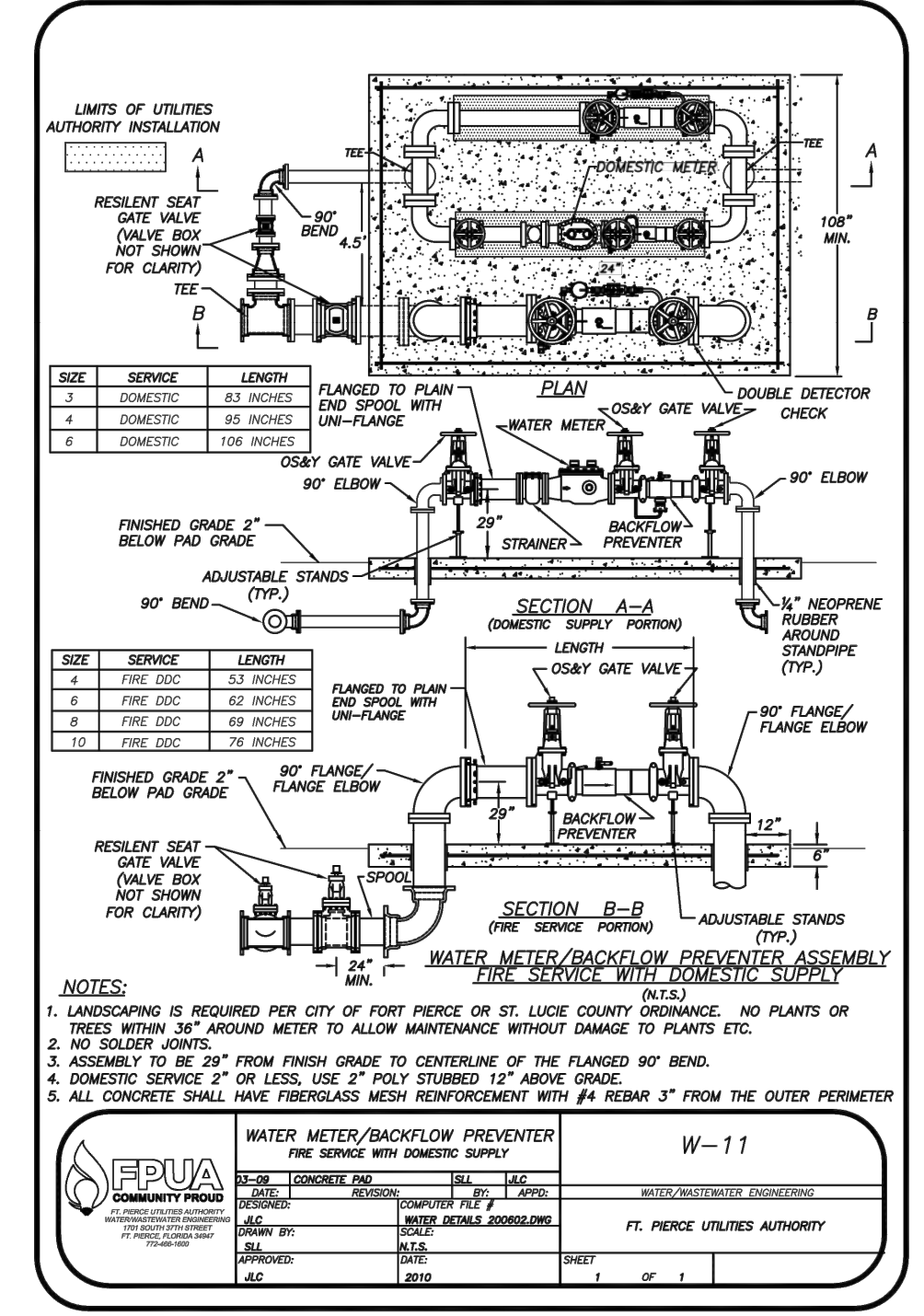
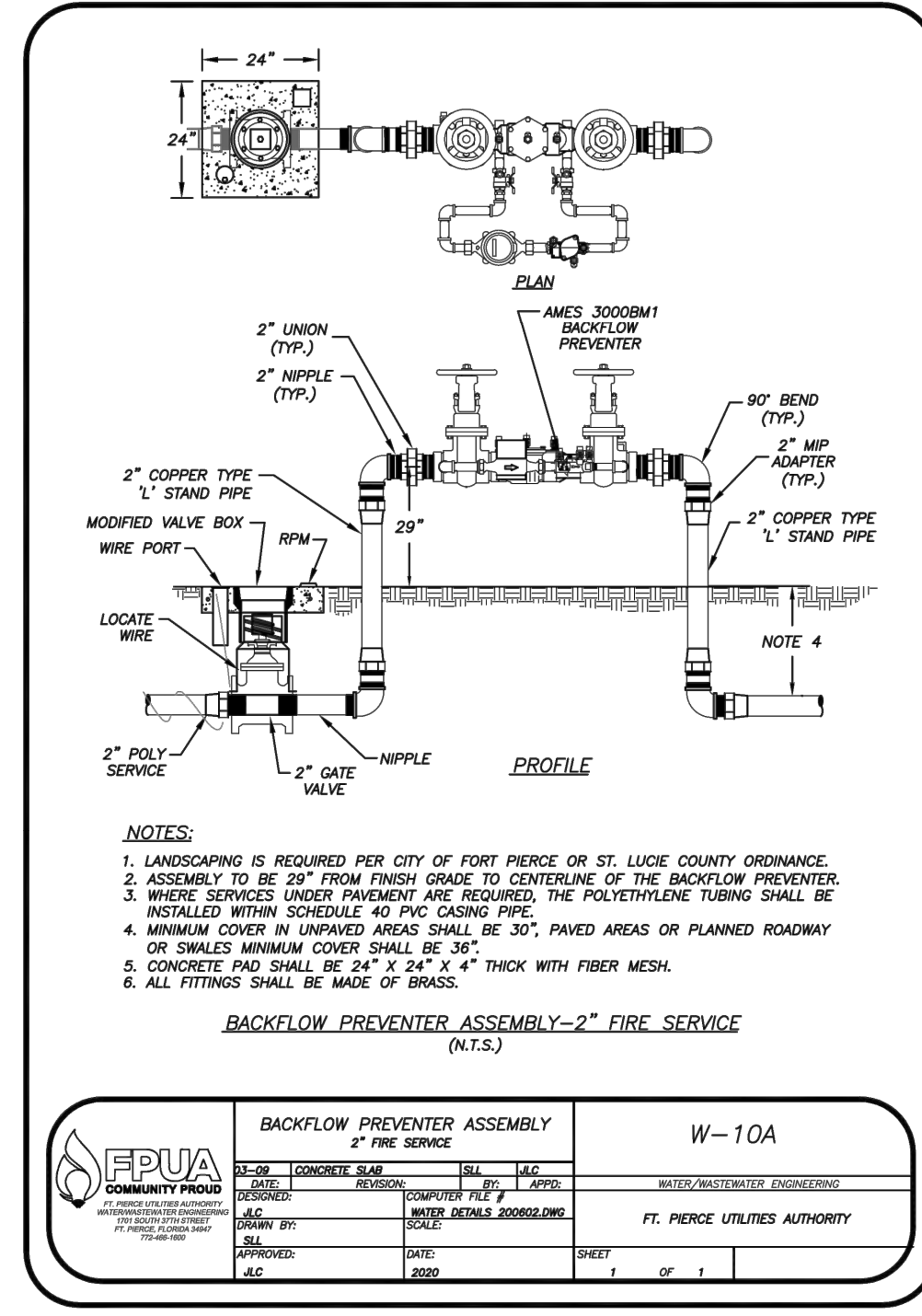
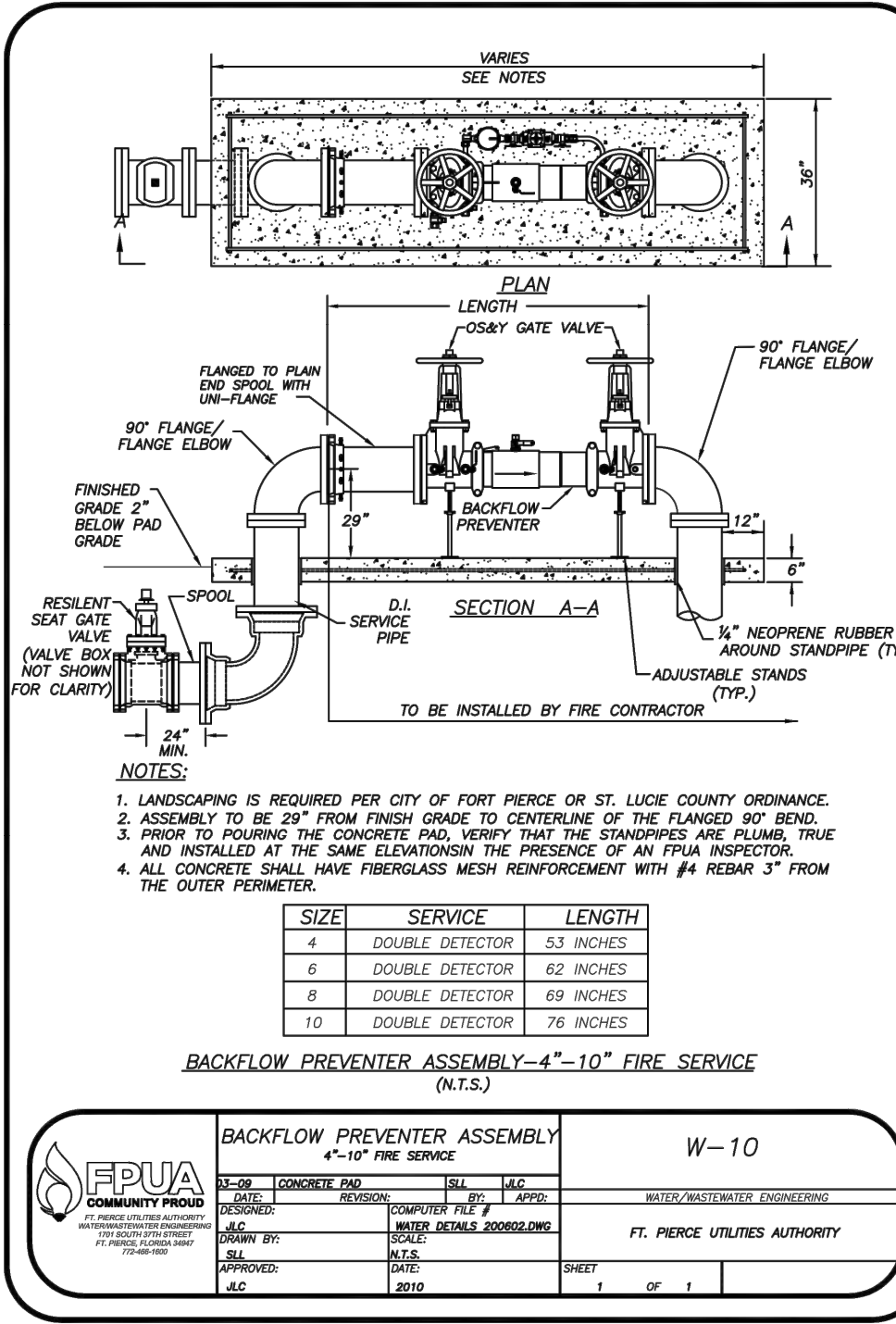
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BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 JUL 28, 2022
 FLORIDA BOARD OF PROFESSIONAL ENGINEERS
 LICENSE NO. 27528

SHEET TITLE:
WATER, SEWER, & UTILITY PLAN
 SHEET NUMBER:
C-07

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 JUPITER, FL 33468 | TAMPA, FL 33609 | JUPITER, FL 33468
 P: 561-203-7503 | P: 813-379-4100 | P: 561-203-7503
 F: 561-203-7500 | F: 813-379-4100 | F: 561-203-7503

REV.	DATE	REVISIONS	BY
X	xxxx/xx	xxx	xxx

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PROJECT No.	F220037
DRAWN BY:	JML
CHECKED BY:	BMU
DATE:	6-29-22
CAD I.D.:	WSU DETAILS

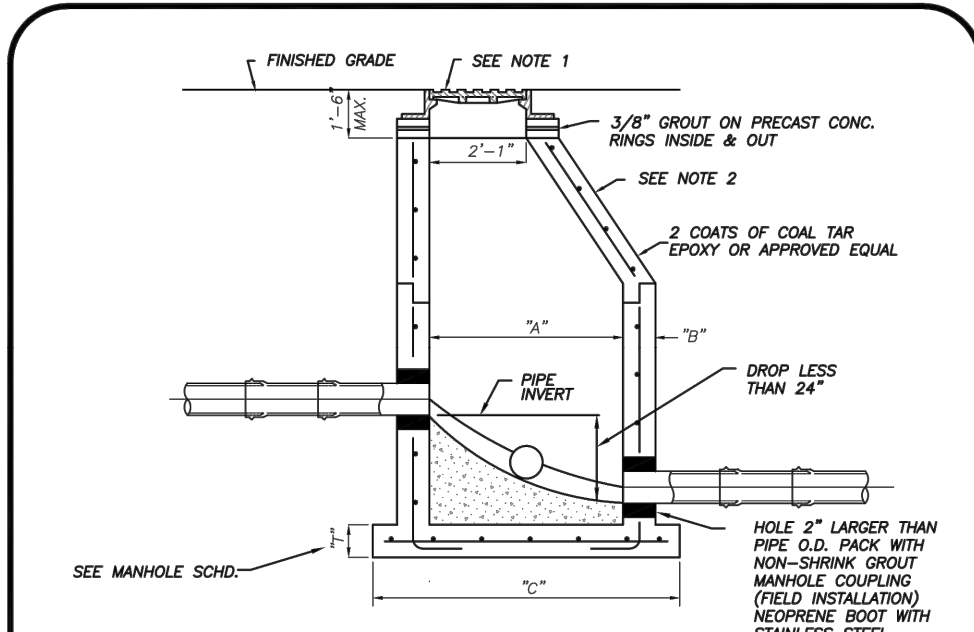
PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.
 FOR
MRE REAL ESTATE & INVESTMENT
 CITY OF FORT PIERCE
 FLORIDA

THOMAS ENGINEERING GROUP
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BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 JUL 28, 2022
 FLORIDA BOARD OF PROFESSIONAL ENGINEERS
 LICENSE NO. 12478

SHEET TITLE:
WATER, SEWER, & UTILITY DETAILS
 SHEET NUMBER:
C-09

Project: SWC Okeechobee Rd. & Jenkins Rd. at Brandon Uemer
 6/29/22 10:52 AM
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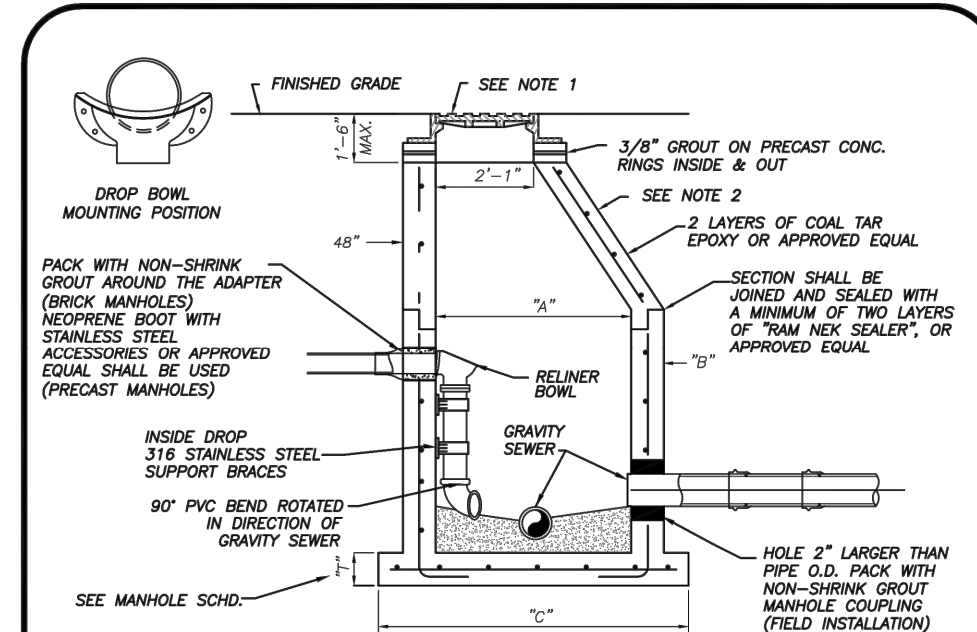
PIPE DIA.	"A"	"B"	"C"	BOT. SLAB "T"
8"-24"	4'-0"	7"	78"	8"
30"-36"	5'-0"	7"	88"	10"
42"-48"	6'-0"	7"	100"	12"

NOTES:

- MANHOLE FRAME & COVER WITH THE WORDS "SANITARY SEWER" CAST IN THE COVER. U.S. FOUNDRY 170 OR APPROVED EQUAL.
- ALL CONCRETE MANHOLES TO BE 4000 P.S.I. TO MEET OR EXCEED ASTM C478 ALL CEMENT TO BE TYPE I AND RESISTANT, REINFORCING AREA OF 0.02 SQ. IN/FT FOR WALL SECTION MIN. TO MEET OR EXCEED ASTM A 185.
- A MAXIMUM OF 2 LAYERS OF PRECAST CONCRETE RINGS, IF REQUIRED.
- RANGUARDS MUST BE INSTALLED IN MANHOLES THAT HAVE GRAVITY MAINS 12" OR LESS.

INSIDE DROP MANHOLE
(TO BE USED WHERE DROP IS LESS THAN 2')
(N.T.S.)

	INSIDE DROP MANHOLE		S-9	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	



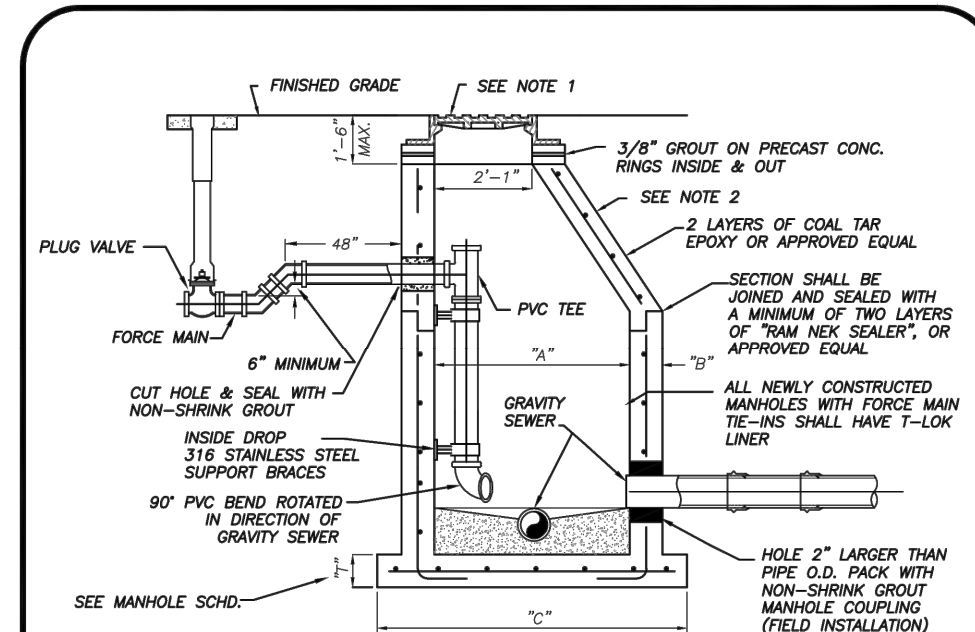
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8"-24"	5'-0"	7"	70"	8"
30"-36"	6'-0"	7"	84"	10"
42"-48"	7'-0"	7"	98"	12"

NOTES:

- MANHOLE FRAME & COVER WITH THE WORDS "SANITARY SEWER" CAST IN THE COVER. U.S. FOUNDRY 170 OR APPROVED EQUAL.
- ALL CONCRETE MANHOLES TO BE 4000 P.S.I. TO MEET OR EXCEED ASTM C478 ALL CEMENT TO BE TYPE I AND RESISTANT, REINFORCING AREA OF 0.02 SQ. IN/FT FOR WALL SECTION MIN. TO MEET OR EXCEED ASTM A 185.
- A MAXIMUM OF 2 LAYERS OF PRECAST CONCRETE RINGS, IF REQUIRED.
- ONLY RELINER/DURALIN, INC. PRODUCTS ARE APPROVED FOR CONSTRUCTING INSIDE DROP ASSEMBLIES.

INSIDE DROP MANHOLE
(TO BE USED WHERE DROP IS GREATER THAN 2')
(N.T.S.)

	INSIDE DROP MANHOLE		S-9A	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	



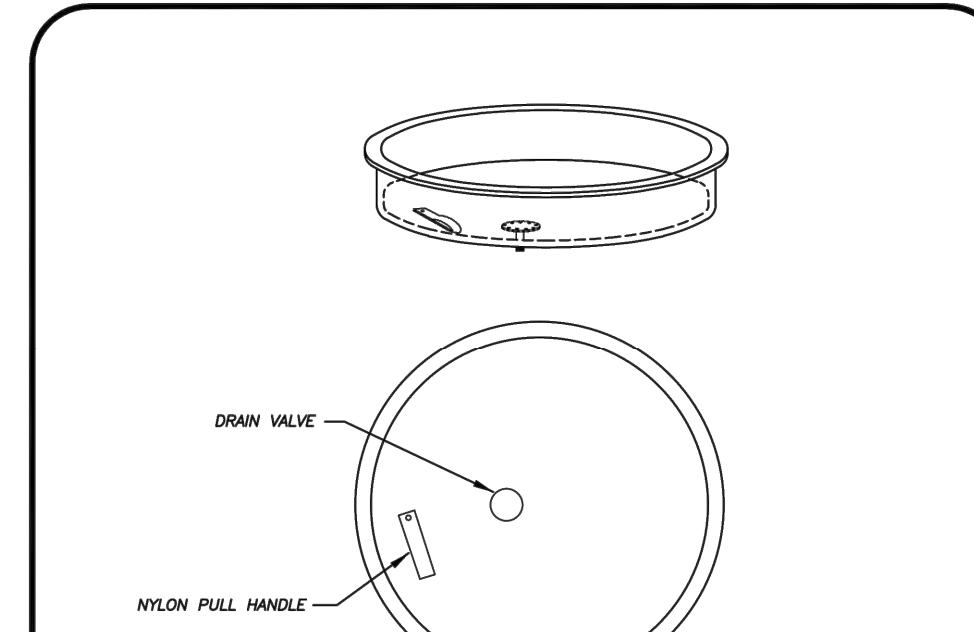
PIPE DIA.	"A"	"B"	"C"	BOT. SLAB "T"
8"-24"	5'-0"	7"	70"	8"
30"-36"	6'-0"	7"	84"	10"
42"-48"	7'-0"	7"	98"	12"

NOTES:

- MANHOLE FRAME & COVER WITH THE WORDS "SANITARY SEWER" CAST IN THE COVER. U.S. FOUNDRY 170 OR APPROVED EQUAL.
- ALL CONCRETE MANHOLES TO BE 4000 P.S.I. TO MEET OR EXCEED ASTM C478 ALL CEMENT TO BE TYPE I AND RESISTANT, REINFORCING AREA OF 0.02 SQ. IN/FT FOR WALL SECTION MIN. TO MEET OR EXCEED ASTM A 185.
- A MAXIMUM OF 2 LAYERS OF PRECAST CONCRETE RINGS, IF REQUIRED.
- FORCE MAIN TIE-IN SHALL BE TO MANHOLES WITH A MINIMUM DEPTH OF 4'-0".
- NEW MANHOLES SHALL BE T-LOCK LINED. EXISTING MANHOLES SHALL BE SEMI-PERMEABLE.

FORCE MAIN TIE-IN @ PRECAST MANHOLE
(N.T.S.)

	FORCE MAIN TIE-IN @ PRECAST MANHOLE		S-10	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	

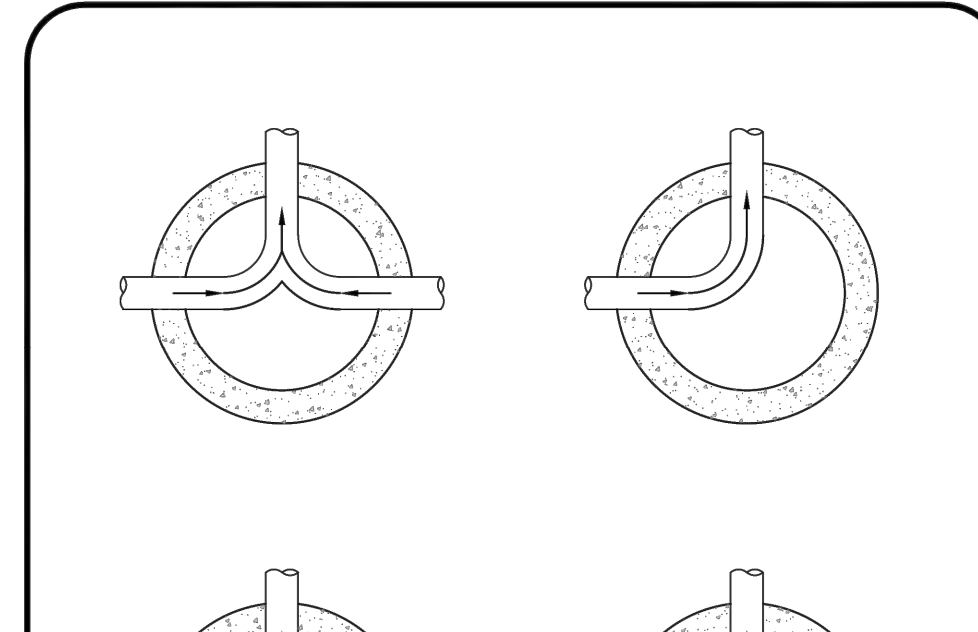


NOTES:

- SEWER RAIN GUARDS SHALL BE INSTALLED ON ALL MANHOLES WHERE GRAVITY MAINS ARE 12" OR LESS AND IN AREAS DESIGNATED BY ENGINEER TO BE IN A FLOOD AREA.
- SEWER RAIN GUARDS SHALL BE MANUFACTURED BY PARSON ENVIRONMENTAL PRODUCTS, INC. PART # PM-235 (PARSON MANHOLE INSERTS) WITH DOUBLE VALVING, OR APPROVED EQUAL.
- RANGUARDS MUST BE "SNUG" FIT.

RAIN GUARD DETAIL
(N.T.S.)

	RAIN GUARD DETAIL		S-11	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	

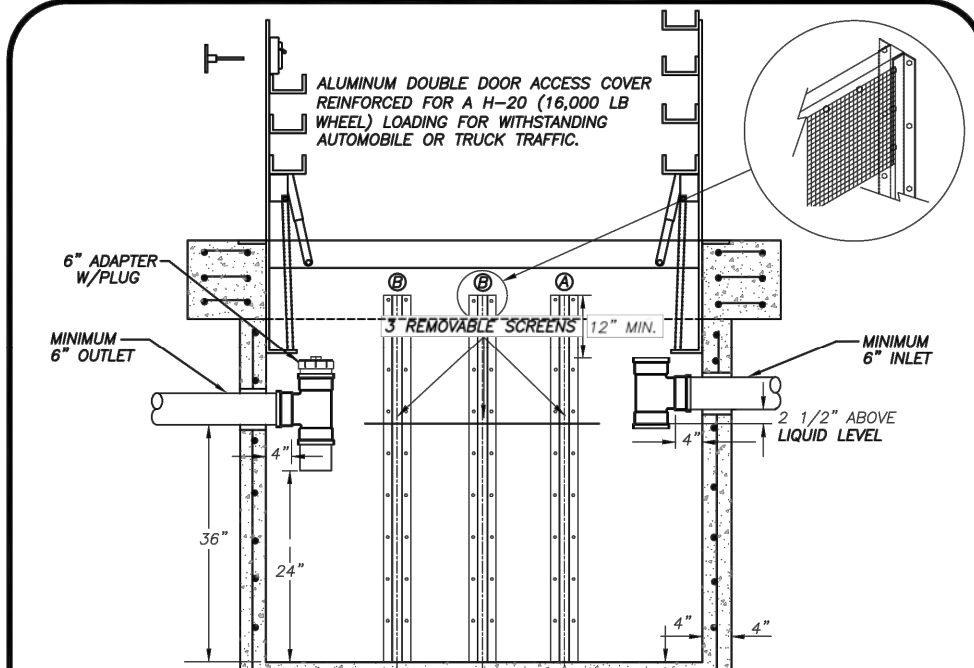


NOTES:

- INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
- SPLILWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOW.

FLOW PATTERNS FOR INVERT CHANNELS
(N.T.S.)

	FLOW PATTERNS FOR INVERT CHANNELS		S-12	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	

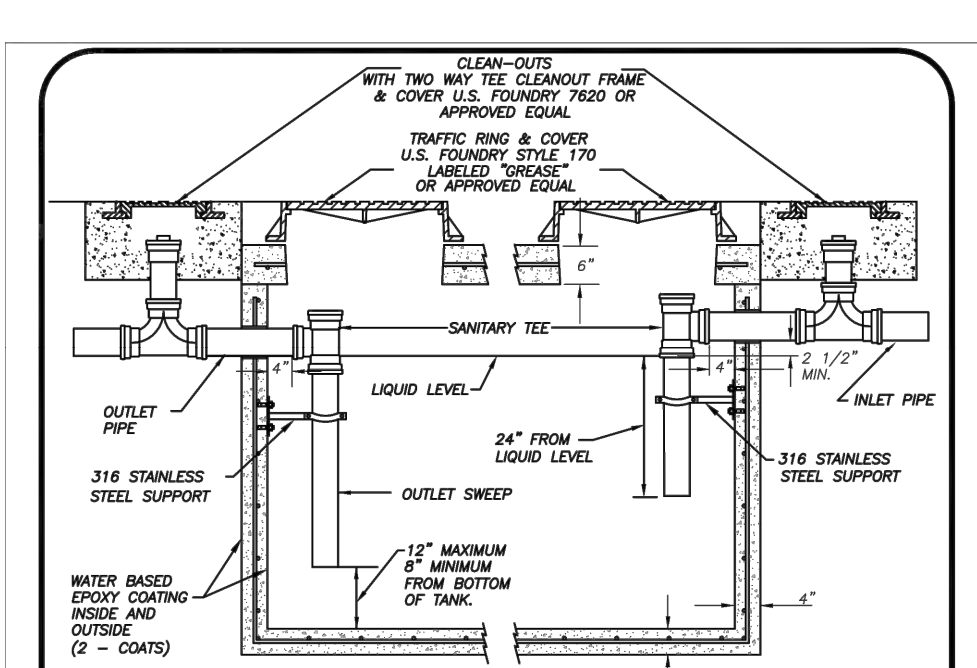


NOTES:

- ALL PIPING SHALL BE MINIMUM OF 6" DIA.
- PIPING SHALL BE INSTALLED USING A CONCRETE MANHOLE ADAPTER.
- SANITARY T" SHALL BE INSTALLED 4" INSIDE MANHOLE RINGS.
- SECTIONS SHALL BE JOINED AND SEALED WITH MINIMUM 1/4" "RAM-NEX" SEALER OR EQUIVALENT TO FORM A WATER TIGHT SEAL.
- RINGS & BOTTOM SLABS MINIMUM 4" THICK REINFORCED CONCRETE.
- TRAPS SHALL BE INSTALLED AT AN ELEVATION TO PREVENT INFILTRATION OF SURFACE WATER.
- TRAPS SHALL PROVIDE PROTECTION PER DETAIL M-12.
- REMOVABLE SCREENS, ANGLE IRONS AND HARDWARE SHALL BE 316 STAINLESS STEEL CONSTRUCTION.
- 1" X 1/8 GAUGE STAINLESS STEEL WIRE MESH.
- 1" X 1/8 GAUGE STAINLESS STEEL WIRE MESH.

LINT INTERCEPTOR
(N.T.S.)

	LINT INTERCEPTOR		S-13	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	

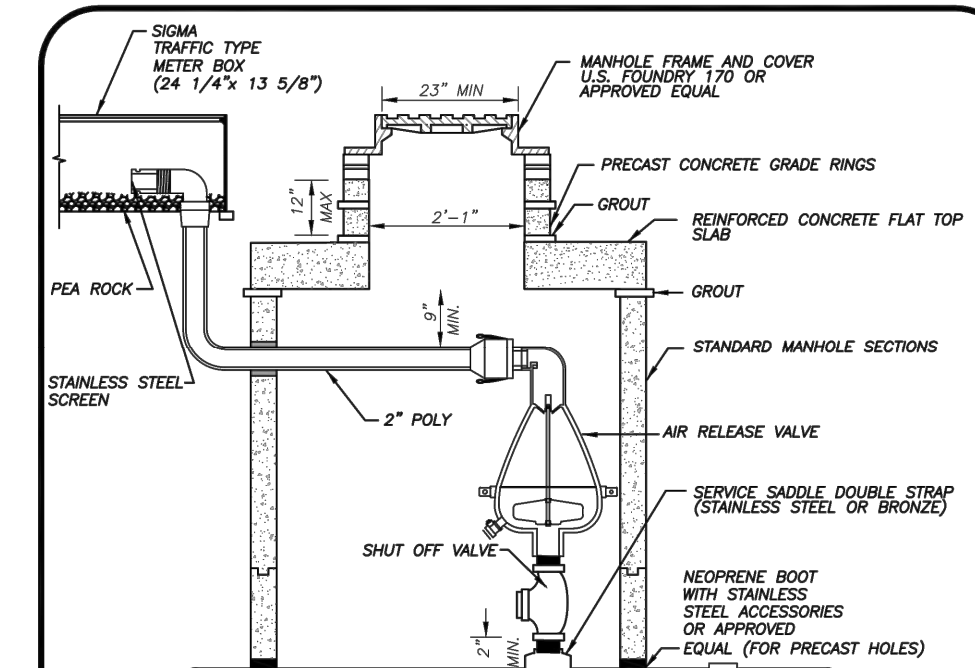


NOTES:

- ALL PIPING SHALL BE A MINIMUM OF 4" DIA.
- PIPING SHALL BE INSTALLED USING PRESS-IN BOOTS OR CONCRETE MANHOLE ADAPTERS (ONLY).
- INLET AND OUTLET TEES MUST BE INSTALLED A MINIMUM OF 4" FROM THE STRUCTURE WALLS. ACTUAL DIMENSIONS SHOULD BE ADJUSTED TO ENSURE THAT AN UNOBSTRUCTED VERTICAL VIEW OF THE TEES CAN BE SEEN THROUGH THE GREASE INTERCEPTOR'S ACCESS OPENINGS.
- FRANK'S SERVICE USE DIMENSIONS WILL EXCEED GREASE INTERCEPTOR'S SIZE. ALL INTERCEPTORS SHALL BE A MINIMUM OF 1000 GALLONS AND A MAXIMUM OF 1200 GALLONS.
- TANK MUST BE TRAFFIC BEARING (SHALL MEET 10-20 LOADING REQUIREMENTS).
- TANK WALLS AND BOTTOM SLAB MUST BE A MINIMUM 4" THICK AND THE TOP SLAB A MINIMUM 6" THICK; ALL WITH #4 REBAR REINFORCEMENT.
- TANK WALLS SHALL BE JOINED AND SEALED WITH MINIMUM 1/4" "RAM-NEX" SEALER OR EQUIVALENT TO FORM A WATER TIGHT SEAL.
- ALL INTERNAL AND EXTERNAL CONCRETE SURFACES SHALL RECEIVE 2 COATS OF A WATER BASED EPOXY COATING.
- GREASE INTERCEPTORS MUST BE INSTALLED ON DRY, STABLE AND UNDISTURBED SOIL. IF THESE CONDITIONS CAN NOT BE MET, EXCAVATION SHALL BE EXTENDED TO SIX INCHES BELOW THE STRUCTURE AND A CUSHION OF 1/4" STONE SHALL BE PROVIDED.
- PRECAST CONCRETE RINGS SHALL BE UTILIZED FOR RING & COVER ADJUSTMENTS.

STANDARD DETAIL FOR GREASE, OIL, AND SAND INTERCEPTORS
(N.T.S.)

	STANDARD DETAIL FOR GREASE, OIL, AND SAND INTERCEPTORS		S-14	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	

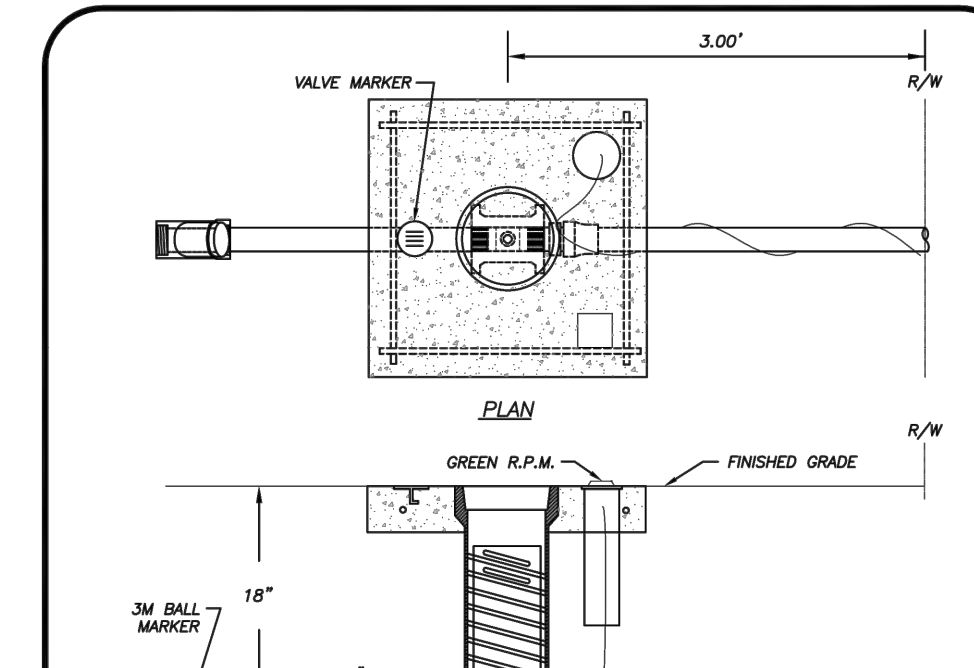


NOTES:

- MANHOLE FRAME AND COVER WITH THE WORD CAST IN THE COVER.

AUTOMATIC AIR RELEASE VALVE ASSEMBLY
(N.T.S.)

	AUTOMATIC AIR RELEASE VALVE ASSEMBLY		S-15	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	

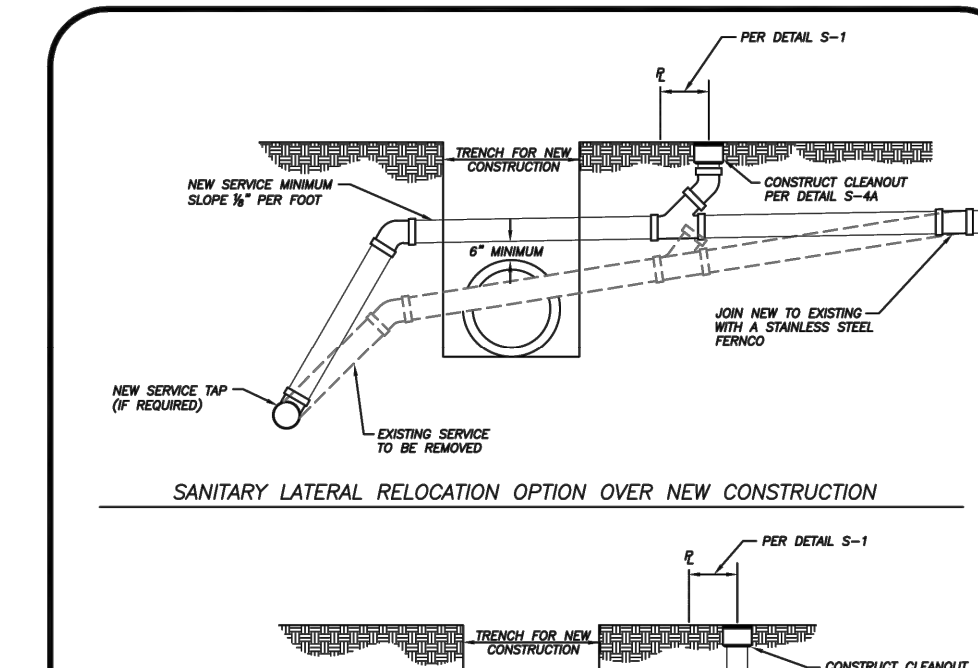


NOTES:

- FORCE MAIN CONNECTION SHALL CONSIST OF A 2" TAPPING SADDLE, 2" STAINLESS STEEL NIPPLE AND 2" THREADED RESILIENT SEAT GATE VALVE.
- GREEN 10 GAUGE THIN WIRE SHALL BE ATTACHED TO THE SERVICE LINE.
- WHERE SERVICES UNDER PAVEMENT ARE REQUIRED, THE POLYETHYLENE TUBING SHALL BE INSTALLED WITHIN SCHEDULE 40 PVC CASING PIPE.
- MINIMUM COVER IN UNPAVED AREAS SHALL BE 30" IN PAVED AREAS OR PLANNED ROADWAYS OR SHALLS MIN. COVER SHALL BE 36".

GRINDER STATION CONNECTION
(N.T.S.)

	GRINDER STATION CONNECTION		S-16	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	



NOTES:

- ALL PIPING SHALL BE SDR-26 WITH SDR-26 FITTINGS.

SANITARY SEWER LATERAL ADJUSTMENT FOR NEW CONSTRUCTION
(N.T.S.)

	SANITARY SEWER LATERAL ADJUSTMENT FOR NEW CONSTRUCTION		S-17	
	DATE	SCALE	SHEET	OF
DESIGNED BY	CHECKED BY	DATE	FT. PIERCE UTILITIES AUTHORITY	
APPROVED BY	SCALE	SHEET	1 OF 1	

THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 6500 NW 31ST AVENUE | 4850 W. KENNEDY BLVD. | 125 W. INDIANTOWN RD.
 JUPITER, FL 33458 | TAMPA, FL 33609 | JUPITER, FL 33458
 P: 813-379-4100 | P: 813-379-4100 | P: 561-203-7503
 F: 813-379-4100 | F: 813-379-4100 | F: 561-203-7503

REV.	DATE	COMMENT	BY
X	xxxx/xx	xxx	xxx

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PROJECT No.	F220037
CHECKED BY:	MJL
DATE:	6-29-22
CAD I.D.:	WSU DETAILS

PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.

FOR
MRE REAL ESTATE & INVESTMENT

CITY OF FORT PIERCE
 FLORIDA

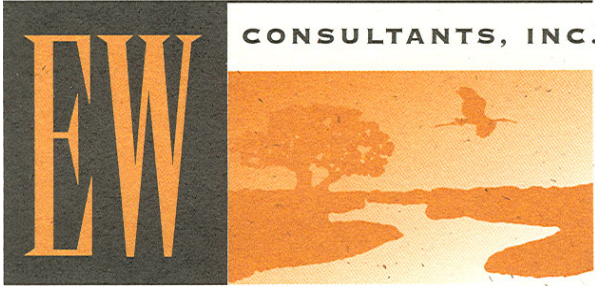
THOMAS ENGINEERING GROUP
 PEBWORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD. SUITE 206
 JUPITER, FL 33458
 PH: (561) 203-7503
 FX: (561) 203-7721
 www.ThomasEngineeringGroup.com

BRANDON JEMER
 No. 68345
 PROFESSIONAL ENGINEER
 JUN 29, 2022
 FLORIDA BOARD OF PROFESSIONAL ENGINEERS
 No. 27528

SHEET TITLE:
WATER, SEWER, & UTILITY DETAILS
 SHEET NUMBER:
C-11

EW CONSULTANTS, INC.

NATURAL RESOURCE MANAGEMENT, WETLAND, AND ENVIRONMENTAL PERMITTING SERVICES



CONSULTANTS, INC.

ENVIRONMENTAL ASSESSMENT

FORT PIERCE CARWASH

CITY OF FORT PIERCE, FLORIDA

Prepared for:

MRE Properties & Investments, LLC

Prepared by:

EW Consultants, Inc.

March 2023

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I. INTRODUCTION -

This Environmental Assessment (EA) documents the various land cover types and vegetation found on the Fort Pierce Carwash project site located within the City of Fort Pierce, Florida. It includes an inventory of the built environments and vegetative communities present, as well as an assessment of the potential impacts to natural resources with special emphasis on listed fauna.

The project site, as shown on Figure 1 in Appendix A, is ± 3.8 acres, and is located south of and adjacent to SR 70/Okeechobee Road, west of and adjacent to South Jenkins Road, just east of I-95 (see Figure 1 in Appendix A, Location Map). It is located within Section 24, Township 35S, and Range 39E (see Figure 2 in Appendix A, USGS Quadrangle Map).

The site is bounded to the north, east, and west by the roads' rights-of-way described above, and to the south by vacant wooded lands. Figure 3, 2021 Aerial Photograph, in Appendix A is an aerial view of the subject property and immediate surroundings.

II. GENERAL PROPERTY DESCRIPTION –

Based on a site visit conducted by staff from EW Consultants, Inc. in March of 2023, the project area consists of an existing abandoned structure (real estate office) and associated parking lot, as well as altered lands with a regrowth of native and invasive trees present.

III. SOIL TYPES –

A Soils Report produced by the United States Department of Agriculture/Natural Resources Conservation Service is provided in Appendix B of this report. Soil types are typical for this region of St. Lucie County.

IV. EXISTING LAND COVER TYPES –

The following is a summary of the land cover types found on the Fort Pierce Carwash site. Cover type classifications are based on FDOT's Florida Land Use Cover Classification System (FLUCCS, see Figure 4 in Appendix A). These categories have been mapped based on the recent field reconnaissance and aerial photograph interpretation.

Such categories include:

143 Professional Services (Abandoned) –

This category includes the former real estate office and associated parking lot located in the eastern portion of the project site. Landscape trees include laurel and live oaks.

437 Australian Pine -

Located in the western “bend” of the property is a stand of mature Australian pines, a Category I invasive tree as defined by the state of Florida. These trees tend to shade-out the forest floor preventing other plants from establishing. The forest floor typically contains a dense mat of pine needles from these trees, as well.

740 Disturbed Lands -

This land cover exists throughout the entire project site outside of the 143 and 437 categories. It generally consists of ruderal grasses (mainly Bahia and smutgrass) on the forest floor, as well as native and non-native canopy trees, notably laurel and live oaks, cabbage palms, and Brazilian pepper. Other trees include Australian pine, carrotwood, mimosa tree, slash pine, schefflera, *ficus aurea*, and bottlebrush tree. Mid-story bushes include podocarpus, guava, mother-in-law tongue, wild coffee, swamp fern, and jack-in-the-bush plant. Groundcover mainly consists of shrubby false buttonweed, beggar ticks, and ruderal grasses.

V. LISTED AND NON-LISTED SPECIES DISCUSSION –

Because of the sandy soils present on the property, the site potentially provides foraging and nesting habitat for the state threatened gopher tortoise. Although no potentially occupied gopher tortoise burrows were observed on-site during the March 2023 fieldwork, a systematic gopher tortoise survey will be required within the entire development footprint’s upland area prior to new construction activities, and tortoises will have to be relocated to a state-approved receiver site if the burrows are located in harm’s way. Non-listed species observed during the site visit include mourning dove, curly-tailed lizard and black vulture.

VI. POTENTIAL ENVIRONMENTAL IMPACTS -

During the March 2023 site visit, observations were made for potential nesting and foraging of state and federally listed species. In particular, the state threatened gopher tortoise may inhabit historically altered sites which contain sandy soils and herbaceous ground cover. No potentially occupied gopher tortoise burrows, or signs of other listed species, were observed during the site visit.

Although no potentially occupied gopher tortoise burrows were observed on-site, a formal survey for such burrows will need to occur within 90 days prior to site alteration. Should such burrows be discovered during that survey, a relocation permit from the Florida Fish & Wildlife Conservation Commission (FWC) will be required.

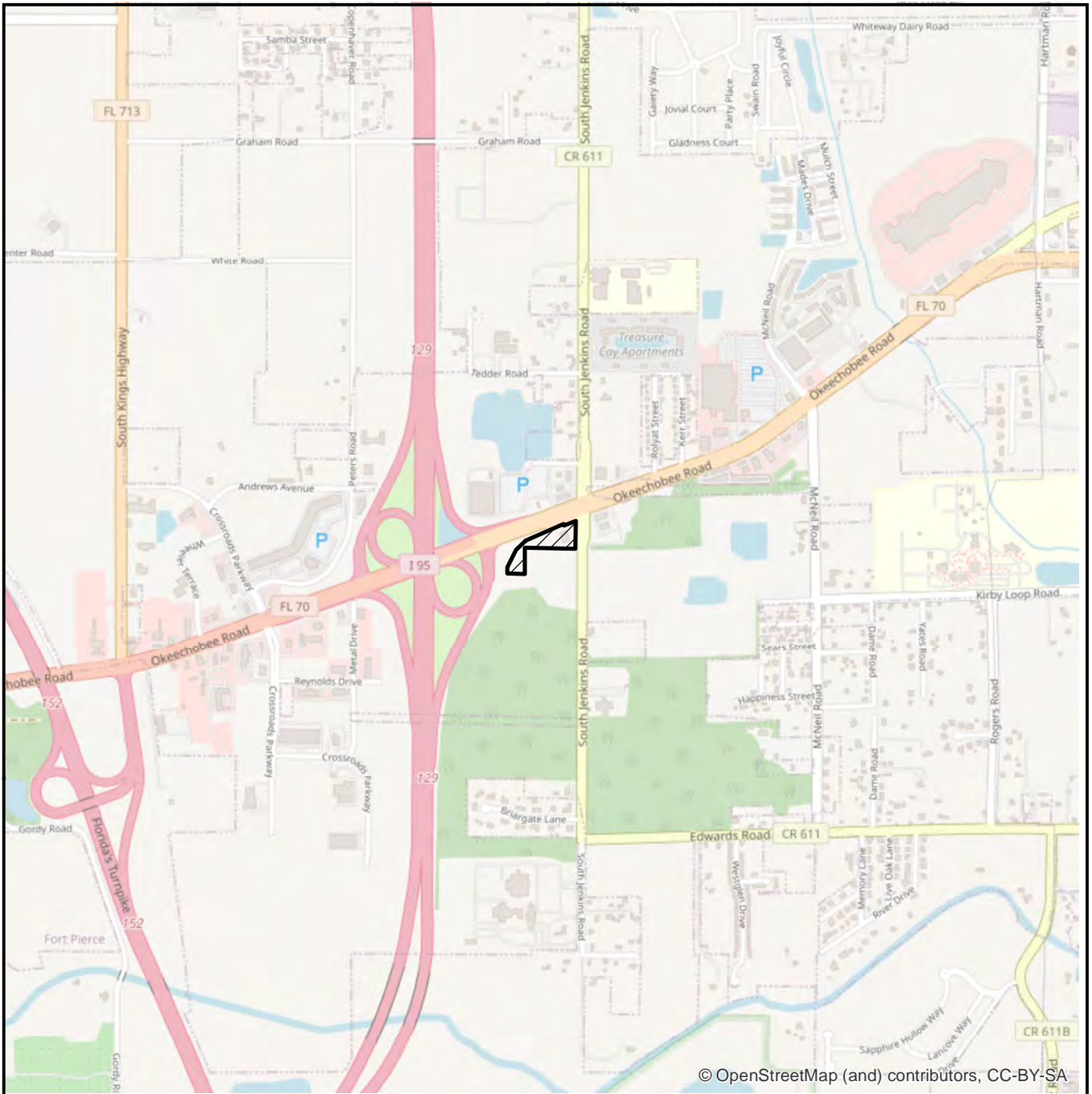
APPENDIX A

Figure 1: Location Map


Figure 2: USGS Quadrangle Map

Figure 3: 2021 Aerial Photograph

Figure 4: Land Cover/FLUCCS Map



LEGEND

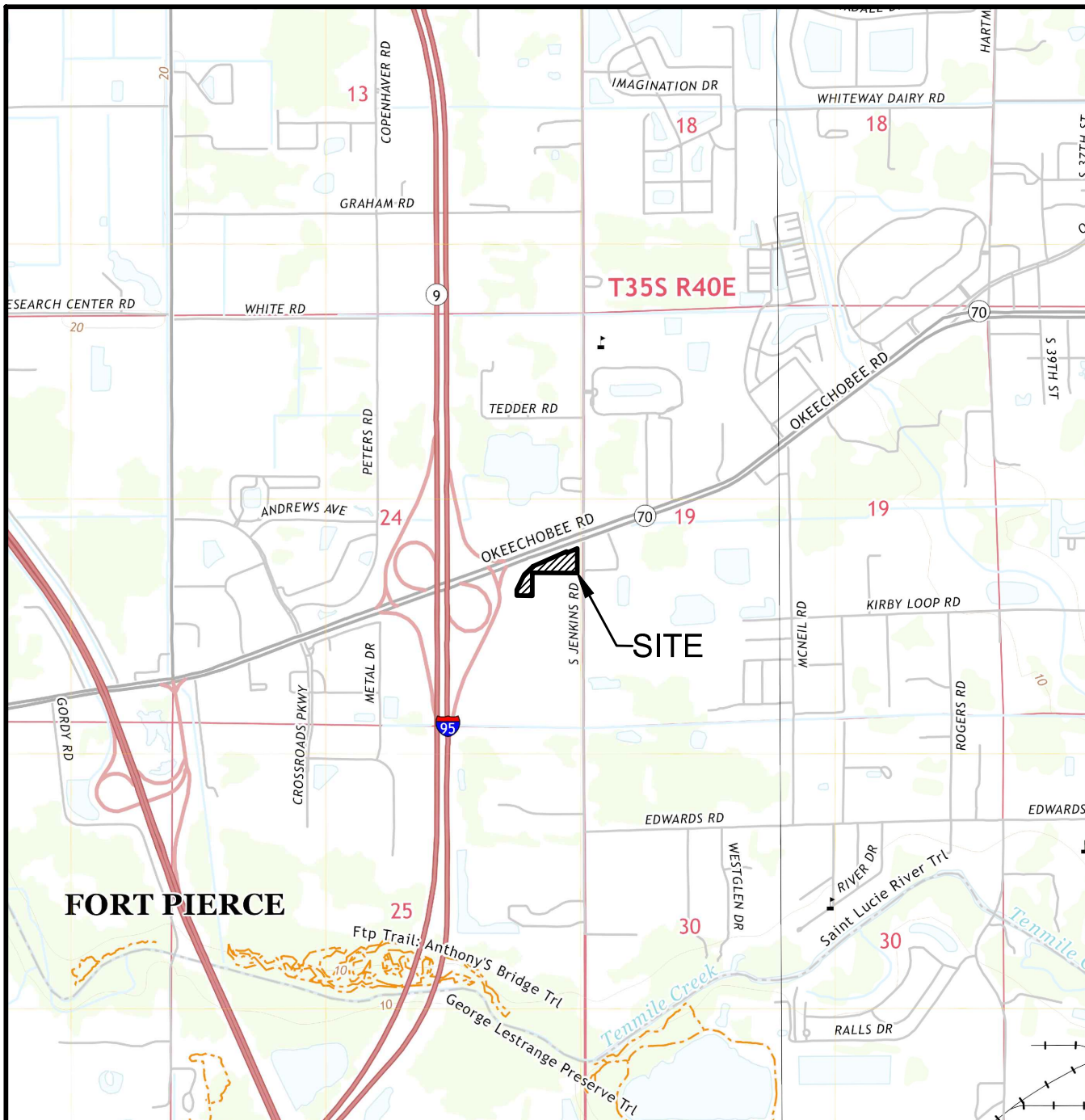
 - SITE (3.8+/- AC)

**FT PIERCE CAR WASH
LOCATION MAP**



EW CONSULTANTS, INC.
 1000 SE MONTEREY COMMONS BLVD., SUITE 208
 STUART, FL 34996
 772-287-8771 FAX 772-287-2988
 WWW.EWCONSULTANTS.COM

MAR 2023
 FIGURE
1



USGS QUAD MAP "FORT PIERCE", SECTION 24, TOWNSHIP 35 SOUTH, RANGE 39 EAST, CITY OF FORT PIERCE, ST LUCIE COUNTY, FLORIDA LATITUDE 27°24'59.83" LONGITUDE -80°23'3.26"

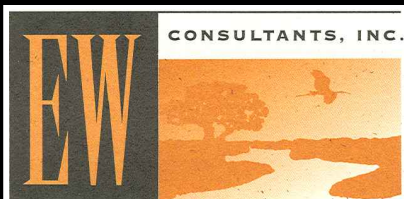
LEGEND

 - SITE (3.8± AC)



**FT PIERCE CAR WASH
QUAD**

FT Pierce Car Wash.dwg QUAD



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1000 SE MONTEREY COMMONS BLVD., SUITE 208
STUART, FL 34996
772-287-8771 FAX 772-287-2988
WWW.EWCONSULTANTS.COM

MAR 2023

FIGURE

2



FDOT AERIALS DATED 2021



FT PIERCE CAR WASH AERIAL



CONSULTANTS, INC.

EW CONSULTANTS, INC.

1000 SE MONTEREY COMMONS BLVD., SUITE 208
STUART, FL 34996

772-287-8771 FAX 772-287-2988
WWW.EWCONSULTANTS.COM

MAR 2023

FIGURE

3



FDOT AERIALS DATED 2021

LEGEND

143 - PROFESSIONAL SERVICES (1.4± AC)

437 - AUSTRALIAN PINE (0.4± AC)

740 - DISTURBED LANDS (2.0± AC)

TOTAL SITE (3.8± AC)



**FT PIERCE CAR WASH
FLUCCS**



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1000 SE MONTEREY COMMONS BLVD., SUITE 208
STUART, FL 34996
772-287-8771 FAX 772-287-2988
WWW.EWCONSULTANTS.COM

MAR 2023
FIGURE
4

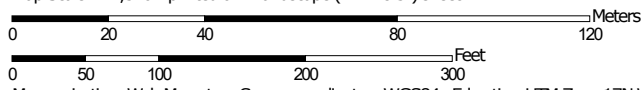
APPENDIX B

USDA Soils Report

Soil Map—St. Lucie County, Florida
(FT PIERCE CAR WASH)



Map Scale: 1:1,570 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84


Soil Map—St. Lucie County, Florida
(FT PIERCE CAR WASH)

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida

Survey Area Data: Version 16, Sep 2, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 18, 2022—Jan 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
25	Nettles and Oldsmar sands	3.8	100.0%
Totals for Area of Interest		3.8	100.0%



Florida Department of Transportation

RON DESANTIS GOVERNOR

605 Suwannee Street Tallahassee, FL 32399-0450 January 12, 2023

JARED W. PERDUE, P.E. SECRETARY

THIS PRE-APPLICATION LETTER IS VALID UNTIL – January 12, 2024 THIS LETTER IS NOT A PERMIT APPROVAL

Ryan Thomas Thomas Engineering Group, LLC 6300 NW 31st Avenue Fort Lauderdale, FL 33309

Dear Ryan Thomas:

RE: Pre-application Review for Category D Driveway, Pre-application Meeting Date: January 12, 2023 St. Lucie County - Fort Pierce; SR 70; Sec. # 94030000; MP: 21.5; Access Class - 5; Posted Speed - 45; SIS - SIS SG Connector; FDOT Ref. Project:

Request: Maintain existing access along S Jenkins Road. No proposed direct access on SR 70.

SITE SPECIFIC INFORMATION Project Name & Address: Car Wash MRE – 2671 S Jenkins Road, Fort Pierce, FL Property Owner: WestCity FP Shops LLC; Parcel Size: 3.84 Acres Development Size: One Tunnel Car Wash

REQUEST APPROVED

This decision is based on your presentation of the facts, site plan and survey - please see the conditions and comments below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

Conditions:

- Any driveway on S Jenkins Road shall be located at least 250 feet south of the SR 70 edge of pavement.

Comments:

- All driveways not approved in this letter must be fully removed and the area restored. A Drainage Permit is required for any stormwater impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). The applicant shall donate property to the Department if right-of-way dedication is required to implement the improvements. Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway System and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department’s personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. Note, this letter does not guarantee permit approval. The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: https://osp.fdot.gov; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact the Access Management Manager - Tel. # 954-777-4363 or e-mail: D4AccessManagement@dot.state.fl.us with any questions regarding the Pre-Approval Letter.

Sincerely,

Dalila Fernandez, P.E. District Access Management Manager

cc: Nesa Y. Harden

File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2023-01-12\1. 94030000 MP 21.5 SR 70_Car Wash MRE\94030 MP 21.5 SR 70_Car Wash MRE.docx



Engineering & Planning, Inc.

1172 SW 30th Street, Suite 500 • Palm City • Florida • 34990

(772) 286-8030 • www.mackenzieengineeringinc.com

March 10, 2023

Mr. Brandon Ulmer
125 West Indiantown Road, Suite 206
Jupiter, FL 33458

Re: SWC Okeechobee Rd. & Jenkins Road
Car Wash Trip Generation

Shaun G. MacKenzie P.E.
Florida License No. 61751
CA 29013

Mr. Ulmer,

MacKenzie Engineering and Planning, Inc. prepared this Traffic Impact Statement for the proposed project, SWC Okeechobee Rd. & Jenkins Rd. The existing site is 3.84 acres located at 2671 South Jenkins Road, Fort Pierce, Florida (PCN: 2324-411-0000-000-3).

Proposed Site

The proposed development plan consists of the following uses:

- Automated Car Wash – 5,035 SF (1 Car Wash Tunnel)

Traffic Generation

The trip generation rates for Automated Car Wash (ITE Land Use 948) are poorly documented with limited data contained in the Institute of Transportation Engineers' (ITE) report, Trip Generation (11th Edition). Therefore, rates adopted by Palm Beach County are used for the analysis.

The proposed project is expected to generate the following net new external trips:

- 166 daily, 12 AM peak hour (6 in/6 out), and 14 PM peak hour (7 in/7 out) trips.

Exhibit 1 presents the proposed project's trip generation.

The capacity of Jenkins Road is 880 one-way vehicles. The maximum number of vehicles entering or exiting the site is 7. Therefore, the maximum impact of the of project is 0.8 percent (7 divided by 880)

This traffic statement shows that the proposed Project Impact will be de minimis in accordance with Section 22-218 of the City Code. Therefore, the project meets Fort Pierce concurrency requirements.

Section 22-218 (b)(2)

De minimis impacts. A development which meets the following de minimis impact thresholds is also exempt from the requirements of this article, but only to the extent stated in an applicable certification of exemption:

- a. An impact that would not affect more than one percent of the maximum volume at the adopted level of service of the affected transportation facility as determined by the director of planning.

Traffic Distribution

The overall distribution is summarized by general directions and is depicted below:

NORTH	-	80 percent
SOUTH	-	20 percent

Driveways

The project site has one existing full access driveway connection to Jenkins Road opposite the existing Wawa site. An exhibit of the proposed driveway trip can be found in the Appendix of this report.

Ingress Right Turn Lane Analysis

A right-turn lane in property exists.

Conclusion

Based on Fort Pierce Code of Ordinances, the impacts of the proposed project are de Minimis.

Appendix

1. Exhibit 1. Trip Generation
2. Proposed Driveway Trips
3. Proposed Site Plan
4. Property ID
5. Palm Beach County – Automated Car Wash Trip Generator Data
6. St. Lucie TPO Traffic Counts and Level of Service Report

Exhibit 1
SWC Okeechobee & Jenkins

Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
Proposed Site Traffic								
Automated Car Wash*	1 Tunnels	166	12	6	6	14	7	7
NET PROPOSED TRIPS		166	12	6	6	14	7	7
Total Proposed Driveway Volumes		166	12	6	6	14	7	7
NET CHANGE IN TRIPS (FOR THE PURPOSES OF CONCURRENCY)		166	12	6	6	14	7	7
NET CHANGE IN DRIVEWAY VOLUMES		166	12	6	6	14	7	7

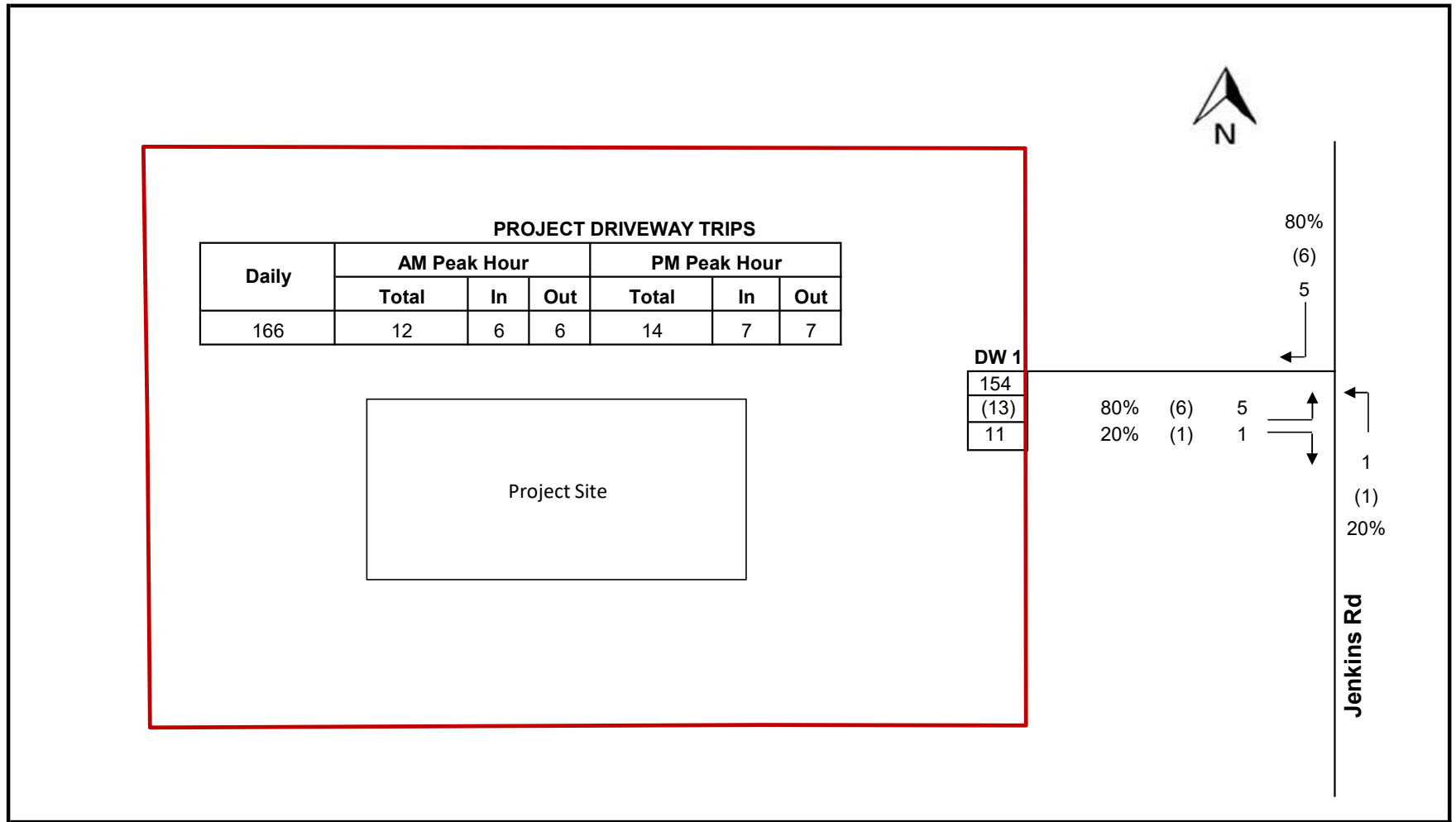
Note: Trip generation was calculated using the following data:

Land Use	ITE Code	Unit	Daily Rate	Pass-by Rate	AM Peak Hour		PM Peak Hour	
					in/out	Rate	in/out	Equation
Automated Car Wash*	948	Tunnels	166	0%	50/50	11.97	50/50	13.65

ITE 11th Edition

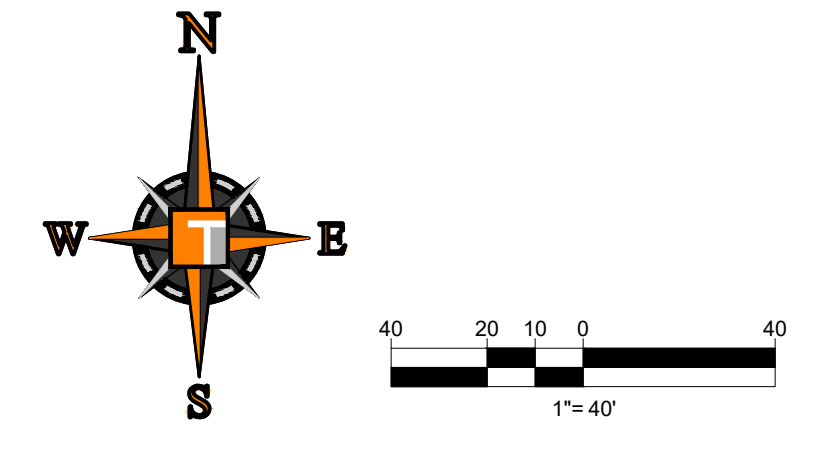
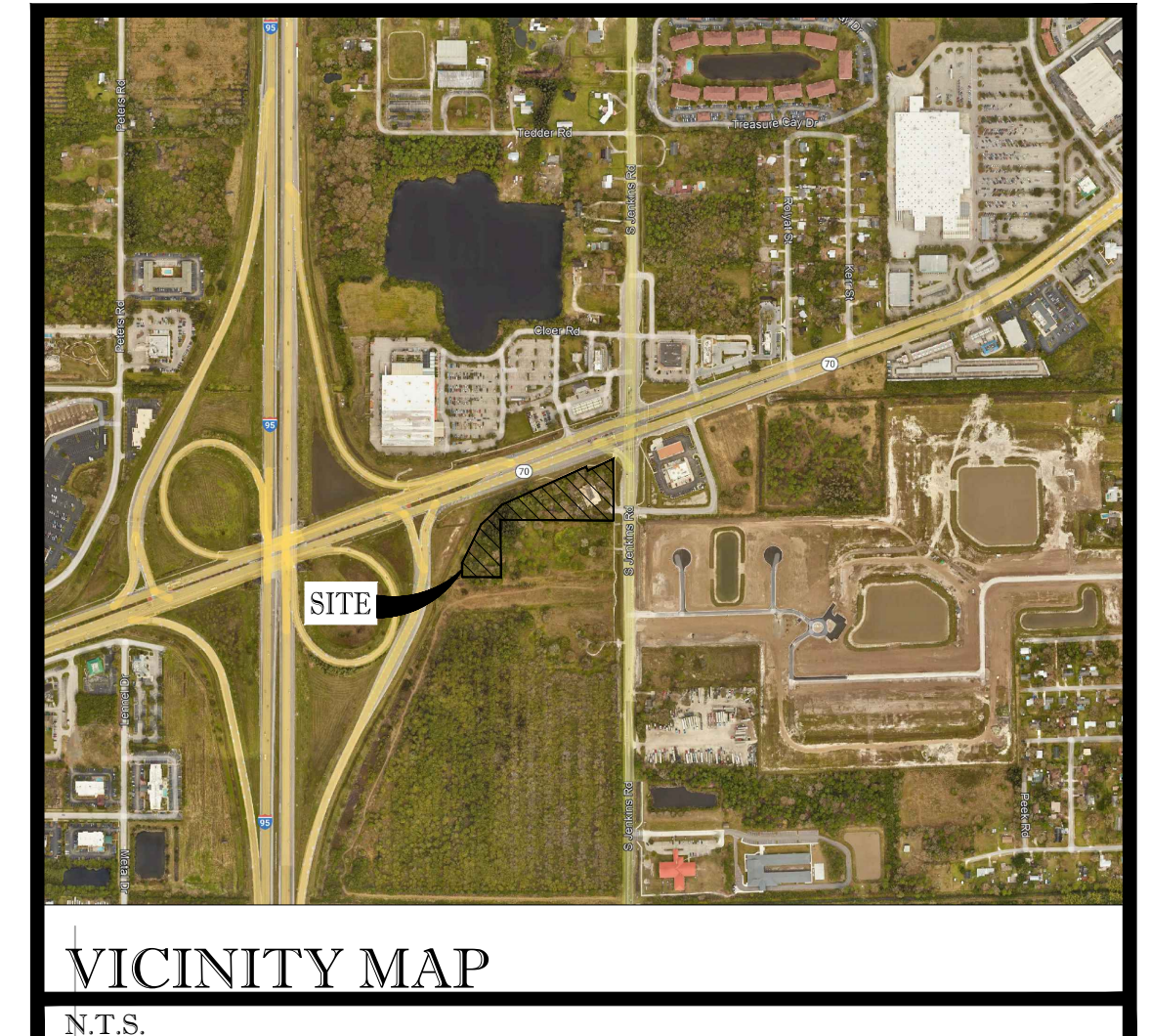
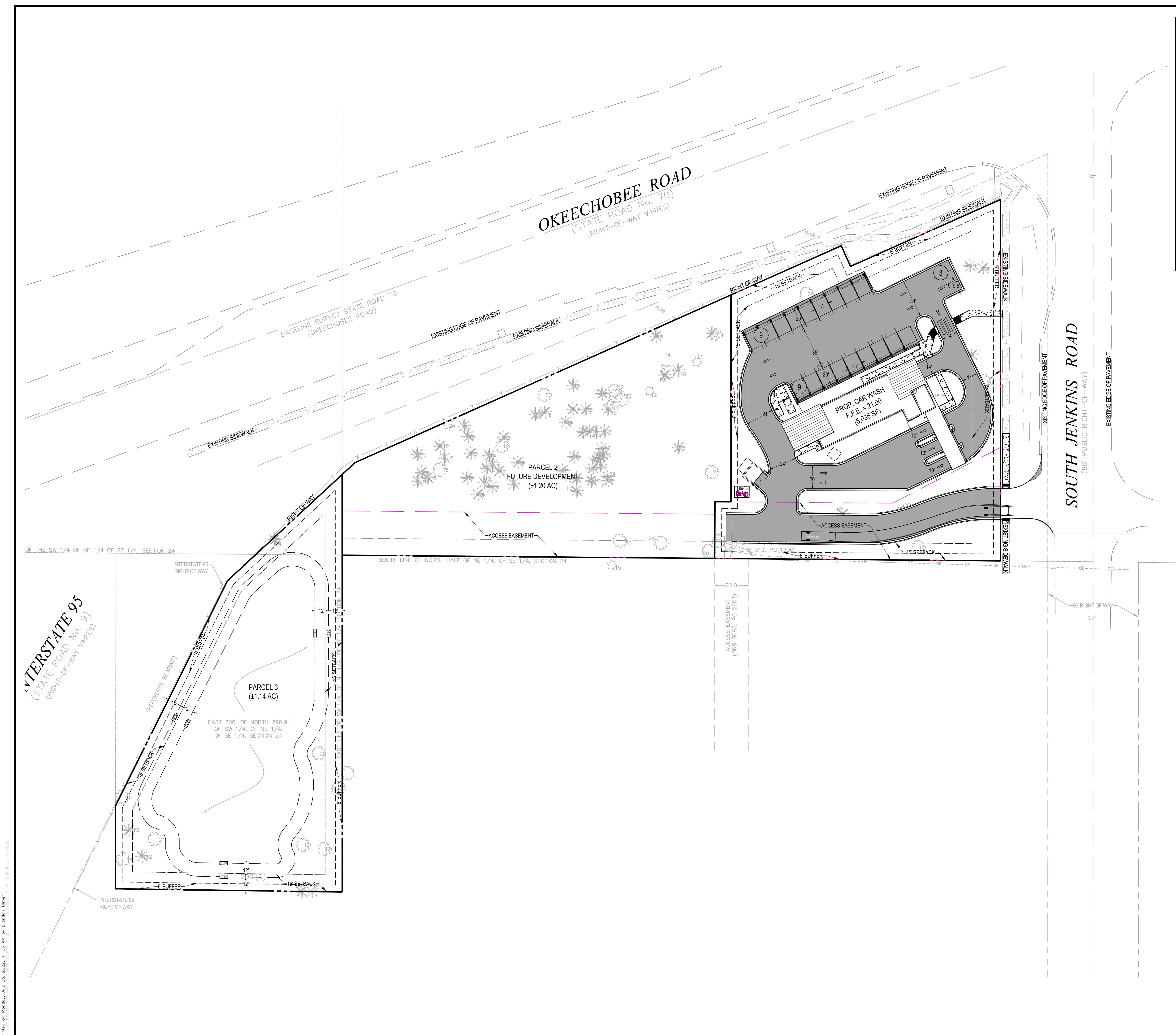
* Source - Palm Beach County

EXHIBIT 2



SWC Okeechobee & Jenkins PROPOSED PROJECT DRIVEWAY TRAFFIC

166	Total daily driveway trips
<i>(14)</i>	PM peak hour driveway trips
12	AM peak hour directional driveway trips



SITE DATA:

Local Jurisdiction: City of Fort Pierce
 Future Land Use: General Commercial
 Zoning District: C-3
 Flood Zone Classification: Flood Zone 'X'

Site Address: 2671 S. Jenkins Rd.

Total Areas	167,412.38 sf	3.84 Ac	
Parcel 1 - Car Wash	65,756.87 sf	1.51 Ac	100.00%
Impervious Area			
Building	5,035.00 sf	0.12 Ac	7.66%
Vehicular Use Area	30,951.00 sf	0.71 Ac	47.07%
Sidewalk	1,582.37 sf	0.04 Ac	2.41%
Total =	37,568.37 sf	0.86 Ac	57.13%
Pervious Area			
Landscape Area	28,188.50 sf	0.65 Ac	42.87%
Total =	28,188.50 sf	0.65 Ac	42.87%
Parcel 2 - Future Development	52,178.73 sf	1.20 Ac	100.00%
Impervious Area			
Total =	- sf	0.00 Ac	0.00%
Pervious Area			
Open Area	52,178.73 sf	1.20 Ac	100.00%
Total =	52,178.73 sf	1.20 Ac	100.00%

THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

6500 NW 31ST AVENUE | 4850 W. KENNEDY BLVD. | 125 W INDIANTOWN RD.
 JUPITER, FL 33468 | TAMPA, FL 33609 | JUPITER, FL 33468
 P: 561-203-7503 | P: 813-379-4100 | P: 561-203-7503
 F: 561-202-7000 | F: 813-379-4100 | F: 561-203-7503

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REVISIONS

REV.	DATE	COMMENT	BY
x	xxxx/xx	xxxx	xxx

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PROJECT No.:	F220037
DRAWN BY:	MIL
CHECKED BY:	BMU
DATE:	6-29-22
CAD I.D.:	SITE PLAN

PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.

FOR
MRE REAL ESTATE & INVESTMENT

CITY OF FORT PIERCE
 FLORIDA

THOMAS ENGINEERING GROUP

PEBORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD., SUITE 206
 JUPITER, FL 33468
 PH: (561) 203-7503
 FX: (561) 203-7721
 www.ThomasEngineeringGroup.com

BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 JUL 25, 2022
 FLORIDA LICENSE NO. 68345
 FLORIDA BOARD OF PROFESSIONAL ENGINEERS, No. 27528

SHEET TITLE:
SITE PLAN OVERALL

SHEET NUMBER:
C-01

Property Identification

Site Address: 2671 S JENKINS RD
Sec/Town/Range: 24/35S/39E
Parcel ID: 2324-411-0000-000-3
Jurisdiction: Fort Pierce

Use Type: 1700
Account #: 14291
Map ID: 23/24S
Zoning: General Co

Ownership

WestCity FP Shops LLC
9293 NW 15th ST
Coral Springs, FL 33071

Legal Description

24 35 39 THAT PART OF N 1/2 OF NE 1/4 OF SE 1/4 LYG S OF OKEE RD-
LESS E 40 FT RD R/W- AND E 200 FT OF N 296.9 FT OF SW 1/4 OF NE
1/4 OF SE 1/4-LESS I-95 R/W AS IN OR 267-1155- (3.84 AC - 167,270 SF)
(OR 2757-2222)

Current Values

Just/Market Value: \$1,371,200
Assessed Value: \$1,371,200
Exemptions: \$0
Taxable Value: \$1,371,200

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)



Total Areas

Finished/Under Air (SF): 6,999
Gross Sketched Area (SF): 7,362
Land Size (acres): 3.84
Land Size (SF): 167,270

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	150	160

Sources/links:

Palm Beach County Trip Generation Rates

(Must be used with traffic studies submitted to the County on or after 9/1/2022. However, immediate use is highly recommended)

Gr	Landuse	ITE Code	Unit	Daily Rate/Equation	Pass-By %	AM Peak Hour		PM Peak Hour	
						In/Out	Rate/Equation	In/Out	Rate/Equation
Retail	Nursery (Garden Center)	817	Acre	108.1	0%	50/50	2.82	50/50	8.06
	Nursery (Wholesale)	818	Acre	19.50	0%	50/50	0.23	50/50	0.36
	Landscape Services	PBC	Acre ^c	121.70	0%	40/60	34.4	58/42	15.1
	Shop Center (>150ksf)	820	1000 S.F.	37.01	24%	62/38	0.84	48/52	3.4
	Shop Plaza (40-150ksf) w/Sup Market	821	1000 S.F.	94.49	39%	62/38	3.53	48/52	9.03
	Shop Plaza (40-150ksf) w/out Sup Market	821	1000 S.F.	67.52	39%	62/38	1.73	49/51	5.19
	Strip Retail Plaza (<40ksf)	822	1000 S.F.	54.45	63%	60/40	2.36	50/50	6.59
	Automobile Sales (New)	840	1000 S.F.	27.84	15%	73/27	1.86	40/60	2.42
	Automobile Parts Sales	843	1000 S.F.	54.57	28%	55/45	2.51	48/52	4.9
	Tire Store	848	1000 S.F.	27.69	28%	64/36	2.61	43/57	3.75
Services	Supermarket	850	1000 S.F.	93.84	36%	59/41	2.86	50/50	8.95
	Pharmacy + DT	881	1000 S.F.	108.40	50%	52/48	3.74	50/50	10.25
	Drive-In Bank	912	1000 S.F.	100.35	47%	58/42	9.95	50/50	21.01
	Fine Dining Restaurant	931	1000 S.F.	83.84	44%	50/50	0.73	67/33	7.8
	High Turnover Sit-Down Rest.	932	1000 S.F.	107.2	43%	55/45	9.57	61/39	9.05
	Fast Food Restaurant w/o DT	933	1000 S.F.	450.49	45%	58/42	43.18	50/50	33.21
	Fast Food Restaurant + DT	934	1000 S.F.	467.48	49%	51/49	44.61	52/48	33.03
	Coffee/Donut Shop w/o DT	936	1000 S.F.	441.88 ^d	45%	51/49	93.08	50/50	32.29
	Coffee/Donut Shop + DT	937	1000 S.F.	533.57	49%	51/49	85.88	50/50	38.99
	Coffee/Donut Shop + DT w/No Seat	938	DT Lanes	179	49%	50/50	39.81	50/50	15.08
Gas Station w/Convenience Store ^e	FDOT	FP, 1000 S.F.	14.3*PM Trips	61%	50/50	Note f	50/50	12.3*FP+15.5*(X)	
	Carwash (Automated) ^g	PBC	Lane	166.00	0%	50/50	11.97	50/50	13.65

Footnotes

- a) Based on Daily to AM peak ratio for LUC 532 (Private School (K-12))
- b) Weekend peak hour rate = 10.36 per 1,000 s.f. with a 48/52 directional split
- c) Landscape Services acreage consists of overnight vehicle and equipment storage as well as areas (covered or uncovered) for chemicals, fertilizers, landscape materials (excluding plants) and other items needed for day-to-day operations. Not included are drive aisles, customer/employee parking, structures shared by nursery and landscape services, facilities that solely serve the onsite landscape activities or any nursery growing areas.
- d) Based on Daily to PM ratio for ITE Code 937 (Coffee Donut Shop + DT)
- e) FP=Fueling Position. Use both FP and Convenience Store size in estimating trips using the provided equation. Note that no internalization between the gas pumps and convenience store, as per ULDC Article 12, should be applied to estimate the net trips.
- f) Use PM rates
- g) Daily rate taken from PBC trip gen. study. Peak hour rates derived by applying peak to daily ratios for gas station to daily carwash rate from older ITE TGM. New PBC rate study underway.
- h) Based on PBC analysis of ITE TGM data plots

Modification History
3/2/2020: Added Landscape Services, modification history, edited formatting
7/25/2022: Updated with ITE TG Manual 11th ed information

Traffic Counts and Level of Service Report 2022

Roadway Name	Location	STATION ID	2022 AADT *	Last Physical Count Year	Pk Hr Service Capacity	AM Pk Hr Pk Dir			PM Pk Hr Pk Dir		
						Volume	LOS	V/C	Volume	LOS	V/C
I-95	OKEECHOBEE RD to ORANGE AVE	940260	65,287	2020	7,320	3,200	B	0.437	3,200	B	0.437
I-95	ORANGE AVE to INDRIO RD	941905	50,041	2020	7,320	2,690	B	0.367	2,476	B	0.338
INDIAN RIVER DR	CITRUS AVE to ORANGE AVE	945029	5,755	2020	750	285	C	0.38	326	C	0.435
INDIAN RIVER DR	ORANGE AVE to AVENUE A	940003	5,907	2020	750	295	C	0.393	287	C	0.383
INDIAN RIVER DR	AVENUE D to SEAWAY DR	940004	6,514	2020	790	329	C	0.416	387	C	0.49
INDIAN RIVER DR	AVENUE A to AVENUE D	940004	6,514	2020	540	329	D	0.609	387	D	0.717
INDRIO RD	PRIVATE RD to I-95 W RAMP	940128	1,038	2020	1,080	51	B	0.047	55	B	0.051
INDRIO RD	I-95 W RAMP to I-95 E RAMP	940128	1,038	2020	3,240	51	B	0.016	55	B	0.017
INDRIO RD	I-95 E RAMP to KOBLEGARD RD	940038	10,195	2020	3,240	527	B	0.163	554	B	0.171
INDRIO RD	KOBLEGARD RD to JOHNSTON RD	940038	10,195	2020	700	527	C	0.753	554	C	0.791
INDRIO RD	JOHNSTON RD to EMERSON AVE	940038	10,195	2020	880	527	C	0.599	554	C	0.63
INDRIO RD	EMERSON RD to SEMINOLE RD	940281	9,891	2020	920	572	C	0.622	482	C	0.524
INDRIO RD	SEMINOLE RD to KINGS HWY	940281	9,891	2020	790	572	D	0.724	482	D	0.61
INDRIO RD	KINGS HWY to SLASH PINE TRL	114	5,901	2019	790	377	C	0.477	369	C	0.467
INDRIO RD	SLASH PINE TRL to US 1	114	5,901	2019	920	377	C	0.41	369	C	0.401
INDRIO RD	US 1 to OLD DIXIE HWY	672	1,300	2022	750	91	C	0.121	123	C	0.164
FENNINGS RD	US 1 to FENNARD RD	673	5,500	2022	2,100	364	C	0.173	297	C	0.141
JENKINS RD	EDWARDS RD to OKEECHOBEE RD	133	10,193	2020	880	480	C	0.545	525	C	0.597
JENKINS RD	OKEECHOBEE RD to GRAHAM RD	131	10,669	2020	920	558	C	0.607	564	C	0.613
JENKINS RD	GRAHAM RD to PETERSON RD	131	10,669	2020	630	558	C	0.886	564	C	0.895
JENKINS RD	PETERSON RD to ORANGE AVE	131	10,669	2020	920	558	C	0.607	564	C	0.613
JOHNSTON RD	ANGLE RD to L20	674	2,800	2022	1,070	190	B	0.178	184	B	0.172
JOHNSTON RD	L20 to MEADOWOOD DR	675	2,500	2022	1,070	159	B	0.149	154	B	0.144
JOHNSTON RD	MEADOWOOD DR to OLD JOHNSTON RD	675	2,500	2022	1,070	159	B	0.149	154	B	0.144
JOHNSTON RD	OLD JOHNSTON RD to INDRIO RD	675	2,500	2022	1,070	159	B	0.149	154	B	0.144

* **NOTE:** A six digit number in the "STATION ID" column identifies segment counted by FDOT

* Volumes shown were adjusted using FDOT Seasonal Factors

* AADT = Annual Average Daily Traffic (volumes for both directions where applicable)

* **NOTE:** If the Last Count Year is older than the year of the report, the AADT is projected from historical traffic count data.

* **Counts with an ID format of 6 digits have data extracted from FDOT count stations.**



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding



DESIGN REVIEW

Property Information

Property address or Location _____

Parcel ID #(s) _____

Project description _____

 Property Owner(s)

 Applicant/Representative, Title, Company

 Street Address

 Street Address

 City State Zip

 City State Zip

 Phone Number

 Phone Number

 Email Address

 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

 Property Owner(s) Signature(s)

Kenneth H. Simigran, Managing Member

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

Design Review Application Checklist **(City Code of Ordinances 125-314)**

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
□	5	L31	SINGLE	1.000	11475	75	NTA-A-NM-T4-11L-57K-UL-CS & NTA-DA-CS
■	2	L32-180	2 @ 180°	1.000	11475	75	NTA-A-NM-T4-11L-57K-UL-CS & NTA-DA-CS
■	1	L33	3 @ 90°	1.000	11475	75	NTA-A-NM-T4-11L-57K-UL-CS & NTA-DA-CS

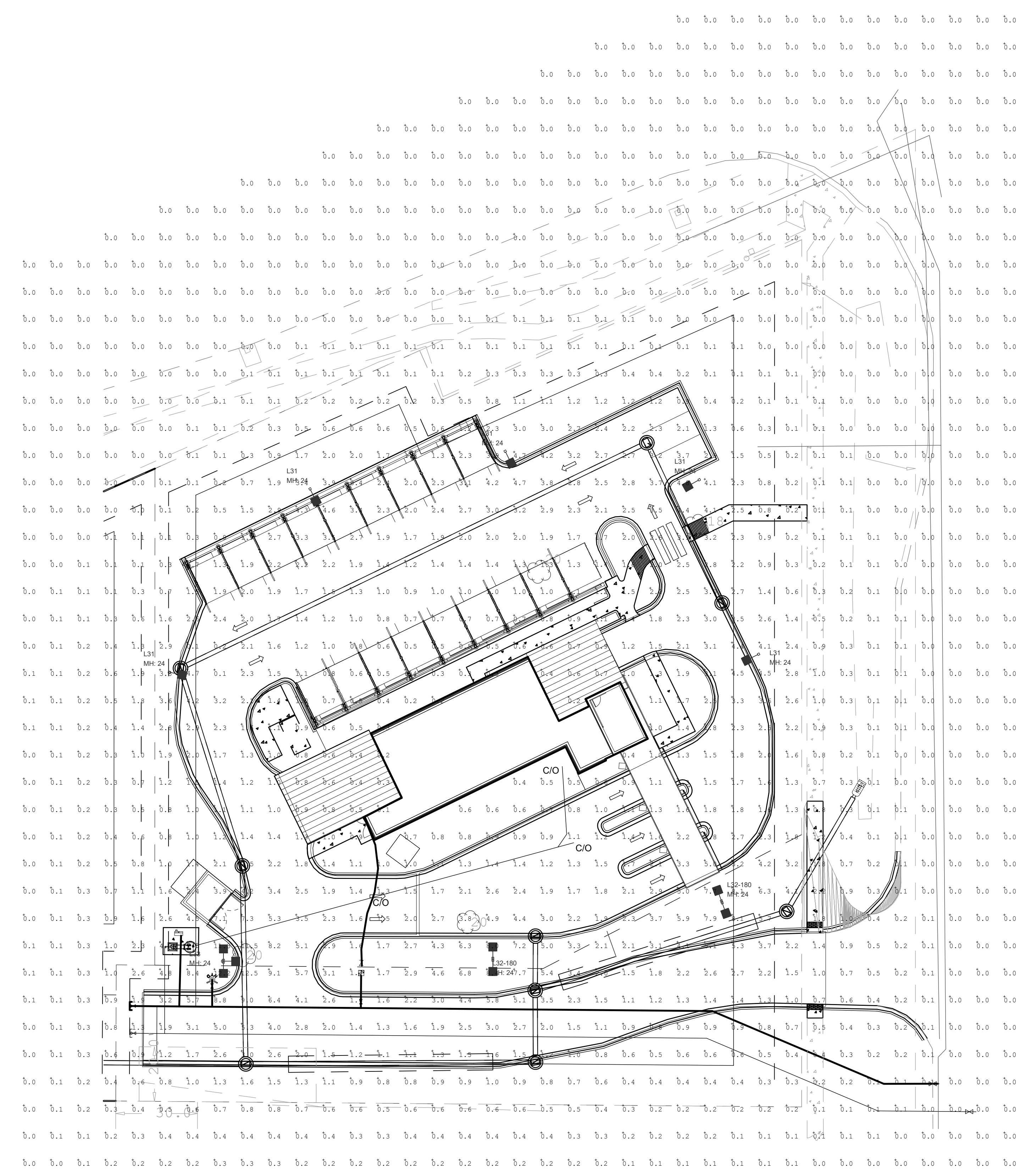
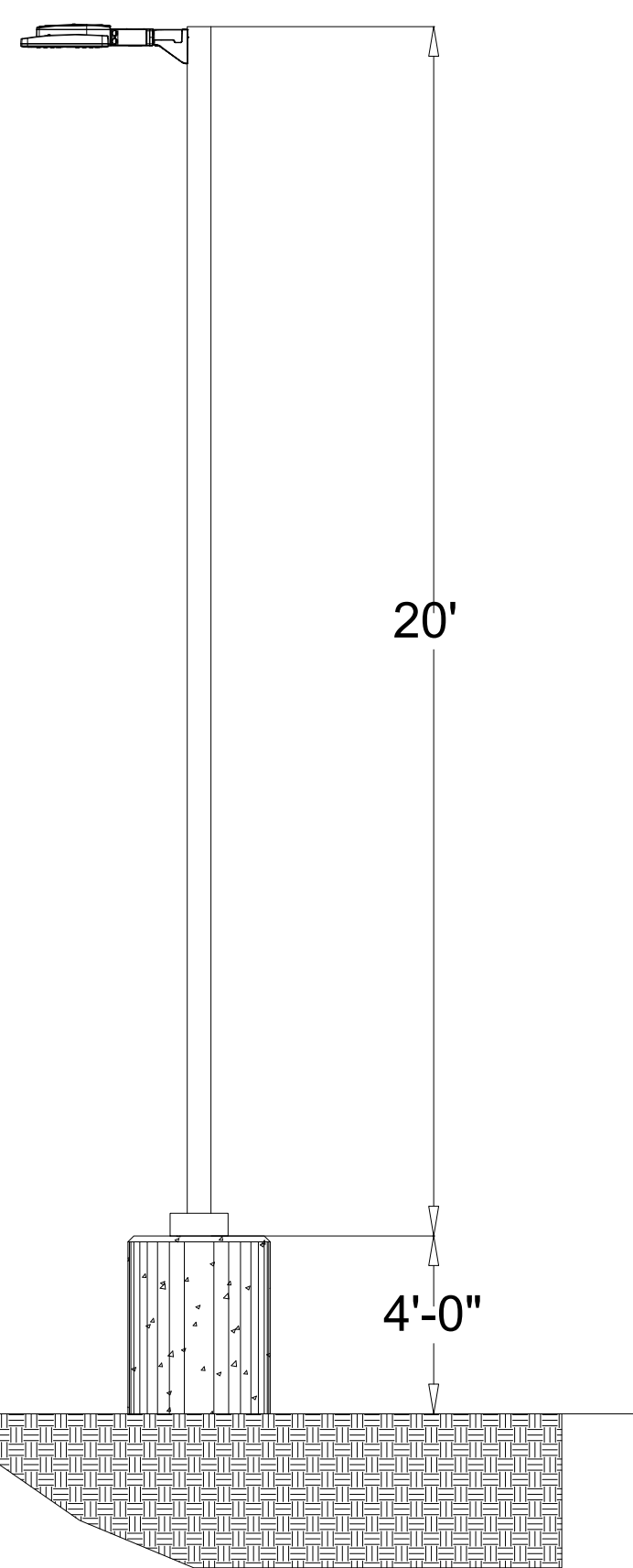
Calculation Summary: 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.92	12.5	0.0	N.A.	N.A.
Paved Parking	Fc	2.28	12.5	0.1	22.80	125.00

Concrete Poles by Others: 24' Mounting Height

Additional Equipment:
 (8) - CL-TTF(90) - (Concrete Pole Adaptor)
 (12) - NTA-DA-CS - (Direct Arm Mount)

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***

Noctura Series



CREE LIGHTING

IDEAL INDUSTRIES, INC.
 81 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-6800

Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: Car Wash - 2671 S. Jenkins Rd. Fort Pierce, FL 34981 - EXT

Case #: 00532439

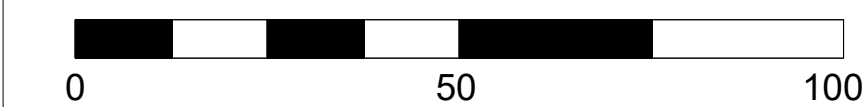
Footcandles calculated at grade

Filename: RJ221219FPFLCW.AGI

Layout By:
Collin Witherow

Date: 12/19/2022

Scale 1" = 25'



ELEVATIONS BASED ON NAVD '88

THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
 6800 NW 31ST AVENUE | 4950 W. KENNEDY BLVD. | 125 W. INDIANTOWN RD.
 JUPITER, FL 33468 | JUPITER, FL 33468 | JUPITER, FL 33468
 P: 561-203-7503 | P: 561-203-7503 | P: 561-203-7503

REVISIONS			
REV.	DATE	COMMENT	BY

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PROJECT No.:	F220037
DRAWN BY:	MJL
CHECKED BY:	BMU
DATE:	6-29-22
CAD I.D.:	RJ221219FPFLCW

PROJECT:
SWC OKEECHOBEE RD. & JENKINS RD.

FOR
MRE REAL ESTATE & INVESTMENT

CITY OF FORT PIERCE
 FLORIDA

THOMAS ENGINEERING GROUP
 PEBWORTH PROFESSIONAL PLAZA
 125 W. INDIANTOWN RD, SUITE 206
 JUPITER, FL 33468
 PH: (561) 203-7503
 FX: (561) 203-7721
 www.ThomasEngineeringGroup.com

BRANDON UEMER
 No. 68345
 PROFESSIONAL ENGINEER
 March 29, 2023
 FLORIDA BOARD OF PROFESSIONAL ENGINEERS, License No. 27528

SHEET TITLE:
PHOTOMETRICS PLAN

SHEET NUMBER:
C-11

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