

SCPE

**STEPHEN COOPER, P.E.
& ASSOCIATES, INC.**

~CONSULTING ENGINEER~

• CIVIL ENGINEERING • SITE PLANNING • ENVIRONMENTAL PERMITTING

7450 S. Federal Highway • Port St. Lucie, FL 34952

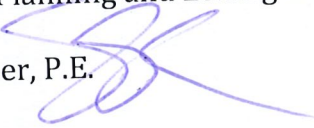
Phone: 772-336-2933 • Fax: 844-649-1426

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00008856

scooper@scpeinc.com

TRANSMITTAL

TO: City of Ft. Pierce Planning and Zoning Department

FROM: Stephen Cooper, P.E. 

DATE: June 22, 2023

SUBJECT: Site Plan Application Submittal for Heyden Supply

Please find the following documents in support of our electronic submittal;

- Two (2) Copies of the completed Site Plan Application
- Two (2) Copies of the Recorded Deed
- Two (2) Copies Property Card
- Two (2) Copies of the Existing Approved Site Plan
- Two (2) Copies Owner Authorization
- Two (2) Copies Proposed Site Plan – Signed and Sealed
- Two (2) Copies Architectural Schematics
- Two (2) Copies Color Pictures of Similar Structures
- Two (2) Copies of the Project Description
- Two (2) Copies Existing/Active SFWMD Permit

Please process our request for site plan approval for the July 20 TRC.



DEVELOPMENT REVIEW

Property Information

Property address or Location 1121 Digorgio RD
 Parcel ID #(s) 2428-421-0002-000-7
 Project description Construct a planned building per previous approved site plan.

Application Type

- Site Plan Conditional Use w/New Construction Conceptual Development Plan
 Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: 15000 Site Acreage: 13.84
Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Lanier Holdings, LLC

Property Owner(s)
575 James Road
 Street Address
Alpharetta GA 30004
 City State Zip
678-626-1995
 Phone Number
mike@heydensupply.com
 Email Address

Stephen Cooper, P.E. & Associates, Inc.

Applicant/Representative, Title, Company
7450 S Federal Highway
 Street Address
Fort Pierce FL 34952
 City State Zip
772-336-2933
 Phone Number
scooper@sceinc.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Mike Heyden
 Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS
 CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM
 For more information, please refer to the website:
<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>



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Phone: 772-336-2933 • Fax: 844-273-5465

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00008856

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**Heyden Supply
Proposed Building and Pad**

PROJECT DESCRIPTION

The purpose of the site plan amendment is to construct a 15,000 sf open building addition and concrete pad over a previously planned portion of the approved the approved site plan. The approved site plan shows the general location as planned for a 20,000 sf closed building (Building 3) and the adjacent subject area as future asphalt.

The water, sewer infrastructure is already in place (FPUA). The proposed building does not have any proposed water or sewer connections.

The project has an existing stormwater management system in place that would serve the project, as previously planned, permitted, constructed and certified.

Requesting an administrative approval to proceed.

This instrument is to be returned to:
Liberty Title Company of America, Inc.
1800 SE Port St. Lucie Blvd
Port St. Lucie, FL 34952

Property Appraiser's Parcel I.D. (folio) Number:
2428-421-0002-000-7

WARRANTY DEED

THIS WARRANTY DEED dated ~~January 4~~ January 4, 2023 by **JK Hibs, LLC**, a Florida limited liability company, existing under the laws of Florida, and having its principal place of business at 4420 Beacon Circle, West Palm Beach, FL 33407 (the "Grantor") to **Lanier Holdings, LLC**, a Georgia limited liability company, existing under the laws of Georgia, and having its principal place of business at 575 James Road, Alpharetta, GA 30004 (the "Grantee").

(Whenever used herein the term "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH, that the Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situated in St. Lucie County, Florida, viz:

Being a parcel of land lying in Section 28, Township 35 South, Range 40 East, St. Lucie County, Florida, said parcel of land being a portion of the following described lands:

Commencing at the Southwest corner of the Southeast quarter of Section 28, Township 35 South, Range 40 East, run North 00°04'31" West, along the West line of said Southeast quarter, 33.00 feet to the Point of Beginning. From the Point of Beginning continue North 00°04'31" West, along aforesaid West line of the Southeast quarter and also the East line of Sunrise Homesites Subdivision, as recorded in Plat Book 13, page 14, of the Public Records of St. Lucie County, Florida and Maravilla Heights Subdivision, as recorded in Plat Book 5, page 1, of the Public Records of St. Lucie County, Florida, 2539.68 feet; thence run South 87°52'40" East, a distance of 1195.19 feet; thence run South 01°17'21" West, a distance of 1109.50 feet; thence run South 02°31'30" East, a distance of 1464.06 feet, to the North right-of-way of Bell Avenue, as recorded in Deed Book 215, page 421, Public Records of St. Lucie County, Florida; thence run North 89°26'45" West along said right-of-way, 1233.03 feet to the Point of Beginning.

Said portion being more particularly described as follows:

Commence at the Southwest corner of the Southeast one-quarter of said Section 28; thence North 00°06'20" West, along the West line of the Southeast one-quarter of said Section 28 and the East line of the Sunrise Homesites Subdivision, as recorded in Plat Book 13, page 14, of the Public Records of St. Lucie County, Florida, a distance of 1833.90 feet to the Point of Beginning; thence continue North 00°06'20" West, along the East line of said Sunrise Homesites Subdivision and the East line of Maravilla Heights Subdivision, as recorded in Plat Book 5, page 1, of the Public Records of St. Lucie County, Florida, a distance of 738.09 feet, to a point in the Southerly line of North St. Lucie Water Control District Canal No. 10; thence South 88°00'40" East, along said Southerly right-of-way line, a distance of 832.45 feet; thence South 00°07'13" East, a distance of 710.90 feet; thence North 89°52'56" West, a distance of 832.08 feet to the Point of Beginning.

SUBJECT TO easements, restrictions, reservations and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

This instrument is to be returned to:
Liberty Title Company of America, Inc.
1800 SE Port St. Lucie Blvd
Port St. Lucie, FL 34952

Property Appraiser's Parcel I.D. (folio) Number:
2428-421-0002-000-7

TO HAVE AND TO HOLD the same in Fee Simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2022.

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

R. Daniels
Witness Signature
Name: Rebecca Daniels

JK Hibs, LLC
a Florida limited liability company

By: *JM Clary*
James M. Clary, III, Manager

J. Casteleyn
Witness Signature
Name: JONATHAN CASTELEYN

STATE OF FLORIDA
COUNTY OF Martin

THE FOREGOING INSTRUMENT was acknowledged before me by means of physical presence or online notarization, this 4 day of January, 2023, by James M. Clary III, as Manager of and on behalf of JK Hibs, LLC, who is personally known to me, or produced _____ as identification.

[AFFIX NOTARY SEAL]



J. Casteleyn
Notary Public Signature
Print Notary Name:
My commission expires:
6/26/2026

Property Identification

Site Address: 1121 Digiorgio RD
Sec/Town/Range: 28/35S/40E
Parcel ID: 2428-421-0002-000-7
Jurisdiction: Fort Pierce

Use Type: 4300
Account #: 168474
Map ID: 24/28S
Zoning: Light Indu

Ownership

LANIER HOLDINGS LLC
575 James RD
Alpharetta, GA 30004

Legal Description

28 35 40 FROM SW COR OF SE 1/4 RUN N 02 49 59 W ALG W LI OF SE 1/4 1826.84 FT TO POB:TH CONT N 02 49 59 W 738.08 FT TO SLY LI OF NSLWDC NO. 10, TH N 89 00 20 E ALG SLY LI 832.51 FT,TH S 00 45 03 E ALG WLY LI 711.33 FT,TH S 87 10 01 W 831.93 FT TO POB (13.84 AC)

Current Values

Just/Market Value: \$3,001,300
Assessed Value: \$3,001,300
Exemptions: \$0
Taxable Value: \$3,001,300

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)



Total Areas

Finished/Under Air (SF): 40,319
Gross Sketched Area (SF): 70,624
Land Size (acres): 13.84
Land Size (SF): 602,870

Building Design Wind

Speed

| Occupancy Category | I | II | III |
|--------------------|-----|-----|-----|
| Speed | 140 | 160 | 160 |

Sources/links:

Owner/Applicant Signature Authorization

Project Name: Heyden Supply

Application and/or Permit # (if available): City of Fort Pierce

I hereby designate and authorize the agent listed below to act on my behalf, or on behalf of my corporation, as the agent in the processing of this application for the permit and/or proprietary authorization indicated above; and to furnish on request supplemental information in support of this application. In addition, I authorize the below-listed agent to bind me, or my corporation, to perform any requirement which may be necessary to procure the permit or authorization.

I understand that knowingly making any false statement or representation in this application is a violation of Section 373.430, F.S. and 18 U.S.C Section 1001.

Printed Name of Authorized Agent: Stephen Cooper P.E., SCPE

Signature of Authorized Agent: Stephen Cooper
Digitally signed by Stephen Cooper
DN: cn=Stephen Cooper, o=SCPE, ou=
scpe@cooper@scpe.com, c=US
Date: 2023.06.03 13:08:25 -0400

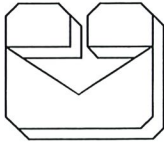
Date: 06/06/2023

Typed/Printed Name of Owner/Applicant: Lanier Holdings, LLC Mike Heyden

Corporate Title if Applicable: Manager & Member

Signature of Owner/Applicant: Mike Heyden

Date: 6/12/23



KIRBY BUILDING SYSTEMS

A NUCOR COMPANY

PROJECT NUMBER: K18-23003-R3-A1

PROJECT NAME: Heyden Supply Bldg. #3

PROJECT LOCATION: Fort Pierce, FL COUNTY: St Lucie

CUSTOMER: RF Concrete Construction Vero Beach, FL



PROJECT LOADS

DESIGN CODE: FEB 2020 BUILDING END USE: 2B
ROOF LIVE LOAD: 20 PSF MBMA OCC. CLASS: II - Standard Building
GROUND SNOW LOAD: 0 PSF SNOW EXP. FACTOR: 1
WIND: 160 WIND IMPORTANCE FACTOR: 1
EXPOSURE: C WITHIN HURRICANE COASTLINE YES NO
UL 90 YES NO RAIN INTENSITY (in/hr) 1/4

SEISMIC INFORMATION: Seis.05, S1:0.029
Design Sdr/Sd1: Site Class: D
Seismic Imp. Factor: 1. Seismic Design Category:
Analysis Procedures: Equivalent Lateral Force Method
Basic SEFS:

NOTES:
1) COLLATERAL DEAD LOADS, UNLESS OTHERWISE NOTED, ARE ASSUMED TO BE...
2) THE DESIGN OF STRUCTURAL MEMBERS SUPPORTING CHIMNEY LOADS IS CONTROLLED BY THE MORE CRITICAL EFFECT OF ROOF LIVE LOAD OR ROOF SNOW LOAD, AS DETERMINED BY THE APPLICABLE CODE.

Table with columns: BUILDING, ROOF DEAD (PSF), PER. DEAD (PSF), SEC. DEAD (PSF), SNOW CH, WIND CH, WIND DESIGN CATEGORY, SEISMIC CH, BASE SHEAR (KIPS)

NOTES AND SPECIFICATIONS

BUILDING ERECTION NOTES

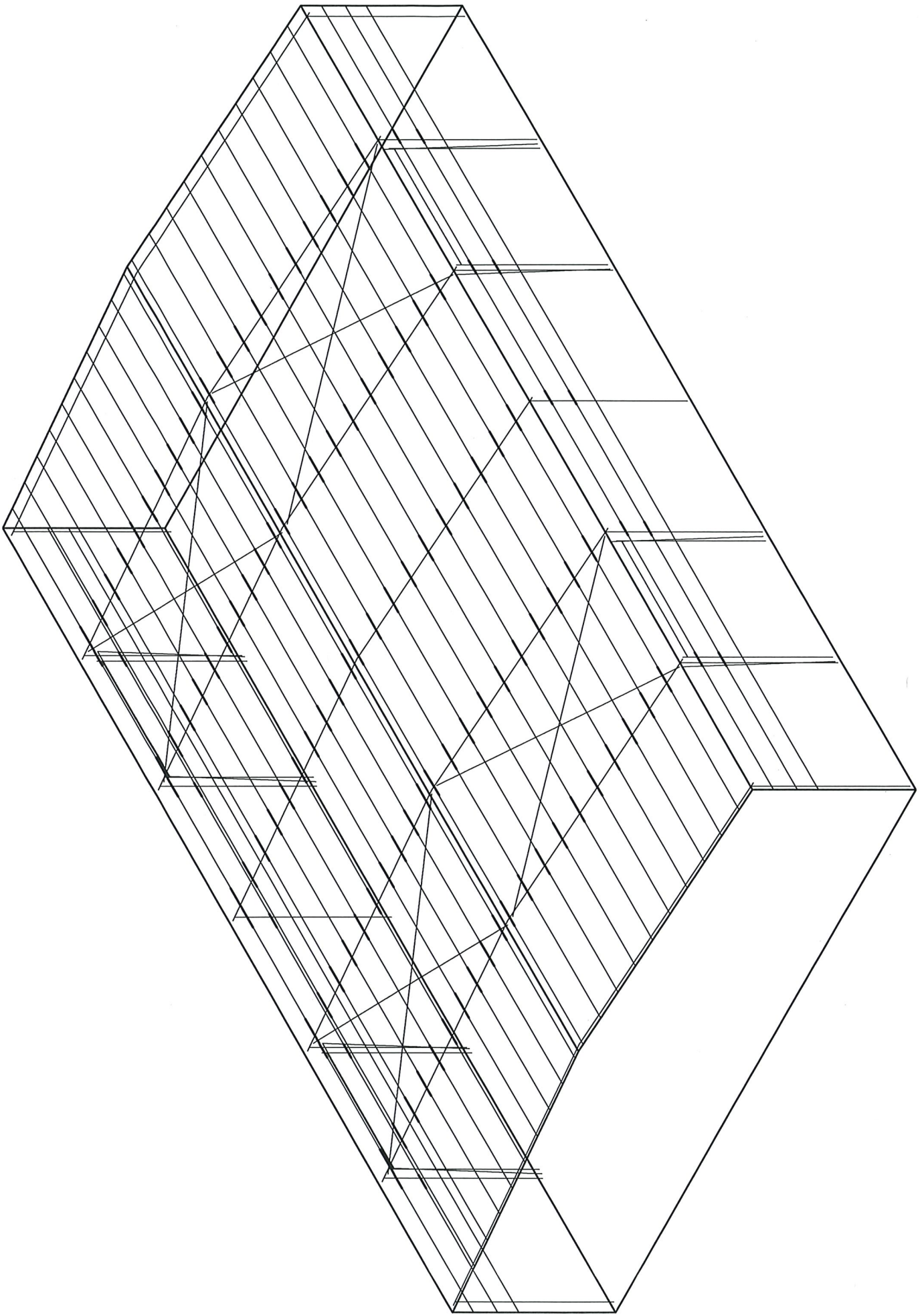
- 1) THE GENERAL CONTRACTOR AND/OR ERECTOR IS RESPONSIBLE TO VERIFY AND...
2) ALL HIGH STRENGTH BOLTS ARE TYPE A325 AND ARE TO BE INSTALLED...
3) ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS...
4) WORKERS ARE REQUIRED AT ALL SLOTTED CONNECTIONS AS FOLLOWS...
5) THE METAL BUILDING SUPPLIER SHALL BE NOTIFIED PRIOR TO ANY...
6) ALL WELDING SHALL BE APPROVED BY THE METAL BUILDING SUPPLIER...
7) DIMENSIONAL TOLERANCES:
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GENERAL DESIGN NOTES AND MATERIAL SPECIFICATIONS

- 1) ALL WELDING SHALL BE APPROVED BY THE METAL BUILDING SUPPLIER...
2) ALL WELDING SHALL BE APPROVED BY THE METAL BUILDING SUPPLIER...
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18) ALL WELDING SHALL BE APPROVED BY THE METAL BUILDING SUPPLIER...
19) ALL WELDING SHALL BE APPROVED BY THE METAL BUILDING SUPPLIER...
20) ALL WELDING SHALL BE APPROVED BY THE METAL BUILDING SUPPLIER...

Table with columns: MATERIAL, SPECIFICATION, COMMENTS





DO NOT USE FOR FINAL CONSTRUCTION

SHEET TITLE: 6/5/2023 3:37 PM

FORT PIERCE, FL

HEYDEN SUPPLY BLDG. #3

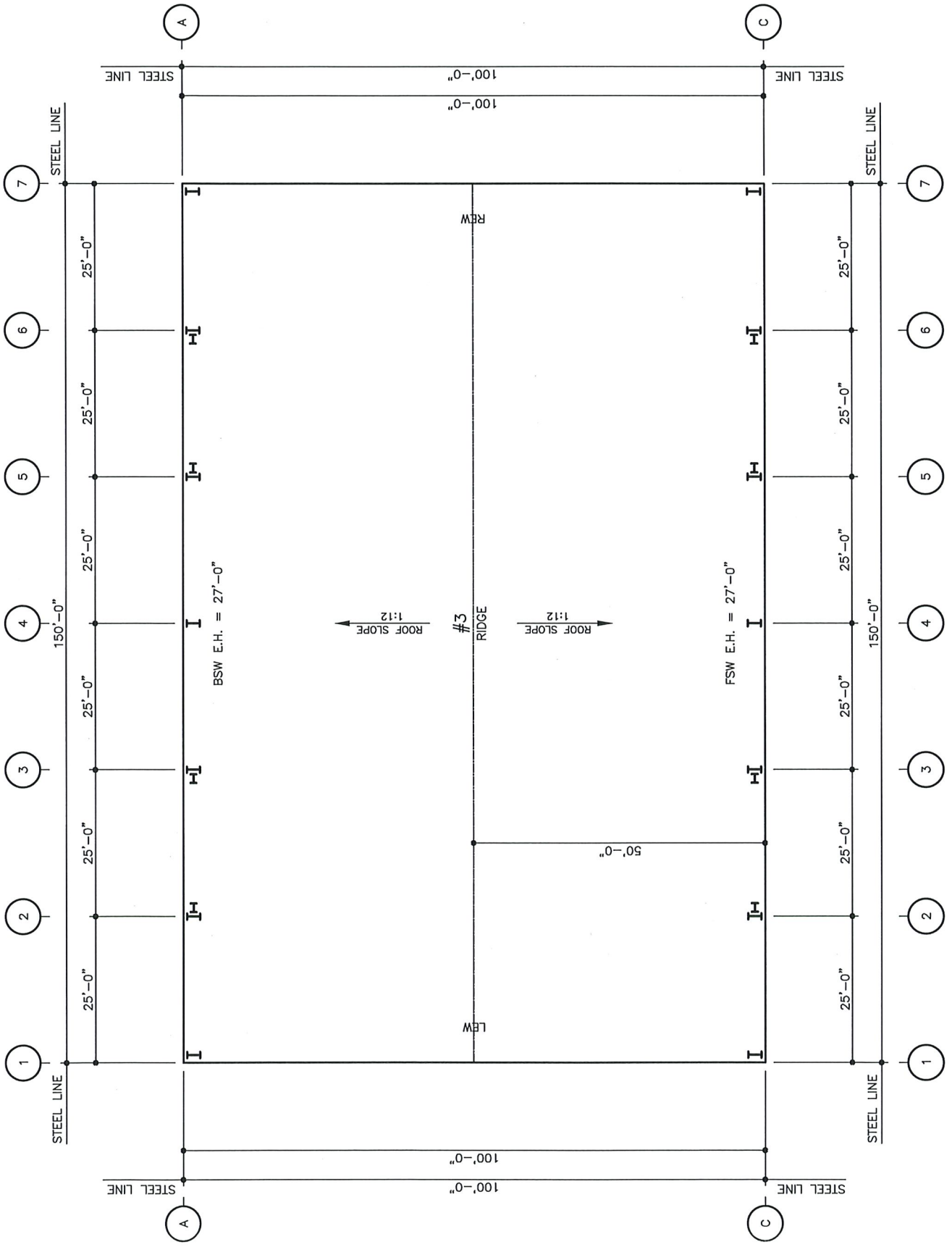
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PRELIMINARY FLOOR PLAN

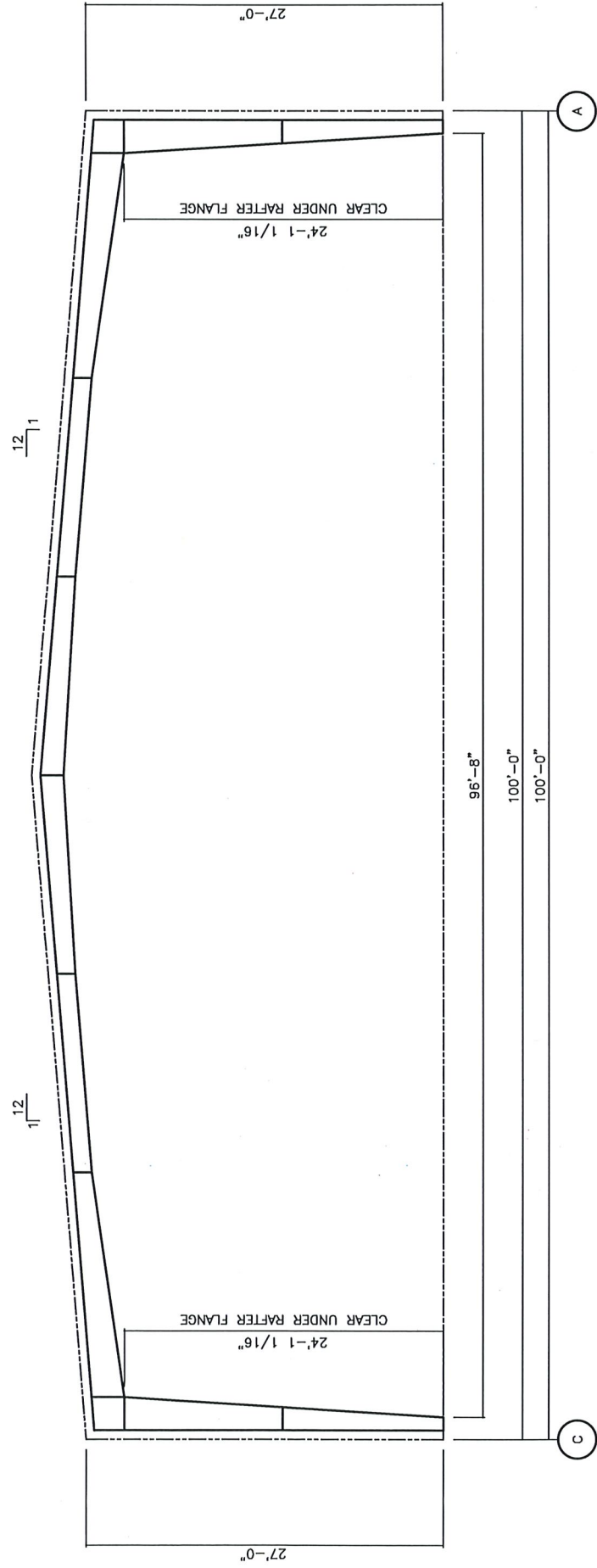
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RF CONCRETE CONSTRUCTION

SHEET NUMBER: FD1



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FRAME @ LINE(S) 1,7

*ALL CLEAR DIMENSIONS ARE SUBJECT TO CHANGE AT TIME OF FINAL DESIGN,
 UNLESS NOTED OTHERWISE IN THE SPECIAL USER NOTES SECTION.

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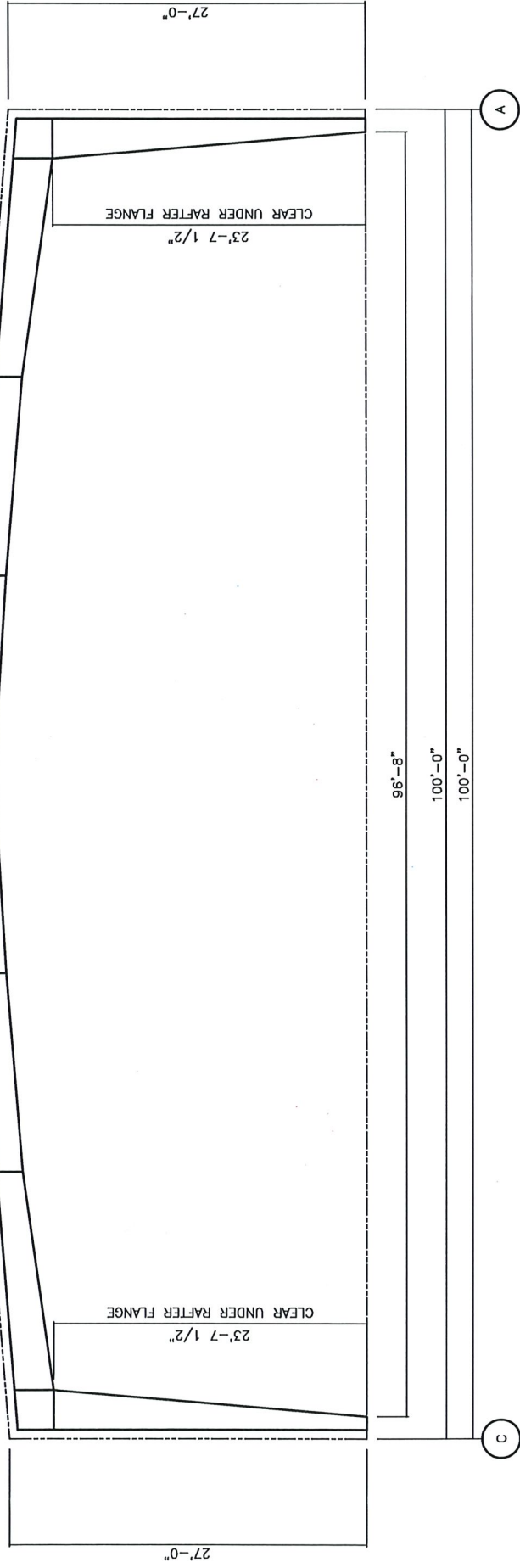
PRELIMINARY FRAME CROSS SECTIONS

CUSTOMER NAME: FORT PIERCE, FL

PROJECT NAME: HEYDEN SUPPLY BLDG. #3

RF CONCRETE CONSTRUCTION

SHEET NUMBER: 18-27003-R3-A



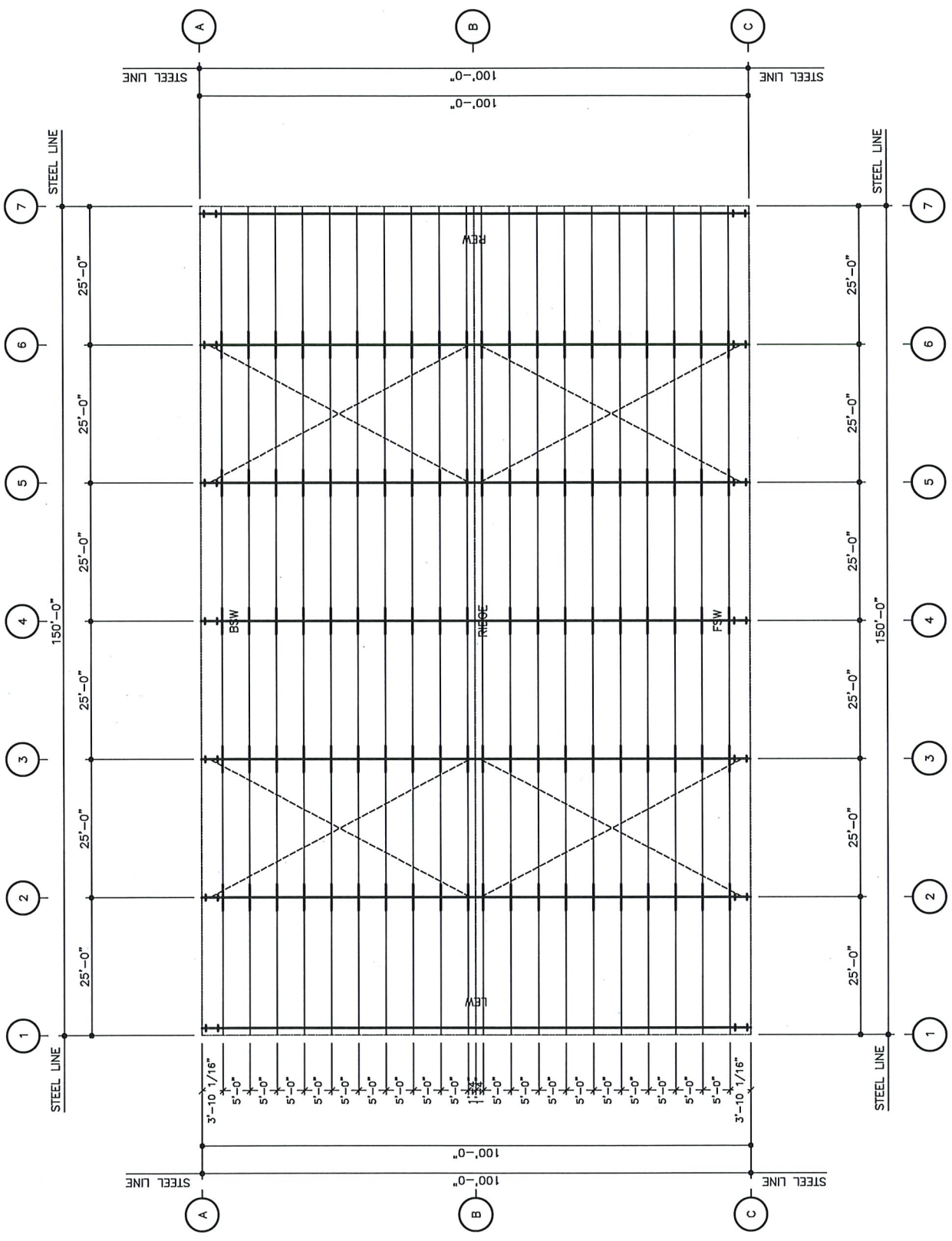
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*ALL CLEAR DIMENSIONS ARE SUBJECT TO CHANGE AT TIME OF FINAL DESIGN, UNLESS NOTED OTHERWISE IN THE SPECIAL USER NOTES SECTION.

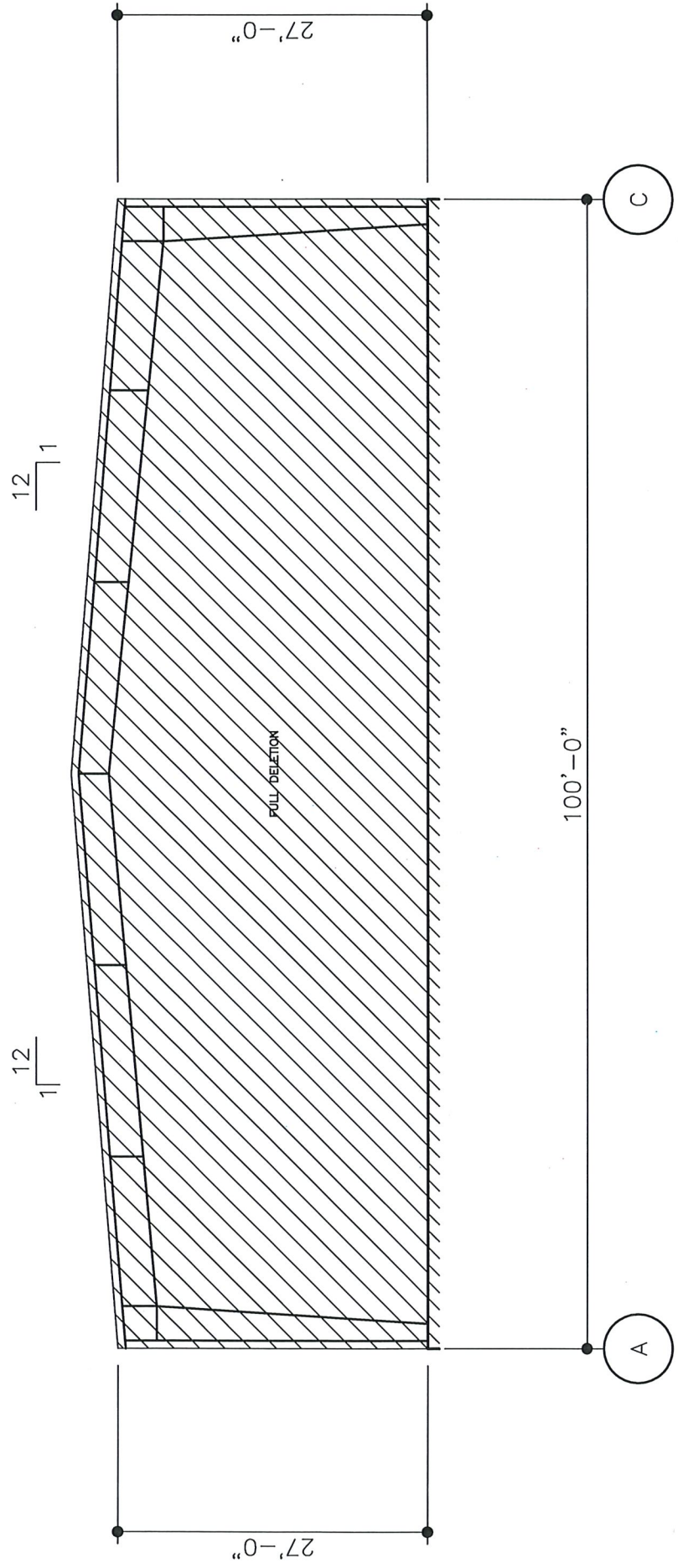
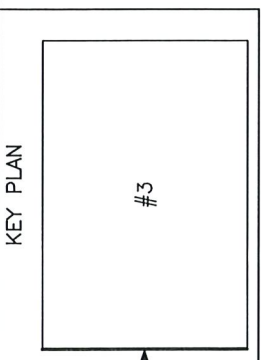


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 CUSTOMER NAME: FORT PIERCE, FL
 SHEET TITLE: PRELIMINARY ROOF FRAMING PLAN
 SHEET NUMBER: PF1
 QUOTE NUMBER: K18-23023-R3-A
 DATE: 6/5/2023 3:38 PM

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#3 ROOF FRAMING PLAN



ELEVATION AT LINE 1

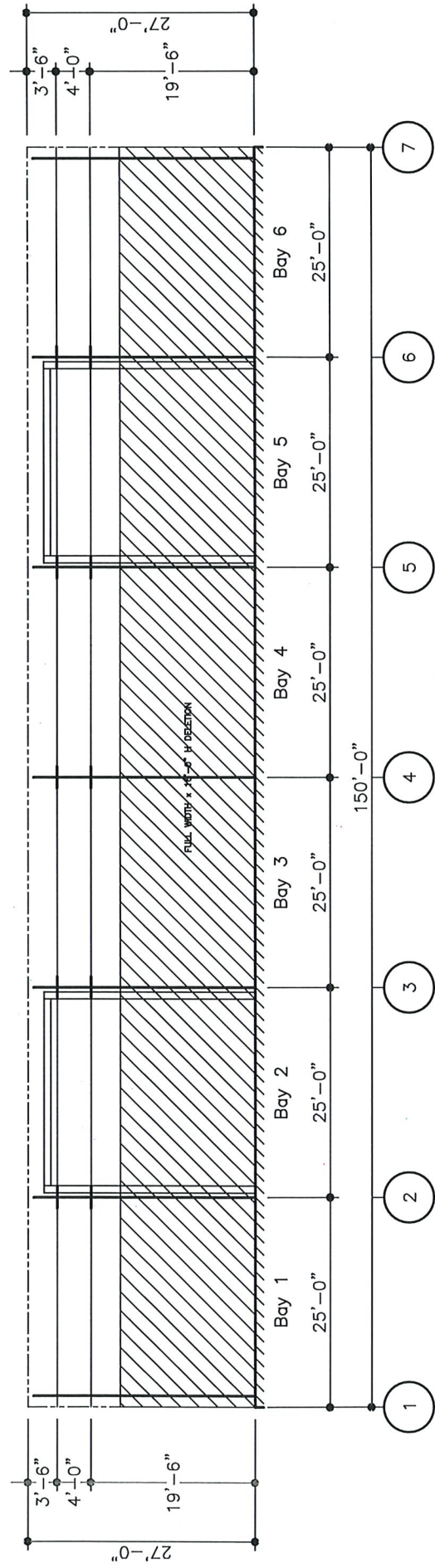



 A FULL-SERVICE COMPANY

PROJECT NAME: HEYDEN SUPPLY BLDG. #3
 CUSTOMER NAME: FORT PIERCE, FL
 SHEET TITLE: PRELIMINARY STRUCTURAL ELEVATIONS
 SHEET NUMBER: ST5
 QUOTE NUMBER: 18-02003-R3-A
 DATE: 6/5/2023 3:38 PM

DO NOT USE FOR FINAL CONSTRUCTION

KEY PLAN



ELEVATION AT LINE C

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PROJECT NAME: HEYDEN SUPPLY BLDG. #3

SHEET TITLE: PRELIMINARY STRUCTURAL ELEVATIONS

CUSTOMER NAME: FORT PIERCE, FL

DATE: 6/5/2023 3:38 PM

QUOTE NUMBER: K18-23003-R3-A

SHEET NUMBER: STA



SHEET NUMBER: ST7
PRELIMINARY STRUCTURAL ELEVATIONS

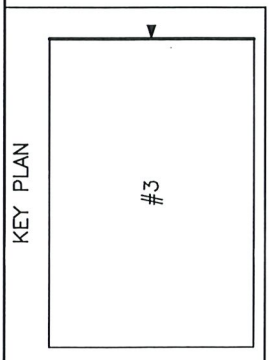
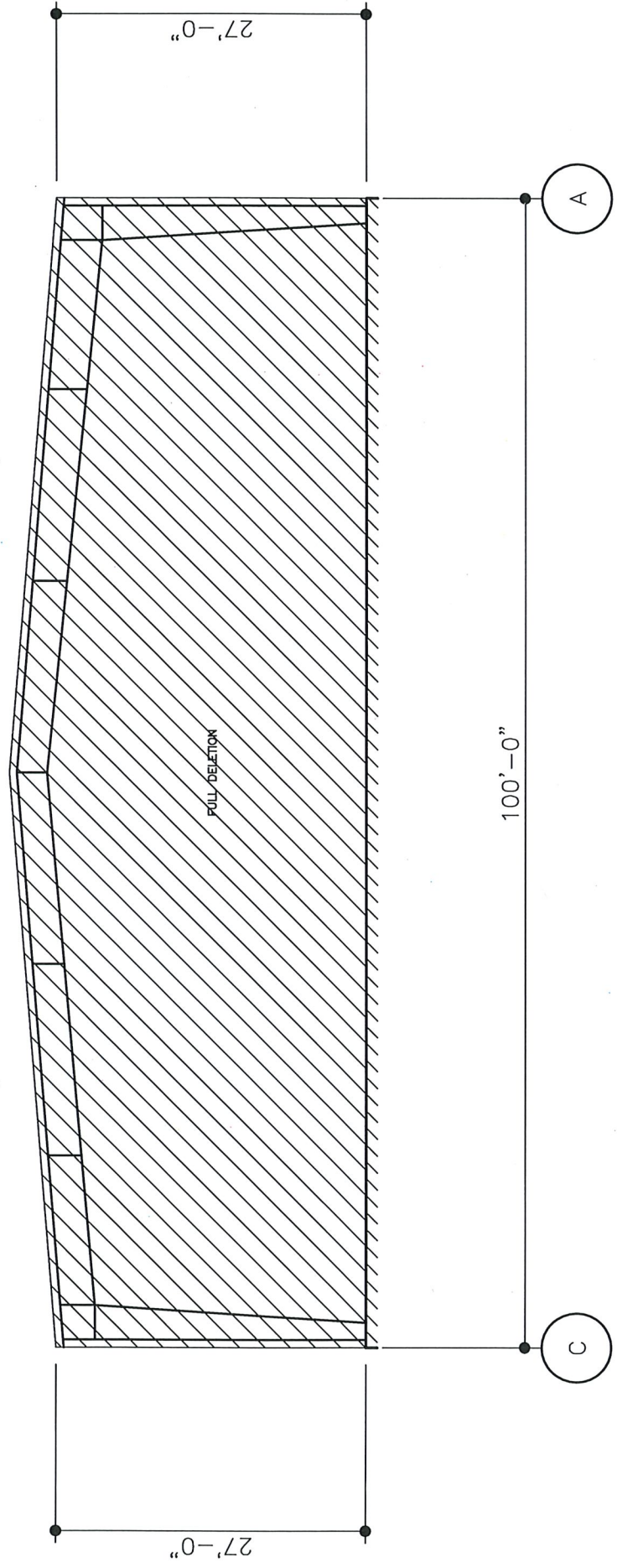
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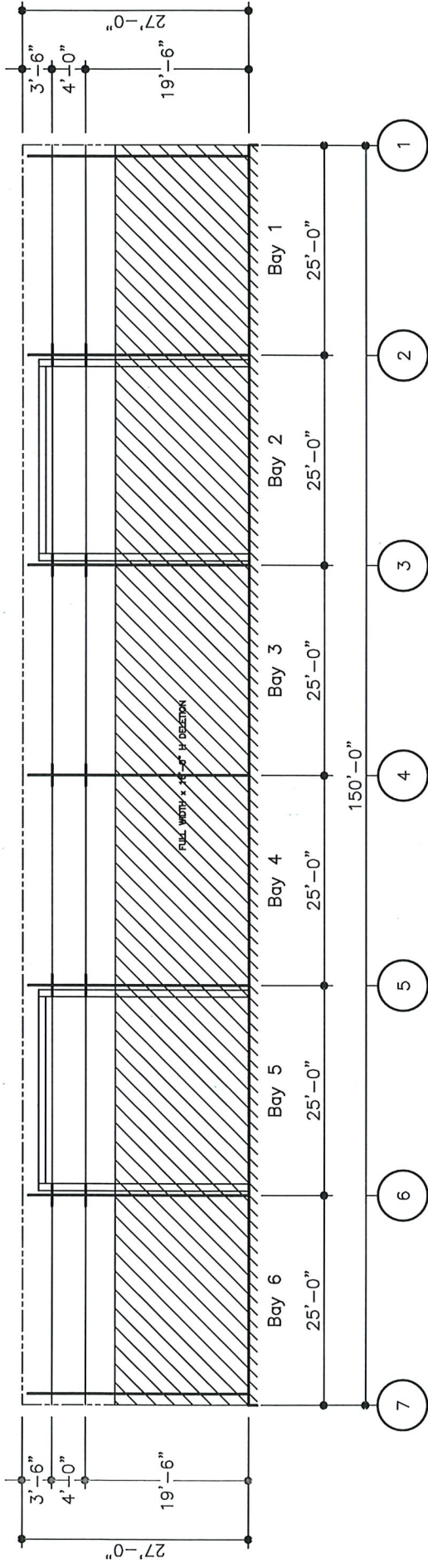
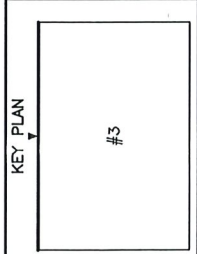
CUSTOMER NAME: FORT PIERCE, FL
RF CONCRETE CONSTRUCTION



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ELEVATION AT LINE 7





ELEVATION AT LINE A

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SHEET TITLE: 6/5/2023 3:38 PM

PRELIMINARY STRUCTURAL ELEVATIONS

CUSTOMER NAME: FORT PIERCE, FL

PROJECT NAME: HEYDEN SUPPLY BLDG. #3

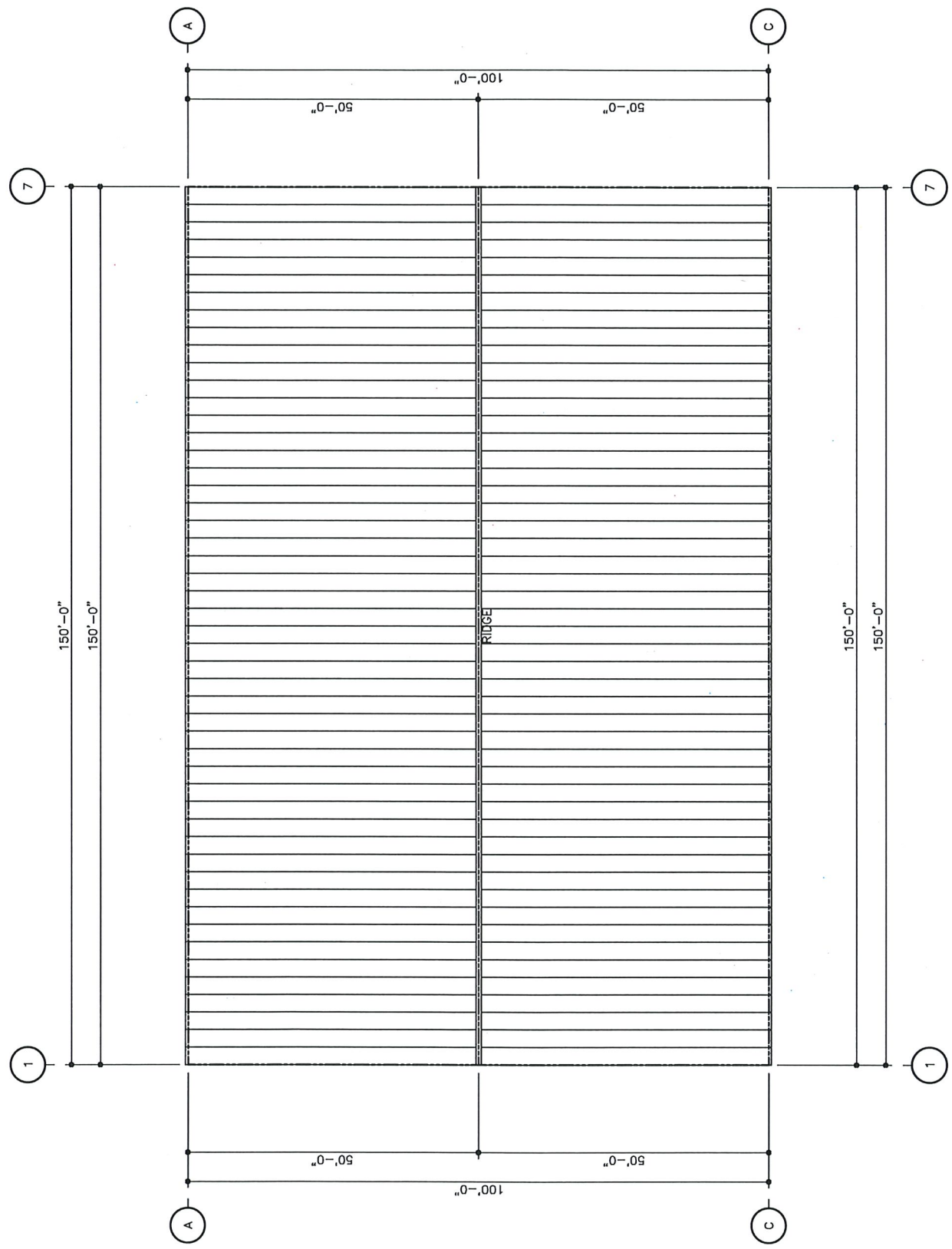
RF CONCRETE CONSTRUCTION

Quote
Kirby Building Systems
A FORT PIERCE COMPANY



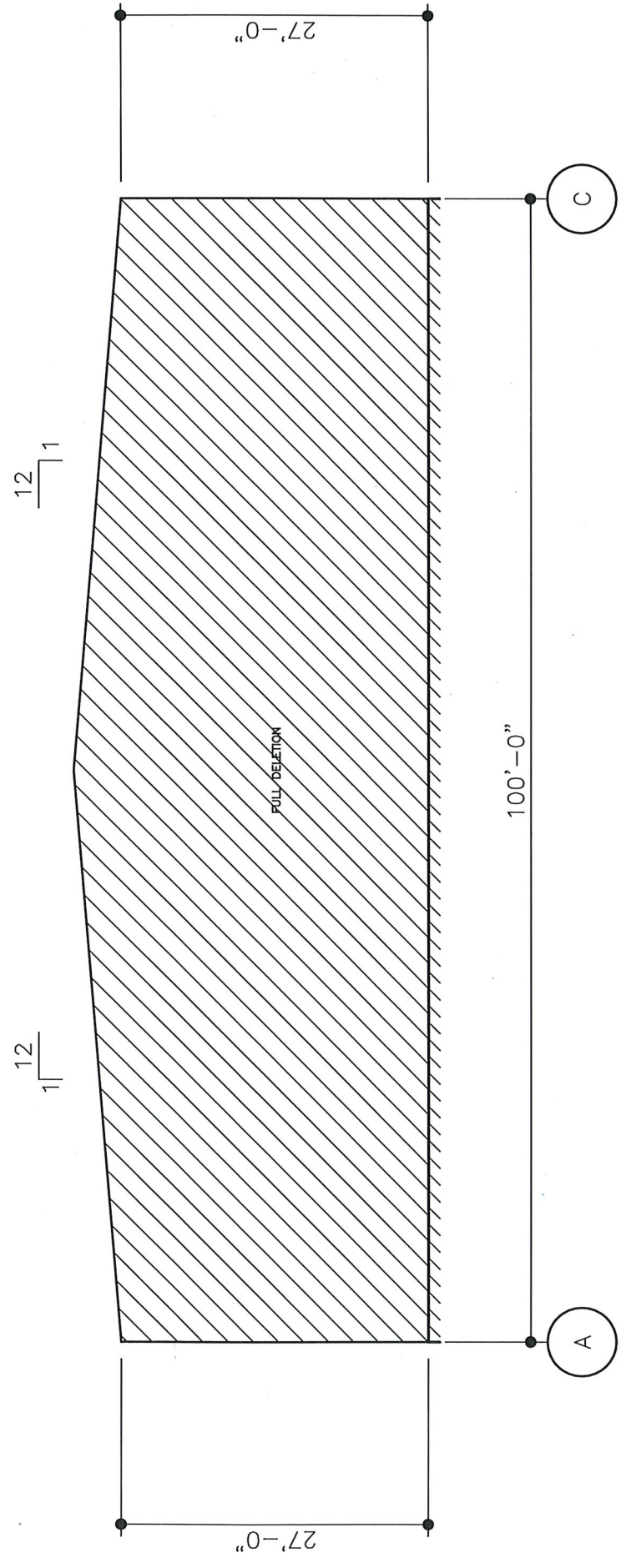
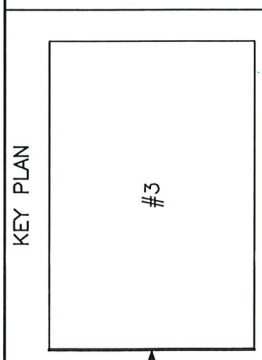
PROJECT NAME: HEYDEN SUPPLY BLDG. #3
 CUSTOMER NAME: FORT PIERCE, FL
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 SHEET TITLE: PRELIMINARY ROOF SHEETING PLAN
 QUOTE NUMBER: 18-2003-R3-A
 SHEET NUMBER: PS1

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ROOF SHEETING PLAN

#3 - PANELS: 26 GA. R-PANEL - GALVALUME PLUS



WALL SHEETING ELEVATION AT LINE 1

PANELS: 26 GA. R-PANEL - TO BE SELECTED (SP)

DO NOT USE FOR FINAL CONSTRUCTION

PROJECT NAME: HEYDEN SUPPLY BLDG. #3

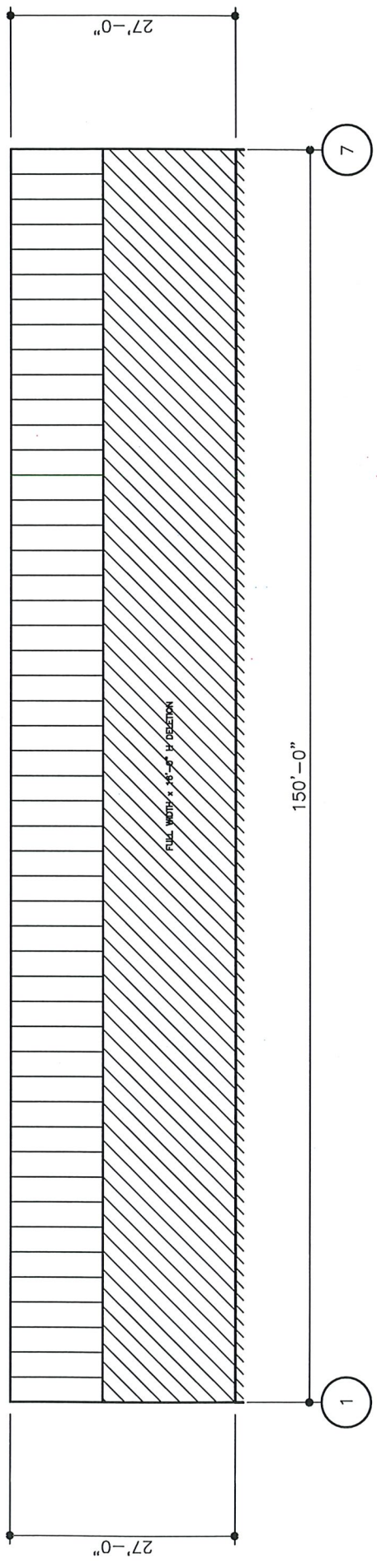
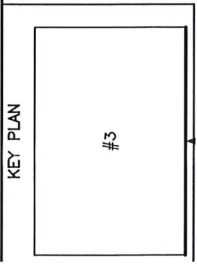
SHEET TITLE: PRELIMINARY SHEETING ELEVATIONS

CUSTOMER NAME: FORT PIERCE, FL

RF CONCRETE CONSTRUCTION

KIRBY BUILDING SYSTEMS A POLYMER COMPANY

Quote



WALL SHEETING ELEVATION AT LINE C

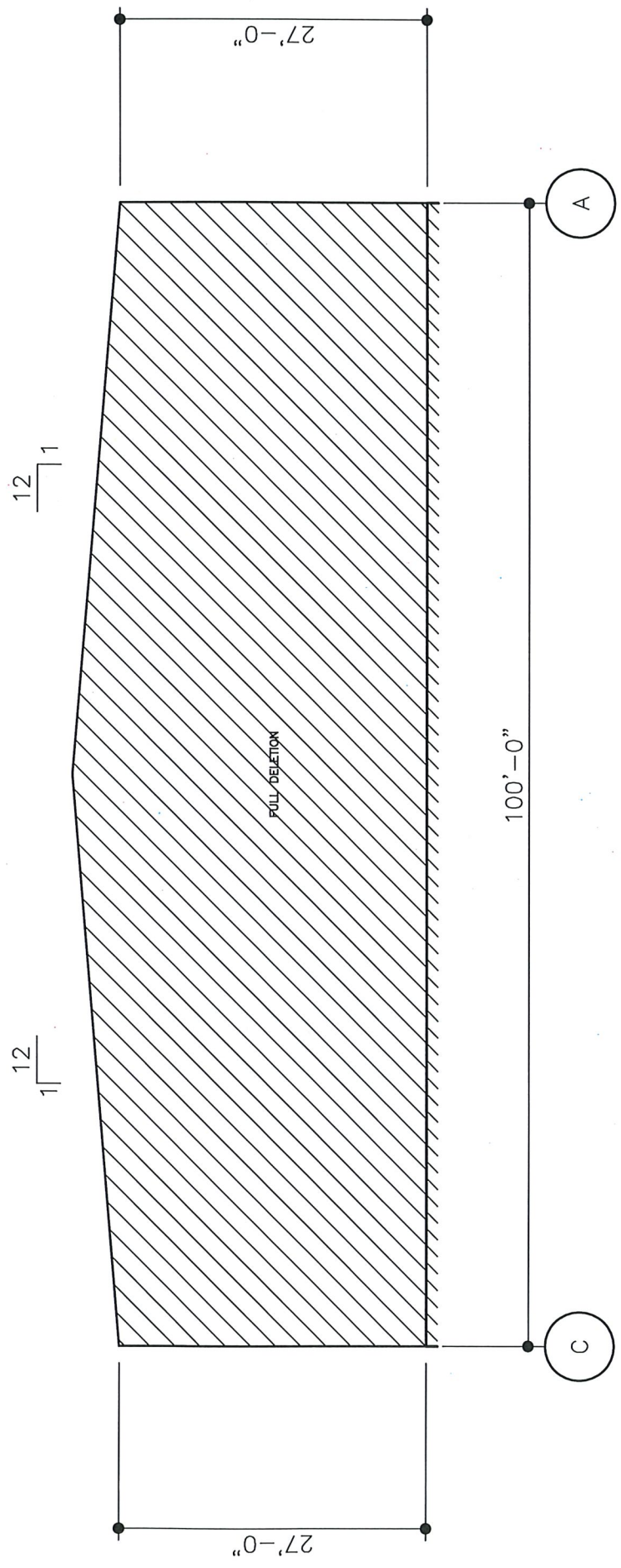
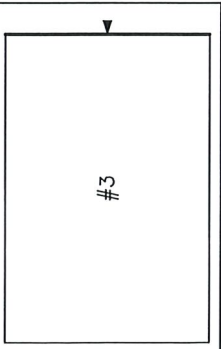
PANELS: 26 GA. R-PANEL - TO BE SELECTED (SP)

DO NOT USE FOR FINAL CONSTRUCTION

PROJECT NAME: HEYDEN SUPPLY BLDG. #3
 FORT PIERCE, FL
 CUSTOMER NAME: RF CONCRETE CONSTRUCTION
 SHEET NUMBER: PRELIMINARY SHEETING ELEVATIONS
 QUOTE NUMBER: 18-2003-R3-A
 SHEET TITLE: RF CONCRETE CONSTRUCTION
 DATE: 6/5/2023 3:38 PM



KEY PLAN



WALL SHEETING ELEVATION AT LINE 7

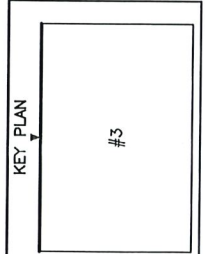
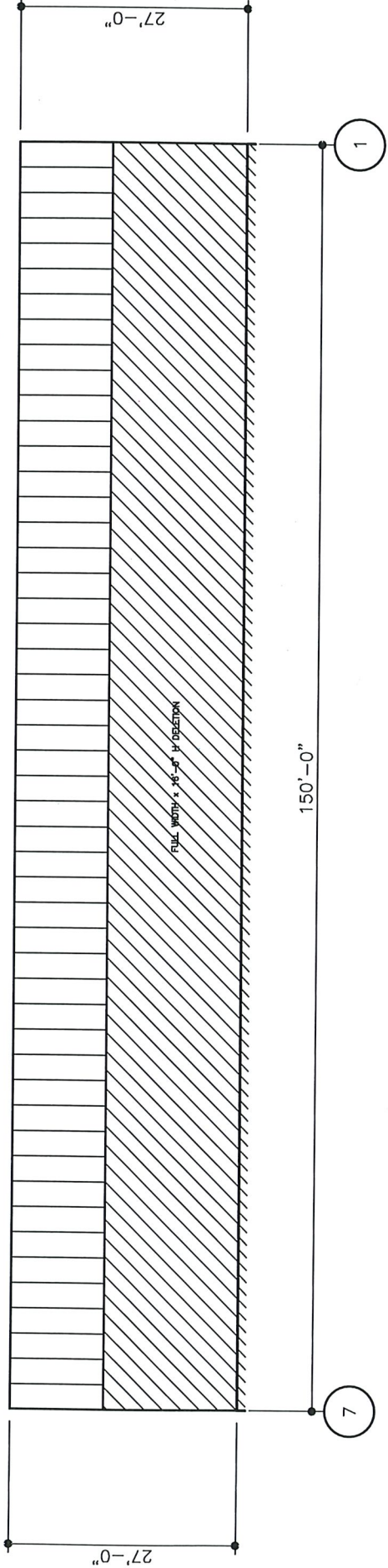
PANELS: 26 GA. R-PANEL - TO BE SELECTED (SP)



DO NOT USE FOR FINAL CONSTRUCTION



WALL SHEETING ELEVATION AT LINE A
PANELS: 26 GA. R-PANEL - TO BE SELECTED (SP)



KEY PLAN

#3









**SOUTH FLORIDA WATER MANAGEMENT DISTRICT
 ENVIRONMENTAL RESOURCE
 STANDARD GENERAL PERMIT NO. 56-02589-P
 DATE ISSUED: December 28, 2006**

Form #0941
 08/95

PERMITTEE: PIERCE HARDY LIMITED PARTNERSHIP
 84 LUMBER COMPANY
 1019 RT 519, BLDG. 5
 EIGHTY FOUR, PA 15330

PROJECT DESCRIPTION: Construction and operation of a surface water management system to serve a 13.84 acre project known as 84 Lumber.

PROJECT LOCATION: ST LUCIE COUNTY, SEC 28 TWP 35S RGE 40E

PERMIT DURATION: See Special Condition No:1. See attached Rule 40E-4.321, Florida Administrative Code.

This is to notify you of the District's agency action concerning Notice of Intent for Permit Application No. 060324-8, dated March 24, 2006. This action is taken pursuant to Rule 40E-1.603 and Chapter 40E-40, Florida Administrative Code (F.A.C.).

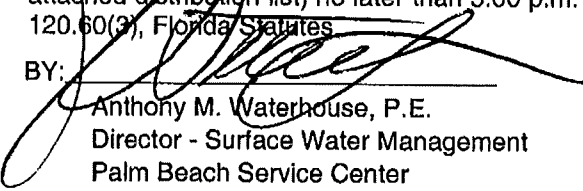
Based on the information provided, District rules have been adhered to and an Environmental Resource General Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 19 General Conditions (See Pages : 2 - 4 of 6),
3. the attached 14 Special Conditions (See Pages : 5 - 6 of 6) and
4. the attached 2 Exhibit(s)

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the Permittee (and the persons listed in the attached distribution list) no later than 5:00 p.m. on this 28th day of December, 2006, in accordance with Section 120.60(3), Florida Statutes

BY: 
 Anthony M. Waterhouse, P.E.
 Director - Surface Water Management
 Palm Beach Service Center

Certified mail number 7002 3150 0000 8127 3012

GENERAL CONDITIONS

1. All activities authorized by this permit shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit and Part IV, Chapter 373, F.S.
2. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
3. Activities approved by this permit shall be conducted in a manner which does not cause violations of State water quality standards. The permittee shall implement best management practices for erosion and pollution control to prevent violation of State water quality standards. Temporary erosion control shall be implemented prior to and during construction, and permanent control measures shall be completed within 7 days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into the receiving waterbody exists due to the permitted work. Turbidity barriers shall remain in place at all locations until construction is completed and soils are stabilized and vegetation has been established. All practices shall be in accordance with the guidelines and specifications described in Chapter 6 of the Florida Land Development Manual; A Guide to Sound Land and Water Management (Department of Environmental Regulation, 1988), incorporated by reference in Rule 40E-4.091, F.A.C. unless a project-specific erosion and sediment control plan is approved as part of the permit. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
4. The permittee shall notify the District of the anticipated construction start date within 30 days of the date that this permit is issued. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District an Environmental Resource Permit Construction Commencement Notice Form Number 0960 indicating the actual start date and the expected construction completion date.
5. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an annual status report form. Status report forms shall be submitted the following June of each year.
6. Within 30 days after completion of construction of the permitted activity, the permittee shall submit a written statement of completion and certification by a professional engineer or other individual authorized by law, utilizing the supplied Environmental Resource/Surface Water Management Permit Construction Completion/Certification Form Number 0881A, or Environmental Resource/Surface Water Management Permit Construction Completion Certification - For Projects Permitted prior to October 3, 1995 Form No. 0881B, incorporated by reference in Rule 40E-1.659, F.A.C. The statement of completion and certification shall be based on onsite observation of construction or review of as-built drawings for the purpose of determining if the work was completed in compliance with permitted plans and specifications. This submittal shall serve to notify the District that the system is ready for inspection. Additionally, if deviation from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. Both the original and revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawings. All surveyed dimensions and elevations shall be certified by a registered surveyor.
7. The operation phase of this permit shall not become effective: until the permittee has complied with the requirements of condition (6) above, and submitted a request for conversion of Environmental Resource Permit from Construction Phase to Operation Phase, Form No. 0920; the District determines the system to be in compliance with the permitted plans and specifications; and the entity approved by the District in accordance with Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit

GENERAL CONDITIONS

Applications within the South Florida Water Management District, accepts responsibility for operation and maintenance of the system. The permit shall not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall initiate transfer of the permit to the approved responsible operating entity if different from the permittee. Until the permit is transferred pursuant to Section 40E-1.6107, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

8. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the phase or portion of the system to a local government or other responsible entity.
9. For those systems that will be operated or maintained by an entity that will require an easement or deed restriction in order to enable that entity to operate or maintain the system in conformance with this permit, such easement or deed restriction must be recorded in the public records and submitted to the District along with any other final operation and maintenance documents required by Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit applications within the South Florida Water Management District, prior to lot or units sales or prior to the completion of the system, whichever comes first. Other documents concerning the establishment and authority of the operating entity must be filed with the Secretary of State, county or municipal entities. Final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final documents will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system and any other permit conditions.
10. Should any other regulatory agency require changes to the permitted system, the permittee shall notify the District in writing of the changes prior to implementation so that a determination can be made whether a permit modification is required.
11. This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40E-4 or Chapter 40E-40, F.A.C..
12. The permittee is hereby advised that Section 253.77, F.S. states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the State, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereign lands or other state-owned lands.
13. The permittee must obtain a Water Use permit prior to construction dewatering, unless the work qualifies for a general permit pursuant to Subsection 40E-20.302(3), F.A.C., also known as the "No Notice" Rule.
14. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the permit.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit

GENERAL CONDITIONS

application, including plans or other supporting documentation, shall not be considered binding, unless a specific condition of this permit or a formal determination under Section 373.421(2), F.S., provides otherwise.

16. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of a permitted system or the real property on which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rules 40E-1.6105 and 40E-1.6107, F.A.C.. The permittee transferring the permit shall remain liable for corrective actions that may be required as a result of any violations prior to the sale, conveyance or other transfer of the system.
17. Upon reasonable notice to the permittee, District authorized staff with proper identification shall have permission to enter, inspect, sample and test the system to insure conformity with the plans and specifications approved by the permit.
18. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the appropriate District service center.
19. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on December 28, 2011.
2. Operation of the surface water management system shall be the responsibility of the permittee.
3. Discharge Facilities:

Basin: Site

1-3' WIDE SHARP CRESTED weir with crest at elev. 16' NGVD.
1-3" dia. CIRCULAR ORIFICE with invert at elev. 14' NGVD.

Receiving body : On-Site Lake
Control elev : 13 feet NGVD.

Basin: Lake Basin

1-2" W X 18" H RECTANGULAR NOTCH weir with crest at elev. 16.7' NGVD.
1-4" dia. CIRCULAR ORIFICE with invert at elev. 13' NGVD.

Receiving body : NSLRWCD Canal No. 10
Control elev : 13 feet NGVD.

4. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
5. Measures shall be taken during construction to insure that sedimentation and/or turbidity violations do not occur in the receiving water.
6. The District reserves the right to require that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
7. Lake side slopes shall be no steeper than 4:1 (horizontal:vertical) to a depth of two feet below the control elevation. Side slopes shall be nurtured or planted from 2 feet below to 1 foot above control elevation to insure vegetative growth, unless shown on the plans.
8. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
9. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
10. The permittee shall provide routine maintenance of all of the components of the surface water management system in order to remove all trapped sediments/debris. All materials shall be properly disposed of as required by law. Failure to properly maintain the system may result in adverse flooding conditions.
11. This permit is issued based on the applicant's submitted information which reasonably demonstrates that adverse water resource related impacts will not be caused by the completed permit activity. Should any adverse impacts caused by the completed surface water management system occur, the District will require the permittee to provide appropriate mitigation to the District or other impacted party. The District will require the permittee to modify the surface water management system, if necessary, to eliminate the cause of the adverse impacts.

SPECIAL CONDITIONS

12. Minimum building floor elevation: BASIN: Site - 18.50 feet NGVD.
13. Minimum parking lot elevation: Basin: Site - 17.00 feet NGVD.
14. Silt screens, hay bales, turbidity screens/barriers or other such sediment control measures shall be utilized during construction. The selected sediment control measures shall be installed prior to the commencement of construction in or adjacent to other surface waters in accordance with Exhibit No. 2 and shall remain in place until all adjacent construction is completed. All areas shall be stabilized and vegetated immediately after construction to prevent erosion into adjacent areas.

40E-4.321 Duration of Permits.

(1) Unless revoked or otherwise modified the duration of an environmental resource permit issued under this chapter or Chapter 40E-40, F.A.C., is as follows:

(a) For a conceptual approval, two years from the date of issuance or the date specified as a condition of the permit, unless within that period an application for an individual or standard general permit is filed for any portion of the project. If an application for an environmental resource permit is filed, then the conceptual approval remains valid until final action is taken on the environmental resource permit application. If the application is granted, then the conceptual approval is valid for an additional two years from the date of issuance of the permit. Conceptual approvals which have no individual or standard general environmental resource permit applications filed for a period of two years shall expire automatically at the end of the two year period.

(b) For a conceptual approval filed concurrently with a development of regional impact (DRI) application for development approval (ADA) and a local government comprehensive plan amendment, the duration of the conceptual approval shall be two years from whichever one of the following occurs at the latest date:

1. The effective date of the local government's comprehensive plan amendment,
2. The effective date of the local government development order,
3. The date on which the District issues the conceptual approval, or
4. The date on which the District issues a final order pertaining to the resolution of any Section 120.57, F.S., administrative proceeding or other legal appeals.

(c) For an individual or standard general environmental resource permit, the construction phase authorizing construction, removal, alteration or abandonment of a system shall expire five years from the date of issuance or such amount of time as made a condition of the permit.

(d) For an individual or standard general environmental resource permit, the operational phase of the permit is perpetual for operation and maintenance.

(e) For a noticed general permit issued pursuant to Chapter 40E-400, F.A.C., five years from the date the notice of intent to use the permit is provided to the District.

(2)(a) Unless prescribed by special permit condition, permits expire automatically according to the timeframes indicated in this rule. If application for extension is made in writing pursuant to subsection (3), the permit shall remain in full force and effect until:

1. The Governing Board takes action on an application for extension of an individual permit, or
2. Staff takes action on an application for extension of a standard general permit.

(b) Installation of the project outfall structure shall not constitute a vesting of the permit.

(3) The permit extension shall be issued provided that a permittee files a written request with the District showing good cause prior to the expiration of the permit. For the purpose of this rule, good cause shall mean a set of extenuating circumstances outside of the control of the permittee. Requests for extensions, which shall include documentation of the extenuating circumstances and how they have delayed this project, will not be accepted more than 180 days prior to the expiration date.

(4) Substantial modifications to Conceptual Approvals will extend the duration of the Conceptual Approval for two years from the date of issuance of the modification. For the purposes of this section, the term "substantial modification" shall mean a modification which is reasonably expected to lead to substantially different water resource or environmental impacts which require a detailed review.

(5) Substantial modifications to individual or standard general environmental resource permits issued pursuant to a permit application extend the duration of the permit for three years from the date of issuance of the modification. Individual or standard general environmental resource permit modifications do not extend the duration of a conceptual approval.

(6) Permit modifications issued pursuant to paragraph 40E-4.331(2)(b), F.A.C. (letter modifications) do not extend the duration of the permit.

(7) Failure to complete construction or alteration of the surface water management system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization in order to continue construction unless a permit extension is granted.

Specific Authority 373.044, 373.113 FS. Law Implemented 373.413, 373.416, 373.419, 373.426 FS. History--New 9-3-81, Amended 1-31-82, 12-1-82, Formerly 16K-4.07(4), Amended 7-1-86, 4-20-94, 10-3-95, 5-28-00.

NOTICE OF RIGHTS

As required by Sections 120.569(1), and 120.60(3), Fla. Stat., following is notice of the opportunities which may be available for administrative hearing and/or judicial review when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Not all the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

Right to Request Administrative Hearing

A person whose substantial interests are or may be affected by the South Florida Water Management District's (SFWMD or District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569, 120.57, and 120.60(3), Fla. Stat. Persons seeking a hearing on a District decision which does or may determine their substantial interests shall file a petition for hearing with the District Clerk within 21 days of receipt of written notice of the decision in accordance with Rule 28-106.111, Fla. Admin. Code. Any person who receives written notice of a District decision and fails to file a written request for hearing within 21 days waives the right to request a hearing on that decision as provided by Subsection 28-106.111(4), Fla. Admin. Code.

The Petition must be filed at the Office of the District Clerk of the SFWMD, 3301 Gun Club Road, P.O. Box 24680, West Palm Beach, Florida, 33416, and must comply with the requirements of Rule 28-106.104, Fla. Admin. Code. Filings with the District Clerk may be made by mail, hand-delivery or facsimile. **Filings by e-mail will not be accepted.** A petition for administrative hearing is deemed filed upon receipt during normal business hours by the District Clerk at SFWMD headquarters in West Palm Beach, Florida. Pursuant to Rule 28-106.104, Fla. Admin. Code, any document received by the office of the District Clerk after 5:00 p.m. shall be filed as of 8:00 a.m. on the next regular business day.

- Filings made by mail must include the original and one copy and must be addressed to the Office of the District Clerk, P.O. Box 24680, West Palm Beach, Florida 33416.
- Filings by hand-delivery must also include the original and one copy of the petition. **Delivery of a petition to the District's security desk does not constitute filing. To ensure proper filing, it will be necessary to request the District's security officer to contact the Clerk's office.** An employee of the District's Clerk's office will file the petition and return the extra copy reflecting the date and time of filing.
- Filings by facsimile must be transmitted to the District Clerk's Office at (561) 682-6010. Pursuant to Subsections 28-106.104(7), (8) and (9), Fla. Admin. Code, a party who files a document by facsimile represents that the original physically signed document will be retained by that party for the duration of that proceeding and of any subsequent appeal or subsequent proceeding in that cause. Any party who elects to file any document by facsimile shall be responsible for any delay, disruption, or interruption of the electronic signals and accepts the full risk that the document may not be properly filed with the clerk as a result. The filing date for a document filed by facsimile shall be the date the District Clerk receives the complete document.

The following provisions may be applicable to SFWMD actions in combination with the applicable Uniform Rules of Procedure (Subsections 40E-0.109(1)(a) and 40E-1.511(1)(a), Fla. Admin. Code):

- (1)(a) "Receipt of written notice of agency decision" as set forth in Rule 28-106.111, Fla. Admin. Code, means receipt of either written notice through mail or posting that the District has or intends to take final agency action, or publication of notice that the District has or intends to take final agency action.
- (b) If notice is published pursuant to Chapter 40E-1, F.A.C., publication shall constitute constructive notice to all persons. Until notice is published, the point of entry to request a formal or informal administrative proceeding shall remain open unless actual notice is received.
- (2) If the District's Governing Board takes action which substantially differs from the notice of intended agency decision, the persons who may be substantially affected shall have an additional point of entry pursuant to Rule 28-106.111, Fla. Admin. Code, unless otherwise provided by law. The District Governing Board's action is considered to substantially differ from the notice of intended agency decision when the potential impact on water resources has changed.
- (3) Notwithstanding the timeline in Rule 28-106.111, Fla. Admin. Code, intended agency decisions or agency decisions regarding consolidated applications for Environmental Resource Permits and Use of Sovereign Submerged Lands pursuant to Section 373.427, Fla. Stat., shall provide a 14 day point of entry to file petitions for administrative hearing.

Hearings Involving Disputed Issues of Material Fact

The procedure for hearings involving disputed issues of material fact is set forth in Subsection 120.57(1), Fla. Stat., and Rules 28-106.201-.217, Fla. Admin. Code. Petitions involving disputed issues of material fact shall be filed in accordance with Rule 28-106.104, Fla. Admin. Code, and must comply with the requirements set forth in Rule 28-106.201, Fla. Admin. Code.

Hearings Not Involving Disputed Issues of Material Fact

The procedure for hearings not involving disputed issues of material fact is set forth in Subsection 120.57(2), Fla. Stat., and Rules 28-106.301-.307, Fla. Admin. Code. Petitions not involving disputed issues of material fact shall be filed in accordance with Rule 28-106.104, Fla. Admin. Code, and must comply with the requirements set forth in Rule 28-106.301, Fla. Admin. Code.

Mediation

As an alternative remedy under Sections 120.569 and 120.57, Fla. Stat., any person whose substantial interests are or may be affected by the SFWMD's action may choose to pursue mediation. The procedures for pursuing mediation are set forth in Section 120.573, Fla. Stat., and Rules 28-106.111 and 28-106.401-.405, Fla. Admin. Code. Choosing mediation will not adversely affect the rights to a hearing if mediation does not result in a settlement.

DISTRICT COURT OF APPEAL

Pursuant to Sections 120.60(3) and 120.68, Fla. Stat., a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal pursuant to Florida Rule of Appellate Procedure 9.110 in the Fourth District Court of Appeal or in the appellate district where a party resides and filing a second copy of the notice with the SFWMD Clerk within 30 days of rendering of the final SFWMD action.

Last Date For Agency Action: 31-DEC-2006

GENERAL ENVIRONMENTAL RESOURCE PERMIT STAFF REPORT

Project Name: 84 Lumber

Permit No.: 56-02589-P

Application No.: 060324-8

Associated File: 060324-17 WU
060324-19 WU

Application Type: Environmental Resource (New General Permit)

Location: St Lucie County, S28/T35S/R40E

Permittee : Pierce Hardy Limited Partnership

Operating Entity : Permittee

Project Area: 13.84 acres

Project Land Use: Commercial

Drainage Basin: NORTH ST LUCIE

Receiving Body: North St. Lucie River Water Control District Canal No. 10 **Class:** N/A

Special Drainage District: North St Lucie River Water Control District

Conservation Easement To District : No

Sovereign Submerged Lands: No

PROJECT PURPOSE:

This application is a request for an Environmental Resource Permit to authorize construction and operation of a surface water management system to serve a 13.84 acre industrial project.

PROJECT EVALUATION:**PROJECT SITE DESCRIPTION:**

The site is located just to the southwest of the intersection of DiGiorgio Road and Enterprise Road and is bounded on the north side by NSLRWCD Canal No. 10.

There are no wetlands located within or affected by the proposed project.

PROPOSED PROJECT:

The proposed project is for construction of a surface water management system to serve the 13.84-acre industrial site consisting of 2.25 acres of building, 6.34 acres of pavement, 1.34 acres of lake, and 3.91 acres of pervious area. In addition, the existing 54-inch diameter driveway culvert within the NSLRWCD Canal No. 10 right of way will be replaced with a 72-inch diameter culvert per the NSLRWCD connection permit for this project.

Surface water generated from this site will be directed via site grading and a network of inlets and culverts, to a 0.50 acre dry detention area which overflows into a 1.34 acre wet detention area which discharges to NSLRWCD Canal No. 10.

LAND USE:**Construction:****Project:****Total Project**

| | | |
|-------------------|--------------|-------|
| Building Coverage | 2.25 | acres |
| Lake | 1.34 | acres |
| Pavement | 6.34 | acres |
| Pervious | 3.91 | acres |
| Total: | 13.84 | |

WATER QUANTITY :**Discharge Rate :**

The project discharges to a North St. Lucie River Water Control District canal where the allowable discharge is the volumetric equivalent of 2 inches per acre per day, which equates to 2.26 acre-feet for this project.

As shown in the table below, the proposed project discharge is within the allowable limit for the area. The project discharges to a North St. Lucie River Water Control District canal where the allowable discharge is the volumetric equivalent of 2 inches per acre per day, which equates to 2.26 acre-feet for this project. The table below shows the allowable rates in the units of cubic feet per second.

Discharge Storm Frequency : 10 YEAR-3 DAY

Design Rainfall : 8.5 inches

| Basin | Allow Disch (cfs) | Method Of Determination | Peak Disch (cfs) | Peak Stage (ft, NGVD) |
|-------|----------------------|----------------------------|---------------------|--------------------------|
|-------|----------------------|----------------------------|---------------------|--------------------------|

| Basin | Allow Disch (cfs) | Method Of Determination | Peak Disch (cfs) | Peak Stage |
|------------|----------------------|----------------------------|---------------------|------------|
| Lake Basin | 1.26 | Discharge Formula | 1.26 | 16.97 |

Finished Floors :

Building Storm Frequency : 100 YEAR-3 DAY

Design Rainfall : 12.5 Inches

| Basin | Peak Stage (ft, NGVD) | Proposed Min. Finished Floors (ft, NGVD) | FEMA Elevation (ft, NGVD) |
|-------|---------------------------|--|-------------------------------|
| Site | 18.25 | 18.5 | N/A |

Road Design :

Road Storm Frequency : 10 YEAR-3 DAY

Design Rainfall: 8.5 inches

Parking Lot Design :

| Basin | Peak Stage (ft, NGVD) | Proposed Min. Parking Elev. (ft, NGVD) |
|-------|---------------------------|--|
| Site | 16.97 | 17 |

Control Elevation :

| Basin | Area (Acres) | Ctrl Elev (ft, NGVD) | WSWT Ctrl Elev (ft, NGVD) | Method Of Determination |
|----------------------|-----------------|--------------------------|-------------------------------|----------------------------------|
| Site | 11.16 | 13 | 13.00 | Adjacent Canal Control Elevation |
| Lake Basin | 2.41 | 13 | 13.00 | Adjacent Canal Control Elevation |
| Canal Maintenance Ar | .27 | 13 | 13.00 | Adjacent Canal Control Elevation |

Receiving Body :

| Basin | Str.# | Receiving Body |
|------------|-------|----------------------|
| Site | D2 | On-Site Lake |
| Lake Basin | E2 | NSLRWCD Canal No. 10 |

Discharge Structures: Note: The units for all the elevation values of structures are (ft, NGVD)**Bleeders:**

| Basin | Str# | Count | Type | Width | Height | Length | Dia. | Invert Angle | Invert Elev. |
|------------|------|-------|------------------|-------|--------|--------|------|-----------------|--------------|
| Lake Basin | E2 | 1 | Circular Orifice | | | | 4" | | 13 |

Weirs:

| Basin | Str# | Count | Type | Width | Height | Length | Dia. | Elev. |
|------------|------|-------|-------------------|-------|--------|--------|------|--------------|
| Lake Basin | E2 | 1 | Rectangular Notch | 2" | 18" | | | 16.7 (crest) |

SWM(Internal) Structures: Note: The units for all the elevation values of structures are (ft, NGVD)**Bleeders:**

| Basin | Str# | Count | Type | Width | Height | Length | Dia. | Invert Angle | Invert Elev. |
|-------|------|-------|------------------|-------|--------|--------|------|-----------------|--------------|
| Site | D2 | 1 | Circular Orifice | | | | 3" | | 14 |

Weirs:

SWM(Internal) Structures:**Weirs:**

| Basin | Str# | Count | Type | Width | Height | Length | Dia. | Elev. |
|-------|------|-------|---------------|-------|--------|--------|------|------------|
| Site | D2 | 1 | Sharp Crested | 3' | | | | 16 (crest) |

WATER QUALITY :

No adverse water quality impacts are anticipated as a result of the proposed project. Water quality treatment of 2.5 inches over the site times the percent imperviousness is provided. This includes one half inch of dry pretreatment with the remainder provided in a wet detention lake.

| Basin | Treatment Method | Vol Req.d (ac-ft) | Vol Prov'd |
|-------------------------|------------------|-----------------------------|---------------|
| Site | Treatment | Dry Detention .5 acres | .46 |
| Site | Treatment | Wet Detention | 1.71 |
| Lake Basin | Treatment | Wet Detention 1.34 acres | .2 |
| Canal Maintenance Ar | Treatment | Wet Detention | .02 |

CERTIFICATION AND MAINTENANCE OF THE WATER MANAGEMENT SYSTEM:

It is suggested that the permittee retain the services of a Professional Engineer registered in the State of Florida for periodic observation of construction of the surface water management (SWM) system. This will facilitate the completion of construction completion certification Form #0881 which is required pursuant to Section 10 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, and Rule 40E-4.361(2), Florida Administrative Code (F.A.C.).

Pursuant to Chapter 40E-4 F.A.C., this permit may not be converted from the construction phase to the operation phase until certification of the SWM system is submitted to and accepted by this District. Rule 40E-4.321(7) F.A.C. states that failure to complete construction of the SWM system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization unless a permit extension is granted.

For SWM systems permitted with an operating entity who is different from the permittee, it should be noted that until the permit is transferred to the operating entity pursuant to Rule 40E-1.6107, F.A.C., the permittee is liable for compliance with the terms of this permit.

The permittee is advised that the efficiency of a SWM system will normally decrease over time unless the system is periodically maintained. A significant reduction in flow capacity can usually be attributed to partial blockages of the conveyance system. Once flow capacity is compromised, flooding of the project may result. Maintenance of the SWM system is required to protect the public health, safety and the natural resources of the state. Therefore, the permittee must have periodic inspections of the SWM system performed to ensure performance for flood protection and water quality purposes. If deficiencies are found, it is the responsibility of the permittee to correct these deficiencies in a timely manner.

RELATED CONCERNS:

Water Use Permit Status:

The applicant has indicated that the surface water lake will be used as a source for irrigation water for the project. Water Use application number 060324-19 has been submitted and is being reviewed simultaneously for irrigation for this project.

The applicant has indicated that dewatering is required for construction of this project. Water Use application number 060324-17 has been submitted and is being reviewed simultaneously for irrigation for this project.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation, unless the work qualifies for a No-Notice Short-Term Dewatering permit pursuant to Chapter 40E-20.302(3) or is exempt pursuant to Section 40E-2.051, FAC.

CERP:

The proposed project is not located within or adjacent to a Comprehensive Everglades Restoration Project component.

Potable Water Supplier:

Fort Pierce Utilities Authority

Waste Water System/Supplier:

On-site septic system.

Right-Of-Way Permit Status:

A Right-of-Way Permit is not required for this project.

DRI Status:

This project is not a DRI.

Historical/Archeological Resources:

No information has been received that indicates the presence of archaeological or historical resources or that the proposed activities could cause adverse impacts to archaeological or historical resources.

DCA/CZM Consistency Review:

The District has not received a finding of inconsistency from the Florida Department of Environmental Protection or other commenting agencies regarding the provisions of the federal Coastal Zone Management Plan.

Third Party Interest:

No third party has contacted the District with concerns about this application.

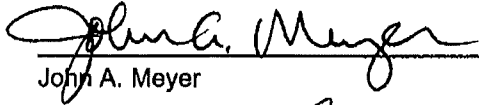
Enforcement:

There has been no enforcement activity associated with this application.

STAFF REVIEW:

DIVISION APPROVAL:

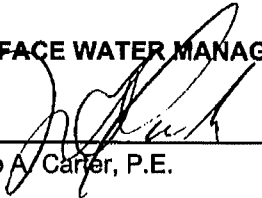
NATURAL RESOURCE MANAGEMENT:



John A. Meyer

DATE: 12/22/06

SURFACE WATER MANAGEMENT:

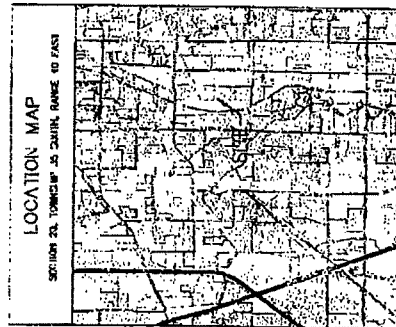


Hugo A. Carter, P.E.

DATE: 22 Dec 06

SITE DEVELOPMENT PLAN FOR FOR 84 LUMBER

ST. LUCIE COUNTY, FL
CITY OF FT. PIERCE



INDEX OF DRAWINGS

| SHEET NO. | DESCRIPTION |
|-----------|------------------------------------|
| A-2 | COVER SHEET |
| P-101 | FLOOR PLAN |
| C-1 | NEW FACILITY |
| C-2 | SITE PLAN |
| D-1 | UTILITY PLAN |
| D-2 | DRAINAGE MAP |
| D-3 | PAVING & DRAINAGE PLAN |
| D-4 | SEPTIC LAYOUT PLAN |
| D-5 | PAVING & DRAINAGE SECTIONS |
| D-6 | PAVING & DRAINAGE DETAILS |
| D-7 | LIFT STATION DETAILS |
| 1 & 2 | EROSION CONTROL & DEWATERING PLAN |
| | BOUNDARY & TOPOGRAPHIC SURVEY PLAN |

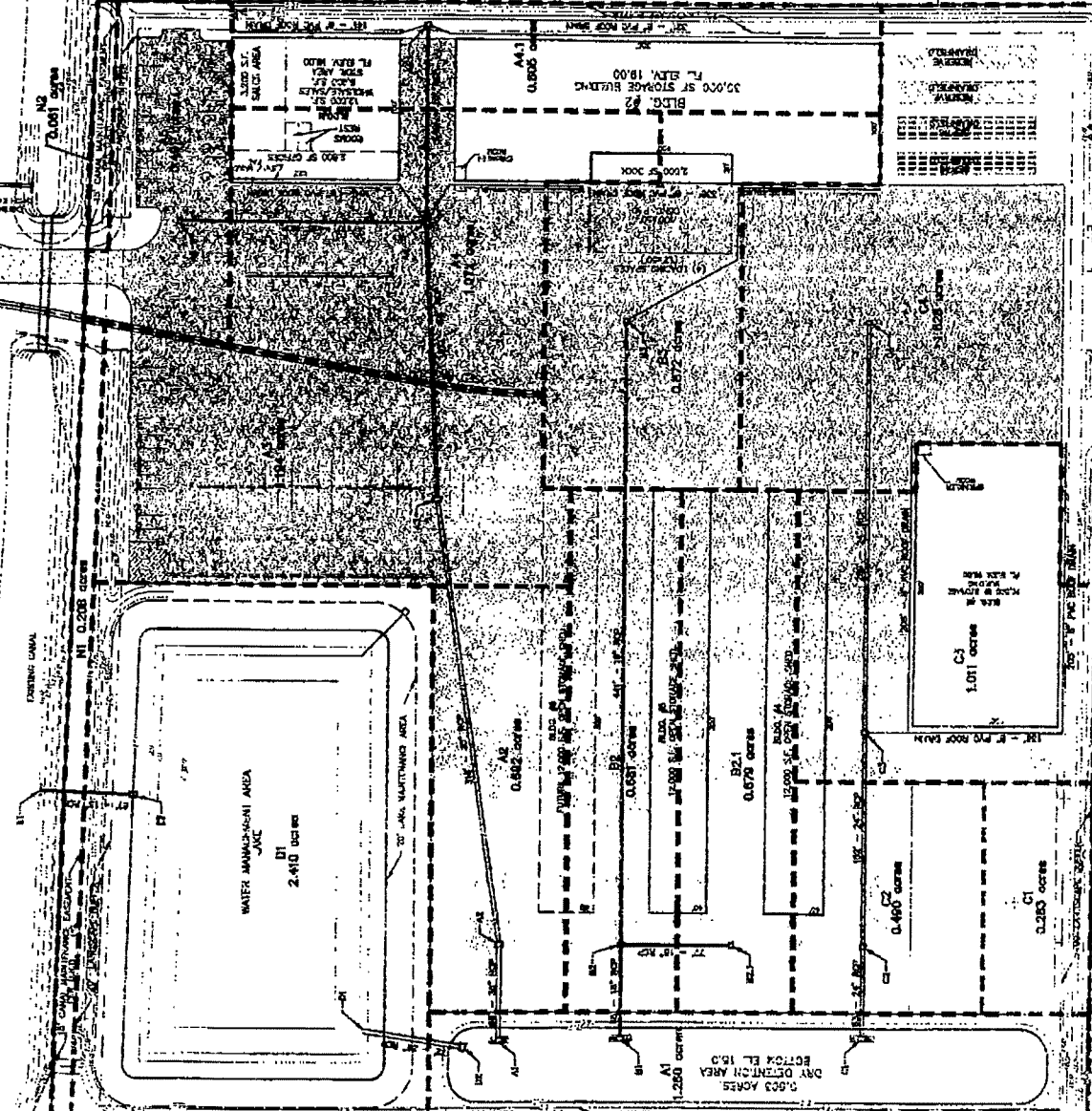
APPROVED: [Signature]
DATE: [Date]

NO. 15534
NOV 17 2004
REVISIONS:
NOV 17 2004
AUGUST 2, 2004
JULY 24, 2004
JULY 1, 2004
JUN 14, 2004

CUNNINGHAM & DURRANCE
CONSULTING ENGINEERS, INC.

DICIORGIO ROAD

CHANN. NO. 10



GRAPHIC SCALE
1" = 40' ±

NOTES:
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE REQUIREMENTS OF THE CITY ENGINEER.
2. WATER AND WASTE WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S STANDARDS AND SPECIFICATIONS FOR WATER AND WASTE WATER CONSTRUCTION.
3. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
4. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRAVEL OR SAND (UNLESS OTHERWISE SPECIFIED).

NOTES:
1. THE LIMITED AREA FROM CENTERLINE OF STRUCTURES MAY HAVE TO BE ADJUSTED TO ACCOMMODATE CONSTRUCTION OF A STRUCTURE.
2. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
3. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRAVEL OR SAND (UNLESS OTHERWISE SPECIFIED).
4. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
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10. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
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12. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
13. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRAVEL OR SAND (UNLESS OTHERWISE SPECIFIED).
14. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
15. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF GRAVEL OR SAND (UNLESS OTHERWISE SPECIFIED).

| ITEM | QUANTITY | UNIT | PRICE | TOTAL |
|--------------|----------|-----------|-------|------------|
| CONCRETE | 10,000 | CU YD | 1.20 | 12,000.00 |
| STEEL | 50,000 | LB | 0.05 | 2,500.00 |
| PAVING | 10,000 | SQ YD | 0.15 | 1,500.00 |
| UTILITIES | 10,000 | LINEAL FT | 0.10 | 1,000.00 |
| LANDSCAPING | 10,000 | SQ YD | 0.05 | 500.00 |
| CONSTRUCTION | 10,000 | HR | 15.00 | 150,000.00 |
| TOTAL | | | | 171,500.00 |

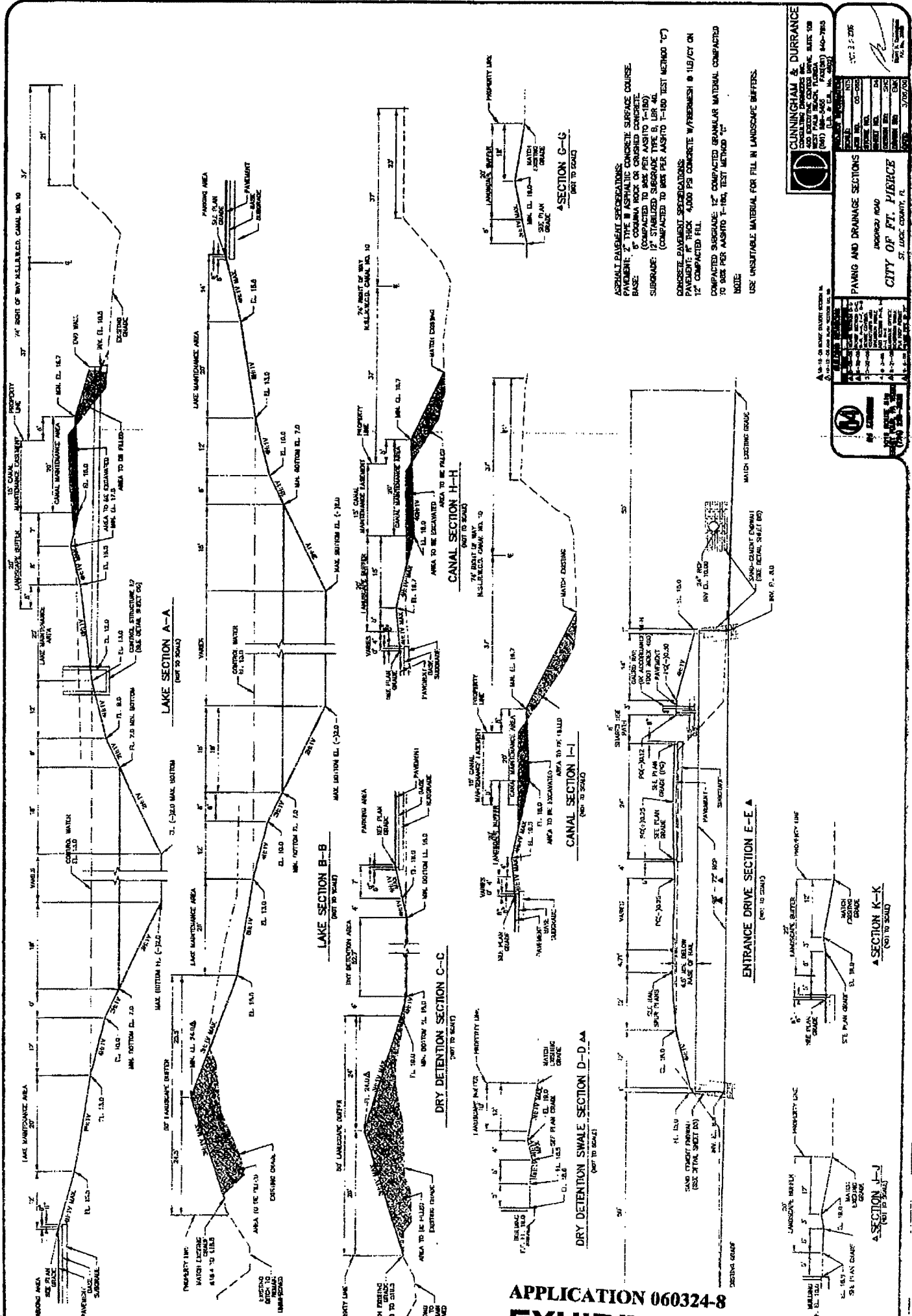
CUNNINGHAM & DURRANCE
400 EXECUTIVE CENTER DRIVE, SUITE 100
WEST PALM BEACH, FLORIDA 33411
(407) 833-8888 (FAX) 833-8889

DRAINAGE MAP
DICIORGIO ROAD
CITY OF FT. PIERCE
ST. LUKE COUNTY, FL

SCALE
1" = 40' ±

DATE
11-18-08

BY
[Signature]



ASPHALT PAVEMENT SPECIFICATIONS:
 PAVEMENT, 2" THICK IN EXISTING CONCRETE SURFACE COURSE.
 BASE, 6" COURSE IN EXISTING CONCRETE SURFACE COURSE.
 SUBGRADE, 12" STABILIZED SUBGRADE TYPE B, LBR 4L
 (COMPACTED TO PER PER AASHTO T-100 TEST METHOD "C")
 CONCRETE PAVEMENT SPECIFICATIONS:
 PAVEMENT, 4" THICK 4000 PSI CONCRETE W/FRESHEN @ 1/16" ON
 12" COMPACTED FILL.
 COMPACTED SUBGRADE: 12" COMPACTED GRANULAR MATERIAL COMPACTED
 TO PER PER AASHTO T-100, TEST METHOD "C"
 NOTE:
 USE UNSUITABLE MATERIAL FOR FILL IN LANDSCAPE BUFFERS.

CUNNINGHAM & DURRANCE
 CONSULTING ENGINEERS, INC.
 400 EAST STATE STREET, SUITE 100
 FT. PIERCE, FLORIDA 34940
 (813) 335-1100 FAX (813) 335-1101
 U.S. & CAN. REG. NO. 2000

| | | | |
|----------|----------|----|-----|
| DATE | NO. | BY | CHK |
| 3/10/00 | 060324-8 | MD | MD |
| REVISED | NO. | BY | CHK |
| | | | |
| SCALE | DATE | BY | CHK |
| AS SHOWN | 3/10/00 | MD | MD |

SCALE: 1" = 20'-0"

PAVING AND DRAINAGE SECTIONS
 RECORDED ROAD
CITY OF FT. PIERCE
 ST. LUCIE COUNTY, FL

SECTION I-I
 (CONT. TO SHEET 060324-7)

SECTION J-J
 (CONT. TO SHEET 060324-7)

SECTION K-K
 (CONT. TO SHEET 060324-7)

APPLICATION 060324-8

DATA AND ESTIMATED QUANTITIES FOR OVERWALL

| ITEM | DESCRIPTION | EST. QTY | UNIT |
|------|-------------------|----------|-------|
| 1 | CONCRETE OVERWALL | 100 | CU YD |
| 2 | REINFORCING BARS | 100 | LB |
| 3 | FORMWORK | 100 | SQ YD |
| 4 | PAVING | 100 | SQ YD |
| 5 | GRASS | 100 | SQ YD |

REINFORCING BARS AND QUANTITIES FOR OVERWALL

1. REINFORCING BARS SHALL BE #4 BARS.

2. BARS SHALL BE SPACED AT 12" ON CENTER.

3. BARS SHALL BE LAPPED AT 48" WITH LAP OVERLAP.

4. BARS SHALL BE TIED TOGETHER WITH #10 BARS.

5. BARS SHALL BE BENT AT 45 DEGREES.

6. BARS SHALL BE BENT AT 90 DEGREES.

7. BARS SHALL BE BENT AT 135 DEGREES.

8. BARS SHALL BE BENT AT 180 DEGREES.

9. BARS SHALL BE BENT AT 225 DEGREES.

10. BARS SHALL BE BENT AT 270 DEGREES.

ENDWALL DIMENSIONS (EXCLUSIVE OF MULTIPLE PIPE SPACERS)

1. ENDWALL SHALL BE 18" THICK.

2. ENDWALL SHALL BE 12" HIGH.

3. ENDWALL SHALL BE 12" WIDE.

4. ENDWALL SHALL BE 12" DEEP.

5. ENDWALL SHALL BE 12" LONG.

6. ENDWALL SHALL BE 12" TALL.

7. ENDWALL SHALL BE 12" WIDE.

8. ENDWALL SHALL BE 12" DEEP.

9. ENDWALL SHALL BE 12" LONG.

10. ENDWALL SHALL BE 12" TALL.

CONCRETE ENDWALL DETAIL

1. CONCRETE ENDWALL SHALL BE 18" THICK.

2. CONCRETE ENDWALL SHALL BE 12" HIGH.

3. CONCRETE ENDWALL SHALL BE 12" WIDE.

4. CONCRETE ENDWALL SHALL BE 12" DEEP.

5. CONCRETE ENDWALL SHALL BE 12" LONG.

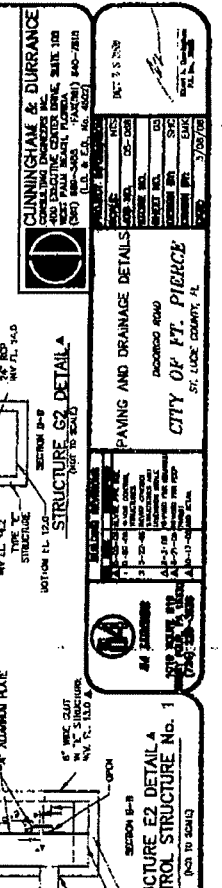
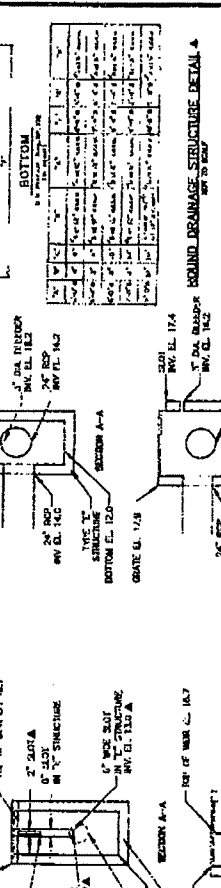
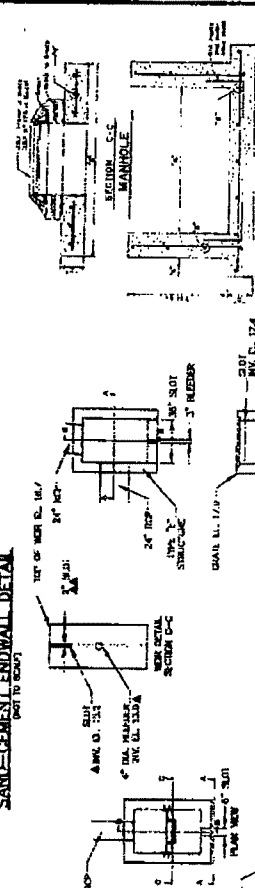
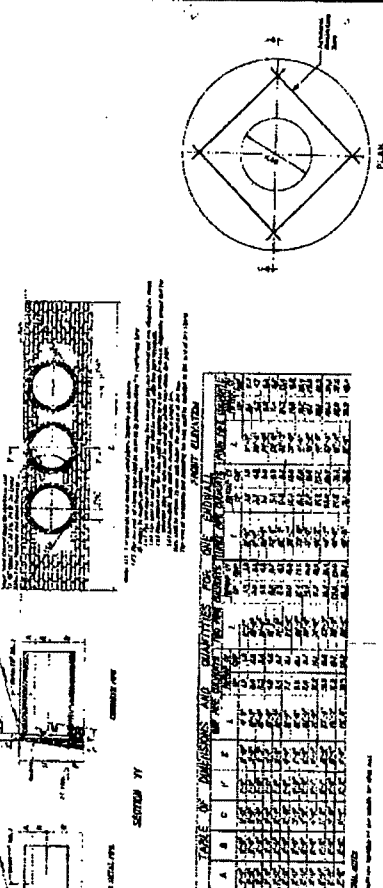
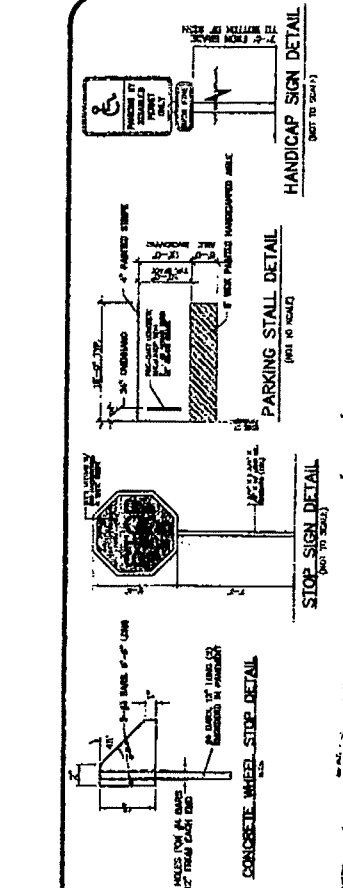
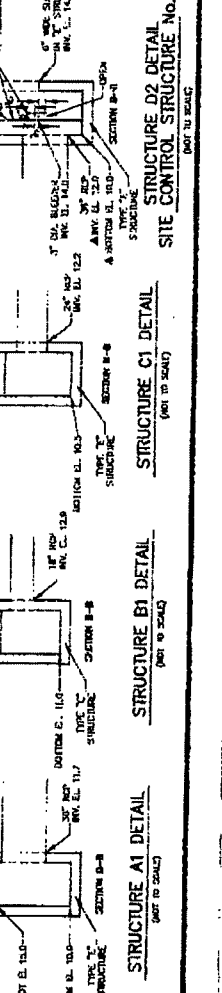
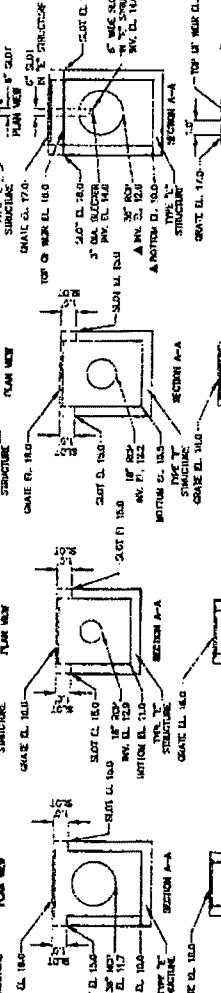
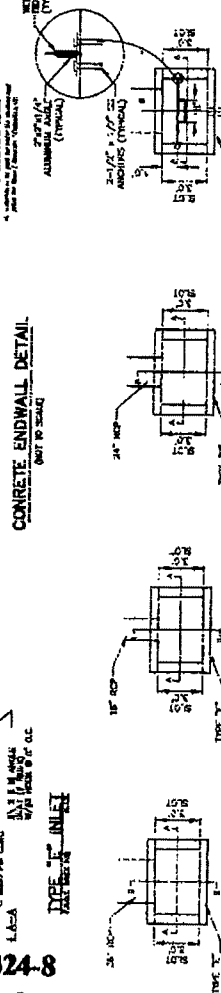
6. CONCRETE ENDWALL SHALL BE 12" TALL.

7. CONCRETE ENDWALL SHALL BE 12" WIDE.

8. CONCRETE ENDWALL SHALL BE 12" DEEP.

9. CONCRETE ENDWALL SHALL BE 12" LONG.

10. CONCRETE ENDWALL SHALL BE 12" TALL.



APPLICATION 060324-8

CUNNINGHAM & DURRANCE
 400 EAST PALM BEACH, SUITE 100
 WEST PALM BEACH, FLORIDA
 (561) 835-1000 FAX (561) 835-1001
 (561) 835-1002 FAX (561) 835-1003

PAVING AND DRAINAGE DETAILS

DOUGLASS ROAD
 CITY OF FT. PIERCE
 ST. LUCIE COUNTY, FL

DATE: 11/11/08
 DRAWN BY: J. J. DURRANCE
 CHECKED BY: J. J. DURRANCE
 APPROVED BY: J. J. DURRANCE

STRUCTURE A1 DETAIL
 (NOT TO SCALE)

STRUCTURE B1 DETAIL
 (NOT TO SCALE)

STRUCTURE C1 DETAIL
 (NOT TO SCALE)

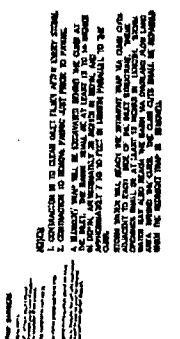
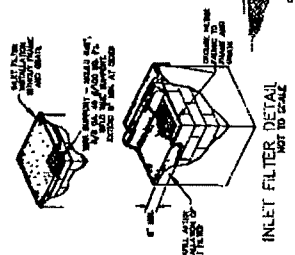
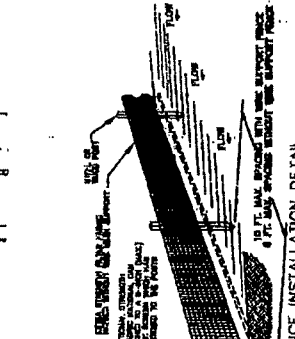
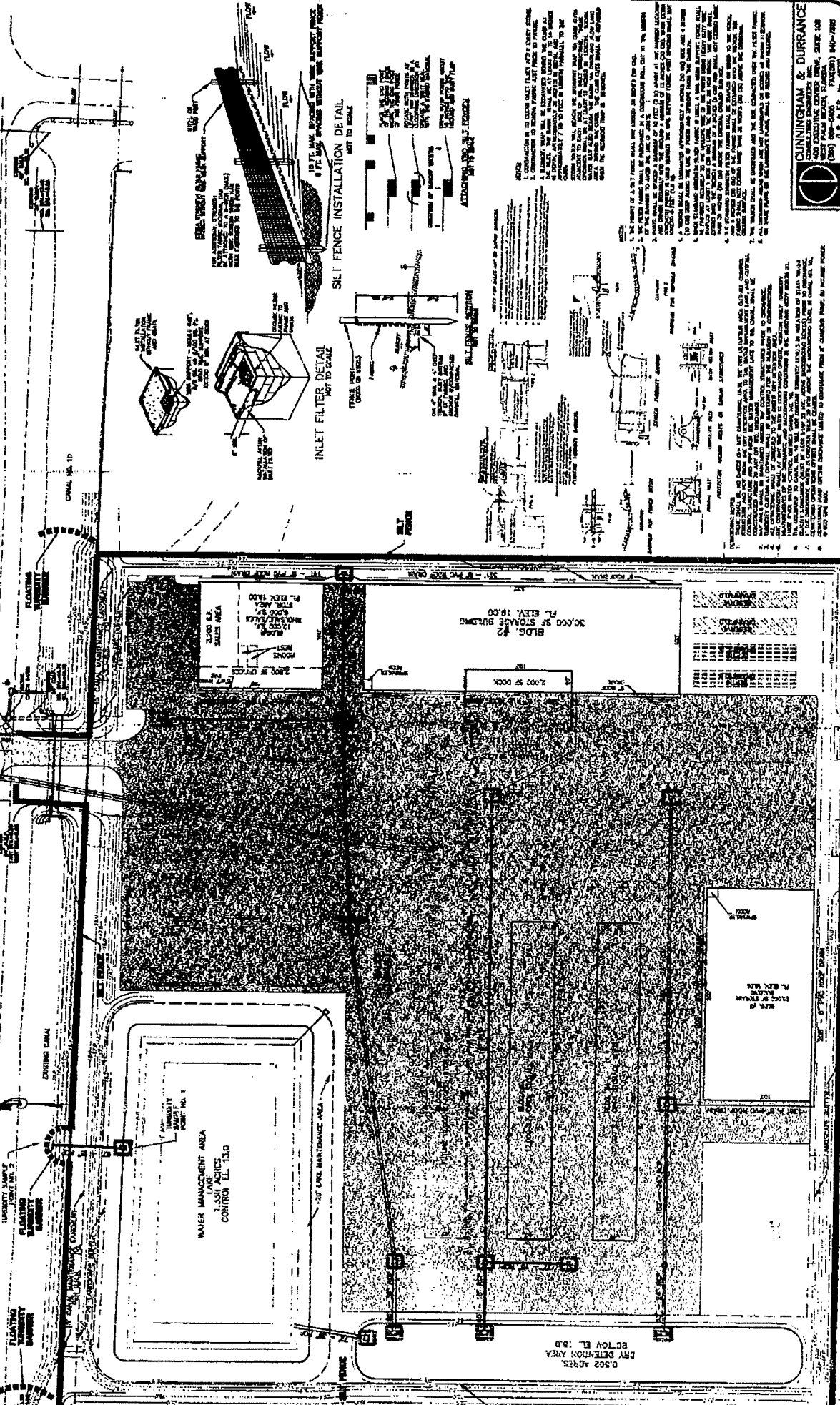
STRUCTURE D2 DETAIL
 (NOT TO SCALE)

STRUCTURE E2 DETAIL
 (NOT TO SCALE)

STRUCTURE G2 DETAIL
 (NOT TO SCALE)

GRAPHIC SCALE
(1" = 100')

DIGIORGIO ROAD



NOTES

1. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FT. PIERCE AND THE STATE OF FLORIDA.
2. THE SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS PLAN AND SHALL BE MAINTAINED AT ALL TIMES.
3. THE SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS PLAN AND SHALL BE MAINTAINED AT ALL TIMES.
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CUNNINGHAM & DURRANCE
CONSULTING ENGINEERS INC.
1001 W. PALM BEACH BLVD., SUITE 100
WEST PALM BEACH, FLORIDA 33411
(407) 838-0000 FAX (407) 838-2800
U.S. & CAN. REG. NO. 0000

EXOSION CONTROL & DRAINAGE PLAN

JACOBINO ROAD
CITY OF FT. PIERCE
ST. LUCE COUNTY, FL.

DATE: 02-20-03
SCALE: AS SHOWN
DRAWN BY: JMD
CHECKED BY: JMD
APPROVED BY: JMD

APPLICATION 060324-8

STAFF REPORT DISTRIBUTION LIST

84 LUMBER

Application No: 060324-8

Permit No: 56-02589-P

INTERNAL DISTRIBUTION

- X Michael Wrock - 4220
- X Ryan Bond - 4250
- X John A. Meyer - 4250
- X Hugo A. Carter, P.E. - 4220
- X ERC Martin/St. Lucie - 6880
- X Permit File

EXTERNAL DISTRIBUTION

- X Permittee - Pierce Hardy Limited Partnership
- X Engr Consultant - Cunningham & Durrance

GOVERNMENT AGENCIES

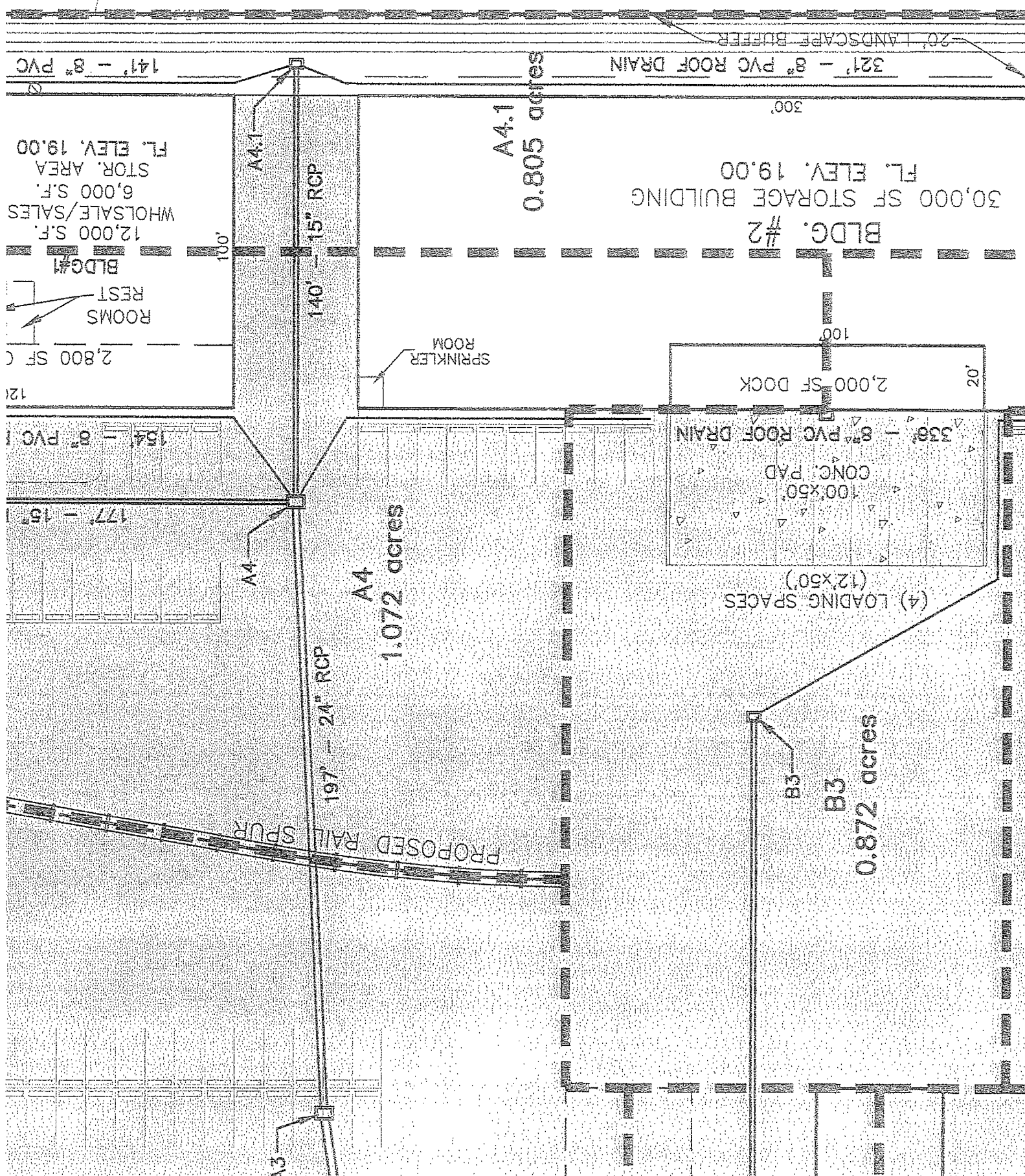
- X City Engineer, City of Fort Pierce
- X City of Port St Lucie - Planning Div
- X Florida Fish & Wildlife Conservation Commission -
Imperiled Species Mgmt Section
- X North St Lucie River Water Control District
- X St. Lucie County Community Development Director
- X St. Lucie County Engineer - Chris Lestrangle
- X St. Lucie County Environmental Resource Manager

OTHER INTERESTED PARTIES

- X Sierra Club - Central Florida Group P.O. Box 941692

ST. LUCIE COUNTY, FL

CITY OF FT. PIERCE



20' LANDSCAPE BUFFER

321' - 8" PVC ROOF DRAIN

300'

A4.1
0.805 acres

30,000 SF STORAGE BUILDING
FL. ELEV. 19.00

BLDG. #2

12,000 S.F.
WHOLESALE/SALES
6,000 S.F.
STOR. AREA
FL. ELEV. 19.00

BLDG #1

REST ROOMS

2,800 SF

SPRINKLER ROOM

2,000 SF DOCK

336' - 8" PVC ROOF DRAIN
100'x50'
CONC. PAD

(4) LOADING SPACES
(12x50')

A4
1.072 acres

154' - 8" PVC

177' - 15"

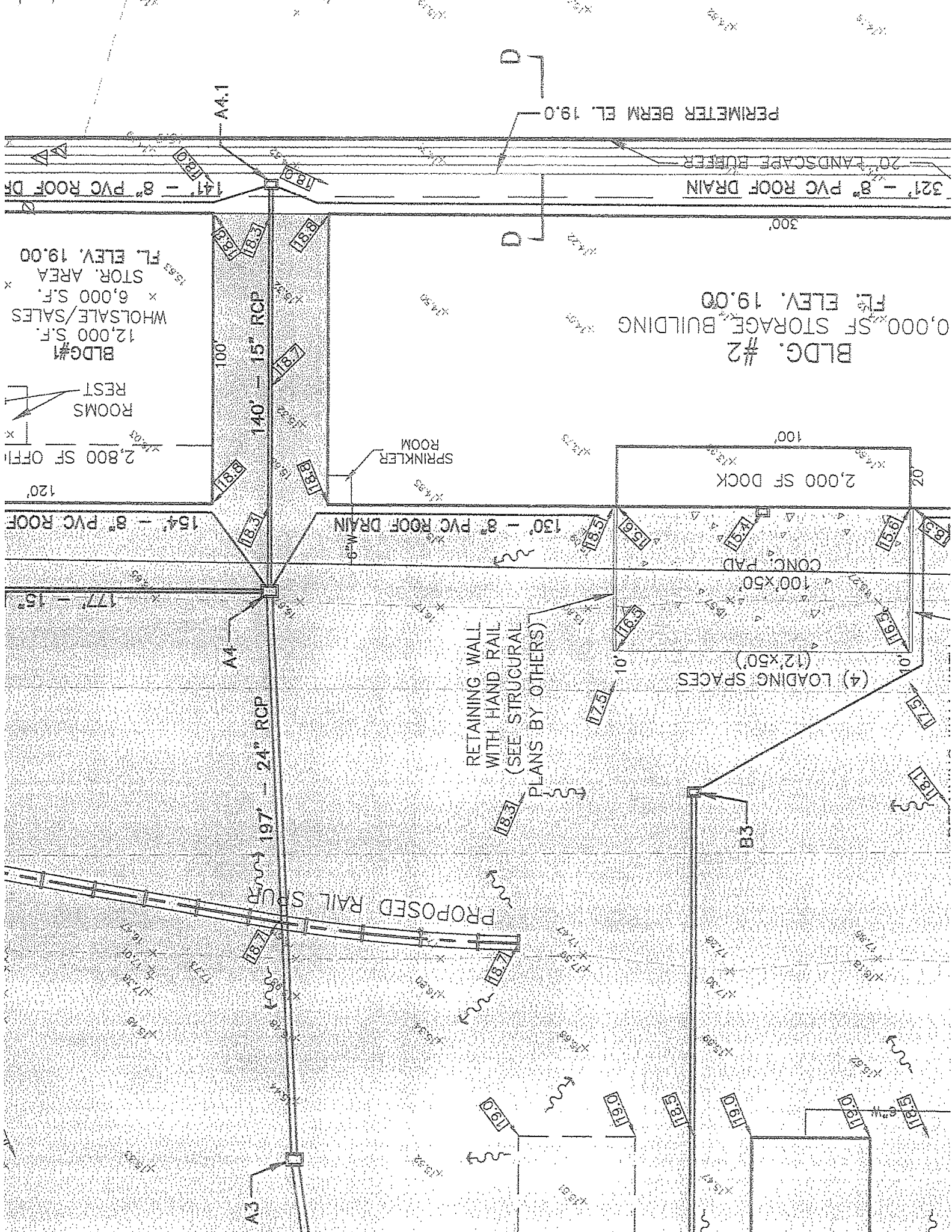
197' - 24" RCP

PROPOSED RAIL SPUR

B3
0.872 acres

B3

A3

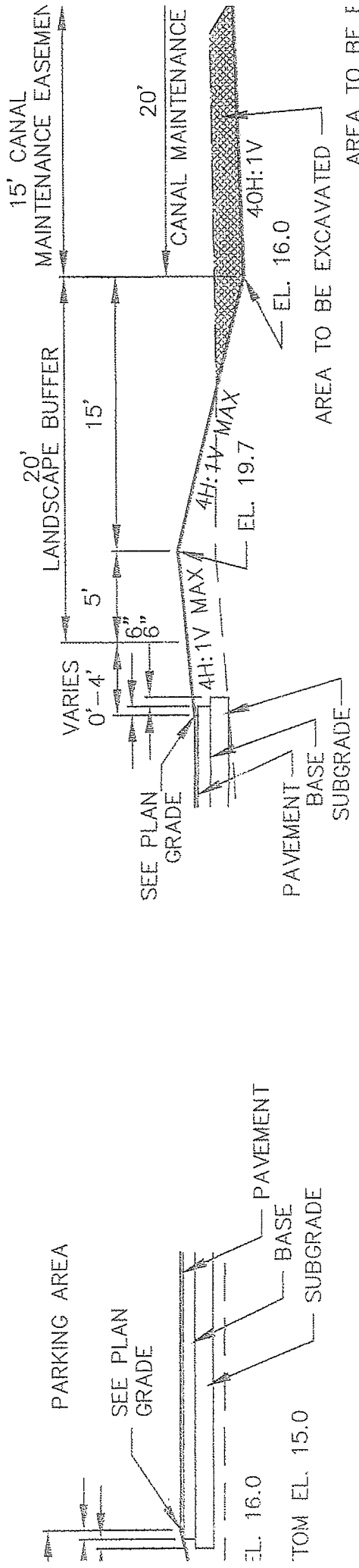




B-B

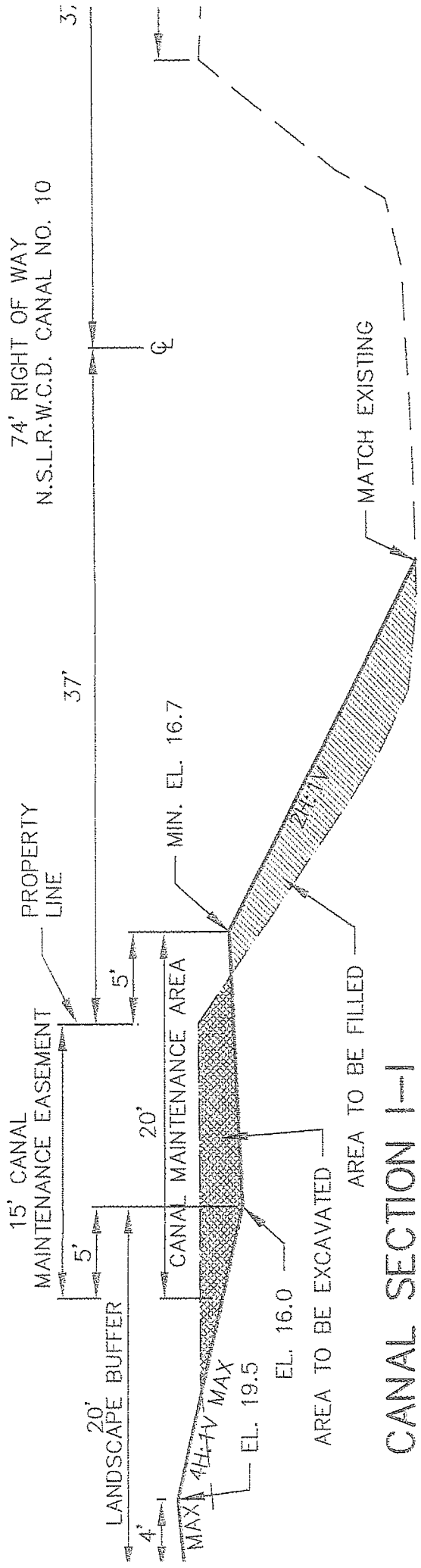
MIN. BOTTOM EL. 7.0

MAX. BOTTOM EL. (-)2.0



CANAL SECTION H-H

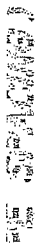
(NOT TO SCALE)



CANAL SECTION I-I

(NOT TO SCALE)

74' RIGHT OF WAY
N.S.L.R.W.C.D. CANAL NO. 10



- round and elliptical concrete pipe and for round and pipe-arch corrugated metal pipe. Round concrete pipe shown.
- Front slope and ditch transitions shall be in accordance with Index No. 282.
- Endwalls may be cast in place or precast concrete. Reinforcing steel shall be Grades 40 or 60. Additional reinforcement necessary for handling precast units shall be determined by the Contractor or the supplier. Cost of reinforcement shall be included in the contract unit price for concrete (endwalls).
- All exposed corners and edges of concrete are to be chamfered $\frac{1}{4}$ ".



TABLE OF DIMENSIONS AND

| SIZE OF PIPE | H | T | A | B | C | F | X | ONE PIPE |
|--------------|--------|-------|-------|-------|--------|--------|--------|----------|
| 18" | 2'-3" | 1'-0" | 4'-0" | 0'-0" | 0'-0" | 1'-9" | 2'-10" | L |
| 24" | 2'-9" | 2'-0" | 2'-0" | 2'-5" | 0'-0" | 1'-9" | 3'-5" | 8'-9" |
| 30" | 3'-4" | 2'-0" | 2'-0" | 3'-2" | 0'-0" | 1'-10" | 4'-3" | 10'-3" |
| 36" | 3'-10" | 2'-0" | 2'-0" | 3'-8" | 0'-0" | 1'-10" | 5'-1" | 12'-0" |
| 42" | 4'-5" | 3'-0" | 2'-0" | 2'-0" | 2'-4" | 1'-11" | 6'-0" | 13'-6" |
| 48" | 4'-11" | 3'-0" | 2'-0" | 2'-0" | 2'-10" | 1'-11" | 6'-9" | 15'-3" |
| 54" | 5'-5" | 3'-0" | 2'-0" | 2'-0" | 3'-6" | 2'-0" | 7'-8" | 16'-9" |
| 60" | 6'-0" | 3'-0" | 2'-0" | 2'-0" | 4'-0" | 2'-0" | 8'-6" | 18'-6" |
| 66" | 6'-7" | 3'-0" | 2'-0" | 2'-0" | 4'-8" | 2'-1" | 9'-3" | 20'-0" |
| 72" | 7'-1" | 3'-0" | 2'-0" | 2'-0" | 5'-2" | 2'-1" | 10'-0" | 21'-9" |
| 78" | 7'-8" | 3'-0" | 2'-0" | 2'-0" | 5'-10" | 2'-2" | 10'-9" | 23'-3" |
| 84" | 8'-2" | 3'-0" | 2'-0" | 2'-0" | 6'-4" | 2'-2" | 11'-8" | 25'-0" |
| | | | | | | | | 26'-6" |

GENERAL NOTES

1. Straight sand-cement endwalls are intended for use outside the clear zone.

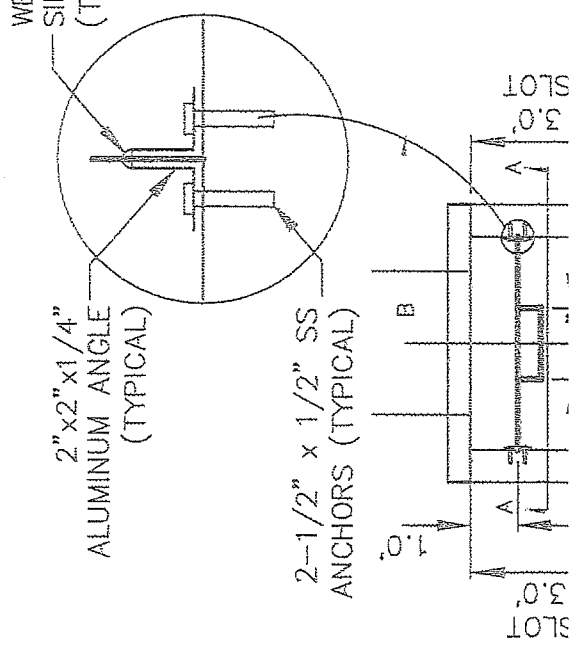
SAND-CEMENT
(NOT

- Concrete meeting the requirements of ASTM C478 (4000 psi) may be used in lieu of Class I concrete in precast items manufactured in plants which are under the Standard Operating Procedures for the inspection of precast drainage products.
- On curtail ditches with side slopes flatter than 1:1/2 provide 24" transitions from the endwall to the flatter side slopes, right of way permitting.
- For seating around endwalls see Index No. 281.
- Payment for concrete quantities for endwalls skewed to the pipe shall be made on the following basis:
 Endwall Skew To Pipe Use Tabulated Value
 0° to 5° 0"
 6° to 15° 15"
 16° to 30° 30"
 31° or over 45"
- Pipe length plan quantities shall be based on the pipe end locations shown in the standard location control and view, or lengths based on special endwall locations called for in the plans.
- Payment for pipe in pipe culverts shall be based on plan quantities, adjusted for endwall locations subsequently established by the Engineer.
- Endwalls to be paid for under the contract unit price for Class I Concrete (Endwalls), CY.

WELD EACH SIDE OF PLATE (TYPICAL)

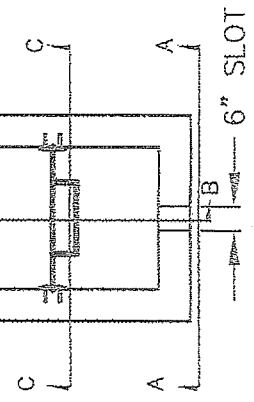
2" x 2" x 1/4" ALUMINUM ANGLE (TYPICAL)

2-1/2" x 1/2" SS ANCHORS (TYPICAL)

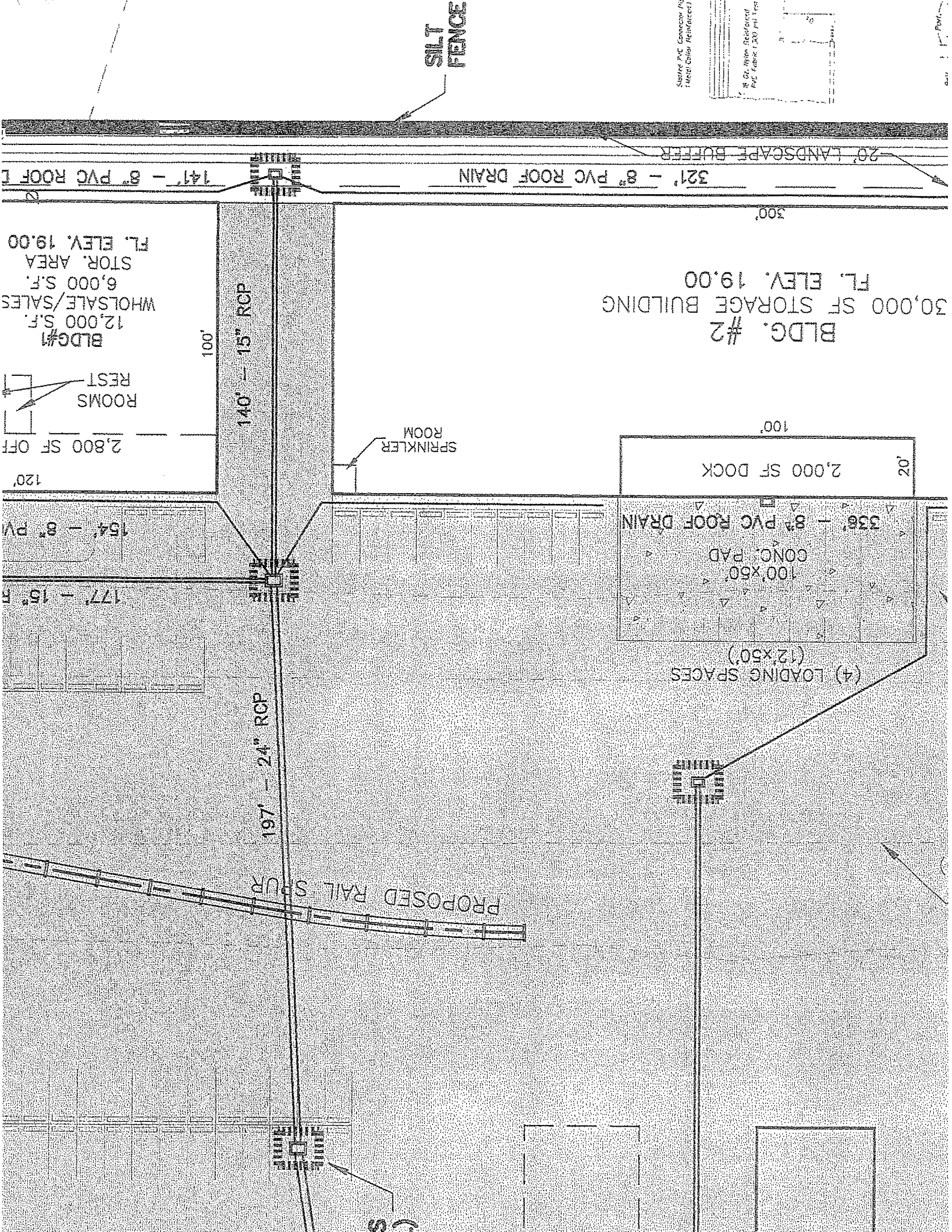


▲▲ 15" RCP
 ▲ INV. EL. 15.2
 SLOT

4" DIA. BLEEDER
 INV. EL. 13.0 ▲

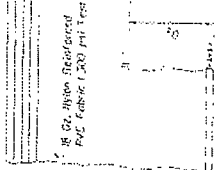


3.0' SLOT



SILT FENCE

Sherrill PVC Connector (1/2" x 1/2" x 1/2" x 1/2")



141' - 8" PVC ROOF DRAIN

321' - 8" PVC ROOF DRAIN

20' LANDSCAPE BUFFER

BLDG#1
12,000 S.F.
WHOLESALE/SALES
6,000 S.F.
STOR. AREA
FL. ELEV. 19.00

BLDG. #2
30,000 SF STORAGE BUILDING
FL. ELEV. 19.00

ROOMS
2,800 SF OFF
REST

SPRINKLER ROOM

2,000 SF DOCK

336' - 8" PVC ROOF DRAIN

CONC. PAD
100'x50'

(4) LOADING SPACES
(12'x50')

197' - 24" RCP

140' - 15" RCP

PROPOSED RAIL SPUR

154' - 8" PVC

177' - 15" RCP

