



DEVELOPMENT REVIEW

Property Information

Property address or Location _____

Parcel ID #(s) _____

Project description _____

Application Type

- Site Plan
 Conditional Use w/New Construction
 Conceptual Development Plan
 Minor Amendment
 Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: _____ Site Acreage: _____

Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Property Owner(s)

Street Address _____

City _____ State _____ Zip _____

Phone Number _____

Email Address _____

Applicant/Representative, Title, Company

Street Address _____

City _____ State _____ Zip _____

Phone Number _____

Email Address _____

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

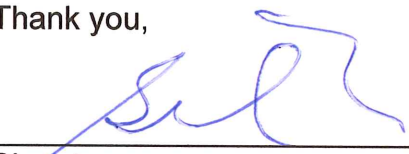
Iglesia Biblica de Ft. Pierce, Inc.
3240 South 25th Street
Fort Pierce, FL 34982

February 25, 2016

To Whom It May Concern,

Please be advised that Engineering Design & Construction, Inc. (EDC) and their employees are authorized to act as an agent for Iglesia Biblica de Ft. Pierce, Inc.

Thank you,




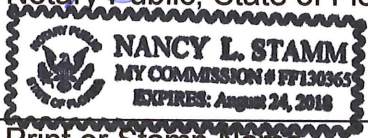
Signature

Salvador Merino
Printed name(s)
Iglesia Biblica de Ft. Pierce, Inc.

STATE OF FLORIDA
COUNTY OF ST. LUCIE

The foregoing instrument was acknowledged before me this 2nd of March, 2016 by Salvador Merino, who is (personally known to me) or (who has produced _____ as identification) and who (did/did not) take an oath.



Notary Public, State of Florida


Print or Stamp Name

QUIT CLAIM DEED

Prepared by and return to:
Blake, Mildner & Associates P.A.
423 Delaware Avenue
Fort Pierce, FL 34950

Property Appraiser's Parcel Identification Number: 2428-232-0001-000-0

Address: 3240 25th Street, Fort Pierce, Florida 34981

THIS QUIT CLAIM DEED made this 16 day of December, 2015, by SALVADOR MERINO first party "Grantor" whose address is 5309 San Diego Avenue, Fort Pierce, FL 34946 to IGLESIA BIBLICA de FORT PIERCE, INC., second party "Grantee."

(Whenever used herein the terms "first party" and "second parties" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, That the first party, for and in consideration of the sum of Ten Dollars (\$10.00) in hand paid by the said second parties, the receipt whereof is hereby acknowledged, does hereby remise, release, and quit claim unto the second parties forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situated, lying and being in the County of St. Lucie, State of Florida, to wit:

The North Half of the Northwest Quarter of the Southwest Quarter of the Northwest Quarter of Section 28, Township 35 South, Range 40 East, of the Public Records of Saint Lucie County, Florida less the West 40 feet thereof.

Title not examined by scrivener.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity, and claim whatsoever of the said first party, either in law or equity to the only proper use, benefit and behoof of the said second parties forever.

IN WITNESS WHEREOF the said first party has signed and sealed these presents the day and year first above written.

Glenn M. Blake
Witness Signature

Glenn M. Blake
Printed Name

Linda Chase
Witness Signature

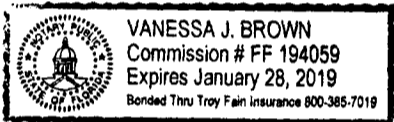
Linda Chase
Printed Name

SALVADOR MERINO
SALVADOR MERINO

STATE OF FLORIDA
COUNTY OF ST. LUCIE

I HEREBY CERTIFY that on this day before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared SALVADOR MERINO, to me known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he executed the same. [] Said person is personally known to me, OR [X] Said person provided the following type of identification: DL

WITNESS my hand and official seal in the County and State last aforesaid this 16th day of December, 2015.



Vanessa J. Brown
Notary Public, State of Florida
My Commission Expires: 1/28/19

Prepared by and Return to:
Veronika Swords, an employee of
First International Title, Inc.
107 North 2nd Street
Fort Pierce, FL 34950

File No.: 32977-41

WARRANTY DEED

This indenture made on July 9, 2013, by **Covenant Reformed Presbyterian Church of Fort Pierce, Florida, Inc., a Florida not for profit corporation** whose address is: 4699 Oleander Ave., Ft. Pierce, FL 34982, hereinafter called the "grantor",

to **Salvador Merino** whose address is: 5309 San Diego Ave., Ft. Pierce, FL 34946 hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **St Lucie County, Florida**, to-wit:

The North Half of the Northwest Quarter of the Southwest Quarter of the Northwest Quarter of Section 28, Township 35 South, Range 40 East, St. Lucie County, Florida, less the West 40 feet thereof.

Parcel Identification Number: 2428-232-0001-000/0

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2012.

In Witness Whereof, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

Covenant Reformed Presbyterian Church of Fort Pierce, Florida, Inc., a Florida not for profit corporation

Samuel V. Rowe

By Samuel V. Rowe
its Vice President

Signed, sealed and delivered in our presence:

George L. Williams III

Witness Signature

Print Name: George L. Williams III

Veronica Swords

Witness Signature

Print Name: Veronica Swords

State of FLORIDA

County of St. Lucie

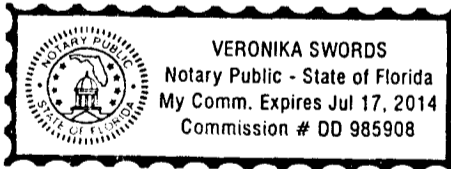
The Foregoing Instrument Was Acknowledged before me on the 9th day of July 2013, by Samuel V. Rowe as Vice-President of Covenant Reformed Presbyterian Church of Fort Pierce, Florida, Inc., a Florida not for profit corporation, who is/are personally known to me or who has/have produced the following as identification: Driver License.

Veronica Swords

Notary Public

(Printed Name)

My Commission expires: _____



Property Identification

Site Address: 3240 S 25th ST
 Sec/Town/Range: 28/35S/40E
 Parcel ID: 2428-232-0001-000-0
 Jurisdiction: Fort Pierce

Use Type: 1000
 Account #: 32158
 Map ID: 24/28N
 Zoning: SF Low Den

Ownership

Iglesia Biblica de Fort Pierce Inc
 5309 San Diego AVE
 Fort Pierce, FL 34946

Legal Description

28 35 40 N 1/2 OF NW 1/4 OF SW 1/4 OF NW 1/4-LESS RD R/W (4.75 AC)
 (OR 3818-940)

Current Values

Just/Market Value: \$101,500
 Assessed Value: \$101,500
 Exemptions: \$101,500
 Taxable Value: \$0



Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 4.75
 Land Size (SF): 206,910

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF

Building Design Wind Speed

Occupancy Category	I	II	III & IV
Speed	140	150	160

Sources/links:

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Dec 16, 2015	3818 / 0940	0117	QC	Merino Salvador	\$100
Jul 9, 2013	3536 / 2671	0117	WD	Covenant Reformed Presbyterian	\$130,000
Apr 5, 2001	1381 / 0635	XX01	WD	Treasure Coast Mortgage Corp	\$128,000
Mar 24, 1989	0629 / 2126	XX00	WD	Embry Thomas D	\$69,900

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View: Roof Cover: Roof Structure:
 Building Type: Year Built: N/A Frame:
 Grade: Effective Year: N/A Primary Wall:

Story Height:

No. Units: 0

Secondary Wall:

Interior Data

Bedrooms: 0

Electric:

Primary Int Wall:

Full Baths: 0

Heat Type:

Avg Hgt/Floor: 0

Half Baths: 0

Heat Fuel:

Primary Floors:

A/C %: 0%

Heated %: N/A%

Sprinkled %: 0%



Image
or
Sketch
unavailable
for display

Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
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Special Features and Yard Items

Type	Qty	Units	Year Blt
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Current Year Values

Current Values Breakdown

Current Year Exemption Value Breakdown

		Tax Year	Grant Year	Code	Description	Amount
Building:	\$0					
Land:	\$101,500	2021	2016	3600	Church	\$101,500
Just/Market:	\$101,500					
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$0					
Assessed:	\$101,500					
Exemption(s):	\$101,500					
Taxable:	\$0					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2013	0054	4.75	North St. Lucie Water Management District	\$102.13

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

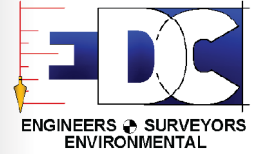
Year	Just/Market	Assessed	Exemptions	Taxable
2021	\$101,500	\$101,500	\$101,500	\$0
2020	\$250,400	\$250,400	\$250,400	\$0
2019	\$250,400	\$250,400	\$250,400	\$0
2018	\$250,400	\$250,400	\$250,400	\$0

Permits

Number	Issue Date	Description	Amount	Fee
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Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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PROJECT NARRATIVE & COVER LETTER

3240 S. 25th Street
Iglesia de Fort Pierce, Inc.
Technical Review
July 8, 2022

REQUEST

On behalf of the Petitioner, Engineering Design & Construction, Inc. would like to request a review and approval for the development of a single parcel for the construction of a 5,520-sf church building with associated site improvements. The subject parcel is noted below and is located on the East side of 25th Street in Fort Pierce, Florida.

SITE CHARACTERISTICS & PROJECT HISTORY

Parcel ID:	Address:	Acreage:	FLU:	Zoning:
2428-232-0001-000-0	3240 S. 25 th Street	4.76	RL	SF Low Den.

The subject parcel has a Future Land Use designation of Low Density Residential (RL) and an underlying Zoning designation of Single-Family Low Density (R-1)RL. The petitioner is proposing the development of a 5,520-sf church building with associated site improvements.

To the north of the subject parcels lies a row of single-family residential lots. These parcels have a Future Land Use designation of Residential Urban (RU) and an underlying Zoning designation of Residential (R-4).

To the south of the subject parcels lies Sunrise Tabernacle Church. This parcel has a Future Land Use designation of Low Density Residential (RL) and an underlying Zoning designation of Single-Family Low Density (R-1).

West of the subject parcels lies the Right-of-Way of S. 25th Street followed by a public middle school owned by School Board of St. Lucie County FL known as Forest Grove Middle School. This parcel has a Future Land Use of Institutional (INST) and an underlying Zoning designation of General and Recreational Open Space Zone (OS-1).

East of the subject parcels lies a parcel with a Future Land Use designation of Residential Urban (RU) and an underlying Zoning designation of Residential Multi-Family-5 (RM-5).

Development Review

Section 125-313 of the City of Fort Pierce Land Development Code outlines the requirements for review and approval of Major or Minor Site Plan Applications. As

outlined in section 125-313(a)(1) of the City of Fort Pierce Land Development Code, the proposed development will be considered a major site plan.

This submittal includes the all-applicable documents required for a Technical Review submittal. The subject property is not located in an area where beach / dune system protection plans are required. Due to this, a beach / dune system protection plan is not included with this submittal.

Design Review

Section 125-314 of the City of Fort Pierce Land Development Code outlines the requirements for design review. The required material as outline in section 125-314(c)(1) are included as part of this submittal package.

The subject parcel is located on the East side of S. 25th Street in Fort Pierce, Florida. Existing conditions of the subject parcels are depicted in the below photos:



North side of parcel on S. 25th Street facing South-East



South side of parcel on S. 25th Street facing North-East

Design Review Intent

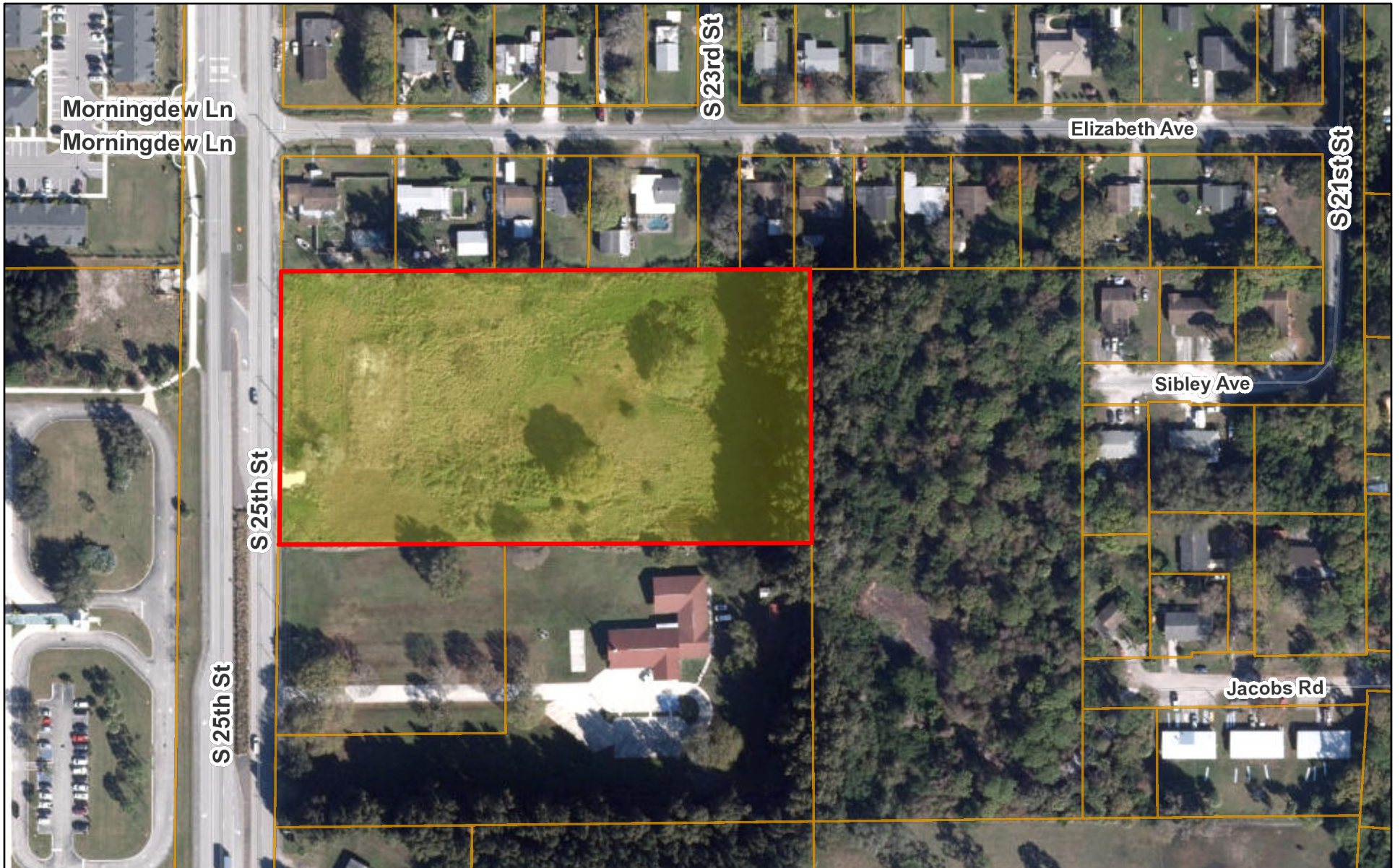
Careful consideration and thought have been given to the design presented herein, regarding orientation, access, landscaping, building design and budget.

Criteria as follows:

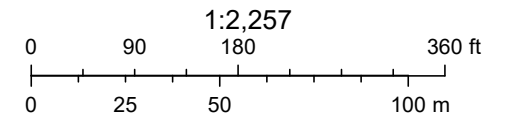
Auto access to the property is an existing concrete driveway from S. 25th Street. Parking therefore will be on the South end of the building with pedestrian access from the existing sidewalk along S. 25th Street.

There is no consistent architectural style or theme along the S. 25th Street corridor. The majority of the architectural details selected for the Church do not exist on the nearby buildings. The exterior of the proposed building is to be reinforced masonry exterior walls on slab on grade with monolithic perimeter footings. The building, though tall, is a single-story design with a variety of architectural details.

Saint Lucie County Property Appraiser



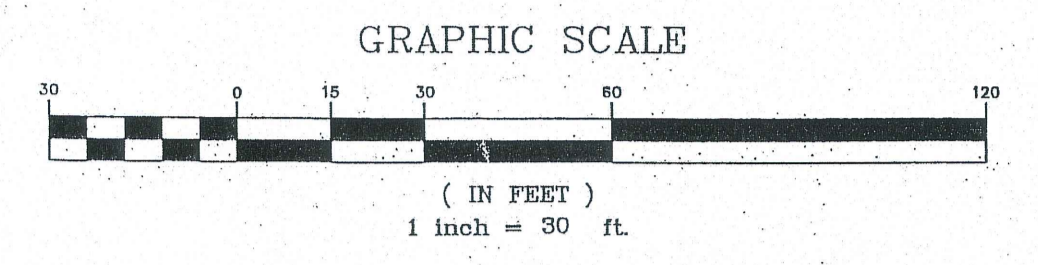
July 7, 2022



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

BOUNDARY AND TOPOGRAPHIC SURVEY

A PORTION OF SECTION 28
TOWNSHIP 35 SOUTH, RANGE 40 EAST
ST. LUCIE COUNTY, FLORIDA.



LEGAL DESCRIPTION:
THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 35 SOUTH RANGE 40 EAST, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS THE WEST 40 FEET THEREOF.

- SURVEYOR'S NOTES:**
- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
 - NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON/OR ADJACENT TO THIS SITE.
 - LANDS SHOWN HEREON WERE SURVEYED WITHOUT BENEFIT OF TITLE SEARCH.
 - BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N00°16'12"W ALONG THE CENTERLINE OF HAWLEY ROAD.
 - ELEVATIONS SHOWN HEREON ARE REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND ARE BASED ON ST. LUCIE COUNTY BENCHMARK DATUM.
 - LEGAL DESCRIPTION FURNISHED BY CLIENT.
 - SITE AREA: 207259.98 SQUARE FEET OR 4.758 ACRES MORE OR LESS.
 - LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT THE APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.
 - THIS SITE LIES IN FLOOD ZONES AE (CONTOUR 10), SHADED 'X', AND 'X' AS SCALED AND INTERPOLATED FROM FEMA FLOOD MAP 12111C-0186-F, DATED AUGUST 19, 1991. (NOTE LINES DELINEATED HEREON ARE AS SCALED GRAPHICALLY FROM MAPS AND ARE APPROXIMATE)

CERTIFICATIONS:
1. SALVADOR MERINO

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA STATUTES, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER.

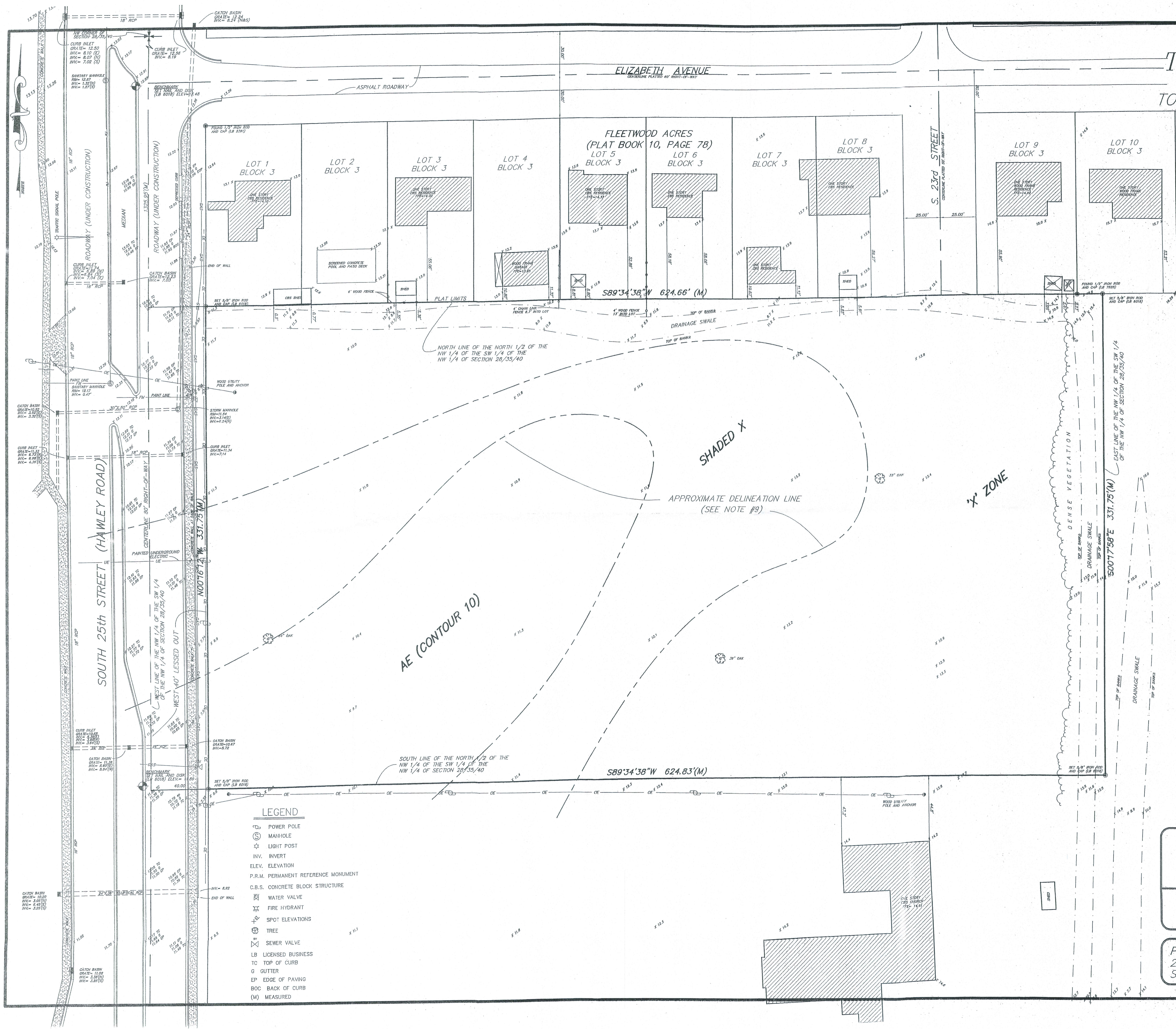
Robert Bloomster Jr.
ROBERT BLOOMSTER JR.
PROFESSIONAL LAND SURVEYOR
NO. 4134 STATE OF FLORIDA

BLOOMSTER
PROFESSIONAL LAND SURVEYORS, INC.
L.B. #6018

791 NORTHEAST DIXIE HIGHWAY
JENSEN BEACH, FLORIDA 34957
PHONE 772-334-0868

SHEET 1 OF 1		
DRAWN BY: JWH		
SCALE: 1" = 30'		
FIELD WORK COMPLETED: 6/13/07		
FIELD BOOK: SKETCH		
JOB NO.: 10121		
REVISIONS		
DATE:	DESCRIPTION:	BY:
6/30/08	ADDITIONAL TOPO	JWH
11/3/08	COUNTY COMMENTS	JWH
12/11/08	COUNTY COMMENTS	JWH
6/24/13	REGENT	JWH

PREPARED FOR: SALVADOR MERINO
25th STREET
ST. LUCIE COUNTY, FLORIDA



- LEGEND**
- POWER POLE
 - ⊙ MANHOLE
 - ☆ LIGHT POST
 - ∩ INV. INVERT
 - ELEV. ELEVATION
 - P.R.M. PERMANENT REFERENCE MONUMENT
 - C.B.S. CONCRETE BLOCK STRUCTURE
 - ⊗ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ SPOT ELEVATIONS
 - ⊕ TREE
 - ⊕ SEWER VALVE
 - LB LICENSED BUSINESS
 - TC TOP OF CURB
 - G GUTTER
 - EP EDGE OF PAVING
 - BOC BACK OF CURB
 - (M) MEASURED

Iglesia Biblica Church
 South 25th Street
 City of Fort Pierce, Florida

City Project Number:

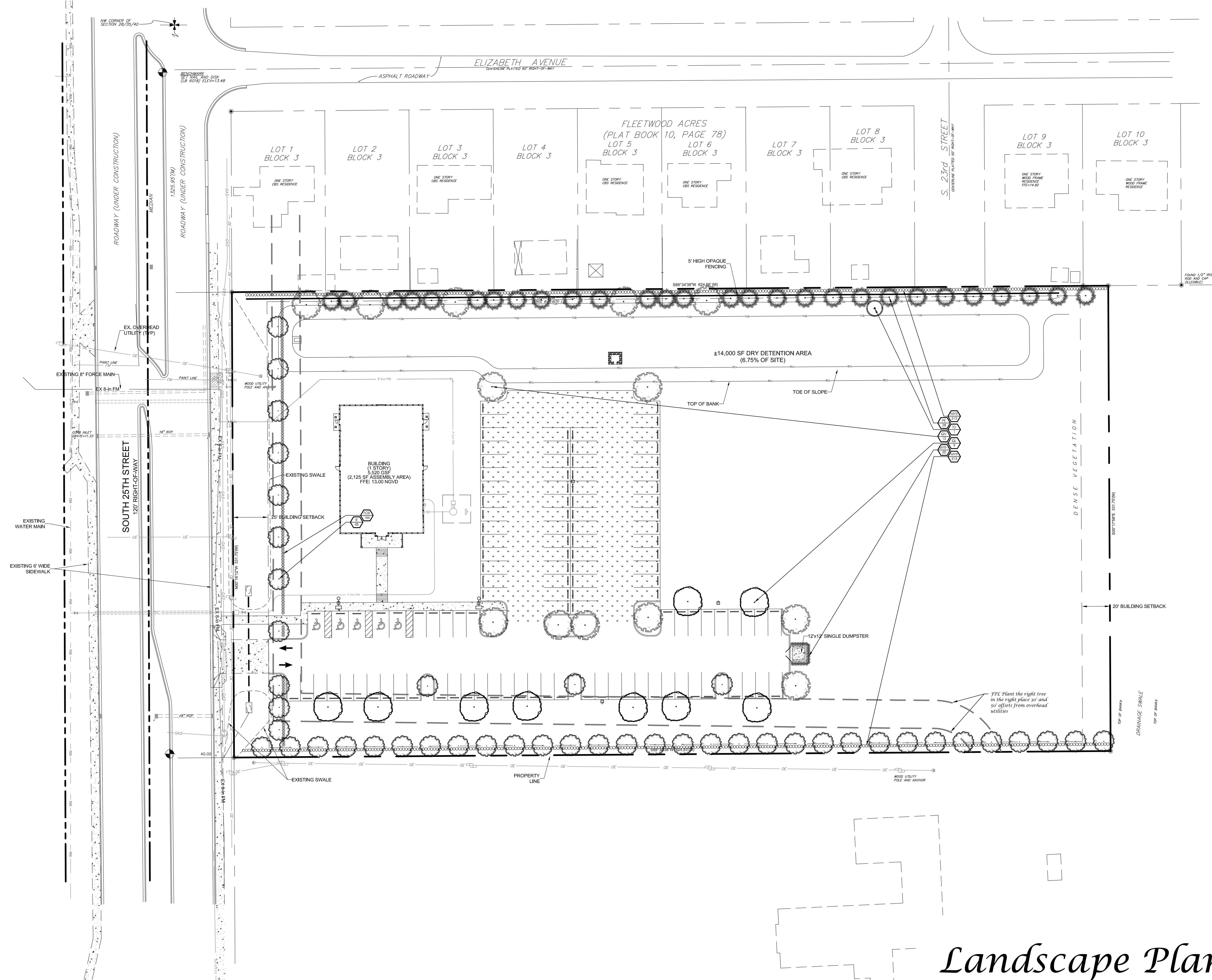
Jeffrey W. Smith, RLA
 Florida Registration Number:
 LA 0001635

Job No. 22-0802
 Drawn By JWS
 Submittal Dates 8-9-2022

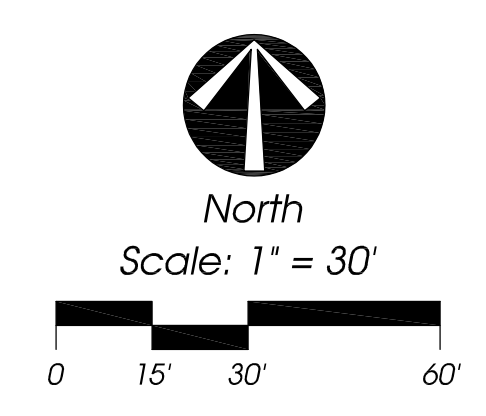
Revision Dates

These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.

L-1 2
 Sheet of



Landscape Plan



Landscape Specifications

- All tree and plant material to be Florida No. 1 or better, as classified in "Grades and Standards for Nursery Plants", Part I and Part II, State of Florida, Dept. of Agriculture, Tallahassee. All plants not listed in "Grades and Standards for Nursery Plants" shall conform to a Florida No. 1 as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species.
- Understanding or substitution of one species or cultivar for another species is a breach of contract and will be "Rejected" at the time of final landscape inspection unless approved by Landscape Architect.
- Project Warranty: All plant material shall be warranted for a period of one (1) year after date of substantial completion against defects, including death and unsatisfactory growth, except for defects resulting from abuse or damage by others or unusual phenomena or incidents which are beyond the contractor's control.
- Any and all conditions which the contractor feels will be detrimental to the success of the planting shall be brought to the owner or representative's attention.
- The contractor shall verify the location of underground utilities prior to commencing work on any project area.
- Mulch planting areas with 3" layer of Metalaouca, Eucalyptus, or Envirotmulch. Cypress Mulch is NOT ACCEPTABLE. Planting beds to receive mulch throughout entire bed area.
- All plants to be set to ultimate grade. No filling will be permitted around trunks or stems. Mulch to be kept a minimum of 2" away from trunks and stems.
- Planting trees and shrubs: Excavate hole per planting detail. When plant is set, place additional backfill consisting of a 50% mixture of Peat humus and natural soil around the base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Water again after placing final layer of backfill and before installing mulch.
- Guy and stake trees in 3 directions with galvanized wire, through flexible hose chaffing guards, with wooden stake anchors immediately after planting. (See Detail)
- Trees and shrubs shall be fertilized with a complete natural organic fertilizer with a ratio of approximately 3:0:2 or 3:0:3 (e.g. one labeled 12-0-8). Similar analysis such as 16-0-8 (4:0:2) can also be used. Fertilizers that are slow release, controlled release, sulphur coated or with nitrogen as IBDU or ureaformaldehyde have extended release period. Thirty to fifty percent of the nitrogen should be water insoluble or slow release.

Palms should receive a complete granular fertilizer formulated for palms ("Palm Special") at a rate of 5 to 8 lbs. per palm.

Agriform 20-0-5 twenty-one gram planting tablets may be substituted for granular fertilizer. If utilized, the following rates shall be utilized: Position plant in hole, Backfill halfway up the rootball. Place tablet(s) beside rootball about 1" from root tips. Do not place tablet(s) in bottom of hole.

- 1 Gallon 1 Tablet
- 3 Gallon 2 Tablets
- 25 Gallon & B&B Trees 2 per 1" caliper

- All planting areas and sod to be irrigated to provide 100% coverage. Shop drawings to be submitted by the irrigation contractor for approval prior to installation.
- Maintain trees, shrubs, and other plants by watering, cultivating, and weeding as required for healthy growth. Restore planting saucers and mulch. Tighten and reset trees and shrubs to proper grade or vertical position as required. Spray as necessary to keep trees and shrubs free of insects and disease. The contractor shall begin maintenance immediately after planting and shall continue maintenance through final acceptance when Certificate of Occupancy is issued to the General Contractor by City and project is released by the General Contractor to Client.
- Prune trees and shrubs only to remove damaged branches as directed by the Landscape Architect.
- Planting Lawns: Provide clean, strongly rooted, uniformly sized strips of Stenotaphrum secundatum Florim (unless otherwise noted), machine stripped not more than 24 hours prior to laying. Grade and roll prepared lawn surface. Water thoroughly but not to create muddy soil conditions. Lay sod strips with tight joints, roll or tamp lightly, and water thoroughly.
- Maintain positive drainage, no planting is to block drainage.
- Drainage Testing
 - Prior to planting of trees, palms, and specimen material, each planting pit shall be tested in the following manner to verify adequate drainage.
 - Each planting pit to the minimum specified size.
 - Fill the planting pit with (12") twelve inches of water. If the water level in the planting pit drops (4") four or more inches within (4) four hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than (4") four inches within the (4) four hour period, then a drainage channel is required.
 - When a drainage channel is required, the drainage channel must extend down through the non porous soil and into porous soil. (See Drainage Testing Detail)
 - Discard all material removed from the drainage channel.
 - When backfilling the planting pit, add coarse gravel to the drainage channel. Also, care must be taken to keep the consistency of the soil mix the same throughout the planting pit.

- NOTES:
- Contractor to include drainage testing for all trees and palms in bid. If drainage is inadequate, the soil specification in item #8 above shall be revised for site conditions. Contractor shall notify the Owner and Landscape Architect of poor drainage conditions in writing and written direction will be provided to the contractor of appropriate soil mixture specification to be used.
 - All fertilizers shall meet the City of Port St. Lucie's fertilizer ordinance.

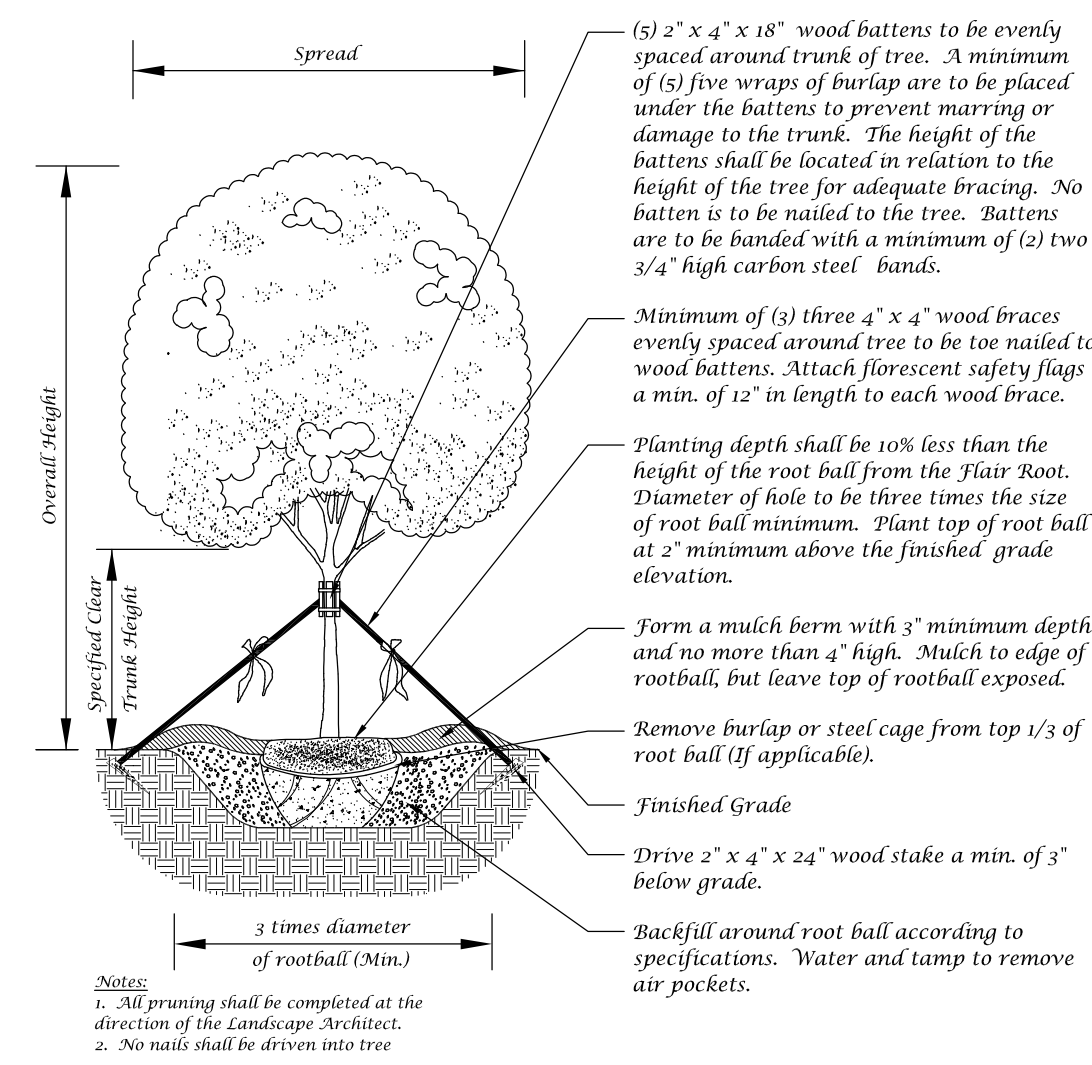
Plant List

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS
CANOPY / ORNAMENTAL TREES						
45	IE*	ILEX AT TENUATA 'EAGLESTON'	EAGLESTON HOLLY	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
28	PE*	PINUS ELLIOTTI	SLASH PINE	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
9	QL*	QUERCUS LAURIFOLIA	LAUREL OAK	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
13	VQ*	QUERCUS VIRGINIANA	LIVE OAK	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
1	TD*	TAXODIUM DISTICHUM	BALD CYPRESS	12' x 5', 2.5" D.B.H.	A.S.	FULL CANOPY, 5' C.T. MIN.
SHRUBS / GROUNDCOVERS						
166	FOS*	FORESTIERA SEGREGATA	FLORIDA PRIVET	#3, 2' x 2'	2' O.C.	FULL & THICK
626	MYR*	MYRICANTHES FRAGRANS	SIMPSON STOPPER	#3, 2' x 2'	2' O.C.	FULL & THICK
20	MYR-1*	MYRICANTHES FRAGRANS	SIMPSON STOPPER	#7, 4' x 2'	2' O.C.	FULL & THICK
SOD-1						
PASPALUM NOTATUM			BAHIA SOD			SEE SPECS
* = Florida Native						
NOTE: D.B.H. IS MEASURED 4.5' ABOVE GRADE						

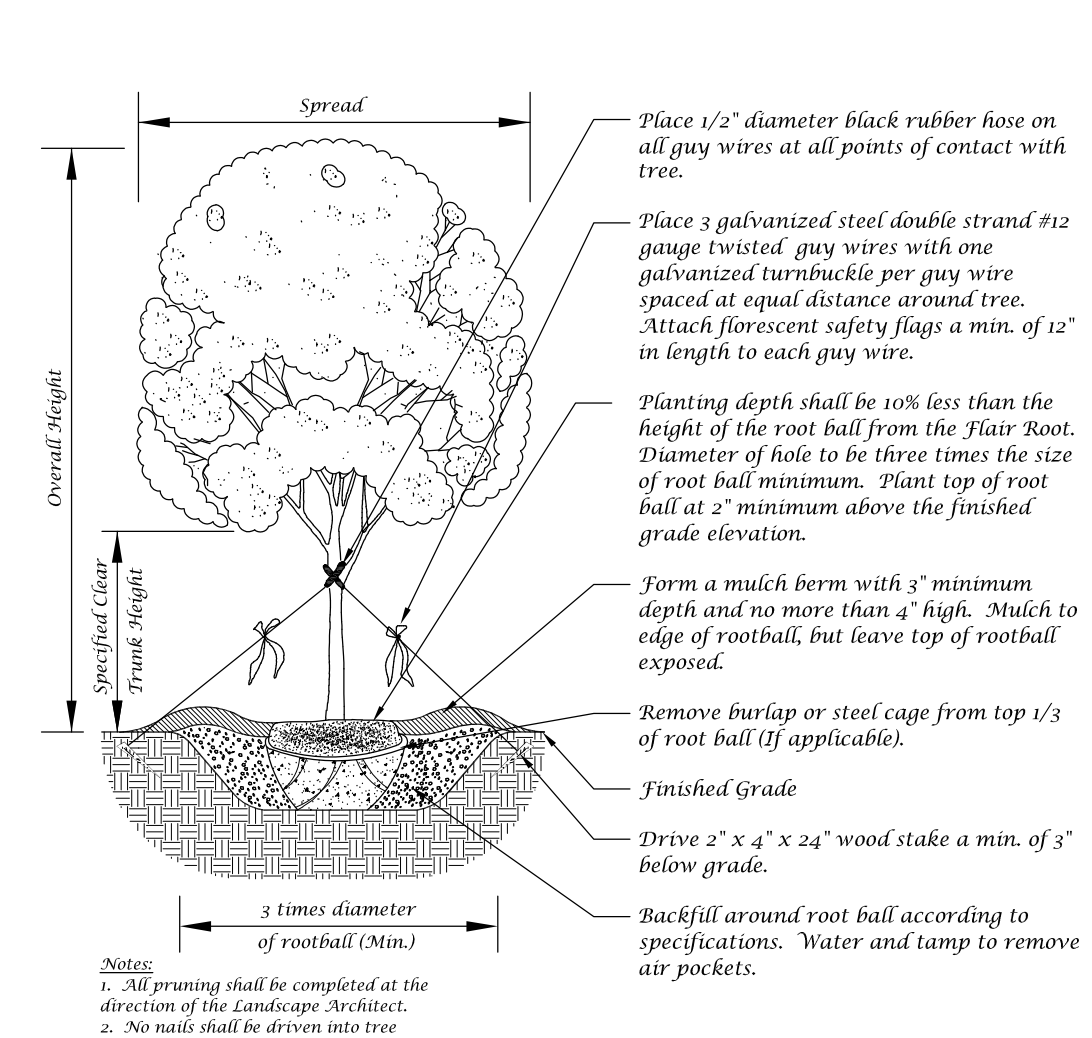
Landscape Data

Vehicle Use Area Landscaping Adjacent to R.O.W. (West Buffer) 332' Sec. 123-37(4)(b)	Interior Vehicle Use Area Sec. 123-37(7)(a & b)
Trees Required = 10' Wide Landscape Strip with 1 Tree/300 s.f. 332 l.f. x 10' = 3,320 s.f. / 300 = 11 Trees Provided = 11	Required = 1 s.f. of interior landscaping per 15 s.f. of vehicular use area (20,353 s.f./15 = 1,357 s.f.) Landscape Area Provided = 1,400 s.f. Trees Required = 1 Tree/100 s.f. of interior landscape area 20,353 s.f./100 = 203.53 Trees Trees Provided = 14 (Note: some trees relocated to dry retention area to enhance water quality)
Shrubs Required = Continuous Hedge @ 2' o.c. 332 l.f. / 2' o.c. = 166 Shrubs Provided = 166	Total Trees Required = 96 Trees Total Trees Provided = 96 Trees
Vehicle Use Area Landscaping to Adjacent Property (North & South Buffer) 1,250' Sec. 123-37(6)	
Trees Required = 10' Wide Landscape Strip with 1 Tree/200 s.f. 1,250 l.f. x 10' = 12,500 s.f. / 200 = 63 Trees Provided = 63	Total Trees Required = 96 Trees Total Native Trees Provided = 96 (100%)
Shrubs Required = Continuous Hedge @ 2' o.c. 1,250 l.f. / 2' o.c. = 625 Shrubs Provided = 625 Shrubs	Total Palms Required = 0 Total Native Palms Provided = 0 (NA - %) Total Shrubs Required = 810 Total Native Shrubs Provided = 810 (100%)

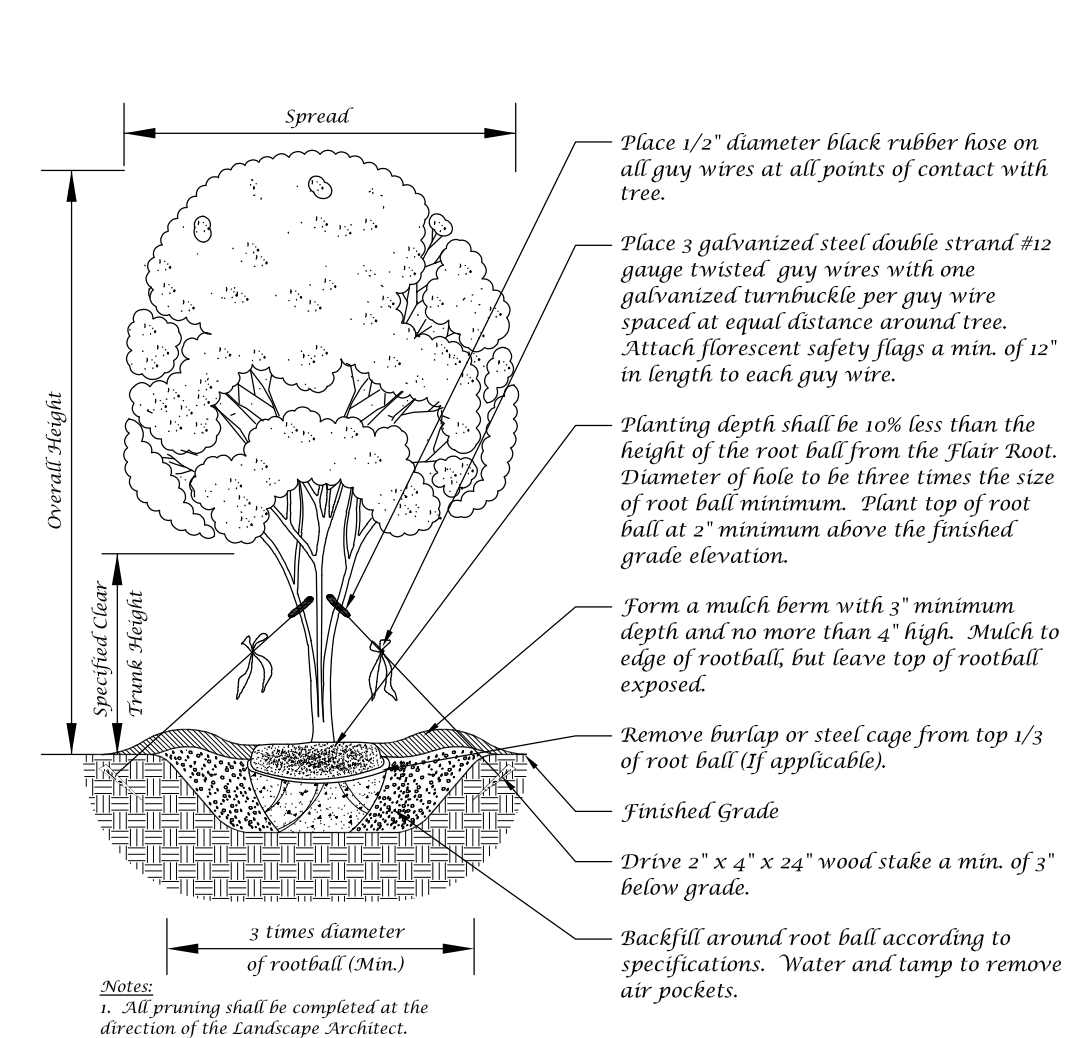
Landscape Details



Large Tree Planting Detail (5" Caliper or Greater)

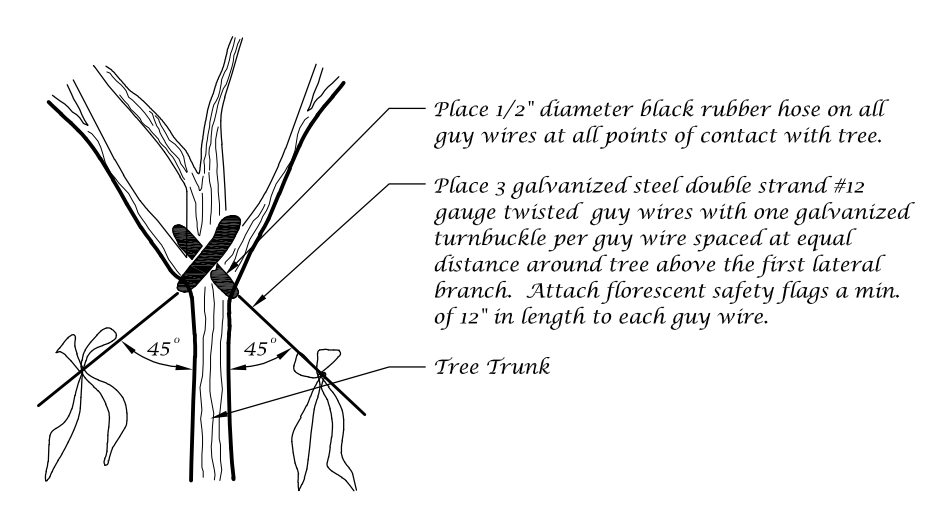


Tree Planting Detail



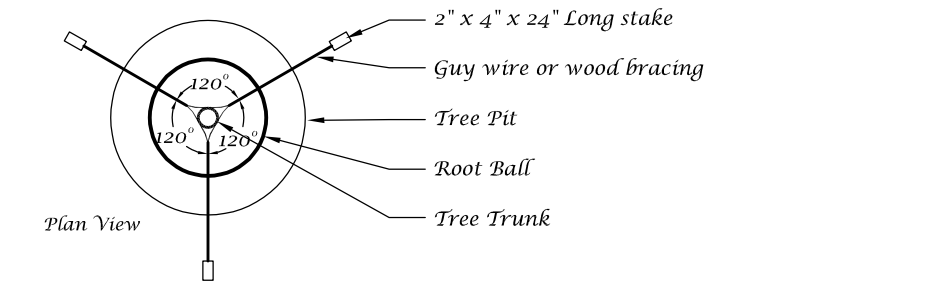
Multi-Trunk Tree Planting Detail

Not to Scale



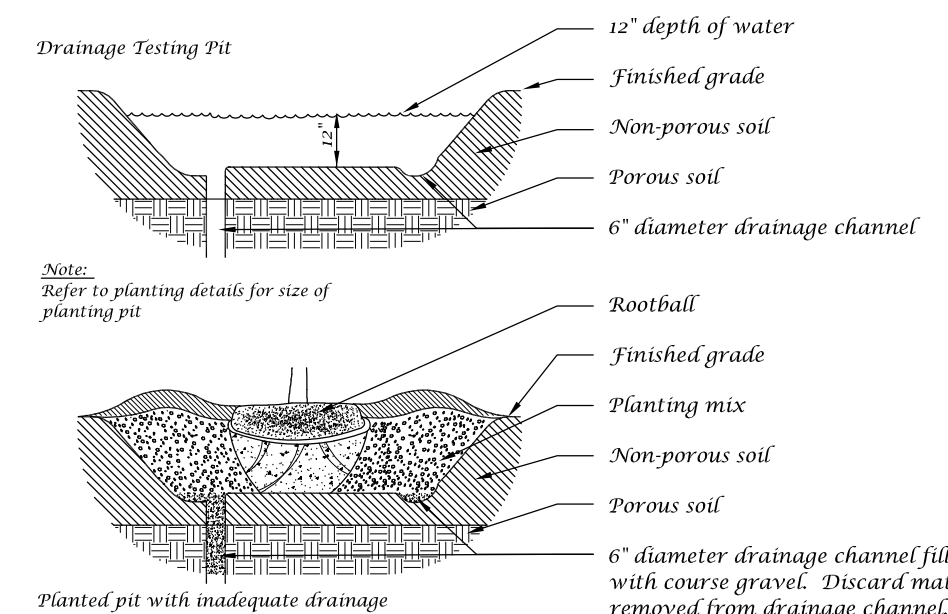
Guy Wire Attachment Detail

Not to Scale



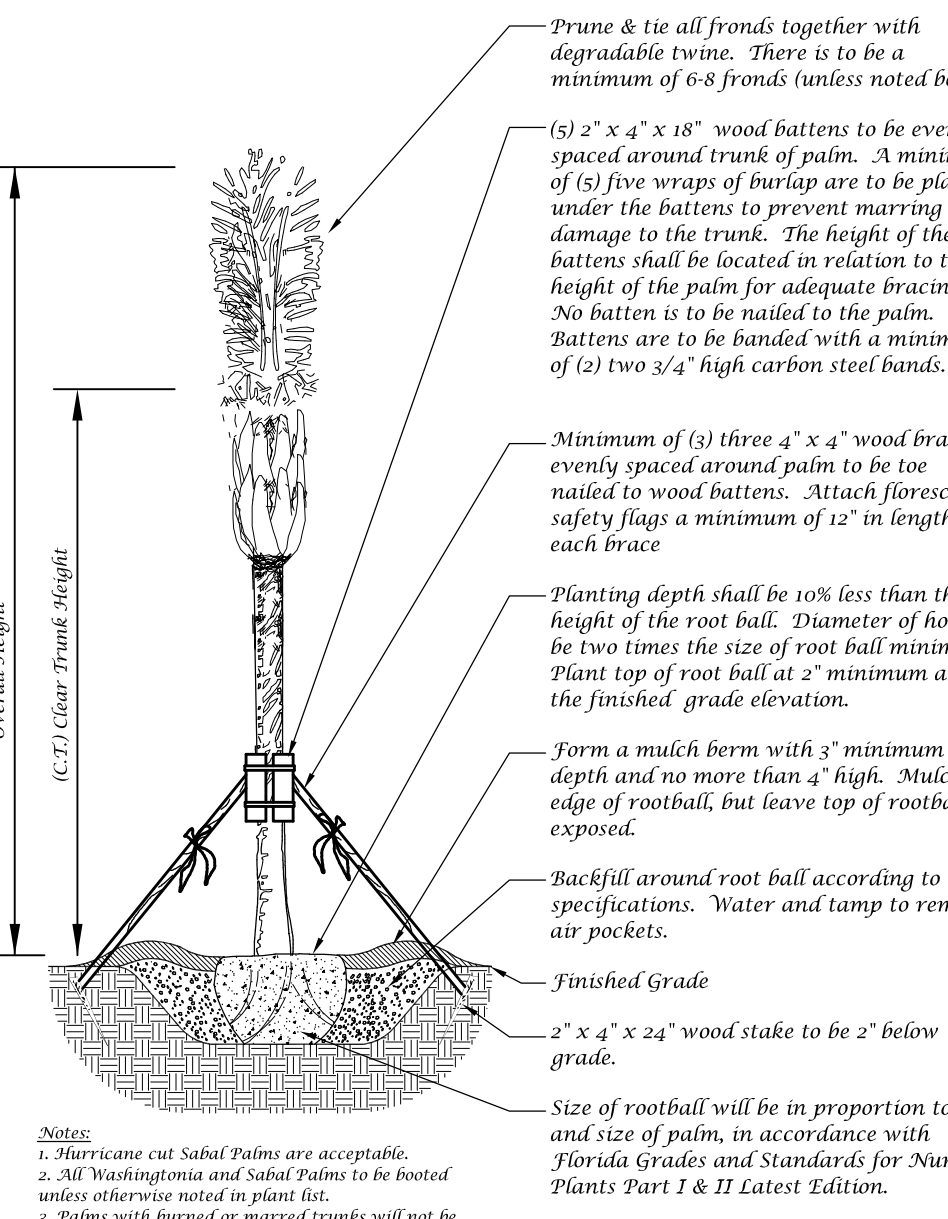
Staking Detail

Not to Scale



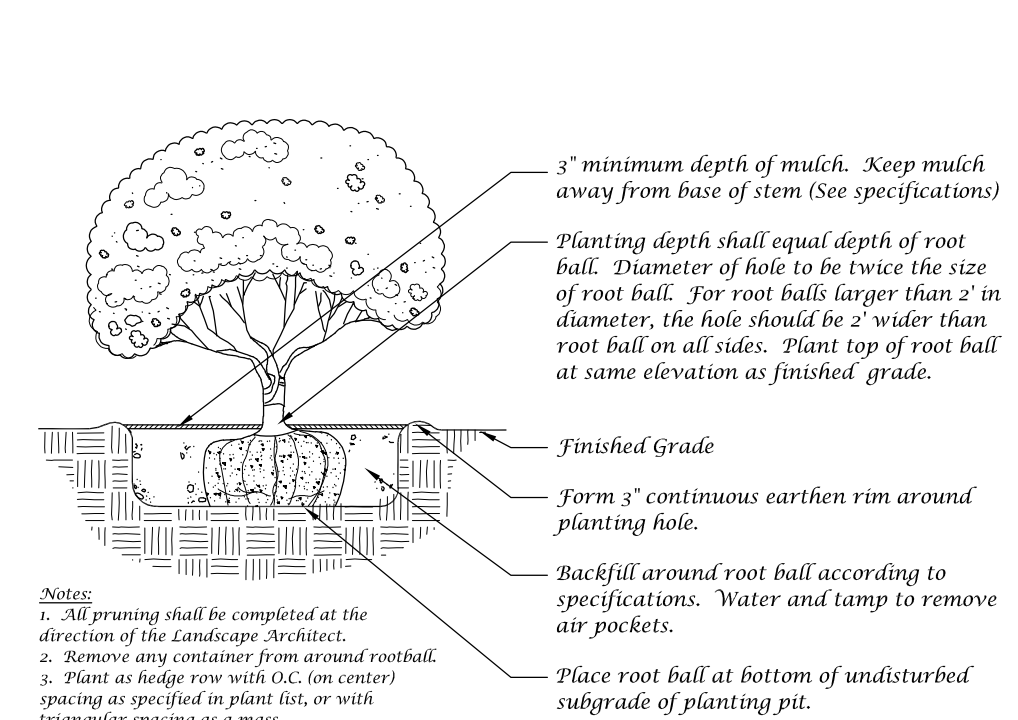
Drainage Testing Detail

Not to Scale



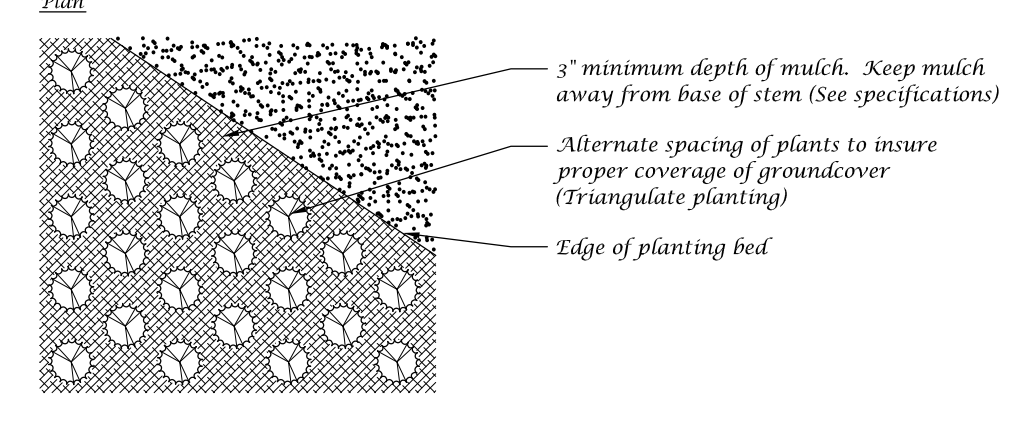
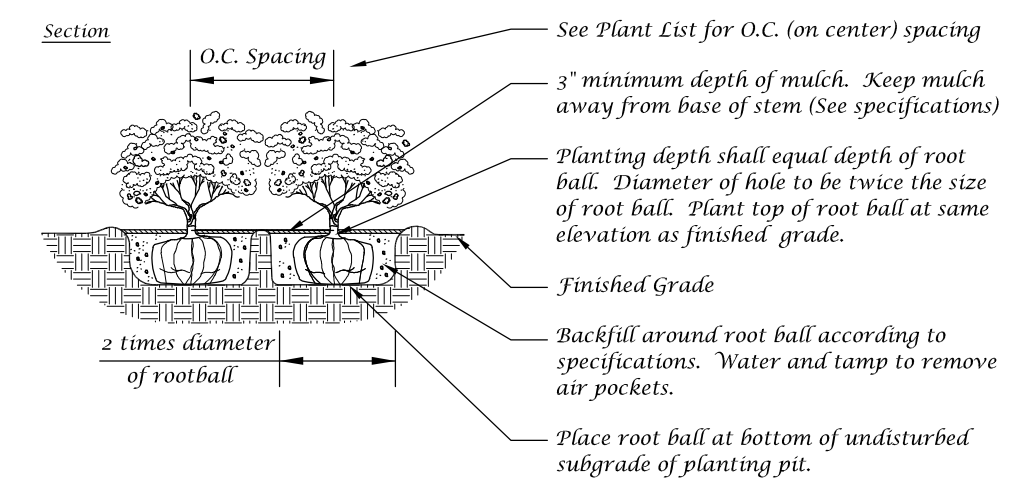
Palm Planting Detail

Not to Scale



Shrub Detail

Not to Scale



Ground Cover Detail

Not to Scale

Conceptual Design Group, Inc.

Landscape Architecture - Site Planning

900 East Ocean Boulevard, Suite 1300
Stuart, Florida 34994
(772) 344-2340
LC: 26000198

Iglesia Biblica Church

South 25th Street
City of Fort Pierce, Florida

City Project Number:

Jeffrey W. Smith, RLA
Florida Registration Number:
LA 0001635

Job No. 22-0802
Drawn By JWS
Submittal Dates 8-9-2022

Revision Dates

These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.

L-2 2
Sheet of

Landscape Plan

TECHNICAL MEMORANDUM

TO: SALVADOR MERINO 25TH STREET CHURCH
FROM: EDC, INC. – ENVIRONMENTAL DIVISION
SUBJECT: Wetland – Comprehensive Environmental Review
DATE: APRIL 02, 2021

Site Conditions

The subject development, 25th Street Church, is proposed for construction. The subject parcel is located at 3240 S 25th Street, City of For Pierce, St. Lucie County, FL. The subject parcel can further be identified as PCN# 2428-232-0001-000-0, consisting of approximately 4.75 acres.

Upon being contacted by the church, EDC, Inc. conducted site reconnaissance to ascertain the current status of the wetland on site previously identified by the South Florida Water Management District (SFWMD).

EDC, Inc. personnel surveyed the property on foot; conducting transects across the property to obtain estimates of the wetland limits. There was an abundance of nuisance and exotic species present, and some native FL species. See table below:

The following native vegetation was found on site:

Common Name	Species Name
Cabbage Palm	<i>Sabal Palmetto</i>
Slash Pine	<i>Pinus densa</i>
Gallberry	<i>Ilex coriacea</i>
Grapevine	<i>Vitus rotundifolia</i>

The following invasive vegetation was found on site:

Common Name	Species Name
Brazilian Pepper	<i>Schinus terebinthifolia</i>
Old World Climbing Fern	<i>Lygodium microphyllum</i>
Guinea Grass	<i>Megathyrus maximus</i>
Cogon Grass	<i>Imperata cylindrica</i>

Wetland Detail

This wetland is estimated to be 0.41 acres in size (see attached graphic). It is important to understand actual acreage of the wetland on site may vary upon determination by a State government agency. This wetland is hydrologically isolated, and is not connected to a greater system of riverine or estuarine systems.

Furthermore, this wetland was observed to contain many invasive species of grasses, further indicating its lack of significant ecological value in the Florida landscape.

Listed below are environmental regulations that would affect site development in the City of Fort Pierce regarding wetlands:

4.8 Objective:

Wetlands and natural functions of wetlands shall be preserved and protected pursuant to FDEP. Uses shall be directed away from wetlands and development shall be designed to preserve and protect wetlands and the natural functions of wetlands. Mitigation may be considered as one means to compensate for loss of wetland functions.

The City of Fort Pierce follows all state regulations when it comes to wetlands. If a determination finds the wetland to be greater than 0.5 acres, mitigation may be required.

Recommendations

At this juncture, EDC Inc. strongly recommends obtaining a State-approved wetland determination for further site planning.



ENGINEERS • SURVEYORS • ENVIRONMENTAL

Environmental Site Assessment

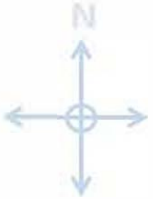
3240 S 25th Street
City of Fort Pierce, FL

Wetland Estimate Map

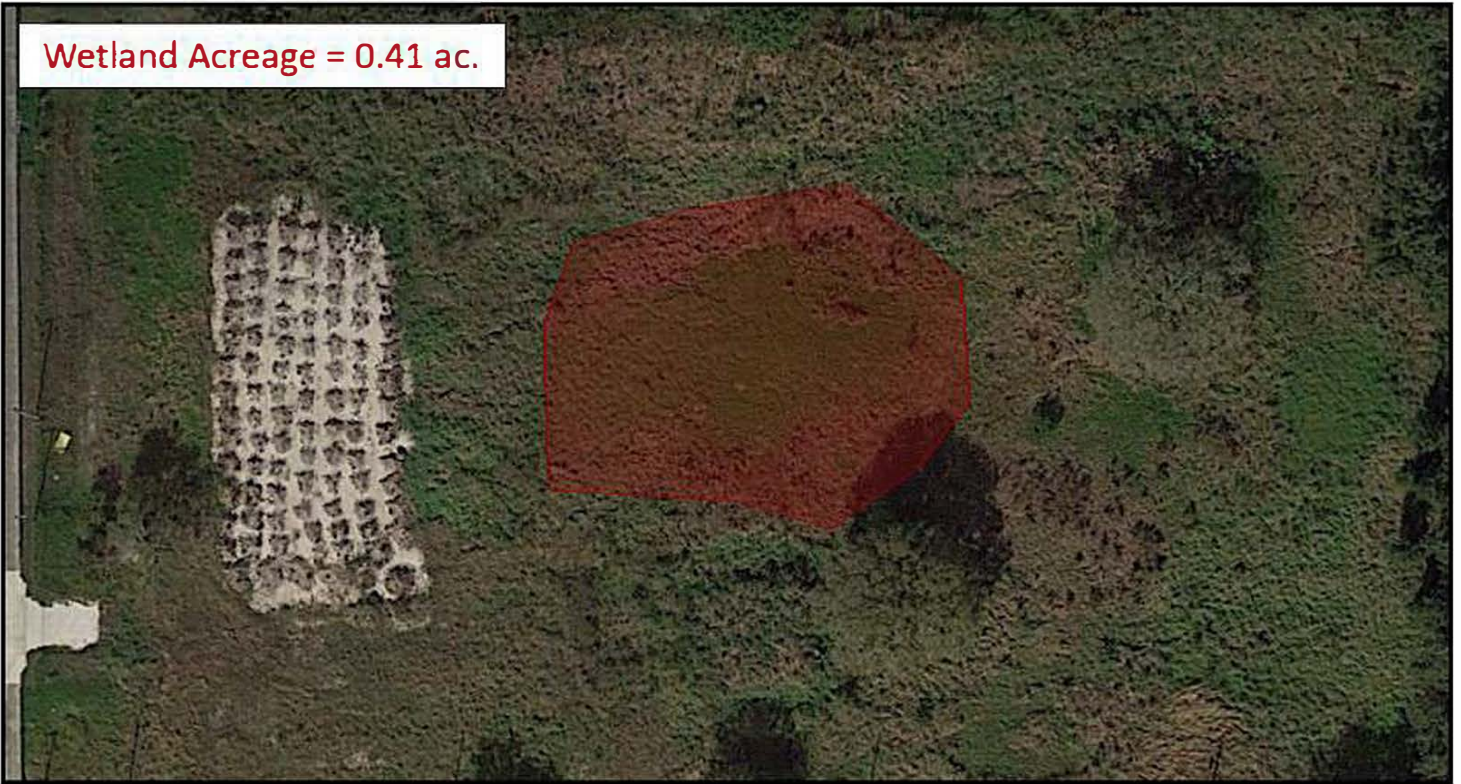
Project: 13-246

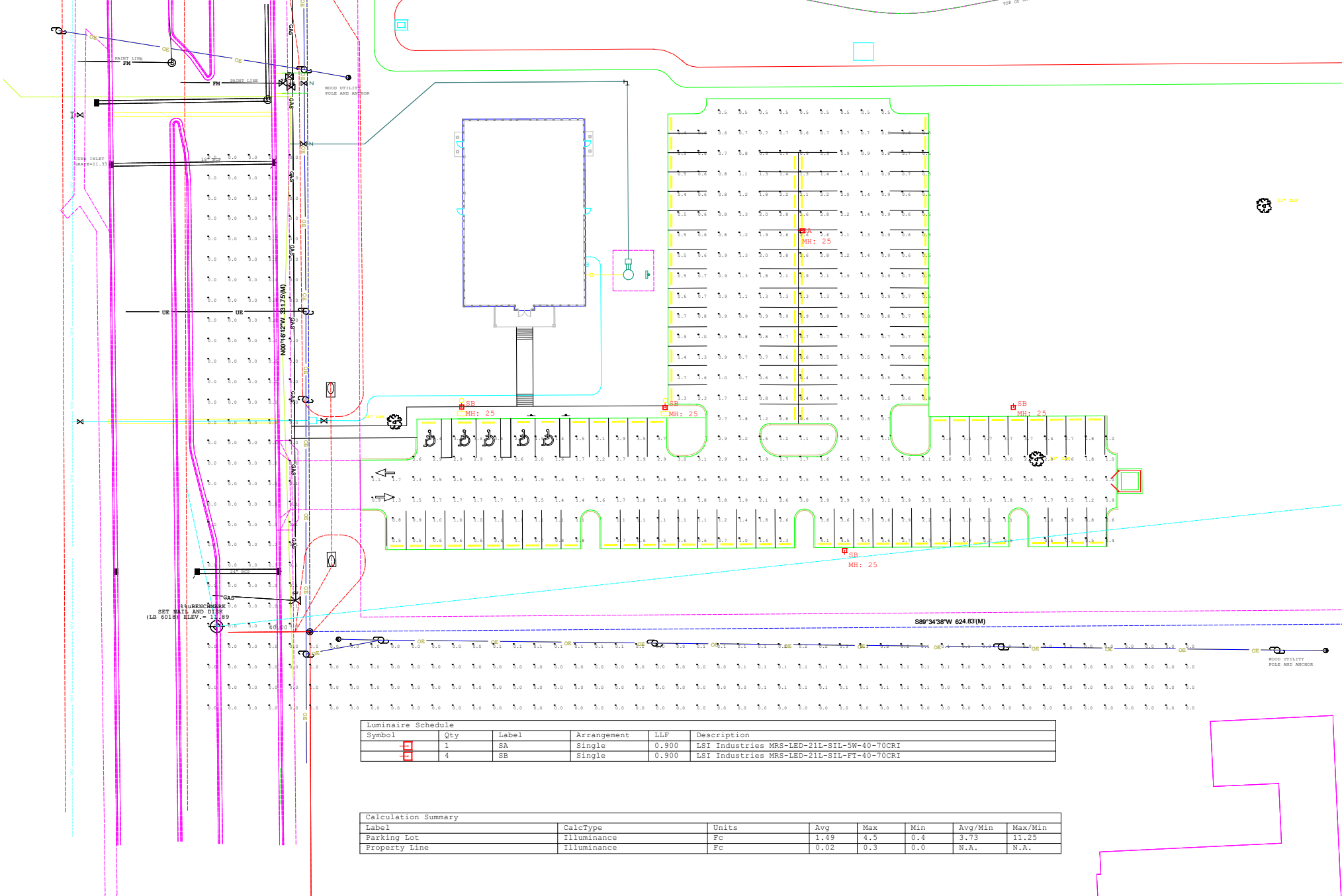
Mark Landsman

12/11/2020



Wetland Acreage = 0.41 ac.





Luminaire Schedule					
Symbol	Qty	Label	Arrangement	LLF	Description
SA	1	SA	Single	0.900	LSI Industries MRS-LED-21L-SIL-5W-40-70CRI
SB	4	SB	Single	0.900	LSI Industries MRS-LED-21L-SIL-FT-40-70CRI

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
Parking Lot	Illuminance	Fc	1.49	4.5	0.4	3.73	11.25		
Property Line	Illuminance	Fc	0.02	0.3	0.0	N.A.	N.A.		

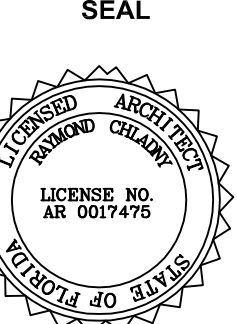
THESE DRAWINGS CONTAIN ARCHITECTURAL SYMBOLS USED FOR GRAPHIC PURPOSES ONLY. SIZE AND LOCATION MAY VARY TO MEET MANUFACTURER'S SPECIFICATIONS.

DO NOT SCALE DRAWINGS. ANY QUESTIONS ABOUT DIMENSIONS, CONTACT DESIGNER.

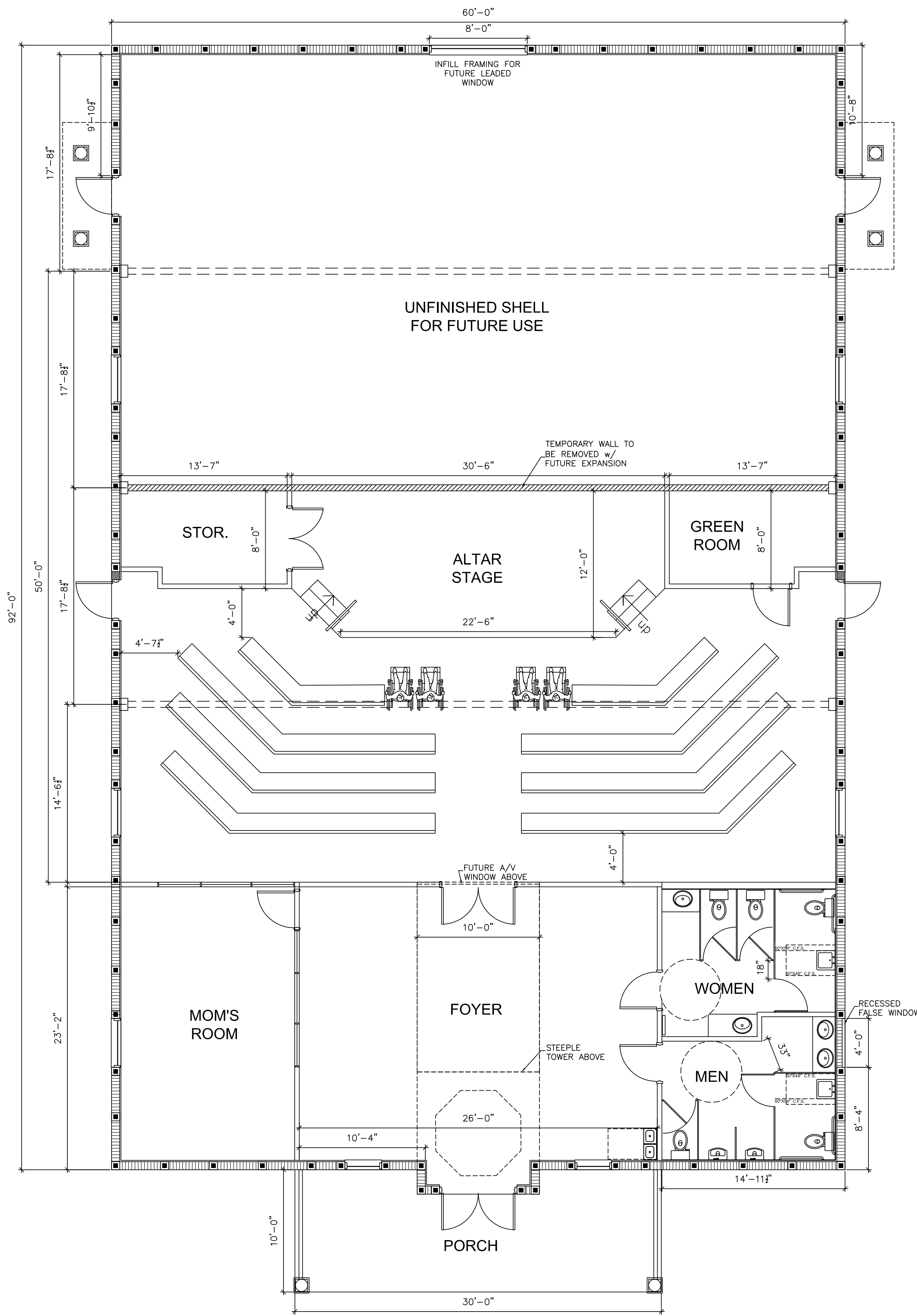
IGLESIA BIBLICA CHURCH

START DATE:	05.19.17
NO. REVISION/ISSUE	DATE
1ST_REVISION	
2ND_REVISION	
3RD_REVISION	

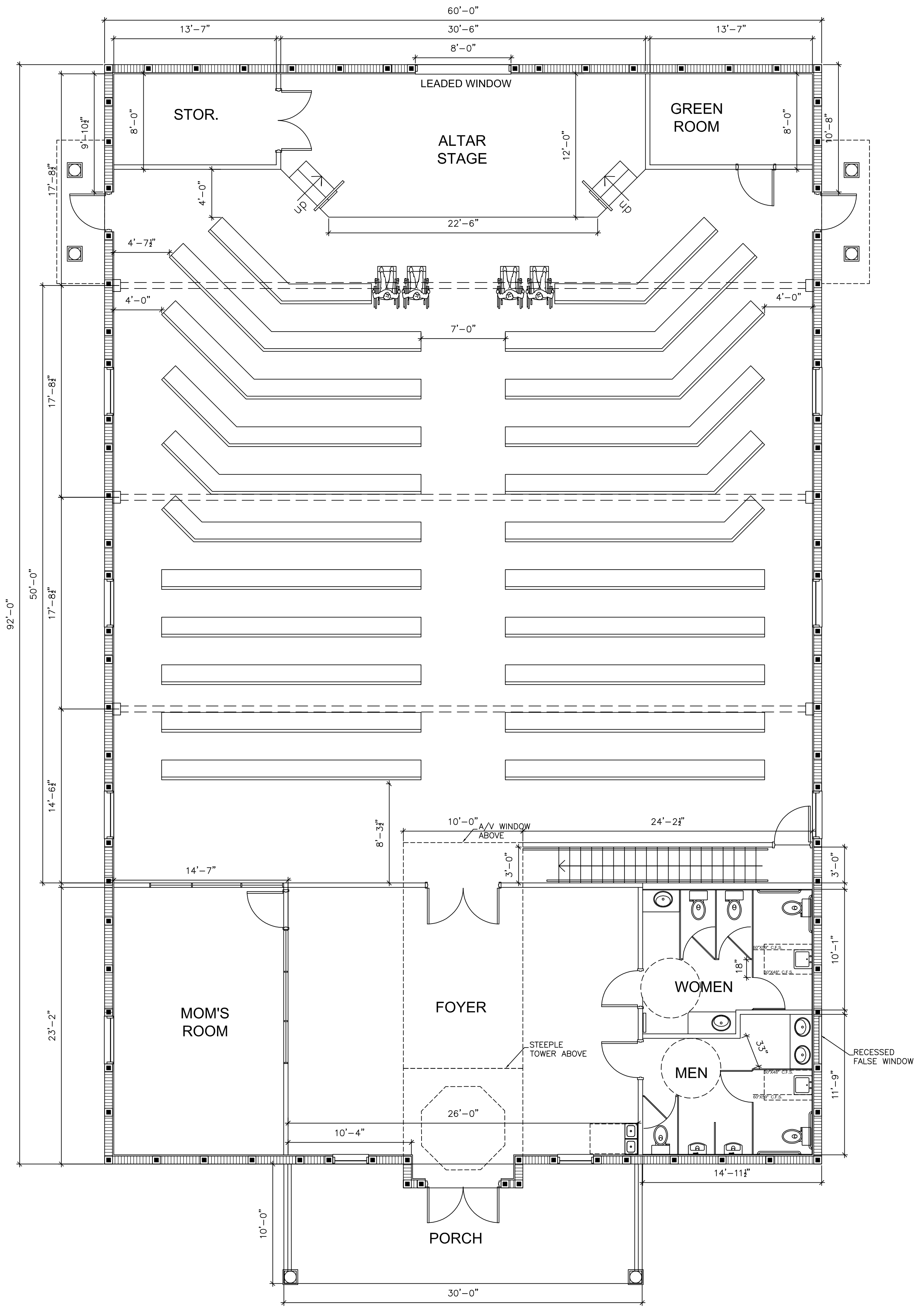
CLIENT:
PASTOR SALVADOR MERINO
IGLESIA BIBLICA DE FORT PIERCE
5309 SAN DIEGO AVE.
FORT PIERCE FLORIDA 34946



LIC.#: AA26002573



PHASE I PLAN
SCALE: 3/16" = 1'-0"



PHASE II PLAN
SCALE: 3/16" = 1'-0"

START DATE:	12.04.17
NO. REVISION / ISSUE	DATE
1ST_REVISION	
2ND_REVISION	
3RD_REVISION	

CLIENT:
PASTOR SALVADOR MERINO
IGLESIA BIBLICA DE FORT PIERCE
5309 SAN DIEGO AVE.
FORT PIERCE FLORIDA 34946



LIC.#: AA26002573

PROJECT DESCRIPTION

GROSS FLOOR AREA: 5,520 SQUARE FEET GROUND FLOOR;

STRUCTURE: ENCLOSED ONE STORY, TYPE IIIB, NON-SPRINKLERED, UNPROTECTED, REINFORCED MASONRY EXTERIOR WALLS ON SLAB ON GRADE WITH MONOLITHIC PERIMETER FOOTING.

MAX. SIZE PER TABLE 503 FBC: (2) STORY, 9,500 SF

ROOF: PRE-ENGINEERED WOOD SCISSOR TRUSSES, PLYWOOD SHEATHING, CONCRETE TILED ROOF FINISH

OCCUPANCY

OCCUPANCY: GROUP A-3 (ASSEMBLY) 2014 FBC SECTION 303.4 & 1004.1.2:

OCCUPANT LOAD NOT TO EXCEED: 300 PEOPLE;

PER FBC 2014, SECTION 903.2.1.3 GROUP A-3.

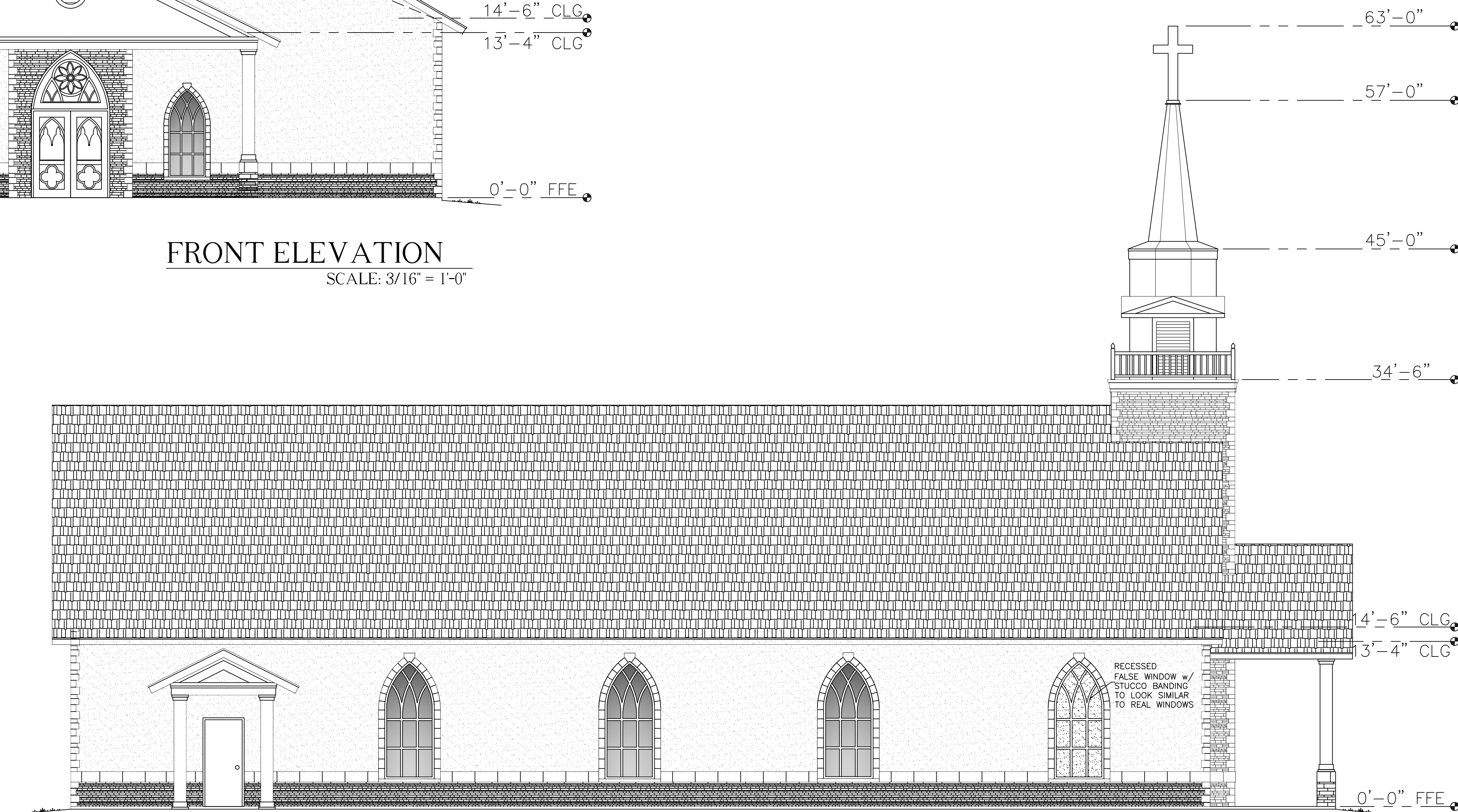
AN AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED AS

OCCUPANT LOAD NOT TO EXCEED: 300 PEOPLE;



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



SIDE ELEVATIONS

SCALE: 3/16" = 1'-0"



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
**Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact	
---------------	--

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU		
**Proposed Zoning/FLU		
*Change in Demand	Trips	Trips
Impact to Capacity		

IV. Project Description

PHASING
Is this project (phase) part of a larger project? <input type="checkbox"/> Yes <input type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.
Total Project: Residential Units: Single Family: Multifamily:
Non-residential (square footage):
Mixed-use (describe use):
(If this is a single phase project, name it Phase I – Total)

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding



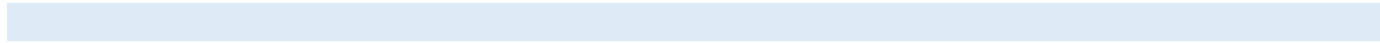
DESIGN REVIEW

Property Information

Property address or Location _____

Parcel ID #(s) _____

Project description _____



Property Owner(s)

Applicant/Representative, Title, Company

 Street Address

 Street Address

 City State Zip

 City State Zip

 Phone Number

 Phone Number

 Email Address

 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

 Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS
 CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM
 For more information, please refer to the website:
<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

Design Review Application Checklist **(City Code of Ordinances 125-314)**

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

