

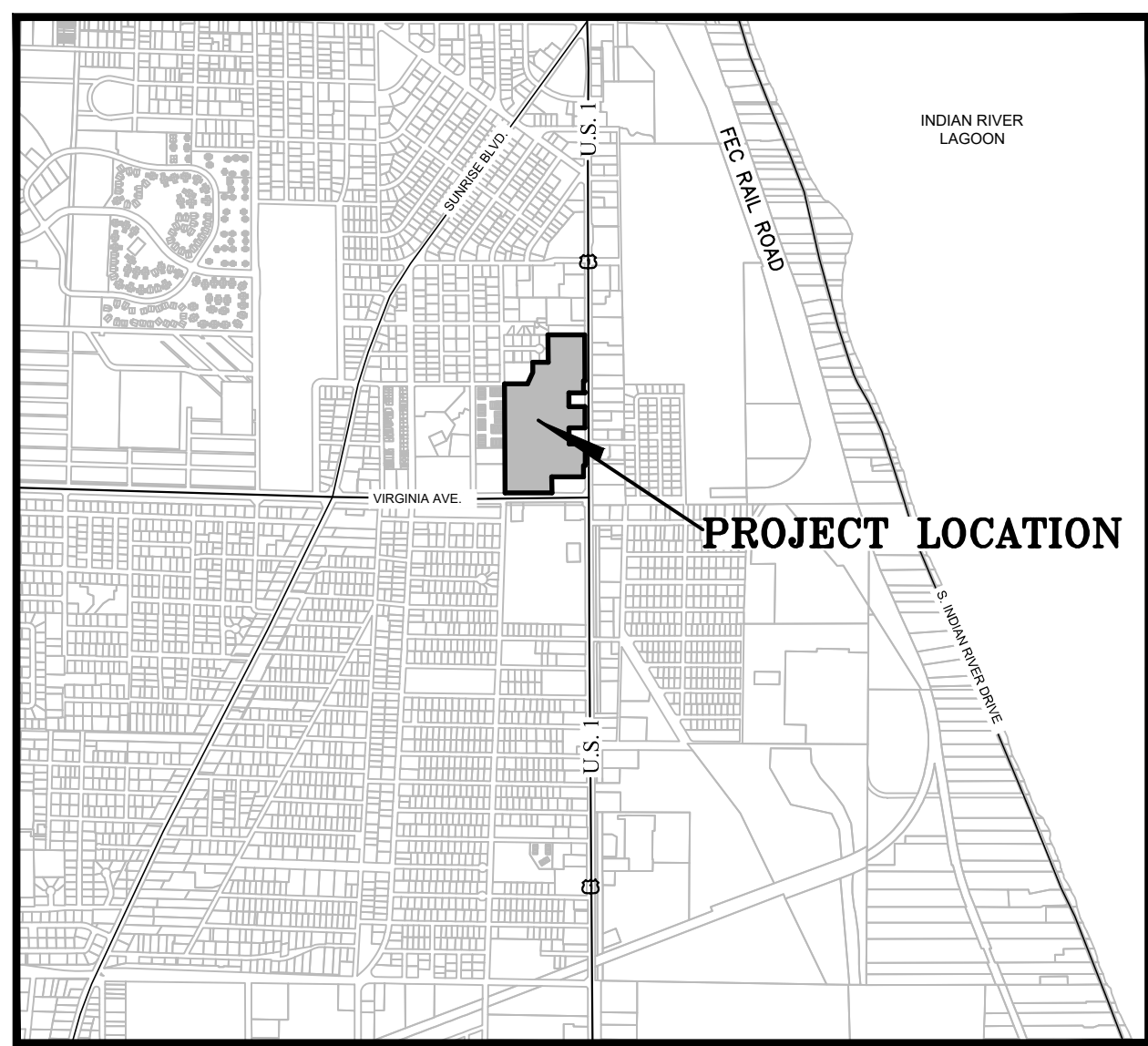
TOPOGRAPHIC SURVEY

PREPARED FOR

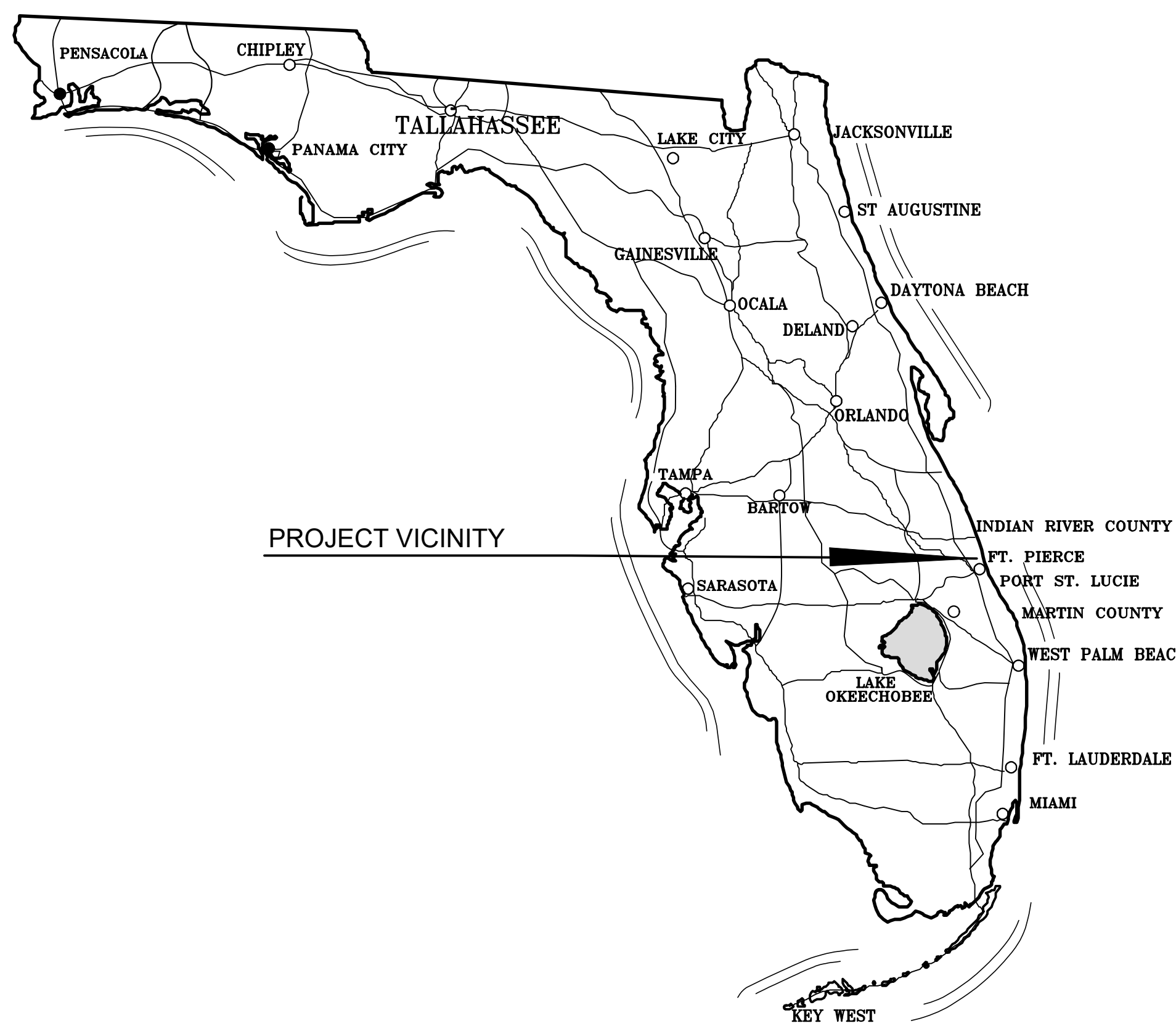


TIME EQUITIES INC.

LYING IN SECTION 15
TOWNSHIP 35 SOUTH, RANGE 40 EAST
ST. LUCIE COUNTY, FLORIDA



LOCATION MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:

PARCEL 1:
COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1 AND THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST, ALONG THE WEST RIGHT-OF-WAY OF SOUTH FOURTH STREET 305 FEET TO A POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED:

FROM THE SAID POINT OF BEGINNING, CONTINUE NORTH 00°03'34" EAST ALONG THE WEST LINE OF SOUTH FOURTH STREET, 360 FEET; THENCE NORTH 89°42'26" WEST, PARALLEL TO THE SOUTH LINE OF SAID SECTION 15, 501.9 FEET TO A POINT; THENCE SOUTH 00°03'34" WEST, 50 FEET TO A POINT; THENCE NORTH 89°42'26" WEST, 175 FEET TO A POINT; THENCE NORTH 00°03'34" EAST, 100 FEET TO A POINT; THENCE NORTH 89°42'26" WEST 200 FEET TO A POINT; THENCE SOUTH 00°03'34" WEST, 585 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST, 511.9 FEET TO A POINT; THENCE NORTH 00°03'34" EAST, 175 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST, 365 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO.1) AND OF THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET 665 FEET TO A POINT IN SAID RIGHT-OF-WAY LINE; THENCE NORTH 89°42'26" WEST 501.9 FEET TO THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING CONTINUE NORTH 89°42'26" WEST 175 FEET TO A POINT; THENCE SOUTH 00°03'34" WEST 50 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST 175 FEET TO A POINT; THENCE NORTH 00°03'34" EAST 50 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

THE EAST 876.9 FEET OF THE SOUTH 1/2 OF THE SW 1/4, LYING WEST OF U.S. NO.1 HIGHWAY, SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LESS: BEGIN AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY OF VIRGINIA AVENUE AND THE WEST RIGHT-OF-WAY OF U.S. NO.1 HIGHWAY, NORTH 710 FEET; WEST 175 FEET; SOUTH 175 FEET; WEST 326.9 FEET; SOUTH 50 FEET; WEST 175 FEET; NORTH 100 FEET; WEST 200 FEET; SOUTH 585 FEET; EAST 876.9 FEET TO THE POINT OF BEGINNING. ALSO LESS: SOUTHERLY 130 FEET FOR ROAD AND CANAL RIGHT-OF-WAY. ALSO LESS: NORTH 150 FEET OF THE SOUTH 1222.46 FEET OF THE EAST 175 FEET.

AND

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) AND THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST IN THE CITY OF FORT PIERCE, LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST ALONG THAT RIGHT-OF-WAY OF SOUTH FOURTH STREET, 1323.18 FEET TO THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 15, AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°03'34" EAST, 335 FEET; THENCE RUN NORTH 89°39'26" WEST, 566.9 FEET; THENCE RUN SOUTH 01°10'39" WEST, 186.33 FEET; THENCE RUN SOUTH 24°58'42" WEST, 136.59 FEET TO THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4; THENCE RUN SOUTH 89°39'26" EAST 626.80 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THE FOLLOWING PARCEL: COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) AND OF THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET, 1336.18 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°39'26" WEST, 175 FEET; THENCE RUN NORTH 00°03'34" EAST, 185 FEET; THENCE RUN SOUTH 89°39'26" EAST, 175 FEET; THENCE SOUTH 00°03'34" WEST, 175 FEET; THENCE NORTH 00°03'34" EAST, 185 FEET; THENCE RUN SOUTH 89°39'26" EAST, 175 FEET; THENCE SOUTH 00°03'34" WEST, 185 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT PARCELS CONVEYED BY WARRANTY DEED TO WILLIAM D. CARLTON, IN OFFICIAL RECORDS BOOK 207, PAGE 592, BY WARRANTY DEED TO E.J. ROSCHMAN, IN OFFICIAL RECORDS BOOK 199, PAGE 481; BY QUIT CLAIM DEED TO JAMES F. GRIMES AND SUSAN GRIMES, HIS WIFE, IN OFFICIAL RECORDS BOOK 517, PAGE 1232; AND BY WARRANTY DEED TO WALGREEN AN ILLINOIS CORPORATION, IN OFFICIAL RECORDS BOOK 452, PAGE 2789, ALL OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 4

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET HIGHWAY NO. 1) AND OF THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET, 1336.18 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°39'26" WEST, 175 FEET; THENCE RUN NORTH 00°03'34" EAST, 185 FEET; THENCE RUN SOUTH 89°39'26" EAST, 175 FEET; THENCE RUN SOUTH 00°03'34" WEST, 185 FEET TO THE POINT OF BEGINNING.

PARCEL 5

THAT PART OF THE EAST 390 FEET OF THE SOUTH 200 FEET OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, WHICH LIES WEST OF U.S. HIGHWAY NO. 1, EXCEPT THE EAST 7 FEET THEREOF. THE NORTH 100 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, EXCEPT THE EAST 7 FEET THEREOF, LYING WEST OF U.S. HIGHWAY NO. 1, EXCEPT THE FOLLOWING:

BEGINNING AT A POINT 200 FEET NORTH OF A MONUMENT 25 FEET EAST OF THE SOUTHWEST CORNER OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE RUN EAST 480 FEET ALONG THE SOUTH LINE OF THE ABOVE DESCRIBED PROPERTY; THENCE RUN NORTH 100 FEET; THENCE RUN WEST 480 FEET; THENCE RUN SOUTH 100 FEET TO THE POINT OF BEGINNING. THAT PART OF THE SOUTH 200 FEET OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, WHICH LIES BETWEEN THAT PART OF THE EAST 390 FEET OF THE SOUTH 200 FEET OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, WHICH LIES WEST OF U.S. HIGHWAY NO. 1, EXCEPT THE EAST 7 FEET THEREOF, ON THE EAST AND THAT PART BEGINNING AT A MONUMENT 25 FEET EAST OF THE SOUTHWEST CORNER OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE RUN EAST 480 FEET ALONG THE SOUTH LINE OF THE ABOVE DESCRIBED PROPERTY; THENCE RUN NORTH 200 FEET; THENCE RUN WEST 480 FEET; THENCE RUN SOUTH 200 FEET TO THE POINT OF BEGINNING. ON THE WEST, ALL OF THE ABOVE DESCRIBED PROPERTY IS ALSO TOGETHER, DESCRIBED AS FOLLOWS: BEING THAT PART OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LYING WEST OF U.S. HIGHWAY NO. 1 (BEING AN 80 FOOT RIGHT-OF-WAY), LESS A WEST PORTION KNOWN AS MAYFLOWER TERRACE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 13, PAGE 15, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; ALL OF SAID LANDS SITUATE, LYING AND BEING IN ST. LUCIE COUNTY, FLORIDA.

ALSO DESCRIBED AS:

THAT CERTAIN PARCEL OF LAND IN THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, WHICH LIES WEST OF U.S. HIGHWAY NO. 1, SITUATE IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, STATE OF FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8 INCH CAPPED REBAR "LB 4286" FOUND ON THE SOUTHEAST CORNER OF PROPERTY NOW OF FORMERLY DOROTHY ANN CARNES LLC, RECORDED IN DEED BOOK 1218, PAGE 2930, AND THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1, 80 FEET WIDE; THENCE ALONG THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1, SOUTH 00° 11'14" EAST, A DISTANCE OF 300.00 FEET TO A 3/4 INCH IRON PIPE FOUND ON THE NORTHEAST CORNER OF PROPERTY NOW OR FORMERLY MORRIS/SATNICK FP ASSOC. LLC, RECORDED IN DEED BOOK 2446, PAGE 712; THENCE ALONG THE NORTHERLY LINE OF SAID MORRIS/SATNICK FP ASSOC. LLC PROPERTY, NORTH 89° 41'58" WEST, A DISTANCE OF 400.00 FEET TO A CONCRETE MONUMENT FOUND ON THE SOUTHEAST CORNER OF PROPERTY NOW OR FORMERLY EDUARDO E. PEREZ, RECORDED IN DEED BOOK 2675, PAGE 2981; THENCE ALONG THE EASTERLY LINE OF SAID PEREZ AND PROPERTY NOW OR FORMERLY JOSEPH & HSUI LEUNG, RECORDED IN DEED BOOK 2214, PAGE 2872, NORTH 00° 11'14" WEST, A DISTANCE OF 300.00 FEET TO A CAPPED REBAR SET ON THE SOUTHWEST CORNER OF SAID DOROTHY ANN CARNES LLC PROPERTY; THENCE ALONG THE SOUTHERLY LINE OF SAID DOROTHY ANN CARNES LLC PROPERTY, SOUTH 89° 41'58" WEST, A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THOSE LANDS DEEDED TO STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION IN OR BOOK 3615, PAGE 2364 AND OR BOOK 3615, PAGE 2374.

SURVEYORS NOTES

1. THE LAST DATE OF DATA ACQUISITION WAS MARCH 14, 2023.
2. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE", AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 5J-17.050 THROUGH 5J-17.053, OF THE FLORIDA ADMINISTRATIVE CODE.
3. THIS SURVEY MAP AND/OR REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
4. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5. THE BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH, AND ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983(2011). THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTH LINE OF SECTION 15, AS SHOWN, HAVING A BEARING OF NORTH 89°59'16" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
6. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, AS ESTABLISHED BY SLC BENCHMARK D-401, HAVING A PUBLISHED ELEVATION OF 23.523'.
7. THE FEATURES SHOWN HEREON ARE REFERENCED TO THE FLORIDA STATE PLAN COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN VERTICAL DATUM OF 1983(2011 ADJUSTMENT), AS ESTABLISHED USING FLORIDA DEPARTMENT OF TRANSPORTATION FPRN.
8. ALL DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
9. THIS SURVEY HAS THE BENEFIT OF A TITLE COMMITMENT BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 3020-1128007, WITH AN EFFECTIVE DATE OF MAY 3, 2022.
10. THE DESCRIPTION OF THE LAND CONTAINED IN THIS BOUNDARY SURVEY IS BASED ON MAP BY NV5 COMPANY, DATED 12/21/22 AND WAS PROVIDED BY THE CLIENT OR THE CLIENTS REPRESENTATIVE.
11. THIS SURVEY DELINEATES THE BOUNDARY LOCATION ACCORDING TO THE LEGAL DESCRIPTION, BUT DOES NOT DETERMINE OWNERSHIP OR PROPERTY RIGHTS.
12. UNDERGROUND UTILITIES SHOWN HEREON WERE INSERTED FROM FPUA HISTORICAL MAPS REFERENCED BELOW IN NOTE #19. THESE UTILITIES WERE NOT FIELD VERIFIED. A CALL TO 811 FOR LOCATES SHOULD BE PERFORMED PRIOR TO FINAL DESIGN AND CONSTRUCTION.
13. SYMBOLS SHOWN HEREON ARE NOT TO SCALE.
14. THE FEATURES SHOWN HEREON WERE ACQUIRED USING RTK GPS AND TRIGONOMETRIC METHODS AND WERE VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS FOR AN EXPECTED HORIZONTAL AND VERTICAL ACCURACY OF 0.10'.
15. NO JURISDICTIONAL OR WETLANDS WERE DETERMINED OR LOCATED AS PART OF THIS SURVEY.
16. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN AREAS HAVING FLOOD ZONE DESIGNATIONS OF "X" AS SHOWN ON FLOOD RATE MAP NUMBER 12111C0187 K, MAP REVISED 2/19/2020, ST. LUCIE COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
17. SUBMITTAL TO A JURISDICTIONAL AGENCY MAY REQUIRE ADDITIONAL FIELD AND/OR OFFICE WORK.
18. SUBJECT PARCEL CONTAINS 27.05 ACRES MORE OR LESS.
19. REFERENCES USED FOR THE PREPARATION OF THIS DRAWING ARE AS FOLLOWS:
 - FDOT PROJECT NO. 94030-3531, DATED 12-89
 - ARCADIS U.S., INC. PROJECT NO. PL878EN03, WATER AND SEWER PLAN, DATED 11-13-07
 - EDC PROJECT NO. 18-302, UTILITY PLAN, DATED 2-3-21
 - FORT PIERCE UTILITIES AUTHORITY - GATEWAY PLAZA FPUA WEB MAP, DATED 1-19-23
 - FORT PIERCE UTILITIES AUTHORITY - WATER DISTRIBUTION SYSTEM LOCATION MAPS SHEET H-12, DATED 09-17
 - FDOT RIGHT OF WAY MAP S.R. 5, SECTION 94010-2501, DATED 10-09-93
 - FDOT PARCEL SKETCH, F.P. NO. 436868-1 SECTION 94010-2519, DATED 08-31-17
 - FDOT MAINTENANCE MAP S.R. 5, F.P. NO. 438546-1-52-01, DATED 12-16-16

CERTIFICATION

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEVE THIS IS TRUE, ACCURATE AND COMPLETE DEPICTION OF A FIELD SURVEY PERFORMED UNDER MY DIRECTION AND COMPLETED ON APRIL 5, 2023. I FURTHER CERTIFY THAT SAID DRAWING IS IN COMPLIANCE WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER, IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

THOMAS P. KIERNAN, P.S.M. FLORIDA CERTIFICATE NO. 6199

PREPARED BY

CULPEPPER & TERPENING INC

CONSULTING ENGINEERS | LAND SURVEYORS

2980 SOUTH 25th STREET

FORT PIERCE, FLORIDA 34981

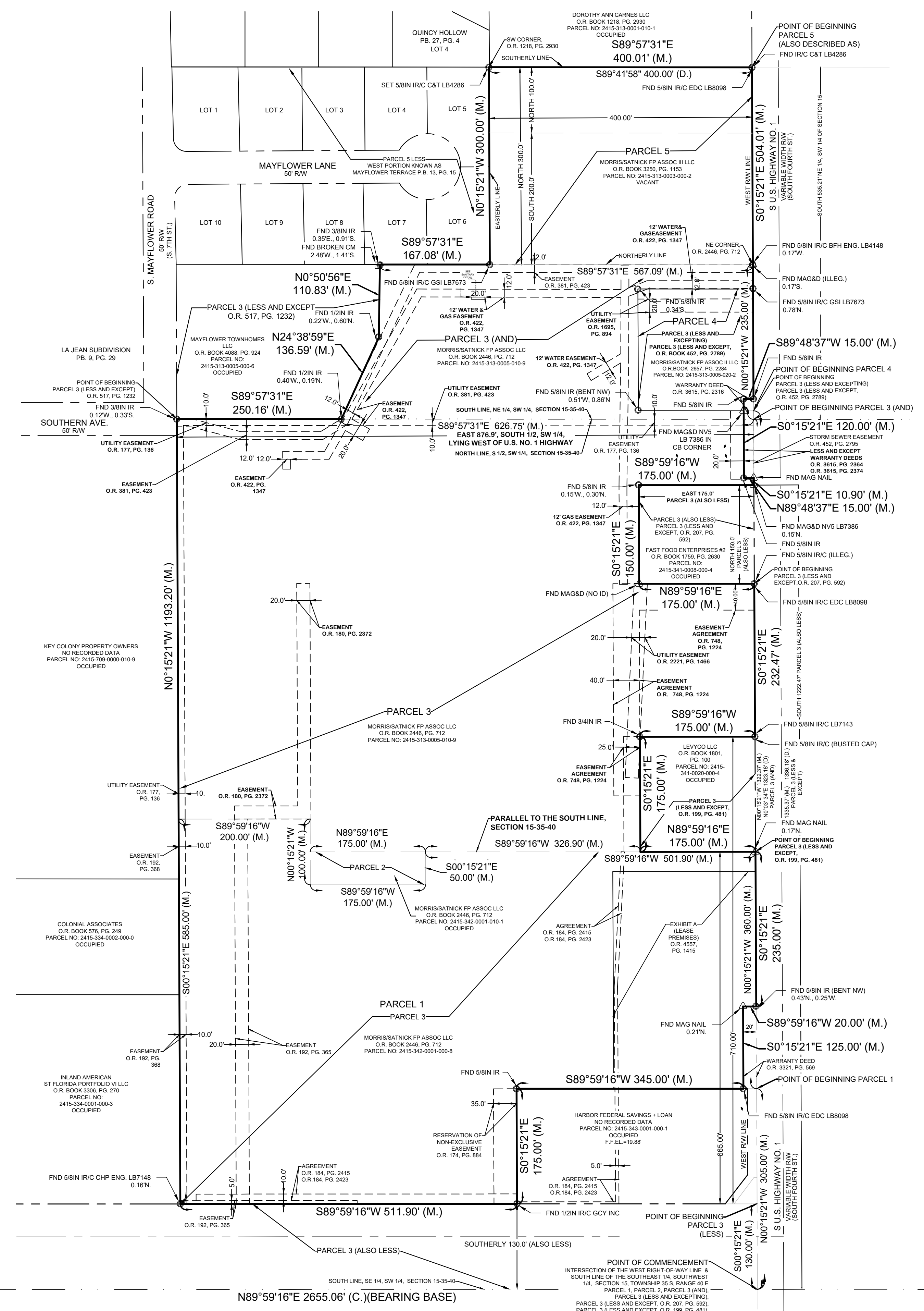
PHONE 772-464-3537 | FAX 772-464-9497

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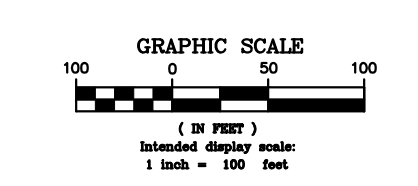
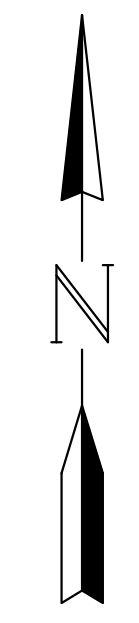
STATE OF FLORIDA BOARD OF PROFESSIONAL

ENGINEERS AUTHORIZATION NO. 4286





- LEGEND**
- B.B. DENOTES BEARING BASIS
 - B.F.P. DENOTES BACKFLOW PIPE
 - (C) DENOTES BELLSOUTH
 - (C) DENOTES CALCULATED DATA
 - CB DENOTES CATCH BASIN
 - C/L DENOTES CENTERLINE
 - C.M. DENOTES CONCRETE MONUMENT
 - CONC. DENOTES CONCRETE
 - EL DENOTES ELEVATION
 - F.D.O.T. DENOTES FLORIDA DEPARTMENT OF TRANSPORTATION
 - FFE DENOTES FINISHED FLOOR ELEVATION
 - FND. DENOTES FOUND
 - GND DENOTES GROUND
 - HDPE DENOTES HIGH DENSITY POLYETHYLENE
 - HH DENOTES HAND HOLE
 - ID DENOTES IDENTIFICATION
 - INV. DENOTES INVERT
 - I.R. DENOTES IRON ROD
 - IR / C DENOTES 5/8" IRON ROD & CAP
 - L.B. DENOTES LICENSED BUSINESS
 - N.A.V.D. DENOTES NORTH AMERICAN VERTICAL DATUM
 - No. DENOTES NUMBER
 - No ID DENOTES NO IDENTIFICATION NUMBER
 - NW DENOTES NORTHWEST
 - OE DENOTES OVERHEAD ELECTRIC
 - O.H.U. DENOTES OVERHEAD UTILITIES
 - O.R. DENOTES OFFICIAL RECORDS
 - P.B. DENOTES PLAT BOOK
 - P.C. DENOTES PAGE
 - PK&D DENOTES P.K. NAIL AND DISK
 - P.L.S. DENOTES PROFESSIONAL LAND SURVEYOR
 - PVC DENOTES POLYVINYL CHLORIDE
 - RCP DENOTES REINFORCED CONCRETE PIPE
 - SA.N. DENOTES SANITARY
 - SW DENOTES SOUTHWEST
 - TOB DENOTES TOP OF BANK
 - TYP. DENOTES TYPICAL
 - VCP DENOTES VITRIFIED CLAY PIPE
 - WM DENOTES WATER MAIN
 - ± DENOTES PLUS OR MINUS
 - ⊕ DENOTES SET 5/8" IRON ROD & CAP (LB 4286)
 - ⊗ DENOTES SET PARKER KALON NAIL & DISK (LB 4286)
 - ⊙ DENOTES BACKFLOW PIPE
 - ⊚ DENOTES MONITOR WELL
 - ⊛ DENOTES CLEAN OUT
 - ⊜ DENOTES ELECTRICAL HANDHOLE
 - ⊝ DENOTES FIBER OPTIC HANDHOLE
 - ⊞ DENOTES IRRIGATION HANDHOLE
 - ⊟ DENOTES AREA LIGHT
 - ⊠ DENOTES ELECTRICAL ENCLOSURE
 - ⊡ DENOTES TRAFFIC SIGNAL HANDHOLE
 - ⊢ DENOTES GUY ANCHOR
 - ⊣ DENOTES WATER METER
 - ⊤ DENOTES WATER VALVE
 - ⊥ DENOTES SIGN
 - ⊦ DENOTES ATT HANDHOLE
 - ⊧ DENOTES STORM STRUCTURE - SEE TABLE
 - ⊨ DENOTES BELL SOUTH HANDHOLE
 - ⊩ DENOTES STORM DRAINAGE MANHOLE
 - ⊪ DENOTES WOOD POWER POLE
 - ⊫ DENOTES CONCRETE POWER POLE
 - ⊬ DENOTES LAUREL TREE AND DIAMETER AT 4 FT HIGH
 - ⊭ DENOTES PALM TREE
 - ⊮ DENOTES OAK TREE AND DIAMETER AT 4 FT HIGH
 - ⊯ DENOTES GUMBO TREE AND DIAMETER AT 4 FT HIGH
 - ⊰ DENOTES AS NOTED AND DIAMETER AT 4 FT HIGH



16
15
21
22
CERTIFIED CORNER
#03999

15
22
CERTIFIED CORNER
#094000

OVERALL EXHIBIT WITH EASEMENTS

| COMPUTER FILE REF. | FIELD BK./PG. |
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 PHONE 772-464-3537 • FAX 772-464-9407 • www.ct-eng.com
 STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

- REVISIONS -

| BY | DATE |
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| FIELD | BY | DATE |
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TOPOGRAPHIC SURVEY

PREPARED FOR
TIME EQUITIES, INC.

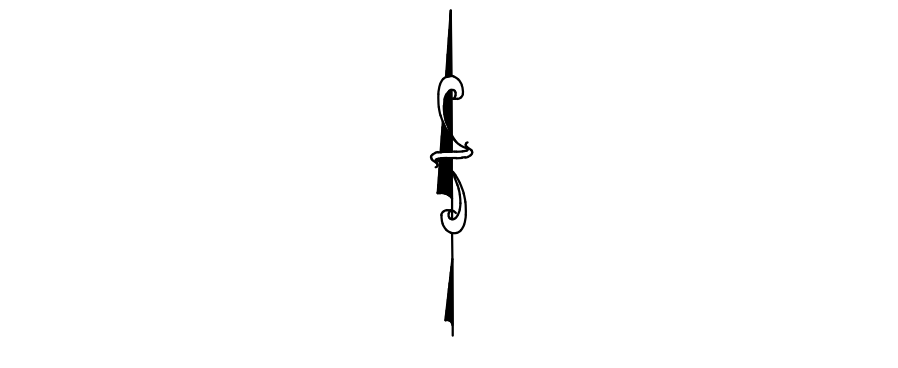
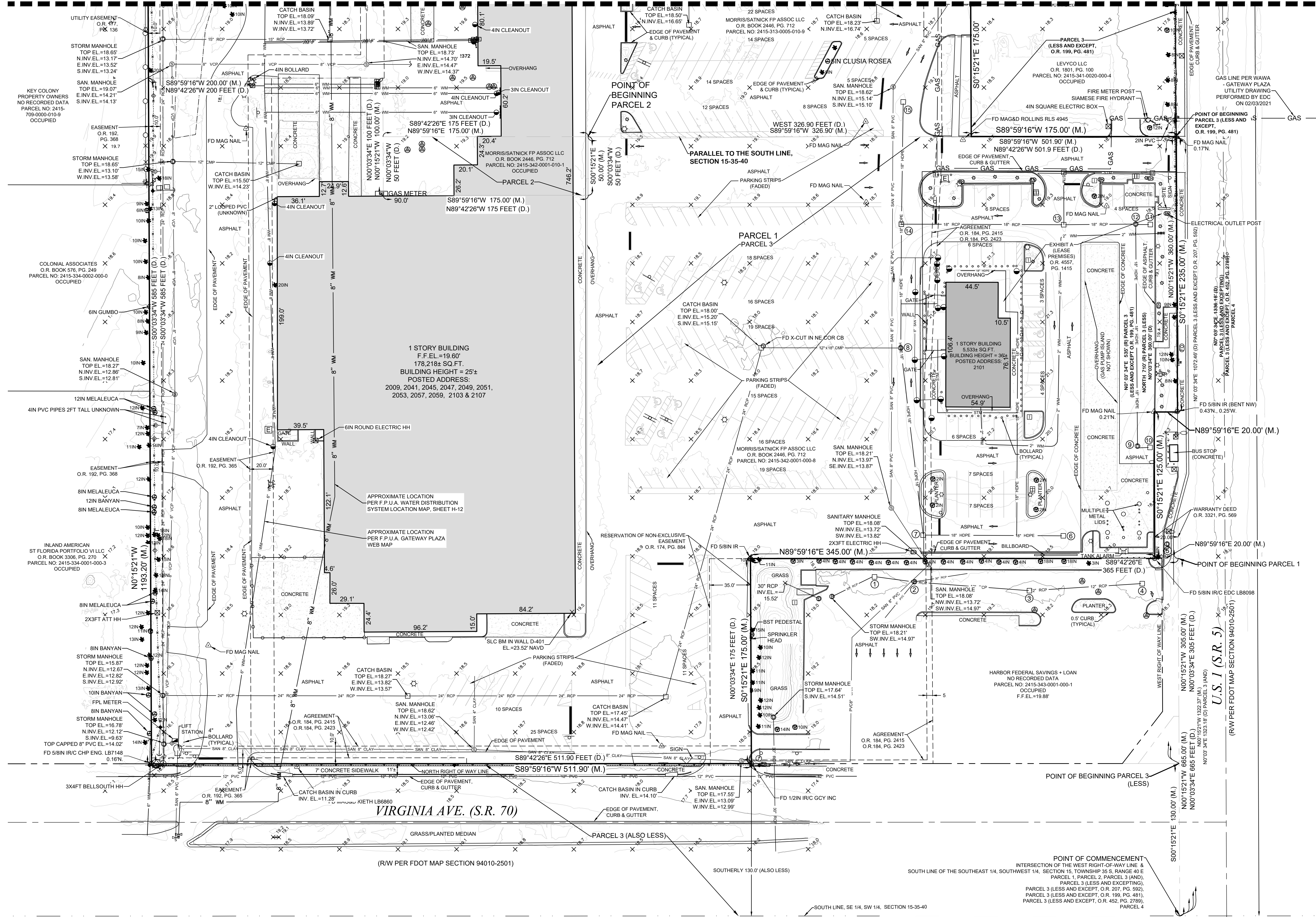
DATE: 03/01/23
 HORIZ. SCALE: 1"=100'
 VERT. SCALE: N/A
 JOB NO. 23-012
 SHEET **2 of 5**

MATCH LINE A

LEGEND

- B.B. DENOTES BEARING BASIS
B.F.P. DENOTES BACKFLOW PIPE
BST DENOTES BELLSOUTH
(C) DENOTES CALCULATED DATA
CB DENOTES CATCH BASIN
C.M. DENOTES CENTERLINE
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I.R. DENOTES IRON ROD
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DENOTES AS NOTED AND DIAMETER AT 4 FT HIGH

STORM DRAINAGE TABLE
STRUCTURE TOP EL. INVERTS
1 CATCH BASIN 17.76' E=13.76' W=13.71'
2 STORM MANHOLE 18.05' NE=13.75' SW=13.41'
3 CATCH BASIN 17.78' E=14.07' W=13.78'
4 CATCH BASIN 17.69' E=14.12'
5 CATCH BASIN 17.60'
6 CATCH BASIN 18.45' W=14.85'
7 CATCH BASIN 18.64' N=14.64' E=14.74'
8 STORM MANHOLE 19.70' W=15.51' S=14.44'
9 STORM MANHOLE 19.22' N=14.70' E=14.57'
10 CATCH BASIN 18.68' W=14.68'
11 CATCH BASIN 18.72' W=14.72'
12 STORM MANHOLE 18.81' E=14.63' W=14.53'
13 CATCH BASIN 18.98' N=14.63' E=14.53' W=14.53'
14 CATCH BASIN 18.39' N=14.64' W INV HDPE E=14.59' S=
15 CATCH BASIN 18.42' S=14.62'



GRAPHICS

COMPUTER FILE REF. FIELD BK./PG.

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REVISIONS table with columns for BY, DATE, and description.

Table with columns for BY, DATE, FIELD, CALCS., DRAWN, CHECKED, APPROVED.

TOPOGRAPHIC SURVEY
PREPARED FOR
TIME EQUITIES, INC.

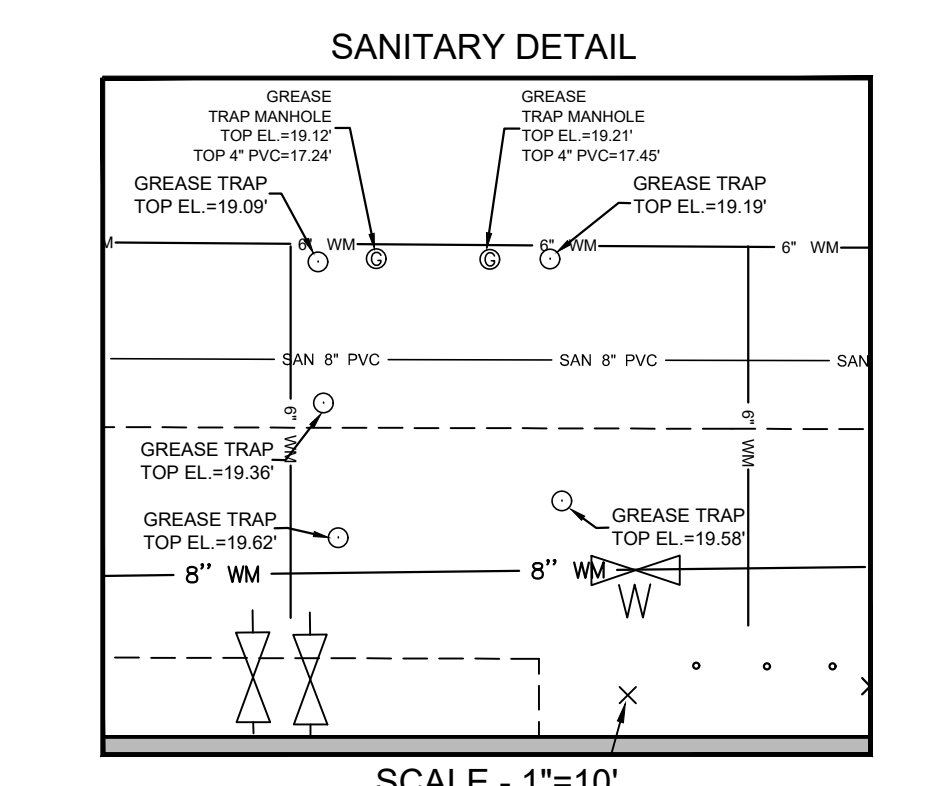
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HORIZ. SCALE: 1"=40'
VERT. SCALE: N/A
JOB NO. 23-012
SHEET 3 of 5

MATCH LINE B

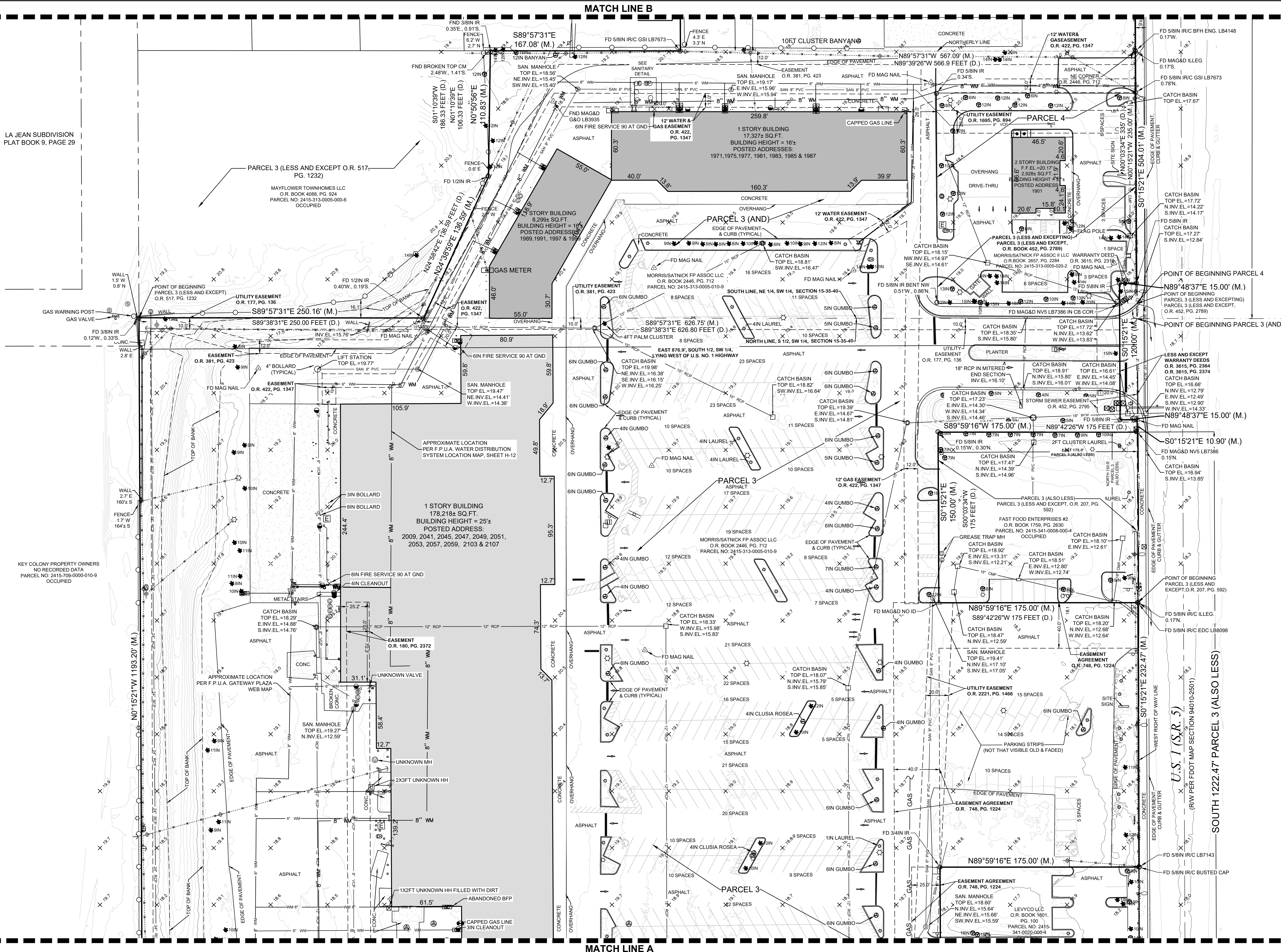
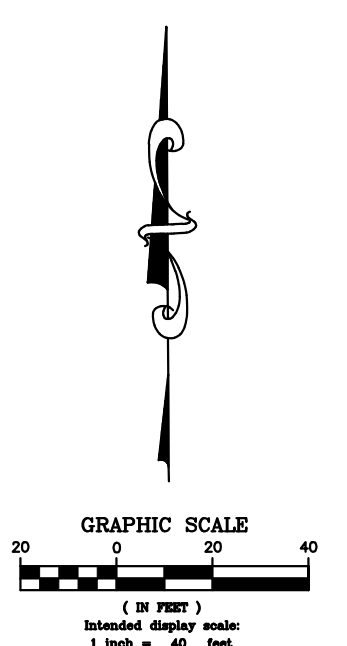
LA JEAN SUBDIVISION
PLAT BOOK 9, PAGE 29

LEGEND

- B.B. DENOTES BEARING BASIS
- B.F.P. DENOTES BACKFLOW PIPE
- BST DENOTES BELL SOUTH
- (C) DENOTES CALCULATED DATA
- CB DENOTES CATCH BASIN
- C/L DENOTES CENTERLINE
- C.M. DENOTES CONCRETE MONUMENT
- CONC. DENOTES CONCRETE
- EL DENOTES ELEVATION
- F.D.O.T. DENOTES FLORIDA DEPARTMENT OF TRANSPORTATION
- F.FE DENOTES FINISHED FLOOR ELEVATION
- FND DENOTES FOUND
- GND DENOTES GROUND
- HDPE DENOTES HIGH DENSITY POLYETHYLENE
- HH DENOTES HAND HOLE
- ID DENOTES IDENTIFICATION
- INV. DENOTES INVERT
- I.R. DENOTES IRON ROD
- IR/C DENOTES 5/8" IRON ROD & CAP
- L.B. DENOTES LICENSED BUSINESS
- N.A.V.D. DENOTES NORTH AMERICAN VERTICAL DATUM
- No. DENOTES NUMBER
- No. ID DENOTES NO IDENTIFICATION NUMBER
- NW DENOTES NORTHWEST
- OE DENOTES OVERHEAD ELECTRIC
- O.H.U. DENOTES OVERHEAD UTILITIES
- O.R. DENOTES OFFICIAL RECORDS
- P.B. DENOTES PLAT BOOK
- P.C. DENOTES PAGE
- PK&D DENOTES P.K. NAIL AND DISK
- P.L.S. DENOTES PROFESSIONAL LAND SURVEYOR
- PVC DENOTES POLYVINYL CHLORIDE
- R/C DENOTES REINFORCED CONCRETE PIPE
- SAN DENOTES SANITARY
- SW DENOTES SOUTHWEST
- TOB DENOTES TOP OF BANK
- TYP. DENOTES TYPICAL
- V.C.P. DENOTES VITRIFIED CLAY PIPE
- WM DENOTES WATER MAIN
- + DENOTES PLUS OR MINUS
- 5/8" DENOTES SET 5/8" IRON ROD & CAP (LB 4286)
- LB DENOTES SET PARKER KALON NAIL & DISK (LB 4286)
- MON DENOTES MONITOR WELL
- C/O DENOTES CLEAN OUT
- EL DENOTES ELECTRICAL HANDHOLE
- FO DENOTES FIBER OPTIC HANDHOLE
- IR DENOTES IRRIGATION HANDHOLE
- AREA DENOTES AREA LIGHT
- ENC DENOTES ELECTRICAL ENCLOSURE
- TSS DENOTES TRAFFIC SIGNAL HANDHOLE
- GUY DENOTES GUY ANCHOR
- WM DENOTES WATER METER
- VALV DENOTES WATER VALVE
- SIGN DENOTES SIGN
- ATT DENOTES ATT HANDHOLE
- STR DENOTES STORM STRUCTURE - SEE TABLE
- BELL DENOTES BELL SOUTH HANDHOLE
- STORM DENOTES STORM DRAINAGE MANHOLE
- WOOD DENOTES WOOD POWER POLE
- CONC DENOTES CONCRETE POWER POLE
- LAUREL DENOTES LAUREL TREE AND DIAMETER AT 4 FT HIGH
- PALM DENOTES PALM TREE
- OAK DENOTES OAK TREE AND DIAMETER AT 4 FT HIGH
- GUMBO DENOTES GUMBO TREE AND DIAMETER AT 4 FT HIGH
- AS DENOTES AS NOTED AND DIAMETER AT 4 FT HIGH



SCALE - 1"=10'



MATCH LINE A

GRAPHICS

| COMPUTER FILE REF. | FIELD BK./PG. |
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- REVISIONS -

| NO. | DESCRIPTION | BY | DATE |
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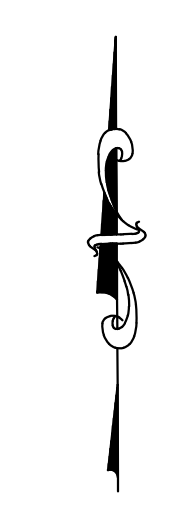
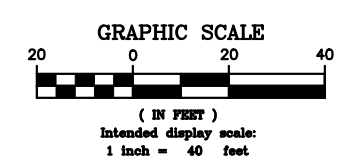
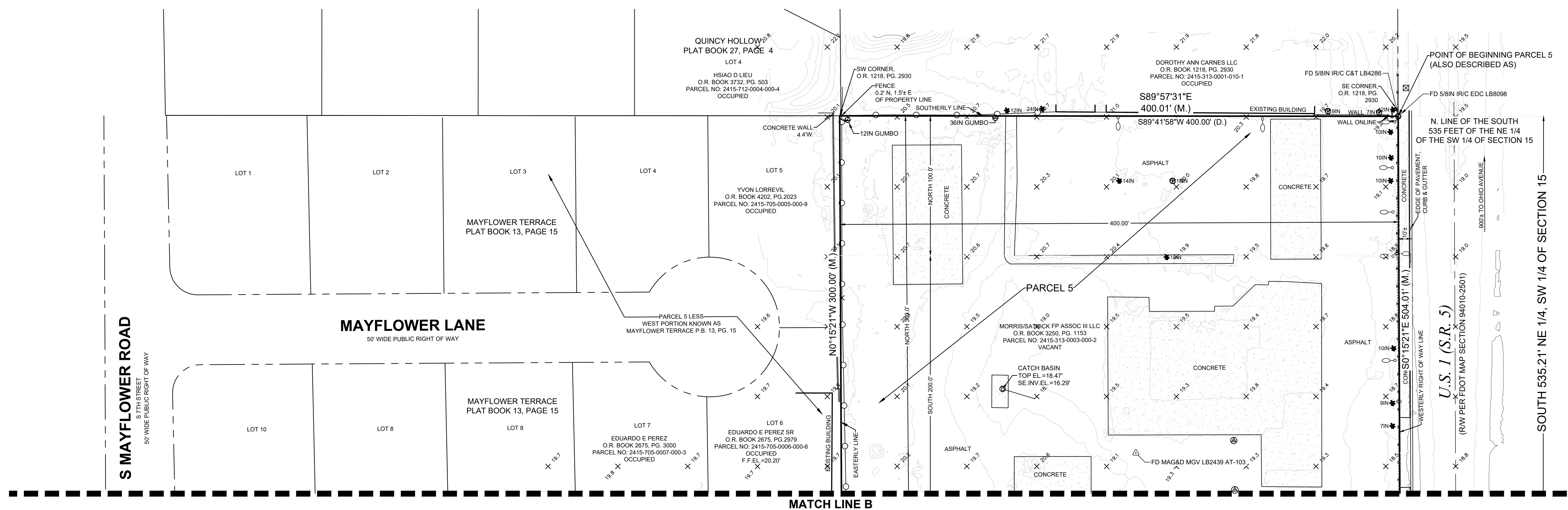
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TOPOGRAPHIC SURVEY

PREPARED FOR
TIME EQUITIES, INC.

DATE: 03-01-23
 HORIZ. SCALE: 1"=40'
 VERT. SCALE: N/A
 JOB NO. 23-012
 SHEET 4 of 5

- LEGEND**
- B.B. DENOTES BEARING BASIS
 - B.F.P. DENOTES BACKFLOW PIPE
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 - STORM STRUCTURE - SEE TABLE DENOTES STORM STRUCTURE - SEE TABLE
 - BELLSOUTH HANDHOLE DENOTES BELLSOUTH HANDHOLE
 - STORM DRAINAGE MANHOLE DENOTES STORM DRAINAGE MANHOLE
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 - AS NOTED AND DIAMETER AT 4 FT HIGH DENOTES AS NOTED AND DIAMETER AT 4 FT HIGH



GRAPHICS

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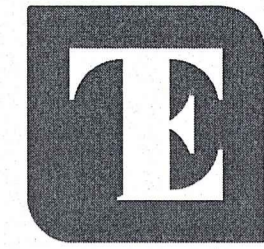
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|----------|-----|----------|
| FIELD | SG | 02/28/23 |
| CALCS. | | |
| DRAWN | LEH | 03/01/23 |
| DETAILED | | |
| CHECKED | JDJ | |
| APPROVED | TPK | |

TOPOGRAPHIC SURVEY
 PREPARED FOR
TIME EQUITIES, INC.

DATE: 03-01-23
 HORIZ. SCALE: 1"=40'
 VERT. SCALE: N/A
 JOB No. 23-012
 SHEET **5 of 5**

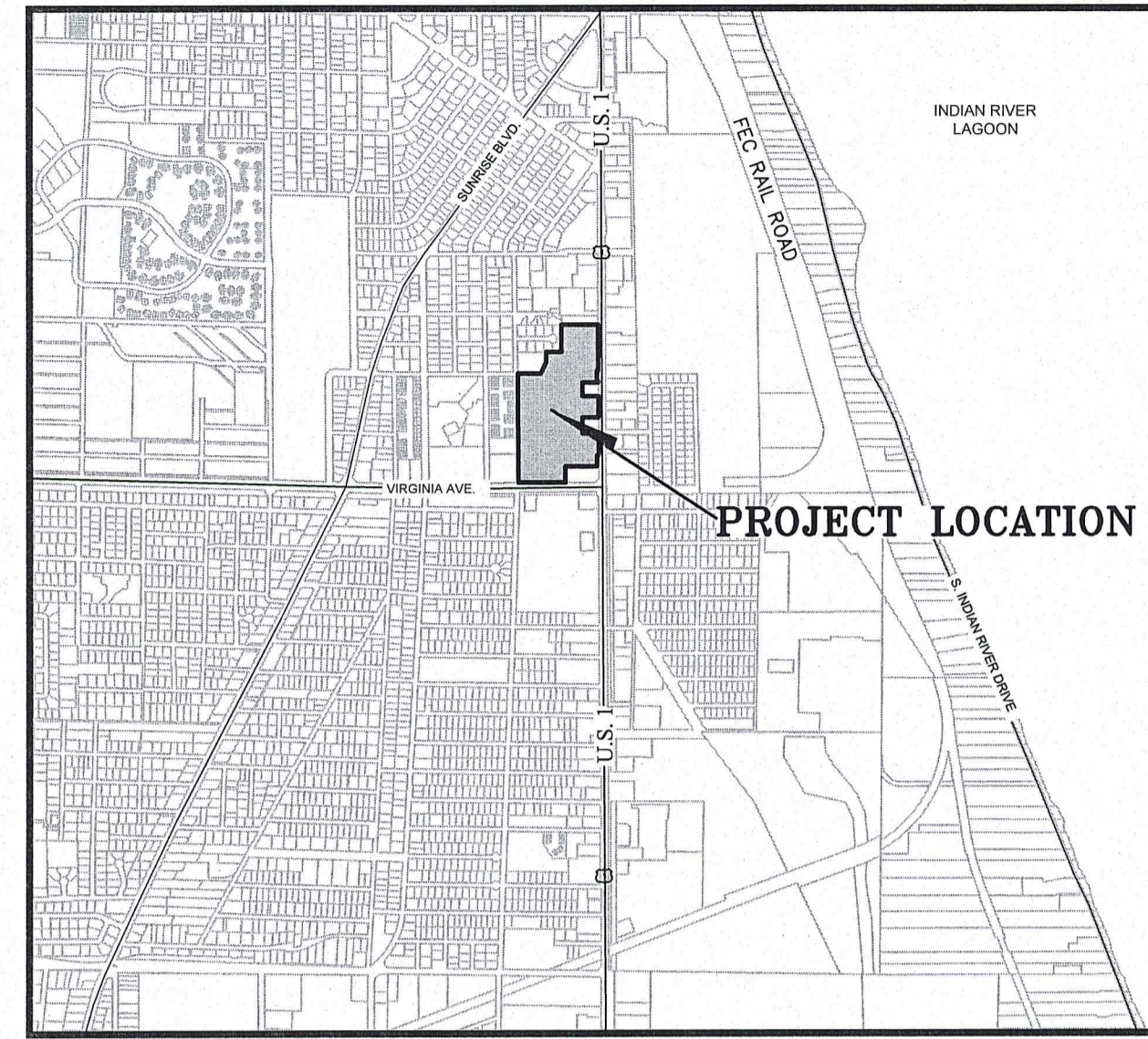
TOPOGRAPHIC SURVEY

PREPARED FOR



TIME EQUITIES INC.

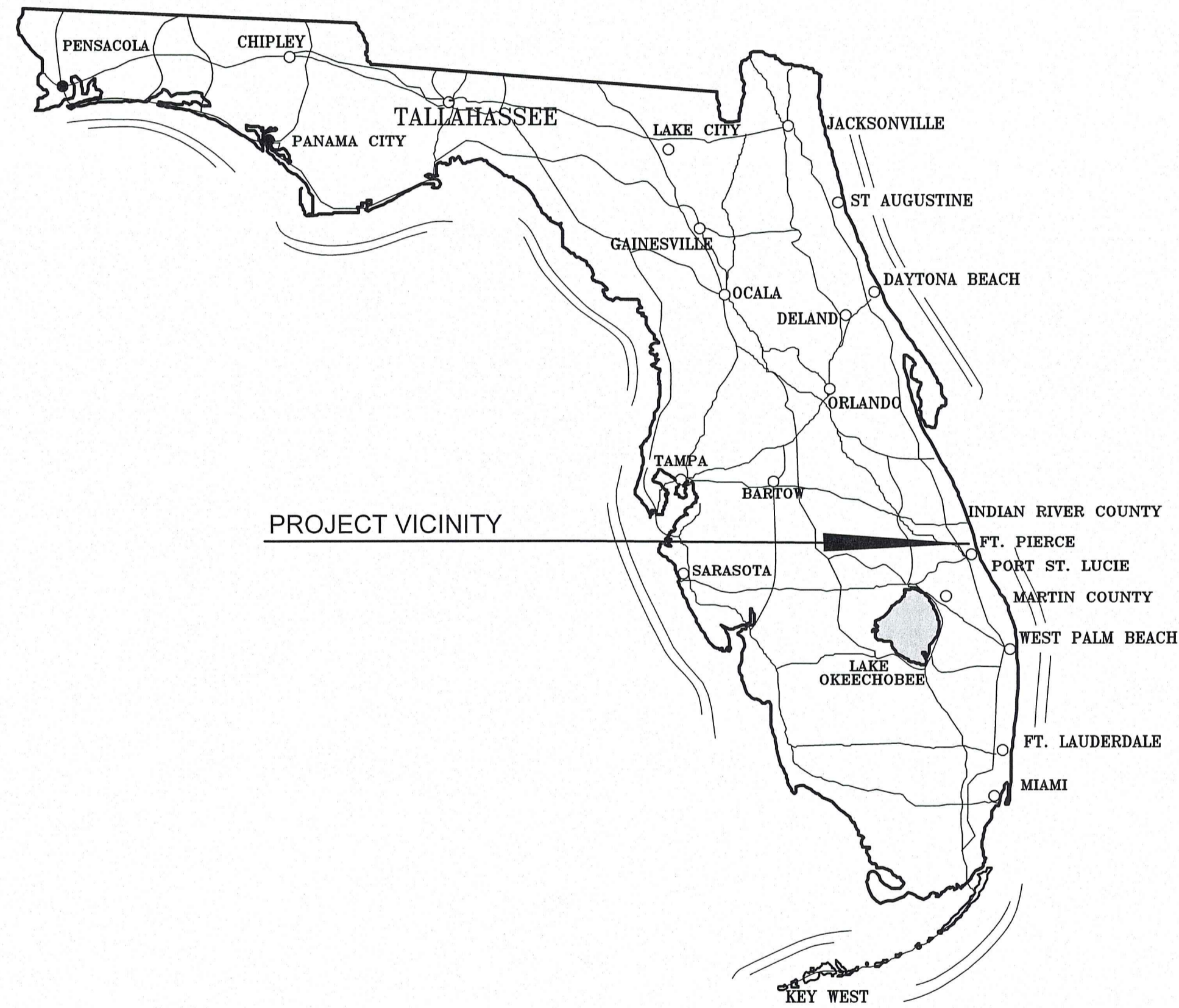
LYING IN SECTION 15
TOWNSHIP 35 SOUTH, RANGE 40 EAST
ST. LUCIE COUNTY, FLORIDA



LOCATION MAP
NOT TO SCALE

SURVEYORS NOTES

1. THE LAST DATE OF DATA ACQUISITION WAS MARCH 14, 2023.
2. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE", AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 5J-17.050 THROUGH 5J-17.053, OF THE FLORIDA ADMINISTRATIVE CODE.
3. THIS SURVEY MAP AND/OR REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
4. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5. THE BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH, AND ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983(2011). THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTH LINE OF SECTION 15, AS SHOWN, HAVING A BEARING OF NORTH 89°59'16" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
6. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, AS ESTABLISHED BY SLC BENCHMARK D-401, HAVING A PUBLISHED ELEVATION OF 23.523'.
7. THE FEATURES SHOWN HEREON ARE REFERENCED TO THE FLORIDA STATE PLAN COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN VERTICAL DATUM OF 1983(2011 ADJUSTMENT), AS ESTABLISHED USING FLORIDA DEPARTMENT OF TRANSPORTATION FFRN.
8. ALL DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
9. THIS SURVEY HAS THE BENEFIT OF A TITLE COMMITMENT BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 3020-1128007, WITH AN EFFECTIVE DATE OF MAY 3, 2022.
10. THE DESCRIPTION OF THE LAND CONTAINED IN THIS BOUNDARY SURVEY IS BASED ON MAP BY NV5 COMPANY, DATED 12/21/22 AND WAS PROVIDED BY THE CLIENT OR THE CLIENTS REPRESENTATIVE.
11. THIS SURVEY DELINEATES THE BOUNDARY LOCATION ACCORDING TO THE LEGAL DESCRIPTION, BUT DOES NOT DETERMINE OWNERSHIP OR PROPERTY RIGHTS.
12. UNDERGROUND UTILITIES SHOWN HEREON WERE INSERTED FROM FPUA HISTORICAL MAPS REFERENCED BELOW IN NOTE #19. THESE UTILITIES WERE NOT FIELD VERIFIED. A CALL TO 811 FOR LOCATES SHOULD BE PERFORMED PRIOR TO FINAL DESIGN AND CONSTRUCTION.
13. SYMBOLS SHOWN HEREON ARE NOT TO SCALE.
14. THE FEATURES SHOWN HEREON WERE ACQUIRED USING RTK GPS AND TRIGONOMETRIC METHODS AND WERE VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS FOR AN EXPECTED HORIZONTAL AND VERTICAL ACCURACY OF 0.10'.
15. NO JURISDICTIONAL OR WETLANDS WERE DETERMINED OR LOCATED AS PART OF THIS SURVEY.
16. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN AREAS HAVING FLOOD ZONE DESIGNATIONS OF "X" AS SHOWN ON FLOOD RATE MAP NUMBER 12111C0187 K, MAP REVISED 2/19/2020, ST. LUCIE COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
17. SUBMITTAL TO A JURISDICTIONAL AGENCY MAY REQUIRE ADDITIONAL FIELD AND/OR OFFICE WORK.
18. SUBJECT PARCEL CONTAINS 27.05 ACRES MORE OR LESS.
19. REFERENCES USED FOR THE PREPARATION OF THIS DRAWING ARE AS FOLLOWS:
 - FDOT PROJECT NO. 94000-3531, DATED 12-89
 - ARCADIS U.S., INC. PROJECT NO. PL878EN03, WATER AND SEWER PLAN, DATED 11-13-07
 - EDC PROJECT NO. 18-302, UTILITY PLAN, DATED 2-3-21
 - FORT PIERCE UTILITIES AUTHORITY - GATEWAY PLAZA FPUA WEB MAP, DATED 1-19-23
 - FORT PIERCE UTILITIES AUTHORITY - WATER DISTRIBUTION SYSTEM LOCATION MAPS SHEET H-12, DATED 09-77
 - FDOT RIGHT OF WAY MAP S.R. 5, SECTION 94010-2501, DATED 10-09-93
 - FDOT PARCEL SKETCH, F.P. NO. 436888-1 SECTION 94010-2519, DATED 08-31-17
 - FDOT MAINTENANCE MAP S.R. 5, F.P. NO. 438548-1-52-01, DATED 12-16-16



PROJECT VICINITY

VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:

PARCEL 1:
COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1 AND THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST, ALONG THE WEST RIGHT-OF-WAY OF SOUTH FOURTH STREET 305 FEET TO THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED:

FROM THE SAID POINT OF BEGINNING, CONTINUE NORTH 00°03'34" EAST ALONG THE WEST LINE OF SOUTH FOURTH STREET, 360 FEET; THENCE NORTH 89°42'26" WEST, PARALLEL TO THE SOUTH LINE OF SAID SECTION 15, 501.9 FEET TO A POINT; THENCE SOUTH 00°03'34" WEST, 50 FEET TO A POINT; THENCE NORTH 89°42'26" WEST, 175 FEET TO A POINT; THENCE NORTH 00°03'34" EAST, 100 FEET TO A POINT; THENCE NORTH 89°42'26" WEST 200 FEET TO A POINT; THENCE SOUTH 00°03'34" WEST, 585 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST, 511.9 FEET TO A POINT; THENCE NORTH 00°03'34" EAST, 175 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST, 365 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) AND OF THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET 665 FEET TO A POINT IN SAID RIGHT-OF-WAY LINE; THENCE NORTH 89°42'26" WEST 501.9 FEET TO THE POINT OF BEGINNING:

FROM SAID POINT OF BEGINNING CONTINUE NORTH 89°42'26" WEST 175 FEET TO A POINT; THENCE SOUTH 00°03'34" WEST 50 FEET TO A POINT; THENCE SOUTH 89°42'26" EAST 175 FEET TO A POINT; THENCE NORTH 00°03'34" EAST 50 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

THE EAST 876.9 FEET OF THE SOUTH 1/2 OF THE SW 1/4, LYING WEST OF U.S. NO.1 HIGHWAY, SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, LESS: BEGIN AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY OF VIRGINIA AVENUE AND THE WEST RIGHT-OF-WAY OF U.S. NO.1 HIGHWAY, NORTH 710 FEET; WEST 175 FEET; SOUTH 175 FEET; WEST 328.9 FEET; SOUTH 50 FEET; WEST 175 FEET; NORTH 100 FEET; WEST 200 FEET; SOUTH 585 FEET; EAST 876.9 FEET TO THE POINT OF BEGINNING. ALSO LESS: SOUTHERLY 130 FEET FOR ROAD AND CANAL RIGHT-OF-WAY. ALSO LESS: NORTH 150 FEET OF THE SOUTH 1222.46 FEET OF THE EAST 175 FEET.

AND

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) AND THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST IN THE CITY OF FORT PIERCE, LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST ALONG THAT RIGHT-OF-WAY OF SOUTH FOURTH STREET, 1323.18 FEET TO THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 15, AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°03'34" EAST, 335 FEET; THENCE RUN NORTH 89°39'28" WEST, 569.9 FEET; THENCE RUN SOUTH 01°10'39" WEST, 186.33 FEET; THENCE RUN SOUTH 24°58'42" WEST, 136.59 FEET TO THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4; THENCE RUN SOUTH 89°39'28" EAST 626.80 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THE FOLLOWING PARCEL: COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET (U.S. HIGHWAY NO. 1) AND OF THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET, 1338.18 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°39'28" WEST, 175 FEET; THENCE RUN NORTH 00°03'34" EAST, 185 FEET; THENCE RUN SOUTH 89°39'28" EAST, 175 FEET; THENCE SOUTH 00°03'34" WEST, 185 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT PARCELS CONVEYED BY WARRANTY DEED TO WILLIAM D. CARLTON, IN OFFICIAL RECORDS BOOK 207, PAGE 592; BY WARRANTY DEED TO E.J. ROSCHMAN, IN OFFICIAL RECORDS BOOK 199, PAGE 481; BY QUIT CLAIM DEED TO JAMES F. GRIMES AND SUSAN GRIMES, HIS WIFE, IN OFFICIAL RECORDS BOOK 517, PAGE 1232; AND BY WARRANTY DEED TO WALGREEN AN ILLINOIS CORPORATION, IN OFFICIAL RECORDS BOOK 452, PAGE 2789, ALL OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 4

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET HIGHWAY NO. 1) AND OF THE SOUTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, RUN NORTH 00°03'34" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH FOURTH STREET, 1338.18 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°39'28" WEST, 175 FEET; THENCE RUN NORTH 00°03'34" EAST, 185 FEET; THENCE RUN SOUTH 89°39'28" EAST, 175 FEET; THENCE RUN SOUTH 00°03'34" WEST, 185 FEET TO THE POINT OF BEGINNING.

PARCEL 5

THAT PART OF THE EAST 390 FEET OF THE SOUTH 200 FEET OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, WHICH LIES WEST OF U.S. HIGHWAY NO. 1, EXCEPT THE EAST 7 FEET THEREOF. THE NORTH 100 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, EXCEPT THE EAST 7 FEET THEREOF, LYING WEST OF U.S. HIGHWAY NO. 1, EXCEPT THE FOLLOWING:

BEGINNING AT A POINT 200 FEET NORTH OF A MONUMENT 25 FEET EAST OF THE SOUTHWEST CORNER OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST; THENCE RUN EAST 480 FEET ALONG THE SOUTH LINE OF THE ABOVE DESCRIBED PROPERTY; THENCE RUN NORTH 100 FEET; THENCE RUN WEST 480 FEET; THENCE RUN SOUTH 100 FEET TO THE POINT OF BEGINNING. THAT PART OF THE SOUTH 200 FEET OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA, WHICH LIES BETWEEN THAT PART OF THE EAST 390 FEET OF THE SOUTH 200 FEET OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, WHICH LIES WEST OF U.S. HIGHWAY NO. 1, EXCEPT THE EAST 7 FEET THEREOF, ON THE EAST AND THAT PART BEGINNING AT A MONUMENT 25 FEET EAST OF THE SOUTHWEST CORNER OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, THENCE RUN EAST 480 FEET ALONG THE SOUTH LINE OF THE ABOVE DESCRIBED PROPERTY, THENCE RUN NORTH 200 FEET, THENCE RUN WEST 480 FEET, THENCE RUN SOUTH 200 FEET TO THE POINT OF BEGINNING, ON THE WEST. ALL OF THE ABOVE DESCRIBED PROPERTY IS ALSO TOGETHER, DESCRIBED AS FOLLOWS: BEING THAT PART OF THE NORTH 300 FEET OF THE SOUTH 535 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, LYING WEST OF U.S. HIGHWAY NO. 1 (BEING AN 80 FOOT RIGHT-OF-WAY), LESS A WEST PORTION KNOWN AS MYPFLOWER TERRACE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 13, PAGE 15, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; ALL OF SAID LANDS SITUATE, LYING AND BEING IN ST. LUCIE COUNTY, FLORIDA.

ALSO DESCRIBED AS:

THAT CERTAIN PARCEL OF LAND IN THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 35 SOUTH, RANGE 40 EAST, WHICH LIES WEST OF U.S. HIGHWAY NO. 1, SITUATE IN THE CITY OF FORT PIERCE, ST. LUCIE COUNTY, STATE OF FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

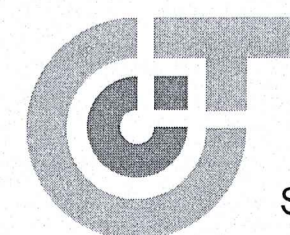
BEGINNING AT A 5/8 INCH CAPPED REBAR "LB 4288" FOUND ON THE SOUTHEAST CORNER OF PROPERTY NOW OF FORMERLY DOROTHY ANN CARNES LLC, RECORDED IN DEED BOOK 1218, PAGE 2930, AND THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1, 80 FEET WIDE; THENCE ALONG THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1, SOUTH 00°11'14" EAST, A DISTANCE OF 300.00 FEET TO A 3/4 INCH IRON PIPE FOUND ON THE NORTHEAST CORNER OF PROPERTY NOW OR FORMERLY MORRIS/SATNICK FP ASSOC. LLC, RECORDED IN DEED BOOK 2446, PAGE 712; THENCE ALONG THE NORTHERLY LINE OF SAID MORRIS/SATNICK FP ASSOC. LLC PROPERTY, NORTH 89°41'58" WEST, A DISTANCE OF 400.00 FEET TO A CONCRETE MONUMENT FOUND ON THE SOUTHEAST CORNER OF PROPERTY NOW OR FORMERLY EDUARDO E. PEREZ, RECORDED IN DEED BOOK 2675, PAGE 2981; THENCE ALONG THE EASTERLY LINE OF SAID PEREZ AND PROPERTY NOW OR FORMERLY JOSEPH & HSUI LEUNG, RECORDED IN DEED BOOK 2214, PAGE 2872, NORTH 00°11'14" WEST, A DISTANCE OF 300.00 FEET TO A CAPPED REBAR SET ON THE SOUTHWEST CORNER OF SAID DOROTHY ANN CARNES LLC PROPERTY; THENCE ALONG THE SOUTHERLY LINE OF SAID DOROTHY ANN CARNES LLC PROPERTY, SOUTH 89°41'58" WEST, A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THOSE LANDS DEEDED TO STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION IN OR BOOK 3615, PAGE 2364 AND OR BOOK 3615, PAGE 2374.

PREPARED BY

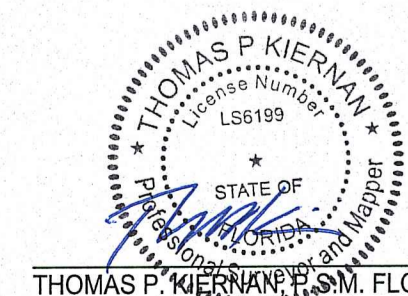
CULPEPPER & TERPENING INC

CONSULTING ENGINEERS | LAND SURVEYORS
2980 SOUTH 25th STREET
FORT PIERCE, FLORIDA 34981
PHONE 772-464-3537 | FAX 772-464-9497
www.ct-eng.com
STATE OF FLORIDA BOARD OF PROFESSIONAL
ENGINEERS AUTHORIZATION NO. 4286



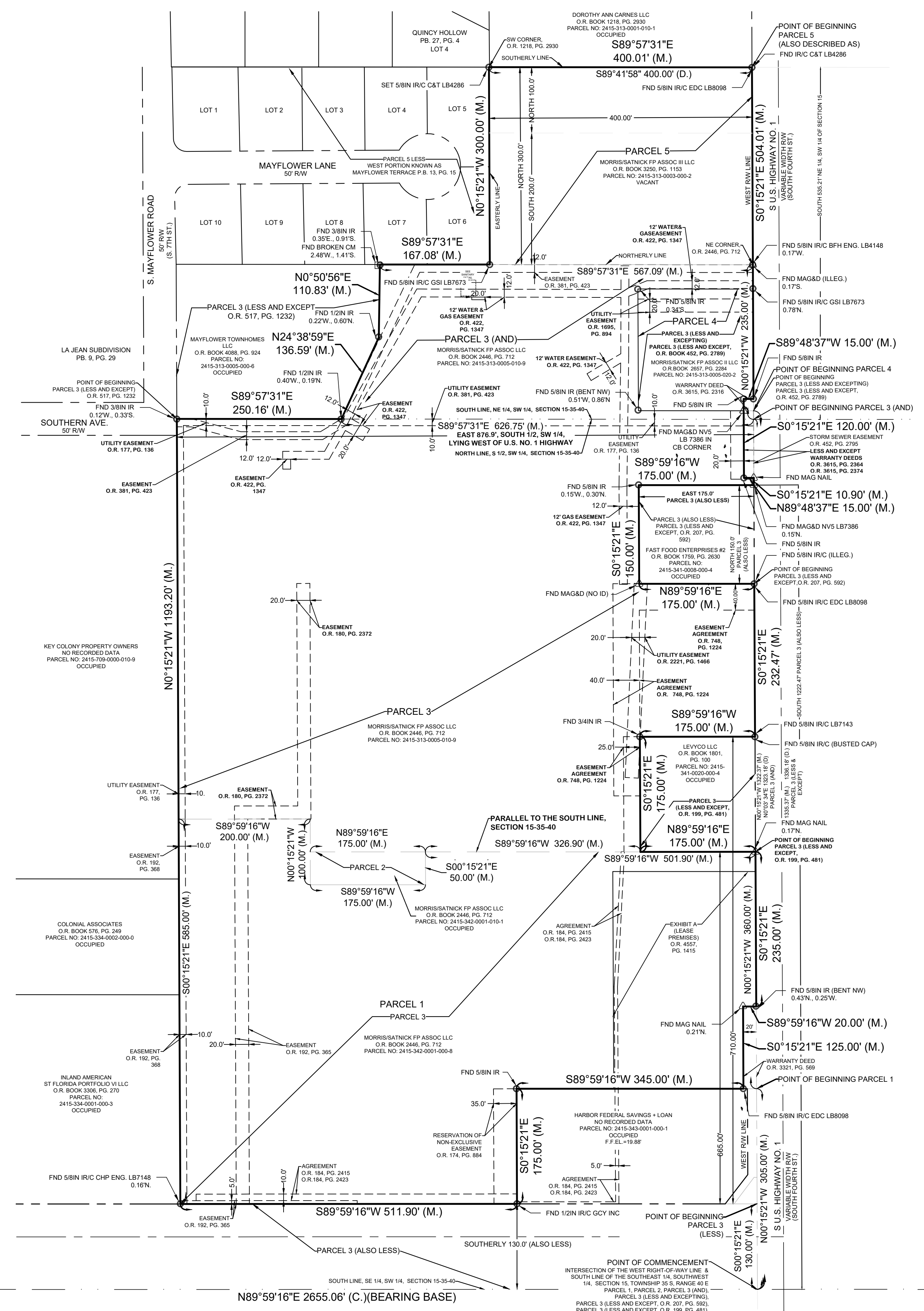
CERTIFICATION

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEVE THIS IS TRUE, ACCURATE AND COMPLETE DEPICTION OF A FIELD SURVEY PERFORMED UNDER MY DIRECTION AND COMPLETED ON APRIL 5, 2023. I FURTHER CERTIFY THAT SAID DRAWING IS IN COMPLIANCE WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER, IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

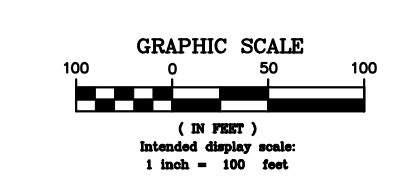
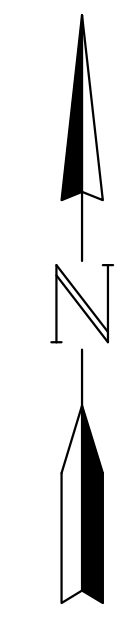


5-19-23

THOMAS P. KIEHN, F.S.M. FLORIDA CERTIFICATE NO. 6199



- LEGEND**
- B.B. DENOTES BEARING BASIS
 - B.F.P. DENOTES BACKFLOW PIPE
 - (C) DENOTES BELLSOUTH
 - (C) DENOTES CALCULATED DATA
 - CB DENOTES CATCH BASIN
 - C/L DENOTES CENTERLINE
 - C.M. DENOTES CONCRETE MONUMENT
 - CONC. DENOTES CONCRETE
 - EL DENOTES ELEVATION
 - F.D.O.T. DENOTES FLORIDA DEPARTMENT OF TRANSPORTATION
 - FFE DENOTES FINISHED FLOOR ELEVATION
 - FND. DENOTES FOUND
 - GND DENOTES GROUND
 - HDPE DENOTES HIGH DENSITY POLYETHYLENE
 - HH DENOTES HAND HOLE
 - ID DENOTES IDENTIFICATION
 - INV. DENOTES INVERT
 - I.R. DENOTES IRON ROD
 - IR / C DENOTES 5/8" IRON ROD & CAP
 - L.B. DENOTES LICENSED BUSINESS
 - N.A.V.D. DENOTES NORTH AMERICAN VERTICAL DATUM
 - No. DENOTES NUMBER
 - No ID DENOTES NO IDENTIFICATION NUMBER
 - NW DENOTES NORTHWEST
 - OE DENOTES OVERHEAD ELECTRIC
 - O.H.U. DENOTES OVERHEAD UTILITIES
 - O.R. DENOTES OFFICIAL RECORDS
 - P.B. DENOTES PLAT BOOK
 - P.C. DENOTES PAGE
 - PK&D DENOTES P.K. NAIL AND DISK
 - P.L.S. DENOTES PROFESSIONAL LAND SURVEYOR
 - PVC DENOTES POLYVINYL CHLORIDE
 - RCP DENOTES REINFORCED CONCRETE PIPE
 - SA.N. DENOTES SANITARY
 - SW DENOTES SOUTHWEST
 - TOB DENOTES TOP OF BANK
 - TYP. DENOTES TYPICAL
 - VCP DENOTES VITRIFIED CLAY PIPE
 - WM DENOTES WATER MAIN
 - ± DENOTES PLUS OR MINUS
 - ⊕ DENOTES SET 5/8" IRON ROD & CAP (LB 4286)
 - ⊗ DENOTES SET PARKER KALON NAIL & DISK (LB 4286)
 - ⊙ DENOTES BACKFLOW PIPE
 - ⊚ DENOTES MONITOR WELL
 - ⊛ DENOTES CLEAN OUT
 - ⊜ DENOTES ELECTRICAL HANDHOLE
 - ⊝ DENOTES FIBER OPTIC HANDHOLE
 - ⊞ DENOTES IRRIGATION HANDHOLE
 - ⊟ DENOTES AREA LIGHT
 - ⊠ DENOTES ELECTRICAL ENCLOSURE
 - ⊡ DENOTES TRAFFIC SIGNAL HANDHOLE
 - ⊢ DENOTES GUY ANCHOR
 - ⊣ DENOTES WATER METER
 - ⊤ DENOTES WATER VALVE
 - ⊥ DENOTES SIGN
 - ⊦ DENOTES ATT HANDHOLE
 - ⊧ DENOTES STORM STRUCTURE - SEE TABLE
 - ⊨ DENOTES BELL SOUTH HANDHOLE
 - ⊩ DENOTES STORM DRAINAGE MANHOLE
 - ⊪ DENOTES WOOD POWER POLE
 - ⊫ DENOTES CONCRETE POWER POLE
 - ⊬ DENOTES LAUREL TREE AND DIAMETER AT 4 FT HIGH
 - ⊭ DENOTES PALM TREE
 - ⊮ DENOTES OAK TREE AND DIAMETER AT 4 FT HIGH
 - ⊯ DENOTES GUMBO TREE AND DIAMETER AT 4 FT HIGH
 - ⊰ DENOTES AS NOTED AND DIAMETER AT 4 FT HIGH



16 15
21 22
CERTIFIED CORNER
#03999

15 22
CERTIFIED CORNER
#094000

OVERALL EXHIBIT WITH EASEMENTS

| COMPUTER FILE REF. | FIELD BK./PG. |
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CULPEPPER & TERPENING INC
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- REVISIONS -

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| FIELD | BY | DATE |
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TOPOGRAPHIC SURVEY

PREPARED FOR
TIME EQUITIES, INC.

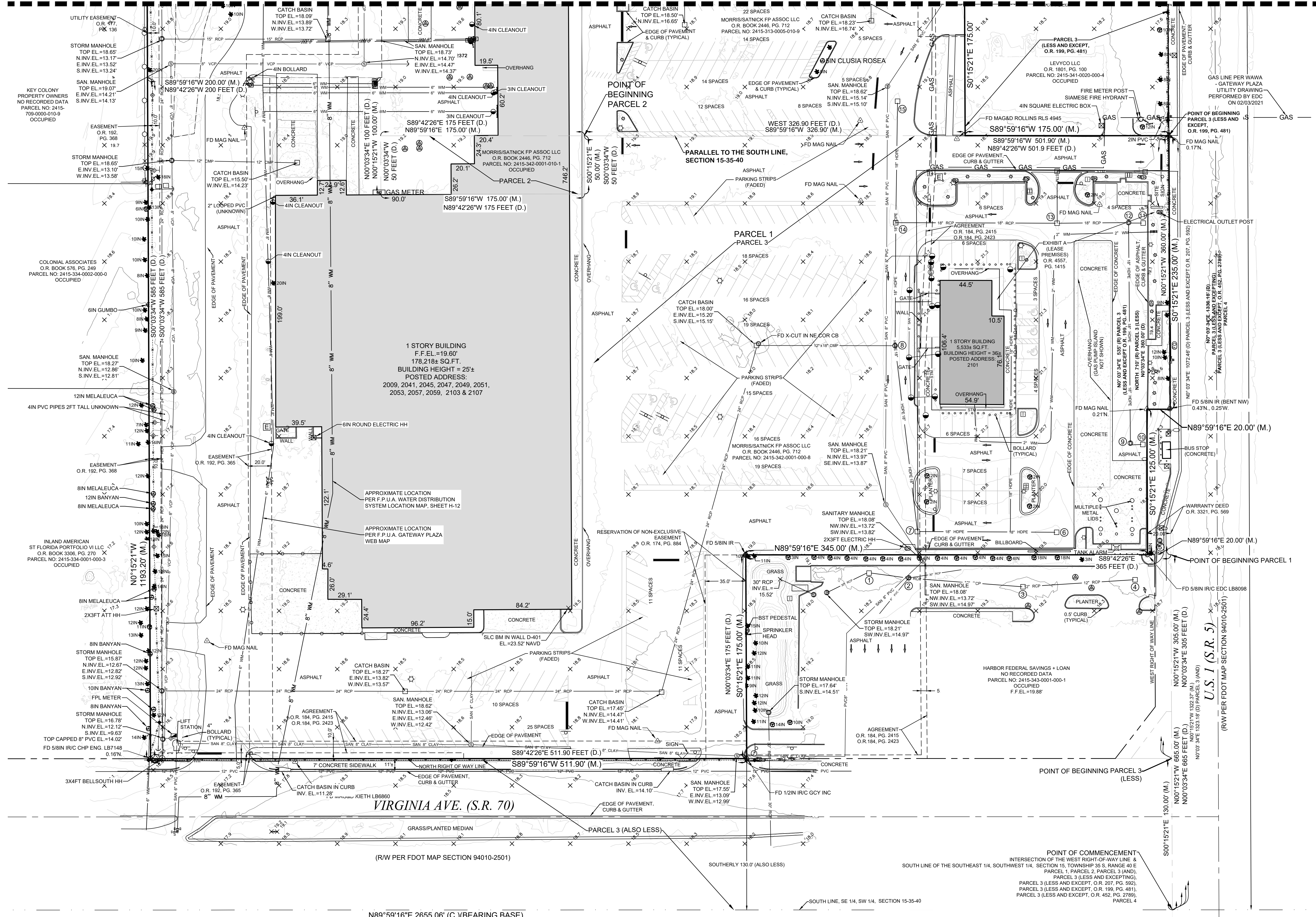
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 VERT. SCALE: N/A
 JOB NO. 23-012
 SHEET **2 of 5**

MATCH LINE A

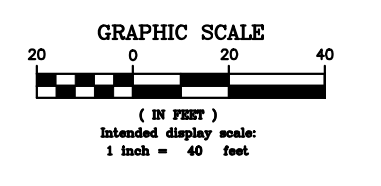
- LEGEND**
- B.B. DENOTES BEARING BASIS
 - B.F.P. DENOTES BACKFLOW PIPE
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 - GND DENOTES GROUND
 - HDPE DENOTES HIGH DENSITY POLYETHYLENE
 - HH DENOTES HAND HOLE
 - ID DENOTES IDENTIFICATION
 - INV. DENOTES INVERT
 - I.R. DENOTES IRON ROD
 - I.R./C DENOTES 5/8" IRON ROD & CAP
 - NO DENOTES LICENSED BUSINESS
 - N.A.V.D. DENOTES NORTH AMERICAN VERTICAL DATUM
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 - RCP DENOTES REINFORCED CONCRETE PIPE
 - SAN DENOTES SANITARY
 - SW DENOTES SOUTHWEST
 - TOP DENOTES TOP OF BANK
 - TY DENOTES TYPICAL
 - V.C.P. DENOTES VITRIFIED CLAY PIPE
 - WM DENOTES WATER MAIN
 - + DENOTES PLUS OR MINUS
 - 5/8" DENOTES SET 5/8" IRON ROD & CAP (LB 4286)
 - PK&D DENOTES SET PARKER KALON NAIL & DISK (LB 4286)
 - BACKFLOW DENOTES SET BACKFLOW PIPE
 - MONITOR DENOTES MONITOR WELL
 - CLEAN DENOTES CLEAN OUT
 - ELECTRIC DENOTES ELECTRICAL HANDHOLE
 - FIBER DENOTES FIBER OPTIC HANDHOLE
 - IRRIGATION DENOTES IRRIGATION HANDHOLE
 - AREA DENOTES AREA LIGHT
 - ELECTRICAL DENOTES ELECTRICAL ENCLOSURE
 - TRAFFIC DENOTES TRAFFIC SIGNAL HANDHOLE
 - GUY DENOTES GUY ANCHOR
 - WATER DENOTES WATER METER
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 - PALM DENOTES DENOTES PALM TREE
 - OAK DENOTES DENOTES OAK TREE AND DIAMETER AT 4 FT HIGH
 - GUMBO DENOTES DENOTES GUMBO TREE AND DIAMETER AT 4 FT HIGH
 - AS DENOTES DENOTES AS NOTED AND DIAMETER AT 4 FT HIGH

STORM DRAINAGE TABLE

| # | STRUCTURE | TOP EL. | INVERTS |
|----|---------------|---------|---|
| 1 | CATCH BASIN | 17.76' | E=13.76' W=13.71' |
| 2 | STORM MANHOLE | 18.05' | NE=13.75' SW=13.41' |
| 3 | CATCH BASIN | 17.78' | E=14.07' W=13.78' |
| 4 | CATCH BASIN | 17.69' | E=14.12' |
| 5 | CATCH BASIN | 17.60' | - |
| 6 | CATCH BASIN | 18.45' | W=14.85' |
| 7 | CATCH BASIN | 18.64' | N=14.64' E=14.74' |
| 8 | STORM MANHOLE | 19.70' | N=15.51' S=14.44' |
| 9 | STORM MANHOLE | 19.22' | N=14.70' E=14.57' |
| 10 | CATCH BASIN | 18.68' | W=14.68' |
| 11 | CATCH BASIN | 18.72' | W=14.72' |
| 12 | STORM MANHOLE | 18.81' | E=14.63' W=14.53' S=14.51' |
| 13 | CATCH BASIN | 18.98' | N=14.63' E=14.63' W=14.53' |
| 14 | CATCH BASIN | 18.39' | N=14.64' W INV HDPE E INV RCP S=14.57' |
| 15 | CATCH BASIN | 18.42' | S=14.62' |



N89°59'16"E 2655.06' (C.) (BEARING BASE)



GRAPHICS

| COMPUTER FILE REF. | FIELD BK./PG. |
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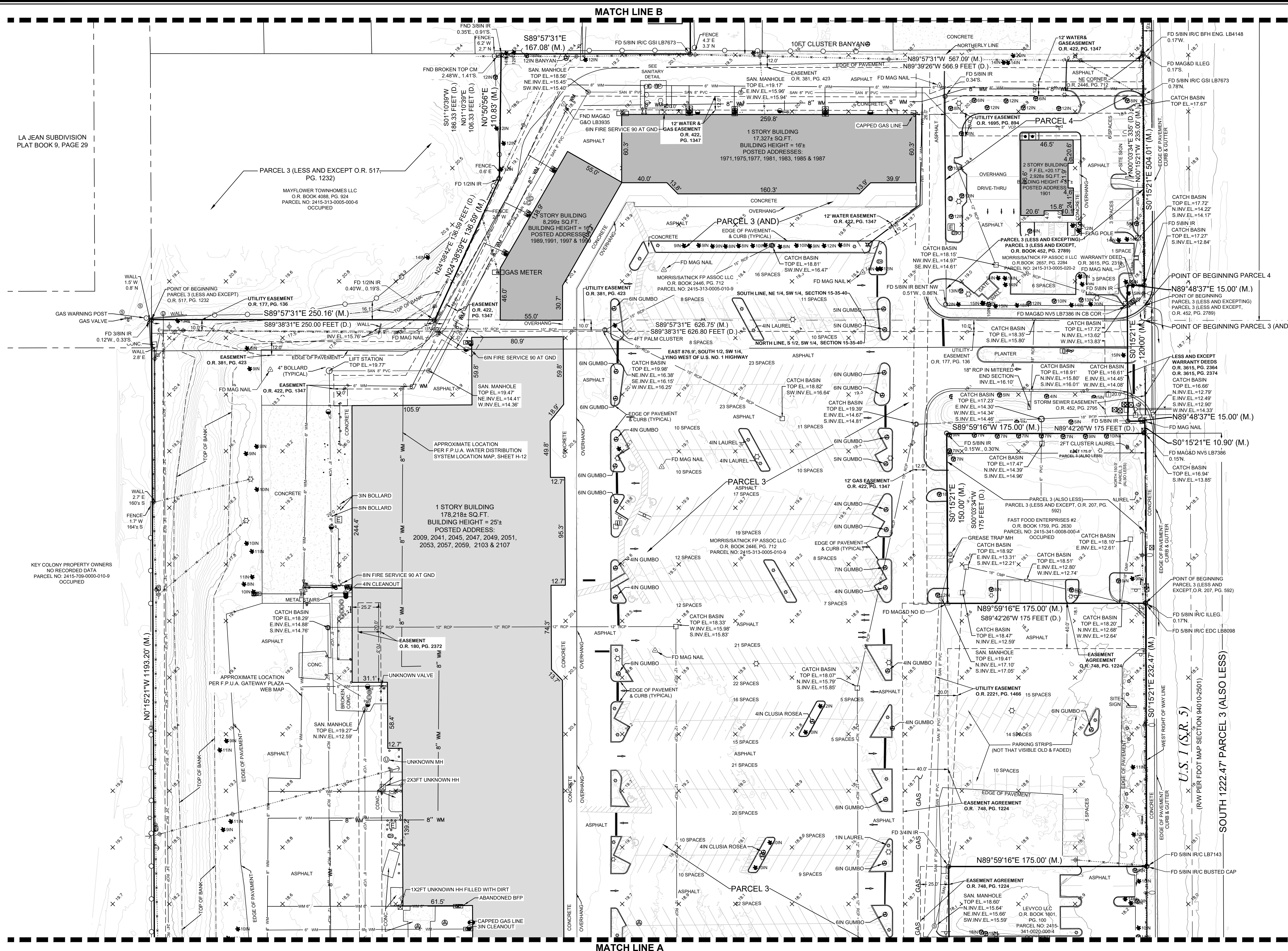
- REVISIONS -

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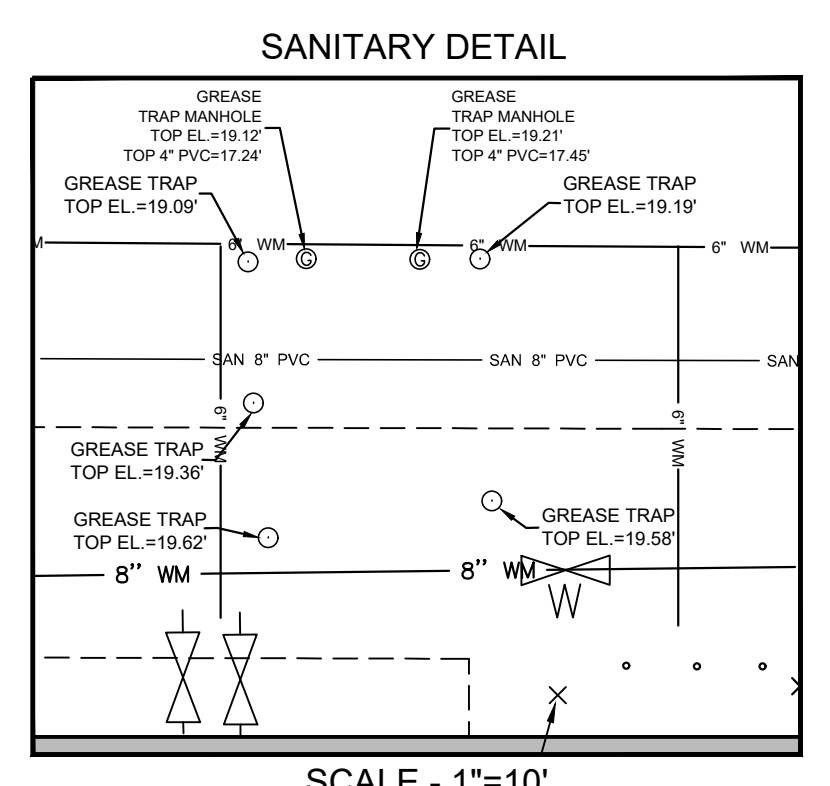
| BY | DATE |
|----------|--------------|
| FIELD | SG 02/28/23 |
| CALCS. | |
| DRAWN | LEH 03/01/23 |
| DETAILED | |
| CHECKED | JDJ |
| APPROVED | TPK |

TOPOGRAPHIC SURVEY
 PREPARED FOR
TIME EQUITIES, INC.

DATE: 03-01-23
 HORIZ. SCALE: 1"=40'
 VERT. SCALE: N/A
 JOB NO. 23-012
 SHEET **3 of 5**



- LEGEND**
- B.B. DENOTES BEARING BASIS
 - B.F.P. DENOTES BACKFLOW PIPE
 - BST DENOTES BELL SOUTH
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 - F.D.O.T. DENOTES FLORIDA DEPARTMENT OF TRANSPORTATION
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 - FND DENOTES FOUND
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 - WM DENOTES WATER MAIN
 - + DENOTES PLUS OR MINUS
 - 5/8" DENOTES SET 5/8" IRON ROD & CAP (LB 4286)
 - LB DENOTES SET PARKER KALON NAIL & DISK (LB 4286)
 - MON DENOTES MONITOR WELL
 - C/O DENOTES CLEAN OUT
 - EL DENOTES ELECTRICAL HANDHOLE
 - FO DENOTES FIBER OPTIC HANDHOLE
 - IR DENOTES IRRIGATION HANDHOLE
 - AREA DENOTES AREA LIGHT
 - ENC DENOTES ELECTRICAL ENCLOSURE
 - TSS DENOTES TRAFFIC SIGNAL HANDHOLE
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 - VALV DENOTES WATER VALVE
 - SIGN DENOTES SIGN
 - ATT DENOTES ATT HANDHOLE
 - STR DENOTES STORM STRUCTURE - SEE TABLE
 - BELL DENOTES BELL SOUTH HANDHOLE
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 - AS DENOTES AS NOTED AND DIAMETER AT 4 FT HIGH



LA JEAN SUBDIVISION
PLAT BOOK 9, PAGE 29

KEY COLONY PROPERTY OWNERS
NO RECORDED DATA
PARCEL NO. 2415-709-000-010-9
OCCUPIED

GRAPHICS

| COMPUTER FILE REF. | FIELD BK./PG. |
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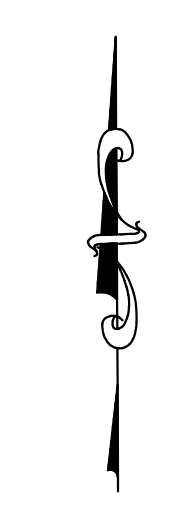
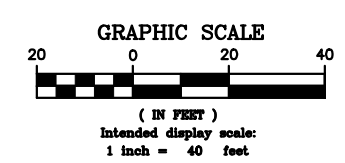
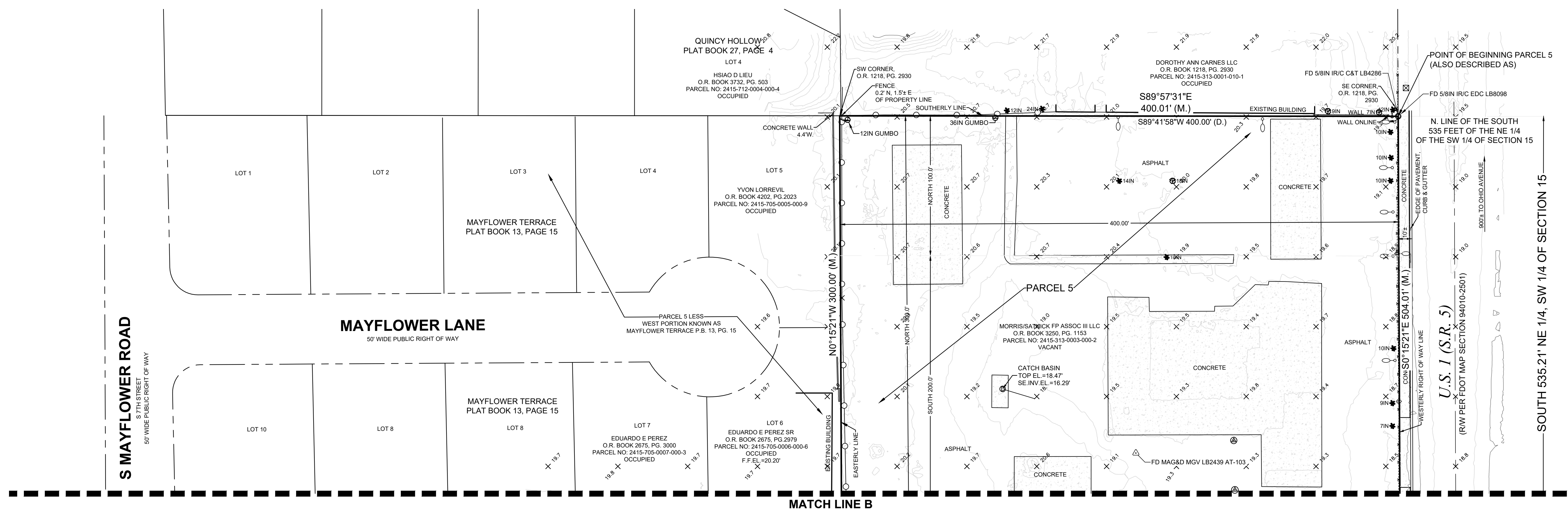
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TOPOGRAPHIC SURVEY

PREPARED FOR
TIME EQUITIES, INC.

DATE: 03-01-23
 HORIZ. SCALE: 1"=40'
 VERT. SCALE: N/A
 JOB NO. 23-012
 SHEET 4 of 5

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 - PARKER KALON NAIL & DISK (LB 4286) DENOTES SET PARKER KALON NAIL & DISK (LB 4286)
 - MONITOR WELL DENOTES MONITOR WELL
 - CLEAN OUT DENOTES CLEAN OUT
 - ELECTRICAL HANDHOLE DENOTES ELECTRICAL HANDHOLE
 - FIBER OPTIC HANDHOLE DENOTES FIBER OPTIC HANDHOLE
 - IRRIGATION HANDHOLE DENOTES IRRIGATION HANDHOLE
 - AREA LIGHT DENOTES AREA LIGHT
 - ELECTRICAL ENCLOSURE DENOTES ELECTRICAL ENCLOSURE
 - TRAFFIC SIGNAL HANDHOLE DENOTES TRAFFIC SIGNAL HANDHOLE
 - GUY ANCHOR DENOTES GUY ANCHOR
 - WATER METER DENOTES WATER METER
 - WATER VALVE DENOTES WATER VALVE
 - SIGN DENOTES SIGN
 - ATT HANDHOLE DENOTES ATT HANDHOLE
 - STORM STRUCTURE - SEE TABLE DENOTES STORM STRUCTURE - SEE TABLE
 - BELLSOUTH HANDHOLE DENOTES BELLSOUTH HANDHOLE
 - STORM DRAINAGE MANHOLE DENOTES STORM DRAINAGE MANHOLE
 - WOOD POWER POLE DENOTES WOOD POWER POLE
 - CONCRETE POWER POLE DENOTES CONCRETE POWER POLE
 - LAUREL TREE AND DIAMETER AT 4 FT HIGH DENOTES LAUREL TREE AND DIAMETER AT 4 FT HIGH
 - PALM TREE DENOTES PALM TREE
 - OAK TREE AND DIAMETER AT 4 FT HIGH DENOTES OAK TREE AND DIAMETER AT 4 FT HIGH
 - GUMBO TREE AND DIAMETER AT 4 FT HIGH DENOTES GUMBO TREE AND DIAMETER AT 4 FT HIGH
 - AS NOTED AND DIAMETER AT 4 FT HIGH DENOTES AS NOTED AND DIAMETER AT 4 FT HIGH



| | | |
|----------|--------------------|---------------|
| GRAPHICS | COMPUTER FILE REF. | FIELD BK./PG. |
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CULPEPPER & TERPENING INC
 2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981
 PHONE 772-464-3537 • FAX 772-464-9487 • www.ct-eng.com
 STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

| - REVISIONS - | | BY | DATE |
|---------------|--|----|------|
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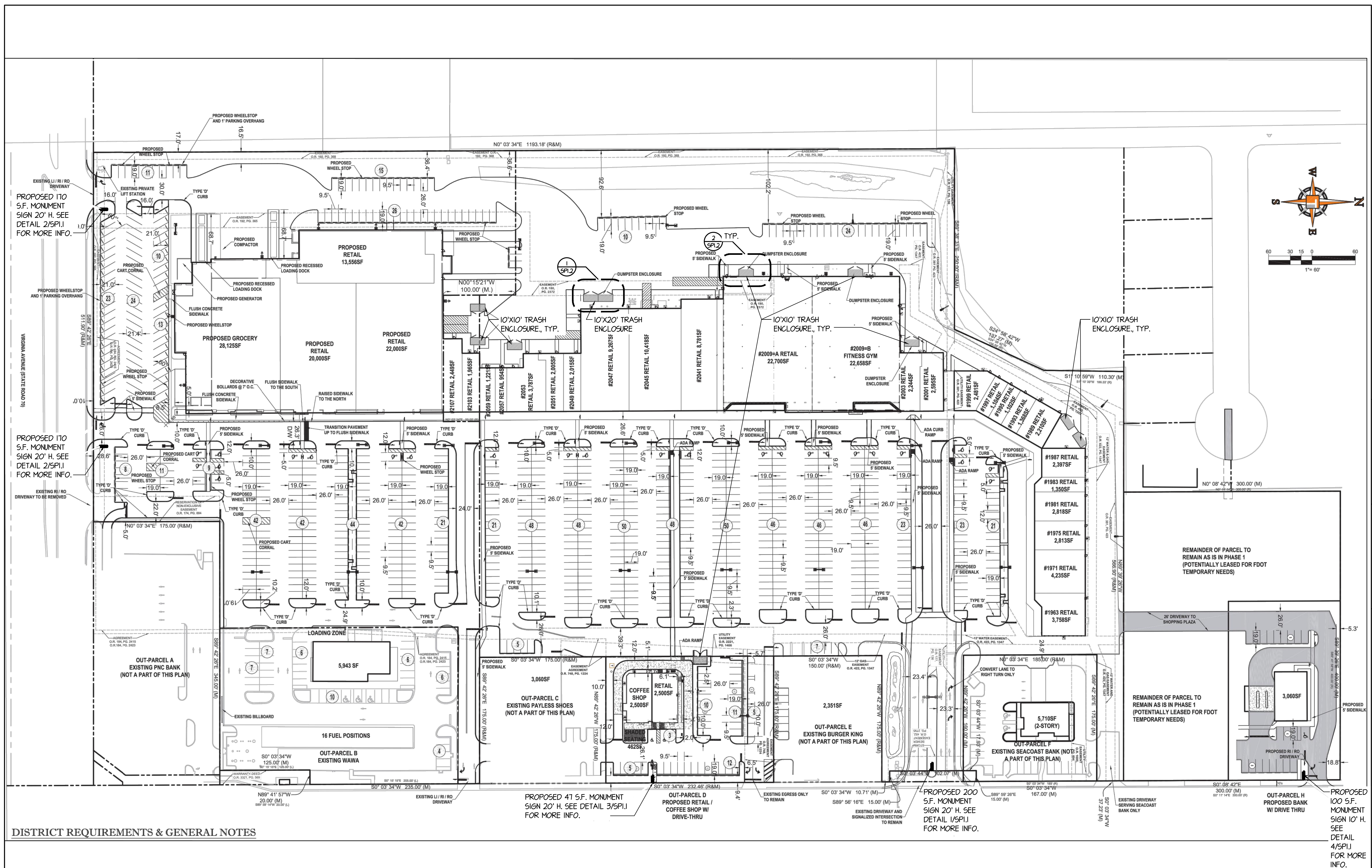
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|----------|-----|----------|
| FIELD | SG | 02/28/23 |
| CALCS. | | |
| DRAWN | LEH | 03/01/23 |
| DETAILED | | |
| CHECKED | JDJ | |
| APPROVED | TPK | |

TOPOGRAPHIC SURVEY
 PREPARED FOR
TIME EQUITIES, INC.

| |
|----------------------|
| DATE: 03-01-23 |
| HORIZ. SCALE: 1"=40' |
| VERT. SCALE: N/A |
| JOB No. 23-012 |
| SHEET 5 of 5 |

MASTER SITE PLAN SUBMITTAL FOR
GATEWAY PLAZA

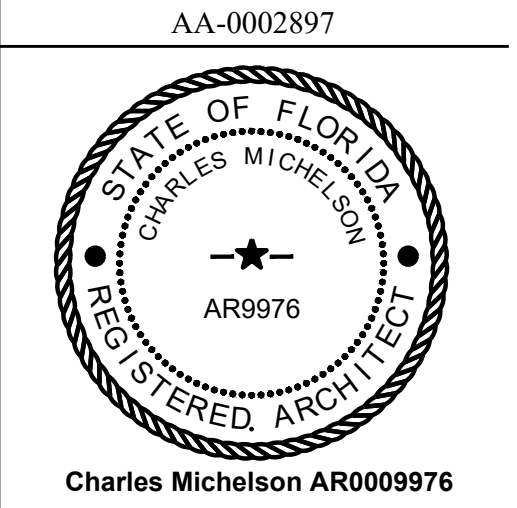
FORT PIERCE, FL.



DISTRICT REQUIREMENTS & GENERAL NOTES

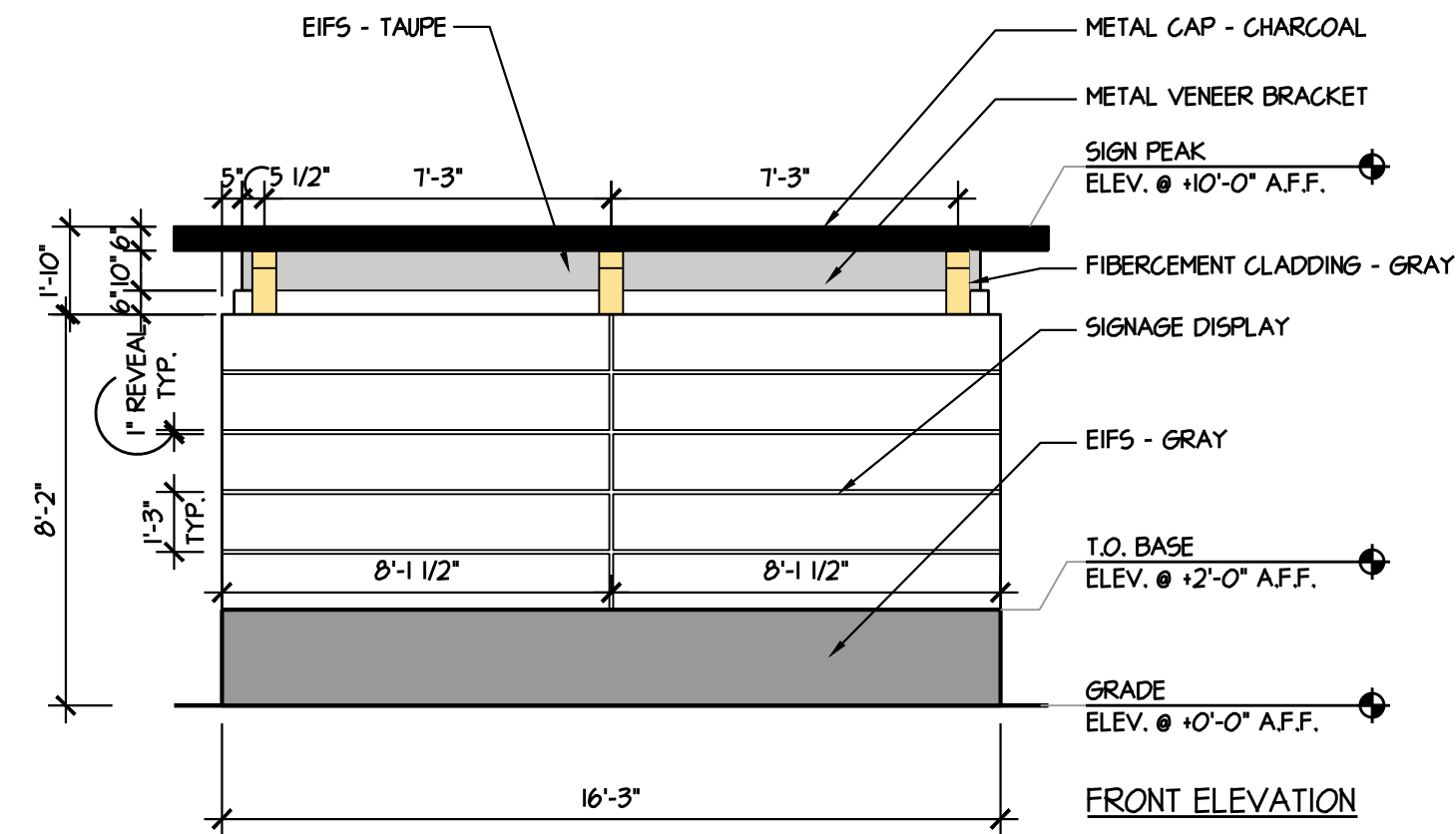
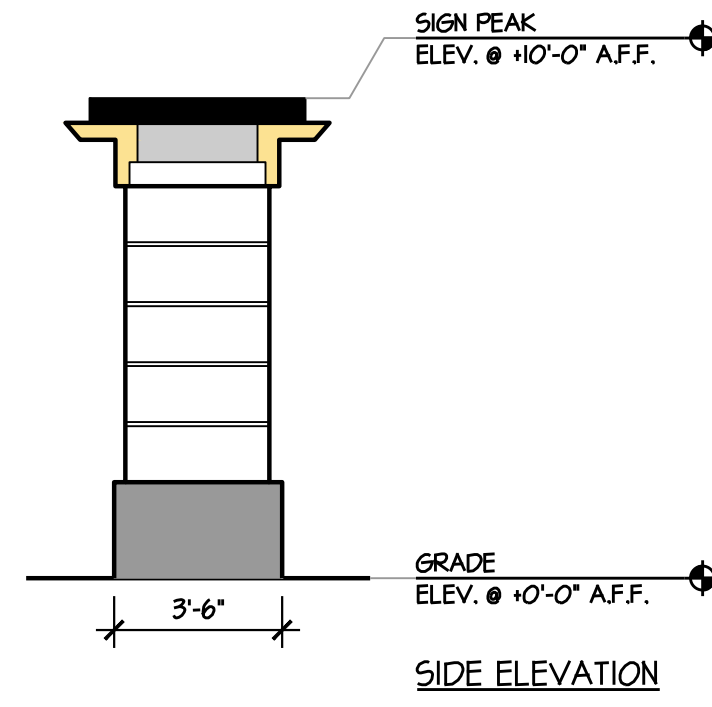
PROPOSED SITE PLAN
SCALE: 1" = 60'-0"
SEE CIVIL DWG65 FOR MORE INFORMATION

SALTZ MICHELSON ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com



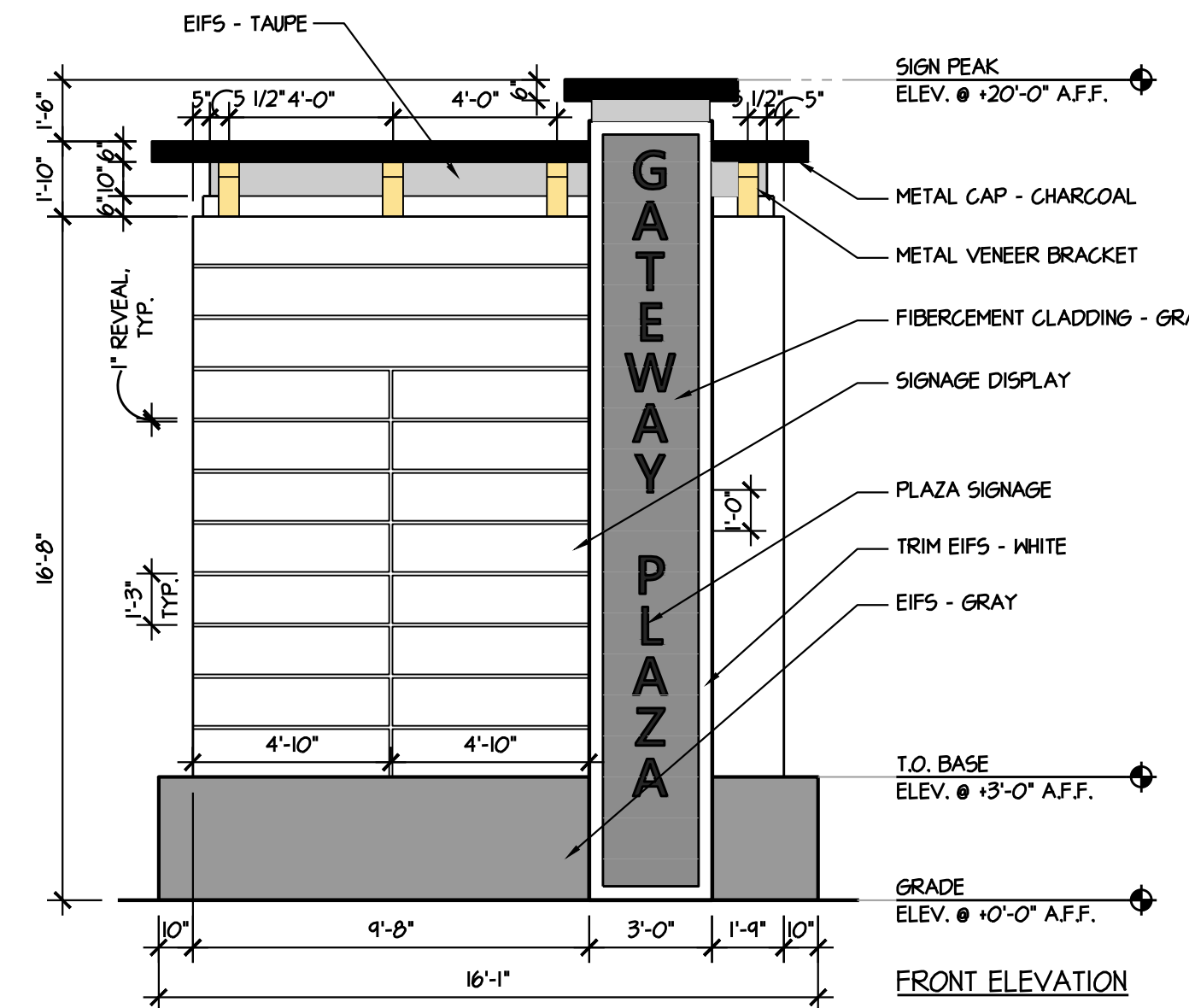
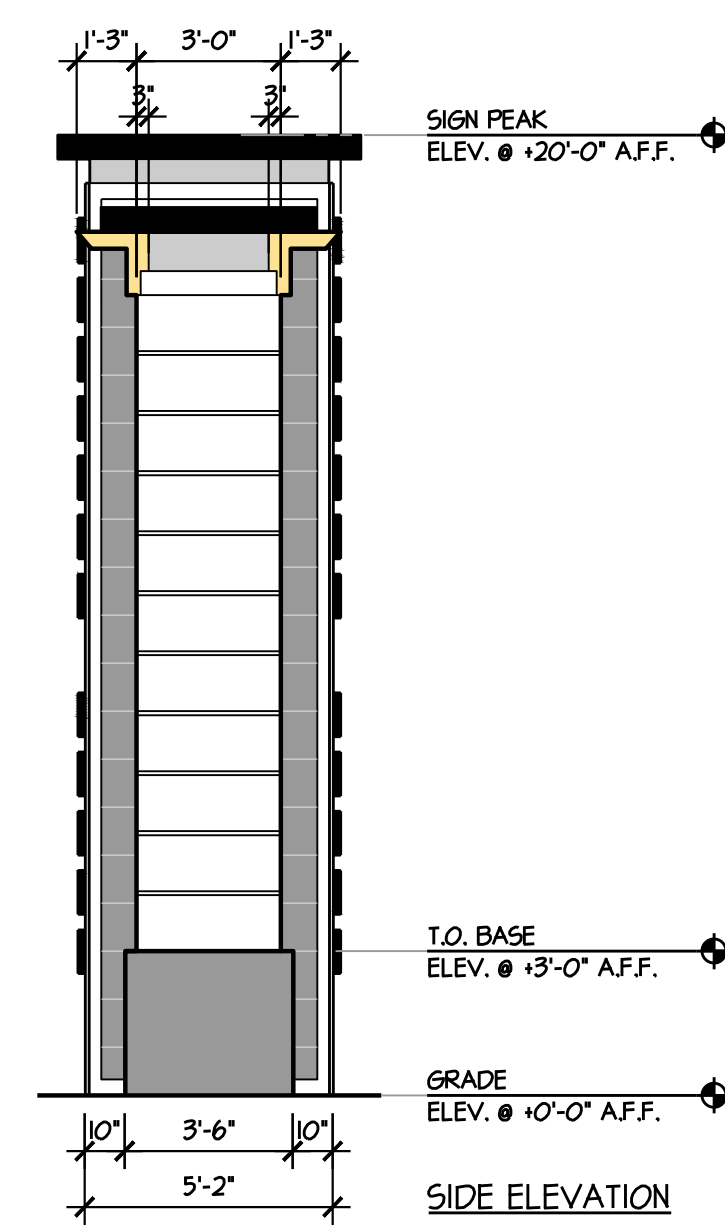
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Drawn By: YC
Checked By: MA
Date: 08/07/2022
REVISIONS

SP1.0



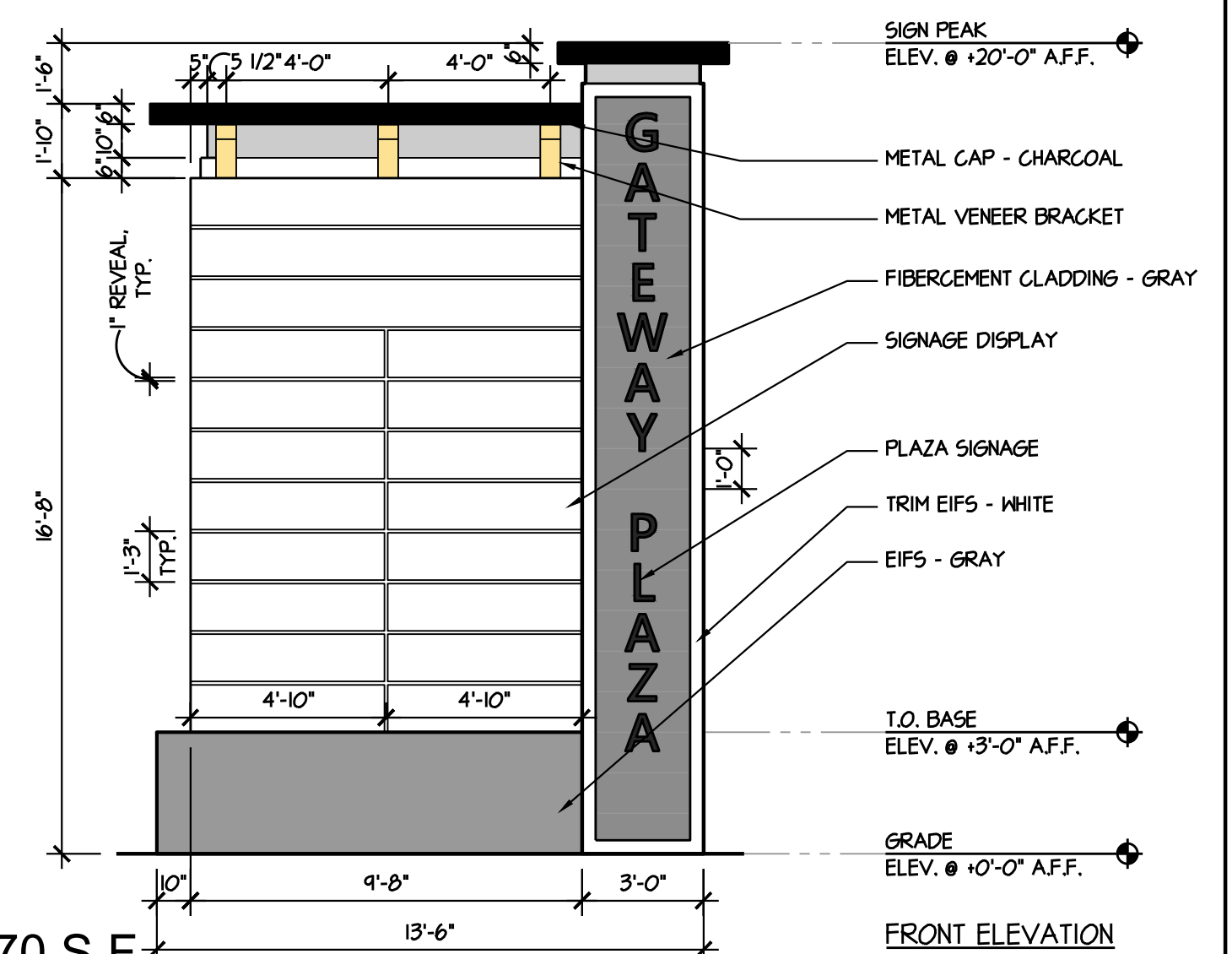
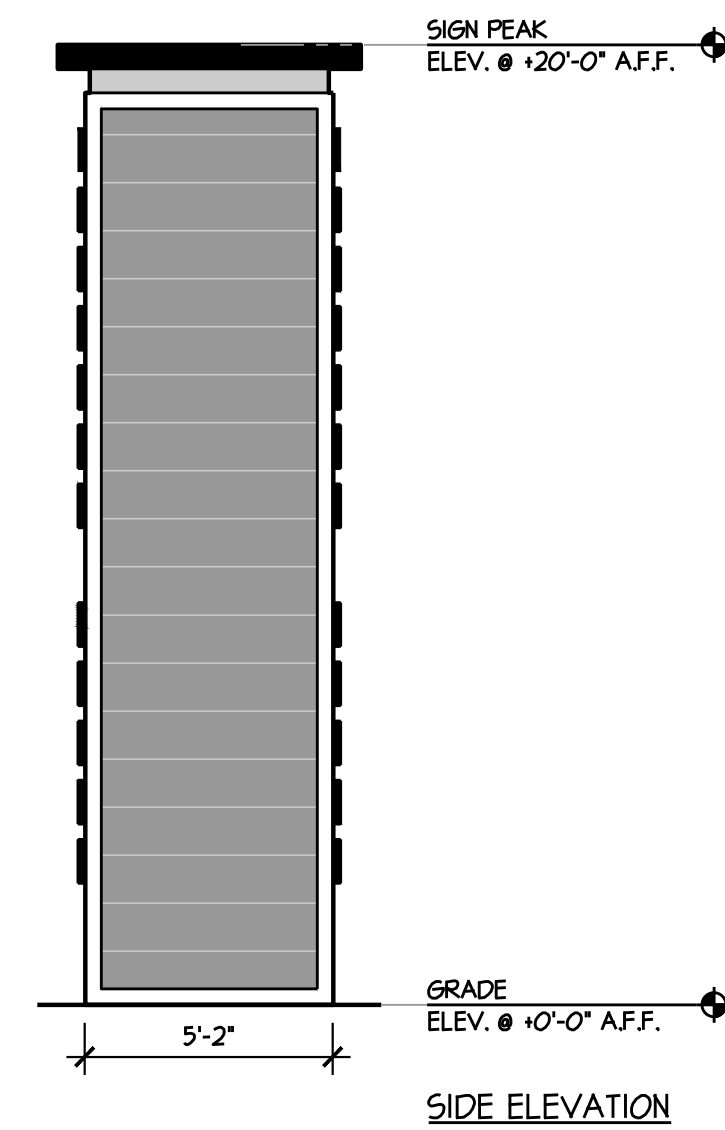
10' H. 100 S.F.
MONUMENT SIGN ELEVATIONS

4
SPL.1 SCALE: 1/4" = 1'-0"



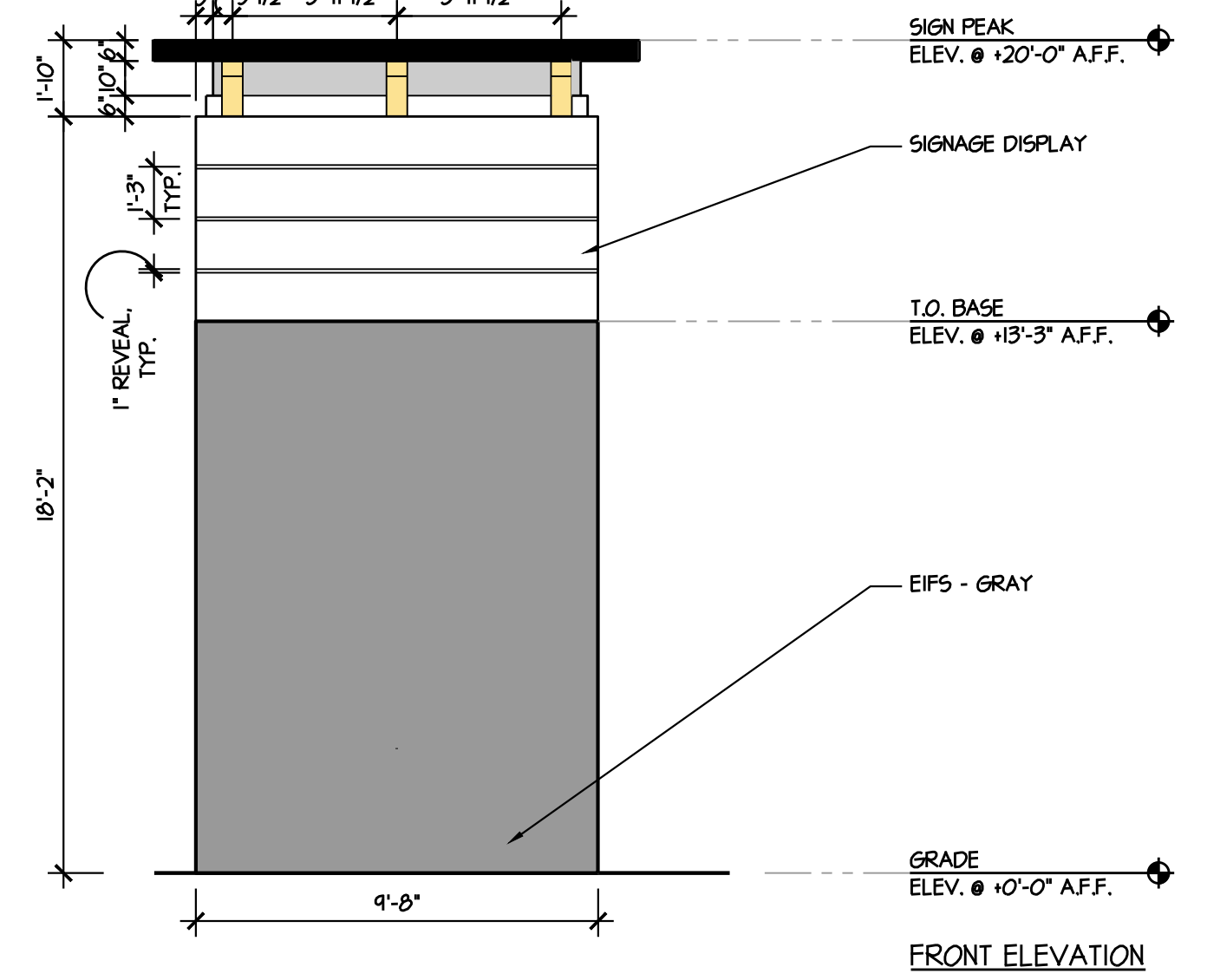
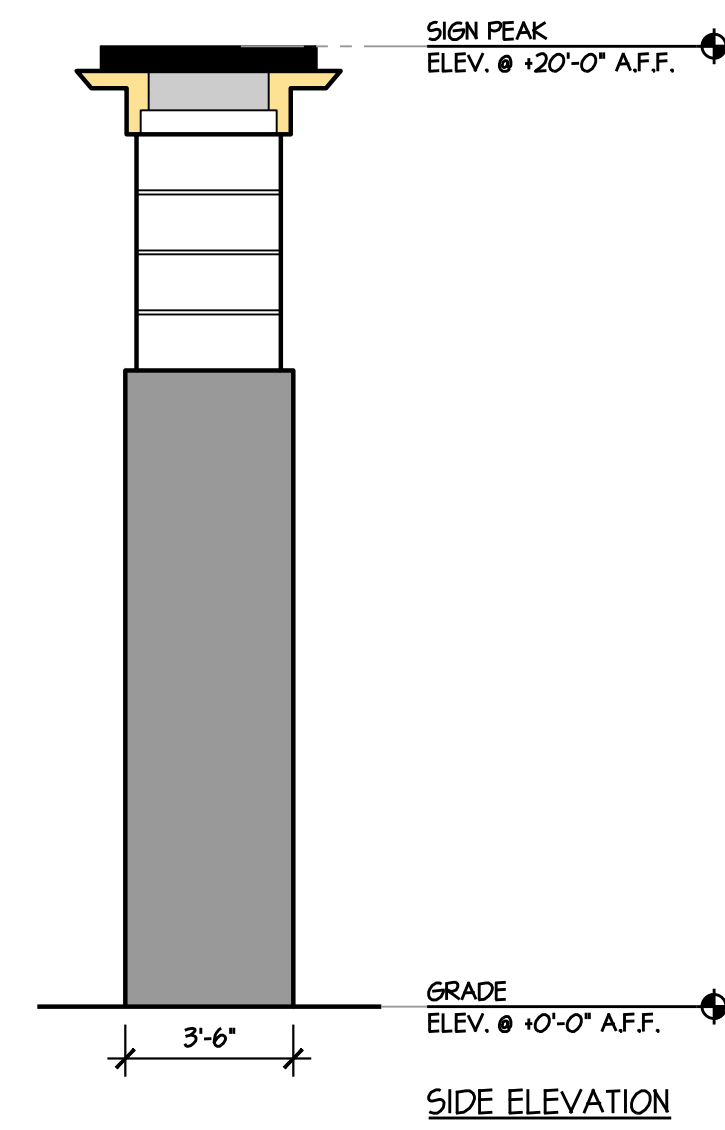
20' H. 200 S.F.
MONUMENT SIGN ELEVATIONS

1
SPL.1 SCALE: 1/4" = 1'-0"



20' H. 170 S.F.
MONUMENT SIGN ELEVATIONS

2
SPL.1 SCALE: 1/4" = 1'-0"



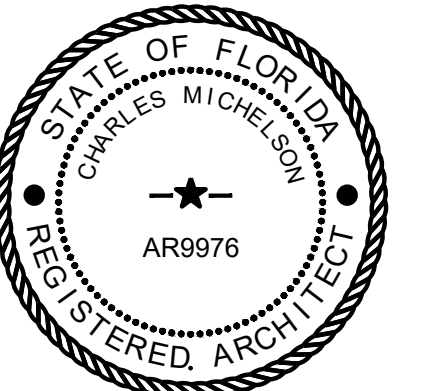
20' H. 47 S.F.
MONUMENT SIGN ELEVATIONS

3
SPL.1 SCALE: 1/4" = 1'-0"



3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897



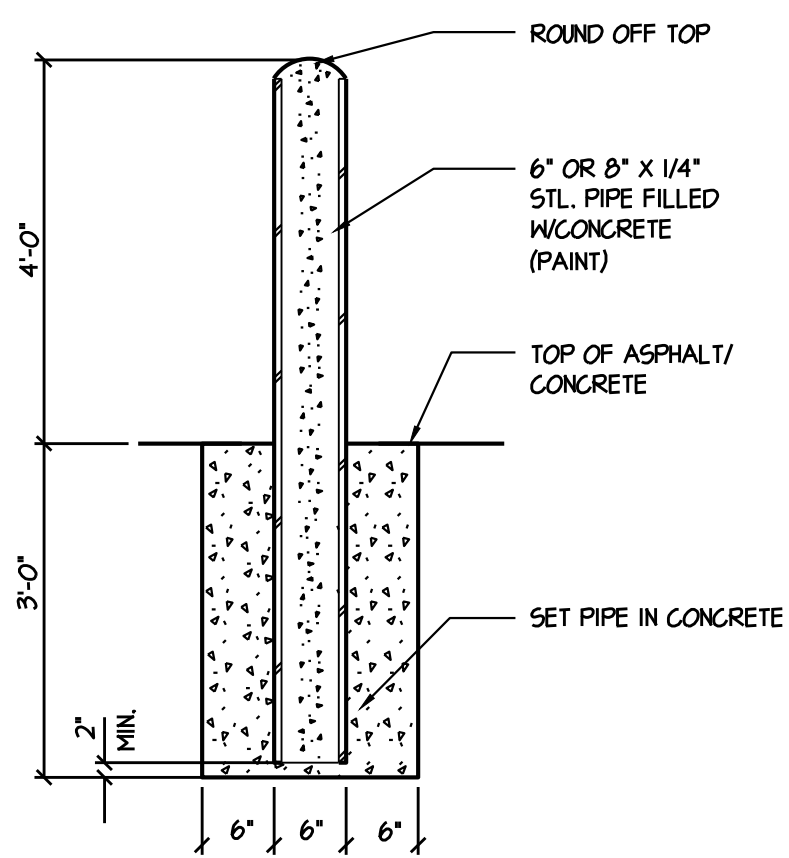
Charles Michelson AR0009976

Project No.:
2023-120
Drawn By:
YC
Checked By:
MA
Date:
08/07/2022

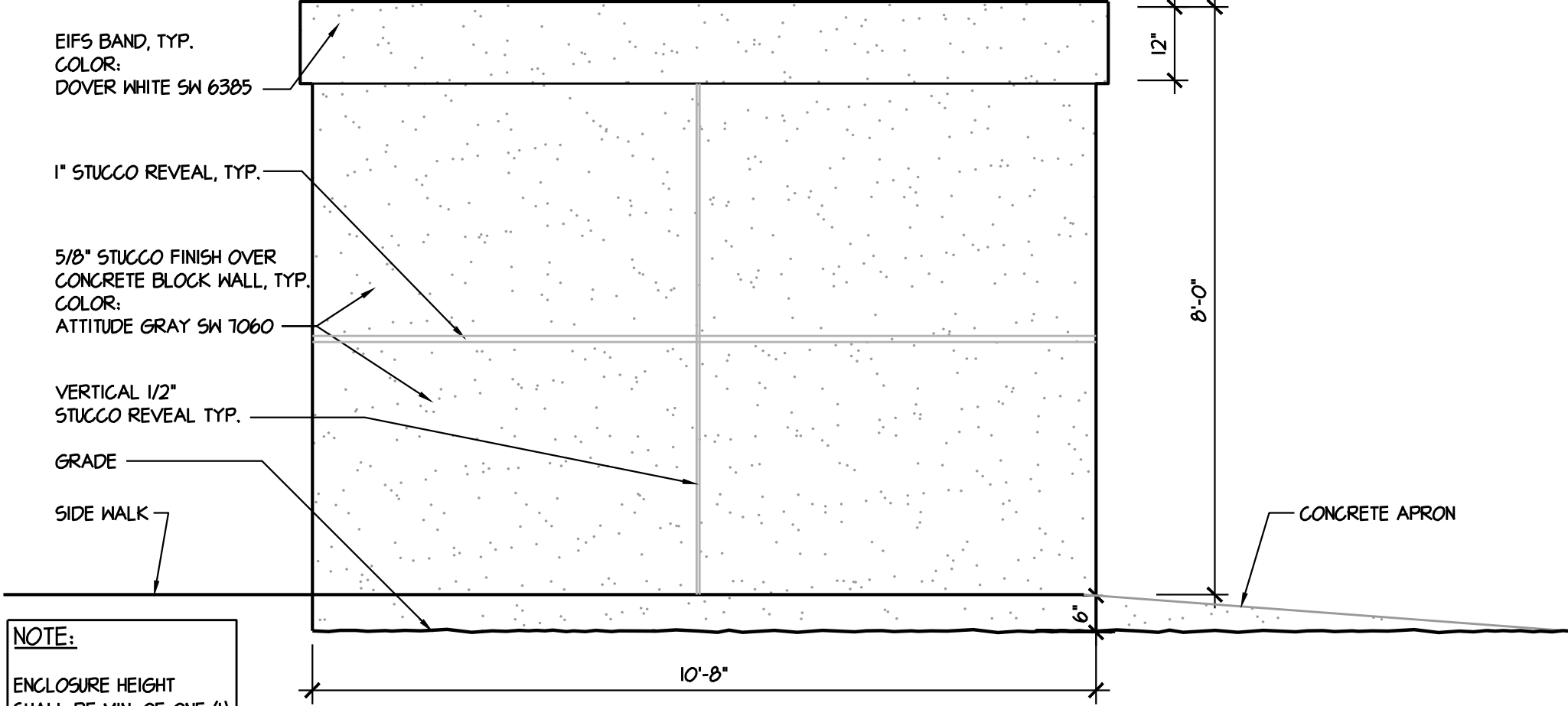
REVISIONS

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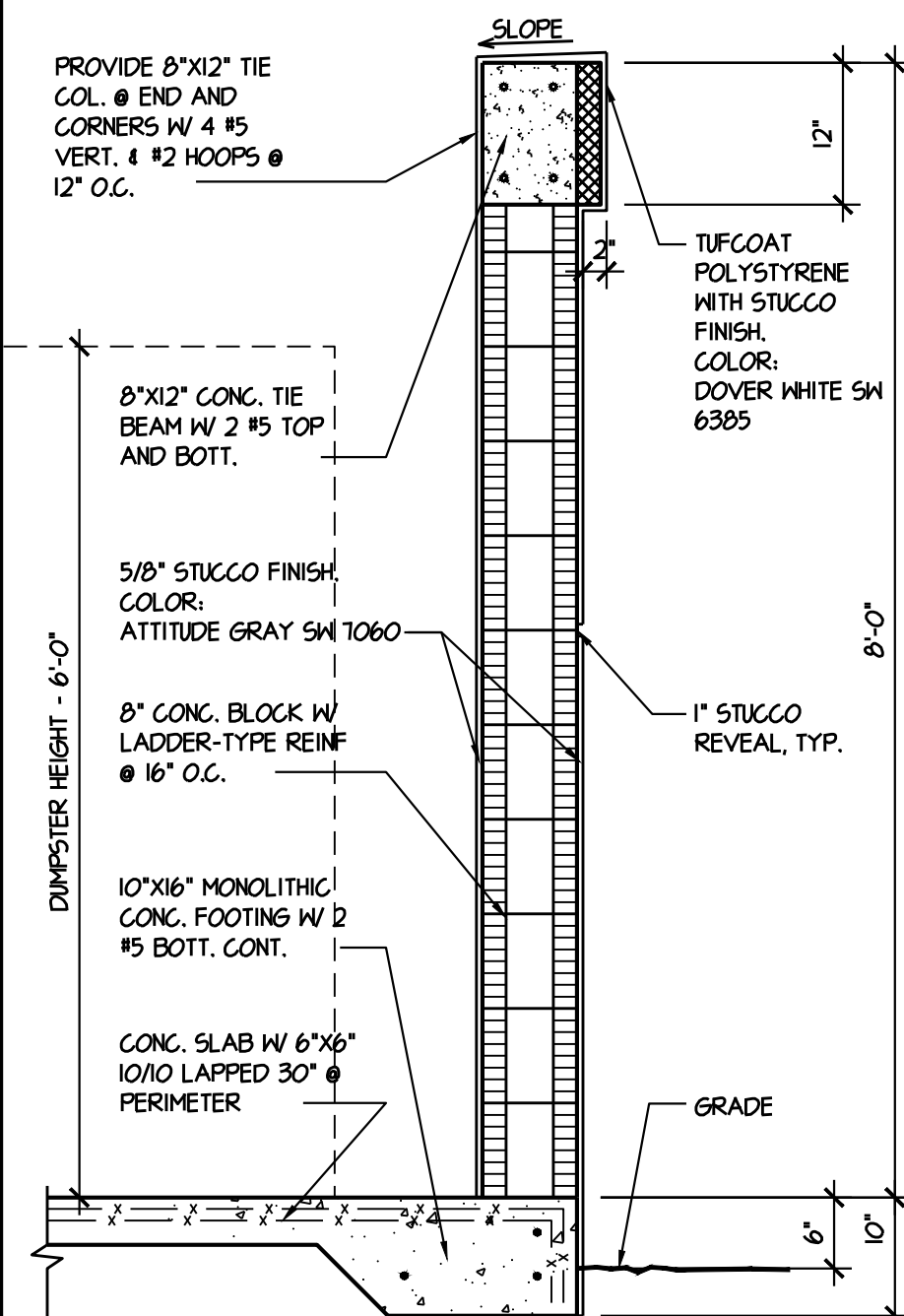
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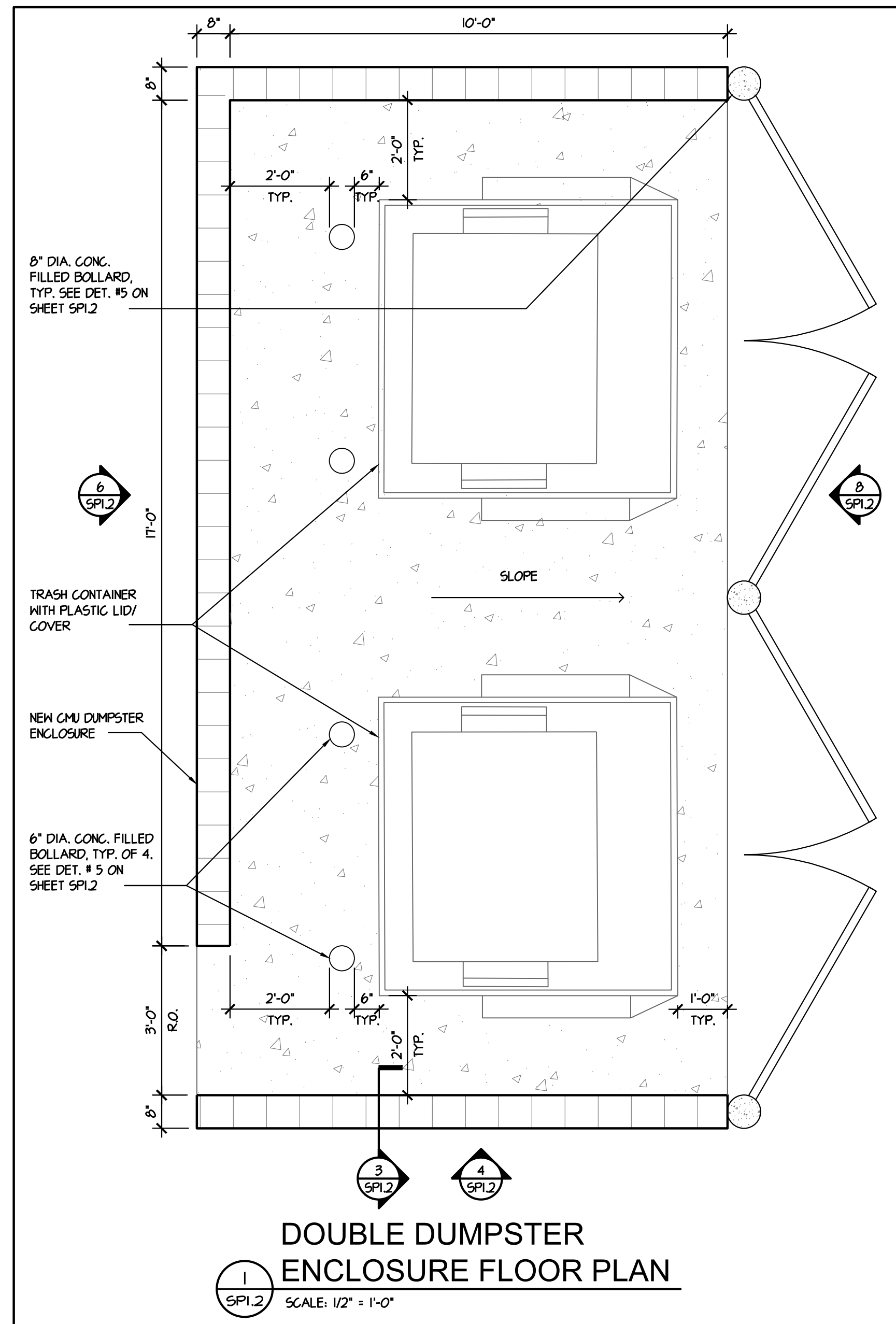
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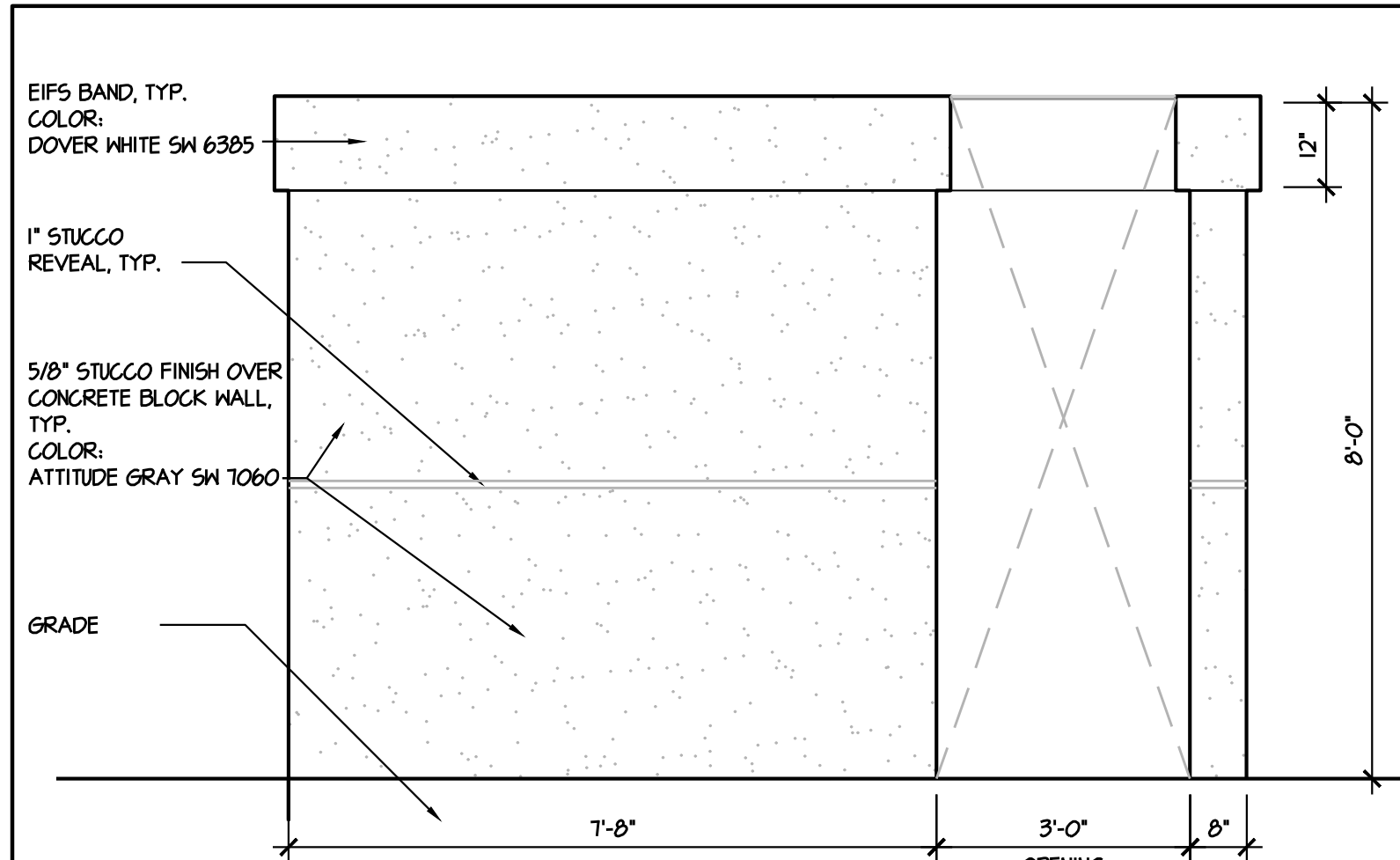
4 DUMPSTER ENCLOSURE ELEVATION
SPL.2 SCALE: 1/2" = 1'-0"



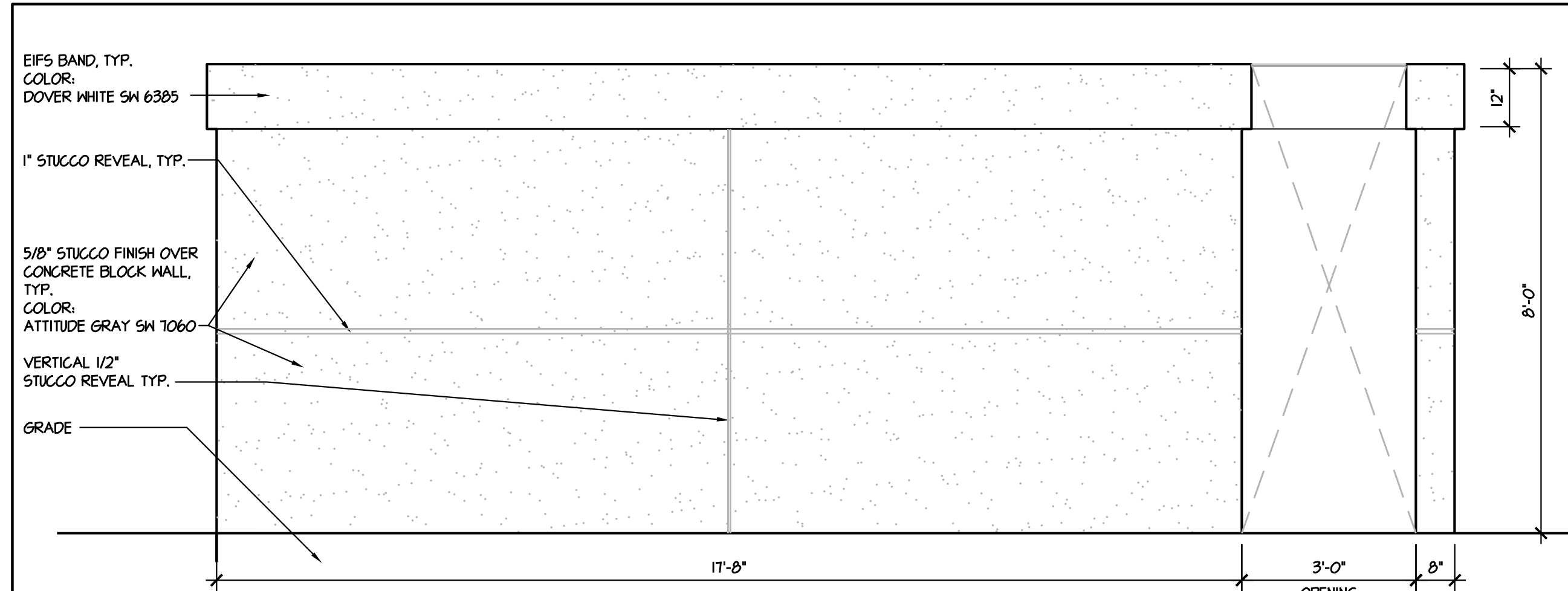
3 DUMPSTER WALL SECTION
SPL.2 SCALE: 3/4" = 1'-0"



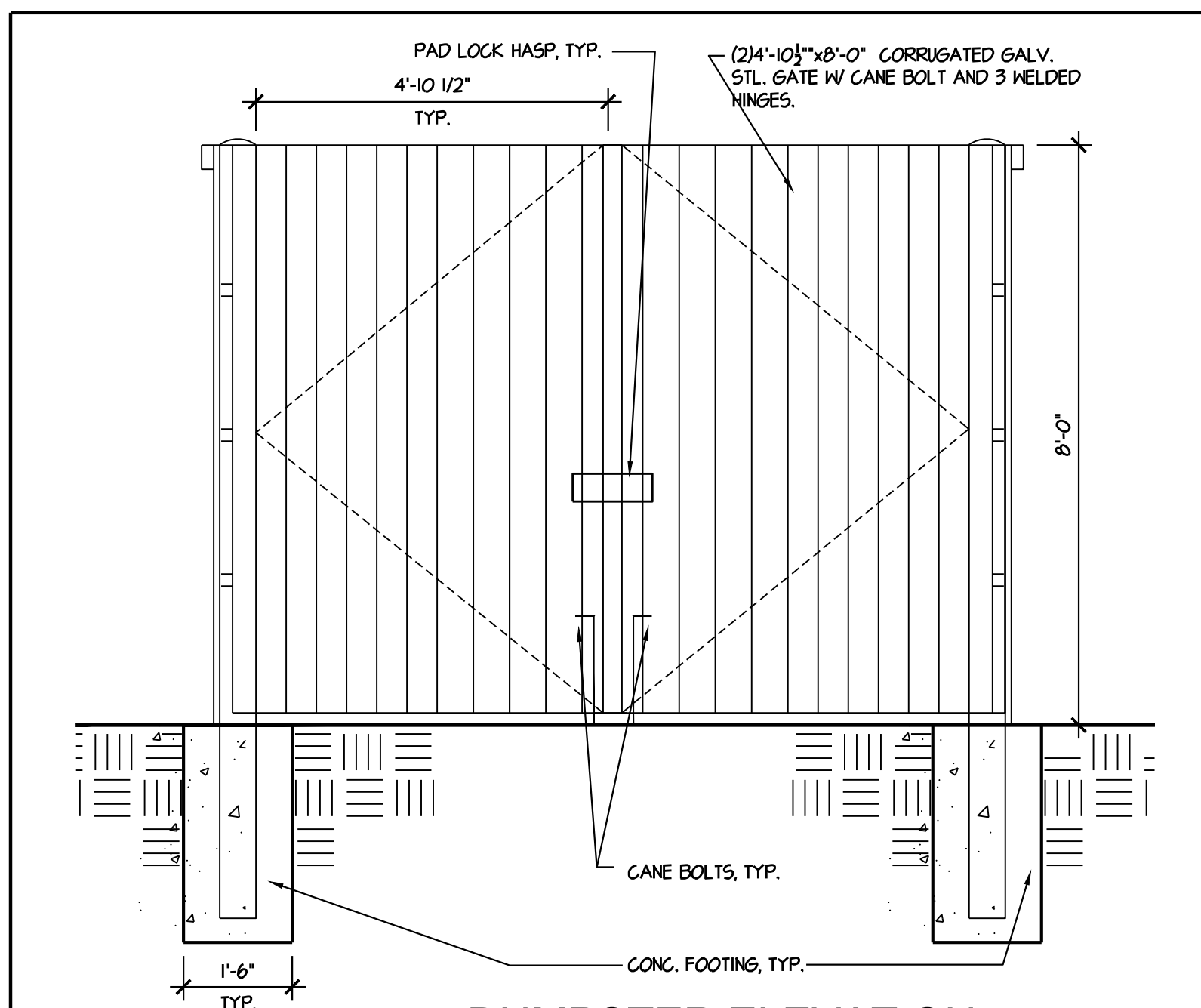
1 DOUBLE DUMPSTER ENCLOSURE FLOOR PLAN
SPL.2 SCALE: 1/2" = 1'-0"



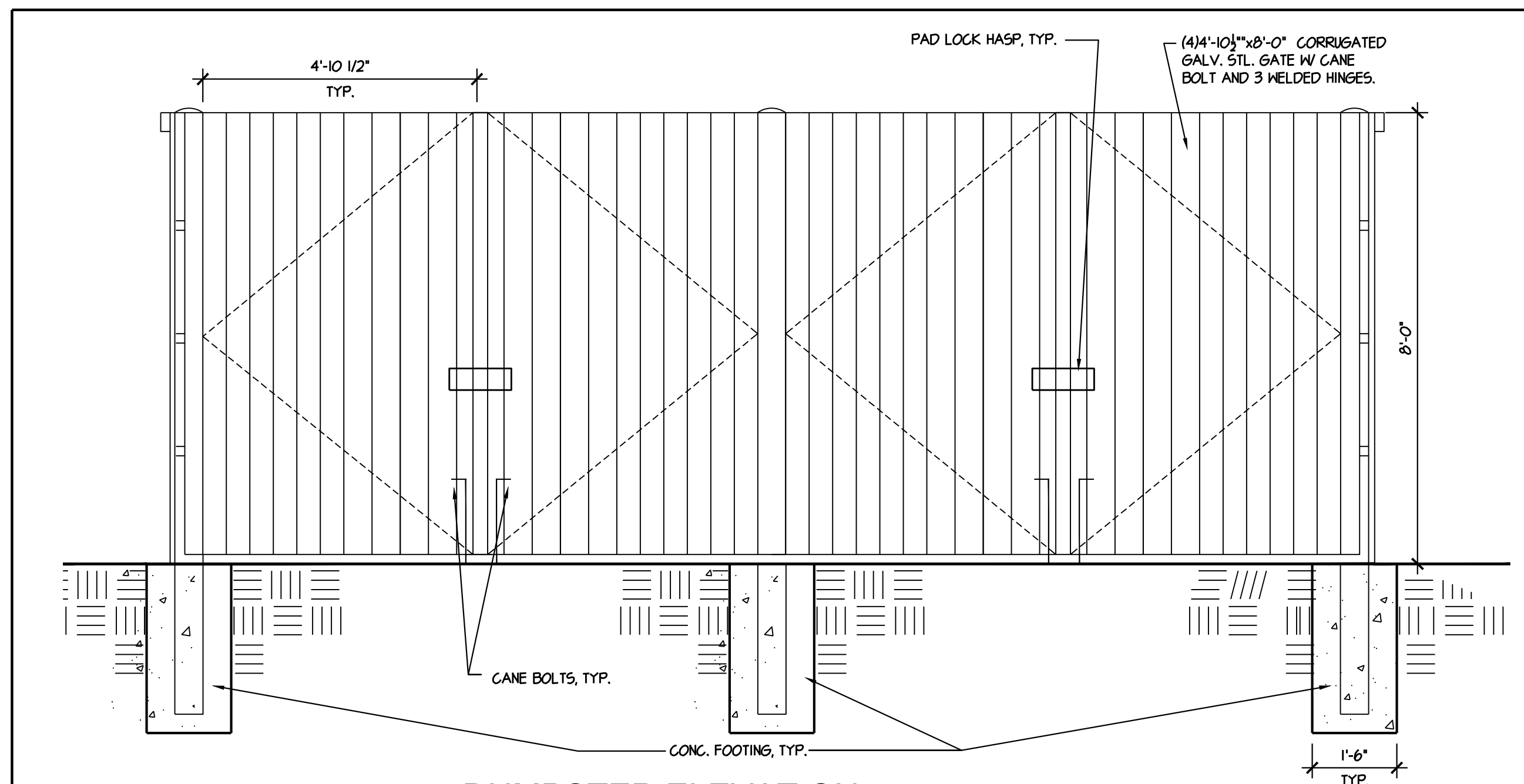
7 DUMPSTER ENCLOSURE ELEVATION
SPL.2 SCALE: 1/2" = 1'-0"



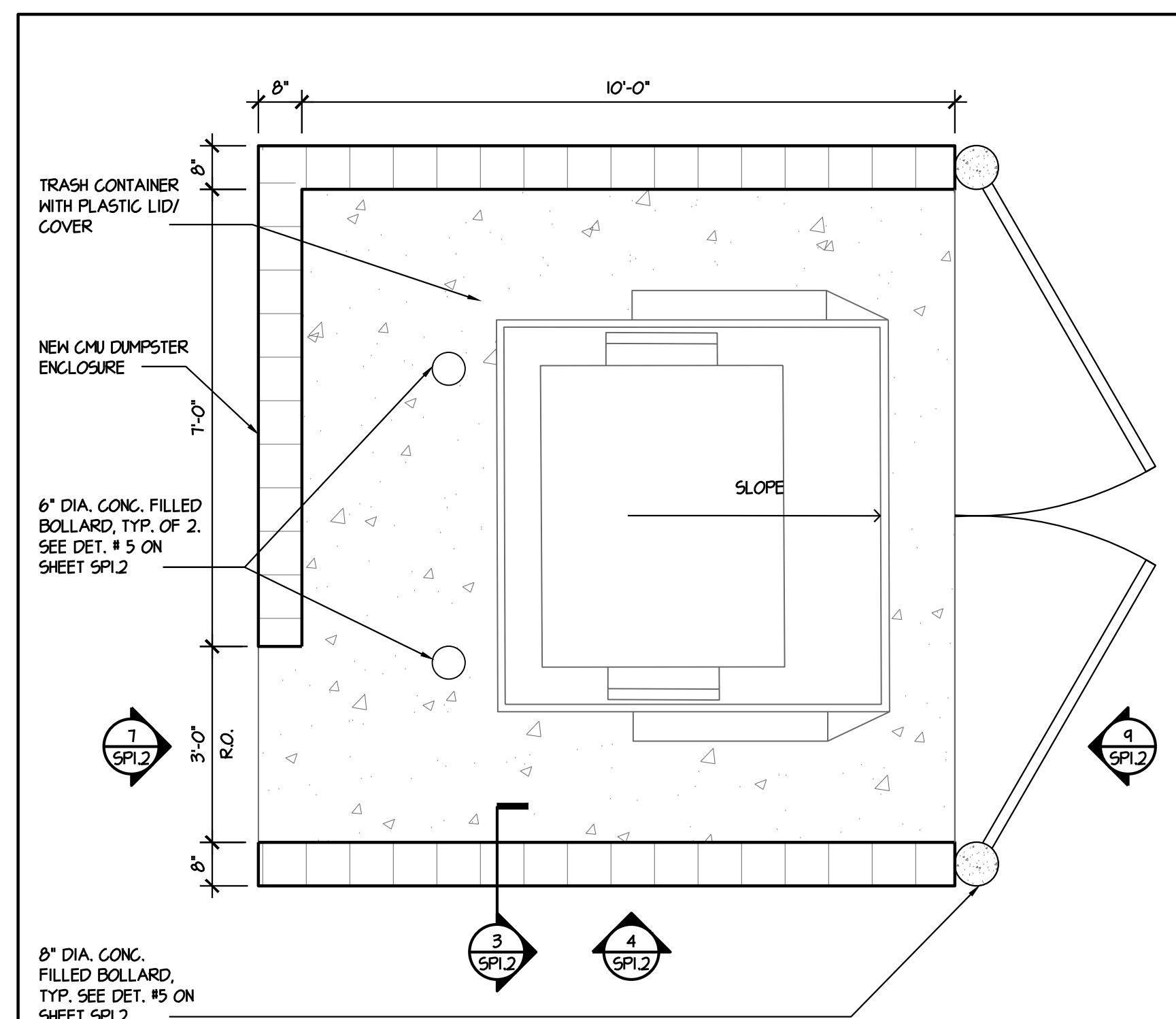
6 DUMPSTER ENCLOSURE ELEVATION
SPL.2 SCALE: 1/2" = 1'-0"



9 DUMPSTER ELEVATION
SPL.2 SCALE: 1/2" = 1'-0"



8 DUMPSTER ELEVATION
SPL.2 SCALE: 1/2" = 1'-0"



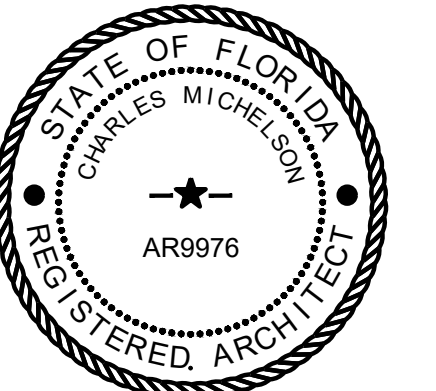
2 SINGLE DUMPSTER ENCLOSURE FLOOR PLAN
SPL.2 SCALE: 1/2" = 1'-0"

**MASTER SITE PLAN SUBMITTAL FOR
GATEWAY PLAZA**

FORT PIERCE, FL.

SALTZ MICHELSON ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897



Charles Michelson AR0009976

Project No.: 2023-120
Drawn By: YC
Checked By: MA
Date: 08/07/2022
REVISIONS

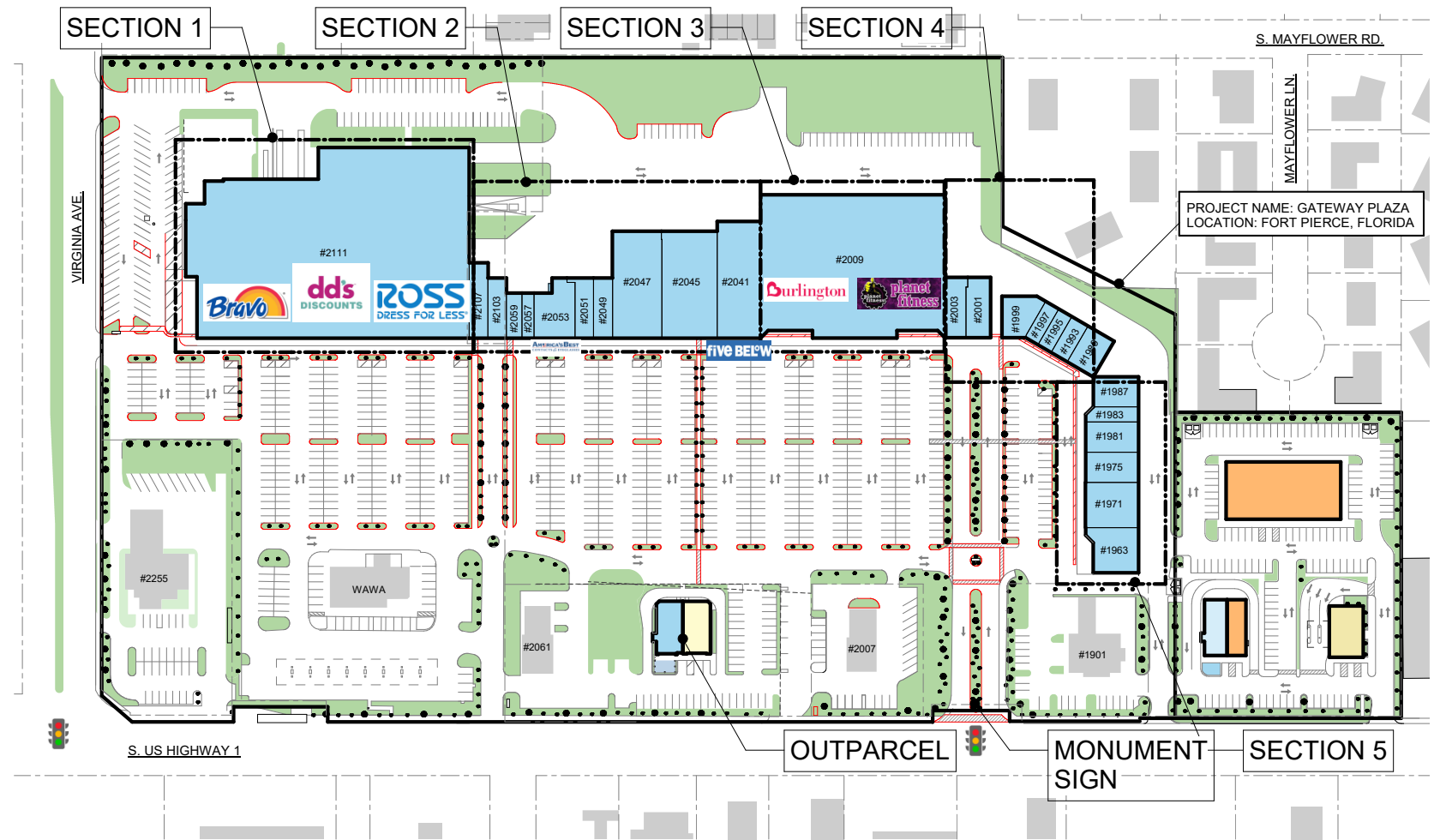
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SPL.2

GATEWAY PLAZA SHOPPING CENTER

FORT PIERCE, FLORIDA

- A1: OVERALL EXTERIOR PERSPECTIVE
- A2: OVERALL EXTERIOR PERSPECTIVE
- A3-A6: SECTION 1
- A7-A10: SECTION 2
- A11-A13: SECTION 3
- A14-A17: SECTION 4
- A18-A21: SECTION 5
- A22: MONUMENT SIGN
- A23: OUTPARCEL



#6685

05/26/2023

















































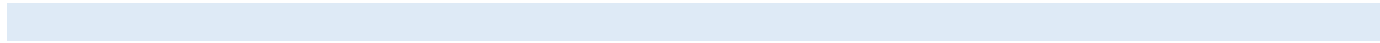
DESIGN REVIEW

Property Information

Property address or Location _____

Parcel ID #(s) _____

Project description _____



Gateway Plaza Ft. Pierce Associates III LLC

Property Owner(s)

Applicant/Representative, Title, Company

Street Address

Street Address

City State Zip

City State Zip

Phone Number

Phone Number

Email Address

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

Design Review Application Checklist **(City Code of Ordinances 125-314)**

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 123-66, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment, and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals, and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features, and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 125-313 is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 125-313.
- c. A final site lighting plan that meets the requirements of subsection 125-313(d)(8).
- d. A final landscape plan that meets the requirements of articles II and III of chapter 123.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



DEVELOPMENT REVIEW

Property Information

Property address or Location _____

Parcel ID #(s) 2415-313-0005-010-9

Project description _____

Application Type

Site Plan Conditional Use w/New Construction Conceptual Development Plan

Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: _____ Site Acreage: _____

Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Property Owner(s)

Applicant/Representative, Title, Company

Street Address

Street Address

City State Zip

City State Zip

646 599 6140

Phone Number

Phone Number

ddebeendetto@timeequities.com

Email Address

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS

CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM

For more information, please refer to the website:

<https://www.cityoffortpiece.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



Gateway Plaza of Ft. Pierce
2009 S US HWY 1, Ft. Pierce
Minor Site Plan Amendment – Justification Statement
8/9/2023

Project History

Gateway Plaza currently consists of a shopping center, and 2 outparcel buildings. This site includes the newly constructed Wawa, totaling 14.2 acres. It was originally built in 1969 and expanded twice, once in 1982, and again in 1983 to reach its current capacity. The site has been anchored by Sears and later by Kmart, until eventually almost all tenants departed the property leaving it vacant and dilapidated for almost 20 years. The property is located on the corner of Virginia Ave, and US 1 in Ft. Pierce and is a highly visible point of entry into the city downtown area.

Proposed Improvements

We are proposing improvements for the entire site, along with new construction on 2 outparcels with keynote tenants in place, in addition to the old “boatyard site” immediately to the north of the existing plaza. We are giving the entire site a new and modern façade, improving and integrating drainage, landscape, parking and resurfacing the entire center. We are also adding to our existing site plan the northern parcel located at 1809 US1. Since the shopping center is advanced in age, most of the rooves will be replaced and all of the bays will be repaired so that they may be brought up to the required standards.

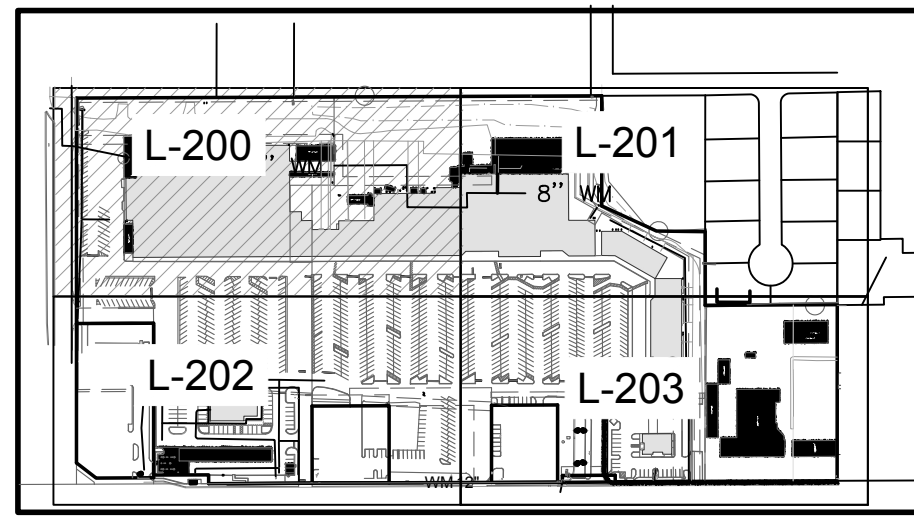
Basis For Request

This project has been deemed an Economic Development Initiative for its proposed value to the City of Ft. Pierce. The site is a massive shopping mall on a busy intersection and has fallen into disuse and abandonment. The proposed improvements to the shopping center will bring high value tenants to an area that is in drastic need of an uplift. Since the proposed changes to the square footage of the site are minimal, this allows us to quickly improve the site and bring value to the city expeditiously through an administrative process. We are proposing investing a great amount of capital in this project and we are excited to play a positive role in helping the city exceed its goals with this site.

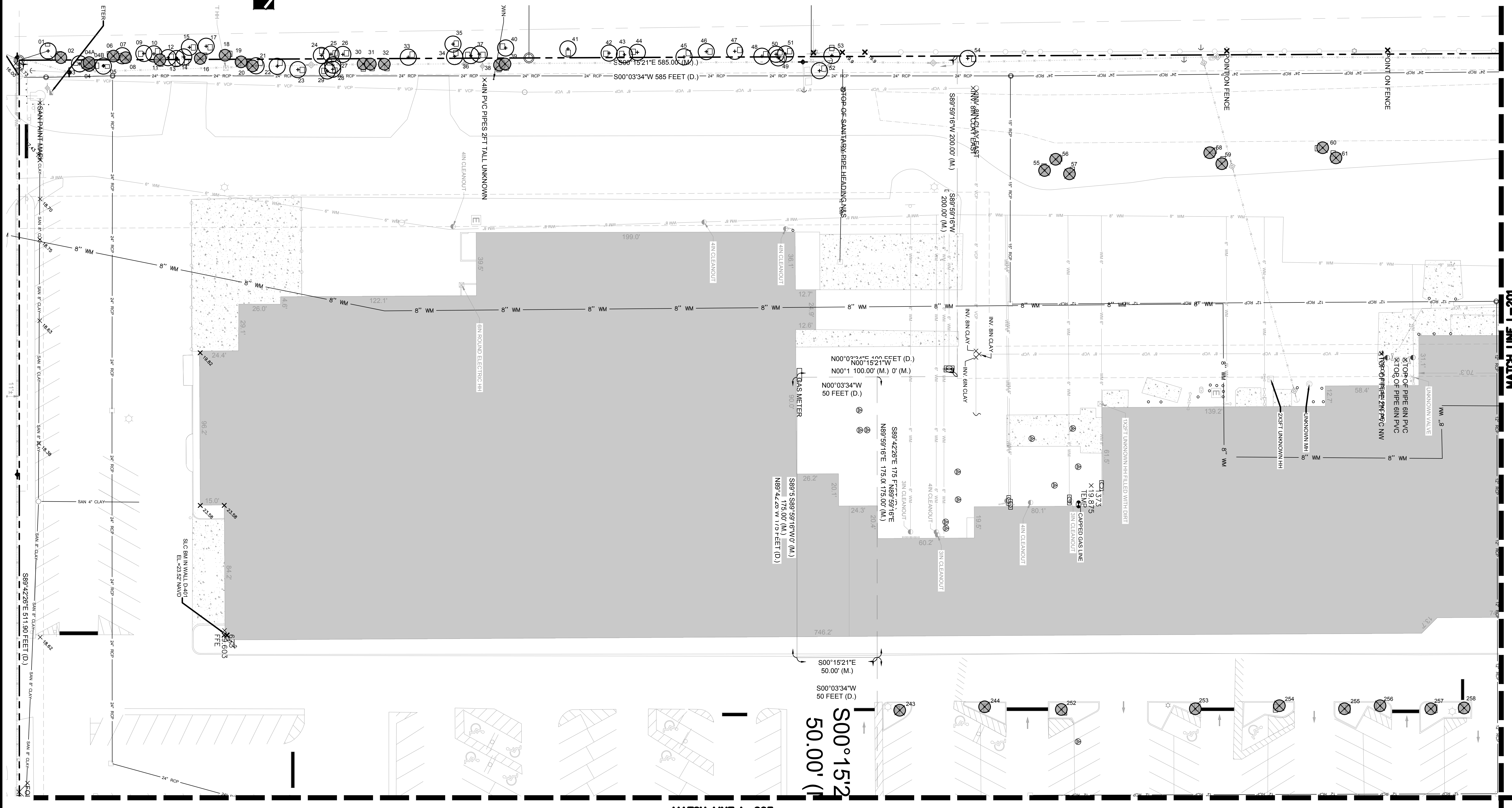
Developing Relationships Today ~ Building Tomorrow.

www.MPLDConsulting.com

MPLD North Office | 415 Avenue A, Suite 306 | Fort Pierce, FL 34950 | O: 772-343-0336
MPLD South Office | 528 Northwood Road | West Palm Beach, FL 33407 | O: 561-425-6753



KEY MAP



MATCH LINE L-203

MATCH LINE L-201

SITE PLAN
GATEWAY PLAZA
 TIME EQUITIES, INC.
 CITY OF FORT PIERCE, FLORIDA

Sheet Description
 TREE
 DISPOSITION
 PLAN

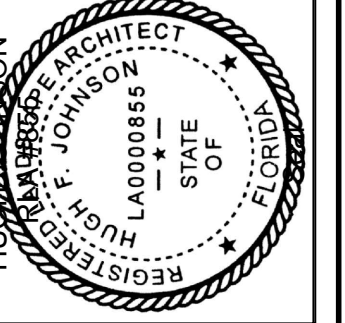
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Project Number
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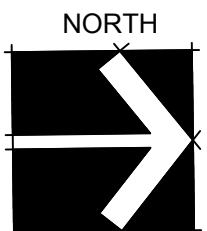
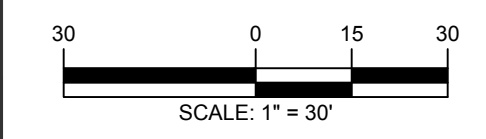
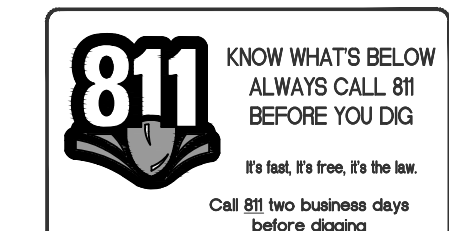
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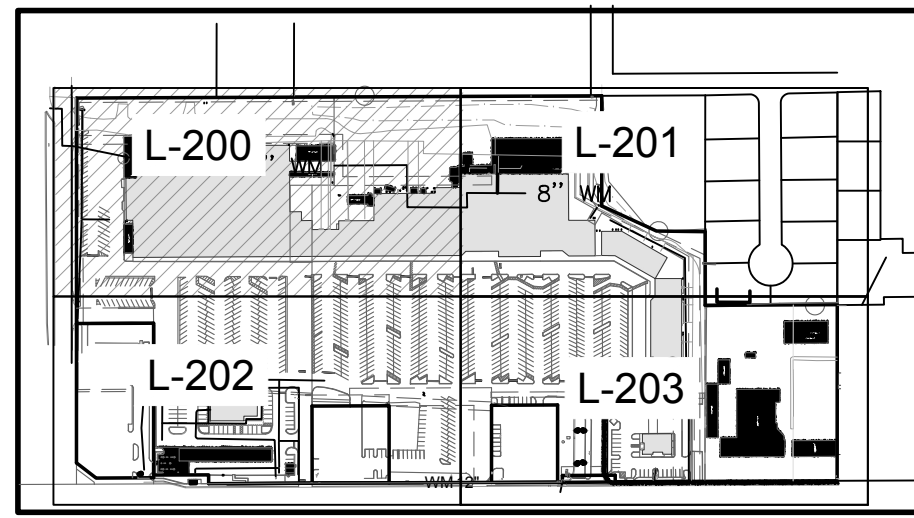
L-200
 SHEET 1 OF 6

Revision Dates

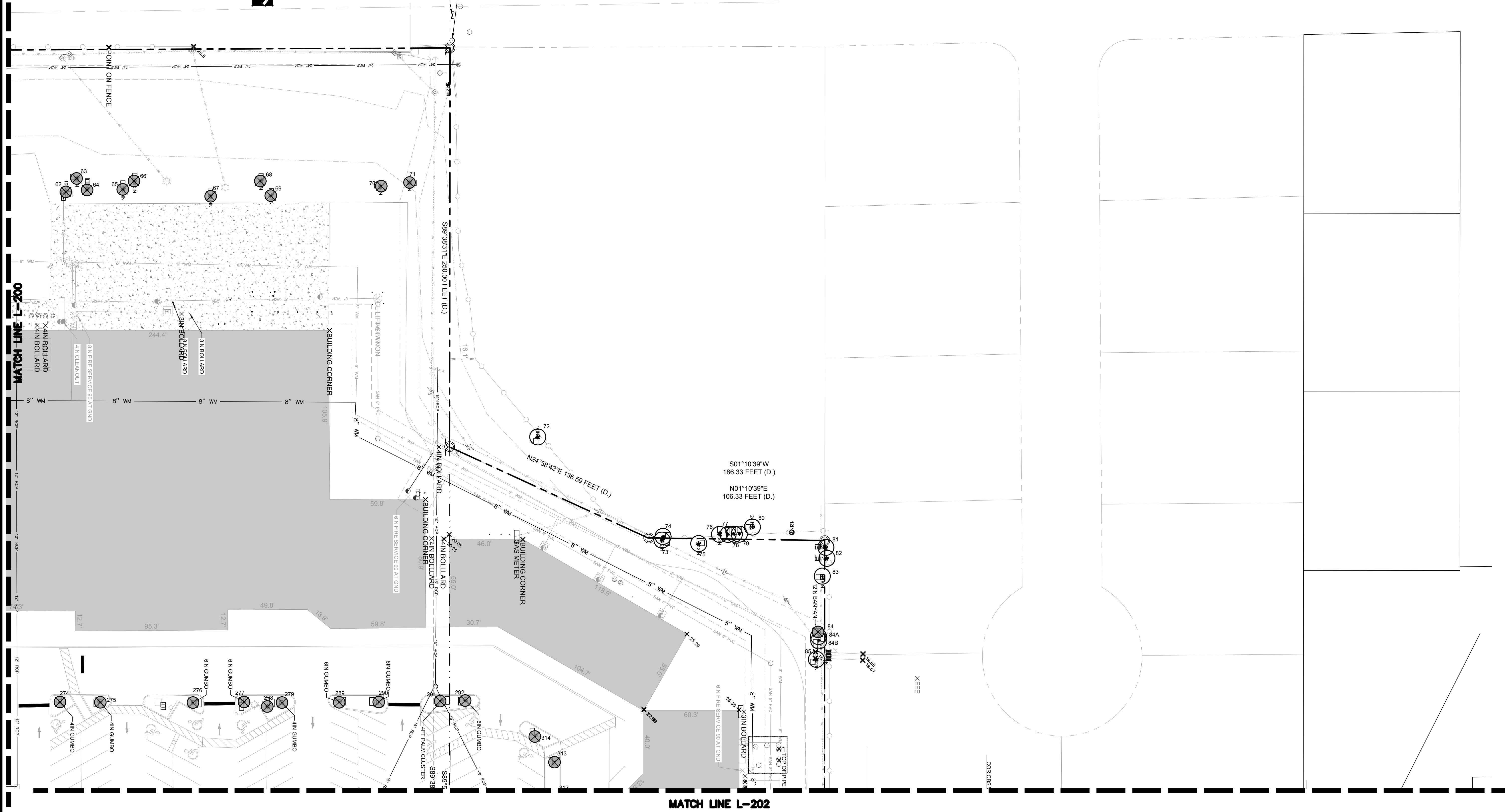


AAL
 Architectural Alliance Landscape
 612 SW 4th Ave., Fort Lauderdale, FL 33315 LCC000337
 EMAIL: HJohnson@archall.net
 TEL: 954-764-8858



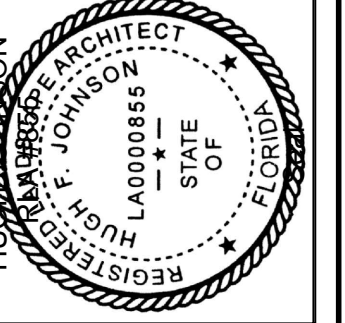


KEY MAP



MATCH LINE L-202

AAL
 Architectural Alliance Landscape
 612 SW 4th Ave., Fort Lauderdale, FL 33315 LCC00037
 TEL: 954-764-8858 EMAIL: HJohnson@archall.net



Revision Dates

SITE PLAN
GATEWAY PLAZA
 TIME EQUITIES, INC.
 CITY OF FORT PIERCE, FLORIDA

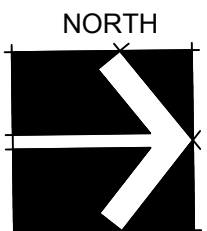
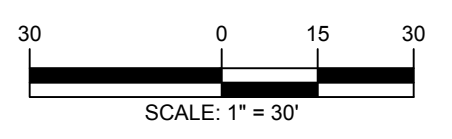
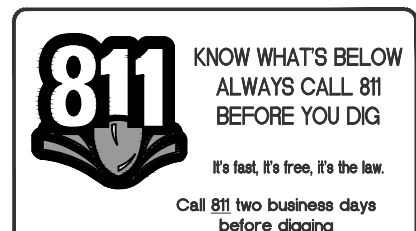
Sheet Description
 TREE
 DISPOSITION
 PLAN

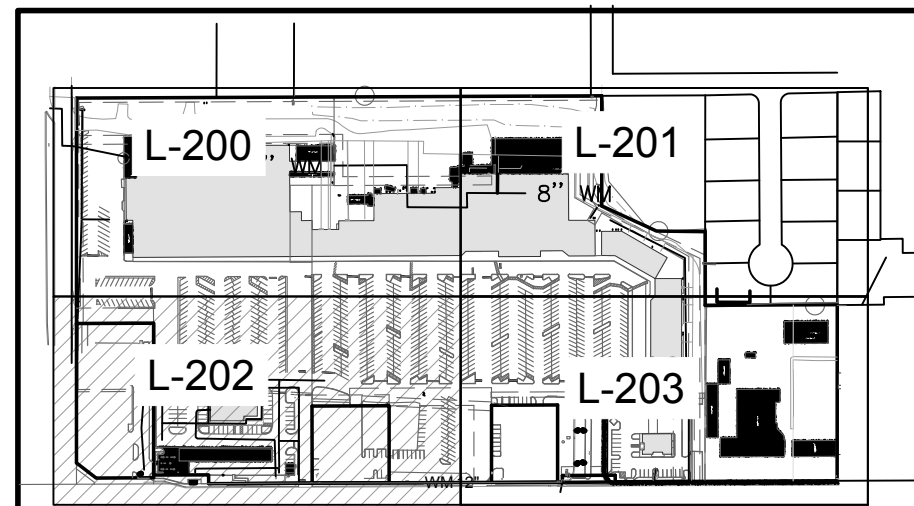
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Project Number
 2309

Drawing Number

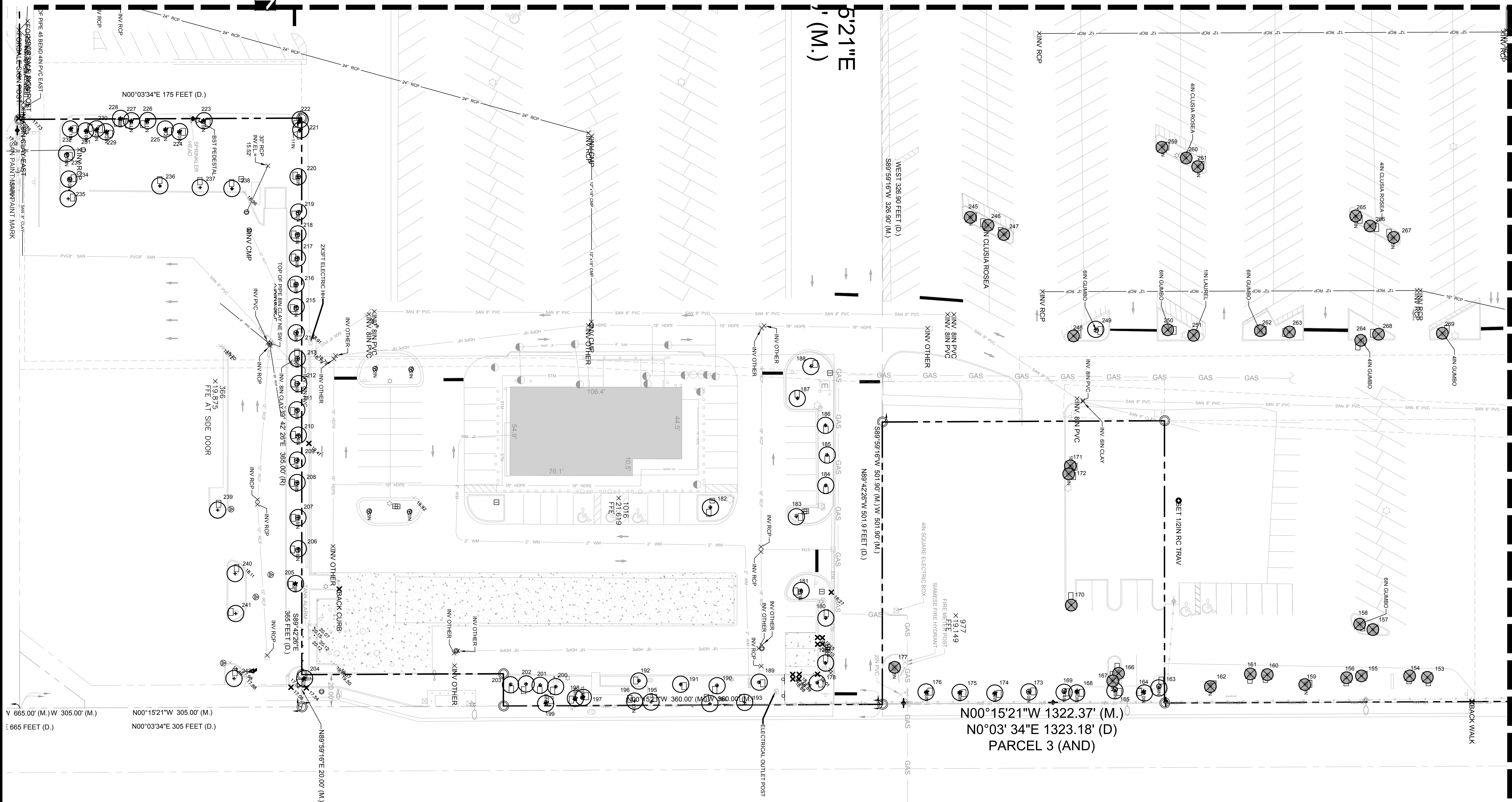
L-201
 SHEET 2 OF 6





KEY MAP

MATCH LINE L-200



MATCH LINE L-203

SITE PLAN

GATEWAY PLAZA
TIME EQUITIES, INC.
CITY OF FORT PIERCE, FLORIDA

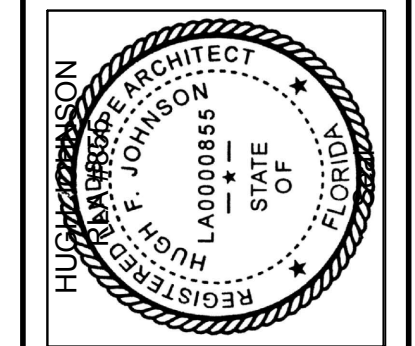
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TREE
DISPOSITION
PLAN

Release Date
04-10-2023

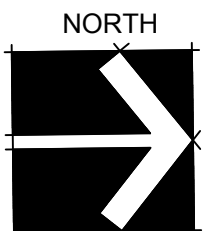
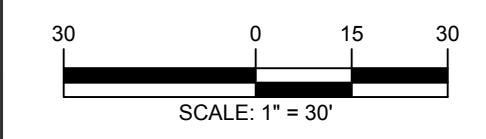
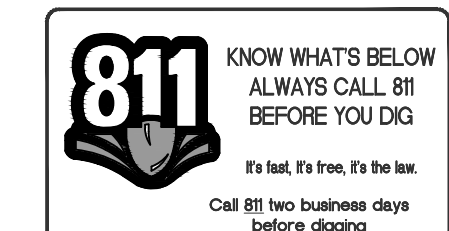
Project Number
2309

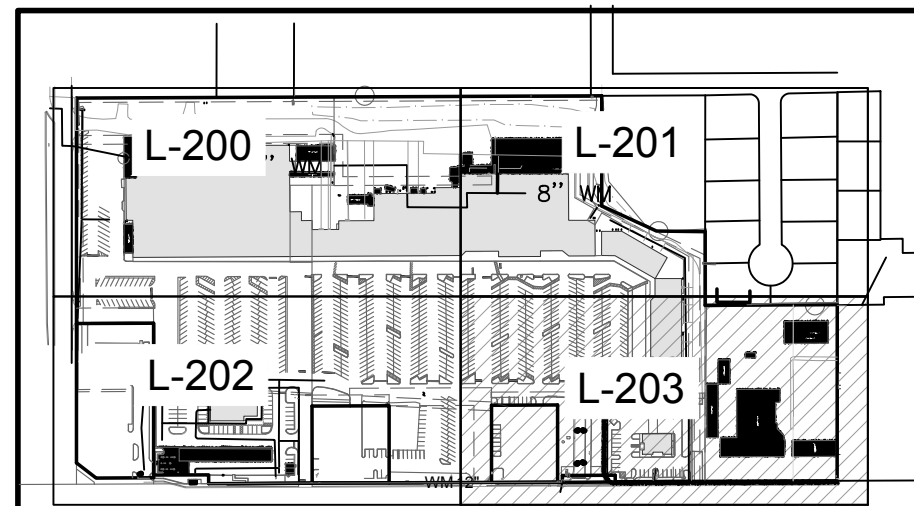
Drawing Number

L-202
SHEET 3 OF 6



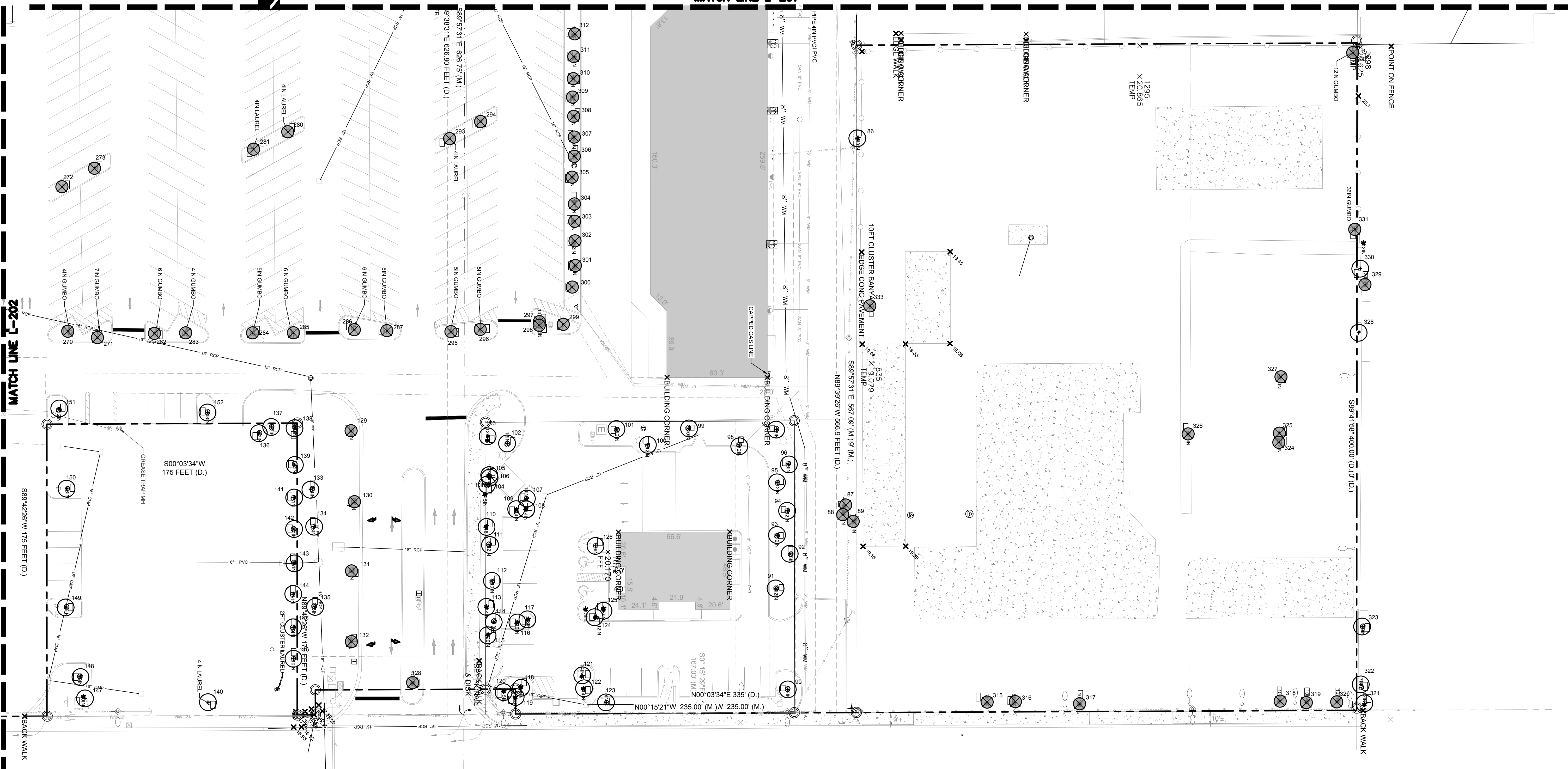
Revision Dates



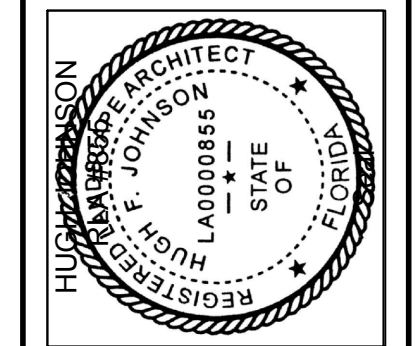


KEY MAP

MATCH LINE L-201



AAAL
Architectural Alliance Landscape
612 SW 4th Ave., Fort Lauderdale, FL 33315 LCC000377
TEL: 954-764-8858 EMAIL: HJohnson@archall.net

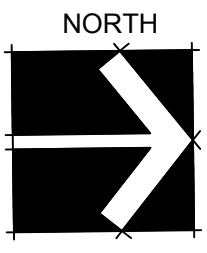
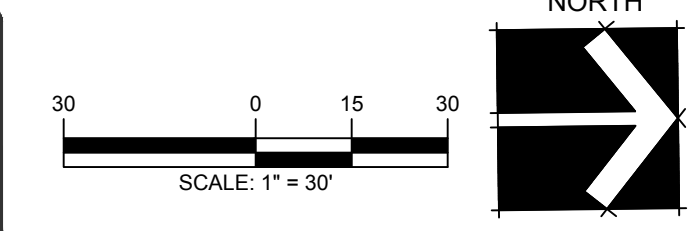
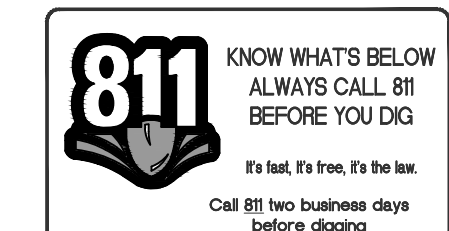


| Revision | Revision Dates |
|----------|----------------|
| | |

SITE PLAN
GATEWAY PLAZA
TIME EQUITIES, INC.
CITY OF FORT PIERCE, FLORIDA

| | |
|-------------------|-----------------------|
| Sheet Description | TREE DISPOSITION PLAN |
| Release Date | 04-10-2023 |
| Project Number | 2309 |
| Drawing Number | L-203 |

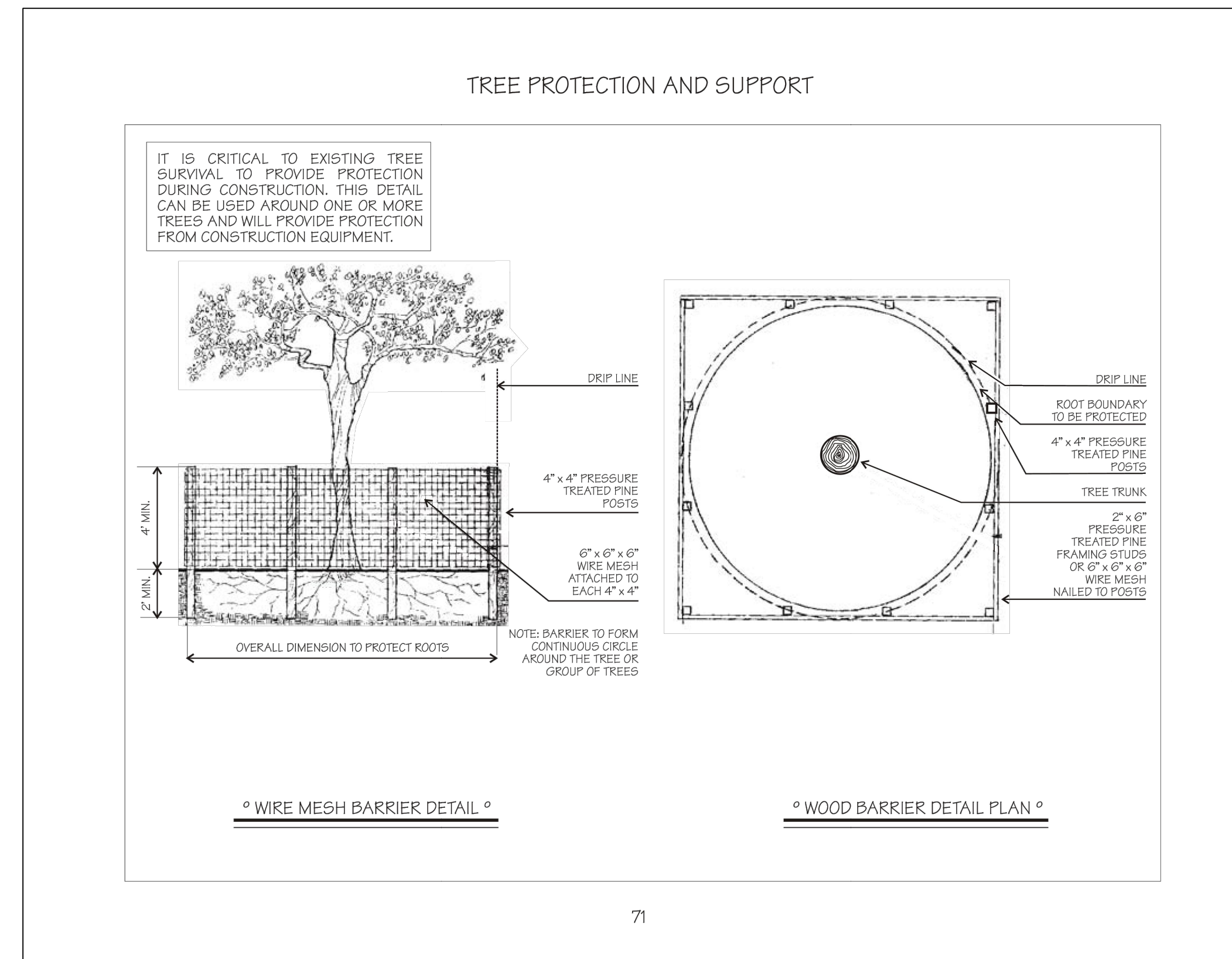
SHEET 4 OF 6



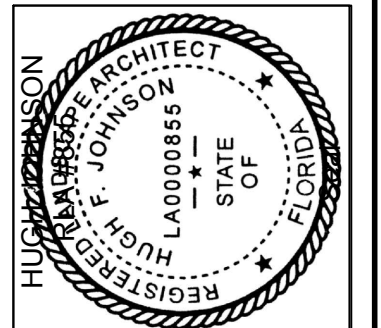
| KEY | COMMON NAME | BOTANICAL NAME | DIAMETER (INCHES) | HEIGHT (FT) | SPREAD (FT) | CANOPY (S.F.) | CLEAR TRUNK (FT) | CONDITION (%) | DISPOSITION | COMMENT | MITIGATION |
|-----|------------------|----------------------------------|-------------------|-------------|-------------|---------------|------------------|---------------|-------------|----------|------------|
| 1 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 23 | 10 | 78.5 | 15 | Good | Remain | | |
| 2 | Carrotwood | <i>Cupaniopsis anacardioides</i> | 7 | 25 | 18 | 254.3 | | Fair | Remove | | |
| 3 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 15 | 13 | 132.7 | 6 | Good | Remain | | |
| 4 | Carrotwood | <i>Cupaniopsis anacardioides</i> | 6 | 20 | 10 | 78.5 | | Fair | Remove | | |
| 4A | Carrotwood | <i>Cupaniopsis anacardioides</i> | 3 | 20 | 8 | 50.2 | | Fair | Remove | | |
| 4B | Carrotwood | <i>Cupaniopsis anacardioides</i> | 3 | 20 | 10 | 78.5 | | Fair | Remove | | |
| 5 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 15 | 12 | 113.0 | 4 | Fair | Remain | | |
| 6 | Carrotwood | <i>Cupaniopsis anacardioides</i> | 7 | 26 | 15 | 176.6 | 20 | Fair | Remove | | |
| 7 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 20 | 10 | 78.5 | 20 | Fair | Remain | | |
| 8 | Carrotwood | <i>Cupaniopsis anacardioides</i> | 4 | 16 | 10 | 78.5 | | Poor | Remove | | |
| 9 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 26 | 10 | 78.5 | 20 | Fair | Remain | | |
| 10 | Sabal Palm | <i>Sabal palmetto</i> | 11 | 26 | 10 | 78.5 | 20 | Fair | Remain | | |
| 11 | Carrotwood | <i>Cupaniopsis anacardioides</i> | 6 | 18 | 14 | 153.9 | | Fair | Remove | | |
| 12 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 24 | 10 | 78.5 | 18 | Fair | Remain | | |
| 13 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 24 | 0 | 0.0 | 18 | Fair | Remain | | |
| 14 | Live Oak | <i>Quercus virginiana</i> | 9 | 30 | 26 | 530.7 | | Fair | Remain | | |
| 15 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 26 | 10 | 78.5 | 20 | Fair | Remain | | |
| 16 | Wax Myrtle | <i>Myrica cerifera</i> | 4 | 18 | 10 | 78.5 | | Poor | Remove | | |
| 17 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 26 | 10 | 78.5 | 20 | Fair | Remain | | |
| 18 | Brazilian Pepper | <i>Schinus terebinthifolia</i> | 4 | 20 | 15 | 176.6 | | Poor | Remove | Invasive | |
| 19 | Melaleuca | <i>Melaleuca</i> | 7 | 10 | 2 | 3.1 | | Poor | Remove | Invasive | |
| 20 | Melaleuca | <i>Melaleuca</i> | 14 | 25 | 12 | 113.0 | | Poor | Remove | Invasive | |
| 21 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 16 | 13 | 132.7 | 10 | Good | Remain | | |
| 22 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 18 | 12 | 113.0 | 12 | Fair | Remain | | |
| 23 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 16 | 13 | 132.7 | 10 | Good | Remain | | |
| 24 | Sabal Palm | <i>Sabal palmetto</i> | 11 | 26 | 12 | 113.0 | 20 | Fair | Remain | | |
| 25 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 24 | 13 | 132.7 | 17 | Fair | Remain | | |
| 26 | Sabal Palm | <i>Sabal palmetto</i> | | | | 0.0 | | XR | Remain | | |
| 27 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 15 | 14 | 153.9 | 9 | Fair | Remain | | |
| 28 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 15 | 14 | 153.9 | 9 | Fair | Remain | | |
| 29 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 15 | 14 | 153.9 | 9 | Fair | Remain | | |
| 30 | Melaleuca | <i>Melaleuca</i> | 6 | 20 | 10 | 78.5 | | Poor | Remove | Invasive | |
| 31 | Carrotwood | <i>Cupaniopsis anacardioides</i> | 19 | 24 | 15 | 176.6 | | Poor | Remove | | N/A |
| 32 | Melaleuca | <i>Melaleuca</i> | 6 | 15 | 5 | 19.6 | | Poor | Remove | | N/A |
| 33 | Sabal Palm | <i>Sabal palmetto</i> | 11 | 18 | 12 | 113.0 | 12 | Fair | Remain | | |
| 34 | Sabal Palm | <i>Sabal palmetto</i> | 9 | 30 | 10 | 78.5 | 24 | Poor | Remain | | |
| 35 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 12 | 13 | 132.7 | 6 | Fair | Remain | | |
| 36 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 21 | 12 | 113.0 | 15 | Fair | Remain | | |
| 37 | Sabal Palm | <i>Sabal palmetto</i> | 6 | 26 | 10 | 78.5 | 20 | Poor | Remain | | |
| 38 | Melaleuca | <i>Melaleuca</i> | 10 | 20 | 10 | 78.5 | | Poor | Remain | | |
| 39 | Melaleuca | <i>Melaleuca</i> | 12 | 18 | 10 | 78.5 | | Poor | Remain | | |
| 40 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 16 | 13 | 132.7 | 10 | Fair | Remain | | |
| 41 | Sabal Palm | <i>Sabal palmetto</i> | 9 | 24 | 12 | 113.0 | 18 | Fair | Remain | | |
| 42 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 30 | 10 | 78.5 | 24 | Fair | Remain | | |
| 43 | Sabal Palm | <i>Sabal palmetto</i> | | | | 0.0 | | Dead | Remain | | |
| 44 | Sabal Palm | <i>Sabal palmetto</i> | | | | 0.0 | | Dead | Remain | | |
| 45 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 24 | 8 | 50.2 | 20 | Poor | Remain | | |
| 46 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 21 | 10 | 78.5 | 15 | Fair | Remain | | |
| 47 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 31 | 12 | 113.0 | 25 | Fair | Remain | | |
| 48 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 30 | 10 | 78.5 | 24 | Poor | Remain | | |
| 49 | Live Oak | <i>Quercus virginiana</i> | 5 | 26 | 15 | 176.6 | | Poor | Remain | | |
| 50 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 14 | 15 | 176.6 | 7 | Fair | Remain | | |
| 51 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 26 | 13 | 132.7 | 20 | Fair | Remain | | |
| 52 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 21 | 13 | 15.0 | 15 | Fair | Remain | | |
| 53 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 16 | 12 | 113.0 | 10 | Fair | Remain | | |
| 54 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 16 | 13 | 132.7 | 10 | Good | Remain | | |
| 55 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 18 | 10 | 78.5 | 13 | Fair | Remove | | YES |
| 56 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 18 | 10 | 78.5 | 13 | Fair | Remove | | YES |
| 57 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 21 | 10 | 78.5 | 15 | Fair | Remove | | YES |
| 58 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 21 | 13 | 132.7 | 15 | Poor | Remove | | YES |
| 59 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 16 | 10 | 78.5 | 10 | Fair | Remove | | YES |
| 60 | Sabal Palm | <i>Sabal palmetto</i> | | | | 0.0 | | Dead | Remove | N/A | |
| 61 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 21 | 10 | 78.5 | 15 | Poor | Remove | | YES |
| 62 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 21 | 12 | 113.0 | 15 | Fair | Remove | | YES |
| 63 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 21 | 12 | 113.0 | 15 | Fair | Remove | | YES |
| 64 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 21 | 12 | 113.0 | 15 | Fair | Remove | | YES |
| 65 | Sabal Palm | <i>Sabal palmetto</i> | | | | 0.0 | | Dead | Remove | | |
| 66 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 26 | 12 | 113.0 | 20 | Poor | Remove | | YES |
| 67 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 25 | 13 | 132.7 | 20 | Fair | Remove | | YES |
| 68 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 22 | 12 | 113.0 | 16 | Fair | Remove | | YES |
| 69 | Sabal Palm | <i>Sabal palmetto</i> | | | | 0.0 | | Dead | Remove | | |
| 70 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 21 | 12 | 113.0 | 15 | Fair | Remove | | YES |
| 71 | Sabal Palm | <i>Sabal palmetto</i> | | | | 0.0 | | Dead | Remove | | N/A |
| 72 | Sabal Palm | <i>Sabal palmetto</i> | 13 | 18 | 14 | 153.9 | 12 | Fair | Remain | | |
| 73 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 24 | 13 | 132.7 | 17 | Fair | Remain | | |
| 74 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 15 | 13 | 132.7 | 8 | Fair | Remain | | |
| 75 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 18 | 10 | 78.5 | 11 | Fair | Remain | | |
| 76 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 18 | 10 | 78.5 | 11 | Fair | Remain | | |
| 77 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 21 | 11 | 95.0 | 14 | Poor | Remain | | |
| 78 | Sabal Palm | <i>Sabal palmetto</i> | 13 | 11 | 11 | 95.0 | 7 | Poor | Remain | | |
| 79 | Laurel Oak | <i>Quercus laurifolia</i> | 24 | 40 | 42 | 1384.7 | | Fair | Remain | | |
| 80 | Laurel Oak | <i>Quercus laurifolia</i> | 18 | 40 | 28 | 615.4 | | Fair | Remain | | |
| 81 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 21 | 13 | 132.7 | 15 | Fair | Remain | | |
| 82 | Sabal Palm | <i>Sabal palmetto</i> | | | | 0.0 | | Dead | Remain | | |
| 83 | Laurel Oak | <i>Quercus laurifolia</i> | 20 | 40 | 46 | 1661.1 | | Poor | Remain | | |
| 84 | Carrotwood | <i>Cupaniopsis anacardioides</i> | 14 | 25 | 20 | 314.0 | | Poor | Remain | | |
| 84A | Sabal Palm | <i>Sabal palmetto</i> | 14 | 20 | 10 | 78.5 | 10 | Poor | Remain | | |
| 84B | Sabal Palm | <i>Sabal palmetto</i> | 14 | 20 | 10 | 78.5 | 10 | Poor | Remain | | |
| 85 | Sabal Palm | <i>Sabal palmetto</i> | 13 | 15 | 10 | 78.5 | 6 | Poor | Remain | | |
| 86 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 15 | 13 | 132.7 | 6 | Good | Remain | | |
| 87 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 15 | 13 | 132.7 | 8 | Fair | Remove | | N/A |
| 88 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 15 | 13 | 132.7 | 8 | Fair | Remove | | N/A |
| 89 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 15 | 13 | 132.7 | 8 | Fair | Remove | | N/A |
| 90 | Dahoon Holly | <i>Ilex cassine</i> | 6 | 20 | 12 | 113.0 | | Poor | Remain | | |

| KEY | COMMON NAME | BOTANICAL NAME | DIAMETER (INCHES) | HEIGHT (FT) | SPREAD (FT) | CANOPY (S.F.) | CLEAR TRUNK (FT) | CONDITION (%) | DISPOSITION | COMMENT | MITIGATION |
|------|--------------|---------------------------|-------------------|-------------|-------------|---------------|------------------|---------------|-------------|---------|------------|
| 91 | | <i>Quercus virginiana</i> | 11 | 25 | 26 | 530.7 | | Fair | Remain | | |
| 92 | Dahoon Holly | <i>Ilex cassine</i> | 5 | 18 | 8 | 50.2 | | Good | Remain | | |
| 93 | Live Oak | <i>Quercus virginiana</i> | 12 | 25 | 24 | 452.2 | | Fair | Remain | | |
| 94 | Live Oak | <i>Quercus virginiana</i> | 10 | 22 | 20 | 314.0 | | Fair | Remain | | |
| 95 | Live Oak | <i>Quercus virginiana</i> | 10 | 24 | 24 | 452.2 | | Fair | Remain | | |
| 96 | Dahoon Holly | <i>Ilex cassine</i> | 5 | 18 | 8 | 50.2 | | Fair | Remain | | |
| 97 | Live Oak | <i>Quercus virginiana</i> | 6 | 18 | 10 | 78.5 | | Poor | Remain | | |
| 98 | Live Oak | <i>Quercus virginiana</i> | 9 | 24 | 22 | 379.9 | | Fair | Remain | | |
| 99 | Live Oak | <i>Quercus virginiana</i> | 9 | 20 | 18 | 254.3 | | Fair | Remain | | |
| 100 | Live Oak | <i>Quercus virginiana</i> | 9 | 25 | 24 | 452.2 | | Fair | Remain | | |
| 101 | Live Oak | <i>Quercus virginiana</i> | 9 | 24 | 20 | 314.0 | | Fair | Remain | | |
| 102 | Live Oak | <i>Quercus virginiana</i> | 11 | 25 | 30 | 706.5 | | Fair | Remain | | |
| 103 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 16 | 12 | 113.0 | 10 | Good | Remain | | |
| 104 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 16 | 13 | 132.7 | 10 | Fair | Remain | | |
| 104A | Sabal Palm | <i>Sabal palmetto</i> | 14 | 16 | 13 | 132.7 | 10 | Fair | Remain | | |
| 105 | Dahoon Holly | <i>Ilex cassine</i> | 6 | 25 | 14 | 153.9 | | Poor | Remain | | |
| 106 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 22 | 10 | 78.5 | 15 | Fair | Remain | | |
| 107 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 21 | 12 | 113.0 | 15 | Good | Remain | | |
| 108 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 21 | 12 | 113.0 | 15 | Good | Remain | | |
| 109 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 21 | 12 | 113.0 | 15 | Good | Remain | | |
| 110 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 12 | 11 | 95.0 | 5 | Fair | Remain | | |
| 111 | Live Oak | <i>Quercus virginiana</i> | 10 | 25 | 30 | 706.5 | | Fair | Remain | | |
| 112 | Live Oak | <i>Quercus virginiana</i> | 10 | 25 | 20 | 314.0 | | Fair | Remain | | |
| 113 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 18 | 14 | 153.86 | 10 | Fair | Remain | | |
| 114 | Live Oak | <i>Quercus virginiana</i> | 12 | 25 | 20 | 314 | | Fair | Remain | | |
| 115 | Sabal Palm | <i>Sabal palmetto</i> | 16 | 15 | 13 | 132.665 | 8 | Fair | Remain | | |
| 116 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 16 | 10 | 78.5 | 10 | Fair | Remain | | |
| 117 | Sabal Palm | <i>Sabal palmetto</i> | 9 | 21 | 10 | 78.5 | 15 | Fair | Remain | | |
| 118 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 16 | 12 | 113.04 | 10 | Fair | Remain | | |
| 119 | Sabal Palm | <i>Sabal palmetto</i> | 9 | 18 | 10 | 78.5 | 12 | Fair | Remain | | |
| 120 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 21 | 12 | 113.04 | 15 | Fair | Remain | | |
| 121 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 22 | 12 | 113.04 | 15 | Fair | Remain | | |
| 122 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 22 | 12 | 113.04 | 15 | Fair | Remain | | |
| 123 | Dahoon Holly | <i>Ilex cassine</i> | 4 | 15 | 4 | 12.56 | | Poor | Remain | | |
| 124 | Sabal Palm | <i>Sabal palmetto</i> | 11 | 18 | 12 | 113.04 | 12 | Fair | Remain | | |
| 125 | Sabal Palm | <i>Sabal palmetto</i> | 11 | 18 | 12 | 113.04 | 12 | Fair | Remain | | |
| 126 | Sabal Palm | <i>Sabal palmetto</i> | 11 | 24 | 12 | 113.04 | 14 | Fair | Remain | | |
| 127 | Dahoon Holly | <i>Ilex cassine</i> | 4 | 12 | 7 | 38.465 | | Poor | Remove | | N/A |
| 128 | Bismarck | <i>Bismarckia nobilis</i> | 15 | 22 | 16 | 200.96 | 11 | Good | Remain | | |
| 129 | Live Oak | <i>Quercus virginiana</i> | 4 | 15 | 14 | 153.86 | | Good | Remove | | N/A |
| 130 | Live Oak | <i>Quercus virginiana</i> | 4 | 18 | 8 | 50.24 | | Good | Remove | | |

| KEY | COMMON NAME | BOTANICAL NAME | DIAMETER (INCHES) | HEIGHT (FT) | SPREAD (FT) | CANOPY (S.F.) | CLEAR TRUNK (FT) | CONDITION (%) | DISPOSITION | COMMENT | MITIGATION |
|-----|---------------------|--------------------------------|-------------------|-------------|-------------|---------------|------------------|---------------|-------------|----------|------------|
| 261 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 21 | 12 | 113.04 | 15 | Fair | Remove | | YES |
| 262 | Gumbo Limbo | <i>Bursera simaruba</i> | 4 | 10 | 9 | 63.585 | | Fair | Remove | | |
| 263 | Japanese blue berry | <i>Elaeocarpus decipiens</i> | 2 | 8 | 6 | 28.26 | | Poor | Remove | | |
| 264 | Gumbo Limbo | <i>Bursera simaruba</i> | 4 | 12 | 8 | 50.24 | | Poor | Remove | | |
| 265 | Sabal Palm | <i>Sabal palmetto</i> | 9 | 21 | 10 | 78.5 | 16 | Fair | Remove | | |
| 266 | pitch apple | <i>Clusia rosea</i> | 4 | 12 | 8 | 50.24 | | Fair | Remove | | |
| 267 | Sabal Palm | <i>Sabal palmetto</i> | 9 | 21 | 10 | 78.5 | 16 | Fair | Remove | | YES |
| 268 | Japanese blue berry | <i>Elaeocarpus decipiens</i> | 2 | 8 | 6 | 28.26 | | Fair | Remove | | |
| 269 | Gumbo Limbo | <i>Bursera simaruba</i> | 5 | 10 | 10 | 78.5 | | Fair | Remove | | |
| 270 | Gumbo Limbo | <i>Bursera simaruba</i> | 6 | 12 | 11 | 94.985 | | Fair | Remove | | |
| 271 | Gumbo Limbo | <i>Bursera simaruba</i> | 5.5 | 13 | 10 | 78.5 | | Fair | Remove | | |
| 272 | Green buttonwood | <i>Conocarpus erectus</i> | 3 | 14 | 8 | 50.24 | | Fair | Remove | | |
| 273 | Green buttonwood | <i>Conocarpus erectus</i> | 3 | 12 | 8 | 50.24 | | Fair | Remove | | |
| 274 | Gumbo Limbo | <i>Bursera simaruba</i> | 5 | 10 | 11 | 94.985 | | Fair | Remove | | |
| 275 | Gumbo Limbo | <i>Bursera simaruba</i> | 5 | 10 | 9 | 63.585 | | Fair | Remove | | |
| 276 | Gumbo Limbo | <i>Bursera simaruba</i> | 6 | 12 | 12 | 113.04 | | Good | Remove | | |
| 277 | Gumbo Limbo | <i>Bursera simaruba</i> | 6 | 10 | 10 | 78.5 | | Fair | Remove | | |
| 278 | Washingtonia | <i>Washingtonia filifera</i> | 14 | 36 | 13 | 132.665 | 30 | Fair | Remove | | YES |
| 279 | Gumbo Limbo | <i>Bursera simaruba</i> | 5 | 10 | 11 | 94.985 | | Fair | Remove | | |
| 280 | Green buttonwood | <i>Conocarpus erectus</i> | 3 | 12 | 9 | 63.585 | | Good | Remove | | |
| 281 | Green buttonwood | <i>Conocarpus erectus</i> | 4 | 12 | 12 | 113.04 | | Fair | Remove | | |
| 282 | Gumbo Limbo | <i>Bursera simaruba</i> | 5 | 12 | 10 | 78.5 | | Poor | Remove | | |
| 283 | Gumbo Limbo | <i>Bursera simaruba</i> | 4 | 10 | 8 | 50.24 | | Poor | Remove | | |
| 284 | Gumbo Limbo | <i>Bursera simaruba</i> | 4 | 10 | 3 | 7.065 | | Poor | Remove | | |
| 285 | Gumbo Limbo | <i>Bursera simaruba</i> | 4 | 10 | 9 | 63.585 | | Poor | Remove | | |
| 286 | Gumbo Limbo | <i>Bursera simaruba</i> | 6 | 19 | 11 | 94.985 | | Fair | Remove | | |
| 287 | Gumbo Limbo | <i>Bursera simaruba</i> | 5 | 13 | 11 | 94.985 | | Fair | Remove | | |
| 289 | Gumbo Limbo | <i>Bursera simaruba</i> | 6 | 12 | 12 | 113.04 | | Good | Remove | | |
| 290 | Gumbo Limbo | <i>Bursera simaruba</i> | 6 | 12 | 10 | 78.5 | | Fair | Remove | | |
| 291 | Triple Sabal Palm | <i>Sabal palmetto</i> | 14 | 18 | 16 | 200.96 | 12 | Good | Remove | | YES |
| 292 | Gumbo Limbo | <i>Bursera simaruba</i> | 4 | 10 | 8 | 50.24 | | Poor | Remove | | |
| 293 | Green buttonwood | <i>Conocarpus erectus</i> | 3 | 12 | 9 | 63.585 | | Good | Remove | | |
| 294 | Green buttonwood | <i>Conocarpus erectus</i> | 3 | 12 | 9 | 63.585 | | Good | Remove | | |
| 295 | Gumbo Limbo | <i>Bursera simaruba</i> | 5 | 10 | 8 | 50.24 | | Fair | Remove | | |
| 296 | Gumbo Limbo | <i>Bursera simaruba</i> | 5 | 10 | 10 | 78.5 | | Fair | Remove | | |
| 297 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 16 | 12 | 113.04 | 10 | Good | Remove | | YES |
| 298 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 16 | 12 | 113.04 | 10 | Good | Remove | | YES |
| 299 | Green buttonwood | <i>Conocarpus erectus</i> | 2 | 10 | 6 | 28.26 | | Fair | Remove | | |
| 300 | Green buttonwood | <i>Conocarpus erectus</i> | 3 | 12 | 8 | 50.24 | | Poor | Remove | | |
| 301 | Sabal Palm | <i>Sabal palmetto</i> | 9 | 19 | 10 | 78.5 | 13 | Fair | Remove | | YES |
| 302 | Sabal Palm | <i>Sabal palmetto</i> | 9 | 19 | 10 | 78.5 | 13 | Fair | Remove | | YES |
| 303 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 24 | 10 | 78.5 | 18 | Fair | Remove | | YES |
| 304 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 24 | 10 | 78.5 | 19 | Fair | Remove | | YES |
| 305 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 23 | 9 | 63.585 | 17 | Fair | Remove | | YES |
| 306 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 24 | 10 | 78.5 | 18 | Fair | Remove | | YES |
| 307 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 24 | 10 | 78.5 | 18 | Fair | Remove | | YES |
| 308 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 24 | 10 | 78.5 | 18 | Fair | Remove | | YES |
| 309 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 22 | 10 | 78.5 | 16 | Fair | Remove | | YES |
| 310 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 21 | 10 | 78.5 | 16 | Fair | Remove | | YES |
| 311 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 21 | 10 | 78.5 | 16 | Fair | Remove | | YES |
| 312 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 21 | 10 | 78.5 | 16 | Fair | Remove | | YES |
| 313 | Green buttonwood | <i>Conocarpus erectus</i> | 3 | 14 | 8 | 50.24 | | Fair | Remove | | N/A |
| 314 | Green buttonwood | <i>Conocarpus erectus</i> | 2 | 12 | 10 | 78.5 | | Fair | Remove | | N/A |
| 315 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 18 | 10 | 78.5 | 12 | Fair | Remove | | YES |
| 316 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 24 | 10 | 78.5 | 16 | Fair | Remove | | YES |
| 317 | Sabal Palm | <i>Sabal palmetto</i> | | | | 0 | | Dead | Remove | | N/A |
| 318 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 21 | 13 | 132.665 | 15 | Fair | Remove | | YES |
| 319 | Sabal Palm | <i>Sabal palmetto</i> | 7 | 18 | 10 | 78.5 | 12 | Fair | Remove | | YES |
| 320 | Sabal Palm | <i>Sabal palmetto</i> | 10 | 26 | 10 | 78.5 | 20 | Fair | Remove | | YES |
| 321 | Sabal Palm | <i>Sabal palmetto</i> | 8 | 16 | 10 | 78.5 | 10 | Fair | Remain | | |
| 322 | Live Oak | <i>Quercus virginiana</i> | 17 | 15 | 10 | 78.5 | | Fair | Remain | | |
| 323 | Live Oak | <i>Quercus virginiana</i> | 7 | 25 | 18 | 254.34 | | Fair | Remain | | |
| 324 | Laurel Oak | <i>Quercus laurifolia</i> | 17 | 15 | 20 | 314 | | Poor | Remove | | YES |
| 325 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 14 | 12 | 113.04 | 5 | Fair | Remove | | YES |
| 326 | Sabal Palm | <i>Sabal palmetto</i> | 14 | 14 | 10 | 78.5 | 8 | Fair | Remove | | YES |
| 327 | Laurel Oak | <i>Quercus laurifolia</i> | 18 | 18 | 20 | 314 | | Poor | Remove | | YES |
| 328 | Laurel Oak | <i>Quercus laurifolia</i> | 20 | 30 | 30 | 706.5 | | Poor | Remain | | |
| 329 | Brazilian Pepper | <i>Schinus terebinthifolia</i> | 10 | 20 | 18 | 254.34 | | Poor | Remove | Invasive | |
| 330 | Sabal Palm | <i>Sabal palmetto</i> | 12 | 18 | 10 | 78.5 | 12 | Fair | Remain | | |
| 331 | Grand Eucalyptus | <i>Eucalyptus grandis</i> | 30 | 50 | 34 | 907.46 | | Fair | Remove | Invasive | |
| 332 | Grand Eucalyptus | <i>Eucalyptus grandis</i> | 12 | 40 | 22 | 379.94 | | Fair | Remove | Invasive | N/A |
| 333 | Banyan | <i>Ficus benghalensis</i> | 106 | 40 | 60 | 2826 | | Fair | Remove | | |



| MITIGATION | |
|--|--|
| NATIVE TREES THAT HAVE 14" DBH AND PALMS WITH 10' CT. MIN (PALM PER PALM) | |
| TREES | |
| 2 TREES WITH A DBH OF 35 ARE BEING REMOVED. THE PROPOSED LANDSCAPE PLAN HAS THE FOLLOWING TREES FOR THE REQUIRED MITIGATION: | |
| 6 GUMBO LIMBO TREES 6" DBH EACH =36" PROVIDED | |
| PALMS | |
| 39 SABAL PALMS ARE BEING REMOVED. THE PROPOSED PLAN HAS THE FOLLOWING ADDITIONAL PALMS TO COVER THE REQUIRED MITIGATION: | |
| 39 NEW SABAL PALMS | |



Revision Dates

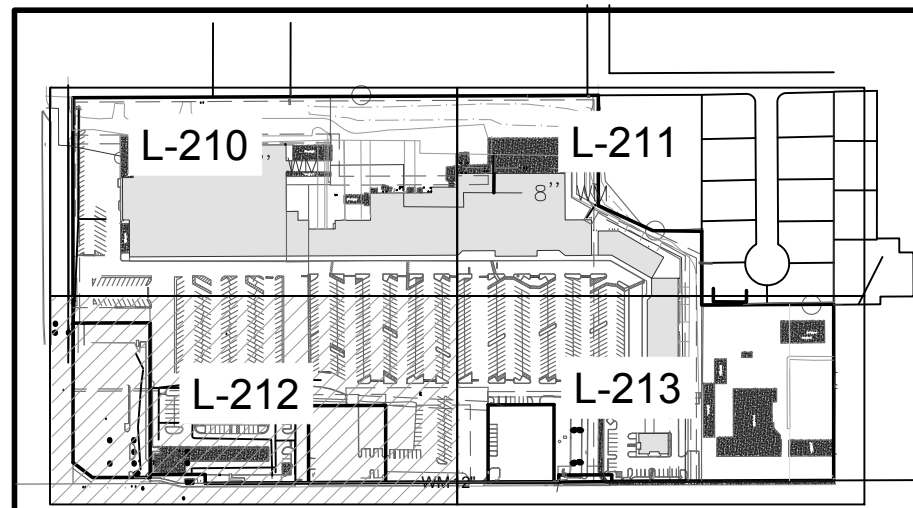
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TREE
DISPOSITION
TABLE

Release Date
04-10-2023

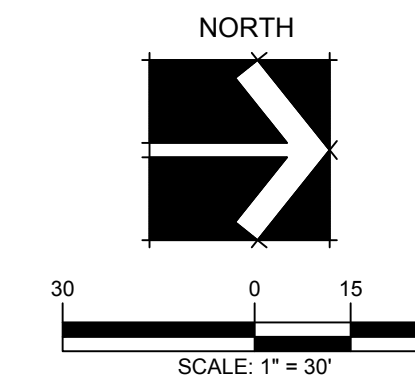
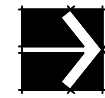
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2309

Drawing Number

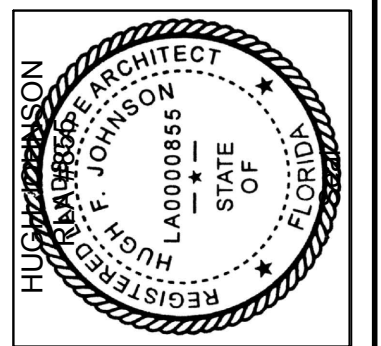




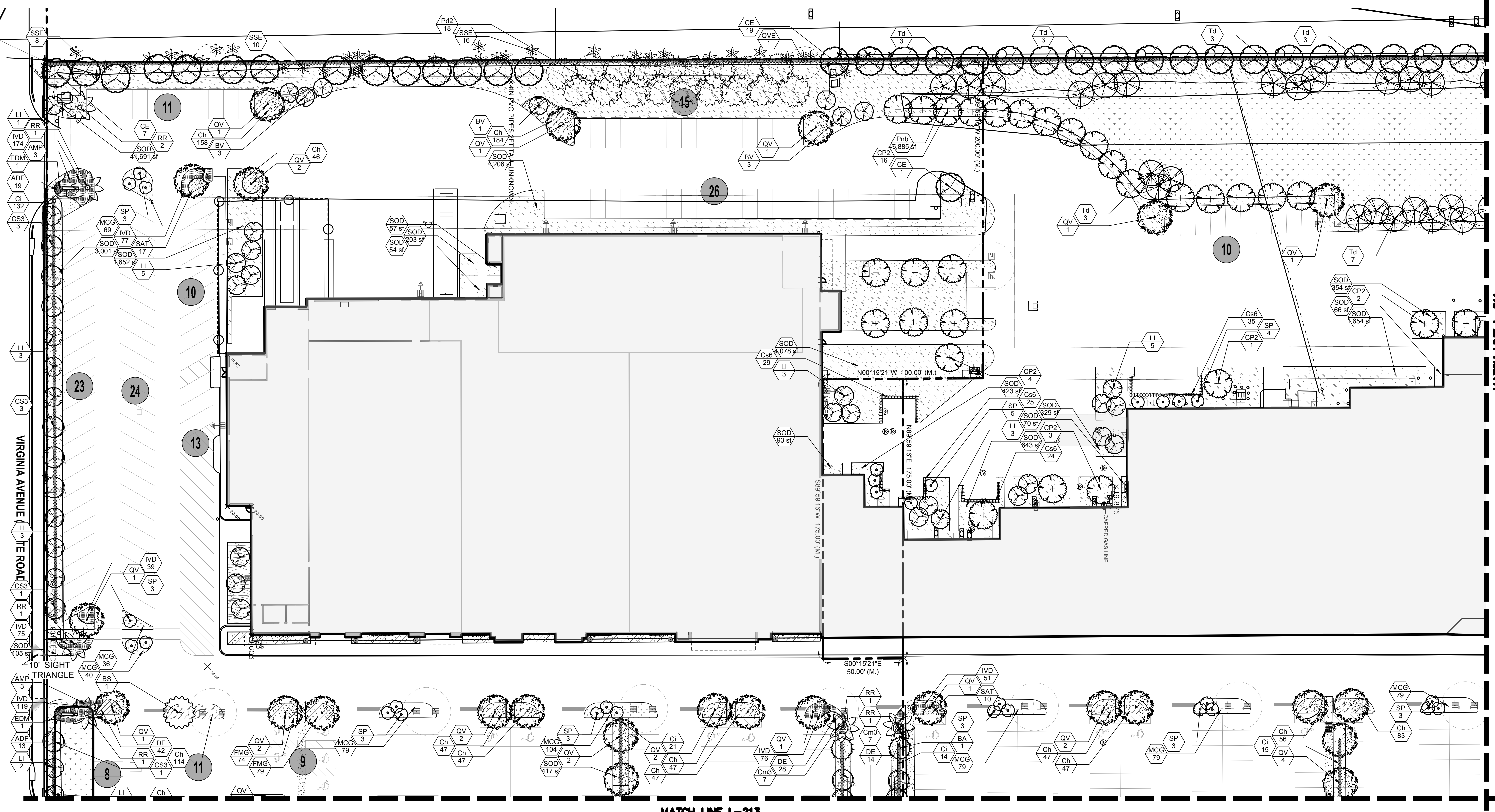
KEY MAP



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 EMAIL: HJohnson@archall.net
 TEL: 954-764-8858



Revision Dates



VIRGINIA AVENUE
 10' SIGHT TRIANGLE

MATCH LINE L-211

MATCH LINE L-213

SITE PLAN
GATEWAY PLAZA
 TIME EQUITIES, INC.
 CITY OF FORT PIERCE, FLORIDA

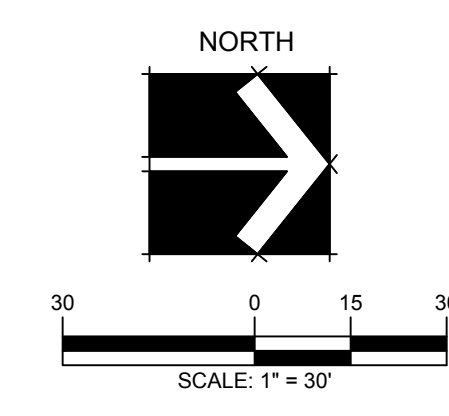
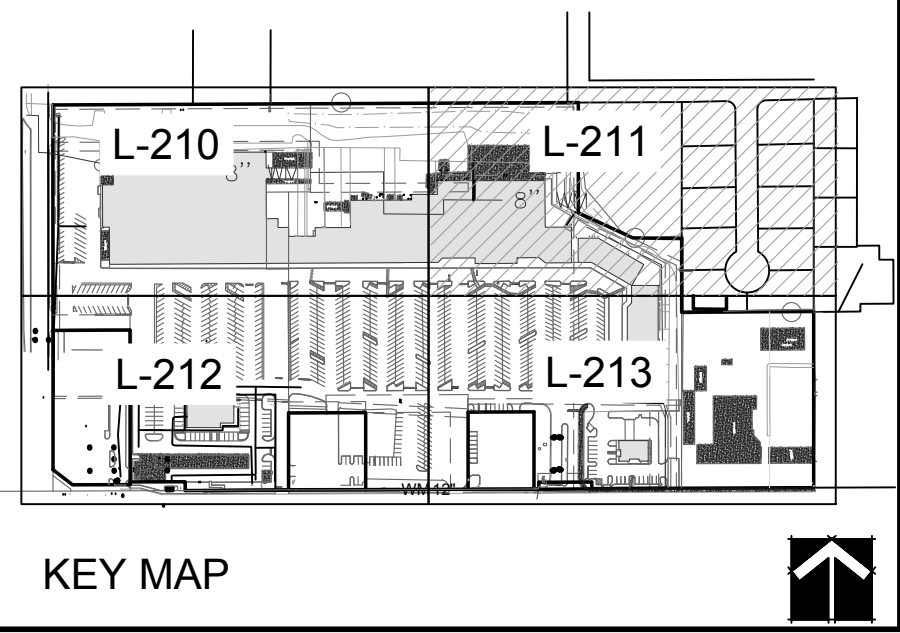
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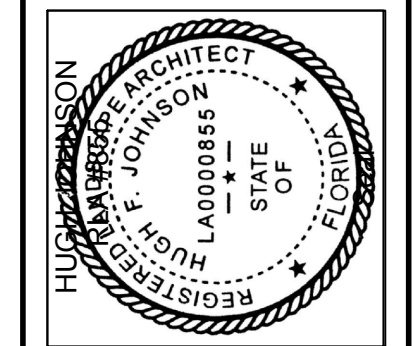
Project Number
 2309

Drawing Number

L-210
 SHEET 1 OF 3



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Revision Dates

SITE PLAN
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CITY OF FORT PIERCE, FLORIDA

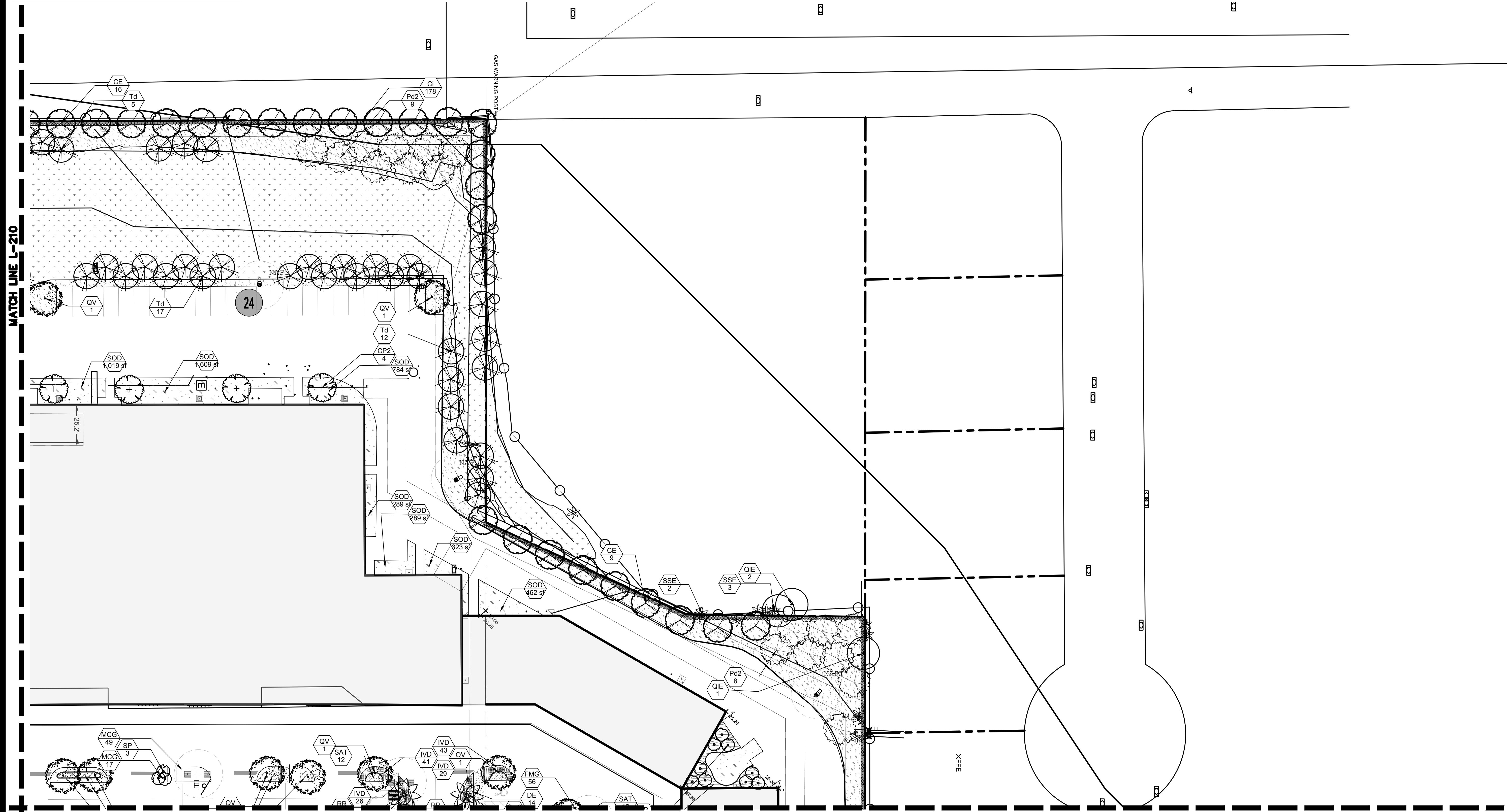
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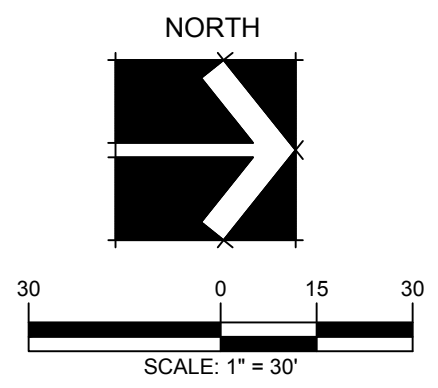
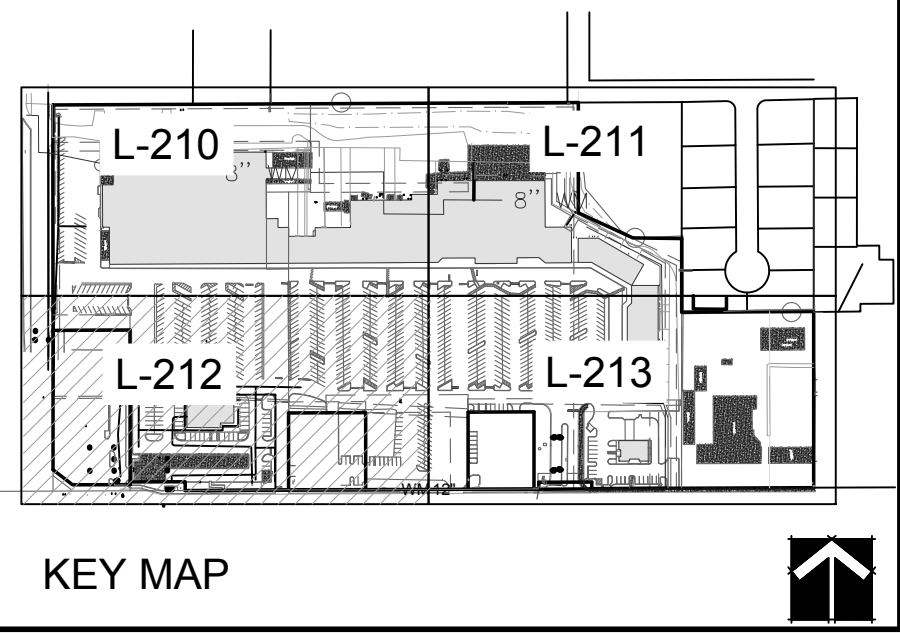
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Project Number
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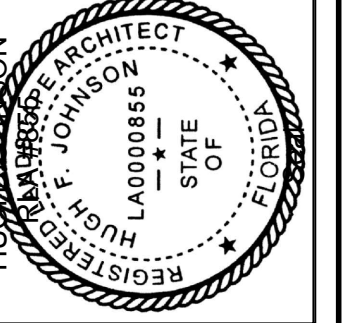
L-211
SHEET 1 OF 3





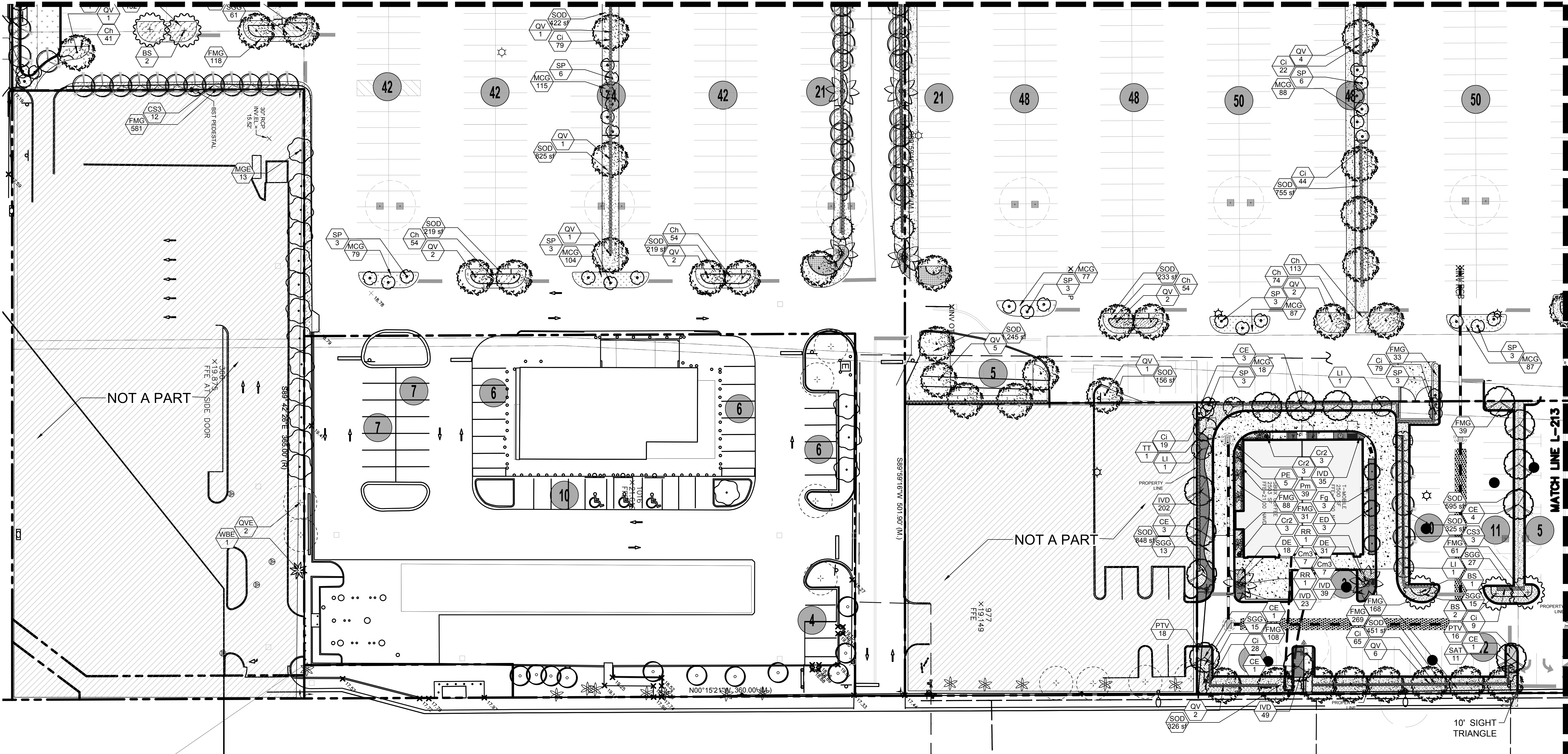
811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.
Call 811 two business days
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Revision Dates

MATCH LINE L-211



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GATEWAY PLAZA
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CITY OF FORT PIERCE, FLORIDA

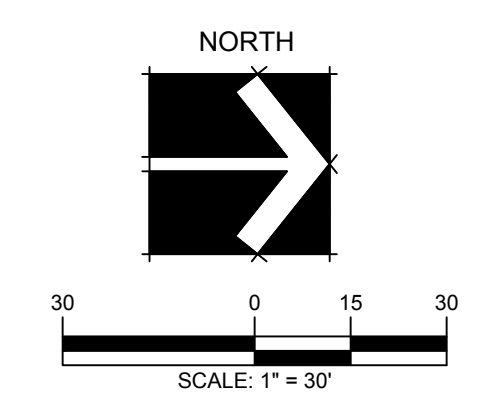
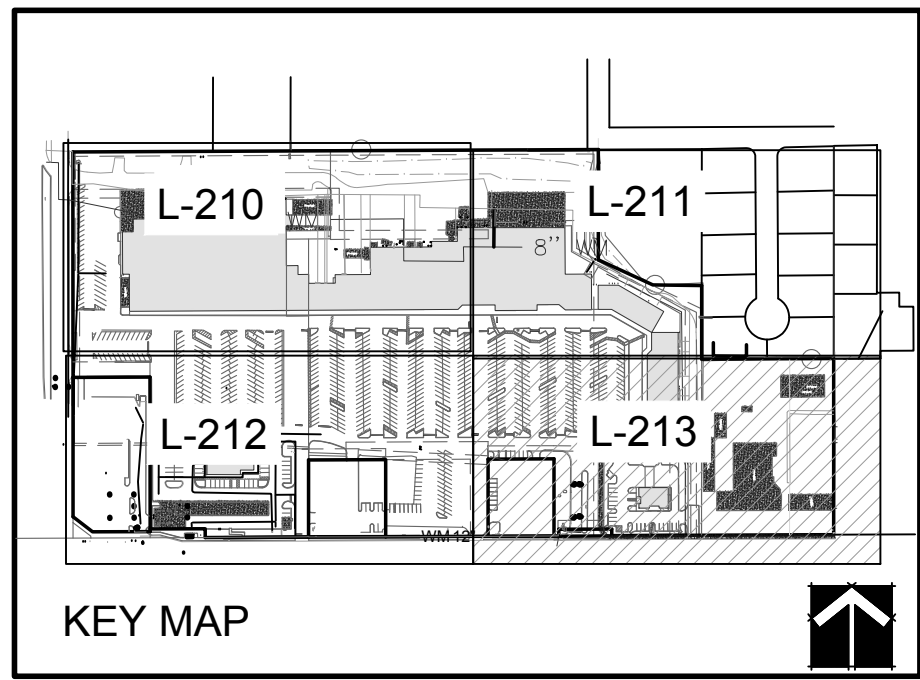
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Project Number
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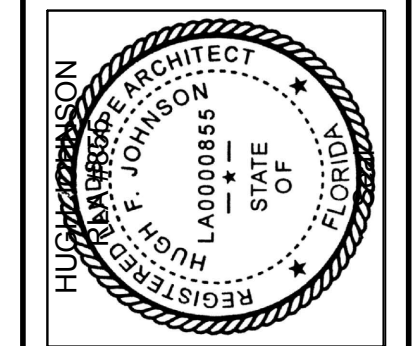
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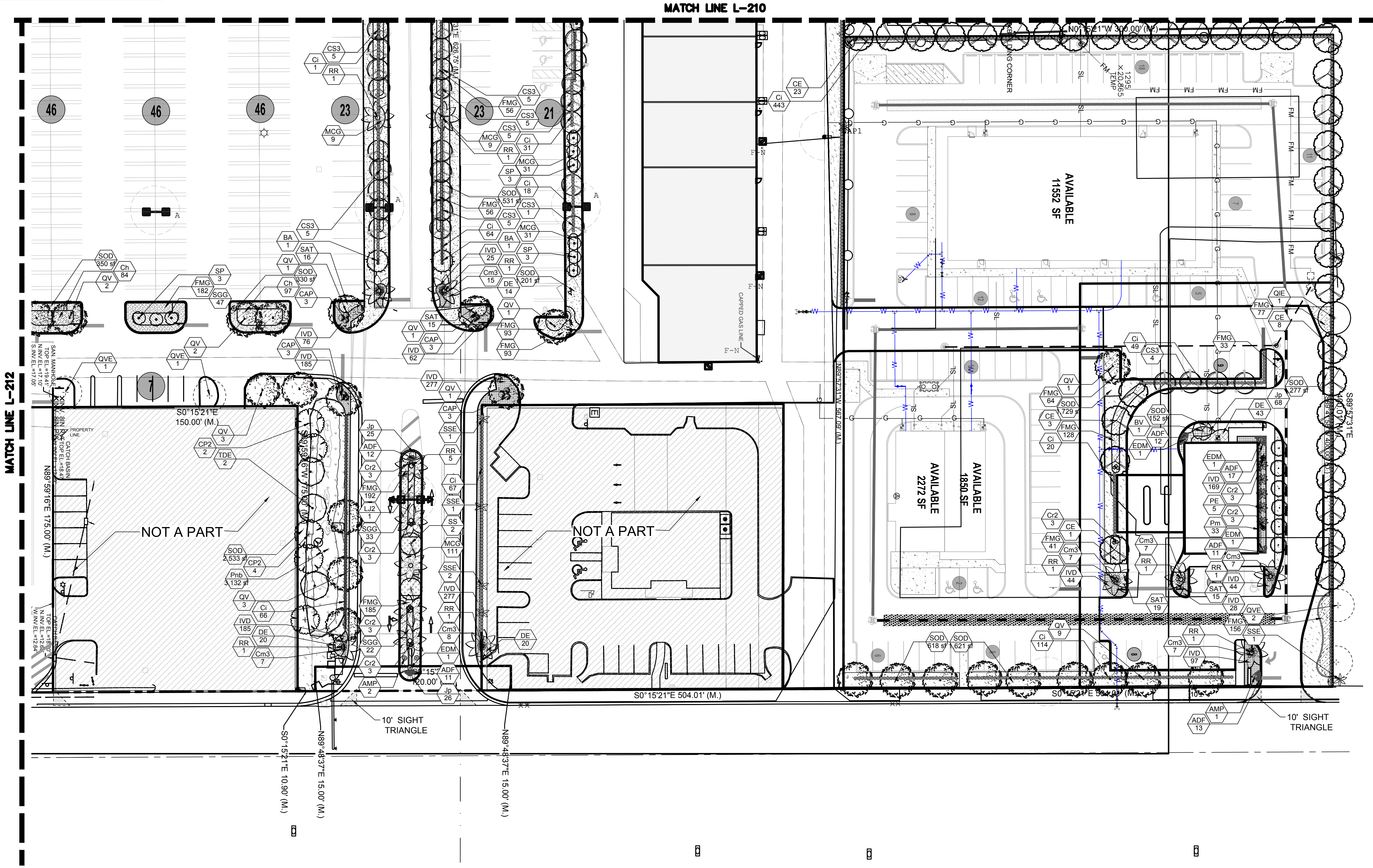


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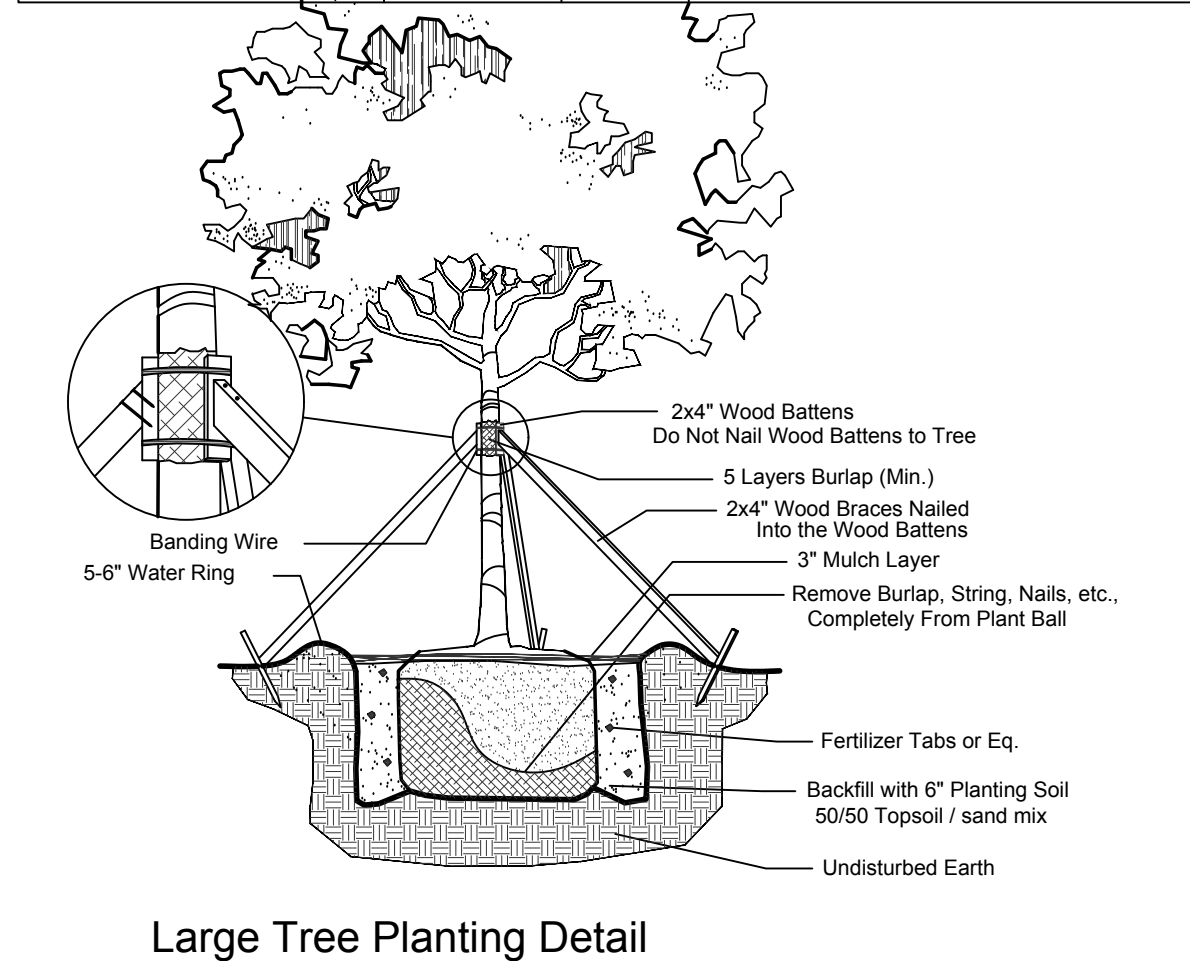


SITE PLAN
GATEWAY PLAZA
TIME EQUITIES, INC.
CITY OF FORT PIERCE, FLORIDA

| |
|--|
| Sheet Description LANDSCAPE PLAN |
| Release Date 04-10-2023 |
| Project Number 2309 |
| Drawing Number L-213 SHEET 1 OF 3 |

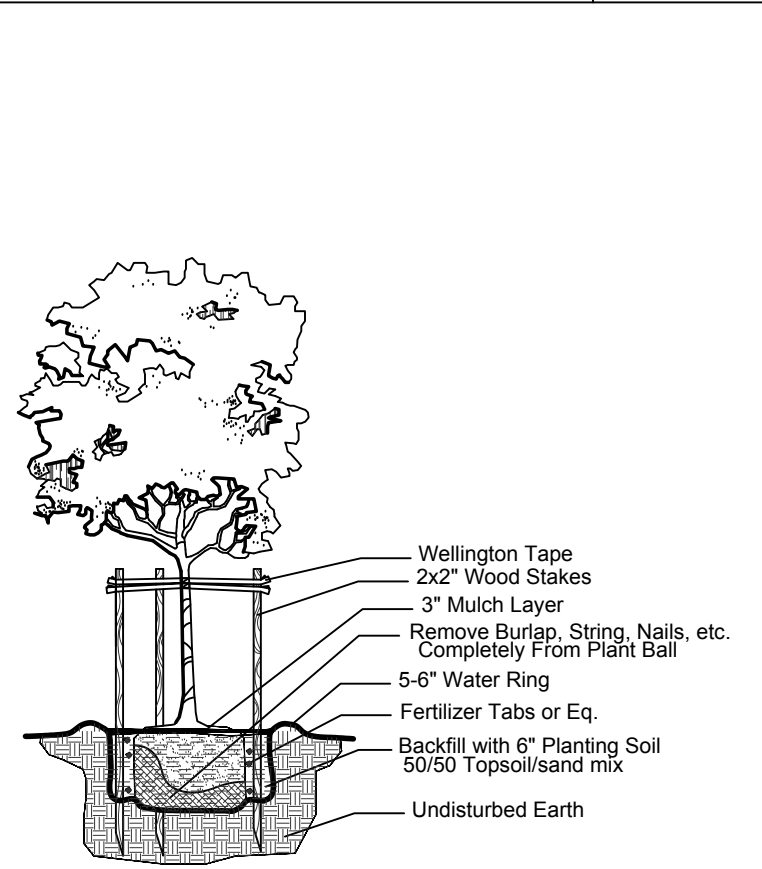
PLANT SCHEDULE OVERALL SITE

| TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | |
|--------------------|-----------|---|-----------------------------------|---------------------|----------|-----------------------------|--------|---------|----------|
| BV | 8 | BULNESIA ARBorea | VERAWOOD | FIELD GROWN / B & B | 2" DBH | 10' HT. X 5' SPR. | NO | HIGH | |
| BS | 6 | BURSERIA SIMARUBA | GUMBO LIMBO | FG/B&B | 4" DBH | 12' HT. X 5' SPR., STD | YES | HIGH | |
| CP2 | 38 | COCCOLOBA DIVERSIFOLIA | PIGEON PLUM | FG/B&B | 2" DBH | 12' HT. X 5' SPR., S | YES | HIGH | |
| CE | 108 | CONOCARPUS ERECTUS | BUTTONWOOD | FG/B&B | 3" DBH | 12' HT X 6' SPR | YES | HIGH | |
| CS3 | 77 | CONOCARPUS ERECTUS SERICEUS | SILVER BUTTOn WOOD | FG/B&B | 2" DBH | 12' HT. X 5' SPR., STD. | YES | HIGH | |
| ED | 9 | ELAEOCARPUS DECIPiENS | JAPANESE BLUEBERRY TREE | FG/B&B | 2" DBH | 10' HT. X 4' SPR. | NO | HIGH | |
| LJ2 | 1 | LIGUSTRUM JAPONICUM | JAPANESE PRIVET | FG/B&B | 2" DBH | 12' HT. X 7' SPR., SPECIMEN | NO | HIGH | |
| Pd2 | 35 | PINUS ELLIOTTII DENSA | SLASH PINE | FG/B&B | 2" DBH | 12' HT. X5' SPR. | YES | HIGH | |
| QV | 92 | QUERCUS VIRGINIANA | LIVE OAK | FG/B&B | 2.5" DBH | 12' HT X 5' SPR., 4" CT | YES | HIGH | |
| Td | 58 | TAXODIUM DISTICHUM | BALD CYPRESS | FG/B&B | 2" DBH | 12' HT. X5' SPR. | YES | HIGH | |
| EXISTING PALMS | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | |
| SSE | 65 | SABAL PALMETTO | CABBAGE PALMETTO | EXISTING | | | YES | HIGH | |
| WBE | 1 | WODYETIA BIFURCATA | FOXTAIL PALM | EXISTING | | | NO | HIGH | |
| EXISTING TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | |
| LIE | 11 | LAGERSTROEMIA INDICA | CRAPE MYRTLE | EXISTING | | | NO | HIGH | |
| MGE | 17 | MAGNOLIA GRANDIFLORA | SOUTHERN MAGNOLIA | EXISTING | | | NO | HIGH | |
| QIE | 4 | QUERCUS LAURIFOLIA | LAUREL-LEAVED OAK | EXISTING | | | YES | HIGH | |
| QVE | 13 | QUERCUS VIRGINIANA | SOUTHERN LIVE OAK | EXISTING | | | YES | HIGH | |
| TDE | 3 | TAXODIUM DISTICHUM | BALD CYPRESS | EXISTING | | | YES | HIGH | |
| FLOWERING TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | |
| BA | 7 | BULNESIA ARBorea | VERAWOOD | FG/B&B | 2" DBH | 12' HT X 6' SPR | NO | HIGH | |
| LI | 36 | LAGERSTROEMIA INDICA 'TUSCARORA' | TUSCARORA CRAPE MYRTLE 'STANDARD' | FG/B&B | 3" DBH | 14' HT X 6' SPR, STD | | | |
| SS | 2 | SENNA SURATTENSIS | GLAUCOUS CASSIA | FG/B&B | 2" DBH | 12' HT. X 5' SPR., STD | YES | HIGH | |
| TT | 1 | TABEBUIA HETEROPHYLLA | PINK TRUMPET TREE | FG/B&B | 2" DBH | 12' HT X 6' SPR | NO | HIGH | |
| PALM TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | |
| PE | 10 | PTYCHOSPERMA ELEGANS | SOLITAIRE PALM | FG/B&B | | 16'-18" OA, SINGLES | NO | HIGH | |
| RR | 29 | ROYSTONEA REGIA | ROYAL PALM | FG/B&B | | 10' G.W. MATCHED - HEAVY | YES | MEDIUM | |
| SP | 90 | SABAL PALMETTO | CABBAGE PALMETTO | FG/B&B | | 14'-20" OA, VARY HEIGHTS | YES | HIGH | |
| SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | |
| AMP | 9 | AECHMEA 'MARCELINO' | GIANT PURPLE VASE BROMELIAD | 3 GAL. | | SPECIMEN AS SHOWN | NO | HIGH | |
| ADF | 108 | ASPARAGUS DENSIFLORUS 'MYERS' | MYERS ASPARAGUS | 3 GAL | | 18"X18" | NO | HIGH | |
| CI | 2,679 | CHRYSOBALANUS ICACO | COCO PLUM | - | | 24" HT. X 24" SPD. | YES | HIGH | |
| Cm3 | 127 | CODIAEUM VARIEGATUM 'MAGNIFICENT' | MAGNIFICENT CROTON | - | | 18" H. X 18" SPR. | NO | HIGH | |
| Cs6 | 113 | CONOCARPUS ERECTUS F. SERICEUS | SILVER BUTTOn WOOD | - | | 24" HT X 24" SPR | YES | HIGH | |
| Cr2 | 33 | CORDYLINE FRUTICOSA 'RED SISTER' | RED SISTER TI PLANT | - | | 18" H. X 18" SPR. | NO | HIGH | |
| CAP | 12 | CRINUM AUGUSTUM 'QUEEN EMMA' | 'QUEEN EMMA' CRINUM | - | | 36" HT. X 30" SPR. | NO | HIGH | |
| EDM | 12 | ELAEOCARPUS DECIPiENS 'MONPROUD' | JAPANESE BLUEBERRY TREE DWARF | 25 GAL | | 5' OA., CONE. FULL TO BASE | NO | HIGH | |
| Fg | 3 | FURCRAEA FOETIDA 'VARIEGATA' | VARIEGATED FALSE AGAVE | - | | 30" HT. X 30" SPR. | NO | HIGH | |
| Pm | 72 | PODOCARPUS MACROPHYLLUS | YEW PODOCARPUS | - | | 30" HT. X 24" SPD | NO | MEDIUM | |
| VINES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | |
| Tc | 54 | TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE' | CONFEDERATE JASMINE | - | | 4' O.A. TRELIS WITH RUNNERS | NO | HIGH | |
| SHRUB AREAS | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | SPACING |
| Ch | 1,749 | CHRYSOBALANUS ICACO 'HORIZONTALIS' | HORIZONTAL COCO PLUM | - | | 16" HT X 16" SPR | YES | HIGH | 20" o.c. |
| DE | 302 | DURANTA ERECTA 'GOLD MOUND' | GOLD MOUND DURANTA | - | | 18" HT X 18" SPR | YES | HIGH | 20" o.c. |
| FMG | 3,594 | FICUS MICROCARPA 'GREEN ISLAND' | GREEN ISLAND FICUS | - | | 14" HT X 16" SPR | NO | HIGH | 18" o.c. |
| IVD | 2,425 | ILEX VOMITORIA 'STOKES DWARF' | DWARF YAUPON HOLLY | - | | 14" HT X 16" SPR | YES | HIGH | 18" o.c. |
| JVV | 154 | JASMINUM VOLUBILE | WAX JASMINE | - | | 18" HT X 18" SPR | NO | MEDIUM | 22" o.c. |
| Jp | 119 | JUNIPERUS CHINENSIS 'PARSONII' | PARSON JUNIPER | - | | 14" HT X 16" SPR | NO | HIGH | 16" o.c. |
| PTV | 34 | PITTOSPORUM TOBIRA 'VARIEGATA' | VARIEGATED PITTOSPORUM | - | | 24"HT X 24"SPR | NO | MEDIUM | 24" o.c. |
| SGG | 233 | SCHEFFLERA ARBORICOLA 'GOLD CAPELLA' | GOLD CAPELLA ARBORICOLA | - | | 18"HT X 18"SPR | NO | HIGH | 24" o.c. |
| SAT | 176 | SCHEFFLERA ARBORICOLA 'TRINETTE' | SCHEFFLERA | - | | 24"HT X 24"SPR | NO | HIGH | 24" o.c. |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | SPACING |
| AGR | 20 | ARACHIS GLABRATA | PERENNIAL PEANUT | - | | 6"HT X 12"SPR @ | NO | HIGH | 18" o.c. |
| SOD/SEED | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | SPACING |
| Phb | 51,024 SF | PASPALUM NOTATUM | BAHIA GRASS | SOD | | | NO | HIGH | |
| SOD | 96,178 SF | STENOTAPHRUM SECUNDATUM 'FLORITAM' | 'FLORITAM' ST. AUGUSTINE SOD | SOD | | | | | |
| TALL GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | NATIVE | DROUGHT | SPACING |
| MCG | 1,563 | MUHLENBERGIA CAPILLARIS | PINK MUHLY GRASS | - | YES | 24" HT. X 24" SPR. | YES | | 24" o.c. |
| TF | 238 | TRIPSACIUM FLORIDANA | FLORIDA GAMMA GRASS | 24" HT X 24" SPR | | | | | 30" o.c. |



Large Tree Planting Detail

NTS



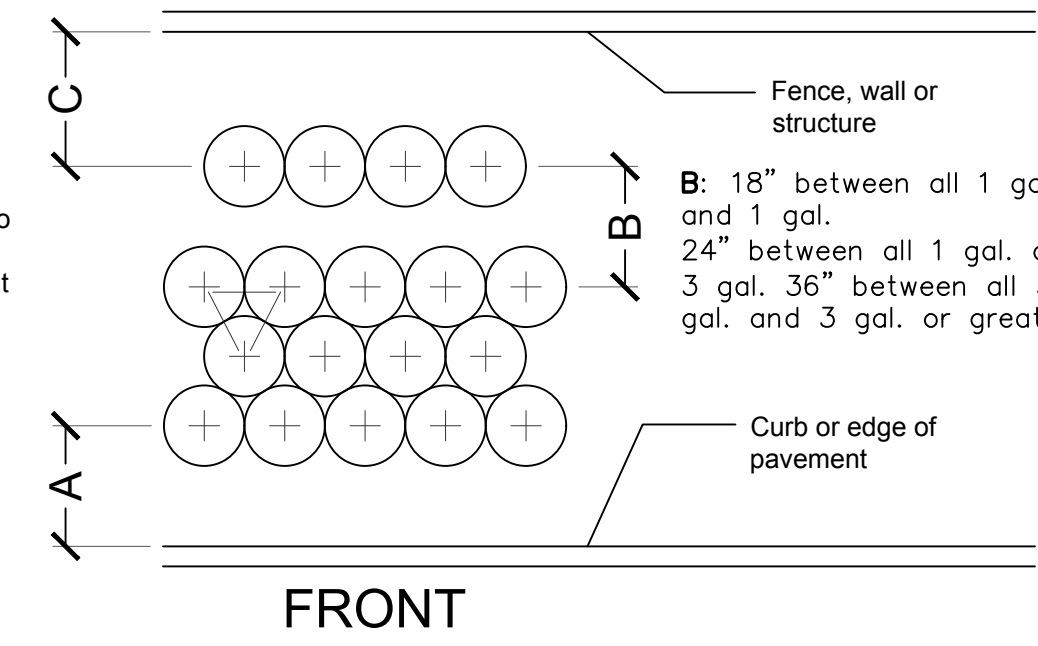
Small Tree Planting Detail

NTS

C: 18" for all 1 gal.
30" for all 3 gal. or greater vines not included

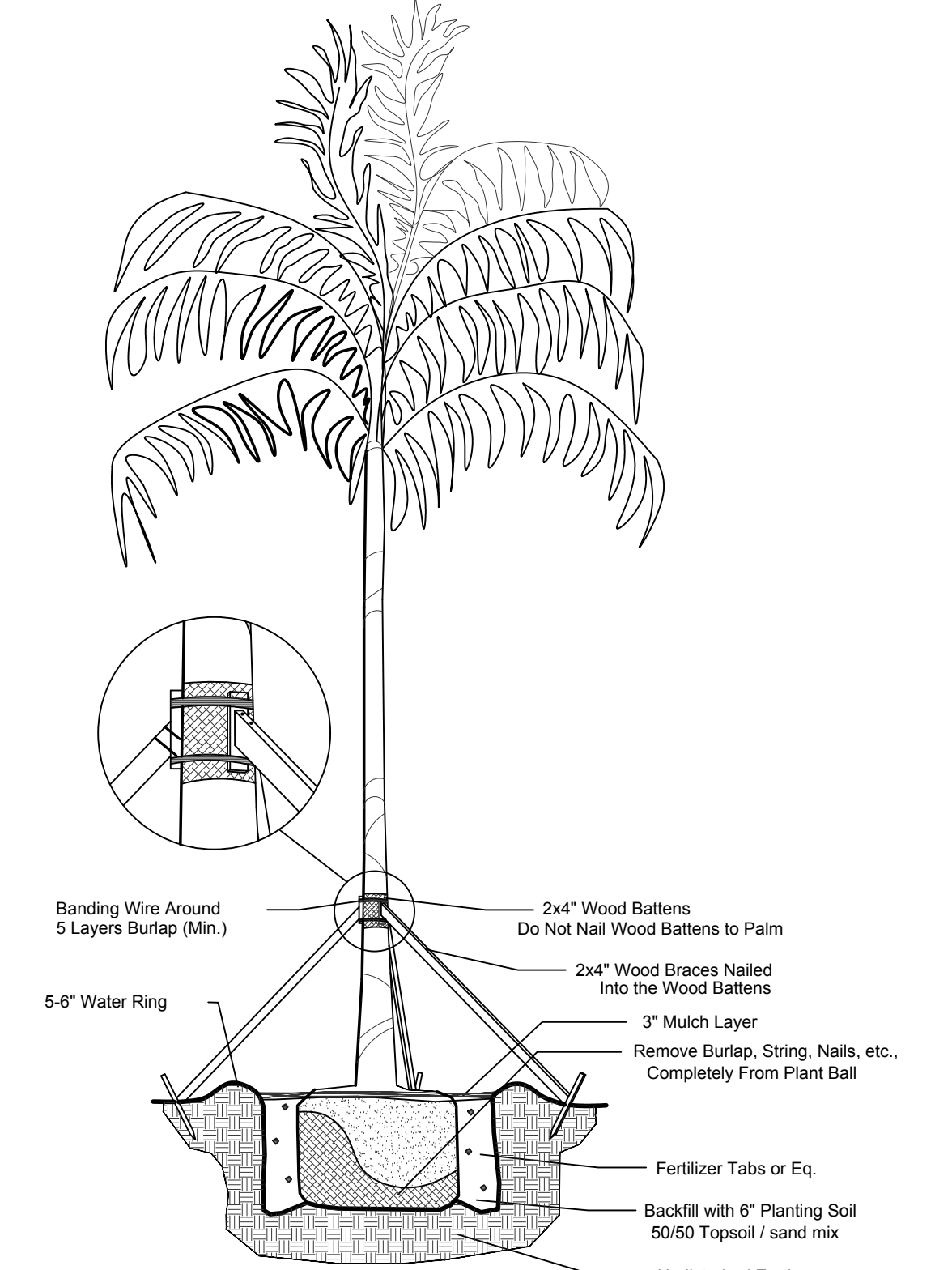
NOTE: All shrub and groundcover masses to use triangular spacing except as a singular hedge row or where noted. Refer to the plant list for individual plant spacing.

A: 14" for all 1 gal.
24" for all 3 gal. or greater



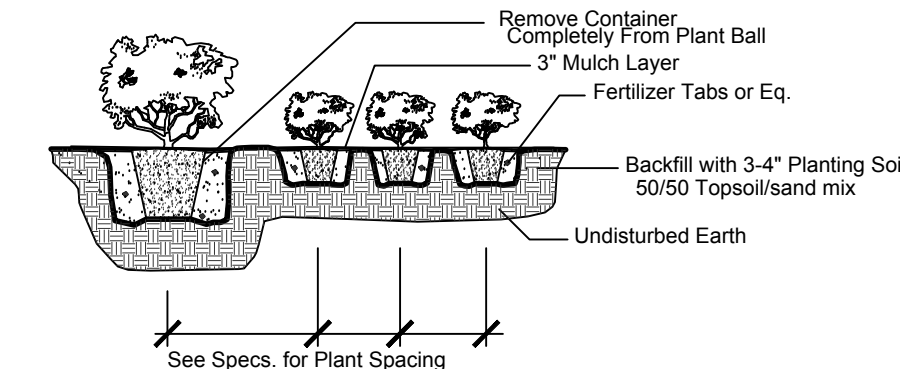
FRONT

NTS



Palm Planting Detail

NTS



Shrub & Ground Cover Planting Detail

NTS

LANDSCAPE CALCULATIONS

| LOT AREA | 1,061,890 | 24.38 ACRES |
|---|------------------|------------------|
| SECTION 123-37 - General Landscape Requirements | | |
| Article II-III | REQUIRED | PROVIDED |
| 4 Vehicular use Between street ROW and VUA. 10' Landscape strip. 1 Tree per 300 S.F. of required landscape area and a 36" H. screen max. one year after installation. | | |
| US. 1 Federal Hwy. 4,660S.F. / 300=15.5 | 16 Trees | 16 Trees |
| Virginia Avenue 4,540 S.F. / 300=15 | 15 Trees | 15 Trees |
| 6 Vehicular use, building, retention/detention areas adjacent to other property | | |
| a Where a vehicular use area does not abut a street right-of-way but abuts other property, there will be a landscaped strip of land which is at least ten feet wide. 1 Tree per 200 S.F. of required landscape area and a landscape screen. | | |
| North Perimeter 8,780S.F./200 | 44 TREES | 44 TREES |
| South Perimeter | N/A | N/A |
| East Perimeter | N/A | N/A |
| West Perimeter 16,190 S.F./200 | 81 TREES | 81 TREES |
| 7 Interior vehicular use areas | | |
| Lots with vehicular use areas that are 4,000 or more square feet in size shall have at least one square foot of interior landscaping for each 15 square feet of vehicular use area | | |
| VUA 668,863 / 15=44,590 | 44,590 S.F. | 60,120 S.F. |
| b Interior landscaping shall include an average of at least one tree for each 100 square feet of required landscaped area. The remainder of the required landscaped area shall be landscaped with grass, ground cover or other landscaped treatment. Such landscaped areas shall be located in such a manner as to divide and break up the expanse of paving and at strategic points to guide traffic flow and direction. | | |
| REQ. 44,590 S.F. / 100=446 | 446 TREES | 446 TREES |
| TOTAL TREES | 602 TREES | 619 TREES |
| 50% of trees can be Palms Max. | | |

NOTES:

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

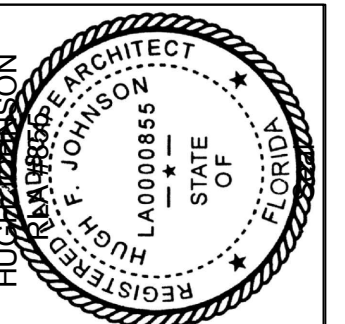
All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Architectural Alliance.

The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.



Revision Dates

SITE PLAN
GATEWAY PLAZA
TIME EQUITIES, INC.
CITY OF FORT PIERCE, FLORIDA

Sheet Description
LANDSCAPE DETAILS AND NOTES

Release Date
04-10-2023

Project Number
2309

Drawing Number

L-214
SHEET 5 OF 5

Property Identification

Site Address: 2009 S US HIGHWAY 1
 Sec/Town/Range: 15/35S/40E
 Parcel ID: 2415-313-0005-010-9
 Jurisdiction: Fort Pierce

Use Type: 1600
 Account #: 24459
 Map ID: 24/15S
 Zoning: General Co

Ownership

Morris/Satnick FP Assoc LLC
 350 Veterans BLVD
 Rutherford, NJ 07070



Legal Description

15 35 40 E 876.9 FT OF THAT PART OF S 1/2 OF SW 1/4 LYG W OF US 1- LESS BEG AT INT N R/W VAAV AND W R/W LI US 1 RUN N ALG W R/W US-1 710 FT, TH W 175 FT, TH S 175 FT, TH W 501.9 FT, TH N 50 FT, TH W 200 FT, TH S 585 FT, TH E 876.9 FT TO POB AND LESS SLY 130 FT FOR RD AND CANAL AND LESS N 150 FT OF S 1222.46 FT OF E 175 FT- AND S 235 FT OF NE 1/4 OF SW 1/4 LYG W OF DIXIE HWY-LESS AS IN OR 380-2663 AND LESS N 175 FT OF E 185 FT OF S 1511.18 FT OF THAT PART OF SW 1/4 LYG W OF US 1- LESS RD R/W AS IN OR 3615-2364 AND FROM INT W R/W LI US #1 AND S LI OF SE 1/4 OF SW 1/4 OF SEC 15 RUN N 00 03 34 E ALG W R/W LI 435 FT FOR POB, TH CONT NLY 235 FT, TH N 89 42 26 SEC W // TO S LI OF SEC 676.9 FT, TH N 00 03 34 E 50 FT, TH N 89 42 26 W 200 FT, TH S 00 03 34 W 585 FT TO PT ON N R/W VAAV, TH S 89 42 26 E ALG R/W 511.9 FT, TH N 00 03 34 E 175 FT, TH S 89 42 26 E 345 FT, TH N 00 03 34 E 125 FT, TH N 89 42 26 E 20 FT TO POB (23.67 AC - 1,031,265 SF) (OR 2446-712, 718) Unity of Title (5016-1825)

Total Areas

| | |
|---------------------------|-----------|
| Finished/Under Air (SF): | 206,144 |
| Gross Sketched Area (SF): | 235,185 |
| Land Size (acres): | 23.67 |
| Land Size (SF): | 1,031,265 |

Current Values

| | |
|--------------------|-------------|
| Just/Market Value: | \$5,379,000 |
| Assessed Value: | \$4,478,870 |
| Exemptions: | \$0 |
| Taxable Value: | \$4,478,870 |

Building Design Wind Speed

| Occupancy Category | I | II | III |
|--------------------|-----|-----|-----|
| Speed | 140 | 160 | 160 |

Sources/links:

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Taxes for this parcel: [SLC Tax Collector's Office](#)

Download TRIM for this parcel: [Download PDF](#)

Sale History

| Date | Book/Page | Sale Code | Deed | Grantor | Price |
|--------------|-------------|-----------|------|-----------------------------|--------------|
| Dec 19, 2005 | 2446 / 0712 | XX02 | SPWD | Morris/Satnick FP Assoc LLC | \$10,960,000 |
| Sep 1, 1983 | 0412 / 0301 | XX01 | CV | | \$0 |

Building Information (1 of 5)

Finished Area: 43,510 SF

Gross Sketched Area: 47,607 SF

Exterior Data

| | | |
|---------------------|--------------------------|------------------------------|
| View: | Roof Cover: Tar & Gravel | Roof Structure: BarJst/Rigid |
| Building Type: NSCT | Year Built: 1969 | Frame: Masonry |
| Grade: Y_D | Effective Year: 1969 | Primary Wall: CB Stucco |

Story Height: 2 Story

No. Units: 8

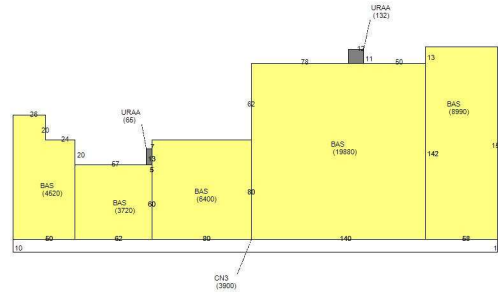
Secondary Wall:

Interior Data

Bedrooms: 0
Full Baths: 0
Half Baths: 0
A/C %: 100%

Electric: AVERAGE
Heat Type: FrcdHotAir
Heat Fuel: ELEC
Heated %: 100%

Primary Int Wall:
Avg Hgt/Floor: 0
Primary Floors: Carpet
Sprinkled %: 100%



Sketch Area Legend

| Sub Area | Description | Area | Fin. Area | Perimeter |
|----------|-------------|-------|-----------|-----------|
| BAS | BASE AREA | 43510 | 43510 | 1854 |
| CN3 | CANOPY | 3900 | 0 | 800 |

Building Information (2 of 5)

Finished Area: 45,320 SF

Gross Sketched Area: 47,530 SF

Exterior Data

View:
 Building Type: NSCT
 Grade: Y_D
 Story Height: 2 Story

Roof Cover: Tar & Gravel
 Year Built: 1982
 Effective Year: 1982
 No. Units: 1

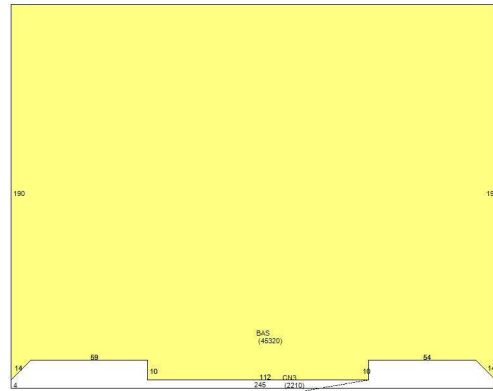
Roof Structure: BarJst/Rigid
 Frame: Masonry
 Primary Wall: Conc Block
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 100%

Electric: AVERAGE
 Heat Type: FrdHotAir
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Vinyl Tiles
 Sprinkled %: 100%



Sketch Area Legend

| Sub Area | Description | Area | Fin. Area | Perimeter |
|----------|-------------|-------|-----------|-----------|
| BAS | BASE AREA | 45320 | 45320 | 898 |
| CN3 | CANOPY | 2210 | 0 | 526 |

Building Information (3 of 5)

Finished Area: 30,871 SF

Gross Sketched Area: 35,714 SF

Exterior Data

View:
 Building Type: NSCT
 Grade: Y_D
 Story Height: 1 Story

Roof Cover: Tar & Gravel
 Year Built: 1983
 Effective Year: 1983
 No. Units: 10

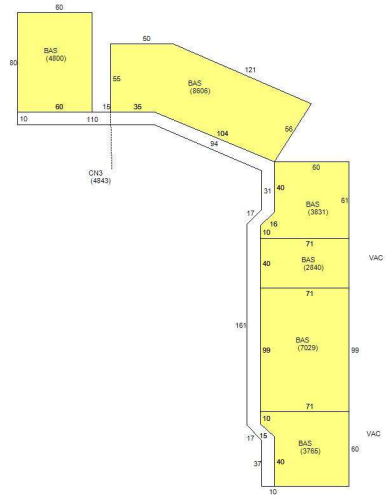
Roof Structure: BarJst/Rigid
 Frame: Masonry
 Primary Wall: CB Stucco
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 100%

Electric: AVERAGE
 Heat Type: FrdHotAir
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Carpet
 Sprinkled %: 100%



Sketch Area Legend

| Sub Area | Description | Area | Fin. Area | Perimeter |
|----------|-------------|-------|-----------|-----------|
| BAS | BASE AREA | 30871 | 30871 | 1777 |
| CN3 | CANOPY | 4843 | 0 | 971 |

Building Information (4 of 5)

Finished Area: 80,936 SF

Gross Sketched Area: 91,168 SF

Exterior Data

View:
 Building Type: NSCT
 Grade: Y_D
 Story Height: 1 Story

Roof Cover: Roll Comp
 Year Built: 1971
 Effective Year: 1971
 No. Units: 1

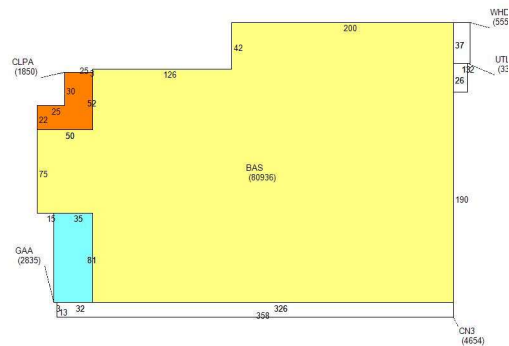
Roof Structure: BarJst/Rigid
 Frame: Masonry
 Primary Wall: Brk/Masonry
 Secondary Wall: 8in Brick

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 0%

Electric: AVERAGE
 Heat Type: FredHotAir
 Heat Fuel: ELEC
 Heated %: 0%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: CONC GRD
 Sprinkled %: 100%



Sketch Area Legend

| Sub Area | Description | Area | Fin. Area | Perimeter |
|----------|-------------|------|-----------|-----------|
|----------|-------------|------|-----------|-----------|

| | | | | |
|------|-------------------------|-------|-------|------|
| BAS | BASE AREA | 80936 | 80936 | 1258 |
| CLPA | Closed Porch Average | 1850 | 0 | 204 |
| CN3 | CANOPY | 4654 | 0 | 742 |
| GAA | Garage Attached Average | 2835 | 0 | 232 |
| UTL | UTILITY ROOM | 338 | 0 | 78 |
| WHD | WAREHOUSE DOCK | 555 | 0 | 104 |

Building Information (5 of 5)

Finished Area: 5,507 SF

Gross Sketched Area: 13,166 SF

Exterior Data

View:
 Building Type: SRST
 Grade: Y_D
 Story Height: 1 Story

Roof Cover: Roll Comp
 Year Built: 2021
 Effective Year: 2021
 No. Units: 1

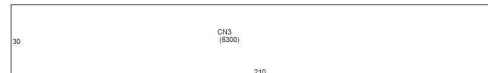
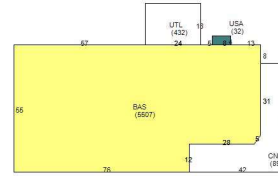
Roof Structure: BarJst/Rigid
 Frame:
 Primary Wall: Hardi Plank
 Secondary Wall: Field Stone

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 100%

Electric: AVERAGE
 Heat Type: FredHotAir
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Terrazo
 Sprinkled %: %



Sketch Area Legend

| Sub Area | Description | Area | Fin. Area | Perimeter |
|----------|----------------------|------|-----------|-----------|
| BAS | BASE AREA | 5507 | 5507 | 322 |
| CN3 | CANOPY | 7195 | 0 | 656 |
| USA | Utility Shed Average | 32 | 0 | 24 |
| UTL | UTILITY ROOM | 432 | 0 | 84 |

Special Features and Yard Items

| Type | Qty | Units | Year Blt |
|--------------|-----|--------|----------|
| ASP2 LOW | 1 | 255640 | 1945 |
| CHAINLINK 8' | 1 | 258 | 1945 |
| MEZZANINE | 1 | 13697 | 1945 |
| CHAINLINK 10 | 1 | 240 | 1945 |
| CONCRETE LOW | 1 | 3630 | 1969 |
| ASP2 LOW | 1 | 36400 | 1970 |


| | | | |
|--------------|----|-------|------|
| TRIPLE LIGHT | 2 | 30 | 1971 |
| CONCRET HIGH | 1 | 15750 | 1982 |
| ASP1 HIGH | 1 | 45500 | 1982 |
| SINGLE LIGHT | 2 | 30 | 1983 |
| ASP1 HIGH | 1 | 80000 | 1983 |
| QUAD LIGHT | 7 | 30 | 1999 |
| DOUBLE LIGHT | 14 | 30 | 2021 |
| ASP2 LOW | 1 | 41108 | 2021 |
| CEMENT CURB | 1 | 1365 | 2021 |
| CONCRETE LOW | 1 | 12080 | 2021 |
| DOUBLE LIGHT | 3 | 30 | 2021 |
| SINGLE LIGHT | 7 | 30 | 2021 |

Current Year Values

| Current Values Breakdown | | Current Year Exemption Value Breakdown | |
|----------------------------|-------------|--|--|
| Building: | \$2,791,900 | | |
| Land: | \$2,587,100 | | |
| Just/Market: | \$5,379,000 | | |
| Ag Credit: | \$0 | | |
| Save Our Homes or 10% Cap: | \$900,130 | | |
| Assessed: | \$4,478,870 | | |
| Exemption(s): | \$0 | | |
| Taxable: | \$4,478,870 | | |

Current Year Special Assessment Breakdown

| Start Year | AssessCode | Units | Description | Amount |
|------------|------------|-------|-------------------------------|-------------|
| 1999 | 0041 | 395.4 | Fort Pierce Stormwater Charge | \$27,282.60 |

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

| Year | Just/Market | Assessed | Exemptions | Taxable |
|------|-------------|-------------|------------|-------------|
| 2022 | \$5,379,000 | \$4,478,870 | \$0 | \$4,478,870 |
| 2021 | \$4,071,700 | \$4,071,700 | \$0 | \$4,071,700 |
| 2020 | \$3,908,800 | \$3,908,800 | \$0 | \$3,908,800 |

Permits

| Number | Issue Date | Description | Amount | Fee |
|-------------|--------------|---|-----------|-----------|
| 200481 | Dec 7, 2004 | Property Off'04 Fire List St Lucie Co Fire Dept | \$10,000 | \$0 |
| F00-000047 | Mar 1, 2000 | Alterations/Remodeling | \$150,000 | \$0 |
| F00-000086 | Mar 1, 2000 | Alterations/Remodeling | \$120,000 | \$0 |
| F00-000086 | Mar 1, 2000 | Heat and Air Conditioning | \$0 | \$0 |
| F00-0001086 | Sep 29, 2000 | Alterations/Remodeling | \$20,000 | \$0 |
| F00-0001198 | Oct 5, 2000 | Heat and Air Conditioning | \$0 | \$0 |
| F00-000145 | Feb 3, 2000 | Demolition | \$10,000 | \$0 |
| F00-00045 | Feb 4, 2000 | Alterations/Remodeling | \$20,000 | \$0 |
| F00-00047A | Mar 1, 2000 | Heat and Air Conditioning | \$0 | \$0 |
| F00-000932 | Aug 2, 2000 | Roof | \$48,000 | \$0 |
| F01-000752 | Jun 5, 2001 | Heat and Air Conditioning | \$0 | \$0 |
| F01-000888 | Jun 27, 2001 | Heat and Air Conditioning | \$12,000 | \$0 |
| F89000677D | Jul 1, 1989 | Demolition | \$800 | \$800 |
| F89000992D | Sep 1, 1989 | Demolition | \$100 | \$100 |
| F89000854A | Oct 1, 1989 | Alterations/Remodeling | \$60,000 | \$60,000 |
| F89000992A | Oct 1, 1989 | Alterations/Remodeling | \$5,000 | \$5,000 |
| F89001337I | Jan 1, 1990 | Alterations/Remodeling | \$7,000 | \$7,000 |
| F90000422H | Apr 1, 1990 | Heat and Air Conditioning | \$3,100 | \$3,100 |
| F900001147 | Oct 10, 1990 | Commercial New Construction | \$700,000 | \$700,000 |
| F90001147A | Nov 27, 1990 | Sprinkler System | \$37,000 | \$37,000 |

| | | | | |
|------------|--------------|------------------------------------|-----------|-----------|
| F910001147 | Feb 13, 1991 | Roof | \$35,000 | \$35,000 |
| F91-001404 | Oct 28, 1991 | Heat and Air Conditioning | \$1,600 | \$1,600 |
| F920000118 | Jan 31, 1992 | Demolition | \$100 | \$100 |
| F92-000907 | Jul 27, 1992 | Alterations/Remodeling | \$4,000 | \$4,000 |
| F92-01326A | Dec 7, 1992 | Alterations/Remodeling | \$50,000 | \$50,000 |
| F92-001326 | Dec 10, 1992 | Heat and Air Conditioning | \$1,375 | \$1,375 |
| F93-001326 | Jan 6, 1993 | Sprinkler System | \$2,480 | \$2,480 |
| F94-000686 | May 27, 1994 | Roof | \$1,500 | \$1,500 |
| F94-001040 | Aug 29, 1994 | Alterations/Remodeling | \$4,400 | \$4,400 |
| F94-1087 | Sep 8, 1994 | Roof | \$29,000 | \$29,000 |
| F94-1428 | Dec 12, 1994 | Alterations/Remodeling | \$5,500 | \$5,500 |
| F95-000409 | Apr 12, 1995 | Roof | \$104,820 | \$104,820 |
| F95-001202 | Nov 1, 1995 | Alterations/Remodeling | \$15,000 | \$15,000 |
| F96-000225 | Mar 8, 1996 | Demolition | \$100 | \$100 |
| F96-000908 | Aug 12, 1996 | Heat and Air Conditioning | \$54,000 | \$54,000 |
| F96-000923 | Aug 19, 1996 | Alterations/Remodeling | \$45,000 | \$45,000 |
| F96-000814 | Aug 5, 1997 | Alterations/Remodeling | \$15,000 | \$15,000 |
| F96-000821 | Aug 12, 1997 | Alterations/Remodeling | \$35,000 | \$35,000 |
| F97-001370 | Dec 23, 1997 | Additions to existing construction | \$3,200 | \$3,200 |
| F98-000092 | Jan 23, 1998 | Heat and Air Conditioning | \$0 | \$0 |
| F98-000148 | Mar 17, 1998 | Alterations/Remodeling | \$10,000 | \$10,000 |
| F99-000030 | Jan 19, 1999 | Roof | \$12,056 | \$12,056 |
| F99-000744 | Jun 7, 1999 | Alterations/Remodeling | \$20,000 | \$20,000 |
| F99-001140 | Sep 23, 1999 | Shed | \$1,000 | \$1,000 |
| f00-000932 | Aug 2, 2000 | Roof | \$48,000 | \$0 |
| F01-1644 | Jan 30, 2002 | Unknown | \$3,500 | \$160 |
| F01-1644 | Jan 8, 2002 | Alterations/Remodeling | \$6,500 | \$190 |
| CA2002-3 | Aug 27, 2002 | Alterations/Remodeling | \$0 | \$325 |
| PV2002-3 | Sep 17, 2002 | Paving | \$5,000 | \$175 |
| MC2002-139 | Jan 6, 2003 | Alterations/Remodeling | \$13,600 | \$261 |
| MC2004326 | Oct 28, 2004 | Air Conditioning Only | \$4,800 | \$75 |
| RF20041059 | Oct 27, 2004 | Roof | \$450,000 | \$0 |
| PV20046 | Aug 12, 2004 | Paving | \$30,000 | \$475 |
| CR200484 | Nov 17, 2004 | Alterations/Remodeling | \$200,000 | \$2,125 |
| RF20041059 | Nov 3, 2004 | Roof | \$450,000 | \$0 |
| IC20066 | Oct 13, 2006 | Alterations/Remodeling | \$15,000 | \$237 |
| DI200620 | Jan 17, 2007 | Demolition | \$5,000 | \$130 |
| MC20074 | Jan 16, 2007 | Air Conditioning Only | \$64,064 | \$825 |
| CR2006123 | Feb 16, 2007 | Alterations/Remodeling | \$25,000 | \$373 |
| MPCR200749 | Jan 1, 2007 | | \$0 | \$0 |
| MP1020069 | Jan 1, 2007 | | \$0 | \$0 |
| MPCR200749 | Jan 1, 2007 | Commercial New Construction | \$0 | \$0 |
| MPCR200749 | Jan 1, 2007 | | \$0 | \$0 |
| 0700000958 | Aug 13, 2007 | Storm Shutters | \$15,400 | \$164 |
| 0800000793 | Jun 5, 2008 | Demolition | \$0 | \$0 |
| 0800000987 | Jul 28, 2008 | Alterations/Remodeling | \$75,000 | \$924 |
| 0700001719 | Dec 27, 2007 | Roof | \$7,800 | \$153 |
| BP09-403 | Mar 25, 2009 | Alterations/Remodeling | \$2,300 | \$100 |
| BP09-2191 | Dec 7, 2009 | Paving | \$6,900 | \$75 |
| BP09-2083 | Nov 12, 2009 | Alterations/Remodeling | \$7,000 | \$250 |
| BP10-0483 | Apr 7, 2010 | Alterations/Remodeling | \$125,000 | \$1,300 |
| BP10-0303 | Jun 24, 2010 | Paving | \$7,500 | \$75 |
| BP10-1727 | Aug 3, 2010 | Air Conditioning Only | \$1,500 | \$150 |
| BP10-2633 | Nov 30, 2010 | Electric | \$800 | \$162 |
| BP10-2770 | Jan 4, 2011 | Alterations/Remodeling | \$800 | \$155 |
| BP11-2576 | Oct 18, 2011 | Electric | \$1,500 | \$162 |
| BP11-0166 | Feb 2, 2011 | Air Conditioning Only | \$3,900 | \$162 |
| BP11-1035 | Jun 2, 2011 | Air Conditioning Only | \$5,000 | \$155 |
| BP11-0916 | Jan 18, 2012 | Alterations/Remodeling | \$8,738 | \$176 |
| BP11-2566 | Oct 17, 2011 | Air Conditioning Only | \$40,000 | \$562 |
| BP12-0242 | Feb 17, 2012 | Electric | \$863 | \$155 |
| BP12-1817 | Oct 30, 2012 | Alterations/Remodeling | \$16,000 | \$4,354 |
| BP12-1691 | Sep 19, 2012 | Air Conditioning Only | \$2,400 | \$162 |
| BP13-0004 | Jan 2, 2013 | Electric | \$863 | \$155 |
| BP13-1617 | Apr 23, 2013 | Electric | \$20,000 | \$299 |
| BP13-2010 | Jun 7, 2013 | Plumbing | \$2,500 | \$170 |
| BP13-3167 | Oct 25, 2013 | Electric | \$450 | \$75 |
| BP13-2839 | Nov 18, 2013 | Demolition | \$1,900 | \$525 |
| BP14-0478 | Apr 11, 2014 | Alterations/Remodeling | \$15,000 | \$166 |
| BP14-1204 | Jun 2, 2014 | Sprinkler System | \$350 | \$83 |
| BP15-2772 | Oct 9, 2015 | Air Conditioning Only | \$3,400 | \$155 |
| BP16-1200 | May 23, 2016 | Additions to existing construction | \$190,002 | \$0 |
| BP16-2265 | Aug 15, 2016 | Air Conditioning Only | \$17,000 | \$0 |
| BP16-1365 | May 12, 2016 | Plumbing | \$1,500 | \$0 |
| BP17-1197 | Jul 28, 2017 | Site Work | \$65,000 | \$0 |
| BP18-3637 | Oct 24, 2018 | Electric | \$1,000 | \$0 |
| BP19-0911 | Aug 27, 2019 | Roof | \$464,500 | \$0 |

| | | | | |
|------------|--------------|-----------------------------|-----------|-----|
| BP19-2177 | Aug 27, 2019 | | \$647,486 | \$0 |
| BP19-3749 | Nov 12, 2019 | Roof | \$13,250 | \$0 |
| BP20-0790 | Mar 13, 2020 | Demolition | \$20,000 | \$0 |
| BP20-1829 | Jun 22, 2020 | | \$97,500 | \$0 |
| BP20-1744 | Jun 17, 2020 | Air Conditioning Only | \$6,435 | \$0 |
| BP19-1516 | Dec 28, 2020 | Commercial New Construction | \$900,000 | \$0 |
| BP19-3159 | Dec 28, 2020 | Site Work | \$240,000 | \$0 |
| BP20-3820 | Dec 4, 2020 | Demolition | \$16,000 | \$0 |
| BP19-1518 | Dec 28, 2020 | Fence | \$25,400 | \$0 |
| BP21-2173 | May 17, 2021 | Shed | \$2,700 | \$0 |
| BP21-1968 | Apr 2, 2021 | Fence | \$3,500 | \$0 |
| BP21-1959 | Sep 17, 2021 | | \$12,000 | \$0 |
| BP21-00400 | Feb 5, 2021 | Electric | \$2,000 | \$0 |
| BP19-1518 | Nov 23, 2021 | Fence | \$25,400 | \$0 |
| BP21-2173 | Nov 22, 2021 | Shed | \$27,000 | \$0 |
| BP21-5371 | Dec 20, 2021 | Repairs | \$1,710 | \$0 |
| BP21-5860 | Jan 11, 2022 | Electric | \$2,200 | \$0 |
| BP21-5843 | Jan 4, 2022 | Electric | \$0 | \$0 |
| BP22-1510 | Sep 17, 2021 | Air Conditioning Only | \$6,041 | \$0 |
| BP22-4671 | Sep 17, 2021 | Air Conditioning Only | \$6,820 | \$0 |
| BP22-1510 | Mar 11, 2021 | Air Conditioning Only | \$6,041 | \$0 |
| BP21-4164 | Aug 13, 2021 | Electric | \$900 | \$0 |
| BP21-2688 | Jun 3, 2021 | Electric | \$10,000 | \$0 |
| BP21-3230 | Jun 7, 2021 | Electric | \$22,854 | \$0 |
| BP21-3406 | Jun 11, 2021 | Electric | \$0 | \$0 |
| BP21-2283 | Apr 21, 2021 | Electric | \$2,500 | \$0 |
| BP21-2507 | Apr 23, 2021 | Plumbing | \$12,000 | \$0 |
| BP23-0612 | Feb 24, 2023 | Electric | \$625 | \$0 |
| BP23-0614 | Feb 24, 2023 | Electric | \$0 | \$0 |
| BP23-0612 | Apr 6, 2023 | Electric | \$1,562 | \$0 |
| BP23-0614 | Apr 6, 2023 | Electric | \$1,562 | \$0 |

Notice: This does not necessarily represent all the permits for this property.

[Click the following link to check for additional permit data in Fort Pierce](#)

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.

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This instrument prepared by:
Michael E. Parry, Esq.
Kimco Realty Corporation
3333 New Hyde Park Road
New Hyde Park, NY 11042

~~Record and Return to:~~
Bart Mellits, Esq.
Ballard Spahr Andrews & Ingersoll
1735 Market Street, 51st Floor
Philadelphia PA 19103

[For Recorder's Use Only]

SPECIAL WARRANTY DEED

THIS INDENTURE is made as of this 19th day of December, 2005, between **KIMCO UNIVERSITY COMPANY, LTD.**, a Florida limited partnership ("Grantor") whose address is 3333 New Hyde Park Road, New Hyde Park, New York 11042, and **MORRIS/SATNICK FORT PIERCE ASSOCIATES, LLC**, a Delaware limited liability company ("Grantee"), whose address is 350 Veterans Boulevard, Rutherford, New Jersey 07070.

WITNESSETH, Grantor for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration to it in hand paid by Grantee, the receipt of which is hereby acknowledged, has granted, bargained and sold to Grantee, Grantee's, successors and assigns, forever, that certain property lying and being in St. Lucie County, Florida, more particularly described on Exhibit "A" attached hereto and made a part hereof.

Subject only to those matters set forth on Exhibit "B" attached hereto and made a part hereof.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same unto Grantee in fee simple.

Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

RETURN TO: 0-050757-L (MP)
LandAmerica - Commercial Services
1001 N. Lake Destiny Road Ste 250
Maitland, FL 32751

EXHIBIT A

ALL THAT CERTAIN PARCEL OF LAND located in the City of Fort Pierce, St. Lucie County, Florida, as shown on an ALTA/ACSM Land Title Survey prepared for The Morris Companies by CPH Engineers/Surveyors dated October 6, 2005, as last revised December 7, 2005, more fully bounded and described as follows:

Parcel 3:

The East 876.9 feet of the South $\frac{1}{2}$ of the SW $\frac{1}{4}$, lying West of U.S. No.1 Highway, Section 15, Township 35 South, Range 40 East, St. Lucie County, Florida, LESS: Begin at the intersection of the North right-of-way of Virginia Avenue and the West right-of-way of U.S. No.1 Highway, North 710 feet; West 175 feet; South 175 feet; West 326.9 feet; South 50 feet; West 175 feet; North 100 feet; West 200 feet; South 585 feet; East 876.9 feet to the Point of Beginning. ALSO LESS: Southerly 130 feet for road and canal right-of-way. ALSO LESS: North 150 feet of the South 1222.46 feet of the East 175 feet.

AND

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and the South line of the Southwest $\frac{1}{4}$ of Section 15, Township 35 South, Range 40 East in the City of Fort Pierce, St. Lucie County, Florida, run North $00^{\circ}03'34''$ East along that right-of-way of South Fourth Street, 1323.18 feet to the North line of the South $\frac{1}{2}$ of the Southwest $\frac{1}{4}$ of said Section 15, and the POINT OF BEGINNING; thence continue North $00^{\circ}03'34''$ East, 335 feet; thence run North $89^{\circ}39'26''$ West, 566.9 feet; thence run South $01^{\circ}10'39''$ West, 186.33 feet; thence run South $24^{\circ}58'42''$ West, 136.59 feet to the North line of the South $\frac{1}{2}$ of the Southwest $\frac{1}{4}$; thence run South $89^{\circ}39'26''$ East 626.80 feet to the POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THE FOLLOWING PARCEL:

Commencing at the intersection of the West right-of-way line of South Fourth Street (U.S. Highway No. 1) and of the South line of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 15, Township 35 South, Range 40 East, in the City of Fort Pierce, St. Lucie County, Florida, run North $00^{\circ}03'34''$ East along the West right-of-way line of South Fourth Street, 1336.18 feet to the POINT OF BEGINNING; thence run North $89^{\circ}39'26''$ West, 175 feet; thence run North $00^{\circ}03'34''$ East, 185 feet; thence run South $89^{\circ}39'26''$ East, 175 feet; thence South $00^{\circ}03'34''$ West, 185 feet to the POINT OF BEGINNING.

LESS AND EXCEPT PARCELS CONVEYED by Warranty Deed to William D. Carlton, in Official Records Book 207, page 592; by Warranty Deed to E.J. Roschman, in Official Records Book 199, page 481; by Quit Claim Deed to James F. Grimes and Susan Grimes, his wife, in Official Records Book 517, page 1232; and by Warranty Deed to Walgreen Co., an Illinois corporation, in Official Records Book 452, page 2789, all of the Public Records of St. Lucie County, Florida.

EXHIBIT "B"

Subject to the Following Exceptions

EXHIBIT B

Easement to American Telephone and Telegraph Company, recorded in Deed Book 81, page 163 as defined and limited by document recorded in Deed Book 206, page 143.

Reservations of non-exclusive easement as set forth in deed recorded November 6, 1968 in Official Records Book 174, page 884 for the purposes described in said instrument.

Agreements, Restrictions, Easements and Encumbrances created by the "Easement Agreement" set forth hereinafter between KIMCO FORT PIERCE, INC., and Albert W. Johnson and Howard L. Gibson, doing business as Fort Pierce Investments, contained in and attached to Warranty Deed and Easement Agreement dated February 13, 1969, filed February 18, 1969, and recorded in Official Records Book 175, page 2498.

Agreement among KIMCO FORT PIERCE, INC., a Florida corporation, Standard Oil Company, a division of Chevron Oil Company, a California corporation, First Federal Savings and Loan Association of Fort Pierce, a corporation existing under the laws of the United States of America, and Fort Pierce Investments, a Florida limited partnership, dated February 24, 1970, filed May 26, 1970, and recorded in Official Records Book 184, page 2415 and Official Records Book 184, page 2423.

Easement from Albert W. Johnson, General Partner doing business as Fort Pierce Investments and Margaret Hayes Johnson, his wife, to the City of Fort Pierce, a Municipal corporation of the State of Florida, recorded April 30, 1971 in Official Records Book 192, page 365 and Official Records Book 192, page 368.

Lease by and between Equity Associates, Ltd., a Limited Partnership and S.S. Kresge Company, a Michigan corporation as evidenced by Memorandum of Lease dated March 12, 1976 and recorded November 4, 1976 in Official Records Book 259, page 1889 and First Amendment to Lease dated August 30, 1976 and recorded November 4, 1976 in Official Records Book 259, page 1895 and Ratification thereof dated January 10, 1977 and recorded March 24, 1977 in Official Records Book 265, page 1781.

Short Form Lease by and between Kimco University Co., Ltd., a Florida limited partnership and Family Dollar Stores of Florida, Inc., a Florida corporation, recorded in Official Records Book 1305, page 1543.

Easement Agreement by and between Kimco University Company, Ltd., a Florida limited partnership and Kimco Ft. Pierce 147, Inc., a Florida corporation and Fast Food Enterprises #2, a Florida general partnership, recorded in Official Records Book 2221, page 1466.

Short Form Lease by and between Kimco Ft. Pierce, Inc. and Winn-Dixie Stores, Inc. as recorded in Official Records Book 365, page 1719; Second Amendment to Short Form Lease as recorded in Official Records Book 718, page 2408 and Memorandum of Lease by and between

Winn-Dixie Stores, Inc. and CIBC National Bank as recorded in Official Records Book 1366, page 340.

Utility Easement in favor of the City of Fort Pierce as recorded in Official Records Book 177, page 136.

Easement in favor of City of Ft. Pierce as recorded in Official Records Book 180, page 2372.

Agreement by and between Kimco Ft. Pierce Inc. and William D. Carlton as recorded in Official Records Book 207, page 594.

Agreement by and between Kimco Ft. Pierce Inc. and William D. Carlton as recorded in Official Records Book 215, page 2573.

Easement in favor of Fort Pierce Utilities Authority of the City of Fort Pierce as recorded in Official Records Book 381, page 423.

Reciprocal Agreement by and between Kimco University Company, Ltd. and The Kimco Corporation as recorded in Official Records Book 412, page 1612.

Easement in favor of Fort Pierce Utilities Authority of the City of Fort Pierce as recorded in Official Records Book 422, page 1347.

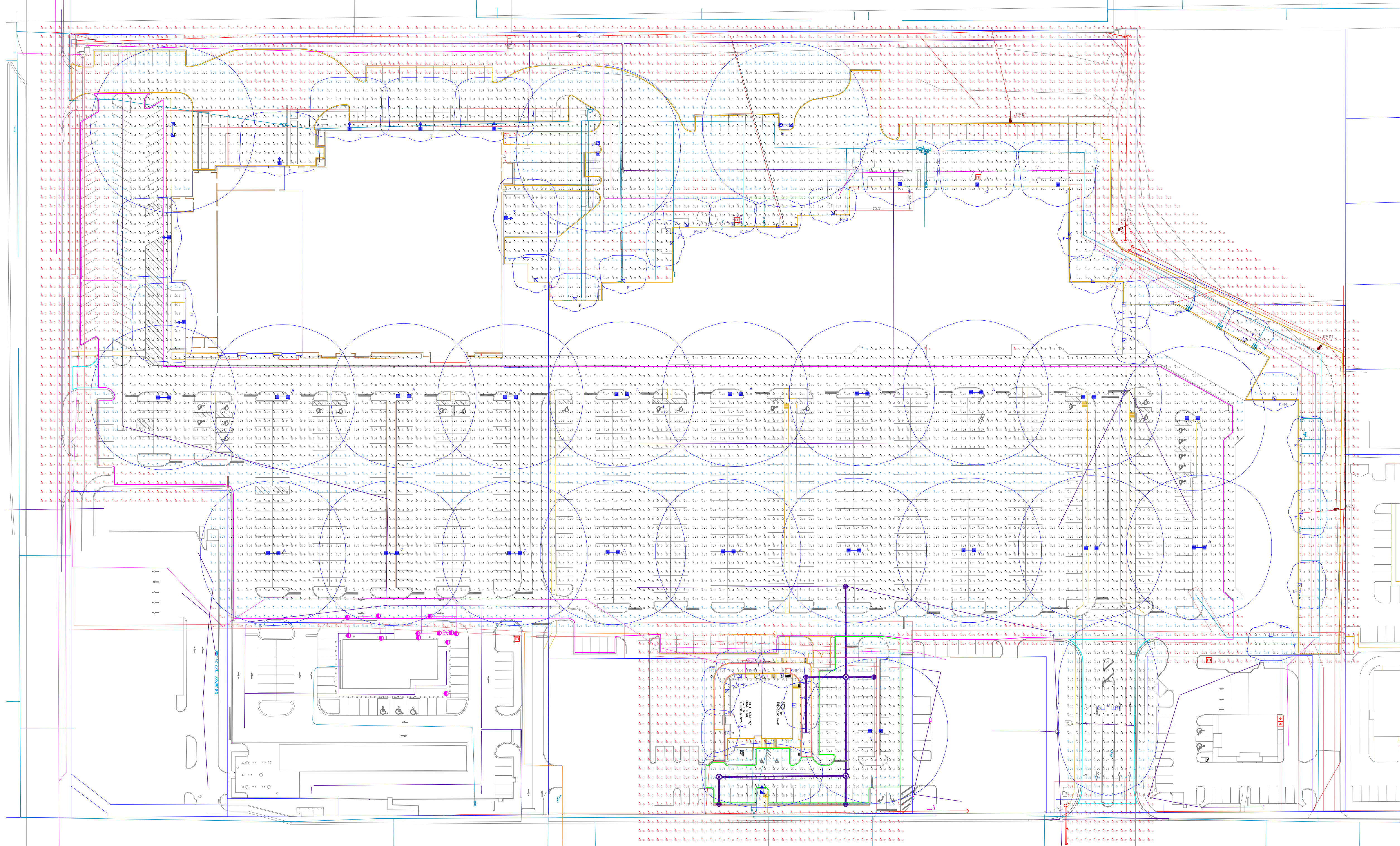
Storm Sewer Easement between Kimco University Company, Ltd. and Walgreen Co. as recorded in Official Records Book 452, page 2795.

Sanitary Sewer Agreement between Kimco University Company, Ltd. and Walgreen Co. as recorded in Official Records Book 452, page 2802.

Declaration of Easements and Covenants by Kimco University Company, Ltd. and Walgreen Co. as recorded in Official Records Book 452, page 2808.

Easement Agreement by and between Kimco University Co. Ltd. and Volume Shoe Corporation as recorded in Official Records Book 748, page 1224.

| REVISIONS | | | | | |
|-----------|---------|------|---|---------|------|
| REV # | DATE | BY: | | | |
| 1 | 6/29/22 | J.P. | 2 | 6/27/22 | J.P. |
| | | | 3 | 6/29/22 | J.P. |
| | | | 4 | 7/18/23 | TO |
| | | | 5 | 7/21/23 | J.P. |



PROPOSED LIGHT LEVELS

| Calculation Summary | | | | | | | | | | |
|---------------------|-------|------|------|-----|---------|---------|--------|--------|--|--|
| Label | Units | Avg | Max | Min | Avg/Min | Max/Min | PtSpLr | PtSpTb | | |
| ENTRANCE DRIVES | Fc | 3.10 | 6.9 | 0.5 | 6.20 | 13.80 | 10 | 10 | | |
| MAIN PARKING | Fc | 2.44 | 6.6 | 0.2 | 12.20 | 33.00 | | | | |
| OUTLOT DRIVE THRU | Fc | 3.37 | 5.3 | 0.9 | 3.74 | 5.89 | | | | |
| OUTLOT PARKING | Fc | 2.06 | 3.5 | 0.9 | 2.29 | 3.89 | | | | |
| REAR | Fc | 2.13 | 10.3 | 0.0 | N.A. | N.A. | | | | |

| Luminaire Schedule | | | | | | | | | |
|--------------------|-----|-------|-------------|-------|--|------------|--|--|--|
| Symbol | Qty | Label | Lum. Lumens | LLF | Description | Lum. Watts | | | |
| | 20 | A | 29721 | 0.980 | WLS-A-L-B-30L-40K7-5N-SLW 35' MOUNTING HEIGHT | 202 | | | |
| | 1 | B | 22498 | 0.980 | WLS-A-L-B-30L-40K7-3M-BLSLF-SLW 35' MOUNTING HEIGHT | 202 | | | |
| | 1 | C | 32795 | 0.980 | WLS-A-L-B-30L-40K7-2M-SLW 35' MOUNTING HEIGHT | 202 | | | |
| | 3 | D | 42762 | 0.980 | WLS-A-X-B-40L-40K7-5N-SLW 35' MOUNTING HEIGHT | 301 | | | |
| | 7 | E | 23654 | 0.980 | WLS-A-L-B-30L-40K7-4M-BLSLF-WM-SLW 22' MOUNTING HEIGHT | 202 | | | |
| | 4 | F | 6328 | 0.950 | WLS-NV-W-T4-16L-1-40K-SLW 12' MOUNTING HEIGHT | 56 | | | |
| | 20 | F-N | 6328 | 0.950 | WLS-NV-W-T4-16L-1-40K-SLW 12' MOUNTING HEIGHT | 56 | | | |
| | 3 | G | 22951 | 0.950 | WLS-NV-W2-T4-64L-1-40K7-SLW 18' MOUNTING HEIGHT | 205 | | | |
| | 4 | NAP1 | 22100 | 0.100 | UTILITY 25' MOUNTING HEIGHT | 1 | | | |

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

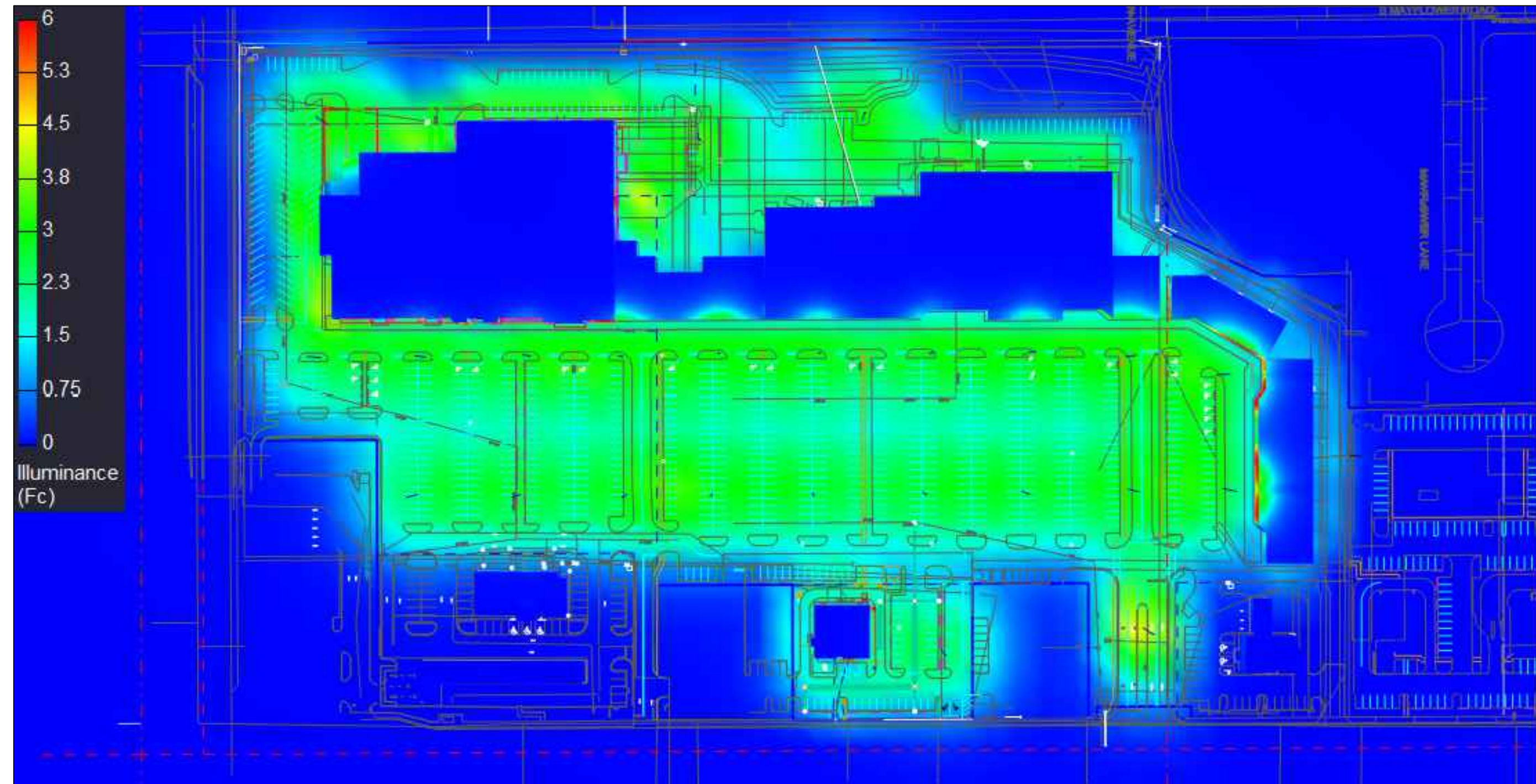
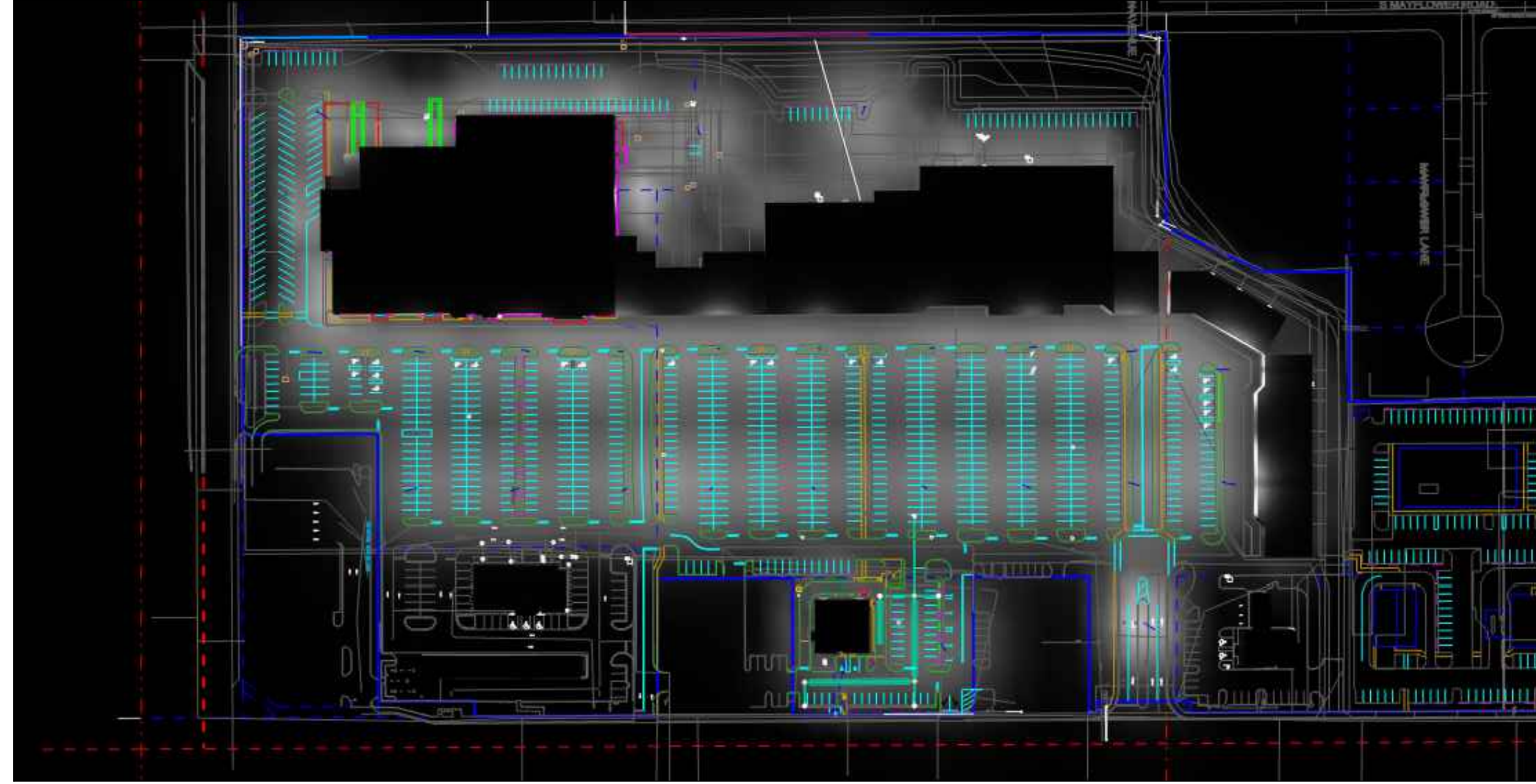
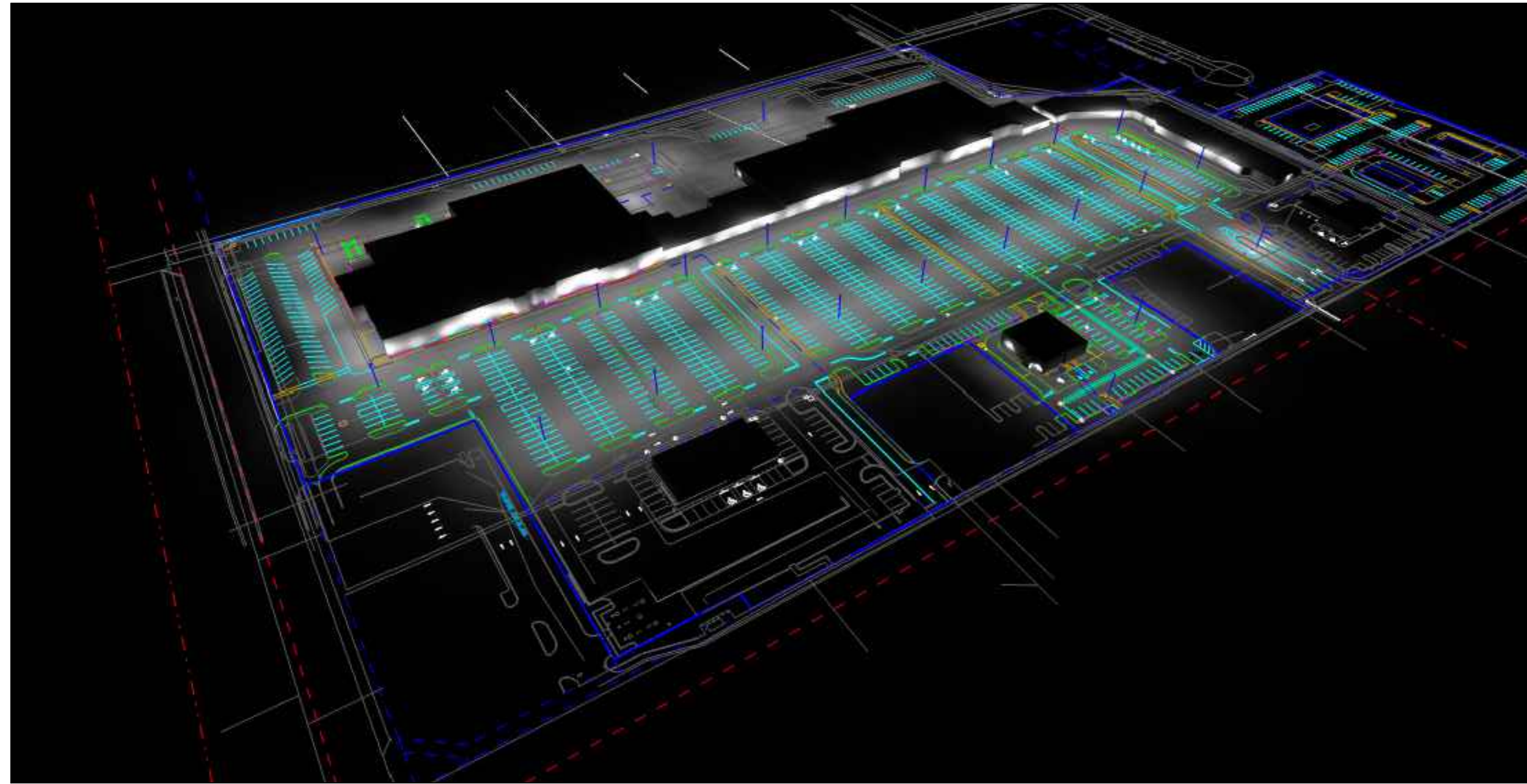
WLS LIGHTING
a WLS company

6820 CORPORATION PKWY
FORT WORTH, TX 76126
WWW.WSLIGHTING.COM

**GATEWAY PLAZA
FORT PIERCE, FL**

REVISIONS

| REV # | DATE | BY: |
|-------|---------|------|
| 1 | 6/29/22 | J.P. |
| 2 | 6/27/22 | J.P. |
| 3 | 6/29/22 | J.P. |
| 4 | 7/18/23 | TO |
| 5 | 7/21/23 | J.P. |



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**GATEWAY PLAZA
FORT PIERCE, FL**

WLS LIGHTING
a WLS company

6820 CORPORATION PKWY
FORT WORTH, TX 76126
WWW.WSLIGHTING.COM

WLS-17064A

DATE -6/24/22

SCALE: NTS

817-731-0020

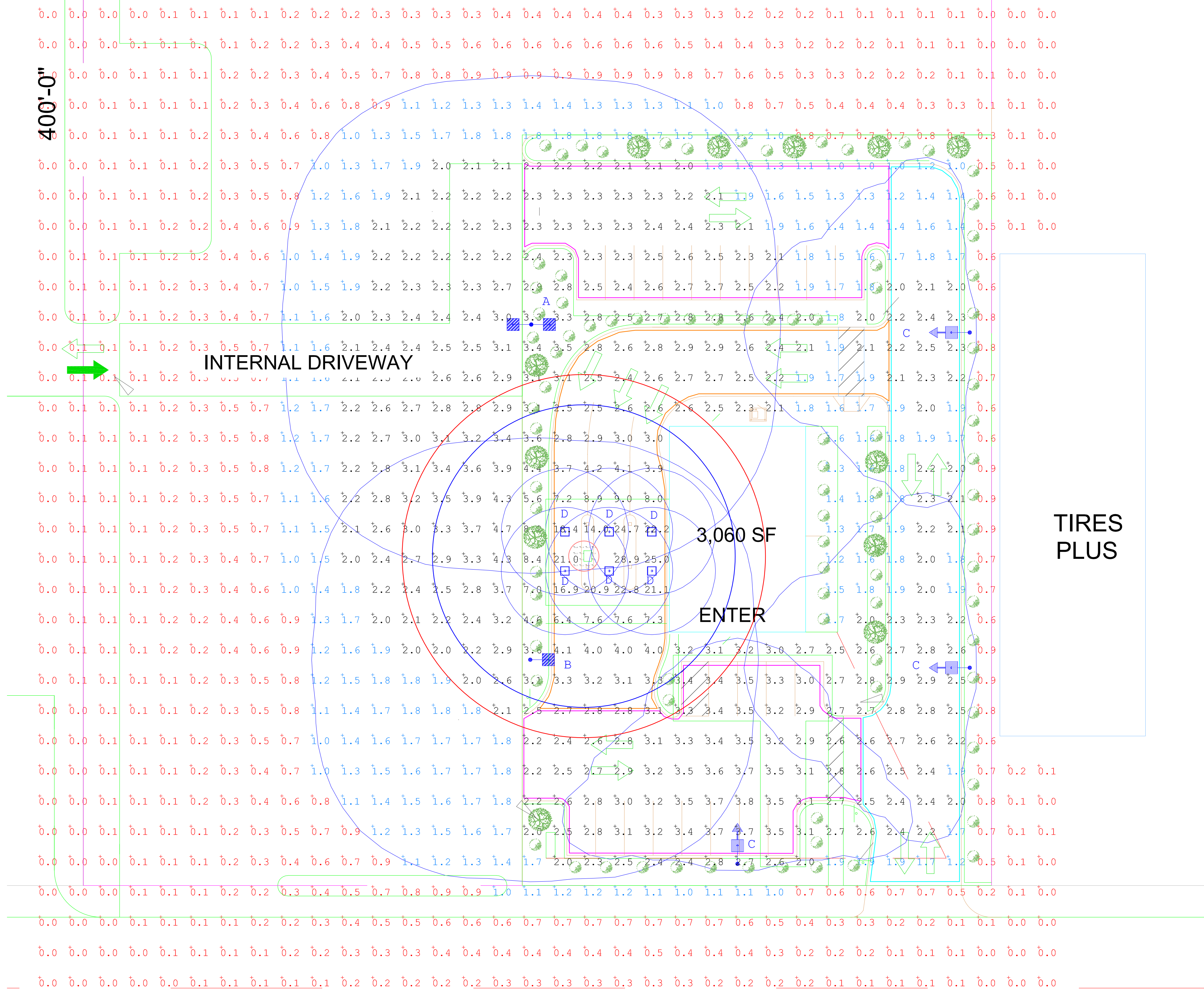
PM:KEN

BY: J.P.

SHEET 2 OF 2

REVISIONS

| REV # | DATE | BY: |
|-------|------|-----|
| | | |



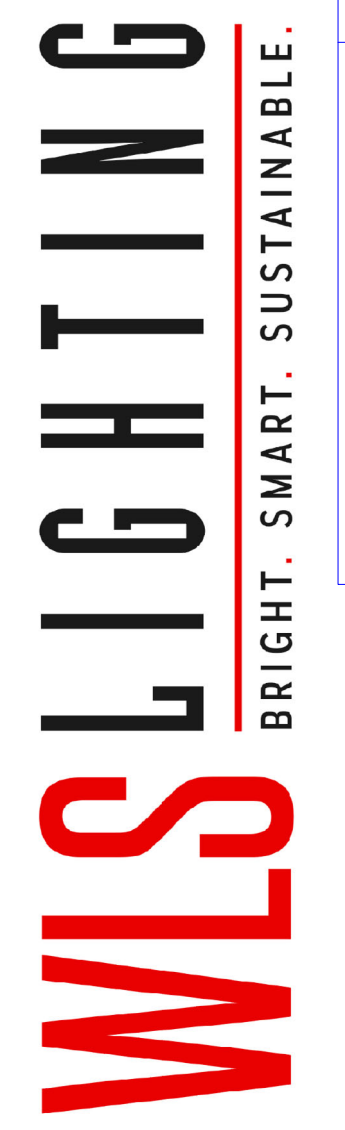
| Label | Units | Avg | Max | Min | Avg/Min | Max/Min | PtSpcLr | PtSpcTb |
|----------------|-------|-------|------|------|---------|---------|---------|---------|
| DRIVE | Fc | 2.14 | 2.9 | 1.2 | 1.78 | 2.42 | 10 | 10 |
| DRIVE THRU | Fc | 8.92 | 28.9 | 1.7 | 5.25 | 17.00 | | |
| PARKING | Fc | 2.61 | 3.8 | 1.2 | 2.18 | 3.17 | | |
| 5' ATM RADIUS | Fc | 18.82 | 22.9 | 10.0 | 1.88 | 2.29 | 2 | 2 |
| 50' ATM RADIUS | Fc | 9.56 | 28.9 | 2.2 | 4.35 | 13.14 | | |
| 60' ATM RADIUS | Fc | 7.75 | 28.9 | 2.0 | 3.88 | 14.45 | | |

| Symbol | Qty | Label | Lum. Lumens | LLF | Description | Lum. Watts |
|--------|-----|-------|-------------|-------|---|------------|
| | 1 | A | 31523 | 0.950 | WLS-C2-216-4K7-5QW-SLW 35' MOUNTING HEIGHT | 216 |
| | 1 | B | 45496 | 0.950 | WLS-C2-312-4K7-5QW-SLW 35' MOUNTING HEIGHT | 312 |
| | 3 | C | 17140 | 0.950 | WLS-CS2-141-4K7-4F-BC-SLW 35' MOUNTING HEIGHT | 143 |
| | 6 | D | 7676 | 0.950 | WLS-C-CP-B-BRQ-S7L-SCCT-40K-SLW 13' MOUNTING HEIGHT | 57.55 |

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FORT PIERCE, FL