



RECEIVED

MAR 04 2024

CITY OF FORT PIERCE  
 PLANNING & ZONING

**VARIANCE**

**Property Information**

Property address or Location

205 S 29TH ST FORT PIERCE FL 34947

Parcel ID #(s)

2408-802-0019-000-6

Actual permit DPCR# 24-20000133

Project description

Two Gate entrance 6'ft and 6'ft fence

Reason for request

Security for my childrens and property

Existing Use: residential

Date Property was Purchased: 10/23/2018

Alterations made to the site since purchase: add a driveway and pavers driveway on the front house, metal roof, stucco wall, impact windows w doors, solar panels.

Has a request for this variance been denied in the past?  Yes  No

If yes, what changed since the denial? \_\_\_\_\_

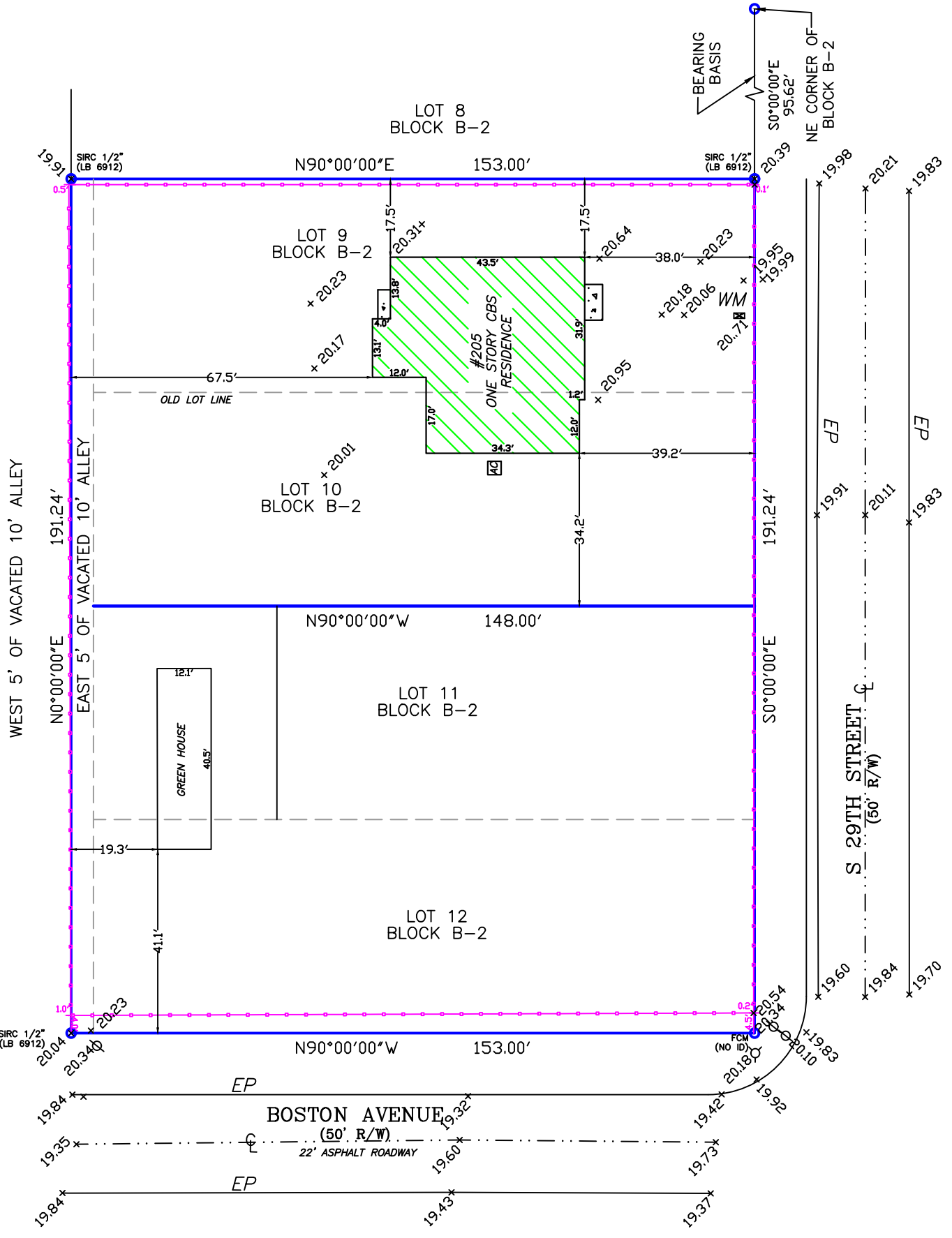
NANCY ESTRADA AVILA  
 Property Owner(s)  
205 S 29TH ST  
 Street Address  
FORT PIERCE FL 34947  
 City State Zip  
(772)828-5997  
 Phone Number  
NATYCNAN@GMAIL.COM  
 Email Address

\_\_\_\_\_  
 Applicant/Representative, Title, Company  
 \_\_\_\_\_  
 Street Address  
 \_\_\_\_\_  
 City State Zip  
 \_\_\_\_\_  
 Phone Number  
 \_\_\_\_\_  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.*

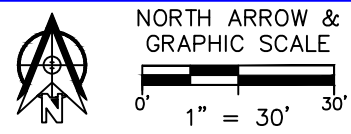
Property Owner(s) Signature(s)

**APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS**  
 CALL 772.467.3737 OR E-MAIL PLANNING [DL@CITYOFFORTPIERCE.COM](mailto:DL@CITYOFFORTPIERCE.COM)  
 For more information, please refer to the website:  
<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev1>



**NOTES:**  
 ALL BEARINGS AND DISTANCES SHOWN ARE RECORD AND MEASURED, UNLESS OTHERWISE SHOWN.  
 P.U.&D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT.  
 BEARINGS ARE BASED UPON THE RECORD BEARING FOR THE WESTERLY RIGHT OF WAY LINE OF S 29TH STREET.

**ELEVATION NOTES:**  
 ALL ELEVATIONS SHOWN ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD'88).  
 PROPOSED FINISHED FLOOR ELEVATION IS SUBJECT TO CHANGE PER HEALTH DEPARTMENT.



PERMIT NUMBER AND CONTACT  
 N/A

EXISTING ELEVATION =  $\times$  20.00 PROPOSED ELEVATION =  $\backslash$  20.00 DRAINAGE ARROW =  $\sim$

JOB # - 2202-384	REVISION -
FIELD DATE - 03/08/2022	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -
FLORIDA BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER LB 6912	

**KNOW IT NOW, INC.**  
 PROFESSIONAL SURVEYING AND MAPPING  
 5220 US HIGHWAY 1, #104  
 VERO BEACH, FL 32967  
 PHONE - (888) 396-7770  
 WWW.KINSURVEYORS.COM

**LEGAL DESCRIPTION:**

LOTS 9 AND 10, BLOCK 2, AND THE EAST 5 FEET OF VACATED ALLEY ADJACENT ON THE WEST, ORANGE PLACE SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE(S) 9, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

**JOB NUMBER:** 2202-384

**FIELD WORK DATE:** 03/08/2022

**PROPERTY ADDRESS:**  
205 SOUTH 29TH STREET, FORT PIERCE, FL 34947

**FLOOD INFORMATION:**  
PANEL NUMBER: 12111C0178J  
FIRM DATE: FEBRUARY 16, 2012  
FLOOD ZONE: X  
BASE FLOOD ELEVATION: NA  
COMMUNITY NAME: FORT PIERCE, CITY OF  
COMMUNITY NUMBER: 120286

**AERIAL PHOTOGRAPH**



**SURVEYOR'S LEGEND**

A/C = AIR CONDITIONING  
BB = BEARING BASIS  
BFP = BACKFLOW PREVENTER  
BLDG = BUILDING  
BLK = BLOCK  
BM = BENCHMARK  
C = CURVE  
CATV = CABLE T.V. RISER  
CB = CATCH BASIN  
CL = CENTERLINE  
CLF = CHAIN LINK FENCE  
CLP = CONCRETE LIGHT POLE  
CONC = CONCRETE  
CP = CONTROL POINT  
CPP = CONCRETE POWER POLE  
D = DEED  
DF = DRAINFIELD  
ELEV = ELEVATION  
EM = ELECTRIC METER  
EOW = EDGE OF WATER  
EP = EDGE OF PAVEMENT  
F = FIELD  
FCM = FOUND CONCRETE MONUMENT  
FDH = FOUND DRILL HOLE

FFE = FINISHED FLOOR ELEVATION  
FIP = FOUND IRON PIPE  
FIPC = FOUND IRON PIPE AND CAP  
FIR = FOUND IRON ROD  
FIRC = FOUND IRON ROD AND CAP  
FN = FOUND NAIL  
FN&D = FOUND NAIL AND DISC  
FND = FOUND  
FPK = FOUND PK NAIL  
FPKD = FOUND PK NAIL AND DISC  
FRRSPK = FOUND RAILROAD SPIKE  
GAR = GARAGE  
HYD = FIRE HYDRANT  
ID = IDENTIFICATION  
L = LENGTH  
LB # = LICENSED BUSINESS  
LS # = LICENSED SURVEYOR  
M = MEASURED  
MB = MAP BOOK  
MES = MITERED END SECTION  
MH = MANHOLE  
MLP = METAL LIGHT POLE  
OHW = OVERHEAD WIRES  
P = PLAT  
PB = PLAT BOOK  
PC = POINT OF CURVATURE

PCC = POINT OF COMPOUND CURVATURE  
PCP = PERMANENT CONTROL POINT  
POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
PP = POOL PUMP  
PRC = POINT OF REVERSE CURVATURE  
PRM = PERMANENT REFERENCE MONUMENT  
PT = POINT OF TANGENCY  
R = RADIUS  
RNG = RANGE  
R/W = RIGHT OF WAY  
S = SEPTIC  
SEC = SECTION  
SIR = SET IRON ROD AND CAP  
SPKD = SET PK NAIL AND DISC  
SV = SEWER VALVE  
TBM = TEMPORARY BENCHMARK  
TOB = TOP OF BANK  
TWP = TOWNSHIP  
TR = TELEPHONE RISER  
TYP = TYPICAL  
WIT = WITNESS  
WLP = WOOD LIGHT POLE  
WM = WATER METER  
WPP = WOOD POWER POLE  
WV = WATER VALVE

**LINETYPES**

— = BOUNDARY LINE  
— = STRUCTURE LINE  
- · - · - · - = CENTERLINE  
- - - - - = EASEMENT LINE  
- o - o - o - = FENCE LINE  
- - - - - = OLD LOT LINE

**SYMBOLS**

⊙ = FIRE HYDRANT  
⊗ = WATER METER  
⊘ = POWER POLE  
⊕ = GAS SERVICE  
⊙ = LIGHT POLE  
⊗ = WELL  
⊕ = BENCHMARK  
▣ = CATCH BASIN  
⊙ = SANITARY MANHOLE  
⊕ = CABLE T.V. SERVICE  
⊙ = ELECTRIC SERVICE  
⊕ = TELEPHONE SERVICE  
⊙ = DRAINAGE MANHOLE  
⊕ = SANITARY SERVICE

**SURVEYOR'S NOTES**


- UNDERGROUND UTILITIES, BUILDING FOUNDATIONS, AND OTHER UNDERGROUND FIXED IMPROVEMENTS WERE NOT LOCATED, UNLESS OTHERWISE INDICATED. TO THE EXTENT THAT THIS TYPE OF INFORMATION IS SHOWN, IT IS SHOWN SOLELY ON THE BASIS OF SURFACE INDICATIONS OBSERVED BY THE SURVEYOR AND MAY NOT BE COMPLETE.
- JURISDICTIONAL WETLANDS AND ENDANGERED OR THREATENED SPECIES HABITAT, IF ANY, THAT MAY EXIST ON OR AROUND THE SURVEY SITE WERE NOT DETERMINED OR LOCATED.
- THE SURVEY DATE IS THE FIELD DATE SHOWN IN THE TITLE BLOCK, NOT THE SIGNATURE DATE.
- THIS SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ELECTRONIC OR ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- FENCES SHOWN ON SURVEY ARE FOR ILLUSTRATIVE PURPOSES ONLY. FENCE TIES SHOWN ARE RELATIVE TO THE CENTER OF SAID FENCE. THE SURVEYOR WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL AND/OR CHANGES TO ANY FENCES UNLESS THE SURVEY WAS PROVIDED SPECIFICALLY FOR FENCE LOCATION PURPOSES.
- PROPERTY LINES AND OR IMPROVEMENTS SHOWN WERE PHYSICALLY LOCATED BY FIELD SURVEY.
- MONUMENTS FOUND OR SET ARE SHOWN, CALCULATED LINES AND INFORMATION IS NOTED BY (C).
- COMPUTATIONS OF LINES AND OR DATA NOT FOUND ARE SHOWN AS (C).
- THIS SURVEY MEETS AND/OR EXCEEDS THE ACCURACY REQUIREMENTS PER FLORIDA ADMINISTRATIVE CODE, CHAPTER 5J-17.
- PRIOR TO SURVEY INFORMATION OBTAINED WAS LEGAL DESCRIPTION FROM CLIENT OR FROM PUBLICLY PUBLISHED COUNTY TAX COLLECTOR SITE, RECORDED PLATS AND OR SECTION CORNER RECORDS IF APPLICABLE.
- IF ONLY A DIGITAL SURVEY COPY IS REQUIRED A SURVEY REPORT WILL BE PLACED IN FILE. THE DIGITAL SURVEY IS NOT FULL AND COMPLETE WITHOUT THE SURVEY REPORT FILE.

**SURVEYOR'S SIGNATURE**

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR BELOW. THE SURVEYOR HEREBY CERTIFIES THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES SET FORTH IN CHAPTER 5J-17.062 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.025, FLORIDA STATUTES. THE SURVEYOR HEREBY CERTIFIES THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE FOR SURVEYS, SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17.051 AND 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

**CERTIFIED TO:**

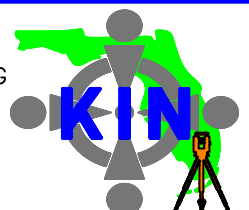
NANCY ESTRADA AVILA  
RUBEN SERRANO RAMIREZ

  
\_\_\_\_\_  
BILL HYATT  
SURVEYOR AND MAPPER #4636  
STATE OF FLORIDA

3.31.22  
\_\_\_\_\_  
DATE

FLORIDA BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER LB 6912

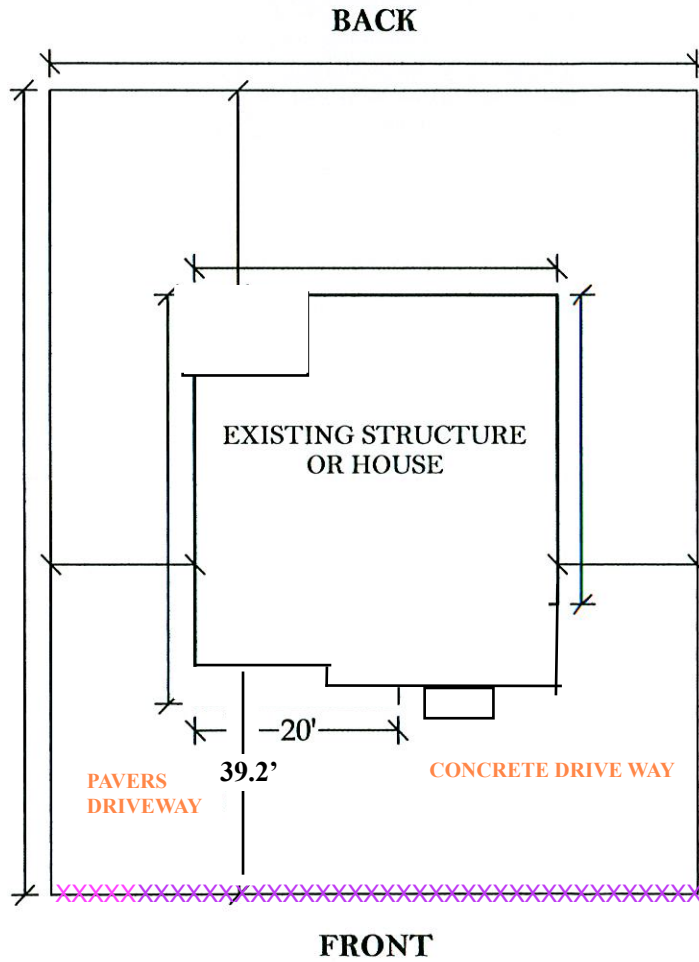
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CITY OF FORT PIERCE  
 BUILDING DEPARTMENT  
 FENCE FORM  
 (772) 467-3725  
 FAX (772) 467-3849

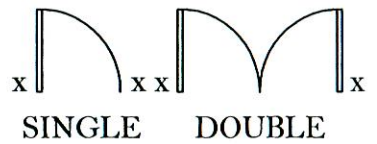
Owner Name NANCY ESTRADA  
 Property Address 205 S 29TH ST FORT PIERCE, FL 34947

\*FENCES NOT PERMITTED ON VACANT LOTS



FENCE MINIMUM STANDARDS

INDIVIDUAL LENGTH AND HEIGHT TO BE SHOWN ON PLAN  
 EX x 50' 6' CL x  
 INDICATED FENCE AS X X X X X



PLOT PLAN  
 1" = 20' SCALE

TYPE ALUMINUM HORIZONTAL  
 TOTAL LENGTH 94 LF  
 HEIGHT 6 FT  
 GATE N° 2 SIZE 6' LOC

PROPOSED FENCE SECTION MUST BE CLOUDED  
 ANY FENCES GOOD SIDE OUT



# Incident Report Additional Name List

Fort Pierce Police Department

OCA: 22-07-00602

Additional Name List

Name Code/#	Name (Last, First, Middle)	Victim of Crime #	DOB	Age	Race	Sex
1) IO 1	ESTRADA, NANCY Address 205 S 29TH ST, FORT PIERCE, FL 34947- Empl/Addr		[REDACTED] H: [REDACTED] B: - - Mobile #: - -	24	W	F
2) IO 2	[REDACTED] Address [REDACTED], FORT PIERCE, FL 34946- Empl/Addr [REDACTED]		[REDACTED] H: [REDACTED] B: [REDACTED] Mobile #: - -	25	B	F
3) IO 3	[REDACTED] Address [REDACTED], FORT PIERCE, FL 34950- Empl/Addr [REDACTED]		[REDACTED] H: [REDACTED] B: - - Mobile #: - -	25	B	M
4) WT 1	[REDACTED] Address [REDACTED] FORT PIERCE, FL 34947- Empl/Addr [REDACTED]		[REDACTED] H: [REDACTED] Mobile #: [REDACTED]	32	B	F

## INCIDENT/INVESTIGATION REPORT

Fort Pierce Police Department

Case # 22-07-00602

Status Codes L = Lost S = Stolen R = Recovered D = Damaged Z = Seized B = Burned C = Counterfeit / Forged F = Found						
	UCR	Status	Quantity	Type Measure	Suspected Type	Up to 3 types of activity
D R U G S						

Assisting Officers  
*GRECCO (8100), LINDSTADT, T. (8499), GULLETT, J. (8600), SHARPE, S. (8997), MINCEY, S. (8802), VICIERE, J.R. (8861), GIL, J. (8928), VELASQUEZ, E. (9052), DONNELLY, J. (9009), BROCATO, S. (8926), WARREN, T. (8998), FEMMINELLO, D. (8839)*

Suspect Hate / Bias Motivated: *None*

### INCIDENT/INVESTIGATION REPORT

Narr. (cont.) OCA: 22-07-00602

*Fort Pierce Police Department*

**NARRATIVE**  
 shooting incident occurred along 107 N 29th St towards Delaware Ave/S 29th St

REPORTING OFFICER NARRATIVE

Fort Pierce Police Department

OCA
22-07-00602
Date / Time Reported
Sun 07/24/2022 23:55

Victim	Offense	Date / Time Reported
Society	WEAPONS OTHER VIOLATIONS	Sun 07/24/2022 23:55

On July 24th 2022 at approximately 2355 hours I, Officer Carim was at 2423 Orange Ave and I heard shooting activity in the area of 301 S 25th St (Dreamland park) approximately 30 or more consecutive loud rounds.

I investigated in the area of S 29th St around Delaware Avenue towards Atlantic Avenue and an Officer on scene spotted shell casings in the roadway between S 29th St/Delaware towards S 29th St/Citrus (26 rounds). We discovered our scene was lager and we had 10 more shell casings from S 29th St/Citrus to S 29th St/Boston Ave as well as 1 more shell casing between S 29th St/Boston Ave and S 29th St/Atlantic Ave. On scene, a victim walked up to Ofc. Viciere regarding vehicle damage at 107 N 29th St where another shell casing was recovered.

Please refer to Officers Gil, Brocato, Mincey, Donnelly and Warren's supplements regarding on scene actions as they protected the crime scene, collected shell casings, took photographs and canvassed the area for witnesses.

Please refer to Officer Viciere's supplement regarding the vandalism that occurred at 107 N 29th St for a bullet striking a vehicle and causing damage.

I contacted the residence of 205 S 29th St which was located about 100 yards away from majority of where the shell casings were between Delaware Ave to Boston Ave along S 29th St, this home is located between Citrus/Boston along S 29th St. This resident is now identified to me as Nancy Estrada Avila. Ms. Avila provided CCTV of the incident, however could not provide copies as she does not know how to. CCTV video displayed the following; Between 2350 hours to 0000 hours two vehicles were traveling South to North back and forth between this timeframe (white in color Audi 4D sedan, silver in color 4D sedan). At approximately 2355 to 2356 hours when the shooting activity was initially called out, the cameras display a black in color 2D charger speeding south along S 29th St between Boston and Citrus Ave where the vehicle goes off view for a few seconds while a black in color SUV suddenly stops in the street when going in the same direction of the black in color charger. The SUV turns slowly off the road way to avoid whatever was ahead, where majority of the shell casings were 50-100 yards ahead. Seconds later the black SUV does a U-turn and leaves the area, while a white in color Audi speeds by traveling north on S29th St from Citrus Ave. I believe these two vehicles exchanged gun fire but cannot prove it as it is not on CCTV footage and no witness'.

On scene, 36 shell casings were recovered from the roadway, 1 shell casing was recovered from a vehicle struck at 107 N 29th St, making it 37 total recovered shell casings from this incident. The following ammunition was recovered;

- X1) Unmarked/unidentified bronze shell casing- on S 29th St between Atlantic/Boston
- X9).45 Auto shell casings- on S 29th St between Boston/Citrus
- X1) Unmarked/unidentified bronze shell casing- on S 29th St between Boston/Citrus
- X1) 9MM ruger Norma gray shell casing- on S 29th St between Citrus/Delaware
- X1) 9MM Luger bronze shell casings- on S 29th St between Citrus/Delaware
- X2) 31/92 bronze long shell casings- on S 29th St between Citrus/Delaware
- X1) 3/55 bronze long shell casings- on S 29th St between Citrus/Delaware
- X21) 7.62x39 TulAmmo gray shell casings- on S 29th St between Citrus/Delaware

Shell casings on scene were recovered and placed into evidence to be processed for latent prints. Photographs on scene were taken and uploaded via Axon Capture. Video on scene of CCTV was taken with my work issued phone and will be uploaded via Axon Capture.

**REPORTING OFFICER NARRATIVE**

*Fort Pierce Police Department*

OCA 22-07-00602
Date / Time Reported Sun 07/24/2022 23:55

Victim <i>Society</i>	Offense <i>WEAPONS OTHER VIOLATIONS</i>
--------------------------	--

Based on my investigation, I cannot determine the reason of this shooting activity or where it exactly started at initially. No witnesses for this incident or suspect information, no vehicle tag numbers, minimal CCTV footage of the incident at this time. This report will be documented as a suspicious incident/Vandalism, nothing further to report and this will be INACTIVE.

BWC footage available.



# INCIDENT/INVESTIGATION REPORT

Fort Pierce Police Department

Case # 22-03-00693

Status Codes L = Lost S = Stolen R = Recovered D = Damaged Z = Seized B = Burned C = Counterfeit / Forged F = Found

	UCR	Status	Quantity	Type Measure	Suspected Type	Up to 3 types of activity
D R U G S						

Assisting Officers

Suspect Hate / Bias Motivated:

## INCIDENT/INVESTIGATION REPORT

Narr. (cont.) OCA: 22-03-00693

Fort Pierce Police Department

**NARRATIVE**

Responded to 205 S. 29th Street, in reference to a stolen automobile. No further information.

## REPORTING OFFICER NARRATIVE

Fort Pierce Police Department

OCA 22-03-00693
Date / Time Reported Sat 03/26/2022 08:05

Victim ESTRADA, NANCY	Offense THEFT OF AUTOMOBILE
--------------------------	--------------------------------

On March 26, 2022, at approximately 0805 hours, I responded to 205 S. 29th Street, in reference to a stolen automobile.

Upon arrival, I made contact with the victim, Nancy Estrada Avila, who advised that her black 2017, Dodge Durango, bearing Florida Tag 77ASSZ, VIN #1C4RDHAG8HC936223, Decal #15957389 was stolen from her driveway, located directly in front of her residence. She indicated that her husband, Ruben Serrano Ramirez, went to leave for work this morning, at approximately 0530 hours and when he came outside, he noticed the vehicle was missing. Estrada-Avila advised that the vehicle was last seen at approximately 0100 hours this morning, when her parents were visiting.

Estrada-Avila stated that her and her Ramirez are the only ones that use the vehicle. She indicated that she did not have the vehicle keys in her possession, as they were inside the unlocked vehicle. She denied anyone else having access to the vehicle and indicated that all vehicle payments are up to date. Per 911 dispatch, the vehicle had not been towed. Estrada-Avila stated that the vehicle has damage to the left tail light and that there is a Sunpass sticker located in the center of the front windshield. There was no glass located in the driveway indicating that forced entry to the vehicle was made and a canvass of the area for video surveillance was conducted, which ended with negative results.

A Stolen Vehicle Affidavit form was completed and faxed over to 911 dispatch so that the vehicle could be entered into NCIC/FCIC as stolen. This report has also been forwarded to the Criminal Investigations Division, for further review and investigation. Nothing to follow.

BWC - Available

# Incident Report Suspect List

Fort Pierce Police Department

OCA: 22-03-00693

<b>1</b>	Name (Last, First, Middle) <i>JUVENILE</i>					Also Known As <i>JUVENILE</i>					Home Address <i>JUVENILE</i>	
	Business Address <i>JUVENILE</i>											
	DOB	Age	Race	Sex	Eth	Hgt	Wgt	Hair	Eye	Skin	Driver's License / State	
		<i>15</i>	<i>B</i>	<i>M</i>	<i>N</i>	<i>600</i>	<i>165</i>	<i>BLK</i>	<i>BRO</i>	<i>DBR</i>	<i>JUVENILE</i>	
Scars, Marks, Tattoos, or other distinguishing features <i>JUVENILE</i>												
<b>Reported Suspect Detail</b>												
Weapon, Type		Feature		Make		Model		Color		Caliber	Dir of Travel	SSN
Veh Yr / Make / Model		Drs	Style		Color		Lic Plate / State		VIN			
Notes						Physical Char						

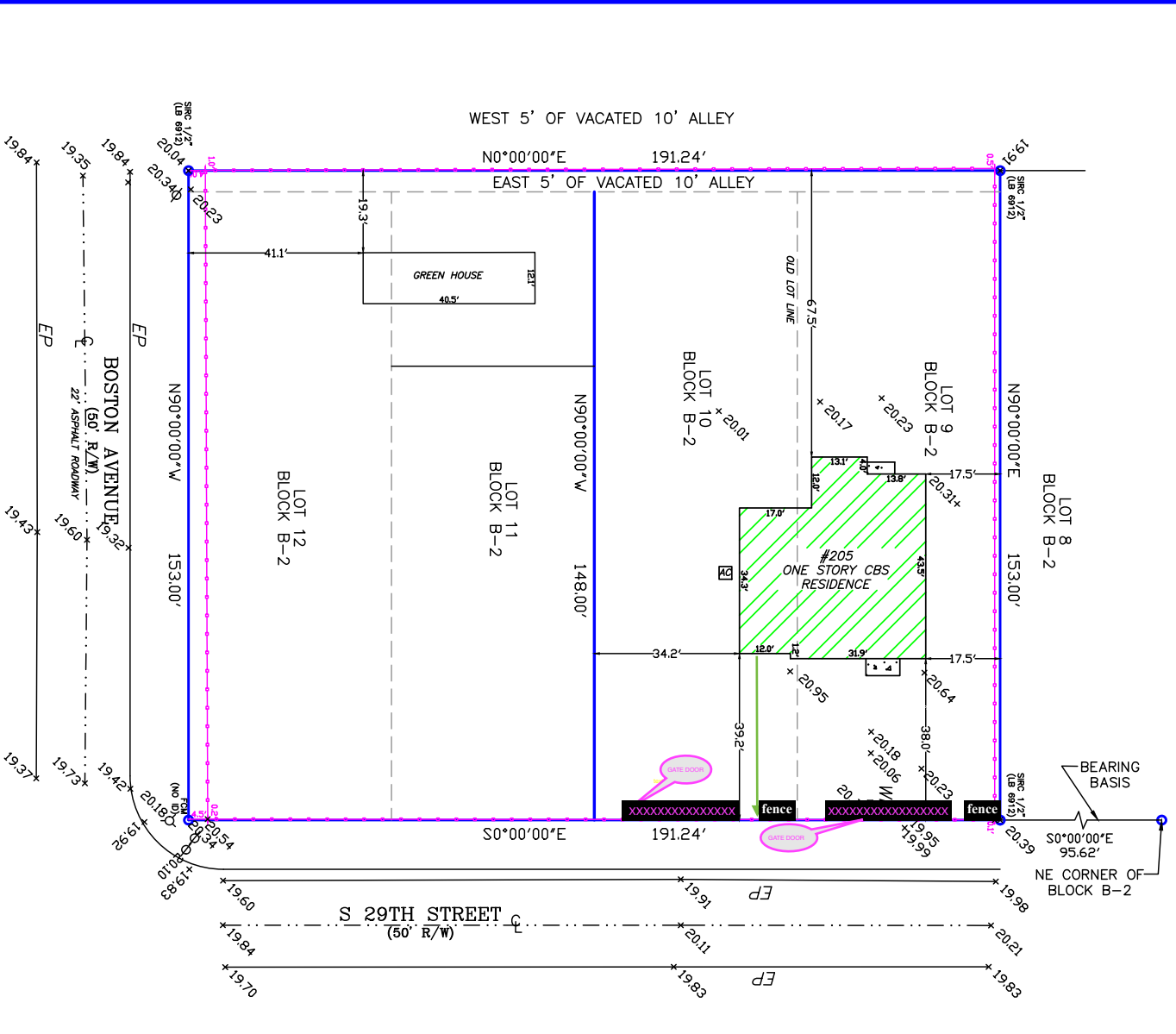
## Incident Report Related Vehicle List

Fort Pierce Police Department

OCA: 22-03-00693

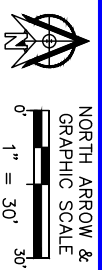
<b>1</b>	VehYr/Make/Model <i>2017 DODG, Durango</i>		Style <i>UT</i>		Color <i>BLK/BLK</i>		Lic/Lis /Decal <i>77ASSZ FL 2022, 15957389</i>		VIN <i>1C4RDHAG8HC936223</i>		
IBR Status <i>Recovered</i>			Date <i>03/27/2022</i>		Location <i>205 S 29TH ST, FORT PIERCE FL</i>						
Condition		Value <i>\$19,000.00</i>		Offense Code <i>0710</i>		Jurisdiction <i>Locally</i>		State #		NIC #	
Name (Last, First, Middle) <i>Estrada, Nancy</i>					Also Known As			Home Address <i>205 S 29TH ST FORT PIERCE, FL 34947</i> <div style="background-color: black; width: 100px; height: 15px; margin-top: 5px;"></div>			
Business Address											
DOB <div style="background-color: black; width: 50px; height: 15px;"></div>	Age <i>24</i>	Race <i>W</i>	Sex <i>F</i>	Hgt <i>502</i>	Wgt <i>180</i>	Scars, Marks, Tattoos, or other distinguishing features					

Notes



**NOTES:**  
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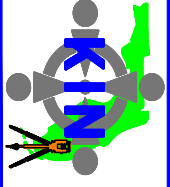
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**EXISTING ELEVATION** = 20.98  
**PROPOSED ELEVATION** = 20.00 DRAINAGE ARROW =

JOB # - 2202-384	REVISION -
FIELD DATE - 03/08/2022	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -
REVISION -	REVISION -
FLORIDA BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER LB 6912	

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**General Information**

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



**Submittal Requirements:**

**Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.**

- As-built Survey
- Floor Plan of Existing Buildings ✕
- Site plan, to scale, including all relative improvements, existing and proposed structures, landscaping, parking, fencing, signs, etc.
- Criteria Narrative
- Complete Application

**Criteria:**

To determine whether your request for Variance meets all the criteria in Section 125-100 of the City Code, please answer the following questions. Please provide answers to the questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.
2. Do special conditions or circumstances result from actions other than that of yours? Please explain
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.
4. What is the minimum variance that would give the reasonable use of the land, building, or structure?
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

Criteria: To determine whether your request for Variance meets all the criteria in Section 125-100 of the City Code, please answer the following questions. Please provide answers to the questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.

My property is located on the 29th St in front of the Dreamland park and also a corner street property where a lot of activities are made from sports events, sales events and parties where we had cars park on front of our fence yard ...

My street has a lot of transit on the day with cars and school bus on the afternoon...

Our min speed on the 29th street is 25mph where majority of the cars does not respect the speed limit sign and also the motorcycle guys that speed with their sport motors and we have this issue since we moved in.

My house is similar to all my neighbors but my biggest concern are my two girls 3 & 4 years old safety which they don't have the age to understand the danger from the cars running and stranger walking across the street and the events that we had in the past.

2. Do special conditions or circumstances result from actions other than that of yours?

Please explain

My property has different factors on why we asking to get approved 6" fence on the gate section in the first place are my 2 child safety and second as you can see on the survey we have 34 ft from the driveway where I park my personal car and my husband work trucks. we do not have the option to build the 6" fence after the 25 ft allow by code since the space we have is between our driveways and front house...you would see on the survey for better explanation.

3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.

my husband and I when we bought the property in 2018 we were waiting for our first baby girl born 2019 and then 2020 second baby girl..

And during those years we never see or had any situation on our property that involves stealing or a stranger walking into our property so we thought it was a great place with security even if we always see the car speeding or the motorcycles guys speeding in groups...

but everything changed and we started seeing few events that make us worry about our child safety and our safety.

I submit a copy of the two police reports that we made not to mention the last event at the end of 2023 where two strangers with a gun tried to hide on our property while the sheriff officers were looking for them and this happened around 9:30 pm or 10 pm where I was having my girls almost ready to go to sleep when my husband called me and with quite a voice told me to lock the two doors because he saw two guys trying to hide under our RV truck... I felt very very unsecured and with my two girls that was the day when we decided to have our home more secure and make the effort to afford at least the front gate done and soon we got the entire fence done...

My property has a 4" fence and is very easy to get access from any angle and with my yard we do not always have a clear view and who pass by.

The two reports I share show when we had our car stolen from the front of the house around 2am and we decided to put cameras since that incident.

The second police report was when we heard gun shooting very close to the house and cars speeding and that happened at night while we were ready to sleep and now we are concerned because our house has a big yard and very open access to walk in... and all those incidents we have the police in our house to get any video evidence...

I WORRY ABOUT MY GIRLS THEY LOVE THE YARD AND I SEE THEM PLAYING OUTSIDE I ALWAYS WATCHING BUT YOU NEVER KNOW WHEN THEY CAN GO OUTSIDE WITHOUT LETTING YOU KNOW AND A STRANGER BEING OUTSIDE OR MY GIRLS RUNNING BECAUSE THEY HEAR THE ICE CREAM TRUCK AND SOMETHING CAN HAPPEN BECAUSE ON THEIR AGES THEY KNOW BY NOW HOW TO OPEN DOORS AND ARE VERY INNOCENT AND I WANT TO FEEL I DID ALL I CAN TO PROTECT MY KIDS, MY PROPERTY AND MY BELONGS.

4. What is the minimum variance that would give the reasonable use of the land, building, or structure?

We are asking to approved us 2ft more so we can have a 6ft front fence with the gate and will do in the future for the entire fence property as well.

And the main reason is for my family safety but also our belongs which are work tools, generators and material from our roofing company since we used our property as our company office.

we have to make sure every night that our cars are lock and secured since the incidents we had in the past we have 5 trucks and a RV and the main and front driveway give us the access to have our cars and work truck with the tools secure during the night.

5.Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare.

The 6 ft gate will not interfere with public since we do not intend to block the public passage .

# HORIZONTAL ALUMINUM WELDED FENCE & GATE

**250FT COMMERCIAL USE** - PERFORMANCE EVALUATION, NON STRUCTURAL DECORATIVE BARRIER - ALL WELDED (HVHZ ONLY) GROUND LEVEL, NON-SLOPED. **SEE NOTES FOR POOL APPLICATIONS**

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Colby Bennardo  
FL PE95197  
CA-9885  
Feb 2, 2024  
Certifying engineer and cert of auth as listed on stamp

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## GENERAL NOTES

### DESIGN

- THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 8TH (2023) EDITION. ALSO APPLICABLE FOR THE INTERNATIONAL BUILDING / RESIDENTIAL CODES (2015, 2018 & 2021), AS WELL AS CURRENT VERSIONS OF THE MN, NC, NJ, NY, OH, SC, & VA BUILDING CODES AS APPLICABLE. CODE ENFORCED COMPLIES WITH STATE OF SEAL AND IF MULTIPLE VERSIONS ARE LISTED THEN MOST STRINGENT APPLIES.
- DESIGN BASED ON ASCE 7-16 OR ASCE 7-22 USING  $V_{ult} = 115MPH$  /  $V_{ref} = 90MPH$  (3 SEC GUST, UP TO 6'-0" WITHIN HVHZ), EXPOSURE 'C', RISK CATEGORY I, USING THE 'SOLID SIGN METHOD'.

CALCULATED ALLOWABLE DESIGN LOAD = 20 PSF (ASD LATERAL LOADING PRESSURE)

- ALL FOOTINGS ARE TO BE INSTALLED LOWER THAN ANY CODE REQUIRED FROST LINE. ADDITIONALLY, IN THE HVHZ (DADE & BROWARD COUNTIES, FL), TOP OF FOOTING TO BE 8" MIN BELOW GRADE.
- PRODUCT APPROVED FOR USE IN SEISMIC DESIGN CATEGORY A-C PER REQUIREMENTS OF ASCE 7-22 AND CALIFORNIA BUILDING CODE 2022. FOR SEISMIC DESIGN CATEGORY D-F AND ANY CONCRETE CONNECTIONS, ADDITIONAL REVIEW BY THIRD-PARTY ENGINEERS IS REQUIRED FOR THE VALIDITY OF THE DESIGN.
- THIS FENCE DESIGN TO BE USED AT FLAT TERRAIN GROUND SURFACE ONLY, WITH USE LIMITED TO DECORATIVE BARRIER PURPOSES ONLY.

**THIS FENCE IS NOT INTENDED TO MEET CODES GOVERNING ELEVATED BALCONIES, STRUCTURAL RAILINGS, HANDRAILS, OR PROTECTING DROPOFFS GREATER THAN 30" TALL ON LAND.**

### FOR NON-POOL APPLICATIONS REQUIRING EGRES:

- PER FLORIDA FIRE PREVENTION CODE & NFPA 1, 101, GATES REQUIRING EGRES SHALL HAVE NO LATCHES AND BE FREE SWINGING FOR QUICK EXITING. GATE SHALL HAVE SELF-CLOSING HINGES ONLY.

### FOR POOL APPLICATIONS:

- PER FBC 454.2.17.1.8: POOL ACCESS GATES WHEN PROVIDED SHALL COMPLY WITH FBC 454.2 AND MUST BE AT LEAST 48" ABOVE GRADE & EQUIPPED WITH A SELF CLOSING, SELF LATCHING LOCKING DEVICE NOT LESS THAN 54" FROM BOT OF GATE. GATE MUST OPEN OUTWARD AWAY FROM POOL & MUST HAVE NO OPENING >1/2" WITHIN 18" OF RELEASE MECHANISM.

### CONNECTIONS:

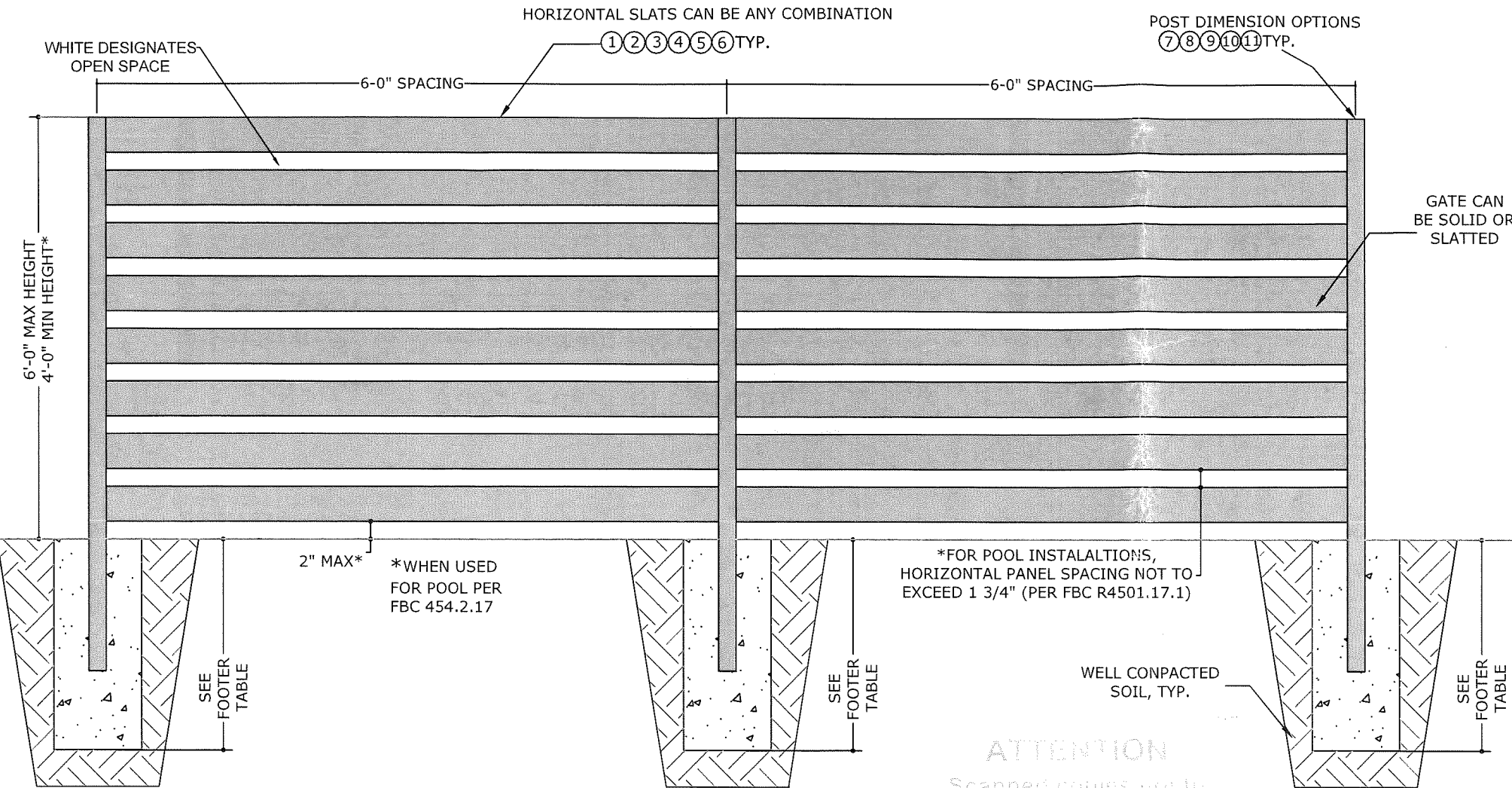
- ALL FASTENERS TO BE #12 X 3/4" OR GREATER SERIES 300 NON-MAGNETIC STAINLESS STEEL, OR CADMIUM PLATED OR OTHERWISE CORROSION RESISTANT MATERIAL.
- FABRICATION SHALL BE IN ACCORDANCE WITH FBC/IBC SECTION 2003.8 WITH WELD FILLER ALLOYS MEETING ANSI/AWS A5.10 STANDARDS;
- ALUMINUM CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOLERANCES, QUALITY AND METHODS OF CONSTRUCTION AS SET FORTH IN THE 2015 ALUMINUM DESIGN MANUAL PER CODE REQUIREMENTS.
- ALUMINUM WELDING SHALL BE IN ACCORDANCE WITH FBC SECTION 2003.8.1.4 WITH WELD FILLER ALLOYS MEETING ANSI/AWS A5.10 STANDARDS; ALL ALUMINUM CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOLERANCES, QUALITY AND METHODS OF CONSTRUCTION AS SET FORTH IN FBC SECTION 2003.2.
- MINIMUM WELD IS 1/8" THROAT FULL PERIMETER FILLET WELD UNLESS OTHERWISE NOTED.
- ALL EXTRUDED MEMBERS SHALL BE ALUMINUM ALLOY TYPE 6061-T6 OR BETTER, U.N.O.

### MATERIALS:

- ALL CONCRETE AND EPOXY TO REACH A MIN. COMPRESSIVE STRENGTH OF 3000 PSI IN 7 DAYS. CONCRETE FOOTERS SHALL CONTAIN MINIMUM 0.1% FIBERMESH CONTENT PER CUBIC YARD.
- THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.
- SURROUNDING SOIL TO BE COMPACTED TO 95% OPTIMUM DENSITY, 2000 PSF MIN SHALL BE CLASSIFIED OR VERIFIED BY OTHERS PRIOR TO CONSTRUCTION PER FBC 1806.2 AND SHALL BE SANDY GRAVEL CLASS ONLY.
- ELECTRICAL GROUND, WHEN REQUIRED, TO BE DESIGNED & INSTALLED BY OTHERS.

### OTHER:

- ENGINEER SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR, et. al. INDEMNIFIES & SAVES HARMLESS THIS ENGINEER FOR ALL COST & DAMAGES INCLUDING LEGAL FEES & APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ERECTION, CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE, & FEDERAL CODES & FROM DEVIATIONS OF THIS PLAN.
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- EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.



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POST DIMENSION & FOOTER SIZE FOR FENCES AND SINGLE GATES		
MAX POST SPACING = 6 FT		
POST HEIGHT (IN)	POST DIMENSIONS (IN)	POST FOOTER SIZE OPTIONS (DIA X DEPTH, IN)
48"	2"x2"x1/8"	12"x36" OR 18"x30"
60"	2.5"x2.5"x1/8"	12"x41" OR 18"x35"
72"	3"x3"x1/8"	12"x46" OR 18"x39"

### FOOTING TABLE NOTES:

- IT IS ASSUMED THE POST SUPPORTS ONLY THE INTENDED GATE. ADDITIONAL LOAD REQUIRES SEPARATE POST & FOOTING CONSIDERATION (BY OTHERS).
- IN DADE & BROWARD COUNTIES, FL TOP OF FOOTING TO BE 8" BELOW GRADE.
- FOOTING DEPTH TO REACH ANY CODE REQUIRED FROST LINE
- FENCE & GATE MAY LIST BUT STAY INTACT IN SATURATED SOIL AT PEAK CONDITIONS & IS STILL CONSIDERED PROPERLY DESIGNED.

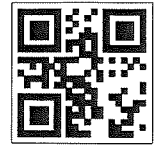
## INDEX

SHEET # | DESCRIPTION

- FENCE
- SINGLE/DOUBLE GATE
- ROLLING GATE



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ALUMINUM FENCE & GATE  
WELDED SLATS - AT GRADE (250 FT)  
GENERAL PERFORMANCE EVALUATION  
RESIDENTIAL OR COMMERCIAL USE  
FLORIDA BUILDING CODE, 8TH ED (2023)  
INTERNATIONAL BUILDING CODE (2021)  
ASD DESIGN PER ASCE 7-22

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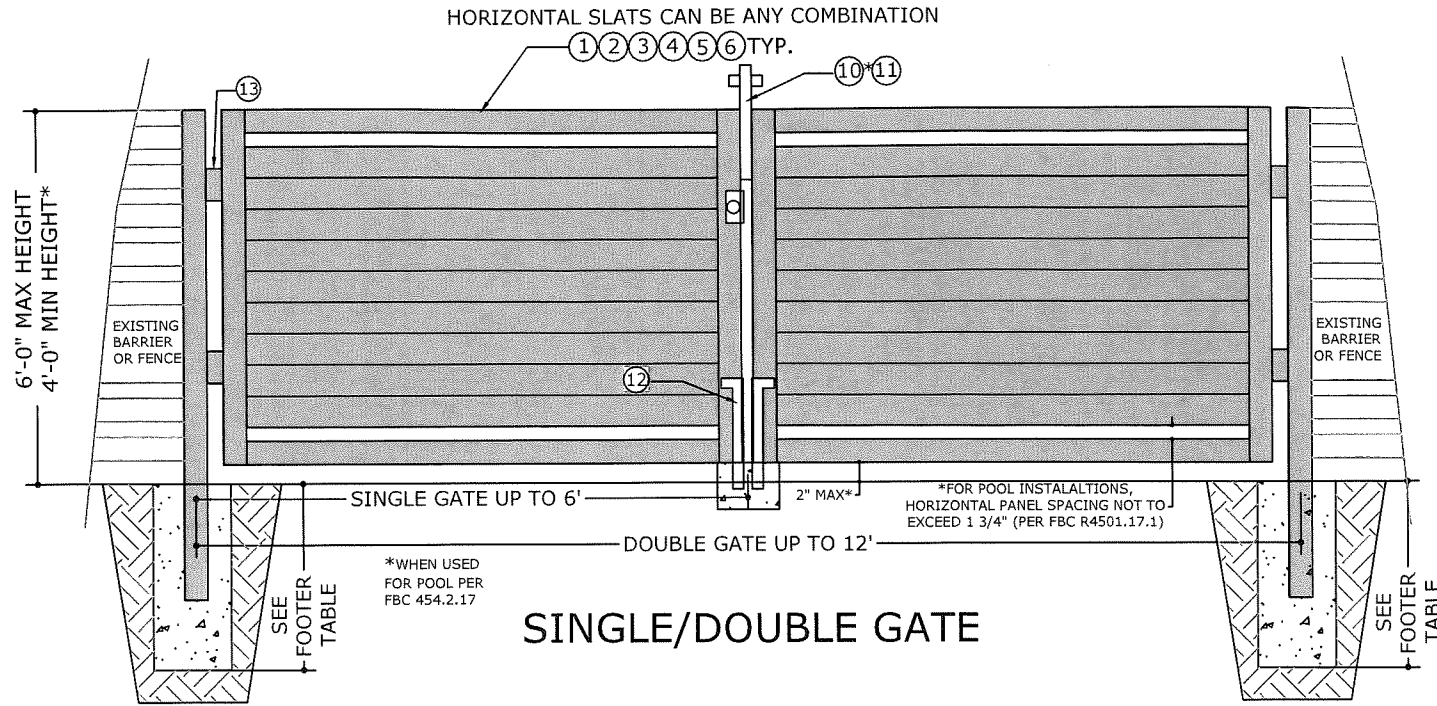
# HORIZONTAL ALUMINUM WELDED GATE AT GRADE

**250FT COMMERCIAL USE** - PERFORMANCE EVALUATION, NON STRUCTURAL DECORATIVE BARRIER - ALL WELDED (HVHZ ONLY) GROUND LEVEL, NON-SLOPED. **SEE NOTES FOR POOL APPLICATIONS**

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FL PE95197  
CA-9885  
Feb 2, 2024  
Certifying engineer and  
cert of auth as listed on  
stamp

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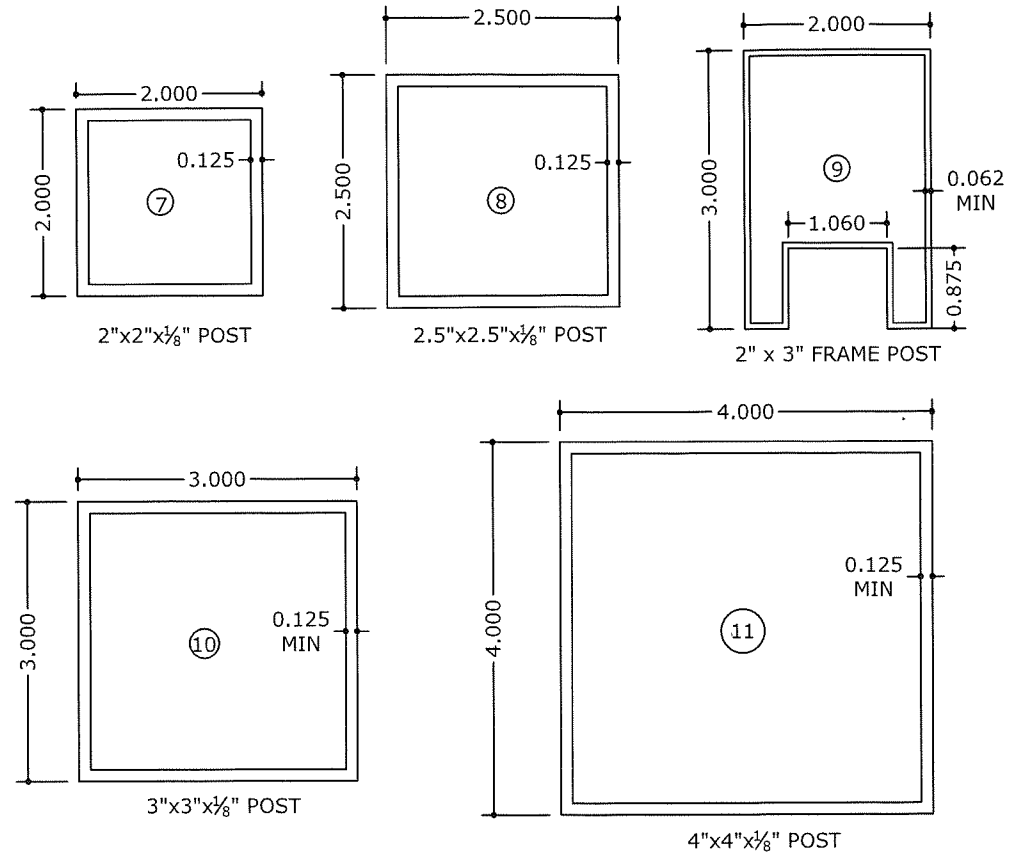
**SINGLE/DOUBLE GATE**

POST DIMENSION & FOOTER SIZE FOR DOUBLE SWING GATES		
MAX POST SPACING = 12 FT		
MAX GATE WIDTH = 6 FT		
POST HEIGHT (IN)	POST DIMENSIONS (IN)	POST FOOTER SIZE OPTIONS (DIA X DEPTH, IN)
48"	3"x3"x1/8"	12"x47" OR 18"x40"
60"	3.5"x3.5"x1/8"	12"x54" OR 18"x46"
72"	3.5"x3.5"x1/4"	12"x60" OR 18"x51"

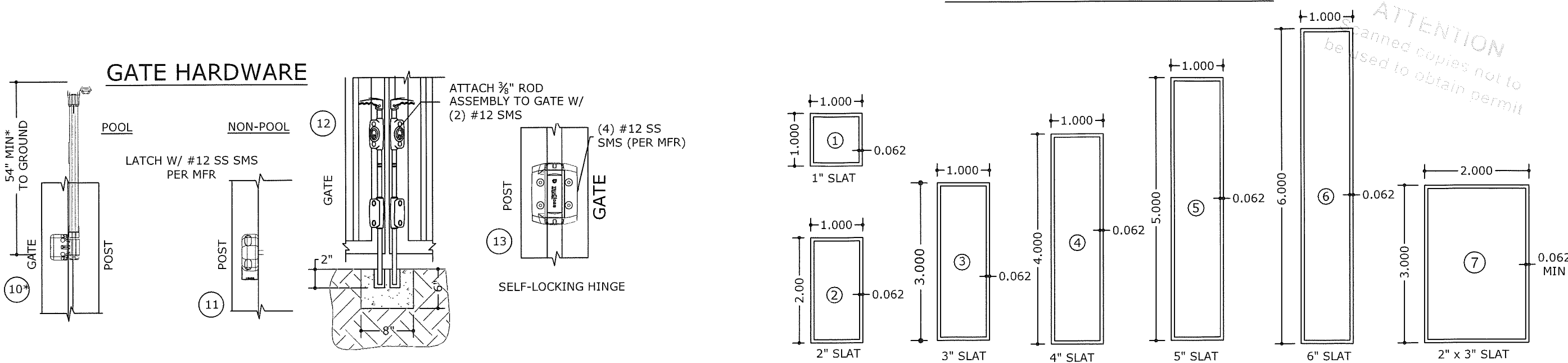
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2. FOOTING DEPTH TO REACH ANY CODE REQUIRED FROST LINE
3. FENCE & GATE MAY LIST BUT STAY INTACT IN SATURATED SOIL AT PEAK CONDITIONS & IS STILL CONSIDERED PROPERLY DESIGNED.
4. GATE TO REMAIN LOCKED DURING WIND EVENTS VELOCITIES > 75MPH Vult SUSTAINED

## FENCE AND SINGLE GATE POST EXTRUSIONS



## HORIZONTAL SLAT OPTIONS



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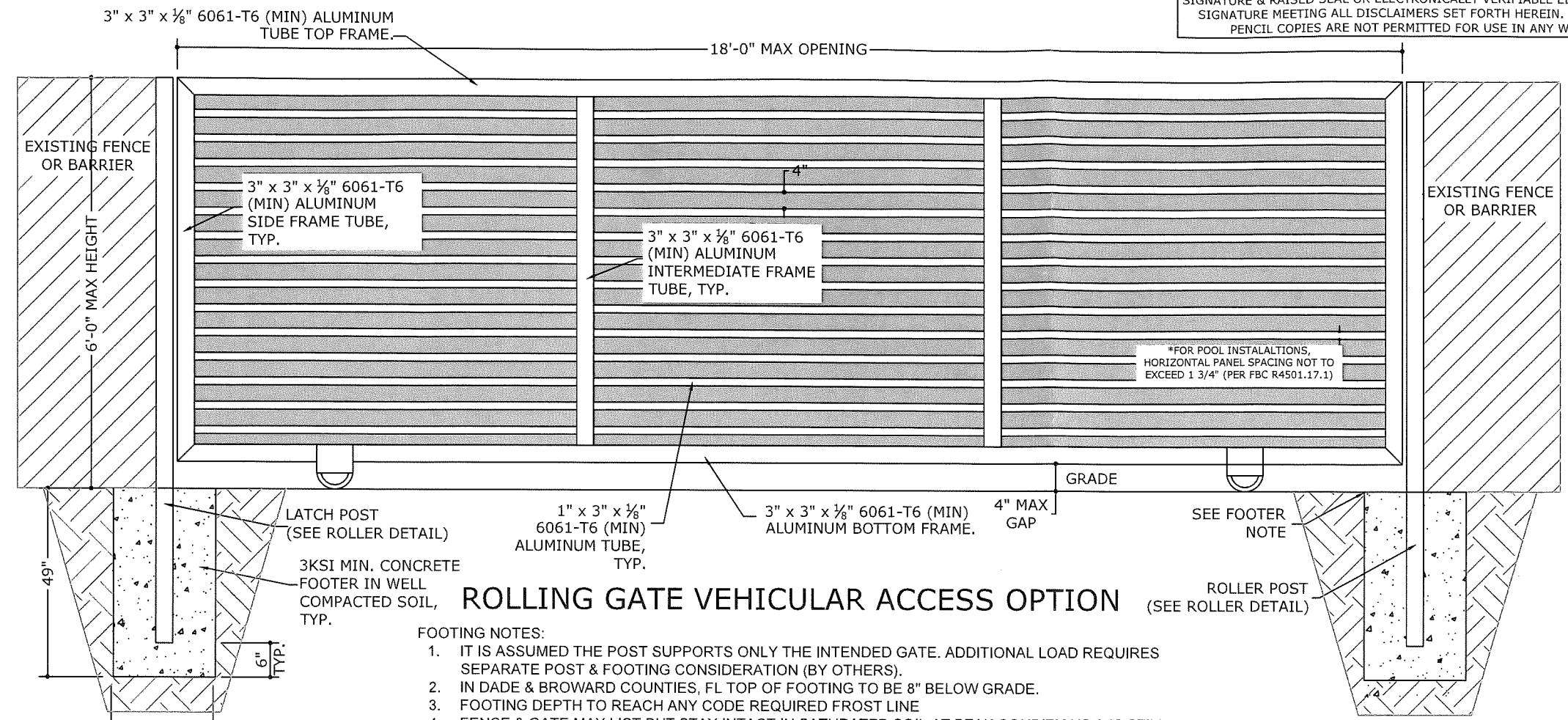
# HORIZONTAL ALUMINUM WELDED ROLLING GATE

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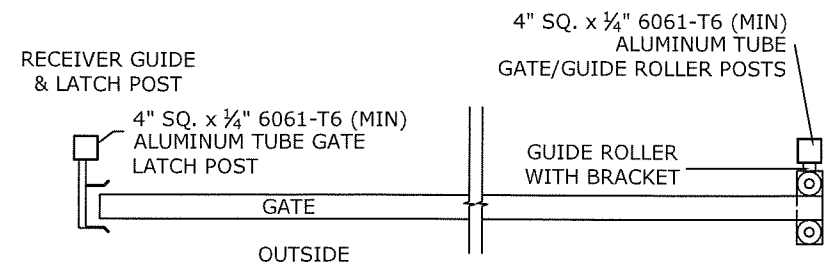
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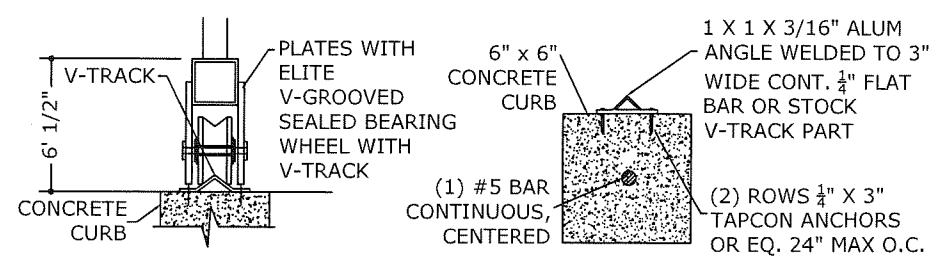
## ROLLING GATE VEHICULAR ACCESS OPTION

- FOOTING NOTES:
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  - IN DADE & BROWARD COUNTIES, FL TOP OF FOOTING TO BE 8" BELOW GRADE.
  - FOOTING DEPTH TO REACH ANY CODE REQUIRED FROST LINE
  - FENCE & GATE MAY LIST BUT STAY INTACT IN SATURATED SOIL AT PEAK CONDITIONS & IS STILL CONSIDERED PROPERLY DESIGNED.
  - GATE TO REMAIN OPEN & LOCKED DURING WIND EVENTS VELOCITIES > 75MPH Vult SUSTAINED

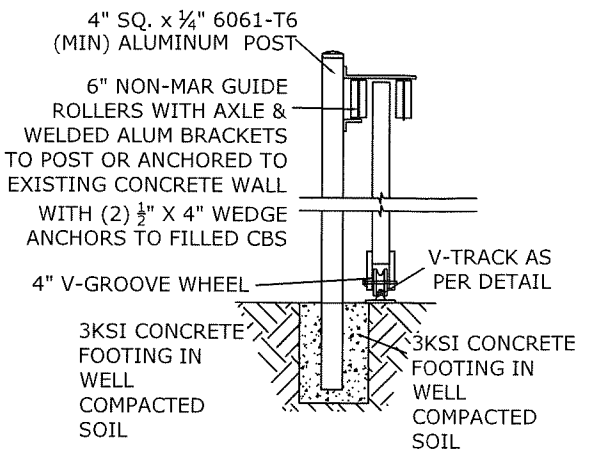
### ROLLER DETAIL



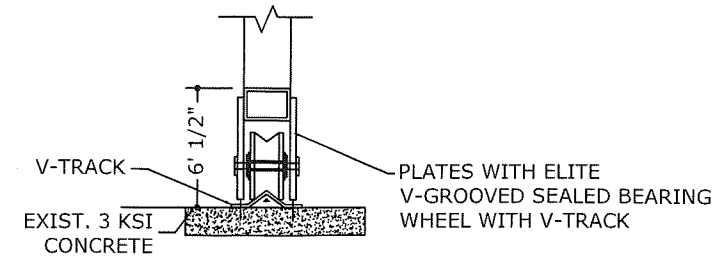
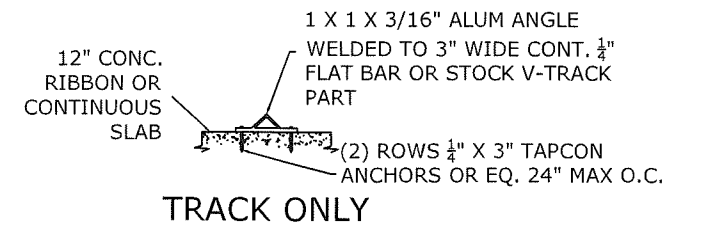
### CONCRETE CURB OPTION



### SINGLE GROUND POST OPTION



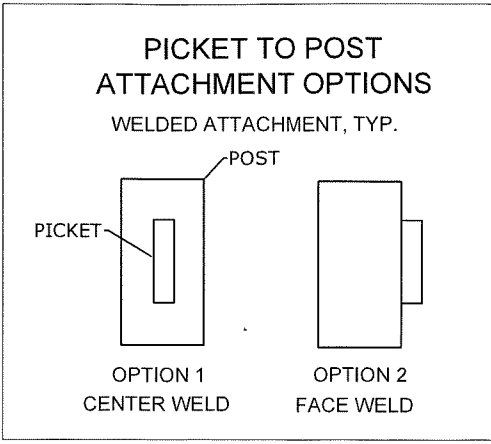
### V-TRACK DETAIL



### TRACK WITH ROLLING GATE WHEEL



### PLAN VIEW



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ALUMINUM FENCE & GATE  
WELDED SLATS - AT GRADE (250 FT)  
GENERAL PERFORMANCE EVALUATION  
RESIDENTIAL OR COMMERCIAL USE  
FLORIDA BUILDING CODE, 8TH ED (2023)  
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205 S 29th St Fort Pierce FL 34947

04/15/24

Gate and Fence variance

We would like to do a 6ft Gate and a 6ft fence  
For our property on the picture I show my  
Property boundary Lines and an illustration  
on where we want the 2 Gate entrance  
and the fence.

On the Drawing is the description of the materials  
and desing we would be using.

My name Nancy Estrada Avila owner of the  
above address.