

**November 6, 2023**



**CITY FORT PIERCE**

**DISPOSITION OF CITY SURPLUS PROPERTY 706 N. 20<sup>TH</sup> STREET**

**RFP NO. 2024-009**

**ADDENDUM NO. 1**

The purpose of this addendum is to include the Sample Sales Agreement as exhibit B, in the proposal document.

All other conditions of this bid remain the same.

Please acknowledge receipt of this addendum and include it with your submittal.

Signature: Rodrick Waller Manual

Signature: \_\_\_\_\_ Typed or Printed

Company Name: Sunrise City Concrete Services Inc

Address: 130 S Indian River Drive Suite 202 Fort Pierce FL 34950

Date: 11/13/23

/lh

Attachment: **Sample Surplus Property Sale Agreement**

**DELIVER TO:**  
 City of Fort Pierce, Purchasing Division  
 Room 101  
 100 North U.S. #1  
 Fort Pierce, FL 34950

**MAIL TO:**  
 City of Fort Pierce Purchasing Division,  
 Room 101  
 P.O. Box 1480  
 Fort Pierce, FL 34954-1480

**CITY OF FORT PIERCE**



**REQUEST FOR PROPOSAL  
 and  
 PROPOSER ACKNOWLEDGMENT**

**Bid Writer:** Gelencia Carter, (772) 467-3749

**RFP No:** 2024-009

**Mandatory Site-Visit:**  
 N/A

**RFP Title:** DISPOSITION OF CITY SURPLUS PROPERTY – 706 N 20<sup>th</sup> STREET

**Mandatory Site-Visit Location:**  
 N/A

**Proposal/Bid Opening Location:**  
 Purchasing Division Conference Room, Room 101  
 100 North U.S. #1, 1st Floor  
 Ft. Pierce, Florida 34950

**Proposal Due Date & Time**  
 1:00PM, MONDAY, NOVEMBER 13, 2023

If you need any reasonable accommodation for any type of disability in order to participate in this procurement, please contact this department as soon as possible.

**Proposer Name:**  
 Sunrise City Concrete Services Inc

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**Mailing Address:**  
 130 S Indian River Drive Suite 202

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*I hereby certify that this proposal is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a proposal for the same materials, supplies or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this proposal and certify that I am authorized to sign this bid for the proposer.*

x   
 Authorized Signature (Manual)

**City, State, Zip Code:**  
 Fort Pierce FL 34950

**Typed or Printed Name:** Roderick Waller

**Type of Entity (Select one):**

Corporation

Partnership \_\_\_\_\_

Proprietorship \_\_\_\_\_

**Title:** CEO

**Incorporated in the State of:** Florida      **Year:** 2017

**Delivery in** N/A **days, After Receipt Order**

**Phone Number:** 772-201-2850

**Payment Terms:** N/A

**Fax Number:** 772-907-0420

**FEIN or SS Number:**

**E-Mail Address:** rodwaller1@gmail.com

**Local Business:**  Y \_\_\_ N      **MWBE:**  Y \_\_\_ N

**Bid Security is attached, when required, in the amount of \$** N/A  
 F.O.B. DESTINATION

**If returning as a "No Bid" state reason:**

**THIS PAGE MUST BE COMPLETED AND RETURNED WITH YOUR PROPOSAL**



**CITY OF FORT PIERCE**  
**OFFER TO PURCHASE/PROPOSAL RESPONSE FORM**  
**DISPOSITION OF CITY SURPLUS PROPERTIES**  
 RFP No. 2024-009

**I/we propose to purchase property located at: 706 North 20<sup>th</sup> Street**

**PROPOSED SUBMITTED BY:**

Legal Name (s): Sunrise City Concrete Services Inc

Address: 130 S Indian River Drive Suite 202 Fort Pierce FL 34950

Day time Phone Number: 772-201-2850 Mobile Number: 772-201-2850

Email: rodwaller1@gmail.com

**INTENDED USE:**

I/we propose to use the property for:

Build and sell of new single family home

\_\_\_\_\_  
 \_\_\_\_\_

Will this property be your prime residence? \_\_\_\_\_ Yes   No

If not above, what do you intend to develop the property for : \_\_\_\_\_ Rental   Resale \_\_\_\_\_  
 \_\_\_\_\_ Other

**IMPROVEMENTS**

In consideration for the City of Fort Pierce transferring the property, I/we propose to make the following improvements. (Provide a detailed description of the project outlining intended use of the property with a description of rehabilitation, renovation, modifications, or new construction):

Build and sell of new single family home

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

\_\_\_\_\_  
 (Attach pages as needed)

Total value of all proposed improvements to the property: \$ 185,000.00

**PROPOSED/BID AMOUNT**

I/we off to pay the City of Fort Pierce: \$ 3,000.00 for the property.

**REQUIRED INFORMATION**

To be considered complete, the following documentation/information must be submitted. Please indicated if the information is included with this submittal in the tabbed format as describe above. Only complete bids will be considered

Yes \_\_\_ No **Development Plan** – Preliminary building plans including elevations floor plans, facades and landscaping.

Yes \_\_\_ No **Timeline to complete construction project**

Yes \_\_\_ No **Construction Cost Estimate**- improvements by a knowledgeable & experienced third-party professional, e.g., an engineer, architect, or licensed contractor.

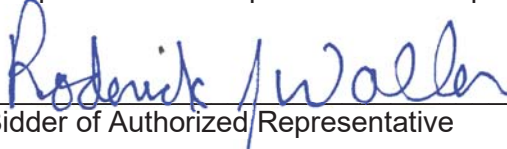
Yes \_\_\_ No **Proof of financial ability** to complete the project. Proof may be letter of credit, loan commitment, or proof on cash on hand, or some other form as approved by the City. Grants or special financing must be listed but cannot be counted as proof as financial ability unless a copy of the award notice or other acceptable guarantee is provided.

Yes \_\_\_ No **Property Utilization/Intended Use** – Will this be your primary residence? If not, what do you intend to develop the property for?

Yes \_\_\_ No **Narrative/Summary from Developer OR Neighboring Property Owner/Occupant**

**PROPOSER’S ACKNOWLEDGEMENT**

The Proposer understands that information contained in this Bid Form is to be relied upon by the City of Fort Pierce in awarding the specified Proposal, and such information is warranted by the Proposer to be true. Proposer understands that the City/Agency has the right to verify the information submitted and to seek any additional information relating to the Proposer’s qualifications. The discovery of any misstatement, which, in the sole opinion of the City/Agency, materially affects the Proposer’s qualifications to perform, shall cause the rejection of the Proposal, and if after the award, to cancel the sale of agreement. The Proposal acknowledges that the deed will include a clause stating that the property reverts to the City of Fort Pierce if substantial compliance with the provisions of the proposal is not met according to an agreed upon timeline.

  
Bidder of Authorized Representative

Roderick Waller  
Typed Name

11/13/23  
Date

# CITY OF FORT PIERCE PROPOSER'S CHECKLIST

This checklist is provided to assist each Proposer in the preparation of their proposal response. Included in this checklist are important requirements, which is the responsibility of each Proposer to submit with their response in order to make their response fully compliant. This checklist is only a guideline, it is the responsibility of each Proposer to read and comply with the Invitation to Bid in its entirety.

Check "Yes" or "No" to each of the following:	YES	NO
Is the Proposer Narrative/Summary included?	<input checked="" type="checkbox"/>	
Is the proof of Financial Ability/Letter from financial institution included?	<input checked="" type="checkbox"/>	
Does the Development Plan included:		
Preliminary building plans included	<input checked="" type="checkbox"/>	
Timeline to complete the construction project	<input checked="" type="checkbox"/>	
Construction cost estimates included	<input checked="" type="checkbox"/>	
Landscaping plans	<input checked="" type="checkbox"/>	
Property development utilization	<input checked="" type="checkbox"/>	
Is Invitation to Bid cover page (page 1) completed, signed, and attached?	<input checked="" type="checkbox"/>	
Is the Offer to Purchase Form (page age 15-16) completed, signed and attached?	<input checked="" type="checkbox"/>	
Proposal envelope is marked accordingly	<input checked="" type="checkbox"/>	

**PLEASE SIGN AND RETURN WITH PROPOSAL:** Roderick Walker



130 S. Indian River Dr. #202 Fort Pierce FL 34950  
772-201-2850 EMAIL: Rodwaller1@gmail.com

**PROPOSAL AS TO THE DISPOSITION OF FPRA SURPLUS PROPERTIES**

11/13/2023

100 US HWY 1, 1<sup>st</sup> Floor

Fort Pierce, FL 34950

**RE: LOCATION: 706 N 20th STREET, FORT PIERCE, FL 34950**

**DEVELOPMENT PLAN**

Our company has a vision for the referenced property from an infill prospective. We propose, restoring said lot with a Single Family Home comprising of three (3) bedroom and two (2) bath. (See attached: Building Plans including Elevations, Floor Plans, Facades, Landscaping, Sketches of Plans to be developed and the above highlighted detailed description.)

**TIMELINE TO COMPLETE THE CONSTRUCTION PROJECT**

With our level of planning devoted to this project, we could have this project with the C O being received from the City in no more than 6 to 7 months.

**CONSTRUCTION COST ESTIMATES**

Kindly Find attached our detailed cost estimate from (us) the Licensed Contractor.

**PROOF OF FINANCIAL ABILITY/LETTER FROM FINANCIAL INSTITUTION:**

The attached record, will attest to our ability to purchase the lot and perform the above outlined construction.

**PROPERTY UTILIZATION DEVELOPED FOR RESIDENTIAL USE.**

Our main goal is to develop said property with an Owner Occupancy, through the approach of resale.

**NARRATIVE / SUMMARY OF DEVELOPMENT**

We view this project for development, as an approach to assist the City of Fort Pierce with ensuring its vital tax base is restored for future grow, in meeting the needs of its residents. The project reflects are approach for the area/address as noted, to further define a need in strengthening the neighborhood through the presence of family and unification.

We have seen what a project such as the one we are proposing can do for a neighborhood, we ask that you kindly reflect on the Zora Neal Hurston development we did off 29<sup>th</sup> street in Fort Pierce. This project comprised of a total of twenty (20) such homes. In addition, we just completed another home identical to one are proposing, at 710 22<sup>nd</sup> ST, Fort Fierce.

We believe in our client's satisfaction, combined with the City's vision for the various neighborhoods. We believe that the two vision combined, will help the city meet the need for affordable housing, in addition to strengthening the City's Tax base and beyond.

Respectfully submitted with thanks and anticipation,

 Date 11/13/23

Sunrise City CHDO, Inc.  
Management.

*“Helping Families.... To Help Themselves.....”*

# *Charter Mortgage L.L.C.*

15155 NW 7<sup>th</sup> Avenue Suite 102 • Miami, FL. 33169 or [don@CharterML.com](mailto:don@CharterML.com)

[www.CharterML.com](http://www.CharterML.com)

201 E. Abram St. Arlington, TX. 76010

Cell Phone (786) 379-0868 • Fax (888) 388-2194

NMLS ID 1414207

Friday, November 10<sup>th</sup>, 2023

To Whom it may concern,

We are pleased to inform you that Sunrise City Concrete Services is pre-approved for the purchase price of up to \$600,000.00 that they requested for the acquisition and development of Single family homes in the City of Fort Pierce FL.

We have verified assets, cash reserves, personal and business credit, and income. This pre-approval is based on verified information provided.

If you have any questions regarding this loan pre-approval, please feel free to contact me at any time.

Thank you,

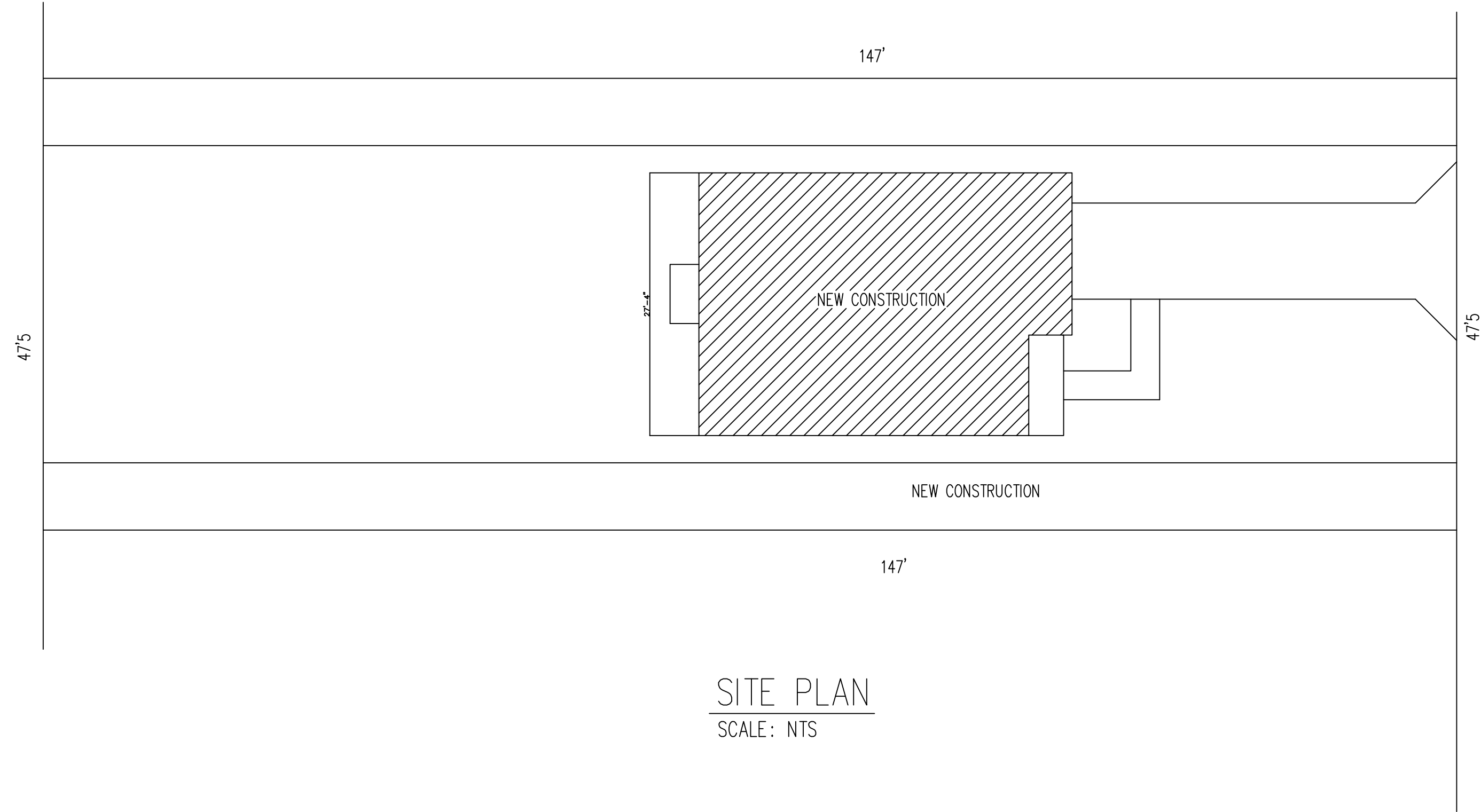
*Don*

**Donald D. Forrester**

President

NMLS ID# 842745

*\*\*Buyer's credit, assets, and income has been examined within the past 14 days \*\**



N 22nd STREET



FRONT ELEVATION  
SCALE: NTS

SITE AND SOIL PREPARATION STATEMENT

1. STRIPPING OF SITE:  
ALL VEGETATION TOP SOILS, MARL, TREE STUMPS, ROOTS, ORGANIC ZONES, ASPHALT PAVEMENT (WITH LIMERICK BASE COURSE), AND OTHER DELETERIOUS MATERIALS MUST BE STRIPPED TO WHATEVER DEPTH IS NECESSARY, AND REMOVED FROM THE SITE. STRIPPING OF THE SITE WILL BE REQUIRED TO A DEPTH FOR COMPLETE REMOVAL OF ALL UNACCEPTABLE MATERIAL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER. CONTACT SOIL ENGINEER FOR INSPECTION AND FINAL APPROVAL BEFORE CONTINUING.

2. COMPACTION AFTER STRIPPING:  
THE COMPLETE COMPACTION PROCESS MUST BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. THIS COMPACTION IS TO BE TESTED WITH 8 FEET STANDARD PENETRATION TEST BORINGS. FREQUENCY OF TESTS TO BE AT EVERY 1500 SQ. FT. THE UPPER 12" MUST BE TESTED FOR 95% OF THE MODIFIED PROCTOR (ASTM D-1557). TESTS ARE TO BE OBSERVED AND APPROVED BY GEOTECHNICAL ENGINEER BEFORE CONTINUING WITH THE COMPACTION. GENERAL CONTRACTORS TO EXERCISE CAUTION DURING COMPACTION OPERATIONS TO AVOID DAMAGE TO ANY NEARBY EXISTING STRUCTURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURES.

3. STRUCTURAL FILLING AND BACKFILLING:  
MADE IN LIFTS NOT EXCEEDING 12" IN DEPTH. COMPACTION WITH A VIBRATORY ROLLER TO ATTAIN 95 % COMPACTION OF MODIFIED PROCTOR DENSITY TEST (ASTM D-1557). MUST BE COMPLETED UNIFORMLY. STRUCTURAL FILL TO CONSIST OF NON-ORGANIC, NON-PLASTIC, CLEAN, COARSE-GRAINED SAND/ROCK MATERIAL (ASTM D-1557). TESTS ARE TO BE OBSERVED AND APPROVED BY GEOTECHNICAL ENGINEER BEFORE CONTINUING. SAMPLES ARE TO BE SUBMITTED AND APPROVED BY THE GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER BEFORE COMMENCEMENT OF WORK. NO PARTICLE SIZE GREATER THAT THREE INCHES AND LESS THAN 10 % PASSING THROUGH THE #200 SIEVE. THE COMPACTION OF EACH LIFT MUST BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.

4. FOUNDATION BEARING SURFACE PREPARATION:  
THE UPPER 12" OF BEARING SOIL IN THE FOOTING EXCAVATION BOTTOM SURFACES (AFTER EXCAVATING FOR FOUNDATIONS) MUST BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH THE WORK. AFTER APPROVAL ALL THE BEARING SURFACES MUST BE COMPACTED TO DENSITIES EQUIVALENT TO 98 % OF THE MODIFIED PROCTOR DENSITY TEST (ASTM D-1557). SOILS WHICH ARE NOT APPROVED MUST BE REMOVED OR REPLACED, OR LOWERED TO A SATISFACTORY BEARING ELEVATION, OR FURTHER COMPACTED AS DETERMINED AND INSTRUCTED BY THE GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER. THE COMPACTION OF THESE AREAS MUST ALSO BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.

5. TESTING:  
TESTING OF COMPACTED EXISTING SOIL, OR OF STRUCTURAL BACKFILL TO MEET OR EXCEED 95 % OF MODIFIED PROCTOR DENSITY TEST (ASTM D-1557). FREQUENCY OF TESTS: ONE EACH 1500 SQ. FT. (OR A MINIMUM OF 3 IN ANY ONE BUILDING OR BUILDING ADDITION) AND AT EACH LIFT OF EXISTING OR BACKFILL, ONE OF EACH SPREAD FOOTING, AND ONE EACH 100 LIN. FT. OF CONTINUOUS FOOTINGS. GENERAL CONTRACTOR TO SUBMIT TESTING PLAN FOR APPROVAL BY ARCHITECT, GEOTECHNICAL ENGINEER, AND STRUCTURAL ENGINEER BEFORE COMMENCEMENT OF WORK.

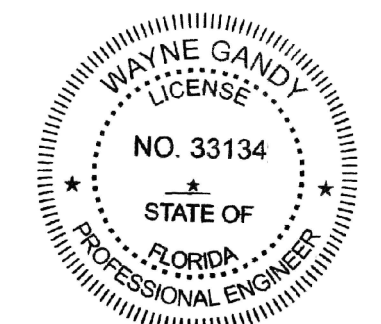
SLAB ON FILL  
1. FILL AND BACKFILL TO BE COMPACTED TO 95 % OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINE BY THE STANDARD PROCTOR TEST.  
2. COMPACTION LAYERS NOT TO EXCEED 8 INCHES, SLABS ON FILL TO BE PLACED ON A CHECKERBOARD PATTERN WITH CASTING LIMITED TO 600 SQUARE FEET OR 25 FEET IN ANY DIRECTIONARD PATTERN.  
3. PROVIDE 6-MILL VAPOR BARRIER (VISQUEEN) BELOW ALL INTERIOR SLABS ON FILL. SOIL MUST BE TREATED FOR TERMITE. TO BE PERFORMED BY APPROVED TERMITE SPECIALIST

SHEET INDEX	
# SHEET	DESCRIPTION
A1	COVER SHEET
A2	FLOOR PLAN AND DETAIL
A3	ELEVATION
A4	FOUNDATION
A5	MECHANICAL PLAN & DETAILS
A6	PLUMBING PLAN
A7	ELECTRICAL PLAN & DETAILS
A8	FRAMING
A9	DETAILS SHEET
A10	

DESIGNWEST ASSOCIATES INC.

Fine Architectural Design  
1510 E. COLONIAL DR. STE. 230, ORLANDO, FL. 32803  
Ph. 203-514-4221 DESIGNWESTASSOC@AOL.COM  
DRAWN BY: F.R.  
DATE: 01/27/2019  
SUBDIVISION:  
SCALE: AS SHOWN  
CHK BY: WG

SHEET NO  
**A-1**  
OF SHEETS



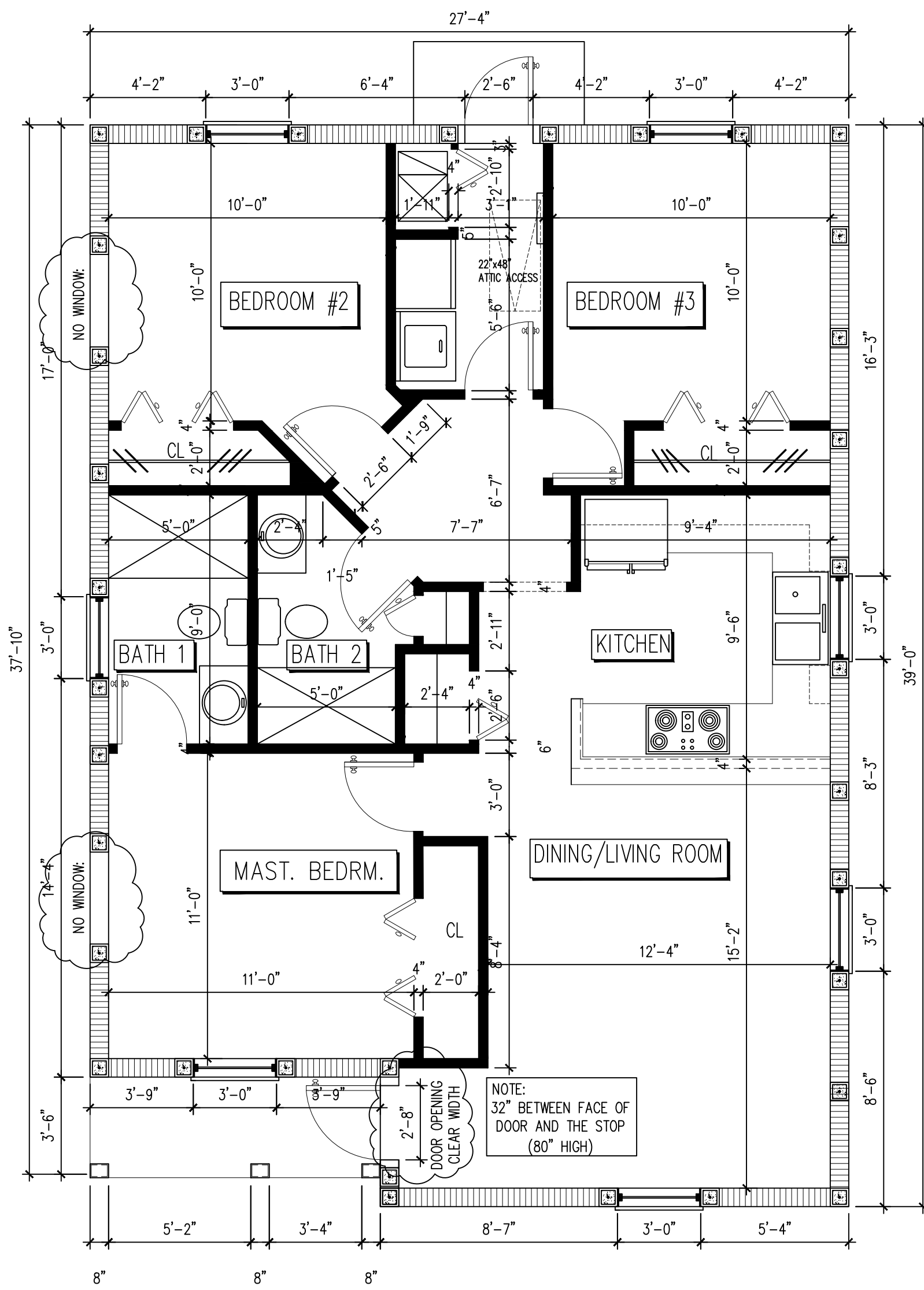
ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2017 FLORIDA BUILDING CODE 6TH EDITION  
MECH/PLUMB/ENERGY/ACCESSIBILITY/LIFE SAFETY, FIRE CODE AND NEC 2014  
CONSTRUCTION SCHEDULE, WIND AND PRESSURE CATEGORY C AND WIND IMPORTANCE  
MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES



SUNRISE CITY  
C.H.D.O. INC  
(from conception to construction)  
DRAWING AND CONSTRUCTION  
LIC. # CC - C1515114  
(772) 201-2850

THE BISMARCK SPEC HOME  
710 N 22ND STREET  
FORT PIERCE, FL 34980

DesignWest Associates, Inc. and Sunrise City, C.H.D.O. Inc. are not to be held responsible for any errors or omissions in these drawings. The user of these drawings shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, codes, and regulations. The user of these drawings shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, codes, and regulations. The user of these drawings shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, codes, and regulations.



FLOOR PLAN  
SCALE: 1/4" = 1'-0"

AREA BREAKDOWN	
LIVING AREA =	1,016 SQ. FT.
TOTAL	1,016 SQ. FT.
ENTRY AREA =	37 SQ. FT.
TOTAL AREA =	1,053 SQ. FT.

VENTILATION OF ATTIC SPACE		PER 2017 FBC 2306.3.2
RATIO OF NET FREE VENTILATION TO CEILING =	1/150	
ATTIC SPACE TO BE VENTILATED	1,050 SQ. FT.	
NET AREA OF SCREEN VENTILATION REQUIRED	1,050 SQ. FT. / 150	
SIZE AND SPACING OF SCREEN VENTS	7"x22" (1.06 SF) @ 8'-0" O.C.	
MIN. NUMBER OF REQUIRED SCREEN VENTS	7.9 / 1.06 = 6 SCREEN VENTS	
LINEAR FT. OF EAVE (EIGHTH AVAILABLE)	132'-0" O.F.L.	
NUMBER OF SCREEN VENTS PROVIDED	132' / 8' = 16 SCREEN VENTS	

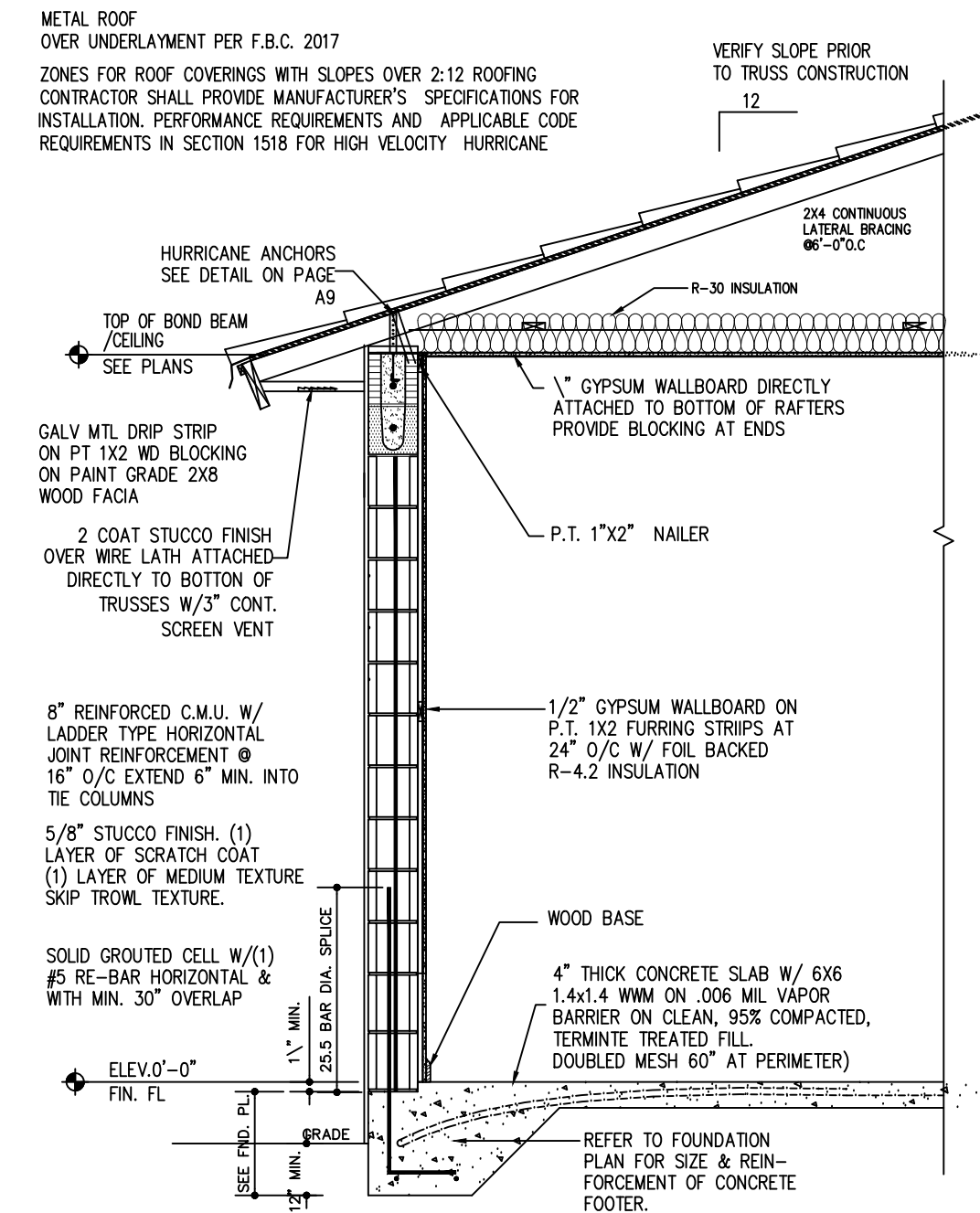
SEE "TV" WALL SECTIONS ON SAME SHEET FOR SCREEN VENT LOCATION

GENERAL NOTES:

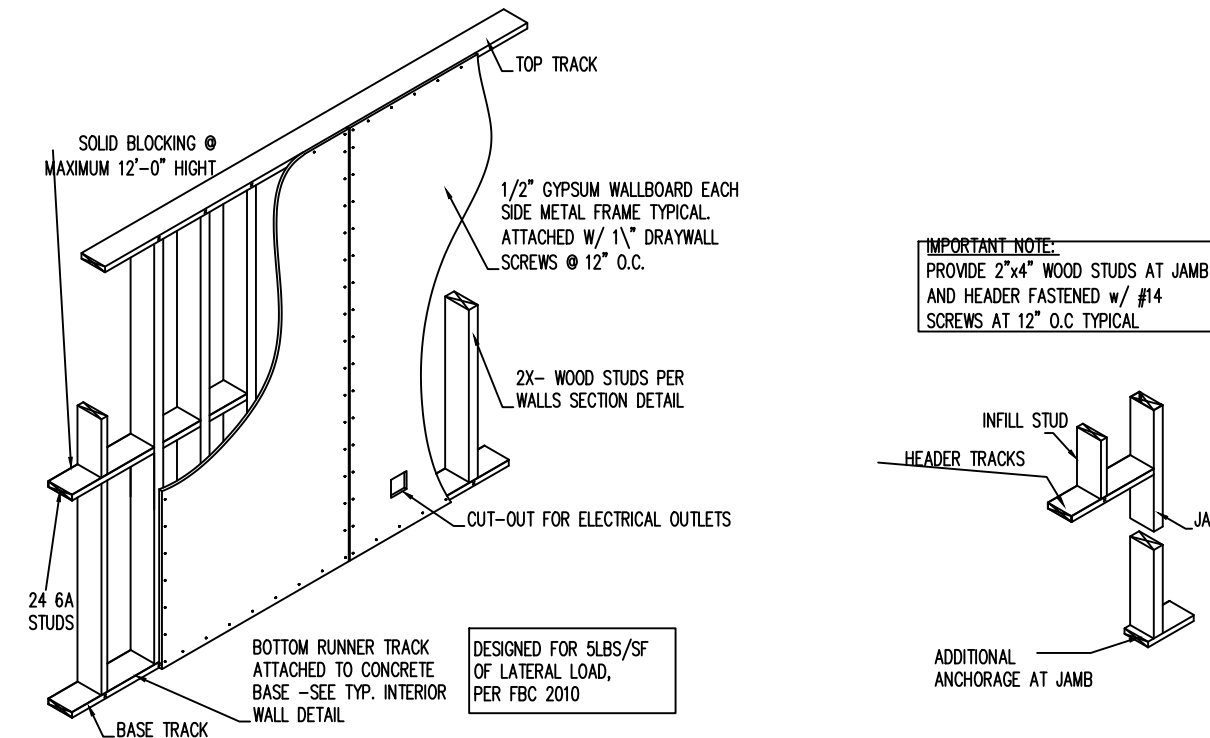
- ALL OPENINGS SHALL BE PROTECTED WITH APPROVED HURRICANE SHUTTERS WITH THE EXCEPTION OF THE ENTRY DOOR AND THE GARAGE DOORS WHICH SHALL BE DESIGNED TO WITHSTAND HURRICANE IMPACT LOAD (APPLICABLE ONLY IF IMPACT GLASS IS NOT BEING USED)
- EXTERIOR DOORS & FRAMES TO HAVE WEATHER STRIPPING
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL LUMBER SHALL BE #2 YELLOW PINE, OR S.P.F.
- WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM TO THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS - SEE SPECIFICATION REGARDING MEAN OF EGRESS BELOW.
- ALL ATTIC OPENINGS SHALL BE FRAMED WITH 1" X 2" WOOD FRAMING.
- PROVIDE OUTLET AND SWITCHED LIGHT AT ALL ATTIC ACCESS
- ALL INTERIOR DOOR SHALL BE HOLLOW CORE
- ALL SHOWER ENCLOSURE GLASS TO BE SAFETY GLAZING
- ALL WINDOW FRAMES TO BE SET IN CAULK BEDS
- EXTERIOR DOORS & FRAMES TO HAVE WEATHER STRIPPING
- ALL LINEN CLOSET SHALL HAVE 3 SHELVES
- ALL INTERIOR NON-BEARING WALL SHALL BE METAL STUDS WITH GAGE & INSTALLATION PROCEDURE AS SPECIFIED BY MANUFACTURER
- EXTERIOR SOFFIT & C.G. SHALL BE CLAD WITH STUCCO OVER EXP. METAL LATH APPLIED PER FBC 2001 CHAPTER 25, SECTION 2508.
- GENERAL CONTRACTOR SHALL VERIFY ALL MASONRY OPENINGS WITH MANUFACTURER'S LITERATURE

SPECIFICATIONS REGARDING MEANS OF EGRESS

THE MODE OF OPERATION OF EGRESS WINDOWS SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, 5.7 SQ. FT. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FINISHED FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR.



WALL SECTION  
SCALE: NTS



PRODUCT APPROVAL SUBMITTAL AFFIDAVIT						
PRODUCT	NOA FL. PRODUCT	MANUFACTURER	MODEL	ATTACHMENT METHOD:	BUILDING DESIGN PRESSURES, P.F.S.	PRODUCT DESIGN PRESSURES, P.F.S.
ROOFING	FL FL2346-R7	UNION CORRUGATING	-	INSTALLED PER MANUFACTURES SPECS.	N/A	N/A
SWING DOOR	FL Z2513	MASONITE	GLAZED SWING DOOR	FRAME HEAD - 1/4" E.L.C.O TOPCONS MIN. 1/4" EMBED INTO CONC. 6" FROM CORNERS FRAME JAMBS 1/4" E.L.C.O TOPCONS MIN. 1/4" EMBED INTO CONC. 6" FROM CORNERS & SPACE MAX 14" O.C.	+50.0 -50.0 PSF	+1 -67 PSF
WINDOWS	FL14911.5	ANDERSON	SERIES 7800 SH FLANGE/FIN FRAME IMPACT LOW-E	FRAME HEAD - 1/4" E.L.C.O TOPCONS MIN. 1/4" EMBED INTO CONC. 6" FROM CORNERS & SPACED MAX 13 3/4" O.C. FRAME JAMBS 1/4" E.L.C.O TOPCONS MIN. 1/4" EMBED INTO CONC. 6" FROM CORNERS & SPACE MAX 9 1/4" O.C. FRAME SILL - NONE	N/A	+60 -60 PSF
SOFFIT	STUCCO		VENTED DECORATIVE CEMENTIOUS FINISH	VAPOR BARRIER .... W/FELT BACKED HIGH RIB LATH ATTACHED W/ 1 1/2" GALV. ROOF NAILS AT 4" O.C. ON HIGH RIB W/ STUCCO	N/A	N/A
GARAGE DOOR	-	-	-			

NOTE: ALL WINDOW & DOOR BUCKS: CAULKED & SEALED.  
ALL WINDOW & DOOR TO FOLLOW MANUFACTURES SPECIFICATIONS AS WELL AS THOSE LISTED

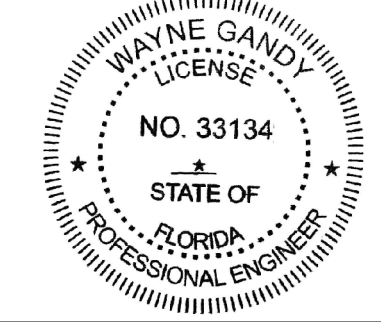
I HAVE REVIEWED THE ABOVE COMPONENTS AND CLADDING, AND I HAVE APPROVED THEIR USE IN THE STRUCTURE TO PROVIDE ADEQUATE RESISTANCE TO THE WIND LOAD AND FORCES SPECIFIED BY THE CURRENT CODE PROVISIONS, AS SIGNED BELOW.

DESIGNWEST ASSOCIATES INC.

Fine Architectural Design  
1510 E. COLONIAL DR. STE. 230, ORLANDO, FL. 32803  
Ph. 203-514-4221 DESIGNWESTASOC@AOL.COM  
BUILDER: SUNRISE CITY C.H.D.O. INC. DATE: 01/27/2019  
DRAWN BY: F.R. REVISIONS:  
SCALE: AS SHOWN  
CHECKED BY: WG  
SUBDIVISION:

SHEET NO  
**A-2**  
OF SHEETS

REVISED 12/21/2020



ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2017 FLORIDA BUILDING CODE 6TH EDITION MECH PLUMB ENERGY ACCESSIBILITY LIFE SAFETY FIRE CODE AND NEC 2014 CONSTRUCTION 160MPH WIND SPEED 2. BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES

THE BISMARCK SPEC HOME  
710 N 22ND STREET  
FORT PIERCE, FL 34950

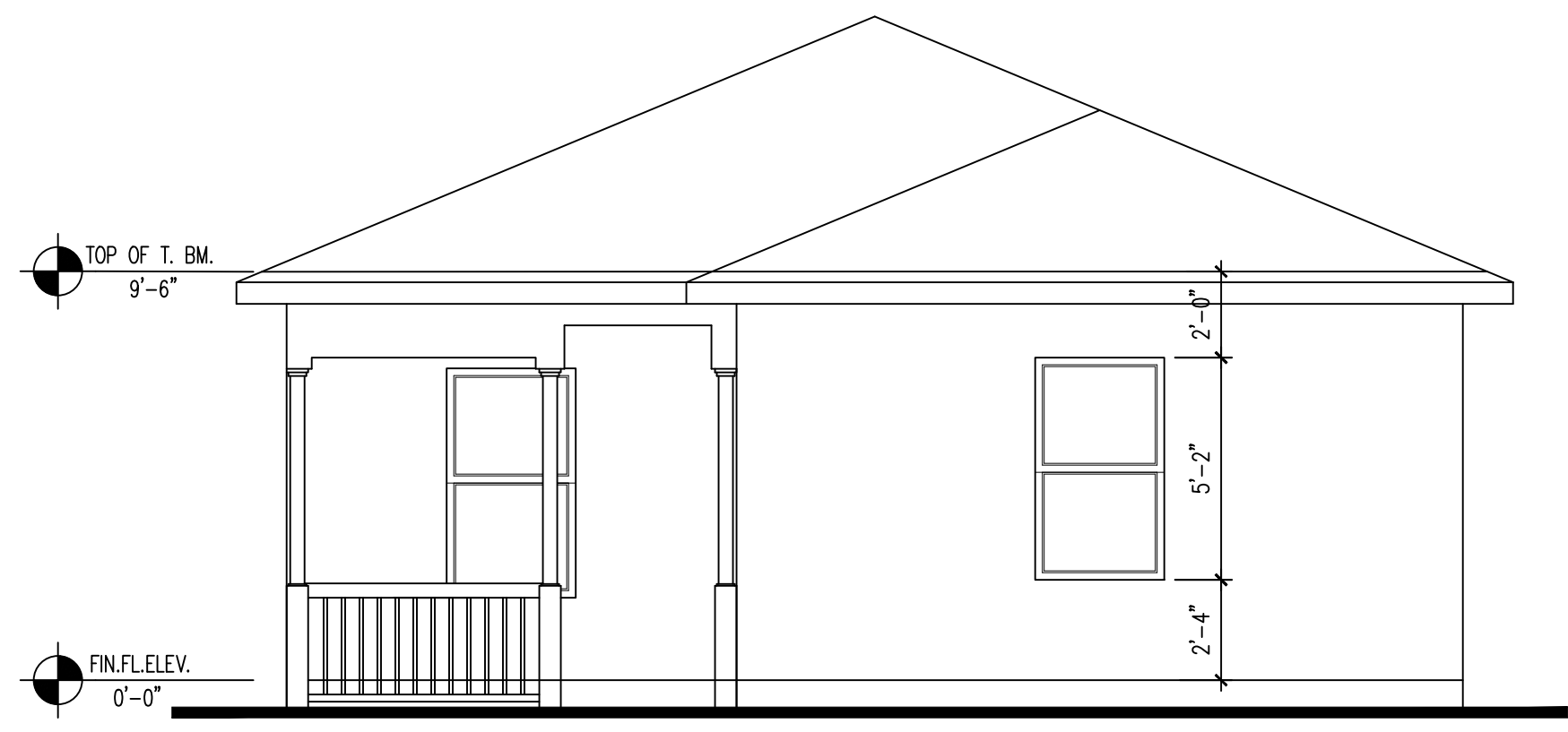
SUNRISE CITY  
C.H.D.O. INC.  
(from conception to construction)  
DRAWING AND CONSTRUCTION  
LIC. # CG - 01515114  
(772) 201-2850

CONSULTING ENGINEERS  
WAYNE GANDY, P.E.  
PE 33134  
DESIGNWEST ASSOCIATE

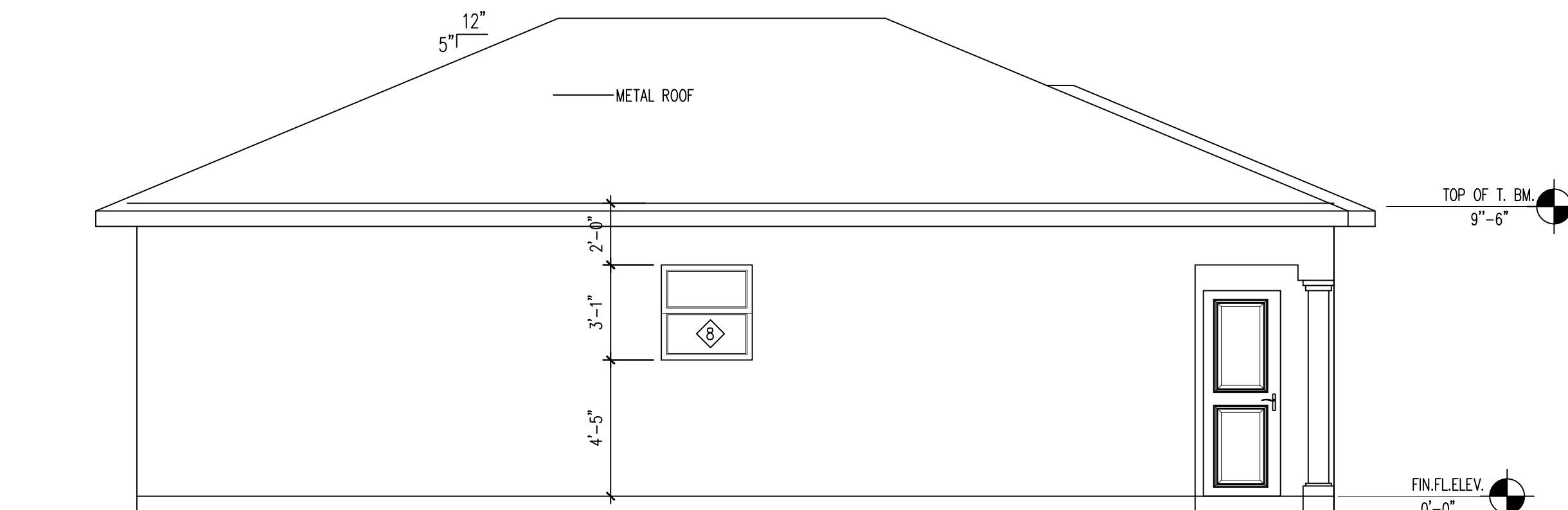


Written Dimensions on these drawings shall have precedence over notes, dimensions, annotations, or other information. The contractor shall be responsible for verifying all dimensions and conditions shown on these drawings. Must be modified if any conflict arises from the drawings and conditions shown on these drawings.

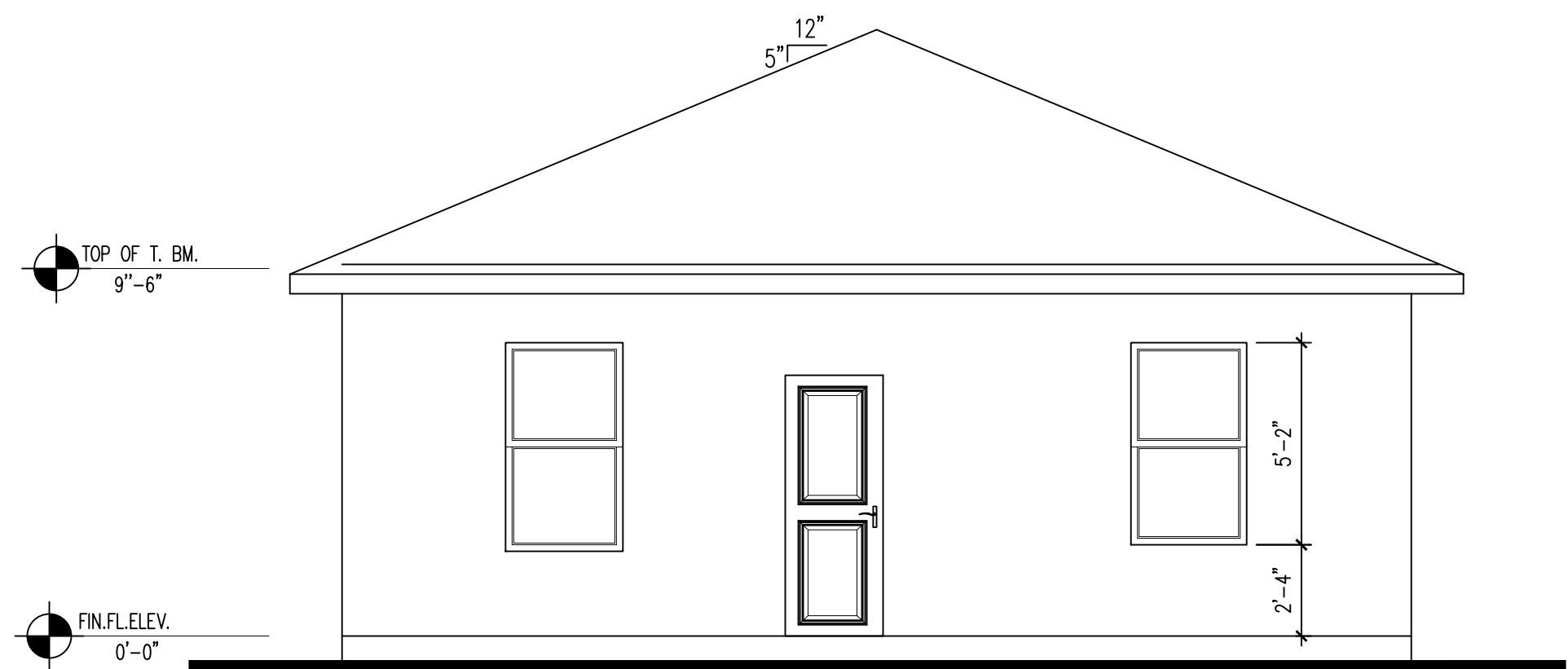
DesignWest, hereby reserves the copyright and other property rights in these drawings. These plans and drawings are not to be reproduced, copied, or otherwise used in any way without the written permission and consent of the Designer. For use they may be assigned to any project without the written permission and consent of the Designer.



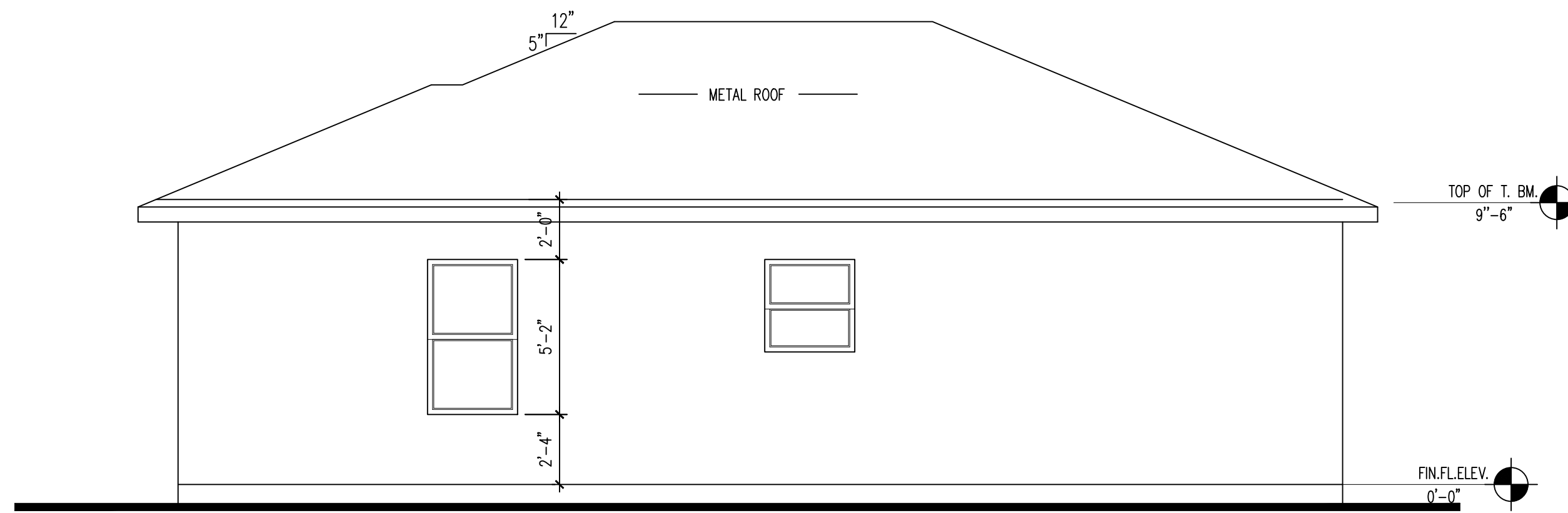
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



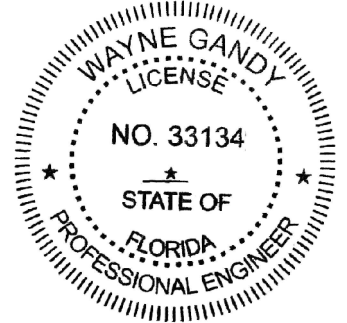
RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

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DATE: 01/27/2019  
SUBVISION: AS SHOWN  
CHK BY: WG

SHEET NO  
**A-3**  
OF SHEETS

REVISED 12/21/2020



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MECH/PLUMB/ENERGY/ACCESSIBILITY/LIFE SAFETY/FIRE CODE AND NEC 2014  
CONSTRUCTION 160MPH WIND SPEED 2. BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE  
MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES

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WAYNE GANDY, P.E.  
DESIGNWEST ASSOCIATE

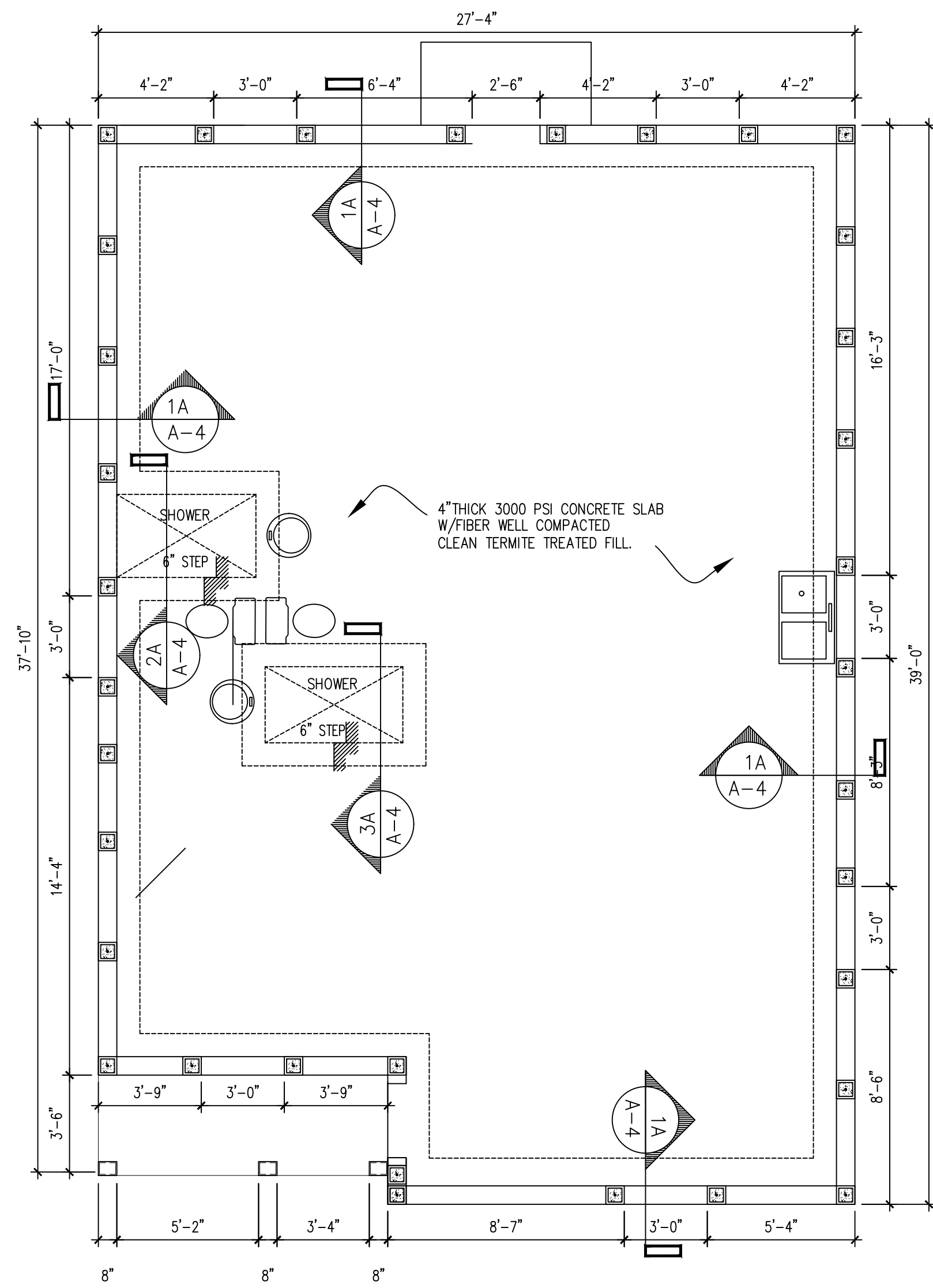


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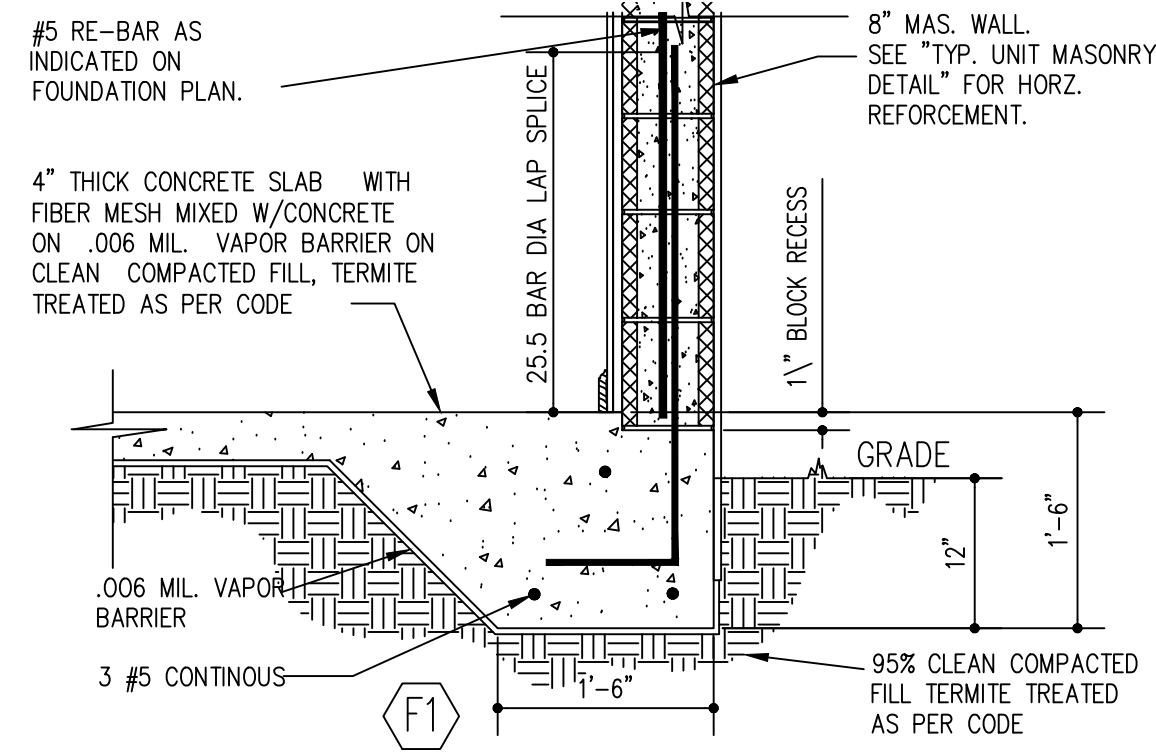
THE BISMARCK SPEC HOME  
710 N 22ND STREET  
FORT PIERCE, FL 34950



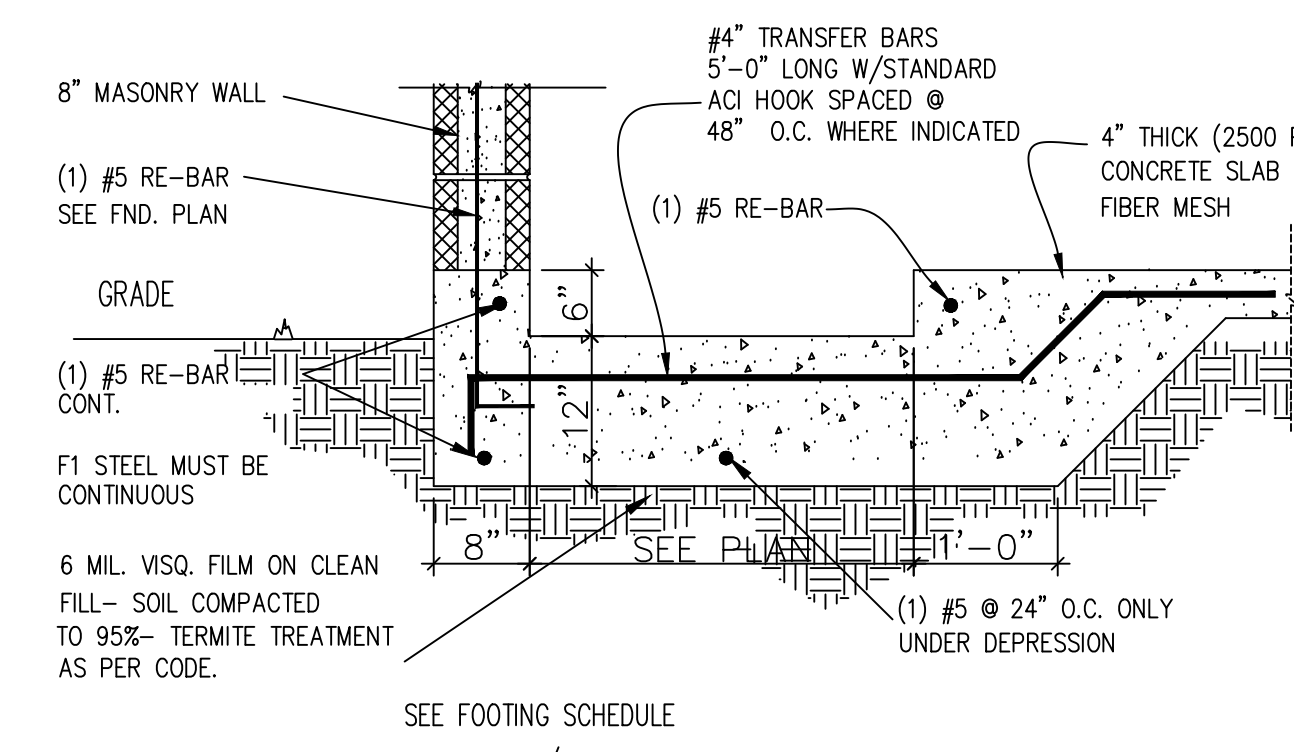
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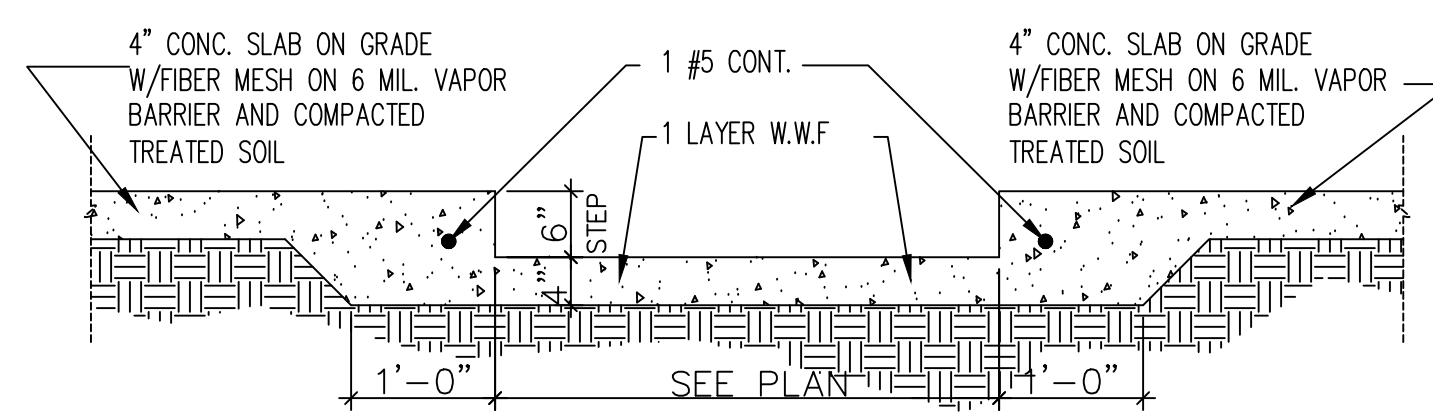
FOUNDATION PLAN  
SCALE: 1/4



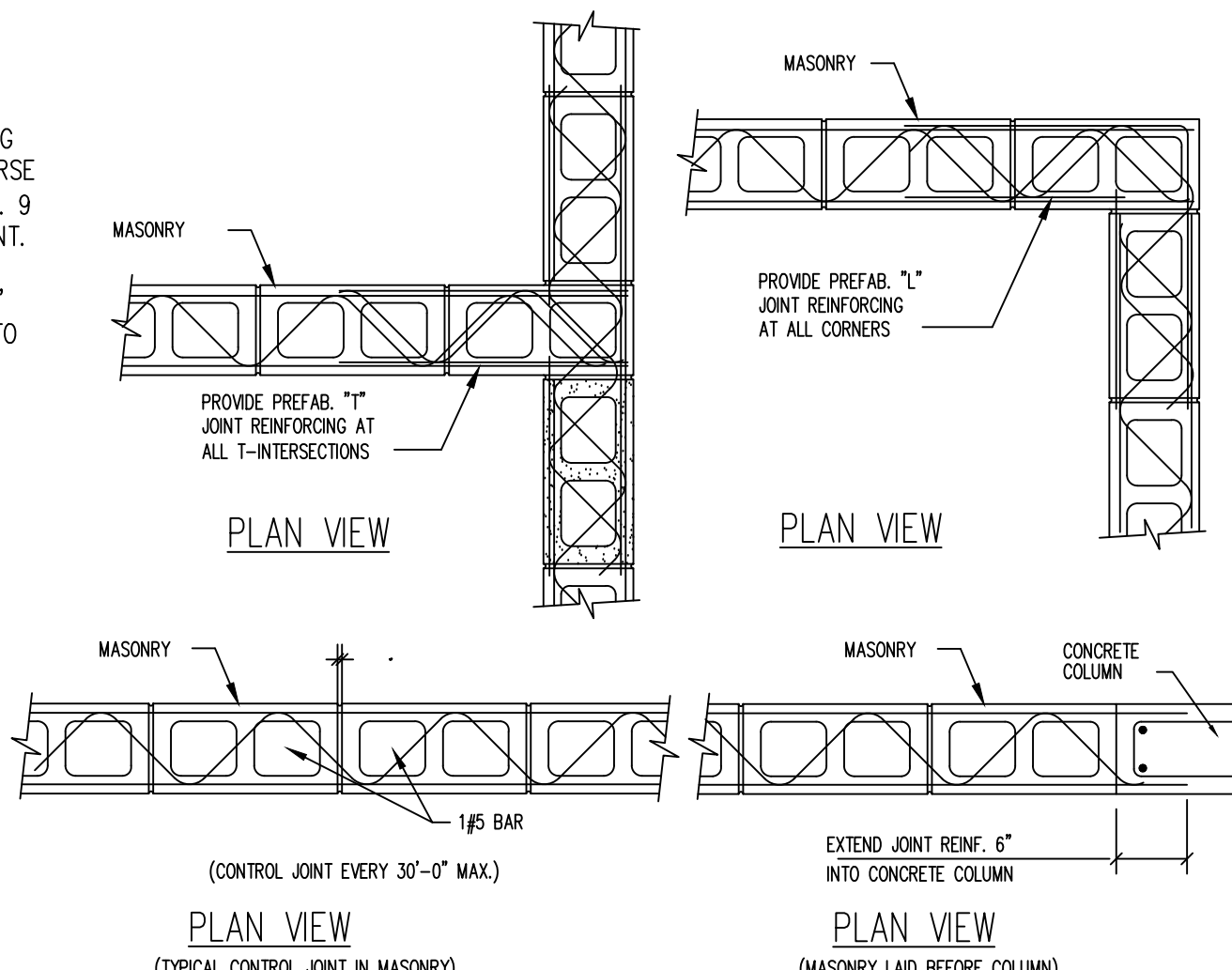
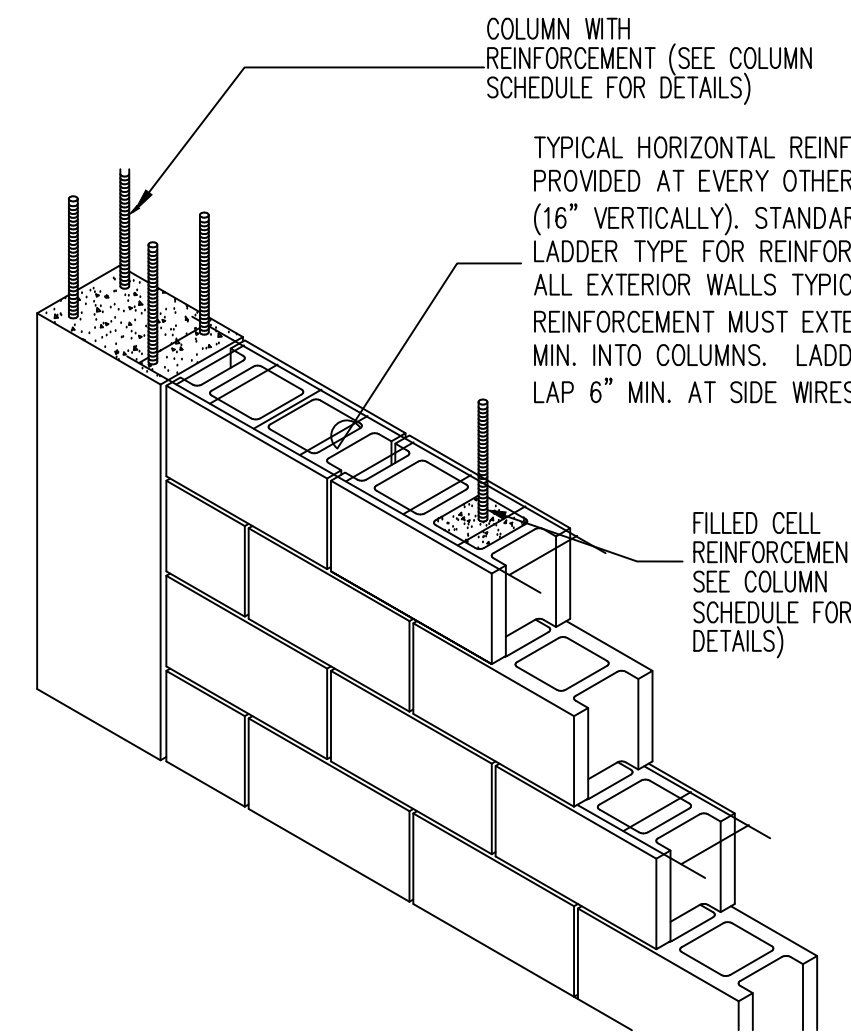
SECTION 1/A4 - PERIMETER FOOTING  
SCALE: 3/4" = 1'-0" TYPICAL AT ALL PERIMETER WALL (U.O.N.)



SECTION 4/A4 - SLAB DEPRESSION  
SCALE: 3/4" = 1'-0" AT SHOWER(S)



SECTION 3/A4 - SLAB DEPRESSION AT SHOWER  
SCALE: 3/4" = 1'-0"



COLUMN SCHEDULE					
TYPE	SIZE		REINFORCING		REMARKS
	WIDTH	DEPTH	VERTICAL	HORIZONTAL	
(C1)	8"	8"	1 # 5	NONE	SOLID GROUTED MASONRY CELL LAP MIN 18 BAR DIA. INTO FOOTING AND THE BEAM. MAX C.C. SPACING OF 48" (U.O.N.)
(C2)	8"	16"	2 # 7	NONE	SOLID GROUTED MASONRY CELL LAP MIN 18 BAR DIA. INTO FOOTING AND THE BEAM.
(C3)	16"	16"	4 # 5	NONE	SOLID GROUTED MASONRY CELL LAP MIN 18 BAR DIA. INTO FOOTING AND THE BEAM.
(C4)	8"	12"	2 # 6	NONE	"O" BLOCK. REINF. LAP MIN 18 BAR DIA. INTO FOOTING AND THE BEAM.
(C5)			2 # 5	NONE	T994 RINKER BLOCK (45° ANGLE) w/ 2-#5 VERT.
(C6)	I.S. 3"x3"x7" COLUMN				CONC. FILLED STEEL COLUMN
(C7)	16" DIA. ROUND COLUMN BLK.	4 # 5		#3 @ 12" O.C.	RINKER BLK. (ROUND) 16" DIAM.

PROVIDE 8 X 8 FILL CELLS W/#5 @ MAX. 5'-0" O.C.

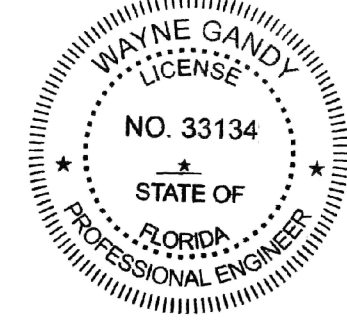
FOOTING SCHEDULE											
TYPE	SIZE			REINFORCING LENGTHWISE		TRANSVERSE BAR		TRANSFER BAR		REMARKS	
	WIDTH	LENGTH	DEPTH	NO.	SIZE	NO.	SIZE	NO.	SIZE		
(F1)	18"	CONT.	18"	3	#5	(1) CONT. ON TOP (2) CONT. ON BOT.	1	#4	#48"	1 #4 60" 48"	MONOLITHIC
(F2)	8"	CONT.	8"	1	#5	CONT. ON BOT.					THICK EDGE
(F3)	12"	CONT.	8"	1	#5	CONT. ON BOT.					THICK EDGE
(F4)	24"	24"	12"	3	#5	EA. WAY					FND. PAD
(F5)	36"	36"	12"	4	#5	EA. WAY					FND. PAD
(F6)	42"	42"	12"	5	#5	EA. WAY					FND. PAD
(F7)	36"	6'-8"	12"	4	#5	LONG WAY			#8" O.C. SHORT WAY		FND. PAD

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REVISED 12/21/2020



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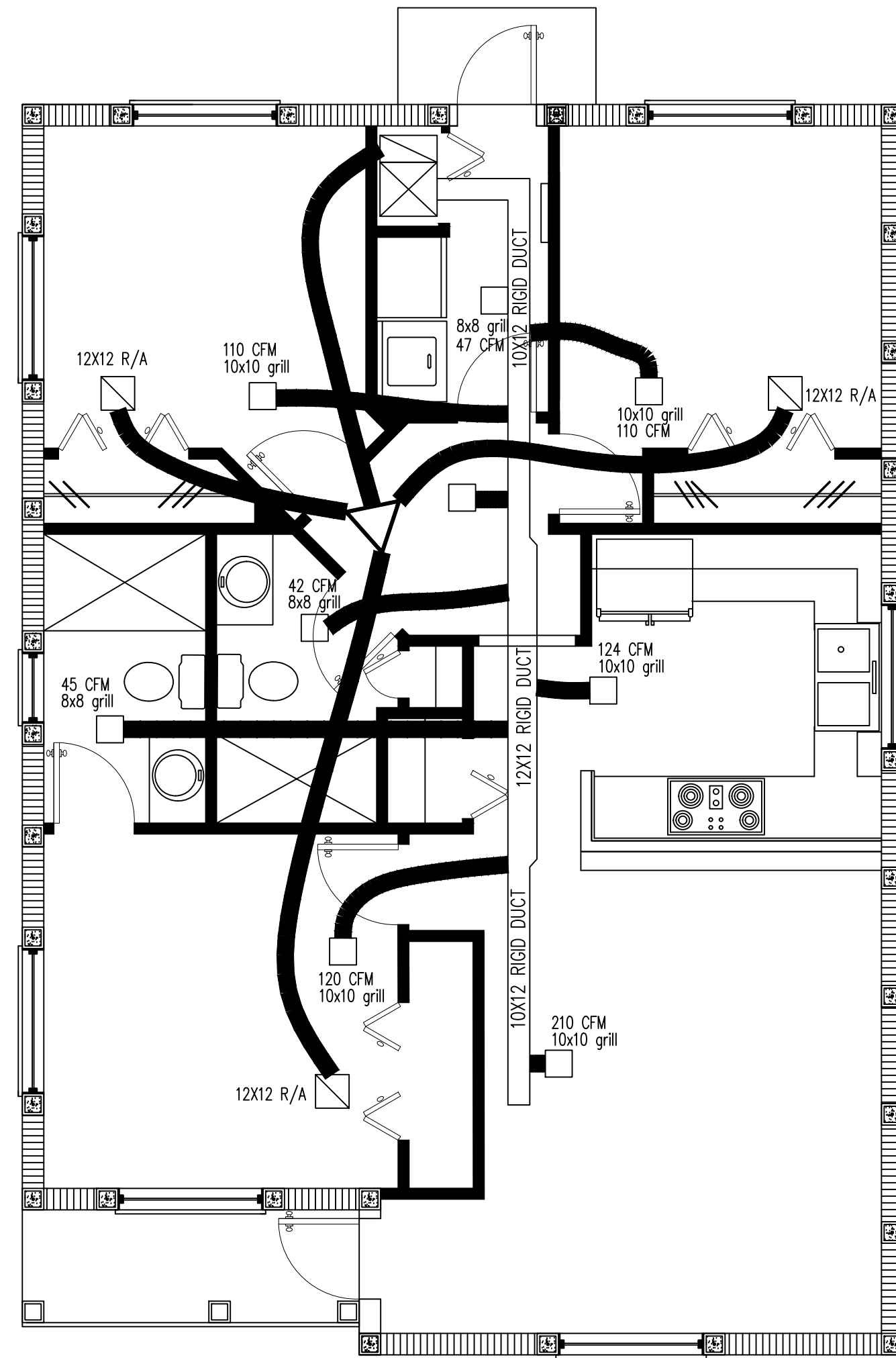
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A/C PLAN  
SCALE: 1/4" = 1'-0"

**AIR CONDITIONING SPECIFICATION**

**GENERAL**

- \* DRAWINGS ARE DIAGNOSTIC. DO NOT SCALE DRAWINGS FOR THE EXACT LOCATION OF EQUIPMENT, PIPING, DUCTWORK, ETC.
- \* THESE DRAWINGS DO NOT SHOW EVERY WORK DETAIL, BUT THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE, ACCEPTABLE WORKING INSTALLATION.
- \* ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUB-CONTRACT.
- \* CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- \* ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- \* ALL REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- \* ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES, RULES, AND ORDINANCES.
- \* ALL MATERIALS SHALL BE NEW AND SHALL BEAR UNDERWRITERS LABEL WHERE APPLICABLE.
- \* THE MECHANICAL CONTRACTOR SHALL PROVIDE A WRITTEN WARRANTY THAT SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM THE DATE OF FINAL WORK ACCEPTANCE. EQUIPMENT SHALL BE U.L. APPROVED.
- \* ARCHITECTURAL AND/OR ENGINEERING EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR.

**INSTALLATION**

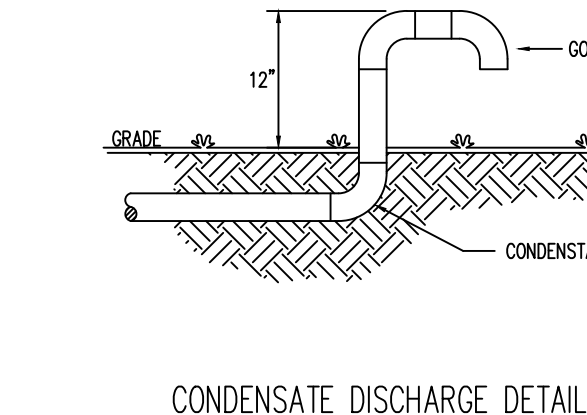
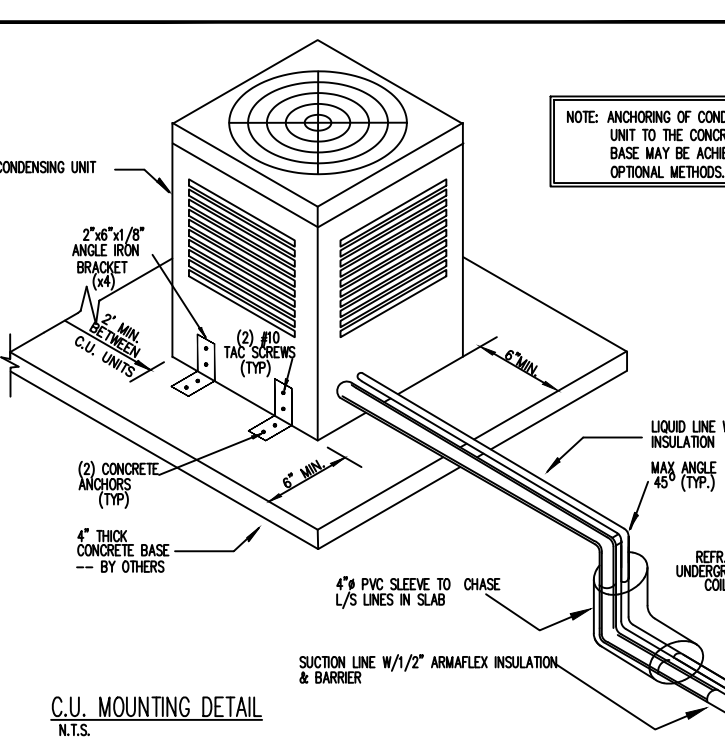
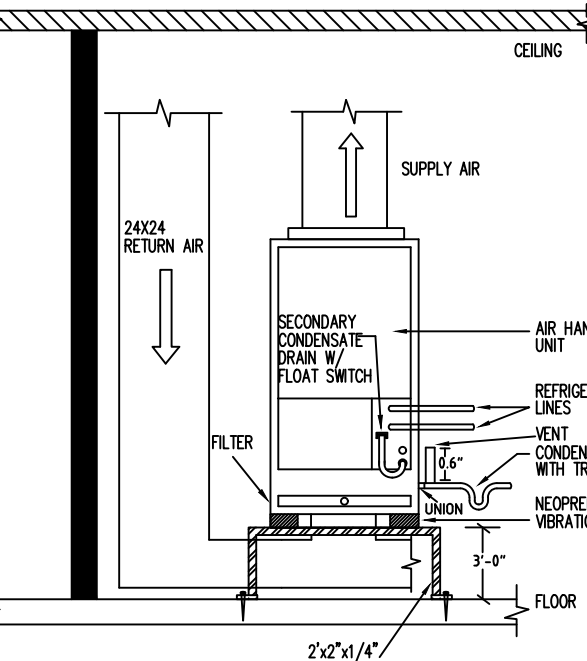
- \* THE MECHANICAL CONTRACTOR SHALL PROVIDE HVAC EQUIPMENT AS SCHEDULED WITH THE CAPACITIES SHOWN ON THE PLAN.
- \* SUBMIT SHOP DRAWINGS ON ALL EQUIPMENT AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- \* THE MECHANICAL CONTRACTOR SHALL PROVIDE MOTOR STARTERS RELAYS, CONDENSERS, SMOKE OUT DETECTORS, ETC.
- \* THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES AND INSTALL ALL CONTROL WIRING.
- \* A/C UNIT SUPPLY AND RETURN AIR DUCTS SHALL BE 4" R-8 ZONE MARLBOR MAT-FACE MESH-FIBERGLASS DUCT BOARD, TYPE 800 (UL APPROVED), INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- \* ALL DUCTWORK SHALL CONFORM TO S.M.A.C.R.A. STANDARDS. ALL DUCTWORK SIZES ARE NET INSIDE DIMENSIONS.
- \* ALL A/C SUPPLY DUCT ELBOWS MUST BE FURNISHED WITH APPROVED TURNING VANES.
- \* BRANCH TAKEOFFS MUST BE PROVIDED WITH APPROVED, INSULATED, ACCESSIBLE AIR SPLITTER DAMPERS.
- \* RETURN DUCT ELBOWS SHALL HAVE AN INSIDE RADIUS NOT LESS THAN 1.5 TIMES THE WIDTH OF THE DUCT.
- \* CLAMP FLEXIBLE DUCTS TO COLLARS. MAXIMUM LENGTH SHALL BE 10 FEET.
- \* ALL EXHAUST AND OUTSIDE AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL.
- \* ANY DUCTWORK ABOVE THE ROOF TO BE SHEET METAL, WEATHERPROOFED AND PAINTED. INSULATION TO BE 2" THICK, ROOF OR INTERIOR AND INSTALLED IN AN APPROVED MANNER.
- \* SMALL SMOKE DETECTORS IN THE SUPPLY DUCT OF ALL A/C UNITS EXCEEDING 1000 CFM OVERLOOK WITH ON/OFF CONTROLS OF AIR HANDLER.
- \* AIR DISTRIBUTION ACCESSORIES SHALL BE PER SCHEDULE ON PLANS. RETROGRADE PIPING TO BE TYPE "C" COPPER WITH SOLDER FITTINGS. INSULATE ALL RETROGRADE SUCTION LINES WITHIN BUILDING SPACES WITH 1/2" MINIMUM OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- \* CONNECT CONDENSATE DRAIN PIPING FROM UNIT THROUGH A TRAP TO CONDENSATE DRAIN PLUMBING CONTRACTOR MAY INSTALL DRAIN WITHIN 6 FEET OF UNIT IF CONTRACTED TO DO SO.
- \* SET AIR CONDITIONING HANDLES AND CONDENSATE UNITS ON APPROVED BASES WITH VIBRATION ISOLATORS. ALL OUTDOOR AIR INTAKES SHALL BE SCREENED WITH A CORROSION-RESISTANT MATERIAL NOT LARGER THAN 1/2" MESH.
- \* MOUNT THERMOSTATS 5'-4" ABOVE FLOOR, UNLESS NOTED OTHERWISE.
- \* THERMOSTATS FOR A/C UNIT SHALL BE HEAT/OFF/COOL AND FAN/AUTO/ON SWITCHED AND SHALL BE APPROVED BY EQUIPMENT MANUFACTURER.
- \* FURNISH AND INSTALL ALL TEMPERATURE CONTROLS UNDER THIS CONTRACT, INCLUDING HUMIDITY CONTROLS WHERE APPLICABLE.
- \* FIRE DAMPERS SHALL BE INSTALLED IN ALL DUCTS PENETRATING FIRE RATED ROOFS AND CEILING AND WHERE REQUIRED BY CODES. PROVIDE ACCESS DOORS AT EACH FIRE DAMPER LOCATION.

**WARRANTIES**

- \* CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPAIRS OR REPLACEMENT OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- \* CONTRACTOR SHALL ADJUST, TEST AND BALANCE ALL SYSTEMS BALANCED AIR FLOW WITHIN 10 PERCENT OF THE DESIGN VALUE. SUBMIT COPY OF WORKSHEET TO ENGINEER/ARCHITECT.

**NOTES TO A/C CONTRACTOR:**

- \* DIGITAL, PROGRAMMABLE T-STATS TO BE INSTALLED FOR EACH AIR HANDLER UNIT.
- \* C.U.'S AREA TO BE LOCATED ON 4" THICK PADS ABOVE THE AREA FLOOR FRAME (FIG. 301.14). CONTRACTOR SHALL VERIFY REQUIRED ELEVATIONS WITH CITY OFFICIALS.
- \* ALL A.H.U.'S AREA TO HAVE AUXILIARY DRAIN PANS WITH A MINIMUM DEPTH OF 1-1/2", AND CONSTRUCTED OF A CORROSION RESISTANT MATERIAL APPROVED BY THE ENGINEER. A WATER LEVEL DETECTOR OR FLOAT SWITCH DEVICES SHALL BE LOCATED IN AUX. DRAIN PAN AND USED TO CONTROL OVERFLOW BY AUTOMATIC SHUTDOWN OF THE UNIT.
- \* ALL A.H.U.'S SHALL HAVE A MINIMUM OF 4" CLEAR SPACE AROUND EACH UNIT.
- \* ALL R/A GRILLES TO BE LOCATED A MINIMUM OF 3'-0" FROM SMOKE DETECTORS.
- \* ALL A.H.U.'S LOCATED IN ATTIC SPACE SHALL BE PROVIDED ACCESS WITH AN OPENING AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW THE REMOVAL OF THE A.H.U. WITHIN 5'-0" OF THE UNIT (FIG. 308.3).
- \* EXHAUST DUCTS SHALL BE A MIN. OF 4" AND 26 GAGE SHEET METAL PIPE.
- \* DRYER DUCTS SHALL HAVE A SMOOTH INTERIOR SURFACE AND MUST NOT EXCEED THE MAXIMUM ALLOWABLE LENGTH PER CODE.
- \* TRANSITION DUCTS SHALL NOT BE CONCEALED WITHIN CONSTRUCTION.



**SCOPE OF WORK**

INSTALL COMPLETE NEW AIR CONDITIONING UNITS  
INSTALL NEW AIR DUCTS  
INSTALL NEW RETURNS  
PROVIDE NEW CONC. PAD FOR EXTERIOR UNIT  
SEE ATTACHED ENERGY AND HEAT LOAD CALCS.

**VENTILATION PER F.B.C. 403.3**

VENTILATION PER TABLE 403.3  
OCCUPANCY: RESIDENCE  
# OF PEOPLE: 10  
CFM/PERSON: 15  
O/A REQUIRED: 10 x 15 = 150 CFM

AIR CONDITIONING LEGEND		
	SUPPLY LINE MIXING BOX SEE PLAN ON THIS SHT. FOR NECK SIZE, LOCATION AND AIR FLOW	SUPLIED BY G.C.
	CEILING RETURN AIR GRILLE SEE PLAN ON THIS SHT FOR NECK SIZE AND LOCATION	SUPLIED BY G.C.
	CEILING DIFFUSER AT DRYWALL CLG. SEE PLAN ON THIS SHT FOR NECK SIZE AND LOCATION	SUPLIED BY G.C.
	EXHAUST FAN	SUPLIED BY G.C.
	INSULATED FRESH AIR SUPPLY DUCT SEE PLAN FOR SIZE.	SUPLIED BY G.C.

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THE BISMARCK SPEC HOME  
710 N 22ND STREET  
PORT ST LUCIE, FL 34980

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PE 33143  
DESIGNWEST ASSOCIATE

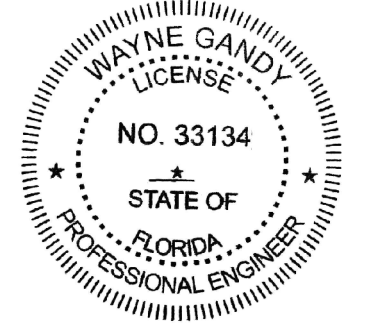
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CONSTRUCTION 160MPH WIND SPEED-2. BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES

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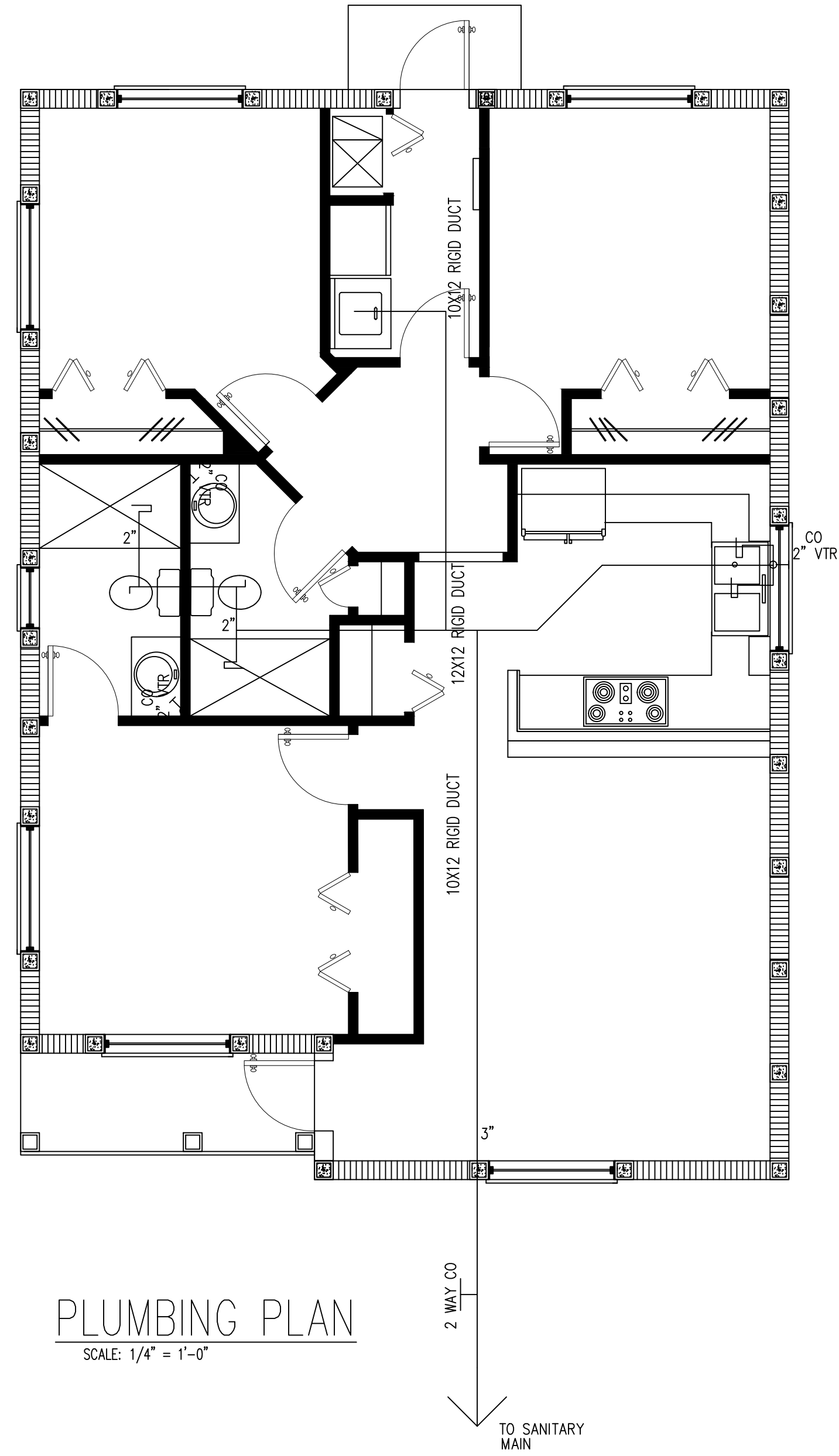
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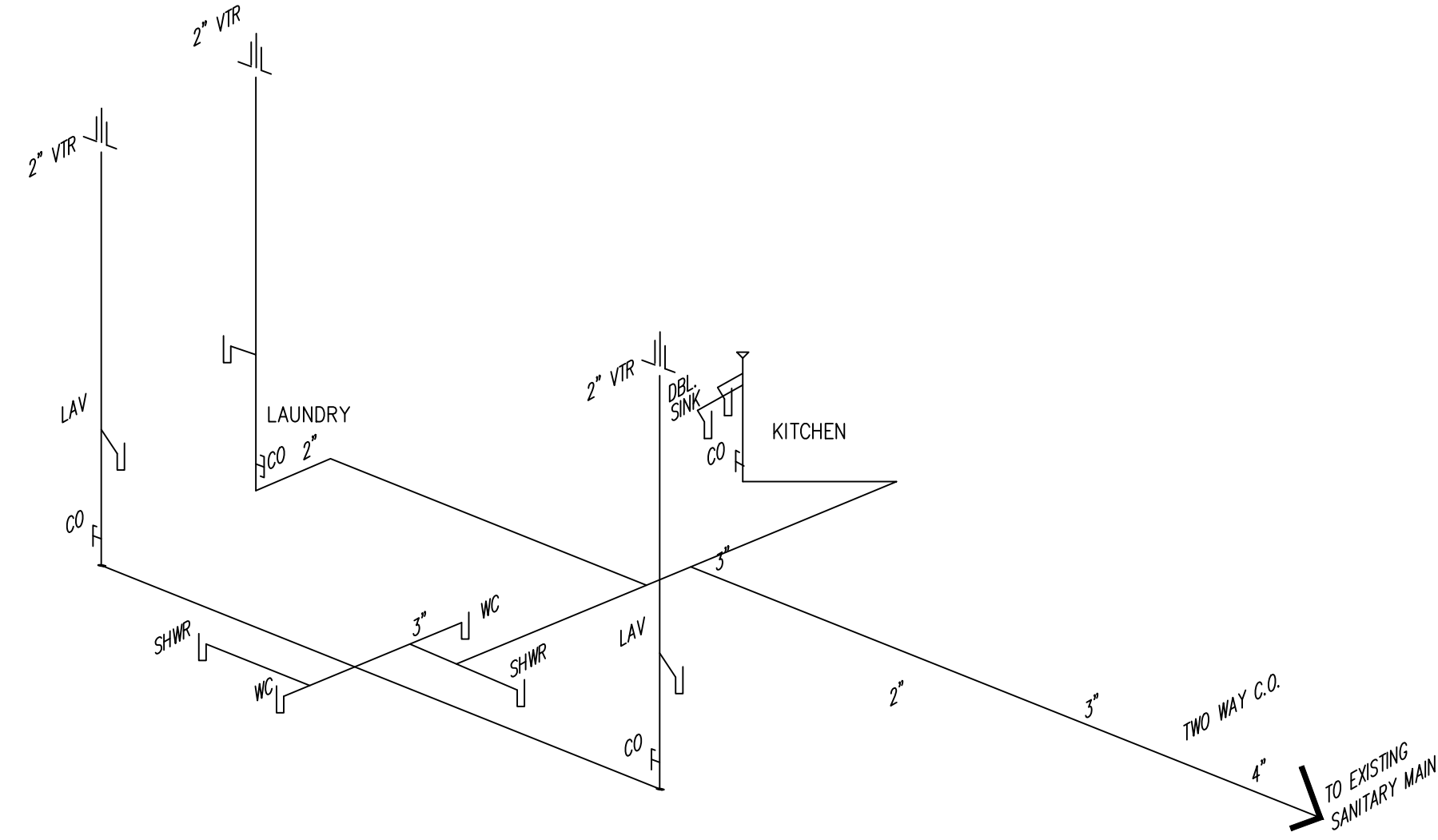
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PLUMBING PLAN  
SCALE: 1/4" = 1'-0"



GENERAL NOTES - PLUMBING

- CONTROL VALVES REQUIRED AT TUBS AND SHOWERS
- PLUMBING CONTRACTOR SHALL SUBMIT "AS BUILT" RISER DIAGRAM TO THE BUILDING DEPARTMENT. AS REQUIRED
- ALL CLEANOUTS SHALL BE INSTALLED AS PER CODE.
- ANTI-SCALD VALVE REQUIRED AT SHOWERS. (120 DEGREE MAX.)

FIXTURE COUNT

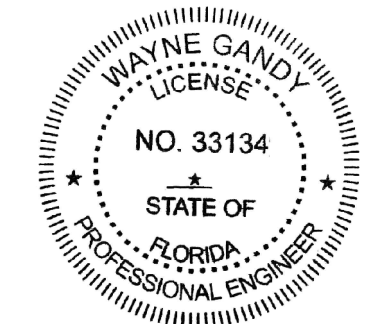
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W.C	3
BIDET	0
LAV.	4
WASH MACH.	1
L.T.	0
KIT. SK.	2
VEGGIE SK.	0
SHOWER	1
TUB	3
<b>TOTAL</b>	<b>14</b>

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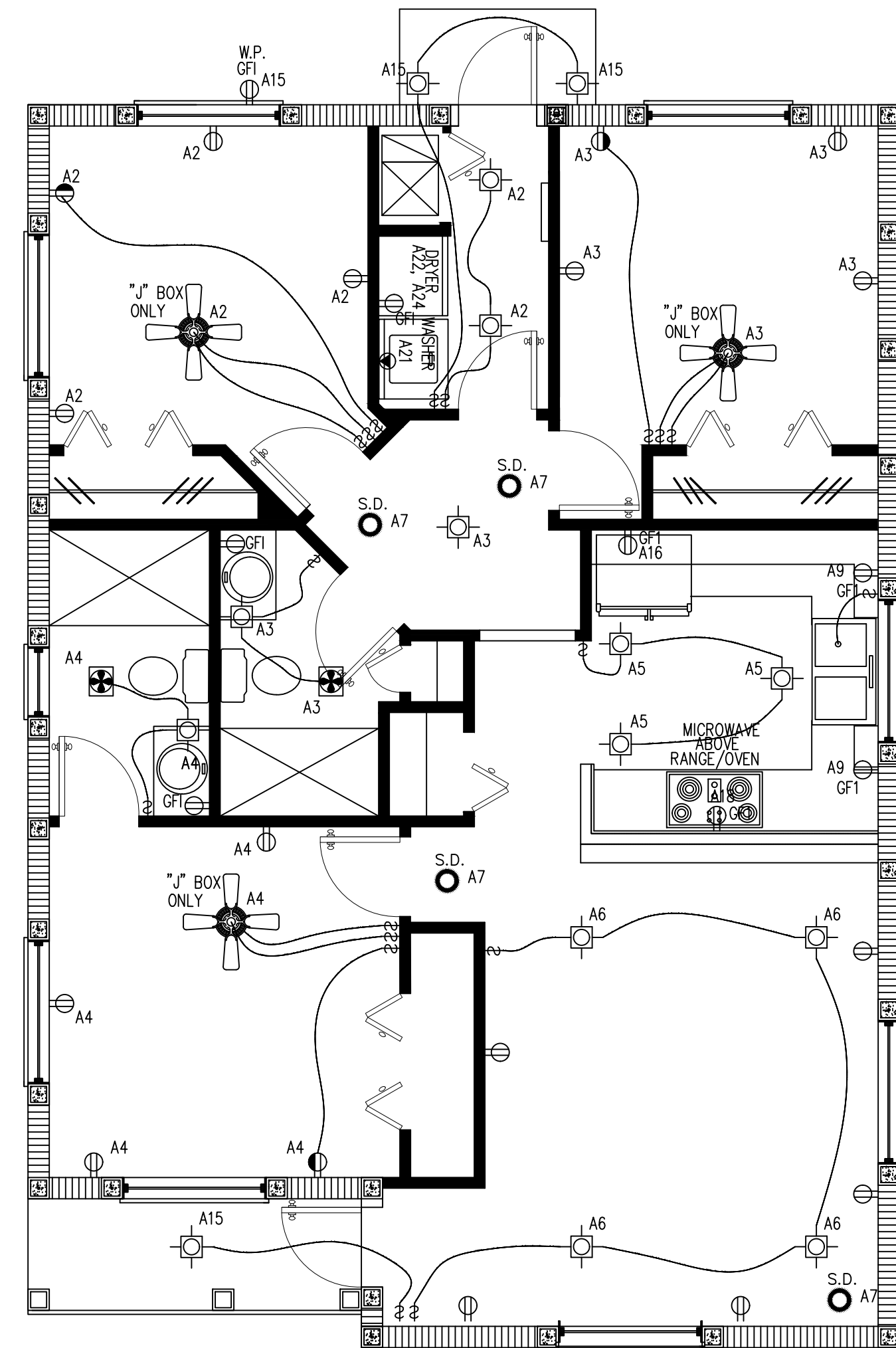


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**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
	DUPLEX RECEPTACLE OUTLET
	CEILING LIGHT FIXTURE
	RECESS LIGHT (HI-HAT)
	CEILING EXHAUST FAN W/LIGHT
	SINGLE POLE SWITCH
	GFI DUPLEX RECEPTACLE OUTLET
	SPLIT-WIRED DUPLEX RECEPTACLE OUTLET
	CEILING FAN (J BOX ONLY)

TYPE: : SQUARE D OR APPROVED EQUAL  
 SERVICE: 200 AMPS  
 VOLTAGE: 240 /120V - 3 WIRE (SINGLE PHASE)  
 MOUNTING: : FLUSH

MAIN BUS. 200 AMPS  
NEUTRAL

### PANEL SCHEDULE "A"

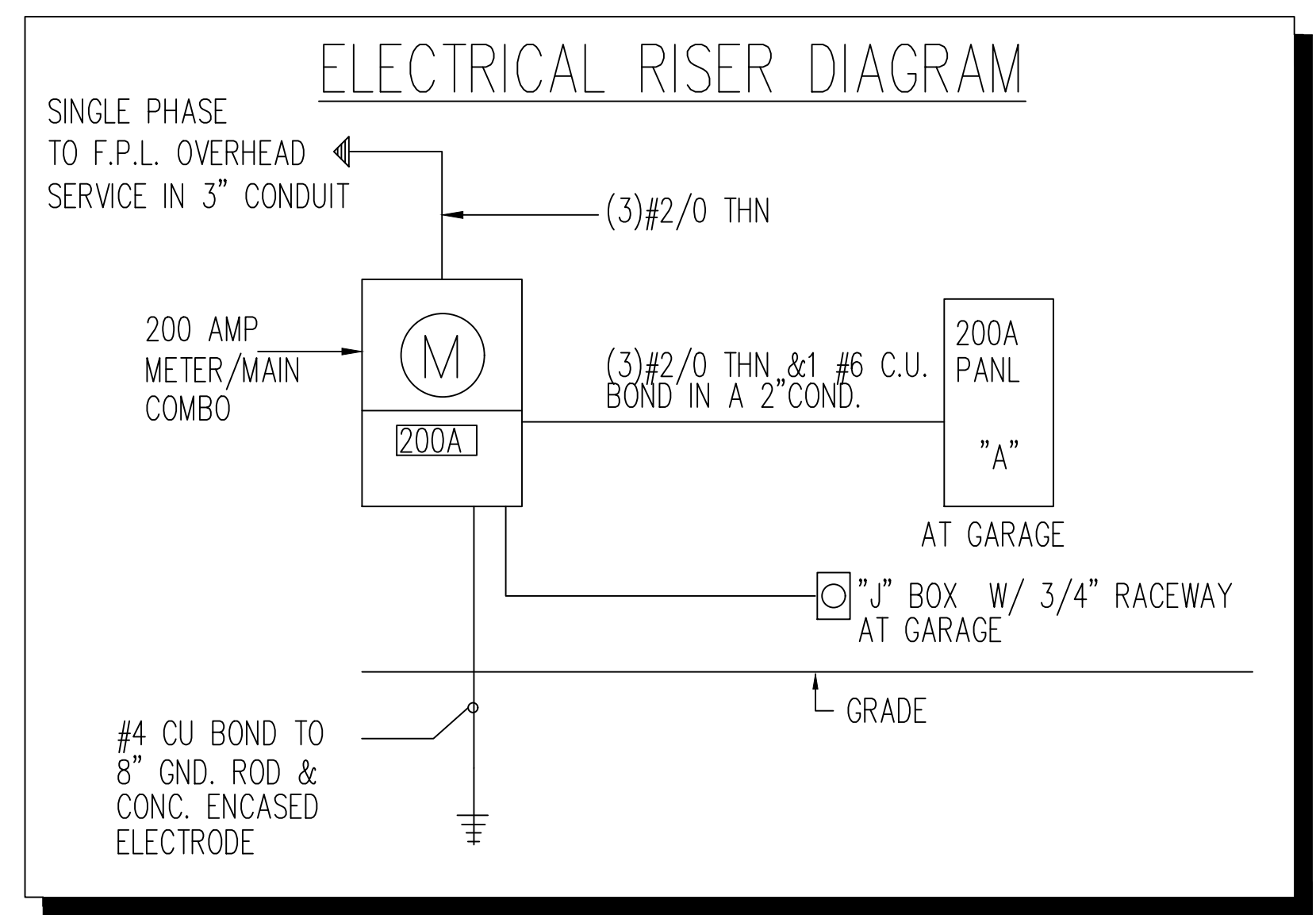
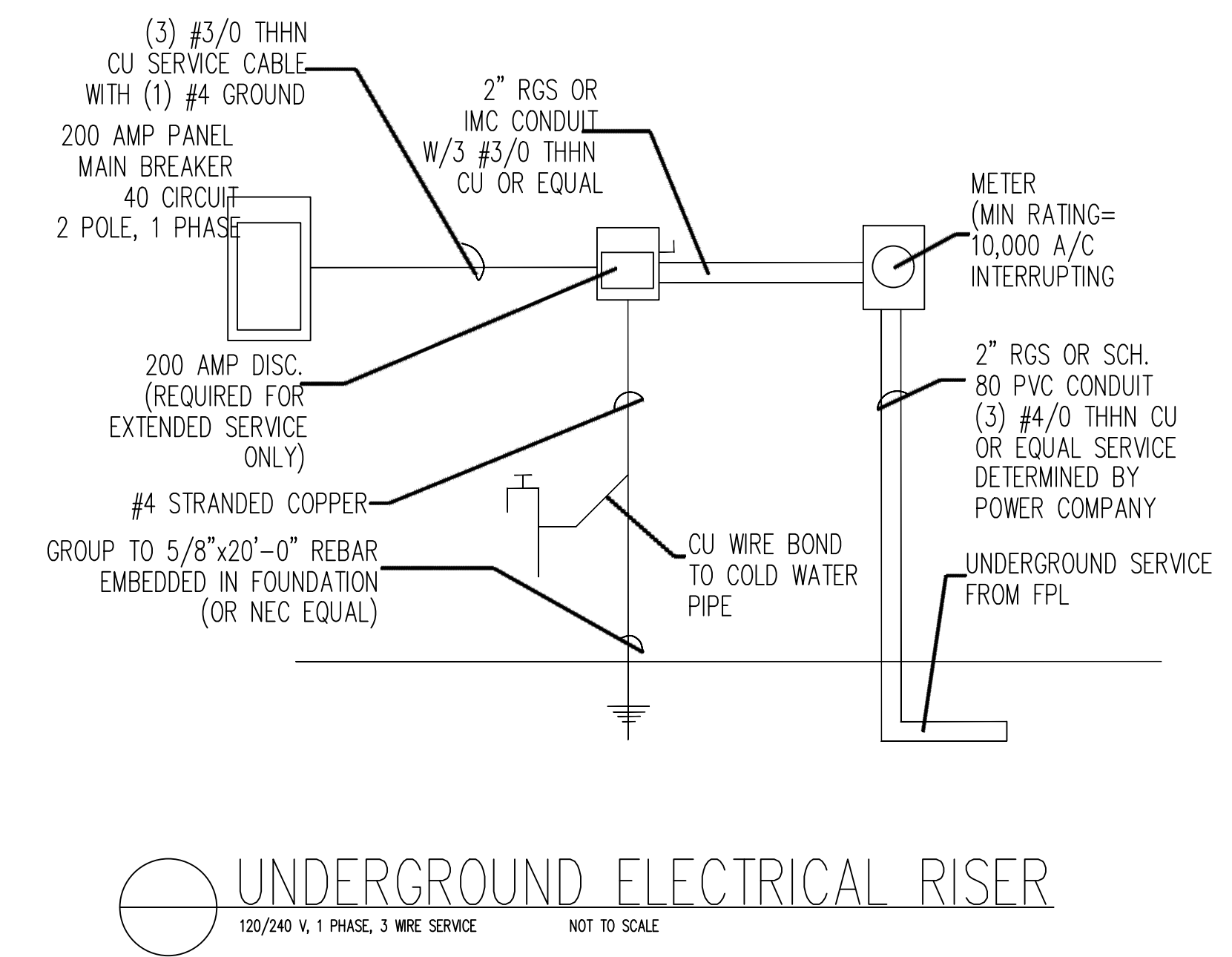
BRKS	PO-LE	TOTAL V.A.	CON-DUIT	WIRE	CKT NO.	REMARKS	WIRE	CON-DUIT	TOTAL V.A.	PO-LE	BRKS
15	1	3,371		#14	1	GEN. LIGHT & RECEPT.	#14		3,371	1	15
					2	GEN. LIGHT & RECEPT					
					3						
					4						
					5						
					6						
					7	KITCHEN LIGHT. & SMOKE DET.					
					8						
20	1	1,500		#12	9	BATH GFI					
					10	GEN. LT. GAR. & EXTERIOR GFI					
					11	SPARE					
					12	SPARE					
					13	SPARE					
20	1	1,200		#12	15	EXT LIGHT & GFI	#12		1,500	1	20
20	1	1,200		#12	17	MICROWAVE					
20	1	1,200		#12	19	REFRIGERATOR					
20	1	1,500		#12	21	WASHER					
20	1	1,200		#12	23	DISPOSAL					
					24						
50	2	8,000		#8	25	RANGE					
					26	DISHWASHER	#12		1,200	1	20
					27						
					28						
					29						
30	2	4,500		#10	30	A/C #1*	#10		5,000	2	30
					31						
					32						
45	2	7,500	*	#8	33	AHU #1					
					34						
					35						
45	2	7,500	*	#8	37	AHU #2					
					38						
					39						
					40						
					41	SPACE					
					42						
22,118									9,537		
CONNECTED LOAD LESS A/C= 31,655 WATTS											
FIRST 10000 WATTS @ 100%=			10000 WATTS						* = NON-CONCURRENT LOAD		
REMAINDER @ 40%=			8,662.0 WATTS								
TOTAL DEMAND LESS AC			18,862.0 WATTS								
GREATER OF AHU @65%			15,000 WATTS						FEEDER: 3 #2/0 THHN & 1# 6 C.U. BOND IN 2" PVC COND.		
OR A/C @ 100 % =			33,862.0 WATTS						FED FROM: SERVICE		
TOTAL DEMAND LOAD =			33,862.0 WATTS /240V=141.09			AMPS			200 AMPS		

**GENERAL LIGHTING CALCULATION**

GENERAL LIGHTING TOTAL LOAD SHALL INCLUDE:  
 1 - THE TOTAL A/C SQUARE FOOTAGE MULTIPLY BY 3 VOLT/AMP.  
 2 - MOTOR OPERATED APPLIANCE, SUCH AS PADDLE FAN AS PER N.E.C. 210-11, AND 220-3

**GENERAL LIGHTING LOAD CALCULATION**

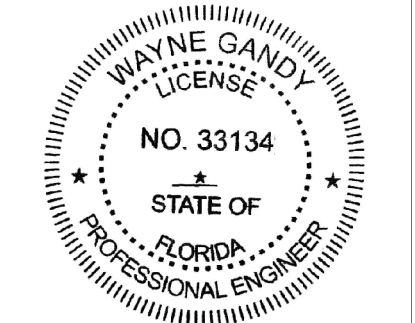
TOTAL A/C AREA * 3	1,013 * 3 = 3,039 WATTS
FAN LOAD * QUANTITY	200 * 3 = 600 WATTS
TOTAL GN.LT. LOAD	= 3,639 WATTS



DESIGNWEST ASSOCIATES INC.

Fine Architectural Design  
 1510 E. COLONIAL DR. STE. 230, ORLANDO, FL. 32803  
 Ph. 203-514-4221 DESIGNWESTASSOC@AOL.COM  
 BUILDER: SUNRISE CITY C.H.D.O. INC.  
 DATE: 01/27/2019  
 DRAWN BY: F.R.  
 REVISIONS:  
 SUBDIVISION:  
 SCALE: AS SHOWN  
 CHK BY: WG

SHEET NO  
**A-7**  
 OF SHEETS



ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2017 FLORIDA BUILDING CODE 6TH EDITION  
 MECH-PLUMB ENERGY, ACCESSIBILITY, LIFE SAFETY, FIRE CODE AND NEC 2014  
 CONSTRUCTION 160MPH WIND SPEED, 2. BUILDING WIND EXPOSURE CATEGORY C AND WIND IMPORTANCE  
 MEETS OR EXCEEDS RESISTANCE AND CURRENT COUNTY BUILDING CODES

**THE BISMARCK SPEC HOME**  
 710 N 22ND STREET  
 FORT PIERCE, FL 34950

SUNRISE CITY  
 C.H.D.O. INC.  
 (from conception to construction)  
 DRAFTING AND CONSTRUCTION  
 LIC. # CC - C1515114  
 (772) 201-2850

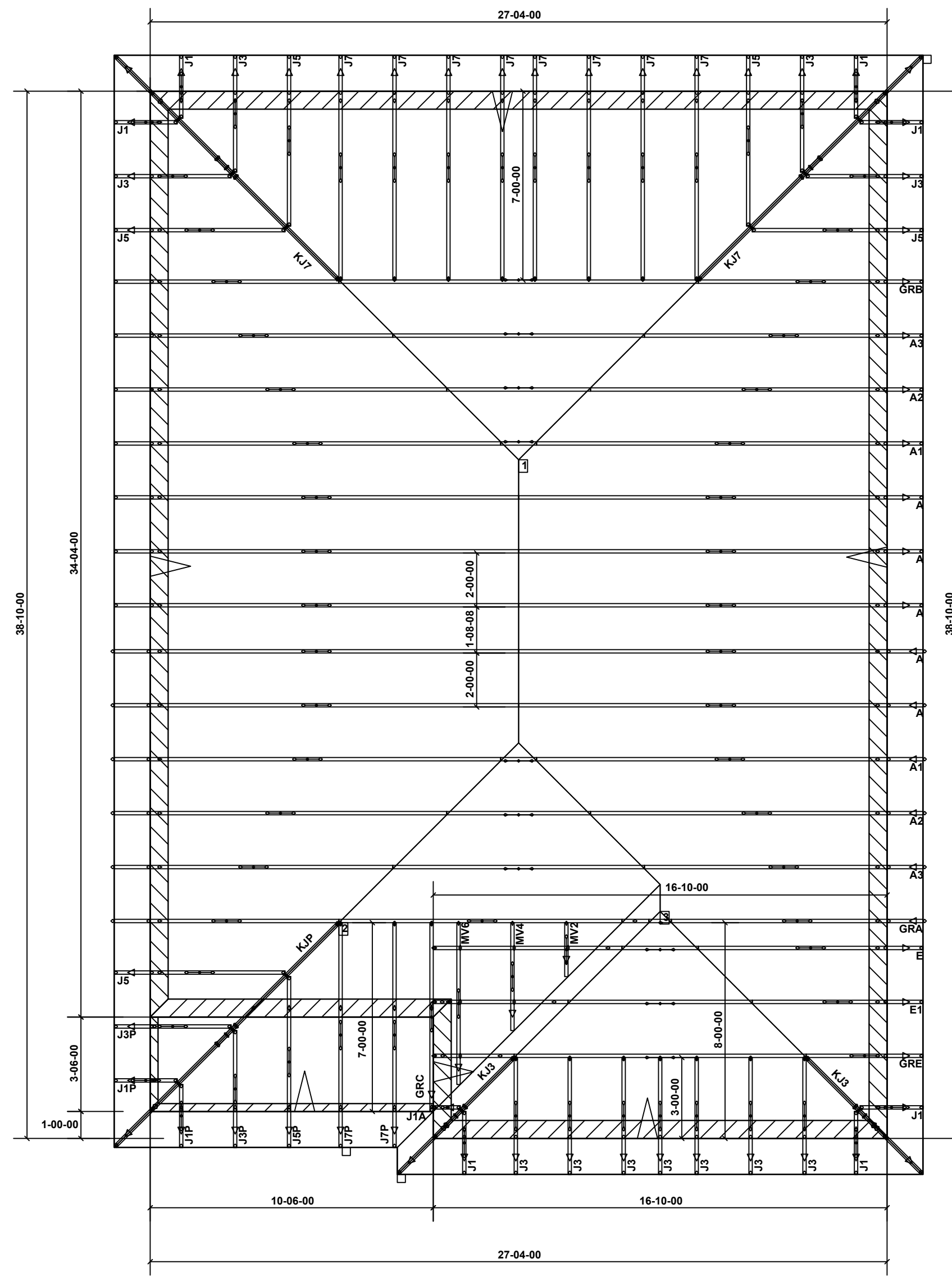


CONSULTING ENGINEERS  
 WAYNE GANDY, P.E.  
 P.L. 33134  
 DESIGNWEST ASSOCIATE

When Dimensions on these drawings shall have precedence over specifications. Contractors must be notified of any variation from the dimensions and conditions shown by these drawings.  
 DesignWest Associates, Inc. is not responsible for any errors or omissions in these drawings. Contractors must be notified of any variation from the dimensions and conditions shown by these drawings.

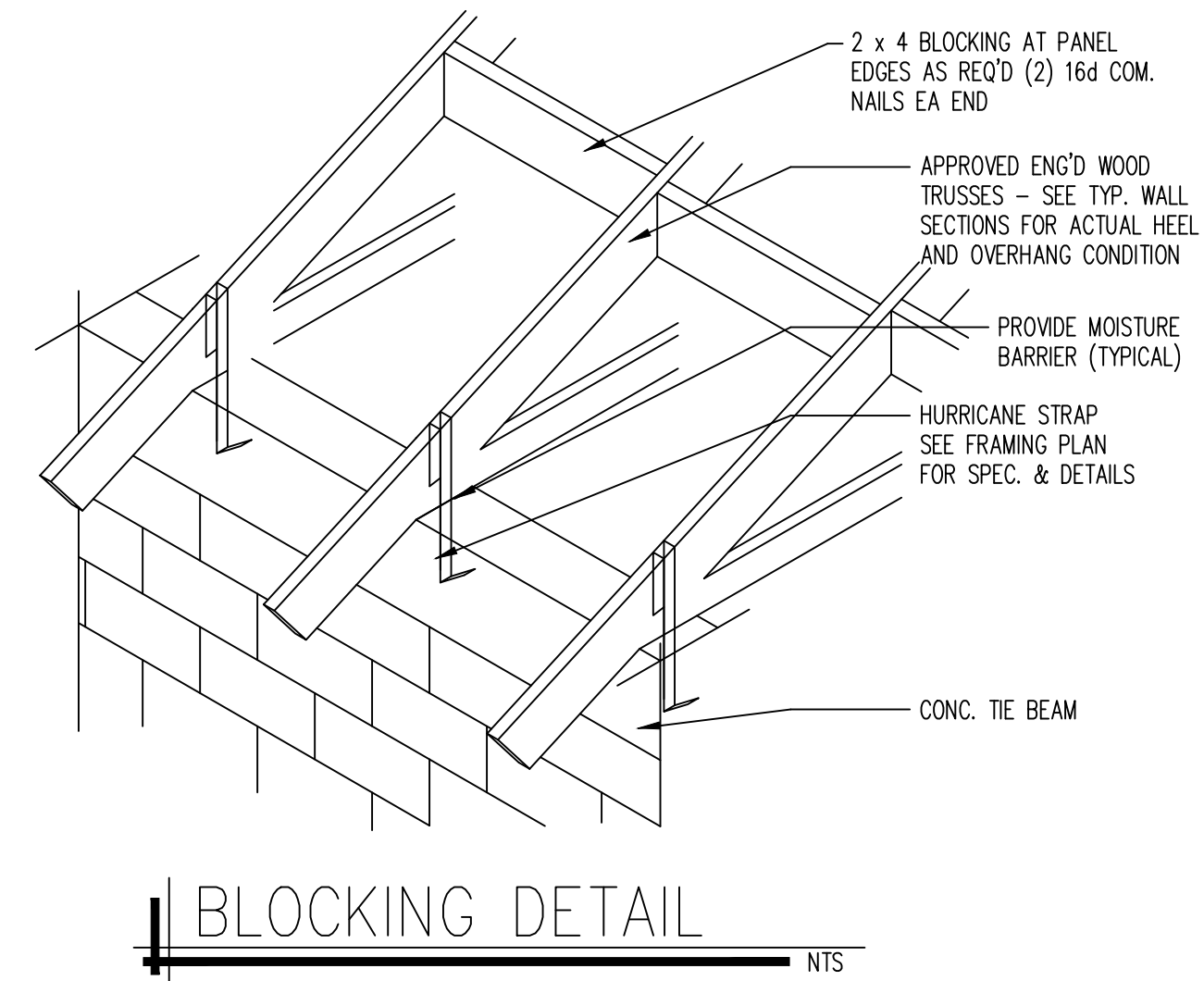
	<b>Hatch Legend</b>
	<b>BRG WALL @ 9'- 6"</b>

NOTE: FOR MORE DETAILS  
SEE TRUSS PACKAGE

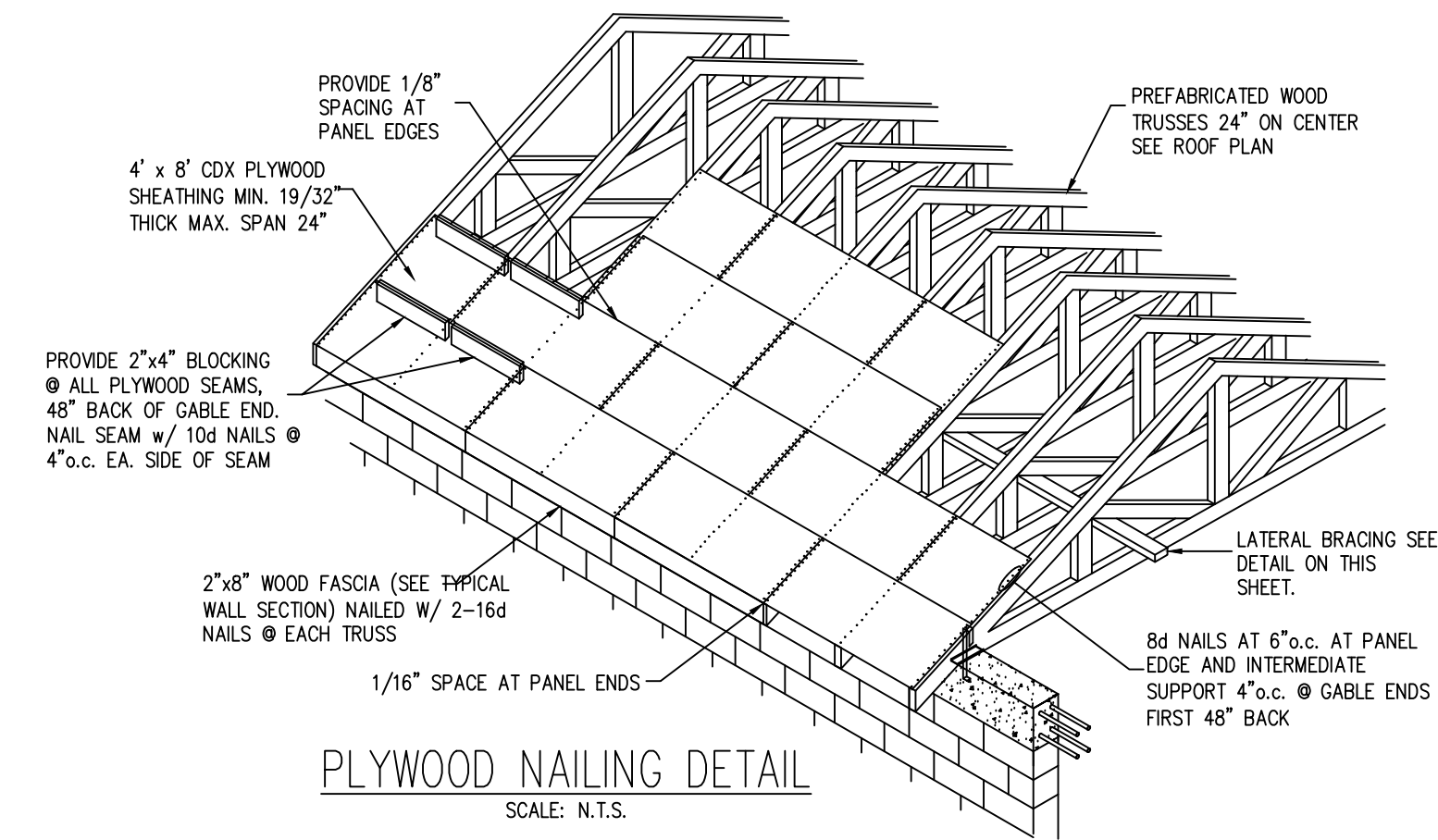


**FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE TRUSS PACKAGE  
FOR DETAILS AND CONECTION



**BLOCKING DETAIL**  
NTS



**PLYWOOD NAILING DETAIL**  
SCALE: N.T.S.

DESIGNWEST ASSOCIATES INC.

ENGINEERING NOTES: ENGINEERING MEETS OR EXCEEDS 2017 FLORIDA BUILDING CODE 6TH EDITION  
MECH PLUMB ENERGY ACCESSIBILITY LIFE SAFETY FIRE CODE AND NEC 2014  
CONSULT WITH LOCAL AGENCIES FOR ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS  
MEETS OR EXCEEDS RESISTANCE AND DURABILITY BUILDING CODES

CONSULTING ENGINEERS  
WAYNE GANDY, P.E.  
PE 33143  
DESIGNWEST ASSOCIATE

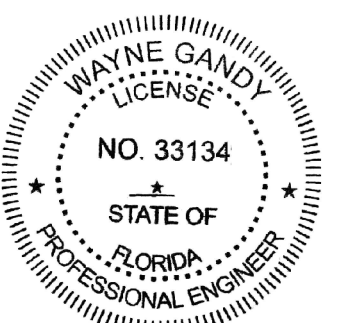
SUNRISE CITY  
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THE BISMARCK SPEC HOME  
710 N 22ND STREET  
FORT PIERCE, FL 34950



Fine Architectural Design		DATE: 01/27/2019	REVISIONS:
1510 E. COLONIAL DR. STE. 230, ORLANDO, FL. 32803	Ph. 203-514-4221 DESIGNWESTASSOC@AOL.COM	F.R	
BUILDER: SUNRISE CITY C.H.D.O. INC.	SUBDIVISION:	SCALE: AS SHOWN	WG

SHEET NO  
**A-8**  
OF SHEETS



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**Sunrise City Construction Inc.**  
**130 S Indian River Drive Suite 202**  
**Fort Pierce Florida 34950**

Phone: 772-201-2850

Fax: 772-907-0420

**New Construction Estimate**

**Owner: N/A**

<b>Lot 706 N 20th Street Fort Pierce</b>	<b>Block</b>	<b>Subdivision</b>
<b>Builder: Sunrise City Construction</b>		<b>Phone 772-201-2850</b>

<b>Items</b>	<b>Price</b>	<b>Subcontractor/Supplier</b>
Temp Toilets	\$1,254.00	Sunrise City Construction Inc.
Clearing Site / Fill	\$4,000.00	Sunrise City Construction Inc.
Concrete Labor	\$10,410.00	Sunrise City Construction Inc.
Footer	\$5,100.00	Sunrise City Construction Inc.
Masonry	\$11,750.00	Sunrise City Construction Inc.
Masonry Labor	\$5,600.00	Sunrise City Construction Inc.
Plumbing	\$8,600.00	Cavalier Plumbing
Trusses	\$15,600.00	Sunrise City Construction Inc.
Framing Lumber	\$6,200.00	Sunrise City Construction Inc.
Framing Labor	\$5,000.00	Sunrise City Construction Inc.
Roofing Labor-Materials	\$10,456.00	Sunrise City CHDO Inc.
Electrical & Fixtures	\$7,850.00	Revolution Electric
Insulation	\$2,000.00	Sunrise City Construction Inc.
Flooring - Tile/Carpet/Sills	\$7,900.00	Sunrise City Construction Inc.
Windows and Sliding Glass door	\$9,700.00	Sunrise City Construction Inc.
Stucco/Stone/Brick	\$5,200.00	Sunrise City Construction Inc.
Air Conditioning/Heating	\$6,000.00	Zero Degrees Heating and Cooling
Drywall/Plaster	\$7,450.00	Sunrise City Construction Inc.
Trim Lumber and Doors	\$6,600.00	Sunrise City Construction Inc.
Trim Labor	\$1,500.00	Sunrise City Construction Inc.
Kitchen Cabinets and Bathroom Vanities	\$8,700.00	Sunrise City Construction Inc.
Mirrors & Medicine Cabinet	\$1,300.00	Sunrise City Construction Inc.
Shower and Tub Enc.	\$3,900.00	Sunrise City Construction Inc.
Appliances	\$5,200.00	Sunrise City Construction Inc.
Painting-Interior	\$5,300.00	Sunrise City Construction Inc.
Painting-Exterior	\$6,700.00	Sunrise City Construction Inc.
Hardware	\$650.00	Sunrise City Construction Inc.
Gutters	\$1,580.00	Sunrise City Construction Inc.
Driveway / Sidewalk	\$7,100.00	Sunrise City Construction Inc.
Dumpster	\$2,700.00	Sunrise City Construction Inc.
Final Clean Up	\$400.00	Sunrise City Construction Inc.
Landscaping and Sod	\$3,300.00	Sunrise City Construction Inc.
<b>Grand Total</b>	<b>\$185,000.00</b>	