



# CITY OF FORT PIERCE

## CITY COMMISSION

June 3rd, 2024

Fort Pierce Commercial- Rezoning to Planned  
Development (PD) site at 301 Florida Avenue

## **APPLICANT**

Marcela Cambior & Associates

## **PROPERTY OWNER(S)**

DDA Realty Group LLC

## **PARCEL ID #(S):**

2410-711-0041-000-7

Request for review of an application for a Zoning Atlas Map Amendment of one (1) parcel of land to change the zoning classification from General Commercial (C-3) to Planned Development (PD).

Fort Pierce Commercial – PD(Rezoning) with Site Plan



## SUMMARY

The request to change the zoning to PD is to accommodate a small 7,000 square-foot building for a commercial infill site, providing up to four (4) commercial (office warehouse) within the CRA.

The applicant has stated that they are seeking to develop this site in a manner that is conducive with a pedestrian friendly, urban commercial and industrial district. The front portion of the building will house retail/office space, providing an active use along the sidewalk.

On-street parking is incorporated to facilitate access for customers as well as to improve the public realm



# SITE LOCATION

SITE AREA=  
0.38 +/- Acres



Fort Pierce Commercial – PD(Rezoning) with Site Plan



# SITE LOCATION

FORT PIERCE  
REDEVELOPMENT  
AREA (FPRA)



Fort Pierce Commercial – PD(Rezoning) with Site Plan



# SITE LOCATION – STREET VIEW

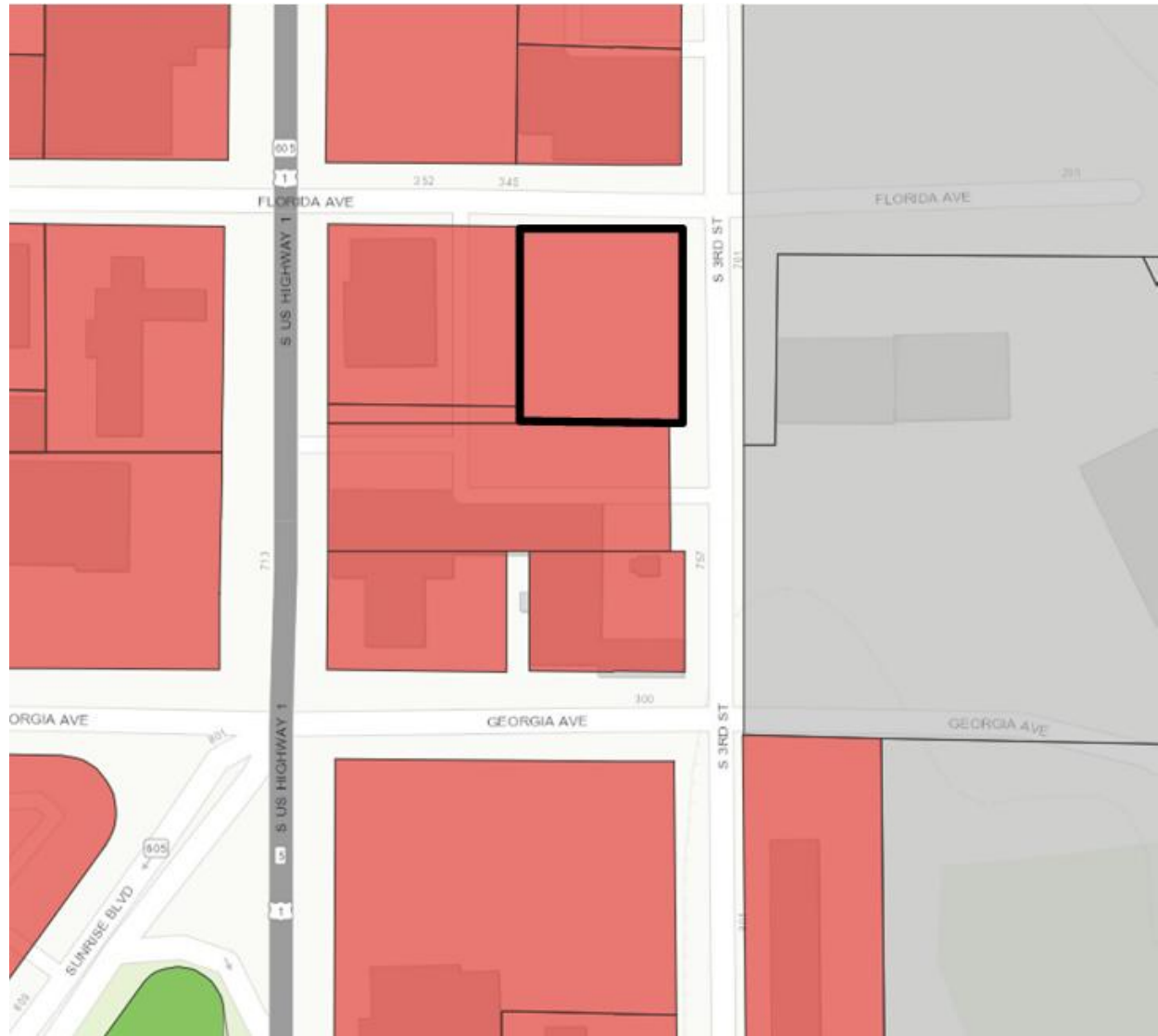


Fort Pierce Commercial – PD(Rezoning) with Site Plan



# EXISTING FLU – NO CHANGE

Current FLU:  
General  
Commercial(CG)



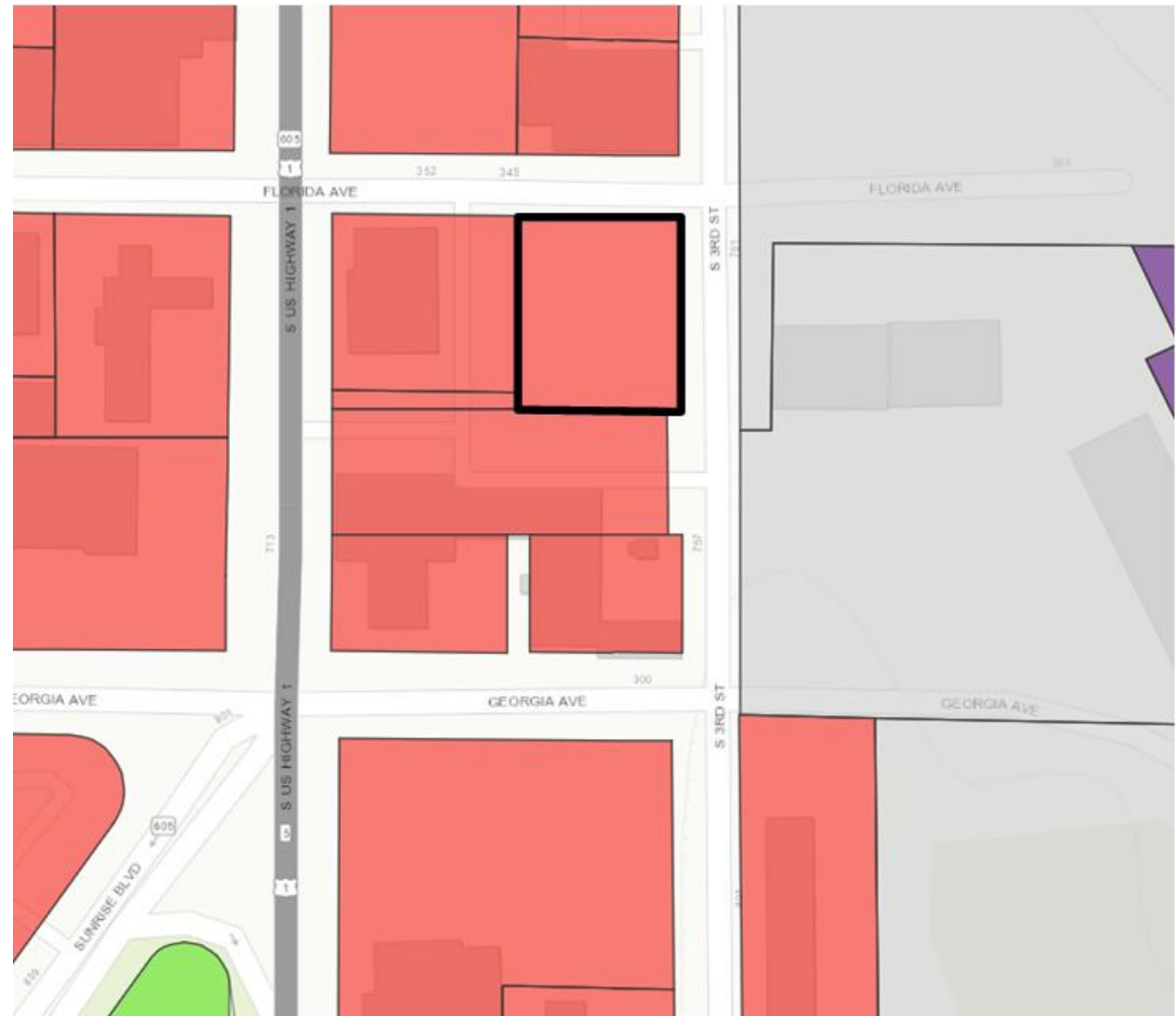
Fort Pierce Commercial – PD(Rezoning) with Site Plan



## EXISTING/PROPOSED ZONING

Current Zoning:  
C-3, Commercial  
General

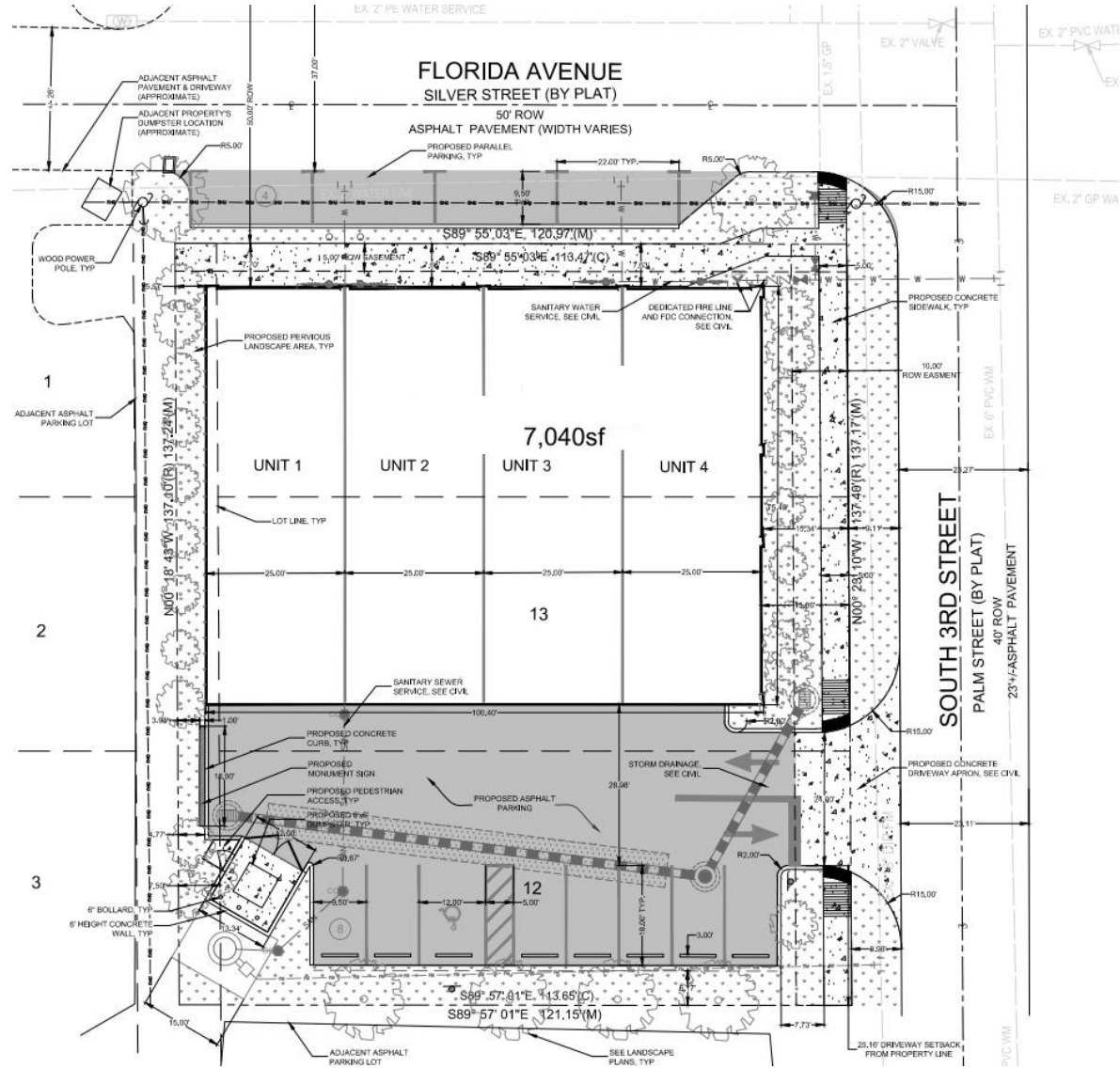
Proposed Zoning:  
PD, Planned  
Development



Fort Pierce Commercial – PD(Rezoning) with Site Plan



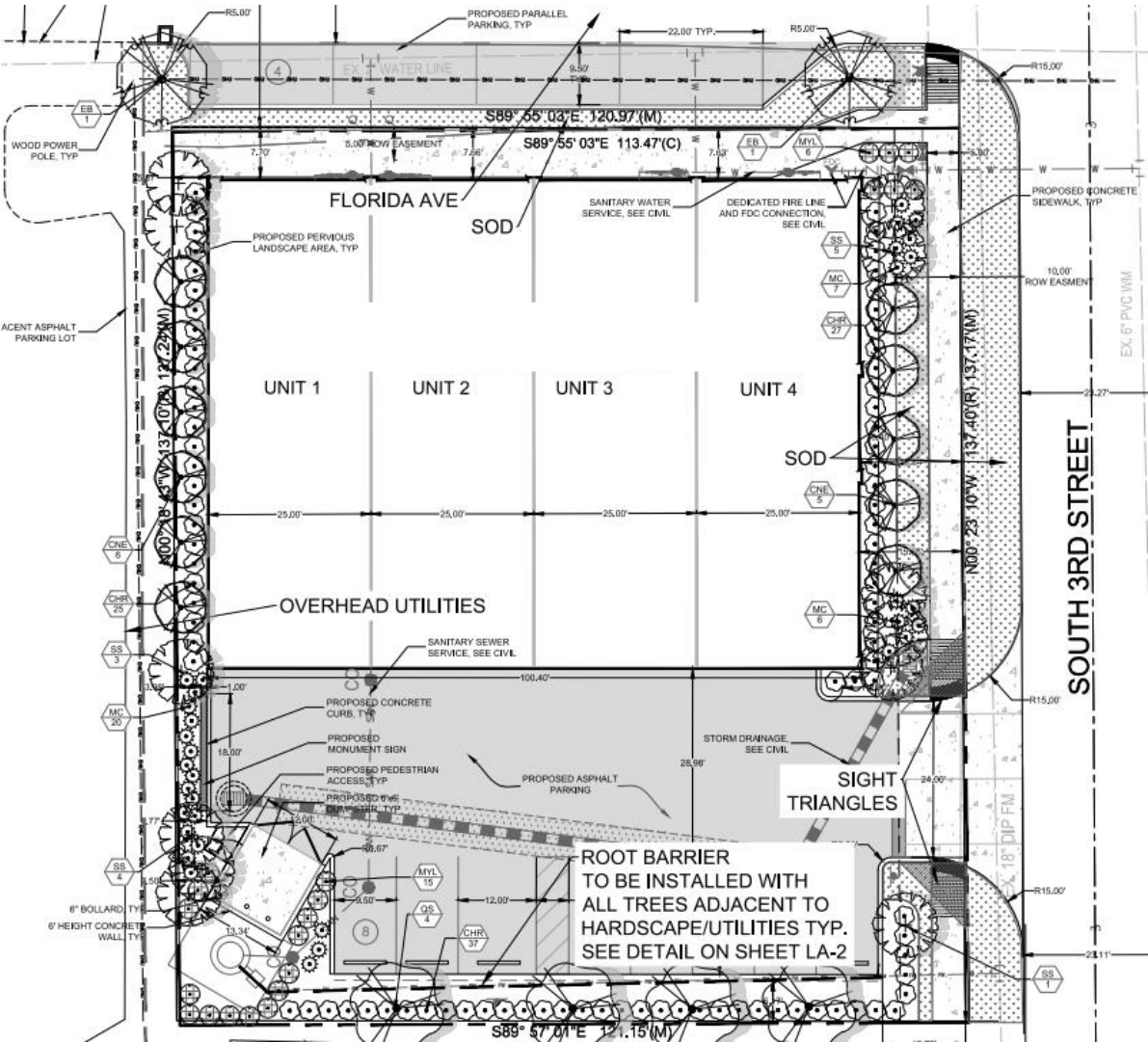
# PROPOSED SITE PLAN



Fort Pierce Commercial – PD(Rezoning) with Site Plan











# PROPOSED LANDSCAPING PLAN



Fort Pierce Commercial – PD(Rezoning) with Site Plan



# PROPOSED LANDSCAPING SCHEDULE

	CNE	11	Conocarpus erectus 'Sericeus'	Silver Buttonwood
	EB	2	Elaeocarpus decipiens	Japanese Blueberry Tree
	QS	4	Quercus virginiana	Southern Live Oak
<u>PALM TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	SS	12	Sabal palmetto	Sabal Palm
<u>SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	CHR	88	Chrysobalanus icaco 'Redtip'	Red Tip Cocoplum
	MC	58	Muhlenbergia capillaris	Pink Muhly Grass
	MYL	20	Myrcianthes fragrans	Simpson's Stopper
<u>SOD/SEED</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
	SOD	TBD	Paspalum notatum	Bahia Grass

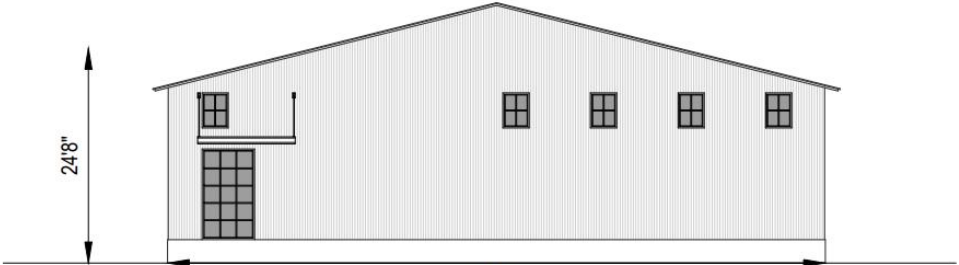
Fort Pierce Commercial – PD(Rezoning) with Site Plan



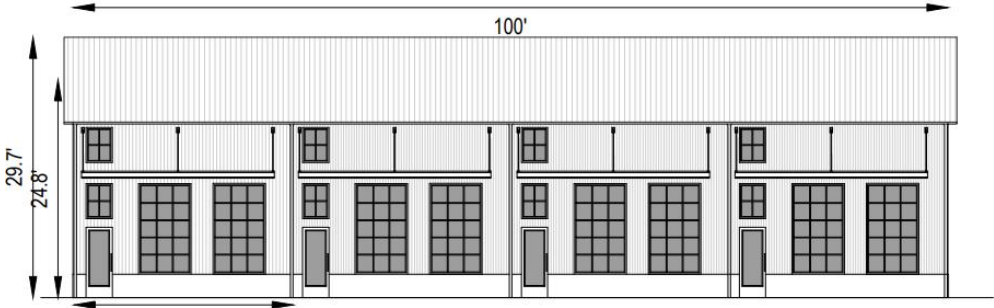
# PROPOSED ELEVATIONS



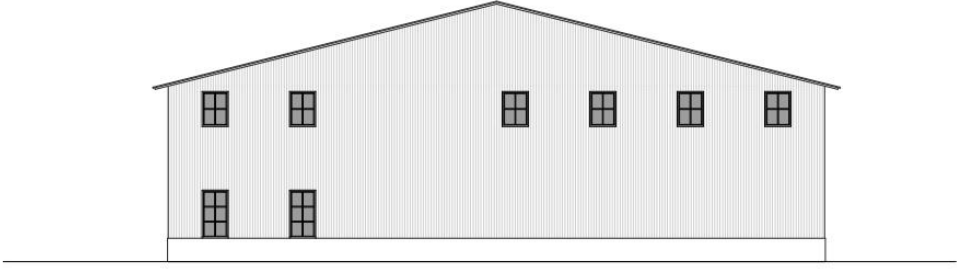
*SOUTH (REAR) ELEVATION*



75.0' *EAST (SIDE) ELEVATION*



*NORTH (FRONT) ELEVATION*



*WEST (SIDE) ELEVATION*



# PROPOSED DESIGN - RENDERING



Fort Pierce Commercial – PD(Rezoning) with Site Plan



# PROPOSED SITE PLAN

1. Minimum depth of front yard is required to be 25 feet and 8 feet is proposed.
2. Minimum depth for side and rear yards is required to be 15 feet and 5 feet side yard is proposed.
3. Maximum lot coverage in C-3 is 60% maximum. Proposed is 50% with a building and sidewalks. The remainder is open space and pervious materials.
4. Architecture is consistent with a contemporary industrial style



## RECOMMENDATION

Zoning Atlas Map Amendment from C-3, Commercial General to PD, Planned Development with an associated Site Plan.

- Staff recommends **APPROVAL** of the request.



## ALTERNATIVE CC ACTIONS

- **APPROVAL** of the proposed ZONING ATLAS MAP AMENDMENT with the associated site plan with alternative/additional conditions.
- **DENIAL** of the proposed ZONING ATLAS MAP AMENDMENT

