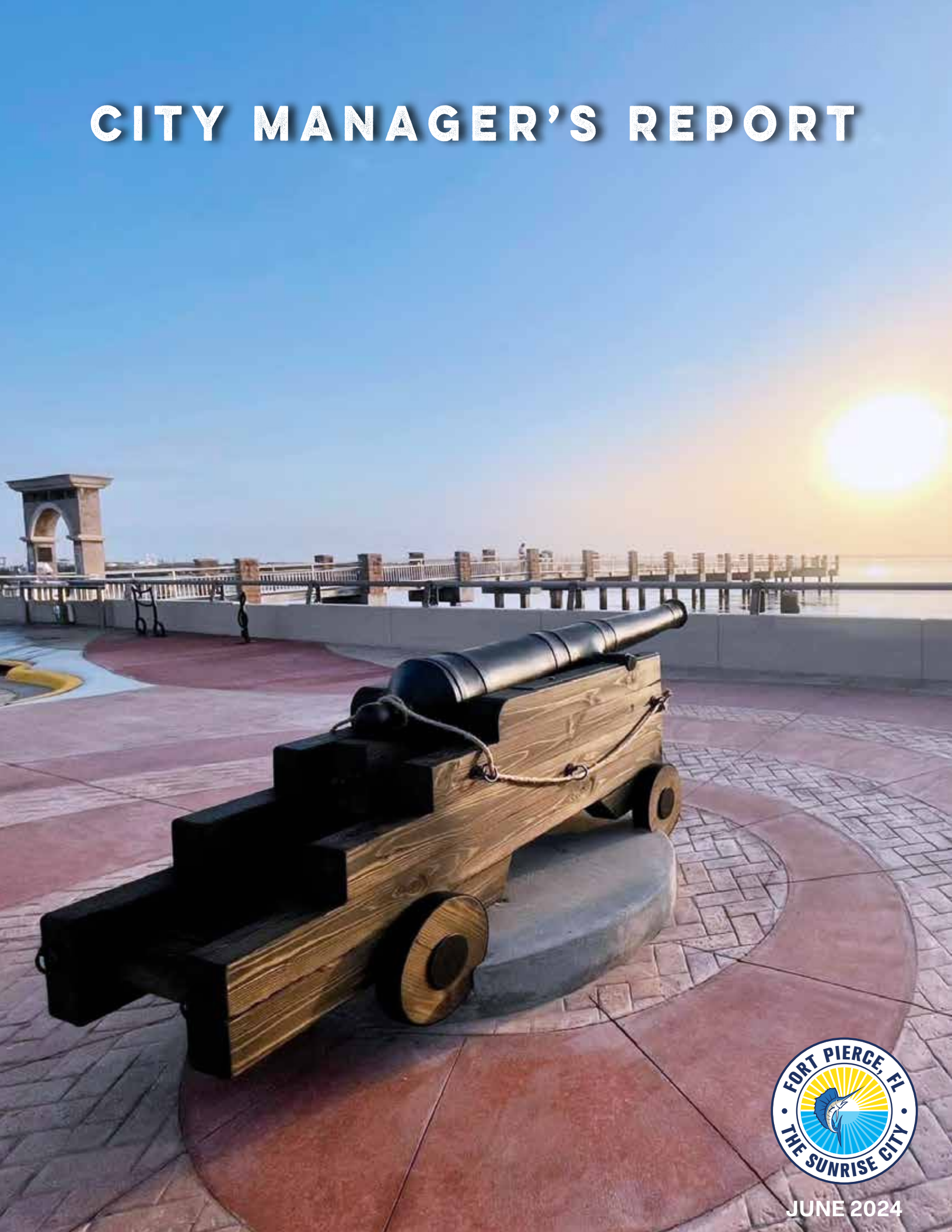


CITY MANAGER'S REPORT



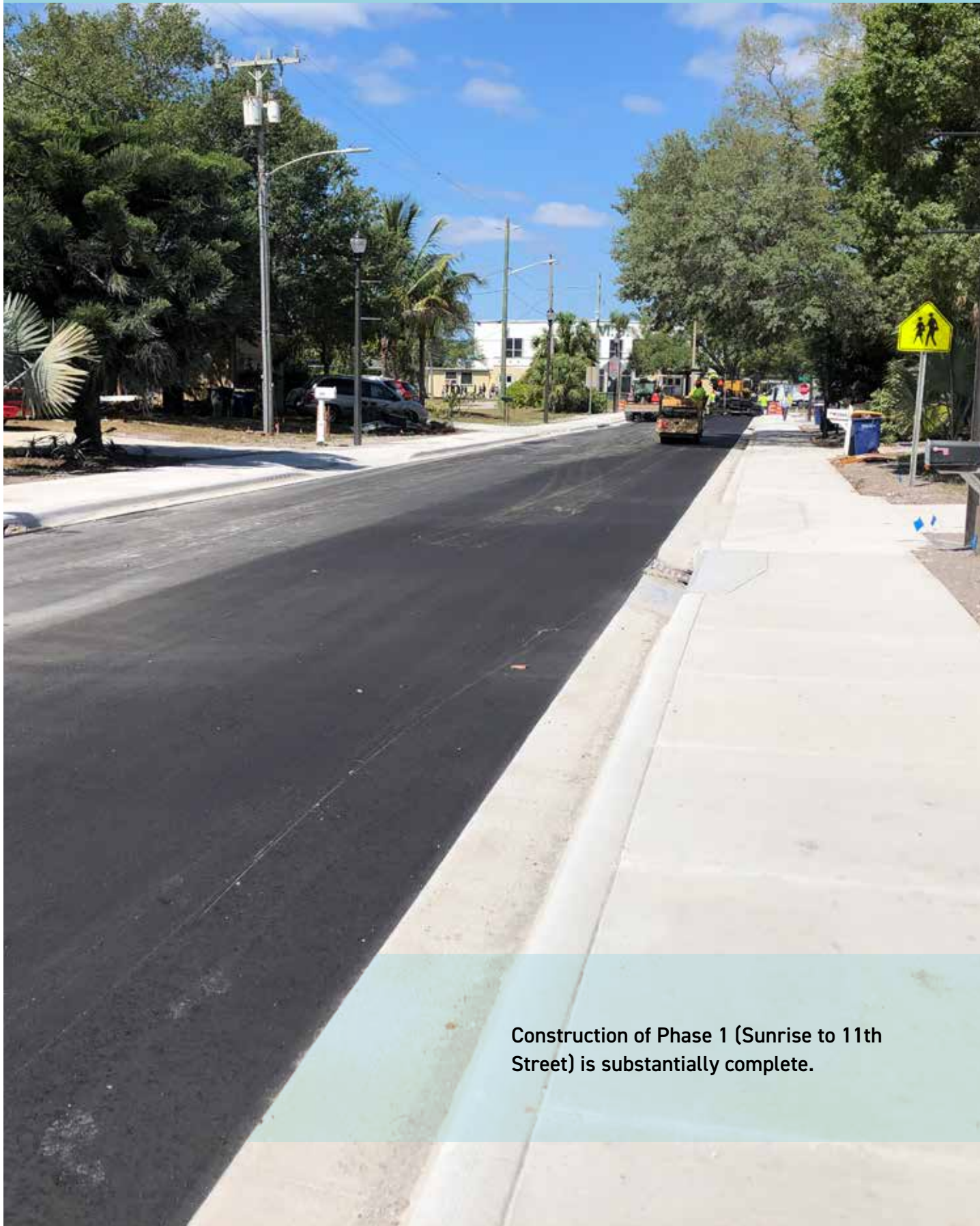
JUNE 2024

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**Ohio Avenue
Phase 1 (Sunrise to 11th Street)**



Construction of Phase 1 (Sunrise to 11th Street) is substantially complete.

**Ohio Avenue
Phase 2 (US Highway 1 to Sunrise)**



Phase II Storm Drainage Installation

Phase 2 (US 1 to Sunrise) water main construction is complete. Utility customers along this corridor have had their water and sewer services transferred to the new water main and sanitary sewer. Storm drainage installation is currently underway and should be completed the first week in June. The proposed roadway improvements include new drainage, potable water, and sanitary sewer collection systems along with a new roadway, curb & gutter, sidewalks, streetlighting, and limited landscaping. Construction completion August 2024.

2023 Annual Resurfacing Contract

Resurfacing of the 2023 list of streets is complete with striping to be completed in June.

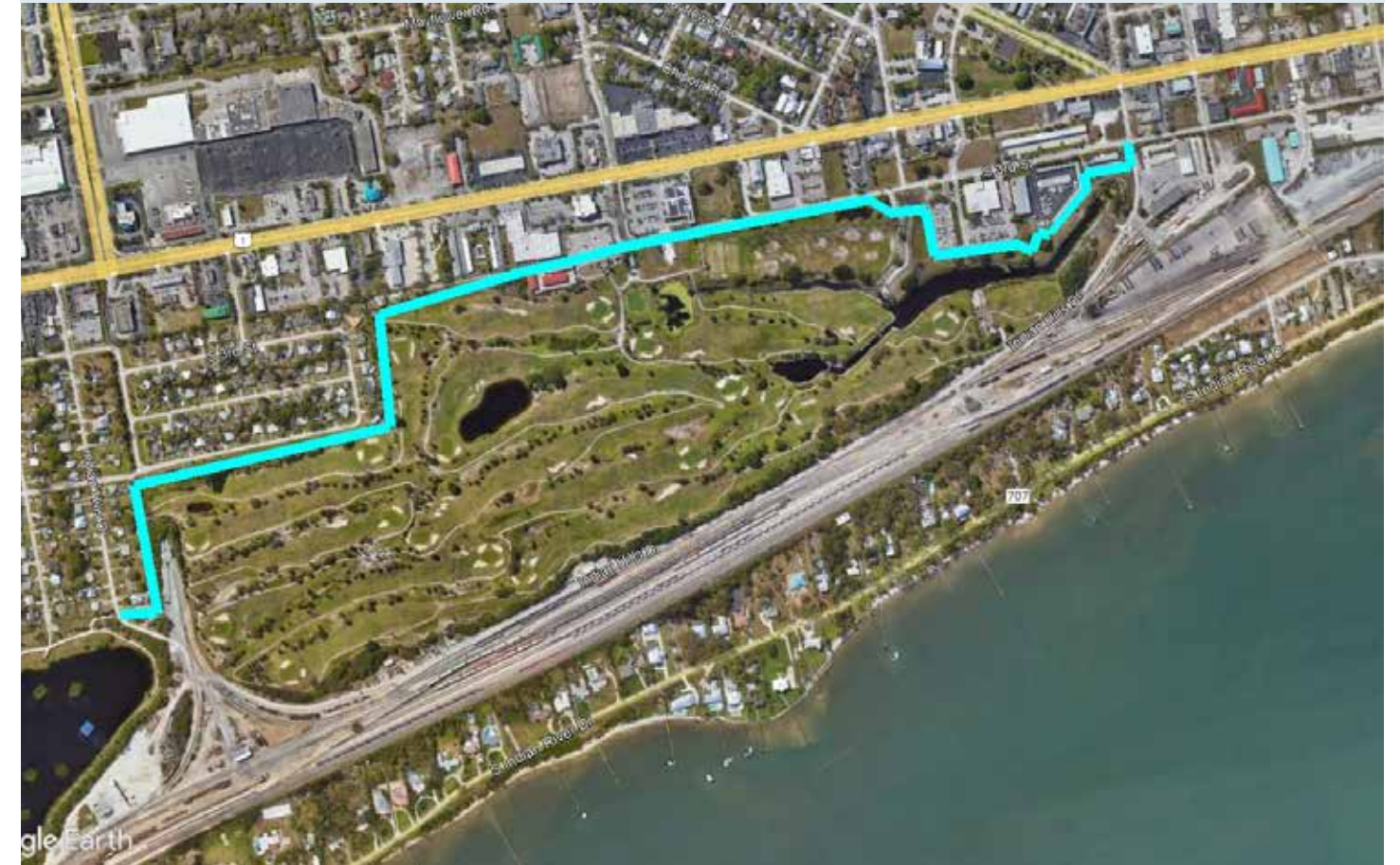
Streets	From	To
23rd Street	Georgia Avenue	Canal Terrace
24th Street	Georgia Avenue	Canal Terrace
26th Street	Orange Avenue	Moore's Creek
27th Street	Orange Avenue	Moore's Creek
28th Street	Orange Avenue	Moore's Creek
Avenue B	33rd Street (Angle Road)	27th Street
Avenue B	27th Street	25th Street
Boston Avenue	25th Street	13th Street



Avenue B

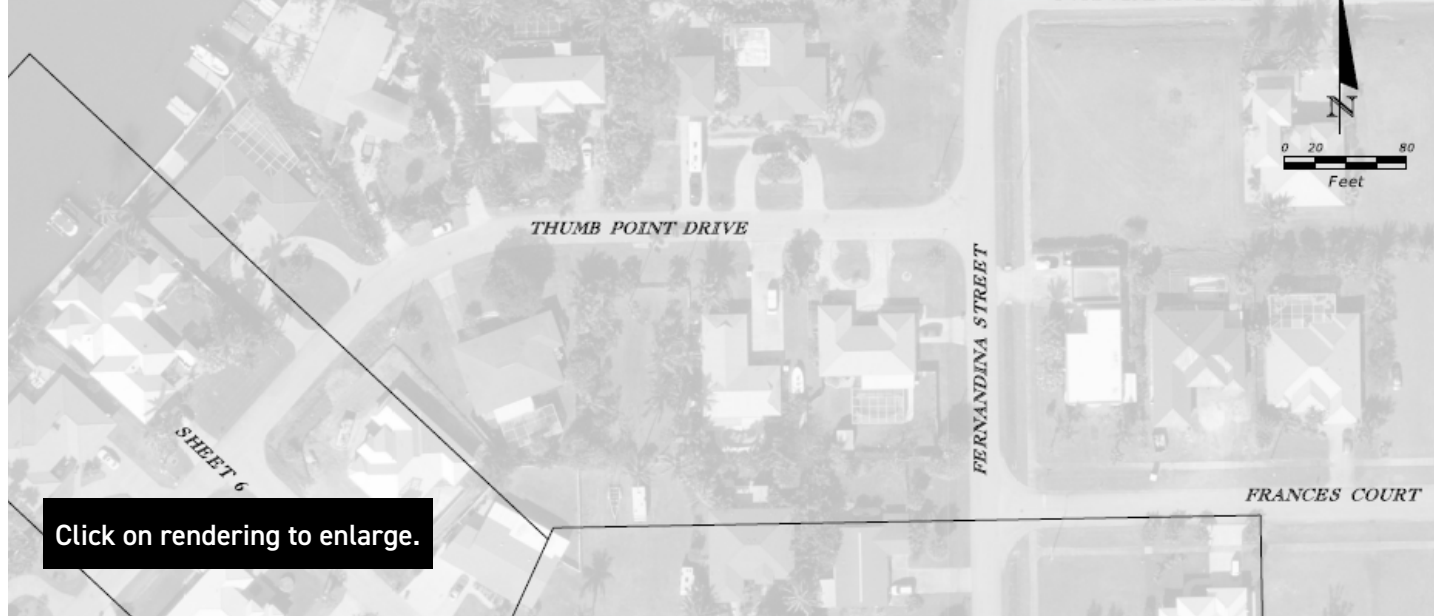
**SUN Trail Highwayman Trail Gap
(Indian Hills Drive to Georgia Avenue)**

The City has advertised the project for bids for construction. Staff has coordinated with FEC for an amendment to our existing lease agreement for access to property near Indian Hills Drive. A revised easement is under review for a parcel at the northern end of the project at the intersection of Georgia Avenue and South 3rd Street. Bids are due June 13, 2024.



Frances Avenue Roadway Improvements

The bid opening was May 2, 2024. There were seven submissions, which are currently under review. A recommendation to award will be completed by June. The work associated with this roadway improvement project includes drainage improvements, water main installation, utility adjustments and roadway restoration.



Former JC Penney Parking Lot

Staff is preparing construction documents to advertise for bids. The City anticipates advertising the project in June 2024.

Avenue D and Means Court Public Parking Lot

Construction commencement anticipated September 2024.

Avenue D (US 1 to Indian River Drive)

The City is coordinating with the design of Indian River Drive. The typical section is under review for final decision. The City anticipates final design in August.

Avenue D (Indian River Drive to 29th Street)

FDOT will provide a final checklist for Notice to Proceed. Once received, the City will advertise the project for construction. The City anticipates bidding the project in June 2024.

11th Street (Boston Avenue to Orange Avenue)

This project includes improvements to Boston Avenue from 13th Street to 10th Street and Preston Court from Boston Avenue to Delaware Avenue. The 60% design plans are currently in review.

Indian Hills Golf Course Site Expansion - Phase I

The proposed site expansion of the Indian Hills Golf Course includes Phase I development consisting of four (4) Pickleball Courts, paved parking lot for 36 vehicles, pervious paver golf cart staging area, landscaping, parking lot lighting, and utility connections for the Phase II improvements. Phase II improvements include the construction of a new clubhouse and golf cart barn.

The City Commission approved awarding the Phase I construction contract to PRP Construction during the April 15, 2024, City Commission meeting. Awaiting contract execution. Construction is anticipated for August 2024 with construction completion estimated to be in January 2025.

Fallen Law Enforcement Officers Remembrance



On May 14, 2024, members of the Fort Pierce Police Department joined with our colleagues from the Port St. Lucie Police Department, St. Lucie County Sheriff's Office, Florida Highway Patrol and Florida Fish and Wildlife Conservation Commission to remember our fallen law enforcement officers. The 2024 Law Enforcement Memorial Service was held at St. Bernadette Catholic Church in Port St. Lucie and was well attended by officers, deputies, troopers and their families.

Chief Diane Hobleby-Burney paid tribute to the four Fort Pierce Police officers who

died in the line of duty. Those officers are Sgt. Willie B. Ellis (End of Watch July 17, 1966); Capt. Grover C. Cooper III (End of Watch Jan. 12, 1987); Sgt. James A. Wouters (End of Watch Jan. 12, 1987); and Sgt. Danny T. Parrish (End of Watch Jan. 18, 1991).

Thank you to everyone who attended the ceremony to pay respects to those who made the ultimate sacrifice while serving our local residents and visitors. These law enforcement officers will never be forgotten.



SUNRISE THEATRE

The 2023/24 season at the Sunrise Theatre was nothing short of stellar. Featuring an eclectic mix of entertainment, the season catered to all tastes, making it a standout year for the historic venue. The dedicated team behind the scenes worked tirelessly to expand the schedule, adding more shows and events while ensuring every guest received exceptional customer service.

One of the key drivers of this season's success was the introduction of enhanced membership perks. Members enjoyed benefits such as early ticket access, priority seating, and exclusive entry to the rejuvenated Private Friend's Lounge. These perks provided a more personalized and enjoyable experience for patrons, encouraging many to become loyal supporters of the theatre.

Every event at the Sunrise Theatre transformed downtown into a lively hub of activity. Local restaurants, bars, and shops thrived on show nights, creating a vibrant atmosphere that attracted visitors from across the region. People traveled

from as far as Tampa and Jacksonville to witness the magic of the performances, highlighting the theatre's regional draw.

The unwavering commitment of both the staff and volunteers was evident throughout the season. Their dedication to providing top-notch service and creating memorable experiences for every guest played a crucial role in the theatre's success. Robust marketing efforts further amplified the reach and impact of the theatre's offerings, ensuring that each show was well-attended and celebrated.

The excitement doesn't end with the 2023/24 season. The Sunrise Theatre has already begun planning an even more spectacular lineup for the 2024/25 season. While specific details remain under wraps, announcements are expected soon. Fans of the theatre are encouraged to stay connected by following the Sunrise Theatre on social media or subscribing to the email list at www.sunrisetheatre.com for the latest updates.

Now is the perfect time to support the Sunrise Theatre by becoming a member. Memberships start at just \$75 for the entire year (June 1st - May 31st) and offer a host of exclusive benefits. Enjoy early ticket access, priority seating, and exclusive lounge entry, tailored to your membership level. By becoming a member, you not only gain access to the best live entertainment on the Treasure Coast but also support the ongoing success and growth of this historic venue.

For more information on membership and its benefits, visit Sunrise Theatre Membership or call the Box Office at 772.461.4775.

The Sunrise Theatre looks forward to your continued support. Join us in celebrating the arts and contributing to the vibrant cultural scene of the Treasure Coast. Together, we can ensure that the Sunrise Theatre remains a cornerstone of entertainment and community for years to come.





RECOGNIZING OUR PUBLIC WORKS EMPLOYEES

National Public Works Week Proclamation

May 19-25, 2024, marks National Public Works Week across North America. That week is dedicated to honoring and celebrating the dedicated individuals who provide vital services such as maintaining roads, parks, waste management, and emergency responses. On May 20, 2024, the Mayor and City Commission officially recognized the Public Works Department for their contributions through a proclamation. When you spot public works employees improving parks or beaches, repairing roads, or collecting trash, don't hesitate to wave and express your gratitude for their hard work and service.





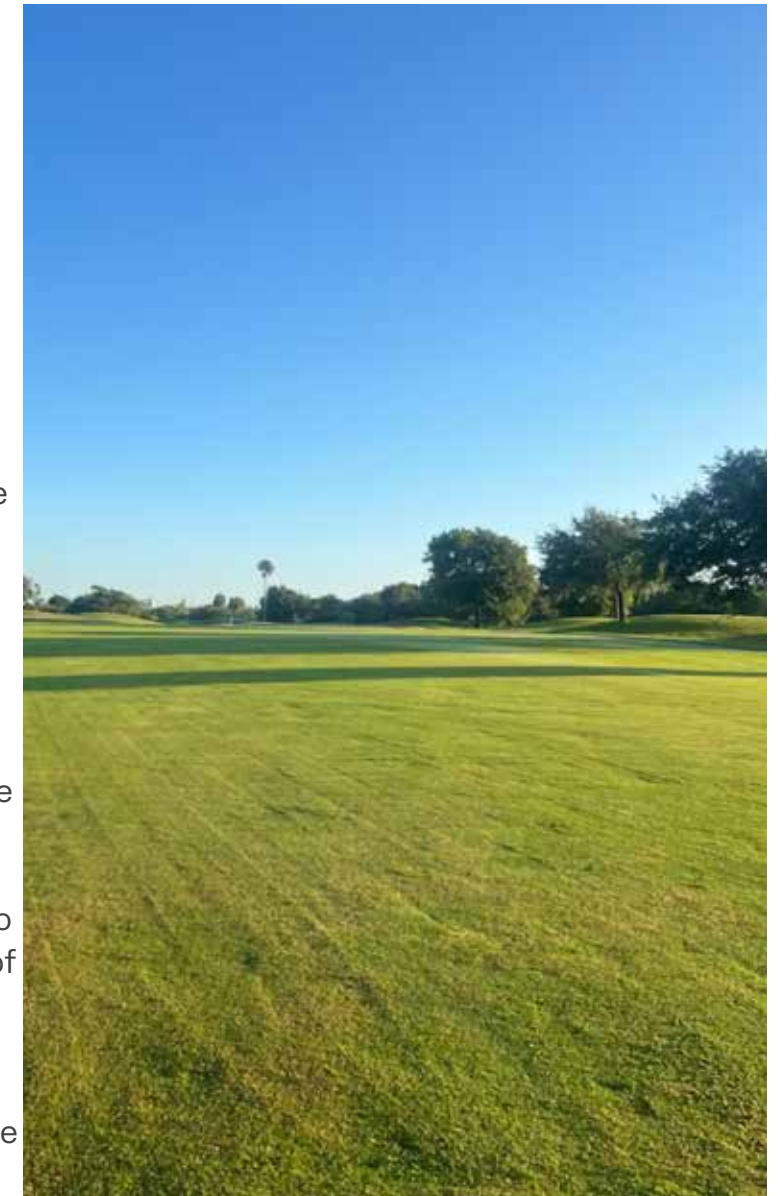
Indian Hills Golf Course

We have had a fantastic start to our fiscal year! Between October 1 and April 30, we have approximately 6,000 rounds and \$225,000 in Green Fee Revenue increase over last year during that same period. We certainly have a lot of work to do, but the improved conditions have gone a long way to helping this year's early success.

Beginning mid-May, we started our aggressive summer course maintenance program. Our first green aeration was held on Tuesday, May 7th & Wednesday May 8th and the greens have responded tremendously! All 18 tees as well as several fairways had been spiked to reduce compaction and allow oxygen and

fertilizer to do their jobs. Weeds have been sprayed, are turning yellow and are being suppressed by additional new turfgrass. Our second large scale greens maintenance will be performed in early September.

We are in the process of expanding a few of the smaller tees on the golf course to accommodate the increasing number of rounds. This summer, the tee complex on hole #17 will be expanded with almost 50% of additional turf area. Next summer, we will expand the tee on both holes #11 and #12. This will allow us to rotate tee spaces more frequently and provide a better grass area from which to play during the busy winter months when grass growth is at its slowest.



Just over a year ago we enlisted the help of a turf doctor as well as a turf specialist which had conducted several water and soil samples. Their expertise has shown itself to be highly beneficial and will be a huge help in our future success. Their combinations of organic liquid fertilizers have provided an immediate benefit to the turfgrasses. Mother Nature has also been a tremendous asset already with several big showers in May, which is normally one of our drier periods. With the continued afternoon rains and fertilizers in conjunction with what our maintenance team is already doing, we should be extremely healthy heading into the Fall.

Word of mouth is our greatest form of advertising, so we ask if you've played here and enjoyed the changes we're making, please tell a friend...or two! If there's something we can improve upon...tell US so we can keep getting better! We thank all of our members and guests for their support and we ask that you please "Like" and "Follow Us" on Facebook or Instagram to see almost daily updates on the golf course and our ongoing maintenance projects.

Monthly Sales Report	MARCH 2024		APRIL 2024	
	Golf Rounds	5,098	4,583	
	Golf Fees	\$158,661.14	\$134,432.05	
	Range Tokens	\$6,137.19	\$3,323.28	
	Membership Fees	\$2,008.95	\$2,162.14	
	Food & Beverages	\$12,182.21	\$12,030.61	
	Merchandise	\$9,969.84	\$6,148.32	
	TOTAL	\$188,959.33	\$158,096.40	

4515 ENERGY RD

The much-anticipated construction of the Fort Pierce Utilities Authority Mainland Water Reclamation Facility is well underway. Numerous structures are being constructed and inspected concurrently. With the concrete just recently poured on the reclaim storage tank, tension cables are now being attached. Temporary scaffolding has been set up in the area to restrict access as a precautionary measure due to the loads imposed on the tension cables.

With the foundation complete for the AquaNereda treatment basins, framing, steel, and rebar is being placed ahead of the concrete pour of the basin walls.

The building pad is ready, and forms are being set for the Administration and Maintenance Building.



Administration Building



Storage Tank



AquaNereda Basins

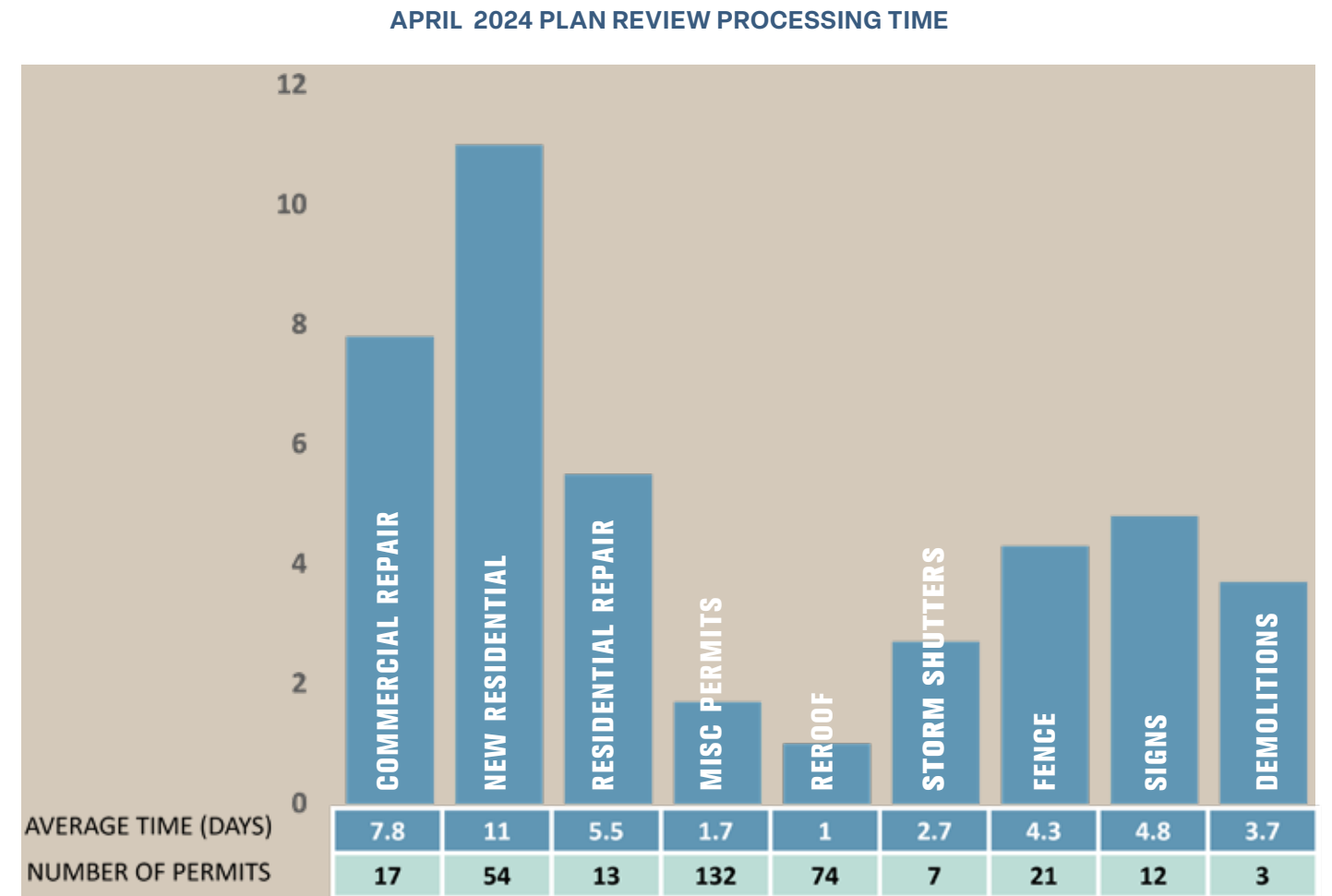
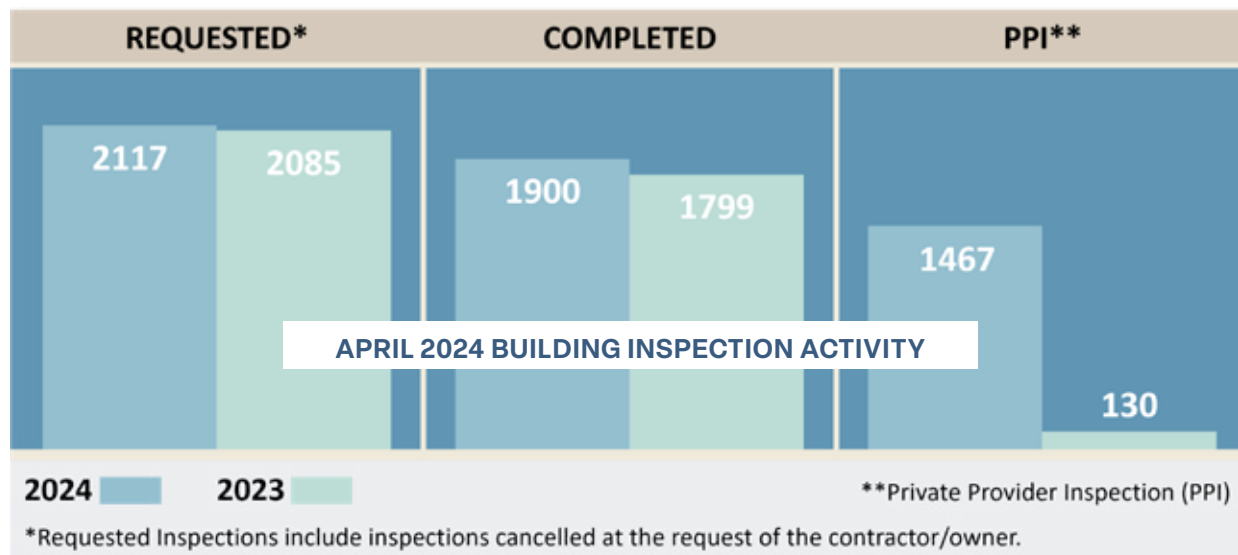
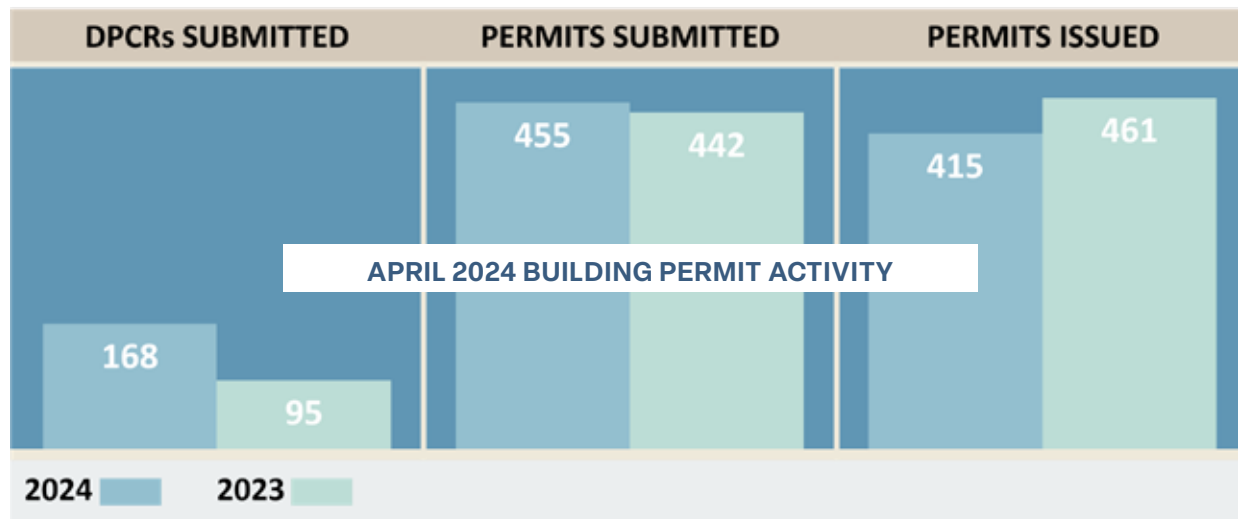
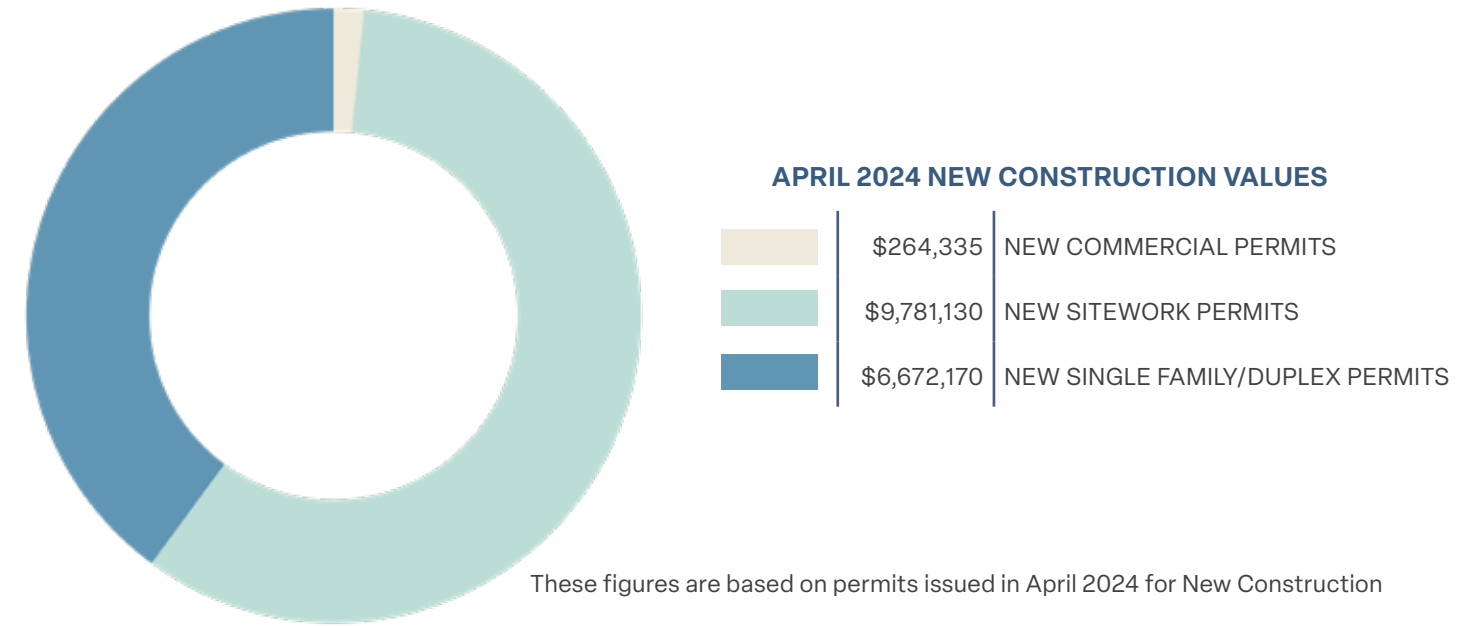
200 DICKSON DR

Sitework has begun for the Preserve at Savannah Lakes. Upon completion, this large development will feature 612 townhomes and villas built around 40 acres of natural wetlands. While some of the homes will be located on Dickson Dr, a majority of the development is about a quarter mile east of US Hwy 1 between Dickson Dr and South Market Avenue. Storm water retention areas are being delineated and the land is being prepared for the installation of stormwater drainage, paving and infrastructure for the homes.



5515 OKEECHOBEE RD

Construction is ongoing at Extra Space Storage on Okeechobee Road just west of Aldi. Metal framing is being assembled and erected and the facade at the entrance is being sheathed with plywood. Wiring, piping, and ductwork for the electrical, plumbing and mechanical systems are beginning to be installed inside the 2-story self-storage building.





CITY MARINA REVENUE REPORT

	FEBRUARY	MARCH	APRIL
Dockage Reservations	191	222	242
Monthly Dockage	\$159,214.49	\$192,247.41	\$156,308.13
Transient Dockage	\$120,806.59	\$134,389.51	\$135,869.49
Electricity	\$9,597.15	\$10,393.91	\$10,618.44
Retail	\$20,988.98	\$31,961.22	\$26,805.54
Gas Sales	\$43,022.02	\$96,199.63	\$127,226.44
Diesel Sales	\$110,957.99	\$101,100.95	\$120,748.59
TOTALS	\$464,587.22	\$566,292.63	\$577,576.63



PUBLIC WORKS COMMUNITY DAY EVENT

The Public Works Department conducted its annual Community Day event on Saturday, May 18th at Dreamland Park from 10:00 a.m. to 2:00 p.m. This collaborative effort included the Community Response Department and Police Department, offering a delightful and informative experience for families in the community. Attendees enjoyed Live Oak Tree giveaways, tree planting and waste collection demonstrations, free food, interactions with Adoption Center pets, and the chance to win prizes.

The event aims to inspire community members to contribute to the beauty of Fort Pierce and fosters connections between residents, city staff, and available resources. If you missed this year's event, don't worry – we look forward to seeing you next year!





PLANNING DETERMINATIONS



The City Commission approved a site plan application for a 4,306 square-foot Youth and Family Health Center building to provide mental health services for children at 1213 S. 25th Street. Services offered at the center will include counseling, psychiatric evaluation, medication management and targeted case management.



A request for a Site Plan for a 206-unit rental community (Viva East) at 5315 Edwards Road & 5496 Altman Road, was approved by the City Commission. The proposed development will consist of one-bedroom, two-bedroom, and three-bedroom duplexes. Viva East is the sister project to the previously approved Viva West.

Both communities will share access to amenities such as a fitness center, business lodge, community room, catering kitchen, pet spa, outdoor grilling areas and more. A total of 10.7 acres of wetlands and upland ecosystems will be preserved through a conservation easement. In addition, the approval requires substantial offsite work to be completed to increase vehicular and pedestrian safety through intersection and sidewalk improvements.

THEATRE CAMP 2024 AT THE SUNRISE THEATRE

GIVE YOUR CHILD THE BEST SUMMER
REGISTER TODAY!

WORKSHOPS:

WHERE THE WILD THINGS ARE

JUNE 3-21

WE ARE ALL HEROES

JULY 8-26

CAMP HOURS:

M-F: 8:30 AM-4:30 PM

E: INFO@STAGEFRIGHT ACADEMY.ORG
BOXOFFICE@SUNRISETHEATRE.COM

P: 772.461.4775



StageFright
Academy



SCAN ME

Historic Downtown Fort Pierce
117 S. 2nd Street
www.sunrisetheatre.com

April 2024 SeeClickFix Summary

CATEGORY	DISTRICT 1				DISTRICT 2			
	CREATED	CLOSED	DTA	DTC	CREATED	CLOSED	DTA	DTC
Living in a Structure Without Utilities	1	1	0.0	1.2	1	0	0.0	0.0
Unsafe Structure	-	-	-	-	1	1	0.0	0.0
Abandoned Vehicle	1	0	2.0	0.0	1	0	2.0	0.0
Animal Control	1	1	0.2	0.2	-	-	-	-
General	8	4	2.9	0.8	8	5	0.9	3.1
Illegal Dumping	5	3	3.3	1.8	-	-	-	-
Outside Storage/Junk/Trash	6	4	0.5	1.0	9	3	3.9	2.3
Tall Grass/Overgrown Landscaping	2	1	0.9	0.0	-	-	-	-
Drainage Issues	1	1	0.0	2.3	3	1	0.9	29.2
Roadway Construction	1	0	0.0	0.0	2	0	0.0	0.0
Traffic Signal	1	0	0.0	0.0	2	0	0.0	0.0
Parks and Playgrounds	1	1	0.0	0.0	4	1	2.6	0.0
Pothole	2	1	0.0	1.0	-	-	-	-
Street Light	7	1	0.2	7.4	3	1	0.0	6.5
Street Sign	4	2	0.2	2.0	4	0	0.3	0.0
Trash and Recycling	14	10	0.2	2.2	4	2	0.4	5.8
Trees	2	2	0.0	4.0	3	2	1.0	2.0
TOTALS	57	32	0.7	2.1	45	16	1.3	4.7

DTA - Days to Acknowledgement DTC - Days to Close

Please use this link to view a map of the Fort
Pierce City Commission Election Districts: <https://cityoffortpierce.com/DocumentCenter/View/22378/City-Election-Districts-Map-2022>

- BUILDING DEPARTMENT
- COMMUNITY RESPONSE
- ENGINEERING DEPARTMENT
- PUBLIC WORKS

Welcome New Businesses



ALUMINUM VINYL & BUILDING PRODUCTS

- ANDREWS, JAMES
- ANTOJITOS MEXICANOS INC
- BOWER UROLOGY LLC
- BOWER, PAUL E MD
- CGM IT MANAGEMENT LLC
- CHANCES ADVOCATES LLC
- COLDWELL BANKER PARADISE
- DESIGNER WELLNESS LLC
- DS LEGACY SECURITY SERVICES INC
- E E G CONCRETE INC
- EL GUADALJARA INC
- EMBRACING LOVE HOME CARE
- EMMONS AUTO BROKERS INC
- ETIENNE-ALCIDE, CARINE APRN
- EXTENDED STAY MOTEL
- FLORIDA FRESH FISH LOGISTICS LLC
- FORT PIERCE TIRES DISCOUNT PLUS INC.
- FRESH CARTOON GRASS LLC
- FRISBEE, PATRECE

GLOW MED LOUNGE LLC

- HATTON, CHRISTOPHER
- HEAVENLY SHINE DETAILING LLC
- HOMETEAM PEST DEFENSE, INC
- JOROLENZ CAPITAL, LLC
- KELLY, ROBERT
- LINDE, DIANNE
- LIVITI INC
- LUXURY CLEANED AUTO DETAILING LLC
- MACIAS, ANDREA & CAROLINA
- MAIN DE GLOIRE BOTANICA, LLC
- MARVEL, MATTHEW
- MCCARTY MANSION LLC
- NAVI ROADSIDE ASSISTANCE PLUS IN
- NEUROSCIENCE CONSULTANTS LLP
- OEUVRE BEAUTY LLC
- OSORIO'S BROTHERS PAINTING, LLC
- P5 ORLANDO LLC DBA TAKE 5 1132
- PERFECT PAVER PROS LLC
- RAYA, ROQUE



Upcoming Events

- Every Wednesday - Green Market - Marina Square 12 pm-6:30 pm
- Every Saturday - Jazz Market - Marina Square 8 am-1 pm
- Every Saturday - Downtown Farmer's Market - Marina Square 8 am-12 pm
- 6/7/24 Friday Fest - Marina Square 5 pm-9 pm
- 6/17/24 Juneteenth Libation Ceremony - River Walk Center/Back Patio 6 pm - 8 pm
- 6/19/24 Juneteenth Freedom Festival - RWC/Veterans Memorial Park 10 am-8 pm

River Walk Center Sales Report April 2024

Classes	\$434.91
Park Permits	\$3,675.00
Special Events	\$425.00
Facility	\$8,175.64
TOTAL	\$12,710.55



www.cityoffortpierce.com | 772.467.3000



CITY OF FORT PIERCE MISSION STATEMENT:

"To provide community leadership, quality public service, and a safe environment for all citizens by an empowered team of employees motivated by pride in themselves and their work."