



DEVELOPMENT REVIEW

Property Information

Property address or Location 4060 Selvitz Road, Ft. Pierce, Florida 34981
 Parcel ID #(s) 2432-223-0004-000-6
 Project description Temporary Asphalt Plant

Application Type

- Site Plan Conditional Use w/New Construction Conceptual Development Plan
 Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: 325,937 Site Acreage: 7.48
Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Wanda Johnson

Property Owner(s)
4060 Selvitz Road
 Street Address
Ft Pierce FL 34981
 City State Zip
772-216-5368
 Phone Number
sharisjohnson@gmail.com
 Email Address

ETM Solutions, LLC, Robert Baer, Manager
 Applicant/Representative, Title, Company
4060 Selvitz Road
 Street Address
Ft Pierce FL 34981
 City State Zip
305-888-3344
 Phone Number
bbaer@centralfcivil.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

Wanda Johnson
 Property Owner(s) Signature(s)

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS
 CALL 772.467.3737 OR E-MAIL PLANNING_DL@CITYOFFORTPIERCE.COM
 For more information, please refer to the website:
<https://www.cityoffortpierce.com/971/Application-Submittal-for-Technical-Rev>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



CONCURRENCY CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Industrial (Concrete Fabrication)	HI (Heavy Industrial)	I-3
South	Industrial	HI (Heavy Industrial)	I-3
East	Industrial (Concrete Recycle and Fabrication)	HI (Heavy Industrial)	PD (Planned Development)
West	Industrial (Misc. Fabrication) & Waste Transfer Station	HI (Heavy Industrial)	I-3

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	HI (Heavy Industrial)	I-3	0	12.79	X
Proposed	HI (Heavy Industrial)	I-3	Assume Max. Coverage @ 10,000 sq ft / acre = 13,000 (+/-)	12.79	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum SF: 12,790 SQ FEET (+/-)
Current Zoning/FLU	Total gallons per day 16,000 GPD (ESTIMATED MAX)
**Proposed Zoning/FLU	Total gallons per day 16,000 GPD (ESTIMATED MAX)
**Change in Demand	Total gallons per day 0

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.100 gallons per day per square foot
Demand Analysis	Maximum SF: 12,790 SQ FEET (+/-)
Current Zoning/FLU	Total gallons per day 13,000 GPD (ESTIMATED MAX)
**Proposed Zoning/FLU	Total gallons per day 13,000 GPD (ESTIMATED MAX)
**Change in Demand	Total gallons per day 0

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20.0 acres per 1,000 people			
Urban District	5.00 acres per 1,000 people			
Community	2.50 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name	n/a	n/a
City	n/a	n/a
Distance	n/a	n/a
Current Zoning/FLU Enrollment Demand	n/a	n/a
**Proposed Zoning/FLU Enrollment Demand	n/a	n/a
**Change in Demand	n/a	n/a

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum Units:
Current Zoning/FLU	n/a
**Proposed Zoning/FLU	n/a
*Change in Demand	n/a

F. Stormwater:	
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)	
Impact:	See attached Drainage report

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Land Use Assumption is Manufacturing (ITE 140), @ 13,000 sq feet.		
Current Zoning/FLU	62	10/ 10
Proposed Zoning/FLU	62	10/ 10
Change in Demand	0 Trips	0 Trips
Impact to Capacity	None. No change from current land use conditions	

IV. Project Description

PHASING		
Is this project (phase) part of a larger project?	Yes	<input checked="" type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date		
Total Project: Residential Units:	Single Family:	Multifamily:
Non-residential (square footage):	13,000 SF (APPROXIMATE MAX) (PHASE 1 TOTAL)	
Mixed-use (describe use):		
(If this is a single phase project, name it Phase I – Total)		

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type (Specify)	Phase	Number of Units	Acres	Expected beginning date	Expected completion date

A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. YES NO

B. 1. Does this application involve demolition or re-use of any structure(s)? YES NO
If yes, what is the size of the structure(s) to be demolished or re-used? _____ SQ FEET.

2. What is the current use of the structure to be demolished or re-used? YES NO

3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? YES NO

If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

This instrument prepared by:
Glen M. Goldman, Esq.
Cargill, Incorporated
Law Department
P. O. Box 5624
Minneapolis, MN 55440
952-742-6371

Parcel ID# 2432-122-0001-000/5

Recording Data Above

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED, is made this ³⁴25 day of October, 2004, by and between **Cargill Juice North America, Inc.**, a Delaware corporation ("CJNA"), whose address is 100 East 6th Street, Frostproof, Florida 33843, and **Bobby Johnson and Wanda Johnson**, husband and wife, whose mailing address is 4767 Selvitz Road, Fort Pierce, Florida 34981 (collectively, the "Grantee").

WITNESSETH, that CJNA, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged by CJNA, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm has granted, bargained and sold to Grantee, and their heirs and assigns forever, the following described real property located in **St. Lucie County, Florida**:

**SEE EXHIBIT A ATTACHED HERETO AND
MADE A PART HEREOF (the "Property").**

TOGETHER with all the tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

And CJNA hereby covenants with Grantee that CJNA is lawfully seized of the Property in fee; that CJNA has good right and lawful authority to sell and convey CJNA's interest in and to the Property; and hereby warrants the title to the Property and will defend the same against the lawful claims of all persons claiming by, through or under CJNA but none other.

IN WITNESS WHEREOF, CJNA has executed this instrument the 25th day of October, 2004.

Subscribed before the following two witnesses:

JAY JONES
Print Name: JAY JONES
Jim Maliszewski
Print Name: Jim Maliszewski

CARGILL JUICE NORTH AMERICA, INC.

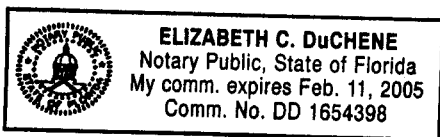
By: Bryce R. Kelly
Name: Bryce R. Kelly

Title: Assistant Vice President

STATE OF FLORIDA
COUNTY OF POLK

The foregoing instrument was acknowledged before me this 25th day of October, 2004, by Bryce R. Kelly, as Assistant Vice President of Cargill Juice North America, Inc., a Delaware corporation, to me personally known.

(Affix Notary Seal)



Elizabeth C. DuChene
NOTARY PUBLIC, State of Florida
Print Name: ELIZABETH C. DUCHENE
My Commission Expires: 2-11-05

EXHIBIT A

Being a parcel of land lying in Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida, said parcel being more particularly described as follows:

Commence at the West one-quarter corner of said section 32; thence North $00^{\circ}04'06''$ East along the West line of the Northwest one-quarter of said section 32, a distance of 53.50 feet; thence South $89^{\circ}58'19''$ East, a distance of 50.00 feet to a point on the East right-of-way line of Selvitz Road (100.00 feet wide right-of-way); thence continue South $89^{\circ}58'19''$ East along a line that is 53.50 feet North of, as measured at right angles to the South line of the Northwest one-quarter of said section 32, said line also being the Northerly right-of-way line of the North St. Lucie River Water Control District Canal No. 101, a distance of 705.00 feet to the Point of Beginning; thence North $00^{\circ}04'06''$ East, along a line that is 755.00 feet east of and parallel with the West line of said section 32, a distance of 600.00 feet to a point in a line that is 653.50 feet North of a parallel with the South line of the Northwest one-quarter of said section 32; thence North $89^{\circ}58'19''$ West along said line, a distance of 280.00 feet; thence North $00^{\circ}04'06''$ East along a line that is 425.00 feet East of and parallel with the West line of said section 32, a distance of 200.00 feet; thence North $89^{\circ}58'19''$ West along a line that is parallel with and 853.50 feet North of the South Line of said section 32, a distance of 350.00 feet to the beginning of a curve concave to the Southeast, having a radius of 25.00 feet; thence Southwesterly and Southerly along the arc of said curve, through a central angle of $89^{\circ}58'50''$, a distance of 39.26 feet to a point in the aforementioned East right-of-way line of Selvitz Road; thence North $00^{\circ}04'06''$ East, along said line and non-tangent to last described curve, a distance of 125.00 feet to a point of cusp with a curve concave to the Northeast, having a radius of 25.00; thence Southeasterly and Easterly along the arc of said curve, through a central angle of $90^{\circ}02'25''$, a distance of 39.29 feet; thence South $89^{\circ}58'19''$ East, a distance of 349.98 feet; thence South $89^{\circ}58'25''$ East, a distance of 156.76 feet to the beginning of a curve concave to the Northwest, having a radius of 87.50 feet; thence Northeasterly and Northerly along the arc of said curve, through a central angle of $89^{\circ}12'39''$, a distance of 136.24 feet; thence North $00^{\circ}48'56''$ West, a distance of 22.40 feet to the beginning of a curve concave to the Southeast, having a radius of 137.50 feet; thence Northeasterly along the arc of said curve, through a central angle of $57^{\circ}00'06''$, a distance of 136.79 feet; thence North $57^{\circ}49'02''$ East, a distance of 116.83 feet to the beginning of a curve concave to the South, having a radius of 137.50 feet; thence Northeasterly and Easterly along the arc of said curve, through a central angle of $32^{\circ}12'10''$, a distance of 77.28 feet; thence South $89^{\circ}58'48''$ East, a distance of 193.44 feet; thence South $00^{\circ}49'02''$ West, a distance of 228.64 feet; thence South $51^{\circ}03'36''$ East, a distance of 241.52 feet to a point in a line that is 40.00 feet West of and parallel with, as measured at right angles to the East line of the Southwest one-quarter of the Northwest one-quarter of said section 32; thence South $00^{\circ}49'02''$ West along said line, a distance of 801.37 feet to a point in the North right-of-way line of aforementioned canal No. 101; thence North $89^{\circ}58'19''$ West, along said line a distance of 568.67 feet to the Point of beginning.

Containing 16.71 acres, more or less.

DETAILED PROJECT DESCRIPTION

4060 SELVITZ ROAD FT. PIERCE, FLORIDA 34981 Asphalt Plant

Approximately 7 acres of the parcel located at 4060 Selvitz Road, Ft. Pierce, Florida 34981 (the “Property”) is leased for the purpose of commercial and industrial uses that comply with all applicable zoning ordinances, building restrictions and regulations (the “Project”).

The purpose of the Project is to operate and maintain a portable¹ asphalt plant to produce hot mix asphalt pavement. The current asphalt plant is certified by the Florida Department of Transportation (“FDOT”) and has been recognized by the State of Florida for producing high quality asphalt for FDOT state highway projects. The asphalt plant is approved as one of FDOT’s Production Facilities. The asphalt plant is capable of producing asphalt for state, county and municipal/local road and airport projects in the region. It is also capable of producing asphalt for private projects. The operator will meet or exceed all City of Ft. Pierce requirements (i.e., dust control, noise requirements, etc.) and any other criteria, ordinances and regulations, when operating the asphalt plant.

The asphalt plant is currently not in use. The hours of operation will vary depending upon the needs of local customers and project limitations for lane closures, if applicable. This may include plant operation weekdays, weeknights and weekends.

The Project brings value to the Ft. Pierce area. The plant will hire employees who reside in the area, utilize local trucking for both completed products and raw material deliveries. The plant also brings additional competition in the asphalt production market that currently has only two other asphalt plants in the area that are certified by FDOT.



4060 Selvitz Road, Asphalt Plant

¹ The term “portable” does not mean temporary. While the plant is “portable” in that it is capable of being taken apart, shipped and set up in another location, the Project anticipates the portable asphalt plant to be permanent on the Property.

Property Identification

Site Address: 4060 SELVITZ RD
 Sec/Town/Range: 32/35S/40E
 Parcel ID: 2432-223-0004-000-6
 Jurisdiction: Fort Pierce

Use Type: 4000
 Account #: 157269
 Map ID: 24/32N
 Zoning: Heavy Indu

Ownership

Wanda Johnson
 4767 Selvitz Rd
 Fort Pierce, FL 34981

Legal Description

32 35 40 FROM NW COR OF SEC RUN N 89 50 34 E ALG N LI OF SEC 947.75 FT,TH S 00 47 49 W 460.07 FT,TH N 89 52 58 E 170.02 FT, TH S 00 47 37 W 234.76 FT TO POB,TH S 00 49 04 W 733.29 FT,TH N 89 58 19 W 193.42FT TO CURVE CONC SE,R OF 137.50 FT,TH SWLY ALG ARC 77.30 FT,TH S 57 49 02 W 116.83 FT TO CURVE CONC SE,R OF 137.50 FT,TH SWLY AND SLY ALG ARC 136.79 FT,TH S 00 49 02 W 22.41 FT TO CURVE CONC W,R OF 87.50 FT,TH SWLY ALG ARC 28.23 FT TO CURVE CONC NW,R OF 87.50 FT,TH SWLYALG ARC 108.01 FT,TH N 89 58 19 W 156.25 FT,TH N 00 04 06 E 200.96 FT,TH S 89 56 24 W 12 FT,TH N 00 04 06 E 601.60 FT,TH S 89 51 05 E 157.36 FT,TH N 00 04 06 E 235 FT,TH N 89 50 34 E 537.17 FT TO POB (12.79 AC) (OR 1252-1370)



Current Values

Just/Market Value: \$570,900
 Assessed Value: \$428,582
 Exemptions: \$0
 Taxable Value: \$428,582

Total Areas

Finished/Under Air (SF): 0
 Gross Sketched Area (SF): 0
 Land Size (acres): 12.79
 Land Size (SF): 557,132

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	150	160

Sources/links:

Taxes for this parcel: [SLC Tax Collector's Office](#)
 Download TRIM for this parcel: [Download PDF](#)

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Sep 24, 1999	1252 / 1370	XX01	QC	Johnson Bobby	\$119,900

Building Information (1 of 1)

Finished Area: 0 SF

Gross Sketched Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: N/A	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 0%

Electric:
 Heat Type:
 Heat Fuel:
 Heated %: N/A%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors:
 Sprinkled %: 0%



Image
 or
 Sketch
 unavailable
 for display

Sketch Area Legend

Sub Area Description Area Fin. Area Perimeter

Special Features and Yard Items

Type Qty Units Year Blt

Current Year Values

Current Values Breakdown

Building: \$0
 Land: \$570,900
 Just/Market: \$570,900
 Ag Credit: \$0
 Save Our Homes or 10% Cap: \$142,318
 Assessed: \$428,582
 Exemption(s): \$0
 Taxable: \$428,582

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2009	0041	91.2	Fort Pierce Stormwater Charge	\$6,292.80
Start Year	AssessCode	Units	Description	Amount
2013	0054	12.78999	North St. Lucie Water Management District	\$294.17

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

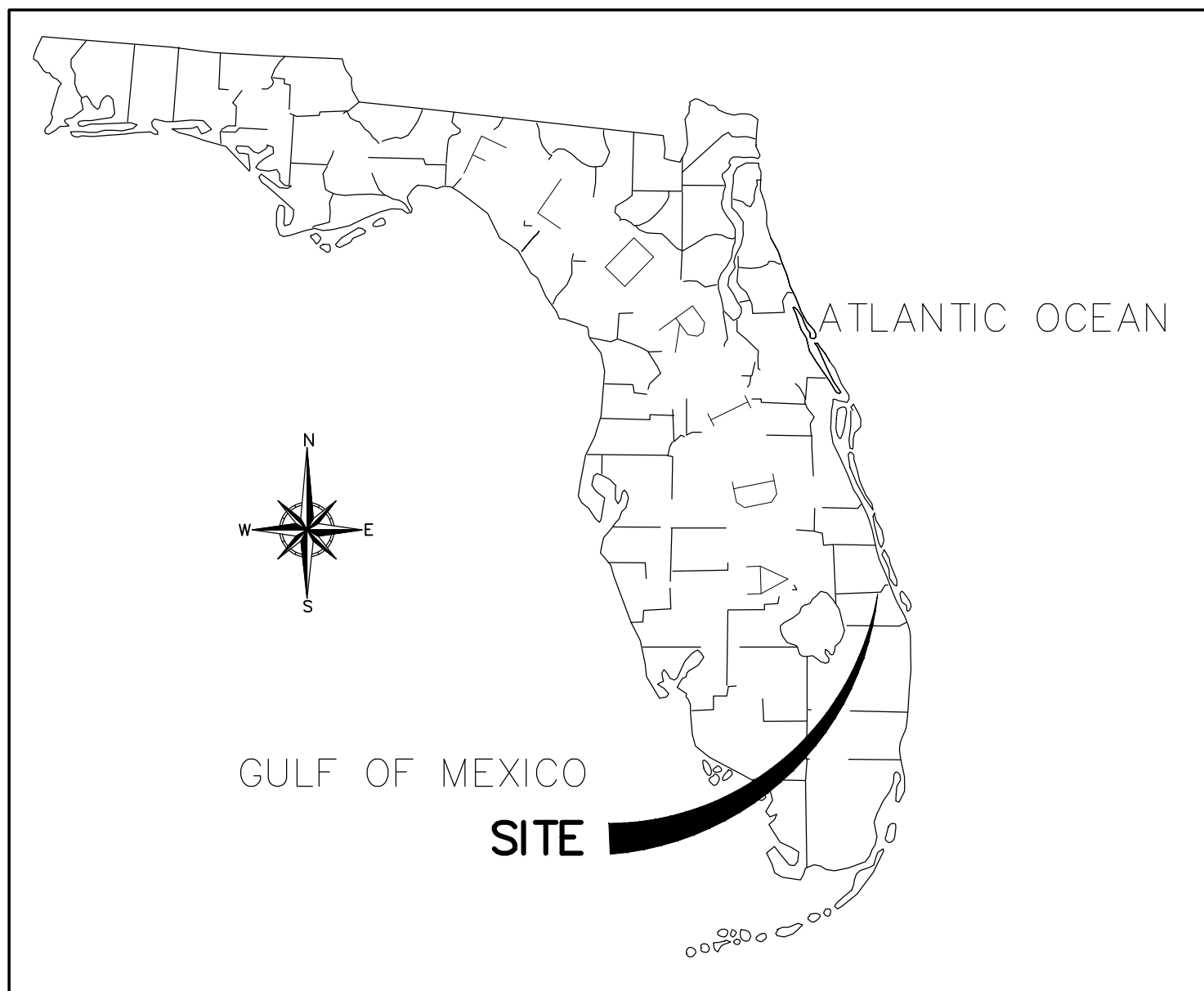
Year	Just/Market	Assessed	Exemptions	Taxable
2023	\$570,900	\$428,582	\$0	\$428,582
2022	\$428,200	\$389,620	\$0	\$389,620
2021	\$354,200	\$354,200	\$0	\$354,200
2020	\$354,200	\$354,200	\$0	\$354,200

Permits

Number	Issue Date	Description	Amount	Fee
BP19-1304	May 28, 2019	Electric	\$70,000	\$0

Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

All information is believed to be correct at this time, but is subject to change and is provided without any warranty.
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VICINITY MAP
(NOT TO SCALE)

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA. SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 32; THENCE NORTH 89°52'54" EAST ALONG THE NORTH LINE OF SAID SECTION 32, 413.00 FEET TO AN INTERSECTION WITH A LINE BEING 413.00 FEET EASTERLY OF, AND PARALLEL WITH THE WEST LINE OF SAID SECTION 32; THENCE SOUTH 00°04'32" WEST ALONG SAID PARALLEL LINE, 929.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°52'54" EAST ALONG A LINE THAT IS 929.95 SOUTHERLY OF AND PARALLEL WITH SAID NORTH LINE OF SECTION 32, 157.29 FEET; THENCE NORTH 00°05'36" EAST, 234.24 FEET TO AN INTERSECTION WITH THE SOUTH LINE OF THE NORTH 694.85 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 32; THENCE NORTH 89°52'54" EAST ALONG SAID PARALLEL LINE, 538.19 FEET TO AN INTERSECTION WITH THE WEST LINE OF THE EAST 230.00 FEET OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 32; THENCE SOUTH 00°49'04" WEST ALONG SAID WEST LINE, 261.96 FEET; THENCE SOUTH 89°55'08" WEST, 394.28 FEET; THENCE SOUTH 07°17'13" EAST, 309.16 FEET; THENCE SOUTH 01°37'10" EAST, 231.01 FEET; THENCE SOUTH 57°49'02" WEST, 17.09 FEET; THENCE SOUTH 87°46'33" WEST, 330.14 FEET TO AN INTERSECTION WITH A LINE BEING 413.00 FEET EASTERLY OF, AND PARALLEL WITH THE WEST LINE OF SAID SECTION 32; THENCE NORTH 00°04'32" EAST ALONG SAID PARALLEL LINE, 586.18 FEET TO THE POINT OF BEGINNING.

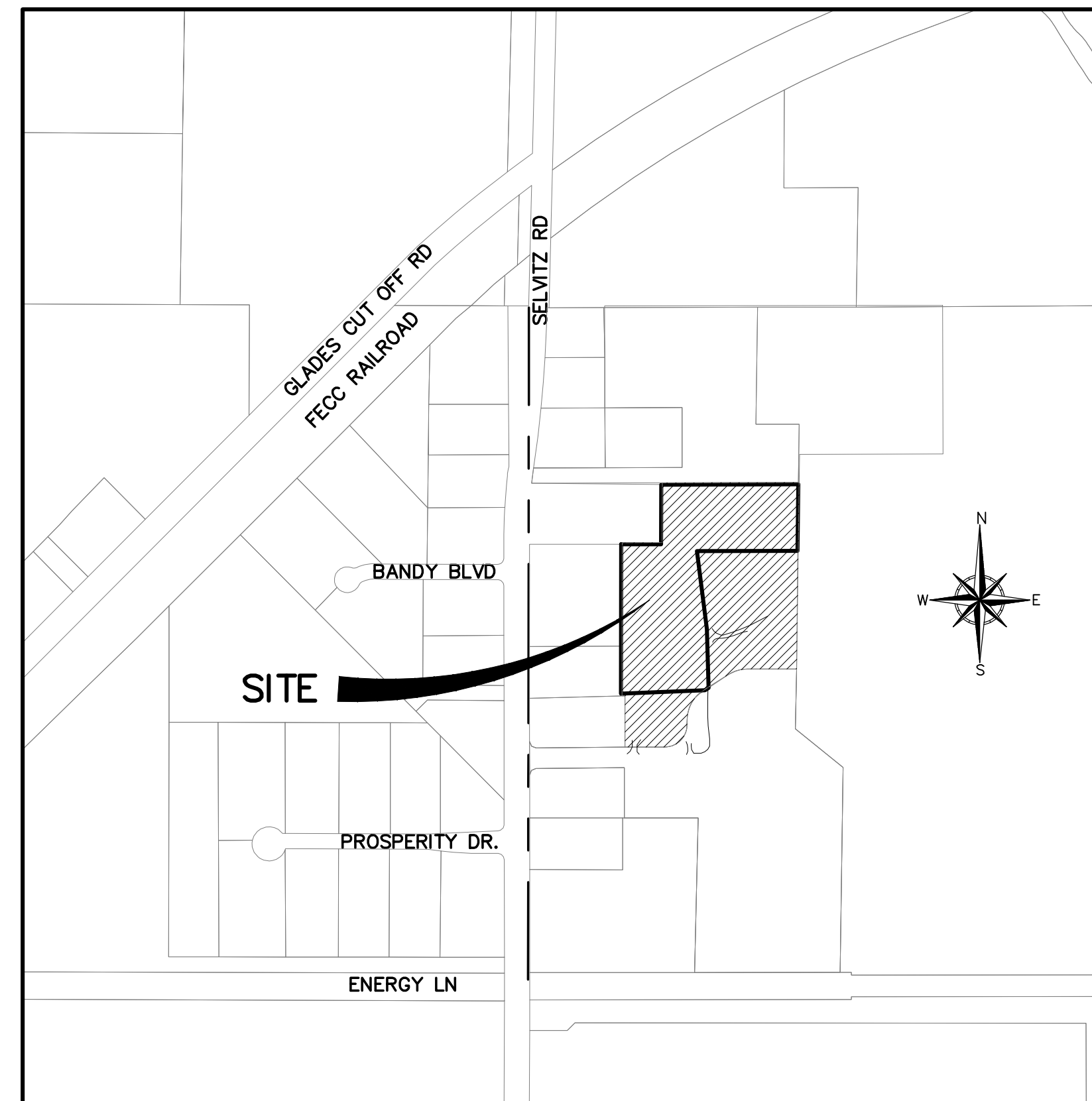
SAID PARCEL CONTAINING 325,937 SQUARE FEET OR 7.48 ACRES, MORE OR LESS.

SAID PARCEL BEING SUBJECT TO ANY/ALL EASEMENTS, RESERVATIONS, RESTRICTIONS, OR DEDICATIONS.

TOPOGRAPHIC SURVEY
WITH PROPOSED SITE PLAN
FOR
PORTABLE ASPHALT PLANT
IN
SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST
ST. LUCIE COUNTY, FLORIDA
PREPARED FOR
ETM SOLUTIONS, INC.

ABBREVIATIONS

BL	BETSY LINDSAY, INC
CBS	CONCRETE BLOCK STRUCTURE
CLF	CHAINLINK FENCE
CLS	CENTERLINE OF SWALE
CONC.	CONCRETE
EL.	ELEVATION
FND.	FOUND
HDPE	HIGH DENSITY POLYETHYLENE
INV.	INVERT
IR&C	IRON ROD & CAP
LB	LICENSED BUSINESS
NO.	NUMBER
P.L.S.	PROFESSIONAL LAND SURVEYOR
PVC	POLY VINYL CHLORIDE
S.F.	SQUARE FEET
TM	TEMPORARY BENCHMARK
TOB	TOP OF BANK
TOE	TOE OF SLOPE
TYP.	TYPICAL
W/	WITH



LOCATION MAP
SCALE: 1"=500'

LINE/TYPE LEGEND

----	PROPERTY LINE
-----	CONCRETE
=====	ASPHALT PAVEMENT

SYMBOL LEGEND

x 15.25	FIELD LOCATED POINT WITH ELEVATION (HARD SURFACES)
x 15.2	FIELD LOCATED POINT WITH ELEVATION (SOFT SURFACES)

SURVEYOR'S NOTES

- BEARINGS AS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES, REFERENCE THE NORTH AMERICAN DATUM OF 1983/2011 ADJUSTED (N.A.D. 83/11), FLORIDA EAST ZONE, REFERENCE A BEARING OF N10°58'24"W ALONG A LINE BETWEEN TWO ON-SITE TEMPORARY BENCHMARKS.
- ELEVATIONS AS SHOWN HEREON REFERENCE NORTH AMERICAN VERTICAL DATUM 1988 (N.A.V.D. 88), REFERENCE ST. LUCIE COUNTY BENCHMARK "STL 4", ELEVATION = 18.22 FEET. ELEVATIONS AS SHOWN HAVE BEEN MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 0.12 FEET.
- WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.10 FEET.
- THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR, UNLESS DIGITALLY SIGNED.
- THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE X, REFERENCE FEMA MAP COMMUNITY NO. 120126, PANEL 0188, SUFFIX K, EFFECTIVE DATE JUNE 22, 2017. NO SEARCH FOR MAP MODIFICATIONS HAS BEEN DONE BY THIS SURVEYOR.
- THIS IS NOT A BOUNDARY SURVEY.

SITE DATA TAKEN FROM ENGINEERING PLAN:

APPLICANT:	ETM SOLUTIONS, LLC. 2302 BRICKELL AVENUE MIAMI, FL. 33131	PROPERTY OWNER:	BOBBY AND WANDA JOHNSON 4767 SELVITZ ROAD FT PIERCE, FL. 34981
ENGINEER:	DAVID E. MORIM, P.E. CULPEPPER & TERPENING, INC. 2980 SOUTH 25TH STREET FT PIERCE, FL. 34981 PHONE: (772) 464-3537	SURVEYOR:	BETSY LINDSAY, P.L.S. BETSY LINDSAY, INC. 7997 SW JACK JAMES DR STUART, FL. 34997 PHONE: (772) 286-5753

- PROJECT NAME: PORTABLE ASPHALT PLANT
 - LOCATION: 4060 SELVITZ ROAD
FT PIERCE, FLORIDA
 - PROJECT DESCRIPTION: INSTALLATION OF ASPHALT PLANT USED FOR THE MANUFACTURE OF ASPHALTIC CONCRETE USED IN PAVING
 - PARCEL ID NUMBER: 24-32-223-0004-000-6
 - TOTAL SITE AREA: 7.48 ACRES
 - ZONING/LAND USE: EXISTING I-1-FP PROPOSED I-1-FP
 - UTILITY SERVICE: EXISTING FPUA WASTEWATER SERVICE: EXISTING FPUA
ELECTRIC SERVICE: EXISTING FPUA
 - SOLID WASTE: WASTE MATERIALS FROM ASPHALTIC CONCRETE PRODUCTION IS NOT ANTICIPATED THAT THE PLANT WILL PRODUCE WASTE AS THE MATERIAL USED IN THE PRODUCTION ASPHALTIC CONCRETE DO NOT PRODUCE A WASTE STREAM.
 - HAZARDOUS WASTE: DISPOSAL OF ALL HAZARDOUS WASTE MATERIAL, IF ANY, SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - DRAINAGE STATEMENT: THE SITE WILL HAVE A PERIMETER BERM TO PREVENT OFFSITE RUNOFF, IN ADDITION, AN ON-SITE SWALE WILL COLLECT RUNOFF FROM ON-SITE. WOLUME RECOVERY WILL BE BY PERCOLATION TO GROUND WATER ONLY.
 - VEGETATION STATEMENT: THE SITE HAS BEEN CLEARED PREVIOUSLY AND IS CURRENTLY USED FOR STORAGE OF MATERIALS AND EQUIPMENT.
 - TRAFFIC STATEMENT: THE INTENDED PURPOSE FOR THE PORTABLE ASPHALT PLANT IS THE PAVING OF MIDWAY ROAD. IT IS ANTICIPATED 100% OF THE TRUCK TRAFFIC ON SELVITZ ROAD WILL ENTER AND EXIT THE SITE FROM AND TO THE SOUTH ON SELVITZ ROAD. IN ADDITION, MIDWAY ROAD'S CONNECTION TO I-95 WOULD INDICATE TRAFFIC SUCH AS MATERIAL DELIVERIES WOULD BE FROM THE SOUTHERLY DIRECTION.
- | | | |
|---------------------------|----------|-------------------|
| EMPLOYEES: | QUANTITY | TRIP ENDS PER DAY |
| ASPHALT DUMP TRUCKS: | 3 | 12 |
| MATERIAL DELIVERY TRUCKS: | 8 | 32 |
| | 1 | 2 |
| | | 48 TOTAL |
- LIGHTING: THERE IS NO PROPOSED LIGHTING.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE "TOPOGRAPHIC SURVEY" WITH PROPOSED SITE PLAN AS SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND CHARGE ON MARCH 5, 2020 AND UPDATED ON DECEMBER 21, 2023, AND SAID "TOPOGRAPHIC SURVEY" IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. IT IS FURTHER CERTIFIED THAT THIS "TOPOGRAPHIC SURVEY" COMPLIES WITH THE STANDARDS OF PRACTICE FOR "TOPOGRAPHIC SURVEY" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

BETSY LINDSAY
A DIVISION OF HALEY WARD, INC.

[Signature]
ELIZABETH A. LINDSAY, P.L.S.
FLORIDA REGISTRATION NO. 4724

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER UNLESS DIGITALLY SIGNED
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ELIZABETH A. LINDSAY, P.L.S. 4724 ON January 9, 2024



BETSY LINDSAY
A DIVISION OF HALEY WARD, INC.
7997 SW JACK JAMES DRIVE STUART, FLORIDA 34997
(772)286-5753 (772)286-5933 FAX
LICENSED BUSINESS NO. 6852

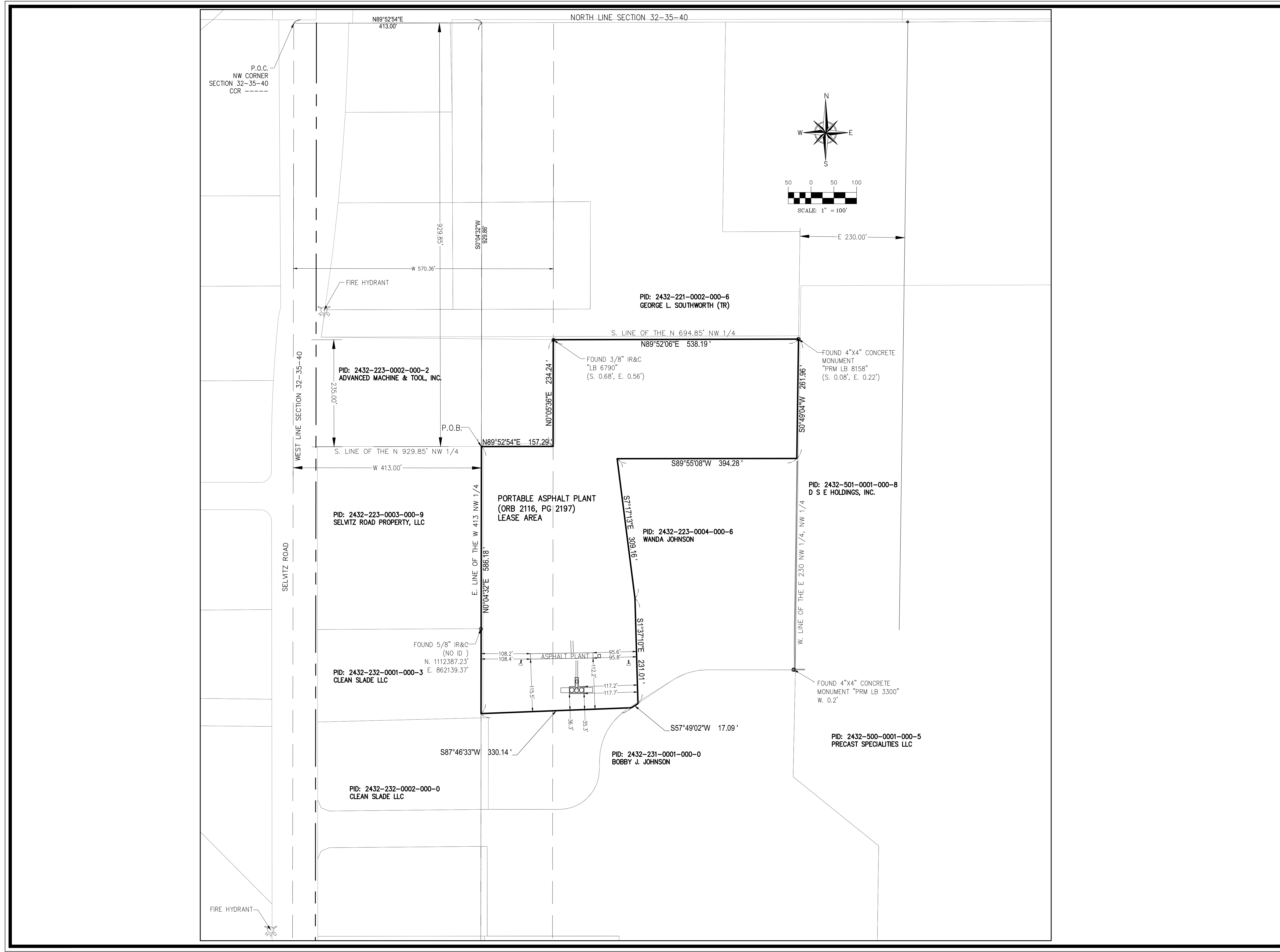
DATE	REVISIONS
09/29/2020	ADD S.F. & DIMENSIONS TO EX. & PROP. FEATURES
10/13/2020	ADD PROPOSED DUMPSTER & TRAFFIC FLOW DIAGRAM
10/15/2020	ADD TABLE FOR EXISTING & PROPOSED FEATURES
12/21/2023	UPDATE SURVEY
01/09/2024	REVISED PER CLIENT (LABELLED LEASE AREA)

DATE	03/13/2020
SCALE	AS SHOWN
FIELD BK.	FP 18
DRAWN BY	D.G./C.R.
CHECKED BY	E.A.L.

PORTABLE ASPHALT PLANT
ST. LUCIE COUNTY, FLORIDA
TOPOGRAPHIC SURVEY
ETM SOLUTIONS, LLC.

SHEET NO.	1
OF	4 SHEETS
PROJECT NO.	20-18

P:\E\2012097-ETM Solutions\001-Selvitz Asphalt Plant\20-18-Selvitz Asphalt Siteplan 12-20-23.dwg, SHEET (2), 1/9/2024 11:41:07 AM



B Betsy LINDSAY
 A DIVISION OF HALEY WARD, INC.
 7987 SW JACK JAMES DRIVE STUART, FLORIDA 34987
 (772)286-5763 (772)286-5933 FAX
 LICENSED BUSINESS NO. 6852

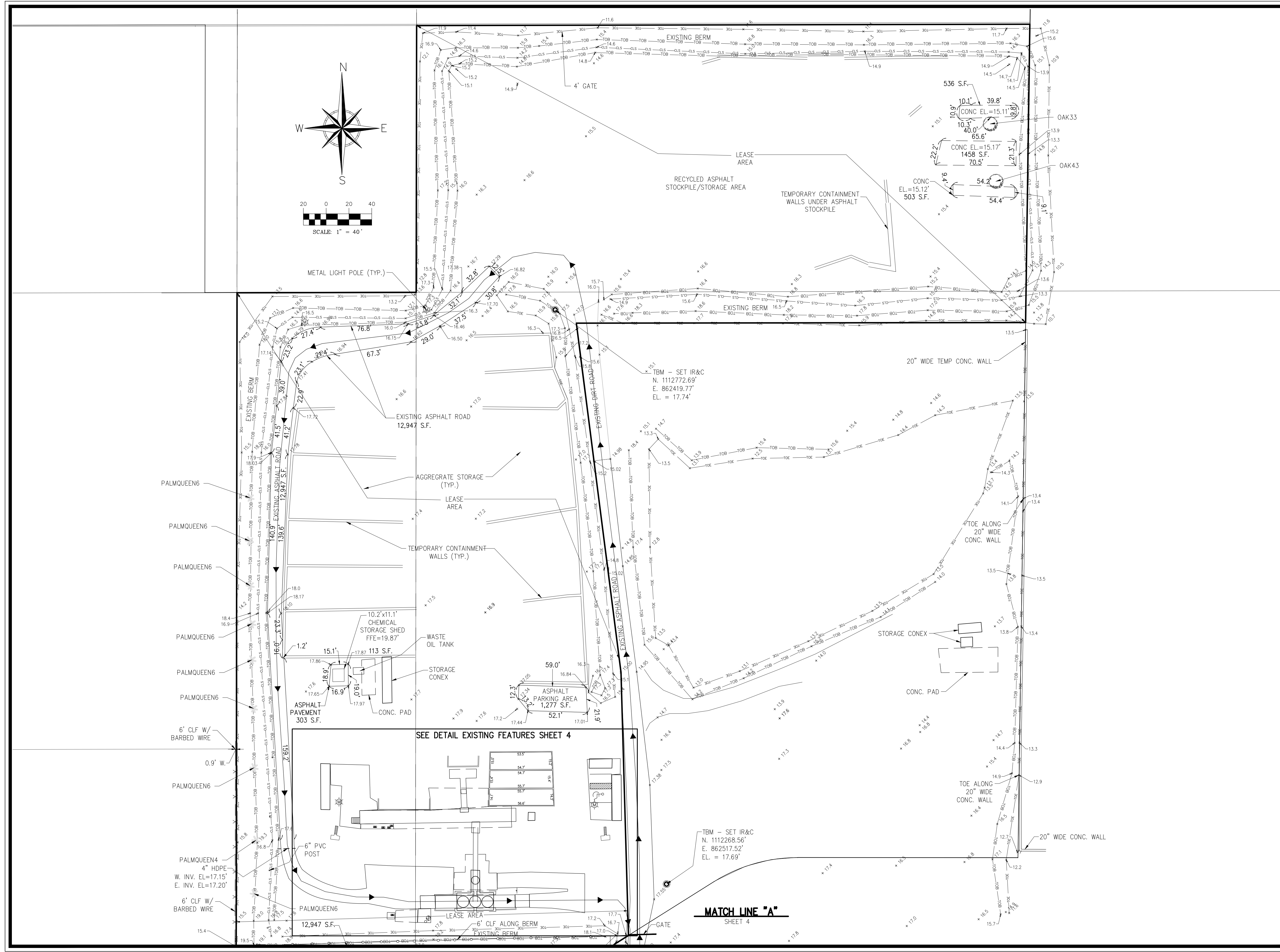
DATE	REVISIONS
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10/13/2020	ADD PROPOSED DUMSTER & TRAFFIC FLOW DIAGRAM
10/15/2020	ADD TABLE FOR EXISTING & PROPOSED FEATURES
12/21/2023	UPDATE SURVEY
01/09/2024	REVISED PER CLIENT (LABELLED LEASE AREA)

DATE 03/13/2020
 SCALE 1" = 100'
 FIELD BK. FP 18
 DRAWN BY D.G./C.R.
 CHECKED BY E.A.L.

PORTABLE ASPHALT PLANT
 ST. LUCIE COUNTY, FLORIDA

TOPOGRAPHIC SURVEY
 ETM SOLUTIONS, LLC.

SHEET NO. 2
 OF 4 SHEETS
 PROJECT NO. 20-18



B Betsy Lindsay
 A DIVISION OF HALEY WARD, INC.
 7997 SW JACK JAMES DRIVE STUART, FLORIDA 34997
 (772)286-5763 (772)286-5933 FAX
 LICENSED BUSINESS NO. 6852

DATE	REVISIONS
09/29/2020	ADD S.F. & DIMENSIONS TO EX. & PROP. FEATURES
10/13/2020	ADD PROPOSED DUMSTER & TRAFFIC FLOW DIAGRAM
10/15/2020	ADD TABLE FOR EXISTING & PROPOSED FEATURES
12/21/2023	UPDATE SURVEY
01/09/2024	REVISED PER CLIENT (LABELLED LEASE AREA)

DATE 03/13/2020
 SCALE 1" = 40'
 FIELD BK. FP 18
 DRAWN BY D.G./C.R.
 CHECKED BY E.A.L.

PORTABLE ASPHALT PLANT
 ST. LUCIE COUNTY, FLORIDA

TOPOGRAPHIC SURVEY
 ETM SOLUTIONS, LLC.

SHEET NO. 3
 OF 4 SHEETS
 PROJECT NO. 20-18

P:\E\2012097-ETM Solutions\001-SelvitZ Asphalt Plant\20-18-SelvitZ Asphalt\dwg\20-18-SelvitZ Asphalt\SITEPLAN 12-20-23.dwg, SHEET (3), 1/9/2024 11:43:11 AM

ENVIRONMENTAL IMPACT STATEMENT

4060 SELVITZ ROAD FT. PIERCE, FLORIDA 34981 Asphalt Plant

During the course of its operation, the asphalt plant has been in compliance with all applicable environmental regulations. The asphalt plant will acquire, maintain and renew, as necessary, all environmental permits in compliance with all applicable regulations. The asphalt plant is located within the industrial zone of the City of Fort Pierce. The surrounding properties around the asphalt plant are all industrial, including a precast concrete production yard, concrete redi-mix plant, and other manufacturing and commercial material suppliers.

LIGHTING

The plant maintains lighting to be utilized for security and during plant production at night. Lighting is limited to active operations, has been designed by a licensed engineer and with no adverse impact to the surrounding area.

DUST

The asphalt plant does not produce dust. The plant is equipped with a “bag house” that collects the dust created by asphalt mixing operations. This filtration system is regularly maintained and inspected annually. Dust may be generated by trucks during ingress and egress to and from the asphalt plant property when delivering raw materials or taking the asphalt produced. Should dust be generated by this traffic, the operator will utilize the on-site water truck to mitigate as necessary.

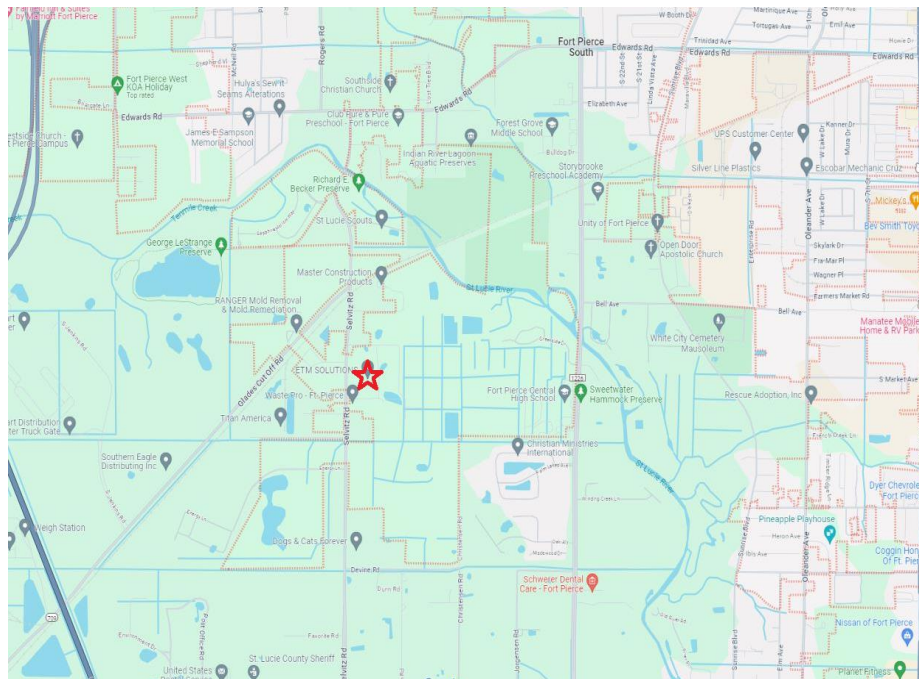
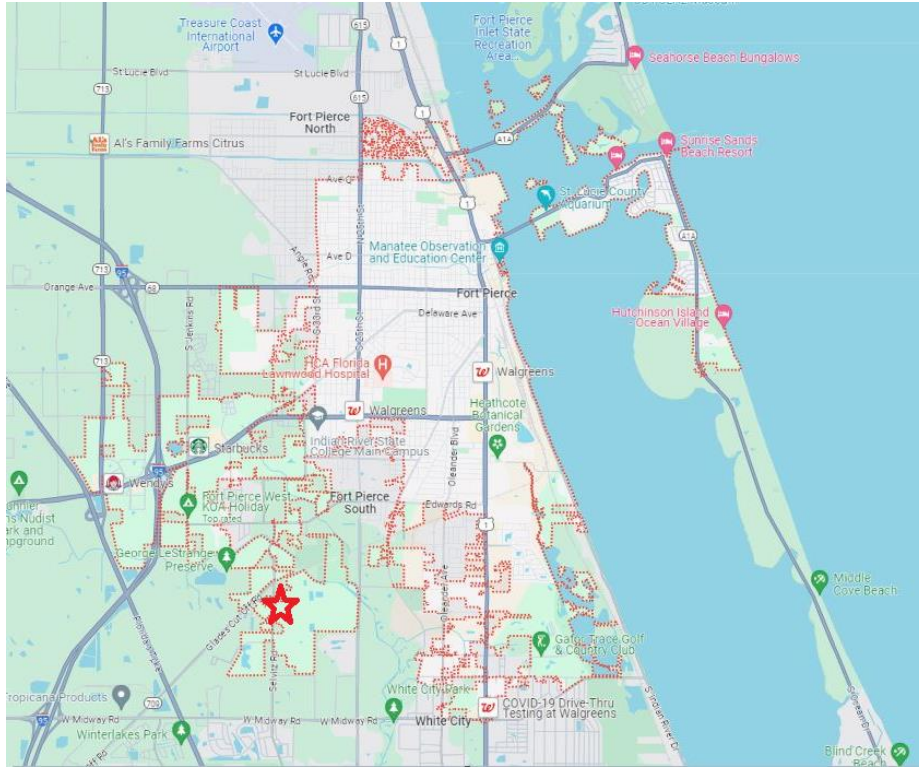
NOISE

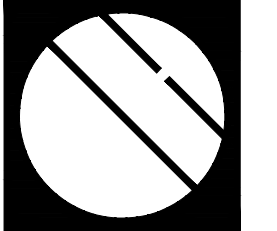
The plant uses electricity to operate (not by generator). The plant does not generate loud or excessive noise. Trucks and equipment in the yard are properly muffled. The noise generated by the asphalt plant is appropriate for the industrial zone area and within safe parameters for employees.



GENERAL LOCATION MAP

4060 SELVITZ ROAD
FT. PIERCE, FLORIDA 34981
Asphalt Plant

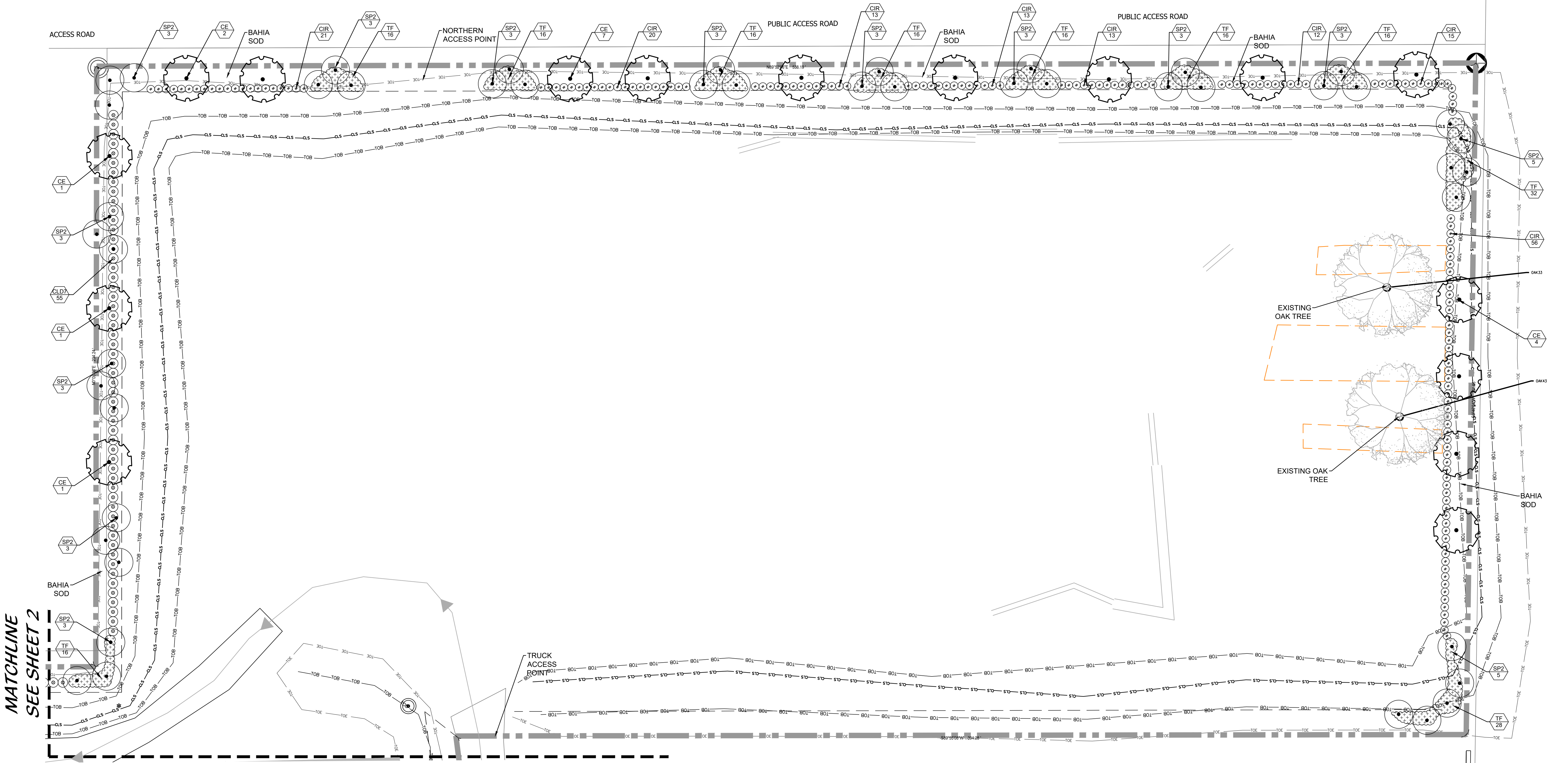




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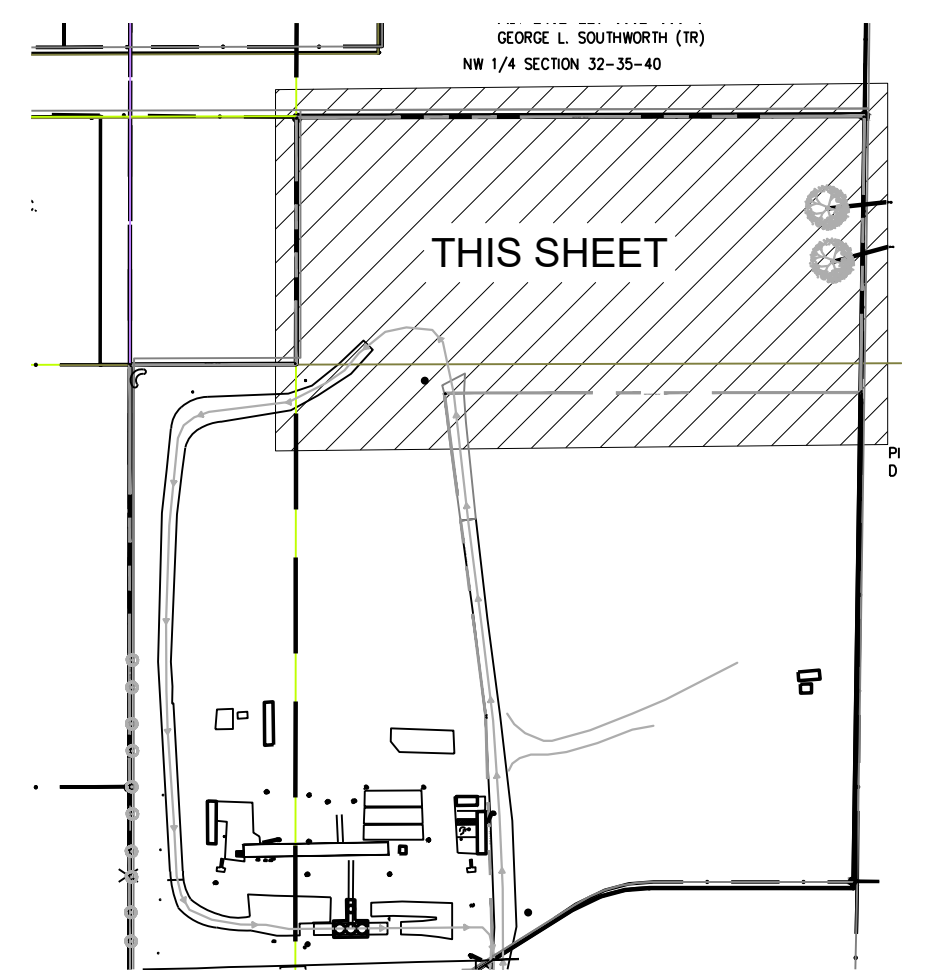
4060 SELVITZ ROAD City of Fort Pierce St Lucie County, Florida



MATCHLINE
SEE SHEET 2

MATCHLINE SEE SHEET 2

KEY MAP

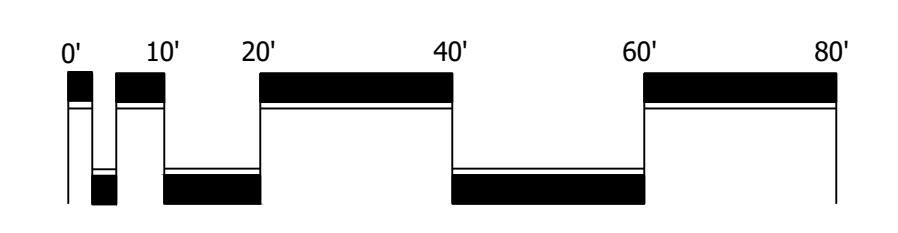


SITE RETENTION/ DRAINAGE AREA

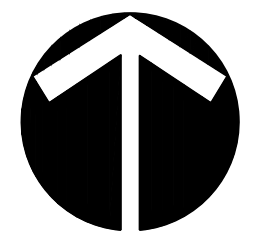
DI

48 HOURS BEFORE DIGGING
CALL TOLL FREE
811
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

Landscape Plan



Scale: 1" = 20'-0"



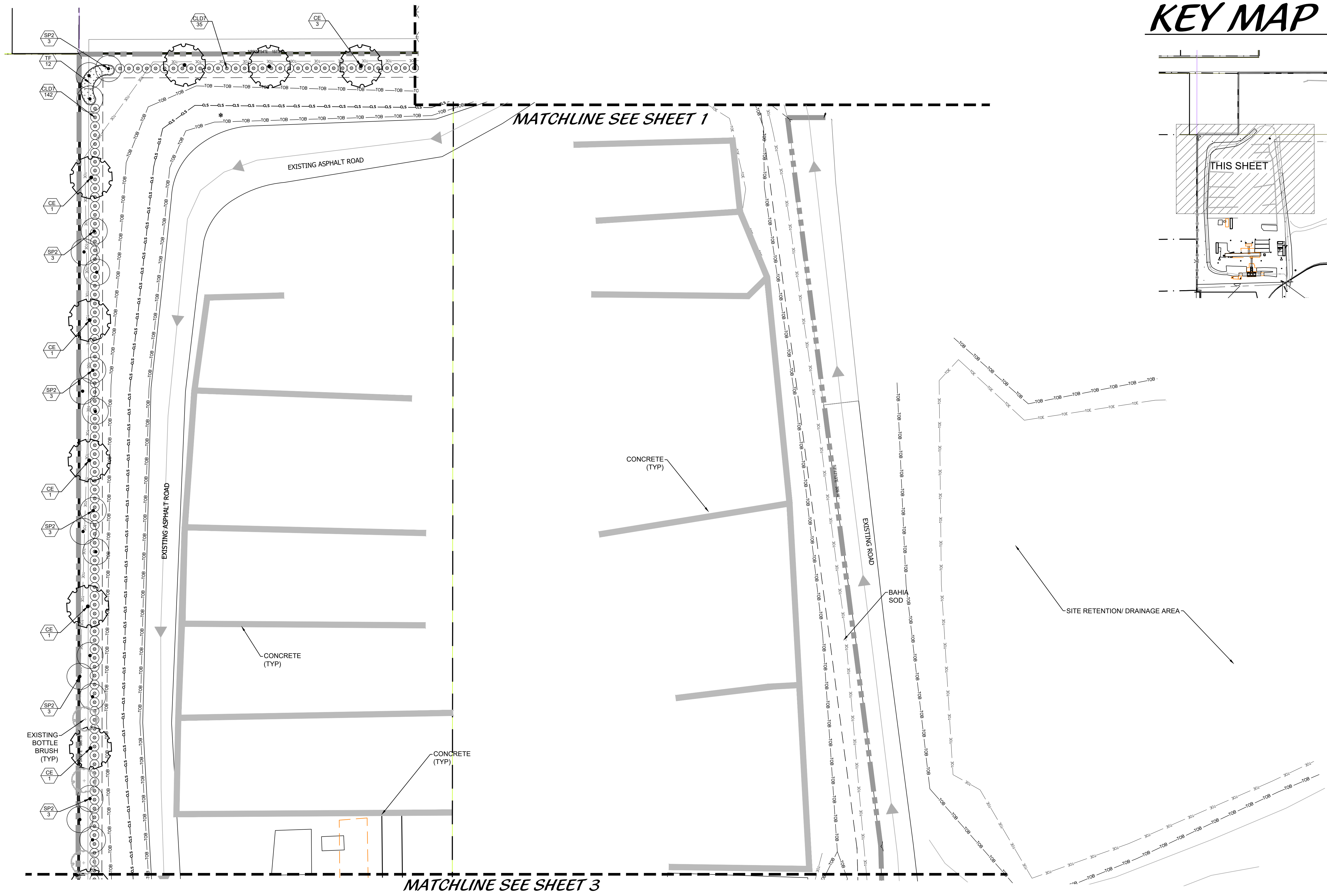
North

DESIGNED	AGB
DRAWN	AGB
APPROVED	RC
JOB NUMBER	20-0521
DATE	06/19/20
REVISIONS	02-27-24

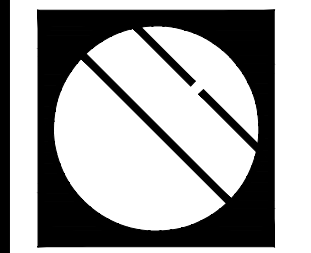
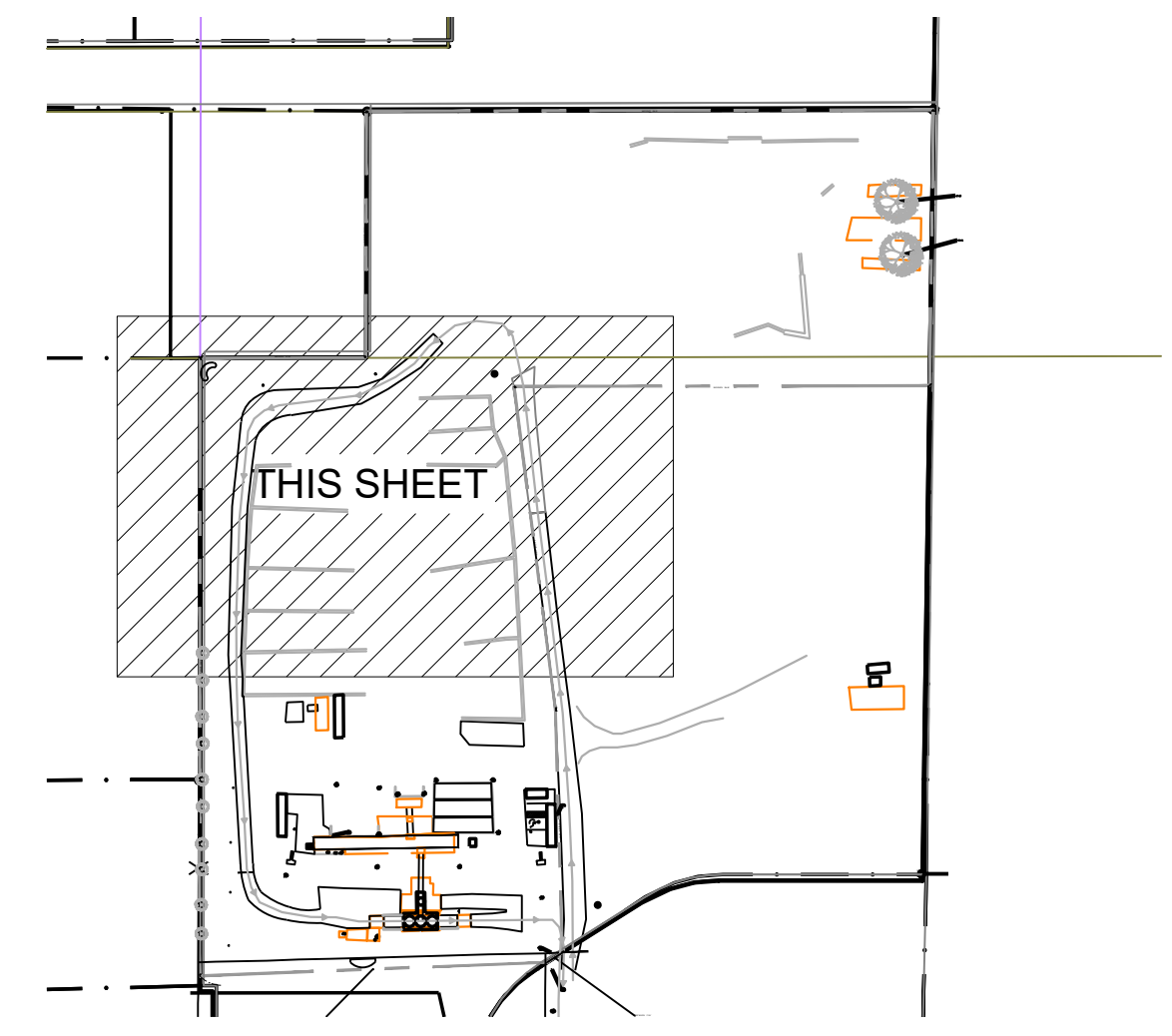
February 27, 2024 3:59:57 p.m.
Drawing: 20-0521-LP.DWG

SHEET 1 OF 4

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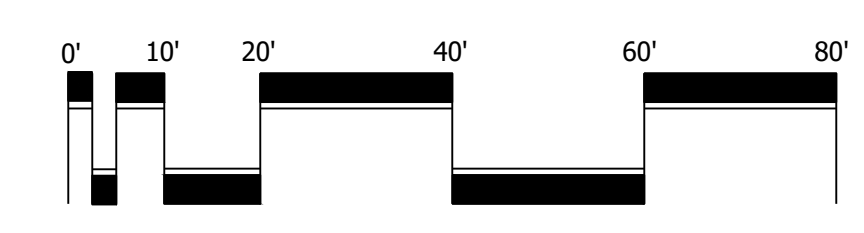
KEY MAP



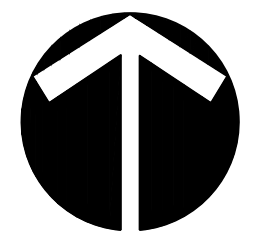
Cotleur & Hearing
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 Jupiter, Florida 33458
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 www.cotleurhearing.com
 Lic# LC-26000535

4060 SELVITZ ROAD
 City of Fort Pierce
 St Lucie County, Florida

Landscape Plan



Scale: 1" = 20'-0"



North

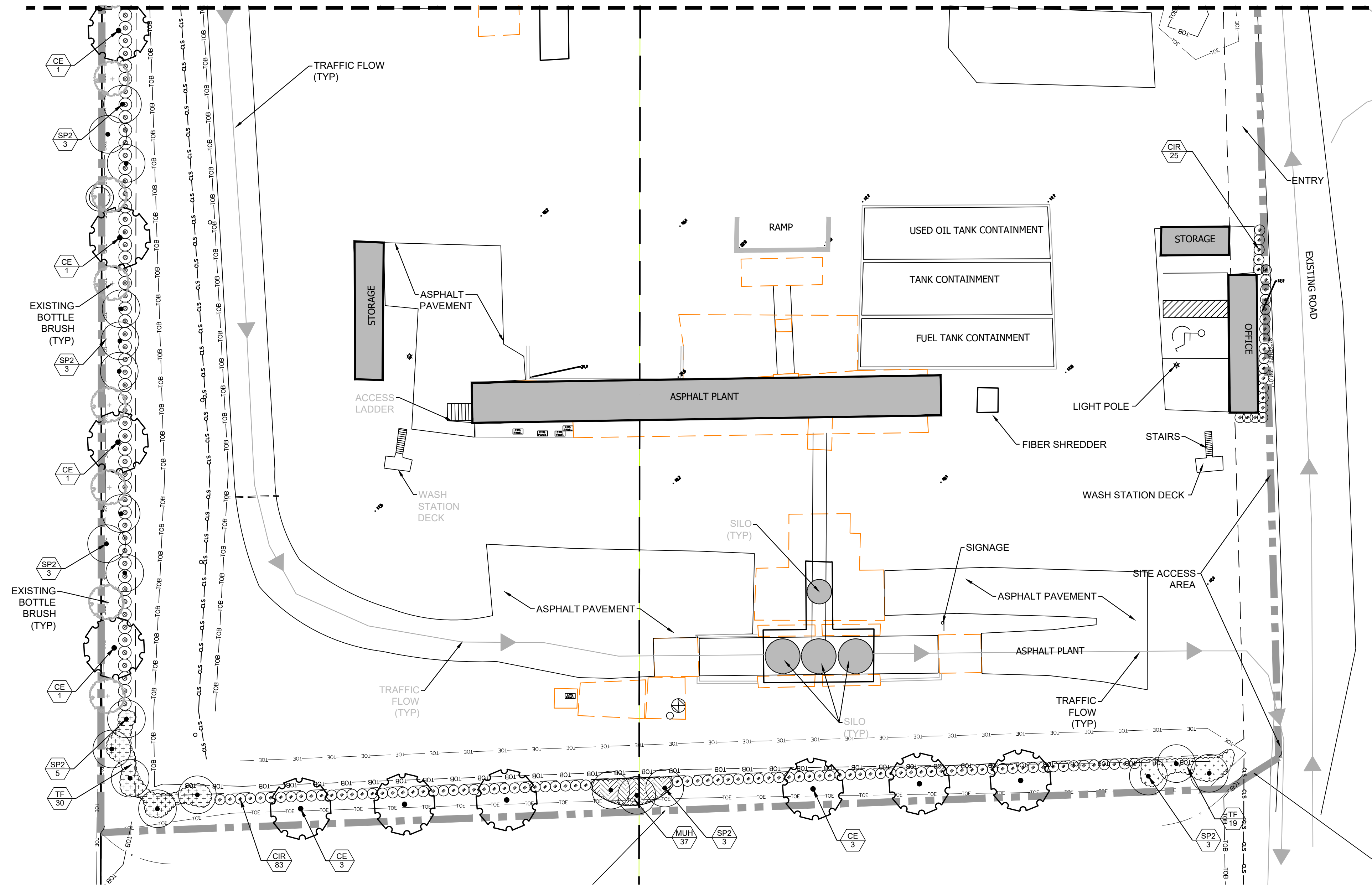
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DRAWN	AGB
APPROVED	RC
JOB NUMBER	20-0521
DATE	06/19/20
REVISIONS	02-27-24

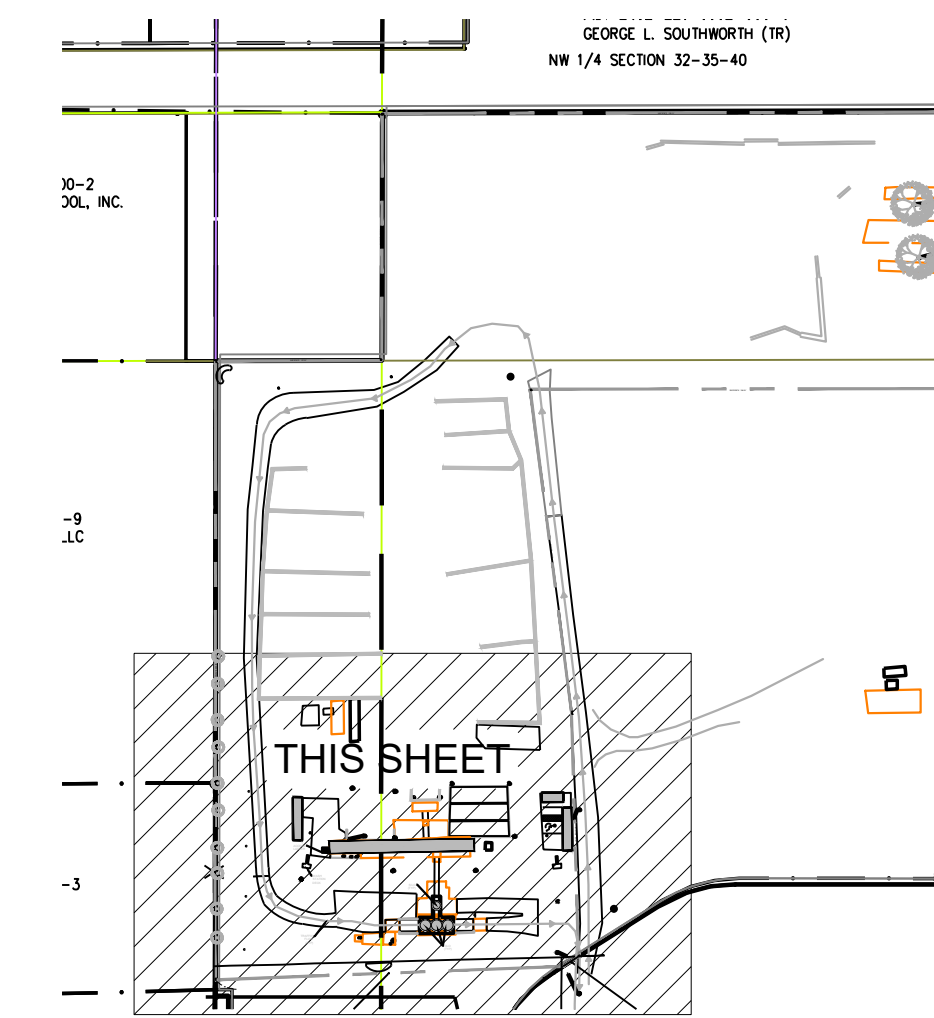
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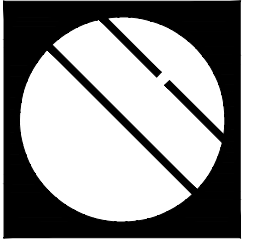
MATCHLINE SEE SHEET 2



Key Map



4060 SELVITZ ROAD
 City of Fort Pierce
 St Lucie County, Florida



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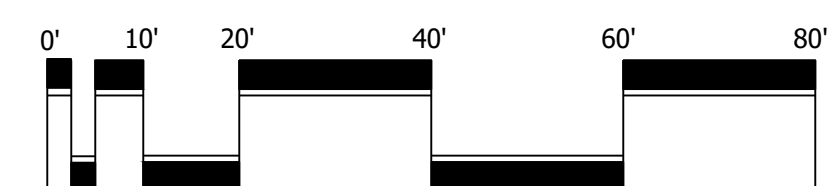
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SHEET 3 OF 4

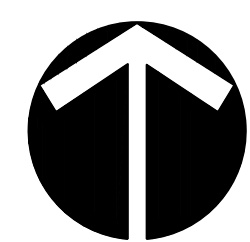
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 OF FLORIDA, INC.

Landscape Plan



Scale: 1" = 20'-0"



North

LANDSCAPE NOTES

ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY FLORIDA GRADES AND STANDARDS LATEST EDITION.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF FORT PIERCE LAND DEVELOPMENT REGULATIONS. THE CITY OF FORT PIERCE LANDSCAPE REQUIREMENTS (LDRs) SHALL GOVERN IN THE EVENT OF A CONFLICT.

VEGETATION REMOVAL PERMITS ARE REQUIRED PRIOR TO REMOVING, CLEARING OR STRIPPING ANY VEGETATION FROM THE PROPERTY.

AT THE TIME OF BUILDING PERMIT, THE APPLICANT SHALL EXECUTE HOLD HARMLESS AGREEMENTS WITH ALL APPLICABLE UTILITIES FOR LANDSCAPING WITHIN UTILITY EASEMENTS.

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS AND/OR CHANGES WITHOUT THE AUTHORIZATION OF THE CITY OF FORT PIERCE, THE OWNER AND THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE AND UTILITY PLANS PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

THE CONTRACTOR SHALL COORDINATE THE PLANTING AND TRIMMING OF STREET TREES TO ENSURE FULL VISIBILITY TO TRAFFIC CONTROL AND SAFETY SIGNAGE.

TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SIGNAGE AND SITE LIGHTING. LARGER TREES WILL BE PROVIDED AT INTERSECTIONS WHERE DEEMED NECESSARY.

ALL VEGETATION SHALL BE SELECTED AND POSITIONED SO THAT IT DOES NOT PRESENT OBSTRUCTIONS TO THE LINE OF SIGHT AT INTERSECTIONS

ALL ABOVE GROUND UTILITIES I.E. TRANSFORMERS, SWITCH BOXES, AC CONDENSERS AND ALIKE SHALL BE FULLY SCREENED FROM VIEW ON THREE SIDES WITH LANDSCAPING. THE LANDSCAPING SHALL TO THE FALLEST POINT OF SAID EQUIPMENT AT TIME OF PLANTING.

ALL TREES SHALL BE LOCATED WITHIN A MULCH PLANTING BED WITH A MINIMUM OF TWO (2) FEET OF CLEARANCE TO THE EDGE OF THE BED.

ALL SOD SHALL BE BAHIA SOD.

TREES WITHIN PLANTING ISLANDS LESS THAN FIVE (5) FEET IN WIDTH SHALL BE LOCATED TO AVOID CONFLICTS WITH THE OVERHANG OF VEHICLES.

TREES AT ENTRANCE WAYS AND WITHIN SIGHT TRIANGLES SHALL BE TRIMMED IN SUCH A FASHION TO MINIMIZE SITE VISIBILITY CONFLICTS. CLEAR VISIBILITY SHALL BE MAINTAINED BETWEEN 30 INCHES AND 7 FEET TEN FOOT BY THIRTY FOOT SIGHT VISIBILITY TRIANGLES SHALL BE PROVIDED AT THE INTERSECTIONS WITH THE PUBLIC RIGHT OF WAY. IN ADDITION ALL LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF FOOT INDEX 546.

EARTH BERMS SHALL NOT EXCEED A 3:1 SLOPE 4:1 SLOPES OR GREATER ARE PREFERABLE.

ALL TREES PLANTED UNDER OR ADJACENT TO FPL POWER LINES WILL COMPLY WITH THE FPL RIGHT TREE IN THE RIGHT PLACE GUIDELINES (REV. 3/05)

PERIMETER TREES AT THE TIME OF PLANTING SHALL BE SPACED IN A WAY THAT COMPLEMENTS THE SPACING OF ANY EXISTING TREES ON ADJACENT DEVELOPED AREAS.

ALL LANDSCAPE ISLANDS AND BEDS SHALL BE FREE FROM SHELL ROCK AND CONSTRUCTION DEBRIS, EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN NATIVE SOILS AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE.

ALL LANDSCAPE ISLANDS SHALL INCORPORATE THE INSTALLATION OF MOUNDING OF NATIVE SOILS A MINIMUM OF SIX INCHES (6") ABOVE THE TOP OF CURB.

15' "BIG BARRIER" ROOT BARRIER SHALL BE PROVIDED FOR SHADE TREES PLANTED WITHIN SIX (6) FEET OF PUBLIC CURBS, SIDEWALKS OR PUBLIC RIGHT OF WAYS. ALL ROOT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. THE TOTAL LENGTH OF THE ROOT BARRIERS SHALL BE 20' ADJACENT TO THE SIDEWALK AND 20' ADJACENT TO THE CURB.

PERMANENT, FULLY AUTOMATIC IRRIGATION IS NOT PROPOSED FOR THIS PROJECT. APPROPRIATE WATERING SHALL BE PROVIDED DURING THE PLANT ESTABLISHMENT PERIOD.

CATCH BASINS AND DRAINAGE SHALL NOT BE LOCATED WITH IN REQUIRED PERIMETER BUFFERS OR PRESERVE AREAS.

SHOULD IT BE REQUIRED, EXISTING TREES AND VEGETATION TO REMAIN SHALL BE STAKED AND BARRICADED PRIOR TO ANY LAND CLEARING. TREES TO BE RELOCATED SHALL BE ROOT PRUNED AND PROTECTED DURING CONSTRUCTION.

ANY AREA DESIGNATED WITH EXISTING VEGETATION TO REMAIN THAT IS DISTURBED DURING CONSTRUCTION WILL BE RESTORED WITH NATIVE PLANTINGS.

EXISTING TREES PRESERVED OR RELOCATED ON SITE SHALL BE PRUNED ACCORDING TO ANSI A300 STANDARDS OR BY AN ISA CERTIFIED ARBORIST.

ALL EXISTING LANDSCAPING AND TREES TO REMAIN SHALL BE BARRICADED WITH ORANGE CONSTRUCTION BARRICADE. THE BARRICADE SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE/PALM OR AT THE EDGE OF THE SHRUB MASS. BARRICADES SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.

EXISTING, SUITABLE NATIVE VEGETATION LOCATED WITHIN THE PROPOSED DEVELOPMENT AREAS SHALL BE RELOCATED TO SUPPLEMENT THE LANDSCAPING. NATIVE VEGETATION SHALL BE RELOCATED BY TREE SPADE OR CRANE. PRIOR TO THE CLEARING OF THE SITE THE APPLICANT SHALL IDENTIFY ALL NATIVE VEGETATION TO BE RELOCATED.

RELOCATION METHODOLOGY: EXISTING NATIVE VEGETATION DETERMINED TO BE SUITABLE FOR RELOCATION SHALL BE RELOCATED TO TARGET AREAS USING HYDROLOGIC TREE SPADES. THE SIZE OF SPADE SHALL VARY FROM 90" TO 45" DEPENDING ON THE SIZE AND TYPE OF VEGETATION TO BE MOVED. THE APPLICANT SHALL IDENTIFY PRIOR TO THE CLEARING OF THE SITE ALL EXISTING NATIVE VEGETATION TO BE RELOCATED. FOLLOWING RELOCATION, VEGETATION SHALL BE WATERED DAILY FOR A PERIOD NOT LESS THAN 90 DAYS AFTER WHICH IT SHALL BE WATERED ON AN AS NEEDED BASIS TO INSURE SURVIVAL. AT A MINIMUM THE APPLICANT SHALL INSURE 60% SURVIVAL FOR ALL RELOCATED PLANT MATERIAL.

PLANT LIST

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	LOW MAINT	REMARKS
TREES									
CE	34	CONOCARPUS ERECTUS	GREEN BUTTWOOD	30 GAL. OR F.G.	2.5" CAL	12' O.A.	Y		FULL CANOPY
SP2	84	SABAL PALMETTO	SABAL PALMETTO	N.A.	N.A.	10', 14', 18' CT STGG	Y	Y	SLICK, STRAIGHT TRUNK.
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	LOW MAINT	REMARKS
SHRUBS									
CIR	271	CHRYSOBALANUS ICACO `RED TIP`	RED TIP COCOPLUM	3 GAL	2' X 2'	2' O.C.	Y		FULL
CLD7	232	CLUSIA GUTTIFERA	CLUSIA	7 GAL	3'-4' HT X 3' SPRD	36" O.C.	N		FULL TO BASE, FL #1 OR BETTER
GROUND COVERS									
MUH	37	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL	24" X 24"	24" O.C.	Y		FULL & THICK
TF	249	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	3 GAL	24" X 24"	2.5" O.C.	Y		FULL & THICK

LANDSCAPE SPECIFICATIONS

1. GENERAL LANDSCAPE REQUIREMENTS

LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

PLANT SIZE AND QUALITY

TREES, PALMS, SHRUBS, GROUNDCOVERS, PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADING AND STANDARDS FOR NURSERY PLANTS PARTS 1 & 11, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

STANDARD PLANTING MIXTURE SHALL BE ONE (1) PART RECYCLED ORGANIC MATERIAL ADDED TO THREE (3) PARTS EXISTING NATIVE SOIL.

REPLACEMENT SOIL SHALL BE USED AS SPECIFIED TO REPLACE EXISTING SOILS THAT ARE DETERMINED BY THE LANDSCAPE ARCHITECT TO BE UNSUITABLE FOR PLANTING, I.E. ROAD BASE, PAVEMENT, ETC.

REPLACEMENT SOIL MIX SHALL CONTAIN 60% SAND AND 40% MULCH. SAND SHALL BE 100% CLEAN NATIVE SAND SCREENED TO 1/4" AND MULCH SHALL BE 100% CLEAN ORGANIC NATIVE MULCH SCREENED TO 1/2". ALL SOIL SHALL BE MIXED PRIOR TO DELIVERY ON SITE.

MULCH SHALL BE SHREDDED MELALEUCA, EUCALYPTUS OR GRADE "A" RECYCLED. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3", EXCEPT AS OTHERWISE NOTED.

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF MILORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAG, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 7% PHOSPHORUS, 12% POTASSIUM, PLUS IRON, ZINC, MANGANESE, BORON AND COBALT. IN 21 GRAM SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHORUS AND 5% POTASSIUM.

FERTILIZER WILL BE APPLIED AT THE FOLLOWING RATES:

PLANT SIZE	16-7-12	AGRIFORM TABLETS (21 GRAM)
1 GAL.	1 1/4 LB.	1
3 GAL.	4 LB.	3
7-15 GAL	1 1/2 LB.	6
1'-6" CALIPER	2 LBS./1" CALIPER	2 PER 1" CALIPER
6" AND LARGER	3 LBS./1" CALIPER	2 PER 1" CALIPER

FLORIDA EAST COAST PALM SPECIAL SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORSEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED OR DECLINED TO THE POINT WHERE THEY NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE. IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED OR DECLINED TO THE POINT WHERE THEY NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR WITHIN 14 DAYS.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

2. PLANTING TREES

EXCAVATE PIT AS PER PLANTING DETAILS.

BACKFILL AROUND BALL WITH STANDARD PLANTING MIXTURE AND SLIGHTLY COMPACT, WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF STANDARD PLANTING MIXTURE BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH EXCEPT WITHIN 6" OF TRUNK.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEAFER.

GUY AND STAKE TREE IN ACCORDANCE WITH THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

3. PLANTING SHRUBS

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS FOR POSITIONING AT PROPER HEIGHT. BACKFILL AROUND PLANTS WITH STANDARD PLANTING MIXTURE. COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH EXCEPT WITHIN 3" OF STEMS.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

4. PLANTING GROUND COVER

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

5. PLANTING LAWNS

SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED STANDARD PLANTING MIX TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS, DO NOT OVERLAP, STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED STANDARD PLANTING MIXTURE INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SOLOED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

6. MISCELLANEOUS LANDSCAPE WORK

LANDSCAPE MAINTENANCE

MAINTAIN LANDSCAPE WORK UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL.

PLANT MATERIAL SUBSTITUTION

NO SUBSTITUTION OF PLANT MATERIAL, TYPE OR SIZES WILL BE PERMITTED WITHOUT AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.

PLANTING BED PREPARATION

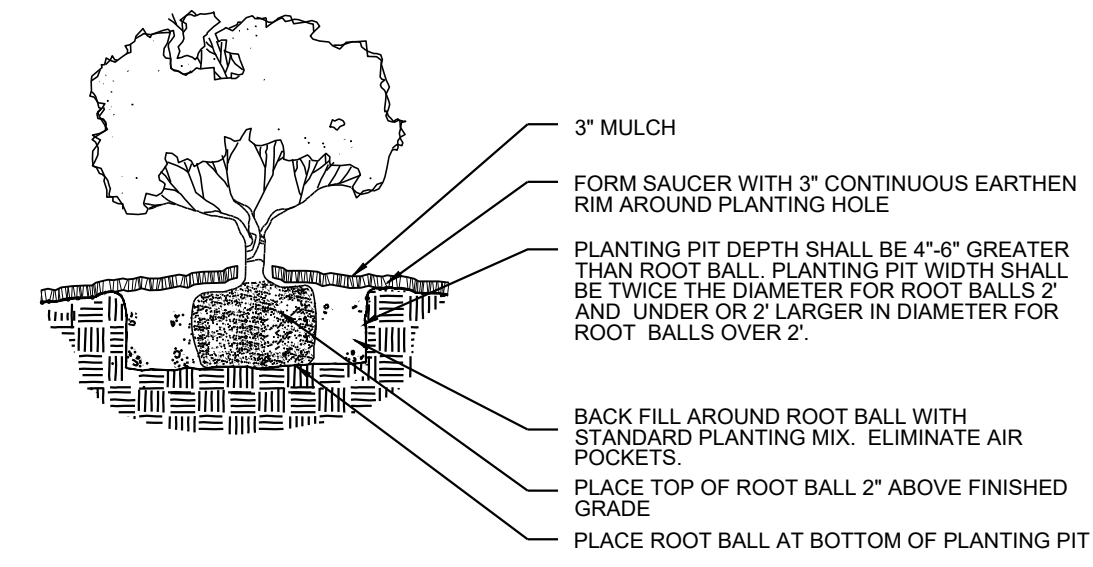
ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (Panicum repens) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN, NATIVE SOIL AND FILLED WITH THE SPECIFIED REPLACEMENT SOIL.

LANDSCAPE WARRANTY

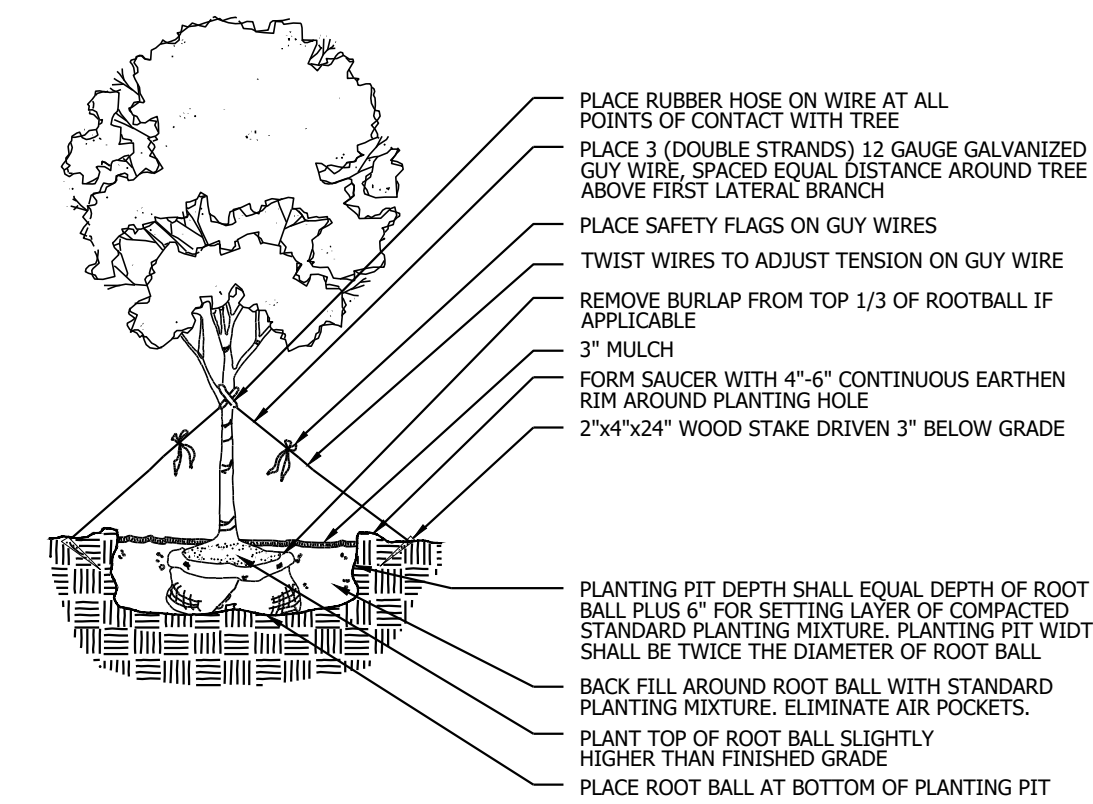
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE. IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED OR DECLINED TO THE POINT WHERE THEY NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

PLANTING DETAILS



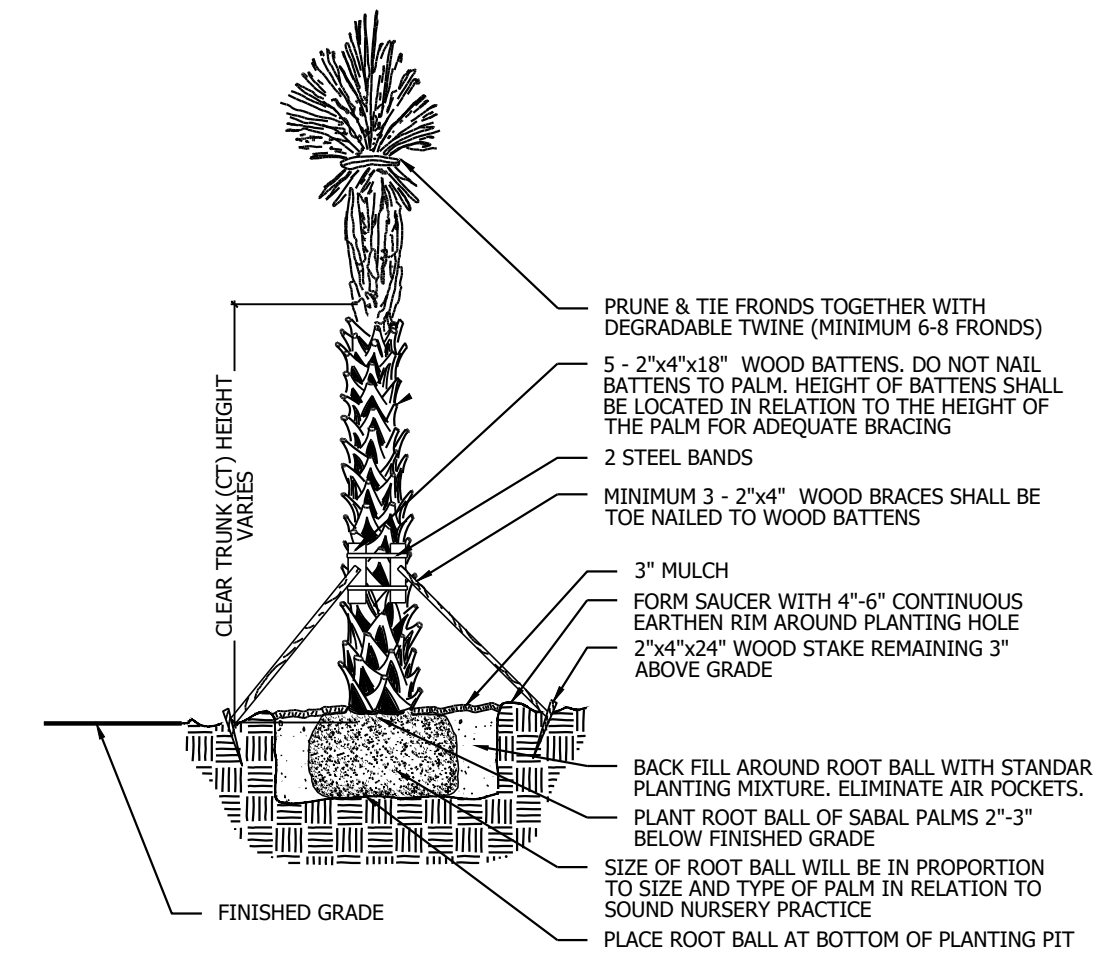
SHRUB/GROUNDCOVER PLANTING DETAIL

NTS



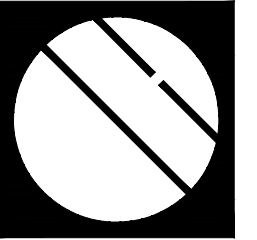
LARGE TREE PLANTING DETAIL

NTS



PALM PLANTING DETAIL

NTS



Cotleur & Hearing

Landscape Architects
Land Planners
Environmental Consultants

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561.747.6336 · Fax 747.1377

www.cotleurhearing.com

Lic# LC-C000239

4060 SELVITZ ROAD
City of Fort Pierce
St Lucie County, Florida

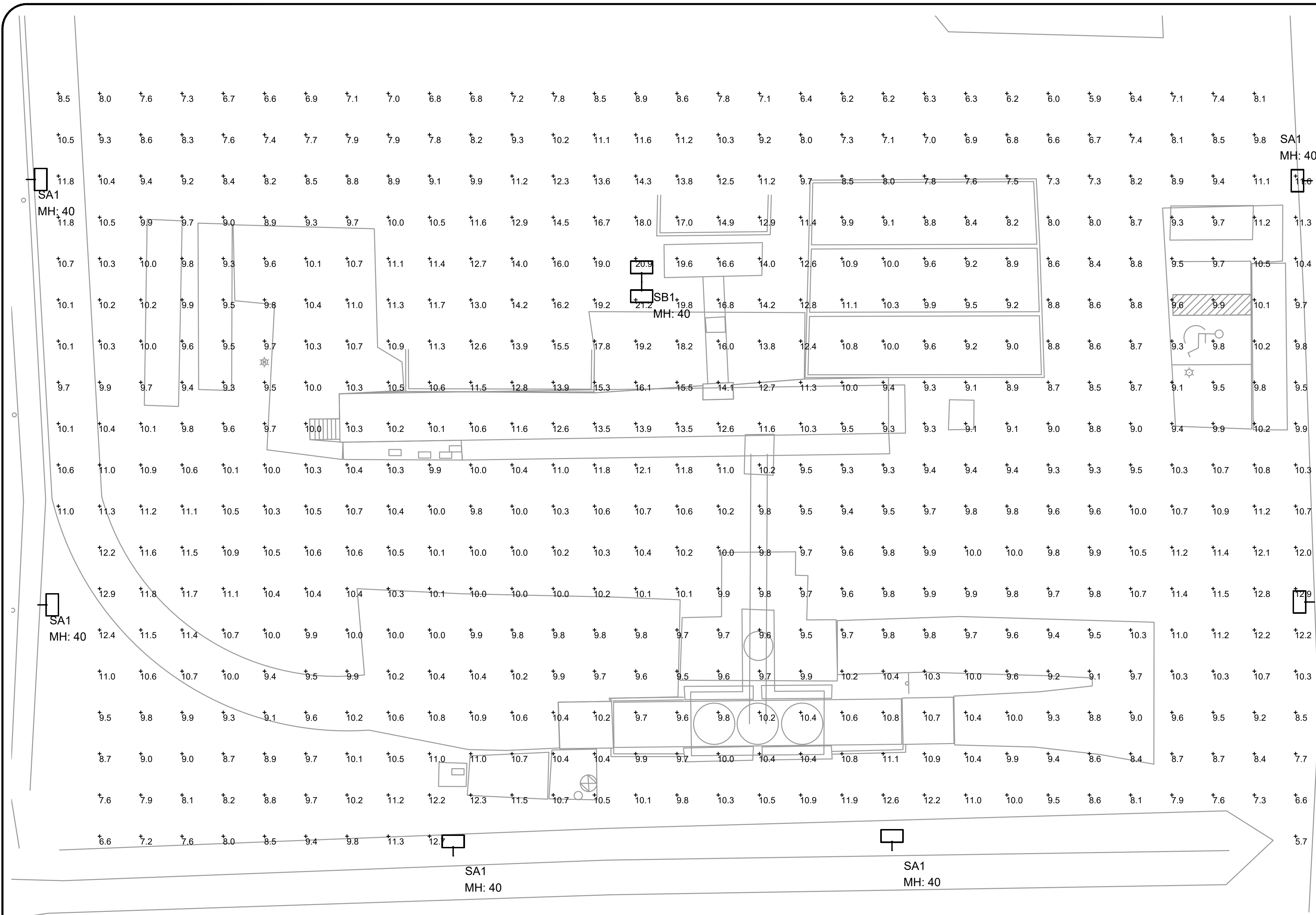
DESIGNED _____ AGB
DRAWN _____ AGB
APPROVED _____ AGB
JOB NUMBER _____ 20-0521
DATE _____ 06-19-20
REVISIONS _____ 02-27-24

February 27, 2024 3:59:57 p.m.
Drawing: 20-0521-LP.DWG

SHEET 4 OF 4

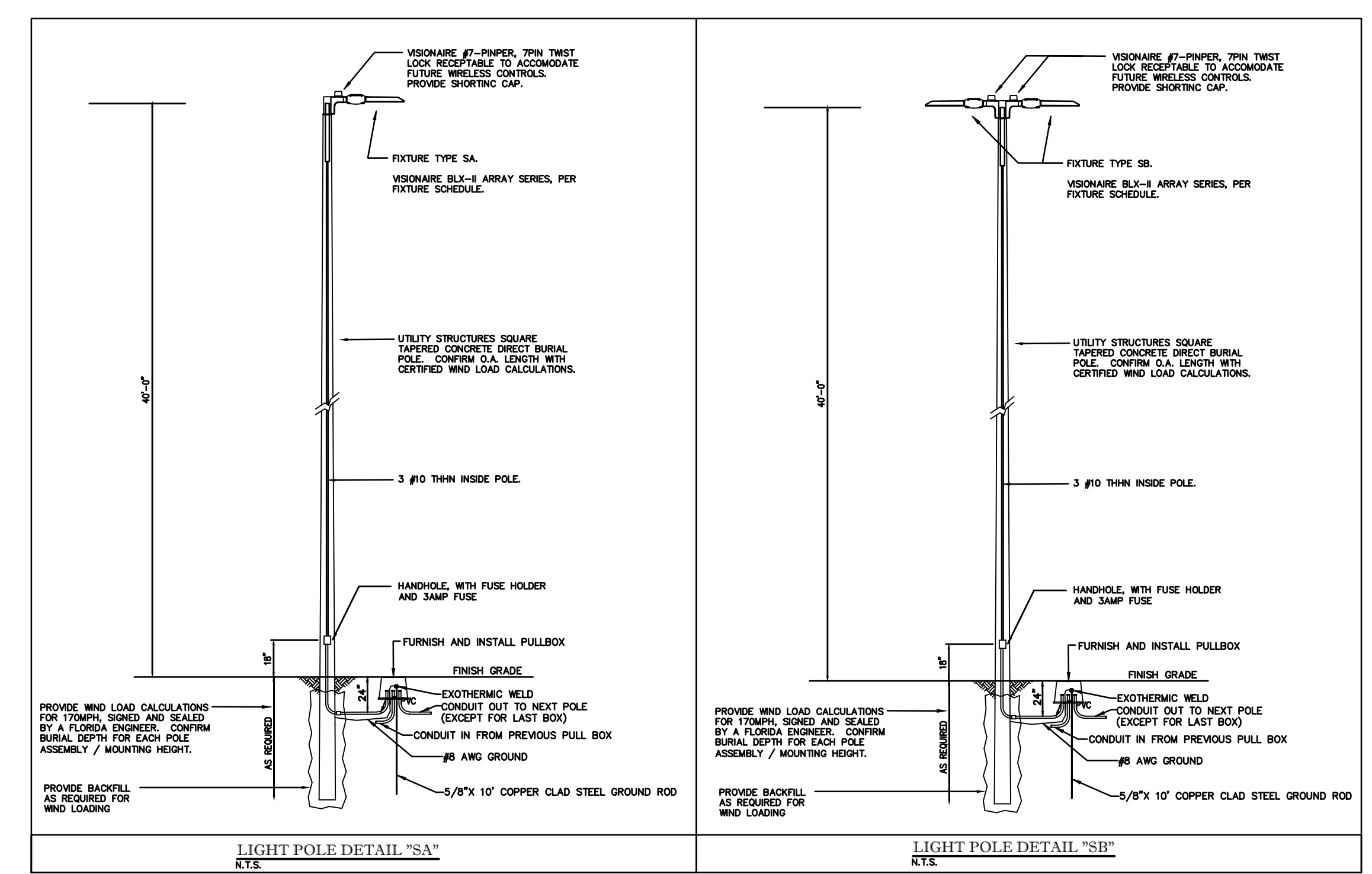
© COTLEUR & HEARING, INC.
These drawings are the property of the architect and are not to be used for extensions or on other projects except as agreed in writing with the architect. Immediately report any discrepancies to the architect.

Landscape Details



SITE PHOTOMETRIC PLAN

1/16" = 1'-0" NORTH



Luminaire Schedule						
Project: ETM ASPHALT PLANT FT PIERCE REV2 02-28-2024						
Symbol	Label	Description	Lumens/Lamp	LLF	Lum. Watts	Total Watts
	SA1	BLX-II-8-T4L-145L-4K-VOLT-AM-7PINPER-DIM POLE MOUNT 40' AFG	N.A.	0.900	1102	6612
	SB1	BLX-II-8-T4L-145L-4K-VOLT-AM-7PINPER-DIM POLE MOUNT 40' AFG	N.A.	0.900	1102	2204

Calculation Summary										
Project: ETM ASPHALT PLANT FT PIERCE REV2 02-28-2024										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min			
PHASE ONE OFFICE AREA SITE_	Illuminance	Fc	10.20	21.2	5.7	1.79	3.72			
Planar										

PERMIT ISSUED _____
CONSTRUCTION ISSUED _____

date	
revision	

1408 Orange Avenue
 Fort Pierce, FL 34949
 Phone: 772.551.1744 / 888.448.0792
 Email: info@kammconsulting.com
 www.kammconsulting.com
 Florida License #EE32
 06/28/2020
 date _____
 signed _____

KAMM
Consulting

PRINCIPAL
Brady L. Brown

ETM SOLUTIONS, LLC.
FORT PIERCE, FL

sheet title: **PHOTOMETRIC PLAN**

project no.:	2024-0085
project manager:	JM
checked by:	BB
scale:	AS NOTED
date:	02/29/24

sheet

E1.1

project

TRAFFIC IMPACT STATEMENT

4060 SELVITZ ROAD FT. PIERCE, FLORIDA 34981 Asphalt Plant

The asphalt plant is accessible via the access roadway off of Selvitz Road. Trucks ingress and egress to the asphalt plant through this dead-end roadway. The plant will require truck deliveries of raw materials and will utilize trucks to deliver the completed asphalt product. As shown in the map below, trucks entering the asphalt plant will exit Selvitz Road and follow the paved access road East, then turn left (north) into the plant parcel, once on the property, the trucks will continue north to enter the plant to deliver raw materials (aggregates, asphalt cement) or to deliver reclaimed asphalt to the stockpile or to completed the circle back to the plant to be loaded and scaled with new asphalt products. All access roads are suitable for 2-way traffic. As asphalt is being loaded into trucks for delivery, in most cases, the trucks are lined up within the property along the west side of the property as the access road circles back from the entrance. This access road has ample capacity for trucks waiting to be loaded with no trucks waiting outside of the plant property. All trucks entering the plant are properly registered and insured.

Based upon the design, alignment of the plant access roads and the plant facility placement on the property, there is no anticipated impact to traffic on the surrounding public roadways as a result of the asphalt plant operations. It should be noted that in a continuous asphalt production operation, when the maximum number of trucks are being utilized, the truck spacing is staggered. Not all trucks can leave the plant at one time, only one truck can be loaded at one time, so the loading and scaling operation creates the spacing between trucks and this process eliminates traffic congestion on the entrance or exiting public roadways.



CHK

CITY OF FORT PIERCE
*** CUSTOMER RECEIPT ***

Batch ID: DANA 3/26/24 01 Receipt no: 15053

Year	Number	Type	Svecd	Description	Amount
2024	7000003	PL		PLANNING DEPARTMENT	\$37215.00

4060 SELVITZ RD
CK FR/CENTRAL CIVIL CONST FOR
ADVERTISING FEES & MISC

Tender detail

CH Ref#:	13496E	\$37215.00
Total tendered:		\$37215.00
Total payments:		\$37215.00

Trans date: 3/26/24 Time: 15:55:19

THANK YOU!

083537



CONSULTING ENGINEERS | LAND SURVEYORS

File Number 23-176

May 15, 2024

Ms. Kerry Driver, Planner
City of Fort Pierce Planning Department
100 North U.S. 1
Fort Pierce, FL 34950

Subject: **4060 Selvitz Road Site Plan**
City of Fort Pierce Project No.: 24-07000003
TRC Meeting Response Resubmittal

Dear Kerry:

Below please find an item by item response to the outstanding review comments associated with the City's most recent examination of the Minor Site Plan referred to as **4060 Selvitz Road Site Plan**. If as you go through these comments, you have any questions about our responses, please do not hesitate to contact me.

CITY OF FORT PIERCE PLANNING DEPARTMENT:

1. Clarify the hours of operations. To include weekends, if applicable.

Hours of operation will vary, depending on project service needs. Normal business hours are from 6:00 am to 6:00 pm, however, if a particular project requires nighttime paving operations (typically in support of public improvement projects), there will be some instances where afterhours operations will be required. The project site and activities will be compliant with City of Ft. Pierce noise regulations standards.

2. Provide examples of noise decimals.

Modeling and studies at similar locations indicate that we can expect sound levels in the area of 88db at the operating equipment. As you move away from the equipment, the impact levels will drop. We do not anticipate there to be any negative impacts from this site's operation on any residential uses in the area, the closest of which is approximately ½ mile away.

3. A detail traffic analysis to include Truck routes, Peak traffic hours, Estimated truck and vehicle traffic during business hours.

A traffic summary statement has been provided, and is attached to this resubmission packet.

4. Update site plan to correct zoning and FLU. (see Planner if assistance is needed).

Refer to the general site data and site plan graphics. Area zoning and land use designations have been reviewed and updated as necessary.

A LEGACY OF EXPERTISE AND EXCELLENCE

2980 SOUTH 25TH STREET | FT. PIERCE FL 34981 | (772)464-3537 | FAX (772) 464-9497

5. Access needs to be identified on site plan.

Refer to the project site plan. On sheet 8 the-site’s circulation patterns have been depicted.

6. Clarify/highlight berm information on site plan.

Refer to the project site plan, we have added callouts for the TOB or Top of Bank on sheet 4, 6, and 7. Typical section illustrations of the site’s perimeter berms have been added as requested.

Fort Pierce Engineering Department

1. The site plan does not meet the requirements of City Code Section 125-313(a)(3)c, specifically:

a. Plan does not show ingress/egress to roadways (public or private).

Ingress/egress indications have been clarified on the project site plan. Primary site access is being redirected to the north side of the property. Easement access documents are included as part of this resubmission demonstrating our ability to make use of this pathway.

b. Location and dimensions of all existing and proposed parking spaces and loading areas.

There are no new parking spaces proposed for this development site. The existing uses/structures on this site are all mechanical in nature and not subject to the City Parking Codes. However, there will be operators at this site, and to account for their parking needs we have indicated several parking spaces in the area of east of the machines totaling two, one handicap and one regular. All parking dimensions are compliant with City standards.

c. Location and size of pond or swales.

We have added detailed dimensions and cross sections of all the swales and ponds to be constructed or maintained on this site.

d. Existing and proposed setbacks to structures, parking lot, and other features.

Setback information has been added to the project site plan. There are no permanent structures on this site. All of the mechanical equipment used in the asphalt manufacturing process is considered to be portable, and can be removed or relocated as necessary.

e. Location of any dumpsters.

Currently, there are no dumpsters on the site. Commercial waste generation will be addressed through small can pickups or by removal by on-site staff.

f. Location and elevations of all existing and proposed drainage facilities within the site plan area and adjacent vicinity for 100 feet in all directions.

See Survey for all existing drainage facilities and the site plan for all the proposed facilities within the site plan area. The site plan shows all proposed facilities. All proposed drainage facilities are shown on the site plan.

g. Length, width, depth and direction of flow for all ditches.

The swale dimensions and cross sections have been added to the project site plan sheets 4-7.



h. Label contour lines.

Proposed and existing contour lines have been labeled on sheets 4-7.

i. Clearly provide project boundary lines and dimensions.

The project and property boundary lines have been labeled and dimensioned

j. Identify proposed asphalt areas.

See sheet 3 of the attached site plan packet. The proposed ingress/egress driveway have been added to the north of the property. There are no other areas of proposed asphalt construction.

2. Add a note to the plan that “All construction shall be in compliance with City of Fort Pierce Code of Ordinances Sections 119 and 125.

The requested note has been added to the general notes on Sheet 1 (the Cover Sheet) of the project site plan.

3. In accordance with Section 125-314 survey (and site plans) shall be at a minimum scale of one-inch equals 30 feet.

The project site plan has been updated so that Sheets 4-7 all have a scale of 1”=30’. Sheet 2, 3, 8 of the project site plan packet serves as an overall context development plan for the property and is scaled at 1”=60’. Site surveys are being updated (by others) to reflect the requested scales, and will be submitted at a later time.

4. The applicant shall coordinate with St. Lucie County for any impacts to Selvitz Road.

Comment acknowledged. Coordination with St. Lucie County is currently ongoing; however, we do not require any additional permit approvals from the County as we are making uses of existing driveway comments onto Selvitz Road. We are aware of the County’s concerns about dragging of material onto the roadway at our access points and we will endeavor to make sure that we do not contribute further to the ongoing dirt tracking at these locations. .

Advisory Comments:

1. The drainage was not reviewed. A full review will be completed at the time of the DPCR application.

Comment acknowledged. The owners/operators of this facility have been advised of the need for DPCR review of this site, following site plan approval.

2. The project shall have all Local, State, and Federal permits as required in place prior to conducting any land clearing operations.

Comment acknowledged. We probably need to review this matter a little more with you, as there are certain state regulations in place addressing when a local government may require outside agency permits as a pre-condition to the issuance of a local permit. In addition, use of the word ‘all’ creates some interpretive issues that may need further legal clarification. We will be happy to review this matter further at your convenience.



Fort Pierce Building Department:

Please be advised that the project may trigger the requirements indicated below:

- 1. Building Official or his representative has no comment at the time of this meeting, but reserves the submission of comments upon completion of the official plan review.**

Comments acknowledged.

- 2. All new construction or alterations shall meet the requirements of the Florida Building Code 8th Edition.**

Comments acknowledged.

- 3. Building Permit required**

Based on what is depicted on the project site plan, what particular activities require issuance of a building permit? All asphalt production equipment is considered to be portable, and while anchored to the ground, these are not considered to be permanent structures.

- 4. Signed and sealed construction drawings required.**

Comment acknowledged, but again, what drawings are we expected to provide?

- 5. Shall meet the Fire Prevention Code:**

- a. Sprinkler system is required**
- b. Smoke alarm system is required**

All applicable fire protection codes and standards shall be complied with by the ownership/operating entity.

Fort Pierce Police Department:

- 1. No comments at this time.**

Comments acknowledged.

St. Lucie County Planning Department:

- 1. Further dialogue is requested regarding any applicable Impact Fee assessment warranted during the site plan/permitting process.**

Comments acknowledged. We will review this matter directly with the County.

St. Lucie County PW/Engineering:

Corrections:



1. Provide an updated traffic statement with a trip count.

A traffic summary statement has been provided, and is attached to this resubmission packet.

2. The driveway requires some repairs and removal of dirt tracking from the Right-of-Way.

Comments acknowledged. Primary site access is being redirected to the north side of the property. Easement access documents are included as part of this resubmission demonstrating our ability to make use of this pathway. Coordination with St. Lucie County will continue as we complete final site permitting activities, but we do not see where we presently will be required to obtain new access permit approvals as we are making uses of the existing driveway connections onto Selvitz Road. We acknowledge the County's concerns about dragging of material onto the roadway at our access points and we will endeavor to make sure that we do not contribute further to any ongoing dirt tracking issues at this location.

3. Conditions:

- a. **A Site Development Permit may be required if improvements within the Selvitz Road Right-of-Way are proposed.**

We do not anticipate the need to make any improvements to, or within, Selvitz Road.

City Clerk Office:

- 1. No comments at this time.**

Comments acknowledged.

Code Enforcement:

- 1. No comments at this time.**

Comments acknowledged.

Fort Pierce Utilities Authority:

W/WW Engineering:

FPUA W/WW Engineering has reviewed the application.
Approved

Electric & Gas Engineering:

FPUA Electric Engineering has reviewed the application.
Approved

Please contact Sal Scimeca for electric customer requirements and project coordination.

FPUA Gas Engineering has reviewed the application.
Approved.

Natural gas is available.

FPUA net Fiber:

FPUAnet has reviewed the application.
Approved.

Fiber Internet Service – Is Available.



St. Lucie County Fire District:

Site Plan Requires Re-submittal. The Following Conditions/Revisions Are Necessary:

- 1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <https://www.slcfcd.com>.**

Comments acknowledged. This will be addressed directly with the Fire District.

- 2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.**

Comments acknowledged. This will be addressed directly with the Fire District.

- 3. Please provide an electronic revised copy of the site plan (pdf format).**

Comments acknowledged. This will be addressed directly with the Fire District.

- 4. Please provide written acknowledgement of the conditions/revisions provided**

Comments acknowledged. This will be addressed directly with the Fire District.

Florida Department of Transportation

- 1. No comments at this time.**

Comments acknowledged.

St. Lucie County School Board

- 1. No comments at this time.**

Comments acknowledged.

Thank you for your attention to this submission. Again, if you have any questions or need additional back-up, please let me know. Phone number 772-464-3537 ext. 104, email ecoapman@ct-eng.com.

Sincerely,

CULPEPPER & TERPENING, INC.





THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT
Florida

DEVELOPMENT REVIEW

Property Information

Property address or location: **4060 Selvitz Road, Ft. Pierce, Florida 34981**

Parcel ID #/9: **2432-223-0004-000-6**

Project description: **Asphalt Plant**

Application Type

Site Plan

Conditional Use w/New Construction Conceptual Development Plan

Minor Amendment Major Amendment

Site Information

Non-Residential: Proposed Sq. Ft.: **325,937** Site Acreage: **7.48**

Residential: Proposed Units: _____ Proposed Sq. Ft.: _____ Site Acreage: _____

Wanda Johnson

Property Owner(s)

4060 Selvitz Road

Street Address

Ft Pierce FL 34981

CITY

State ZIP

772-216-5368

Phone Number

sharisjohnson@gmail.com

Email Address

ETM Solutions, LLC, Robert Baer, Manager

Applicant/Representative, Title, Company

4060 Selvitz Road

Street Address

Ft Pierce FL 34981

CITY

State ZIP

305-888-3344

Phone Number

bbaer@centralcivil.com

Email Address

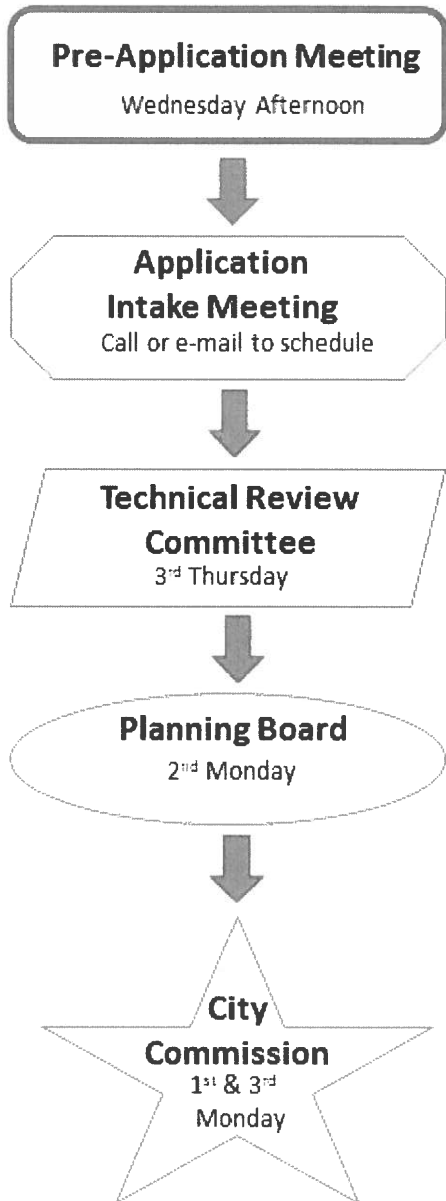
Property Owner(s) Acknowledgments: This application will not be considered complete without the signature of all property owners of record who show an interest in the development of the subject property. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to jurisdiction and the knowledge of the subject property by the Planning staff for purposes of consideration of this application and/or presentation to the Planning Board and City Commission.

Wanda Johnson
Property Owner(s) Signature

APPOINTMENTS ARE REQUIRED FOR APPLICATION SUBMITTALS
CALL 772.467.3737 OR E-MAIL PLANNING.D@CITYOFFORTPIERCE.COM
For more information, please refer to the website:
<https://www.cityoffortpierce.com/972/Applications-Submittal-for-1-technical-Rvw/>

General Information

- **Incomplete application packets will not be accepted.**
- In-take meetings are required for application submittals.
- Site plan approval is valid for one (1) year following City Commission approval. To maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date.
- Fee Schedule - <https://www.cityoffortpierce.com/DocumentCenter/View/2620/Fee-Schedule->
- Public Notice Fees - <https://www.cityoffortpierce.com/DocumentCenter/View/8818/Public-Notice-Fees->



Site Plan submittal requirements:

Submit one (1) original & three (3) hard copies and one (1) CD or Flash Drive of the following. Additional copies will be required of subsequent submittals.

- Complete application
- Warranty Deed
- SLC Property Record Card
- Detailed project description
- General location map (see Section 125-313)
- Survey (see Section 125-313)
- Site Plan (see Section 125-313)
- Landscaping Plan (see Section 123-37)
- Conceptual Drainage Plan (see Section 125-313)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 125-313)
- Lighting Plan (see Section 125-313)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Property Identification

Site Address: 4060 SELVITZ RD
Sec/Town/Range: 32/35S/40E
Parcel ID: 2432-223-0004-000-6
Jurisdiction: Fort Pierce

Use Type: 4000
Account #: 157269
Map ID: 24/32N
Zoning: Heavy Indu

Ownership

Wanda Johnson
4767 Selvitz Rd
Fort Pierce, FL 34981

Legal Description

32 35 40 FROM NW COR OF SEC RUN N 89 50 34 E ALG N LI OF SEC 947.75 FT, TH S 00 47 49 W 460.07 FT, TH N 89 52 58 E 170.02 FT, TH S 00 47 37 W 234.76 FT TO POB, TH S 00 49 04 W 733.29 FT, TH N 89 58 19 W 193.42 FT TO CURVE CONC SE, R OF 137.50 FT, TH SWLY ALG ARC 77.30 FT, TH S 57 49 02 W 116.83 FT TO CURVE CONC SE, R OF 137.50 FT, TH SWLY AND SLY ALG ARC 136.79 FT, TH S 00 49 02 W 22.41 FT TO CURVE CONC W, R OF 87.50 FT, TH SWLY ALG ARC 28.23 FT TO CURVE CONC NW, R OF 87.50 FT, TH SWLY ALG ARC 108.01 FT, TH N 89 58 19 W 156.25 FT, TH N 00 04 06 E 200.96 FT, TH S 89 56 24 W 12 FT, TH N 00 04 06 E 601.60 FT, TH S 89 51 05 E 157.36 FT, TH N 00 04 06 E 235 FT, TH N 89 50 34 E 537.17 FT TO POB (12.79 AC) (OR 1252-1370)



Current Values

Just/Market Value: \$570,900
Assessed Value: \$428,582
Exemptions: \$0
Taxable Value: \$428,582

Total Areas

Finished/Under Air (SF): 0
Gross Sketched Area (SF): 0
Land Size (acres): 12.79
Land Size (SF): 557,132

Property taxes are subject to change upon change of ownership.

- Past taxes are not a reliable projection of future taxes.
- The sale of a property will prompt the removal of all exemptions, assessment caps, and special classifications.

Building Design Wind Speed

Occupancy Category	I	II	III
Speed	140	150	160
Sources/links:			

Taxes for this parcel: SLC Tax Collector's Office

Download TRIM for this parcel: Download PDF



CHRIS CRAFT
TAX COLLECTOR
ST. LUCIE COUNTY

2023 REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

Skip the trip and pay at www.tcslc.com

- echeck (electronic payment from your checking account for a small fee)
- Credit card (2.5 % convenience fee applies)
- Print your receipt instantly online!

ACCOUNT

2432-223-0004-000/6

ESCROW

Wanda Johnson
4767 Selvitz Rd
Fort Pierce, FL 34981-4806

4060 SELVITZ RD, Fort Pierce
32 35 40 FROM NW COR OF SEC RUN N 89 50 34
E ALG N LI OF SEC 947.75 FT, TH S 00 4
See Additional Legal on Tax Roll

\$17,253.73

11/08/2023

Paid

Account # 0025 20231108 006997

RETAIN THIS PORTION FOR YOUR RECORDS

AD VALOREM TAXES						
TAXING AUTHORITY		MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED
County Parks MSTU	772-462-1670	0.0000	428,582	0	428,582	0.00
Co Public Transit MSTU	772-462-1670	0.2500	428,582	0	428,582	107.15
Erosion District E	772-462-1670	0.1000	428,582	0	428,582	42.86
Law Enf, Jail, Judicial Sys	772-462-1670	2.7294	428,582	0	428,582	1,169.77
Co General Revenue Fund	772-462-1670	4.2722	428,582	0	428,582	1,830.99
Childrens Service Council	772-408-1100	0.3790	428,582	0	428,582	162.43
St Lucie Co Fire District	772-621-3342	3.0000	428,582	0	428,582	1,285.75
FL Inland Navigation Dist	561-627-3386	0.0288	428,582	0	428,582	12.34
City of Fort Pierce	772-467-3000	6.9000	428,582	0	428,582	2,957.22
School Discretionary	772-429-3970	0.7480	570,900	0	570,900	427.03
School Capital Improvemnt	772-429-3970	1.5000	570,900	0	570,900	856.35
School Req Local Effort	772-429-3970	3.1640	570,900	0	570,900	1,806.33
School Voter Referendum	772-429-3970	1.0000	570,900	0	570,900	570.90
Mosquito Control	772-462-1670	0.1352	428,582	0	428,582	57.94
S FL Wtr Mgmt District	561-686-8800	0.2301	428,582	0	428,582	98.61
MILLAGE CODE	0022	TOTAL MILLAGE	24.4367	TOTAL AD VALOREM TAXES	\$11,385.67	

eBill

Go paperless and receive your tax bill by email.

www.tcslc.com

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY		AMOUNT
FP23 Fort Pierce Stormwater Mgmt Maint	772-467-3777	6,292.80
NS40 N St Lucie Wtr Mgmt Dist	772-461-5050	294.17
TOTAL ASSESSMENTS		\$6,586.97
COMBINED TAXES AND ASSESSMENTS		\$17,972.64



Scan to view your bill online

Pay One Amount (Discount Already Deducted)	If Postmarked By Please Pay	Nov 30, 2023 \$0.00			
--	--------------------------------	------------------------	--	--	--



CHRIS CRAFT
TAX COLLECTOR
ST. LUCIE COUNTY

2023 REAL ESTATE

Please add your phone number for our records:

ACCOUNT

2432-223-0004-000/6

Wanda Johnson
4767 Selvitz Rd
Fort Pierce, FL 34981-4806

Pay online at www.tcslc.com
AMOUNT DUE

I am paying the following amount (check only one box):

Nov 30, 2023	\$0.00
--------------	--------

Checks payable to St. Lucie County Tax Collector
U.S. funds only through U.S. bank
No postdated checks · Print receipt online

Return to:
Jay A. Kroese, Esq.
Cargill, Incorporated
Law Department
P. O. Box 5624
Minneapolis, MN 55440

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT (the "Agreement"), dated as of the 25 day of OCTOBER, 2004, is made by and between CARGILL JUICE NORTH AMERICA, INC., a Delaware corporation, whose principal mailing address is 100 East 6th Street, Frostproof, Florida 33843 ("CJNA") and BOBBY AND WANDA JOHNSON, husband and wife (the "Johnsons"), ADVANCED MACHINE & TOOL, INC., a Florida corporation ("Advanced"), and WASTE MANAGEMENT INC. OF FLORIDA, a Florida corporation ("WMIF"). The Johnsons, Advanced and WMIF are collectively known as the Grantees.

RECITALS:

CJNA is the owner of certain real property located in Fort Pierce, St. Lucie County, Florida, as more particularly described on Exhibit A attached to this Agreement (the "CJNA Real Property").

The Johnsons are the owner of certain real property located in Fort Pierce, St. Lucie County, Florida, as more particularly described on Exhibit B attached to this Agreement (the "Johnson Real Property").

Advanced is the owner of certain real property located in Fort Pierce, St. Lucie County, Florida, as more particularly described on Exhibit C attached to this Agreement (the "Advanced Real Property").

WMIF is the owner of certain real property located in Fort Pierce, St. Lucie County, Florida, as more particularly described on Exhibit D attached to this Agreement (the "WMIF Real Property").

Grantees desire to obtain from CJNA and CJNA desires to convey to Grantees a nonexclusive, permanent easement for ingress and egress over and across the existing roadway located on the CJNA Real Property, as more particularly described on Exhibit E attached to this Agreement (the "Easement Area").

In consideration of the mutual covenants, terms and conditions set forth in this Agreement and other good and valuable consideration, the receipt and sufficiency of such consideration being hereby acknowledged, the parties agree as follows:

whereupon the said Grantee's grant of easement will be terminated, and Grantee will cause to be recorded in the public records a Release of Easement thereby relieving Grantee of any and all further obligations under this Agreement.

7. The provisions of this Agreement shall not be deemed (i) an interest in the roadway to constitute a dedication of land for public use; and (ii) to confer any rights in the general public.

8. This Agreement shall not be amended except by written agreement executed by CJNA and Grantees.

9. This rights and obligations in this Agreement shall be covenants running with the land and shall be binding upon CJNA and Grantees and upon their respective heirs, successors and assigns.

10. This Agreement shall be governed, construed and interpreted in accordance with the substantive laws of the State of Florida, without regard to its conflicts of laws provision.

11. This Agreement may be executed in counterparts, each of which may be deemed an original but together shall constitute but one and the same instrument.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first above written.

Witnesses:

Jim Maliszewski
Print Name: Jim Maliszewski
Chad Hadden
Print Name: Chad Hadden

CARGILL JUICE NORTH AMERICA, INC.

By: Bryce R. Kelly
Print Name: Bryce R. Kelly
Its: Assistant Vice President

Witnesses:

Shari Sabater
Print Name: Shari Sabater
Robert V. Schaefer
Print Name: Robert V. Schaefer

Bobby Johnson
BOBBY JOHNSON
Wanda R. Johnson
WANDA JOHNSON

Witnesses:

Nanette Trout
Print Name: Nanette Trout
Christine Nicholson
Print Name: Christine Nicholson

ADVANCED MACHINE & TOOL, INC.

By: Lloyd D. Riley
Print Name: Lloyd D. RILEY
Its: PRESIDENT

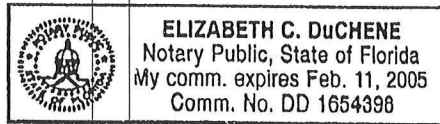
STATE OF FLORIDA
COUNTY OF POLK)

Assistant

The foregoing instrument was acknowledged before me this 25 day of OCTOBER, 2004, by BRUCE R. KELLY, a Vice President of Cargill Juice North America, Inc., a Delaware corporation, on behalf of the corporation. He is personally known to me or did produce _____ as identification.

Elizabeth C. DuChene
Notary Public

My Commission Expires: 2-11-05



STATE OF FLORIDA
COUNTY OF St. Lucie)

The foregoing instrument was acknowledged before me this 26 day of October, 2004, by Bobby Johnson and Wanda Johnson, husband and wife, who are personally known to me or who have produced _____ as identification.

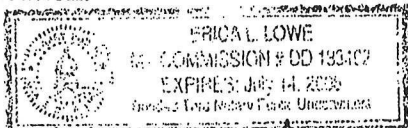


Judith A. Sullivan
Notary Public

My Commission Expires: _____

STATE OF FLORIDA
COUNTY OF St. Lucie)

The foregoing instrument was acknowledged before me this 1st day of Sept, 2004, by Lloyd D. Riley, the President of Advance Machine & Tool, Inc., a Florida corporation, on behalf of the corporation. S/He is personally known to me or did produce _____ as identification.



Erica L. Lowe
Notary Public

My Commission Expires: July 14, 2006

Georgia
STATE OF ~~FLORIDA~~
COUNTY OF COBB)

The foregoing instrument was acknowledged before me this 23rd day of July, 2004, by CHARLES J. CAMPAGNA, a VICE PRESIDENT of Waste Management Inc. of Florida, a Florida corporation, on behalf of the CORPORATION. He is personally known to me or did produce _____ as identification.



Margaret Anne Abney
Notary Public

My Commission Expires: _____

EXHIBIT B

Johnson Real Property

Parcel 1:

Being a parcel of land lying in Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida; being more particularly described as follows:

Commence at the Northwest corner of said Section 32, thence run North $89^{\circ}51'05''$ East, along the North line of said Section 32, a distance of 343.68 feet, to a point lying 220.00 feet East of the Easterly right-of-way line of Selvitz Road, and the Point of Beginning; thence continue North $89^{\circ}51'05''$ East, along said North line, a distance of 604.07 feet, to a point in the West line of the East 400.00 feet of the North 460.00 feet of the Northwest 1/4 of the Northwest 1/4 of said Section 32; thence run South $00^{\circ}49'04''$ West along said line, a distance of 460.07 feet, to a point on the South line of the East 400.00 feet of the North 460.00 feet of said Section 32; thence run North $89^{\circ}51'05''$ East along said line a distance of 170.02 feet, to a point in the West line of the East 230.00 feet of the Northwest 1/4 of the Northwest 1/4 of said Section 32; thence run South $00^{\circ}49'04''$ West along said line a distance of 871.62 feet to a point in the South line of the Northwest 1/4 of the Northwest 1/4 of said Section 32; thence continue South $00^{\circ}49'04''$ West, a distance of 96.43 feet; thence run North $89^{\circ}58'19''$ West, a distance of 193.42 feet to the beginning of a curve concave to the Southeast, having a radius of 137.50 feet; thence run Southwesterly along the arc of said curve, through a central angle of $32^{\circ}12'39''$, a distance of 77.30 feet; thence run South $57^{\circ}49'02''$ West, a distance of 116.83 feet to the beginning of a curve concave to the Southeast, having a radius of 137.50 feet; thence run Southwesterly and Southerly along the arc of said curve, through a central angle of $57^{\circ}00'00''$, a distance of 136.79 feet; thence run South $00^{\circ}49'02''$ West, a distance of 22.41 feet to the beginning of a curve concave to the West having a radius of 87.50 feet; thence run Southwesterly along the arc of said curve, through a central angle of $18^{\circ}28'56''$, a distance of 28.23 feet to the beginning of a non-tangent curve, concave to the Northeast, the chord of which bears North $05^{\circ}53'59''$ West and having a radius of 1,120.65 feet; thence run Northwesterly along the arc of said curve, through a central angle of $07^{\circ}20'20''$, a distance of 143.54 feet; thence run South $89^{\circ}56'24''$ West, non-tangent to the last described curve, a distance of 235.90 feet to a point in a line lying 413.00 feet East of, as measured at right angles to the West line of said Section 32; thence run North $00^{\circ}04'06''$ East along said line a distance of 601.60 feet to a point in the South line of the North 929.86 feet of said Section 32; thence run South $89^{\circ}51'05''$

89°58'19" West, a distance of 219.57 feet to the Point of Beginning.

LESS AND EXCEPT therefrom the following:

Commence at the Northwest corner of said Section 32; thence run South 00°04'06" West along the West line of said Section 32, a distance of 1,768.62 feet; thence run South 89°58'19" East, parallel with, as measured at right angles to the South line of the Northwest 1/4 of said Section 32, a distance of 425.00 feet; thence run North 00°04'06" East parallel with, as measured at right angles to the West line of said Section 32, a distance of 200.96 feet; thence run South 89°56'24" West, a distance of 223.89 feet to the beginning of a non-tangent curve concave to the Northeast, the chord of which bears South 05°53'59" East, and having a radius of 1,120.65 feet; thence run Southeasterly along the arc of said curve, through a central angle of 07°20'20", a distance of 143.54 feet to the Point of Beginning; thence continue along the arc of said curve, through a central angle of 01°29'51", a distance of 29.29 feet to a point of reverse curvature with a curve concave to the Northwest, having a radius of 25.00 feet; thence run Southwesterly along the arc of said curve, through a central angle of 101°05'41", a distance of 44.11 feet; thence run North 89°58'19" West, a distance of 63.32 feet to the beginning of a non-tangent curve concave to the Northwest, the chord of which bears North 54°39'49" East, and having a radius of 87.50 feet; thence run Northeasterly along the arc of said curve, through a central angle of 70°43'43", a distance of 108.01 feet to the Point of Beginning.

ALSO, LESS AND EXCEPTING therefrom, the CJNA Property that is described in Exhibit A, containing approximately 9.21 acres, more or less.

EXHIBIT D

WMIF Real Property

Being that part of the South 235.93 feet of the North 634.86 feet of the West 343.67 feet of the Northwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida, lying East of Selvitz Road and being more particularly described as follows:

COMMENCE at the Northwest corner of Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida; thence run due South, along the West line of said Section 32, a distance of 398.93 feet; thence run N89°47'32"E, parallel with the North line of said Section 32, a distance of 99.31 feet, to the East right-of-way line of Selvitz Road and the POINT OF BEGINNING; thence continue N89°47'32"E, a distance of 244.36 feet; thence run due South a distance of 235.93 feet; thence run S89°47'32"W, a distance of 274.01 feet, to the said East right-of-way of Selvitz Road; thence run N07°09'41"E, along the said East right-of-way, a distance of 237.89 feet, to the POINT OF BEGINNING, all lying and being in Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida and containing 1.4038 Acres, more or less.

Bearings based on West line of Section 32 being assumed due North.

JoAnne Holman, Clerk of the Circuit Court - St. Lucie County
File Number: 1753220 OR BOOK 1252 PAGE 1370
Recorded: 09-29-99 08:11 A.M.

* Doc Assump: \$ 0.00
* Doc Tax : \$ 839.30
* Int Tax : \$ 0.00

A298-10
R298-04

QUITCLAIM DEED

THIS QUITCLAIM DEED, Executed this 24 day of September, 1999 (year),

by first party, Grantor, Bobby Johnson and Wanda Johnson, his wife, as to an undivided 1/2 interest as tenants in common, and James R. Bryant and Liane Bryant, his wife, as to an undivided 1/2 interest as tenants in common, whose post office address is

4767 Selvitz Road, Fort Pierce, Florida 34981

to second party, Grantee, Bobby Johnson and Wanda Johnson, his wife

whose post office address is

4767 Selvitz Road, Fort Pierce, Florida 34981

WITNESSETH, That the said first party, for good consideration and for the sum of
Ten dollars Dollars (\$ 10.00) paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quitclaim unto the said second party forever, all the right, title, interest and claim which the said first party has in and to the following described parcel of land, and improvements and appurtenances there-
to in the County of Saint Lucie, State of Florida to wit:
SEE EXHIBIT "A" ATTACHED HERETO

The property being conveyed herein is vacant land.

AEEM (1)

Rev 4/99

If your state requires 8 1/2" x 11" forms, cut off the bottom of this page at the dotted line.



9 53926 20040 5

Return to:
Grantee

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written. Signed, sealed and delivered in presence of: **Bobby Johnson and Wanda Johnson, his wife, and James R. Bryant and Liane Bryant, his wife.**

John J Haney Jr
Signature of Witness

John J Haney Jr
Print name of Witness

Kenneth R. Singley
Signature of Witness

Kenneth R. Singley
Print name of Witness

Bobby Johnson Wanda Johnson 2071
Signature of First Party

Bobby Johnson and Wanda Johnson, his wife
Bobby Johnson Wanda Johnson
Print name of First Party

James R Bryant Liane Bryant
Signature of First Party

James R. Bryant and Liane Bryant, his wife
James Bryant Liane Bryant
Print name of First Party

State of **Florida**
County of **Saint Lucie**

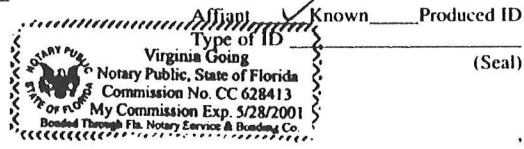
On September 24, 1999 before me,
appeared Bobby Johnson, Wanda Johnson, James Bryant + Liane Bryant
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their
authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon
behalf of which the person(s) acted, executed the instrument.
WITNESS my hand and official seal.

Virginia Going
Signature of Notary

State of **FLORIDA**
County of **St. Lucie**

On Sept. 24, 1999 before me,
appeared
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their
authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon
behalf of which the person(s) acted, executed the instrument.
WITNESS my hand and official seal.

Signature of Notary



Affiant Known Produced ID
Type of ID _____ (Seal)

James R Bryant
Signature of Preparer

Liane Bryant
Print Name of Preparer

1297 SW Bryant St PSC
Address of Preparer

EXHIBIT "A"

Legal Description

Parcel 1:

Being a parcel of land lying in Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida; being more particularly described as follows:

Commence at the Northwest corner of said Section 32, thence run North 89°51'05" East, along the North line of said Section 32, a distance of 343.68 feet, to a point lying 220.00 feet East of the Easterly right-of-way line of Selvitz Road, and the Point of Beginning; thence continue North 89°51'05" East, along said North line, a distance of 604.07 feet, to a point in the West line of the East 400.00 feet of the North 460.00 feet of the Northwest 1/4 of the Northwest 1/4 of said Section 32; thence run South 00°49'04" West along said line, a distance of 460.07 feet, to a point on the South line of the East 400.00 feet of the North 460.00 feet of said Section 32; thence run North 89°51'05" East along said line a distance of 170.02 feet, to a point in the West line of the East 230.00 feet of the Northwest 1/4 of the Northwest 1/4 of said Section 32; thence run South 00°49'04" West along said line a distance of 871.62 feet to a point in the South line of the Northwest 1/4 of the Northwest 1/4 of said Section 32; thence continue South 00°49'04" West, a distance of 96.43 feet; thence run North 89°58'19" West, a distance of 193.42 feet to the beginning of a curve concave to the Southeast, having a radius of 137.50 feet; thence run Southwesterly along the arc of said curve, through a central angle of 32°12'39", a distance of 77.30 feet; thence run South 57°49'02" West, a distance of 116.83 feet to the beginning of a curve concave to the Southeast, having a radius of 137.50 feet; thence run Southwesterly and Southerly along the arc of said curve, through a central angle of 57°00'00", a distance of 136.79 feet; thence run South 00°49'02" West, a distance of 22.41 feet to the beginning of a curve concave to the West having a radius of 87.50 feet; thence run Southwesterly along the arc of said curve, through a central angle of 18°28'56", a distance of 28.23 feet to the beginning of a non-tangent curve, concave to the Northeast, the chord of which bears North 05°53'59" West and having a radius of 1,120.65 feet; thence run Northwesterly along the arc of said curve, through a central angle of 07°20'20", a distance of 143.54 feet; thence run South 89°56'24" West, non-tangent to the last described curve, a distance of 235.90 feet to a point in a line lying 413.00 feet East of, as measured at right angles to the West line of said Section 32; thence run North 00°04'06" East along said line a distance of 601.60 feet to a point in the South line of the North 929.86 feet of said Section 32; thence run South 89°51'05"

West along said line, a distance of 28.00 feet to a point in the East line of the West 385.00 feet of said Section 32; thence run North 00°04'06" East along said line, a distance of 235.00 feet to a point in the North line of the South 235.00 feet of the North 929.86 feet of said Section 32; thence run South 89°51'05" West along said line, a distance of 322.76 feet to a point on the Easterly right-of-way line of Selvitz Road, said point being the beginning of a non-tangent curve concave to the East, the chord of which bears North 06°55'32" East and having a radius of 1,859.86 feet; thence run Northeasterly along the arc of said curve, through a central angle of 00°35'33", a distance of 19.24 feet; thence run North 07°13'18" East, a distance of 41.25 feet to a point in the South line of the North 634.86 feet of said Section 32; thence run North 89°51'05" East along said line, a distance of 578.33 feet to a point in the East line of the West 648.00 feet of the North 634.86 feet of said Section 32; thence run North 00°04'06" East along said line, a distance of 235.93 feet to a point in the South line of the North 398.93 feet of said Section 32; thence run South 89°51'05" West along said line a distance of 304.33 feet to a point in the East line of the West 343.67 feet of the North 398.93 feet of said Section 32; thence run North 00°04'06" East along said line, a distance of 398.93 feet, to the Point of Beginning. Containing approximately 21.94 acres more or less.

Parcel 2:

Being a parcel of land lying in Section 32, Township 35 South, Range 40 East, St. Lucie County, Florida, being more particularly described as follows:

Commence at the Northwest corner of said Section 32; thence run South 00°04'06" West along the West line of said Section 32, a distance of 1,768.62 feet; thence run South 89°58'19" East, parallel with, as measured at right angles to the South line of the Northwest 1/4 of said Section 32, a distance of 425.00 feet to the Point of Beginning; thence run North 00°04'06" East parallel with, as measured at right angles to the West line of said Section 32, a distance of 200.96 feet; thence run South 89°56'24" West, a distance of 223.89 feet to the beginning of a non-tangent curve concave to the Northeast, the chord of which bears South 06°38'54" East and having a radius of 1,120.65 feet; thence run Southeasterly along the arc of said curve, through a central angle of 08°50'11", a distance of 172.83 feet to a point of reverse curvature with a curve concave to the Northwest, having a radius of 25.00 feet; thence run Southwesterly along the arc of said curve, through a central angle of 101°05'41", a distance of 44.11 feet; thence run North

89°58'19" West, a distance of 219.57 feet to the Point of Beginning.

LESS AND EXCEPT therefrom the following:

Commence at the Northwest corner of said Section 32; thence run South 00°04'06" West along the West line of said Section 32, a distance of 1,768.62 feet; thence run South 89°58'19" East, parallel with, as measured at right angles to the South line of the Northwest 1/4 of said Section 32, a distance of 425.00 feet; thence run North 00°04'06" East parallel with, as measured at right angles to the West line of said Section 32, a distance of 200.96 feet; thence run South 89°56'24" West, a distance of 223.89 feet to the beginning of a non-tangent curve concave to the Northeast, the chord of which bears South 05°53'59" East, and having a radius of 1,120.65 feet; thence run Southeasterly along the arc of said curve, through a central angle of 07°20'20", a distance of 143.54 feet to the Point of Beginning; thence continue along the arc of said curve, through a central angle of 01°29'51", a distance of 29.29 feet to a point of reverse curvature with a curve concave to the Northwest, having a radius of 25.00 feet; thence run Southwesterly along the arc of said curve, through a central angle of 101°05'41", a distance of 44.11 feet; thence run North 89°58'19" West, a distance of 63.32 feet to the beginning of a non-tangent curve concave to the Northwest, the chord of which bears North 54°39'49" East, and having a radius of 87.50 feet; thence run Northeasterly along the arc of said curve, through a central angle of 70°43'43", a distance of 108.01 feet to the Point of Beginning.

Containing approximately 1.04 acres more or less.

SITE PLAN FOR CENTRAL ASPHALT PLANT

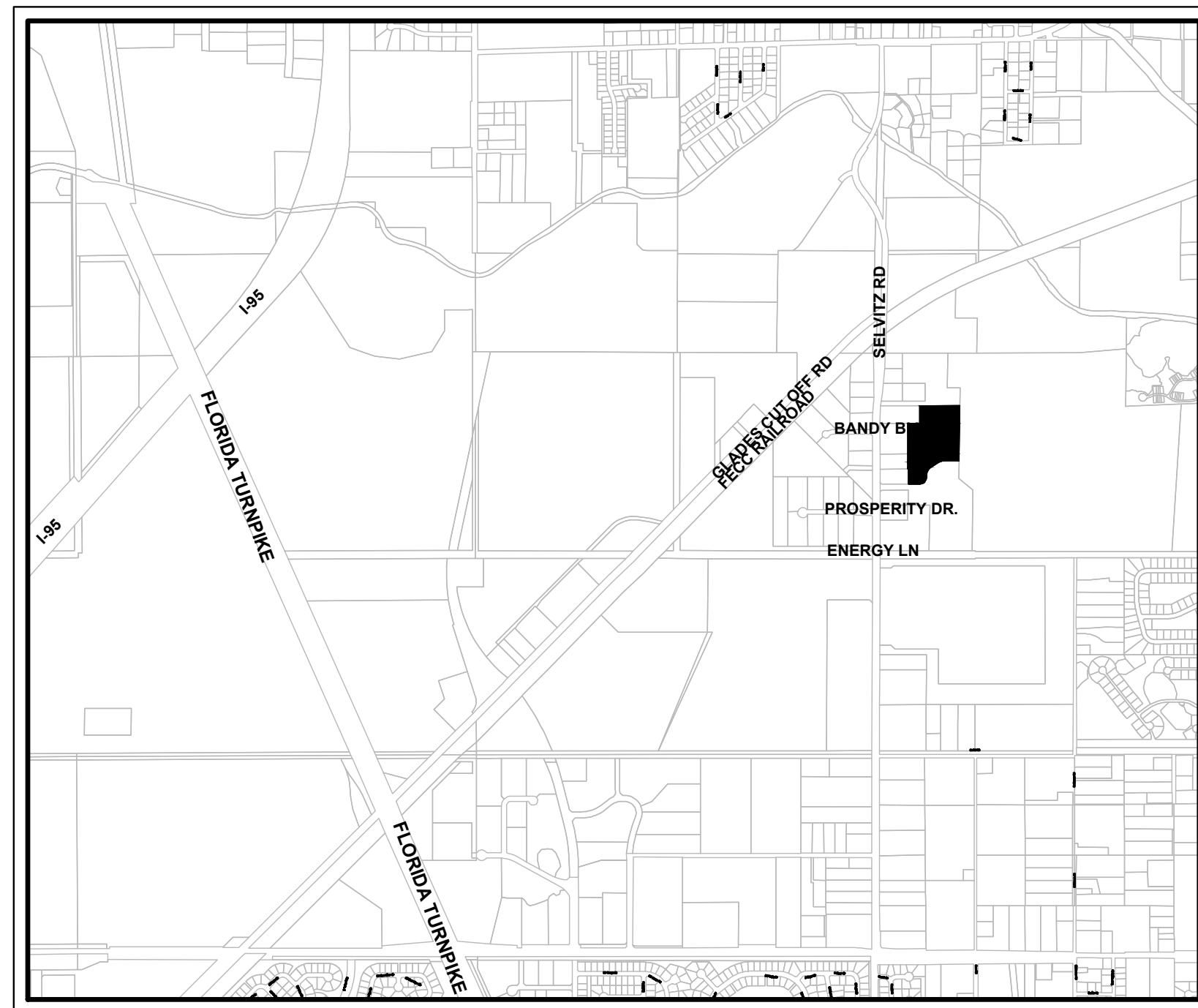
4060 SELVITZ RD

IN

SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST
ST. LUCIE COUNTY, FLORIDA

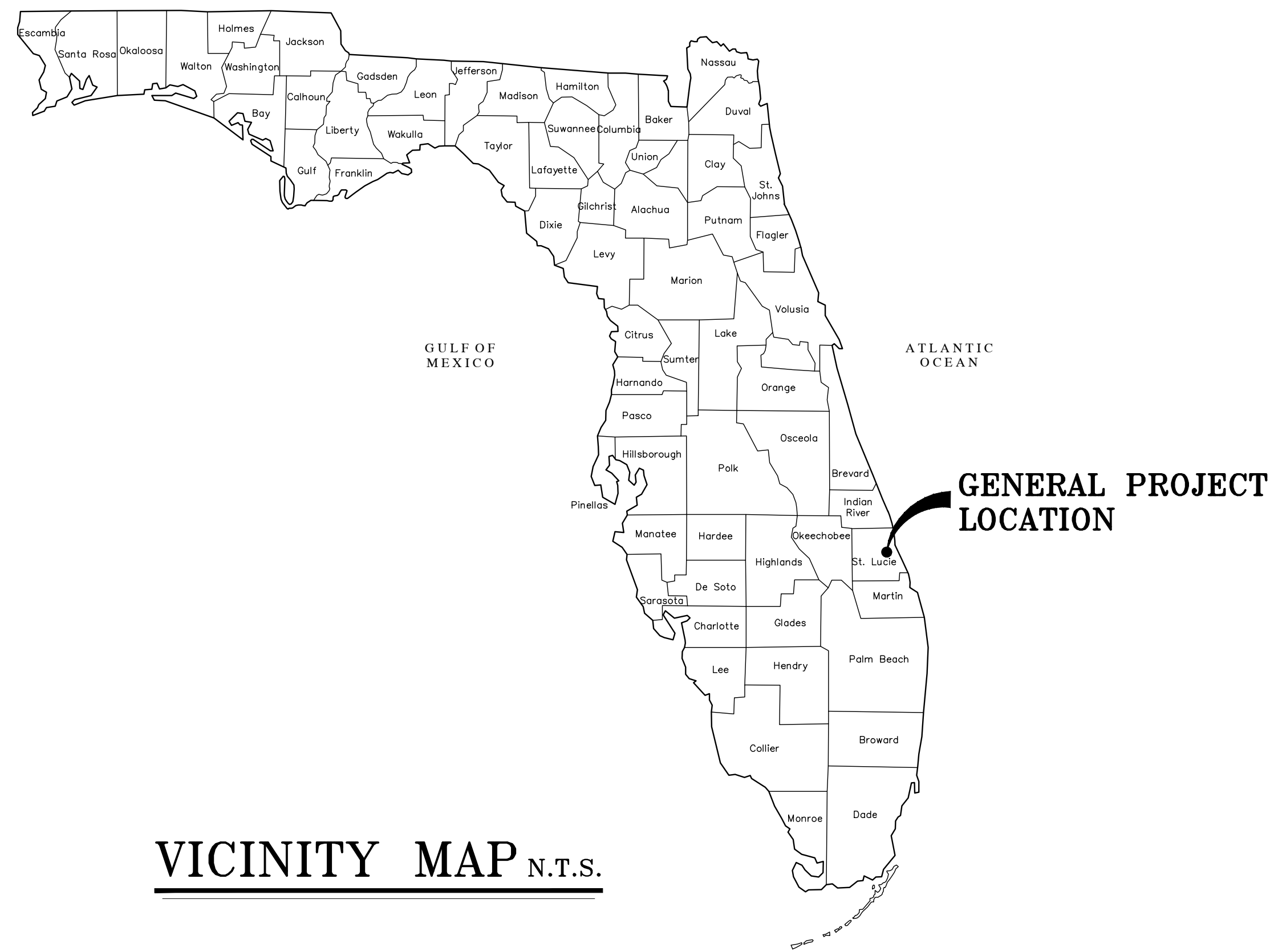
PREPARED FOR

CENTRAL CIVIL CONSTRUCTION



LOCATION MAP N.T.S.

SECTION 32 TOWNSHIP, 35 SOUTH, RANGE 40 EAST



VICINITY MAP N.T.S.

GENERAL NOTES

1. *ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH CITY OF FORT PIERCE CODE OF ORDINANCES SECTIONS 119 AND 125.
2. HOURS OF OPERATION ARE AS FOLLOWS; AT TIMES MONDAY-SATURDAY 12 HOURS 6 AM TO 6 PM.
3. PLANT PRODUCTION TO PRODUCE NO MORE THAN 88 DECIBELS PER APPLICANT
4. TRAFFIC DATA AS PER THE APPLICANT;
PEAK TRAFFIC HOURS 9 AM-1 PM.
ESTIMATED TRUCK TRAFFIC DURING BUSINESS HOURS 10 TRUCKS AN HOUR

INDEX TO SHEETS	
SHEET NO.	DESCRIPTION
1	COVER
2	MASTER SITE PLAN
3-6	SITE PLAN

LEGAL DESCRIPTION:
 OVERALL PROJECT PARCEL: 32.35 40 FROM W 1/4 COR RUN N 00 04 06 E ALG W LI OF NW 1/4 53.50 FT, TH S 89 58 19 E 50 FT TO E R/W LI OF SELVITZ RD AND NLY R/W LI OF NSLWCD CANAL NO. 101, TH CONT SE ALG NLY R/W LI 705 FT TO POB, TH N 00 04 06 E 600 FT, TH N 89 58 19 W 280 FT, TH N 00 04 06 E 200 FT, TH N 89 58 19 W 350 FT TO CURVE CONC SE, R OF 25 FT, TH SWLY ALG ARC 39.26 FT TO E R/W LI OF SELVITZ RD, TH N 00 04 06 E ALG E R/W LI 125 FT TO CURVE CONC NE, R OF 25 FT, TH SE ALG ARC 39.29 FT, TH S 89 58 19 E 349.98 FT, TH S 89 58 25 E 156.76 FT TO CURVE CONC NW, R OF 87.50 FT, TH NELY ALG ARC 136.24 FT, TH N 00 48 56 W 22.40 FT TO CURVE CONC SE, R OF 137.50 FT, TH NELY ALG ARC 136.79 FT, TH N 57 49 02 E 116.83 FT TO CURVE CONC S, R OF 137.50 FT, TH NELY ALG ARC 77.28 FT, TH S 89 58 48 E 193.44 FT, TH S 00 49 02 W 228.64 FT, TH S 51 03 36 E 241.52 FT, TH S 00 49 02 W 801.37 FT TO N R/W LI OF CANAL NO. 101, TH N 89 58 19 W ALG N R/W LI 568.67 FT TO POB - (16.71 AC) (OR 2116-2197)

REVISIONS	
SHEET NO.	DATE

SUBMITTAL DATE: 4/25/2024

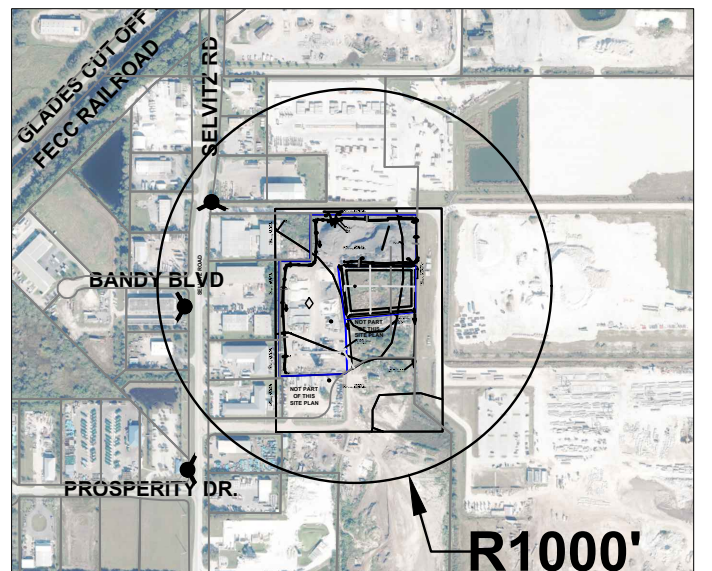
CULPEPPER & TERPENING INC

2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981
 PHONE 772-464-3537 • FAX 772-464-9497 • www.ct-eng.com
 STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

THOMAS J. DEGRACE, P.E. FL. REG. NO. 42354

PID: 2432-221-0002-000-6
GEORGE L. SOUTHWORTH (TR)

NW 1/4 SECTION 32-35-40



SELVITZ ROAD

PID: 2432-223-0002-000-2
ADVANCED MACHINE & TOOL, INC.

PID: 2432-223-0003-000-9
SELVITZ ROAD PROPERTY, LLC

PID: 2432-232-0001-000-3
CLEAN SLADE LLC

PID: 2432-232-0002-000-0
CLEAN SLADE LLC

SHEET 3

SHEET 4

SHEET 5

NOT PART OF THIS SITE PLAN SHEET 6

NOT PART OF THIS SITE PLAN

FOUND 4"x4" CONC MONUMENT "PRM LB 8158"
S. 0.08'
E. 0.22'

PID: 2432-501-0001-000-8
S E HOLDINGS, INC.

FOUND 4"x4" CONC MONUMENT "PRM LB 3300"
W. 0.2'

PID: 2432-500-0001-000-0
PRECAST SPECIALITIES LLC

SITE DATA TABLE

Owner/Applicant:
Bobby and Wanda Johnson
4767 Selvitz Rd
Fort Pierce, FL 34981
Phone: 772-465-1122

Lighting Plan:
Karm Consulting
1408 Orange Ave
Fort Pierce, FL 34950
Phone: 772-955-1744

Engineer:
Culpepper & Terpening, Inc.
2980 South 25th Street
Fort Pierce, FL 34981
Phone: 772-464-3537
Fax: 772-464-9497
www.ct-eng.com

Surveyor:
Betty Lindsay
7953 SW Jack Jamer Dr
Fort Pierce, FL 34997
Phone: 772-286-5753
Fax: 772-286-5933

Landscape Architect:
Cotter & Hearing
1934 Commerce Lane
Jupiter, FL 33458
Phone: 561-747-6336
Fax: 561-747-1577
www.cotterandhearing.com

1.) **Project Name:**
Central Asphalt Plant

2.) **Location:**
The project site is located east of Selvitz Rd at 4060 Selvitz Rd between Bandy Blvd and Prosperity Dr.

3.) **Project Description:**
325,937 SF leased industrial site with existing parking plant with a 84,564 SF dry detention pond within 556,073 SF Property

4.) **Sec/Town/Range:** Section 32, Township 35 South, Range 40 East

5.) **Tax Map ID:** 34/20N

6.) **Parcel ID Numbers:** 2432-223-0004-000-6

7.) **Gross Site Area:** 9.42 acres, 410,501 sq feet

8.) **Zoning:** IL-3 Heavy Industrial, 9.42 acres

9.) **Land Use:** HI Heavy Industrial, 9.42 acres

10.) **Site Density/Intensity:** N/A

11.) **Development Schedule: Phase 1**
Start: Fall 2024
Complete: Winter 2024

12.) **Flood Zone:**
The project site is located in Flood Zone X (Area With Reduced Flood Risk), according to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map Number 12111C0188K eff. 2/19/2020

13.) **Site Coverage:**

Existing Site Facilities (2024)	acreage	sq feet	% of site	FAR ¹
Buildings (all types)	0.00		0.0	0.000
Roadways/Parking	0.45	19,806	4.8	N/A
Other Impervious	0.18	7,795	1.9	N/A
[Total Impervious]	0.63	27,601	6.7	
Open Space/Landscape/Future Dev.	8.79	382,900	93.3	N/A
Lakes & Retention (dry)	0.00		0.0	N/A
[Total Site Area]	9.42	410,501	100	

Proposed Site Addition (areas of addition only)	acreage	sq feet	% of site	FAR ¹
Buildings (all types)	0.00		0.0	0.000
Roadways/Parking	0.04	1,717	0.4	N/A
Other Impervious	0.00		0.0	N/A
[Total Impervious]	0.04	1,717	0.0	
Open Space/Landscape	0.00		0.0	N/A
Lakes/Retention (dry)	1.94	84,564	20.6	N/A
Preserve Area	0.00		0.0	N/A
[Total Site Area]	1.98	86,281	0.0	

Total Site ²	acreage	sq feet	% of site	FAR ¹
Buildings (all types)	0.01	332	0.1	0.001
Roadways/Parking	0.45	19,806	4.8	N/A
Other Impervious	0.18	7,795	1.9	N/A
[Total Impervious]	0.64	27,933	6.8	
Open Space/Landscape	6.85	298,336	72.7	N/A
Lakes/Retention (dry)	1.94	84,564	20.6	N/A
Preserve Area	0.00		0.0	N/A
[Total Site Area]	9.43	410,833	100	

- Notes:
1.) All areas are approximate and subject to change as part of final construction plans.
2.) Existing Site Facilities (2023) represent existing site conditions & Proposed Site Addition represents site area
3.) FAR coverage based on total bldg sq ft / gross lot area.
- 14.) **Parking Expansion Area**
- | Building Area | SP/1000 | Total Required | Provided | Handicap parking |
|---------------|---------|----------------|----------|------------------|
| 0 | N/A | N/A | 2 | 1 |
- 15.) **Building Hgt.:**
Maximum Building Hgt. 50'
Containment Tank Max. Hgt. 35'
Proposed Equipment Hgt. (max) 35'-6"
- 16.) **Building setbacks/spacing (Min. Industrial):**
Front (as measured from Selvitz Road) 25.0 ft Required, 10.0 ft Provided, N/A Side, 25.0 ft Required, 25.0 ft Provided, N/A Rear (as measured from east property line)
- 17.) **Utility Service:**
Water Service (Utility) FPUA
Sewage Service (Utility) FPUA
Re-Use Water (Utility) N/A
Electric Service Telecom Service (backbone) FPUA
Cable Service (primary) ATT
Concast
- All utility services will be placed underground.
- 18.) **Refuse Collection:**
Solid waste collection will be through the use of waste collection receptacles as permitted and approved by the City of Fort Pierce
- 19.) **Site Lighting:**
Site lighting in the parking and trailer access areas will be provided through the placement of several independent poles in the parking lot areas. No light will be directed offsite. See Site Lighting plan, by others.
- 20.) **Site Drainage (preliminary):**
The subject site will be drained through a swale collection system, flowing into a proposed lake and outfall to NSLRWCD Canal # 102 via a control structure.

NOTES:
1) ALL ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.

COMPUTER FILE REF.	FIELD BK./PG.

CULPEPPER & TERPENING INC
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PHONE 772-464-3537 • FAX 772-464-9497 • www.ct-eng.com
STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

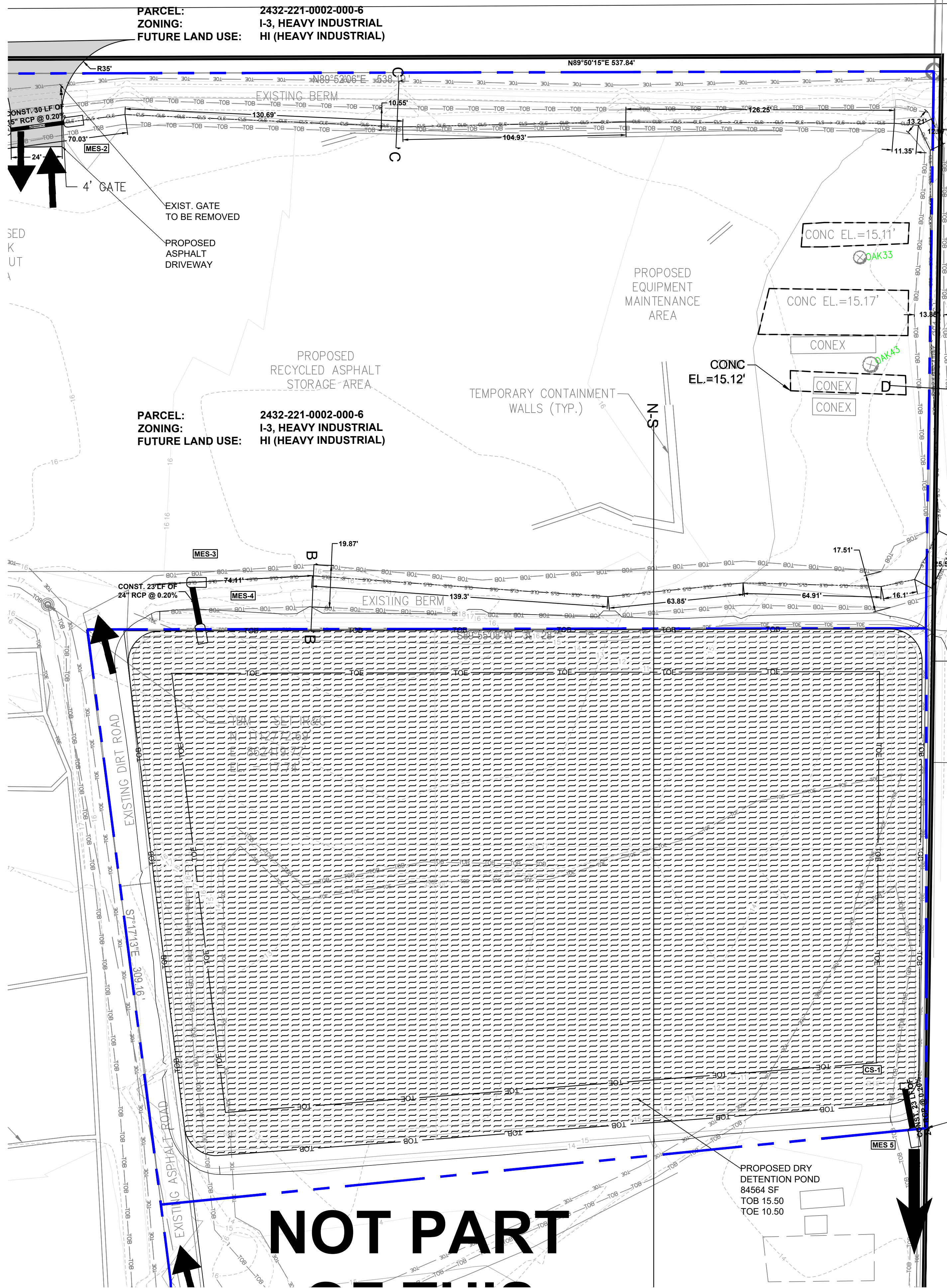
- REVISIONS -

NO.	DESCRIPTION	BY	DATE

DESIGNED	BY	DATE
EAC		2/17/24
CALCS.		
DRAWN	EAC	2/17/24
DETAILED		
CHECKED		
APPROVED		

CENTRAL ASPHALT PLANT
MASTER SITE PLAN

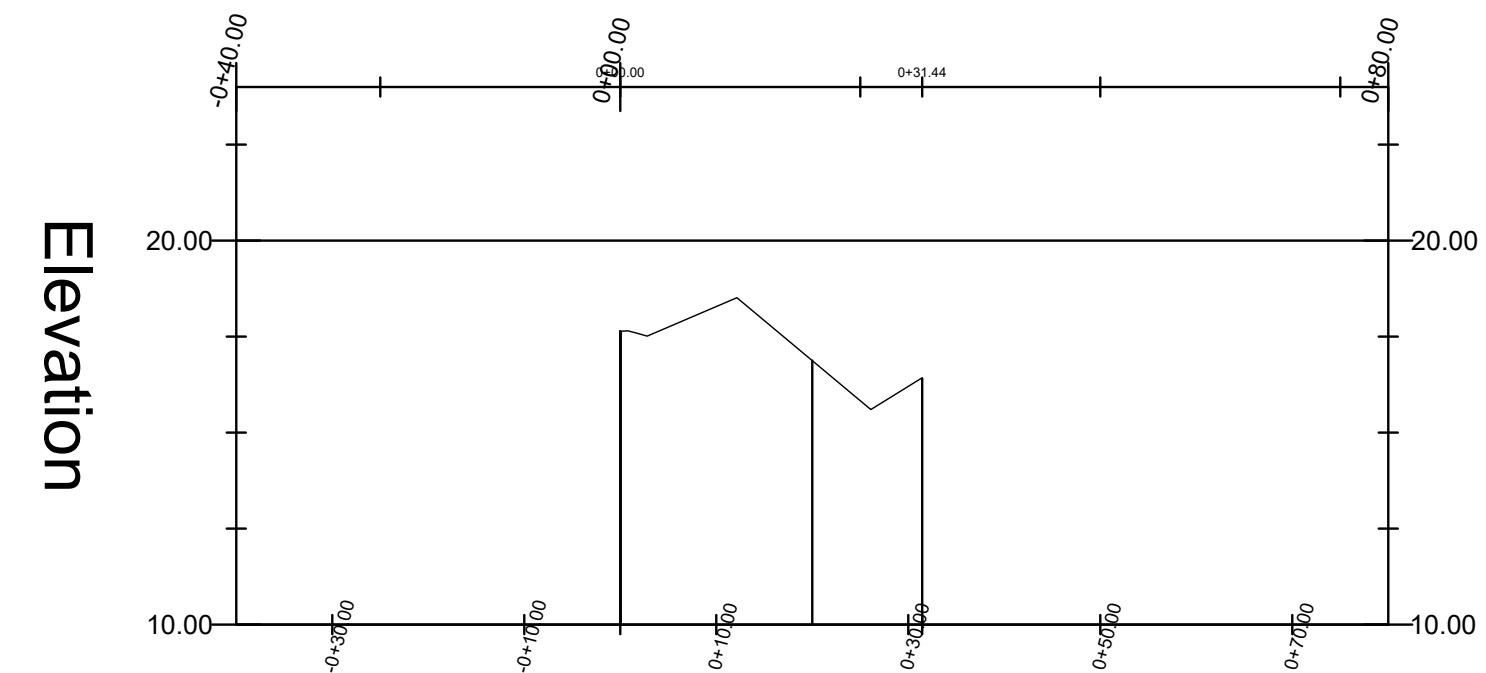
DATE: _____
HORIZ. SCALE: SCALE
VERT. SCALE: 1"=60'
JOB No. 23-176
SHEET 2 of 6



B-B

H. SCALE: 1"=20'
V. SCALE: 1"=5'

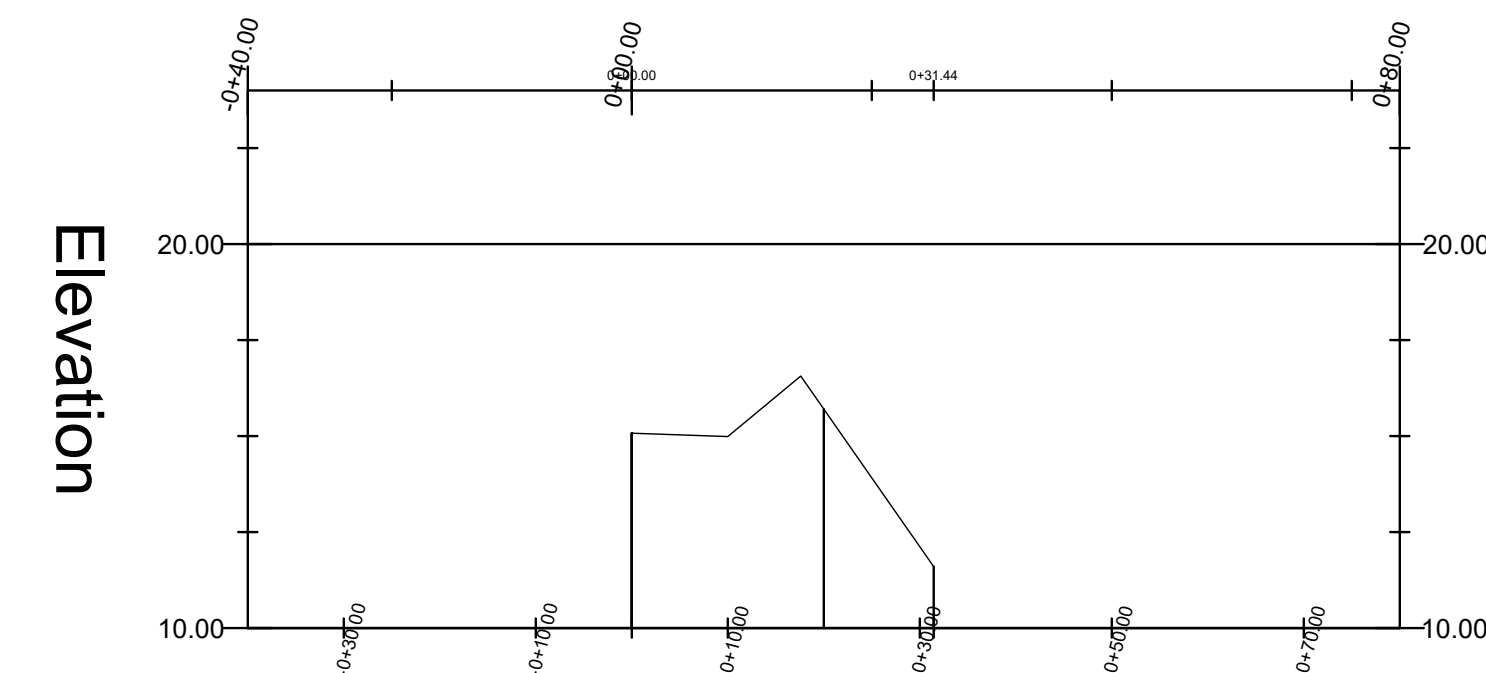
Station



C-C

H. SCALE: 1"=20'
V. SCALE: 1"=5'

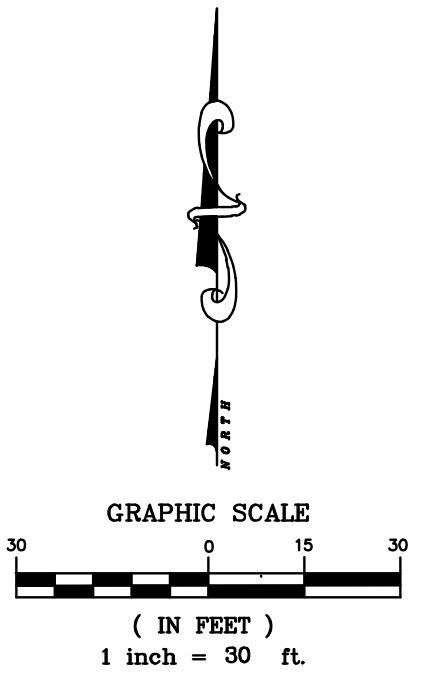
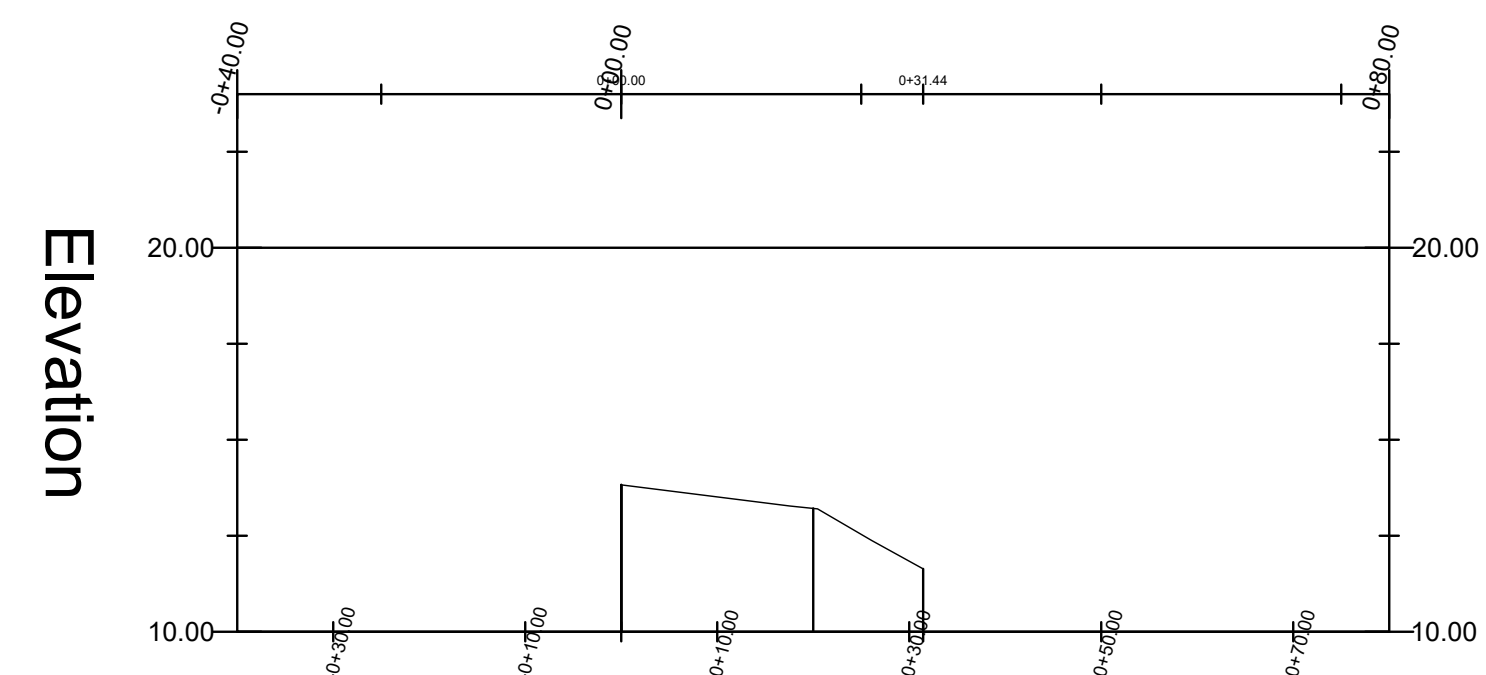
Station



D-D

H. SCALE: 1"=20'
V. SCALE: 1"=5'

Station



NOT PART

THOMAS J. DEGRACE, P.E. FL. REG. NO. 42354

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COMPUTER FILE REF.	FIELD BK./PG.

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- REVISIONS -		BY	DATE

	BY	DATE
DESIGNED	EAC	2/17/24
CALCS.		
DRAWN	EAC	2/17/24
DETAILED		
CHECKED		
APPROVED		

CENTRAL ASPHALT PLANT
 SITE PLAN

DATE:
 HORIZ. SCALE: N/A
 VERT. SCALE: 1"=30'
 JOB No. 23-176
 SHEET 4 of 6

SITE PLAN FOR CENTRAL ASPHALT PLANT

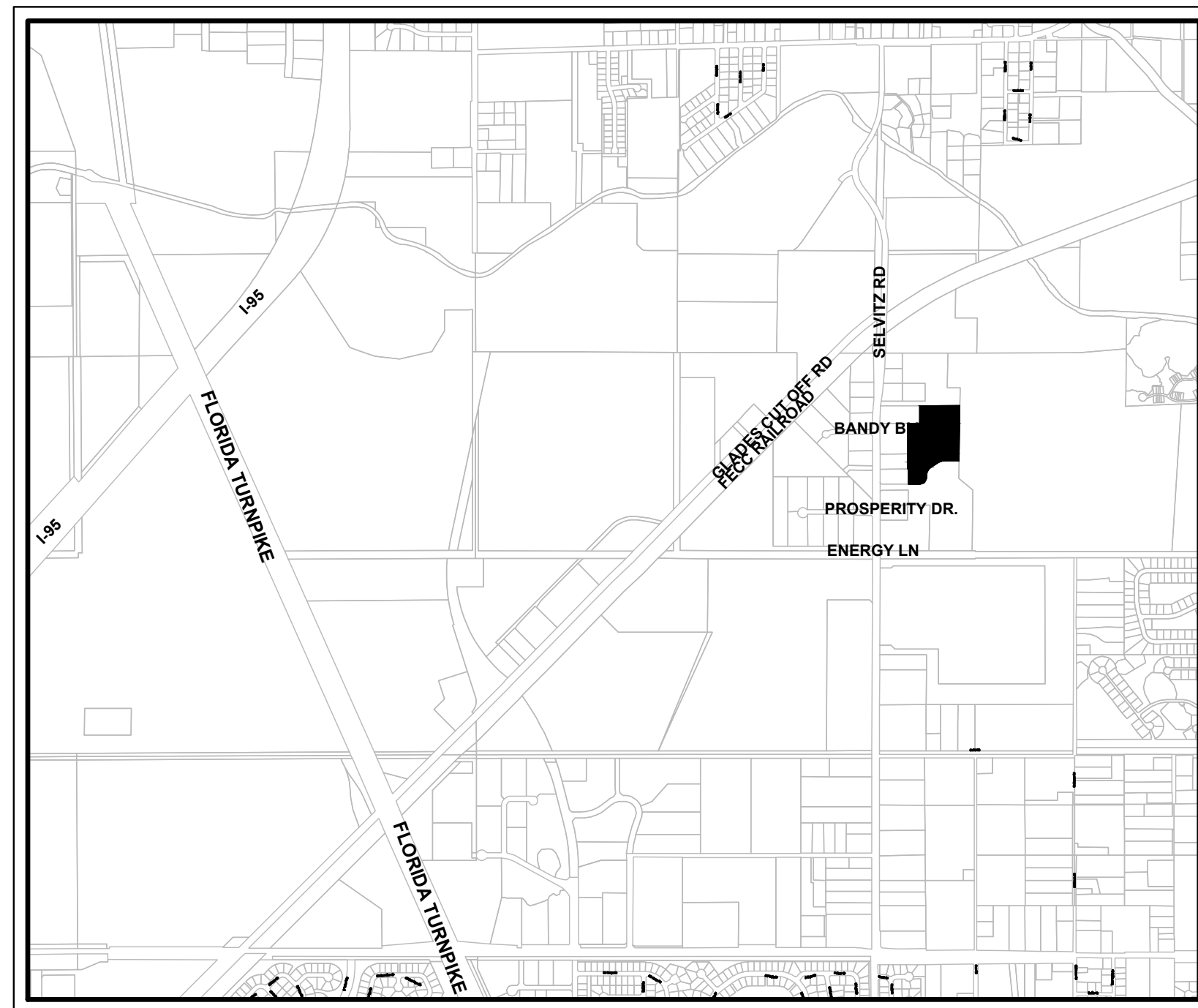
4060 SELVITZ RD

IN

SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST
ST. LUCIE COUNTY, FLORIDA

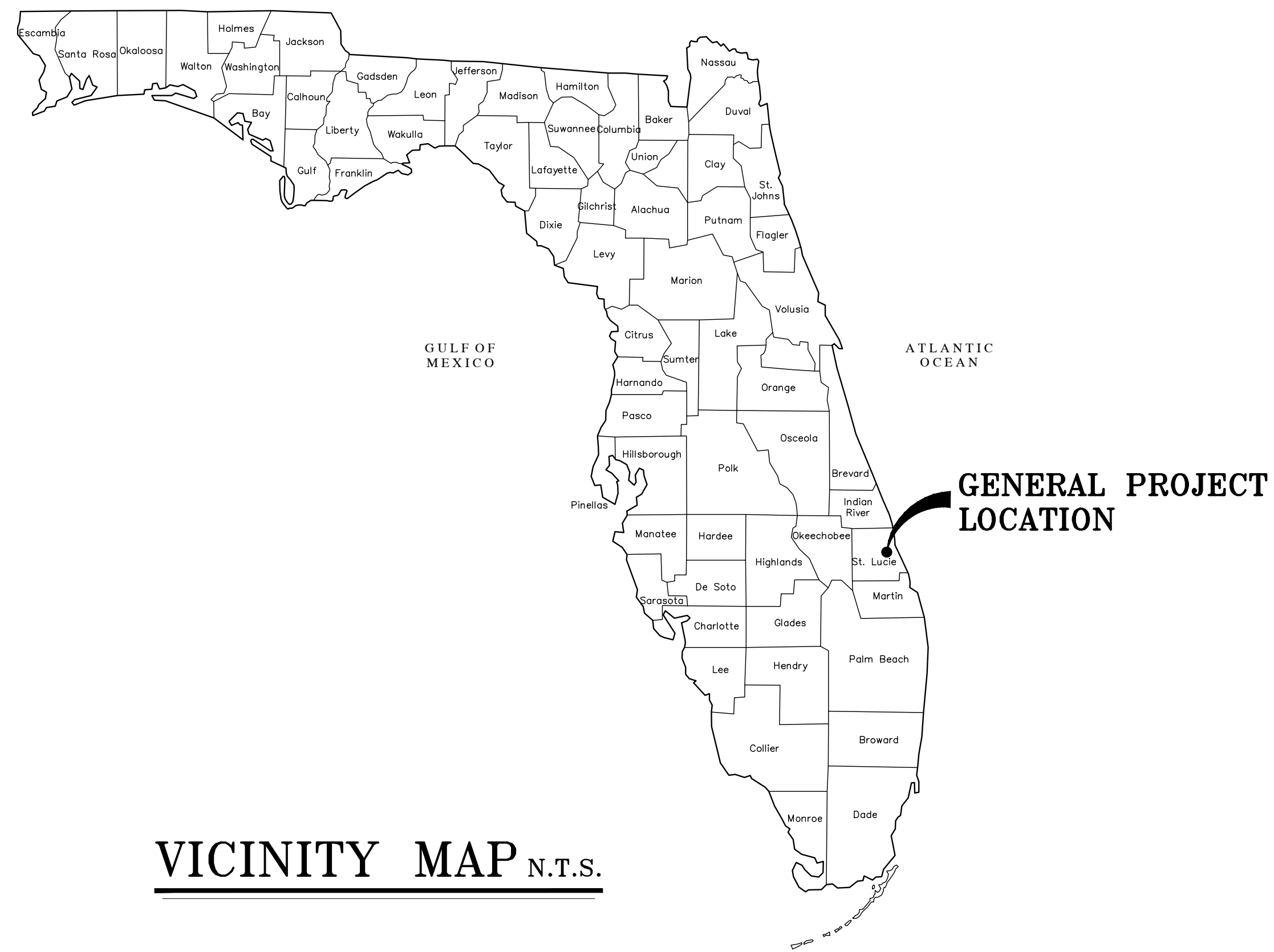
PREPARED FOR

CENTRAL CIVIL CONSTRUCTION



LOCATION MAP N.T.S.

SECTION 32 TOWNSHIP, 35 SOUTH, RANGE 40 EAST



VICINITY MAP N.T.S.

GENERAL NOTES

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3-6	SITE PLAN

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REVISIONS	
SHEET NO.	DATE

SUBMITTAL DATE: 4/25/2024

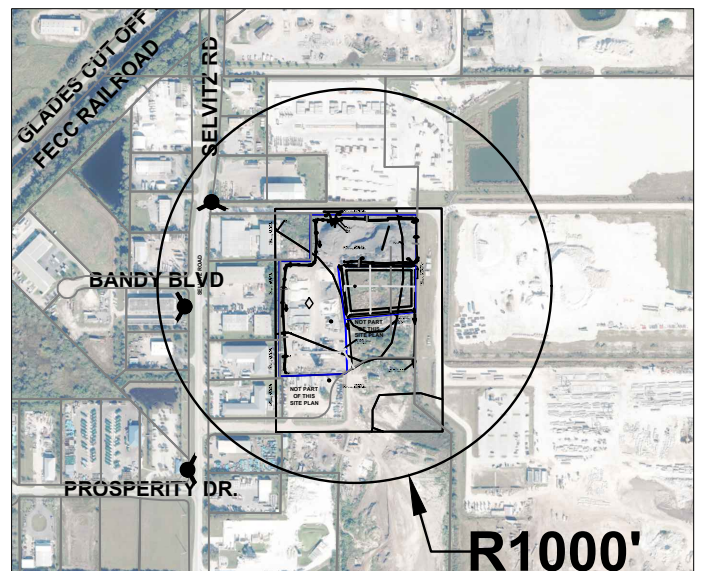
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THOMAS J. DEGRACE, P.E. FL. REG. NO. 42354

PID: 2432-221-0002-000-6
GEORGE L. SOUTHWORTH (TR)

NW 1/4 SECTION 32-35-40



SELVITZ ROAD

PID: 2432-223-0002-000-2
ADVANCED MACHINE & TOOL, INC.

PID: 2432-223-0003-000-9
SELVITZ ROAD PROPERTY, LLC

PID: 2432-232-0001-000-3
CLEAN SLADE LLC

PID: 2432-232-0002-000-0
CLEAN SLADE LLC

SHEET 3

SHEET 4

SHEET 5

NOT PART OF THIS SITE PLAN SHEET 6

NOT PART OF THIS SITE PLAN

FOUND 4"x4" CONC MONUMENT "PRM LB 8158"
S. 0.08'
E. 0.22'

PID: 2432-501-0001-000-8
S E HOLDINGS, INC.

FOUND 4"x4" CONC MONUMENT "PRM LB 3300"
W. 0.2'

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PRECAST SPECIALITIES LLC

SITE DATA TABLE

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Fort Pierce, FL 34981
Phone: 772-465-1122

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Phone: 772-955-1744

Engineer:
Culpepper & Terpening, Inc.
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Surveyor:
Betty Lindsay
7953 SW Jack Jamer Dr
Fort Pierce, FL 34997
Phone: 772-286-5753
Fax: 772-286-5933

Landscape Architect:
Cotter & Hearing
1934 Commerce Lane
Jupiter, FL 33458
Phone: 561-747-6336
Fax: 561-747-1577
www.cotterandhearing.com

- Project Name:**
Central Asphalt Plant
- Location:**
The project site is located east of Selvitz Rd at 4060 Selvitz Rd between Bandy Blvd and Prosperity Dr.
- Project Description:**
325,937 SF leased industrial site with existing parking plant with a 84,564 SF dry detention pond within 556,073 SF Property
- Sec/Town/Range:** Section 32, Township 35 South, Range 40 East
- Tax Map ID:** 34/20N
- Parcel ID Numbers:** 2432-223-0004-000-6
- Gross Site Area:** 9.42 acres, 410,501 sq feet
- Zoning:** IL-3 Heavy Industrial, 9.42 acres
- Land Use:** HI Heavy Industrial, 9.42 acres
- Site Density/Intensity:** N/A
- Development Schedule/Phase 1:**
Start: Fall 2024
Complete: Winter 2024
- Flood Zone:**
The project site is located in Flood Zone X (Area With Reduced Flood Risk), according to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map Number 12111C0188K eff. 2/19/2020
- Site Coverage:**

Existing Site Facilities (2024)	acreage	sq feet	% of site	FAR ¹
Buildings (all types)	0.00		0.0	0.000
Roadways/Parking	0.45	19,806	4.8	N/A
Other Impervious	0.18	7,795	1.9	N/A
Total Impervious	0.63	27,601	6.7	
Open Space/Landscape/Future Dev.	8.79	382,900	93.3	N/A
Lakes & Retention (dry)	0.00		0.0	N/A
Total Site Area	9.42	410,501	100	

Proposed Site Addition (areas of addition only)	acreage	sq feet	% of site	FAR ¹
Buildings (all types)	0.00		0.0	0.000
Roadways/Parking	0.04	1,717	0.4	N/A
Other Impervious	0.00		0.0	N/A
Total Impervious	0.04	1,717	0.0	
Open Space/Landscape	0.00		0.0	N/A
Lakes/Retention (dry)	1.94	84,564	20.6	N/A
Preserve Area	0.00		0.0	N/A
Total Site Area	1.98	86,281	0.0	

Total Site ²	acreage	sq feet	% of site	FAR ¹
Buildings (all types)	0.01	332	0.1	0.001
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1) All areas are approximate and subject to change as part of final construction plans.
2) Existing Site Facilities (2023) represent existing site conditions & Proposed Site Addition represents site area
3) FAR coverage based on total bldg sq ft / gross lot area.
- Parking Expansion Area**

Building Area	SP/1000	Total Required	Provided	Handicap parking
0	N/A	N/A	2	1
- Building Hgt.:**
Maximum Building Hgt. 50'
Containment Tank Max. Hgt. 35'
Proposed Equipment Hgt. (max) 35'-6"
- Building setbacks/spacing (Min. Industrial):**
Front (as measured from Selvitz Road) Required 25.0 ft, Provided N/A
Side 10.0 ft, Provided N/A
Rear (as measured from east property line) 25.0 ft, Provided N/A
- Utility Service:**
Water Service (Utility) FPUA
Sewage Service (Utility) FPUA
Re-Use Water (Utility) N/A
Electric Service (backbone) FPUA
Telcom Service (backbone) ATT
Cable Service (primary) Comcast
All utility services will be placed underground.
- Refuse Collection:**
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The subject site will be drained through a swale collection system, flowing into a proposed lake and outfall to NSLRWCD Canal # 102 via a control structure.

THOMAS J. DEGRACE, P.E. FL REG. NO. 42354

NOTES:
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COMPUTER FILE REF.	FIELD BK./PG.

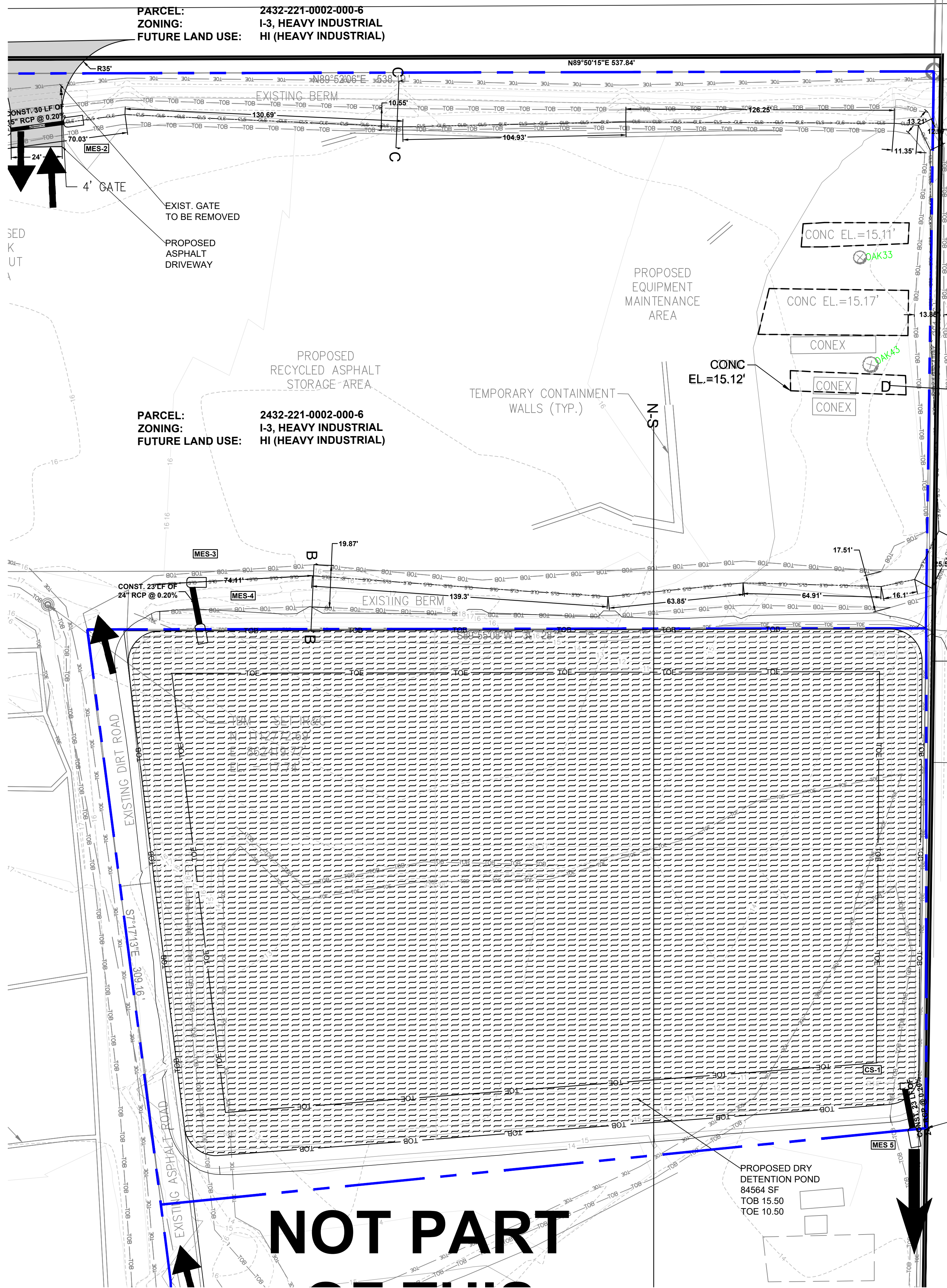
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2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981
PHONE 772-464-3537 • FAX 772-464-9497 • www.ct-eng.com
STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

- REVISIONS -		BY	DATE

DESIGNED	BY	DATE
	EAC	2/17/24
	CALCS.	
	DRAWN	EAC 2/17/24
	Detailed	
	Checked	
	Approved	

CENTRAL ASPHALT PLANT
MASTER SITE PLAN

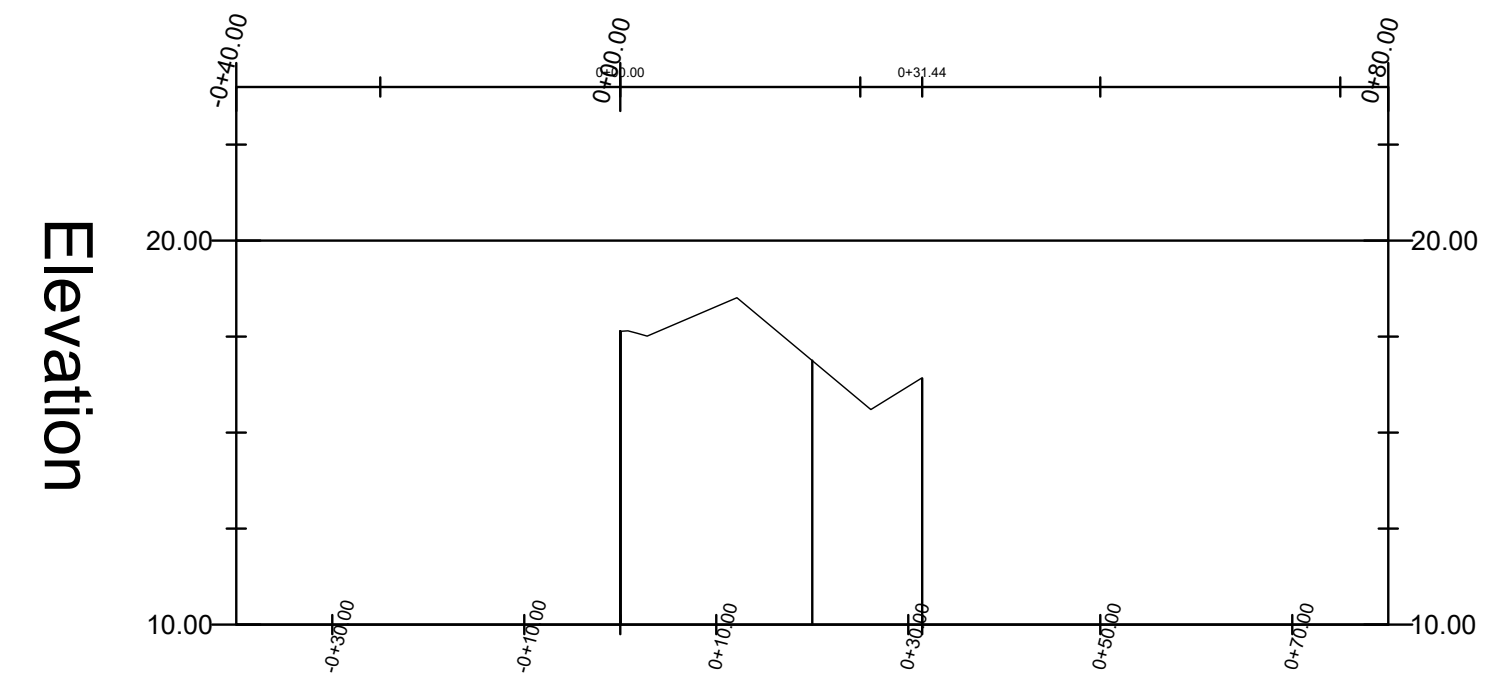
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VERT. SCALE: 1"=60'
JOB No. 23-176
SHEET 2 of 6



B-B

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V. SCALE: 1"=5'

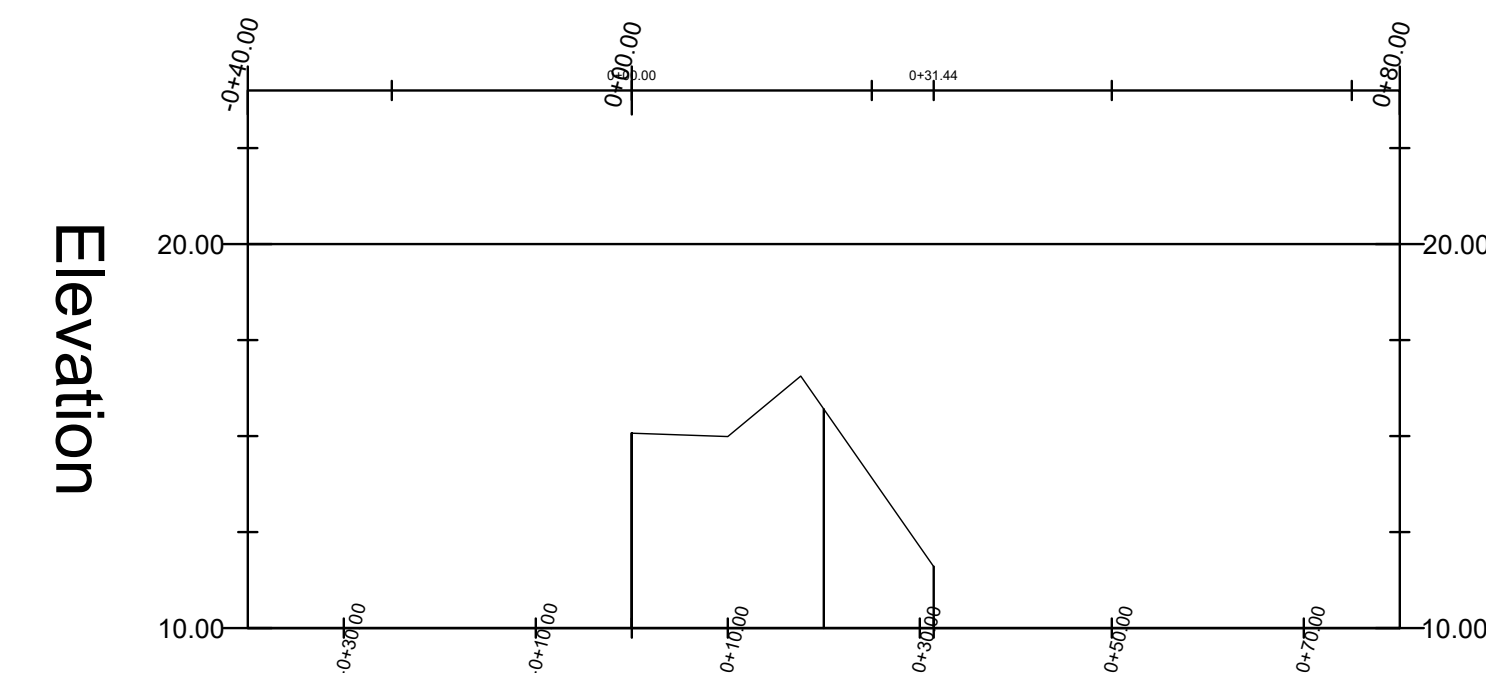
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C-C

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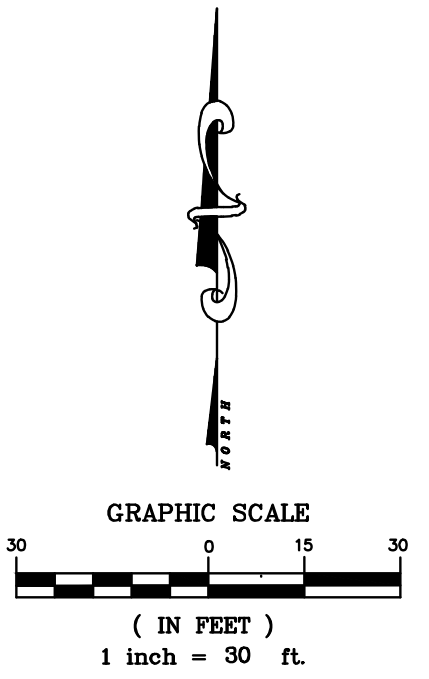
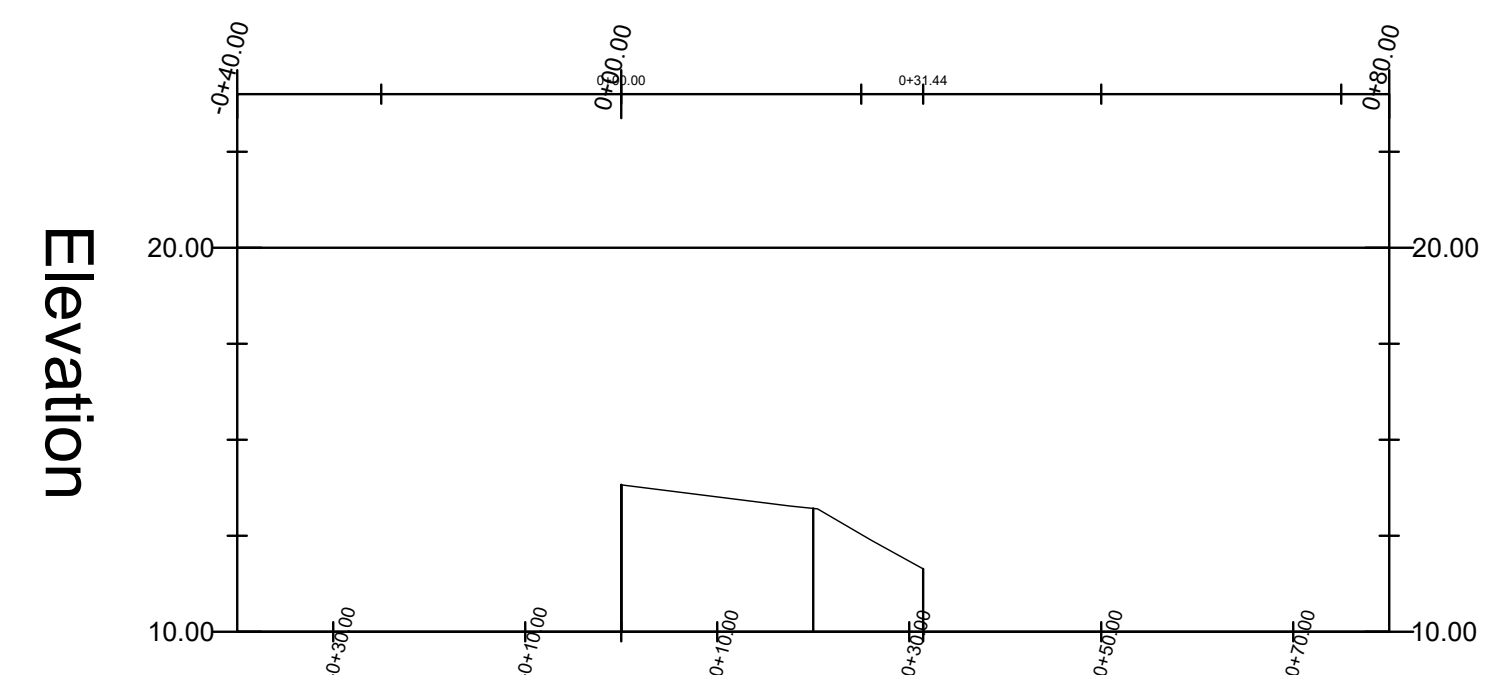
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D-D

H. SCALE: 1"=20'
V. SCALE: 1"=5'

Station



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NOTES:
1) ALL ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.

COMPUTER FILE REF.	FIELD BK./PG.

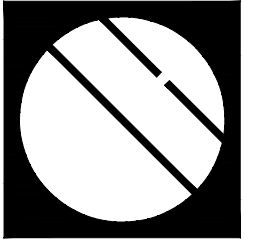
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CALCS.		
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APPROVED		

CENTRAL ASPHALT PLANT
SITE PLAN

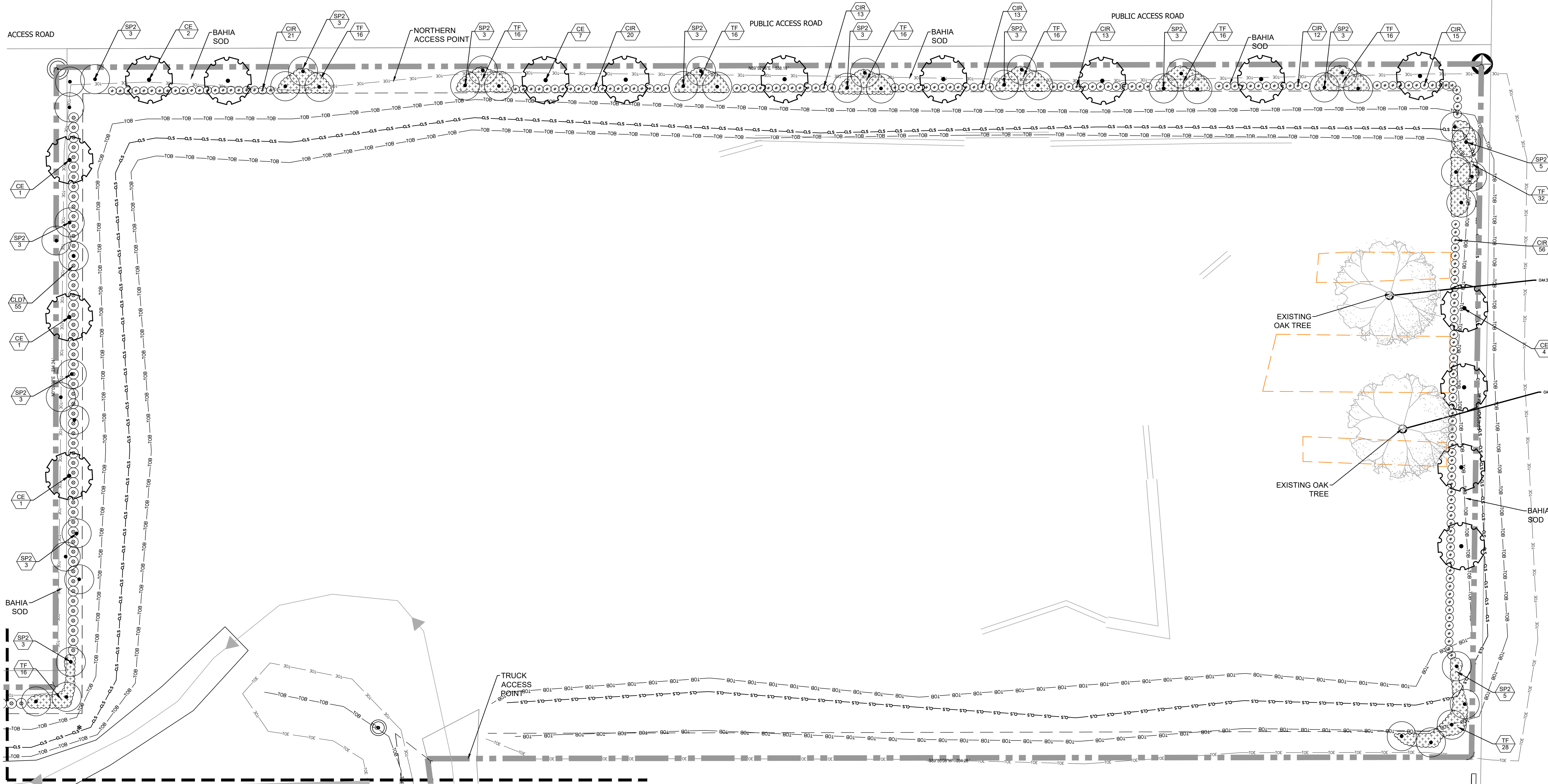
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 SHEET 4 of 6



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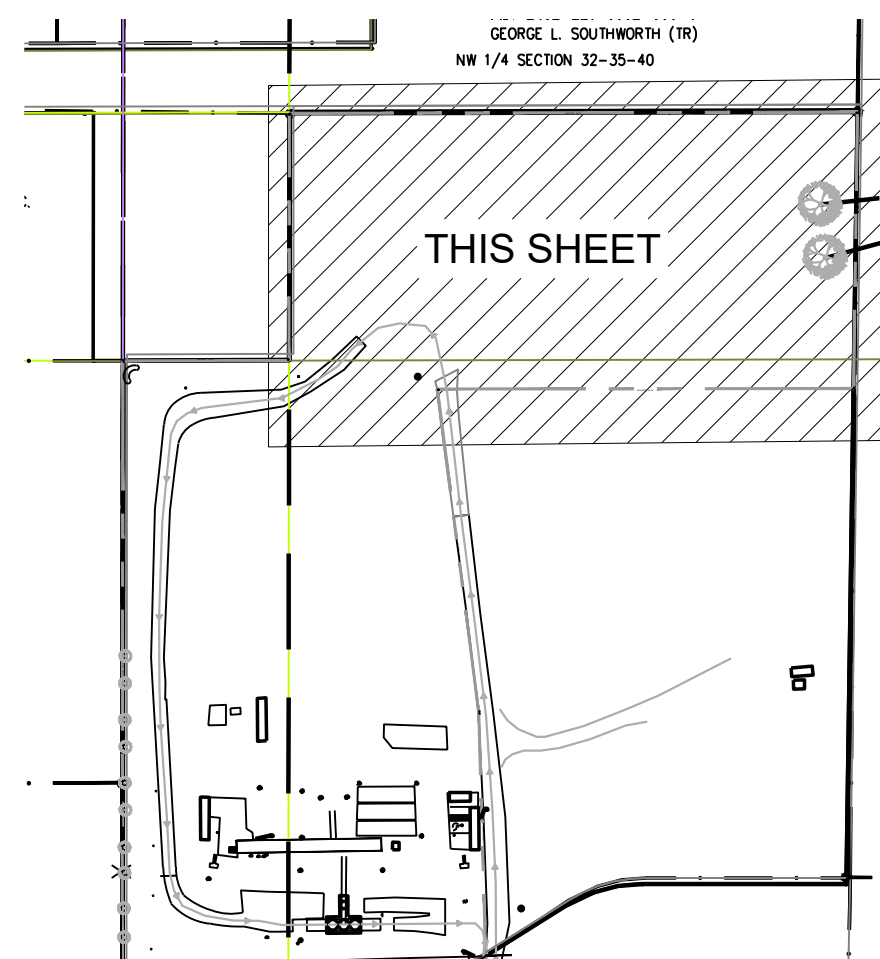
4060 SELVITZ ROAD City of Fort Pierce St Lucie County, Florida



MATCHLINE
SEE SHEET 2

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KEY MAP

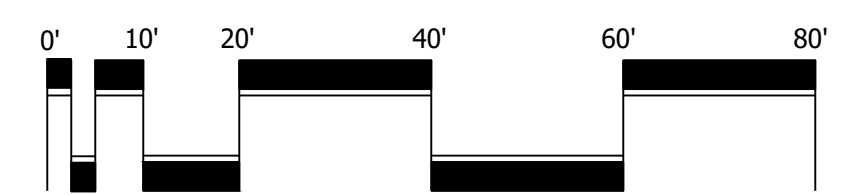


SITE RETENTION/ DRAINAGE AREA

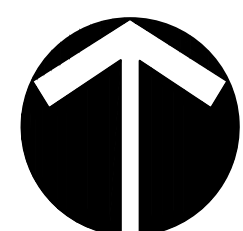
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48 HOURS BEFORE DIGGING
CALL TOLL FREE
811
SUNSHINE STATE ONE CALL
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Landscape Plan



Scale: 1" = 20'-0"



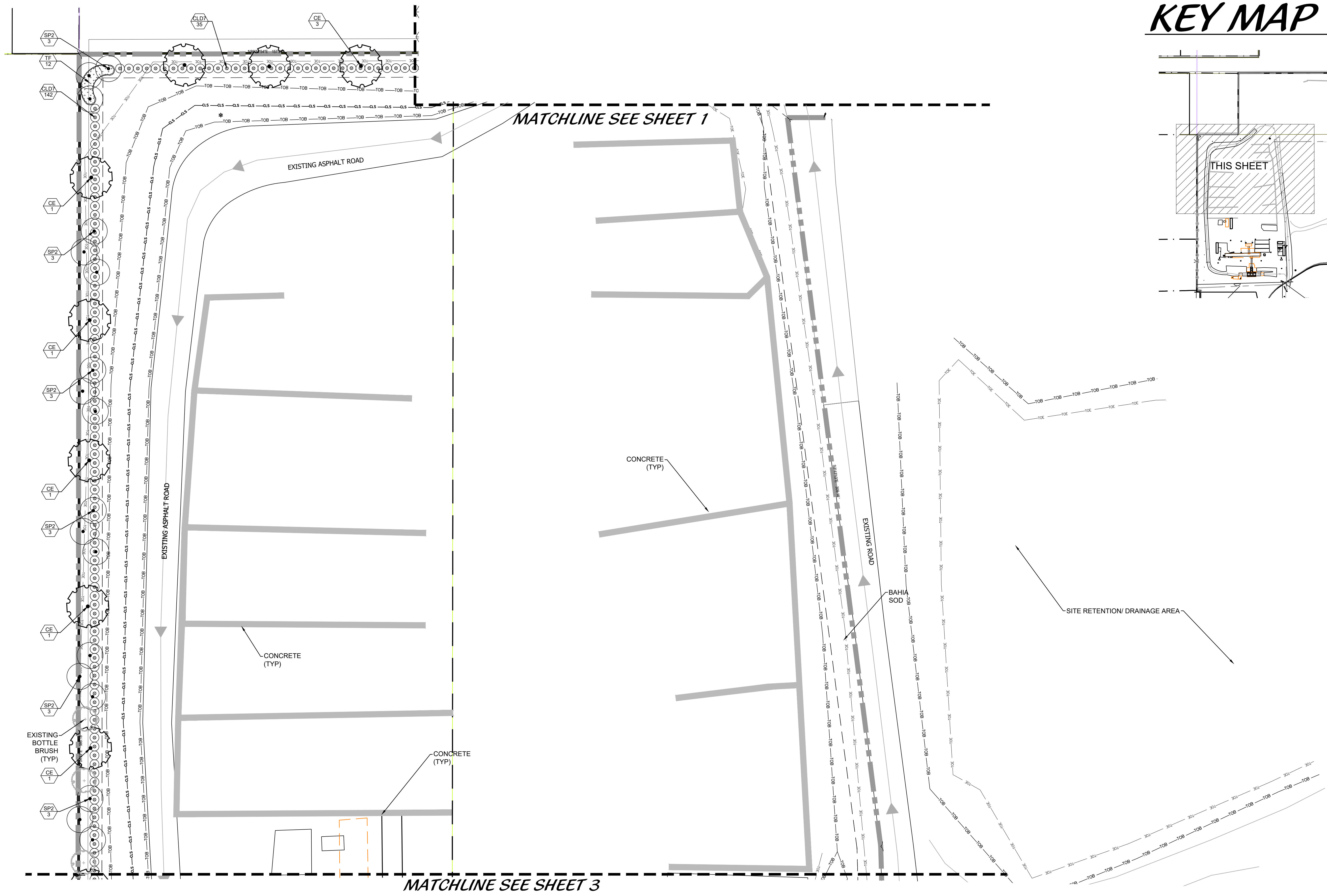
North

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APPROVED	RC
JOB NUMBER	20-0521
DATE	06/19/20
REVISIONS	02-27-24

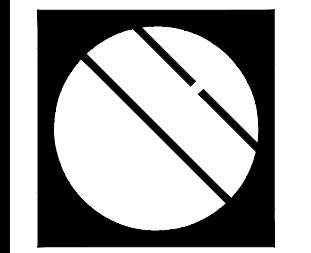
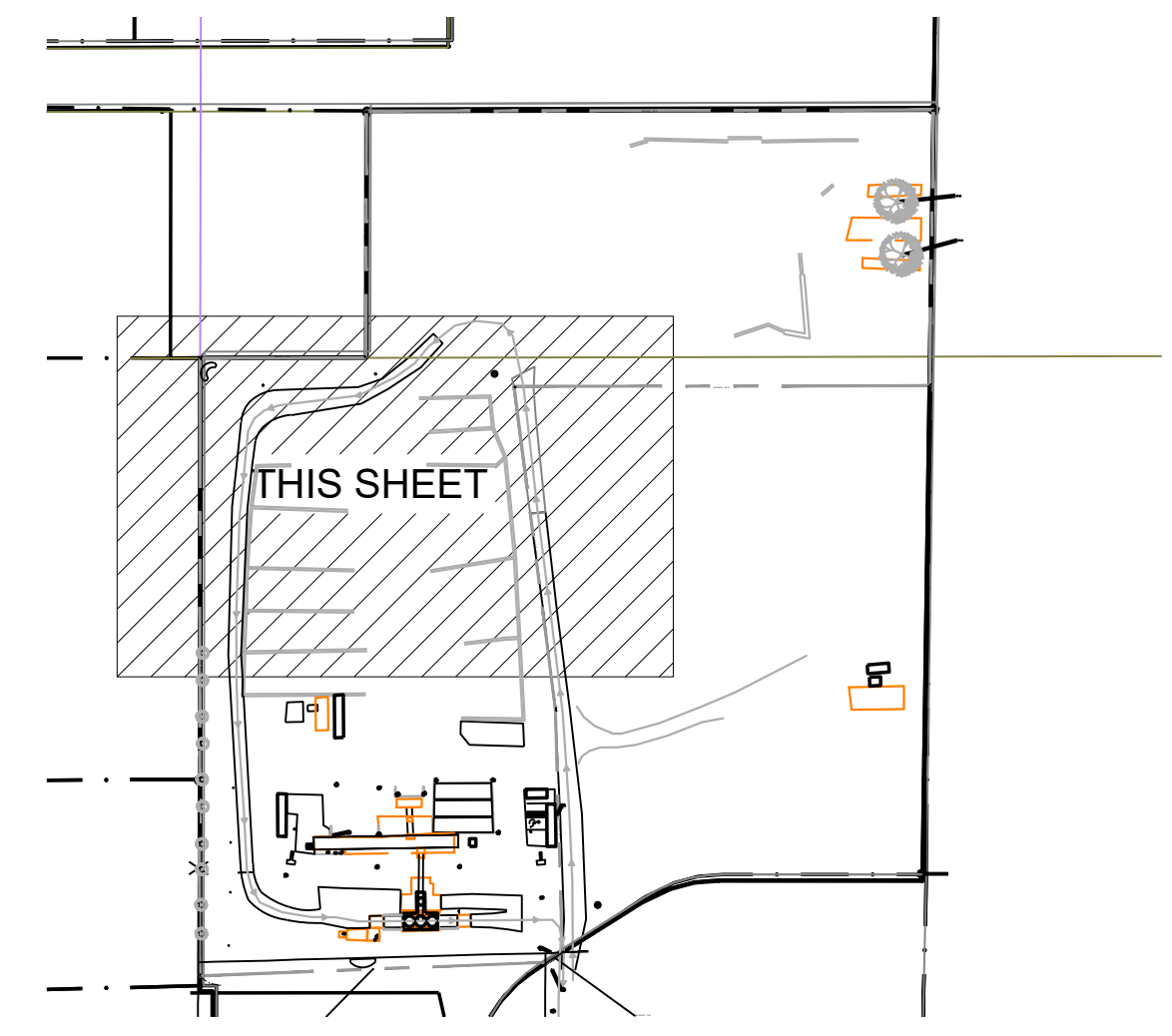
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SHEET 1 OF 4

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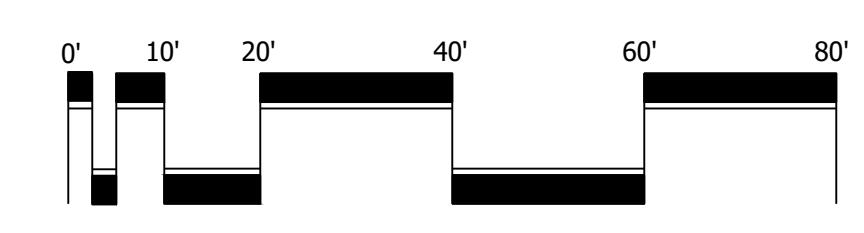
KEY MAP



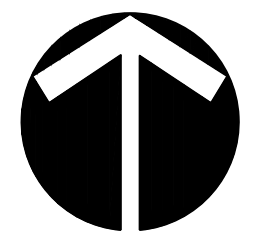
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4060 SELVITZ ROAD
 City of Fort Pierce
 St Lucie County, Florida

Landscape Plan



Scale: 1" = 20'-0"



North

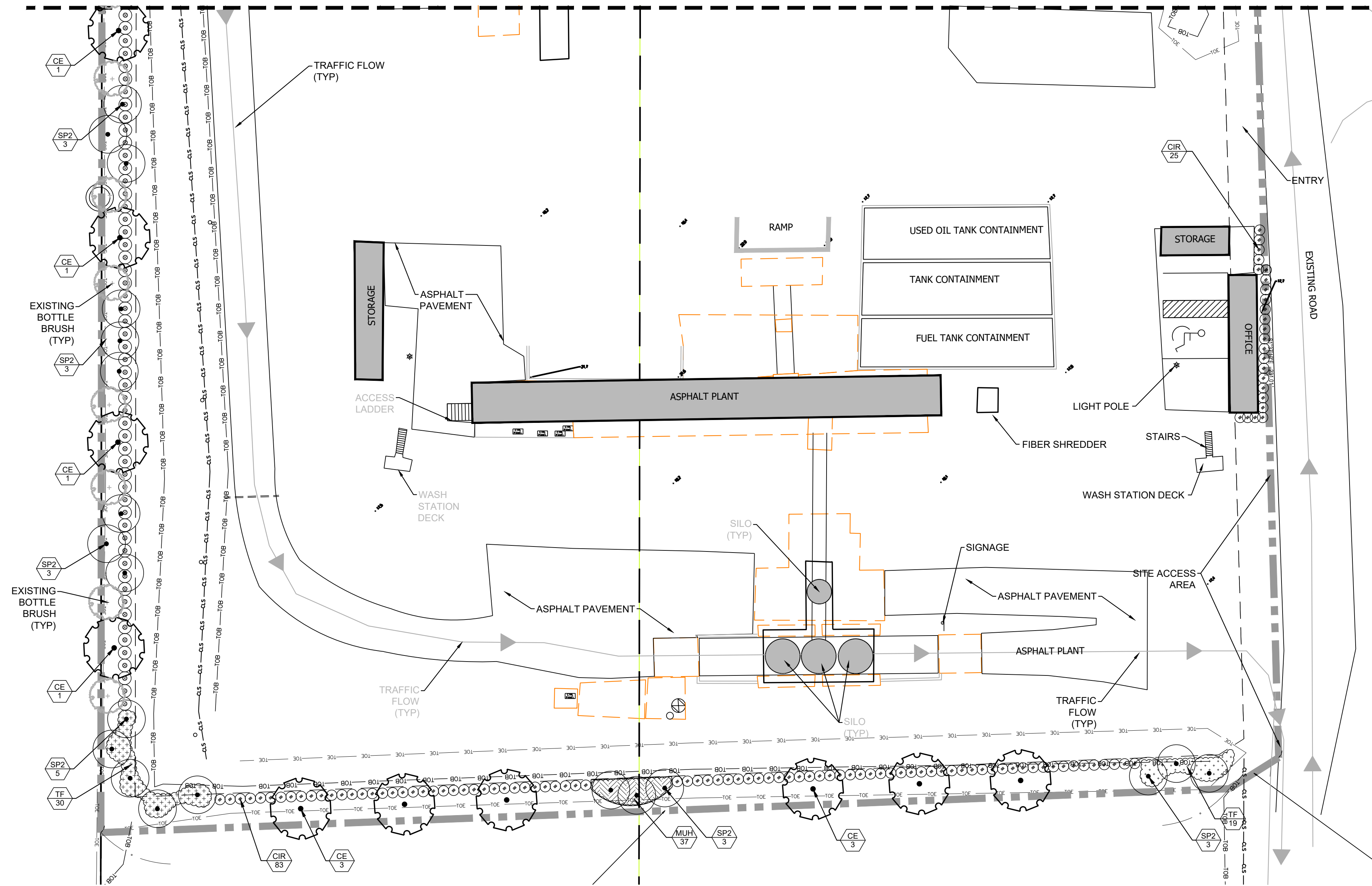
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JOB NUMBER	20-0521
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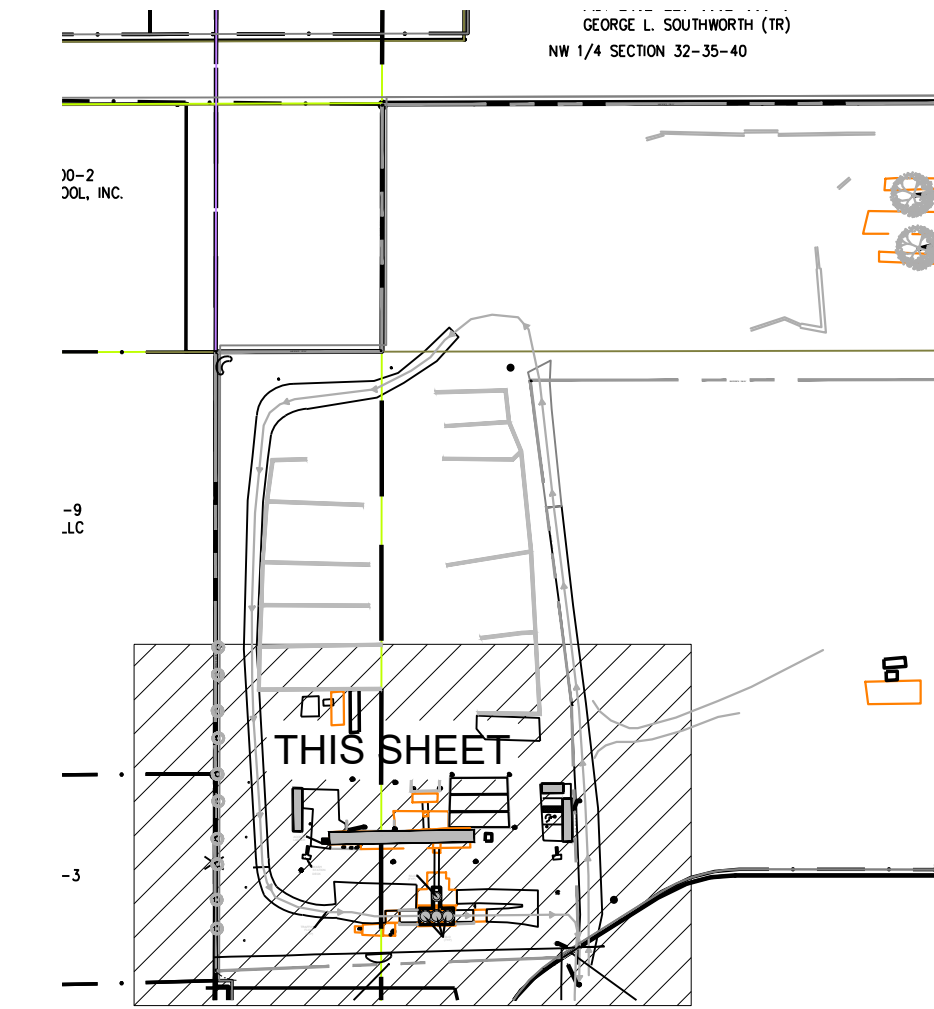
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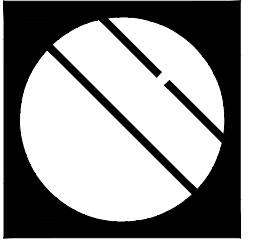
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Key Map



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SHEET 3 OF 4

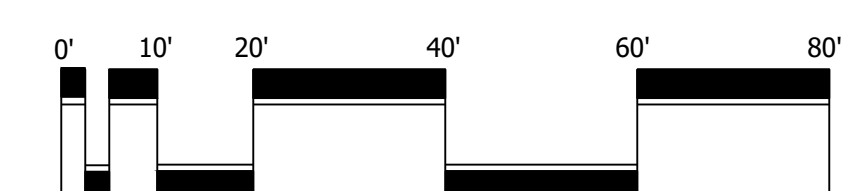
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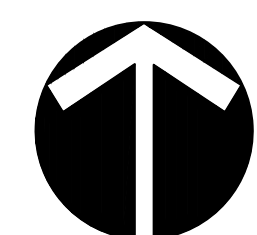
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SUNSHINE STATE ONE CALL
 OF FLORIDA, INC.

Landscape Plan



Scale: 1" = 20'-0"



North

LANDSCAPE NOTES

ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY FLORIDA GRADES AND STANDARDS LATEST EDITION.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF FORT PIERCE LAND DEVELOPMENT REGULATIONS. THE CITY OF FORT PIERCE LANDSCAPE REQUIREMENTS (LDRs) SHALL GOVERN IN THE EVENT OF A CONFLICT.

VEGETATION REMOVAL PERMITS ARE REQUIRED PRIOR TO REMOVING, CLEARING OR STRIPPING ANY VEGETATION FROM THE PROPERTY.

AT THE TIME OF BUILDING PERMIT, THE APPLICANT SHALL EXECUTE HOLD HARMLESS AGREEMENTS WITH ALL APPLICABLE UTILITIES FOR LANDSCAPING WITHIN UTILITY EASEMENTS.

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS AND/OR CHANGES WITHOUT THE AUTHORIZATION OF THE CITY OF FORT PIERCE, THE OWNER AND THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE AND UTILITY PLANS PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

THE CONTRACTOR SHALL COORDINATE THE PLANTING AND TRIMMING OF STREET TREES TO ENSURE FULL VISIBILITY TO TRAFFIC CONTROL AND SAFETY SIGNAGE.

TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SIGNAGE AND SITE LIGHTING. LARGER TREES WILL BE PROVIDED AT INTERSECTIONS WHERE DEEMED NECESSARY.

ALL VEGETATION SHALL BE SELECTED AND POSITIONED SO THAT IT DOES NOT PRESENT OBSTRUCTIONS TO THE LINE OF SIGHT AT INTERSECTIONS

ALL ABOVE GROUND UTILITIES (I.E. TRANSFORMERS, SWITCH BOXES, AC CONDENSERS AND ALIKE SHALL BE FULLY SCREENED FROM VIEW ON THREE SIDES WITH LANDSCAPING. THE LANDSCAPING SHALL TO THE FALLEST POINT OF SAID EQUIPMENT AT TIME OF PLANTING.

ALL TREES SHALL BE LOCATED WITHIN A MULCH PLANTING BED WITH A MINIMUM OF TWO (2) FEET OF CLEARANCE TO THE EDGE OF THE BED.

ALL SOD SHALL BE BAHIA SOD.

TREES WITHIN PLANTING ISLANDS LESS THAN FIVE (5) FEET IN WIDTH SHALL BE LOCATED TO AVOID CONFLICTS WITH THE OVERHANG OF VEHICLES.

TREES AT ENTRANCE WAYS AND WITHIN SIGHT TRIANGLES SHALL BE TRIMMED IN SUCH A FASHION TO MINIMIZE SITE VISIBILITY CONFLICTS. CLEAR VISIBILITY SHALL BE MAINTAINED BETWEEN 30 INCHES AND 7 FEET TEN FOOT BY THIRTY FOOT SIGHT VISIBILITY TRIANGLES SHALL BE PROVIDED AT THE INTERSECTIONS WITH THE PUBLIC RIGHT OF WAY. IN ADDITION ALL LANDSCAPING SHALL CONFORM TO THE REQUIREMENTS OF FOOT INDEX 546.

EARTH BERMS SHALL NOT EXCEED A 3:1 SLOPE 4:1 SLOPES OR GREATER ARE PREFERABLE.

ALL TREES PLANTED UNDER OR ADJACENT TO FPL POWER LINES WILL COMPLY WITH THE FPL RIGHT TREE IN THE RIGHT PLACE GUIDELINES (REV. 3/05)

PERIMETER TREES AT THE TIME OF PLANTING SHALL BE SPACED IN A WAY THAT COMPLEMENTS THE SPACING OF ANY EXISTING TREES ON ADJACENT DEVELOPED AREAS.

ALL LANDSCAPE ISLANDS AND BEDS SHALL BE FREE FROM SHELL ROCK AND CONSTRUCTION DEBRIS, EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN NATIVE SOILS AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE.

ALL LANDSCAPE ISLANDS SHALL INCORPORATE THE INSTALLATION OF MOUNDING OF NATIVE SOILS A MINIMUM OF SIX INCHES (6") ABOVE THE TOP OF CURB.

19" BUI BARRIER ROOT BARRIER SHALL BE PROVIDED FOR SHADE TREES PLANTED WITHIN SIX (6) FEET OF PUBLIC CURBS, SIDEWALKS OR PUBLIC RIGHT OF WAYS. ALL ROOT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. THE TOTAL LENGTH OF THE ROOT BARRIERS SHALL BE 20' ADJACENT TO THE SIDEWALK AND 20' ADJACENT TO THE CURB.

PERMANENT, FULLY AUTOMATIC IRRIGATION IS NOT PROPOSED FOR THIS PROJECT. APPROPRIATE WATERING SHALL BE PROVIDED DURING THE PLANT ESTABLISHMENT PERIOD.

CATCH BASINS AND DRAINAGE SHALL NOT BE LOCATED WITH IN REQUIRED PERIMETER BUFFERS OR PRESERVE AREAS.

SHOULD IT BE REQUIRED, EXISTING TREES AND VEGETATION TO REMAIN SHALL BE STAKED AND BARRICADED PRIOR TO ANY LAND CLEARING. TREES TO BE RELOCATED SHALL BE ROOT PRUNED AND PROTECTED DURING CONSTRUCTION.

ANY AREA DESIGNATED WITH EXISTING VEGETATION TO REMAIN THAT IS DISTURBED DURING CONSTRUCTION WILL BE RESTORED WITH NATIVE PLANTINGS.

EXISTING TREES PRESERVED OR RELOCATED ON SITE SHALL BE PRUNED ACCORDING TO ANSI A300 STANDARDS OR BY AN ISA CERTIFIED ARBORIST.

ALL EXISTING LANDSCAPING AND TREES TO REMAIN SHALL BE BARRICADED WITH ORANGE CONSTRUCTION BARRICADE. THE BARRICADE SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE/PALM OR AT THE EDGE OF THE SHRUB MASS. BARRICADES SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.

EXISTING, SUITABLE NATIVE VEGETATION LOCATED WITHIN THE PROPOSED DEVELOPMENT AREAS SHALL BE RELOCATED TO SUPPLEMENT THE LANDSCAPING. NATIVE VEGETATION SHALL BE RELOCATED BY TREE SPADE OR CRANE. PRIOR TO THE CLEARING OF THE SITE THE APPLICANT SHALL IDENTIFY ALL NATIVE VEGETATION TO BE RELOCATED.

RELOCATION METHODOLOGY: EXISTING NATIVE VEGETATION DETERMINED TO BE SUITABLE FOR RELOCATION SHALL BE RELOCATED TO TARGET AREAS USING HYDROLOGIC TREE SPADES. THE SIZE OF SPADE SHALL VARY FROM 90" TO 45" DEPENDING ON THE SIZE AND TYPE OF VEGETATION TO BE MOVED. THE APPLICANT SHALL IDENTIFY PRIOR TO THE CLEARING OF THE SITE ALL EXISTING NATIVE VEGETATION TO BE RELOCATED. FOLLOWING RELOCATION, VEGETATION SHALL BE WATERED DAILY FOR A PERIOD NOT LESS THAN 90 DAYS AFTER WHICH IT SHALL BE WATERED ON AN AS NEEDED BASIS TO INSURE SURVIVAL. AT A MINIMUM THE APPLICANT SHALL INSURE 60% SURVIVAL FOR ALL RELOCATED PLANT MATERIAL.

PLANT LIST

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	LOW MAINT	REMARKS
TREES									
CE	34	CONOCARPUS ERECTUS	GREEN BUTTWOOD	30 GAL. OR F.G.	2.5" CAL	12' O.A.	Y		FULL CANOPY
SP2	84	SABAL PALMETTO	SABAL PALMETTO	N.A.	N.A.	10', 14', 18' CT STGG	Y	Y	SLICK, STRAIGHT TRUNK.
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	LOW MAINT	REMARKS
SHRUBS									
CIR	271	CHRYSOBALANUS ICACO `RED TIP`	RED TIP COCOPLUM	3 GAL	2' X 2'	2' O.C.	Y		FULL
CLD7	232	CLUSIA GUTTIFERA	CLUSIA	7 GAL	3'-4' HT X 3' SPRD	36" O.C.	N		FULL TO BASE, FL #1 OR BETTER
GROUND COVERS									
MUH	37	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL	24" X 24"	24" O.C.	Y		FULL & THICK
TF	249	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	3 GAL	24" X 24"	2.5" O.C.	Y		FULL & THICK

LANDSCAPE SPECIFICATIONS

1. GENERAL LANDSCAPE REQUIREMENTS

LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

PLANT SIZE AND QUALITY

TREES, PALMS, SHRUBS, GROUNDCOVERS, PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADING AND STANDARDS FOR NURSERY PLANTS PARTS 1 & 11, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

STANDARD PLANTING MIXTURE SHALL BE ONE (1) PART RECYCLED ORGANIC MATERIAL ADDED TO THREE (3) PARTS EXISTING NATIVE SOIL.

REPLACEMENT SOIL SHALL BE USED AS SPECIFIED TO REPLACE EXISTING SOILS THAT ARE DETERMINED BY THE LANDSCAPE ARCHITECT TO BE UNSUITABLE FOR PLANTING, IE. ROAD BASE, PAVEMENT, ETC.

REPLACEMENT SOIL MIX SHALL CONTAIN 60% SAND AND 40% MULCH. SAND SHALL BE 100% CLEAN NATIVE SAND SCREENED TO 1/4" AND MULCH SHALL BE 100% CLEAN ORGANIC NATIVE MULCH SCREENED TO 1/2". ALL SOIL SHALL BE MIXED PRIOR TO DELIVERY ON SITE.

MULCH SHALL BE SHREDDED MELALEUCA, EUCALYPTUS OR GRADE "A" RECYCLED. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3", EXCEPT AS OTHERWISE NOTED.

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF MILORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAG, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 7% PHOSPHORUS, 12% POTASSIUM, PLUS IRON, ZINC, BORON, AND MANGANESE. (IN 2) GRAM SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHORUS AND 5% POTASSIUM.

FERTILIZER WILL BE APPLIED AT THE FOLLOWING RATES:

PLANT SIZE	16-7-12	AGRIFORM TABLETS (21 GRAM)
1 GAL.	1/4 LB.	1
3 GAL.	3/8 LB.	3
7-15 GAL	1 1/2 LB.	6
1'-4" CALIPER	2 LBS./1" CALIPER	2 PER 1" CALIPER
6" AND LARGER	3 LBS./1" CALIPER	2 PER 1" CALIPER

FLORIDA EAST COAST PALM SPECIAL SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORSEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED OR DECLINED TO THE POINT WHERE THEY NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE. IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED OR DECLINED TO THE POINT WHERE THEY NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR WITHIN 14 DAYS.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

2. PLANTING TREES

EXCAVATE PIT AS PER PLANTING DETAILS.

BACKFILL AROUND BALL WITH STANDARD PLANTING MIXTURE AND SLIGHTLY COMPACT, WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF STANDARD PLANTING MIXTURE BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH EXCEPT WITHIN 6" OF TRUNK.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEAFER.

GUY AND STAKE TREE IN ACCORDANCE WITH THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

3. PLANTING SHRUBS

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS FOR POSITIONING AT PROPER HEIGHT. BACKFILL AROUND PLANTS WITH STANDARD PLANTING MIXTURE. COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH EXCEPT WITHIN 3" OF STEMS.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

4. PLANTING GROUND COVER

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

5. PLANTING LAWNS

SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED STANDARD PLANTING MIX TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS, DO NOT OVERLAP, STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED STANDARD PLANTING MIXTURE INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SOLOED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

6. MISCELLANEOUS LANDSCAPE WORK

LANDSCAPE MAINTENANCE

MAINTAIN LANDSCAPE WORK UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL.

PLANT MATERIAL SUBSTITUTION

NO SUBSTITUTION OF PLANT MATERIAL, TYPE OR SIZES WILL BE PERMITTED WITHOUT AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.

PLANTING BED PREPARATION

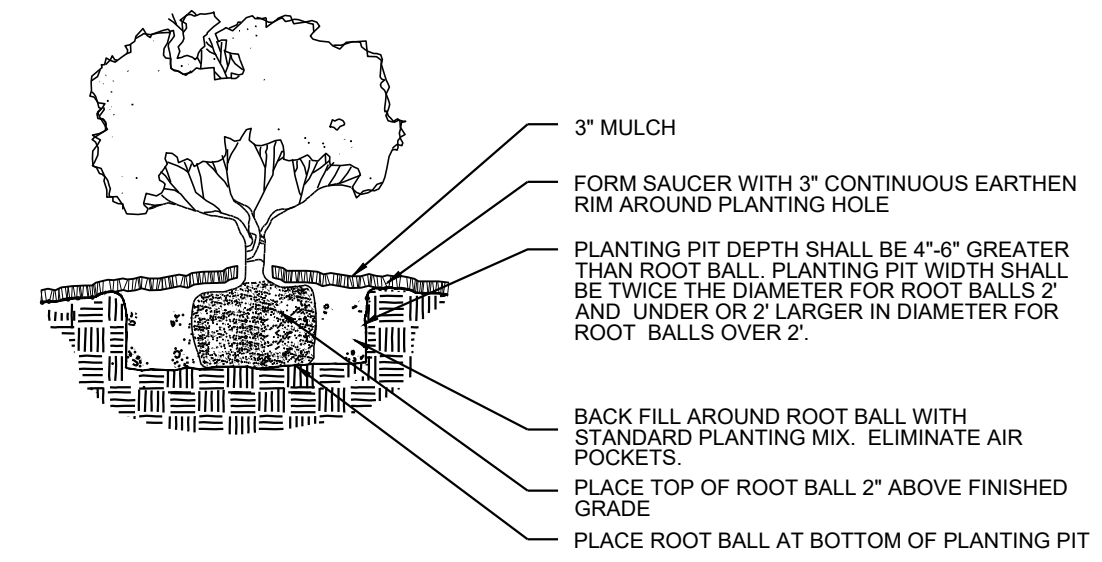
ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (Panicum Repens) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN, NATIVE SOIL AND FILLED WITH THE SPECIFIED REPLACEMENT SOIL.

LANDSCAPE WARRANTY

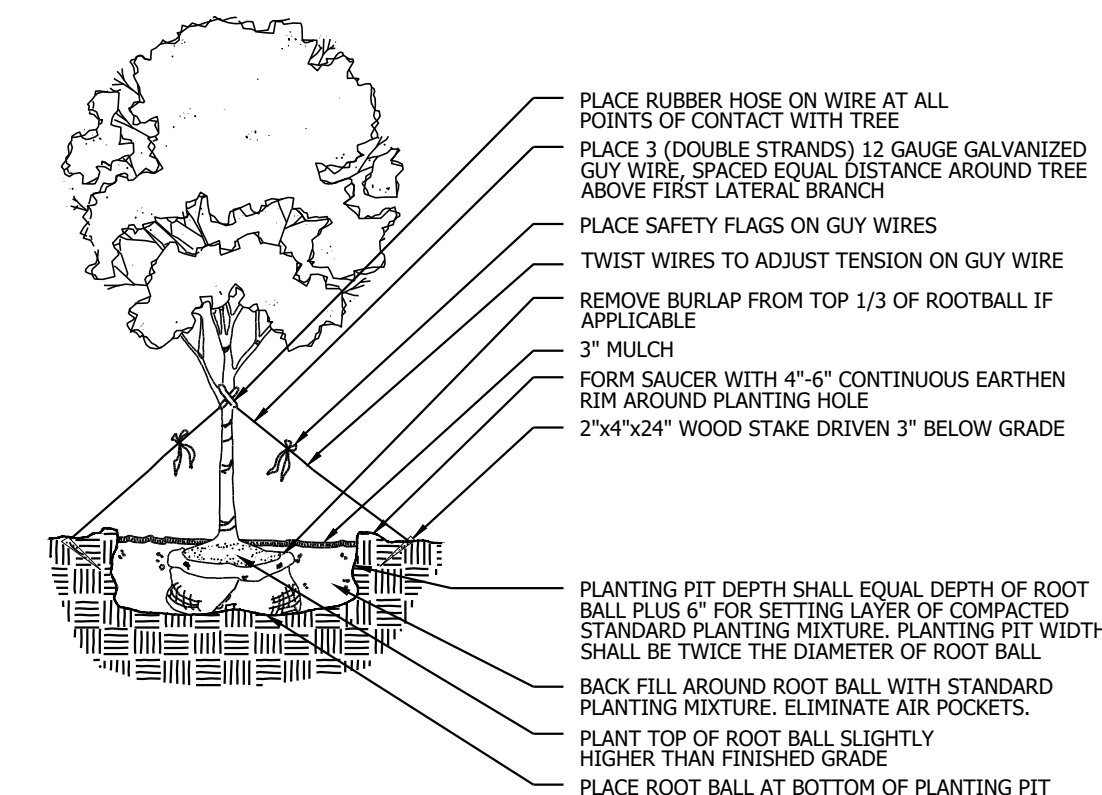
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE. IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED OR DECLINED TO THE POINT WHERE THEY NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

PLANTING DETAILS



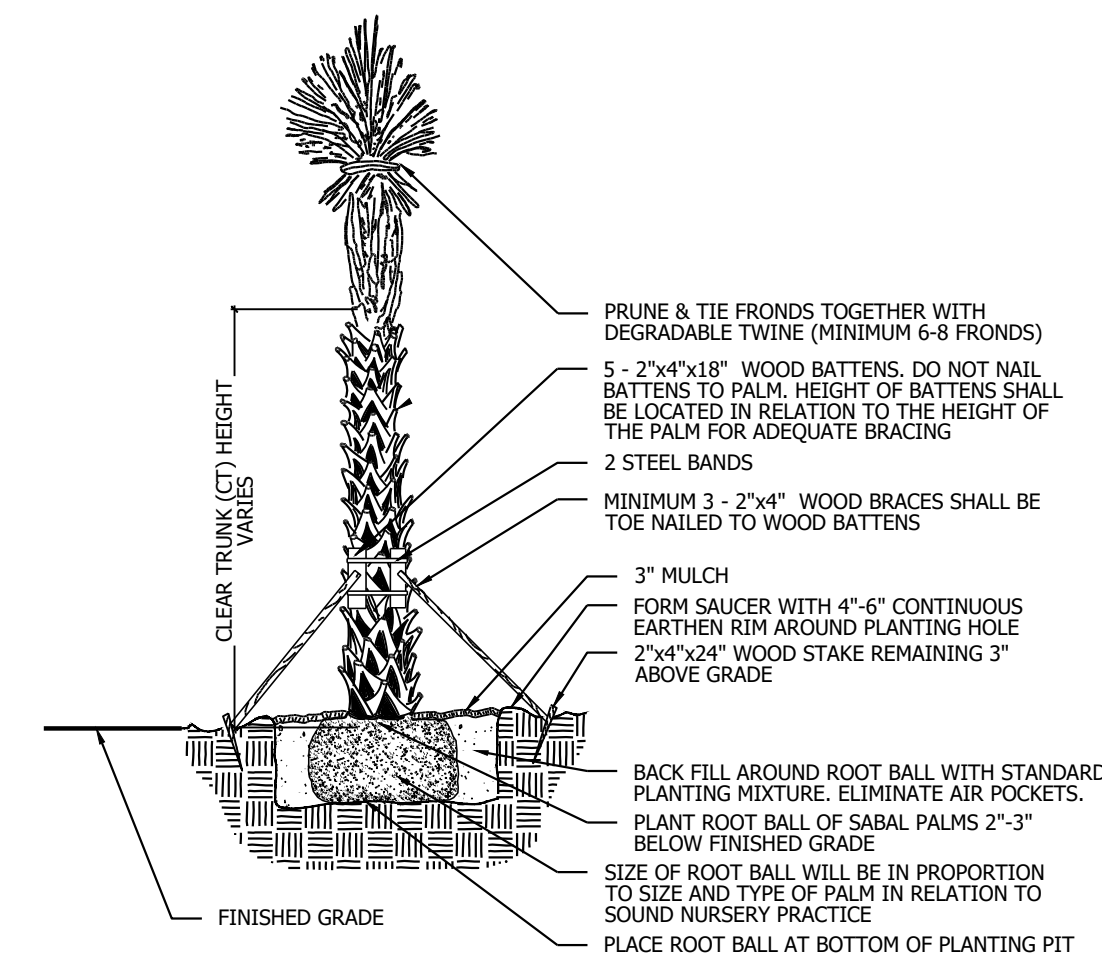
SHRUB/GROUNDCOVER PLANTING DETAIL

NTS



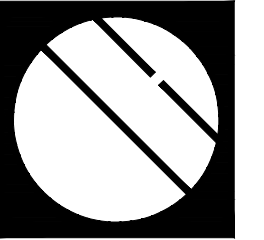
LARGE TREE PLANTING DETAIL

NTS



PALM PLANTING DETAIL

NTS



Cotleur & Hearing

Landscape Architects
Land Planners
Environmental Consultants
1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561.747.6336 · Fax 747.1377
www.cotleurhearing.com

Lic# LC-C000239

4060 SELVITZ ROAD
 City of Fort Pierce
 St Lucie County, Florida

DESIGNED _____ AGB
 DRAWN _____ AGB
 APPROVED _____ AGB
 JOB NUMBER _____ 20-0521
 DATE _____ 06-19-20
 REVISIONS _____ 02-27-24

February 27, 2024 3:59:57 p.m.
 Drawing: 20-0521-LP.DWG

SHEET 4 OF 4

© COTLEUR & HEARING, INC.
 These drawings are the property of the architect and are not to be used for extensions or on other projects except as agreed in writing with the architect. Immediately report any discrepancies to the architect.

Landscape Details

DETAILED PROJECT DESCRIPTION

4060 SELVITZ ROAD FT. PIERCE, FLORIDA 34981 Asphalt Plant

Approximately 7 acres of the parcel located at 4060 Selvitz Road, Ft. Pierce, Florida 34981 (the “Property”) is leased for the purpose of commercial and industrial uses that comply with all applicable zoning ordinances, building restrictions and regulations (the “Project”).

The purpose of the Project is to operate and maintain a portable¹ asphalt plant to produce hot mix asphalt pavement. The current asphalt plant is certified by the Florida Department of Transportation (“FDOT”) and has been recognized by the State of Florida for producing high quality asphalt for FDOT state highway projects. The asphalt plant is approved as one of FDOT’s Production Facilities. The asphalt plant is capable of producing asphalt for state, county and municipal/local road and airport projects in the region. It is also capable of producing asphalt for private projects. The operator will meet or exceed all City of Ft. Pierce requirements (i.e., dust control, noise requirements, etc.) and any other criteria, ordinances and regulations, when operating the asphalt plant.

The asphalt plant is currently not in use. The hours of operation will vary depending upon the needs of local customers and project limitations for lane closures, if applicable. This may include plant operation weekdays, weeknights and weekends.

The Project brings value to the Ft. Pierce area. The plant will hire employees who reside in the area, utilize local trucking for both completed products and raw material deliveries. The plant also brings additional competition in the asphalt production market that currently has only two other asphalt plants in the area that are certified by FDOT.



4060 Selvitz Road, Asphalt Plant

¹ The term “portable” does not mean temporary. While the plant is “portable” in that it is capable of being taken apart, shipped and set up in another location, the Project anticipates the portable asphalt plant to be permanent on the Property.

TRAFFIC IMPACT STATEMENT

4060 SELVITZ ROAD FT. PIERCE, FLORIDA 34981 Asphalt Plant

The asphalt plant is accessible via the access roadway off of Selvitz Road. Trucks ingress and egress to the asphalt plant through this dead-end roadway. The plant will require truck deliveries of raw materials and will utilize trucks to deliver the completed asphalt product. As shown in the map below, trucks entering the asphalt plant will exit Selvitz Road and follow the paved access road East, then turn left (north) into the plant parcel, once on the property, the trucks will continue north to enter the plant to deliver raw materials (aggregates, asphalt cement) or to deliver reclaimed asphalt to the stockpile or to completed the circle back to the plant to be loaded and scaled with new asphalt products. All access roads are suitable for 2-way traffic. As asphalt is being loaded into trucks for delivery, in most cases, the trucks are lined up within the property along the west side of the property as the access road circles back from the entrance. This access road has ample capacity for trucks waiting to be loaded with no trucks waiting outside of the plant property. All trucks entering the plant are properly registered and insured.

Based upon the design, alignment of the plant access roads and the plant facility placement on the property, there is no anticipated impact to traffic on the surrounding public roadways as a result of the asphalt plant operations. It should be noted that in a continuous asphalt production operation, when the maximum number of trucks are being utilized, the truck spacing is staggered. Not all trucks can leave the plant at one time, only one truck can be loaded at one time, so the loading and scaling operation creates the spacing between trucks and this process eliminates traffic congestion on the entrance or exiting public roadways.



C&T Project No.: 23-176
Sender's Email: ecoapman@ct-eng.com

June 21, 2024
VIA: EMAIL

Ms. Kerry Driver
City of Fort Pierce Planning Department
100 North US1 Fort Pierce
Fort Pierce, FL 34950

**RE: 4060 Selvitz Road Site Plans
City of Fort Pierce Project No.: 24-07000003
TRC Meeting Response Resubmittal**

Dear Ms. Kerry Driver

On behalf of our client, LP Asphalt please accept this in response to your comment letter dated 6/14/24 regarding the site plan submittal for the 4060 Selvitz Rd Asphalt Plant Project, located east of Selvitz Just north of Bandy Blvd.

We have provided the following materials:

1. Revised Site Plan; and
2. SLC Fire District Approval

Our itemized responses are as follows:

City of Fort Pierce Planning Department

1. A detail traffic analysis to include truck routes, peak traffic hours, estimated truck and vehicle traffic during business hours. This should be conducted by a Traffic Engineer with volume number of trucks. The submitted Traffic Summary, which is the summary that was provided during the initial submittal is not sufficient.

Response: A traffic study was completed at the Ranger Asphalt Plant (a comparable site) on Glades Cutoff Rd on 6/20/24 and the results are depicted on Sheet 1 note number 4, with updated analysis we now have the volume and peak information.

2. Provide confirmation of noise level/decibels
Response: A noise study was conducted at the Ranger Asphalt Plant (a comparable site) on Glades Cutoff Rd on 6/20/24 and the results on sheet 1 note number 3.



CONSULTING ENGINEERS | LAND SURVEYORS

3. Per your response to comment #5, I should be able to locate the access on sheet 8. The site plan only goes up to page 6. Please advise
Response: See sheet 8 in the complete Revised Site Plan for the vehicle tracking plan and access.

4. Page 2 of the site plan has the wrong Zoning identity
Response: Zoning has been updated as I-3.

Fort Pierce Engineering Department

1. The truck route shall be comprised of asphalt or concrete in accordance with the City of Fort Pierce Code of Ordinances Section 119 and standard details.
Response: See sheets 2-8, we have added a paving plan for the site access. Note 1 on the cover sheet states that the project will be compliant with Fort Pierce Code of Ordinances Section 119 and the standard details for pavement and parking are sheet 8.

2. Advisory Comments:
 - a. The drainage was not reviewed. A full review will be completed at the time of the DPCR application.
 - b. The project shall have all Local, State, and Federal permits as required in place prior to conducting any land clearing operations. (note this does not preclude issuance of local permits)
Response: Acknowledged.

St. Lucie County Fire District

1. The response letter that was included in the resubmittal indicates that the applicant will be addressing issues directly with the Fire District. As they address Fire District requirements (application, payment, etc.), I will update the comment letter and keep you informed.
Response: See attached SLC Fire District Approval.

Should you have any questions, please do not hesitate to contact me at (772)464-3537 ext. 104 or via the email address referenced above.

Sincerely,

CULPEPPER & TERPENING, INC.

Edgar Coapman, EI
Project Engineer

Enclosures: As listed above

Cc:

SITE PLAN FOR CENTRAL ASPHALT PLANT

4060 SELVITZ RD

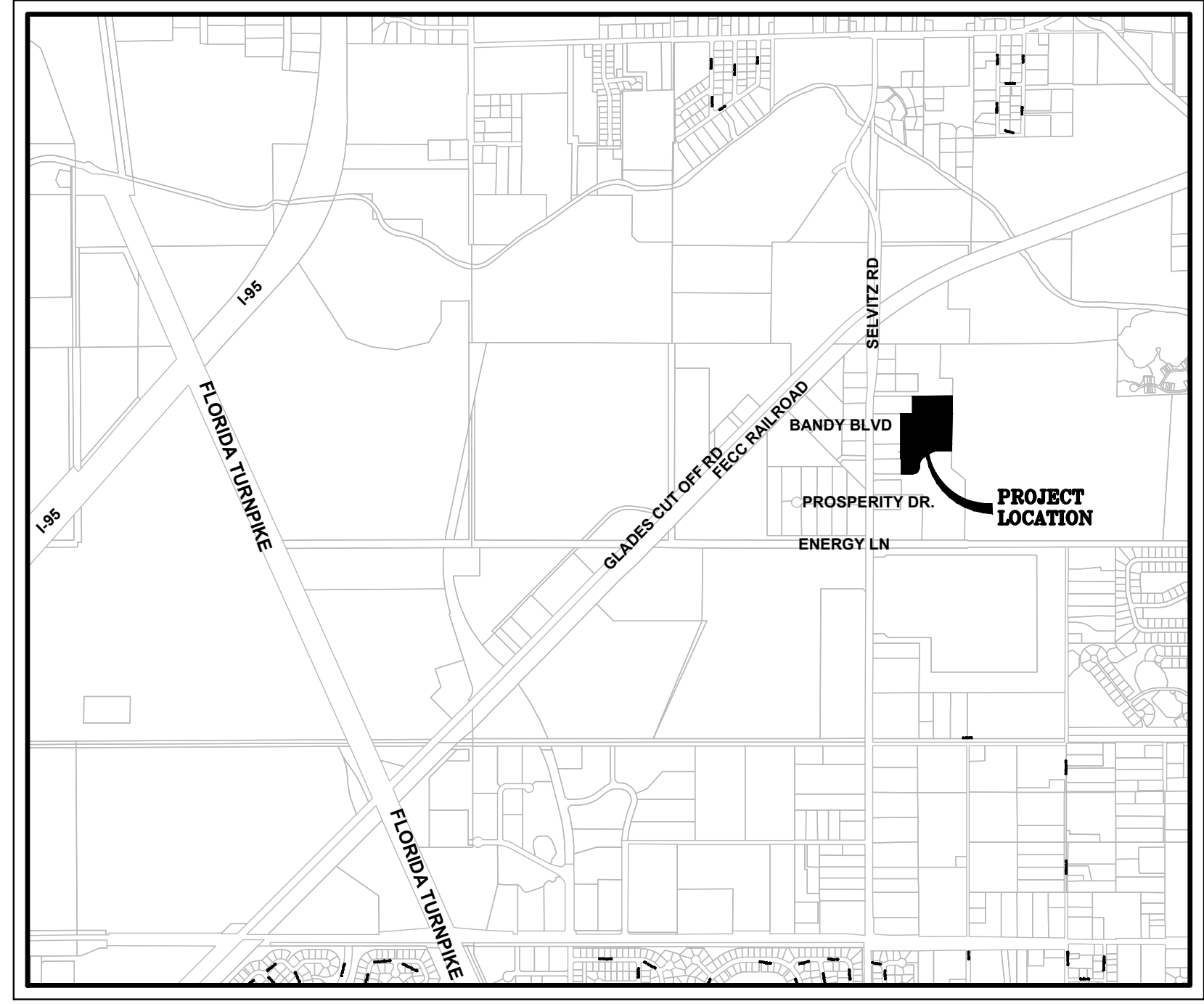
IN

SECTION 32, TOWNSHIP 35 SOUTH, RANGE 40 EAST

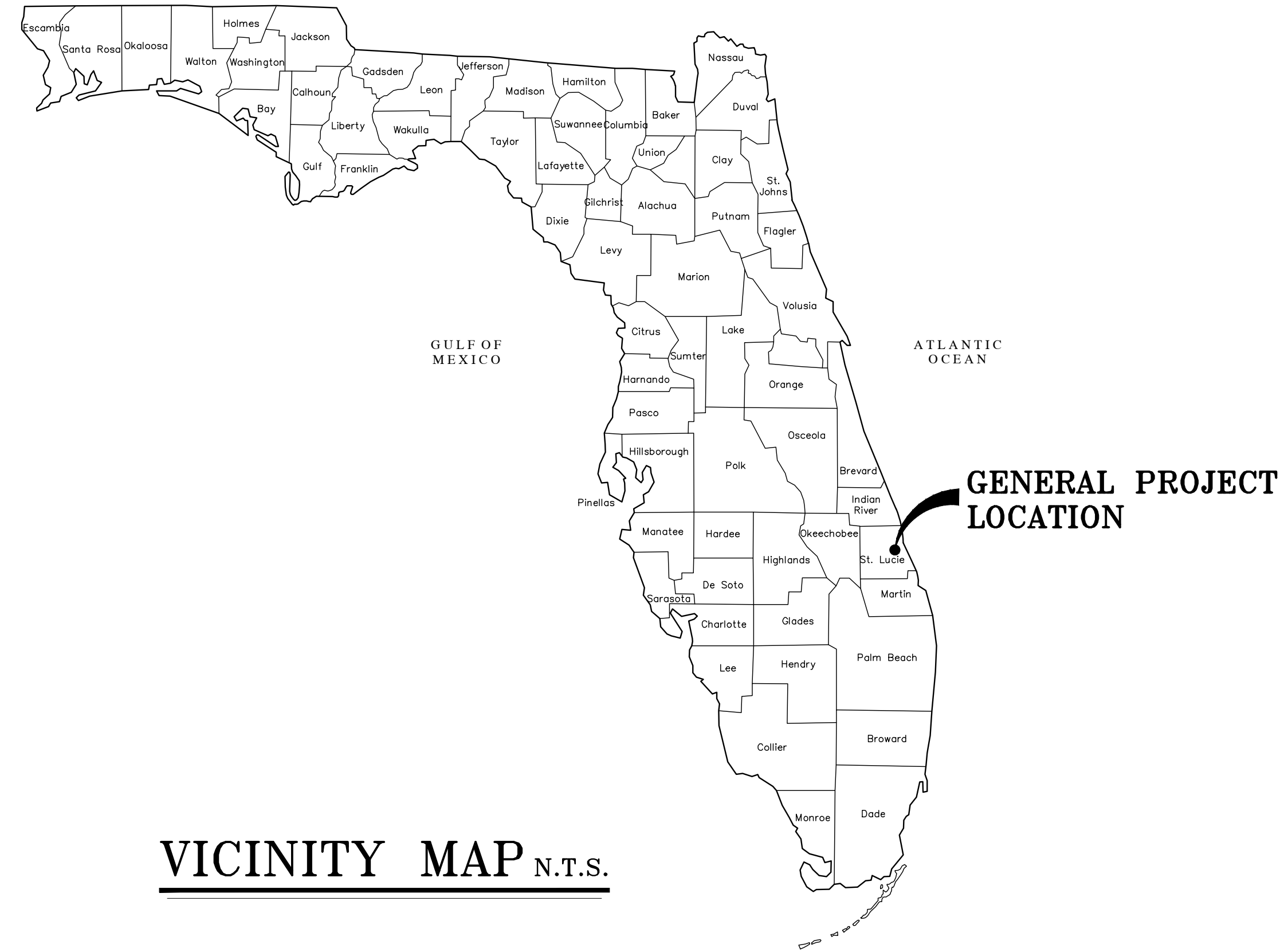
ST. LUCIE COUNTY, FLORIDA

PREPARED FOR

CENTRAL CIVIL CONSTRUCTION



LOCATION MAP N.T.S.



VICINITY MAP N.T.S.

INDEX TO SHEETS	
SHEET NO.	DESCRIPTION
1	COVER
2	MASTER SITE PLAN
3	KEY PLAN
4-7	SITE PLAN
8	AUTOTURN EXHIBIT

- GENERAL NOTES**
- "ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH CITY OF FORT PIERCE CODE OF ORDINANCES SECTIONS 119 AND 125.
 - HOURS OF OPERATION ARE AS FOLLOWS; AT TIMES MONDAY-SATURDAY 12 HOURS 6 AM TO 6 PM.
 - PLANT PRODUCTION TO PRODUCE NO MORE THAN 80 DECIBELS WITH AN AVERAGE OF 50 DECIBELS AS MEASURED ON 6/20/24 AT THE COMPARABLE RANGER ASPHALT PLANT AT GLADES CUTOFF RD, ST. LUCIE COUNTY, FL.
 - TRAFFIC DATA AS MEASURED ON 6/20/24 AT THE COMPARABLE RANGER ASPHALT PLANT AT GLADES CUTOFF RD, ST. LUCIE COUNTY, FL.;
 PEAK AM HOUR: 13 IN / 18 OUT
 PEAK PM HOUR: 13 IN / 13 OUT
 AVERAGE DAILY: 56 IN / 65 OUT

LEGAL DESCRIPTION:
 OVERALL PROJECT PARCEL: 32 35 40 FROM W 1/4 COR RUN N 00 04 06 E ALG W LI OF NW 1/4 53.50 FT, TH S 89 58 19 E 50 FT TO E R/W LI OF SELVITZ RD AND NLY R/W LI OF NSLWCD CANAL NO. 101, TH CONT SE ALG NLY R/W LI 705 FT TO POB, TH N 00 04 06 E 600 FT, TH N 89 58 19 W 280 FT, TH N 00 04 06 E 200 FT, TH N 89 58 19 W 350 FT TO CURVE CONC SE, R OF 25 FT, TH SWLY ALG ARC 39.26 FT TO E R/W LI OF SELVITZ RD, TH N 00 04 06 E ALG E R/W LI 125 FT TO CURVE CONC NEAR OF 25 FT, TH SE ALG ARC 39.29 FT, TH S 89 58 19 E 349.98 FT, TH S 89 58 25 E 156.76 FT TO CURVE CONC NW, R OF 87.50 FT, TH NELY ALG ARC 136.24 FT, TH N 00 48 56 W 22.40 FT TO CURVE CONC SE, R OF 137.50 FT, TH NELY ALG ARC 136.79 FT, TH N 57 49 02 E 116.83 FT TO CURVE CONC S, R OF 137.50 FT, TH NELY ALG ARC 77.28 FT, TH S 89 58 48 E 193.44 FT, TH S 00 49 02 W 228.64 FT, TH S 51 03 36 E 241.52 FT, TH S 00 49 02 W 801.37 FT TO N R/W LI OF CANAL NO. 101, TH N 89 58 19 W ALG N R/W LI 568.67 FT TO POB - (16.71 AC) (OR 2116-2197)

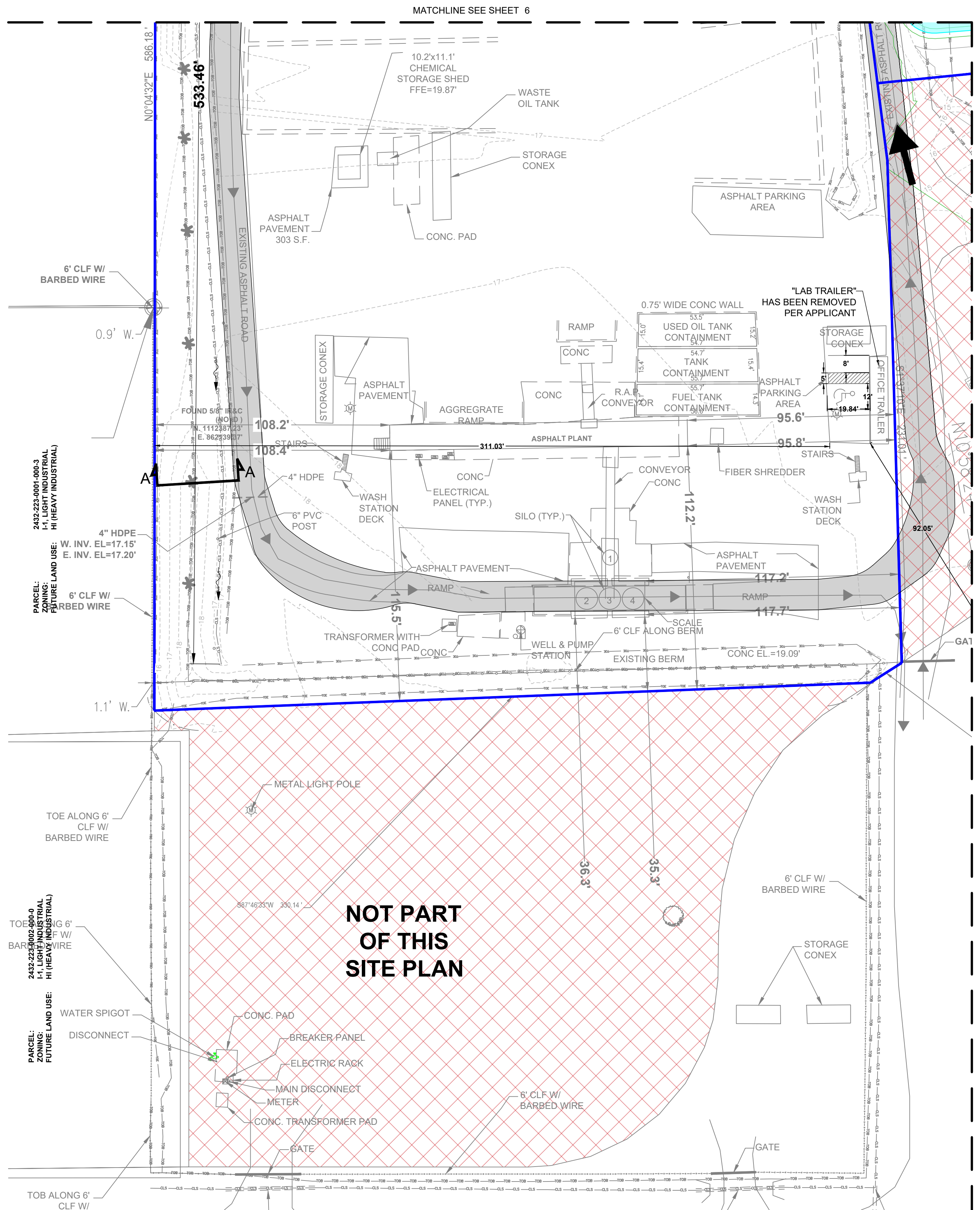
REVISIONS	
SHEET NO.	DATE
2-8	6/21/24

SUBMITTAL DATE: 6/21/2024

CULPEPPER & TERPENING INC

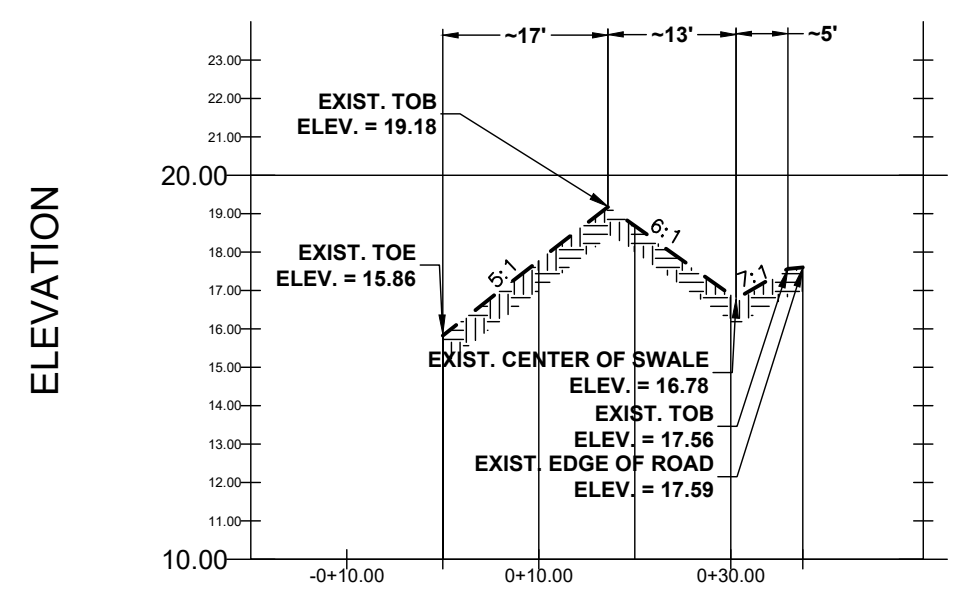
2980 SOUTH 25th STREET • FORT PIERCE, FLORIDA 34981
 PHONE 772-464-3537 • FAX 772-464-9497 • www.ct-eng.com
 STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

THOMAS J. DEGRACE, P.E. FL. REG. NO. 42354

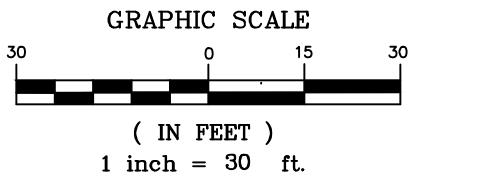


SWALE SECTION A-A

H. SCALE: 1"=20'
V. SCALE: 1"=5'



NOT PART OF THIS SITE PLAN



- LEGEND**
- PROJECT BOUNDARY
 - - - EXISTING CONCRETE
 - - - EXIST. TOP OF BANK
 - - - TOE
 - - - EXIST. TOE OF SLOPE
 - - - TOE
 - - - PROP. TOP OF BANK
 - - - TOE
 - - - PROP. TOE OF SLOPE
 - - - DITCH FLOW ARROW
 - - - PARCEL LINES
 - OAK TREE
 - PALM TREE
 - PROP. DRIVING PATH
 - PROP. OFFSITE FLOW PATH
 - PROP. ASPHALT

P:\19-2102\21-176-000-3\19-2102\176-000-3\19-2102-176-000-3.dwg Date: 6/21/2024 5:09 PM By: EDGAR COVARRAN

THOMAS J. DEGRACE, P.E. FL. REG. NO. 42354

NOTES:
1) ALL ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.

COMPUTER FILE REF.	FIELD BK./PG.

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STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

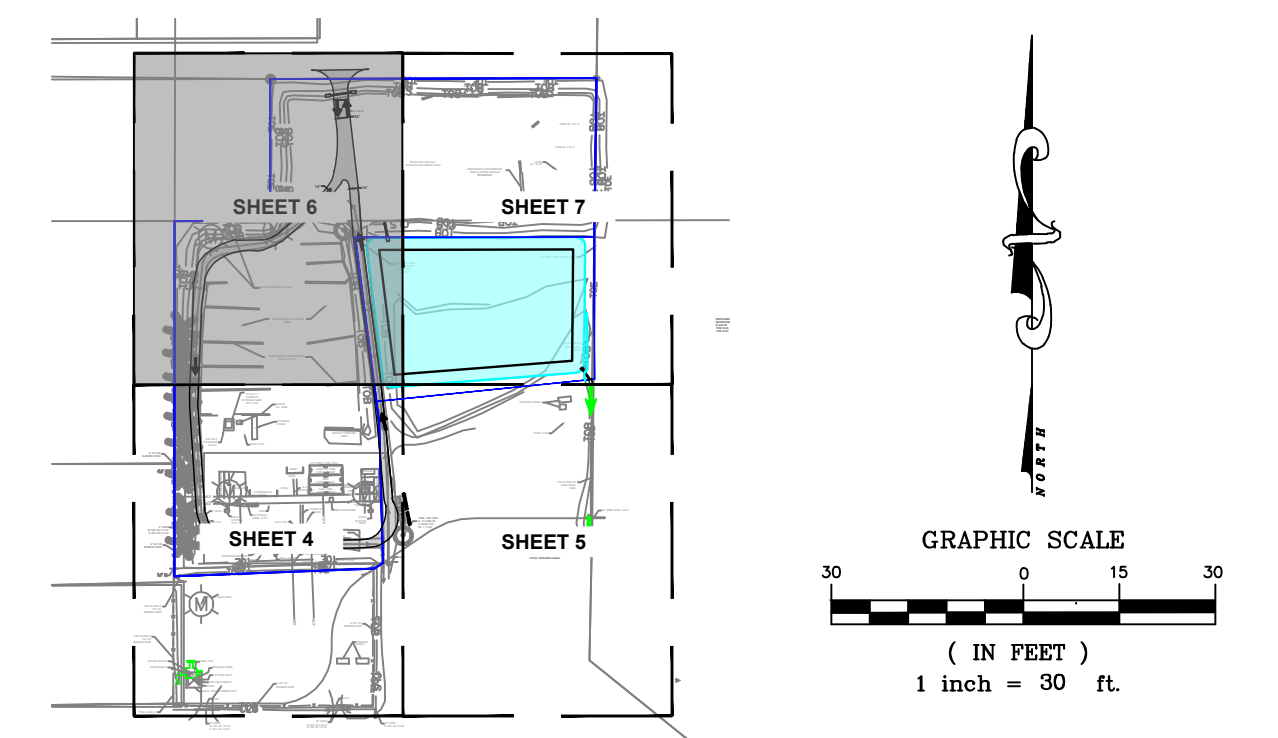
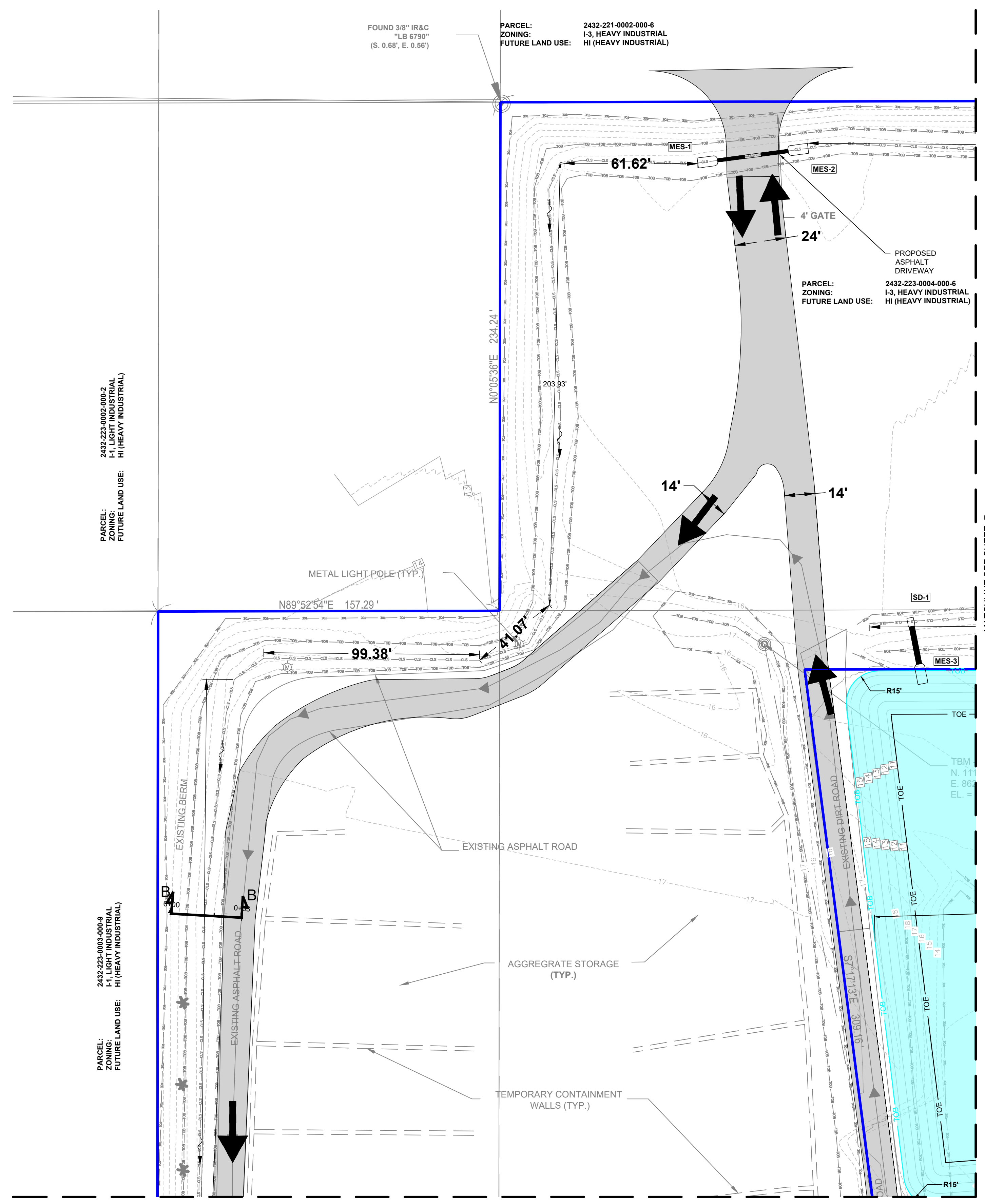
- REVISIONS -		BY	DATE

	BY	DATE
DESIGNED	EAC	2/17/24
CALCS.		
DRAWN	EAC	2/17/24
DETAILED		
CHECKED		
APPROVED		

CENTRAL ASPHALT PLANT

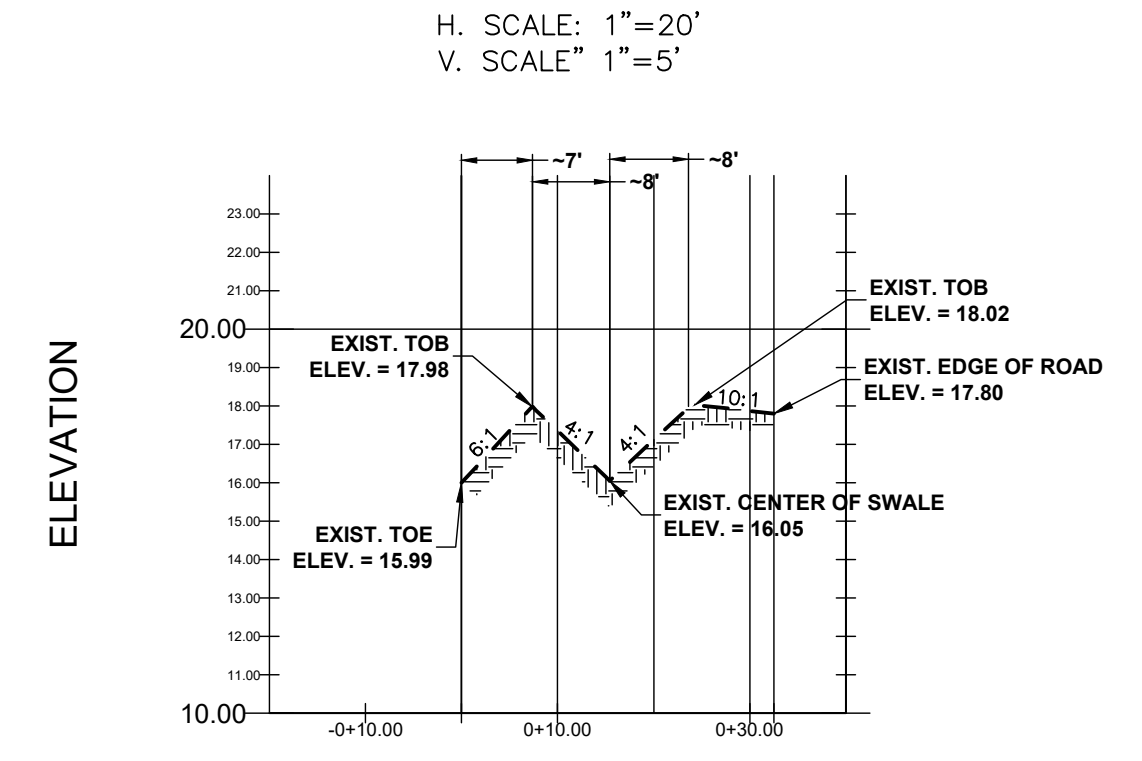
SITE PLAN

DATE: 6/21/2024
HORIZ. SCALE: 1" = 30'
VERT. SCALE: N/A
JOB No. 23-176
SHEET 4 of 8



- LEGEND**
- PROJECT BOUNDARY
 - - - EXISTING CONCRETE
 - - - EXIST. TOP OF BANK
 - - - EXIST. TOE OF SLOPE
 - - - TOE
 - - - EXIST. TOP OF BANK
 - - - TOE
 - - - PROP. TOP OF BANK
 - - - TOE
 - - - PROP. TOE OF SLOPE
 - - - DITCH FLOW ARROW
 - - - PARCEL LINES
 - OAK TREE
 - PALM TREE
 - PROP. DRIVING PATH
 - PROP. OFFSITE FLOW PATH
 - PROP. ASPHALT

SWALE SECTION B-B



NOTES:
1) ALL ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.

COMPUTER FILE REF.	FIELD BK./PG.

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STATE OF FLORIDA BOARD OF PROFESSIONAL ENGINEERS AUTHORIZATION NO. 4286

- REVISIONS -

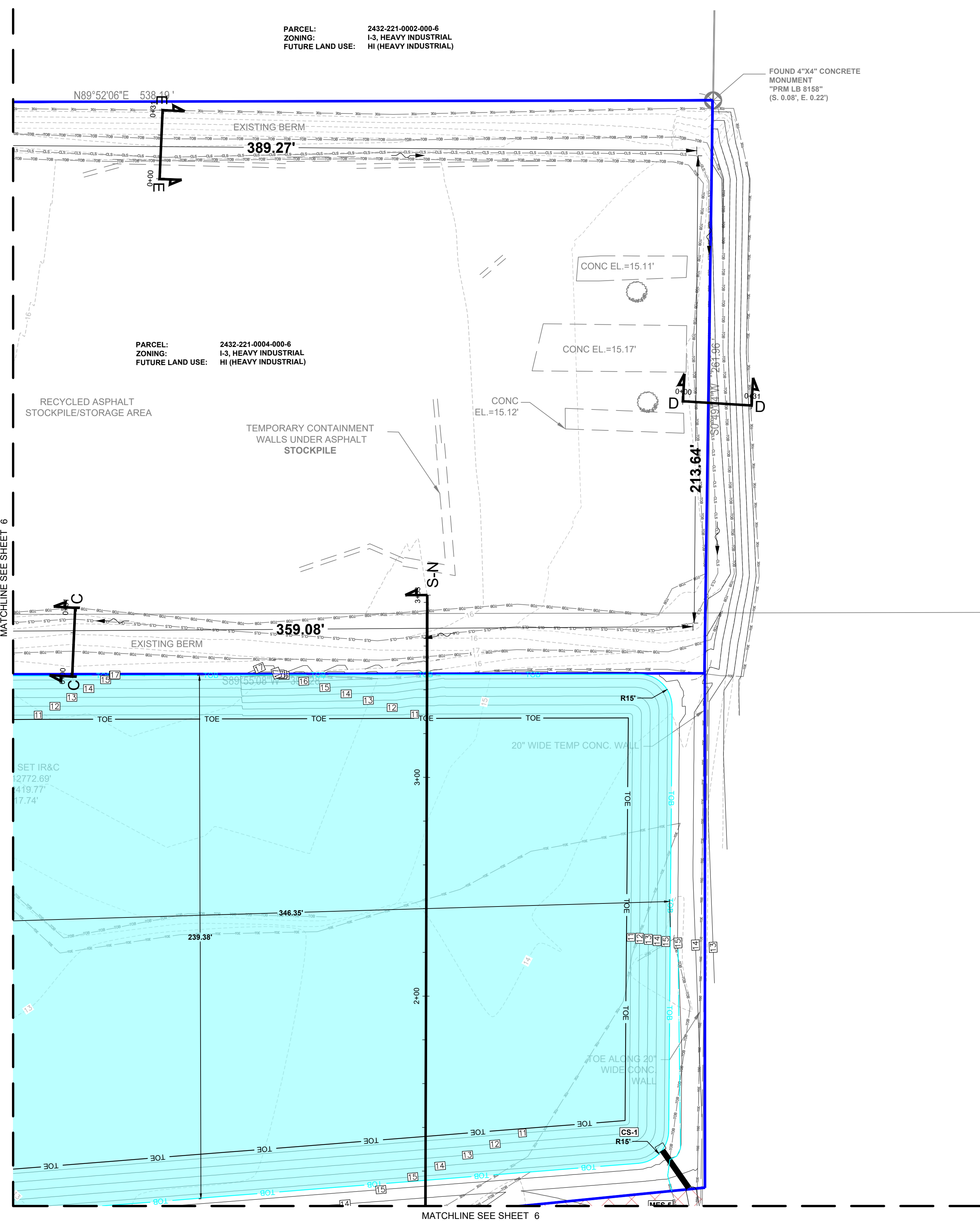
NO.	BY	DATE

	BY	DATE
DESIGNED	EAC	2/17/24
CALCS.	-	-
DRAWN	EAC	2/17/24
DETAILED	-	-
CHECKED	-	-
APPROVED	-	-

CENTRAL ASPHALT PLANT

SITE PLAN

DATE: 6/21/2024
HORIZ. SCALE: 1" = 30'
VERT. SCALE: N/A
JOB No. 23-176
SHEET 6 of 8



SWALE SECTION C-C



ATMCCompany

TRAFFIC ANALYSIS

FOR

LP Asphalt

Prepared for:

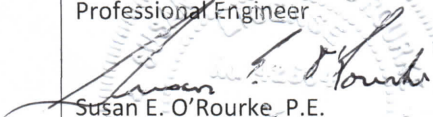
Mr. Rick Mancil
c/o Culpepper Terpening
2980 S. 25th Street
Port Saint Lucie, Florida 34981

Prepared by

O'Rourke Engineering & Planning
3725 S East Ocean Boulevard, Suite 201
Stuart, Florida 34996
772-781-7918

July 5, 2024

24233.01.03

<p>Prepared by: O'Rourke Engineering & Planning Certificate of Authorization: #26869 3725 S East Ocean Blvd, Suite 201 Stuart, Florida 34996 772-781-7918</p>	<p>Professional Engineer  Susan E. O'Rourke, P.E. Date signed and sealed: 7/5/2024 License #: 42684</p>
---	---

July 5, 2024

Mr. Rick Mancil
c/o Culpepper Terpening
2980 S. 25th Street
Port Saint Lucie, Florida 34981

Re: LP Asphalt

Dear Mr. Mancil:

O'Rourke Engineering & Planning has completed the analysis of the proposed Asphalt Plant located east of Selvitz Road in Fort Pierce, Florida. The steps in the analysis and the ensuing results are presented herein.

It has been a pleasure working with you. If you have any questions or comments, please give me a call.

Respectfully submitted,

O'Rourke Engineering & Planning

Susan E. O'Rourke, P.E.

Registered Civil Engineer

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INTRODUCTION	1
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PROJECT TRAFFIC	3
PROJECT DISTRIBUTION/ ASSIGNMENT/ IMPACT	3
LINK ANALYSIS / REVIEW	3
CONCLUSION	3

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TABLE 2: Project Percent Assignment	6
TABLE 3: Link Analysis	7

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APPENDICES

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APPENDIX B: St. Lucie County 2024 Counts Report / FDOT 2023 Quality LOS	
APPENDIX C: Other Project Data/Growth Rate	

INTRODUCTION

O'Rourke Engineering & Planning was retained to prepare a traffic analysis for the proposed Asphalt Plant located east of Selvitz Road in Fort Pierce, Florida. The purpose of this report is to determine the project's impact on the surrounding roadway system.

In order to make the determination that the project complies with County Concurrency Guidelines, the following analytical steps were taken:

- summary of the project
- summary of existing lane geometries
- summary of the existing traffic volumes
- assessment of project traffic
- determination of impact area
- summary of buildout cumulative traffic volumes
- summary of levels of service with the project traffic added

Each of these steps is outlined herein.

PROJECT DESCRIPTION

The project involves an asphalt plant with one loading lane. The project has one driveway on Selvitz Road. The site is located at 4060 Selvitz Road in Fort Pierce, Florida. The project location is shown in **Figure 1**.

APPENDIX A includes the project site plan.

EXISTING CONDITIONS

The study area is defined as the roadway segment upon which the project directly accesses. Once the project traffic was assigned, the study area was refined based on the impact percentages.

Existing Lane Geometrics and Traffic Control

The study area was reviewed to determine the existing number and type of lanes, and the traffic control along the roadway. Each roadway is described below.

- Selvitz Road is a two-lane minor arterial with north/south alignment in the study area.

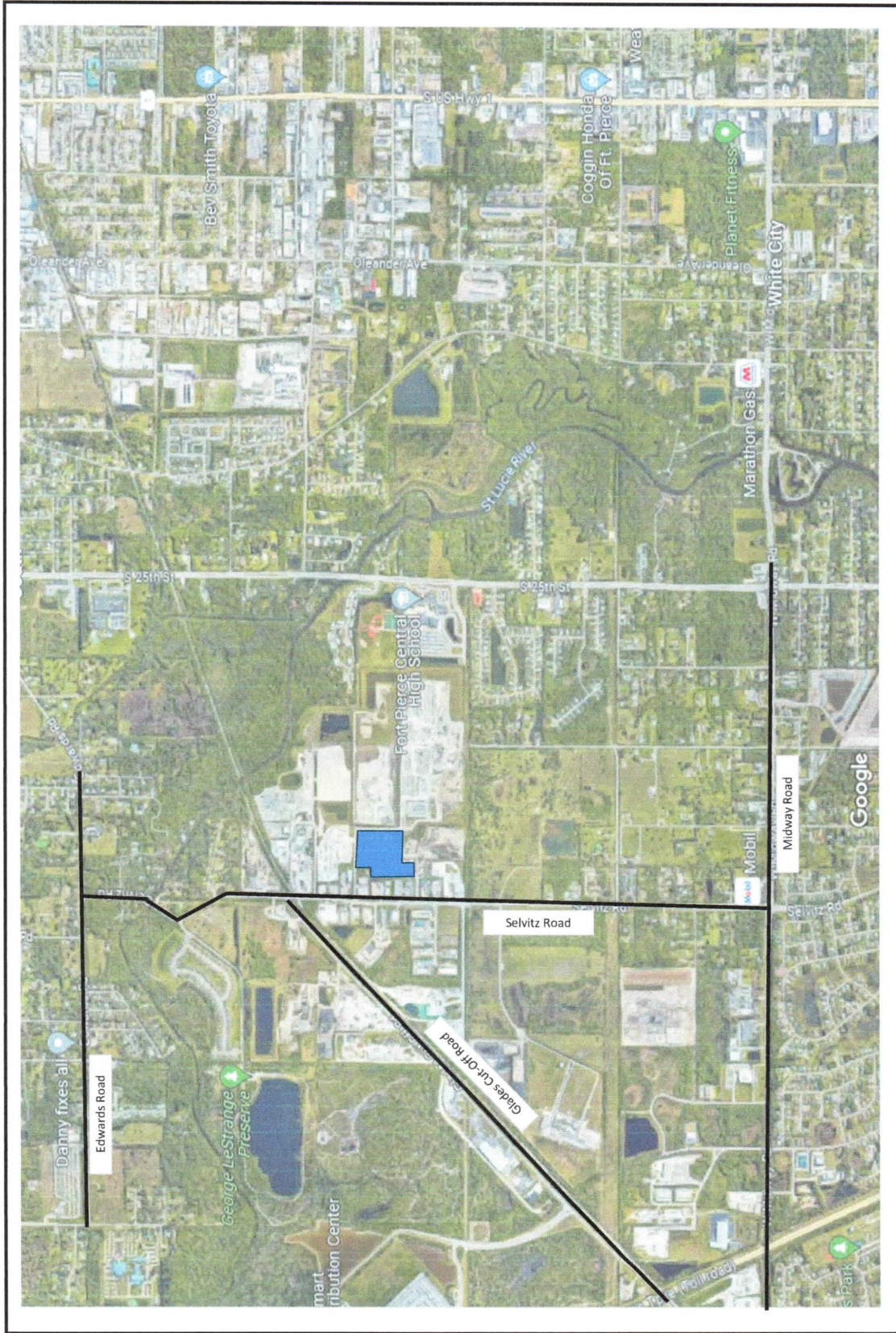





Figure 1
Project Location
LP Asphalt


Legend

 = Project Location

 NTS

Job Number: _____ Date: _____

 **OROURKE**
ENGINEERING & PLANNING

 **ATMC** Company
3725 S East Ocean Blvd, Suite 201
Stuart, FL 34996

PROJECT TRAFFIC/RADIUS OF DEVELOPMENT INFLUENCE

Since there are no ITE Trip Generation Rates similar to this use, a traffic count was conducted on June 20, 2024 at a similar existing site. The count data is shown in **Attachment A**. As shown, the existing site generated 121 Daily trips, a peak of 28 AM Peak Hour trips with 10 trips entering and 18 trips exiting. The PM Peak Hour had a total of 10 trips with 3 trips entering and 7 trips exiting. **Tables 1a, 1b, and 1c** show the estimated trips for the site.

Based on the 112 daily trips, only the directed accessed links are required to be analyzed.

PROJECT DISTRIBUTION/ ASSIGNMENT/ PERCENT IMPACT

The project traffic was distributed by assigning 50% of the traffic to the north and 50% to the south on Selvitz Road.

Distribution/ Assignment – The project assignment is shown in **Figure 2**.

Percent Impact – The project trips were assigned to the roadway network based on the assignments in **Figure 2**. **Tables 2a and 2b** summarize the project impact as a percent of service volume capacity. 5% is deemed significant.

LINK ANALYSIS / CONCURRENCY REVIEW

The adjacent link of Selvitz Road was analyzed to ensure sufficient capacity is available. The existing peak hour traffic was grown to 2027 using a growth rate of 2.5% and project traffic was then added.

Table 3a and 3b summarize the results of the link analysis. As shown, Selvitz Road will operate at an acceptable level of service at project buildout.

CONCLUSION

The proposed LP Asphalt does not cause the level of service to be exceeded. The project complies with concurrency requirements.

Table 1 - Trip Generation

Table 1a: Daily

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Asphalt Plant	Site Specific	1	Facility	N/A	-	-	56	65	121
TOTALS							56	65	121

Source: Asphalt Plant traffic count in Appendix A

Table 1b: AM Peak Hour

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Asphalt Plant	Site Specific	1	Facility	N/A	-	-	10	18	28
TOTALS							10	18	28

Source: Asphalt Plant traffic count in Appendix A

Table 1c: PM Peak Hour

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Asphalt Plant	Site Specific	1	Facility	N/A	-	-	3	7	10
TOTALS							3	7	10

Source: Asphalt Plant traffic count in Appendix A

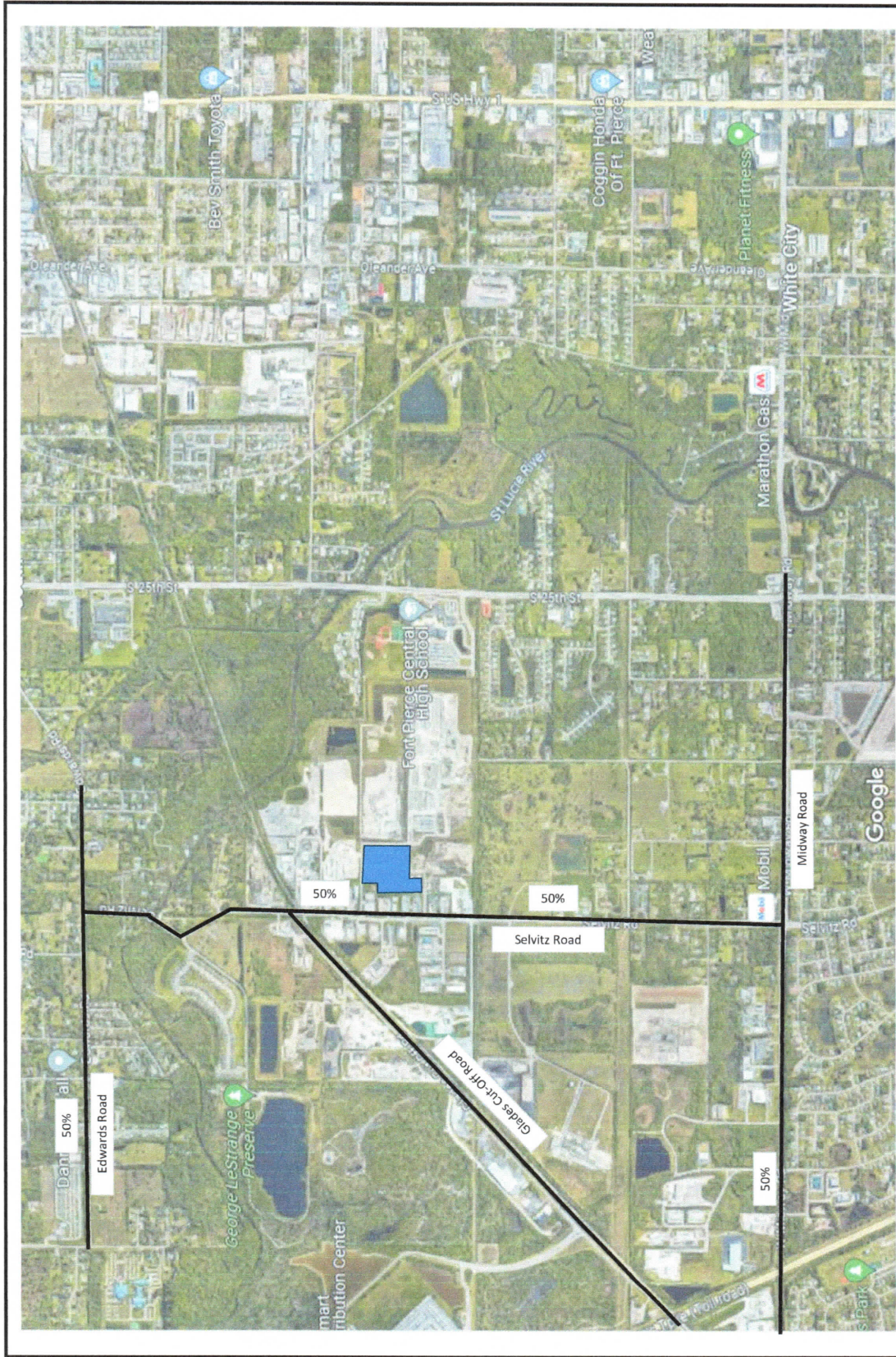


Figure 2
Percent Assignment
LP Asphalt

Legend
= Project Location

O'ROURKE
ENGINEERING & PLANNING
a TMC Company
3725 S East Ocean Blvd, Suite 201
Stuart, FL 34996

NTS
Job Number:
Date:

TABLE 2a - Project Percent Impact - AM

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 5% (1% on Adjacent Links) (2)	Peak Hour Service Capacity (E+C) (1)	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Selvitz Road	Midway Road	Glades Cut-Off Road	2L	NB	IN	NO	700	5	0.71%	50%
	Midway Road	Glades Cut-Off Road	2L	SB	OUT	YES	700	9	1.29%	50%

(1) St. Lucie County 2024 Traffic Counts and LOS Report

(2) According to the Guidelines prepared by the TPO and modified by the City and County

Two-Way: 28
 Net In: 10
 Net Out: 18

TABLE 2b - Project Percent Impact - PM

Segment	From	To	Lanes	Direction	IN/OUT	Greater than 5% (1% on Adjacent Links) (2)	Peak Hour Service Capacity (E+C) (1)	Project Volume Peak Direction	% Project of Capacity-Peak Hour	Project Percent Assignment
Selvitz Road	Midway Road	Glades Cut-Off Road	2L	NB	IN	NO	700	2	0.29%	50%
	Midway Road	Glades Cut-Off Road	2L	SB	OUT	NO	700	4	0.57%	50%

(1) St. Lucie County 2024 Traffic Counts and LOS Report

(2) According to the Guidelines prepared by the TPO and modified by the City and County

Two-Way: 10
 Net In: 3
 Net Out: 7

TABLE 3a - Link Analysis - AM

Segment	From	To	Direction	IN/OUT	Greater than 5% (1% on Adjacent Links)	AAADT 2024	Count Year	2024 Peak Hour Directional Volumes	Growth Rate (2)	2027 AM Peak Hour + 1% Growth	2027 AM Peak Hour + 1% Growth	AM Peak Hour Committed Projects Directional	2027 1% Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity- Peak Hour	Does Project Satisfy Concurrency ?	Project Percent Assignment
Selvitz Road	Midway Road	Glades Cut-Off Road	NB	IN	NO	9,000	2024	542	2.50%	558	584	157	715	700	5	720	0.71%	YES(3)	50%
	Midway Road	Glades Cut-Off Road	SB	OUT	YES	9,000	2024	279	2.50%	287	300	84	371	700	9	380	1.29%	YES	50%

(1) St. Lucie County 2024 Traffic Counts and LOS Report
 (2) Area wide growth rate calculated from FDOT Historical AADT
 (3) Background is over the los threshold

Two-Way: 28
 Net In: 10
 Net Out: 18
 Years Grown: 3

TABLE 3b - Link Analysis - PM

Segment	From	To	Direction	IN/OUT	Greater than 5% (1% on Adjacent Links)	AAADT 2024	Count Year	2024 Peak Hour Directional Volumes	Growth Rate (2)	2027 PM Peak Hour + 1% Growth	2027 PM Peak Hour + 1% Growth	PM Peak Hour Committed Projects Directional	2027 1% Growth + Committed Peak Direction	Peak Hour Service Capacity (1)	Project Volume Peak Direction	Total Traffic (Peak Direction)	% Project of Capacity- Peak Hour	Does Project Satisfy Concurrency ?	Project Percent Assignment
Selvitz Road	Midway Road	Glades Cut-Off Road	NB	IN	NO	9,000	2024	523	2.50%	539	563	83	622	700	2	624	0.29%	YES	50%
	Midway Road	Glades Cut-Off Road	SB	OUT	NO	9,000	2024	428	2.50%	441	461	156	597	700	4	601	0.57%	YES	50%

(1) St. Lucie County 2024 Traffic Counts and LOS Report
 (2) Area wide growth rate calculated from FDOT Historical AADT

Two-Way: 10
 Net In: 3
 Net Out: 7
 Years Grown: 3

APPENDIX A

SITE PLAN / Traffic Counts



**Saint Lucie County
Property Appraiser
Michelle Franklin CFA**



200ft

2024-03-07A

[Click here for Legal Disclaimer](#)

Traffic Count - 6/20/24

Time	15 min. Intervals Trips In	15 min. Intervals Trips Out	15 min. Intervals Total	Hour	Hourly Volume In (end time)	Hourly Volume Out (end time)	Hourly Volume Total
7:15 - 7:30 AM	7	8	15				
7:30 - 7:45 AM	0	0	0				
7:45 - 8:00 AM	3	10	13				
8:00 - 8:15 AM	0	0	0	7:15 to 8:15	10	18	28
8:15 - 8:30 AM	2	3	5	7:30 to 8:30	5	13	18
8:30 - 8:45 AM	0	3	3	7:45 to 8:45	5	16	21
8:45 - 9:00 AM	4	2	6	8:00 to 9:00	6	8	14
9:00 - 9:15 AM	0	0	0	8:15 to 9:15	6	8	14
9:15 - 9:30 AM	3	2	5	8:30 to 9:30	7	7	14
9:30 - 9:45 AM	0	0	0	8:45 to 9:45	7	4	11
9:45 - 10:00 AM	2	0	2	9:00 to 10:00	5	2	7
10:00 - 10:15 AM	0	0	0	9:15 to 10:15	5	2	7
10:15 - 10:30 AM	4	0	4	9:30 to 10:30	6	0	6
10:30 - 10:45 AM	0	0	0	9:45 to 10:45	6	0	6
10:45 - 11:00 AM	9	1	10	10:00 to 11:00	13	1	14
1:30 - 1:45 PM	3	9	12	12:45 to 1:45	3	9	12
1:45 - 2:00 PM	0	0	0	1:00 to 2:00	3	9	12
2:00 - 2:15 PM	0	4	4	1:15 to 2:15	3	13	16
2:15 - 2:30 PM	0	0	0	1:30 to 2:30	3	13	16
2:30 - 2:45 PM	9	7	16	1:45 to 2:45	9	11	20
2:45 - 3:00 PM	0	0	0	2:00 to 3:00	9	11	20
3:00 - 3:15 PM	4	5	9	2:15 to 3:15	13	12	25
3:15 - 3:30 PM	0	0	0	2:30 to 3:30	13	12	25
3:30 - 3:45 PM	2	3	5	2:45 to 3:45	6	8	14
3:45 - 4:00 PM	0	0	0	3:00 to 4:00	6	8	14
4:00 - 4:15 PM	2	6	8	3:15 to 4:15	4	9	13
4:15 - 4:30 PM	0	0	0	3:30 to 4:30	4	9	13
4:30 - 4:45 PM	1	1	2	3:45 to 4:45	3	7	10
4:45 - 5:00 PM	0	0	0	4:00 to 5:00	3	7	10
5:00 - 5:15 PM	1	1	2	4:15 to 5:15	2	2	4

Total: 56 65 121

APPENDIX B

ST. LUCIE COUNTY 2024 COUNTS REPORT/FDOT 2023 QUALITY LOS

For D factor only
34 / .66

TURNING MOVEMENT VOLUME COUNTS

CONTROL Signalized

EW STREET Midway Rd

Schitz Rd
Energy and Schitz
2/18/2020

DAY Tuesday
ANALYSIS YEAR 2020 - Existing

N/S STREET
FILENAME
COUNT DATE
REPORT DATE

15 Min Period	Northbound				Southbound				Eastbound				Westbound				TOTAL	ONE HOUR SUM
	NBL	NBT	HBR	HBT	SBL	SBT	SBR	SBR	EBL	EBT	EBR	EBR	WBL	WBT	WBR	WBR		
7:00-7:15	45	71	24	24	18	24	32	32	30	196	33	33	9	148	21	21	651	2992
7:15-7:30	63	81	22	32	15	32	27	44	183	28	28	18	145	23	23	681	2958	
7:30-7:45	67	122	22	37	37	39	22	59	151	32	32	22	213	21	21	807	2853	
7:45-8:00	74	127	24	19	60	28	52	182	18	40	193	40	193	26	26	843	2606	
8:00-8:15	54	52	11	21	31	20	40	173	28	28	16	16	168	13	13	627	2365	
8:15-8:30	52	59	23	13	28	20	34	127	26	17	17	17	167	10	10	576		
8:30-8:45	60	57	23	12	33	25	30	151	25	7	7	7	111	22	22	560		
8:45-9:00	38	39	23	19	15	15	15	30	150	30	10	10	116	17	17	502		

← 1057 →
185
712
111
1008 →
AM
↑ 91
← 699
↓ 89
893 →

353 ↓
↑ 677

109 155 89
← ↓ →

↑ 401 92
← ↓

355 ↑
↓ 742

Seasonal Factor 1
Growth Rate 1.01
Years Growth 0

7:00AM TO 8:00AM

AM PEAK HOUR IS FROM:

Volumes	249	401	92	89	155	109	185	712	111	89	699	91	2982
Season Factor	249	401	92	89	155	109	185	712	111	89	699	91	2982
Growth	249	401	92	89	155	109	185	712	111	89	699	91	2982
Total	249	401	92	89	155	109	185	712	111	89	699	91	2982

FOR D Factor Only

TURNING MOVEMENT VOLUME COUNTS

N/S STREET: N/S STREET, Midway Rd
 FILENAME: Energy and Seitz
 COUNT DATE: 2/16/2020
 REPORT DATE: 5.12.2022
 DAY: Tuesday
 ANALYSIS YEAR: Existing
 County: SLCO
 CONTROL: Signalized

15 Min Period lanes	Northbound				Southbound				Eastbound				Westbound				ONE HOUR SUM
	NBL	NBT	NBR	SBR	SBL	SBT	SBR	SBR	EBL	EBT	EBR	WBL	WBT	WBR	TOTAL		
4:00-4:15	52	57	12	39	24	55	39	31	186	58	35	173	10	732	2810		
4:15-4:30	72	56	17	27	15	66	27	36	159	44	37	154	16	699	2784		
4:30-4:45	48	49	22	20	20	69	21	52	151	74	26	162	8	702	2855		
4:45-5:00	57	40	13	16	73	73	22	35	157	75	29	144	16	677	2762		
5:00-5:15	24	48	7	33	86	23	26	190	85	23	157	14	716	2635			
5:15-5:30	49	44	18	13	82	25	41	182	90	34	166	16	760				
5:30-5:45	30	46	6	14	55	72	79	159	64	28	143	13	609				
5:45-6:00	44	42	11	11	53	12	25	122	59	29	126	13	550				

PM PEAK HOUR IS FROM: 4:30 PM TO 5:30 PM
 Volumes: 178 181 60 82 310 91 154 680 324 112 629 54 2855
 Season Factor: 178 181 60 82 310 91 154 680 324 112 629 54 2855
 Growth: 183 186 62 84 319 94 159 701 334 115 648 56 2942

Seasonal Factor: 1
 Growth Rate: 1.01
 Years Growth: 0



APPENDIX C

BACKGROUND DATA



St. Lucie County Bus Maintenance Facility Trip Generation

The proposed Project includes a 20,000 square foot administration building, a 4,500 square foot maintenance building with four bus maintenance bays, a four-pump fueling station, and 50 total employees. The Project will also include parking for approximately 150 buses and 180 cars. It is assumed that 150 bus routes will start and end at the facility each day. Bus drivers will arrive for work and park their personal vehicles, transfer to a bus for their shift, and transfer back to their personal vehicle at the end of their shift.

Project trip generation is based on the rates published in the Institute of Transportation Engineers (ITE) *Trip Generation, 8th Edition*, and is calculated on a daily basis as well as for the A.M. and P.M peak periods. Because the *Trip Generation* Manual does not include a specific land use for bus maintenance facilities, Warehousing (Land Use 150) was used to represent the administration and maintenance portion of the Project (Table 1). The *Trip Generation* description of Warehousing states “Warehouses are primarily devoted to the storage of materials, but they may also include office and maintenance areas.”

Table 1: ITE Land Use

ITE LAND USE			
ITE CODE	LAND USE	INTENSITY	UNITS
150	Warehousing	50	Employees

The Daily, AM Peak Hour and PM Peak Hour trips for the Administration and Maintenance buildings were calculated using the average trip generation rates rather than the fitted curve equations because the average rate provided more accurate estimates for sites with fewer than 500 employees. (See Tables 2-4)

Table 2: Daily Trip Generation

DAILY (ADMIN & MAINTENANCE)					
RATE / EQUATION	TRIPS	% IN	IN	% OUT	OUT
T=3.89X	195	50%	97	50%	97

X= Number of employees

Table 3: AM Peak Hour Trip Generation

AM PEAK HOUR					
RATE / EQUATION	TRIPS	% IN	IN	% OUT	OUT
T=0.51X	26	72%	18	28%	7

X= Number of employees

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www.millerlegg.com



Table 4: PM Peak Hour Trip Generation

PM PEAK HOUR					
RATE / EQUATION	TRIPS	% IN	IN	% OUT	OUT
$T=0.59X$	30	35%	10	65%	19

X = Number of employees

Daily trips for the bus fleet were estimated by including both bus drivers coming to and from work in their personal vehicles ($150 \times 2 = 300$ trips per day) as well as the buses exiting and returning to the Project site (an additional $150 \times 2 = 300$ trips per day) for a total of 600 trips per day. (Table 5) Because bus routes typically begin earlier than the AM peak and end later than the PM peak, the bus fleet trips are included in the daily trips, but not the AM and PM peak hour trips.

Table 5: Daily Trip Generation (Bus Fleet)

DAILY (BUS FLEET)					
RATE / EQUATION	TRIPS	% IN	IN	% OUT	OUT
$T=2N+2N$	600	50%	300	50%	300

N = Number of bus routes originating at facility

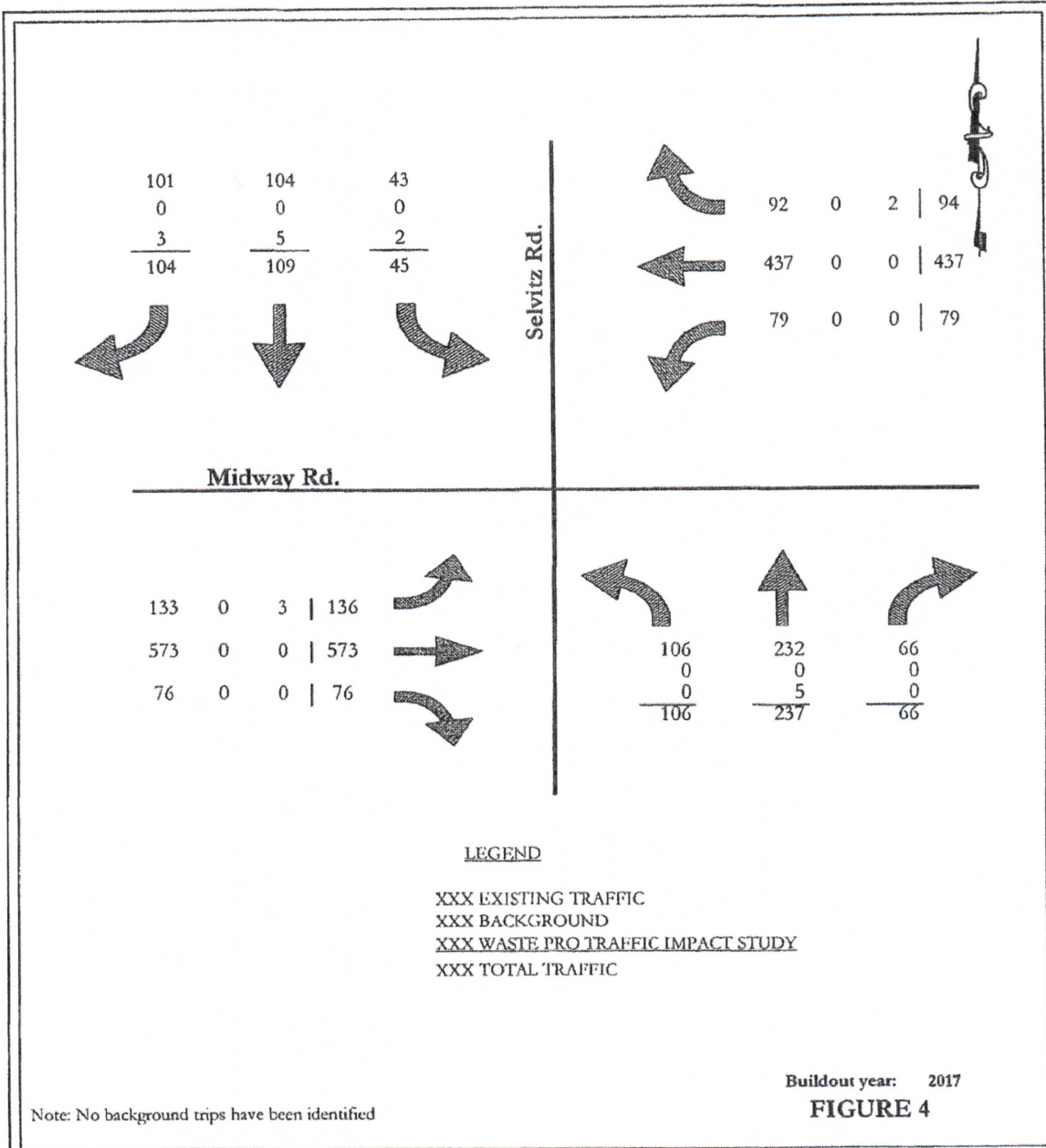
The total daily trips generated by the administration building, bus maintenance facility, and bus fleet are shown in Table 6. The Project is expected to add approximately 800 additional daily trips to the surrounding roadways, with 26 of these trips occurring during the AM peak hour and 30 during the PM peak hour (Tables 3 and 4).

Table 6: Total Daily Trip Generation

DAILY (TOTAL)				
TRIPS	% IN	IN	% OUT	OUT
795	50%	397	50%	397

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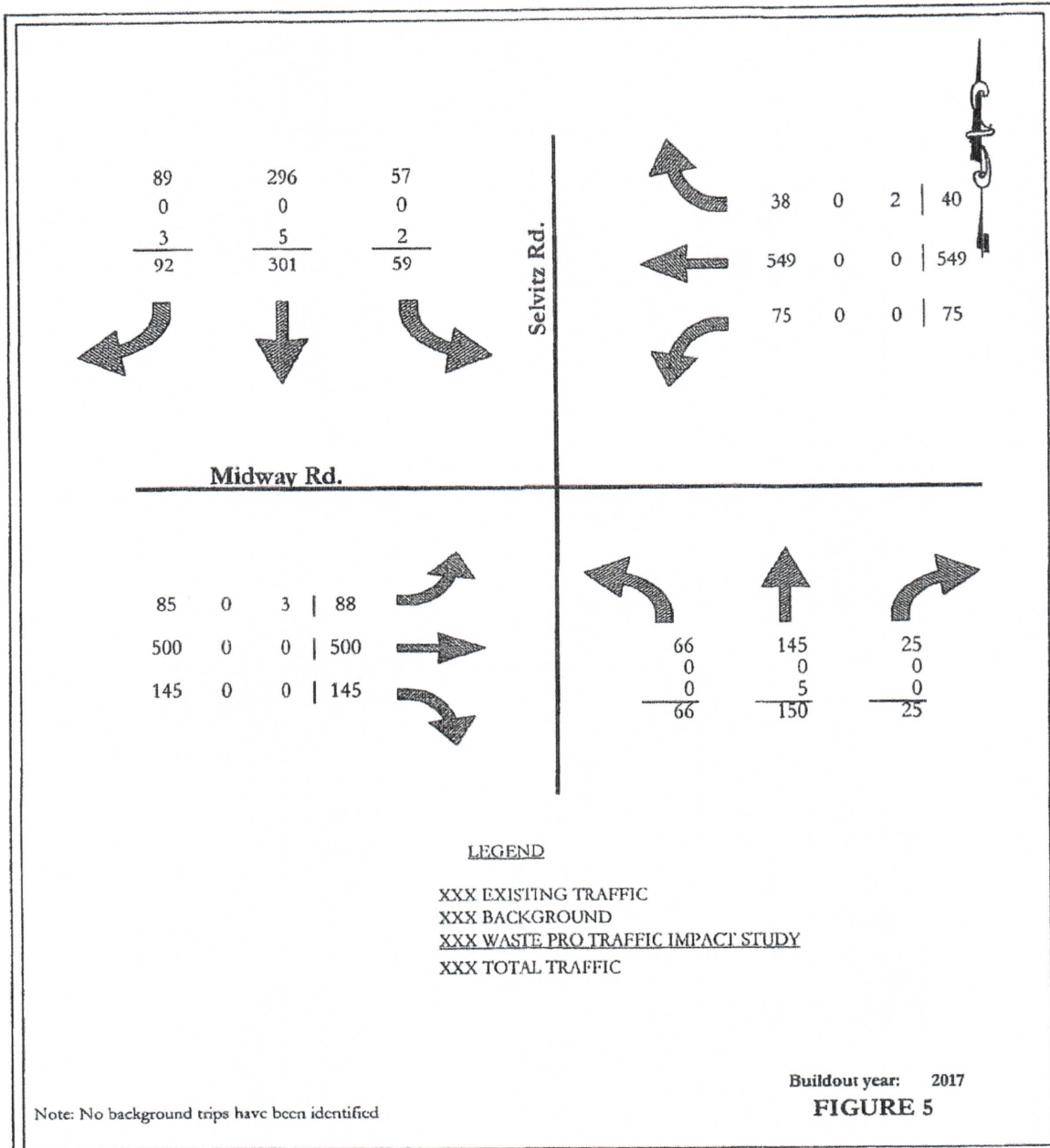
CULPEPPER & TERPENING, INC.
 CONSULTING ENGINEERS LAND SURVEYORS
 2980 SOUTH 25th STREET
 FORT PIERCE, FLORIDA 34981
 (772) 464-3537

STATE OF FLORIDA BOARD PROFESSIONAL ENGINEERS AUTHORIZATION NO. 438

AM PEAK HOUR TURNING MOVEMENTS

Selvitz Rd. & Midway Rd.

Waste Pro Traffic Impact Study



CULPEPPER & TERPENING, INC.
 CONSULTING ENGINEERS LAND SURVEYORS

2980 SOUTH 25th STREET
 FORT PIERCE, FLORIDA 34981
 (772) 464-3537

STATE OF FLORIDA BOARD PROFESSIONAL ENGINEERS AUTHORIZATION NO. 428

PM PEAK HOUR TURNING MOVEMENTS

Selvitz Rd. & Midway Rd.

Waste Pro Traffic Impact Study

AM Peak Hour

AM APPROVED PROJECTS	Southern Grove DBI			Western Grove DBI			Wilson Grove DBI			Riverland DBI			Acroza			
	In N/E In or Out	Directional N/E	Directional S/W	%	In N/E In or Out	Directional N/E	Directional S/W	%	In N/E In or Out	Directional N/E	Directional S/W	%	In N/E In or Out	Directional N/E	Directional S/W	
Midway Rd	Out	3	3	0.7%	Out	7	7	0.7%	Out	10	10	4.7%	In	25	7	
Gladiol's Out Off Rd	Out	3	3	0.7%	Out	4	2	0.7%	Out	7	7	0.7%	Out	30	8	
East Torino Pkwy	Out	21	25	0.7%	Out	4	2	0.7%	Out	7	7	0.7%	In	30	8	
Florida's Turnpike	Out	21	25	0.7%	Out	4	2	0.7%	Out	7	7	0.7%	In	30	8	
Corporate Way	Out	18	27	0.7%	Out	4	2	0.7%	Out	7	7	0.7%	In	30	8	
Jenkins Rd	Out	14	17	0.7%	Out	4	2	0.7%	Out	7	7	0.7%	In	30	8	
Schultz Rd	Out	14	17	0.7%	Out	4	2	0.7%	Out	7	7	0.7%	Out	8	30	
25th St	Out	14	17	0.7%	Out	3	2	0.6%	Out	6	5	0.6%	Out	5	28	
Schultz Rd	Out	14	17	0.7%	Out	3	2	0.6%	Out	6	5	0.6%	Out	5	28	
Blaylock Blvd	Out	3	3	0.2%	Out	0	0	0.0%	Out	0	0	0.0%	In	5	1	
Midway Rd	Out	1	2	0.1%	Out	0	0	0.0%	Out	0	0	0.0%	Out	2	6	
Gladiol's Out Off Rd	Out	1	2	0.1%	Out	0	0	0.0%	Out	0	0	0.0%	Out	2	6	
50% of Large Project for 3 year horizon			In	1,555	In	338	In	969	In	1,198	In	99	In	1,892	In	16
			Out	1,808	Out	534	Out	962	Out	1,392	Out	16	Out	4,791	Out	16
			In	6,218	In	2,352	In	3,875	In	4,791	In	59	In	5,568	In	16
			Out	5,233	Out	2,135	Out	3,807	Out	3,807	Out	16	Out	5,568	Out	16

Transit/10/3/32
 211 5/5 35/32
 970 10/10 40/47

LTC Ranch	Waves Military & Schultz			Village at Midway			Ravenna			Willow Lakes			SUM Directional N/E			SUM Directional S/W			Directional N/E			Directional S/W						
	In N/E In or Out	Directional N/E	Directional S/W	%	In N/E In or Out	Directional N/E	Directional S/W	%	In N/E In or Out	Directional N/E	Directional S/W	%	In N/E In or Out	Directional N/E	Directional S/W	%	In N/E In or Out	Directional N/E	Directional S/W	%	In N/E In or Out	Directional N/E	Directional S/W	%				
1.7%	Out	69	78	22%	In	17	17	11%	Out	15	16	40%	In	9	9	27	23%	Out	67	85	75	158	112	-15	2019	-21	248	
3.4%	Out	138	155	29%	In	23	23	10%	Out	15	16	40%	In	9	9	27	23%	Out	61	78	70	265	105	-14	302	-21	349	
1.9%	Out	76	86	29%	In	23	23	9%	Out	14	15	40%	In	9	9	27	23%	Out	61	78	70	261	105	-14	301	-21	345	
1.5%	Out	62	70	36%	In	28	28	7%	Out	11	11	40%	In	9	9	27	23%	Out	61	78	70	181	105	-14	234	-21	265	
1.3%	Out	51	58	31%	In	24	24	5%	Out	8	8	55%	In	12	12	37	19%	Out	51	64	63	189	105	-14	200	-21	219	
1%	In	2	2	15%	In	4	4	0%	Out	0	0	0%	Out	0	0	0	0%	Out	8	10	8	18	10	-2	28	-2	26	
1%	Out	2	2	10%	Out	4	4	0%	Out	0	0	0%	Out	0	0	0	0%	Out	3	3	3	24	3	-1	21	-1	27	
			In	457	In	79	In	383	In	22	In	339	In	339	In	339	In	339	Out	3	3	3	19	3	-1	21	-1	27
			Out	405	Out	78	Out	331	Out	68	Out	268	Out	268	Out	268	Out	268	Out	3	3	3	19	3	-1	21	-1	27
			In	1,828	In	79	In	2,451	In	22	In	3,355	In	3,355	In	3,355	In	3,355	Out	3	3	3	19	3	-1	21	-1	27
			Out	1,619	Out	78	Out	603	Out	68	Out	1,065	Out	1,065	Out	1,065	Out	1,065	Out	3	3	3	19	3	-1	21	-1	27

PM Peak Hour

Road Name	Southern Grove DRI			Western Grove DRI			Wilson Grove DRI			Riverland DRI			Arcosa						
	From	To	%	Is N/E In or Out	Directions N/E	Directions S/W	%	Is N/E In or Out	Directions N/E	Directions S/W	Daily Trips	Is N/E In or Out	Directions N/E	Directions S/W	%	Is N/E In or Out	Directions N/E	Directions S/W	
Midway Rd	Glades Cut Off Rd	East Torino Pkwy	0.2%	Out	5	3	0.7%	Out	4	4	0	25	Out	13	12	42.0%	In	9	14
	East Torino Pkwy	Florida's Turnpike	1.6%	Out	40	28	0.7%	Out	4	4	0	25	Out	13	12	50.0%	In	11	17
	Florida's Turnpike	Corporate Way	1.4%	Out	40	28	0.7%	Out	4	4	0	25	Out	13	12	50.0%	In	11	17
	Corporate Way	Jenkins Rd	1.1%	Out	35	24	0.7%	Out	4	4	0	25	Out	13	12	50.0%	In	11	17
	Jenkins Rd	Selvitz Rd	1.1%	Out	28	19	0.7%	Out	4	4	0	25	Out	13	12	51.0%	Out	17	11
	Selvitz Rd	25th St	1.1%	Out	28	19	0.6%	Out	3	4	0	22	Out	11	11	31.0%	Out	11	7
	Bayshore Blvd	Midway Rd	0.2%	Out	5	3	0.0%	Out	0	0	0	0	Out	0	0	8.0%	In	2	3
	Midway Rd	Glades Cut Off Rd	0.1%	Out	3	2	0.0%	Out	0	0	0	0	Out	0	0	10.0%	Out	3	2
Selvitz Rd					In	1,748			In	628		0	3,593	In	1,774		0	3	21
					Out	2,518			Out	1,410		0	14,372	Out	1,819		0	Out	34
					In	6,990			In	4,543		0	0	In	7,095		0	In	21
					Out	10,071			Out	5,639		0	0	Out	7,277		0	Out	34

(Using 25% of large project for 3 year horizon)

LTC Ranch	Wawa Midway & Selvitz			Village at Midway			Rayvina			Willow Lakes			SUM Directional N/E			SUM Directional S/W			Directional N/E			Directional S/W		
	%	Is N/E In or Out	Directions N/E	Directions S/W	%	Is N/E In or Out	Directions N/E	Directions S/W	%	Is N/E In or Out	Directions N/E	Directions S/W	Non-Residential	Incidental	Non-Residential	Residential	Double Count	Net	Double Count	Net	Double Count	Net		
17.0%	Out	112	87	10.0%	Out	46	18	25%	248	65	91	212	56	162	108	-19	288	-22	248					
34.0%	Out	225	174	10.0%	Out	46	18	23%	228	60	83	365	90	280	108	-18	437	-22	367					
34.0%	Out	225	174	9.0%	Out	41	16	23%	228	60	83	361	90	278	108	-18	433	-22	365					
18.8%	Out	124	96	7.0%	Out	32	13	23%	228	60	83	246	90	193	108	-18	318	-22	280					
15.4%	Out	102	79	36.0%	in	22	22	19%	189	49	59	186	92	140	103	-18	259	-21	222					
12.6%	Out	83	65	31.0%	out	19	19	3%	30	8	11	19	8	19	11	-2	25	-2	28					
0.5%	in	3	3	0.0%	in	0	0	1%	10	3	4	20	3	18	4	-1	22	-1	20					
0.5%	out	3	3	0.0%	out	0	0																	
		In	513		In	182																		
		Out	661		Out	456																		
		In	2,052		In	726																		
		Out	2,642		Out	1,814																		

* Transit and Waste Pro
 113 515 311/36
 510 10/10 371/40

TABLE 3 - Link Analysis - AM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	2021 Peak Hour Directional Volumes ⁽²⁾	Growth Rate	2021 AM Peak Hour + Growth	AM Peak Hour Committed Projects Directional	2024 Growth + Committed Peak Direction	Resultant Growth	Peak Hour Service Capacity (E+C) ⁽¹⁾	Project Volume Peak Direction	Total Traffic % Project of Capacity- Peak Hour (Direction)	Does Project Meet Concurrency?	Project Percent Assignment
Midway Rd	Glades Cut-Off	East Torino Pkwy	EB	IN	NO	1056	1.01	1088	209	1297	1.0709	2100	35	1332	1.67%	20%
	Glades Cut-Off	East Torino Pkwy	WB	OUT	NO	1056	1.01	1088	248	1336	1.0816	2100	10	1346	0.48%	20%
	East Torino Pkwy	Milner(Jenkins)	EB	IN	YES	1001	1.01	1031	301	1384	1.1000	880	52	1384	5.91%	30%
	East Torino Pkwy	Milner(Jenkins)	WB	OUT	NO	1001	1.01	1031	345	1376	1.1120	880	15	1391	1.70%	30%
	East Torino Pkwy	W of Selvitz Rd	EB	IN	YES	1001	1.01	1031	200	1231	1.0715	790	52	1283	6.58%	30%
	East Torino Pkwy	W of Selvitz Rd	WB	OUT	NO	1001	1.01	1031	273	1304	1.0922	790	15	1319	1.90%	30%
	W of Selvitz Rd	Selvitz Rd *	EB	IN	NO	1001	1.01	1031	200	1231	1.0715	2100	52	1283	2.48%	30%
	W of Selvitz Rd	Selvitz Rd *	WB	OUT	NO	1001	1.01	1031	273	1304	1.0922	2100	15	1319	0.71%	30%
	Selvitz Rd	Christensen Road*	EB	IN	NO	793	1.01	817	169	986	1.0753	2100	10	996	0.48%	20%
	Selvitz Rd	Christensen Rd	WB	OUT	NO	793	1.01	817	169	986	1.0753	2100	10	996	0.48%	20%
Selvitz Rd	Christensen Rd	E 25th St *	EB	OUT	NO	793	1.01	817	232	1049	1.0978	2100	35	1084	1.67%	20%
	Christensen Rd	E 25th St *	WB	IN	NO	793	1.01	817	232	1049	1.0978	2100	35	1084	1.67%	20%
	Glades Cut-Off Rd	Project Entrance	NB	OUT	NO	504	1.01	519	35	554	1.0322	700	15	569	2.14%	30%
	Glades Cut-Off Rd	Project Entrance	SB	IN	YES	504	1.01	519	32	551	1.0303	700	52	603	7.43%	30%
	Project Entrance	Midway Rd	NB	IN	YES	504	1.01	519	35	554	1.0322	700	122	676	17.43%	70%
	Project Entrance	Midway Rd	SB	OUT	YES	504	1.01	519	32	551	1.0303	700	35	586	5.00%	70%
	Midway Rd	St. James Rd	NB	IN	YES	419	1.01	432	40	472	1.0403	750	35	507	4.67%	20%
	Midway Rd	St. James Rd	SB	OUT	YES	419	1.01	432	47	479	1.0454	750	10	489	1.33%	20%

(1) St. Lucie County 2019 Traffic Counts and LOS Report
 (2) FDOT Florida Traffic Online
 * Currently 2L under construction to 4DL
 (3) Background traffic backlogged, improvements for backlog of 4LD with 2100 capacity will resolve "with project traffic"

Two-Way: 224
 Net In: 174
 Net Out: 50
 Years Grown: 3

TABLE 3 - Link Analysis - PM

Segment	From	To	Direction	IN/OUT	Greater than 3% (1% on Adjacent Links)	2021 Peak Hour Directional Volumes ⁽²⁾	Growth Rate	2021 PM Peak Hour + Growth	PM Peak Hour Committed Projects Directional	2024 Growth + Committed Peak Direction	Resultant Growth	Peak Hour Service Capacity (E+C) ⁽¹⁾	Project Volume Peak Direction	Total Traffic % Project of Capacity- Peak Hour (Direction)	Does Project Meet Concurrency?	Project Percent Assignment
Midway Rd	Glades Cut-Off	East Torino Pkwy	EB	IN	NO	1087	1.01	1120	288	1408	1.0901	2100	13	1421	0.62%	20%
	Glades Cut-Off	East Torino Pkwy	WB	OUT	NO	1087	1.01	1120	248	1368	1.0796	2100	34	1402	1.62%	20%
	East Torino Pkwy	Milner(Jenkins)	EB	IN	NO	1053	1.01	1085	433	1518	1.1296	880	19	1537	2.16%	30%
	East Torino Pkwy	Milner(Jenkins)	WB	OUT	YES	1053	1.01	1085	365	1450	1.1125	880	52	1502	5.91%	30%
	East Torino Pkwy	W of Selvitz Rd	EB	IN	NO	1053	1.01	1085	299	1384	1.0954	790	19	1403	2.41%	30%
	East Torino Pkwy	W of Selvitz Rd	WB	OUT	YES	1053	1.01	1085	255	1340	1.0836	790	52	1392	6.58%	30%
	W of Selvitz Rd	Selvitz Rd *	EB	IN	NO	1053	1.01	1085	299	1384	1.0954	2100	19	1403	0.90%	30%
	W of Selvitz Rd	Selvitz Rd *	WB	OUT	NO	1053	1.01	1085	255	1340	1.0836	2100	52	1392	2.48%	30%
	Selvitz Rd	Christensen Road*	EB	OUT	NO	756	1.01	779	222	1001	1.1114	2100	13	1014	0.62%	20%
	Selvitz Rd	Christensen Rd	WB	OUT	NO	756	1.01	779	259	1038	1.0981	2100	34	1072	1.62%	20%
Selvitz Rd	Christensen Rd	E 25th St *	EB	OUT	NO	756	1.01	779	222	1001	1.1114	2100	34	1072	1.62%	20%
	Christensen Rd	E 25th St *	WB	IN	NO	756	1.01	779	222	1001	1.0981	2100	13	1014	0.62%	20%
	Glades Cut-Off Rd	Project Entrance	NB	OUT	YES	508	1.01	523	31	554	1.0296	700	52	606	7.43%	30%
	Glades Cut-Off Rd	Project Entrance	SB	IN	NO	508	1.01	523	36	559	1.0326	700	19	578	2.71%	30%
	Project Entrance	Midway Rd	NB	IN	YES	508	1.01	523	31	554	1.0296	700	44	598	6.29%	70%
	Project Entrance	Midway Rd	SB	OUT	YES	508	1.01	523	36	559	1.0326	700	120	679	17.14%	70%
	Midway Rd	St. James Blvd	NB	IN	NO	419	1.01	432	37	469	1.0381	750	13	482	1.73%	20%
	Midway Rd	St. James Blvd	SB	OUT	YES	419	1.01	432	40	472	1.0403	750	34	506	4.53%	20%

(1) St. Lucie County 2019 Traffic Counts and LOS Report
 (2) FDOT Florida Traffic Online
 * Currently 2L under construction to 4DL
 (3) Background traffic backlogged, improvements for backlog of 4LD with 2100 capacity will resolve "with project traffic"

Two-Way: 235
 Net In: 63
 Net Out: 172
 Years Grown: 3

Background Energy/Selvitz
 A. Perro CC.