



CITY OF FORT PIERCE

CITY COMMISSION

September 16th, 2024

Asphalt Plant
4060 Selvitz Road

APPLICANT

ETM Solutions, LLC Robert Baer, Manager

PROPERTY OWNER(S)

Wanda Johnson

PARCEL ID #(S):

2432-223-0004-000-6

4060 Selvitz Rd., Asphalt Plant SITE PLAN



SUMMARY

Request for review of an application for a Site Plan to operate and maintain a portable asphalt plant on approximately 325,937 square foot parcel at 4060 Selvitz Road.

The subject parcel has a total of 12.79 acres however, 7.48 acres will be used for the “portable” asphalt plant. While the plant is portable in that it is capable of being taken apart, shipped and set up in another location, the Project anticipates the portable asphalt plant to be permanent on the Property.

The site is surrounded by Heavy Industrial and Planned Development Zoning districts and Heavy Industrial Future Land Use uses.



SITE LOCATION



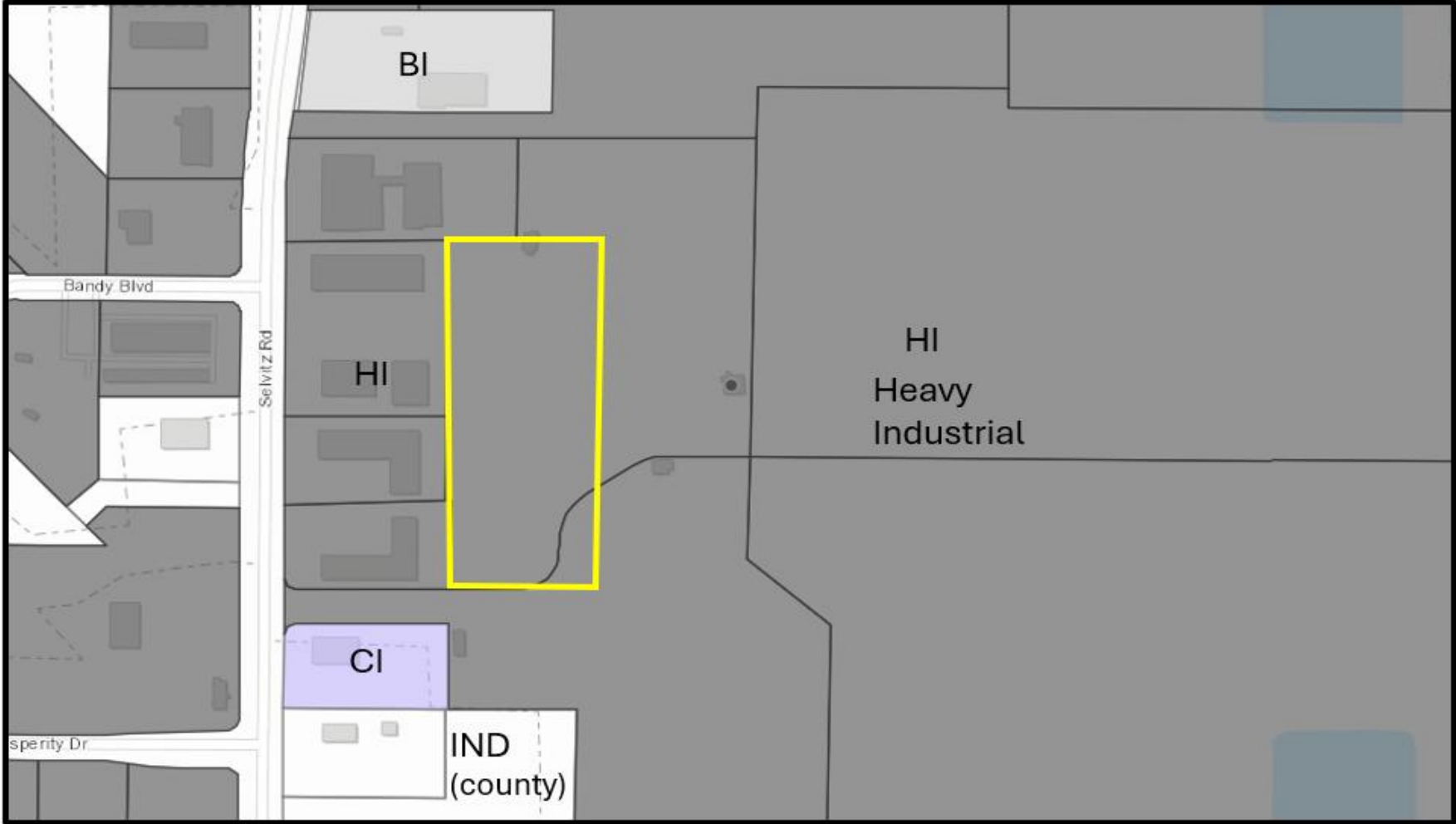
SITE AREA= 12.79 +/- Acres
PLANT AREA = 7.48 +/- Acres

4060 Selvitz Rd., Asphalt Plant SITE PLAN



FUTURE LAND USE

FLU: Heavy Industrial
(HI)

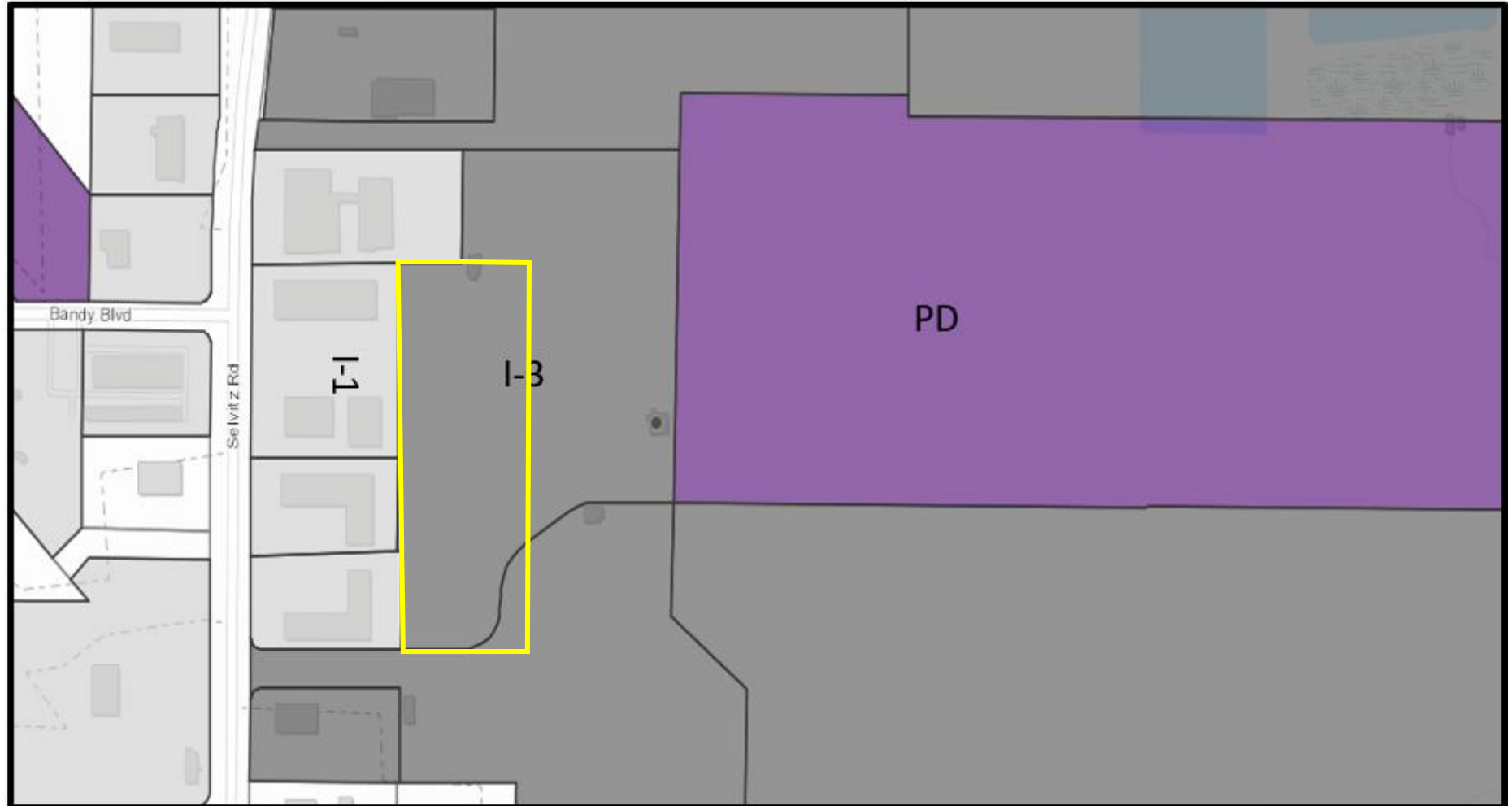


4060 Selvitz Rd., Asphalt Plant SITE PLAN



ZONING

ZONE: Heavy
Industrial
(I-3)



4060 Selvitz Rd., Asphalt Plant SITE PLAN



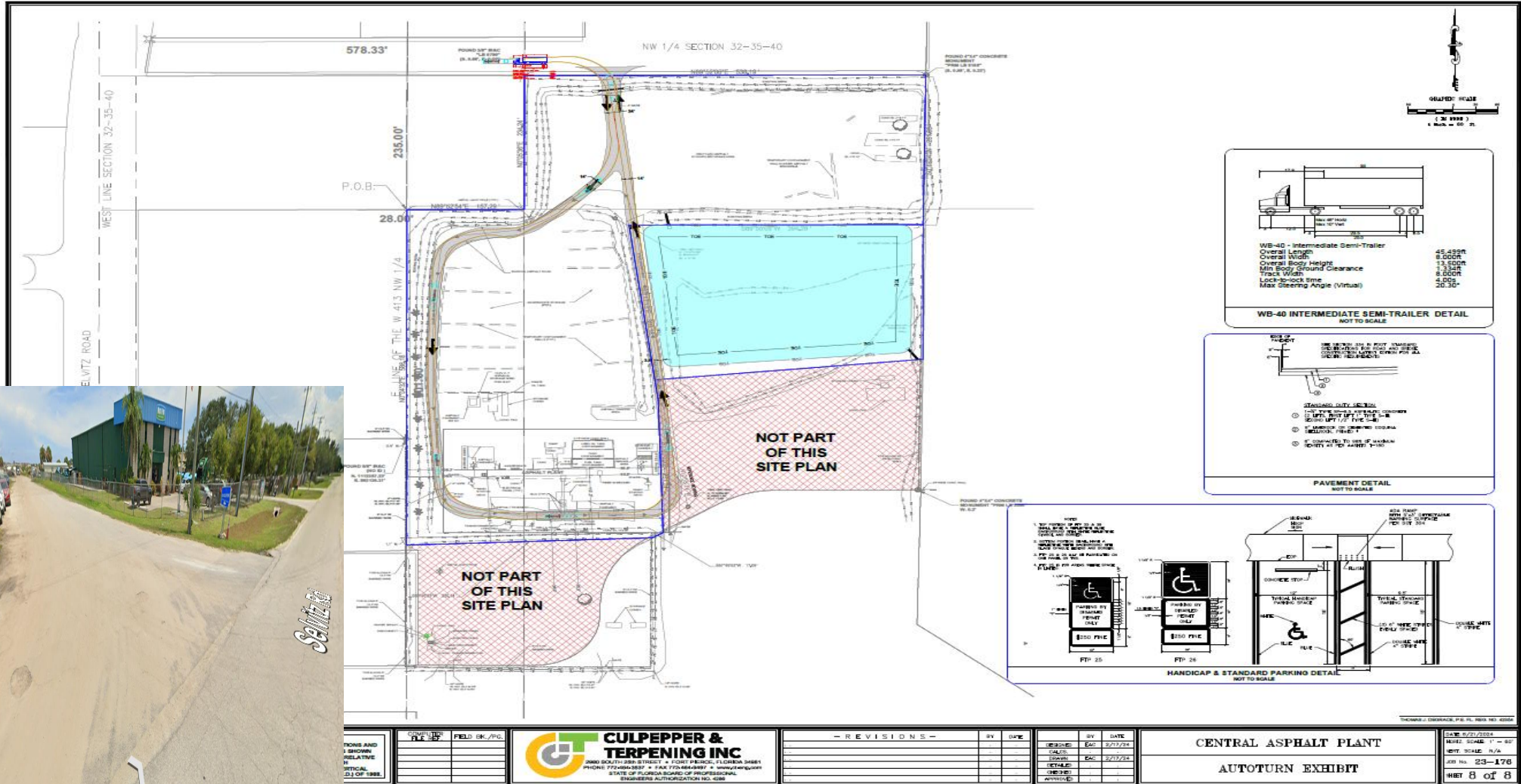
SITE PHOTOS



4060 Selvitz Rd., Asphalt Plant SITE PLAN



ROUTE PLAN



4060 Selvitz Rd., Asphalt Plant SITE PLAN



TRAFFIC COUNT

Traffic Count - 6/20/24

Time	15 min. Intervals Trips In	15 min. Intervals Trips Out	15 min. Intervals Total	Hour	Hourly Volume In (end time)	Hourly Volume Out (end time)	Hourly Volume Total
7:15 - 7:30 AM	7	8	15				
7:30 - 7:45 AM	0	0	0				
7:45 - 8:00 AM	3	10	13				
8:00 - 8:15 AM	0	0	0	7:15 to 8:15	10	18	28
8:15 - 8:30 AM	2	3	5	7:30 to 8:30	5	13	18
8:30 - 8:45 AM	0	3	3	7:45 to 8:45	5	16	21
8:45 - 9:00 AM	4	2	6	8:00 to 9:00	6	8	14
9:00 - 9:15 AM	0	0	0	8:15 to 9:15	6	8	14
9:15 - 9:30 AM	3	2	5	8:30 to 9:30	7	7	14
9:30 - 9:45 AM	0	0	0	8:45 to 9:45	7	4	11
9:45 - 10:00 AM	2	0	2	9:00 to 10:00	5	2	7
10:00 - 10:15 AM	0	0	0	9:15 to 10:15	5	2	7
10:15 - 10:30 AM	4	0	4	9:30 to 10:30	6	0	6
10:30 - 10:45 AM	0	0	0	9:45 to 10:45	6	0	6
10:45 - 11:00 AM	9	1	10	10:00 to 11:00	13	1	14
1:30 - 1:45 PM	3	9	12	12:45 to 1:45	3	9	12
1:45 - 2:00 PM	0	0	0	1:00 to 2:00	3	9	12
2:00 - 2:15 PM	0	4	4	1:15 to 2:15	3	13	16
2:15 - 2:30 PM	0	0	0	1:30 to 2:30	3	13	16
2:30 - 2:45 PM	9	7	16	1:45 to 2:45	9	11	20
2:45 - 3:00 PM	0	0	0	2:00 to 3:00	9	11	20
3:00 - 3:15 PM	4	5	9	2:15 to 3:15	13	12	25
3:15 - 3:30 PM	0	0	0	2:30 to 3:30	13	12	25
3:30 - 3:45 PM	2	3	5	2:45 to 3:45	6	8	14
3:45 - 4:00 PM	0	0	0	3:00 to 4:00	6	8	14
4:00 - 4:15 PM	2	6	8	3:15 to 4:15	4	9	13
4:15 - 4:30 PM	0	0	0	3:30 to 4:30	4	9	13
4:30 - 4:45 PM	1	1	2	3:45 to 4:45	3	7	10
4:45 - 5:00 PM	0	0	0	4:00 to 5:00	3	7	10
5:00 - 5:15 PM	1	1	2	4:15 to 5:15	2	2	4

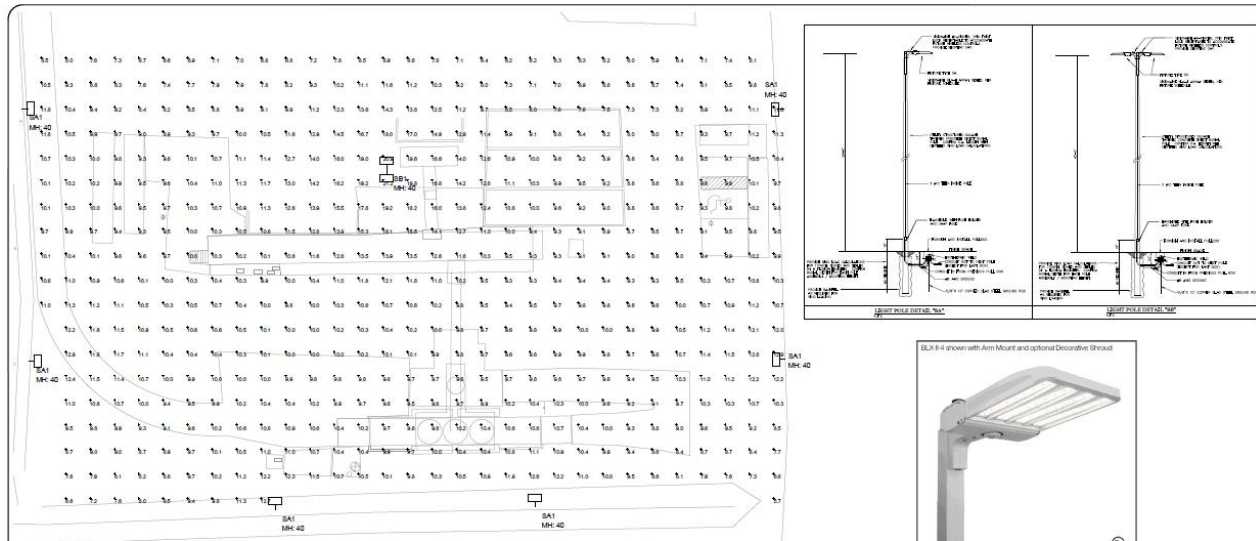
HOH: 6a-6p

Total: 56 65 121

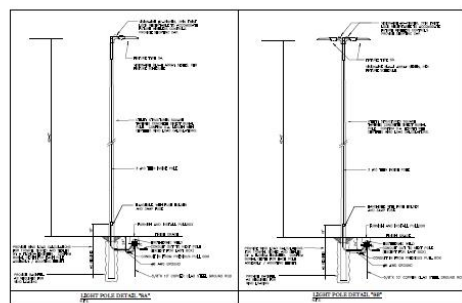
4060 Selvitz Rd., Asphalt Plant SITE PLAN



PHOTOMETRIC PLAN



SITE PHOTOMETRIC PLAN



BLX-II-4 shown with Arm Mount and optional Decorative Shroud



Symbol	Label	Description	Lumens/Lamp	LLF	Lum. Watts	Total Watts
	SA1	BLX-II-8-T4L-145L-4K-VOLT-AM-7PINPER-DIM POLE MOUNT 40' AFG	N.A.	0.900	1102	9912
	SB1	BLX-II-8-T4L-145L-4K-VOLT-AM-7PINPER-DIM POLE MOUNT 40' AFG	N.A.	0.900	1102	2204

Label	Qty	Unit	Height	Width	Depth	Weight
PHASE ONE OFFICE AREA SITE	1	Fixture	10.20	21.2	8.7	1.78

Symbol	Label	Description	Lumens/Lamp	LLF	Lum. Watts	Total Watts
	SA1	BLX-II-8-T4L-145L-4K-VOLT-AM-7PINPER-DIM POLE MOUNT 40' AFG	N.A.	0.900	1102	9912
	SB1	BLX-II-8-T4L-145L-4K-VOLT-AM-7PINPER-DIM POLE MOUNT 40' AFG	N.A.	0.900	1102	2204

4060 Selvitz Rd., Asphalt Plant SITE PLAN



ETM SOLUTIONS, LLC
PROJECT: FT PIERCE ASPHALT PLANT
DATE: 02/28/24

PROJECT NO: 2024-001
PROJECT NAME: FT PIERCE ASPHALT PLANT
DRAWN BY: J. SMITH
DATE: 02/28/24

RECOMMENDATION

Staff recommend two (2) Conditions:

1. Prior to issuance of final certificate of occupancy, a Landscape Maintenance Agreement shall be approved and shall acknowledge the following:
 1. All approved landscaping shall be installed, irrigated, and maintained in perpetuity in accordance with section 123-7 of the City Code of Ordinances, in order that it continues to present a healthy, neat, and orderly appearance free of refuse and debris, in conformity with the following requirements:
 1. Vegetation required by this article shall be replaced with equivalent or better vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same or greater number of living trees according to the standards established in this article
 2. Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices to ensure that the landscaping continues to maintain a healthy, neat, and orderly appearance
2. A painted stop bar and defined driveway/width at the property line is required to be installed prior to issuance of final certificate of occupancy.



RECOMMENDATION

At the August 12th meeting, Planning Board voted unanimously to approve the Site Plan (Development and Review) application.

Staff recommendation is for City Commission to **Approve** the submitted application for Site Plan application with the two (2) conditions

ALTERNATIVE RECOMMENDATIONS

1. Recommend Approval with additional conditions.
2. Recommend Disapproval.





CITY OF FORT PIERCE

CITY COMMISSION

September 16, 2024

Asphalt Plant
4060 Selvitz Road